

Historic Preservation Board

Tuesday, October 14, 2025

3:00 PM

City of Hollywood



Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

Room 219

Thank you for demonstrating an interest in the City of Hollywood Historic Preservation Board Meeting. The public may view the meeting either in person or virtually <http://hollywoodfl.org/calendar>.

Any member of the public wishing to speak on an agenda item, which calls for public comment, may do so either in person or virtually:

In-person:

On the day of the meeting a comment card shall be completely filled out. Comment cards will be available at the start of the meeting and must be received by the Board Clerk prior to the close of public comment for each item. If commenting on multiple items, a comment card shall be completed for each individual item.

Virtually:

Virtual comment is offered as a courtesy. The City is not responsible for technical difficulties that may periodically arise. Pre-registration shall be REQUIRED.

To register use the Board Meeting Registration and Public Comment Form. If commenting on multiple items, the form shall be completed for each individual item. Should an item require consideration by multiple Boards, individual forms shall be submitted for each Board. The form may be found at the following link and shall be submitted by 6:00 PM the day before the meeting:

<https://www.hollywoodfl.org/1248/Public-CommentRegistration-and-Submittal>

Due to the quasi-judicial nature of items, written comments CANNOT be read into the record. Public comment shall be limited to three minutes speaking time maximum. All comments received during the submission period will become part of the public record. Comments left on voicemail machines, emailed, posted to the City's social media accounts or submitted for virtual comment after 6:00 PM on the day prior to the meeting shall not be accepted.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call Clarissa Ip, ADA Coordinator/City Engineer, five business days in advance at 954-921-3915 (voice) or email: cip@hollywoodfl.org. For the hearing and speech impaired at 800-955-8771 (V-TDD).

For additional information or for assistance, please contact Planning and Urban Design Division, at 954-921-3471 option 3 or via email at planningdivision@hollywoodfl.org.

Persons attending meetings shall remain seated at all times unless called upon to speak, will not callout comments during the meeting or make inappropriate hand or facial gestures.

Please silence all cell phones prior to entering the meeting.

A. Administration

- 1. Pledge of Allegiance
- 2. Roll Call
- 3. Approval of Previous Meeting Minutes

Attachments: [2025_0909 Minutes HPB - Draft](#)

- 4. Summary of Appeals to City Commission
- 5. Additions, Deletions and Withdrawals
- 6. City Attorney Announcements

B. Applications

ITEMS # 1-2 BELOW ARE CONSIDERED QUASI-JUDICIAL

C. Old Business

[1.2025 1014](#)

FILE NO.: 25-C-62
APPLICANT: Niclas Pierre
LOCATION: 922 S Northlake Drive
REQUEST: Certificate of Appropriateness of Design for an addition to an existing single-family dwelling located within the Hollywood Lakes Historic District.

Attachments: [2562 HPB Staff Report 2025 1014](#)
[Attachment A - Combined Application Package](#)
[Attachment B - Zoning Map](#)

[2.2025 1014](#)

FILE NO.: 24-C-99
APPLICANT: Sergio Maltoni
LOCATION: 927 Tyler Street
REQUEST: Certificate of Appropriateness of Design for façade alterations to an existing single-family dwelling located within the Hollywood Lakes Historic District..

Attachments: [2499 HPB Staff Report 2025 1014](#)
[Attachment A - Combined Package](#)
[Attachment B - Zoning Map](#)

D. New Business

- 1. 2026-2027 Board Calendar Review

E. Adjournment

Legal descriptions for each of the above petitions is on file in the Department of Development Services.

Any person wishing to appeal any decision made by this Commission with respect to any matter considered at such meeting or hearing will need a record of the proceedings, and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is made.

Two or more members of the same city board, commission, or committee, who are not of this Commission, may attend this meeting and may, at that time, discuss matters on which foreseeable action may later be taken by their board, commission or committee.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call Clarissa Ip, ADA Coordinator/City Engineer, five business days in advance at 954-921-3915 (voice) or email: cip@hollywoodfl.org. If an individual is hearing or speech impaired, please call 1-800-955-8771 (V-TDD).



City of Hollywood

Staff Summary

Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

Agenda Date: 10/14/2025

To: Regular City Commission Meeting

Title:

SUMMARY OF THE MINUTES
HISTORIC PRESERVATION BOARD
CITY OF HOLLYWOOD
2600 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020

A. ADMINISTRATION

1. Pledge of Allegiance
2. Roll Call

The meeting of the Historic Preservation Board was called to order by Board Chair, Terry Cantrell on **Tuesday, September 9, 2025, at 3:00 PM** in Room 219, 2600 Hollywood Blvd, Hollywood, Florida, with the following members present:

| | |
|-------------------------|-----------------------------|
| Terry Cantrell | Kathleen DiBona (arrived at |
| Dulce Conde (arrived at | 3:22pm) |
| 3:43pm) | |
| Fred Villiers-Furze | Stephanie Bendoym |
| Diana Pittarelli | Ari Sklar |

Development Services, Division of Planning and Urban Design Staff present:

| | |
|-------------------|----------------------------------|
| Anand Balram | Assistant Director/Chief Planner |
| Reginald White | Planner III |
| Carmen Diaz | Planner III |
| Adrian Montoya | Planner II |
| Stephanie Rivera | Development Review Coordinator |
| Shira Ridley-Risk | Administrative Assistant II |

Also Present:

| | |
|--------------|--|
| Kim Phan | Assistant City Attorney (Board Attorney) |
| Alicia Lewis | Outside Counsel (Staff Attorney) |

3. Approval of the Meeting Minutes
August 12, 2025 – Approved.

MOTION WAS MADE BY DIANA PITTARELLI AND SECONDED BY FRED VILLIERS-FURZE TO APPROVE THE AUGUST 12, 2025, MEETING MINUTES. MOTION PASSED UNANIMOUSLY BY

VOICE VOTE.

4. Summary of Appeals to City Commission

None.

5. Additions, Deletions, Withdrawals, and Continuances

None.

6. City Attorney Announcements

Kim Phan informed the Board that items 1-3 are ruled by Quasi-Legislative Proceedings.

B. APPLICATIONS:

ITEMS # 1-3 BELOW MAY BE CONSIDERED QUASI-JUDICIAL AND MAY BE SUBJECT TO A CRR REGULATION.

1. **FILE NO.:** 25-CV-04
APPLICANT: Mike Ariss
LOCATION: 828 S Southlake Drive
REQUEST: Certificate of Appropriateness of Design to construct additions to an existing single-family dwelling, and a Variance to Article 7, Section 7.2 of the Zoning and Land Development Regulations, to reduce the parking requirements in the RS-6 zoning district located at 1317 Harrison Street, within the Harrison Tyler Historic Overlay District.

Terry Cantrell read the Application.

Terry Cantrell asked Staff, the Applicant, and members of the public if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Reginald White, Planner III, presented the item and answered questions from the Board.

Terry Cantrell opened the meeting to public comments. No members of the public commented on this item. Terry Cantrell closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY DIANA PITTARELLI AND SECONDED BY FRED VILLIERS-FURZE TO APPROVE THE CERTIFICATE OF APPROPRIATENESS FOR DESIGN WITH CONDITION: THE APPLICANT SHALL CONTINUE WORKING WITH STAFF AND INCLUDE A BRUSH BAY. MOTION PASSED UNANIMOUSLY BY VOICE VOTE. MOTION WAS MADE BY DIANA PITTARELLI AND SECONDED BY FRED VILLIERS-FURZE TO APPROVE VARIANCE. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

2. **FILE NO.:** 22-V-49
APPLICANT: 404 N 17 Ave LLC.
LOCATION: 404 N 17th Avenue
REQUEST: Variance to reduce deck and pool street-side setback requirements on a historic designated site, Pursuant to Section 4.23(B)(5) & (15) of the Zoning and Land Development Regulations in the FH-2 zoning district within the RAC at 404 N. 17th Avenue.

Terry Cantrell read the Application.

Terry Cantrell asked Staff, the Applicant, and members of the public if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Carmen Diaz, Planner III, presented the item and answered questions from the Board.

Terry Cantrell opened the meeting to public comments. No members of the public commented on this item. Terry Cantrell closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY ARI SKLAR AND SECONDED DIANA PITTARELLI TO APPROVE VARIANCE #1 WITH STAFF CONDITIONS. MOTION PASSED UNANIMOUSLY BY VOICE VOTE. MOTION WAS MADE BY ARI SKLAR AND SECONDED DIANA PITTARELLI TO APPROVE VARIANCE #2 WITH STAFF CONDITIONS. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

3. **FILE NO.:** 25-CV-63
APPLICANT: 1317 Harrison St LLC
LOCATION: 1317 Harrison Street
REQUEST: Certificate of Appropriateness of Design to construct additions to an existing single-family dwelling, and a Variance to Article 7, Section 7.2 of the Zoning and Land Development Regulations, to reduce the parking requirements in the RS-6 zoning district located at 1317 Harrison Street, within the Harrison Tyler Historic Overlay District.

Terry Cantrell read the Application.

Terry Cantrell asked Staff, the Applicant, and members of the public if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Urja Modi, Planner I, presented the item and answered questions from the board.

Terry Cantrell opened the meeting to public comments. Penny Johns, from the public, commented on this item. Terry Cantrell closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY DIANA PITTARELLI AND SECONDED BY KATHLEEN DIBONA TO APPROVE THE VARIANCE. MOTION PASSED UNANIMOUSLY BY VOICE VOTE. MOTION WAS MADE BY ARI SKLAR AND SECONDED BY DIANA PITTARELLI TO APPROVE THE CERTIFICATE OF APPROPRIATENESS FOR DESIGN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

C. OLD BUSINESS

None.

D. NEW BUSINESS

Board Member Terry Cantrell raised a general comment regarding demolition projects within the Historic District where no action or progress has occurred. The comment was noted by staff, legal, and the Board, for investigation.

E. ADJOURNMENT

The meeting was adjourned at 4:20 P.M.

DRAFT



City of Hollywood

Staff Summary

Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

File Number: 1.2025_1014

Agenda Date: 10/14/2025

To: Historic Preservation Board

Title: FILE NO.: 25-C-62
APPLICANT: Niclas Pierre
LOCATION: 922 S Northlake Drive
REQUEST: Certificate of Appropriateness of Design for an addition to an existing single-family dwelling located within the Hollywood Lakes Historic District.

**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING AND URBAN DESIGN**

DATE: October 14, 2025 **FILE:** 25-C-62
TO: Historic Preservation Board
VIA: Anand Balram, Assistant Director / Chief Planner
FROM: Urja Modi, Planner I
SUBJECT: Certificate of Appropriateness of Design for an addition to an existing single-family dwelling located at 922 S Northlake Drive within the Hollywood Lakes Historic District.

APPLICANT'S REQUEST

Certificate of Appropriateness for Design for an addition to an existing single-family dwelling located within the Hollywood Lakes Historic District.

STAFF'S RECOMMENDATION

Approval.

BACKGROUND & REQUEST

The Owner requests a Certificate of Appropriateness of Design for an unpermitted carport enclosure that resulted in an addition to the existing single-family house located at 922 S Northlake Drive, Hollywood (hereinafter referred to as the "subject property").

The original one-story house was constructed in 1950 (per Broward County Property Appraiser) and purchased by the current owner on September 27, 2023. The subject property is located within the Hollywood Lakes Historic District and is zoned Single Family District (RS-6). It is a through lot with frontage and access from both South Northlake Drive and Polk Street. The house, prior to the addition, consisted of 2-bedrooms, 2-bathrooms, a kitchen, one living room, and a carport, and is approximately 1,280 square feet.

For the improvement and maintenance of the house and subject property, and in effort to make renovations to the home to fit the needs of the current Owner, the current Owner completed additional interior alterations and exterior site improvements. The enclosure resulted in the addition of a Florida room and a powder room to the house. The addition measures an area of 609 square feet, resulting in a floor area increase of approximately 48%. The addition, through carport enclosure, includes a 12-inch

raise to the existing roof line of carport to accommodate FEMA and minimum height requirements. The unpermitted addition results in minor roof line changes and exceeds the 25% addition threshold as set out in Section 5.5 (F) of the City's Zoning and Land Development Regulations, triggering approval by the City's Historic Preservation Board.

The house now measures a total floor area of 1,889 square feet and consists of two bedrooms, three bathrooms, an enlarged kitchen, one living room, and one Florida room. The exterior site improvements include the removal of trees, shrubs, and other vegetation, and the repaving of the driveways. All alterations are subject to active permitting.

Prior to the unpermitted addition and site renovations, the house was not visible from the public realm, being hidden by unmaintained vegetation. Based on the submitted plans, the original house did not exhibit any unique architectural styles or elements recognized in the Historic District guidelines. The original house exhibited some Post War Modern (1940-1960) style showing architectural characteristics, such as, a predominantly flat roof with an extendable overhang, rectangular windows with extended glass areas, and asymmetrical massing with a horizontal emphasis. The Design Guidelines for Historic Properties states that Post War Modern homes were erected in mass to house a wave of new residents. This style popular with builders, were relatively inexpensive and used simple materials with none of the traditional detailing.

The addition, resultant of a carport enclosure, is well integrated into the foundational architecture of the original house. The addition aims to introduce a more functional layout by increasing the livable space while simultaneously maintaining unified design and the existing proportions in massing and fenestration. Overall, the addition does not detract from architectural unity and offers compatible architectural and site elements that enhance the facade and function of the home and allow the Owner of the subject property to adapt their home to their enjoyment. Furthermore, the proposed complies with all zoning regulations.

The Historic Preservation Board is guided by the Secretary of the Interior's Standards for Rehabilitation and the City of Hollywood's Design Guidelines for Historic Properties and Districts. These documents offer design controls for materials, scale, massing and location for all properties within the Historic District. The proposed home is consistent with the character of the Lakes Area Historic Multiple Resource Listing District and the design maintains the spatial relationship with surrounding properties in its scale and massing.

SITE BACKGROUND

| | |
|-----------------------------|---|
| Applicant/Owner: | Niclas Pierre |
| Address/Location: | 922 S Northlake Drive |
| Size of Property: | 6,736 sq. ft. (±0.15 acres) |
| Present Zoning: | Single-Family Residential (RS-6) Lakes Area Multiple Resource Listing District (HMPRL0D-1) |
| Present Land Use: | Low Residential (LRES) |
| Present Use of Land: | Single Family |
| Year Built: | 1950 (BCPA) |

ADJACENT ZONING

- North:** Single-Family Residential District (RS-9)
Lakes Area Multiple Resource Listing District (HMPRL0D-1)
- South:** Single-Family Residential District (RS-6)
Lakes Area Multiple Resource Listing District (HMPRL0D-1)
- East:** Single-Family Residential District (RS-6)
Lakes Area Multiple Resource Listing District (HMPRL0D-1)
- West:** Single-Family Residential District (RS-6)
Lakes Area Multiple Resource Listing District (HMPRL0D-1)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Within the Comprehensive Plan, the primary goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property.*

The proposed design is consistent with the scale and massing of the adjacent neighborhood; while allowing the Applicant to maximize the living area of their property. The unpermitted addition is in support of the City accomplishing the desired reinvestment in the Lakes Area Historic Multiple Resource Listing District.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood.

Policy 2.46: *Preserve stable neighborhoods and encourage rehabilitation initiatives that will revitalize and promote stability of neighborhoods.*

Policy CW.15: *Place a priority on protecting, preserving and enhancing residential neighborhoods.*

The proposed addition continues the fabric of the existing building footprint and accessory carport and does not result in significant new construction or adverse impacts on the surrounding neighborhood. The proposed changes to the building maintain the historical features of the original house while incorporating improved materials and contemporary color palette, elevating the design. The supporting site improvements reduce over-grown vegetation that previously negatively impacted adjacent properties. Overall, the addition and supporting improvements to the site contribute to enhancing the residential neighborhood and support streetscape improvements.

CONSISTENCY WITH THE HOLLYWOOD LAKES NEIGHBORHOOD PLAN

The Hollywood Lakes Neighborhood Plan seeks to maintain and preserve the character and integrity of the existing residential community by protecting historical areas. It also seeks to eliminate the encroachment of negative residential uses.

The existing one-story home was constructed in 1950. The addition, resultant of a carport enclosure, contributes to the overall enhancement of this neighborhood. The design is respectful of the original built

form of the house and scale of similar houses in the neighborhood. The proposal for the addition will not adversely affect the integrity of the Historic District.

APPLICABLE CRITERIA

Analysis of criteria and finding for Certificate of Appropriateness of Design as stated in the City of Hollywood’s Zoning and Land Development Regulations, Article 5.

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks* and further state *new construction should be compatible with existing buildings*. The request is in support of an unpermitted carport enclosure that facilitates the addition of a Family Room and a powder room. The enclosure complies with applicable zoning performance standards including pervious percentage requirements and height, and setbacks. The proposed addition compliments the architectural style of the home and does not adversely affect the character of the neighborhood.

FINDING: Consistent.

CRITERION: DESIGN

ANALYSIS: The Historic District Design Guidelines encourages additions to be compatible with the character of the neighborhood with regard to scale, materials, texture, and color. The design element of scale relates to the size of the building components or spaces relative to the human body as well as to the larger context relative to the surrounding buildings, streetscape and environment. The addition seamlessly integrates into the architecture of the existing house as it results in the enclosure of the existing carport structure. The proposed addition is consistent with the scale of the neighborhood and existing house. The proposed addition enhances the existing design of the home to create a cohesive and refined architectural style.

FINDING: Consistent

CRITERION: SETTING

ANALYSIS: As stated in the Design Guidelines, *“...setting is the relationship of buildings within the Historic District and the surrounding site and neighborhood.”* The addition as proposed demonstrates the retention of distinctive Historical features features of the existing house, such as maintaining the flat roof and continuing the asymmetrical massing with a horizontal emphasis. The proposed maintains compatibility between the existing home, surrounding site, neighborhood and Historic District.

FINDING: Consistent.

CRITERION: MATERIALS

ANALYSIS: Design Guidelines state materials are an important part of the fabric of any historic district or property and help to maintain the historic character of the place. Furthermore, materials are compatible in quality, color, texture, finish, and dimension to those that are in the historic district should be used. The architectural elements and aesthetics applied for the addition match that of the existing house and the surrounding neighborhood. The proposed request is consistent with other surrounding architectural styles and materiality within the District.

FINDING: Consistent.

CRITERION: WORKMANSHIP

ANALYSIS: The Design Guidelines recommend consideration of significant materials before undergoing rehabilitation of a historic structure or property. Materials of the addition are consistent with the existing structure and are sensitive in design and nature to the adjacent properties. The design of the proposed addition for the single-family house is consistent with current workmanship styles and methods.

FINDING: Consistent.

CRITERION: ASSOCIATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks* and further state *new construction should be compatible with existing buildings... Within the context of historic preservation, elements of design such as massing, scale and rhythm reflect architectural style as well as the richness of the historic district.* The proposed addition maintains the existing zoning performance standards for the single-family one-story house and blends harmoniously with the design, scale and massing of the surrounding properties.

FINDING: Consistent.

ATTACHMENTS

ATTACHMENT A: Application Package

ATTACHMENT B: Zoning Map

ATTACHMENT A
Application Package



CITY OF
Hollywood
DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans
(i.e. Architect or Engineer)
- One electronic **combined** PDF submission *(max. 25mb)*
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
- Planning and Development Board Historic Preservation Board Special Exception
- City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: _____

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): _____

Zoning Classification: _____ Land Use Classification: _____

Existing Property Use: _____ Sq Ft/Number of Units: _____

Is the request the result of a violation notice? Yes No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s): _____

DEVELOPMENT PROPOSAL

Explanation of Request: _____

Phased Project: Yes No Number of Phases: _____

| Project | Proposal | |
|----------------------------------|---------------|--------------|
| Units/rooms (# of units) | # UNITS: | #Rooms |
| Proposed Non-Residential Uses | | S.F.) |
| Open Space (% and SQ.FT.) | Required %: | (Area: S.F.) |
| Parking (# of spaces) | PARK. SPACES: | (#) |
| Height (# of stories) | (# STORIES) | (FT.) |
| Gross Floor Area (SQ. FT) | Gross Area | (FT.) |

Name of Current Property Owner: _____

Address of Property Owner: _____

Telephone: _____ Email Address: _____

Applicant _____ Consultant Representative Tenant

Address: _____ Telephone: _____

Email Address: _____

Email Address #2: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: NICLAS PIERRE Date: _____

PRINT NAME: _____ Date: _____

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

Signature of Current Owner

Notary Public
State of Florida

Print Name

My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____

**** FILED: BROWARD COUNTY, FL Brenda D. Forman, CLERK 9/27/2023 12:54:18 PM.****

**In the Circuit Court of the Seventeenth Judicial Circuit
In and for Broward County, Florida**

REVERSE MORTGAGE FUNDING LLC
Plaintiff

CACE-21-013854

VS.

Division: 11

COHEN, TERRY ; BERGER, MELANIE ; STATE OF FLORIDA-
DEPARTMENT OF REVENUE ; BROWARD COUNTY CLERK OF COURT
; UNITED STATE OF AMERICA, ACTING ON BEHALF ; COHEN,
ANDREA
Defendant

Certificate of Title

The undersigned, Brenda D. Forman, Clerk of the Court, certifies that she executed and filed a certificate of sale in this action on September 13, 2023, for the property described herein and that no objections to the sale have been filed within the time allowed for filing objections.

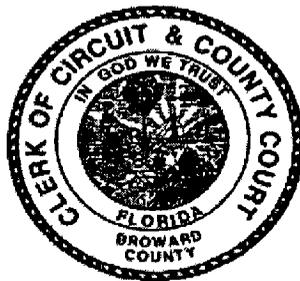
The following property in Broward County, Florida:

**LOT 10 IN BLOCK 65, HOLLYWOOD LAKES SECTION, ACCORDING TO
THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, AT PAGE 32 OF THE
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.**

Property Address: 922 S Northlake Drive, Hollywood, FL 33019

Was sold to: NICLAS PIERRE
5393 SW 186TH WAY MIRAMAR, FL, 33029

Witness my hand and the seal of this court on September 27, 2023.



Brenda D. Forman, Clerk of the Circuit & County Court
Broward County, Florida

Total consideration: \$555,300.00
Doc Stamps: \$3,887.10

Property Search

Search Results

Parcel Result

Sketch: 514214022950
Building: 1 of 1



Homestead



Map



Sketch



Estimator



Portability



Exemption



TRIM



Tax



Pictures

Copy Link

New Search

< Prev Parcel

Tax Year 2022

Property Summary

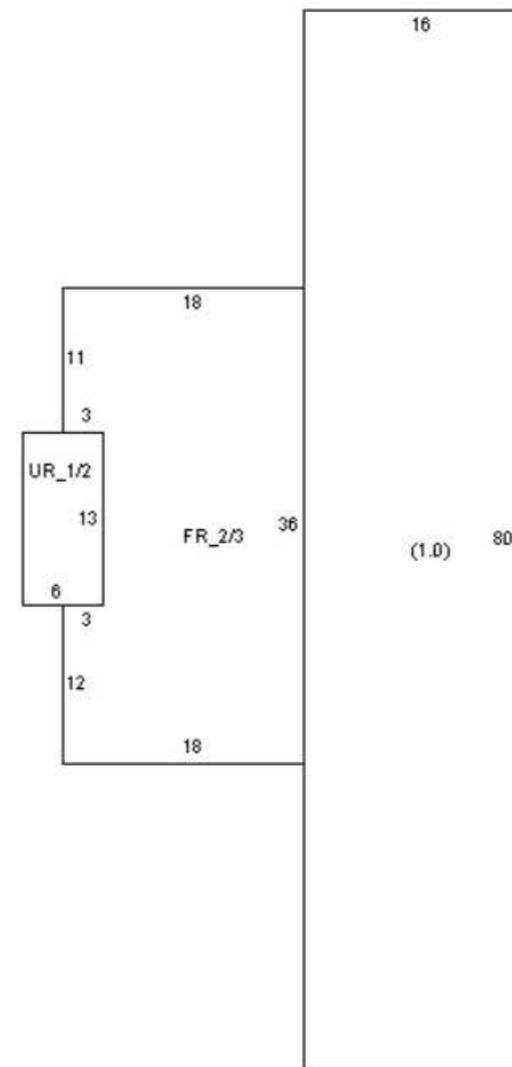
Property ID: 514214022950

Property Owner(s): COHEN, STEPHEN U EST

Mailing Address: 922 S NORTHLAKE DR HOLLYWOOD, FL 33019-1313
[click here to update mailing address](#)

Physical Address: 922 S NORTHLAKE DRIVE HOLLYWOOD, 33019

Neighborhood: Hollywood Lakes



Register for E-Mail Notifications

| | | | | | |
|----------------------------|------------------------|---------------------------|-------------------------|-----------------------------|----------------------------|
| New Search | Permit | Approvals | Reviews | Inspections | Contractor |
|----------------------------|------------------------|---------------------------|-------------------------|-----------------------------|----------------------------|

Permit Information

| | | |
|------------------------|-----------------------------|-----------------------|
| Process #: | Permit #: B24-102953 | Master Permit: |
| Status: APPLIED | | |

Plan Review Status

This screen shows the most current results for each type of review. A blank in the "Approved?" column indicates that the review is pending. To see previous results click "Review History" in the left column. To be able to schedule a Final Inspection, ALL the reviews (both current and the ones in the Review History) for each discipline must be a YES or N/A.

| <u>View</u> | <u>Approved?</u> | <u>Review</u> | <u>Date</u> | <u>Reviewer</u> | <u>Review Cycle</u> |
|--------------------------------|------------------|-------------------------|-------------|----------------------------|---------------------|
| Review History | YES | ENGINEERING-PLAN REVIEW | 4/16/2025 | JOE GEORGE 954-921-3900 | 8 |
| Review History | YES | ENGINEERING-PLAN REVIEW | 4/16/2025 | JOE GEORGE 954-921-3900 | 8 |
| Review History | YES | ENGINEERING-PLAN REVIEW | 4/16/2025 | JOE GEORGE 954-921-3900 | 8 |
| Review History | YES | ENGINEERING-PLAN REVIEW | 4/16/2025 | JOE GEORGE 954-921-3900 | 8 |
| Review History | YES | ENGINEERING-PLAN REVIEW | 4/16/2025 | JOE GEORGE 954-921-3900 | 8 |

| | | | | | |
|------------------------------|-----|--|-----------|---|---|
| <u>Review History</u> | YES | ENGINEERING-PLAN REVIEW | 4/16/2025 | JOE GEORGE 954-921-3900 | 8 |
| <u>Review History</u> | YES | ENGINEERING-PLAN REVIEW | 4/16/2025 | JOE GEORGE 954-921-3900 | 8 |
| <u>Review History</u> | YES | ENGINEERING-PLAN REVIEW | 4/16/2025 | JOE GEORGE 954-921-3900 | 8 |
| <u>Review History</u> | NO | HISTORIC DISTRICT ACKNOWLEDGEMENT | 4/16/2025 | LAURA GOMEZ 954-921-3471 | 1 |
| <u>Review History</u> | NO | UTILITIES-DRAINAGE-PLAN REVIEW | 4/16/2025 | LEANDRO CASTELLANOS 954-921-3900 | 1 |
| <u>Review History</u> | YES | LANDSCAPE REVIEW | 4/14/2025 | FAVIO PEREZ 954-921-3997 | 4 |
| <u>Review History</u> | YES | LANDSCAPE REVIEW | 4/14/2025 | FAVIO PEREZ 954-921-3997 | 4 |
| <u>Review History</u> | YES | LANDSCAPE REVIEW | 4/14/2025 | FAVIO PEREZ 954-921-3997 | 4 |
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| <u>Review History</u> | YES | ZONING-PLAN REVIEW | 4/1/2025 | HELLENA LAHENS | 3 |
| <u>Review History</u> | YES | ZONING-PLAN REVIEW | 4/1/2025 | HELLENA LAHENS | 3 |
| <u>Review History</u> | YES | ZONING-PLAN REVIEW | 4/1/2025 | HELLENA LAHENS | 3 |
| <u>Review History</u> | YES | BLDG-PLUMBING-PLAN REVIEW | 2/19/2025 | JAMES WEST | 3 |
| <u>Review History</u> | YES | BLDG-PLUMBING-PLAN REVIEW | 2/19/2025 | JAMES WEST | 3 |
| <u>Review History</u> | NA | BLDG-PLUMBING-PLAN REVIEW | 2/19/2025 | JAMES WEST | 3 |
| <u>Review History</u> | YES | DOCUMENT-PLUMBING | 2/19/2025 | JAMES WEST | 2 |
| <u>Review History</u> | YES | DOCUMENT-PLUMBING | 2/19/2025 | JAMES WEST | 2 |
| <u>Review History</u> | YES | BLDG-STRUCTURAL-PLAN REVIEW | 2/10/2025 | JOEL NEIBERG 954-921-3335 | 7 |
| <u>Review History</u> | YES | BLDG-STRUCTURAL-PLAN REVIEW | 2/10/2025 | JOEL NEIBERG 954-921-3335 | 7 |

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|------------------------------|-----|--|------------|--|---|
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| <u>Review History</u> | CA | BLDG-MECHANICAL-PLAN REVIEW | 2/6/2025 | REGIS KRAMER 954-980-2316 | 3 |
| <u>Review History</u> | CA | BLDG-MECHANICAL-PLAN REVIEW | 2/6/2025 | REGIS KRAMER 954-980-2316 | 3 |
| <u>Review History</u> | YES | BLDG-ELECTRICAL-PLAN REVIEW | 10/30/2024 | ROBERT JAMES | 3 |
| <u>Review History</u> | YES | BLDG-ELECTRICAL-PLAN REVIEW | 10/30/2024 | ROBERT JAMES | 3 |
| <u>Review History</u> | YES | BLDG-ELECTRICAL-PLAN REVIEW | 10/30/2024 | ROBERT JAMES | 3 |
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| <u>Review History</u> | YES | DOCUMENT-MECHANICAL | 8/28/2024 | REGIS KRAMER 954-980-2316 | 1 |
| <u>Review History</u> | NA | RESERVE WATER/SEWER CAPACITY REVIEW | 5/24/2024 | LEANDRO CASTELLANOS 954-921-3900 | 1 |

[Back to Application/Permit Data](#)

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A PERMIT CAN ONLY BE ISSUED WHEN ALL REVIEWS ARE DONE AND THERE ARE NO DENIALS (**NO**'s) IN THE STATUS.

A FINAL INSPECTION FOR A PERMIT CAN ONLY BE SCHEDULED WHEN ALL THE STATUSES ARE EITHER **YES** OR **N/A**.

Register for E-Mail Notifications

| | | | | | |
|----------------------------|------------------------|---------------------------|-------------------------|-----------------------------|----------------------------|
| New Search | Permit | Approvals | Reviews | Inspections | Contractor |
|----------------------------|------------------------|---------------------------|-------------------------|-----------------------------|----------------------------|

Permit Information

| | | |
|------------------------|-----------------------------|-----------------------|
| Process #: | Permit #: B24-102953 | Master Permit: |
| Status: APPLIED | | |

Plan Review Status

This screen shows the most current results for each type of review. A blank in the "Approved?" column indicates that the review is pending. To see previous results click "Review History" in the left column. To be able to schedule a Final Inspection, ALL the reviews (both current and the ones in the Review History) for each discipline must be a YES or N/A.

| <u>View</u> | <u>Approved?</u> | <u>Review</u> | <u>Date</u> | <u>Reviewer</u> | <u>Review Cycle</u> |
|--------------------------------|------------------|-------------------------|-------------|----------------------------|---------------------|
| Review History | YES | ENGINEERING-PLAN REVIEW | 4/16/2025 | JOE GEORGE 954-921-3900 | 8 |
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SURVEYOR'S REPORT :

1. MAP OF BOUNDARY SURVEY FOR:

922 S NORTHLAKE DRIVE,
HOLLYWOOD, FLORIDA 33029

2. LEGAL DESCRIPTION :

Lot 10, Block 65 of "HOLLYWOOD LAKE SECTION "; according to the Plat Thereof as Recorded in Plat Book 1 at Page 32 of the Public Record of Miami Dade County, Florida.

3. SOURCES OF DATA (HORIZONTAL CONTROL):

The North Arrow and Bearings as shown hereon are based of bearings value N87°54'27"E, along the center line of S. Northlake Drive; calculated from plat and determined by R.T.K. GPS and conventional survey methods.

4. ACCURACY :

The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.

5. SOURCES OF DATA (VERTICAL CONTROL):

FLOOD INFORMATION BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENT MANAGEMENT AGENCY. (NAVD88)

| F.I.R.M. date | Flood Zone | Base elevation | Community | Panel No. | Suffix | BM Used |
|---------------|------------|----------------|-----------|-----------|--------|---|
| 08-18-2014 | AE | 5.0' | 125113 | 0588 | H | BROWARD CO. B.M. 1915 EL. 1.677' Navd88 |

6. LIMITATIONS :

■ This survey was performed for the sole and exclusive benefit of the parties to whom it was certified, does not extend to any unnamed party. ■ Likewise, any reuse of this survey for any purpose other than which was originally intended, without the written permission of the undersigned surveyor, will be done so at the risk of the reusing party and without any liability to the undersigned surveyor. ■ Since no other information other than what is cited in the Sources of Data were furnished, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map or contained within this Report that may be found in the Public Records of County, or the records of any other public and private entities as their jurisdictions may appear. ■ Land shown hereon were not abstracted for easements and/or right-of-way of record except as shown on the Record Plat if any. ■ The Surveyor makes no representation as to ownership or possession of the Subject Property by any entities or individual who may appear of public record. ■ This survey may be subject to dedications, limitations, restrictions, reservations, encumbrances or easements of record the same that may not be noted or depicted hereon. ■ No improvements were located, other than those shown. ■ This survey does not purport to show ownership of walls and/ or fences along property lines. ■ Unless otherwise noted, this firm has not attempted to locate underground footings and/or foundations. ■ The elevations (if any) were measured to an estimated vertical positional accuracy of 1/10 foot for natural ground surfaces and 1/100 foot for hardscape surfaces, including pavement, curbs, sidewalks and other manmade structures. ■ Wall ties are to the face of the same. ■ Fence ties are from the nearest face of the same to the property line. ■ Public Records have not been researched by the surveyor to determined the accuracy of these descriptions nor have adjoining properties been researched to determine overlaps and hiatus. ■ The term "encroachment" encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land. ■ The survey depicted here is not covered by professional liability insurance. ■ Notice: Sunshine State One Call of Florida, Inc. must be contacted at least 48 hours in advance of any construction, excavation or demolition activity within, upon, abutting or adjacent to the Subject Property. Pursuant to Chapter 556.101-111 of the Fl. Statutes.

LEGEND:

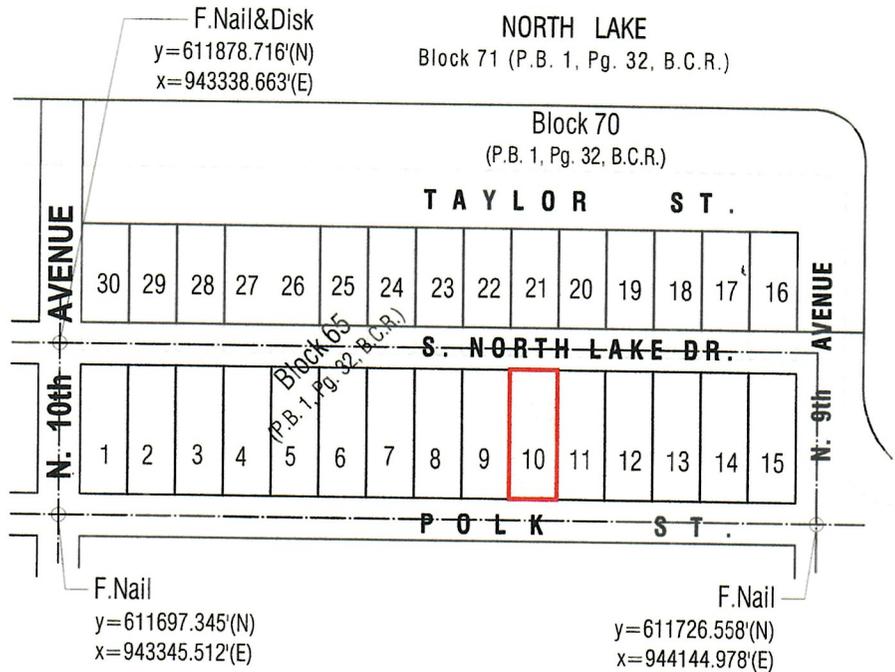
| | | | | |
|-------------------------------------|---------------------------------------|------------------------------------|---------------------|------------------------|
| A = arc distance | (G) = grid coordinate by gps | PRM = permanent reference monument | electric meter | board fence |
| ADJ = adjacent | G.F.F.=garage finish floor | R = radius distance | electric panel | CBS wall / fence |
| AE = anchor easement | HT = high (height) | (R) = record | emergency generator | chain link fence |
| BC = block corner | L.F.E. = lowest floor elevation | (Rad) = radial | X.XX' elevation | picket fence |
| BOB = basis of bearings | LE = landscape easement | R/W = right-of-way | fire hydrant | pre-cast fence |
| BM = bench mark | LME = lake maintenance easement | Sec = section | FPL box | wire fence |
| (C) = calculated | LS = land surveyor | S = south | gas meter | wooden fence |
| CBS = concrete block and stucco | (M) = measured distance | T = tangent | manhole | guard rail |
| ChB = chord & bearing | NA = not applicable | U.E. = utility easement | propane gas tank | base line |
| CME = canal maintenance easement. | NAVD=national american vertical datum | W = west | pool equipment | center line |
| ∅ = diameter | NGVD=national geodetic vertical datum | | pool water heater | monument line |
| D = central angle | N = north | | concrete power pole | no access right-of-way |
| FDH = found drill hole | NO ID=no identification | | wood power pole | overhead utility line |
| DE = drainage easement | NTS = not to scale | | light pole | property line |
| DME = drainage maintenance easement | OH = overhang | | storm flow | |
| E = east | ON PL= on property line | | valve | |
| Encr = encroachment | ORB = official record book | | water back flow | |
| FI = fence inside | O/S = offset | | water meter | |
| F.IP = found iron pipe | (P)=plat | | well & pump | |
| F.IR = found iron rebar | P.B. = plat book | | | covered |
| FO = fence outside | P.C. = point of curvature | | | roofed |
| F.Nail = found nail | PG = page | | | building |
| F.N&D = found nail and disk | PCP = permanent control point | | | asphalt |
| F.F.E. = finish floor elevation | POB = point of beginning | | | rock |
| | POC = point of commencement | | | tile |
| | PT = point of tangency | | | water |
| | | | | wooden |

CERTIFY TO : **NICLAS PIERRE.**

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps and Reports by other than the signing party are prohibited without the written consent of the signing party.

LOCATION SKETCH:

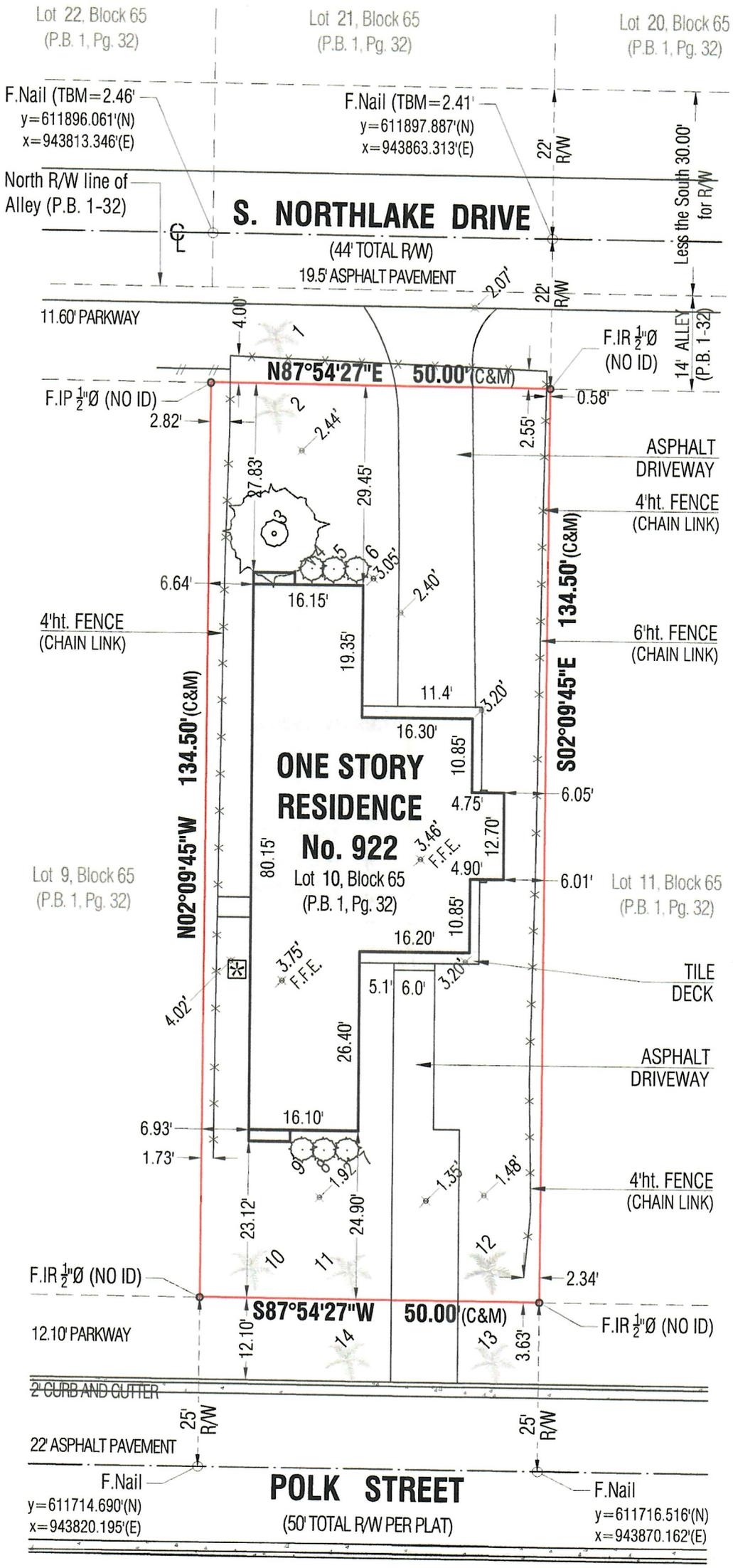
SCALE: N.T.S.





BOUNDARY SURVEY:

SCALE 1" : 20'



PRISMA LAND SURVEYORS LLC
 SURVEYOR AND MAPPERS LB. 8036
 north central and south florida

Date: 01-13-2025
 Job No. 25-13215F
 Sheet No. 2 of 3

8801 NW 176th Street, Miami Lakes, FL 33018
 P. 305_362_7926 P. 305_305_4143
 M. madelin @ surveyinflorida.com

By: 
Miguel J. Garay
 Professional Surveyor and Mapper
 No. 6594 State of Florida

SURVEYORS CERTIFICATE: I hereby certify: That this "Boundary and Topographic Survey" and Report resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary and Topographic Survey" meets the intent of the applicable provisions of the "Minimum Technical Standards for Land Surveying in the State of Florida", pursuant to Section 5J-17.050 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

DESIGN 2004 PRODUCTIONS LLC.

Lic 33980

Engineering Services

1955 Biscayne Blvd

Miami S, Fl. 33181

(305) 915-7625 Fax: (305) 620-0014

E-mail: d2004production@aol.com

6-2—2025

City Of Hollywood Building department

Dear Historic Preservation Board and Historic District Regulators,

INTRODUCTION.

I am writing to you regarding the property located at 922 S North Lake Drive, Hollywood, Florida 33019, with Property ID 514214022950. We wish to address Violation Number V23-19574 and the subsequent Permit Application B24-102953 aimed at correcting this violation.

It is important to note that the violation was identified following an official inspector's report concerning an interior renovation and a garage enclosure completed by the previous owner prior to the closing of the property sale. As such, the new owner has inherited this situation and is committed to rectifying the issue.

To resolve the violation, we have submitted the necessary correction plans to the Building Department, which is reflected in Permit Application B24-102953. We appreciate your attention to this matter and look forward to your guidance as we work to ensure compliance with all regulations.

ATT.Pierre Niclas .
OWNER

DESIGN 2004 PRODUCTIONS LLC.

Lic 33980

Engineering Services

1955 Biscayne Blvd

Miami S, Fl. 33181

(305) 915-7625 Fax: (305) 620-0014

E-mail: d2004production@aol.com

6-2—2025

City Of Hollywood Building department

Dear Historic Preservation Board and Historic District Regulators,

Re: Letter of Intent Regarding Application B24-102953

To Whom It May Concern,

We hereby formally inform you that our office has prepared the construction documents under Application Number B24-102953. These documents have received approval from all relevant disciplines, thus affirming that the proposed structure is sound and compliant with the Florida Building Codes 2023, 8 ed .

Furthermore, we would like to bring to your attention that Mr. Pierre Niclas executed the closing for this property on September 13, 2023. It is pertinent to note that this property has been duly registered with the Florida Room, designating the area of enclosure. Attached hereto as Figure 1, you will find evidence that a Florida Room was added in the tax year 2022.

Given that this property is situated within a historic district, we are committed to full compliance with the applicable regulations. It is important to note that 50% of the structure and its architectural elements—specifically the floor slab, columns, foundation, beams, roof cover, and outside storage—are existing and duly documented in official records. The enclosure consists of three walls and aligns with the definition of a carport enclosure, which constitutes a new structural element (specifically, new walls) that transforms it into a more secure and protected space. The existing carport functioned as a roofed yet unprotected outdoor area, which, due to its proximity to the ocean, fails to provide adequate shelter for vehicles.

We acknowledge that a uniform architectural style is not evident within this block; rather, the prevailing style can best be characterized as eclectic. We believe that the proposed enclosure represents a thoughtful enhancement, not only benefiting the immediate neighbors but also providing improved security compared to an open structure, particularly in light of exposure to wind and hurricanes. It is also important to observe

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that the architectural diversity within the block reflects different eras and cultural influences, contributing to a unique and timeless environment. Thus, this enclosure does not alter the existing urban characteristics.

In summary, based on the points previously mentioned, we respectfully request the approval and acceptance of our proposal by your esteemed Historic Preservation Board.

Thank you for your consideration.

Respectfully submitted.

Design 2004 Production LLC.

Armi j, Bustus CEO..

Carl R, Harrigan .PE

Gaby Santiago .Project manager.

Eduardo Juares RA. Supervisor.

Dolores Teran, Project Captain.

DESIGN 2004 PRODUCTIONS LLC

Lic. 33980

Engineering Services

12955 BISCAYNE BLVD

SUITE # 407

Miami FL 33181

P: (305) 915-7625 Fax: (305) 620-0014

E-mail: d2004production@aol.com

6-26-2025

City of Hollywood Building Department

Dear Historic Preservation Board and Historic District Regulators

Project address: 922 S NORTHLAKE DRIVE, HOLLYWOOD FL 33019

Application B24-102953 922

CERTIFICATE OF APPROPRIATENESS FOR DESIGN CRITERIA:

1. INTEGRITY OF LOCATION

The lot under revision is located in the Hollywood Lakes Historic District. The as-built addition to be legalized conforms with all the zoning requirements and HPB recommendations.

2. DESIGN

- Building Height: The existing building design is a one-story residence volume and has been maintained as is for the modifications made by the previous owner.
- Window Openings: The as-built addition to be legalized counts with large glass openings that facilitate the entrance of natural light and a seamless integration between the interior and exterior spaces maintaining the existing overhangs to help reduce direct sun exposure in all sides of the building.
- Roof: The as-built addition to be legalized has maintained the existing flat roof of the original carport and porch area without any alteration to maintain the original intent and design principles of the existing historically preserved structure.

3. **SETTINGS:** The current property is located between two (2) one story residences on South Northlake Dr. The as-built addition being legalized allows for open views from the living area to the surroundings maintaining privacy from the neighboring properties located in the west and east side. The as-built addition to the existing main structure consists in the enclosure of the existing covered porch and carport to create a bigger living area without affecting the existing footprint. All the remaining areas of the existing main structure configuration were maintained without any alteration to the exterior facade.

4. **MATERIAL:** The as-built addition to be legalized is composed of concrete foundations, wood walls, wood rafters and impact windows/ doors. The as-built addition maintains the same color pallet and stone finish to keep harmony with the existing building architectural style as well as with the surrounding properties.
5. **WORKMANSHIP:** the as-built addition to be Legalized has been completed in accordance with standards of quality and was carried out using materials that meet the standards in the area. We confirm that all finishes and structural components used were carefully selected to ensure durability, compliance and aesthetic appropriateness for the area. Particular attention was given to ensuring that the color palette, materials, and architectural design of the addition were in full compliance with the historical preservation requirements. Neutral tones and appropriate materials were utilized to ensure that the addition harmonizes seamlessly with the existing main structure and remains in character with the surrounding residences in the neighborhood.
6. **ASSOCIATION:** The as-built conditions of the addition at the subject property for the purpose of legalization do not detract from the original intent and design principles of this historically preserved structure. Specifically, the main structure has been preserved, including the original overhang, which serves to enhance the aesthetic and architectural integrity of the building. Additionally, the modifications made by the previous owner, which include the installation of large windows in the addition area, have significantly improved the overall style of the property maintaining harmony with the surrounding properties. To the best of our knowledge, the as-built addition is structurally sound and harmoniously blend with the existing residences in the area and we are confident that these enhancements contribute positively to the neighborhood's overall character. Should you have any questions or require further clarification regarding this submission, please do not hesitate to contact our office.

Respectfully submitted.

Design 2004 Productions LLC.

Armi J, Bustus. CEO.

Carl R, Harrigan. PE

Gaby Santiago. Project Manager

Eduardo Juarez. RA. Supervisor

Dolores Teran. Project Captain

Property Search Search Results Parcel Result

- Home
- Map
- Search
- Estimator
- Possibility
- Exemption
- Taxes
- Pictures

Previous Parcel

Copy Link New Search

Tax Year 2022

Property Summary

Property ID: 514214022080

Property Owner(s): COHEN, STEPHEN U EST

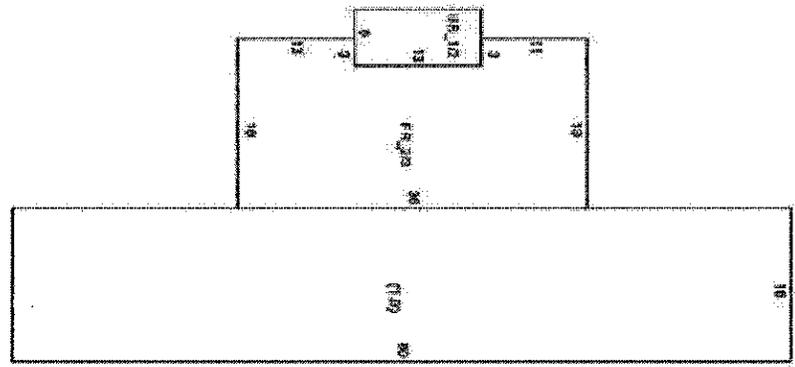
Mailing Address: 922 S NORTHLAKE DR HOLLYWOOD, FL 33019-1313
click here to update mailing address

Physical Address: 922 S NORTHLAKE DRIVE HOLLYWOOD, 33019

Neighborhood: Hollywood Lakes



Sketch: 514214022080
 Building: 1 of 1



1161

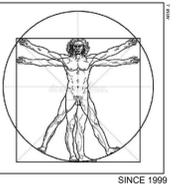
CORRECTION TO VIOLATION # V23-19574

OWNER:

PIERRE, NICLAS

922 S NORTHLAKE DRIVE, HOLLYWOOD FL 33019

PARCEL ID: 5142 14 02 2950



DESIGN 2004
PRODUCTIONS LLC
State of Florida
License No. 33980
CONSTRUCTION DOCUMENTS FIRM

12955 BISCAYNE BLVD
SUITE # 407
MIAMI, FLORIDA 33181

PH. (305)-915 7625
PH. (786)-955 9152

E-MAIL D2004PRODUCTION@AOL.COM

| REVISION | BY: |
|----------|-----|
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CORRECTION TO VIOLATION # V23-19574
INTERIOR REMODEL AND PATIO/CARPORT ENCLOSURE
OWNER:
PIERRE, NICLAS
922 S NORTHLAKE DRIVE, HOLLYWOOD FL 33019
PARCEL ID: 5142 14 02 2950

PROPERTY DATA

FBC 2023
FBC R 2023
TYPE OF CONSTRUCTION = V B
OCCUPANCY CLASSIFICATION = R3
ZONE DISTRICT CLASSIFICATION = RS-6
LEVEL OF ALTERATION = II

LEGAL DESCRIPTION:
LOT 10, BLOCK 65 OF " HOLLYWOOD LAKE SECTION", ACCORDING TO THE PLAT THEREOF AS RECORDED
IN PLAT BOOK 1 AT PAGE 32 OF THE PUBLIC RECORDS OF BROWARD CNTY, FL.

LOT AREA (AS PER BROWARD COUNTY RECORDS): 6,736.00 SQ FT
ADJ. BLDG AREA (AS PER BROWARD COUNTY RECORDS): 1,725.00 SQ FT

INDEX OF DRAWINGS

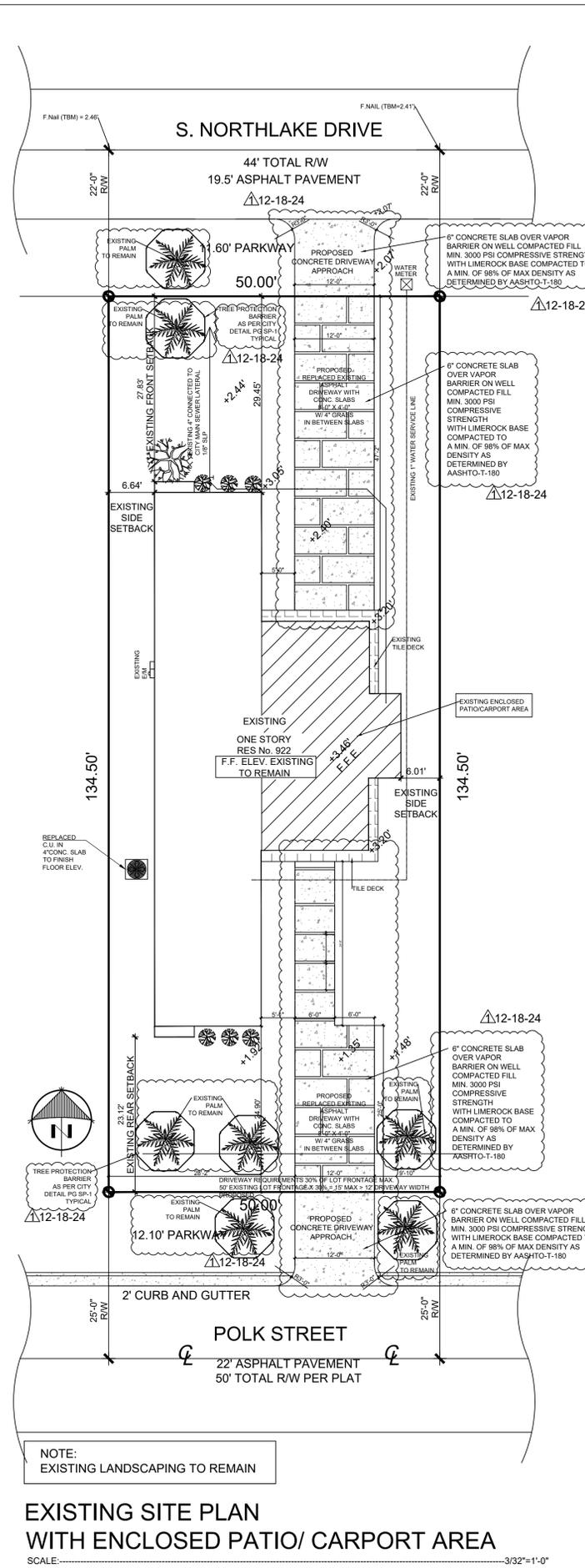
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DRAWN BY:
D2004 PRODUCTION LLC

SCALE:
AS SHOWN

DATE:
JUNE 2025

SHEET :
COVER



GENERAL NOTES

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE FBC 8TH EDITION - 2023
2. ALL CONTRACTORS SHALL VISIT THE JOB SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND THE EXTENT OF THE WORK BEFORE SUBMITTING A PROPOSAL.
3. ALL CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND IMMEDIATELY NOTIFY THE ENGINEER AND ENGINEERS OF ANY DISCREPANCIES BEFORE COMMENCING WORK. OR THE CONTRACTOR, BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. (DO NOT SCALE DRAWINGS)
4. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND SECURING THEIR REQUIRED PERMITS AS DEEMED APPROPRIATE TO ACHIEVE A SMOOTH AND FINISHED JOB.
5. ALL CONTRACTORS SHALL COORDINATE ALL WORK AMONGST THEMSELVES TO AVOID CONSTRUCTION TRADE CONFLICTS AND WORK SIMULTANEOUSLY TO ACHIEVE A SMOOTH AND FINISHED JOB.
6. ALL INTERIOR FINISHES TO BE AS INDICATED AT FINISH SCHEDULE (WHERE APPLICABLE)
7. ALL CONTRACTORS TO SUBMIT APPROPRIATE SHOP DRAWINGS (EMAIL IT TO OUR OFFICE.) PRODUCT DATA AND FINISH SAMPLES (FOUR) TO THE OFFICE ENGINEER FOR APPROVAL BEFORE INSTALLATION.
8. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THEIR WORK WHERE APPROPRIATE TO BE SET PLUMB LEVEL AND SQUARE, SCRIBED TIGHTLY AND ACCURATELY TO ADJACENT SURFACES, SECURELY ANCHORED IN THE POSITION INDICATED ON DRAWINGS AND APPROVED SHOP DRAWINGS.
9. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS RESULTING FROM THEIR WORK.
10. CONTRACTORS TO INSTALL ALL FINISH MATERIALS AS PER MANUFACTURERS SPECIFICATIONS, LOCAL CODES, FLORIDA BUILDING CODE 2023 AND IN ACCORDANCE WITH INDUSTRY STANDARDS AND GOOD CONTRACTING PRACTICE.
11. STRUCTURAL WOOD AND TIMBER FRAMING SHALL CONFORM TO THE "TIMBER CONSTRUCTION MANUAL" AS PUBLISHED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
12. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR STEEL SHALL BE PRESSURE TREATED. PROVIDE AN APPROVED MOISTURE VAPOR BARRIER BETWEEN THE CONCRETE OR OTHER CEMENTITIOUS MATERIALS AND THE WOOD AS REQUIRED AS PER APPLICABLE CODE.
13. BUILDER SHALL BE RESPONSIBLE FOR ADEQUATE SHORING / BRACING OF STRUCTURAL OR NONSTRUCTURAL MEMBERS DURING CONSTRUCTION.
14. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTINGS. IN ADDITION ALL WARRANTIES FOR APPLIANCES, FIXTURES, ROOF-MIN. 10YR, ETC.. SHALL BE SUBMITTED TO OWNER UPON COMPLETION.

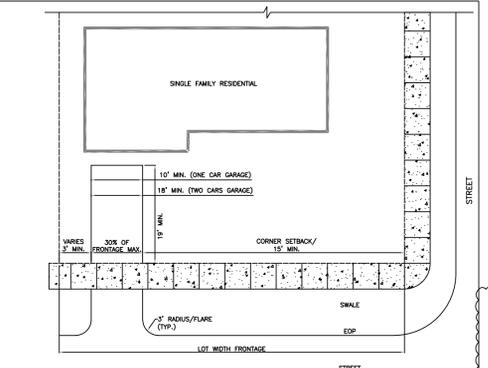
INTENT OF CONTRACT DOCUMENTS

IT IS THE INTENT OF THESE DRAWINGS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS TO DESCRIBE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE THE WORK CALLED FOR, INDICATED OR REASONABLY IMPLIED BY THEM, INCLUDING PARTITIONING; MECHANICAL AND ELECTRICAL WORK; AIR CONDITIONING AND ALL OTHER ITEMS DESCRIBED. FAILURE TO SHOW DETAILS OR REPEAT ON ANY DRAWINGS THAT FIGURES, NOTES OR DETAILS GIVEN ON ANOTHER DRAWING SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK (AT NO ADDITIONAL COST) AS IF SHOWN ON EACH AND EVERY DRAWING.

ALL WORK SHALL BE IN A FIRST CLASS WORKMANSHIP MANNER, NEAT AND COMPLETE IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS AND THE FLORIDA BUILDING CODE 2023, THE STATE ENERGY EFFICIENCY CODE AND ALL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL ENDEAVOR TO PROTECT THE OWNER'S AND ADJACENT OWNER'S PROPERTY FROM DAMAGE DUE TO THE CONSTRUCTION PROCESS AT ALL TIMES AND REPAIR AT NO COST TO THE OWNER ANY DAMAGE THAT DOES OCCUR.

CONTRACTOR SHALL ARRANGE FOR INSPECTIONS AND TESTS SPECIFIED OR REQUIRED BY THE CITY/COUNTY BUILDING DEPARTMENT AND SHALL PAY ALL FEES AND COSTS FOR THE SAME. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SECURE AND PAY FOR ALL PERMITS AND UPON COMPLETION OF THE WORK (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFIED CERTIFICATE OF OCCUPANCY FROM THE CITY/COUNTY BUILDING AND ZONING DEPARTMENT.

CONTRACTOR SHALL BE REQUIRED TO CARRY COMPREHENSIVE LIABILITY INSURANCE IN THE AMOUNT OF THE CONTRACT AND WORKMAN'S COMPENSATION INSURANCE AT HIS OWN EXPENSE



- NOTES:
1. ALL DRIVEWAY AND CURB CUTS SHALL BE IN ACCORDANCE WITH CITY OF HOLLYWOOD'S CODE OF ORDINANCES SECTION 155.08 AND 155.11.
 2. CURB CUTS IN RESIDENTIAL DISTRICTS SHALL NOT EXCEED A MAXIMUM TOTAL WIDTH OF 30% OF THE LOT DIMENSION WHERE THE CURB CUT IS PROPOSED AND MAY NOT EXCEED A WIDTH OF 24 FEET EXCEPT AS SET FORTH BELOW.
 - 2.1. A MINIMUM OF ONE 18 FOOT CURB CUT OR TWO TEN FOOT CURB CUTS MAY BE PERMITTED ON ALL RESIDENTIAL LOTS OR A MINIMUM OF ONE TEN FOOT AND ONE 18 FOOT CURB CUT FOR A RESIDENTIAL LOT SERVING A TWO CAR GARAGE/CARPORT.
 - 2.2. RESIDENTIAL DEVELOPMENTS OF FOUR UNITS OR LESS, PROVIDING ENCLOSED GARAGE FACILITIES, SHALL BE PERMITTED A MINIMUM CURB CUT OF NINE FEET SERVING A ONE CAR GARAGE AND 18 FEET SERVING A TWO CAR GARAGE, WITH A MINIMUM SIX FOOT SEPARATION BETWEEN CURB CUTS.
 - 2.3. CURB CUTS SERVING THREE CAR GARAGE FACILITIES MAY BE A MAXIMUM WIDTH OF 27 FEET SUBJECT TO COMPLIANCE WITH THE 30% TOTAL WIDTH CRITERIA.

| | | |
|--------------------|---|------------------|
| DESIGNED: MAY 2023 | DEPARTMENT OF DEVELOPMENT SERVICES | REVISION: - |
| DRAWN: EG | ENGINEERING, TRANSPORTATION & MOBILITY DESIGN | ISSUED: MAY 2023 |
| APPROVED: JG | SINGLE FAMILY RESIDENTIAL SINGLE DRIVEWAY | DRAWING NO: C-08 |



EXISTING FRONT ELEVATION FOR REFERENCE ONLY

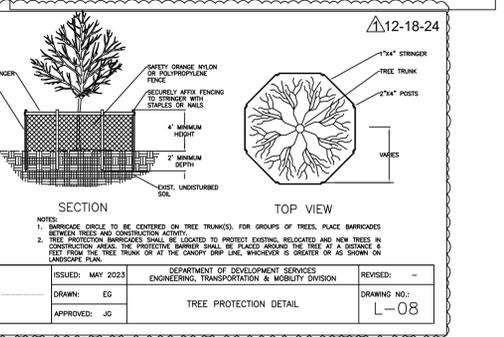
LOT AREA (AS PER BROWARD COUNTY RECORDS): 6,736.00 SQ FT

FOR REFERENCE EXISTING PROPERTY INFORMATION

| Property Summary | |
|--------------------|--|
| Property ID: | 514214022950 |
| Property Owner(s): | PIERRE, NICLAS |
| Mailing Address: | 5393 SW 186 WAY MIRAMAR, FL 33029 |
| Physical Address: | 922 S NORTHLAKE DRIVE HOLLYWOOD, 33019 |
| Neighborhood: | Hollywood Lakes |
| Property Use: | 01-01 Single Family |
| Millage Code: | 0513 |
| Adj. Bldg. S.F.: | 1725 Card/Permits |

| Setbacks At Ground Level | Requirements | Existing/Proposed |
|-----------------------------------|---|-------------------|
| Minimum Primary Frontage Setback: | 25.00 ft | 27.83' |
| Minimum Side Setback: | The sum of the side yard setbacks shall be at least 25% of the lot width, but not to exceed 50 ft. with no side yard less than 7.5 ft.; except, platted and recorded lots of 50 ft. or less in width may have a 5 ft. setback (only applies to one story additions and new construction of one story buildings). Any construction in excess of one story must meet the 25% rule with a minimum 7.5 ft. setback. | 6.01' 6.64' |
| Minimum Rear Setback: | 15% of the lot depth; 15 ft. min. 50 ft. max.; except Lots in the Lakes Area - For lots with a lot line adjacent to a lake, setback is 25 ft. | 23.12' |

CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS DESIGNS ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON: FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF DESIGN 2004 PRODUCTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS; CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.



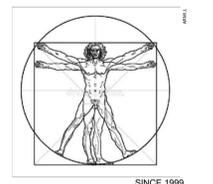
CORRECTION TO VIOLATION # V23-19574
SCOPE OF WORK - INTERIOR REMODEL AND PATIO/CARPORT ENCLOSURE:

- DEMOLITION:**
 - EXISTING (11) WINDOWS REMOVED
 - EXISTING (3) DOORS REMOVED
 - EXISTING KITCHEN DEMOLISHED
 - EXISTING PARTITION (NON-BEARING) DEMOLISHED AT EXISTING BATHROOM #1/CLOSET AREA, EXISTING KITCHEN AREA AND EXISTING STORAGE
 - PORTION OF EXISTING CBS WALL DEMOLISHED (EXISTING BEAM ABOVE TO REMAIN)
 - EXISTING (6) DOORS REPLACED
 - EXISTING (8) WINDOWS REPLACED
 - EXISTING BATHROOM #1 DEMOLISHED
 - EXISTING ELECTRICAL PANEL REMOVED
 - EXISTING WATER HEATER REMOVED
 - EXISTING A/C SYSTEM REMOVED
- BUILDING:**
 - NEW DRYWALL CEILING AT EXISTING LIVING ROOM, RENOV. KITCHEN, RENOV. BATH #1, NEW FAMILY ROOM AND NEW HALF BATH.
 - NEW INTERIOR PARTITION TO EXTEND EXISTING BATH #1, MASTER CLOSET AREA AND T.W.H CLOSET
 - EXISTING WINDOWS REPLACED BY NEW ONES
 - EXISTING DOORS REPLACED BY NEW ONES
 - EXISTING WINDOW OPENING BLOCKED UP
 - RENOVATED KITCHEN
 - RENOVATED BATH #1:
 - NEW EXTERIOR WALL 2X8 WOOD STUDS TO ENCLOSE EXISTING CARPORT/PATIO (NEW FAMILY ROOM AND NEW HALF BATH)
 - NEW INTERIOR PARTITION FOR NEW LAUNDRY CLOSET AT NEW HALF BATH AREA
 - NEW WINDOWS AND DOORS
- STRUCTURAL:**
 - NEW EXTERIOR WALL 2X8 WOOD STUDS
 - NEW CONCRETE SLAB AT ENCLOSED PATIO/CARPORT AREA
- MECHANICAL:**
 - EXISTING A/C SYSTEM REPLACED BY NEW ONE (4 TON)
 - NEW DISTRIBUTION BOX AND FLEXIBLE DUCTS FOR NEW FAMILY ROOM (EXISTING CARPORT/ PATIO ENCLOSED)
 - NEW EXHAUST FANS AT EXISTING BATHROOM #1, #2 AND NEW HALF BATH
 - NEW TRANSFER BARS AT EXISTING BEDROOMS
 - NEW DRYER EXHAUST DUCT
 - NEW CONDENSATE DRAIN FROM AHU
- ELECTRICAL:**
 - EXISTING ELECTRICAL PANEL RELOCATED (NEW BOX 32 SPACES)
 - RELOCATED ELECTRICAL FIXTURES AT RENOVATED KITCHEN
 - NEW HI-HATS AT EXISTING BEDROOMS, LIVING ROOM, RENOV. KITCHEN AND NEW FAMILY ROOM (ENCLOSED PATIO/CARPORT AREA)
 - NEW OUTDOOR LIGHTING (HI-HATS) AT PATIO/ CARPORT ENCLOSED AREA
 - NEW ELECTRICAL AT NEW HALF BATHROOM
 - NEW OUTDOOR OUTLETS AT PATIO/CARPORT ENCLOSED AREA
 - EXISTING A/C SYSTEM REPLACED BY NEW ONE
 - NEW SMOKE DETECTORS AT ALL BEDROOMS
- PLUMBING:**
 - NEW HALF BATH AT ENCLOSED PATIO/CARPORT AREA
 - EXISTING FIXTURES AT KITCHEN REPLACED BY NEW ONES (NO PIPING WORK)
 - EXISTING FIXTURES AT BATHROOM #1 REPLACED BY NEW ONES (NO PIPING WORK)
 - EXISTING WATER HEATER REPLACED BY NEW TANKLESS WATER HEATER (SAME LOCATION)
 - NEW CONDENSATE DRAIN FROM AHU
 - NEW WASHER

FLOOD ZONE INFORMATION:
FLOOD ZONE: "AE"
ELEVATION: 5.0'
ADDRESS: 922 S NORTHLAKE DR. HOLLYWOOD FL. 33019
LOT: 10 BLOCK: 65 PLAT BOOK: 1 PAGE: 32
HIGHEST CROWN OF THE ROAD ELEV.: _____ FT. N.G.V.D.
ELEVATION WAS TAKEN FROM THE ATTACHED CERTIFIED SURVEY, OR A ELEVATION CERTIFIED.
(SURVEY ATTACHED)

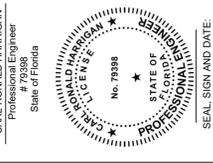


EXISTING LOCATION FOR REFERENCE ONLY



DESIGN 2004
PRODUCTIONS LLC
State of Florida
License No. 33980
CONSTRUCTION DOCUMENTS FIRM
12955 BISCAYNE BLVD
SUITE # 407
MIAMI, FLORIDA 33181
PH. (305)-915 7625
PH. (786)-955 9152
E-MAIL D2004PRODUCTION@AOL.COM

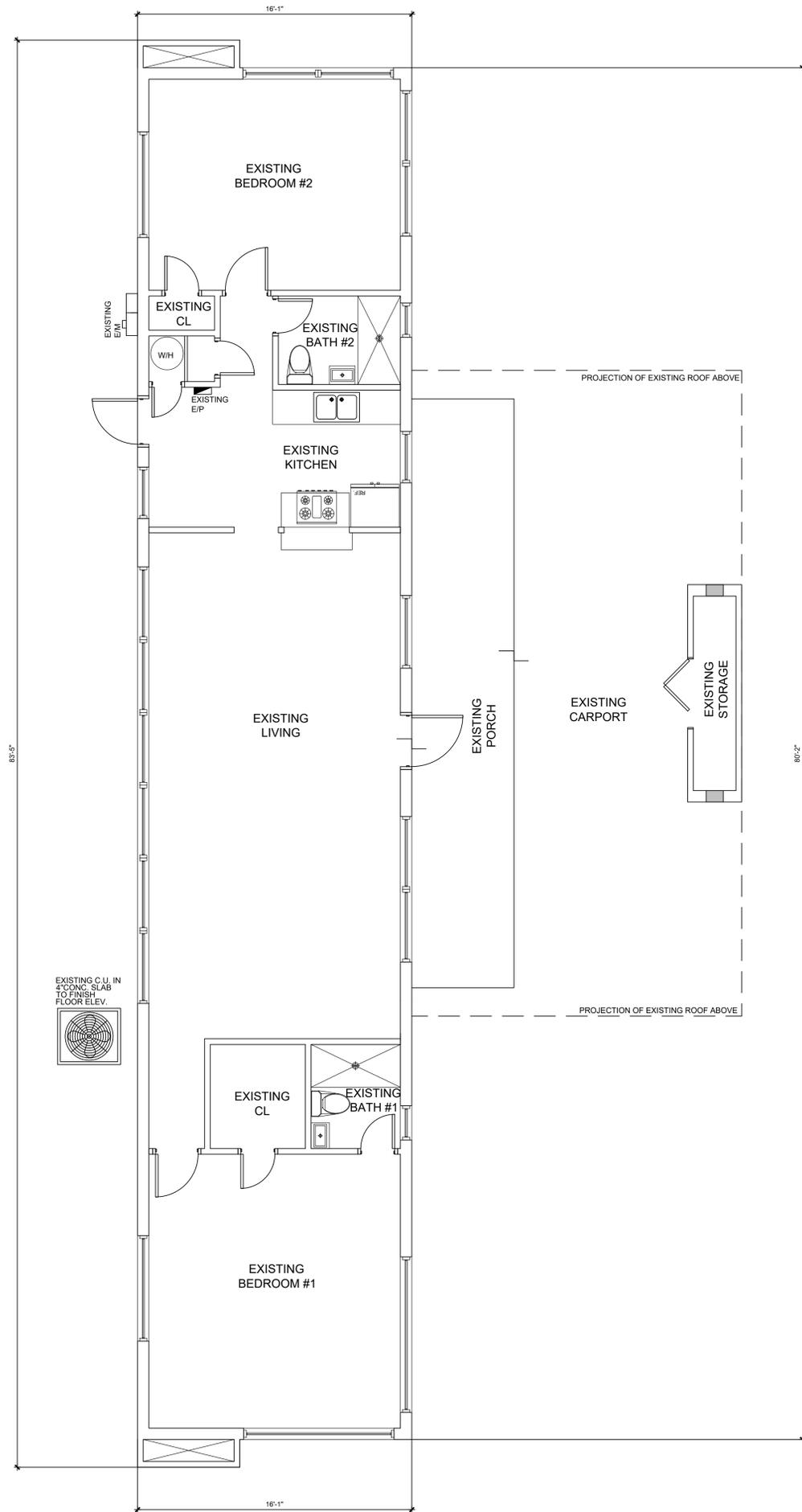
| REVISION | BY: |
|------------------------|-----|
| 12-18-24 B24-102963 | |



CORRECTION TO VIOLATION # V23-19574
INTERIOR REMODEL AND PATIO/CARPORT ENCLOSURE
OWNER:
PIERRE, NICLAS
922 S NORTHLAKE DRIVE, HOLLYWOOD FL 33019
PARCEL ID: 5142 14 02 2950

DRAWN BY:
D2004 PRODUCTION LLC
SCALE:
AS SHOWN
DATE:
JUNE 2025
SHEET : 1 OF 5

SP-1



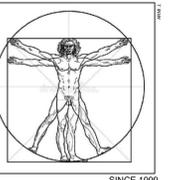
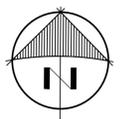
| WALL LEGEND | |
|-------------|---------------------------|
| | EXISTING EXTERIOR WALL 8" |
| | EXISTING INTERIOR WALL 8" |

EXISTING FLOOR PLAN

(BEFORE WORK PERFORMED WITHOUT PERMIT)
FOR REFERENCE ONLY

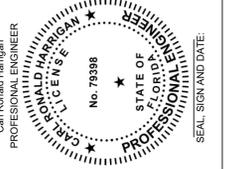
SCALE:-----1/4"=1'-0"

CORRECTION TO VIOLATION # V23-19574



DESIGN 2004
PRODUCTIONS LLC
State of Florida
License No. 33980
CONSTRUCTION DOCUMENTS FIRM
12955 BISCAYNE BLVD
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E-MAIL D2004PRODUCTION@AOL.COM

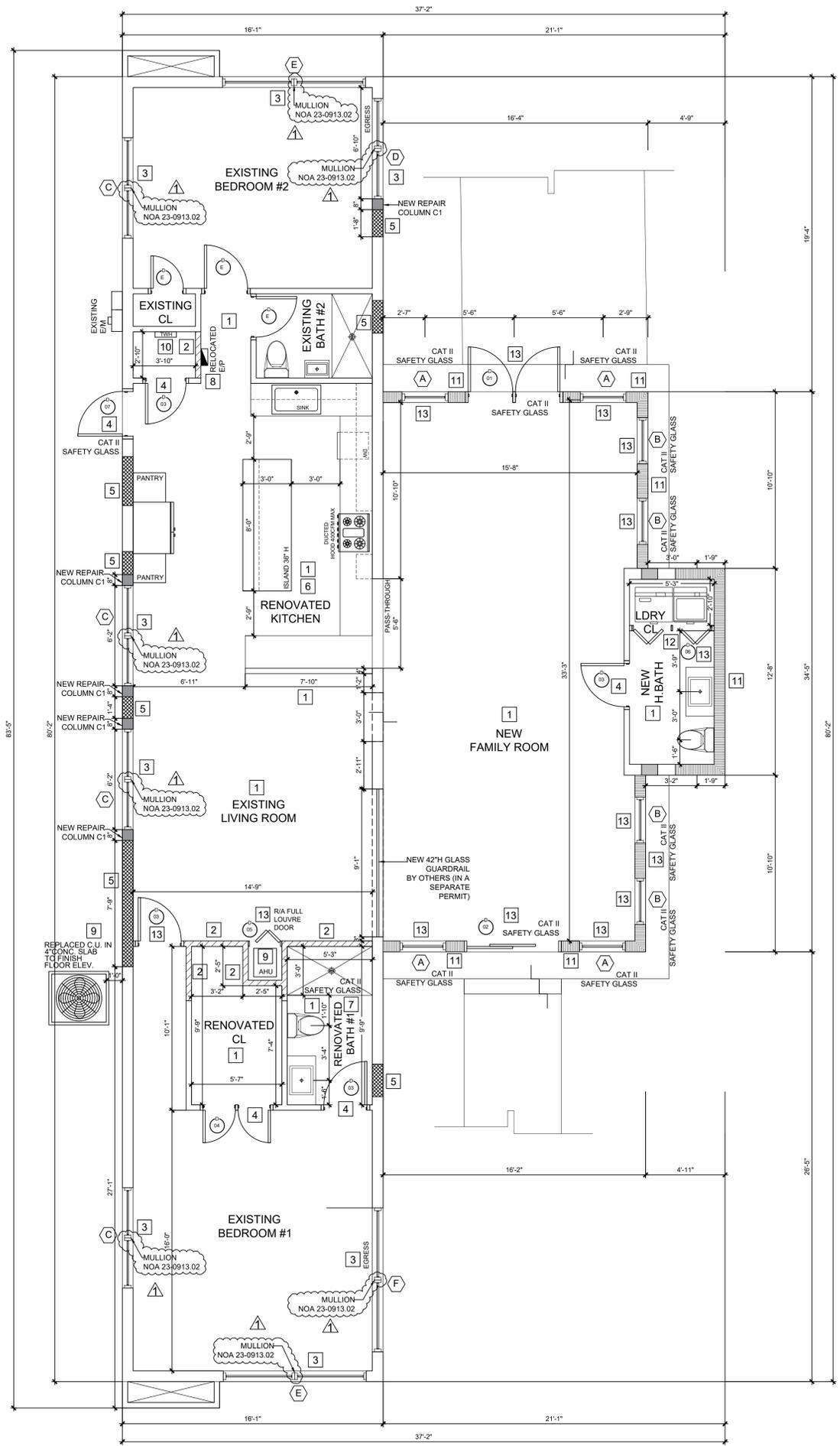
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CORRECTION TO VIOLATION # V23-19574
INTERIOR REMODEL AND PATIO/CARPORT ENCLOSURE
OWNER:
PIERRE, NICLAS
922 S NORTHLAKE DRIVE, HOLLYWOOD FL 33019
PARCEL ID: 5142 14 02 2950

DRAWN BY:
D2004 PRODUCTION LLC
SCALE:
AS SHOWN
DATE:
JUNE 2025

SHEET : 2 OF 5
A-01



R311.2 EGRESS DOOR.
 NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES (813 MM) WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD). THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

WINDOWS
R310.2.1 MINIMUM SIZE.
 EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 M2). THE MINIMUM NET CLEAR OPENING FOR GRADE-FLOOR EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE 5 SQUARE FEET (0.465 M2).

R310.2.2 MINIMUM DIMENSIONS.
 THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING.

R310.2.3 MAXIMUM HEIGHT FROM FLOOR.
 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) ABOVE THE FLOOR.

NOTE:
 ALL WINDOWS, DOORS AND/OR ANY OTHER COMPONENTS INSTALLATION SHALL BE IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS SET FORTH IN THE APPROVED PRODUCT CONTROL APPROVAL.

PRODUCTS APPROVAL NOTE:
 ALL PRODUCTS APPROVAL TO BE APPROVED BY ENGINEER/ARCH/ BUILDING DEPARTMENT PRIOR TO INSTALLATION

**CORRECTION TO VIOLATION # V23-19574
 SCOPE OF WORK - INTERIOR REMODEL AND PATIO/CARPORT ENCLOSURE:**

- * BUILDING**
- 1 NEW DRYWALL CEILING AT EXISTING LIVING ROOM, RENOV. KITCHEN, RENOV. BATH #1, NEW FAMILY ROOM AND NEW HALF BATH.
 - 2 NEW INTERIOR PARTITION TO EXTEND EXISTING BATH #1, MASTER CLOSET AREA AND T.W.H CLOSET
 - 3 EXISTING WINDOWS REPLACED BY NEW ONES
 - 4 EXISTING DOORS REPLACED BY NEW ONES
 - 5 EXISTING WINDOW OPENING BLOCKED UP
 - 6 RENOVATED KITCHEN
 - NEW CABINETRY
 - RANGE, D.W AND REFRIGERATOR RELOCATED
 - EXISTING SINK REPLACED BY NEW ONE (NO PIPING WORK)
 - NEW ISLAND 8'-0"X3'-0"
 - 7 RENOVATED BATH #1:
 - EXISTING TOILET AND VANITY REPLACED BY NEW ONE (NO PIPING WORK)
 - EXISTING SHOWER PAN EXTENDED AND REPLACED BY NEW ONE (SAME LOCATION)
 - 8 EXISTING ELECTRICAL PANEL RELOCATED
 - 9 EXISTING A/C SYSTEM REPLACED BY NEW ONE
 - 10 EXISTING WATER HEATER REPLACED BY NEW TANKLESS WATER HEATER (SAME LOCATION)
 - 11 NEW EXTERIOR WALL 2X8 WOOD STUDS TO ENCLOSE EXISTING CARPORT/PATIO (NEW FAMILY ROOM AND NEW HALF BATH)
 - 12 NEW INTERIOR PARTITION FOR NEW LAUNDRY CLOSET AT NEW HALF BATH AREA
 - 13 NEW WINDOWS AND DOORS

FLOOR PLAN (AS BUILT)
 SCALE: 1/4"=1'-0"
CORRECTION TO VIOLATION # V23-19574

DOOR SCHEDULE

| MARK | DESCRIPTION | SIZE | | | MATERIAL | | REQUIRED PRESSURE POS/NEG | PRODUCT APPROVAL | REMARKS |
|------|---|--------|-------|--------|----------|-------|---------------------------|------------------|---------------------|
| | | W | H | T | DOOR | FRAME | | | |
| 10 | DOUBLE GLASS DOOR | 6'-0" | 6'-6" | 1 3/4" | GLASS | METAL | 34.48 PSF -37.69 PSF | NOA 23-0928.28 | CAT II SAFETY GLASS |
| 11 | SLIDING GLASS DOOR | 5'-10" | 6'-6" | 1 3/4" | GLASS | METAL | 34.88 PSF -38.09 PSF | NOA 23-0620.12 | CAT II SAFETY GLASS |
| 12 | H.C DOOR | 2'-8" | 6'-8" | 1 3/4" | WOOD | WOOD | | | |
| 13 | DOUBLE H.C DOOR | 4'-0" | 6'-8" | 1 3/4" | WOOD | WOOD | | | |
| 14 | BI-FOLD (R/A FULL LOUVRE DOOR) | 2'-0" | 6'-8" | 1 3/4" | WOOD | WOOD | | | |
| 15 | DOUBLE BI-FOLD DOOR (FULL LOUVRE DOOR AS MUA) | 5'-0" | 6'-8" | 1 3/4" | WOOD | WOOD | | | |
| 16 | OUTSWING GLASS DOOR | 3'-0" | 6'-8" | 1 3/4" | WOOD | WOOD | 36.19 PSF -39.40 PSF | NOA 23-0928.28 | CAT II SAFETY GLASS |
| 17 | EXISTING DOOR | | | | | | | | |

NOTE:
 1- MINIMUM 0.25 SHGC AND 0.75 U-FACTOR FOR THE DOOR GLASS
 2- EXTERIOR DOORS PROVIDE IMPACT RESISTANT GLAZING AT ALL DOORS. SHUTTERS ARE NOT REQUIRED

WINDOW SCHEDULE

| MARK | DESCRIPTION | SIZE | | SIZE (R.O.) | | MATERIAL | REQUIRED PRESSURE POS/NEG | PRODUCT APPROVAL | REMARKS |
|------|-------------|------|-----|-------------|-----|----------|---------------------------|------------------|---------------------|
| | | W | H | W | H | | | | |
| A | FIXED | 34" | 76" | 35" | 77" | ALUMINUM | 37.29 PSF -49.92 PSF | NOA 21-0628.13 | CAT II SAFETY GLASS |
| B | FIXED | 34" | 61" | 35" | 62" | ALUMINUM | 37.72 PSF -50.38 PSF | NOA 21-0628.13 | CAT II SAFETY GLASS |
| C | (2) S.H. | 74" | 26" | 75" | 27" | ALUMINUM | 37.13 PSF -40.34 PSF | FL# 30344.1 | |
| D | (2) S.H. | 74" | 51" | 75" | 52" | ALUMINUM | 35.48 PSF -45.91 PSF | FL# 30344.1 | |
| E | (2) S.H. | 106" | 38" | 107" | 39" | ALUMINUM | 37.11 PSF -49.17 PSF | FL# 30344.1 | |
| F | (2) S.H. | 106" | 50" | 107" | 51" | ALUMINUM | 36.38 PSF -47.72 PSF | FL# 30344.1 | |

NOTE:
 1- MINIMUM 0.25 SHGC AND .75 U-FACTOR FOR THE WINDOW GLASS
 2- EGRESS WINDOWS AS MEANS OF ESCAPE AND RESCUE OPENING SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS WITH A MINIMUM NET OPENING OF 5.7 SQ. FT., BEING THE MINIMUM NET CLEAR OPENING HEIGHT 24 INCHES AND THE MINIMUM NET CLEAR OPENING WIDTH 20 INCHES, EXCEPT AT GRADE FLOOR OPENINGS WHERE SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ. FT. TO COMPLY WITH FBC R 310.2.1 THROUGH R 310.2.3.
 3- ALL FIXED GLASS TO COMPLY W/ FBC 2023 R308.4.1, R308.4.2 AND R308.4.3
 4- ALL GLAZING TO BE CLEAR AND FRAMES WITH WHITE E.S.P. FINISH. PROVIDE TRANSLUCENT, TEMPERED SAFETY GLASS, CAT. II AT BATHROOM WINDOWS ONLY

NOTE: ALL GLAZING MATERIAL LARGER THAN 9 SQ. FT. MUST BE CATEGORY II SAFETY GLASS TO COMPLY WITH 2023 FBC 2406.2. REFER TO TABLE 2406.2 (1), MINIMUM CATEGORY CLASSIFICATION OF GLAZING USING CPSC 16 CFR PART 1201, AND TABLE 2406.2 (2), MINIMUM CATEGORY CLASSIFICATION OF GLAZING USING ANSI Z97.1

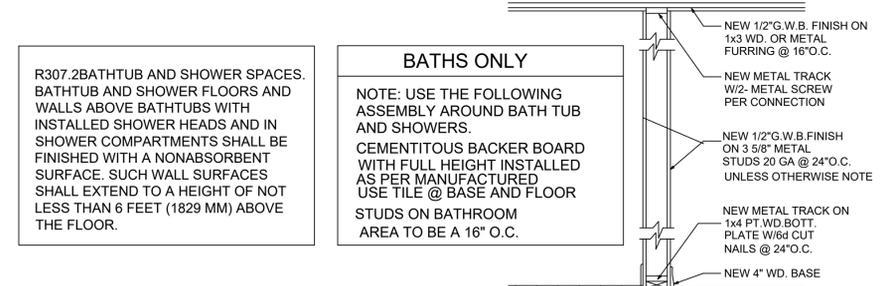
FINISH SCHEDULE

| ROOM | AREA | FLOOR | WALL | CEILING |
|----------------------|------|--------------|------------------------------------|-------------------------|
| BATHROOMS | | CERAMIC TILE | TILE | PAINTED DRYWALL CEILING |
| BEDROOMS | | CERAMIC TILE | PAINTED OVER SMOOTH GYP BD. FINISH | PAINTED DRYWALL CEILING |
| CLOSETS | | CERAMIC TILE | PAINTED OVER SMOOTH GYP BD. FINISH | PAINTED DRYWALL CEILING |
| HALF BATHROOM | | CERAMIC TILE | TILE | PAINTED DRYWALL CEILING |
| FAMILY ROOM | | CERAMIC TILE | PAINTED OVER SMOOTH GYP BD. FINISH | PAINTED DRYWALL CEILING |
| LIVING ROOM/ KITCHEN | | CERAMIC TILE | PAINTED OVER SMOOTH GYP BD. FINISH | PAINTED DRYWALL CEILING |

R302.9.1 FLAME SPREAD INDEX.
 WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.

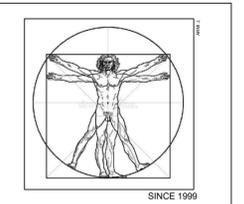
R302.9.2 SMOKE-DEVELOPED INDEX.
 WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450

R302.10.1 INSULATION.
 INSULATING MATERIALS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION. THEY SHALL EXHIBIT A FLAME SPREAD INDEX NOT TO EXCEED 25 AND A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHERE TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723. INSULATING MATERIALS, WHERE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS SECTION, SHALL INCLUDE FACINGS, WHERE USED, SUCH AS VAPOR RETARDERS, VAPOR-PERMEABLE MEMBRANES AND SIMILAR COVERINGS.



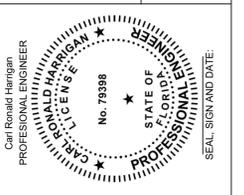
WALL LEGEND

| | | | |
|--|---------------------------|--|---|
| | EXISTING EXTERIOR WALL 8" | | NEW EXTERIOR WALL 2X8 WOOD STUDS. |
| | EXISTING INTERIOR WALL 8" | | NEW INTERIOR PARTITION (2'X 3 5/8" STEEL STUDS @24" O.C.) WITH 1/2" GYPSUM BOARD EACH SIDE) |



DESIGN 2004 PRODUCTIONS LLC
 State of Florida License No. 33980
 CONSTRUCTION DOCUMENTS FIRM
 12955 BISCAYNE BLVD SUITE # 407
 MIAMI, FLORIDA 33181
 PH. (305)-915 7625
 PH. (786)-955 9152
 E-MAIL D2004PRODUCTION@AOL.COM

| REVISION | BY: |
|----------|-----|
| 12-18-24 | |

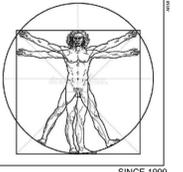


**CORRECTION TO VIOLATION # V23-19574
 INTERIOR REMODEL AND PATIO/CARPORT ENCLOSURE**

OWNER: PIERRE, NICLAS

922 S NORTHLAKE DRIVE, HOLLYWOOD FL 33019
 PARCEL ID: 5142 14 02 2950

DRAWN BY: D2004 PRODUCTION LLC
 SCALE: AS SHOWN
 DATE: JUNE 2025
 SHEET : 3 OF 13
A-02



DESIGN 2004
 PRODUCTIONS LLC
 State of Florida
 License No. 33980
 CONSTRUCTION DOCUMENTS FIRM
 12955 BISCAYNE BLVD
 SUITE # 407
 MIAMI, FLORIDA 33181
 PH. (305)-915 7625
 PH. (786)-955 9152
 E-MAIL D2004PRODUCTION@AOL.COM

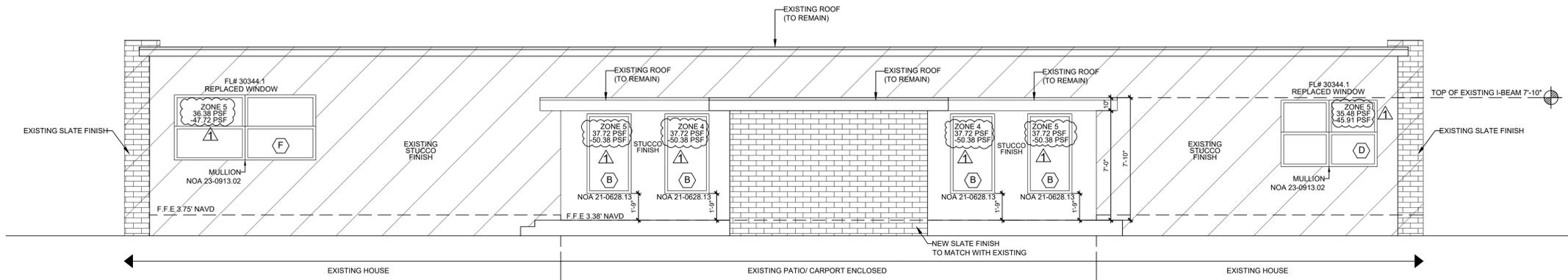
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| 12-18-24 | |
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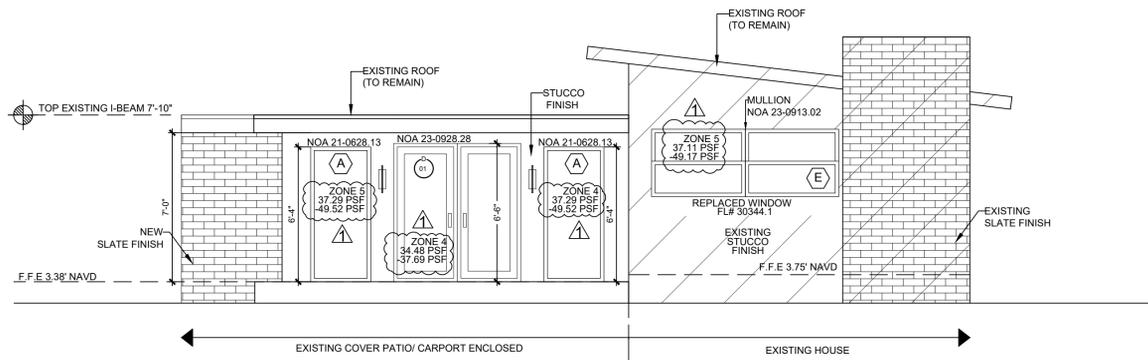
CORRECTION TO VIOLATION # V23-19574
 INTERIOR REMODEL AND PATIO/CARPORNT ENCLOSURE
 OWNER:
PIERRE, NICLAS
 922 S NORTHLAKE DRIVE, HOLLYWOOD FL 33019
 PARCEL ID: 5142 14 02 2950

DRAWN BY:
 D2004 PRODUCTION LLC
 SCALE:
 AS SHOWN
 DATE:
 JUNE 2025
 SHEET : 4 OF 5

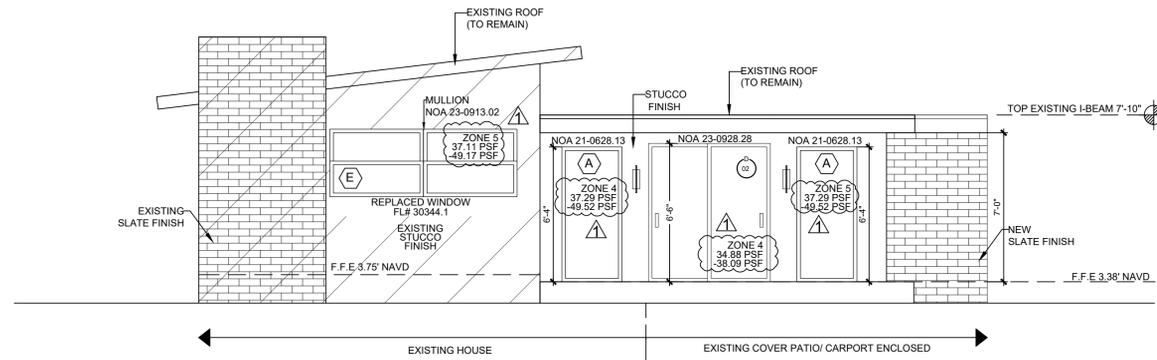
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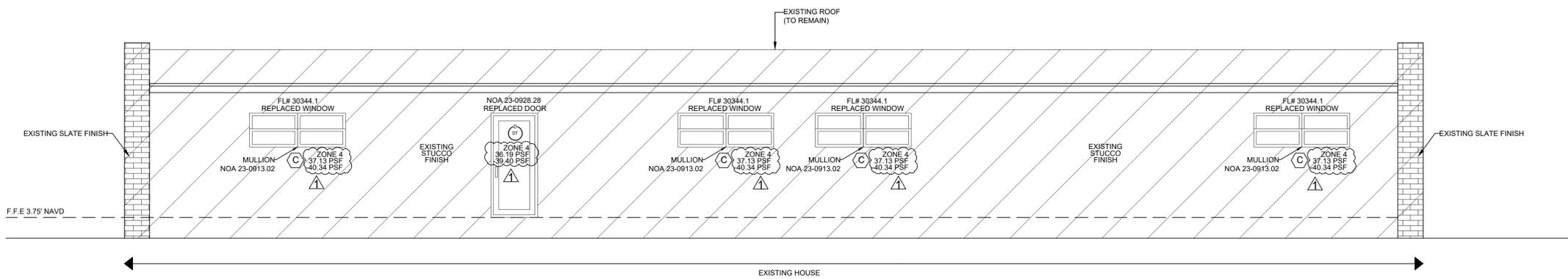
**EXISTING EAST (SIDE) ELEVATION
 WITH CARPORT/ PATIO ENCLOSED**
 SCALE: 1/4"=1'-0"



**EXISTING NORTH (FRONT) ELEVATION
 WITH CARPORT/ PATIO ENCLOSED**
 SCALE: 1/4"=1'-0"



**EXISTING SOUTH (REAR) ELEVATION
 WITH CARPORT/ PATIO ENCLOSED**
 SCALE: 1/4"=1'-0"



EXISTING WEST (SIDE) ELEVATION
 SCALE: 1/4"=1'-0"

CONTEXT MAP

SHOWING ADJACENT PROPERTIES TO 922 S NORTH LAKE DR



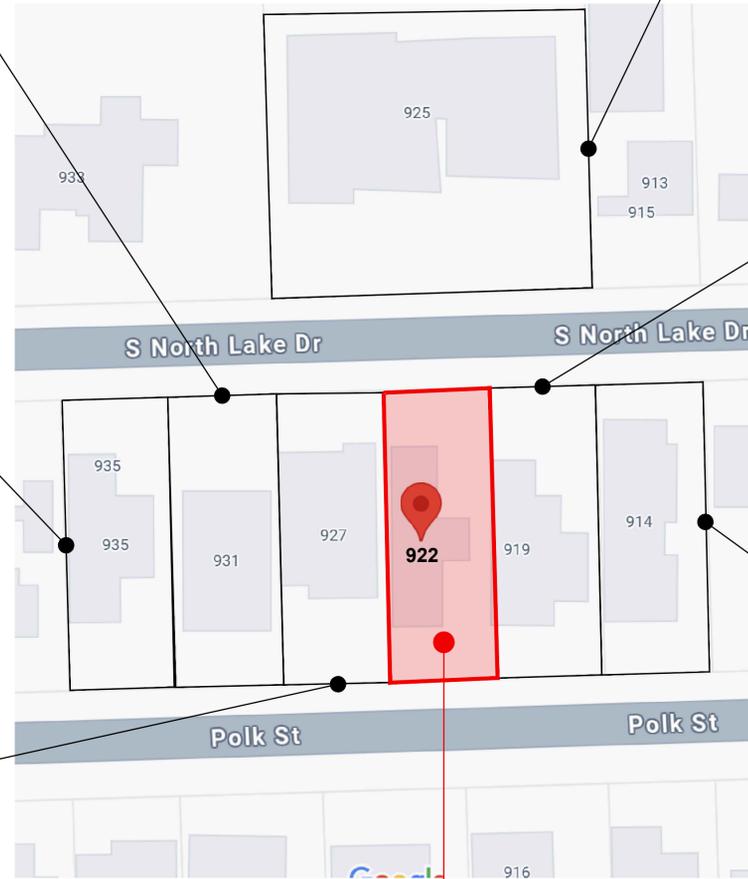
931 S NORTH LAKE DR



935 S NORTH LAKE DR



927 POLK ST



925 S NORTH LAKE DR



919 POLK ST

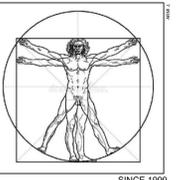


914 POLK ST



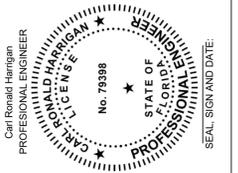
922 S NORTH LAKE DR
(PROPERTY UNDER CORRECTION TO VIOLATION # V23-19574)

(PHOTO TAKEN FROM BROWARD COUNTY PROPERTY APPRAISER RECORDS)
EXISTING CONDITION. YEAR: 2024



DESIGN 2004
PRODUCTIONS LLC
State of Florida
License No. 33980
CONSTRUCTION DOCUMENTS FIRM
12955 BISCAYNE BLVD
SUITE # 407
MIAMI, FLORIDA 33181
PH. (305)-915 7625
PH. (786)-955 9152
E-MAIL D2004PRODUCTION@AOL.COM

| REVISION | BY: |
|----------|-----|
| | |
| | |
| | |
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| | |



CORRECTION TO VIOLATION # V23-19574
 INTERIOR REMODEL AND PATIO/CARPORT ENCLOSURE
 OWNER:
 PIERRE, NICLAS
 922 S NORTHLAKE DRIVE, HOLLYWOOD FL 33019
 PARCEL ID: 5142 14 02 2950

DRAWN BY:
D2004 PRODUCTION LLC
SCALE:
AS SHOWN
DATE:
JUNE 2025

SHEET : 5 OF 5
A-04

CODES COMPLIANCE

2023 FLORIDA BUILDING CODE, BUILDING, 8th EDITION
2023 FLORIDA BUILDING CODE, RESIDENTIAL, 8th EDITION
2023 FLORIDA TEST PROCOIS FOR HIGH-VELOCITY HURRICANE ZONE, 8th EDITION
2023 FLORIDA BUILDING CODE, ACCESSIBILITY 8th EDITION
2023 FLORIDA BUILDING CODE, ENERGY CONSERVATION 8th EDITION
2023 FLORIDA BUILDING CODE, PLUMBING, 8th EDITION
2023 FLORIDA BUILDING CODE, MECHANICAL, 8th EDITION
2023 FLORIDA BUILDING CODE, 8th EDITION
2023 FLORIDA BUILDING CODE, EXISTING BUILDING, 8th EDITION
2023 FLORIDA BUILDING CODE, PLUMBING, 8TH EDITION
2023 FLORIDA BUILDING CODE, RESIDENTIAL, 8TH EDITION
2023 FLORIDA BUILDING CODE, ENERGY CONSERVATION, 8TH EDITION
FLORIDA FIRE PREVENTION CODE IN EFFECT 1/1/21 AS REQUIRED BY CHAPTER 633.202, FLORIDA STATUTES

THIS IS ALTERATION # 1
WIND CODE IS ASCE 7
EXPOSURE CATEGORY: C
BASE WIND SPEED: 170 MPH 3 SECOND GUST
RISK CATEGORY 2
WIND IMPORTANCE FACTOR: 1.21.

CONSTRUCTION CLASSIFICATION: TYPE 5B UNPROTECTED
USE: RESIDENTIAL, (PROPOSED USE: RESIDENTIAL) R2

ALL WOOD USE IN THIS CONSTRUCTION SHALL HAVE AN MOISTURE CONTENT OF 19% OR LESS

ALL STEEL USE IN THIS CONSTRUCTION SHALL BE GRADE 60

ULTIMATE DESIGN WIND SPEED, (3-SECOND GUST)= 170 MILES PER -HOUR
NORMINAL DESIGN WIND SPEED = 136 Vasd AS DETERMINED IN ACCORDANCE WITH SECTION 1609.3.1
WIND EXPOSURE = "C"
SEISMIC DESIGN CATEGORY AND SITE CLASS =
FLOOD DESIGN DATA, IF LOCATED IN FLOOD HAZARD AREAS ESTABLISHED IN SECTION 1612.3 =

COMPRESSIVE STRENGTH OF ALL CONCRETE = 2,500 P.S.I. AT 28 DAYS
THE SPECIFIED STRENGTH OR GRADE OF REINFORCEMENT = GRADE 60

Vult 100 110 120 130 140 150 160 170 180 190 200
Vasd 78 85 93 101 108 116 124 132 139 147 155

DONALD J ARPIN
Digitally signed by DONALD J ARPIN
Date: 2025.09.11 17:48:00 -04'00'

AGK LLC
Engineering
4920 N. Dixie Hwy.
Oakland Park, FL 33334
954-772-8345
COA26073
LIC: # 28565

RANDOLPH ROBINSON C.E.O., INC.
P.O. BOX 670741
CORAL SPRINGS, FL. 33067
LICENSE # CBC1251292
PHONE (561) 578-3046

NICLAS PIERRE
HOUSE RENOVATION
922 S. NORTHLAKE DRIVE
HOLLYWOOD, FL 33019
(305) 297-5395

N-1

OF

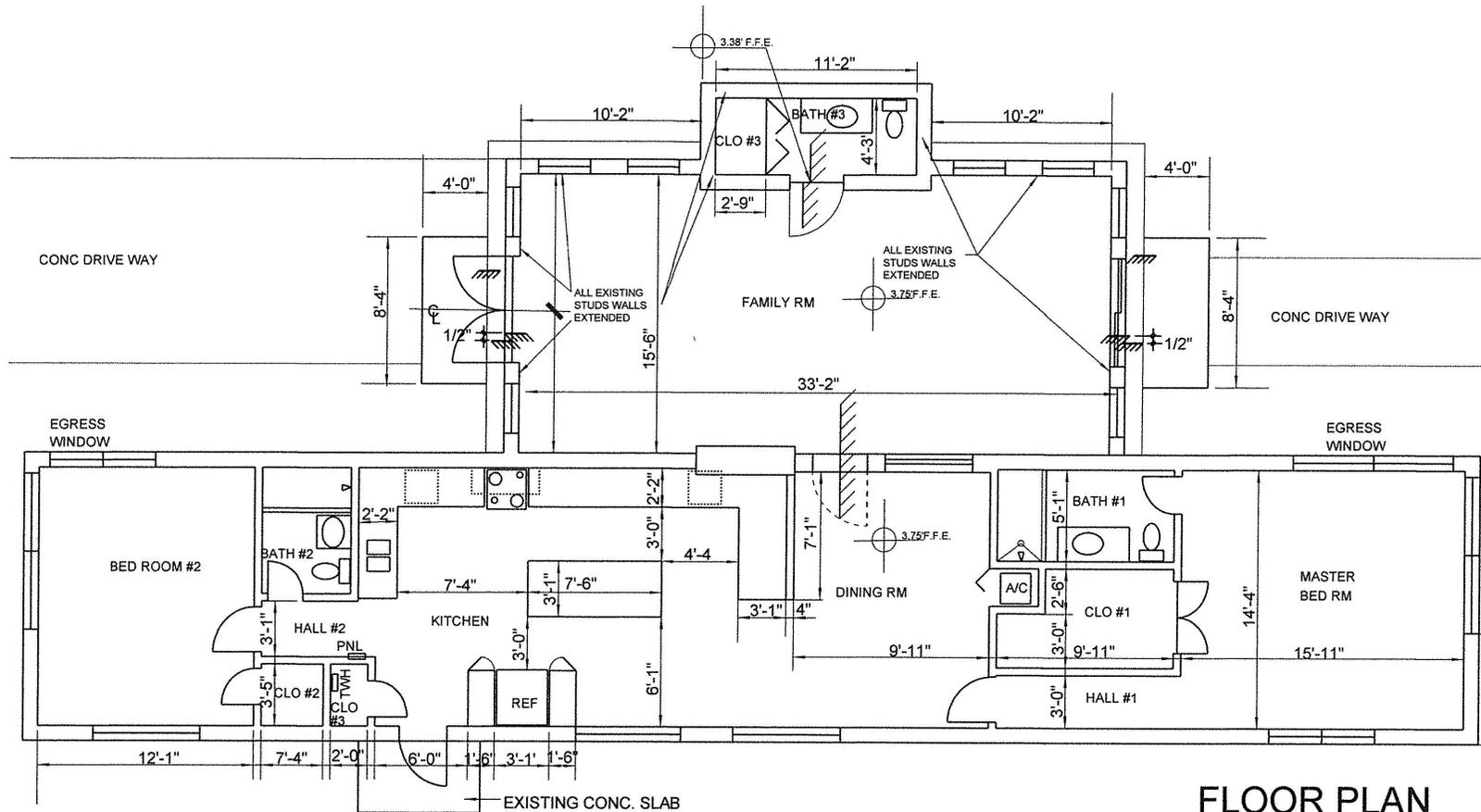
1

SCOPE OF WORK:

- 1) EXISTING FLOOR ELEVATION RAISED
- 1) EXISTING ROOF ELEVATION RAISED

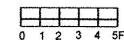
DONALD J ARPIN Digitally signed
 by DONALD J ARPIN
 Date: 2025.09.11 17:48:24 -04'00'

AGK LLC
 Engineering
 4920 N. Dixie Hwy.
 Oakland Park, FL 33334
 954-772-8345
 C0A26073
 LIC: # 28585



FLOOR PLAN

SCALE: 1/8"=1'-0"



RANDOLPH ROBINSON C.E.O., INC.
 P. O. BOX 670741
 CAROL SPRINGS, FLORIDA 33067
 LICENSE # CBC1251292 & PX2381
 PHONE (561) 578-3046

NICLAS PIERRE
 HOUSE RENOVATION
 922 S. NORTHLAKE DRIVE
 HOLLYWOOD, FL 33019
 (305) 297-5395

A402A
 OF
 6

REVISION 8/11/2025

**DON
ALD J
ARPIN** Digitally signed
by DONALD J
ARPIN
Date:
2025.09.11
17:48:38 -04'00'

AGK LLC
Engineering
4920 N. Dixie Hwy.
Oakland Park, FL 33334
954-772-8345
C0A26073
LIC: # 28585

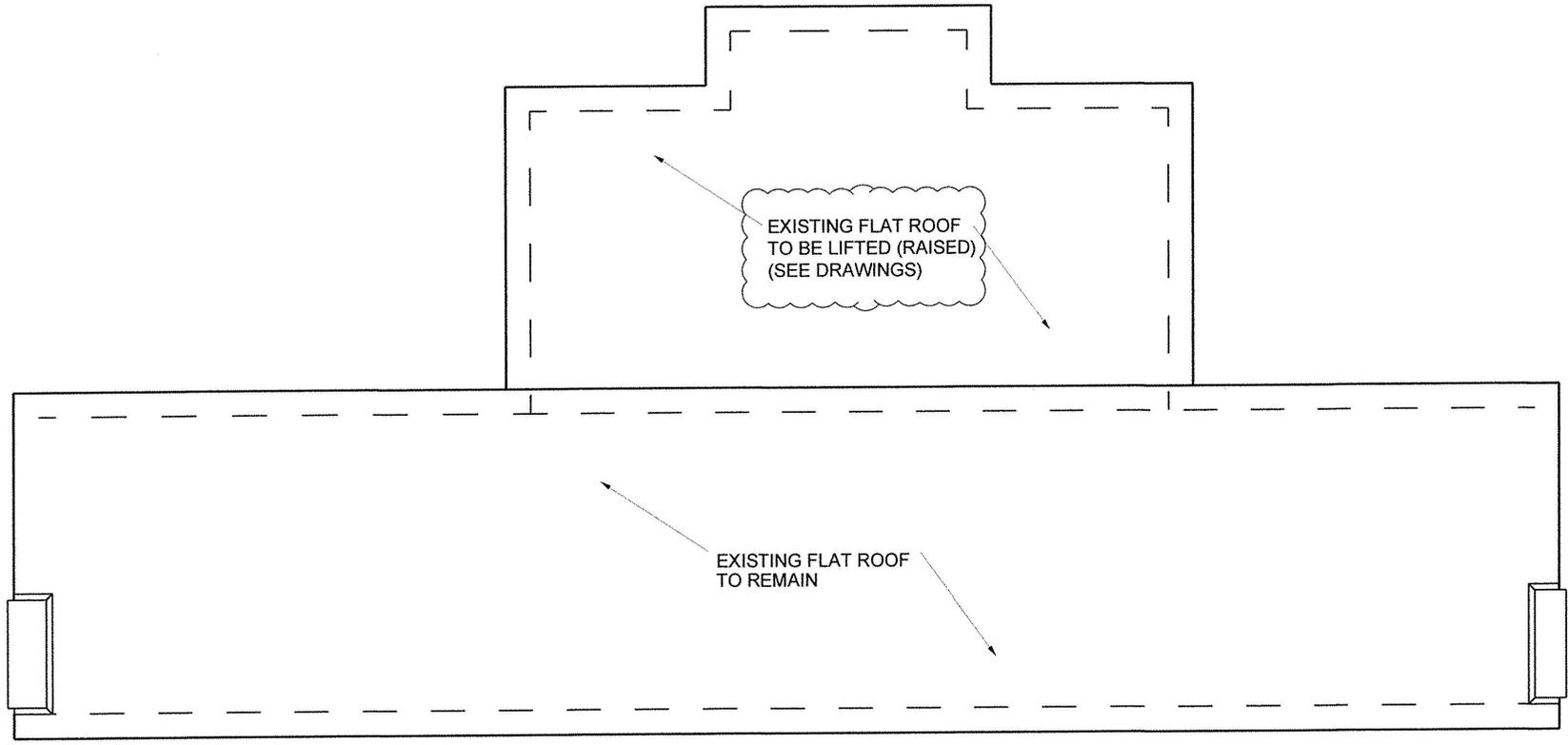
RANDOLPH ROBINSON C.E.O., INC.
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HOUSE RENOVATION
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OF
6

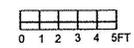


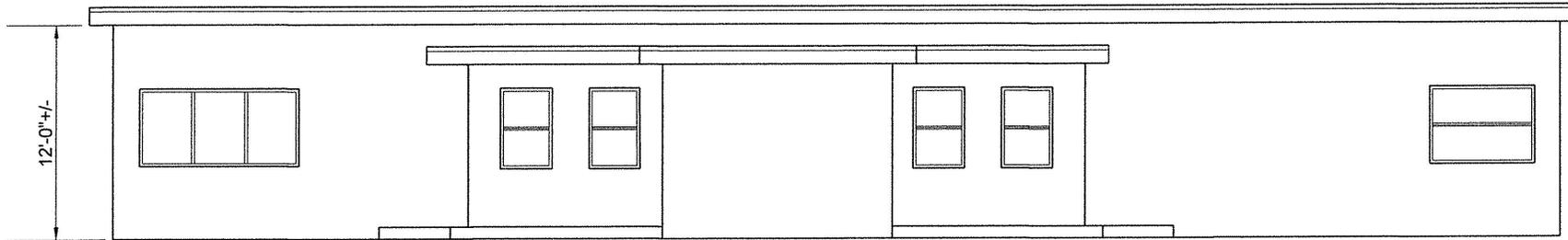
REVISION 8/11/2025



EXISTING ROOF PLAN

SCALE: 1/8"=1'-0"





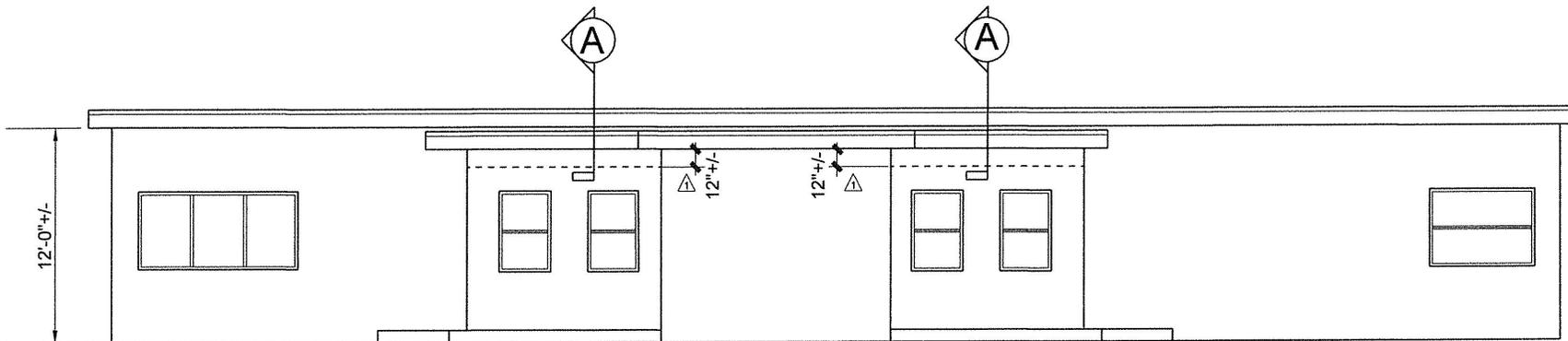
EXISTING EAST ELEVATION

SCALE: 1/8"=1'-0"

**DON
ALD J
ARPIN** Digitally signed by DONALD J ARPIN
Date: 2025.09.11 17:48:53 -04'00'

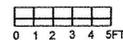
AGK LLC
Engineering
4920 N Dixie Hwy.
Oakland Park, FL 33334
954-772-8345
COA26073
LIC: # 28585

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P.O. BOX 670741
CAROL SPRINGS, FLORIDA 33067
LICENSE # CBC1251292 & PX2381
PHONE (561) 578-3046



NEW EAST ELEVATION

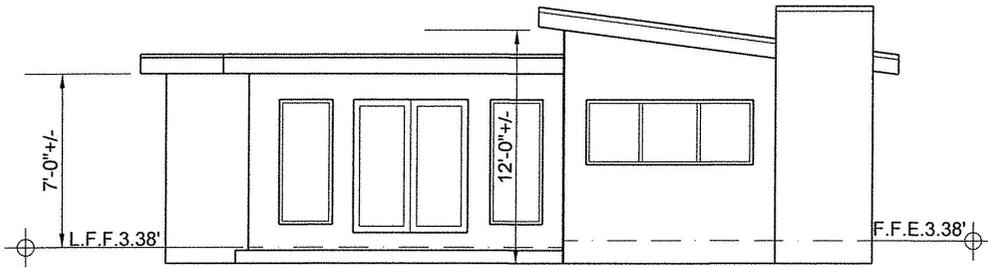
SCALE: 1/8"=1'-0"



NICLAS PIERRE
HOUSE RENOVATION
922 S. NORTHLAKE DRIVE
HOLLYWOOD, FL 33019
(305) 297-5395

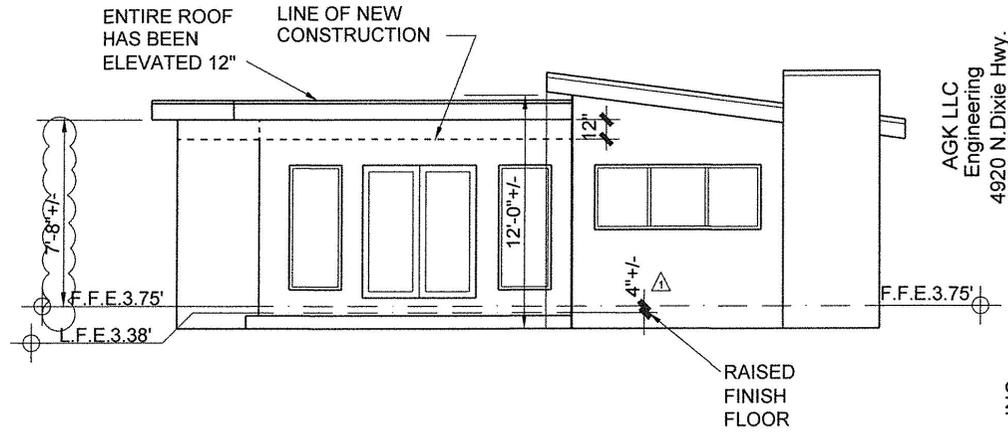
A-402C
OF
6

REVISION 8/22/2025



EXISTING NORTH ELEVATION

SCALE: 1/8"=1'-0"



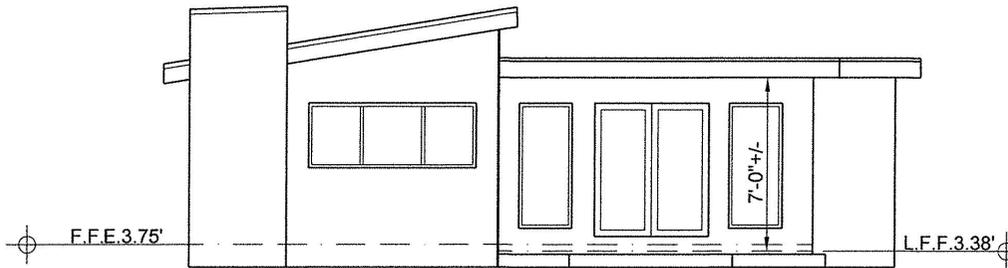
NORTH ELEVATION w/ raised roof

SCALE: 1/8"=1'-0"

DONALD J ARPIN
 Digitally signed by DONALD J ARPIN
 Date: 2025.09.11 17:49:05 -04'00'

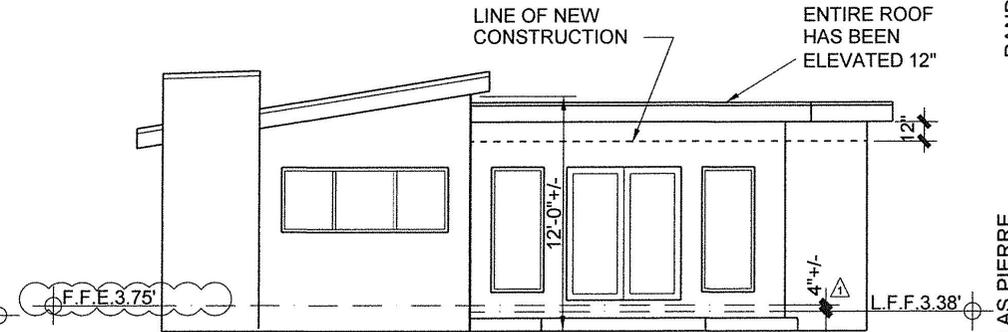
AGK LLC
 Engineering
 4920 N. Dixie Hwy.
 Oakland Park, FL 33334
 954-772-8345
 C0A26073
 LIC: # 28585

RANDOLPH ROBINSON C.E.O., INC.
 P.O. BOX 760741
 CAROL SPRINGS, FLORIDA 33067
 LICENSE # CBC1251292 & PX2381
 PHONE (561) 578-3046



EXISTING SOUTH ELEVATION

SCALE: 1/8"=1'-0"



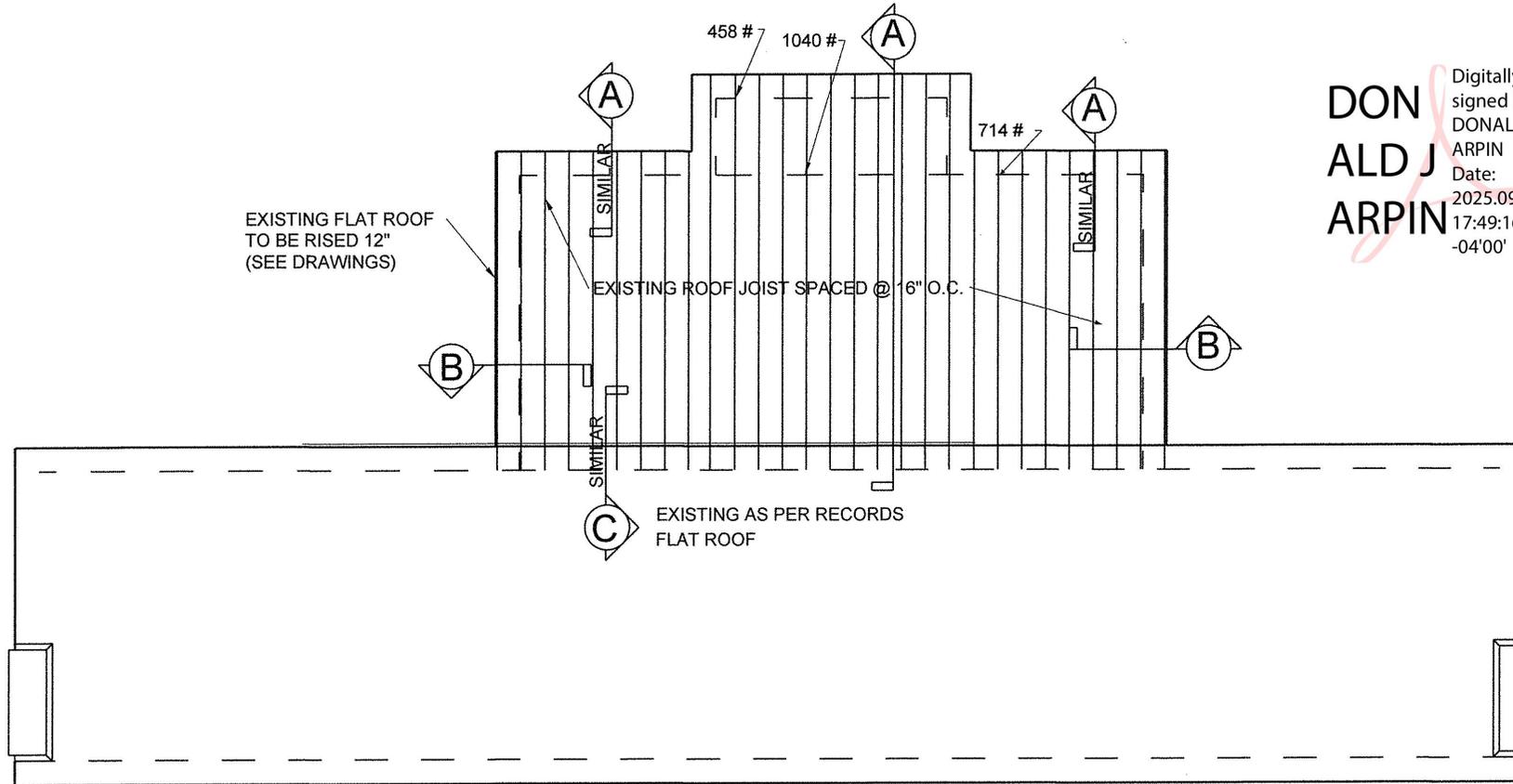
SOUTH ELEVATION w/ raised roof

SCALE: 1/8"=1'-0"

NICLAS PIERRE
 HOUSE RENOVATION
 922 S. NORTHLAKE DRIVE
 HOLLYWOOD, FL 33019
 (305) 297-5395

A-402D
 OF
 6

REVISION 8/22/2025



EXISTING FLAT ROOF
TO BE RISED 12"
(SEE DRAWINGS)

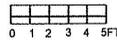
EXISTING ROOF JOIST SPACED @ 16" O.C.

EXISTING AS PER RECORDS
FLAT ROOF

DONALD J ARPIN
Digitally signed by DONALD J ARPIN
Date: 2025.09.11 17:49:16 -04'00'

EXISTING ROOF & FRAMING PLAN

SCALE: 1/8"=1'-0"



AGK LLC
Engineering
4920 N. Dixie Hwy.
Oakland Park, FL 33334
954-772-8345
COA26073
LIC: # 28585

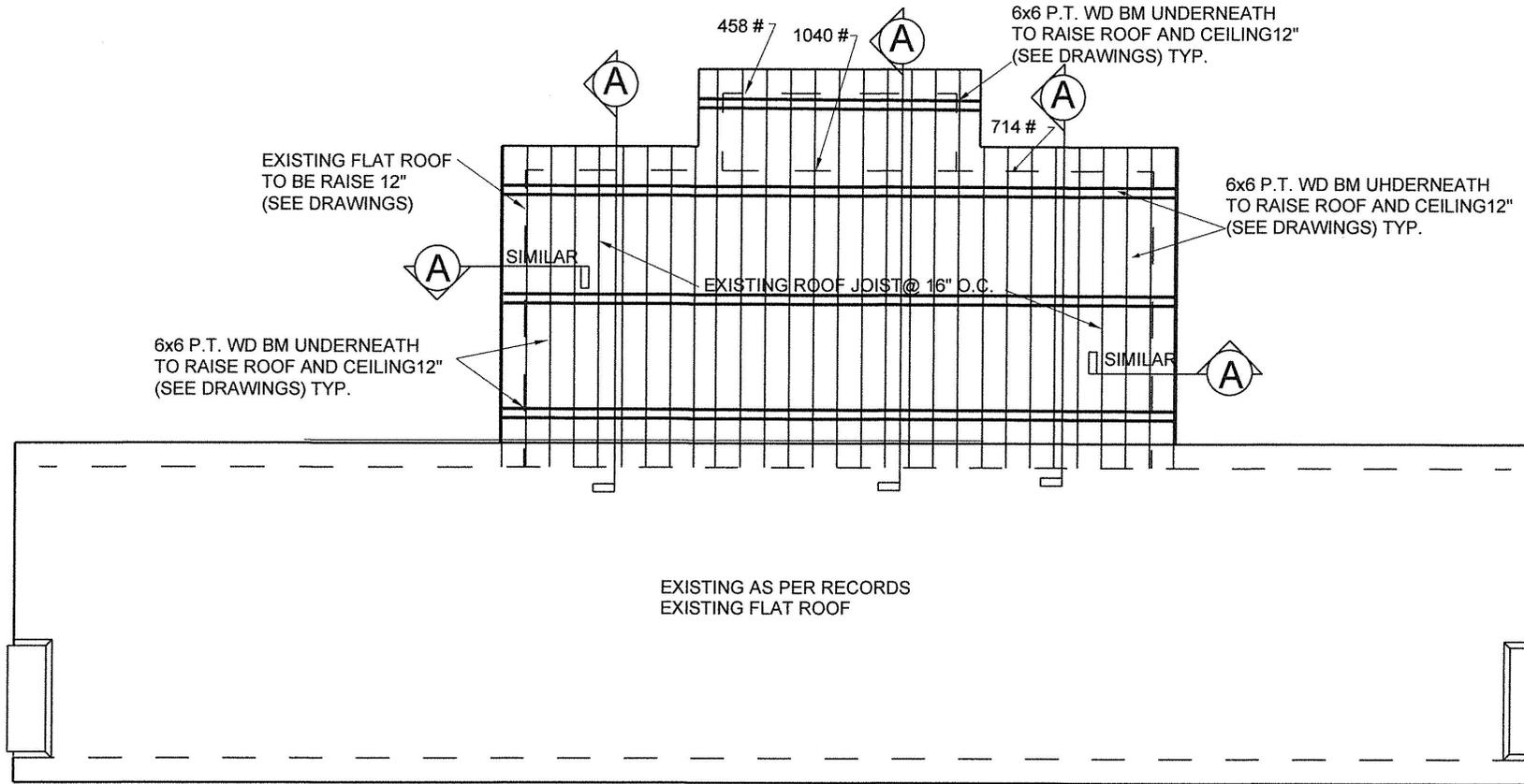
RANDOLPH ROBINSON C.E.O., INC.
P.O. BOX 670741
CORAL SPRINGS, FL 33067
LICENSE # CBC1251292
PHONE (561) 578-3046

NICLAS PIERRE
HOUSE RENOVATION
922 S. NORTHLAKE DRIVE
HOLLYWOOD, FL 33019
(305) 297-5395

N  A402E
OF

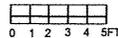
6

 REVISION 9/11/2025



EXISTING ROOF & FRAMING PLAN

W/ 6x6 P.T. WB (TEMPORARY) SCALE: 1/8"=1'-0"



DONALD J ARPIN Digitally signed
 by DONALD J ARPIN
 Date: 2025.09.11 17:49:53 -04'00'

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 OF
 2

REVISION 8/11/2025

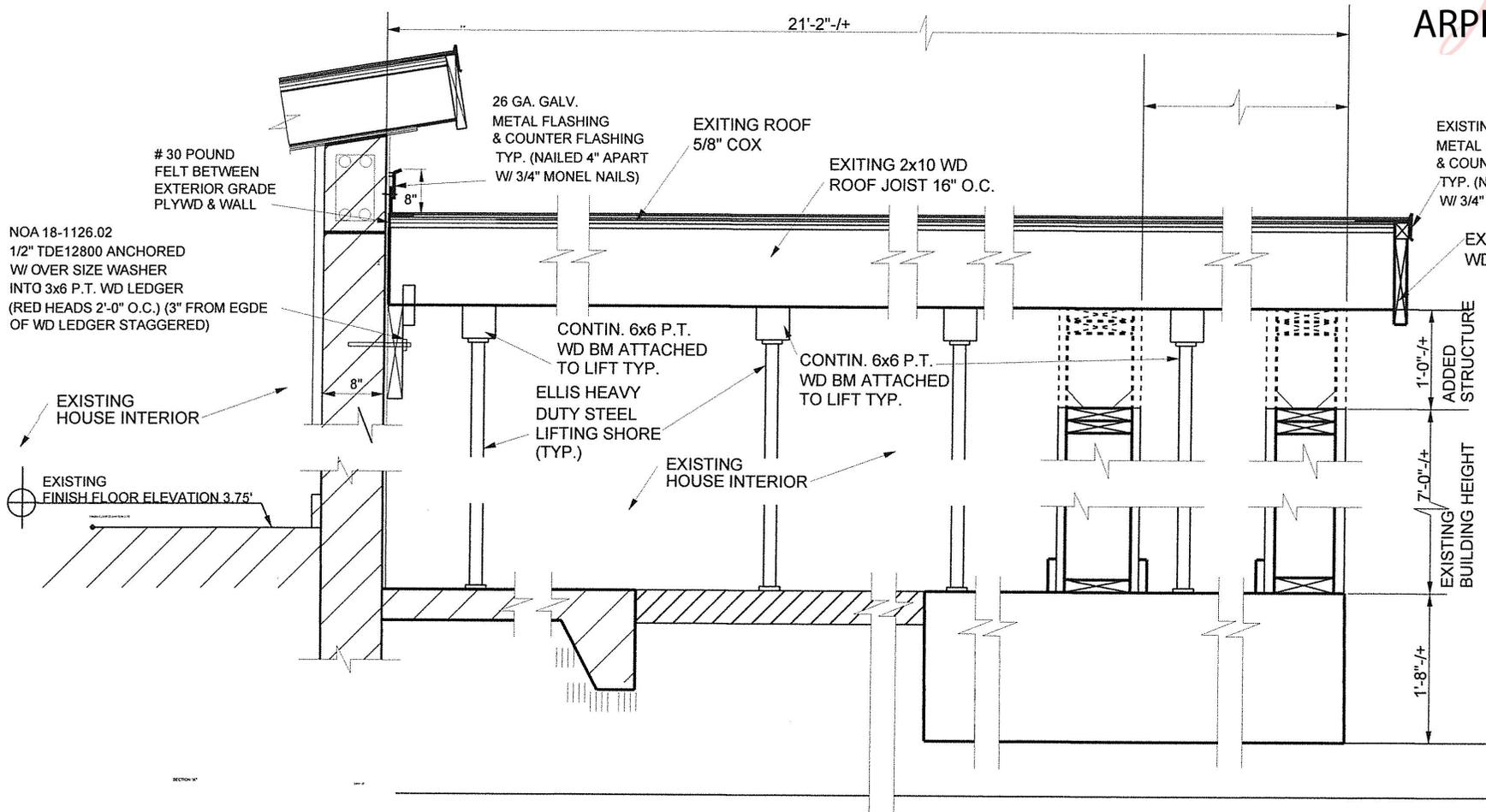
AGK LLC
 Engineering
 4920 N. Dixie Hwy.
 Oakland Park, FL 33334
 954-772-8345
 COA#26073
 LIC: # 28585

RANDOLPH ROBINSON C.E.O., INC.
 P.O. BOX 670741
 CORAL SPRINGS, FL. 33067
 LICENSE # CBC1251292
 PHONE (561) 578-3046

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 HOUSE RENOVATION
 922 S. NORTHLAKE DRIVE
 HOLLYWOOD, FL 33019
 (305) 297-5395

**DON
ALD J
ARPIN**

Digitally signed
by DONALD J
ARPIN
Date:
2025.09.11
17:50:06 -04'00'



SECTION "A" SHORING DETAIL ONLY

SCALE: 3/4"=1'-0"

AGK LLC
Engineering
4920 N. Dixie Hwy.
Oakland Park, FL 33334
954-772-8345
COA26073
LIC: # 28585

RANDOLPH ROBINSON C.E.O., INC.
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HOUSE RENOVATION
922 S. NORTHLAKE DRIVE
HOLLYWOOD, FL 33019
(305) 297-5395

A-2B
OF
2

2 REVISION 8/22/2025

































ATTENTION
CHIEN BIZARRE

BEWARE
MICROBIALISTS
PLEASE WASH

ATTACHMENT B
Zoning Map

North
Lake

GU

RS-9

S Northlake Dr

Polk St

N 13th Ave

Tyler St

N 10th Ave

N 9th Ave

RS-6

500 Feet

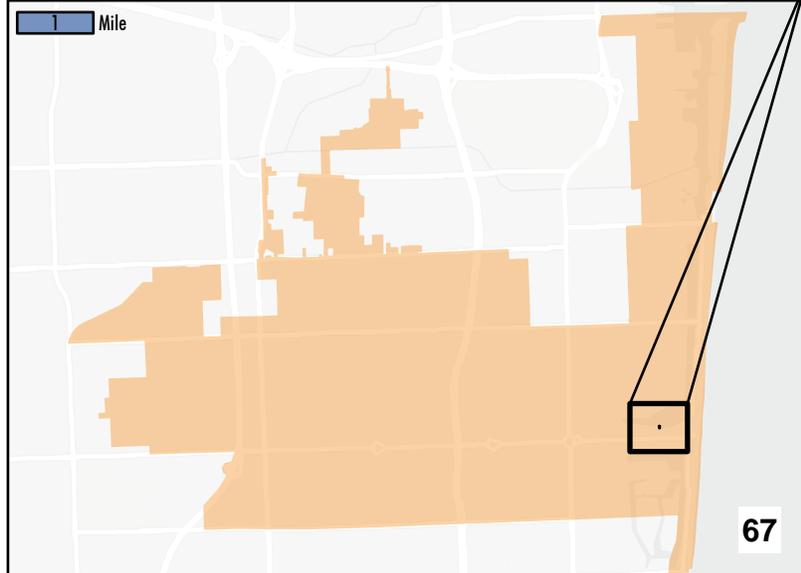
LEGEND

LAND USE

-  LOW (5) RESIDENTIAL
-  OPEN SPACE AND RECREATION

ZONING

-  PARCELS
-  SUBJECT SITE





City of Hollywood

Staff Summary

Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

File Number: 2.2025_1014

Agenda Date: 10/14/2025

Agenda Number:

To: Historic Preservation Board

Title: FILE NO.: 24-C-99
APPLICANT: Sergio Maltoni
LOCATION: 927 Tyler Street
REQUEST: Certificate of Appropriateness of Design for façade alterations to an existing single-family dwelling located within the Hollywood Lakes Historic District..

**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING AND URBAN DESIGN**

DATE: October 14, 2025 **FILE:** 24-C-99

TO: Historic Preservation Board

VIA: Anand Balram, Assistant Director / Chief Planner

FROM: Urja Modi, Planner I

SUBJECT: Certificate of Appropriateness of Design for façade alterations to an existing single-family dwelling located at 927 Tyler Street within the Hollywood Lakes Historic District.

APPLICANT'S REQUEST

Certificate of Appropriateness of Design for façade alterations to an existing single-family dwelling located within the Hollywood Lakes Historic District.

STAFF'S RECOMMENDATION

Approval.

BACKGROUND

The subject property is municipally addressed as 927 Tyler Street (hereinafter referred to as the “subject property”). The subject property is located approximately 300-feet west of the intersection of Tyler Street and North 29th Avenue. Specifically, located within the Hollywood Lakes Historic District and zoned Single-Family District (RS-6). The subject property currently contains a one-story home that was constructed in 1951 (per Broward County Property Appraiser). The existing home consists of 3-bedrooms and 2-bathrooms and measures a floor area of approximately 2,506 square feet.

The existing structure exhibits some Post War Modern Ranch Style showing architectural characteristics, such as, pitched roof with concrete tiles, rectangular windows, horizontal emphasis, and limited ornamentation. While the home exhibits elements of Post-War Ranch Style, it lacks distinctive detailing typical of higher-value historic examples. The Design Guidelines for Historic Properties states that Post War Modern homes were erected in mass to house a wave of new residents. This style popular with builders, were relatively inexpensive and used simple materials with none of the traditional detailing.

REQUEST

The Applicant, on behalf of Sergio & Gianfranca Maltoni (the “Owner”), requests a Certificate of Appropriateness of Design for façade alterations and roofline changes to the existing single-family house located at 927 Tyler Street. The roofline changes are associated to the demolition of a portion of the existing pitched roof and associated internal renovations. The façade alterations include flattening a portion of the roof, extending the front porch, relocating the front door, addition of a defined porch entrance, addition of a trellis structure, addition of new windows, and renovations to the existing windows and door. Materials and the color palette are proposed to be revised from warm stucco, reddish-brown tiling, and washed brown framing, to a contemporary and modern color palette with a balanced use of white and grey stucco, black aluminum trimming, black tiling, and wood as an accent along the front façade.

The alterations are proposed for the improvement and maintenance of the house and property, and in effort to make renovations to the home that fit the needs of the Owner. The alterations are well integrated into the architecture of the original house. They maintain unified design and the existing proportions in massing and articulation of the existing house. Overall, the alterations do not detract from architectural unity and offers compatible architectural and site elements that enhance the facade and function of the home and allow the Owner of the property to adapt their house to their enjoyment. Furthermore, the proposed complies with all zoning regulations.

Alongside the alterations, minor additions to the rear of the building are proposed to facilitate a one-car garage and additional living space. With the additions, the house will measure a total 2,610 square feet. It is worth noting, that the Board’s purview is limited to façade alterations; rear and porch additions fall under staff-level review as per Section 5.5(F) of the City’s Zoning and Land Development Regulations.

The Historic Preservation Board is guided by the Secretary of the Interior’s Standards for Rehabilitation and the City of Hollywood’s Design Guidelines for Historic Properties and Districts. These documents offer design controls for materials, scale, massing and location for all properties within the Historic District. The proposed home is consistent with the character of the Lakes Area Historic Multiple Resource Listing District and the design maintains the spatial relationship with surrounding properties in its scale and massing.

SITE BACKGROUND

| | |
|-----------------------------|---|
| Applicant/Owner: | Anthony Leon / Sergio & Gianfranca Maltoni |
| Address/Location: | 927 Tyler Street |
| Size of Property: | 12,806 sq. ft. (±0.34 acres) |
| Present Zoning: | Single-Family Residential (RS-6) Lakes Area Multiple Resource Listing District (HMPRL0D-1) |
| Present Land Use: | Low (5) Residential (LRES) |
| Present Use of Land: | Single Family |
| Year Built: | 1951 (BCPA) |

ADJACENT ZONING

| | |
|---------------|--|
| North: | Single-Family Residential District (RS-6) Lakes Area Multiple Resource Listing District (HMPRL0D-1) |
| South: | Single-Family Residential District (RS-6) |

East: Lakes Area Multiple Resource Listing District (HMPRL0D-1)
Single-Family Residential District (RS-6)
Lakes Area Multiple Resource Listing District (HMPRL0D-1)
West: Single-Family Residential District (RS-6)
Lakes Area Multiple Resource Listing District (HMPRL0D-1)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Within the Comprehensive Plan, the primary goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property.*

The proposed design is consistent with the scale and massing of the surrounding neighborhood and allows the Owner to maximize the use and enjoyment of their property as desired while elevating the design and improving the residential community by applying higher standards of workmanship. By allowing the Owner to make the alterations, the City is accomplishing the desired reinvestment in the Hollywood Lakes Historic District.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood.

Policy 2.46: *Preserve stable neighborhoods and encourage rehabilitation initiatives that will revitalize and promote stability of neighborhoods.*

Policy CW.15: *Place a priority on protecting, preserving and enhancing residential neighborhoods.*

The CWMP also states *the single-family character of the area should be preserved and enhanced through strict zoning code enforcement, traffic calming and streetscape improvements.*

The proposed alterations are superficial in nature. They maintain the fabric of the existing building footprint, and do not result in significant impacts on the surrounding neighborhood. The proposed alterations maintain the historical features of the original house while incorporating improved materials and contemporary color palette, elevating the design. The project has minimal impact on the current streetscape.

CONSISTENCY WITH THE HOLLYWOOD LAKES NEIGHBORHOOD PLAN

The Hollywood Lakes Neighborhood Plan seeks to maintain and preserve the character and integrity of the existing residential community by protecting historical areas. It also seeks to eliminate the encroachment of negative residential uses.

The existing one-story home was constructed in 1951. Although a portion of the pitched roof will be altered and additional façade changes are being made, the overall horizontal emphasis and roof form are retained. The design is respectful of the original built form of the house and scale of similar houses in the

neighborhood. The proposal for the alterations will not adversely affect the integrity of the Historic District.

APPLICABLE CRITERIA

Analysis of criteria and finding for Certificate of Appropriateness of Design as stated in the City of Hollywood’s Zoning and Land Development Regulations, Article 5.

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: The proposed alterations to the property continues to represent the period of development of the Lakes District (1950s Ranch style housing stock).

FINDING: Consistent.

CRITERION: DESIGN

ANALYSIS: The Historic District Design Guidelines encourages additions to be compatible with the character of the neighborhood with regard to scale, materials, texture, and color. The design element of scale relates to the size of the building components or spaces relative to the human body as well as to the larger context relative to the surrounding buildings, streetscape and environment. The proposed alterations do not result in significant additions subject to approval by the Historic Preservation Board and do not impact the scale of the building. The proposed alterations apply a neutral color palette with textures comparable to the original house or houses in the surrounding neighborhood while delivering a contemporary and elevated aesthetic by incorporating higher-quality materials and finishes. The revised roofline maintains the overall horizontality and low-scale emphasis typical of Post-War Ranch Style homes while allowing for a more defined entry sequence. The expanded porch and trellis establish a human-scaled entrance feature consistent with neighborhood patterns of articulated front facades. Relocation and resizing of fenestration preserve the rhythm of solid-to-void relationships found in the original home and surrounding residences.

FINDING: Consistent.

CRITERION: SETTING

ANALYSIS: As stated in the Design Guidelines, “...*setting is the relationship of buildings within the Historic District and the surrounding site and neighborhood.*” The alterations maintain or enhance distinctive Historical features of the existing house, such a portion of the pitched roof and continuing the horizontal emphasis of the massing, while providing transition to contemporary architectural styles. The surrounding neighborhood contains varied architectural styles that provide for an eclectic setting. Adjacent homes include bungalows with pitched roof, horizontal emphasis, and structures consistent with the existing house and proposed alterations. The surrounding neighborhood includes bungalows and two-story houses that provide inconsistent articulation, massing, scale, and a combination of pitched and flat roofs. The proposed maintains compatibility

between the existing home, surrounding neighborhood and Historic District, and contributes positively to the eclectic setting of the neighborhood.

FINDING: Consistent.

CRITERION: MATERIALS

ANALYSIS: Design Guidelines state materials are an important part of the fabric of any historic district or property and help to maintain the historic character of the place. Furthermore, materials are compatible in quality, color, texture, finish, and dimension to those that are in the historic district should be used. The architectural materials include stucco, tiling, aluminum framing and wood to provide a balance of neutrals tones with warm tones that are found throughout the surrounding neighborhood, while also elevating the finishes of the house. The proposed request is consistent with other surrounding architectural elements and materiality found within the District.

FINDING: Consistent.

CRITERION: WORKMANSHIP

ANALYSIS: The Design Guidelines recommend consideration of significant materials before undergoing rehabilitation of a historic structure or property. The proposed alterations are sensitive in design and nature to the architectural characteristics of adjacent properties and the surrounding neighborhood. The proposed alterations are consistent with current workmanship styles and methods.

FINDING: Consistent.

CRITERION: ASSOCIATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks* and further state *new construction should be compatible with existing buildings... Within the context of historic preservation, elements of design such as massing, scale and rhythm reflect architectural style as well as the richness of the historic district.* The proposed alterations maintain the zoning performance standards for the existing house and blend harmoniously with the design, scale and massing of the surrounding properties.

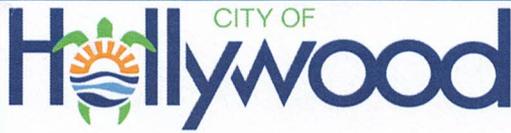
FINDING: Consistent.

ATTACHMENTS

ATTACHMENT A: Application Package

ATTACHMENT B: Zoning Map

ATTACHMENT A
Application Package



CITY OF
DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
 Planning and Development Board Historic Preservation Board Special Exception
 City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: 927 Tyler St, Hollywood, FL 33019

Lot(s): 8,9 Block(s): 64 Subdivision: Hollywood Lakes Section

Folio Number(s): 5142 14 02 2710

Zoning Classification: RS-6 Land Use Classification: 01-01

Existing Property Use: single-family residence Sq Ft/Number of Units: 3030

Is the request the result of a violation notice? Yes No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

DEVELOPMENT PROPOSAL

Explanation of Request: Proposed addition to existing 1-story single family house.

Phased Project: Yes No Number of Phases:

| Project | Proposal |
|-------------------------------|--|
| Units/rooms (# of units) | # UNITS: <input type="text" value="1"/> #Rooms <input type="text" value="4"/> |
| Proposed Non-Residential Uses | <input type="text" value="N/A"/> S.F.) |
| Open Space (% and SQ.FT.) | Required %: <input type="text" value="74"/> (Area: <input type="text" value="9519"/> S.F.) |
| Parking (# of spaces) | PARK. SPACES: (# <input type="text" value="3"/>) |
| Height (# of stories) | (# STORIES) <input type="text" value="1"/> (<input type="text" value="13'9"/> FT.) |
| Gross Floor Area (SQ. FT) | Lot(s) Gross Area (<input type="text" value="12806"/> FT.) |

Name of Current Property Owner: MALTONI, GIANFRANCA & SERGIO

Address of Property Owner: 927 Tyler St. Hollywood, FL 33019

Telephone: 5149929591 Email Address: mauromaltoni@gmail.com

Applicant Anthony Leon Consultant Representative Tenant

Address: 3260 NW 7 St. Miami, FL 33125 Telephone: 305 438 9377

Email Address: 3dtony@3designonline.com

Email Address #2: _____

Date of Purchase: 4/1/1980 Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : Diana Rio / RDR Miami

E-mail Address: diana@rdrmiami.com

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: S Maltoni Date: 14 nov 2024

PRINT NAME: Sergio Maltoni Date: 11/12/2024

Signature of Consultant/Representative: Anthony Leon Date: 03/18/2025

PRINT NAME: Anthony Leon Date: 11/12/2024

Signature of Tenant: _____ Date: _____

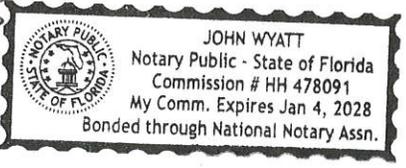
PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for approval from the Board to my property, which is hereby made by me or I am hereby authorizing Anthony Leon to be my legal representative before the Historic Preservation Board (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 25 day of March 2025

John Wyatt
Notary Public
State of Florida



S Maltoni
Signature of Current Owner

Sergio Maltoni
Print Name

My Commission Expires: 1/4/2028 (Check One) Personally known to me; OR Produced Identification _____

Mailing Notification done by:

Diana Rio

RDR Miami / Rio Development Resources

Telephone #: 305 498 1614

Email Address: diana@rdrmiami.com

June 20, 2025

Permit for:

927 Tyler Street
HOLLYWOOD, FL 33019

PERMIT No.: 24-C-99

FOLIO NUMBER:

514214022710

LEGAL DESCRIPTION:

LOT 8 AND 9, BLOCK 64, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

SCOPE OF WORK:

REMODELING AND ADDITION TO AN EXISTING 1 STORY SINGLE-FAMILY RESIDENCE

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Dated as of this 21st day of June, 2022.

[Signature]
Witness #1 Name: Christine Marchand-Manze

[Signature]
Sergio Maltoni

[Signature]
Witness #2 Name: CHRISTELLE SOUPLÉ

[Signature]
Witness #1 Name: Christine Marchand-Manze

[Signature]
Gianfranca Maltoni

[Signature]
Witness #2 Name: CHRISTELLE SOUPLÉ

[Signature]
Witness #1 Name: Christine Marchand-Manze

[Signature]
Mauro Maltoni

[Signature]
Witness #2 Name: CHRISTELLE SOUPLÉ

State of Florida
County of Broward

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 21st day of June, 2022 by Sergio Maltoni and Gianfranca Maltoni, who is/are personally known or has/have produced a Driver's License as identification.

[Notary Seal]



[Signature]
Notary Public Christine Marchand-Manze

Printed Name: _____

My Commission Expires: _____

State of Florida
County of Broward

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 21st day of June, 2022 by Mauro Maltoni, who is/are personally known or has/have produced a Driver's License as identification.

[Notary Seal]



[Signature]
Notary Public Christine Marchand-Manze

Printed Name: _____

My Commission Expires: _____

Dated as of this 7th day of July, 2022.

Josianne Melancon
Witness #1 Name: Josianne MELANCON
Pierre Coutu Notary
Witness #2 Name: Pierre COUTU

Paolo Maltoni
Paolo Maltoni

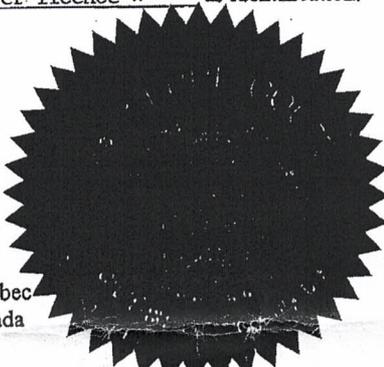
Josianne Melancon
Witness #1 Name: Josianne MELANCON
Pierre Coutu Notary
Witness #2 Name: Pierre COUTU

Laura Maltoni
Laura Maltoni

Province of Quebec
Country of Canada

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 7th day of July, 2022 by Paolo Maltoni, who is/are personally known or has/have produced a driver licence * as identification. * number M4357-240562-09 expiration : 2026-05-24

[Notary Seal]



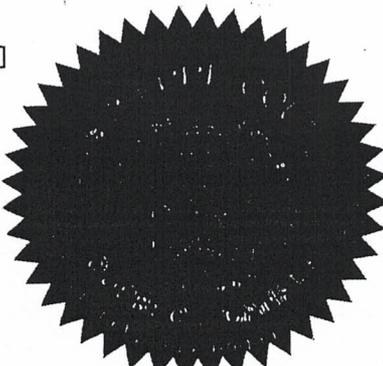
Pierre Coutu Notary
Notary Public

Printed Name: Me Pierre COUTU, notary
C0799
My Commission Expires: for life

Province of Quebec
Country of Canada

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 7th day of July, 2022 by Laura Maltoni, who is personally known or has produced a driver license * as identification. *Number M4355-291072-07 expiration: 2028-10-29

[Notary Seal]



Pierre Coutu Notary
Notary Public

Printed Name: Me Pierre COUTU, notary
C0799
My Commission Expires: for life

Prepared by:
Dara S. Siegel, Esq.
Siegel & Siegel
1600 South Dixie Hwy, Suite 300
Boca Raton, FL 33432
File Number: Maltoni

[Space Above This Line For Recording Data]

LIFE ESTATE DEED

This Life Estate Deed made this 7th day of July, 2022 between Sergio Maltoni, a married man, and Gianfranca Maltoni, his wife, Paolo Maltoni, a married man, Mauro Maltoni, a single man and Laura Maltoni a married woman ("Grantor"), whose post office address is 927 Tyler Street, Hollywood, Fl 33019, in and for consideration of the sum of TEN and NO/100 DOLLARS (\$10.00) cash and other good and valuable consideration in hand hereby convey, remise and granted to Sergio Maltoni and Gianfranca Maltoni, husband and wife, whose post office address is 927 Tyler Street, Hollywood, Fl 33019, as a life estate, without any liability for waste, and the remainder to Mauro Maltoni, a single man, if he survives grantor ("Grantee").

The Property being conveyed (the "Real Property") is the following described land, situate, lying and being in Broward County, Florida to-wit:

Lot 8 and 9, Block 64, HOLLYWOOD LAKES SECTION, according to the Plat thereof, as recorded in Plat Book 1, Page 32 of the Public Records of Broward County, Florida.
Parcel Identification Number: 5142-14-02-2710

Grantors Paolo Maltoni and Laura Maltoni warrant that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property. Grantors' residence and homestead address are respectively: 772 De Fribourg, Laval, QC, Canada H7K-3X5 and 228 rue Myconos, Dollard-Des-Ormeaux, QC Canada H9G-2Y3.

Further, Paolo Maltoni, Mauro Maltoni and Laura Maltoni are signing this deed to express their consent to the divestment of their remainder interest contained in the prior deed recorded under instrument number 112447395.

This Deed was prepared at the Grantor's request without the benefit of title examination, legal opinion or title or insurance.

The conveyance made hereby, and the warranties made hereunder, are made by Grantor and accepted by Grantee subject to the following matters, to the extent same are in effect at this time: any and all restrictions, covenants, conditions, liens, encumbrances, reservations, easements, and other exceptions to title, if any, relating to the Subject Property, but only to the extent they are still in force and effect and shown of record in Broward County, Florida, and to all zoning laws, regulations and ordinances of municipal and/or other governmental or quasi-governmental authorities, if any, relating to the Subject Property and to all matters which would be revealed by an inspection and/or a current survey of the Subject Property.

TO HAVE AND TO HOLD the Subject Property, to the extent conveyed hereby, subject to the terms and provisions contained herein, together with all and singular the rights and appurtenances thereto in anywise belonging unto Grantee and Grantee's heirs, personal representatives, executors, administrators, successors and assigns forever; and Grantor does hereby bind Grantor and Grantor's heirs, personal representatives, executors, administrators, successors and assigns to warrant and forever defend all and singular the Subject Property, to the extent conveyed hereby, unto Grantee and Grantee's heirs, personal representatives, executors, administrators, successors and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantors.

Permit # 927 Tyler

Date: 4/14/2024

LOT COVERAGE INFORMATION

If you are the applicant for a building permit for a SINGLE FAMILY RESIDENCE, please be aware that the following information is needed in order to process your request for any additions or accessory structures, including pools, decks, and the like:

1. 12806 SQUARE FEET OF YOUR LOT (length x width)
2. 3039 SQUARE FEET OF YOUR HOUSE
3. 5733 (44.8%) SQUARE FEET OF ALL EXISTING IMPERVIOUS SURFACES (e.g. Driveways, walkways, decks, pools, storage sheds, etc.)
4. 292 SQUARE FEET OF THE ADDITION, AND OR...
5. 311 SQUARE FEET OF THE PROPOSED ACCESSORY STRUCTURES, DRIVEWAYS, PAVEMENT, DECKS, ETC.
6. 6342 TOTAL SQUARE FEET OF THE IMPERVIOUS AREA ON YOUR LOT (Add Nos. 2 + 3+ 4+ 5)...
7. 49.5% PERCENTAGE OF IMPERVIOUS LOT COVERAGE (Divide No.6 by No. 1)

May 2, 2025

Criteria Statement
Historic Preservation Board
927 Tyler St.
Hollywood, FL 33019

To whom it may concern,

I, Anthony Leon, Architect, confirm that the plans submitted for review comply with the requirements of Article 5 of the Zoning and Land Development Regulations, pertaining to the Design Criteria, specifically the items in the General Criteria and Design Guidelines Manual.

The renovation project for this house consists of minor changes to the façade and the back of the house with the intent to keep the characteristics of the surrounding neighborhood, both in architectural design as well as the landscaping.

The change in the back of the house consist of adding square footage to enlarge the garage and the façade changes are to enhance the entrance with an architectural feature. This changes comply with the architectural guidelines of the city.

Should you have any questions, please feel free to contact me.

Respectfully,

Anthony Leon
Architect AR16752

MAP OF

BOUNDARY SURVEY

PROPERTY ADDRESS:
927 TYLER STREET
HOLLYWOOD, FL 33019

CERTIFIED TO:
GIANFRANCA AND SERGIO MALTONI

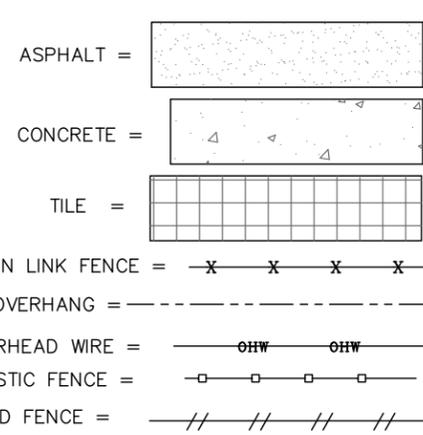
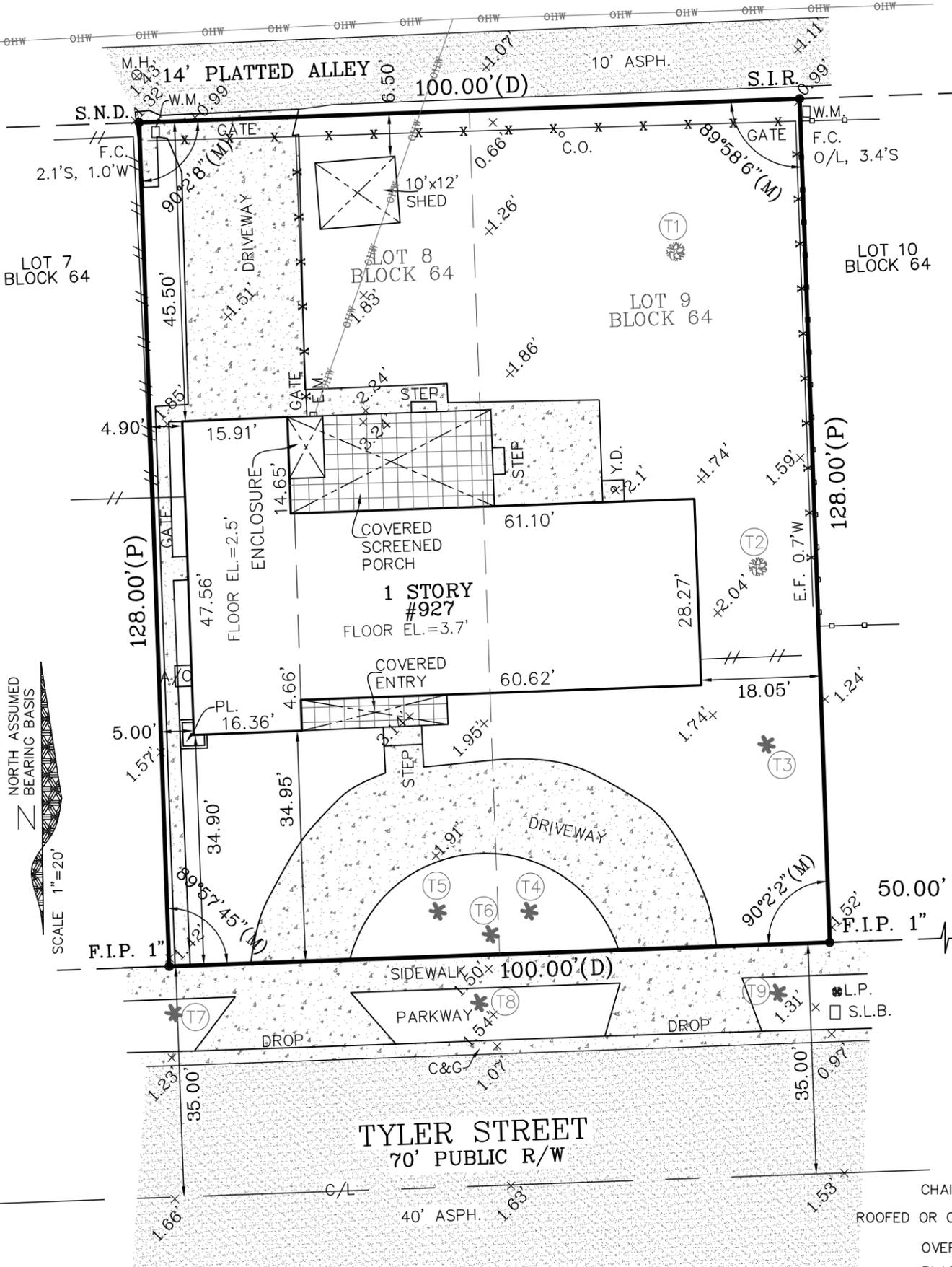
DATE OF FIELD WORK 7/9/2024

LEGAL DESCRIPTION (FROM O.R.B. 50986, PAGE 747):

LOTS 8 AND 9, BLOCK 64, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

LEGEND AND ABBREVIATIONS

- A/C = AIR CONDITIONER
- ASPH. = ASPHALT
- C&G = CURB AND GUTTER
- C/L = CENTER LINE
- C.O. = CLEAN OUT
- CONC. = CONCRETE
- (D) = DEED OR RESULT OF DEED
- E.F. = END FENCE
- EL. = ELEVATION
- E.M. = ELECTRIC METER
- F.C. = FENCE CORNER
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- (H) = HEIGHT
- IRR. = IRRIGATION EQUIPMENT
- L.P. = LIGHT POLE
- (M) = MEASURED
- M.H. = MAN HOLE
- O/L = ON-LINE
- O.R.B. = OFFICIAL RECORDS BOOK
- (P) = PLAT
- P.B. = PLAT BOOK
- PG. = PAGE
- PL. = PLANTER
- R = RADIUS
- R/W = RIGHT-OF-WAY
- S.I.R. = SET 5/8" IRON ROD LB7689
- S.L.B. = STREET LIGHT BOX
- S.N.D. = SET NAIL AND DISC LB7689
- TELE. = TELECOMMUNICATIONS UTILITY
- TYP. = TYPICAL
- U.E. = UTILITY EASEMENT
- W.M. = WATER METER
- W.U.P. = WOOD UTILITY POLE
- Y.D. = YARD DRAIN



NATIONAL FLOOD INSURANCE PROGRAM INFORMATION:

CITY OF HOLLYWOOD 125113
 MAP/PANEL NUMBER 12011C0588J
 INDEX DATE 7/31/24 PANEL EFFECTIVE DATE 7/31/24
 FLOOD ZONE "AE" BASE FLOOD ELEVATION 7'
ELEVATION NOTES:
 ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988, AND REFERENCED INTO THE FLORIDA DEPARTMENT OF TRANSPORTATION GLOBAL POSITIONING SYSTEM CONTROL NETWORK FOR A 12 MINUTE CYCLE
 SPOT ELEVATION = x#.#

TREE LEGEND:

- T1 = 7" MANGO 15'(H)
- T2 = 5" MANGO 10'(H)
- T3 = 3" MANGO 6'(H)
- T4 = (2) ROBELLINI PALM CLUSTER 10'(H)
- T5 = (2) ROBELLINI PALM CLUSTER 10'(H)
- T6 = 18" ROYAL PALM 35-40'(H)
- T7 = 18" ROYAL PALM 45-50'(H)
- T8 = 18" ROYAL PALM 40-45'(H)
- T9 = 18" ROYAL PALM 35-40'(H)

NOTES:
 1) THIS IS A COPYRIGHT DOCUMENT CONTAINING PROPRIETARY INFORMATION AND IS NOT WARRANTED BY THE SIGNING SURVEYOR WHEN COPIED BY OTHERS. 2) UNLESS OTHERWISE SHOWN HEREON RECORDED AND MEASURED CALLS ARE IN SUBSTANTIAL AGREEMENT. MEASUREMENTS SHOWN HEREON ARE ROUNDED TO THE NEAREST 0.05'. 3) LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT ON THE PLAT AND THE SAME, IF ANY MAY NOT BE SHOWN ON THIS SKETCH. 4) FENCE OWNERSHIP IS NOT DETERMINED BY UNDERSIGNED. FENCE TIES ARE TAKEN TO THE CENTER OF THE FENCE. FENCE LINES MAY MEANDER ALONG PROPERTY LINES. FENCE LINES MAY BE SHOWN EXAGGERATED TO BETTER ILLUSTRATE WHERE THEY ARE LOCATED. 5) SUBSURFACE FOUNDATION FEATURES WERE NOT LOCATED FOR THIS SURVEY. 6) SUBSURFACE UTILITY FEATURES WERE NOT LOCATED FOR THIS SURVEY. 7) SYMBOLS SHOWN ON THIS SURVEY MAY NOT BE DRAWN TO SCALE AND ARE SHOWN THIS WAY FOR ILLUSTRATIVE PURPOSES. 8) THIS IS NOT A VALID SURVEY WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL (UNLESS DIGITALLY SIGNED) OF A FLORIDA LICENSED SURVEYOR AND MAPPER. 9) UNLESS OTHERWISE SHOWN HEREON FOUND MONUMENTATION HAS NO IDENTIFICATION AND ANY CORNER LABELED AS NOT ACCESSIBLE IS DUE TO FENCING OR LANDSCAPING. 10) THIS SURVEY MEETS OR EXCEEDS THE ACCURACY STANDARDS IN CHAPTER 53-17 OF THE FLORIDA ADMINISTRATIVE CODE- SUBURBAN 1" IN 7,500'. 11) THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE AS AN AID IN OBTAINING TITLE INSURANCE FOR THE CERTIFIED HEREON, NO OTHER WARRANTIES ARE HEREBY EXTENDED OR GRANTED.

TREES, NEW FEMA 1-23-25

7/9/24

HENRY A. JOHNSTON P.L.S. #6843

JOHNSTON & JOHNSTON LAND SURVEYING SERVICES LB#7689
 7777 DAVIE ROAD EXT. #302A-7
 DAVIE, FL 33024
 PHONE: 954-296-9516
 WEB: WWW.JJSURVEYING.COM

Johnston & Johnston
 Land Surveying Services Inc.
 JOB#24-07-002



LOCATION MAP
SCALE: N.T.S.

REMODELING AND ADDITION 927 TYLER STREET HOLLYWOOD, FL 33019



ARCHITECT'S CONCEPT DRAWING FOR ILLUSTRATIVE PURPOSES ONLY.
NOT TO BE USED FOR CONSTRUCTION OR SHOP DRAWING PRODUCTION.

ARCHITECT

3 DESIGN, INC.
ANTHONY LEON AR# 0016752
3260 NW 7th St.
MIAMI, FLORIDA 33125
Off: 305.438.9377
Fax: 305.438.9379
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LANDSCAPE ARCHITECT

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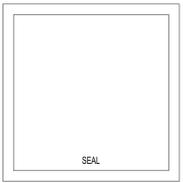
SCOPE OF WORK:

Remodeling and addition of a single story house located at 927 Tyler Street.

AA0003669
ANTHONY LEON
0016752

3 DESIGN ARCHITECTURE

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REMODELING AND ADDITION
AT:
927 TYLER STREET
HOLLYWOOD, FL 33019

REVISIONS:

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONTROLLED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.

A-0.0

COVER

CODE SUMMARY

2023 FLORIDA BUILDING CODE - BUILDING 8TH EDITION
2023 FLORIDA BUILDING CODE - RESIDENTIAL 8TH EDITION
2023 FBC MECHANICAL AND PLUMBING - ACCESSIBILITY FINITION
NEPA 70A - NATIONAL ELECTRICAL CODE NEC 2023
FLORIDA FIRE PREVENTION CODE 2023 - 8TH EDITION
CITY'S LATEST ZONING CODE AND ORDINANCES
A/C/E/S/EI 24-14

ABBREVIATIONS

| | | | |
|------|--------------------------|-----------------|------------------------|
| AFB | ABOVE FINISH FLOOR | NAT | NATURAL |
| ATOS | ABOVE TOP OF SLAB | NOT IN CONTRACT | |
| BSBD | BASEBOARD | NOA | NOTICE OF ACCEPTANCE |
| CBS | CONCRETE BLOCK STRUCTURE | ON CENTER | |
| CMU | CONCRETE MASONRY UNIT | OC | ON CENTER |
| CLG | CEILING | PTD | PAINTED |
| CLR | CLEAR | RCP | REFLECTED CEILING PLAN |
| CONC | CONCRETE | REF | REFRIGERATOR |
| DWG | DRAWING | RENF | REINFORCED |
| EX | EXISTING | SGD | SLIDING GLASS DOOR |
| FBC | FLORIDA BUILDING CODE | SF | SQUARE FEET |
| FN | FINISH | SPEC | SPECIFICATION |
| GWB | GYPSUM WALL BOARD | ST STL | STAINLESS STEEL |
| HT | HEIGHT | STR | STRUCTURAL |
| INT | INTERIOR DESIGN | T&G | TONGUE AND GROOVE |
| MAX | MAXIMUM | TP | TYPICAL |
| MFR | MANUFACTURER | UN | UNLESS OTHERWISE NOTED |
| MIN | MINIMUM | VEST | VESTIBULE |
| | | WD | WOOD |

GENERAL NOTES:

- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF 3DESIGN, INC. AND MAY NOT BE USED OR REPRODUCED IN ANY MANNER WITHOUT EXPRESS WRITTEN CONSENT.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS REQUIRED TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL NECESSARY APPURTENANCES. ALL WORK SHALL BE PERFORMED IN PROPER WORKING ORDER WITH QUALITY CRAFTSMANSHIP WITHOUT INCREASING THE CONTRACT SUM OR CONTRACT COMPLETION DATE.
- ALL WORK DESCRIBED BY THESE DOCUMENTS MUST BE PERFORMED BY CONSTRUCTION PROFESSIONALS LICENSED & INSURED IN THE STATE OF FLORIDA (IF C.C. REQUIRED). ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70A, NATIONAL ELECTRICAL CODE AND F.B.C. DESIGN DRAWINGS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING THE WORK. THERE ARE ANY DISCREPANCIES, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO COMMENCING THE WORK FOR CLEAR INSTRUCTIONS.
- DO NOT SCALE THE DRAWINGS. REFER TO FIGURED DIMENSIONS.
- THE CONTRACTOR IS TO ACQUIRE ALL REQUIRED PERMITS FOR THE DEMOLITION, CONSTRUCTION, FINISHING, AND OCCUPANCY OF THE PROJECT.
- ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR SHALL BE IN A NEAT AND WORKMAN-LIKE MANNER IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL GOVERNING AGENCIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR IS TO PROVIDE, LOCATE AND BUILD INTO THE WORK ALL SUPPLEMENTARY MATERIALS (INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, PITCHES, ETC.) AS REQUIRED TO PROTECT, BRACE, AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.
- CONSTRUCTION RESULTING FROM SUCH LACK OF CARE AND DUE DILIGENCE AND MAY NOT CLAIM MONETARY DAMAGES OR TIME DELAYS AGAINST THE CONTRACT SUM OR CONTRACT COMPLETION DATE.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THAT THE PROJECT IS COMPLETED BY THE CONTRACT COMPLETION DATE.
- PRIOR TO COMMENCING WORK, THE GENERAL CONTRACTOR SHALL SITE VERIFY THE LOCATION OF ALL EQUIPMENT TO BE REMOVED/LOCATED. REMOVALS SHALL BE COORDINATED WITH THE OWNER. IF SO DIRECTED, THE C.C. MAY INCLUDE ANY ADDITIONAL COSTS TO THE BID.
- THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE SURVEYOR IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL/CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROVED INTERVALS TO PREVENT OVERFLOW AND OVEROCCUPANCY.
- IT IS THE INTENT OF 3DESIGN, INC. THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF REMOVAL AND/OR CONSTRUCTION PERMITS AND ALL CITY, COUNTY, STATE, AND FEDERAL REGULATIONS. THE C.C. SHALL NOTIFY THE ARCHITECT/ENGINEERS OF RECORD IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED BETWEEN THE DRAWINGS AND THESE REQUIREMENTS. ANY DISCREPANCIES WILL BE EMPLOYED BY ARCHITECT/ENGINEERS OF RECORD PRIOR TO PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH RED-LINE AS-BUILT DRAWINGS FOR ALL FIELD CHANGES/ADDITIONS TO THE WORK AND/OR TO THE CONTRACT DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL PROVIDE AN ITEMIZED COST BREAKDOWN OF ALL ITEMS AND PHASES OF CONSTRUCTION AT THE TIME OF BIDDING.
- 3DESIGN, INC. IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, PROCEDURES, PRECAUTIONS, OR PROGRAMS RELATED TO THIS PROJECT'S CONSTRUCTION.
- ALL WORK IS TO BE IN LINE, SQUARE, AND PLUMB UNLESS OTHERWISE NOTED. F.I.I. ALL VOIDS BETWEEN COMPONENTS. ALL ITEMS THAT DO NOT MEET DESIGN, INC. SATISFACTION AS TO GOOD TRADE PRACTICES AND QUALITY CRAFTSMANSHIP SHALL BE REWORKED AT THE C.C.'S EXPENSE.
- THE GENERAL CONTRACTOR IS TO MAINTAIN A SAFE SITE, CLEAR OF DEBRIS AT ALL TIMES.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO GUARANTEE THEIR WORK FOR A MINIMUM PERIOD OF ONE YEAR IN WRITING. SUBCONTRACTORS SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD 291.1.
- ALL DETAILS AND SECTIONS SHOWN ON THESE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ARCHITECT'S INTENT. WHERE A DIFFERENT DETAIL IS SHOWN, IT IS THE C.C.'S RESPONSIBILITY TO FORESEE ADDITIONAL CONDITIONS PRIOR TO COMMENCING THE WORK AND NOTIFY THE ARCHITECT IMMEDIATELY.
- ALL ASSEMBLIES REFERRED TO AS PRE-FRATED SHALL BE A MINIMUM OF ONE HOUR UNLESS OTHERWISE INDICATED. ALL PENETRATIONS THROUGH ANY RATED ASSEMBLY SHALL BE PROVIDED WITH APPROVED CONSTRUCTION RATED DEVICES.
- THE GENERAL CONTRACTOR SHALL PROVIDE CUSTOM AND MULTI-COLOR PAINT SELECTIONS FOR OWNERS APPROVAL.
- ALL HARDWARE, LIGHTING & BATHROOM FIXTURES AND MISC. SPECIFICATIONS NOT SPECIFICALLY CALLED OUT ON THE DRAWINGS SHALL BE PROVIDED BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR TRUSSES, STORM SHUTTERS, REINFORCING STEEL, WINDOWS, DOORS, CAST CONCRETE, ORNAMENTAL IRON, STEEL CONNECTORS, ORNAMENTAL WOOD, ETC. TO THE ARCHITECT FOR REVIEW PRIOR TO COMMENCING THE WORK.
- THE GENERAL CONTRACTOR SHALL PROVIDE A TELEPHONE AND TELEPHONE LINE AT THE JOB SITE. THE C.C. IS RESPONSIBLE FOR ITS USE.
- THE FLORIDA BUILDING CODE DOES NOT APPLY TO, AND NO CODE ENFORCEMENT ACTION SHALL BE BROUGHT WITH RESPECT TO, ZONING REQUIREMENTS, LAND USE REQUIREMENTS AND OWNER SPECIFICATIONS OR PROGRAMMATIC REQUIREMENTS. THE GENERAL CONTRACTOR SHALL VERIFY THE DESIGN, CONSTRUCTION, ERECTION, ALTERATION, MODIFICATION, REPAIR OR DEMOLITION OF PUBLIC OR PRIVATE BUILDINGS, STRUCTURES OR FACILITIES OR TO PROGRAMMATIC REQUIREMENTS THAT DO NOT PERTAIN TO ENFORCEMENT OF THE FLORIDA BUILDING CODE. ADDITIONALLY, A LOCAL CODE ENFORCEMENT AGENCY MAY NOT ADMINISTER OR ENFORCE THE FLORIDA BUILDING CODE, BUILDING TO PREVENT THE SITING OF ANY PUBLICLY OWNED FACILITY, INCLUDING BUT NOT LIMITED TO: CORRECTIONAL FACILITIES, JUVENILE JUSTICE FACILITIES, OR STATE UNIVERSITIES, COMMUNITY COLLEGES, OR PUBLIC EDUCATION FACILITIES, AS PROVIDED BY LAW.

BURGLARY/SECURITY NOTES:

- ALL LOCKS ON EXTERIOR DOORS AND DOORS CONNECTING GARAGE AREAS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN 3601.2 (F.B.C.).
- ALL SINGLE EXTERIOR SWINGING DOORS SHALL HAVE A LOCK TO BE KEYPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OR LOCKING AUXILIARY SINGLE DEAD BOLT (MIN. 1" THROW) WITH HARDENED BOLT INSERTS.
- THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWINGING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWINGING DOORS. THE INACTIVE LEAF OF THESE DOOR PAIRS SHALL HAVE MULTIPLE POINT LOCKS W/ 5/8" MIN. THROW BOLTS W/ INSERTS.
- SLIDING GLASS DOORS SHALL BE PROVIDED WITH SLIDING DOOR DEAD BOLTS OR A BOLT OR PIN NOT REMOVABLE OR OPERABLE FROM EXTERIOR. AT THE JAMB, HEAD, SILL OR AT MEETING MULLIONS. THESE DOORS SHALL BE REINFORCED IN THE STRIKE AND LOCK AREA TO MAINTAIN BOLT STRENGTH EFFECTIVENESS, IF NECESSARY, AND SUCH DOORS SHALL HAVE NO SCREWS REMOVABLE FROM OUTSIDE WHICH WOULD FACILITATE READY ENTRY FROM OUTSIDE.
- JAMBS SHALL BE PROVIDED WITH APPROVED REINFORCED STRIKES INSTALLED WITH SCREWS AT LEAST 3" IN LENGTH & PENETRATING SUB-BUCKS AT LEAST 1".
- HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-REMOVABLE PINS.
- JAMBS OF ALL EXTERIOR OFFSET TYPE IN-SWINGING DOORS BE RABBETED, OR OF SIMILAR FABRICATION, TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
- SINGLE, SWINGING, EXTERIOR DOORS, IF WOOD SHALL BE SOLID CORE OF NOT LESS THAN 1 3/8 INCHES THICK.
- GLASS AND EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE'S STANDARD 297.1.
- VISION PANELS IN EXTERIOR DOORS OTHER THAN GLAZING WITHIN 40 INCHES OF INSIDE LOCKING ACTIVATING DEVICE OF LOCKS AND SWINGING DOORS SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD 297.1.
- SLIDING GLASS DOORS AND WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM MFGS. ASSOC. STANDARDS FOR FORCED ENTRY RESISTANCE, AAMA 1303.3.
- LOCKS IN EXTERIOR WINDOWS SHALL COMPLY WITH RESISTANCE CRITERIA FOR CATEGORY I.
- FRONT MAN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOOR SCOPE OR VISION PANELS.

DECAY & TERMITE PROTECTION NOTES:

- TERMITE PROTECTION. TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.
- IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, THE INITIAL CHEMICAL SOIL TREATMENT INSIDE THE FOUNDATION PERIMETER SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING AND COMPACTION IS COMPLETE.
- IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SOIL AREA DISTURBED AFTER INITIAL CHEMICAL SOIL TREATMENT SHALL BE RETREATED WITH A CHEMICAL SOIL TREATMENT, INCLUDING SPACES BOXED OR FORMED.
- IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SOIL IN CONCRETE FLOORS BOXED OUT OR FORMED FOR THE IRRESISTENT INSTALLATION OF PLUMBING TRAPS, DRAINS OR ANY OTHER PURPOSE SHALL BE CREATED BY USING PLASTIC OR METAL PERMANENTLY PLACED FORMS OF SUFFICIENT DEPTH TO ELIMINATE ANY PLANNED SOIL DISTURBANCE AFTER INITIAL CHEMICAL SOIL TREATMENT.
- IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICALLY TREATED SOIL SHALL BE PROTECTED WITH A MINIMUM 6 MIL VAPOR RETARDER TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED. ANY WORK, INCLUDING PLACEMENT OF REINFORCING STEEL, DONE AFTER CHEMICAL TREATMENT UNTIL THE CONCRETE FLOOR IS POURED, SHALL BE DONE IN SUCH MANNER AS TO AVOID PENETRATING OR DISTURBING TREATED SOIL.
- IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CONCRETE OVERPOUR OR MORTAR ACCUMULATED ALONG THE EXTERIOR FOUNDATION PERIMETER SHALL BE REMOVED PRIOR TO EXTERIOR CHEMICAL SOIL TREATMENT. TO ENHANCE VERTICAL PENETRATION OF THE CHEMICALS.
- IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICAL SOIL TREATMENTS SHALL ALSO BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1 FOOT (305 MM) OF THE PRIMARY STRUCTURE SIDEWALLS. ALSO, A VERTICAL CHEMICAL BARRIER SHALL BE APPLIED PROMPTLY AFTER CONSTRUCTION IS COMPLETED, INCLUDING LANDSCAPE CONSTRUCTION. THE WORKER INSTALLATION ANY SOIL DISTURBED AFTER THE CHEMICAL VERTICAL BARRIER IS APPLIED SHALL BE PROMPTLY RETREATED.
- TERMITE PROTECTION. ALL BUILDINGS SHALL HAVE PRECONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES TO COMPLY WITH SECTION 1816.1 SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
- A WEATHER-RESISTANT JOBSITE POSTING SIGN BOARD SHALL BE PROVIDED TO RECEIVE DUPLICATE TREATMENT CERTIFICATES AS EACH REDD PROTECTIVE TREATMENT IS COMPLETED, PROVIDING A COPY FOR THE PERSON THE PERMIT IS ISSUED TO AND ANOTHER COPY FOR THE BUILDING PERMIT. THE TREATMENT CERTIFICATE SHALL PROVIDE THE PRODUCT USED, IDENTITY OF THE APPLICATOR, TIME & DATE OF THE TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, % CONCENTRATION, & # OF GALLONS USED. TO ESTABLISH A VERIFIABLE RECORD OF PROTECTIVE TREATMENT, IF THE SOIL CHEMICAL BARRIER METHOD FOR TERMITE PREVENTION IS USED, FINAL EXTERIOR TREATMENT SHALL BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.
- A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER & NEED FOR REINSPECTION & TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.
- PENETRATION. PROTECTIVE SLEEVES AROUND METALLIC PIPING PENETRATING CONCRETE SLAB-ON-GRADE FLOORS SHALL NOT BE OF CELLULOSE-CONTAINING MATERIALS AND SHALL RECEIVE APPLICATION OF A TERMITICIDE IN ANNULAR SPACE BETWEEN SLEEVE AND PIPE.
- WHERE WOOD JOISTS, OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WITHOUT JOISTS, ARE CLOSER THAN 18" OR BELOW THE B.F. (4" IF NVD), OR WOOD GIRDERS ARE CLOSER THAN 12" TO THE EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREAS LOCATED WITHIN THE PERIMETER OF THE BUILDING FOUNDATION, THE FLOOR CONSTRUCTION (INCLUDING JOISTS, GIRDERS, JOISTS, & SUBFLOOR) SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.

NOTE: TERMITE TREATMENT CO. SHALL PROVIDE A TERMITE CERTIFICATE AT SLAB INSPECTION

SITE PLAN NOTES:

- ALL RAINWATER TO BE CONTAINED WITHIN THE SITE, NO RUNOFF ALLOWED ONTO ADJACENT PROPERTIES. A 5% SLOPE IN THE DRAINAGE DIRECTION SHALL BE MAINTAINED. ADJACENT PROPERTY TO BE PROVIDED AT PERMETER OF PROPERTY, EXCEPT AT RETAINING WALLS IN CURB.
- ALL LANDSCAPING BY OTHERS.
- ALL METAL FENCES, GATES TO BE UNDER SEPARATE PERMIT.
- ALL MISSING, BROKEN, CRACKED OR UPLIFTED SIDEWALKS SHALL BE RECONSTRUCTED.
- PAVING MATERIALS SHALL FULLY COMPLY WITH THE SOLAR REFLECTANCE CRITERIA OF THE HEAT ISLAND EFFECT REQUIREMENTS FOUND IN ARTICLE 3 OF THE CODE.

ELEVATION CERTIFICATE NOTE:

- UPON COMPLETION OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION, THE GC SHALL SUBMIT AN ELEVATION CERTIFICATE PER FBC 2023, BUILDING - SECTION 110.3 Building 1.1.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE GC SHALL SUBMIT AN ELEVATION CERTIFICATE PER FBC 2023, BUILDING - SECTION 110.3 Building 1.1.
- UPON ISSUE OF ANY C.C., T.C.O., OR P.C.O.

FLOOD NOTES:

- ALL CONSTRUCTION & FINISH MATERIAL, BELOW THE DESIGN FLOOD ELEVATION, OUTSIDE THE DRY FLOODPROOFED AREA, SHALL BE OF FLOOD DAMAGE RESISTANT MATERIALS ACCORDING TO TABLE 5-1 & TABLE 1 OF THE ASCE 24-14.
- IF NOT FLOOD-FLOODPROOFED, ENCLOSED AREAS BELOW THE D.F.E. SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS, OR STORAGE. PER ASCE 24-14, 4.2.2.

PUBLIC WORKS NOTES:

- ### EROSION AND SEDIMENTATION CONTROL
- THE INLET PROTECTION DEVICE OF THE PUBLIC STORM DRAIN SHALL BE CONSTRUCTED TO FACILITATE THE CLEANOUT AND DISPOSAL OF TRAPPED SEDIMENT AND TO MINIMIZE INTERFERENCE WITH CONSTRUCTION ACTIVITIES.
 - THE INLET PROTECTION DEVICES SHALL BE CONSTRUCTED SO THAT ANY RESULTANT PONDING OR STORMWATER WILL NOT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT AREAS OR STRUCTURES.
 - INSTALL A 6" FENCE AROUND ALL EXCAVATION ON SITE.
 - THE DRAINAGE AREA SHALL BE NO GREATER THAN 1 ACRE.
- ### DEMOLITION AND DUST CONTROL
- DUST CONTROL DURING DEMOLITION IS TO BE PROVIDED EITHER THROUGH:
 - STORMWATER DETENTION AND/OR
 - WET DUST SUPPRESSION
- ### FUTURE CONSIDERATIONS NOTE
- THE GC SHALL ENSURE THAT THE FRONT ENTRANCE IS ACCOMMODATED TO THE FUTURE ELEVATION OF THE STRIKE AND LOCK AREA.
- ### WORK IN RIGHT-OF-WAY
- A CITY OF MIAMI BEACH RIGHT-OF-WAY CONSTRUCTION PERMIT IS REQUIRED PRIOR TO STARTING ANY DEMOLITION AND/OR CONSTRUCTION ACTIVITY. AND/OR USE OF EQUIPMENT INSIDE THE RIGHT-OF-WAY SUBMITTAL OF LANDSCAPE WITHIN THE RIGHT-OF-WAY MUST BE REVIEWED AND APPROVED BY PARKS & RECREATION DEPARTMENT TO A PUBLIC WORKS PERMIT.
- ### MOSQUITO MANAGEMENT PROGRAM
- THE GC SHALL EMPLOY AN EFFECTIVE INTEGRATED "MOSQUITO MANAGEMENT PROGRAM" UTILIZING BEST MANAGEMENT PRACTICES DURING THE ENTIRE TIME THE PERMIT IS IN EFFECT.
- THE CITY INSPECTOR WILL DETERMINE THE MAGNITUDE OF IMPROVEMENTS.
- REMOVE AND REPLACE THE CURB, GUTTER & SIDEWALK ALONG THE ENTIRE PROPERTY. REMINDER NOTES:
 - THE CONTRACTOR/PERMIT HOLDER SHALL EMPLOY AN EFFECTIVE INTEGRATED MOSQUITO MANAGEMENT PROGRAM UTILIZING BEST MANAGEMENT PRACTICES DURING THE ENTIRE TIME THE PERMIT IS IN EFFECT
 - CMB RMP RIGHT OF WAY CONSTRUCTION PERMIT IS REQUIRED BEFORE STARTING ANY DEMOLITION AND/OR CONSTRUCTION ACTIVITY INSIDE RIGHT-OF-WAY. THIS PERMIT IS GOING TO THE GRANTED DURING A WALK THROUGH PERMIT PROCESS AT THE PUBLIC WORKS DEPARTMENT ON 4TH FLOOR AT CITY HALL.
 - C.C. YOU ARE NOT CONTEMPLATING TO REPLACE THE EXISTING SIX INCHES SANITARY SEWER LATERAL FROM THE PROPERTY LINE TO THE SANITARY SEWER MAIN, THE PUBLIC WORKS DEPARTMENT RECOMMENDS THAT THE SANITARY SEWER LATERAL BETWEEN PROPERTY LINE AND THE SANITARY SEWER MAIN BE REPLACED IN ALL SUBSTANTIAL IMPROVEMENT PROJECTS, AS A SUBJECTIVE, YOU SHOULD DO A VIDEO INSPECTION OF THE SIX INCHES SANITARY SEWER LATERAL TO CONFIRM THE CONDITION OF THE PIPE. IF YOU REQUIRE TWO DIGITAL COPY TO THE PUBLIC WORKS DEPARTMENT, IT WILL BE REVIEWED BY OUR ENGINEERING AND OPERATION CREWS TO CONFIRM THE CONDITION OF THE LATERAL PIPE.
- ### D.D. CONCRETE DECORATIVE REQUIRE A CITY OF MIAMI BEACH RIGHT OF WAY PERMITS FOR CONCRETE DECORATIVE DRIVEWAY CONNECTION (PUBLIC WORKS MANUAL PART 1 SECTION 2) 1.4.4.
- ### E.E. LANDSCAPE IMPROVEMENTS WITHIN THE RIGHT-OF-WAY REQUIRE PRELIMINARY APPROVALS FROM THE PUBLIC WORKS URBAN FORESTER MARK WELMS PRIOR TO APPLYING FOR A PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.
- F.F. YOU NEED TO CONSIDER THAT ROADWAY AND SIDEWALK ARE GOING TO BE RAISED TO A MINIMUM ELEVATION OF 3 FT 11 IN. U.S. 1986 (26 FT NGVD) IN THE UPCOMING YEARS. PLEASE ACCOMMODATE YOUR FRONT ENTRANCE TO THE FUTURE ELEVATION OF THE SIDEWALK.

- TO CONFIRM THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL FROM THE PROPERTY LINE TO THE SANITARY SEWER MAIN, THE GC SHALL PERFORM A VIDEO INSPECTION & PROVIDE TWO (2) DIGITAL COPIES TO THE CITY OF MIAMI BEACH PUBLIC WORKS DEPT. FOR REVIEW BY THE ENGINEERING & OPERATIONS CREWS.
- RECONSTRUCT SWALES ALONG THE ENTIRE PROPERTY.
- INSTALL AND RESURFACE 2 INCHES AVERAGE USING TYPE S-BITUMPHAL MIX DESIGN ON THE DRIVING LANE (10 FOOT WIDE) ALONG THE ENTIRE PROPERTY.
- ANY WORK AND/OR IMPROVEMENTS TO THE RIGHT-OF-WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRES A SEPARATE PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.
- ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT-OF-WAY WILL REQUIRE A SEPARATE PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT PRIOR TO START OF CONSTRUCTION.

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FRONT 1



FRONT 2



FRONT 3



FRONT 4



INTERIOR 1



INTERIOR 2



INTERIOR 3



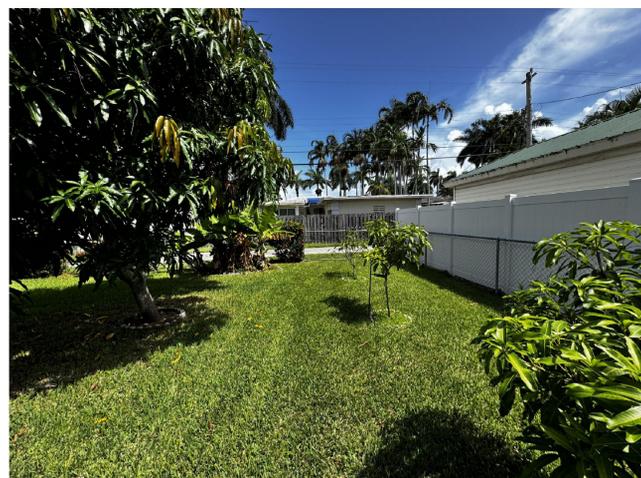
INTERIOR 4



REAR 1



REAR 2



REAR 3

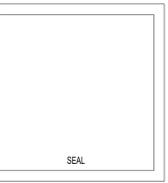


REAR 4

AA0003669
ANTHONY LEON
0016/52

DESIGN
ARCHITECTURE

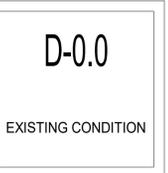
3260 Northwest 7th Street, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379



REMODELING AND ADDITION
AT:
927 TYLER STREET
HOLLYWOOD, FL 33019

REVISIONS:

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FOLIO NUMBER
514214022710

LEGAL DESCRIPTION
LOT 8 AND 9, BLOCK 64, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

SITE PLAN INFORMATION:
ZONING DESIGNATION:..... RS-6

FLOOD ZONE:..... AE

BASE FLOOD ELEVATION:..... 5 ft

CLASSIFICATION OF WORK:
REMODELING AND ADDITION

CLASSIFICATION OF USE:
SINGLE FAMILY RESIDENTIAL

CONSTRUCTION TYPE:
VA

SCOPE OF WORK:
Remodeling and addition to an existing 1 story single-family residence



LOCATION MAP
SCALE: N.T.S.

| BUILDING SETBACK | ALLOWED: | PROPOSED: |
|--------------------|----------------------------|----------------------|
| PRIMARY FRONTAGE | 25 FT | 34' - 11" (EXISTING) |
| SECONDARY FRONTAGE | 20 FT | N/A |
| RIGHT SIDE | 20 FT | 18' - 1" (EXISTING) |
| LEFT SIDE | | 5' - 0" (EXISTING) |
| REAR | 19.2 FT (15% OF LOT DEPTH) | 37' 10" |

| BUILDING HEIGHT | ALLOWED: | PROPOSED: |
|--------------------------------|----------|-----------------|
| # OF STORIES: | 2 | 1 EX. 13'-9" |
| BLDG HEIGHT FROM CROWN OF ROAD | 30 ft | 2,491 SF |
| EXISTING BUILDING AREA | | 2,491 SF |
| AREA TO REMODELING | | 125 SF |
| PROPOSED NEW ADDITION COVERED | | |

LOT COVERAGE INFORMATION (AS PER CITY PROVIDED FORM)

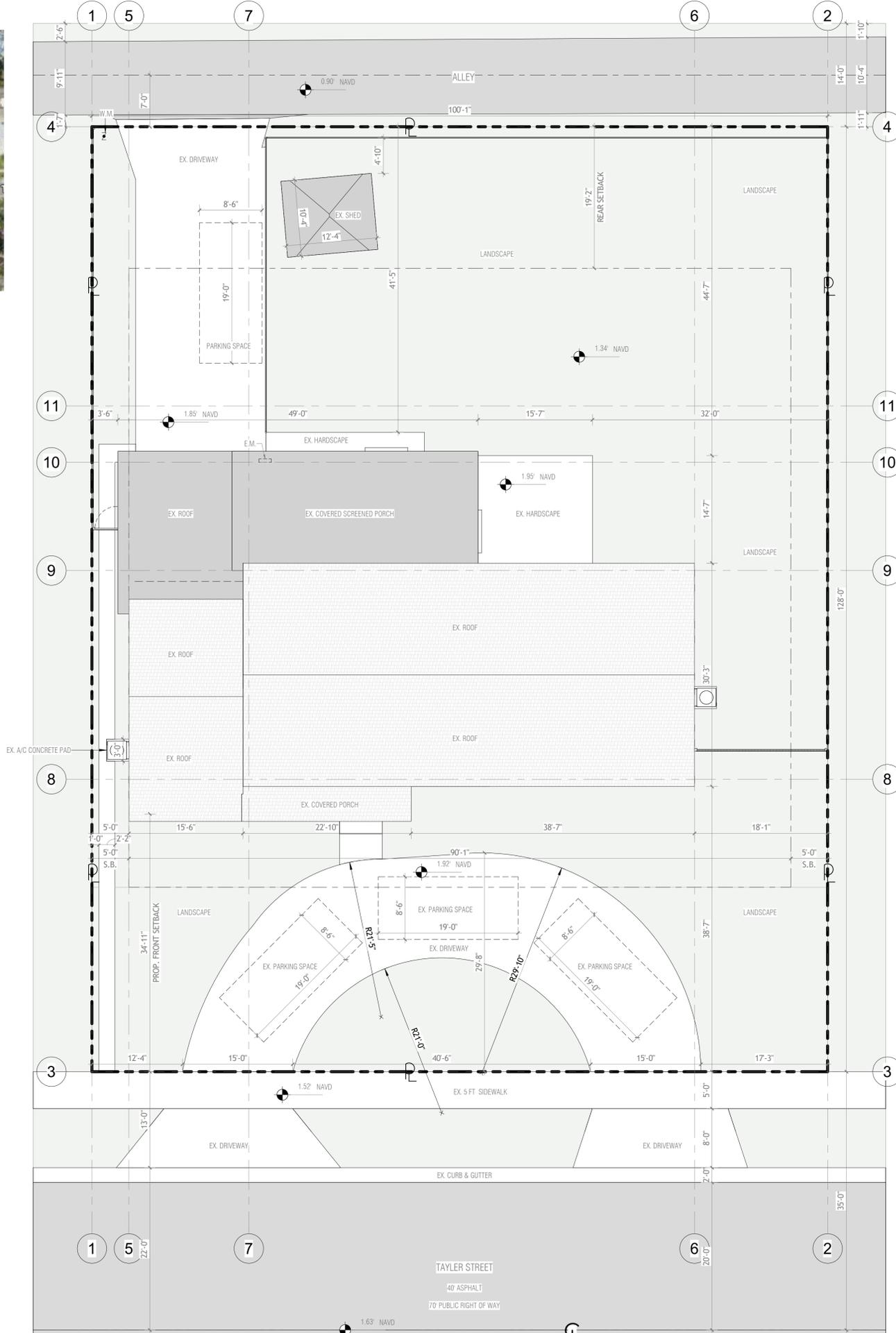
| | | |
|----|------------------------|---|
| 1. | 12,806 SQ. FT. | SQUARE FEET OF YOUR LOT (length x width) |
| 2. | 3,039 SQ. FT. | SQUARE FEET OF YOUR HOUSE |
| 3. | 5,743 SQ. FT. (45 %) | SQUARE FEET OF ALL EXISTING IMPERVIOUS SURFACES (e.g. Driveways, walkways, decks, pools, storage sheds, etc.) |
| 4. | 343 SQ. FT. (3,382 SF) | SQUARE FEET OF THE ADDITION, AND OR... |
| 5. | 125 SQ. FT. (2,829 SF) | SQUARE FEET OF THE PROPOSED ACCESSORY STRUCTURES, DRIVEWAYS, PAVEMENT, DECK, ETC. |
| 6. | 6,212 SQ. FT. | TOTAL SQUARE FEET OF THE IMPERVIOUS AREA ON YOUR LOT |
| 7. | 49 % | PERCENTAGE OF THE IMPERVIOUS LOT COVERAGE |

LOT COVERAGE INFORMATION (AS PER CITY PROVIDED FORM)

| | | |
|---|----------------------------------|----------|
| 1. | EXISTING RESIDENCES A/C AREA: | 2,491 SF |
| 2. | EXISTING RESIDENCES NO A/C AREA: | 544 SF |
| 3. | PROPOSED ADDITION'S A/C AREA: | 119 SF |
| 4. | PROPOSED ADDITION'S NO A/C AREA: | 164 SF |
| TOTAL A/C AREA: | | 2,610 SF |
| 2 PARKING SPACES FOR THE FIRST 2000 SQ FT 1 PARKING SPACE FOR EACH REMAINING 500 SQ FT | | |
| TOTAL REQUIRED: 3 PARKING SPACES (8.5' X 19') | | |
| TOTAL PROVIDED: 3 PARKING SPACES (8.5' X 19') | | |

LANDSCAPED AREA @ FRONT SETBACK

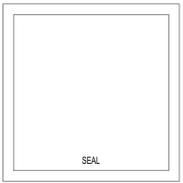
| | | |
|----|---------------------|------------------|
| 1. | FRONT SETBACK AREA: | 2,500 SF |
| 2. | LANDSCAPED AREA: | 1,440 SF (57.6%) |



SITE PLAN - EXISTING
SCALE: 1/8" = 1'-0"

A.A0003669
ANTHONY LEON
0016152

3 DESIGN ARCHITECTURE
3260 Northwest 7th Street, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379

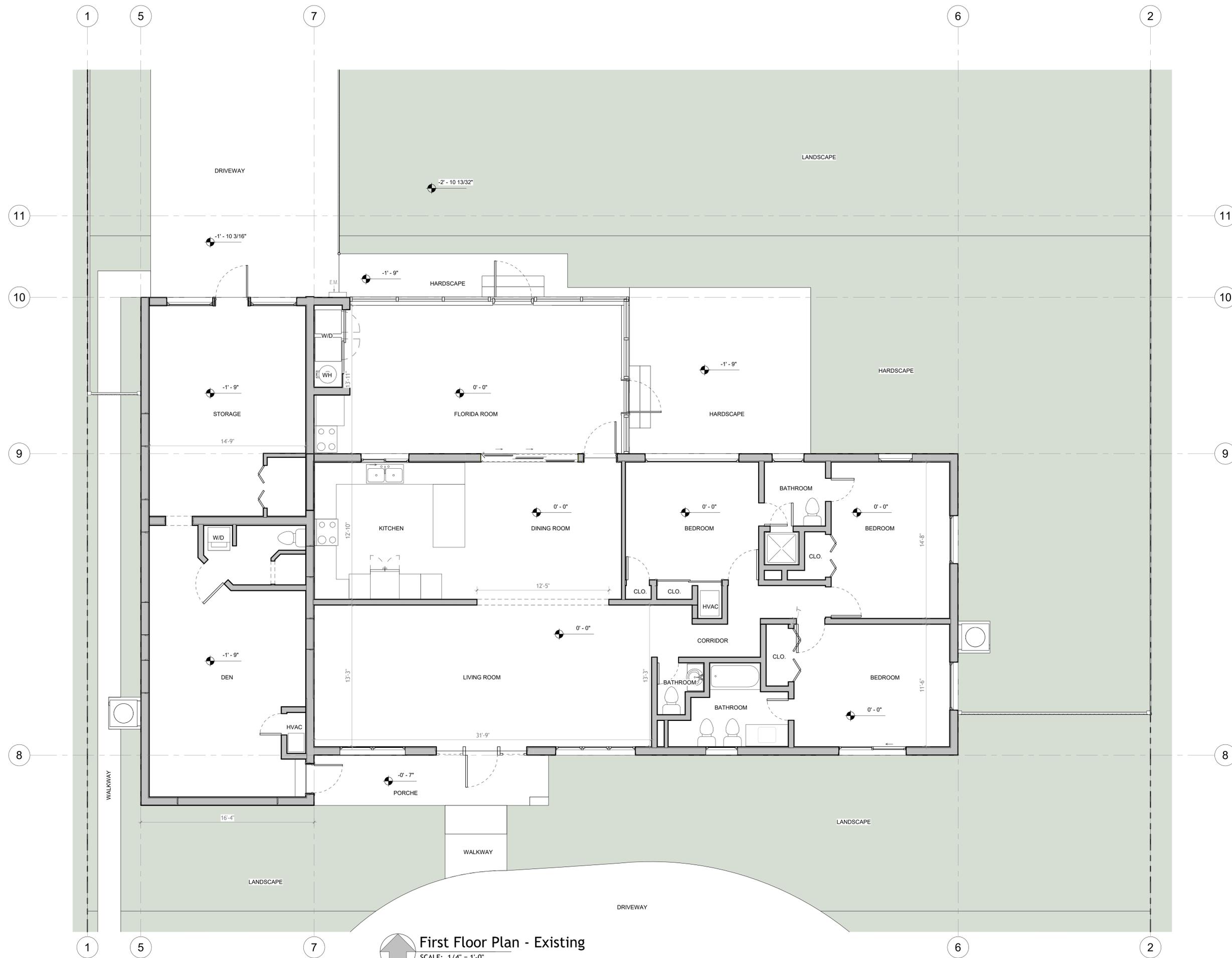


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D-0.1
EXISTING SITE PLAN

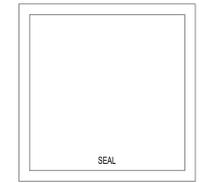


First Floor Plan - Existing
 SCALE: 1/4" = 1'-0"

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 ANTHONY LEON
 0016752

3 DESIGN
 ARCHITECTURE

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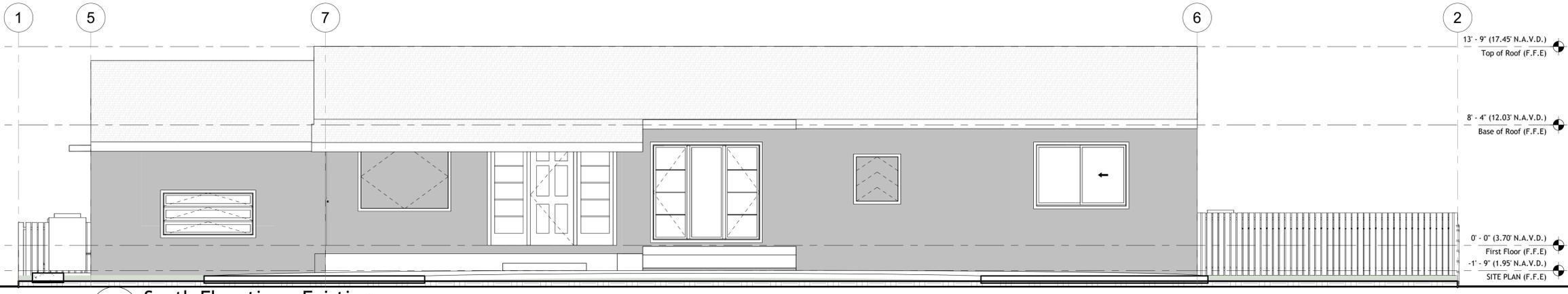


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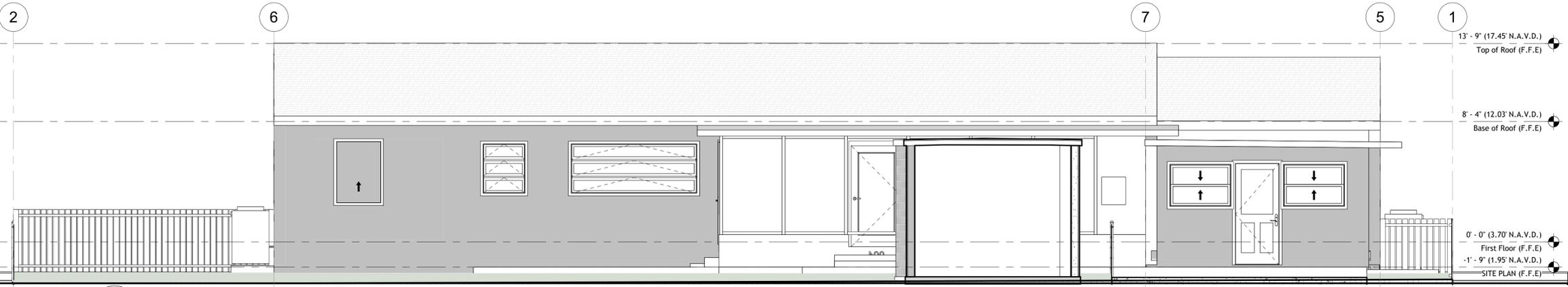
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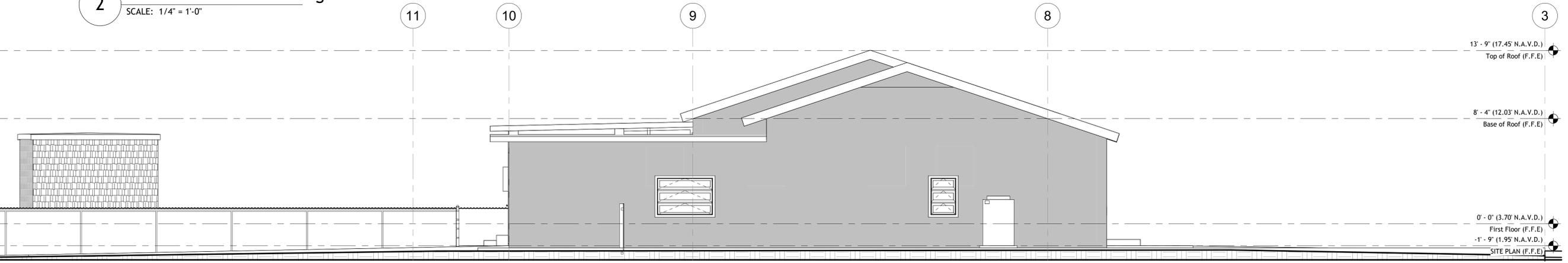
D-1.0
 EXISTING FLOOR PLAN



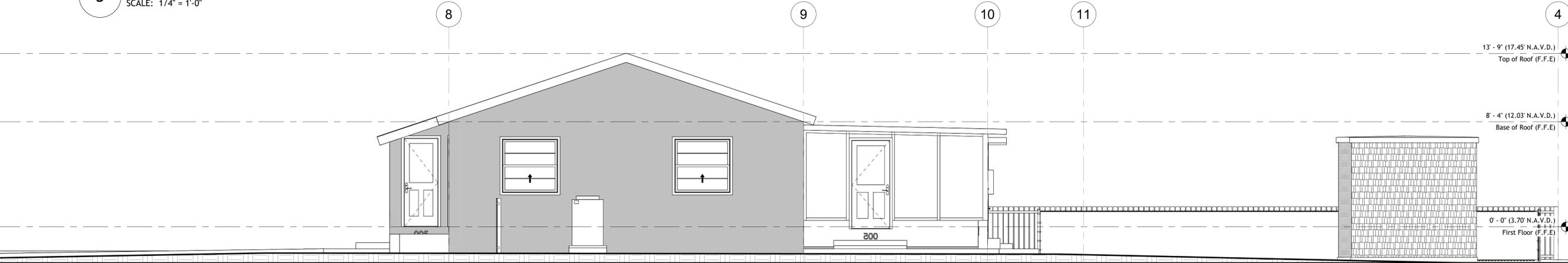
1 South Elevation - Existing
SCALE: 1/4" = 1'-0"



2 North Elevation - Existing
SCALE: 1/4" = 1'-0"



3 West Elevation - Existing
SCALE: 1/4" = 1'-0"

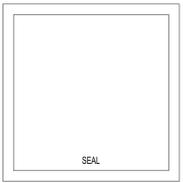


4 East Elevation - Existing
SCALE: 1/4" = 1'-0"

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ANTHONY LEON
0016/52

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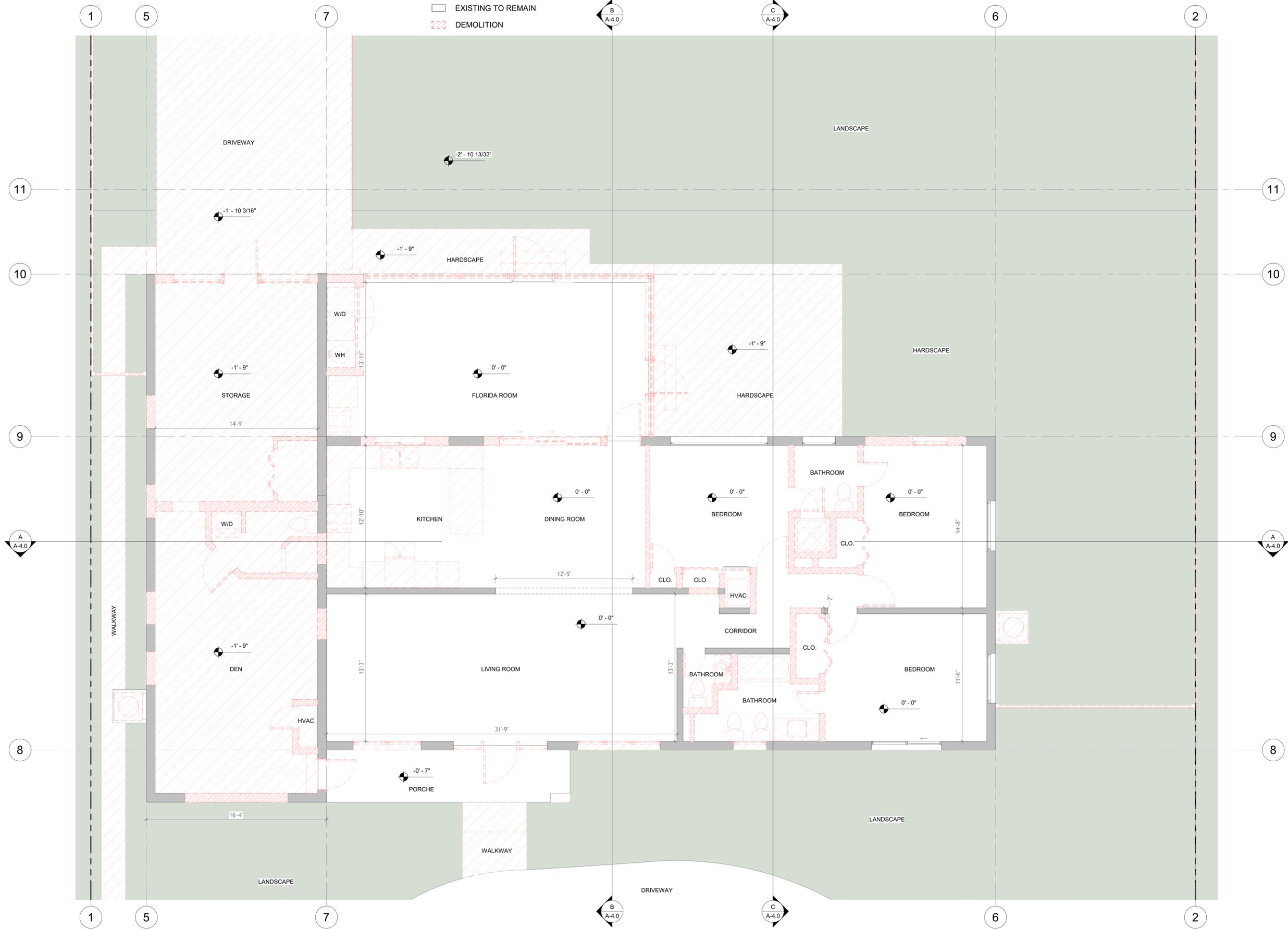
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D-12
EXISTING ELEVATIONS

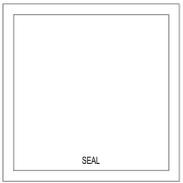
Demolition Legend

- EXISTING TO REMAIN
- DEMOLITION



First Floor Plan - Demolition
 SCALE: 1/4" = 1'-0"

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D-2.0
 DEMOLITION FLOOR PLAN

Demolition Legend

- EXISTING TO REMAIN
- DEMOLITION



Roof Plan - Demolition
SCALE: 1/4" = 1'-0"

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ARCHITECTURE
3260 Northwest 7th Street, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379

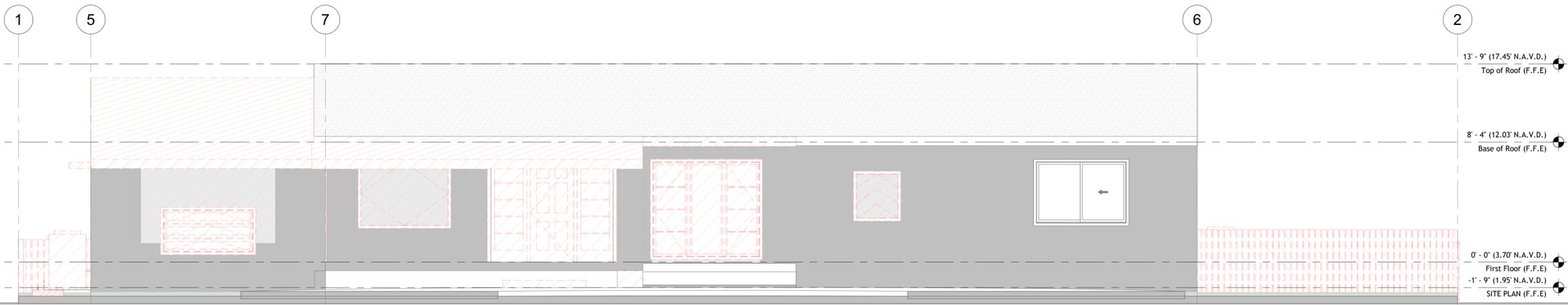


REMODELING AND ADDITION
AT:
927 TYLER STREET
HOLLYWOOD, FL 33019

REVISIONS:

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D-2.1
DEMOLITION ROOF PLAN

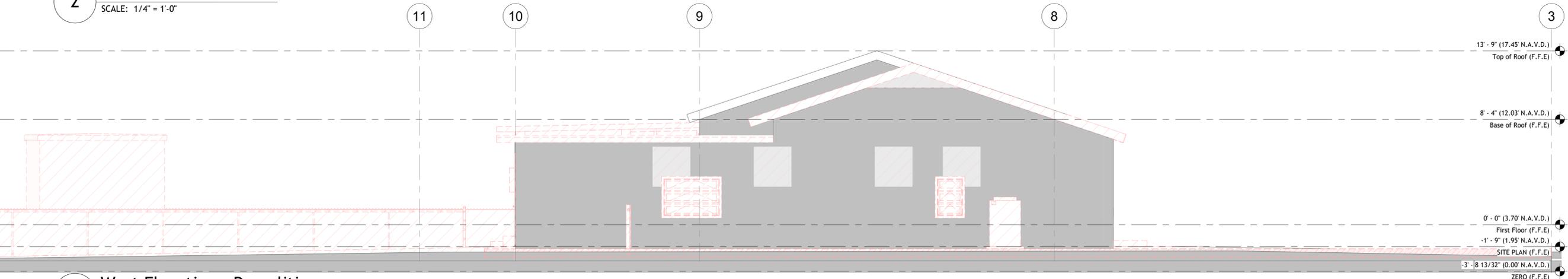


1 South Elevation - Demolition
SCALE: 1/4" = 1'-0"

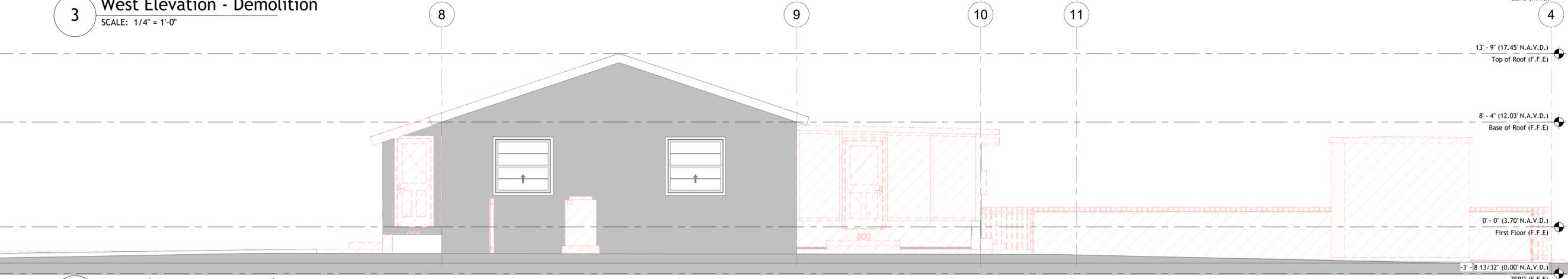
Demolition Legend
 [Solid Line] EXISTING TO REMAIN
 [Red Hatched] DEMOLITION



2 North Elevation - Demolition
SCALE: 1/4" = 1'-0"



3 West Elevation - Demolition
SCALE: 1/4" = 1'-0"



4 East Elevation - Demolition
SCALE: 1/4" = 1'-0"

AA0003669
 ANTHONY LEON
 0016152
3 DESIGN ARCHITECTURE
 3260 Northwest 7th Street, Miami, FL 33125
 P: 305.438.9377 | F: 305.438.9379

SEAL

REMODELING AND ADDITION
 AT:
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D-2.2
 DEMOLITION ELEVATIONS

FOLIO NUMBER
514214022710

LEGAL DESCRIPTION
LOT 8 AND 9, BLOCK 64, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

SITE PLAN INFORMATION:
ZONING DESIGNATION:..... RS-6
FLOOD ZONE:..... AE
BASE FLOOD ELEVATION:..... 5 ft

CLASSIFICATION OF WORK:
REMODELING AND ADDITION
CLASSIFICATION OF USE:
SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE:
VA
SCOPE OF WORK:
Remodeling and addition to an existing 1 story single-family residence



LOCATION MAP
SCALE: N.T.S.

| BUILDING SETBACK | ALLOWED: | PROPOSED: |
|--------------------|----------------------------|----------------------|
| PRIMARY FRONTAGE | 25 FT | 34' - 11" (EXISTING) |
| SECONDARY FRONTAGE | 20 FT | N/A |
| RIGHT SIDE | 20 FT | 18' - 1" (EXISTING) |
| LEFT SIDE | 20 FT | 5' - 0" (EXISTING) |
| REAR | 19.2 FT (15% OF LOT DEPTH) | 37' 10" |

| BUILDING HEIGHT | ALLOWED: | PROPOSED: |
|--------------------------------|----------|-----------|
| # OF STORIES: | 2 | 1 EX. |
| BLDG HEIGHT FROM CROWN OF ROAD | 30 ft | 13'-9" |
| EXISTING BUILDING AREA | | 2,491 SF |
| AREA TO REMODELING | | 2,491 SF |
| PROPOSED NEW ADDITION COVERED | | 125 SF |

LOT COVERAGE INFORMATION (AS PER CITY PROVIDED FORM)

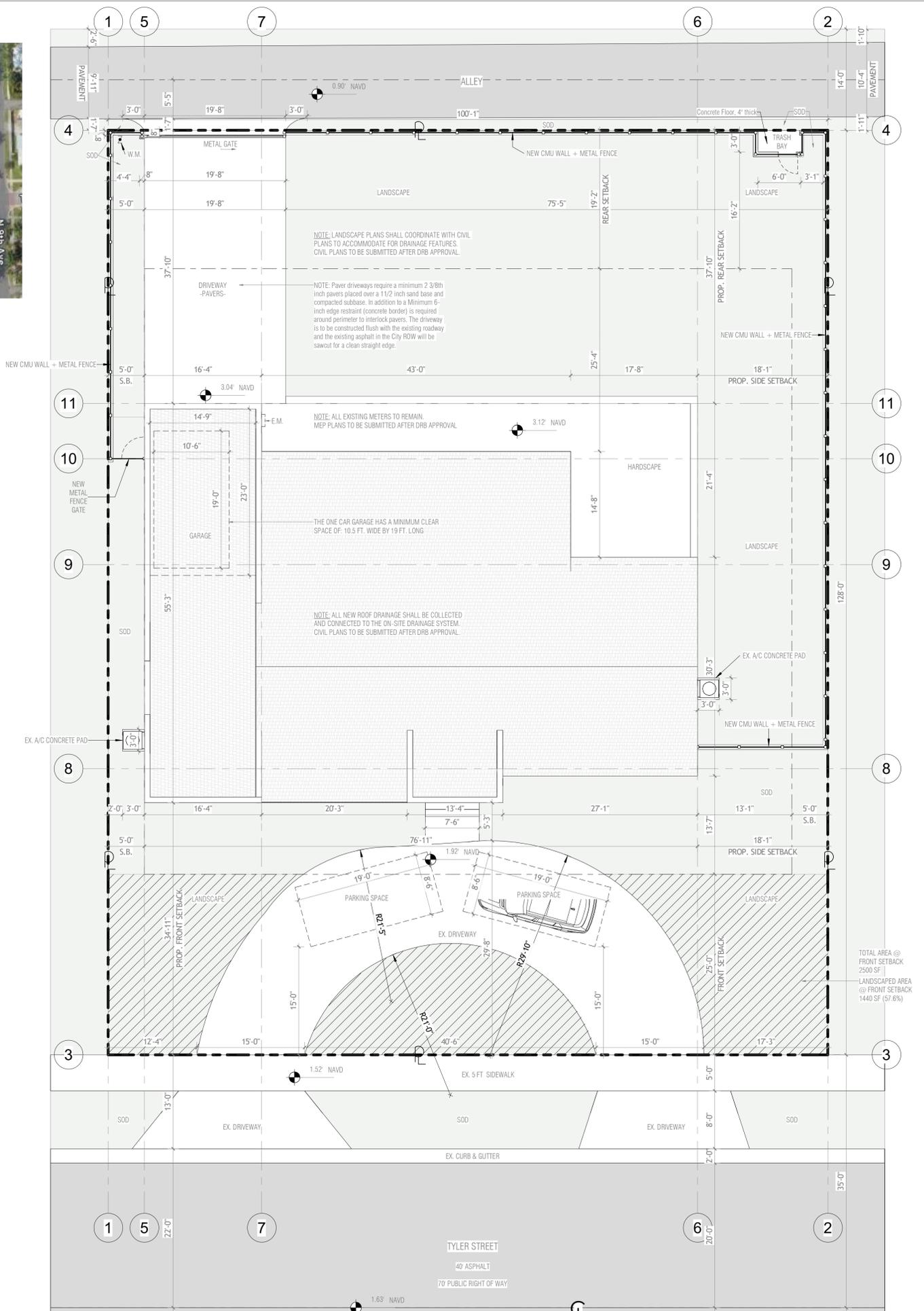
| NO. | DESCRIPTION | VALUE |
|-----|------------------------|---|
| 1. | 12,806 SQ. FT. | SQUARE FEET OF YOUR LOT (length x width) |
| 2. | 3,039 SQ. FT. | SQUARE FEET OF YOUR HOUSE |
| 3. | 5,743 SQ. FT. (45 %) | SQUARE FEET OF ALL EXISTING IMPERVIOUS SURFACES (e.g. Driveways, walkways, decks, pools, storage sheds, etc.) |
| 4. | 343 SQ. FT. (3,382 SF) | SQUARE FEET OF THE ADDITION, AND OR... |
| 5. | 125 SQ. FT. (2,829 SF) | SQUARE FEET OF THE PROPOSED ACCESSORY STRUCTURES, DRIVEWAYS, PAVEMENT, DECK, ETC. |
| 6. | 6,212 SQ. FT. | TOTAL SQUARE FEET OF THE IMPERVIOUS AREA ON YOUR LOT |
| 7. | 49 % | PERCENTAGE OF THE IMPERVIOUS LOT COVERAGE |

LOT COVERAGE INFORMATION (AS PER CITY PROVIDED FORM)

| | | |
|---|----------------------------------|----------|
| 1. | EXISTING RESIDENCES A/C AREA: | 2,491 SF |
| 2. | EXISTING RESIDENCES NO A/C AREA: | 544 SF |
| 3. | PROPOSED ADDITIONS A/C AREA: | 119 SF |
| 4. | PROPOSED ADDITIONS NO A/C AREA: | 164 SF |
| TOTAL A/C AREA: | | 2,610 SF |
| 2 PARKING SPACES FOR THE FIRST 2000 SQ FT 1 PARKING SPACE FOR EACH REMAINING 500 SQ FT | | |
| TOTAL REQUIRED: 3 PARKING SPACES (8.5' X 19') | | |
| TOTAL PROVIDED: 3 PARKING SPACES (8.5' X 19') | | |

LANDSCAPED AREA @ FRONT SETBACK

| | | |
|----|---------------------|------------------|
| 1. | FRONT SETBACK AREA: | 2,500 SF |
| 2. | LANDSCAPED AREA: | 1,440 SF (57.6%) |



SITE PLAN
SCALE: 1/8" = 1'-0"

A40003669
ANTHONY LEON
0016/52

3 DESIGN ARCHITECTURE

3260 Northwest 7th Street, Miami, FL 33125
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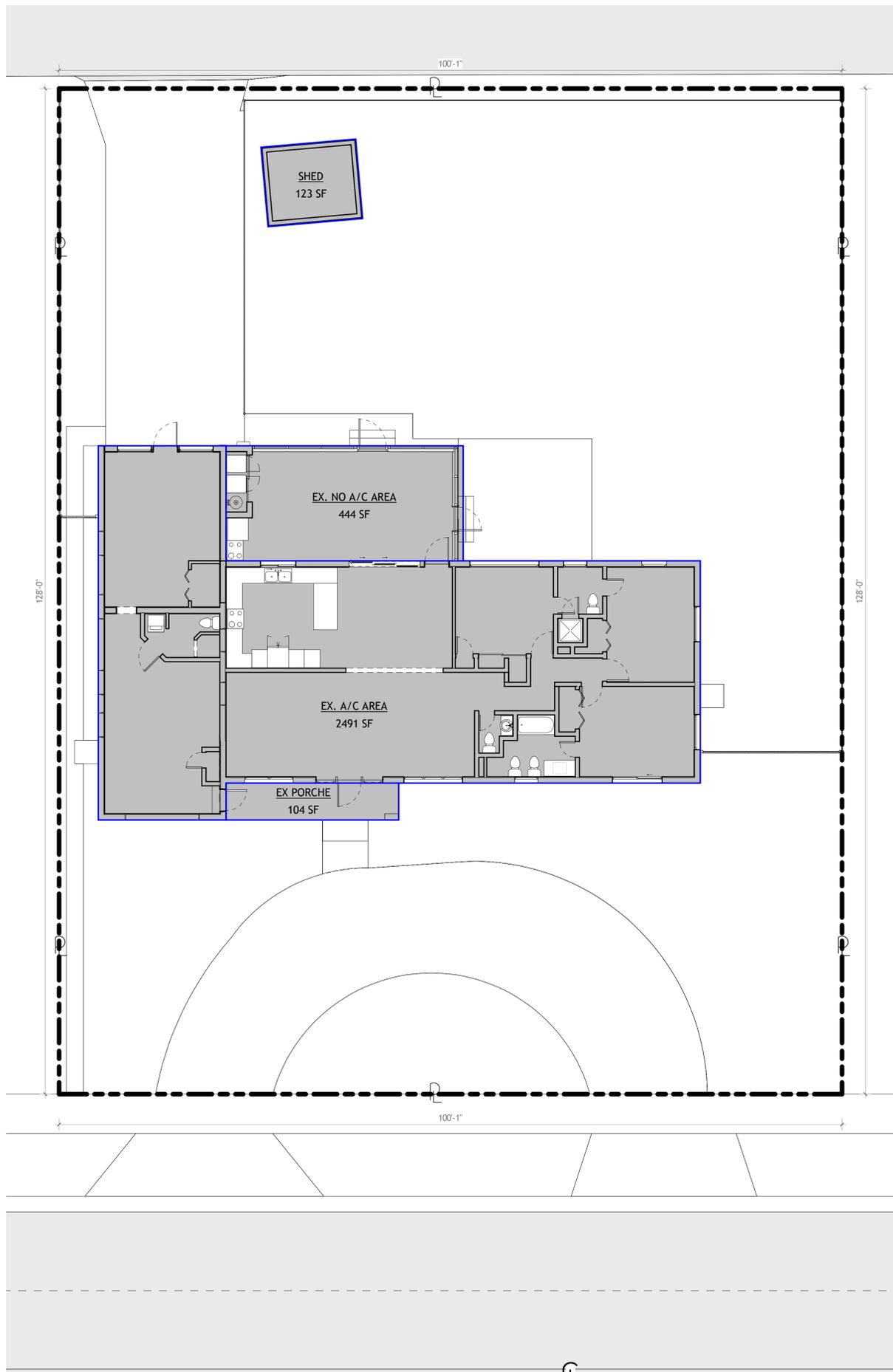
REMODELING AND ADDITION
AT
927 TYLER STREET
HOLLYWOOD, FL 33019

REVISIONS:

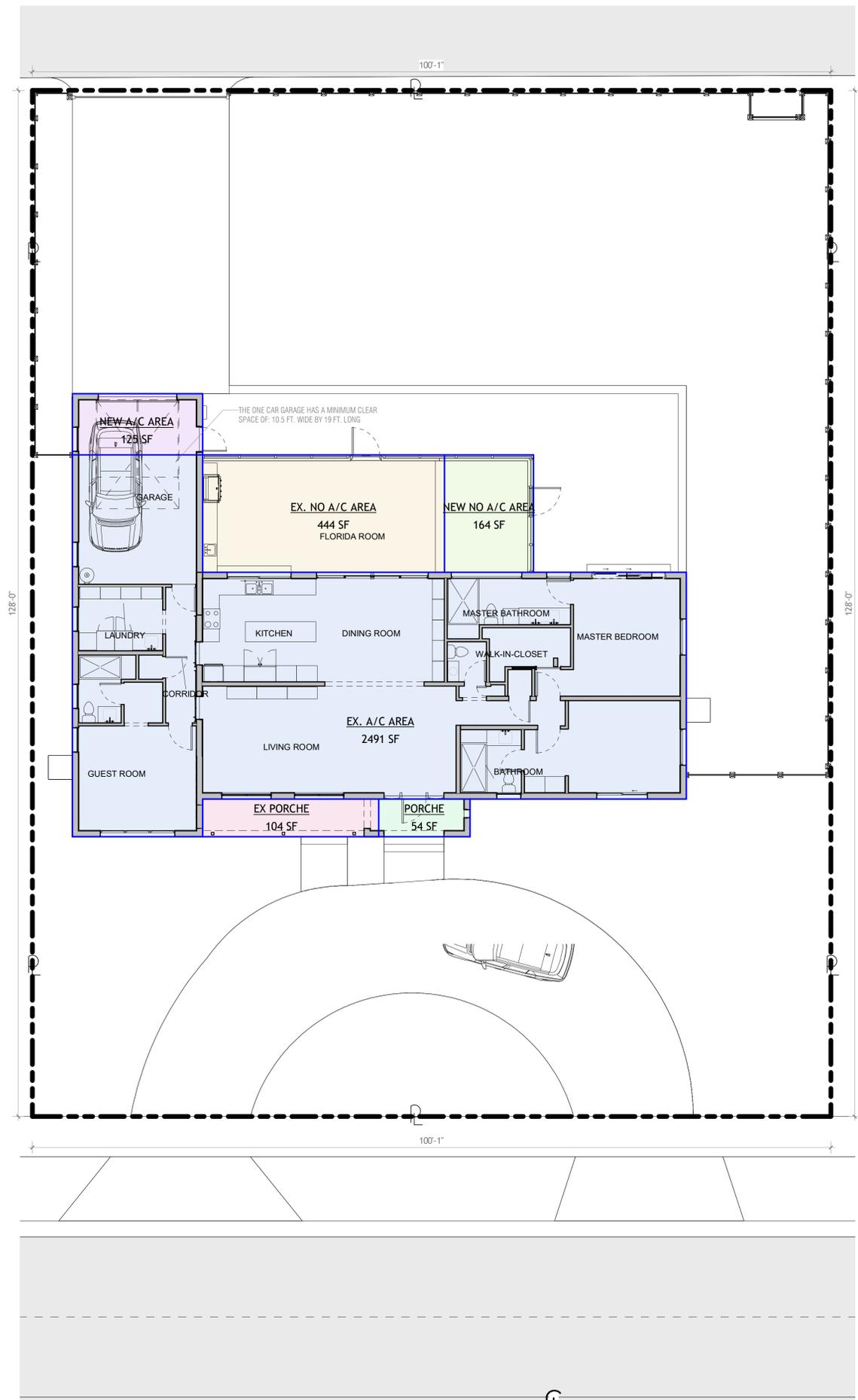
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A-1.0

SITE PLAN & ZONING DATA



Existing Area
SCALE: 1/8" = 1'-0"

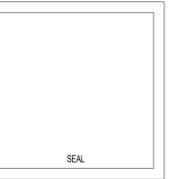


Proposed Area
SCALE: 1/8" = 1'-0"

A40003669
ANTHONY LEON
0016/152

3 DESIGN
ARCHITECTURE

3260 Northwest 7th Street, Miami, FL 33125
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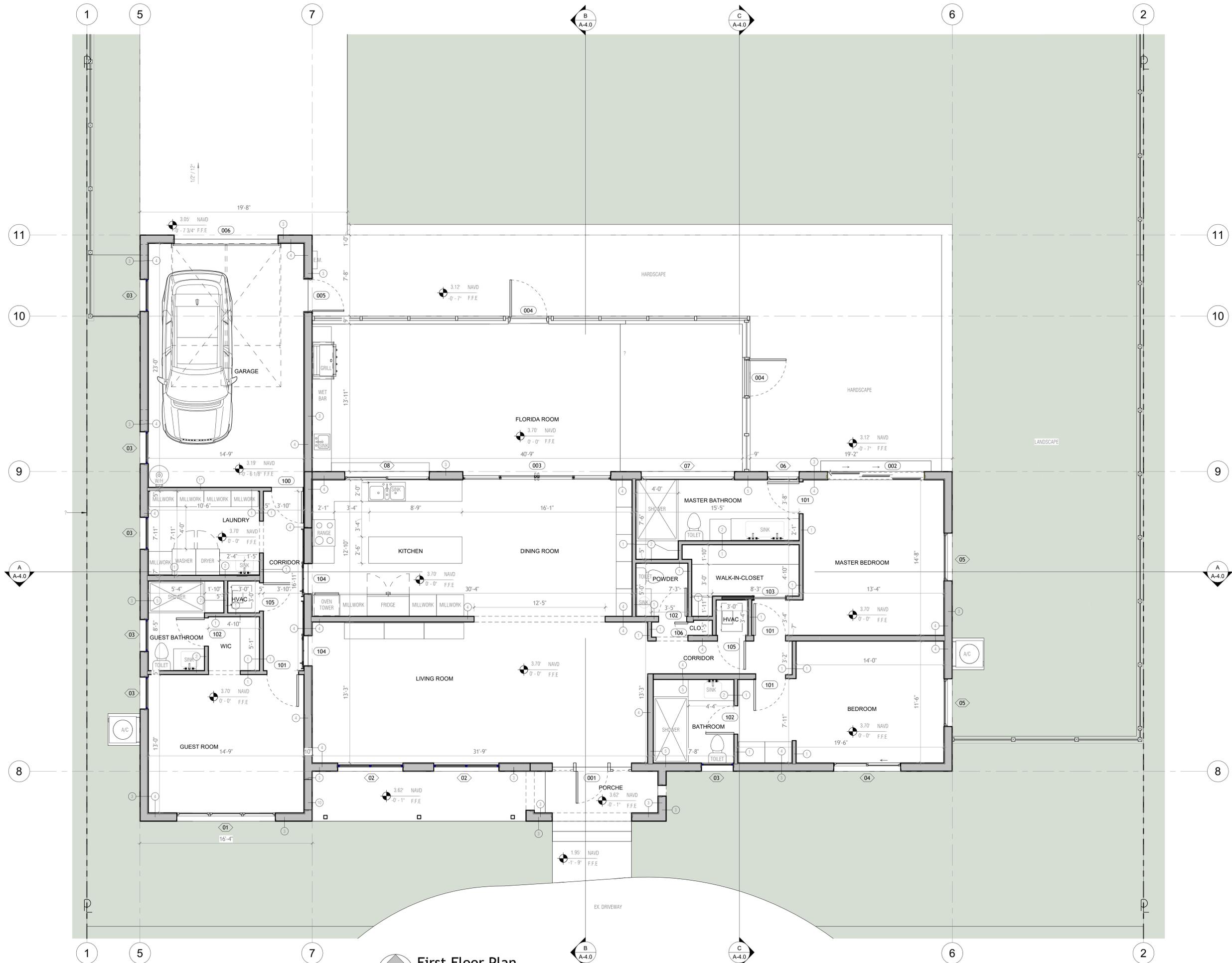


REMODELING AND ADDITION
AT:
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A-1.1
AREA PLAN

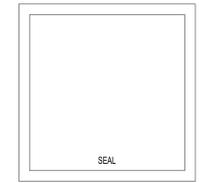


First Floor Plan
SCALE: 1/4" = 1'-0"

AAC003659
ANTHONY LEON
001675Z

DESIGN
ARCHITECTURE

3260 Northwest 7th Street, Miami, FL 33125
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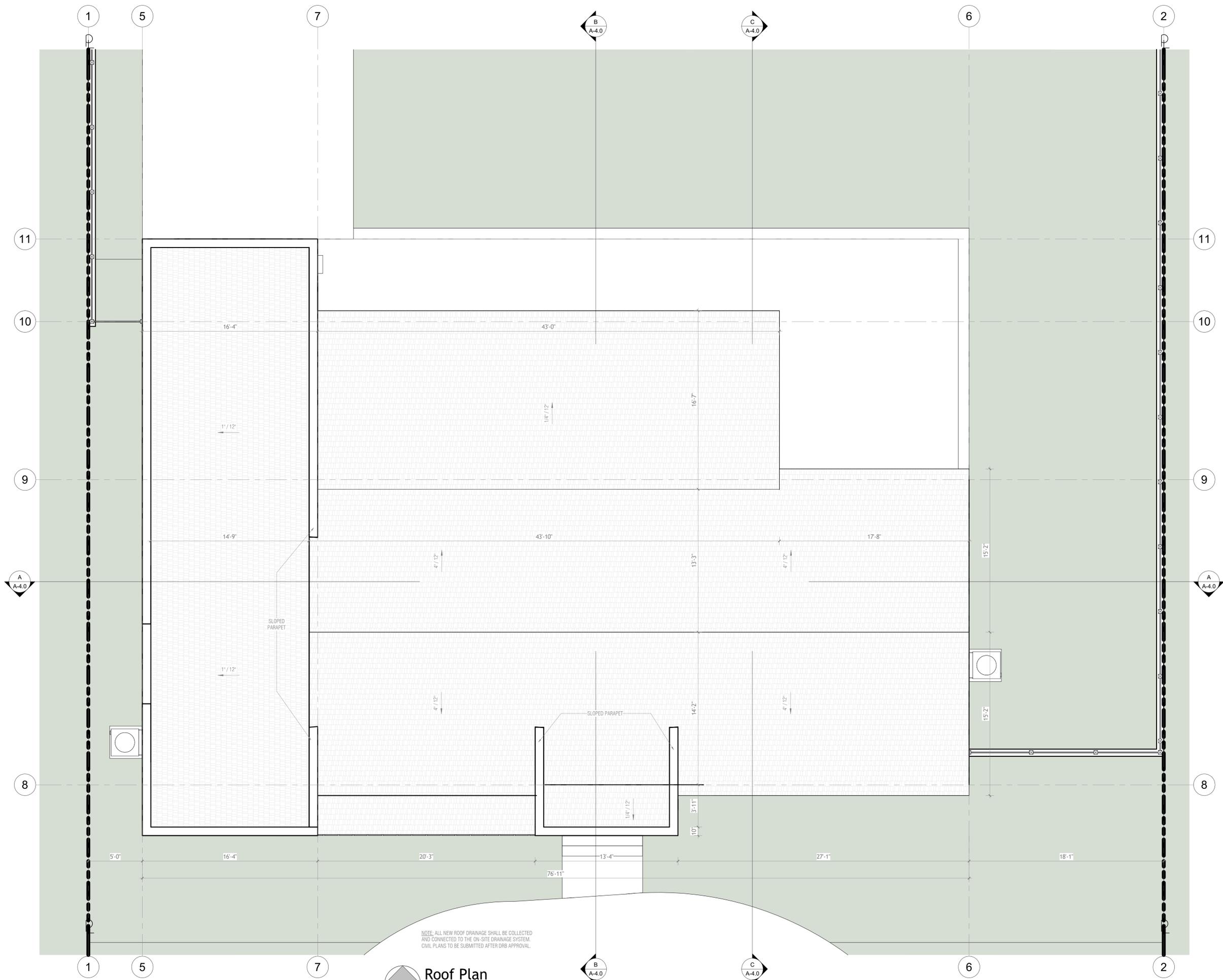


REMODELING AND ADDITION
AT:
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A-2.0
FLOOR PLAN



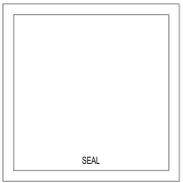
NOTE: ALL NEW ROOF DRAINAGE SHALL BE COLLECTED AND CONNECTED TO THE ON-SITE DRAINAGE SYSTEM. CIVIL PLANS TO BE SUBMITTED AFTER DRB APPROVAL.

Roof Plan
SCALE: 1/4" = 1'-0"

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ANTHONY LEON
0016/52

DESIGN
ARCHITECTURE

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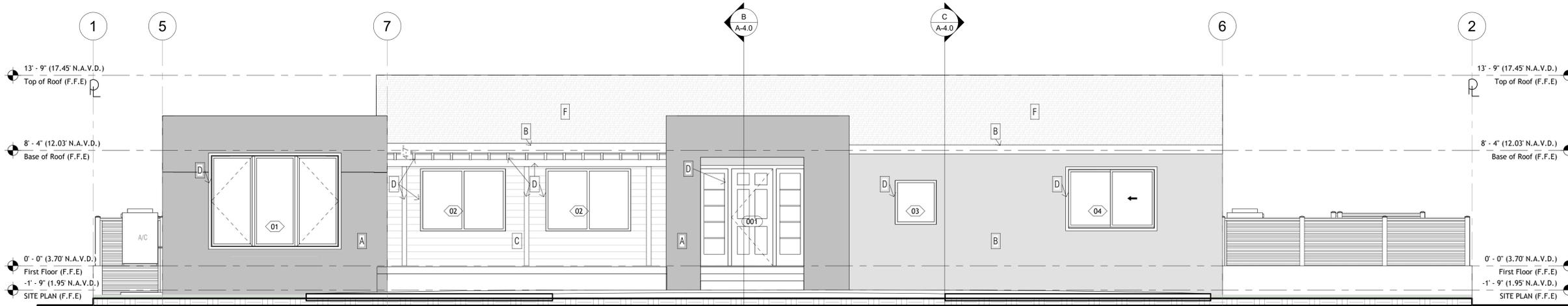


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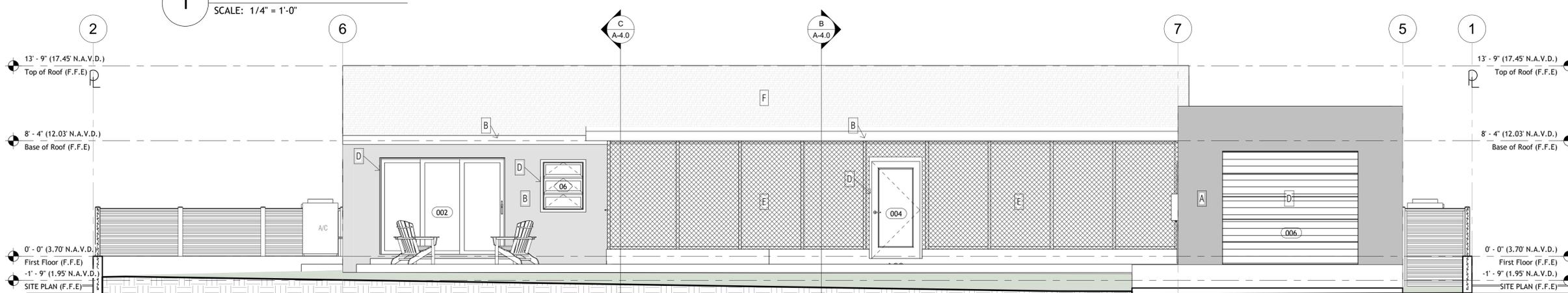
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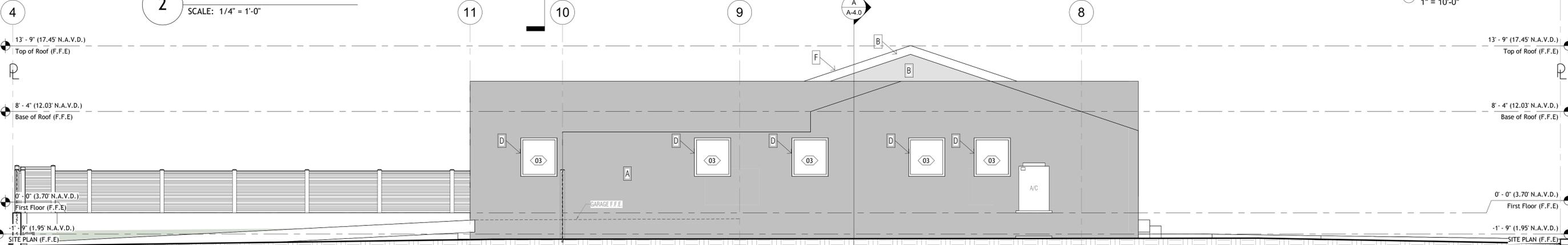
A-2.1
ROOF PLAN



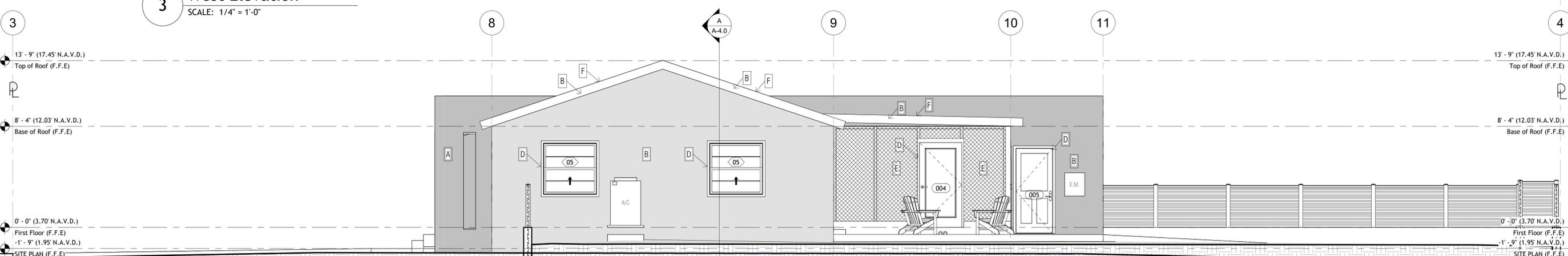
1 South Elevation
SCALE: 1/4" = 1'-0"



2 North Elevation
SCALE: 1/4" = 1'-0"



3 West Elevation
SCALE: 1/4" = 1'-0"



4 East Elevation
SCALE: 1/4" = 1'-0"

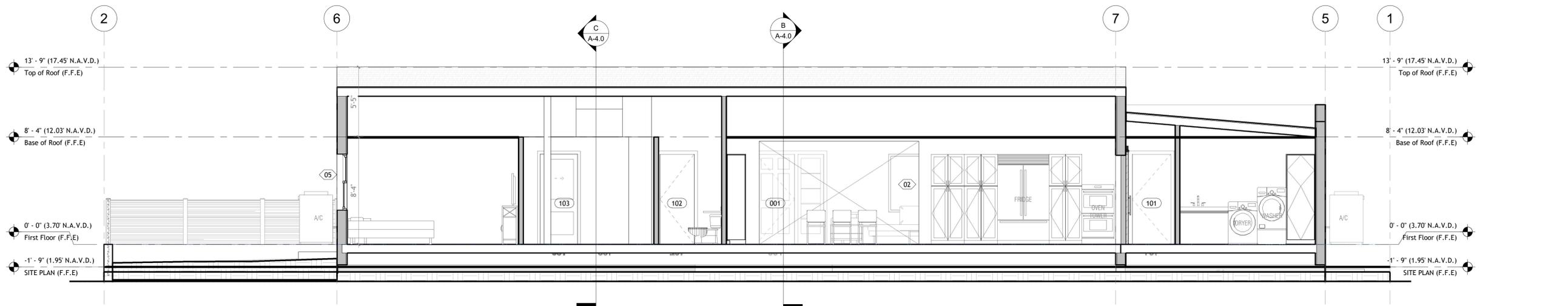
- A** STUCCO GREY
1" = 10'-0"
- B** STUCCO WHITE
1" = 10'-0"
- C** WOOD
1" = 10'-0"
- D** ALUMINUM BLACK
1" = 10'-0"
- E** SCREENING
1" = 10'-0"
- F** ROOF TILE
1" = 10'-0"

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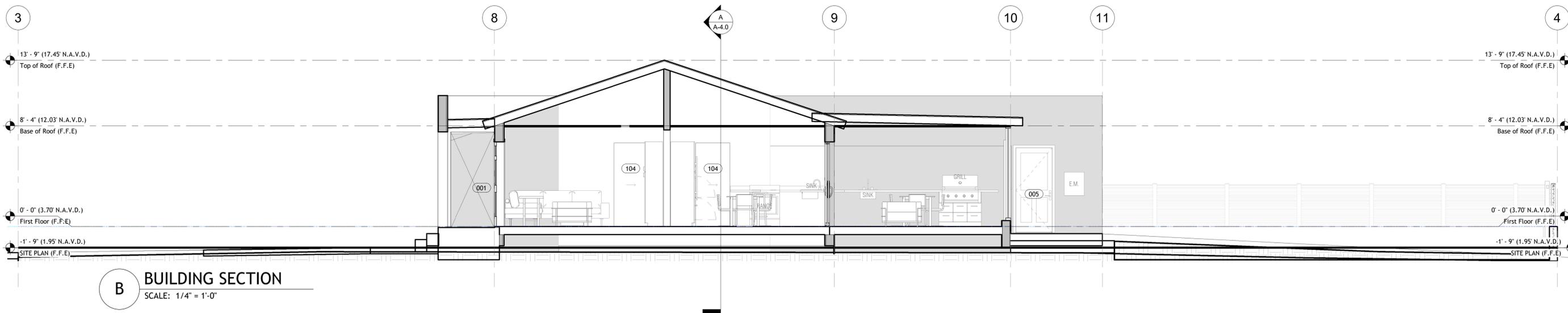
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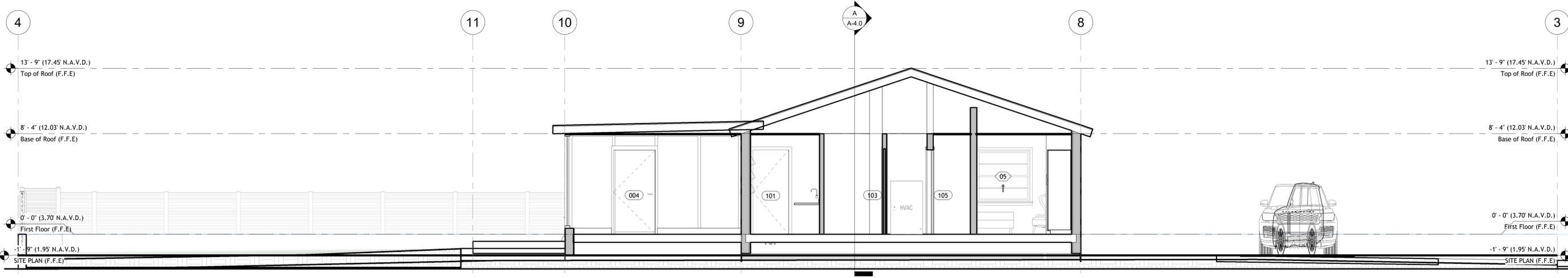
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A-3.0
 ELEVATIONS



A BUILDING SECTION
SCALE: 1/4" = 1'-0"



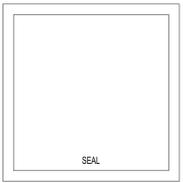
B BUILDING SECTION
SCALE: 1/4" = 1'-0"



C BUILDING SECTION
SCALE: 1/4" = 1'-0"

A40003669
ANTHONY LEON
0016/52

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A-4.0
SECTIONS

Classified
UL
System
CAJ 1179

TREMCO
3735 Green Rd.
Beachwood, OH, 44122
Drawing not to scale

3 Hour Fire Rated Through Penetration Firestop for Single Metal Pipe through Concrete Floors or Walls using FYRE-SIL or FYRE-SIL S/L.

F-Rating = 3 Hr.
T-Rating = 0 Hr.

Classified
UL
System
CAJ 2069

TREMCO
3735 Green Rd.
Beachwood, OH, 44122
Drawing not to scale

2 Hour Fire Rated Through Penetration Firestop for Plastic Pipe through Concrete Floors or Walls using TREMstop WS and TREMstop MCR.

F-Rating = 2 Hr.
T-Rating = 2 Hr.

Classified
UL
System
WL 1158

TREMCO
3735 Green Rd.
Beachwood, OH, 44122
Drawing not to scale

1 or 2 Hour Fire Rated Through Penetration Firestop for Single Metallic Pipe through Gypsum Walls using TREMstop IA.

F-Rating = 1 and 2 Hr.
T-Rating = 1/4 Hr.

Classified
UL
System
WL 2129

TREMCO
3735 Green Rd.
Beachwood, OH, 44122
Drawing not to scale

1 or 2 Hour Fire Rated Through Penetration Firestop for Single Plastic Pipe through Gypsum Walls using TREMstop IA.

F-Rating = 1 and 2 Hr.
T-Rating = 2 Hr.

Classified
UL
System
CAJ 1233

TREMCO
3735 Green Rd.
Beachwood, OH, 44122
Drawing not to scale

2 Hour Fire Rated Through Penetration Firestop for Single Metal Pipe through Concrete Floors or Walls using FYRE-SHIELD.

F-Rating = 2 Hr.
T-Rating = 0 Hr.

01 FIRESTOP SYSTEM - UL CAJ1179
SCALE: N.T.S

02 FIRESTOP SYSTEM - UL CAJ2069
SCALE: N.T.S

03 FIRESTOP SYSTEM - UL WL1158
SCALE: N.T.S

04 FIRESTOP SYSTEM - UL WL2129
SCALE: N.T.S

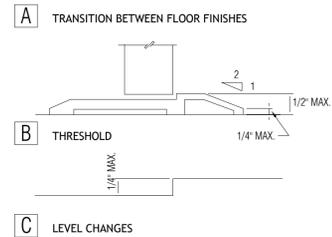
05 FIRESTOP SYSTEM - UL CAJ1233
SCALE: N.T.S

Classified
UL
System
WL 2082

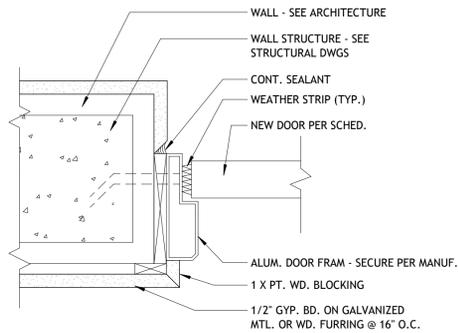
TREMCO
3735 Green Rd.
Beachwood, OH, 44122
Drawing not to scale

1 or 2 Hour Fire Rated Through Penetration Firestop for Single Plastic Pipe through Gypsum Walls using FYRE-CAN SLEEVE.

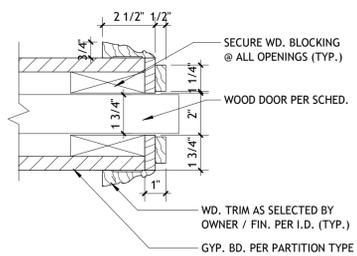
F-Rating = 1 and 2 Hr.
T-Rating = 1/4 Hr.



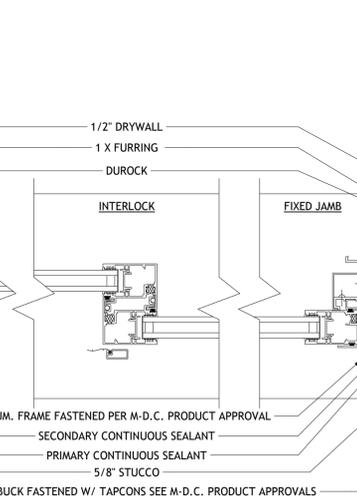
- NOTES:
- 1/2" MAXIMUM TOTAL HEIGHT WITH 1/4" MAXIMUM VERTICAL CHANGE AT EDGE.
 - 2 : 2 SLOPED BEVEL REQUIRED IF LEVEL CHANGE IS OVER 1/4" VERTICAL LEVEL CHANGE.
 - 1/4" MAXIMUM VERTICAL LEVEL CHANGE.



09 TYP. INTERIOR DOOR JAMB
SCALE: N.T.S



10 TYP. POCKET DOOR JAMB1
SCALE: N.T.S

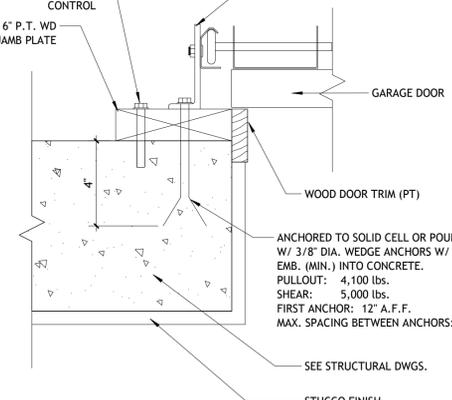
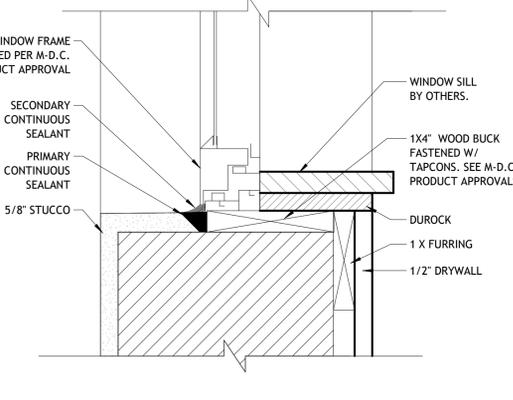
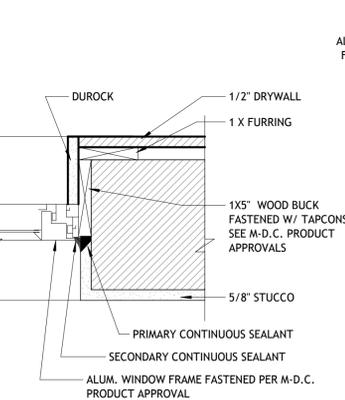
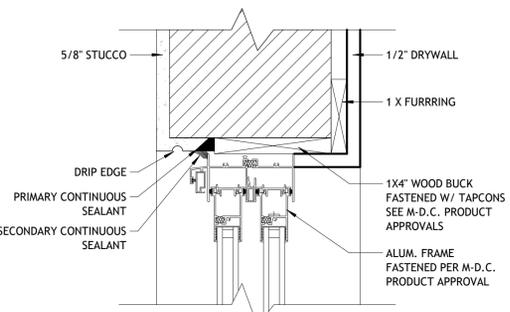


06 FIRESTOP SYSTEM - UL WL2082
SCALE: N.T.S

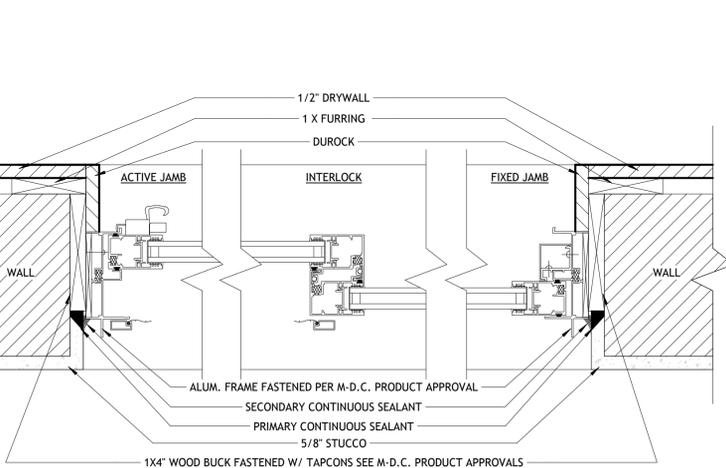
07 THRESHOLD
SCALE: N.T.S

08 TYP. EXTERIOR DOOR JAMB
SCALE: N.T.S

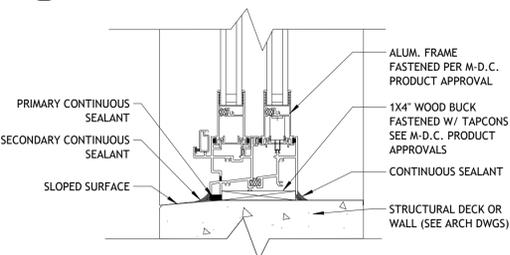
11 TYP. WINDOW HEAD DETAIL
SCALE: N.T.S



SUBMIT MIAMI-DADE PRODUCT APPROVAL DATA SHEET ALONG W/ NOTICE OF ACCEPTANCE TO ARCHITECT PRIOR TO PROCUREMENT



16 TYP. SLIDING WINDOW HEAD1
SCALE: N.T.S



12 TYP. WINDOW JAMB
SCALE: N.T.S

13 TYP. WINDOW SILL
SCALE: N.T.S

14 TYP. GARAGE DOOR JAMB1
SCALE: N.T.S

15 TYP. SLIDING WINDOW JAMBS1
SCALE: N.T.S

17 TYP. SLIDING WINDOW SILL1
SCALE: N.T.S

AA003969
ANTHONY LEON
001652

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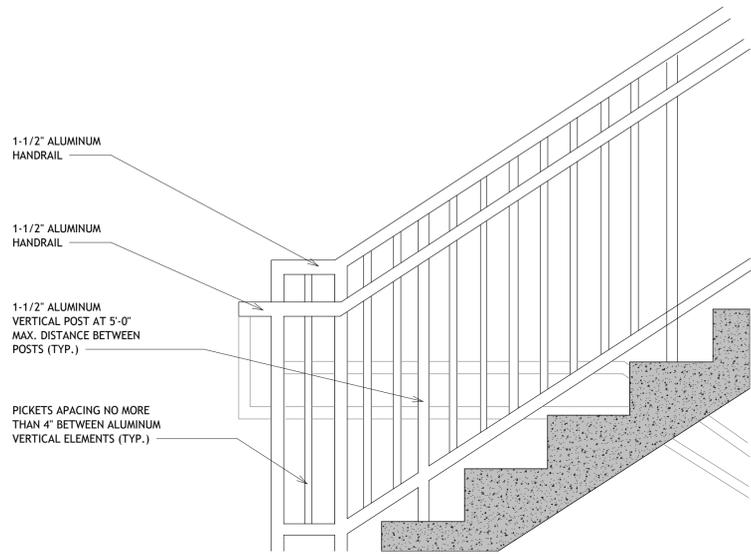
REMODELING AND ADDITION
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REVISIONS:

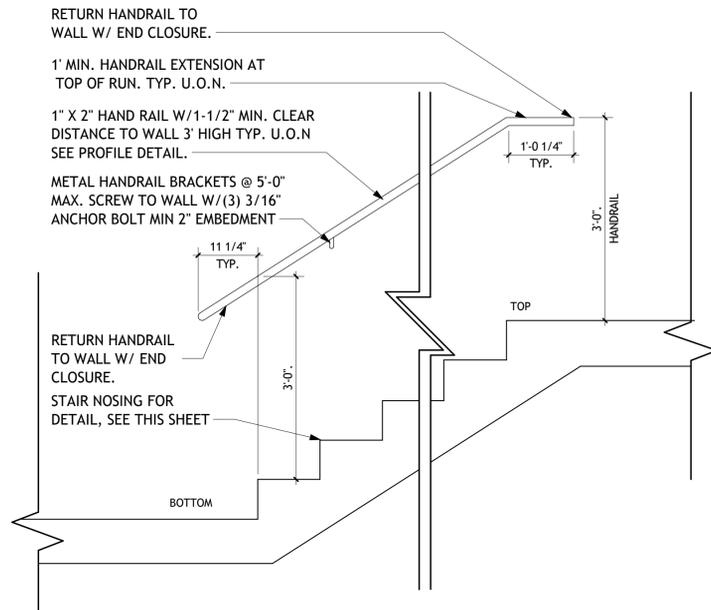
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A-5.1

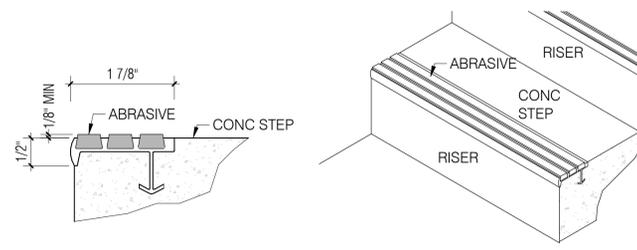
DETAILS



01 STAIR GUARDRAIL - ELEVATION VIEW
SCALE: N.T.S



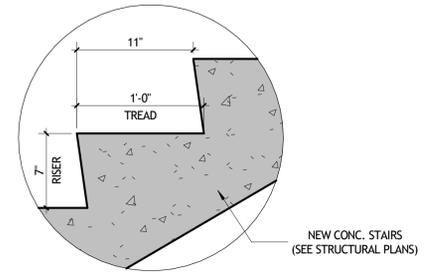
02 TYP. STAIR HANDRAIL ELEVATION VIEW
SCALE: N.T.S



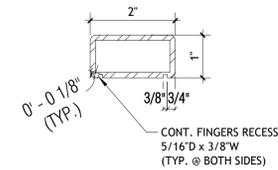
SPECIFICATIONS:

1. BASE: HEAT TREATED EXTRUDED ALUMINUM ALLOY 6063 T-5
2. ABRASIVE: ALUMINUM OXIDE SILICON CARBIDE. GRANULES IN A UV PROTECTED, 2 PART EPOXY, LOCKED INTO EXTRUDED CHANNELS.
3. BASE FINISH: MILL
4. POURED CONCRETE STAIRS: NOSING SHALL TERMINATE NO MORE THAN 3" FROM END OF STEPS.
5. CONCRETE FILLED STEEL PAN STAIR NOSING SHALL BE FULL LENGTH OF STEPS, LEES 1/8" CLEARANCE.
6. COLOR: GRAY
7. LENGTH: AS SPECIFIED IN STAIR FLOOR PLANS UL 1994 LISTED: COMBINED WIDTH OF PHOTO LUMINESCENT MATERIAL SHALL NOT BE LESS THAN 1"

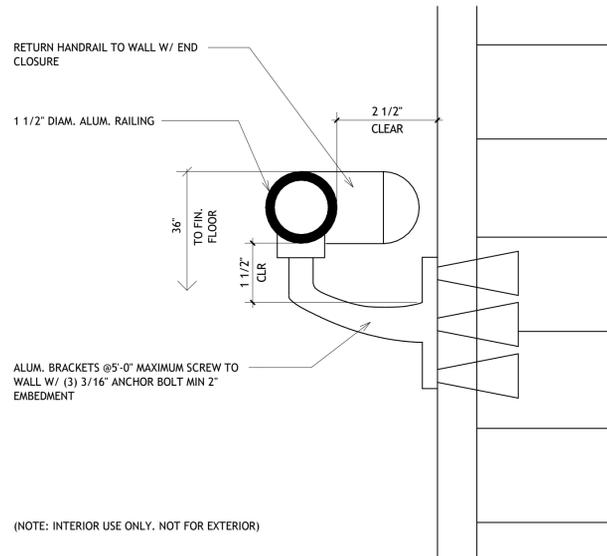
03 TYP. ISOMETRIC STAIR NOSING DETAIL
SCALE: N.T.S



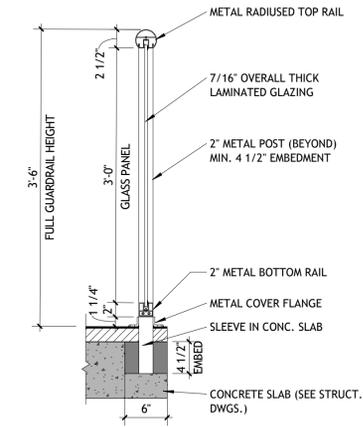
TREAD DETAIL



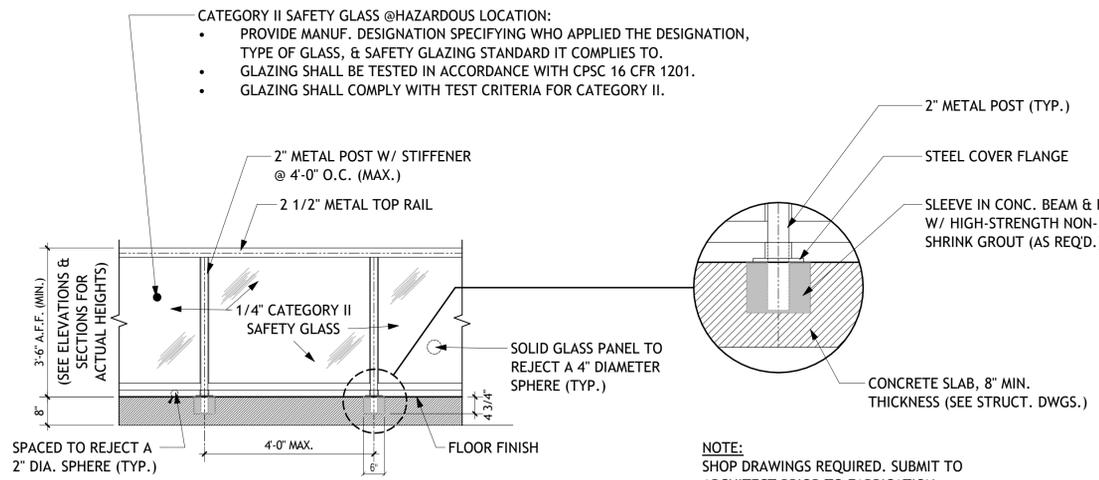
TYP. HANDRAIL PROFILE



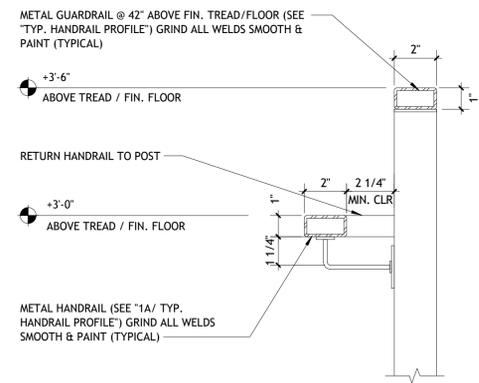
HANDRAIL DETAIL PROFILE
SCALE: N.T.S



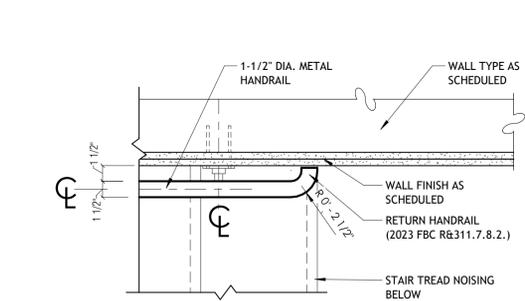
06 TYP. EXTERIOR GUARDRAIL
SCALE: N.T.S



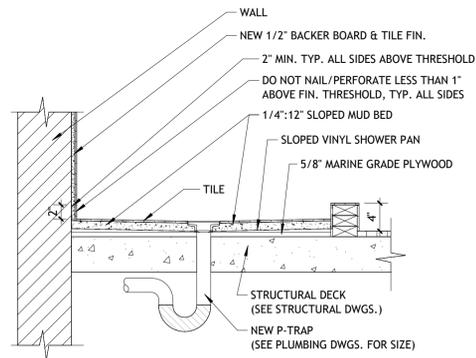
TYP. GLASS GUARDRAIL (ELEVATION)



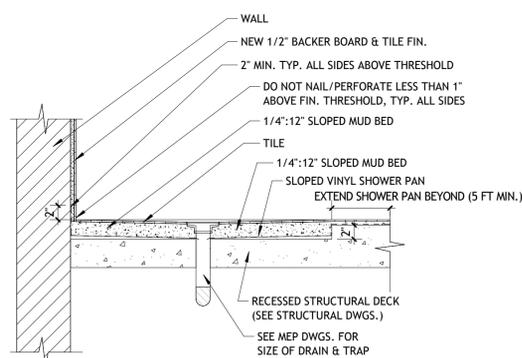
HANDRAIL DETAIL



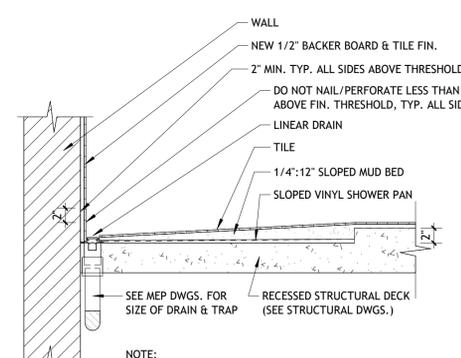
10 TYP. HANDRAIL RETURN DETAIL
SCALE: N.T.S



11 TYP. SHOWER PAN
SCALE: N.T.S



12 TYP. SHOWER PAN (NO CURB)
SCALE: N.T.S



13 TYP. SHOWER PAN @ LINEAR DRAIN
SCALE: N.T.S

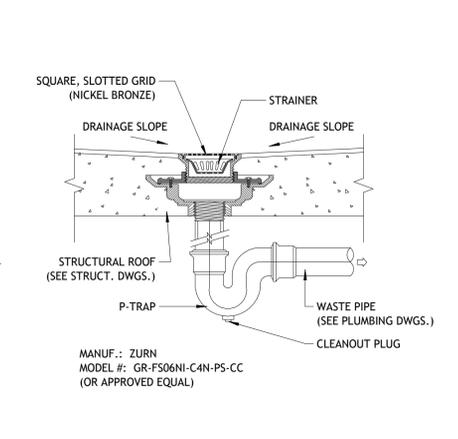
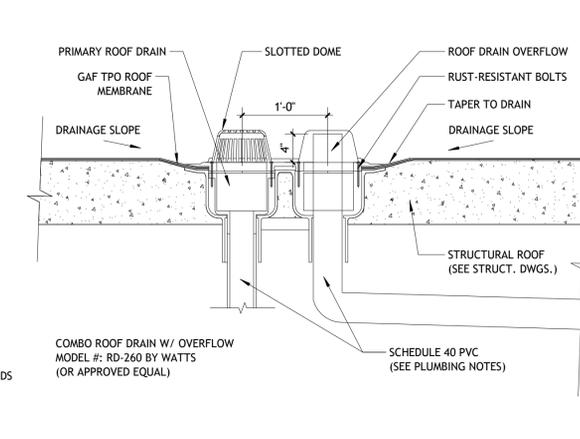
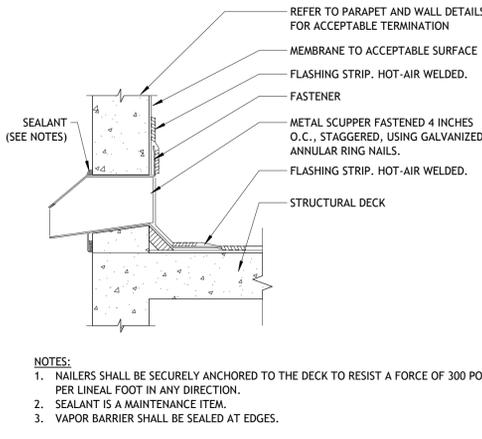
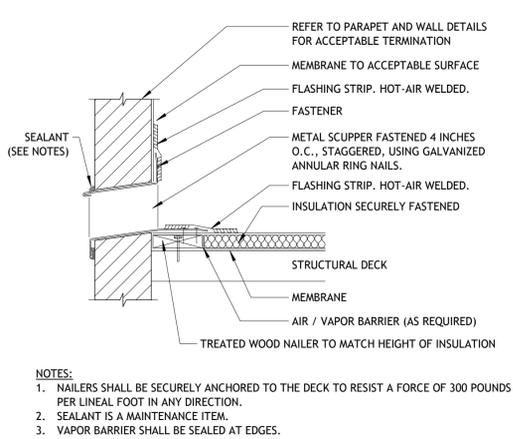
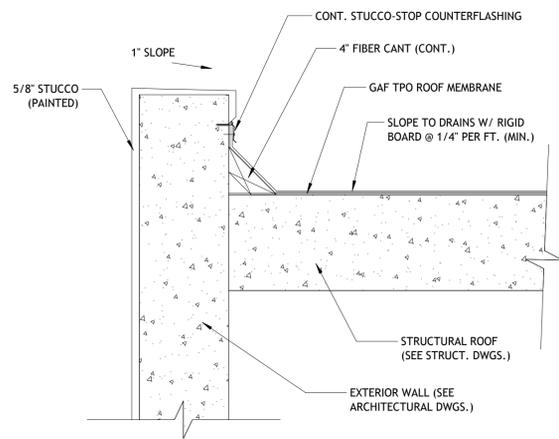
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A-5.2
 DETAILS



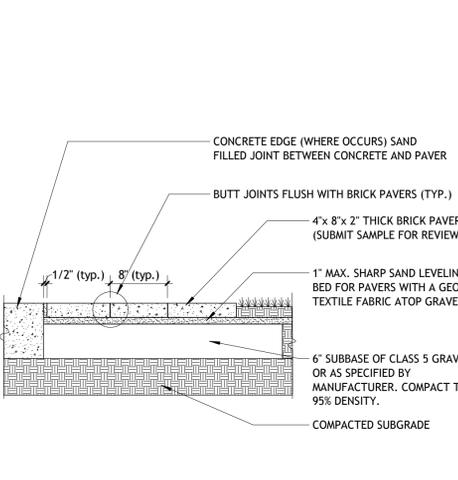
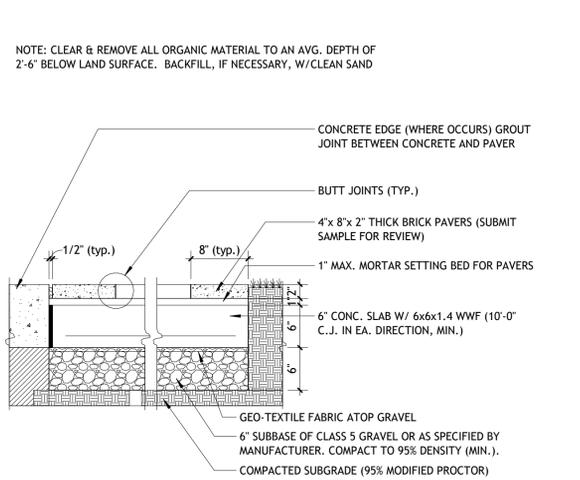
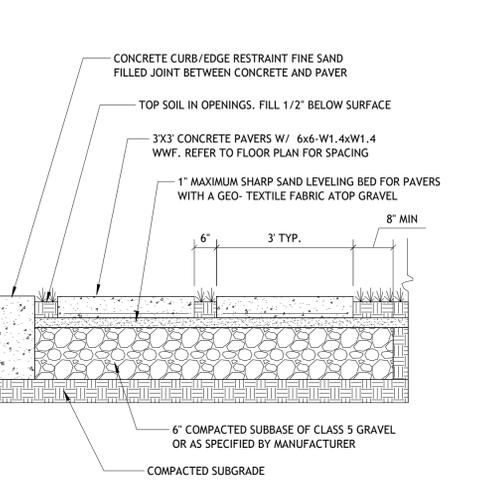
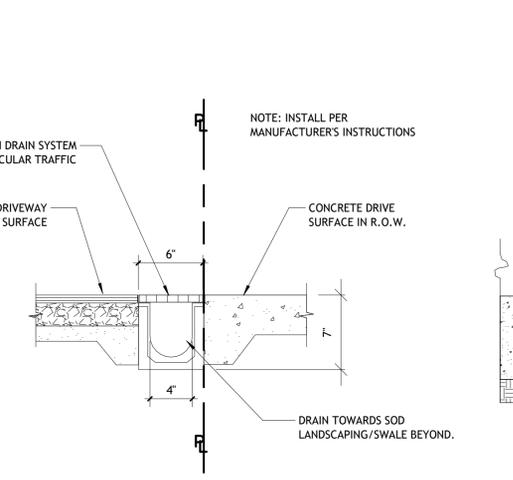
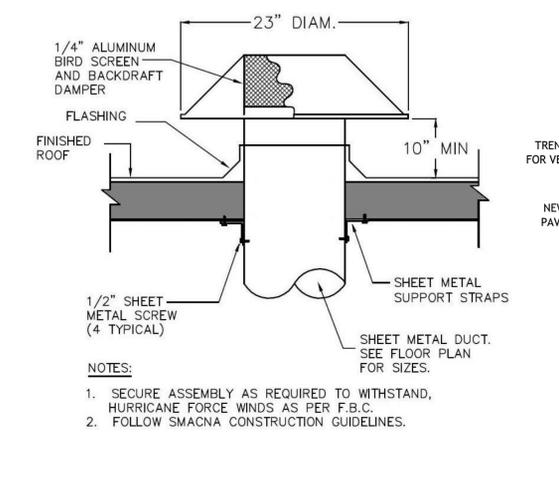
01 TYP. ROOF PARAPET
SCALE: N.T.S

02 TYP. THRU-WALL SCUPPER
SCALE: N.T.S

03 TYP. THRU-WALL OVERFLOW
SCALE: N.T.S

04 TYP. ROOF DRAIN
SCALE: N.T.S

05 TYP. DECK DRAIN DETAIL
SCALE: N.T.S



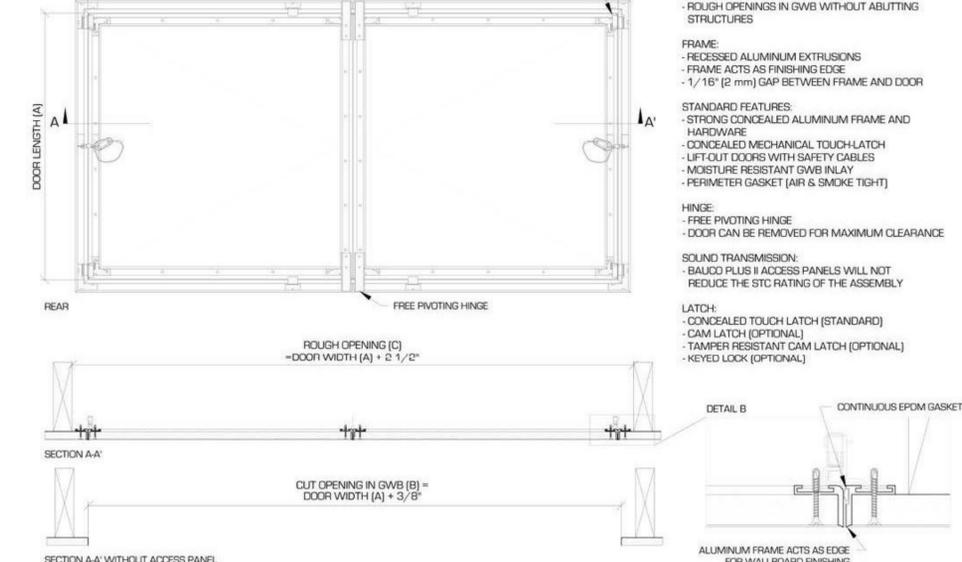
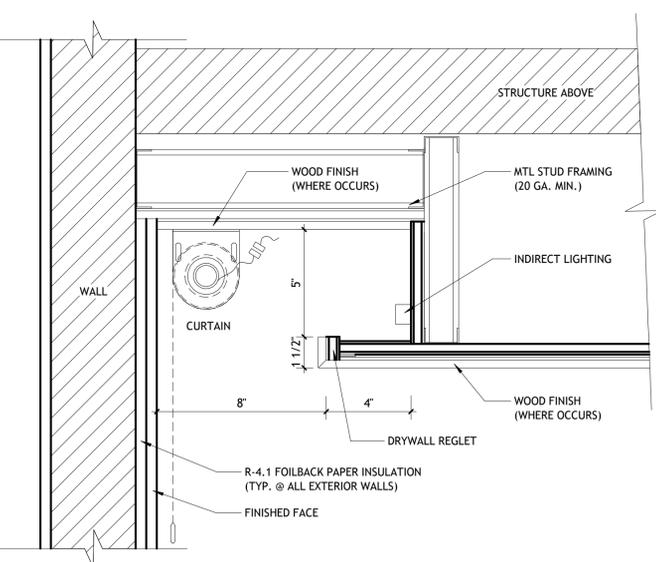
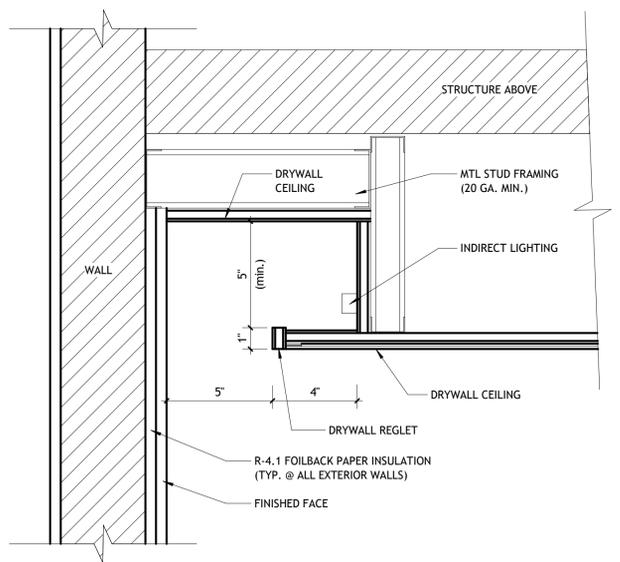
06 TYP. ROOF CAP INSTALLATION
SCALE: N.T.S

07 TYP. TRENCH DRAIN
SCALE: N.T.S

08 TYP. PAVERS DRIVEWAY
SCALE: N.T.S

09 TYP. PAVERS CONC
SCALE: N.T.S

10 TYP. PAVERS THICK
SCALE: N.T.S



11 TYP. LIGHT COVE
SCALE: N.T.S

12 TYP. CURTAIN COVE
SCALE: N.T.S

13 TYP. DOUBLE LEAF ACCESS PANEL
SCALE: N.T.S

REVISIONS:

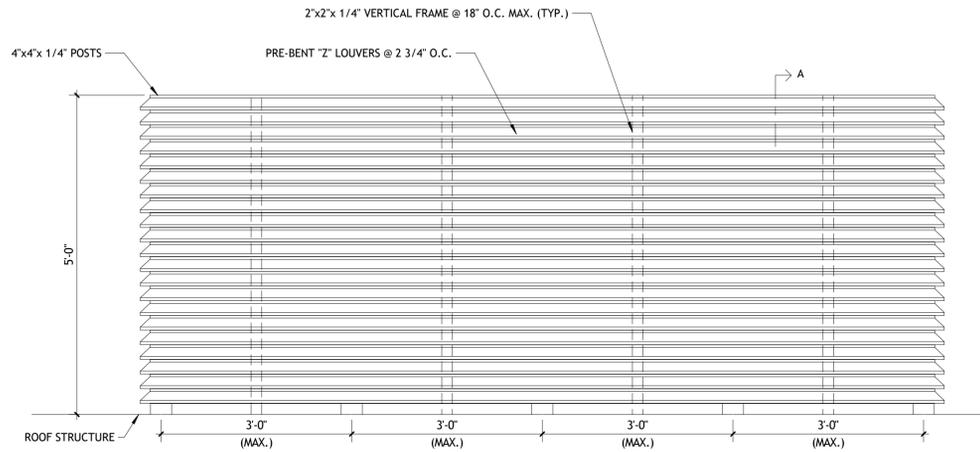
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SHOP DRAWINGS NOTES:

1. REQUIRED SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
2. SHOP DRAWINGS SHALL INCLUDE SPECIFICATIONS FOR ALL TIE DOWNS, WELDS, & BOLTED CONNECTIONS.
3. SUBMIT CALCULATIONS FOR REVIEW FOR HIGH-VELOCITY HURRICANE ZONES. INCLUDE ALL APPLICABLE CODES, WIND PARAMETERS, AND DESIGN LOADS.
4. SHOP DRAWINGS SHALL BE SUBMITTED UNDER SEPARATE PERMIT.

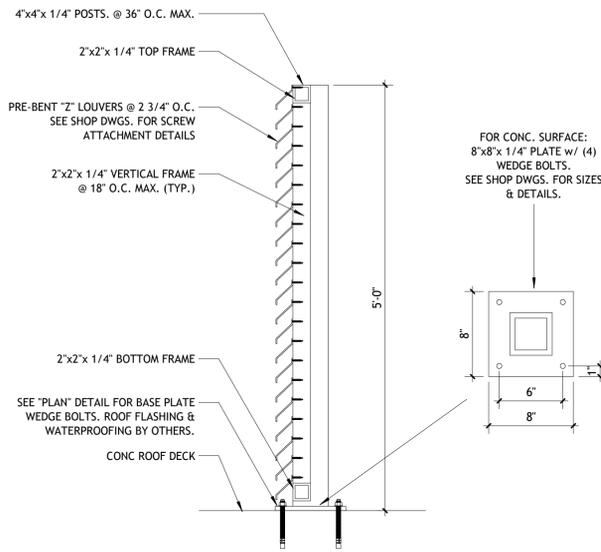
NOTES:

ALL POST ROOFING/FLASHING BY OTHERS

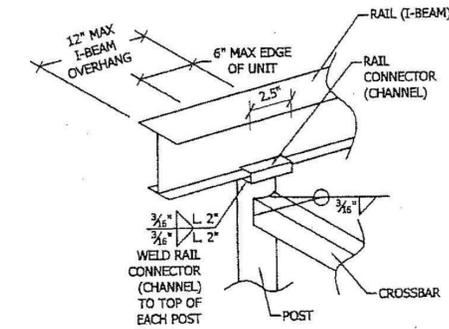
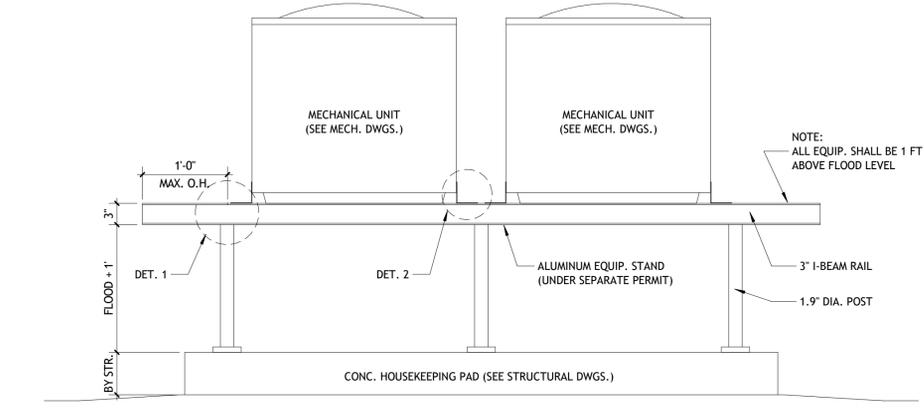


01 TYP. ALUMINUM SCREEN
SCALE: N.T.S

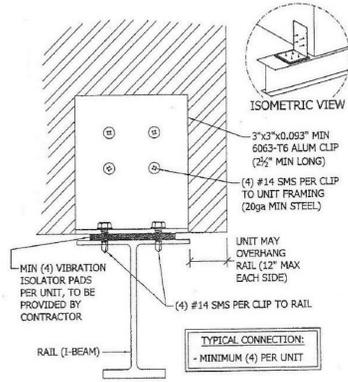
02 TYP. ALUMINUM SCREEN SECTION
SCALE: N.T.S



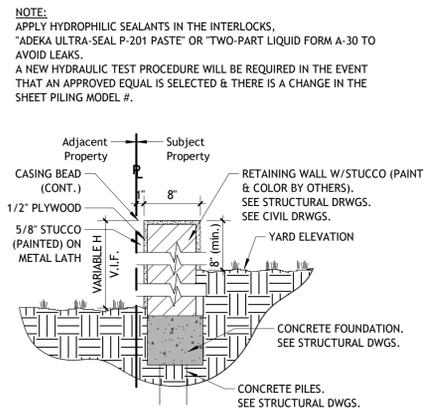
03 TYP. EQUIPMENT STAND
SCALE: N.T.S



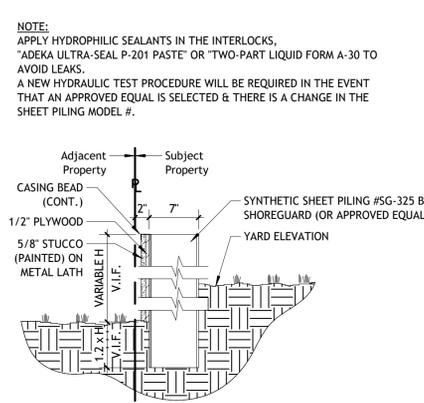
04 TYP. EQUIP. STAND DET. 1
SCALE: N.T.S



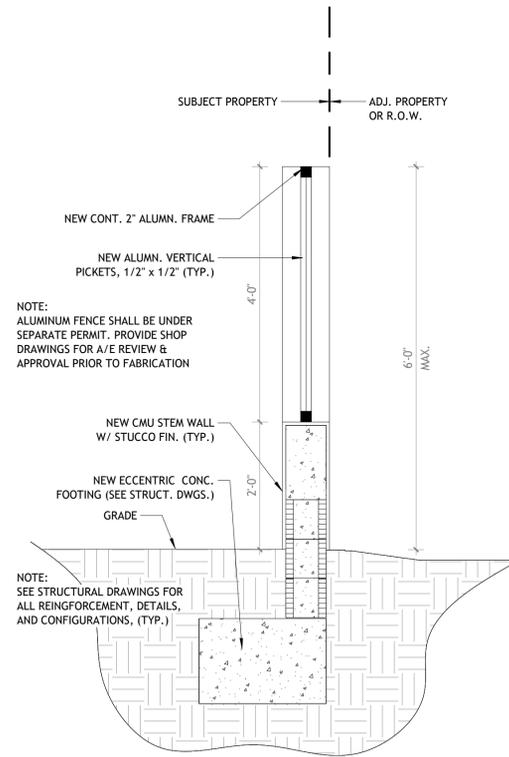
05 TYP. EQUIP. STAND DET. 2
SCALE: N.T.S



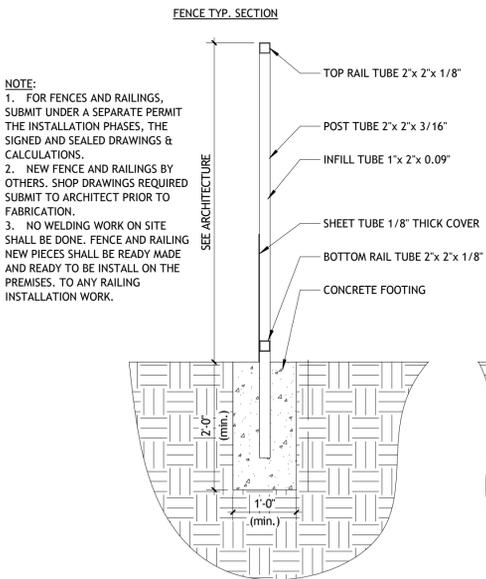
06 TYP. RETAINING WALL
SCALE: N.T.S



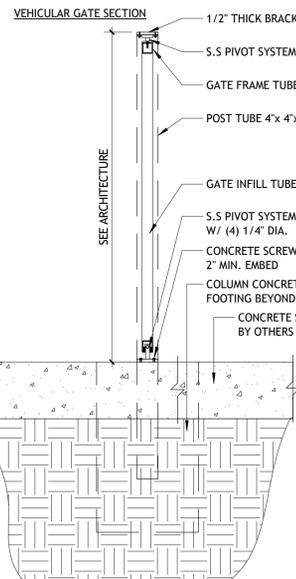
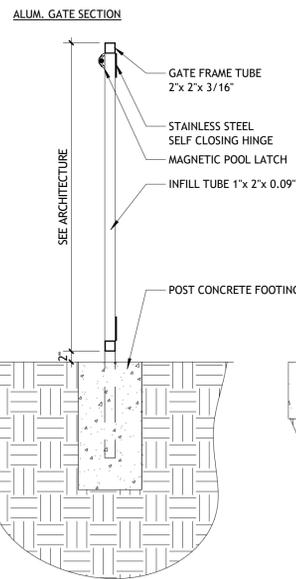
07 TYP. SHEET PILING RET. WALL
SCALE: N.T.S



08 TYP. WALL + ALUM. FENCE
SCALE: N.T.S



- NOTE:**
1. FOR FENCES AND RAILINGS, SUBMIT UNDER A SEPARATE PERMIT THE INSTALLATION PHASES, THE SIGNED AND SEALED DRAWINGS & CALCULATIONS.
 2. NEW FENCE AND RAILINGS BY OTHERS. SHOP DRAWINGS REQUIRED SUBMIT TO ARCHITECT PRIOR TO FABRICATION.
 3. NO WELDING WORK ON SITE SHALL BE DONE. FENCE AND RAILING NEW PIECES SHALL BE READY MADE AND READY TO BE INSTALL ON THE PREMISES. TO ANY RAILING INSTALLATION WORK.



09 TYP. ALUMINUM FENCE
SCALE: N.T.S

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A-5.4

DETAILS

DOOR SCHEDULE

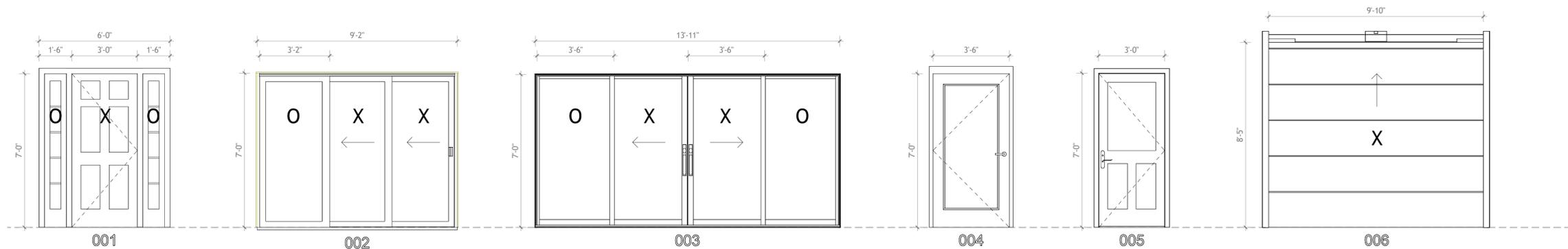
| ID | QTY | Width | Height | TYPE | HARDWARE | MATERIAL | FIRE RATING | PRODUCT APPROVAL |
|-----|-----|----------|---------|----------------------------|----------|-----------|-------------|-----------------------|
| 001 | 1 | 3' - 0" | 7' - 0" | SWINGWITH FIXED SIDELIGHTS | BY OWNER | H.C. WOOD | | UNDER SEPARATE PERMIT |
| 002 | 1 | 9' - 2" | 7' - 0" | SLIDING | BY OWNER | ALUMINUM | | UNDER SEPARATE PERMIT |
| 003 | 1 | 14' - 0" | 7' - 0" | DOUBLE SLIDING | BY OWNER | ALUMINUM | | UNDER SEPARATE PERMIT |
| 004 | 2 | 3' - 6" | 7' - 0" | SWING | BY OWNER | ALUMINUM | | UNDER SEPARATE PERMIT |
| 005 | 1 | 3' - 0" | 7' - 0" | SWING | BY OWNER | ALUMINUM | | UNDER SEPARATE PERMIT |
| 006 | 1 | 9' - 10" | 8' - 2" | ROLL-UP GATE | BY OWNER | ALUMINUM | | UNDER SEPARATE PERMIT |

DOOR TYPE LEGEND

- SW-H SWING (HINGE)
- SW-P SWING (PIVOT)
- BF BI-FOLD
- PD POCKET
- SL SLIDING
- OH OVERHEAD
- GAR GARAGE
- CM CUSTOM

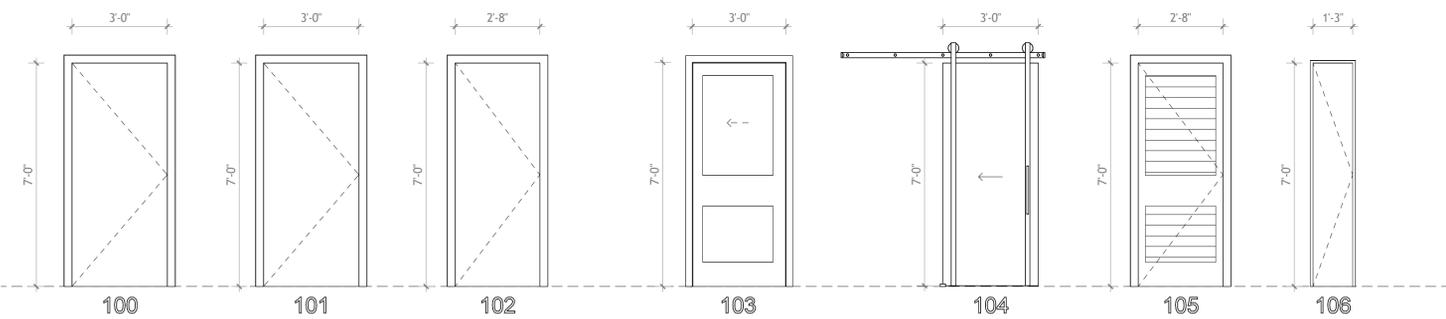
SYMBOL LEGEND

- O = FIXED PANEL OR LEAF
- X = OPERABLE PANEL OR LEAF

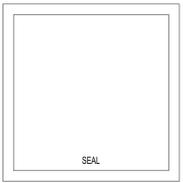


DOOR SCHEDULE

| ID | QTY | Width | Height | TYPE | HARDWARE | MATERIAL | FIRE RATING | PRODUCT APPROVAL |
|-----|-----|---------|---------|-------------|----------|-----------|--------------------------|------------------|
| 100 | 1 | 3' - 0" | 7' - 0" | SWING | BY OWNER | WOOD | 20 MIN | n/a |
| 101 | 4 | 3' - 0" | 7' - 0" | SWING | BY OWNER | H.C. WOOD | | n/a |
| 102 | 3 | 2' - 8" | 7' - 0" | SWING | BY OWNER | H.C. WOOD | | n/a |
| 103 | 1 | 3' - 0" | 7' - 0" | POCKET | BY OWNER | WOOD | | n/a |
| 104 | 2 | 3' - 0" | 7' - 0" | POCKET/BARN | BY OWNER | H.C. WOOD | | n/a |
| 105 | 2 | 2' - 8" | 7' - 0" | SWING | BY OWNER | WOOD | intumescent paint finish | n/a |
| 106 | 1 | 1' - 3" | 7' - 0" | SWING | BY OWNER | WOOD | | n/a |



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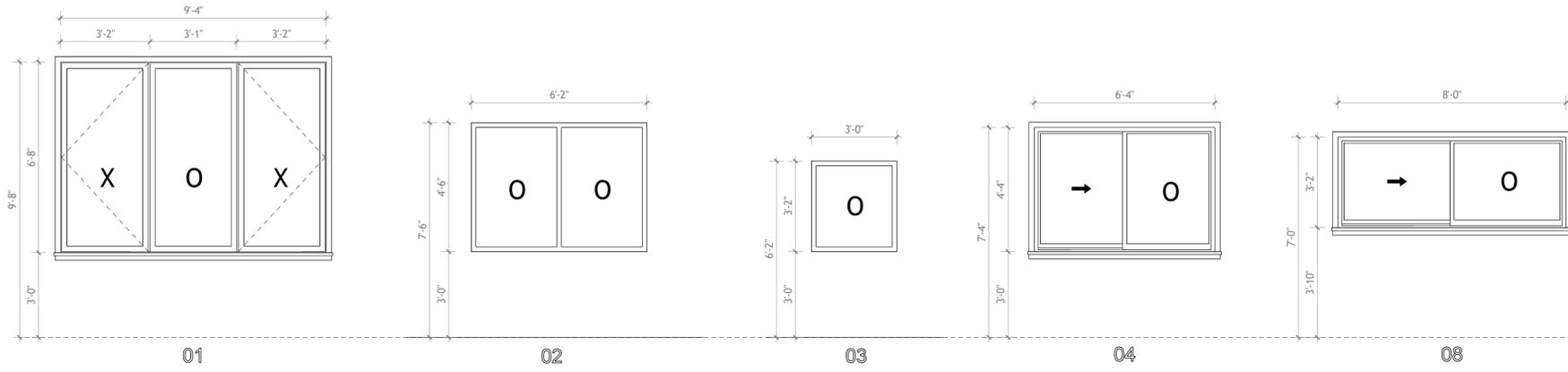
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A-6.0

DOOR SCHEDULE

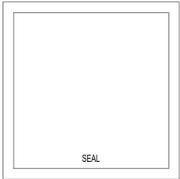


| WINDOW SCHEDULE | | | | | | | | |
|-----------------|------|----------|---------|-------------|----------------|----------|---------------------------------------|-----------------------|
| ID | QTY. | SIZE | | SILL HEIGHT | TYPE | MATERIAL | GLAZING TYPE | PRODUCT APPROVAL # |
| | | Width | Height | | | | | |
| 01 | 1 | 9' - 4" | 6' - 8" | 1' - 4" | CASEMENT-FIXED | ALUMINUM | HIGH IMPACT - RESISTANT CLEAR GLAZING | UNDER SEPARATE PERMIT |
| 02 | 2 | 6' - 2" | 4' - 6" | 2' - 6" | FIXED | ALUMINUM | HIGH IMPACT - RESISTANT CLEAR GLAZING | UNDER SEPARATE PERMIT |
| 03 | 6 | 3' - 0" | 3' - 2" | 3' - 0" | FIXED | ALUMINUM | HIGH IMPACT - RESISTANT CLEAR GLAZING | UNDER SEPARATE PERMIT |
| 04 | 1 | 6' - 4" | 4' - 4" | 2' - 8" | SLIDING | ALUMINUM | HIGH IMPACT - RESISTANT CLEAR GLAZING | UNDER SEPARATE PERMIT |
| 05 | 2 | 4' - 6" | 4' - 4" | 2' - 8" | FIXED | ALUMINUM | HIGH IMPACT - RESISTANT CLEAR GLAZING | EXISTING |
| 06 | 1 | 3' - 0" | 3' - 6" | 3' - 4" | FIXED | ALUMINUM | HIGH IMPACT - RESISTANT CLEAR GLAZING | EXISTING |
| 07 | 1 | 8' - 10" | 3' - 6" | 3' - 4" | FIXED | ALUMINUM | HIGH IMPACT - RESISTANT CLEAR GLAZING | EXISTING |
| 08 | 1 | 8' - 0" | 3' - 2" | 3' - 10" | SLIDING | ALUMINUM | HIGH IMPACT - RESISTANT CLEAR GLAZING | UNDER SEPARATE PERMIT |

| SYMBOL LEGEND | |
|---------------|--------------------------|
| O | = FIXED PANEL OR LEAF |
| X | = OPERABLE PANEL OR LEAF |

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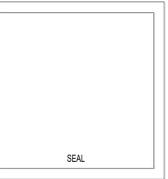
A-6.1
WINDOW SCHEDULE



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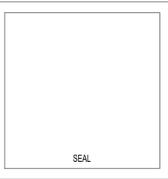


ARCHITECT'S CONCEPT DRAWING FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION OR SHOP DRAWING PRODUCTION.

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ARCHITECTURE

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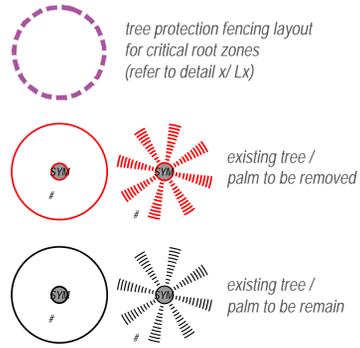
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A-7.1

IMAGES

PLAN LEGEND



NOTE: trees shown in "RED" are scheduled to be removed per schedule below
 NOTE: refer to sheet L1 for materials in the proposed plan

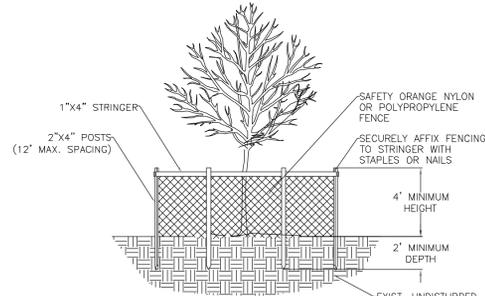
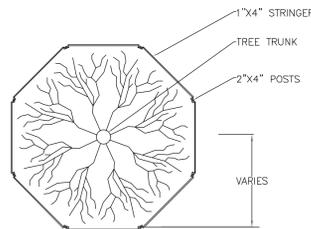
MITIGATION STRATEGY

| TREE REMOVAL / REPLACEMENT SCHEDULE | required (sf) | provided (sf) |
|---|---------------|---------------|
| existing tree canopy | 694 sf | |
| existing trees to be removed (sf x 1.5) | 85 sf | 128 |
| palms removed | 0 | n/a |
| required tree mitigation | 15" | 0" |

NOTE: ADDITIONAL mitigation is required at 1:1, for 2 palms removed After the Fact and provide 2 replacement palms on the Landscape plan. Palms must have 8' Clear Trunk minimum.

*refer to sheet L1 and L2 for proposed planting plans specifications

TREE PROTECTION DETAILS



TOP VIEW / PLAN

SECTION

DETAIL NOTES:

- barricade circle to be centered on tree trunk(s). for groups of trees, place barricades between trees and construction activity.
- tree protection barricades shall be located to protect existing, relocated and new trees in construction areas. the protective barrier shall be placed around the tree at a distance 6 feet from the tree trunk or at the canopy drip line. whichever is greater or as shown on landscape plan.
- for alternative details, contractor shall submit shop drawings for city and landscape architect's approval prior to execution. otherwise, penalties / cost incurred will be the responsibility of the contractor.

TREE DISPOSITION SCHEDULE

DISPO LIST LEGEND: = Trees to be removed and mitigated
 = Trees to remain "ON SITE"

| Tree # | Common Name | Scientific Name | DBH (inches) | Condition | Number of stems | Height (feet) | Spread (feet) | Canopy (square feet) | Exempt? (y/n) | Specimen? (y/n) | Comments |
|--------|----------------|--------------------|--------------|-----------|-----------------|---------------|---------------|----------------------|---------------|-----------------|------------------------|
| 1 | Mango Tree | Mangifera indica | 7 | Fair | 1 | 15 | 6 | 28.26 | n | n | remove pest potentials |
| 2 | Mango Tree | Mangifera indica | 5 | Fair | 1 | 10 | 6 | 28.26 | n | n | remove pest potentials |
| 3 | Mango Tree | Mangifera indica | 3 | Fair | 1 | 6 | 6 | 28.26 | n | n | remove pest potentials |
| 4 | Robellini Palm | Phoenix roebelenii | 3 | Good | 2 | 10 | 10 | 78.5 | n | n/a | n/a |
| 5 | Robellini Palm | Phoenix roebelenii | 3 | Good | 2 | 10 | 10 | 78.5 | n | n/a | n/a |
| 6 | Royal Palm | Roystonea regia | 18 | Good | 1 | 38 | 12 | 113.04 | n | n/a | n/a |
| 7 | Royal Palm | Roystonea regia | 18 | Fair | 1 | 46 | 12 | 113.04 | n | n/a | swale / street trees |
| 8 | Royal Palm | Roystonea regia | 18 | Good | 1 | 42 | 12 | 113.04 | n | n/a | swale / street trees |
| 9 | Royal Palm | Roystonea regia | 18 | Fair | 1 | 38 | 12 | 113.04 | n | n/a | swale / street trees |

Mitigation Removals (sqft) - palms not counted and are replaced 1 for 1 = n/a

total canopy on site = 693.94
 total canopy removed (sqft) = 84.78

*refer to L1 for proposed mitigation for this sqft

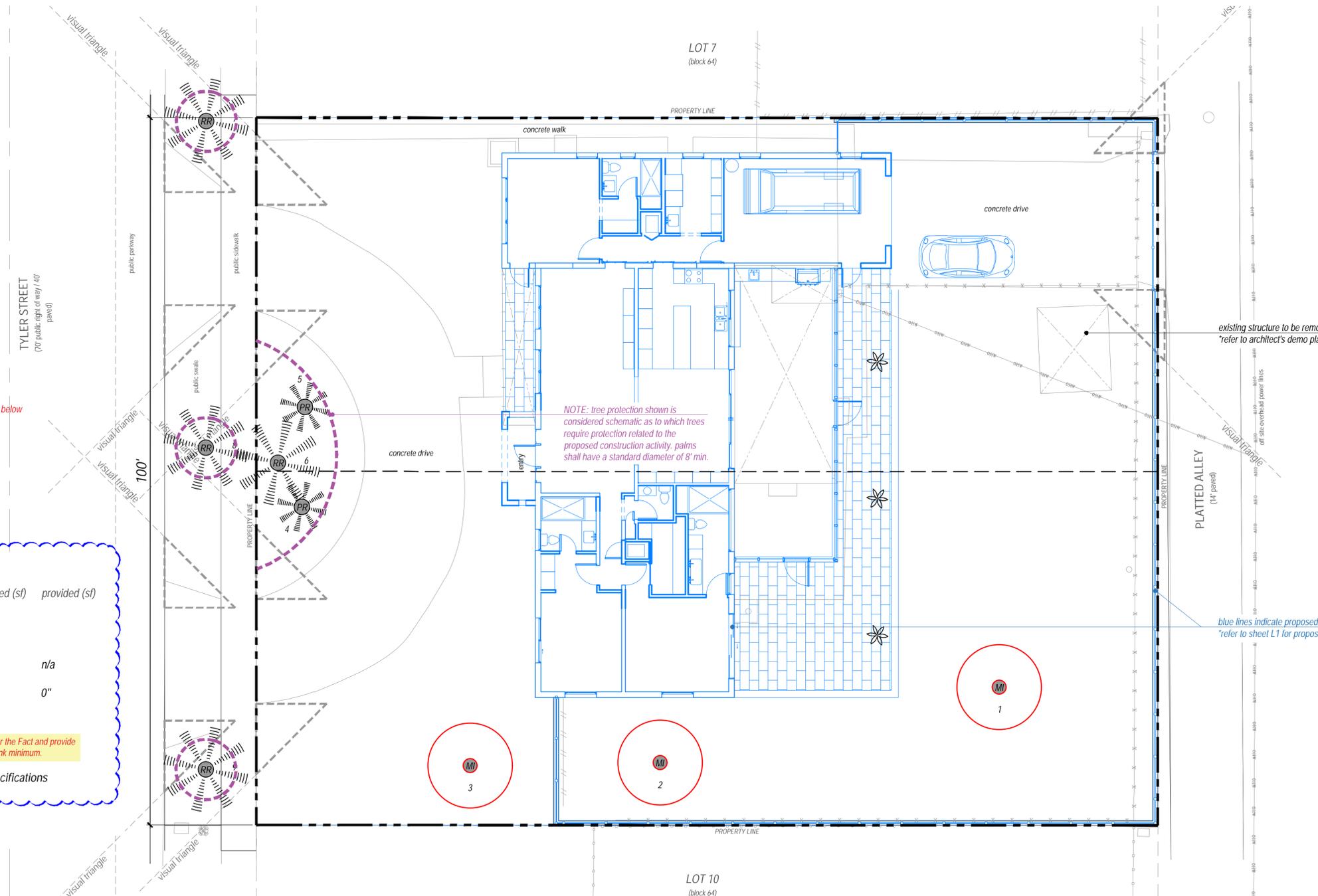
DISPOSITION PLAN

DRAWING SCALE AND NORTH ARROW



LO

DRAWING DATE: 07.22.2025



NOTE: tree protection shown is considered schematic as to which trees require protection related to the proposed construction activity. palms shall have a standard diameter of 8" min.

existing structure to be removed
 refer to architect's demo plan (typ)

blue lines indicate proposed conditions
 refer to sheet L1 for proposed conditions



LA #2047
 C. Right Studios
 Corey Seltenright
 Landscape Architect
 Fort Lauderdale, FL 33310
 954.591.6864
 corey@crighstudios.com



HOME RENOVATION
 FOR:
 927 TYLER STREET
 HOLLYWOOD, FL 33019

REVISIONS:
 REV 01 06.19.2025
 REV 02 07.22.2025

IMPORTANT NOTES: The latest executed survey provided by Johnston & Johnston Land Surveying Services, Inc. dated 07.09.24 and was also provided for review for project design review.
 for all site proposed demolition refer to architect's drawings

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SITE CALCULATIONS TABLE

| | |
|-----------------------------------|--------------|
| total site | 12,800 sf |
| arch interiors | 3,235 sf |
| total landscape area / open space | 9,565 sf |
| pervious landscape area | 6,291 sf 65% |
| non-pervious surface | 3,274 sf 35% |

MITIGATION STRATEGY

| TREE REMOVAL / REPLACEMENT SCHEDULE | required (sf) | provided (sf) |
|---|---------------|---------------|
| existing tree canopy | 694 sf | |
| existing trees to be removed (sf x 1.5) | 85 sf | 158 |
| palms removed | 0 | n/a |
| required tree mitigation | 128 sf | 150 sf |

NOTE: ADDITIONAL mitigation is required at 1:1, for 2 palms removed After the Fact and provide 2 replacement palms on the Landscape plan. Palms must have 8' Clear Trunk minimum. See plan symbol (MP) for provided mitigation palms as noted

*refer to sheet L3 for full proposed planting specifications

LANDSCAPE REQUIREMENTS

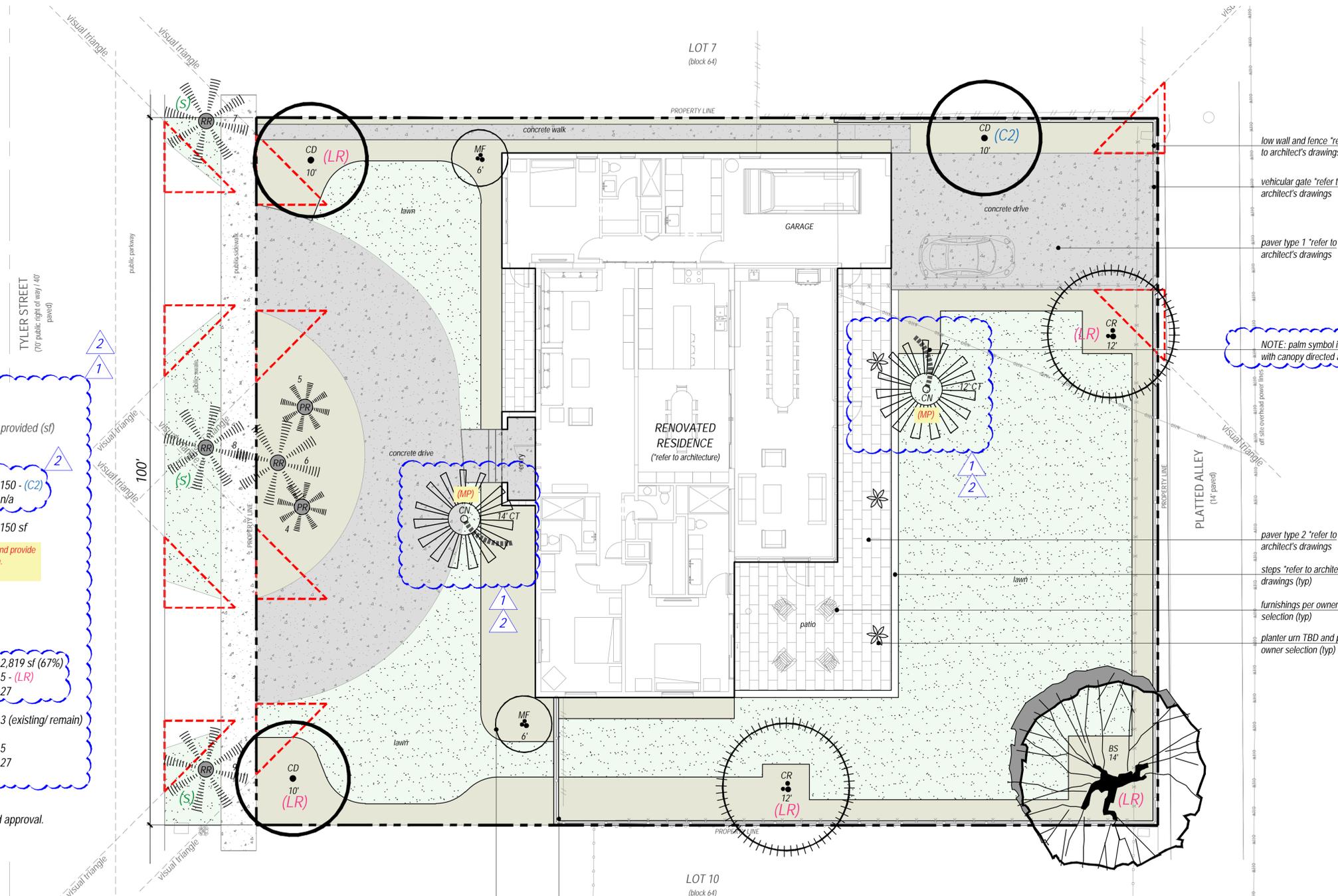
| | | |
|--|--------|----------------------|
| open space front yard (20% of 4,208 sf) | 842 sf | 2,819 sf (67%) |
| shade trees (1 per 1250 sf front & 1 per rear lot) | 4 | 5 - (LR) |
| shrubs (25 per front and rear open space) | 25 | 27 |
| street tree requirement (1 per 50 LF) = (S) | 2 | 3 (existing/ remain) |
| native shade trees (60% required) | 3 | 5 |
| native shrubs (50% required) | 14 | 27 |

NOTES:
No landscape substitutions shall be made without the City of Hollywood approval.

CANOPY PLANT LEGEND

| QTY | SYM | Botanical Name | Common Name | Native - y/n | Specifications |
|-----|-----|------------------------|------------------------------|--------------|--|
| 1 | BS | Bursera simaruba | Gumbo Limbo | y | FG specimen, 8" min. DBH, 16' ht x 10' sp min. (LA Approval) |
| 2 | CN | Cocos nucifera | Coconut Palm | y | FG, 10" min. DBH (hts in clear trunk noted on plan) |
| 3 | CD | Coccoloba diversifolia | Pigeon Plum | y | 45 gal, 2"-3" min. DBH, 10' ht x 4' sp min. |
| 2 | CR | Clusia rosea | Autograph Tree / Pitch Apple | y | 200 gal, 3" min. DBH, 12' ht, 6' min. sp |
| 2 | MF | Myrcianthes fragrans | Simpson Stopper | y | 45 gal, 2"-3" min. DBH, 6'-8' ht x 4' sp min. |

NOTE: refer to sheet L3 for full plant list and specifications associated with this plan. refer to subsequent sheets L2 for shrub and understory plantings



low wall and fence refer to architect's drawings

vehicular gate refer to architect's drawings

paver type 1 refer to architect's drawings

NOTE: palm symbol indicates curved trunk with canopy directed away from structure

paver type 2 refer to architect's drawings

steps refer to architect's drawings (typ)

furnishings per owner selection (typ)

planter urn TBD and per owner selection (typ)

contractor to ensure (MF)'s proposed near house are to be planted a min. distance of 6' away from face of structure wall, fence and gate. refer to architect's drawings

MATERIALS PLAN LEGEND

| | |
|--|---|
| paver type 1 - concrete (refer to arch dwgs.) (2,232 sf) | landscape areas (refer to sheet L2) (2,479 sf) |
| paver type 2 - patio finish (refer to arch dwgs.) (817 sf) | lawn / sod (refer to sheet L2) (3,720 sf) - on site (439 sf) - off site |



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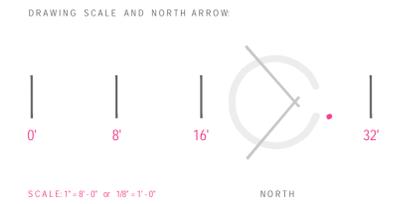


HOME RENOVATION FOR:
927 TYLER STREET
HOLLYWOOD, FL 33019

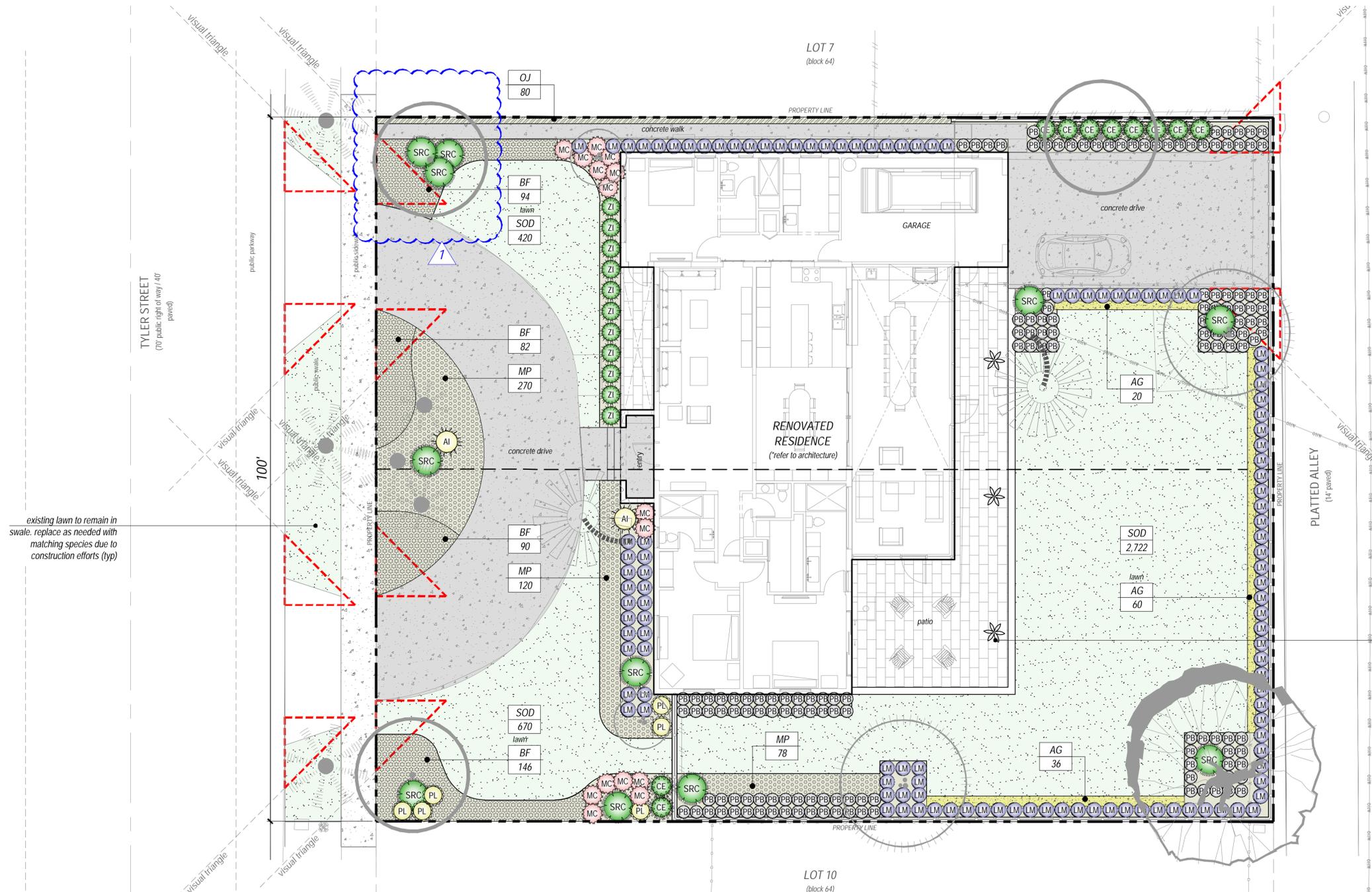
REVISIONS:
REV 01 06.19.2025
REV 02 07.22.2025

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SITE MATERIALS AND CANOPY PLAN



L1
DRAWING DATE: 07.22.2025



existing lawn to remain in swale. replace as needed with matching species due to construction efforts (typ)

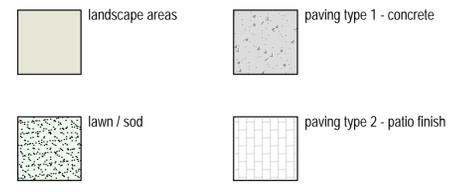
planter um TBD and per owner selection. plant material TBD per um selection (typ)

UNDERSTORY PLANT LEGEND

| SHRUBS | | | | | |
|------------------------|-----|---------------------------|-------------------------|--------------|--|
| QTY | SYM | Botanical Name | Common Name | Native - y/n | Specification |
| 10 | CE | Conocarpus erectus | Green Buttonwood | y | 7 gal, 4' ht, 30" min. spr (36" o.c. spacing max.) |
| 6 | PL | Psychotria ligustrifolia | Bahama Wild Coffee | y | 7 gal, 24"x 24" min. (36" o.c. spacing max.) |
| 11 | SRC | Serenoa repens 'Cinera' | Silver Saw Palmetto | y | 25 gal, 3'x3' full |
| 11 | ZI | Zamia integrifolia | Coontie Palm | y | 7 gal, 24"x 24" min. (36" o.c. spacing max.) |
| ACCENTS AND GRASSES | | | | | |
| QTY | SYM | Botanical Name | Common Name | | Specifications |
| 2 | AI | Alcantarea imperialis | Imperial Bromeliad | n | 7 gal, 24"x 24" min. |
| 80 | OJ | Ophiopogon japonicus | Mondo Grass | n | 1 gal, 10"x 10" min. (12" o.c. spacing) |
| 116 | LM | Liriope muscari | Big Blue Lilyturf | n | 1 gal, 18"x 18" min. |
| 15 | MC | Muhlenbergia capillaris | Pink Muhly Grass | y | 7 gal, 30"x 30" min. |
| 147 | PB | Philodendron burle-marxii | Burle Marx Philodendron | y | 3 gal, 18"x 18" min. |
| GROUNDCOVERS and VINES | | | | | |
| QTY | SYM | Botanical Name | Common Name | | Specifications |
| 116 | AG | Arachis glabrata | Perennial Peanut | y | 1 gal 12"x12" full |
| 412 | BF | Bulbine frutescens | Peach Bulbine | n | 1 gal 12"x12" full |
| 468 | MP | Mimosa pudica | Sensitive Plant | y | 1 gal 12"x12" full |
| 3,812 | SOD | Match existing | Zoysia Grass | n | solid sod, butt jointed, no gaps, laid flat and rolled |

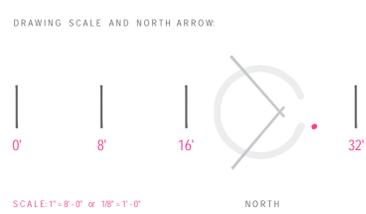
NOTE: refer to sheet L3 for full plant list and specifications associated with this plan. refer to previous sheet L1 for canopy plantings

MATERIALS PLAN LEGEND



NOTE: refer to architect's drawings for material selections and specifications

UNDERSTORY PLANTING PLAN



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 corey@crighstudios.com



HOME RENOVATION
 FOR:
 927 TYLER STREET
 HOLLYWOOD, FL 33019

REVISIONS:
 REV 01 06.19.2025
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L2
 DRAWING DATE: 07.22.2025

GENERAL NOTES AND REQUIREMENTS

- plant material shall be healthy, vigorous and free from diseases, insects eggs, and shall have a healthy normal root system, furnished in the minimum sizes indicated in the schedule. no substitutions shall be permitted without a written permission from the city of hollywood.
- all plants shall be florida grade no. 1 or better
- all planting soil and top soil shall consist of 30% muck, 70% sand, and shall be free of heavy clay, coarse sand, rocks larger than 2", lumps, sticks or any other debris.
- fertilizer shall be 12--12--12, 50g organic or slow release nitrogen.
- terra-sorb or approved equal shall be provided according to manufacturer's recommendation.
- all plant materials shall be warranted for one (1) year after final inspection.
- contractor shall confirm plant quantities prior to bidding.
- contractor is responsible for maintenance of landscape area and plants for 90 days starting on the date of substantial completion.
- mulch shall be eucalyptus grade a or better, use of cypress bark mulch is prohibited in the public right-of-way.
- the establishment period shall begin at the time of acceptance of installation of planting and irrigation, and extend for 90 days past that date, and shall include the following activities:
 - supply water in sufficient amounts required to insure establishment and good growth following industry standards. watering schedule may be interrupted during periods of heavy rainfall (0.50" or more per day).
 - straighten trees and palms as required (including re-guying and re-staking as required).
 - weeding is required.
 - mowing every 21 days.
 - maintain and repair irrigation system as required.
 - insect and disease control as required.
 - remove stakes and guys at the end of the maintenance period.
- all sod and landscape shall receive 100 percent coverage from an automatic irrigation system using an approved water source.
- irrigation system shall also be equipped with rain sensor.
- all trees and palms shall be planted at minimum five (5) feet away from any underground utility line as well as from property lines.
- all trees and palms shall be planted at least seven and a half (7.5) feet away from any fire hydrant.
- any species that are listed as category i and ii species on the most current "Florida Exotic Pest Plant Council" list are prohibited to be planted on private property or on city property including row and swale areas. -- sec. 106.01
- a maximum of for of the required trees may be of a palm species. sec.3.5
- street trees: at time of installation, shade trees must be a minimum of 12' overall height, approved palm trees are to have a minimum of 8' clear trunk (ct).
- identify all trees to remain on site with the corresponding tree protection and protection barriers and provide a tree protection barrier per detail on plan as approved by city of hollywood.
- provide sight triangles on plans at intersection of driveway and property line.
- "trees and palms shall not be removed without first obtaining an approved tree removal permit from the city of hollywood."
- above ground equipment: where required for screening purposes, hedge shall be planted at equipment height for visual screening.
- no tree removals allowed without an approved city of hollywood tree removal permit.
- for building permits: no tree removal or planting allowed without an approved sub-permit.
- equipment (dumpsters, electrical transformers, etc. with the exception of fire hydrants) must be screened on at least three sides by landscape material a minimum of 30 inches tall. landscaping must not interfere with the normal operation of the equipment.
- call 811 a few days before you start digging to make sure you do it safely. utility companies to mark buried lines so that you can dig safely around them. visit call811.com for details.

OVERALL PLANTING SCHEDULE AND SPECIFICATIONS

| TREES and PALMS | | | | | |
|------------------------|-----|---------------------------|------------------------------|--------------|--|
| QTY | SYM | Botanical Name | Common Name | Native - y/n | Specifications |
| 1 | BS | Bursera simaruba | Gumbo Limbo | y | FG specimen, 8" min. DBH, 16' ht x 10' sp min. (LA Approval) |
| 2 | CN | Cocos nucifera | Coconut Palm | y | FG, 10" min. DBH (hts in clear trunk noted on plan) |
| 3 | CD | Coccoloba diversifolia | Pigeon Plum | y | 45 gal, 2"-3" min. DBH, 10' ht x 4' sp min. |
| 2 | CR | Clusia rosea | Autograph Tree / Pitch Apple | y | 200 gal, 3" min. DBH, 12'ht, 6' min. sp |
| 2 | MF | Myrcianthes fragrans | Simpson Stopper | y | 45 gal, 2"-3" min. DBH, 6'-8' ht x 4' sp min. |
| SHRUBS | | | | | |
| QTY | SYM | Botanical Name | Common Name | Native - y/n | Specification |
| 10 | CE | Conocarpus erectus | Green Buttonwood | y | 7 gal, 4' ht, 30" min. spr (36" o.c. spacing max.) |
| 6 | PL | Psychotria ligustrifolia | Bahama Wild Coffee | y | 7 gal, 24"x 24" min. (36" o.c. spacing max.) |
| 11 | SRC | Serenoa repens 'Cinera' | Silver Saw Palmetto | y | 25 gal, 3'x3' full |
| 11 | ZI | Zamia integrifolia | Coontie Palm | y | 7 gal, 24"x 24" min. (36" o.c. spacing max.) |
| ACCENTS and GRASSES | | | | | |
| QTY | SYM | Botanical Name | Common Name | Native - y/n | Specifications |
| 2 | AI | Alcantarea imperialis | Imperial Bromeliad | n | 7 gal, 24"x 24" min. |
| 80 | OJ | Ophiopogon japonicus | Mondo Grass | n | 1 gal, 10"x 10" min. (12" o.c. spacing) |
| 116 | LM | Liriope muscari | Big Blue Lilyturf | n | 1 gal, 18"x 18" min. |
| 15 | MC | Muhlenbergia capillaris | Pink Muhly Grass | y | 7 gal, 30"x 30" min. |
| 147 | PB | Philodendron burle-marxii | Burle Marx Philodendron | y | 3 gal, 18"x 18" min. |
| GROUNDCOVERS and VINES | | | | | |
| QTY | SYM | Botanical Name | Common Name | Native - y/n | Specifications |
| 116 | AG | Arachis glabrata | Perennial Peanut | y | 1 gal 12"x12" full |
| 412 | BF | Bulbine frutescens | Peach Bulbine | n | 1 gal 12"x12" full |
| 468 | MP | Mimosa pudica | Sensitive Plant | y | 1 gal 12"x12" full |
| 3,812 | SOD | Match existing | Zoysia Grass | n | solid sod, butt jointed, no gaps, laid flat and rolled |

IRRIGATION SYSTEM NOTES AND REQUIREMENTS

- The contractor shall install an automatic underground irrigation system with a minimum of two bubblers or drip emitters at each new tree and palm location and with drip emitters to ensure 100% coverage of all planting bed areas shown in plan / installed on site as well as rotors for complete coverage of any and all sodded lawn areas within the limits of work for this project including right-of-way conditions as required per site / municipality.
- The irrigation system shall include a backflow preventer, lightning protection, a smart controller, moisture-sensing devices, piping & size, heads & size, valves & size along with pressure conditions at point of connection as well as pressure required by the designed system. The system shall also include any and all other equipment required by local codes as necessary to ensure a complete working system for approval by local municipality reviewer and / or inspector.
- As required by the local municipality, the contractor shall submit shop drawings and / or as-built drawings of the irrigation system for review and approval by the landscape architect, owner and municipality prior to execution or substantial completion of the project.
- The contractor shall provide an operations manual to the owner and landscape architect prior to completion of the irrigation system installation and shall demonstrate / instruct the owner / owner's maintenance provider in the complete operation of the system.
- REFER TO LI SHEETS (Li.1 - Li.2) FOR SCHEMATIC PLAN AND DETAILS

LANDSCAPE LEGEND

BROWARD Co.
INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

| | | |
|---|-----------------------------|--|
| Transect Zone: <u>RS-6</u> | Lot Area: <u>12,800 SF</u> | Acres: <u>.29</u> |
| <u>OPEN SPACE</u> | | |
| A. Square feet of required Open Space, as indicated on site plan: Lot Area = <u>12,800</u> s.f. x <u>.39</u> % = <u>4,480</u> s.f. | REQUIRED / PROVIDED ALLOWED | <u>4,480 SF</u> / <u>6,291 SF</u> |
| B. Square feet of VUA area, as indicated on site plan: Number of parking spaces <u>n/a</u> x 10 s.f. per parking space= | | <u>n/a</u> / <u>n/a</u> |
| <u>LAWN AREA CALCULATION</u> | | |
| A. Square feet of landscaped open space required: | | <u>4,480 SF</u> / <u>6,291 SF</u> |
| B. Maximum lawn area (sod) permitted = <u>.60</u> % x <u>6,291</u> s.f. | | <u>3,775 SF</u> / <u>3,720 SF</u> |
| <u>TREES</u> | | |
| A. Number of trees required per net lot acre, less existing number of trees meeting minimum requirements = <u>1</u> trees / <u>2,000</u> square feet = | | <u>6</u> / <u>7</u> - proposed trees |
| B. % Palms allowed: a cluster of 3 palms = 1 tree and max. 30% | | <u>2</u> / <u>0</u> |
| C. % Natives required: Number of trees provided x 50% = | | <u>4</u> / <u>7</u> |
| D. % Drought tolerant and low maintenance: Number of trees provided x 50% = | | <u>4</u> / <u>7</u> |
| E. Street Trees (maximum average spacing of 40 ft o.c.): <u>50</u> linear feet along street / 40 = | | <u>3</u> / <u>3</u> (existing to remain palms) |
| # Palms permitted to count towards street trees on 1:1 basis: | | <u>1</u> / <u>3</u> (existing to remain palms) |
| F. Street trees located directly beneath power lines: (maximum average spacing of 20 ft o.c.): <u>N/A</u> linear feet along street / 20 = | | <u>N/A</u> / <u>N/A</u> |
| <u>SHRUBS</u> | | |
| A. Number of shrubs required: 10 / 2,000 square feet = | | <u>64</u> / <u>27</u> |
| B. % Native shrubs required: Number of shrubs provided x 50% = | | <u>14</u> / <u>27</u> |
| C. % Drought tolerant and low maintenance required: Number of shrubs provided x 50%= | | <u>14</u> / <u>27</u> |
| D. % Foundation Planting: Linear ft building frontage <u>77</u> x %20 = | | <u>16</u> / <u>26</u> |

RECOMMENDED MAINTENANCE GUIDELINES

- Pruning | plants shall be pruned regularly to remove all broken, dead and diseased limbs, any cross-rubbing wood, suckers and water sprouts. Significant pruning should be done in late winter or spring. Never remove more than one-quarter of a live tree crown in a single year. Do not prune when the flush of new spring leaves is forming. Do not prune branches with a flush cut, but instead cut to the outside of the branch collar. All pruning cuts shall be clean and free of any paints or sealers. Spring flowering shrubs shall be pruned immediately after spring blooming. Summer flowering shrubs shall be pruned in late winter. Avoid excessive "shearing" of shrubs, which promotes unhealthy growth conditions. Prune shrubs in the spring and summer by alternating heading back and shearing techniques. Minimize fall pruning as this encourages new growth, which is susceptible to cold damage. Hedges shall be trimmed so that the bottom is wider than the top. Shrubs shall be pruned no less than, but not limited to the required height of the situation for which it is being utilized, i.e., perimeter shrub at minimum 30", sight-triangle height of no higher than 2.5 feet, or any other visual height requirements. Maintain the size and proportion of plants to each other and the surrounding landscape.
- Fertilizer | application of fertilizer shall comply with the walton county fertilizer ordinance. Fertilizer may be applied in the spring and fall (use low nitrogen in the fall). In the spring broadcast 15-5-15 fertilizer over the area of root growth at a rate of six (6) pounds per 1,000 square feet. In the fall broadcast 15-5-15, 5-5-20, 5-0-15 or 5-0-20 fertilizer over the area of root growth at a rate of ten (10) pounds per 1,000 square feet. Use a granular, non-burning product, with micronutrients and half of the nitrogen is to be in a slow-release form. For azaleas, camellias, gardenias, and dogwoods, use a specific, acid-rich formula. For palms use special palm fertilizers which contain equivalent rates of nitrogen and potassium, micronutrients and additional magnesium. Fertilizer shall be applied per manufacturer's instructions. Nutrient absorption will be affected by soil ph. Specific evaluation of this nutrient/ph relationship may be necessary if plant performance is low. (note: fertilizer shall not be used for installation or maintenance of plantings located within county right-of-way or located within the stormwater management facilities)
- Pest control | pest control shall only be applied, as necessary. An integrated pest management system for establishing a healthy environment for proper growth conditions is the preferred method for pest control. Non-toxic horticultural oil recommended. Apply a broad-spectrum foliar herbicide to mulched areas as needed by spot spraying. Apply pre-emergent foliar herbicide spray to lawns in late winter and post emergent foliar herbicide spray to lawns in early spring.
- Watering | the minimum watering schedule for newly planted material shall be equivalent to a minimum of 1" of rainfall per week. Water should be applied in the early morning hours. Water regularly for two years or until established. Deep, infrequent soakings, which allow the soil moisture to drain, is the watering method preferred for established plants. This type of soaking will encourage a deep root system, which will enable the plants to withstand periods of drought.

PLANTING NOTES AND PROPOSED PLANT SCHEDULE



LA #2047

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[Handwritten Signature]

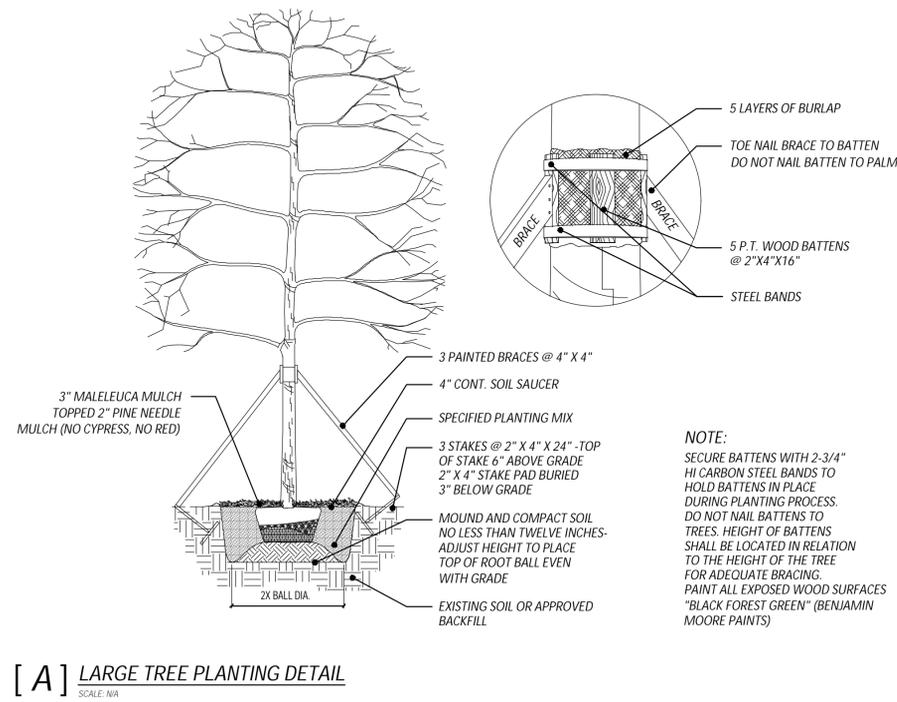
HOME RENOVATION
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REVISIONS:
REV 01 06.19.2025
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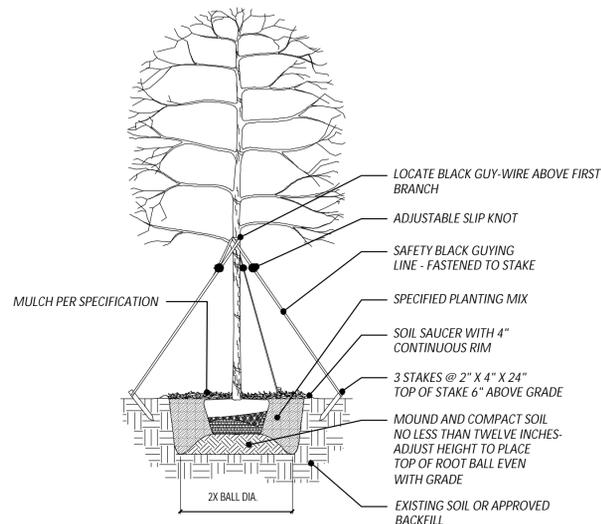
L3

DRAWING DATE: 07.22.2025

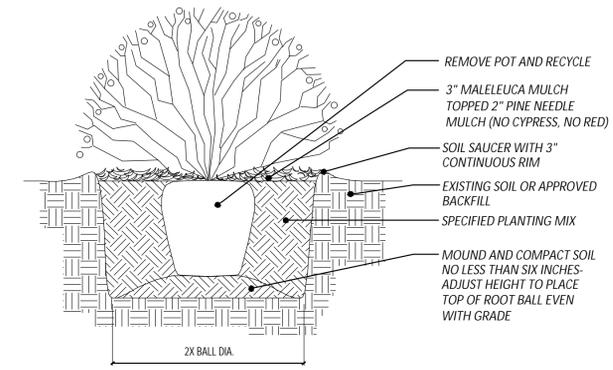


[A] LARGE TREE PLANTING DETAIL
SCALE: N/A

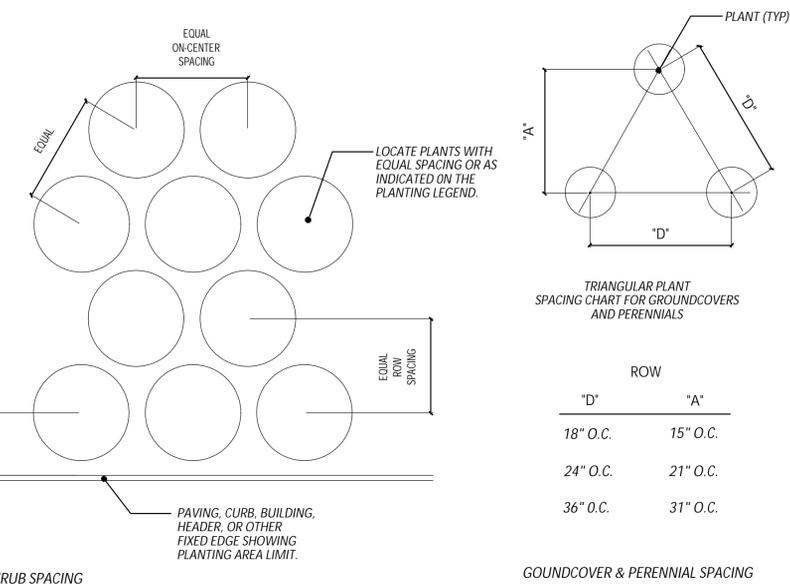
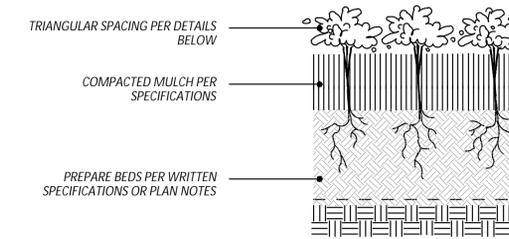
NOTE:
SECURE BATTENS WITH 2-3/4" HI CARBON STEEL BANDS TO HOLD BATTENS IN PLACE DURING PLANTING PROCESS. DO NOT NAIL BATTENS TO TREES. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE TREE FOR ADEQUATE BRACING. PAINT ALL EXPOSED WOOD SURFACES "BLACK FOREST GREEN" (BENJAMIN MOORE PAINTS)



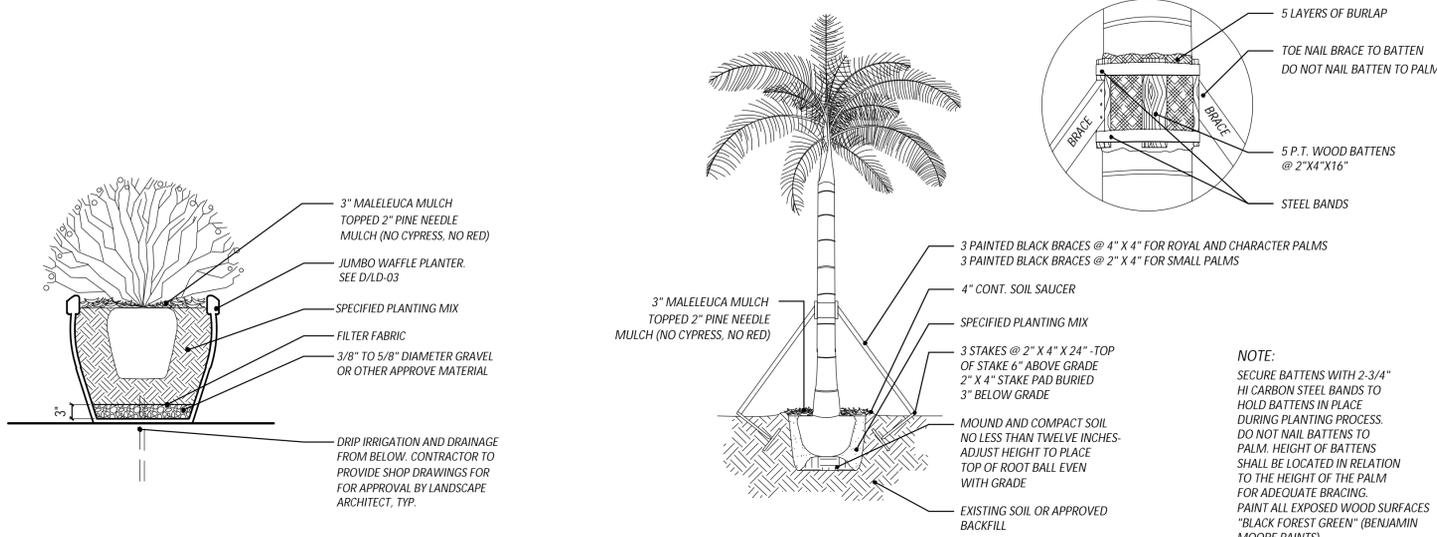
[B] MEDIUM / SMALL TREE PLANTING DETAIL
SCALE: N/A



[C] SHRUB PLANTING DETAIL
SCALE: N/A



[F] GROUNDCOVER PLANTING DETAILS
SCALE: N/A



[D] POTTED PLANT DETAIL AND SPECIFICATION
SCALE: N/A

[E] PALM PLANTING DETAIL
SCALE: N/A

NOTE:
SECURE BATTENS WITH 2-3/4" HI CARBON STEEL BANDS TO HOLD BATTENS IN PLACE DURING PLANTING PROCESS. DO NOT NAIL BATTENS TO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING. PAINT ALL EXPOSED WOOD SURFACES "BLACK FOREST GREEN" (BENJAMIN MOORE PAINTS)

PLANTING DETAILS AND NOTES



LA #2047

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L4
DRAWING DATE: 07.22.2025



gumbo limbo



pigeon plum



autograph tree / pitch apple



simpson stopper



coconut palm

1



green buttonwood



bahama wild coffee



silver saw palmetto



coontie



imperial bromeliad



big blue liriopel



pink muhly grass



burle marx philodendron



peach bulbine



sensitive plant



perennial peanut



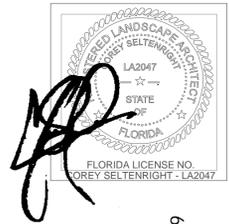
mondo grass



LA #2047

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LANDSCAPE ARCHITECT

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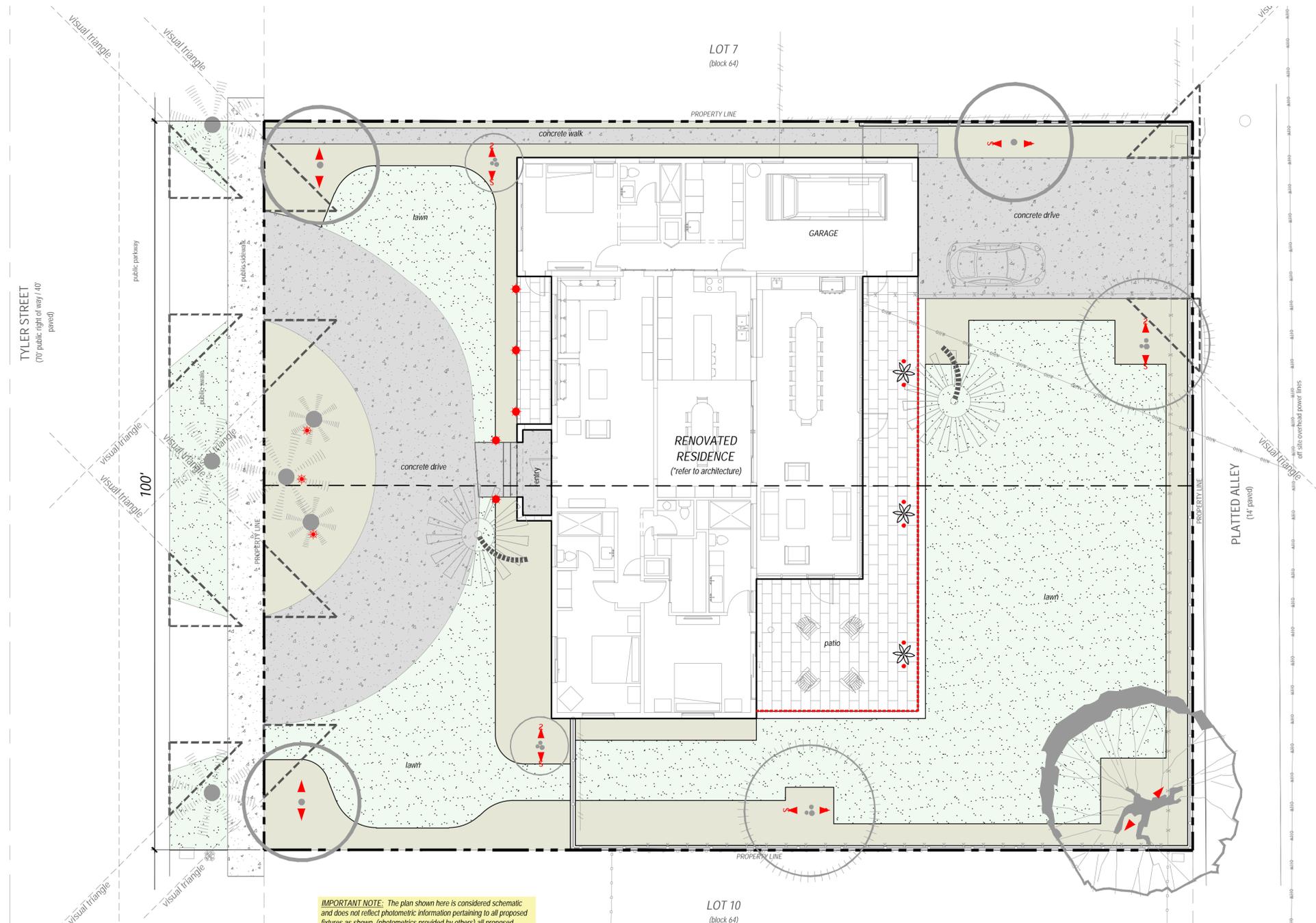
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L5
DRAWING DATE: 07.22.2025

PROPOSED PLANT IMAGERY



IMPORTANT NOTE: The plan shown here is considered schematic and does not reflect photometrics. Information pertaining to all proposed fixtures as shown (photometrics provided by others) all proposed lighting is considered accent landscape lighting along with various path lighting to facilitate pool light fixtures proposed by others. refer to civil plans for additional information on overall site lighting

LIGHTING LEGEND

| SYM | QTY | LIGHT TYPE |
|-------|-------|--|
| ▲ | 6 | accent up light |
| ▲ | 10 | small accent up light |
| ★ | 3 | well spot light |
| ● | 5 | path light |
| ● | 6 | micro well up light |
| ----- | 80 LF | LED strip light concealed under steps (dimnable) |

- legend notes:
- flat side of triangle symbols indicates direction of proposed light for installation purposes
 - drawing sheet is provided in schematic format to show design intent only. fixture selection TBD with owner upon permit approval

LIGHTING NOTES

lighting shown here is considered schematic and does not include any post lights, architectural lighting, etc. photometric plans by others shall be submitted for compliance of local agencies approval.

all proposed fixtures shall be low voltage LED and shall be dimmable on a photocell timer or automatic timer. controller shall be digital to simplify necessary changes for ownership / management.

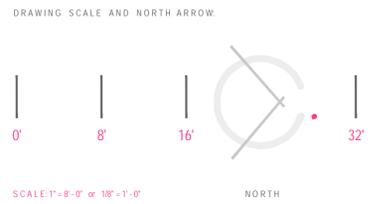
extra space shall be left on lighting panel for future needs as deemed appropriate by ownership / management or city regulation to meet code.

all fixtures shall have a kelvin color of 3,000. any deviation from color shall require review and approval by landscape architect and local municipality.

all fixtures shall be made of corrosion resistant materials with stainless steel or brass finishes and shall have a minimum warranty of 5 years from installation.

all fixtures and components of the electrical system required per this lighting plan shall be provided by a certified electrical engineer with all applicable requirements met per local municipality.

LANDSCAPE LIGHTING PLAN



THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSTRUCTED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.

LL1

DRAWING DATE: 07.22.2025



LA #2047

C. Right Studios
 Cory R. Seltenright
 Landscape Architect
 Fort Lauderdale, FL 33310
 954.591.6864
 corey@crighstudios.com



HOME RENOVATION
 FOR:
 927 TYLER STREET
 HOLLYWOOD, FL 33019

REVISIONS:
 REV 01 06.19.2025
 REV 02 07.22.2025

PRODUCT SPECIFICATIONS Project Name _____ Date _____
 Type or Model _____ Qty _____

VOLT® Low Voltage Landscape Lighting
The All-Star™ Brass MR16 Spotlight - VAL-2000-4-BBZ

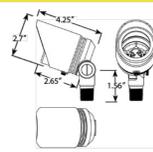
Product Description

The VOLT® All-Star™ features a fully adjustable glare guard and knuckle, making it perfect for almost any uplighting application. The adjustable glare guard allows you to fine tune your landscape lighting effects within the application. This fixture is compatible with almost any halogen or LED MR16 bulb, allows you to create broad beam spread flood effects, narrow spread spot light effects, and almost any effect in between.

With superior light control, the All-Star™ gives you complete mastery over your lighting effects ensuring you only have light where you want it at. This fixture is shielded, has a silicone plug where the lead wires exit to prevent pests and humidity from entering the fixture, and is made of solid cast brass and comes with VOLT's Lifetime Warranty.



Product Dimensions



Specifications

- Construction: Brass
- Finish: Bronze
- Lead Wire: 4' (standard) or 25' (optional) 18AWG
- Mounting: 1/2" Hammer Stake with cutout for wire exit
- Lens: Clear Flat Glass
- Light Source (sold separately): MR16 (LED or Halogen)
- Operating Voltage: 12VAC
- Powered by: VOLT's Low Voltage Transformer

Warranty

Lifetime Warranty

Certifications

- Solid Cast Brass Construction.
- Pre-aged finish, just a natural patina that does not corrode.
- Beryllium copper socket - more corrosion resistant than copper.
- Silicone plug at lead wire exit prevents ground moisture and insects from entering luminaire through the stem.
- Water Tight Silicone O-Ring - keeps water from entering luminaire.
- Extra-long (1-inch) strip resistant threading and solid brass locknut provide superior mounting stability.
- Heavy duty adjustable knuckle and adjustable glare guard allows light to be positioned.



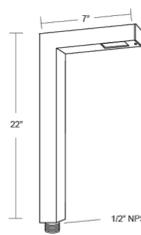
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 www.voltlighting.com

[A] ACCENT UP-LIGHT
 SCALE: N/A

PATH LIGHT T4 20W 12V 4W LED MODEL PL-11

Specification-grade landscape lighting, wet-location luminaire for path or garden lighting applications.

- Extruded brass
- Dark bronze finish
- Remote transformer required
- Stainless steel hardware
- 6 feet of 18/2 low voltage cable supplied
- 1/2" NPS mount threads (Mount not included)
- Frosted acrylic lens
- Listed for wet location use
- Warranty: 5 Years



Specifications

MODEL: PL-11 LAMPING: T4 Halogen (order separately) 4W LED (order separately)
 MATERIAL: Extruded brass
 VOLTAGE: 12V
 WATTAGE: 20W Halogen
 SOCKET: GY 6.35 Bi-pin porcelain socket rated 600V, 250°C 18 ga, Teflon® coated leads.

Ordering Logic:

| MODEL | METAL | FINISH |
|---------|-----------|------------------|
| PL - 11 | B - Brass | DB - Dark Bronze |

ORDERING EXAMPLE: PL - 11 - B - DB

Excelsior Lighting, Inc.

PROJECT

TYPE

2507 N. Bundy Drive Fresno, CA 93727 T - 559.346.1051 F - 559.346.1071 excelsiorlighting.com

[D] PATH LIGHT
 SCALE: N/A

PRODUCT SPECIFICATIONS Project Name _____ Date _____
 Type or Model _____ Qty _____

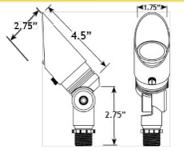
VOLT® Low Voltage Landscape Lighting
All-Star™ Mini- VAL-2001-X-XXX

Product Description

The VOLT® All-Star™ Mini Spotlight is a professional-grade compact and durable landscape lighting directional light perfect for garden lighting and illuminating architectural features. Constructed of solid cast brass, this fixture can withstand almost any physical and environmental abuse. Extremely compact and easy-to-install, this Mini Landscape Lighting Spotlight is small enough to place in garden planters, small garden beds, and other niche areas. A removable and adjustable glare shield allows the installer to precisely control the light so it does not project into the viewer's eyes. The size and controllability of this fixture makes it a perfect choice when a small discrete light source is needed.



Product Dimensions



Specifications

- Construction: Brass
- Finish: Bronze or Copper Finish
- Lead Wire: 18AWG
- Mounting: VOLT® Hub Stake
- Lens: Clear Flat Glass
- Light Source (sold separately): MR11 (LED or Halogen)
- Operating Voltage: 12VAC
- Powered by: VOLT's Low Voltage Transformer

Warranty

Lifetime Warranty

Certifications



- Solid Brass Construction.
- Pre-aged finish - a natural patina that does not corrode.
- Beryllium copper socket - more corrosion resistant than copper.
- Silicone plug at lead wire exit prevents ground moisture and insects from entering luminaire through the stem.
- Water Tight Single Silicone O-Ring - keeps water from entering luminaire.
- Extra long (1 inch) strip resistant threading and solid brass locknut provide superior mounting stability.
- Heavy duty adjustable knuckle and adjustable glare guard allows light to be precision aimed.

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 www.voltlighting.com

[B] SMALL ACCENT UP-LIGHT
 SCALE: N/A

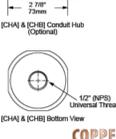
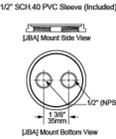
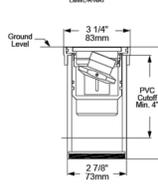
auroraLight

TYPE: _____
 CAT. #: LMWL-R: W-27-1B-STAB-BLP

LMWL-R MICRO WELL

The Award-Winning LMWL Micro Well light is a high performance LED luminaire. It is packed with features yet remains small in size. The light source can be raised or lowered up to one inch, tilted 20 degrees side to side, and rotated a full 360 degrees to provide superior aiming. New for 2021, it is now featuring our SDA "small diameter, large aperture" bezel. Same amount of light with a smaller footprint. See LMW-1, LMW-2-F, LMW-3-F, LMW-3-SQ-F, LMW-4 and LMW-5 for additional size and wattage options.

- Features include:**
- 3 Watts up to 192 lumens
 - Cree XLAMP® (XP-L) LED
 - 2700K (80 & 90 CRI) or 3000K (80 CRI)
 - Thermally Integrated® and Field Serviceable LED Module
 - IC Rated for Interior and Exterior Use
 - 12V Integral Constant Current Driver (Remote 12V AC/DC Transformer Required)
 - Dimmable to <10% (TRIAC/Forward Phase) via Compatible Transformer
 - Compatible w/ 12V AC/DC MLV or ELV Transformers
 - Drive-over Rated up to 8,000 lbs. When installed w/ Stabilizer Accessory
 - Solid Brass Construction



SEE NEXT PAGE FOR ORDERING INFORMATION

CARLSBAD, CA | PHONE 877 942 1179 | FAX 760 931 2916 | E-MAIL SALES@AURORALIGHT.COM | AURORALIGHT.COM
 In a continuing product improvement program, AuroraLight reserves the right to modify product specifications without notification. © 2020 AuroraLight, Inc. 12V-0 (2/2020)

[E] MICRO - WELL LIGHT
 SCALE: N/A

PRODUCT SPECIFICATIONS Project Name _____ Date _____
 Type or Model _____ Qty _____

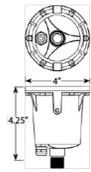
VOLT® Low Voltage Landscape Lighting
Salty Dog Brass MR16 In-Grade Light

Product Description

This redesigned in-grade light has several improved features. This fixture is made from cold forged brass which is less porous than cast brass and better suited for water-related conditions. It also has a pressure fit gasket that creates a tight seal keeping water out of the internal housing. Heavily designed wire glands prevent water from getting into the fixture at one of the most common points of failure. This fixture can also be used on land with its efficient heat dissipation. Choose your desired lighting by selecting from our wide variety of MR16 bulbs.



Product Dimensions



Specifications

- Construction: Cold Forged Brass
- Finish: Bronze
- Lead Wire: 4' (standard) or 25' (optional) 18AWG
- Glass or Lens: Clear Flat Glass
- Light Source: MR16
- Operating Voltage: 12V
- Powered by: VOLT's Low Voltage Transformer
- Torque Setting: 1.5 ft. lbs.
- Faceplate Options: Open-Faced (pictured), Grated, Shielded, Beacon, Turret Top

Warranty

Lifetime Warranty

Certifications



- Cold forged brass faceplate with pressure fit gasket (must be tightened in a star pattern) to guarantee complete waterproofing.
- Water tight wire glands ensure water cannot get inside the fixture.
- Lamp-ready for our wide array of MR16 lamps.
- Efficient heat dissipation.
- This fixture can be used fully submersed in water.
- Raised lens to prevent water from puddling.

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 www.voltlighting.com

[C] WELL SPOT LIGHT
 SCALE: N/A

Brilliant™
 Brand Lighting

LED STRIP LIGHTS 120V SMD 3528

65 & 148' Spools and Custom Cuts
 SIZE: STRIP12025' (20'-52', 45'-142')
 CC-35' (Custom Out, Specify Length - 19.5" intervals)
 B-Blue, CW-Cool White, G-Green, O-Orange,
 P-Pink, R-Red, WW-Warm White, Y-Yellow

PRODUCT INFORMATION:
 Brilliant Brand 120V SMD-3528 LED Strip Lights consist of bright and durable LEDs encased in high quality PVC casing and is most often used to provide directional accent lighting for living spaces, commercial buildings, or landscaping. 120V strip lights give you the ability to create custom accent lighting projects at home, and can also be used in virtually any lighting application due to their extreme versatility.

BENEFITS:
 Durability - 120V strip lights are known for their strength and flexibility. SMD LED chips will not break, hold up in cold weather, and be less prone to failure.
 Brightness - 3528 SMD LEDs are a standard brightness chip - roughly 2x brighter than LED rope lights.
 Custom Lighting Effects - There are many different lighting effects that can be achieved with 120V LED strip light. LEDs are highly versatile through use of controllers which allow you to dim, fade, and flash.

SPECIFICATIONS

- Input: 120V AC
- Power Consumption: 1.3 Watts/ft
- Colors: Blue-B, Cool White-CW, Green-G, Pink-P, Red-R, Warm White-WW, Yellow-Y
- LED Count: 60 LEDs/m
- Lumen Output: up to 6 lumens/LED
- LED Spacing: 0.67"
- Light Output: Directional
- Life-time: 50,000 hours
- Dimensions: 0.39" W x 0.231" H
- Materials: PVC with UV Protection Additive
- Temperature range: 20° F - 130° F
- Max run length: 148'
- Cutting Interval: 19.5"
- Ingress Protection: IP64 (IP65 with properly sealed connections)
- Dimmable: Yes, with LED compatible dimmer
- Warranty: 2 Years

[F] DIMMABLE LED STRIP LIGHT
 SCALE: N/A



LA #2047
 COREY SELTENRIGHT ARCHITECT
 C. Right Studios
 Corey R. Seltenright
 P.O. Box 100
 Fort Lauderdale, FL 33310
 954.591.6864
 corey@crightright.com



HOME RENOVATION
 FOR:
 927 TYLER STREET
 HOLLYWOOD, FL 33019

REVISIONS:
 REV 01 06.19.2025
 REV 02 07.22.2025

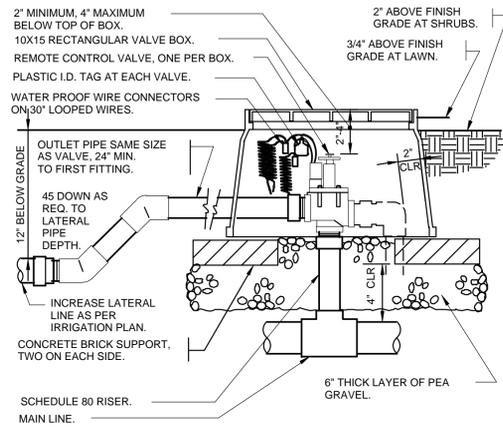
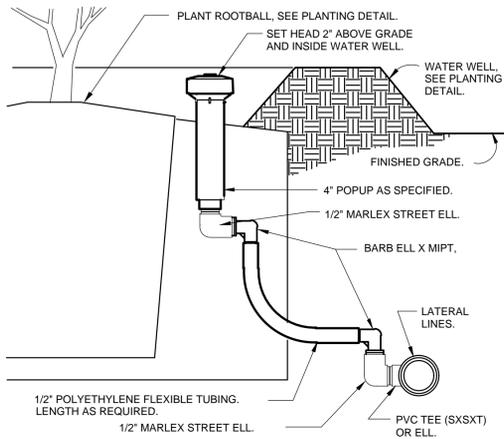
THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.

LL2
 DRAWING DATE: 07.22.2025

LANDSCAPE LIGHTING SPECIFICATIONS

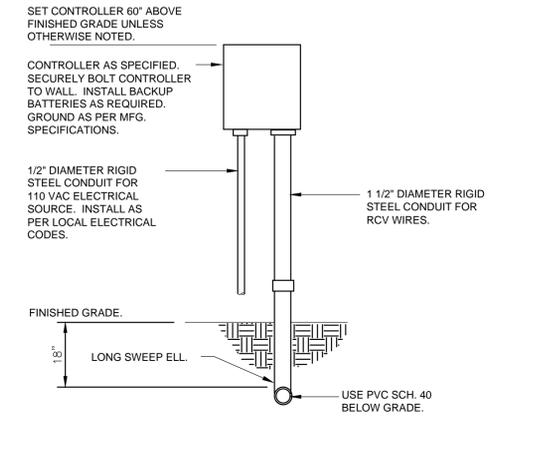
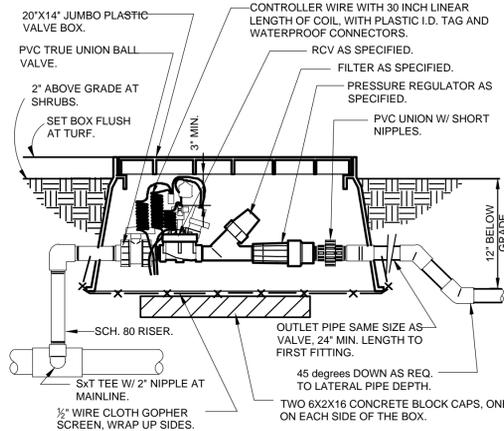
GENERAL NOTES AND REQUIREMENTS

- prior to beginning any type of excavation the contractor shall mark the area of work with white marking material(s) and then contact sunshine state one-call of florida, inc. (ssocon) at 1-800-432-4770 to request excavation site "locates" for underground facilities (utilities) per the "underground facility damage prevention and safety act", chapter 556, florida statutes. the contractor shall comply with the florida trench safety act part vi, chapter 553, florida statutes, the florida and federal pipeline safety act, and the osha standard 1926.651. utility lines damaged by the contractor shall be repaired at the contractor's expense and at no cost to the project owner or utility owner.
- verify all conditions and dimensions shown on the plans at the site prior to commencement of work under this contract. inspect existing irrigation system including controller, backflow assembly, etc.
- all irrigation installation shall conform to local building and plumbing codes, and florida statutes.
- piping on plans is diagrammatically routed for clarity. route to avoid conflicts with drainage, inlets, utilities, planting or existing trees. design modifications may be made only as necessary to meet field conditions and only as acceptable to the landscape architect and owner.
- sleeves shall be provided and installed by the irrigation contractor. coordinate installation with site contractor. if additional sleeves are required, they shall meet the following requirement: all pipe and wire under paving shall be placed in schedule 40 p.v.c. sleeves for the full pavement coverage length and be at least 24" below grade and shall extend at least 24" beyond the back of any curb or edge of pavement if curbing is not in the project. sleeve ends shall be temporarily sealed with duct tape or pvc caps during installation.
- mainlines shall be buried to provide a minimum cover of 24", lateral lines shall have a minimum cover of 18".
- all sprinklers shall be adjusted to prevent water overthrow onto roadways, parking and walkways while ensuring 100% coverage of planting & grassing areas.
- all piping downstream of a solenoid valve shall be class 200.
- install valves in traffic bearing valve boxes or an approved equal. set flush with finished grade.
- the contractor shall provide and install up to 3% additional heads, piping, valves, etc. as required to ensure proper coverage of all planting.
- schedule all post-construction irrigation operations to occur between 12 am and 6 am.
- provide complete typewritten instructions for irrigation operation and maintenance to the owner.
- contractor shall provide as-built drawings for the irrigation system to the owner.
- contractor shall install a minimum of three (3) copper rods, 8' minimum length to achieve a minimum 15 ohm grounding protection for controller. connect grounding rods to controller ground.



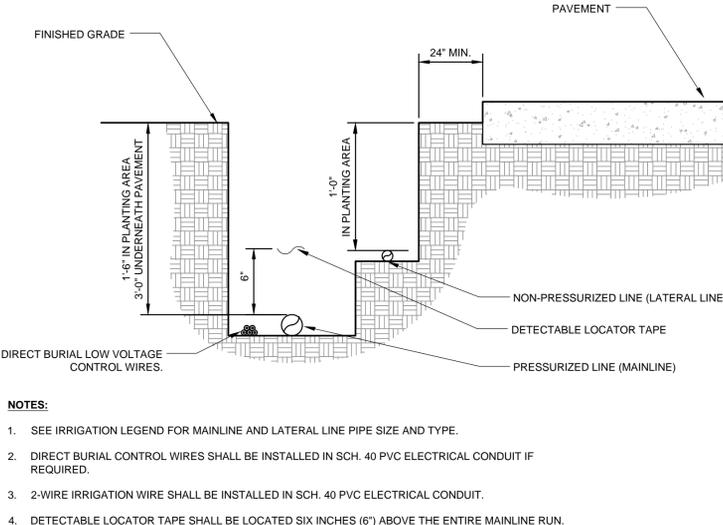
1 POPUP BUBBLER AT PLANT PIT
3" = 1'-0" 328403.53-04

2 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0" 328406.13-01

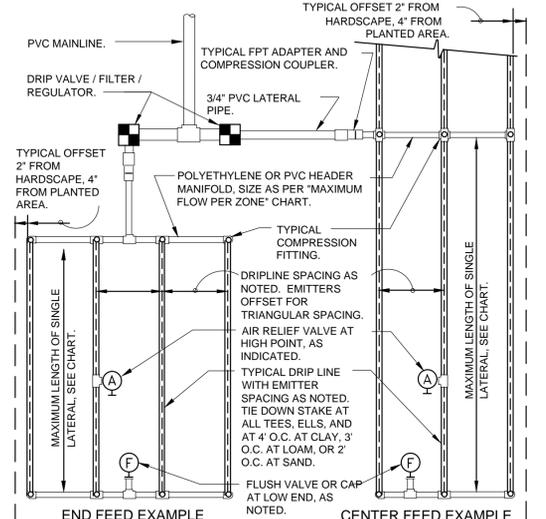


3 1" DRIP VALVE/FILTER/REGULATOR
1 1/2" = 1'-0" FX-IR-FX-DRIP-12

4 WALL MOUNT CONTROLLER
1" = 1'-0" 328409.13-01



- NOTES:
- SEE IRRIGATION LEGEND FOR MAINLINE AND LATERAL LINE PIPE SIZE AND TYPE.
 - DIRECT BURIAL CONTROL WIRES SHALL BE INSTALLED IN SCH. 40 PVC ELECTRICAL CONDUIT IF REQUIRED.
 - 2-WIRE IRRIGATION WIRE SHALL BE INSTALLED IN SCH. 40 PVC ELECTRICAL CONDUIT.
 - DETECTABLE LOCATOR TAPE SHALL BE LOCATED SIX INCHES (6") ABOVE THE ENTIRE MAINLINE RUN.



MAXIMUM LATERAL LENGTH (FEET)

| EMITTER FLOW RATE GPH | 12" SPACING | | 18" SPACING | | 24" SPACING | |
|-----------------------|-------------|---------|-------------|---------|-------------|---------|
| | PSI 0.6 | PSI 0.9 | PSI 0.6 | PSI 0.9 | PSI 0.6 | PSI 0.9 |
| 10 | 125 | 96 | 175 | 135 | 218 | 171 |
| 20 | 249 | 191 | 350 | 271 | 442 | 340 |
| 30 | 307 | 236 | 434 | 333 | 550 | 422 |
| 40 | 350 | 269 | 495 | 380 | 627 | 471 |
| 50 | 125 | 96 | 175 | 135 | 218 | 171 |
| 60 | 125 | 96 | 175 | 135 | 218 | 171 |

GRID PRECIPITATION RATES (IN/HR)

| EMITTER SPACING | LATERAL SPACING | EMITTER FLOW RATE | | MAXIMUM FLOW PER ZONE | |
|-----------------|-----------------|-------------------|------|-----------------------|-------------------|
| | | 0.6 | 0.9 | MAX GPM | PSI LOSS |
| 12 | 12 | 0.96 | 1.44 | 3/4" | 8.3 GPM, 7.7 PSI |
| 18 | 18 | 0.69 | 1.03 | 1" | 13.5 GPM, 4.2 PSI |
| 24 | 24 | 0.28 | 0.41 | 1-1/2" | 33.9 GPM, 2.9 PSI |
| | | | | 2" | 52.4 GPM, 1.9 PSI |

LATERAL FLOW PER 100 FT (GPM)

| EMITTER FLOW | 12" SPACING | | 18" SPACING | | 24" SPACING | |
|--------------|-------------|----------|-------------|----------|-------------------|-------------------|
| | 0.6 GPM | 1.0 GPM | 0.67 GPM | 0.50 GPM | 1-1/2" | 2" |
| 0.6 GPM | 1.0 GPM | 0.67 GPM | 0.50 GPM | 1-1/2" | 31.8 GPM, 2.9 PSI | 52.4 GPM, 2.2 PSI |
| 0.9 GPM | 1.5 GPM | 1.0 GPM | 0.75 GPM | 2" | | |

SLOPED CONDITION NOTES:

- DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE WHENEVER POSSIBLE.
- INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
- NORMAL SPACING WITHIN THE TOP 2/3 OF SLOPE.
- INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM 1/3 OF THE SLOPE.
- WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.

6 TYPICAL RAIN BIRD DRIPLINE REQUIREMENTS
N.T.S. FX-IR-RB-DRIP-25



LA #2047
DRAWINGS BY: LANDSCAPE ARCHITECT
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954.591.6864
corey@crighstudios.com



HOME RENOVATION FOR:
927 TYLER STREET
HOLLYWOOD, FL 33019

REVISIONS:
REV 01 06.19.2025
REV 02 07.22.2025

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSTRUCTED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.



IRRIGATION DETAILS AND NOTES

NOTE: PLAN AND PIPING SHOWN IS SCHEMATIC IN NATURE AND IS SHOWN FOR ROUTING PURPOSES. IT IS THE INTENT OF THE PIPING TO RUN ALONG THE INSIDE OF SIDEWALKS AND BED EDGES.

*existing trees are not irrigated as they are native to the climate and are established to survive off native climate conditions

IMPORTANT NOTES: psi calculations are TBD based on the selected components and shall be provided by contractor prior to procurement and installation.

contractor shall coordinate all ground level piping and components with civil plans to avoid conflicts. contractor shall notify the landscape architect and civil engineer immediately should field conflicts arise to ensure a collective resolution on site.

IRRIGATION SYSTEM NOTES AND REQUIREMENTS:

the contractor shall install an automatic underground irrigation system with a minimum of two bubblers or drip emitters at each new tree and palm location and with driplines to ensure 100% coverage of all planting bed areas and rotors for complete coverage of all plant bed areas within the limits of work for this project (refer to plan provided by landscape architect).

the contractor shall submit shop drawings of the irrigation system based on the schematic design shown here for review and approval by the landscape architect and owner prior to the award of the landscape and irrigation contract.

the shop drawings for the irrigation system shall include a backflow preventer, lightning protection, a smart controller, moisture-sensing devices, piping, heads, valves and all other equipment required by local codes and as necessary for a complete working system along with pressure calculations to ensure proper flow rates.

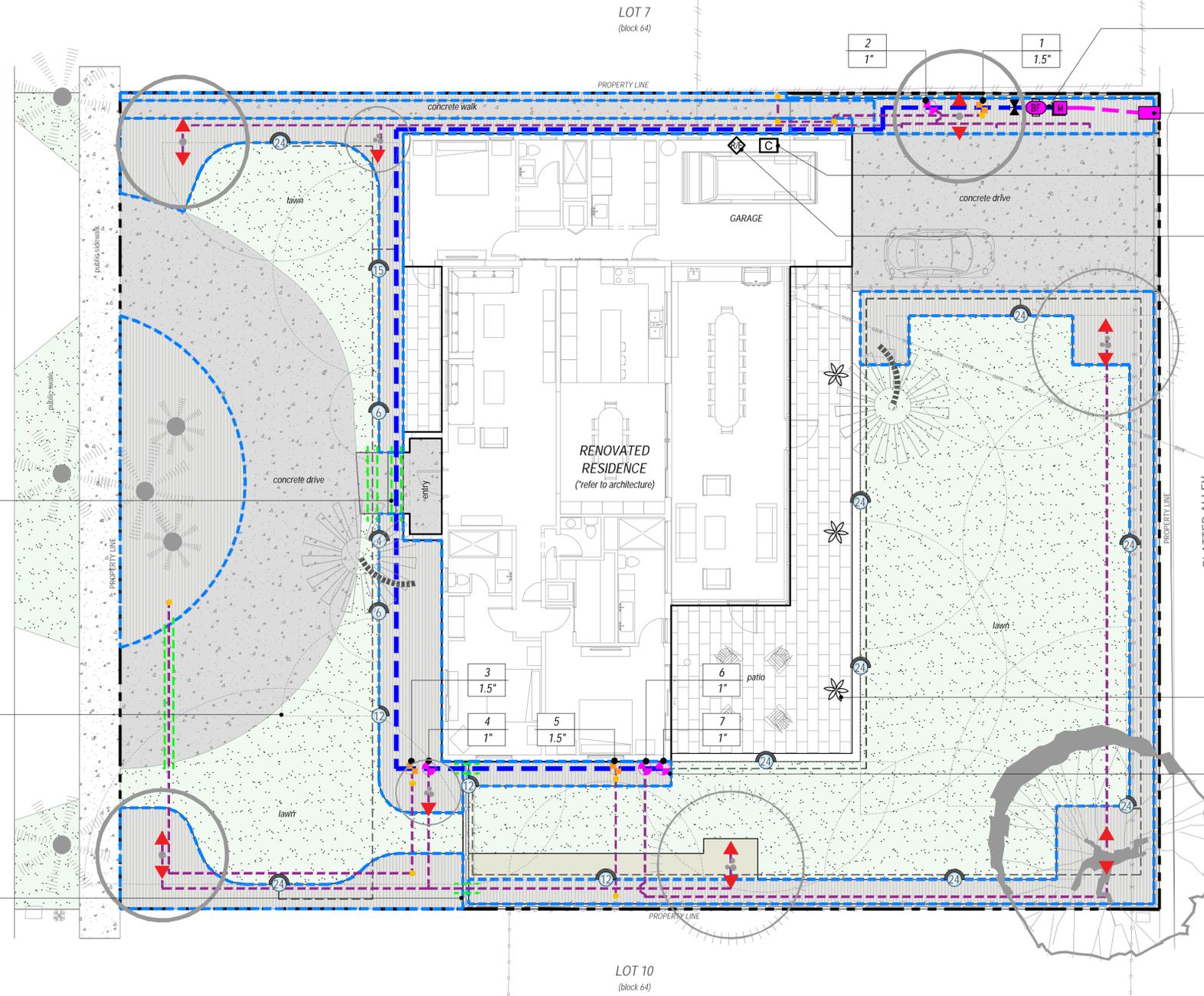
the contractor shall provide an operations manual to the owner and landscape architect prior to completion of the irrigation system installation and shall demonstrate and instruct the owner's maintenance provider in the complete operation of the system.

TYLER STREET
(70' public right of way / 40' paved)

irrigation sleeve (typ) note, one sleeve per location is acceptable as long as the sleeve is 2 times the combined dia. piping running through

adjust fixtures in the field to reduce overspray on adjacent hardscape surfaces (typ)

irrigation sleeve through proposed site wall (typ) refer to architect's drawings for wall details



meter, backflow and main valve location with components as specified

irrigation water supply from domestic connection (see civil plans for location and specifications)

contractor to coordinate with owner's representative / electrician for location and provision of power source for irrigation controller. 110vac electrical outlet required, no pig-tails allowed.

rain / freeze sensor coordinate best location in the field prior to installation.

planter urn TBD and per owner selection, verify hand watering vs drip line connection

cap mainline at last valve in this location

OVERALL IRRIGATION SCHEDULE

| SYMBOL | MANUFACTURER / MODEL / DESCRIPTION | QTY | PSI | DETAIL |
|--------|--|-----|-----|--------|
| | RAIN BIRD 1804-SAM-PRS-1400 FLOOD BUBBLER 4.0" POPUP WITH CHECK VALVE AND PRESSURE REGULATOR | 14 | 30 | |
| | RAIN BIRD XCZ-100-PRB-COM MEDIUM PLUS FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 3GPM TO 20GPM. | 3 | | |
| | RAIN BIRD XCZ-150-PRB-COM HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2" PESB VALVE WITH TWO 1" PRESSURE REGULATING (40PSI) QUICK-CHECK BASKET FILTERS. FLOW RANGE: 15-40GPM. | N/A | | |

| SYMBOL | MANUFACTURER / MODEL / DESCRIPTION | QTY | PSI | DETAIL |
|--------|---|-------|-----|--------|
| | AREA TO RECEIVE DRIPLINE RAIN BIRD XFD-09-12 (12) XFD ON-SURFACE PRESSURE COMPENSATING LANDSCAPE DRIPLINE. 0.9GPH EMITTERS AT 12.0" O.C. DRIPLINE LATERALS SPACED AT 12.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF INSERT FITTINGS. | 2,446 | 30 | |
| | RAIN BIRD PESB 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. WITH SCRUBBER TECHNOLOGY | 3 | | |
| | Rain Bird RD06-S-P30-F HE-VAN-04 | 1 | | |
| | Rain Bird RD06-S-P30-F HE-VAN-06 | 2 | | |
| | Rain Bird RD06-S-P30-F HE-VAN-12 | 3 | | |
| | Rain Bird RD06-S-P30-F HE-VAN-15 | 1 | | |
| | Rain Bird RD06SP30F - 6 in. RD1800 - 16-24 | 9 | | |

| SYMBOL | MANUFACTURER / MODEL / DESCRIPTION | QTY | PSI | DETAIL |
|--------|---|-----|-----|--------|
| | NIBCO T-580-S6-R-66-LL BRONZE BALL VALVE SHUT OFF VALVE | 1 | | |
| | WATTS 9190T 1-1/2" BACKFLOW REDUCED PRESSURE ZONE | 1 | | |
| | ESPLXME2 FRONT PANEL SPARE 8-1/2 STATION CAPABLE COMMERCIAL CONTROLLER. MOUNTED ON A POWDER-COATED METAL CABINET. WITHOUT FLOW SENSING. | 1 | | |

| SYMBOL | MANUFACTURER / MODEL / DESCRIPTION | QTY | PSI | DETAIL |
|--------|--|----------|-----|-----------------------|
| | RAIN BIRD WR2-RFC WIRELESS RAIN AND FREEZE SENSOR COMBO, INCLUDES 1 RECEIVER AND 1 RAIN/FREEZE SENSOR TRANSMITTER. | 1 | | |
| | WATER METER 1-1/2" ASSUMED 80 PSI @ SOURCE | 1 | | |
| | IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 | 506 L.F. | | (1.5", 1', .75") |
| | IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 | 406 L.F. | | (1" min.) |
| | IRRIGATION MAINLINE: PVC SCHEDULE 40 | 204 L.F. | | (2" min.) |
| | PIPE SLEEVE: PVC SCHEDULE 80 | 44 L.F. | | (3", 4", 6", 8", 10") |



LA #2047

C. Right Studios
Landscape Architect
927 Tyler Street
Hollywood, FL 33019
954.591.6864
corey@crightright.com

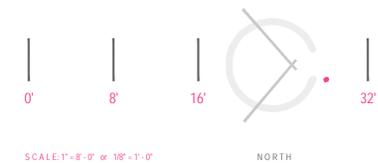


HOME RENOVATION
FOR:
927 TYLER STREET
HOLLYWOOD, FL 33019

REVISIONS:
REV 01 06.19.2025
REV 02 07.22.2025

IRRIGATION PLAN

DRAWING SCALE AND NORTH ARROW



THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.



- Building Division
- Contractor Search
- Permit Self-Service
- Application / Permit Data
- Plan Review Status
- Inspection Results
- Register for Email Notification

[Register for E-Mail Notifications](#)

| | | | | |
|----------------------------|---------------|-------------------------|-----------------------------|----------------------------|
| New Search | Permit | Reviews | Inspections | Contractor |
|----------------------------|---------------|-------------------------|-----------------------------|----------------------------|

Permit Details

| | | |
|-------------------------------------|---------------------------|--------------------------------|
| Process #: | Permit #: B9404844 | Master Permit: B9404844 |
| Status: Closed | | |
| List All Subpermits | | |

| | | |
|--|-----------------------------|-----------------|
| Site Information | | |
| Address: 927 TYLER ST | Folio#: 514214022710 | |
| Sub-division: HOLLYWOOD LAKES SECTION | Value: \$4,566.00 | |
| Lot: 8 | Block: 64 | Sq Ft: 0 |

| | |
|--|---|
| Permit Information | |
| Application Type: DRIVEWAY Job Name: MALTONI, SERGE & GIANFRANCA Film Number: 9405365 | Application Date: 00/00/00 Permit Date: 08/02/94 CO/CC Date: Total Fees: \$85.24 |

| |
|--|
| Applicant / Contact Information |
| Name: GABRIELE STAMP & DESIGNS INC Address: 3385 S W 4 STREET DEERFIELD BEACH, FL |

| |
|---|
| Property Owner Information |
| Name: MALTONI, SERGE & GIANFRANCA Address: |

| |
|--|
| Contractor Information |
| Name: GABRIELE STAMP & DESIGNS INC (Permits + Details) Address: 3385 S W 4 STREET DEERFIELD BEACH, FL |

[View Building Plans](#)
(Some building plans may be unavailable)

Register for E-Mail Notifications

To receive automatic e-mail notifications about plan review and inspection updates for this process/permit number, enter your email address below. Notifications are sent within one hour of a plan review or inspection update.

E-mail notifications are not available for this permit.

JOB CARD

OWNER Sergio Maltoni **JOB ADDRESS** 927 Tyler Street

LEGAL DESCRIPTION **LOT NUMBER** 8-9 **BLOCK** 64 **SUBDIVISION OR ADDITION** Hollywood Lakes Sec

MICROFILM NO. 90-0118 **ARCHITECT** VIOLATION DOUBLE FEE **FEE** \$ 37.60 **VALUATION** \$ 1726

DESCRIPTION OF CONSTRUCTION enclose carport to den SEPTIC TANK SEWER TAP

| TYPE PERMIT | NUMBER | DATE | CONTRACTOR | TYPE PERMIT | NUMBER | DATE | CONTRACTOR |
|----------------|----------|--------|------------|---------------|--------|------|------------|
| BUILDING | 62151 | 5/4/60 | owner | SEPTIC/SEWER | | | |
| ROOF | | | | AIR/CONDITION | | | |
| ELECTRIC-BASIC | | | | MECHANICAL | | | |
| ELECTRIC-SUPP. | | | | SCREEN | | | |
| PLUMBING | NO. FIX. | | | POOL | | | |
| L-P-DRY WALL | | | | DRIVEWAY | | | |
| FENCE | | | | PATIO or WALK | | | |

NOTES: county surcharge \$.60

NAME OF OWNER Robert J. O'Swill,

ADDRESS OF CONSTRUCTION 927 Taylor St.,

LEGAL DESCRIPTION

Lot 8 & 9, Bk 61, Lakes

Owner's Present Address

Description of Construction

Cost 17,800.

Single Family Res.

| Permit Type | No. | Date Issued | To Whom | Fixtures or Costs |
|-------------|-------|-------------|------------------|-------------------|
| Bldg | 16125 | 2-23-51 | Owner | |
| ELECT | 37367 | 4-27-51 | Smith's Electric | 125.00 |
| Electrical | 9770 | 4-3-51 | Yacki | PI-60 |
| Plumbing | 9620 | 3-2-51 | Olson | 5.00 |
| Plumbing | 6070 | 2-17-51 | Robinson | 10.00 |
| Roof | 74757 | 9-21-51 | Zumal Rly | 130.00 |
| Gas | | | | |

INSPECTIONS

| | | |
|-------------------|--------------------------|------------------------|
| FOUNDATION 3-4-51 | 1st Rough Plg. 3-13-51 | Temp. Service |
| COLUMNS | Final Rough Plg. 4-1-51 | Roof Electric 4-3-51 |
| TIE BEAM 5-27-51 | Septic Tank 5-18-51 | Temporary Final 7-7-51 |
| 3-26-51 | 1. 1/2" x 6" x 6" BRONZE | |
| CAP | Grease Trap | Final Electric 5-18-51 |
| | Final Plumbing 5-24-51 | |
| GAS | Cert. of Occupancy | Rubbish Bond |

Remarks

[Handwritten signature]

[Handwritten signature]

NAME OF OWNER R. HARRISONADDRESS 927 TYLER ST

LEGAL DESCRIPTION

COST 600.00

DESCRIPTION OF CONST.

ARCHITECT:

BREAK TO FLA^r ROOM

| PERMIT TYPE | NO. | DATE | TO WHOM | EXT. or OUT. |
|---------------|-------|---------|----------------|--------------|
| BLDG. | 78486 | 5-23-68 | BRNCO | |
| ROOF | | | | |
| ELECTRICAL | 40549 | 6-5-68 | Bregli. Elect. | |
| PUMPING | | | | |
| GAS | | | | |
| SEPTIC, SEWER | | | | |
| A/C DUCTS | | | | |
| SCREEN ENCL. | | | | |
| POOL | | | | |
| DRIVEWAY | | | | |
| FENCE | | | | |

JOB CARD

OWNER **Maltoni** JOB ADDRESS **927 Tyler St.**

LEGAL DESCRIPTION LOT NUMBER BLOCK SUBDIVISION OR ADDITION

MICROFILM NO. ARCHITECT FEE VALUATION
 \$ 30.00 \$ 6,300.

DESCRIPTION OF CONSTRUCTION **Re-Roof tile and flat**

- SEPTIC TANK
- SEWER TAP

| TYPE PERMIT | NUMBER | DATE | CONTRACTOR | TYPE PERMIT | NUMBER | DATE | CONTRACTOR |
|----------------|----------|-------|---------------------|---------------|--------|------|------------|
| BUILDING | | | | SEPTIC/SEWER | | | |
| ROOF | 3100 | 89898 | 7-11-84 Raymond Rfo | AIR/CONDITION | | | |
| ELECTRIC-BASIC | | | | MECHANICAL | | | |
| ELECTRIC-SUPP. | | | | SCREEN | | | |
| PLUMBING | SO. FIX. | | | POOL | | | |
| L-P-DRY WALL | | | | DRI VEMAY | | | |
| FENCE | | | | PATIO or WALK | | | |

NOTES:
County Surchrg: 1.40

JOB CARD

OWNER **Maltoni** JOB ADDRESS **927 Tyler St.**

LEGAL DESCRIPTION LOT NUMBER BLOCK SUBDIVISION OF ADDITION

MICROFILM NO. ARCHITECT FEE **\$ 30.00** VALUATION **\$ 6,300.**

DESCRIPTION OF CONSTRUCTION **Re-Roof tile and flat** SEPTIC TANK
 SEWER TAP

| TYPE PERMIT | NUMBER | DATE | CONTRACTOR | TYPE PERMIT | NUMBER | DATE | CONTRACTOR |
|----------------|----------|-------|------------|---------------|---------------|------|------------|
| BUILDING | | | | SEPTIC/SEWER | | | |
| ROOF | 3100 | 89898 | 7-11-84 | Raymond Rfo | AIR/CONDITION | | |
| ELECTRIC-BASIC | | | | MECHANICAL | | | |
| ELECTRIC-SUPP. | | | | SCREENS | | | |
| PLUMBING | SO. FIX. | | | POOL | | | |
| L-P-DRY WALL | | | | DRIVEWAY | | | |
| FENCE | | | | PATIO or WALK | | | |

NOTES:

County Surchrg: 1.40

JOB CARD

OWNER: S. Maltoni
 JOB ADDRESS: 927 Tyler St.

LEGAL DESCRIPTION: 8 - 9
 LOT NUMBER: 8 - 9
 BLOCK: 64
 SUBDIVISION OR ADDITION: Hwd. Lakes Sect. 1/32E

MICROFILM NO.: *Misc 84M*
 ARCHITECT: _____
 FEE: \$ 30.00
 VALUATION: \$ 2,290.

DESCRIPTION OF CONSTRUCTION: Screen Room on exist. slab

SEPTIC TANK
 SEWER TAP

| TYPE PERMIT | NUMBER | DATE | CONTRACTOR | TYPE PERMIT | NUMBER | DATE | CONTRACTOR |
|----------------|-----------|-------|------------|-------------|---------------|------|------------|
| BUILDING | 438 | 83409 | 7-26-83 | Owner | SEPTIC/SEWER | | |
| ROOF | Al. Pane. | | | | AIR/CONDITION | | |
| ELECTRIC-BASIC | | | | | MECHANICAL | | |
| ELECTRIC-SUPP. | | | | | SCREEN | | |
| PLUMBING | NO. FIX. | | | | POOL | | |
| L-P-DRY WALL | | | | | DRIVEWAY | | |
| FENCE | | | | | PATIO or WALK | | |

NOTES:
 County Surcharge: .60

JOB CARD

OWNER: S. Maltoni
 JOB ADDRESS: 927 Tyler St.

LEGAL DESCRIPTION: 8 - 9
 LOT NUMBER: 8 - 9
 BLOCK: 64
 SUBDIVISION OR ADDITION: Hollywood Lakes Sect. 1-32B

MICROFILM NO.: *Misc 84M*
 ARCHITECT: _____
 FEE: \$ 20.00
 VALUATION: \$ 300.

DESCRIPTION OF CONSTRUCTION: Raise Patio 10"

SEPTIC TANK
 SEWER TAP

| TYPE PERMIT | NUMBER | DATE | CONTRACTOR | TYPE PERMIT | NUMBER | DATE | CONTRACTOR |
|----------------|----------|-------|------------|-------------|---------------|------|------------|
| BUILDING | 325 | 83304 | 7-21-83 | Owner | SEPTIC/SEWER | | |
| ROOF | | | | | AIR/CONDITION | | |
| ELECTRIC-BASIC | | | | | MECHANICAL | | |
| ELECTRIC-SUPP. | | | | | SCREEN | | |
| PLUMBING | NO. FIX. | | | | POOL | | |
| L-P-DRY WALL | | | | | DRIVEWAY | | |
| FENCE | | | | | PATIO or WALK | | |

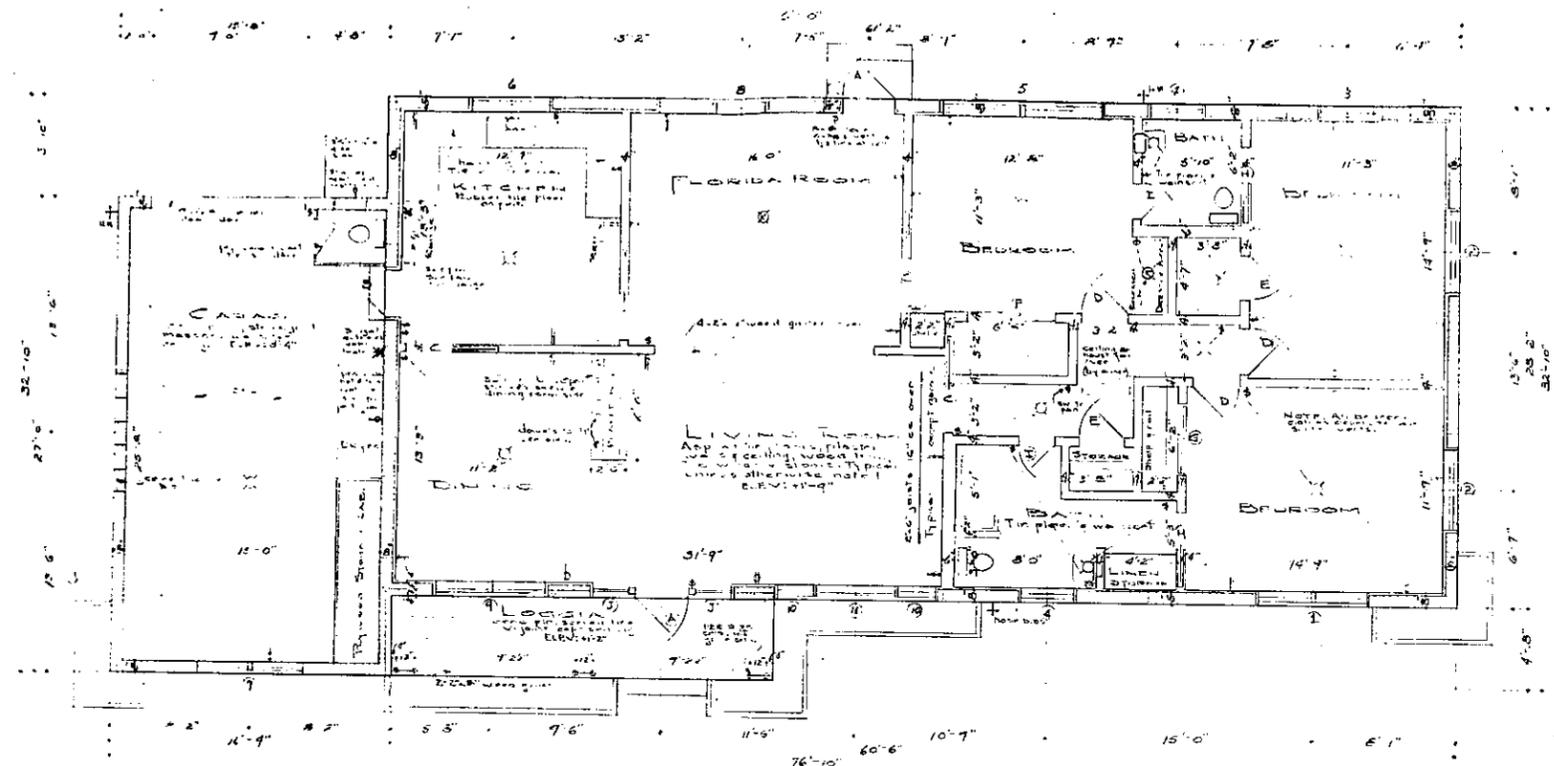
NOTES:
 County Surcharge: .20

JOB CARD

| OWNER S. Maltoni | | JOB ADDRESS 927 Tyler St. | | | | | |
|--|------------|-------------------------------------|-----------------|-------------------------|--------|---|------------|
| LEGAL DESCRIPTION | LOT NUMBER | BLOCK | | SUBDIVISION OR ADDITION | | | |
| MICROFILM NO. | ARCHITECT | | FEE \$ 15.00 | VALUATION \$ 300. | | | |
| DESCRIPTION OF CONSTRUCTION Repl. Asphalt w/concrete drive 15x28 | | | | | | <input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER 1/2" | |
| TYPE PERMIT | NUMBER | DATE | CONTRACTOR | TYPE PERMIT | NUMBER | DATE | CONTRACTOR |
| BUILDING | | | | SEPTIC/SEWER | | | |
| ROOF | | | | AIR/CONDITION | | | |
| ELECTRIC-BASIC | | | | MECHANICAL | | | |
| ELECTRIC-SUPP. | | | | SCREEN | | | |
| PLUMBING NO. FIT. | | | | POOL | | | |
| L.P. DRY WALL | | | | DRIVEWAY | 83305 | 7-21-63 | OWNER |
| FENCE | | | | PATIO or WALK | | | |
| NOTES: County Surcharge: .20 | | | | | | | |

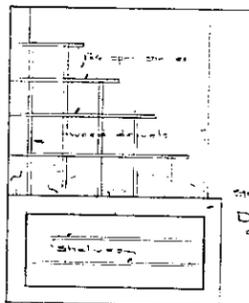
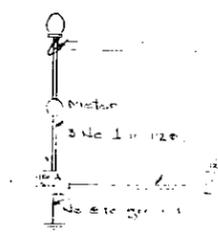
JOB CARD

| OWNER Maltoni | | JOB ADDRESS 927 Tyler Street | | | | | |
|---|------------|--|-----------------|-------------------------|--------|---|------------|
| LEGAL DESCRIPTION | LOT NUMBER | BLOCK | | SUBDIVISION OR ADDITION | | | |
| MICROFILM NO. | ARCHITECT | | FEE \$ 12.00 | VALUATION \$ 350 | | | |
| DESCRIPTION OF CONSTRUCTION Remediation | | | | | | <input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER 7/8" | |
| TYPE PERMIT | NUMBER | DATE | CONTRACTOR | TYPE PERMIT | NUMBER | DATE | CONTRACTOR |
| BUILDING | 63224 | 7/25/63 | B.I.P.S. | SEPTIC/SEWER | | | |
| ROOF | | | | AIR/CONDITION | | | |
| ELECTRIC-BASIC | | | | MECHANICAL | | | |
| ELECTRIC-SUPP. | | | | SCREEN | | | |
| PLUMBING NO. FIT. | | | | POOL | | | |
| L.P. DRY WALL | | | | DRIVEWAY | | | |
| FENCE | | | | PATIO or WALK | | | |
| NOTES: | | | | | | | |

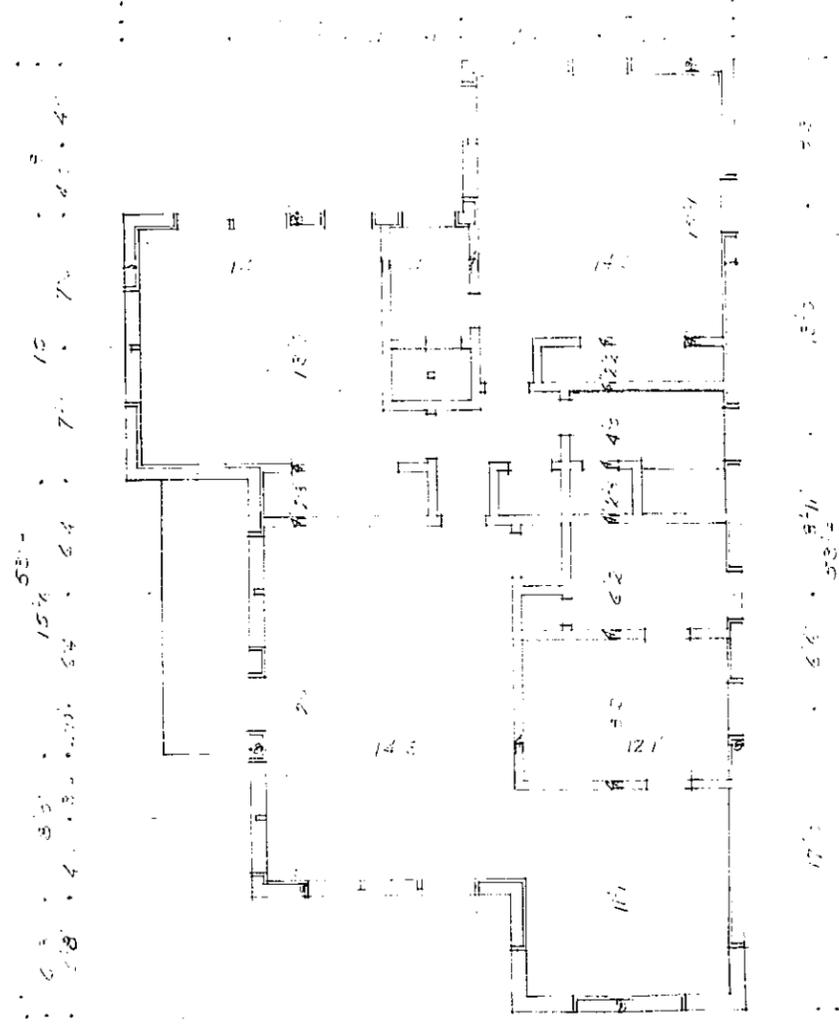


FLOOR PLAN 14' x 10'

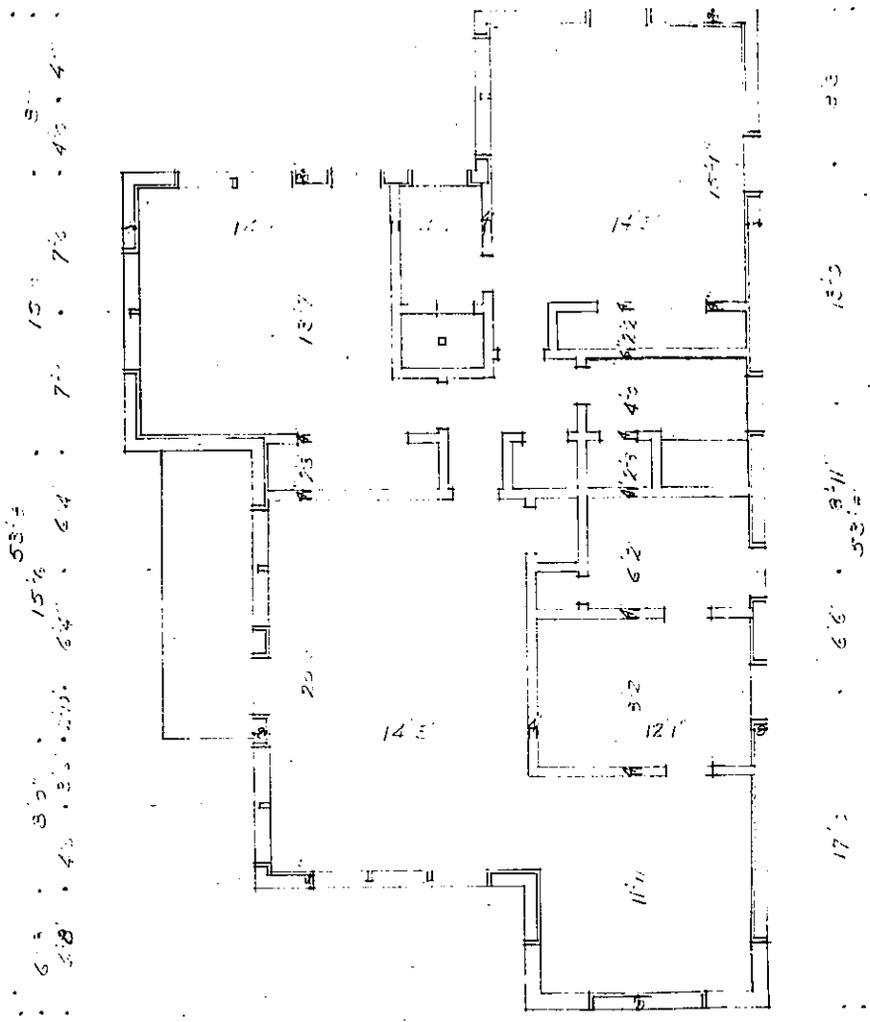
| DOOR SCHEDULE | | WINDOW SCHEDULE | |
|---------------|---------------|-----------------|------------------------------|
| A | 3 1/2 x 6 1/2 | 1 | 24" Mull. Au. W. L. Anning |
| B | 2 1/2 x 4 1/2 | 2 | 24 |
| C | 1 1/2 x 3 1/2 | 3 | 24 |
| D | 2 1/2 x 4 1/2 | 4 | 24 |
| E | 2 1/2 x 4 1/2 | 5 | 36" Mull. |
| F | 2 1/2 x 4 1/2 | 6 | 48 |
| G | 1 1/2 x 3 1/2 | 7 | 24" Mull. |
| H | 2 1/2 x 4 1/2 | 8 | 24" Mull. Glass jalousie (2) |
| I | 2 1/2 x 4 1/2 | 9 | 24" Mull. |
| J | 2 1/2 x 4 1/2 | 10 | 12 |
| K | 2 1/2 x 4 1/2 | 11 | 36 |
| | | 12 | 36 |



RESIDENTIAL
 FOR MR. FREDERICK
 121 1/2 S. BROAD ST.
 JACKSONVILLE, FLA.
 ARCHITECT
 S. J. BROWN
 121 1/2 S. BROAD ST.
 JACKSONVILLE, FLA.



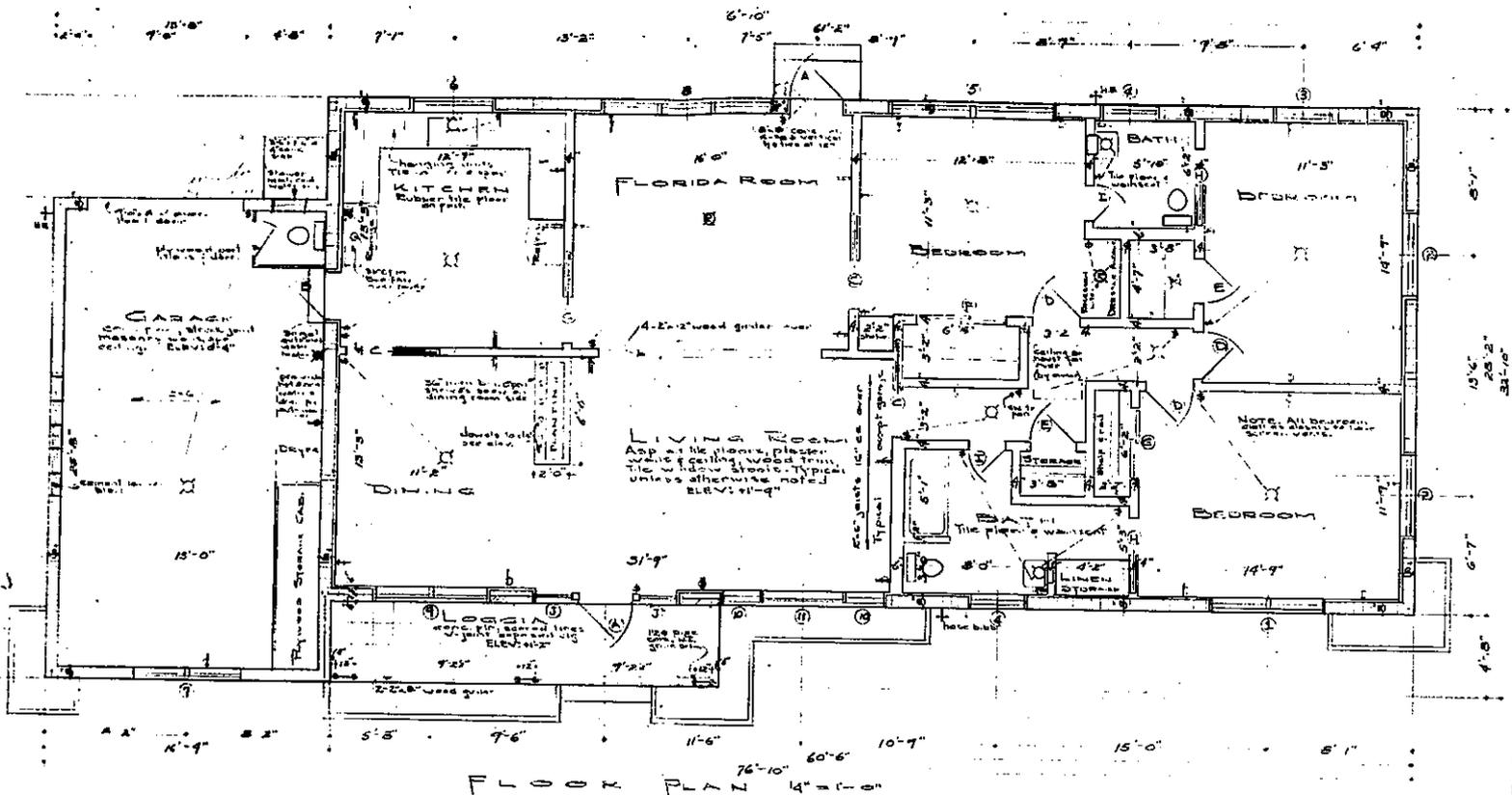
FLOOR PLAN 14' x 10'



20' 3' 13' 6"
 2' 5' 14' 13' 6"

FLOOR PLAN

Revised 8/20/12
 51222

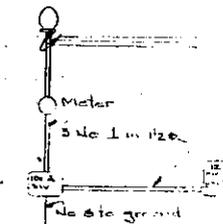


FLOOR PLAN 14'-0" x 60'-0"

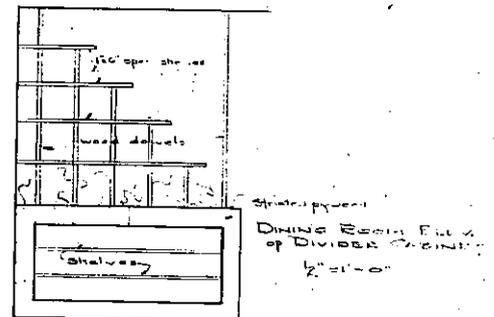
| DOOR SCHEDULE | |
|---------------|--------------------------------|
| A 32'-0" | 1/4" Glass jalousie |
| B 28'-0" | 1/4" Wood " |
| C 28'-0" | 1/2" Flush slab recess sliding |
| D 28'-0" | 1/2" " " " |
| E 20'-0" | 1/2" Wood louver |
| F 30'-0" | 1/2" R. " by-pass |
| G 40'-0" | 1/2" " " " " |
| H 28'-0" | 1/2" As C |
| I 28'-0" | 1/2" Flush Slab |
| J 20'-0" | 1/2" Glass jalousie |

| WINDOW SCHEDULE | |
|-----------------|----------------------------|
| 1 | 24 Mull Aluminum Awning |
| 2 | 34 " " " |
| 3 | 24 " " " |
| 4 | 23 " " " |
| 5 | 33 Mull " " " |
| 6 | 35 " " " |
| 7 | 23 Mull " " " |
| 8 | 23 Mull Glass jalousie (1) |
| 9 | 24 Mull " " (2) |
| 10 | 16 " " " |
| 11 | 36 Plate glass |

NOTE: ALL WINDOWS SHALL BE SET IN LIVERY BRICK FRAMES



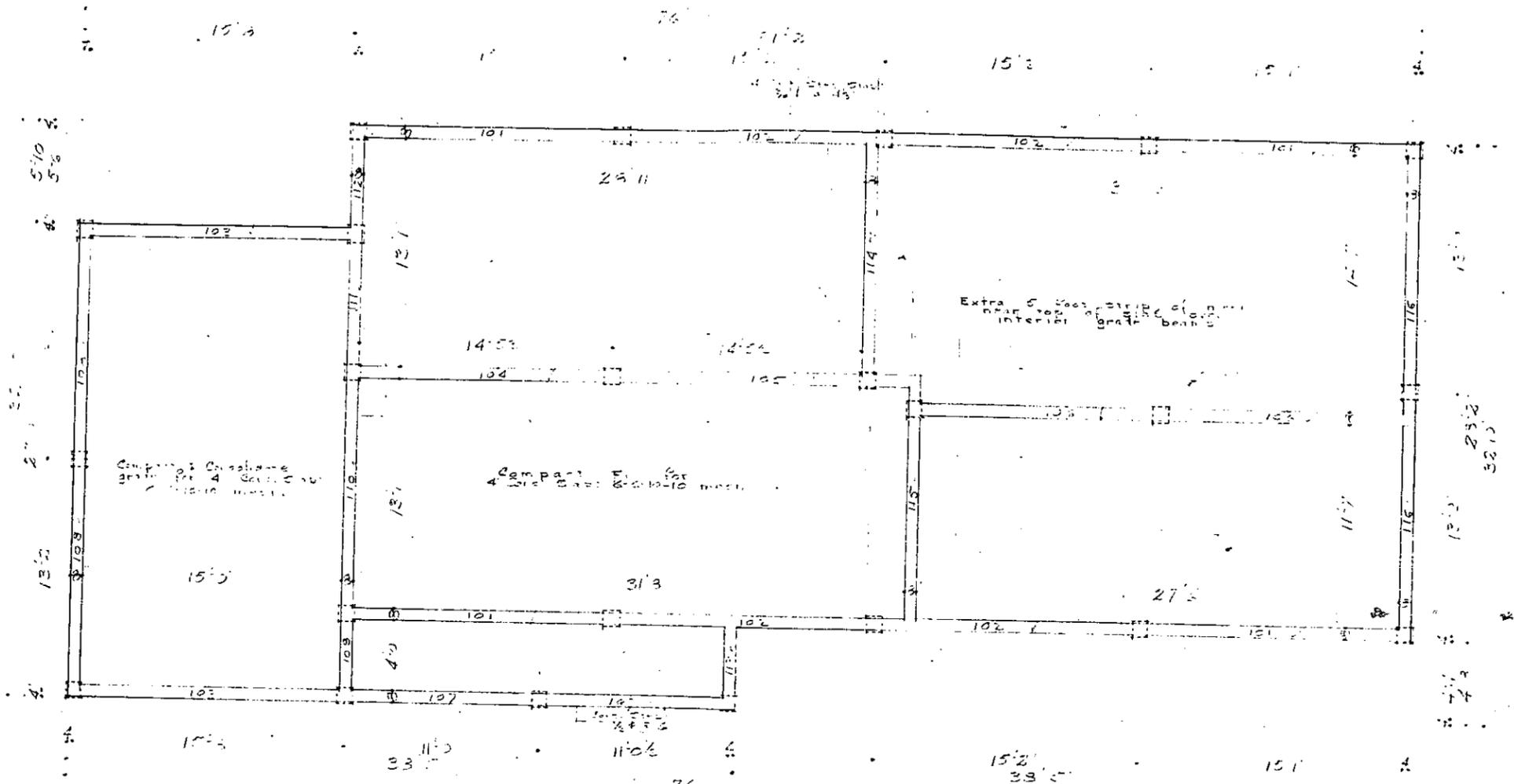
ELECTRIC SERVICE DETAIL No. 501



RESIDENTIAL
FOR THE REPAIR OF UNIT
LOT # 101 BLOCK 4
HOLLYWOOD BLVD. AT
HOLLYWOOD PLAZA
HOLLYWOOD FLORIDA

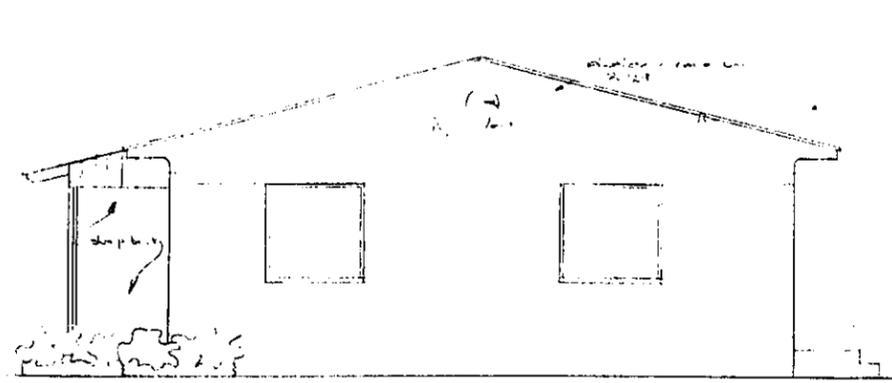
Scale 1/4" = 1'-0"
Date 11/17/53
By J. A. K.

Sheet 1

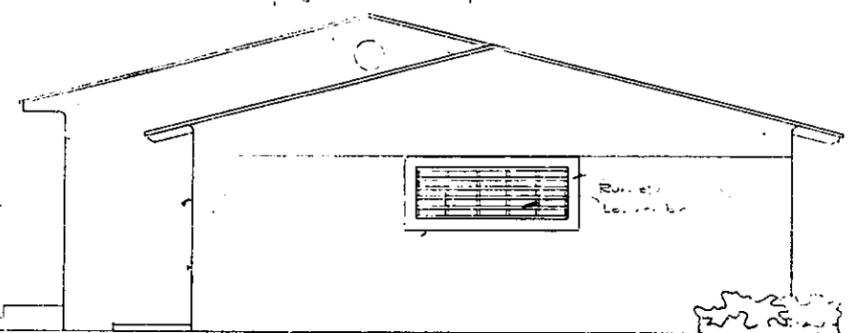


DILING & GRADE BEAMS

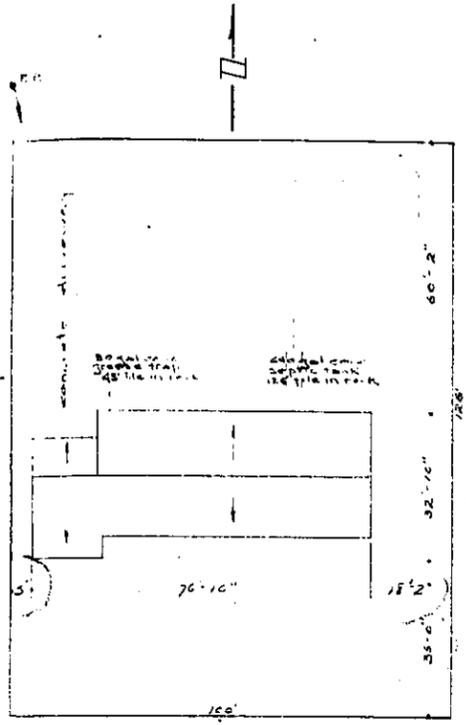
| BEAM | | GRADE BEAM | | STIFF | | STIFF | |
|------|------|------------|------|-------|------|-------|------|
| No. | Span | No. | Span | No. | Span | No. | Span |
| 1 | 10' | 1 | 10' | 1 | 10' | 1 | 10' |
| 2 | 10' | 2 | 10' | 2 | 10' | 2 | 10' |
| 3 | 10' | 3 | 10' | 3 | 10' | 3 | 10' |
| 4 | 10' | 4 | 10' | 4 | 10' | 4 | 10' |
| 5 | 10' | 5 | 10' | 5 | 10' | 5 | 10' |
| 6 | 10' | 6 | 10' | 6 | 10' | 6 | 10' |
| 7 | 10' | 7 | 10' | 7 | 10' | 7 | 10' |
| 8 | 10' | 8 | 10' | 8 | 10' | 8 | 10' |
| 9 | 10' | 9 | 10' | 9 | 10' | 9 | 10' |
| 10 | 10' | 10 | 10' | 10 | 10' | 10 | 10' |
| 11 | 10' | 11 | 10' | 11 | 10' | 11 | 10' |
| 12 | 10' | 12 | 10' | 12 | 10' | 12 | 10' |
| 13 | 10' | 13 | 10' | 13 | 10' | 13 | 10' |
| 14 | 10' | 14 | 10' | 14 | 10' | 14 | 10' |
| 15 | 10' | 15 | 10' | 15 | 10' | 15 | 10' |
| 16 | 10' | 16 | 10' | 16 | 10' | 16 | 10' |



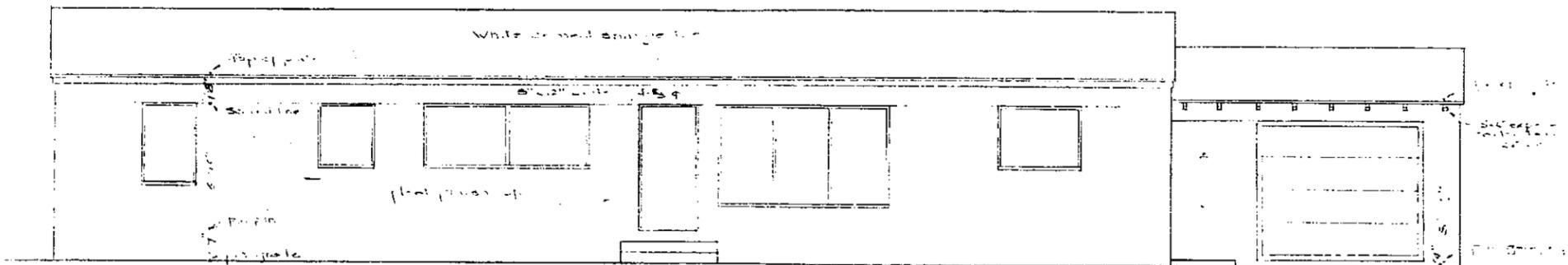
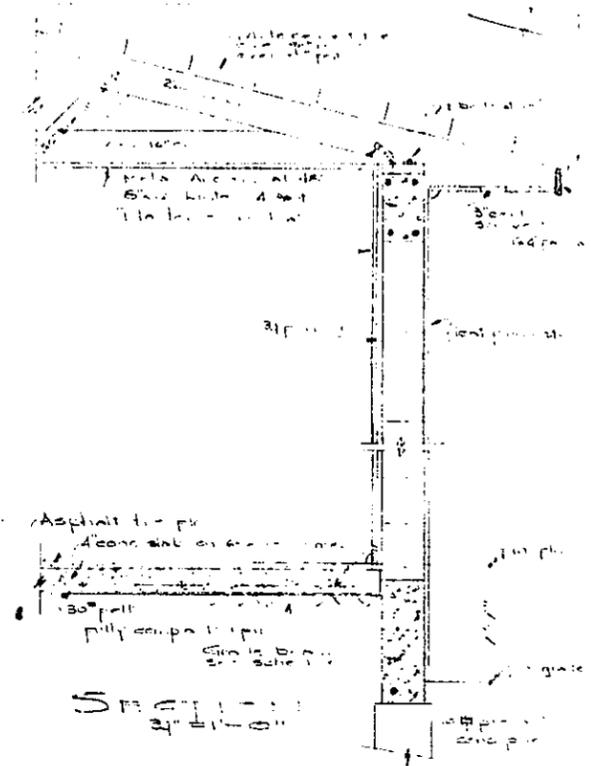
EAST ELEVATION 14'-10"



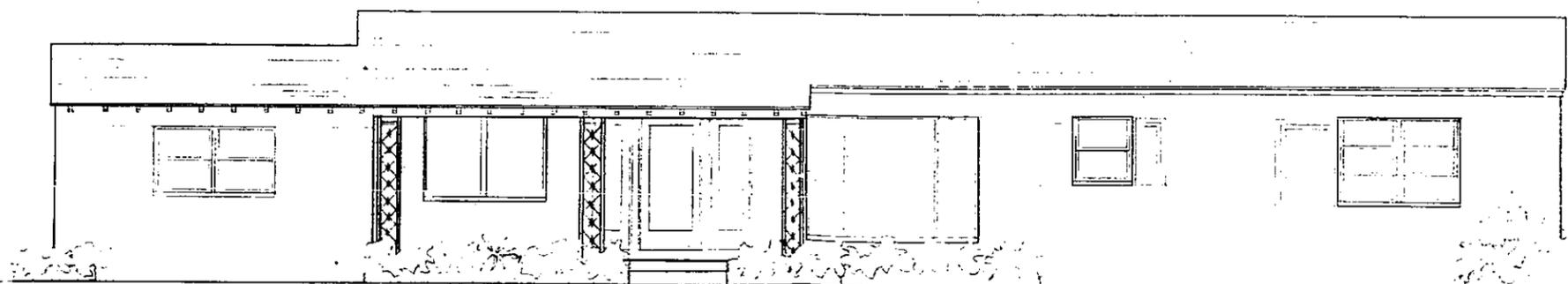
WEST ELEVATION 14'-10"



TYLER STREET
PLOT P-211
14'-10"



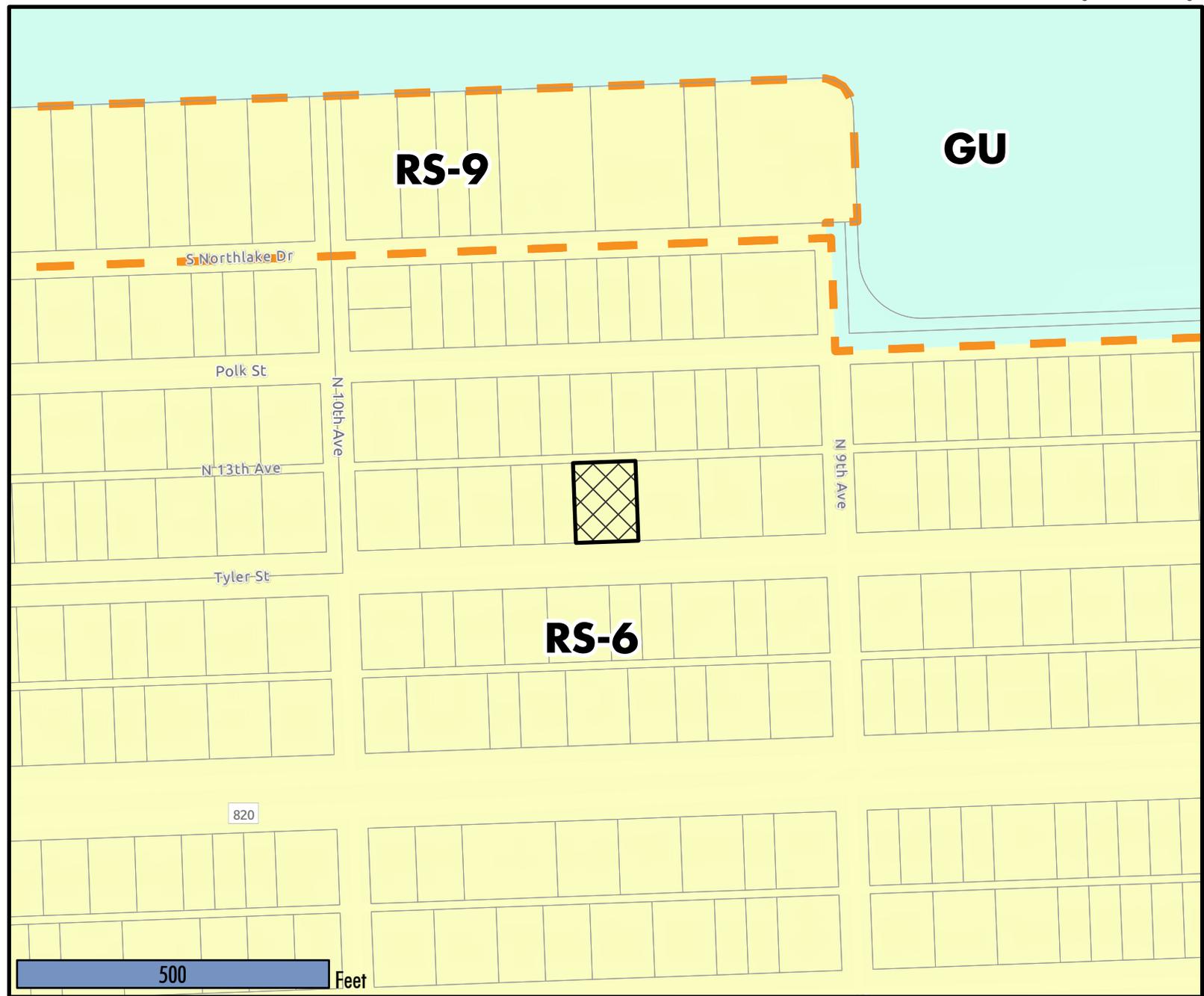
NORTH ELEVATION 14'-10"



SOUTH ELEVATION 14'-10"

1011

ATTACHMENT B
Zoning Map



LEGEND

- LAND USE
 - LOW (5) RESIDENTIAL
 - OPEN SPACE AND RECREATION
- ZONING
- PARCELS
- SUBJECT SITE

