

**Joint Meeting of the Historic Preservation Board and
Planning & Development Board**

Tuesday, September 9, 2025

5:00 PM

City of Hollywood



Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

Room 219

A. Administration

1. Pledge of Allegiance
2. Roll Call
4. Additions, Deletions, Withdrawals, and Continuances
5. City Attorney Announcements
3. Approval of the Previous Meeting Minutes

B. Applications

ITEM # 1 BELOW IS CONSIDERED QUASI-JUDICIAL

[1. 2025-0909](#)

FILE NO.: 24-ZJDP-67
APPLICANT: 58 Oak LLC and 4220 N 58th Avenue Partners LLC
LOCATION: 4220 & 4231 N 58th Ave
REQUEST: Recommendation request for a change in zoning district from North Mixed Use (N-MU) to Planned Development (PD); Waiver and Modifications to establish a Master Development Plan; Certificate of Appropriateness of Demolition; Certificate of Appropriateness for Design; and Site Plan review for an 8-story multifamily building with 470 units and associated amenities, 3,500 SF Place of Worship, and renovations to a designated historic structure (Bryan House, HPOS-12)

Attachments: [Final 24-JDP-67 StaffReport 2025](#)
[Attachment A Application Package I](#)
[Attachment A Application Package II](#)
[Attachment A Application Package III](#)
[Attachment A Application Package IV](#)
[Attachment A Application Package V](#)
[Attachment A Application Package VI](#)
[Attachment B Master Plan Development Guidelines](#)
[Attachment C Land Use and Zoning Map](#)
[Attachment D Community Outreach Package](#)

C. Old Business

D. New Business

1. Summary of the City Commission Actions

E. Adjournment

Legal descriptions for each of the above petitions is on file in the Department of Development Services.

Any person wishing to appeal any decision made by this Commission with respect to any matter considered at such meeting or hearing will need a record of the proceedings, and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is made.

Two or more members of the same city board, commission, or committee, who are not of this Commission, may attend this meeting and may, at that time, discuss matters on which foreseeable action may later be taken by their board, commission or committee.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call Clarissa Ip, ADA Coordinator/City Engineer, five business days in advance at 954-921-3915 (voice) or email: cip@hollywoodfl.org. If an individual is hearing or speech impaired, please call 1-800-955-8771 (V-TDD).



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Staff Summary

File Number: 1. 2025-0909

Agenda Date: 9/9/2025

To: Joint Meeting of the Historic Preservation Board and Planning & Development

Title: FILE NO.: 24-ZJDP-67
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**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING AND URBAN DESIGN**

DATE: September 9, 2025 **FILE:** 24-ZJDP-67

TO: Joint Planning and Development Board & Historic Preservation Board

VIA: Anand Balram, Assistant Director/Chief Planner

FROM: Reginald White, MPA, Planner III

SUBJECT: Recommendation request for a change in zoning district from North Mixed Use (N-MU) to Planned Development (PD); Waiver and Modifications to establish a Master Development Plan; Certificate of Appropriateness of Demolition; Certificate of Appropriateness for Design; and Site Plan review for an 8-story multifamily building with 470 units and associated amenities, 3,500 SF Place of Worship, and renovations to a designated historic structure known as the Bryan House (4220 & 4231 N 58th Ave).

REQUEST: Recommendation request for a change in zoning district from North Mixed Use (N-MU) to Planned Development (PD); Waiver and Modifications to establish a Master Development Plan; Certificate of Appropriateness of Demolition; Certificate of Appropriateness for Design; and Site Plan review for an 8-story multifamily building with 470 units and associated amenities, 3,500 SF Place of Worship, and renovations to a designated historic structure (Bryan House, HPOS-12)

RECOMMENDATION:

Staff recommends that the Planning and Development Board together with the Historic Preservation Board forward a recommendation of **approval** to the City Commission for the following:

Waiver:

A waiver to the 10-acre minimum required for Planned Developments proposed outside of the Downtown CRA District.

Rezoning:

Approval of the rezoning from North Mixed-Use (N-MU) to Planned Development (PD), if the waiver is supported, with the following conditions:

1. A Unity of Title or Unity of Control, in a form acceptable to the City Attorney, which provides for the project to be developed and operated pursuant to a unified plan of development as reflected on the Site Plan, be submitted prior to the issuance of Building Permits and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C).

Master Development Plan

Approval of Master Development Plan, if the rezoning is granted, with the following conditions:

1. Prior to the issuance of a building permit, the applicant shall submit agreements, covenants, and/or sureties, in a form acceptable to the City, to ensure ongoing compliance and maintenance of private areas. Successors in title shall be bound by these commitments, and any common open space managed by an association or nonprofit shall comply with Florida law.
2. If there are major modifications to the site plans submitted as a companion to this request, the Applicant shall submit an updated Master Development Plan for all lands within the Planned Development District. The updated Master Development Plan shall address all requirements for Master Development Plans as enumerated in Section 4.15(F)(4) of the City of Hollywood's Zoning and Land Development Regulations;

Modifications to PD zoning district:

Approval of Master Development Plan if the rezoning is granted, with the following conditions:

1. Permit parking and loading standards outlined in the PD Master Plan under Attachment B; and
2. Reduced internal and external setbacks from 25' to 15' to public Right of Ways.

Certificate of Appropriateness of Demolition

Approval of the Certificate of Appropriateness of Demolition, with the following conditions:

1. Submit a structural engineer's report stating that the partial demolition will not compromise the structural integrity of the building and the historic integrity of the designated structure is not compromised.

Certificate of Appropriateness of Design

Approval of the Certificate of Appropriateness of Design, with the following conditions, to the satisfaction of the Director of Development Services:

1. Work with Planning staff to enhance the parking garage design by providing greater articulation and contrast in the garage screening.

Site Plan

Approval of Site Plan if the Design is granted, with the following conditions:

1. Prior to Building Permit, provide a 25'x25' corner dedication at the northeast corner of the parcel at the southeast corner of Stirling Road and North 58th Avenue for future traffic signal equipment.
2. Prior to Building Permit, Plat approval by the City and Broward County be provided.
3. Prior to Certificate of Occupancy of the project, a Traffic Signal Warrant Study be submitted upon 50 percent occupancy of the project with a bond for construction of a traffic signal at Stirling Road and North 58th Avenue including any median access modifications on Stirling Road completed to the satisfaction of the City Engineer.
4. Prior to Building Permit issuance, the applicant shall continue working with the Division of Engineering, Transportation, & Mobility to address any outstanding Technical Advisory Committee comments.
5. The applicant is to work with Staff with regards to: the locating of gateway features; the

location of monumentation or Public Art to the satisfaction of the Director of Development Services, prior to applying for a Building Permit.

BACKGROUND:

The subject site, located at 4220 and 4231 N 58th Ave, is approximately 5.74 acres in size and situated in the North Mixed-Use district within the Transit-Oriented Corridor. The intention of the Transit Oriented Corridor is to facilitate a balanced and interconnected mix of land uses, encourage mass transit and non-motorized transportation, reduce the need for automobile travel, provide incentives for quality development, and give definition to the urban form. Development patterns shall generally reflect planning and design principles that support mixed-use development to integrate housing, employment, retail, recreation, and local and regional community facilities with a primary orientation toward a multimodal transportation system.

The development site was previously utilized as a single-family home with a guest house. The location of the site is not visible from major corridors and is mostly secluded by commercial establishments that line State Road 7 and Stirling Road. The development site is adjacent to commercial establishments to the north of Stirling Road and to the east of State Road 7. To the west, the site is adjacent to an Assisted Living Facility, and to the South, along Oaks Street, is a single-family residence with a guest house. The development site is situated in close proximity to the Seminole Classic Casino Hollywood, and the Seminole Hard Rock Hotel & Casino is approximately 1,800 feet northeast of the development site.

A historically designated site known as the Bryan House is located at 4220 N 58th Ave. The House was designated a Local Historic Site by the City of Hollywood in 1999, following a recommendation from the Broward County Historical Commission. The Phase I Assessment affirmed the findings of the 1999 designation and concluded that the Bryan House remains potentially eligible for listing in the National Register of Historic Places (“National Register”) under Criteria A (association with significant events), B (association with significant persons), and C (architectural significance). This historic significance is further confirmed in Article 5.5.D of the City of Hollywood Ordinance, where the property is designated as an HPOS-12 Historic Overlay Site.

REQUEST

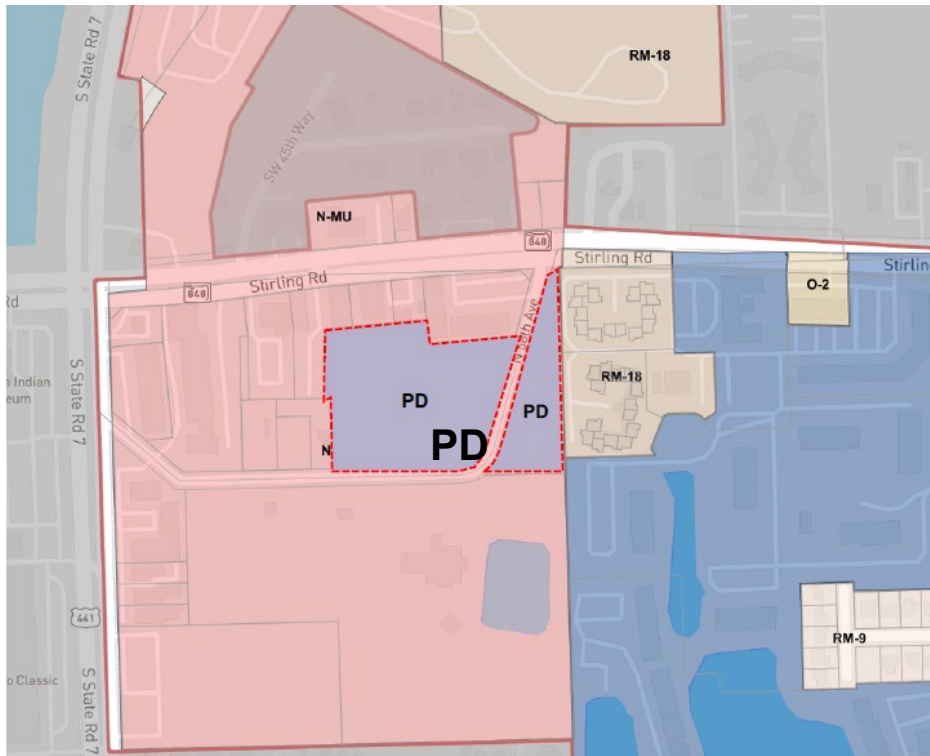
The subject site comprises of 2 parcels totaling 5.74 acres. The Applicant proposes to rezone the properties from N-MU to a Planned Development (“PD”). The new 4220 N 58th Avenue PD proposes a mixed-use site plan comprising 470 multifamily residential units, including 14 live-work units, 1,400 square feet of private amenity space within the Bryan House, a 9,300-square-foot private amenity clubhouse, a 4,070-square-foot place of worship (synagogue), and 809 parking spaces. A seven-story parking garage will contain 786 spaces, and 23 surface parking spaces will be provided for the use of the clubhouse and synagogue.

A focal point of this project is the preservation and adaptive reuse of the Bryan House. The structure will undergo partial demolition, careful restoration, and repurposing as a private residential library

integrated into the landscaped courtyard of the multifamily building, celebrating the historic asset while complying with modern accessibility, safety, and functional standards. The applicant proposes restoring the original architectural features of the Bryan House, such as the wood shutters, building wood corner guards, and the fireplace, while incorporating necessary updates to accommodate the architectural needs, including a code-compliant stair, ramp, ADA restrooms, and BOH rooms. The exterior will feature white wood siding and natural wood elements to maintain the building’s original appearance.

The applicant is requesting a rezoning of the subject property from North Mixed-Use (N-MU) to a Planned Development (PD) zoning district, “4220 N 58TH Avenue PD”.

Figure 1: Proposed Zoning Map Amendment



Planned Development zoning districts provide greater flexibility by allowing applicants to modify existing zoning standards or create new ones tailored to the Master Development Plan being established through the rezoning process. The following zoning thresholds and standards have been established for the 4220 N 58TH Avenue PD:

	4220 N 58 th Avenue PD Zoning District
USES	
Residential Uses	470 units
Live-Work Units	14 Units
Private Clubhouse	9,300 SF
Bryan House	1,400 SF
Place of Worship (Synagogue)	4,070 SF
Central Courtyard	32,000 SF (0.73 acres)

STANDARDS	
Maximum Height	85 feet
Maximum Total Site Coverage	45% of the total PD area
Frontage/Side setback	15 feet
Open Space	30% (of total PD area)
Multifamily Residential, including Live-Work Units - Parking	1.5 spaces per unit
Affordable Housing - Parking	1 space per unit
Guest Parking Spaces	94 spaces
Place of Worship (Synagogue)	Exempt per shared parking analysis (33parking spaces shared)
Bicycle Parking	52 Spaces
Loading	5 loading spaces

As part of the PD Master Plan, it is envisioned that the Property will incorporate a horizontal mix of uses that are internally accessible by vehicles and pedestrians.

The following uses, or accessory uses, shall be prohibited in the 4220 N 58TH Avenue Planned Development zoning district:

- Adult Entertainment or Adult Related Uses
- All General and Heavy Manufacturing Uses
- Bulk Sales, Storage, or Display of Lumber and Building Materials
- Gun Shop
- Outdoor Storage
- Pawn Shops
- Psychic Help Uses
- Self-Storage Facility
- Any use not listed as a Main Permitted Use.

PROJECT DATA

Owner/Applicant:	58 Oak LLC AND 4220 N 58th Avenue Partners LLC
Address/Location:	4220 & 4231 N 58 th Avenue
Net Size of Property:	249,853 sq. ft. (5.74 acres)
Land Use:	Transit Oriented Corridor (TOC)
Zoning:	North Mixed Use-District (N-MU)
Proposed Zoning:	Planned Development (PD)
Present Use of Land:	Single Family Residence
Year Built:	1955 and 1997

ADJACENT LAND USE

North:	North Mixed Use-District (N-MU)
South:	North Mixed Use-District (N-MU)
East:	North Mixed Use-District (N-MU)

West: North Mixed Use-District (N-MU)

ADJACENT ZONING

North: Transit Oriented Corridor (TOC)

South: Transit Oriented Corridor (TOC)

East: Transit Oriented Corridor (TOC)

West: Transit Oriented Corridor (TOC)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The intent of the Land Use Element of the Comprehensive plan is to lay out a broad physical plan for the future development of the city. This is the only element describing appropriate locations for future Land Use and declares the policies regulating their location and development. The Land Use Element takes into consideration factors affecting current development trends. The requested Rezoning and Master Development Plan is consistent with the following policies of the comprehensive plan:

Land Use Element:

Goal: Promote a distribution of Land Uses that will enhance and improve the residential, business, resort and natural communities while allowing land owners to maximize the use of their property.

Policy 3.1.6: Create development node at major intersections where opportunity exists for larger parcels to be assembled for redevelopment. (CWMP Policy 1.6)

Policy 3.1.7: Encourage the development of larger parcels for the SR 7 corridor as mixed-use projects. Amend the zoning code to facilitate such mixed-use development. (CWMP Policy 1.7)

Policy 3.1.8: Comprehensively examine land uses/zoning and parcel redevelopment potential for properties surrounding the Seminole Lands. (CWMP Policy 1.8)

OBJECTIVE 5: Encourage appropriate infill redevelopment in blighted areas throughout the City and economic development in blighted business and tourist areas by promoting improved architectural and streetscape design standards, code enforcement, economic development, neighborhood planning, and public information dissemination

OBJECTIVE 6: Encourage multi-use areas and mixed uses concentrations of density near existing or planned major employment centers and major transportation routes in order to promote energy conservation and mass transit, preserve air quality, reduce the cost of services, encourage affordable housing, and promote economic development.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The subject lands are located in Sub-Area 1, defined by 56th Avenue to the east (including that portion of Washington Park that extends to 52nd Avenue), the Dania Cut-Off Canal to the north, Florida's Turnpike to the west, and Pembroke Road to the south. This area includes the residential neighborhoods of

Beverly Park, Lawn Acres and Washington Park as well as the undefined residential areas east and west of US 441/SR 7 north of Hollywood Boulevard.

Guiding Principles and Policies.

Guiding Principle: *Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.*

Policy CW.44: *Foster economic development through creative land use, zoning and development regulations, City services and City policies.*

Policy CW.50: *Identify areas where buffers can be provided between residential and commercial/industrial uses and develop incentives to spur privately financed improvements.*

Policy CW.82: *Inventory vacant land and determine the potential for additional residential development*

Policy 3.39: *Support new housing and rehabilitation to replace deteriorated structures.*

SUMMARY OF FINDINGS:

Analysis of Criteria and Findings for Rezoning as stated in the City of Hollywood Zoning and Land Development Regulations, Article 5.4 (G) (4) (a) (b):

A. *That the petition for a change of zoning does not meet any one of the following criteria whereby the request would be considered contract or spot zoning:*

CRITERIA 1: **The proposed rezoning would give privileges not generally extended to a property similarly situated in the area;**

ANALYSIS: The Planned Development (PD) zoning district is intended to allow parcels with unique potential and differing constraints, such as the subject property, to be developed with greater flexibility. This is done by removing some of the detailed restrictions of conventional zoning. The PD zone's standards and development limits are determined by the City Commission through the adoption of a companion Master Development Plan. Therefore, a PD zone must undergo additional scrutiny and public engagement above and beyond what would be required for development activity in other zones in the area. Accordingly, while the PD zoning district offers greater flexibility the proposed rezoning does not extend unfettered privileges not generally extended to a similarly situated property in the area.

FINDING: Inconsistent

CRITERIA 2: **The proposal will result in similarly situated property being treated differently;**

ANALYSIS: The City-Wide Master Plan and Comprehensive Plan, as well as the existing land use designations support the proposed uses at this time, however the

existing zoning district within the Transit Oriented Corridor (Activity Center) do not support the proposed density as of right. The applicant is seeking a density that is consistent with what the underlying land use designation allows. Any property pursuing a comparable increase would be subject to the same rezoning process and review requirements under the City's regulations. Therefore, the proposal does not result in similarly situated properties being treated differently.

FINDING: Inconsistent

CRITERIA 3: **The proposed rezoning request does not fall within the existing land use designation(s) for the subject property;**

ANALYSIS: The proposed development is consistent with the Transit Oriented Corridor designation that supports the proposed development. Accordingly, the proposed rezoning request is within the existing land use designations for the subject property.

FINDING: Inconsistent

CRITERIA 4: **The proposed change will result in an isolated district unrelated to adjacent or nearby districts.**

ANALYSIS: The flexible nature of the PD district permits the establishment of specialized regulations that take into consideration the standards of the surrounding zoning districts. There are several standards within the proposed PD zoning district that will mirror the existing requirements of the Zoning and Land Development Regulations to maintain uniformity of this district with the City as a whole. Accordingly, the proposed rezoning will not result in an isolated district unrelated to adjacent or nearby districts.

FINDING: Inconsistent

Spot Zoning Finding:

Based on the findings generated from the change of zoning criteria analysis, the application for change of zoning from N-MU to PD for the subject site **would not** be considered spot zoning pursuant to the criteria listed in Section 5.4(G)(4)(a) of the Zoning and Land Development Regulations.

B. *That the petition for change of zoning is consistent with six or more of the following criteria:*

CRITERIA 1: The proposed change is consistent with and in furtherance of the Goals, Objectives and Policies of the Comprehensive Plan.

ANALYSIS: The proposed rezoning from North Mixed-Use (N-MU) to Planned Development (PD) directly advances several key Goals, Objectives, and Policies of the City's Comprehensive Plan. Specifically, the Land Use Element promotes redevelopment that maximizes land use potential, encourages mixed-use projects at strategic locations, and fosters vibrant, multimodal communities.

This rezoning enables the objectives of the Comprehensive Plan by enabling the underutilized 5.74-acre site to be repurposed to support a high-density, mixed-use development that includes residential units, live-work spaces, a community place of worship, and the preservation and adaptive reuse of a historic structure. It enhances the Transit Oriented Corridor (TOC) designation by integrating walkable design, a mix of uses, internal connectivity, and proximity to major employment centers, all of which reduce automobile dependency and support sustainable growth patterns.

FINDING: Consistent

CRITERIA 2: The rezoning will result in uses permitted under the proposed district classification, which would be in the general public interest and/or would not be merely in the interest of an individual or small group.

ANALYSIS: The project will spur economic growth by introducing 14 live-work units and 47 workforce housing units. These will generate opportunities for economic activity while also addressing the social and housing needs of that area of the City of Hollywood. Furthermore, the rezoning request maintains continued protection and preservation of a historically designated building, the Bryan House, the preservation and restoration of which presents a public benefit. The redevelopment of the underutilized site not only expands the tax base, but ensures that both natural and built historical assets remain protected for the long-term benefits for the City.

FINDING: Consistent

CRITERIA 3: **The proposed change will result in a development that is consistent in scale (building height, mass, siting) with other buildings in the neighborhood.**

ANALYSIS: “The existing N-MU district is permissive with respect to building height and development standards. The purpose of the requested rezoning is to allow a higher density than the current district permits; all other standards remain consistent with existing allowances. The requested parking modification is consistent with the Regional Activity Center (RAC) rates—standards already established elsewhere in the Code—so this does not introduce a new parameter to the City. In addition, the Planned Development will be further refined through the Master Development Guideline design policies, ensuring a high-quality community that maintains appropriate scale and transitions with the surrounding neighborhood.”

CRITERIA 4: **Conditions have substantially changed from the date the present zoning district classification was placed on the property, which make the passage of the proposed change necessary.**

ANALYSIS: Although the TOC-enabled zoning was established within the last decade, the size and relatively secluded location of this site present a unique opportunity—not to circumvent the existing N-MU district, but to build upon it. Nearly all parameters of the underlying zoning, aside from density, already allow for the types of uses proposed in the PD, which demonstrates that this scale of development was anticipated for this area. The PD framework enables a more effective realization of that potential while ensuring delivery of additional public benefits.

FINDING: Consistent

CRITERIA 5: **The proposed change will not adversely influence living conditions in the neighborhood.**

ANALYSIS: The proposed change is not expected to negatively impact the neighborhood. Instead, it will contribute to a more complete community by introducing a mix of uses, live-work opportunities, and open spaces that support active and connected living. Renovation of the heritage structure and preservation of designated open space will provide a direct public benefit, enhancing neighborhood character and quality of life.

The PD district’s Master Development Guidelines will further ensure quality architecture, site design, and pedestrian-friendly connections that benefit both residents of the development and the surrounding community. The inclusion of live-work units will also strengthen the neighborhood by encouraging small-scale economic activity and fostering a stronger sense of community.

FINDING:	Consistent
CRITERIA 6:	The proposed change is consistent with public safety concerns and will not create traffic hazards.
ANALYSIS:	<p>The proposed uses have been reviewed by the City's Police and Fire Departments to ensure life safety measures are compliant with prevailing codes and which have not identified any deleterious impacts to community safety, or City liability by the requested rezoning.</p> <p>Traffic impacts have been carefully evaluated through the Technical Advisory Committee's review process. As part of the site plan approval, the applicant is required to continue coordinating with the Division of Engineering, Transportation, & Mobility to resolve any remaining TAC comments before building permits are issued. This ensures that transportation-related safeguards are in place prior to construction.</p> <p>The proposed development also contemplates private streets, active transportation uses, and pedestrianization which will mitigate potential traffic concerns.</p>
FINDING:	Consistent
CRITERIA 7:	The proposed change will not adversely affect property values in the adjacent area.
ANALYSIS:	The proposed changes on the land are beneficial to the surrounding community and area. The land in its present form is under-utilized and present extensive opportunities for a large scaled mixed-use development that may act as a catalyst for other site redevelopments in the future. The requested PD zoning district will promote the urban realm, active transportation, and complete communities that will benefit the surrounding neighborhood as a whole.
FINDING:	Consistent
CRITERIA 8:	It is impossible to find other adequate sites in the city for the proposed use or property presently zoned for such use.
ANALYSIS:	The current site is unique to the City due to the parcel having a single-family home that is a designated historic site, and the land being underutilized for much of the present day. The lands are one of the few large parcels within the City that remains underutilized and have the potential to deliver a strong development opportunity to the City and its residents.
FINDING:	Consistent

Zoning Change Findings

Based on findings generated from the change of zoning criteria analysis, the application for change of zoning from N-mu to PD for the subject lands is **consistent** with more than six (6) required criteria listed in Section 5.4(G)(4)(b) of the Zoning and Land Development Regulations.

PLANNED DEVELOPMENT ZONING DISTRICT MINIMUM REQUIREMENTS

A request to rezone to a PD zoning district must be accompanied by a Master Development Plan. The Master Development Plan and PD zoning district shall conform with the density permissions of the underlying land use designations in the County and City's Comprehensive Plans. Modifications to the standards of the PD zoning district may be requested by the applicant for consideration by the City Commission, pursuant to Section(F)4:

At the time of application for a rezoning to Planned Development which includes the Master Development Plan, the applicant shall also submit a Design, Site Plan including any modifications and requests for variances, to the Department of Planning and Development Services.

Analysis of **requirements and requested modifications** for the 4220 N 58th Avenue Planned Development Zoning District as stated in the City of Hollywood Zoning and Land Development Regulations, Article 4, Section 4.15 (C)(D)(E):

- | | | |
|------|---------------------|---|
| i. | REQUIREMENT: | Minimum size of 10 acres |
| | FINDING: | Inconsistent: The development site is 5.74 acres, which is less than the minimum ten acre requirement for Planned Developments. However, in accordance with Section 4.15 of the Zoning and Land Development Regulations, "this minimum may be waived by the City Commission upon the recommendation of the Planning and Development Board." |
| ii. | REQUIREMENT: | Unified control |
| | FINDING: | Consistent: The recommendation includes a condition with regards to the furnishing of proof of Unified Control at a later phase. |
| iii. | REQUIREMENT: | Permitted Uses |
| | FINDING: | Consistent with the Comprehensive Plan land use designations. |
| iv. | REQUIREMENT: | Permitted Density |
| | FINDING: | Consistent with the Comprehensive Plan land use designation (Transit Oriented Corridor). |

v. **REQUIREMENT:** **Setbacks standards**
FINDING: Modification requested to permit a 15' front setback where the PD code requires a 25' setback to external public right of ways. The requested setback reduction from the 25' required in PD zones is appropriate to support more urban forms of development. The intent of the PD setback is to provide landscaping and buffering from uses external to the PD. The requested modification still enables the intent of the setback and also enables additional utility and function within the setback areas with the location of trails and accessible open space areas.

vi. **REQUIREMENT:** **Parking and Loading standards**
FINDING: Modification requested to permit a reduction in required non-residential parking with the following parking supply rates:

Multifamily Residential, including Live-Work units	1.5 spaces per unit
Multifamily Residential Affordable Units	1 space per unit
Multifamily Residential Guest Parking Spaces	1 space per 5 units* *Designated guest parking shall not be assigned or otherwise designated for any other purpose but may be included in the shared parking calculations.
Place of Worship	Exempt per Shared Parking Analysis
Loading	Multifamily: 1 space for 50–100 units, plus 1 additional space per 100 units or major fraction thereof

All other off-street parking and loading standards shall meet the requirements of Article 7 of the City's ZLDRs.

i. **REQUIREMENT:** **Landscaping standards**
FINDING: Consistent with Article 9 of the City's ZLDRs.

ii. **REQUIREMENT:** **Supporting Site Plan for the PD zoning district**
FINDING: Consistent with the requirements of Article 6 of the City's ZLDRs.

MASTER DEVELOPMENT PLAN

In addition to the standards outlined in section 4.15 of the Zoning and Land Development Regulations requests for rezoning to the PD zoning district must be accompanied by a Master Development Plan and applicable standards and guidelines to direct a site-specific development within the PD. The 4220 N 58th Ave Master Development Plan includes the Master Plan Development Guidelines (Attachment B) that will be adopted with the companion PD rezoning Ordinance. The Master Plan Development Guidelines outlines

information such as proposed land uses, density, setbacks, open space areas, minimum parking requirements, design guidelines, architectural guidelines, and standards for the public realm and site amenities. Zoning standards shall abide by the in force Zoning and Land Development Regulations, except those standards that are expressly modified through the Master Development Plan of the PD.

It is noted that the Master Plan Development Guidelines are intended to form part of this PD zoning district and shall guide all future development within the Master Development Plan. Any request to modify (major or minor) or change the Master Development Plan or Site Plans approved at the time of PD adoption must align with the Development Guidelines of the PD zoning district and the Zoning and Land Development Regulations (ZLDR) standards in effect, unless expressly stated in the PD zoning regulations and Master Development Plan Development Guidelines.

Site plans in of itself are not the mechanisms to establish the standards of the Planned Development District and future modifications, alterations may be subject to design, variance, and/or special exception requests by recommendation of the Planning and Development Board and final approval by the City Commission.

APPLICABLE CRITERIA

Analysis of criteria and finding for Certificate of Appropriateness for Demolition as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERION 1: The building, structure, improvement, or site is designated on either a national, state, or local level as an historic preservation district or an architectural landmark or site.

ANALYSIS: The existing 1920's Pothos Bryan Home is a Historic Residential Landmark to be preserved and retained in the interior courtyard of a Proposed New Multi-Family Development Site. The applicant is seeking approval to perform a partial demolition by removing of a portion of the structure that was not part of the original construction.

FINDING: Consistent.

CRITERION 2: The building, structure, improvement, or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty and/or expense.

ANALYSIS: The small rear (west) portion of the building that is proposed to be demolished is not original to the building itself. It is an addition that was poorly constructed of wood framing, with low ceilings and no insulation. There is no air conditioning, finished ceilings or floors in the area. The removal of the addition would be done in order to meet the simplicity of the original design of the building, and giving the Historical Structure the presence that it so highly deserves.

FINDING: Consistent.

CRITERION 3: The building, structure, improvement, or site is one of the last remaining examples of its kind in the neighborhood, the county, or the region.

ANALYSIS: The existing 2-Story building structure is characterized by the 1920's Southern, craftsman/colonial revival style, and is currently surrounded by others similar in age and varying styles, and varying samples of this particular style exist in the area.

FINDING: Consistent.

CRITERION 4: The building, structure, improvement, or site contributes significantly to the historic character of a historically designated district.

ANALYSIS: The Historical Building is not located in a Historic District, but its adaptive re-use as a library would significantly be seen as a historic jewel in the center of the proposed new multi-family development Site.

FINDING: Consistent.

CRITERION 5: Retention of the building, structure, improvement, or site promotes the general welfare of the city by providing an opportunity for study of local history, architecture, and design or by developing an understanding of the importance and value of a particular culture and heritage.

ANALYSIS: The restoration and renovation of the existing Two-Story Historic Building in its original Site location promotes the general welfare of the City by providing an opportunity for the study of local Florida History, Architecture and Design and understanding the importance and value of Historic Architecture within our Community.

FINDING: Consistent.

CRITERION 6: There are definite plans for reuse of the property if the proposed demolition is carried out, and those plans will adversely effect on the historic character of the Historic District.

ANALYSIS: Since the existing Historic Building will be retained, restored and re-purpose, it will enhance the immediate area and yet preserve the structures Historical Charm.

FINDING: Consistent.

CRITERION 7: The Unsafe Structures Board has ordered the demolition of a structure or the feasibility study determines that the retention of the building would deny the owner of all economically viable uses of the property.

ANALYSIS: This has not been reviewed by the Unsafe Structures Board.

FINDING: Consistent.

CRITERION 8: The information listed in the Historic Properties Database (a listing of historic and non-historic properties) has been considered as a guideline in determining whether a Certification of Appropriateness for Demolition should be issued.

ANALYSIS: The information listed in the Historic Properties database, reflects this structure to be considered as a Historic Home that was built in the early 1900's, and therefore the Certificate of Appropriateness for "partial" demolition should be considered.

FINDING: Consistent.

APPLICABLE CRITERIA

Analysis of criteria and finding for Certificate of Appropriateness of Design as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: The existing 2-story Historical home built in the 1920's is to be carefully restored and re-purposed as a library/meeting area for the residential development. This Historical Gem allows visual views from all sides of the surrounding Buildings

FINDING: Consistent.

CRITERION: DESIGN

ANALYSIS: A partial demolition of external stairs, floor slabs, walls and roof of a more recent addition in the first floor of the building in the areas area and the demolition of the internal stair and second level floor slab with architectural features such as walls, doors, plumbing fixtures, lighting and carpentry (existing windows to remain on facades).

FINDING: Consistent.

CRITERION: SETTING

ANALYSIS: The current Historical Building is presently centrally located on the 45.74 acre site located at 4220 North 58 Avenue. The applicant notes that the integration of the House placed in the central courtyard of the development which will provide a "historical charm" and serve as a small amenity building and local landmark within the Planned Development.

FINDING: Consistent.

CRITERION: MATERIALS

ANALYSIS: The restoration will focus on key architectural features, such as windows with wood shutters, building wood corner guards, roof with wood structural elements, white wood siding for facades and fireplace while making necessary updates to accommodate the needs of a library. This will include areas for reading, study, community events, restrooms, water filing station, A/C and janitor's room. The restoration plan also integrates materials that closely resemble the original materials in appearance but offer greater durability and improved longevity.

FINDING: Consistent.

CRITERION: WORKMANSHIP

ANALYSIS: The proportion of form, space and functionality are simple but sophisticated at the same time. The style is characterized by straight lines, volumes that make a strong imprint of architecture. The workforce must be very careful in order to achieve the necessary quality standards and achieve an energy efficient product and at the same time an environment filled with light, preserving its Historic Charm while ensuring it meets all the updated standards for accessibility, safety and functionality.

FINDING: Consistent.

CRITERION: ASSOCIATION

ANALYSIS: The Historical residence is located and incorporated in a perfect manner into the surrounding environment, not only from the existing frontage facing the multi-family buildings. This home allows visual from all sides to both its residents and neighbors. Should you have any questions or need anything further, please feel free to contact this office.

FINDING: Consistent.

ATTACHMENTS:

Attachment A: Application Package Part I
Attachment A: Application Package Part II
Attachment A: Application Package Part III
Attachment A: Application Package Part IV
Attachment A: Application Package Part V
Attachment A: Application Package Part VI
Attachment B: Master Development Plan/Master Plan Development Guidelines
Attachment C: Land Use and Zoning Map
Attachment D: Community Outreach Package

ATTACHMENT A
Application Package
Part I



CITY OF
Hollywood
DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: 6/21/2025 UPDATED 8/21/2025

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans
(i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR
FORMS, CHECKLISTS, &
MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- | | | |
|--|---|--|
| <input type="checkbox"/> Technical Advisory Committee | <input type="checkbox"/> Art in Public Places Committee | <input type="checkbox"/> Variance |
| <input checked="" type="checkbox"/> Planning and Development Board | <input checked="" type="checkbox"/> Historic Preservation Board | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> City Commission | <input type="checkbox"/> Administrative Approval | |

PROPERTY INFORMATION

Location Address: 4220 & 4231 N 58th Avenue, Hollywood, FL

Lot(s): - _____ Block(s): - _____ Subdivision: - _____

Folio Number(s): 514101010010 and 514101140010

Zoning Classification: N-MU (existing) Land Use Classification: TOC

Existing Property Use: House w/ guest house; vacant Sq Ft/Number of Units: 470 units

Is the request the result of a violation notice? ☐ Yes ☒ No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO 8/19/2024, PTAC 9/16/2024, Final TAC 12/16/2024

DEVELOPMENT PROPOSAL

Requests for Certificate of Appropriateness for (Partial) Demolition and Certificate of Appropriateness for Design of Historic Bryan House (HPOS-12); Rezoning of the property at 4220 and 4231 N 58th Avenue from North Mixed-Use District (N-MU) to Planned Development (PD) with Waiver and Modifications and Master Development Plan (4220 N 58th Avenue Master Development Plan); and Design and Final Site Plan requests for a mixed use development including 470 multifamily units (including 14 live/work units and 47 workforce housing units at 120% AMI) with approximately 9,300 SF private amenity clubhouse and 4,071 SF place of worship (synagogue) (collectively, the "Application")

Explanation of Request: _____

Phased Project: Yes ☐ No ☒ Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text" value="470"/> #Rooms <input type="text"/>
Proposed Non-Residential Uses	<input type="text" value="4,070.51 Place of Work S.F."/>
Open Space (% and SQ.FT.)	Required %: <input type="text" value="By PD"/> (Area: <input type="text"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text" value="809"/>)
Height (# of stories)	(# STORIES) <input type="text" value="8"/> (<input type="text" value="85"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<input type="text" value="Site Area: 249,853 SF"/> FT.)

Name of Current Property Owner: 58 OAK LLC and 4220 N 58TH AVENUE PARTNERS LLC

Address of Property Owner: 5230 NORTH 31ST PLACE, HOLLYWOOD, FL 33021
3113 STIRLING ROAD SUITE 103, FORT LAUDERDALE, FL 33312

Telephone: Agent: 954.648.9376 Email Address: Agent: stephanie@toothaker.org

Applicant Stephanie J. Toothaker, Esq., P.A. Consultant ☐ Representative ☒ Tenant ☐

Address: 501 SW 2nd Avenue, Suite 1, Fort Lauderdale, FL 33301 Telephone: 954.648.9376

Email Address: stephanie@toothaker.org and Keith@govlawgroup.com

Email Address #2: estefania@toothaker.org

Date of Purchase: See Warranty Deed Is there an option to purchase the Property? Yes ☒ No ☐

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : Cutro & Associates

E-mail Address: cutroplanning@yahoo.com



GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 7/17/24

PRINT NAME: Ari Pearl

Date: _____

Signature of Consultant/Representative: _____

Date: 07/16/2024

PRINT NAME: Stephanie J. Toothaker, Esq.

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for permitting and development _____ to my property, which is hereby made by me or I am hereby authorizing

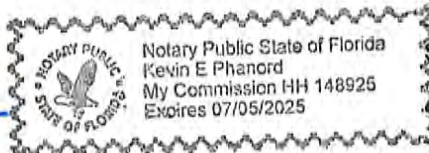
Stephanie J. Toothaker, Esq. to be my legal representative before the City of Hollywood (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 17th day of July, 2024

Notary Public

State of Florida



Signature of Current Owner

Ari Pearl

Print Name

My Commission Expires: 07-05-2025 (Check One) ☐ Personally known to me; OR ☒ Produced Identification DA# P640 010704521



GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

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Signature of Current Owner: _____

Date: 7/16/24

PRINT NAME: Samuel Rogatinsky

Date: _____

Signature of Consultant/Representative: _____

Date: 07/16/2024

PRINT NAME: Stephanie J. Toothaker, Esq.

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for permitting and development to my property, which is hereby made by me or I am hereby authorizing Stephanie J. Toothaker, Esq. to be my legal representative before the City of Hollywood (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 16th day of July

Kevin E. Pham
Notary Public

State of Florida

My Commission Expires: 07-05-25 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Signature of Current Owner

Samuel Rogatinsky

Print Name

KUSHNER REALTY ACQUISITION LLC
767 Fifth Avenue, 50th Floor
New York, New York 10153

August 14, 2023

City of Hollywood
Office of the City Clerk
2600 Hollywood Boulevard, Room 221
Hollywood, Florida 33020

Broward County
Broward County Administration
115 S. Andrews Avenue, Room 409
Fort Lauderdale 33301

Re: Agent Authorization Letter

To Whom it May Concern:

Please accept this letter of authorization permitting Stephanie J. Toothaker, Esq., Estefania Mayorga, and Roya Edwards of Stephanie J. Toothaker, Esq., P.A. (toothaker.org) to represent the interests of **KUSHNER REALTY ACQUISITION LLC** in connection with permitting of the properties located at 4220 and 4231 North 58th Avenue in the City of Hollywood and Broward County.

Sincerely,

KUSHNER REALTY ACQUISITION LLC,
a Foreign Limited Liability Company

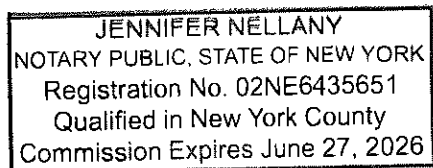


Name: Seryl Kushner
Title: Authorized Signatory

STATE OF NEW YORK
COUNTY OF NEW YORK

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization this, 14th day of August, 2023, by Seryl Kushner as the Authorized Signatory of **KUSHNER REALTY ACQUISITION LLC**.

(Notary Seal)


Notary Public

Jennifer Nellany
Name typed, printed or stamped

☒ Personally Known OR ☐ Produced Identification
Type of Identification Produced _____

KUSHNER REALTY ACQUISITION LLC
767 Fifth Avenue, 50th Floor
New York, New York 10153

August 14, 2023

City of Hollywood
Office of the City Clerk
2600 Hollywood Boulevard, Room 221
Hollywood, Florida 33020

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KUSHNER REALTY ACQUISITION LLC,
a Foreign Limited Liability Company

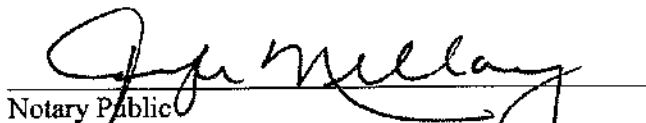
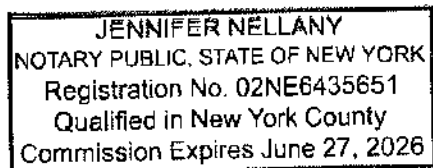


Name: Seryl Kushner
Title: Authorized Signatory

STATE OF NEW YORK
COUNTY OF NEW YORK

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization this, 14th day of August, 2023, by Seryl Kushner as the Authorized Signatory of KUSHNER REALTY ACQUISITION LLC.

(Notary Seal)


Notary Public

Jennifer Nellany
Name typed, printed or stamped

☒ Personally Known OR ☐ Produced Identification
Type of Identification Produced _____



SKETCH AND LEGAL DESCRIPTION

BY

PULICE LAND SURVEYORS, INC.5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351

TELEPHONE: (954) 572-1777 • E-MAIL: surveys@pulicelandsurveyors.com

CERTIFICATE OF AUTHORIZATION LB#3870



LEGAL DESCRIPTION:

PARCEL A, "**58 OAK**", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH

A PORTION OF LOT 1, "**SEMINOLE ESTATES**", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 01°45'12" WEST ALONG THE WEST LINE OF SAID LOT 1 FOR 199.83 FEET TO THE NORTHEAST CORNER OF LOT 2 OF SAID "**SEMINOLE ESTATES**"; THENCE SOUTH 88°14'48" WEST ALONG THE NORTH LINE OF SAID LOT 2 FOR 13.34 FEET; THENCE NORTH 01°45'12" WEST 196.14 FEET TO A POINT ON THE NORTHERLY LINE OF SAID LOT 1 AND THE SOUTHWEST CORNER OF LOT 10 OF SAID "**SEMINOLE ESTATES**"; THENCE ALONG THE NORTHERLY, EASTERLY, AND SOUTHERLY BOUNDARIES OF SAID LOT 1, THE FOLLOWING SIX COURSES AND DISTANCES: 1) NORTH 84°10'08" EAST 290.56 FEET; 2) SOUTH 05°49'52" EAST 69.53 FEET; 3) NORTH 84°10'08" EAST 248.23 FEET; 4) SOUTH 14°51'09" WEST 324.91 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; 5) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 75.00 FEET, A CENTRAL ANGLE OF 73°23'39" FOR AN ARC LENGTH OF 96.07 FEET TO A POINT OF TANGENCY; 6) SOUTH 88°14'48" WEST 364.30 FEET TO THE **POINT OF BEGINNING**.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAINING A TOTAL OF 5.736 ACRES, MORE OR LESS.

NOTES:

1. THIS SKETCH IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. GRID BEARINGS AND STATE PLANE COORDINATES SHOWN HEREON ARE RELATIVE TO "KEITH & SCHNARS, P.A. RESURVEY OF SECTIONS 1 THRU 30 TOWNSHIP 51 SOUTH, RANGE 41 EAST BROWARD COUNTY FLORIDA", AS RECORDED IN MISCELLANEOUS PLAT BOOK 6, PAGE 19, BROWARD COUNTY RECORDS, AS TRANSFORMED TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1990 ADJUSTMENT. BEARINGS SHOWN HEREON ARE BASED ON A LINE BETWEEN THE NORTHWEST CORNER AND THE NORTHEAST CORNER OF SECTION 1-51-41 BEING N87°57'20"E
3. THIS IS NOT A SKETCH OF SURVEY AND DOES NOT REPRESENT A FIELD SURVEY.
4. ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS, UNLESS OTHERWISE NOTED.

CLIENT: STEPHANIE J. TOOTHAKER ESQ.

SCALE: N/A

DRAWN: L.H.

ORDER NO.: 74367

DATE: 6/18/25

HOLLYWOOD OAKS

4220 & 4231 NORTH 58TH AVENUE

HOLLYWOOD, BROWARD COUNTY, FLORIDA

SHEET 1 OF 2

**John F
Pulice**THIS DOCUMENT IS NEITHER FULL NOR
COMPLETE WITHOUT SHEETS 1 AND 2

Digitally signed by

John F Pulice

Date: 2025.06.27

08:04:27 -04'00'

- ☐ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
☐ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
☐ MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660
STATE OF FLORIDA



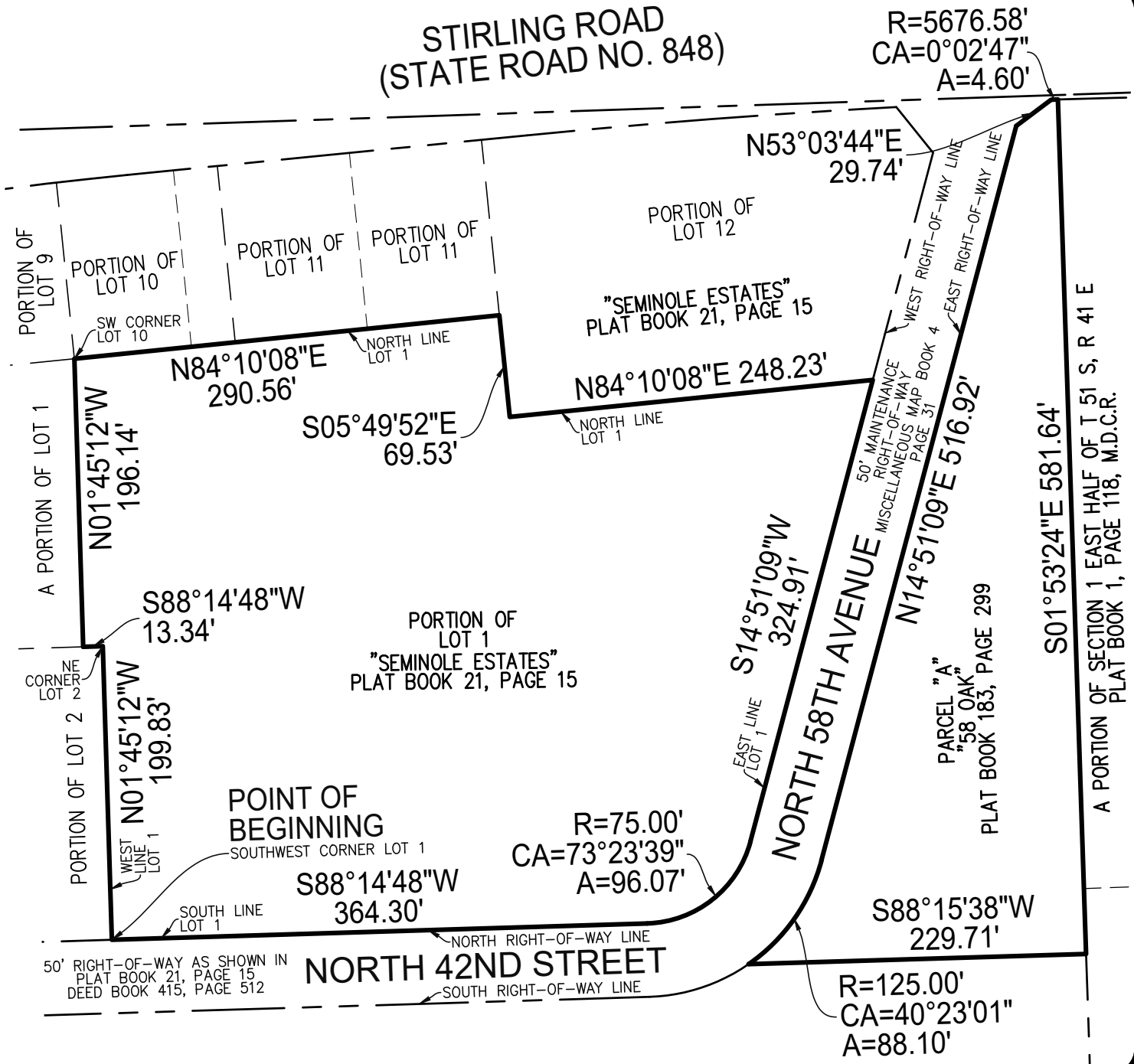
SKETCH AND LEGAL DESCRIPTION

BY

PULICE LAND SURVEYORS, INC.5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351

TELEPHONE: (954) 572-1777 • E-MAIL: surveys@pulicelandsurveyors.com

CERTIFICATE OF AUTHORIZATION LB#3870



CLIENT: STEPHANIE J. TOOTHAKER ESQ.

SCALE: 1"=100'

DRAWN: L.H.

ORDER NO.: 74367

DATE: 6/18/25

HOLLYWOOD OAKS

4220 & 4231 NORTH 58TH AVENUE

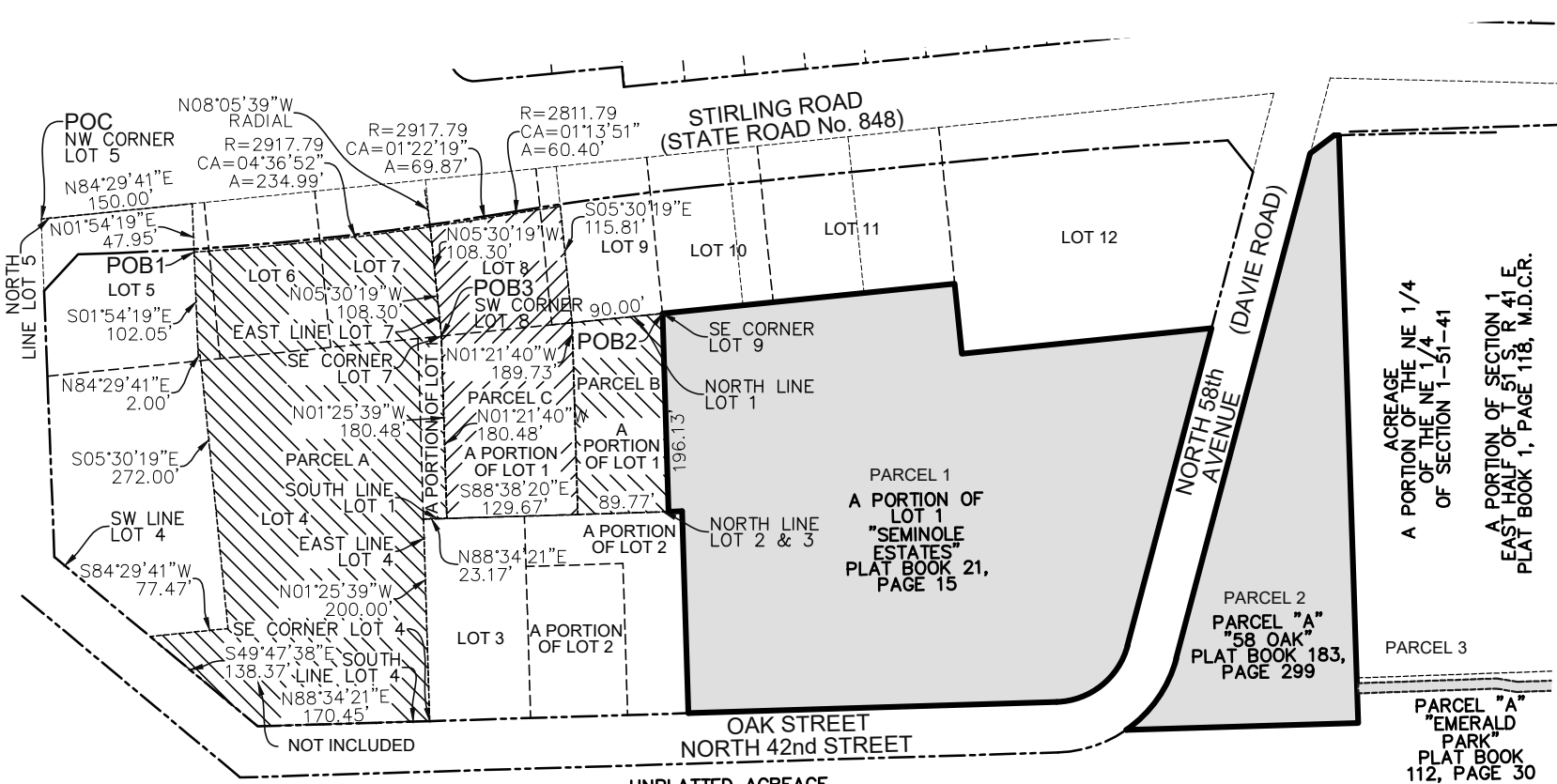
HOLLYWOOD, BROWARD COUNTY, FLORIDA

SHEET 2 OF 2

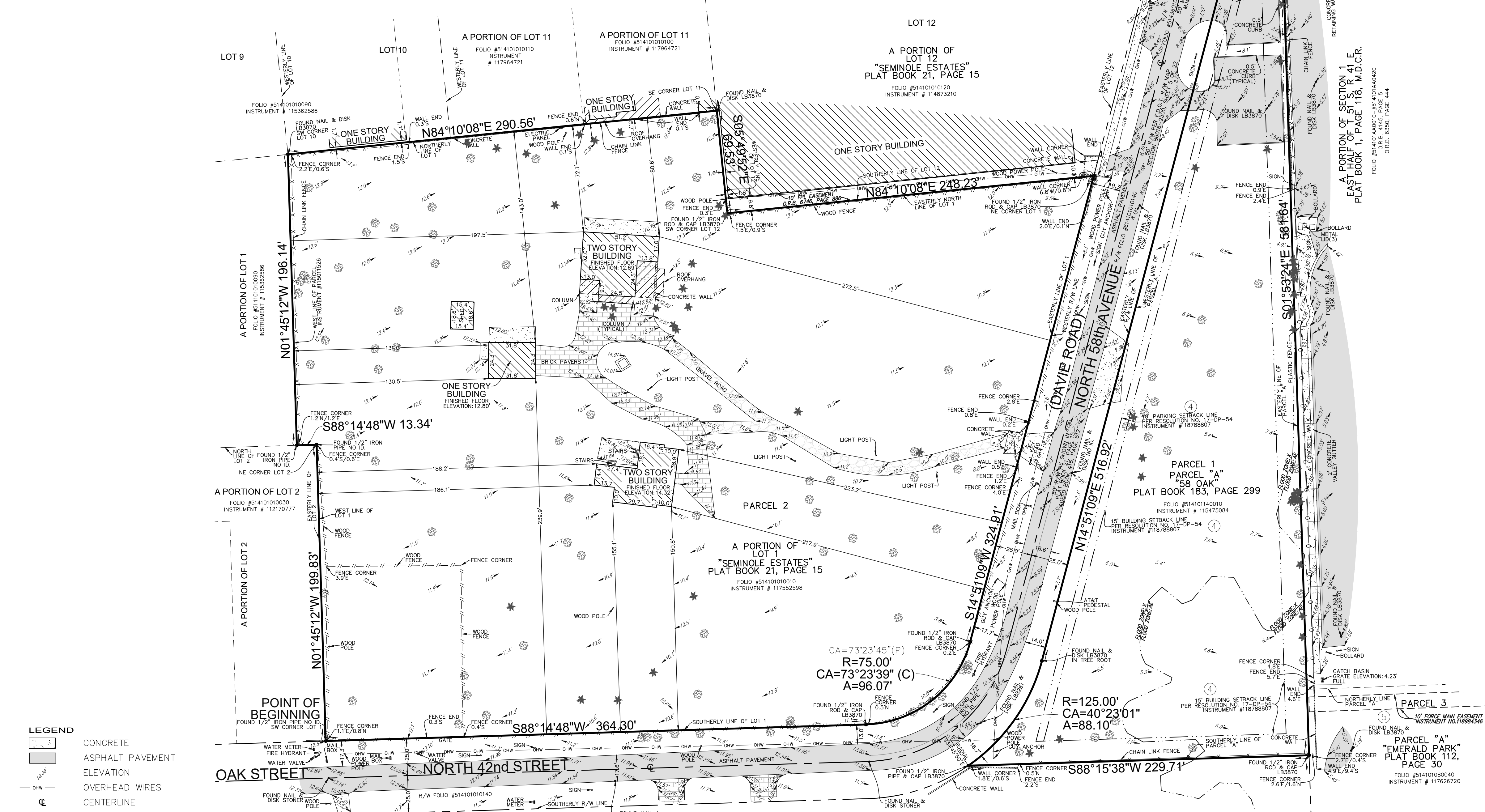
THIS DOCUMENT IS NEITHER FULL NOR
COMPLETE WITHOUT SHEETS 1 AND 2

LEGEND & ABBREVIATIONS:

M,D,C,R, MIAMI-DADE COUNTY RECORDS
O.R.B. OFFICIAL RECORDS BOOK



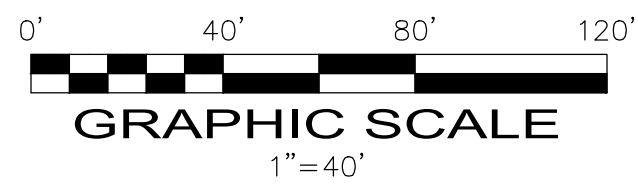
VICINITY MAP
NOT TO SCALE



LEGEND

- CONCRETE
- ASPHALT PAVEMENT
- ELEVATION
- OVERHEAD WIRES
- CENTERLINE
- RADIUS
- C.A. CENTRAL ANGLE
- A ARC LENGTH
- FPL FLORIDA POWER & LIGHT COMPANY
- LB LICENSED BUSINESS
- M.M.B. MISCELLANEOUS MAP BOOK
- O.R.B. OFFICIAL RECORDS BOOK
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- R/W RIGHT-OF-WAY
- TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
- ④ EXCEPTION NUMBER
- ★ PALM TREE
- ★ TREE

UNPLATTED ACREEGE
A PORTION OF THE NW 1/4
OF SECTION 1-51-41
FOLIO #51410100603
INSTRUMENT # 112404066



CERTIFICATION:

TO 58 OAK, LLC; FOREMOST TITLE & ESCROW SERVICES LLC; SAGEOAKS LLC, A FLORIDA LIMITED LIABILITY COMPANY; KUSHNER REALTY ACQUISITIONS LLC, A DELAWARE LIMITED LIABILITY COMPANY AND ITS SUCCESSORS AND ASSIGNS; GREENBERG TRAURIG, P.A. AND CHICAGO TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, & 9 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 10/21/24.

DATE OF PLAT OR MAP: 10/21/24

Digitally signed by Michael Troxell
Date: 2025.06.30 14:34:14 -04'00'

JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER L56269
VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER L56274
MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660
STATE OF FLORIDA

LEGAL DESCRIPTION:

PARCEL 1:

ALL OF THE PLAT OF 58 OAK, RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2:

LOT 1 OF SEMINOLE ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS PORTIONS DESCRIBED AS FOLLOWS:

PARCEL A:

A PORTION OF LOTS 1, 4, AND 5, AND ALL OF LOTS 6 AND 7, OF SEMINOLE ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 5; THENCE NORTH 84°29'41" EAST ON AN ASSUMED BEARING ALONG THE NORTH LINE OF SAID LOT 5, A DISTANCE OF 150 FEET; THENCE SOUTH 1°54'19" EAST 47.95 FEET TO A POINT OF BEGINNING; THENCE CONTINUE NORTH 1°54'19" EAST 102.05 FEET; THENCE NORTH 84°29'41" EAST 2 FEET; THENCE SOUTH 5°30'19" EAST 272 FEET; THENCE SOUTH 84°29'41" WEST 77.47 FEET TO THE SOUTHWEST LINE OF SAID LOT 4; THENCE SOUTH 49°47'38" EAST ALONG SAID SOUTHWEST LINE 138.37 FEET; THENCE NORTH 88°34'21" EAST ALONG THE SOUTH LINE OF SAID LOT 4, A DISTANCE OF 170.45 FEET TO THE SOUTHEAST CORNER OF LOT 4; THENCE NORTH 1°25'39" WEST ALONG THE EAST LINE OF LOT 4, A DISTANCE OF 200 FEET TO THE SOUTH LINE OF SAID LOT 1; THENCE NORTH 88°34'21" EAST ALONG THE LAST DESCRIBED SOUTH LINE 23.17 FEET; THENCE NORTH 1°25'39" WEST PARALLEL WITH THE WEST LINE OF LOT 1, A DISTANCE OF 180.48 FEET TO THE SOUTHEAST CORNER OF SAID LOT 7; THENCE NORTH 5°30'19" WEST ALONG THE EAST LINE OF LOT 7, A DISTANCE OF 108.30 FEET TO A POINT ON A NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 8°05'39" WEST FROM SAID POINT; THENCE WESTERLY ALONG A 2917.79 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 4°36'52" AN ARC DISTANCE OF 234.99 FEET TO THE POINT OF BEGINNING, SAID CURVE FORMING THE SOUTH RIGHT-OF-WAY LINE OF STIRLING ROAD, AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP, SECTION 86516-2602.

PARCEL B:

LOT 9, LESS THE WEST 20.0 FEET THEREOF, SEMINOLE ESTATES, AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT PART OF LOT 1 OF SAID SEMINOLE ESTATES, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 9; THENCE SOUTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT 1, 196.13 FEET TO THE NORTH CORNER OF LOT 2 OF SAID SEMINOLE ESTATES; THENCE WESTERLY ALONG THE NORTH LINE OF LOT 2 OF SAID SEMINOLE ESTATES 89.77 FEET; THENCE NORTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT 1, A DISTANCE OF 189.73 FEET TO THE SOUTH LINE OF SAID LOT 9; THENCE EASTERLY ALONG THE SOUTH LINE OF SAID LOT 9, A DISTANCE OF 90.0 FEET TO THE POINT OF BEGINNING.

PARCEL C:

LOT 8, AND THE WEST 20.0 FEET OF LOT 9, AND PART OF LOT 1, SEMINOLE ESTATES, AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT 8, BEING THE POINT OF BEGINNING; THENCE ON AN ASSUMED BEARING OF NORTH 08°50'19" WEST A DISTANCE OF 108.30 FEET TO A POINT ON THE ARC OF A CONCAVE CURVE, NON-TANGENT, NORTH-EASTERLY, HAVING A RADIUS OF 2,917.79 FEET, A CENTRAL ANGLE OF 01°22'19", AND AN ARC DISTANCE OF 69.87 FEET TO THE POINT OF A REVERSE CURVATURE OF A CIRCULAR CURVE SOUTHEASTERLY; THENCE EASTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 2,811.79 FEET, A CENTRAL ANGLE OF 01°13'51" AND AN ARC DISTANCE OF 60.40 FEET; THENCE SOUTH 05°30'19" EAST, A DISTANCE OF 115.81 FEET TO A POINT ON THE NORTH LINE OF LOT 1; THENCE SOUTH 01°21'40" EAST, A DISTANCE OF 189.73 FEET TO A POINT ON THE NORTH LINE OF LOTS 2 AND 3; THENCE SOUTH 88°38'20" WEST A DISTANCE OF 129.67 FEET TO A POINT; THENCE NORTH 01°21'40" WEST A DISTANCE OF 180.48 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

NON-EXCLUSIVE EASEMENTS CONTAINED IN THAT EASEMENT AGREEMENT RECORDED JULY 18, 2023, UNDER INSTRUMENT NO. 118984346.

PARCEL 1 AND 2 ALSO BEING DESCRIBED AS:

PARCEL A, "58 OAK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

A PORTION OF LOT 1, "SEMINOLE ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 01°45'12" WEST ALONG THE WEST LINE OF SAID LOT 1 FOR 198.45 FEET TO THE NORTHEAST CORNER OF LOT 2 OF SAID "SEMINOLE ESTATES"; THENCE SOUTH 88°14'48" WEST ALONG THE NORTH LINE OF SAID LOT 2 FOR 13.34 FEET; THENCE NORTH 07°45'12" WEST 198.14 FEET TO A POINT ON THE NORTHERLY LINE OF SAID LOT 1 AND THE SOUTHWEST CORNER OF SAID LOT 1 OF SAID "SEMINOLE ESTATES"; THENCE ALONG THE NORTHERLY, EASTERLY, AND SOUTHERLY BOUNDARIES OF SAID LOT 1, THE FOLLOWING SIX COURSES: 1) SOUTH 05°49'52" EAST 69.53 FEET; 2) SOUTH 05°49'52" EAST 69.53 FEET; 3) NORTH 84°10'08" EAST 248.23 FEET; 4) SOUTH 14°51'09" WEST 324.91 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; 5) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 75.00 FEET, A CENTRAL ANGLE OF 73°23'39" FOR AN ARC LENGTH OF 96.07 FEET TO A POINT OF TANGENCY; 6) SOUTH 88°14'48" WEST 364.30 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAINING 249,853 SQUARE FEET (5.7359 ACRES) MORE OR LESS

NOTES:

- THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #1802; ELEVATION: 7.582 FEET ABOVE DATUM.
- FLOOD ZONE: AE/X; BASE FLOOD ELEVATION: 6 FEET/NONE; PANEL #12011C0562J; COMMUNITY #125113; MAP DATE: 7/31/24.
- THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
- BEARINGS ARE BASED ON STATE PLANE COORDINATES AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1990 NORTH AMERICAN FL-E ZONE, WITH THE WEST LINE OF LOT 1 BEING N01°45'12"W.
- REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
- THIS SITE CONTAINS 0 DELINEATED PARKING SPACES.
- THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11957159; PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED FROM AUGUST 1, 1953 AT 7:00 AM. TO AUGUST 20, 2024 AT 11:00 PM. AND REVISED AUGUST 23, 2024. THE FOLLOWING ITEMS WERE INCLUDED IN THE CERTIFICATE OF SEARCH OF SAID REPORT:
 - ITEM 1A: CLAIM OF LIEN, CITY OF HOLLYWOOD, IN INSTRUMENT #119487213, APPLIES TO PARCEL 1 OF THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM 1: RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 2, PAGE 26, APPLIES TO THIS SITE. CONTAINS NO PLATTED EASEMENTS.
 - ITEM 2: RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 21, PAGE 15, APPLIES TO THIS SITE. CONTAINS NO PLATTED EASEMENTS.
 - ITEM 3: RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 183, PAGE 299, (AS TO PARCEL 1) APPLIES TO THIS SITE. CONTAINS NO PLATTED EASEMENTS.
 - ITEM 4: CITY OF HOLLYWOOD RESOLUTION NO. 17-DP-54 IN INSTRUMENT NUMBER 118788807 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 5: EASEMENT AGREEMENT IN INSTRUMENT NUMBER 118984346 DOES NOT APPLY TO THIS SITE BUT BENEFITS THIS SITE AS DEPICTED HEREON.
- ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY RECORDS, UNLESS OTHERWISE NOTED.
- THE FLOOD ZONE DESIGNATION LINES DEPICTED HEREON ARE PLACED IN APPROXIMATE LOCATIONS, AS SCALED FROM THE IMAGE FROM THE FEMA.ORG WEBSITE.
- THE TREE SYMBOLS DEPICTED HEREON ARE NOT SCALED TO TREE CANOPY.

NO.	REVISIONS	BY
6	#13269 UPDATE SURVEY 10/21/24	L.H.
5	#1830 ADD OWNERSHIP & ENCUMBRANCE REPORT 5/25/25	M.M.M.
4	UPDATE PROPERTY INFO REPORT 5/25/25	M.M.M.
3	REVISED CERTIFICATIONS & ADDED NOTE 13	J.F.P.
2	#17830 UPDATE SURVEY LOCATE TREES 9/25/23	J.M.
1	#8600 ORIGINAL SURVEY 6/30/21	E.H.

HOLLYWOOD OAKS SITE
4220 & 4231 N 58TH AVE
HOLLYWOOD, FLORIDA, 33021
(CITY OF HOLLYWOOD, BROWARD COUNTY)

BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY



PULICE LAND SURVEYORS, INC.
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WEBSITE: www.puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: L.H.

SCALE: 1" = 40'

CLIENT: ARCO/MURRAY

CHECKED BY: J.F.P.

SURVEY DATE: 10/21/24

ORDER NO.: 73269

TREE TABLE INFO

Tree Number	Common Name	DBH (inches)	Canopy (feet)	Height (feet)
1	OAK TREE	36"	50'	30'
2	OAK TREE	15"	6'	15'
3	OAK TREE	12"	20'	25'
4	OAK TREE	15"	10'	15'
5	OAK TREE	18"	10'	15'
6	OAK TREE	18"	25'	30'
7	OAK TREE	42"	50'	30'
8	OAK TREE	15"	10'	40'
9	OAK TREE	12"	15'	15'
10	OAK TREE	20"	20'	45'
11	OAK TREE	36"	25'	45'
12	OAK TREE	20"	15'	25'
13	OAK TREE	18"	15'	45'
14	OAK TREE	20"	25'	45'
15	OAK TREE	20"	25'	45'
16	OAK TREE	24"	30'	35'
17	OAK TREE	20"	30'	35'
18	OAK TREE	20"	30'	35'
19	OAK TREE	24"	30'	40'
20	OAK TREE	36"	50'	45'
21	OAK TREE	60"	60'	40'
22	OAK TREE	28"	50'	45'
23	OAK TREE	28"	20'	35'
24	OAK TREE	32"	40'	35'
25	OAK TREE	36"	60'	40'
26	PALM TREE	12"	10'	45'
27	PALM TREE	18"	20'	35'
28	PALM TREE	18"	10'	20'
29	OAK TREE	32"	30'	50'
30	OAK TREE	32"	30'	40'
31	OAK TREE	18"	35'	35'
32	OAK TREE	24"	20'	35'
33	OAK TREE	24"	20'	35'
34	OAK TREE	12"	15'	25'
35	OAK TREE	12"	101'	20'
36	OAK TREE	18"	25'	25'
37	PALM TREE	12"	10'	12'
38	PALM TREE	18"	10'	20'
39	OAK TREE	32"	15'	30'
40	OAK TREE	28"	15'	25'
41	UNIDENTIFIED TREE	8"	10'	10'
42	PALM TREE	24"	10'	40'
43	PALM TREE	24"	10'	35'
44	OAK TREE	18"	15'	20'
45	PALM TREE	15"	10'	35'
46	OAK TREE	20"	15'	25'
47	OAK TREE	36"	20'	20'
48	PALM TREE	24"	15'	35'
49	OAK TREE	15"	15'	15'
50	OAK TREE	60"	35'	30'
51	OAK TREE	20"	20'	25'
52	OAK TREE	20"	20'	25'
53	OAK TREE	32"	25'	30'
54	OAK TREE	12"	15'	10'
55	PALM TREE CLUSTERX4	36"	20'	35'
56	PALM TREE CLUSTERX3	26"	15'	20'
57	OAK TREE	32"	20'	25'
58	PALM TREE CLUSTERX3	24"	15'	30'
59	OAK TREE	30"	20'	22'
60	OAK TREE	48"	20'	30'
61	PALM TREE	5"	10'	10'
62	PALM TREE	5"	10'	10'

Tree Number	Common Name	DBH (inches)	Canopy (feet)	Height (feet)
63	PALM TREE	5"	10'	10'
64	PALM TREE	5"	10'	10'
65	PALM TREE	5"	10'	10'
66	PALM TREE	5"	10'	10'
67	PALM TREE	5"	10'	10'
68	PALM TREE	5"	10'	10'
69	OAK TREE	28"	15'	15'
70	PALM TREE	18"	10'	15'
71	PALM TREE	4"	5'	15'
72	PALM TREE	4"	5'	15'
73	PALM TREE	4"	5'	15'
74	PALM TREE	4"	5'	25'
75	PALM TREE	4"	5'	25'
76	PALM TREE	4"	5'	25'
77	PALM TREE	4"	5'	20'
78	PALM TREE	6"	5'	20'
79	PALM TREE	4"	5'	25'
80	PALM TREE	5"	5'	20'
81	OAK TREE	18"	10'	15'
82	OAK TREE	24"	15'	25'
83	OAK TREE	24"	15'	25'
84	BLACK OLIVE	15"	15'	15'
85	PALM TREE	18"	10'	20'
86	OAK TREE	24"	20'	25'
87	PALM TREE	15"	10'	15'
88	PALM TREE	12"	10'	15'
89	STRANGLER TREE	15"	15'	15'
90	MANGO TREE	18"	25'	25'
91	OAK TREE	38"	40'	40'
92	UNIDENTIFIED TREE	8"	10'	15'
93	UNIDENTIFIED TREE	24"	25'	20'
94	PALM TREE	10"	10'	15'
95	PALM TREE	15"	10'	20'
96	PALM TREE	15"	10'	20'
97	OAK TREE	48"	40'	45'
98	PALM TREE	15"	15'	40'
99	UNIDENTIFIED TREE	15"	10'	10'
100	OAK TREE	60"	50'	50'
101	OAK TREE	48"	35'	45'
102	OAK TREE	48"	35'	45'
103	OAK TREE	30"	25'	30'
104	OAK TREE	30"	25'	30'
105	OAK TREE	48"	35'	45'
106	OAK TREE	24"	25'	35'
107	MANGO TREE	24"	25'	35'
108	MANGO TREE	24"	25'	35'
109	MANGO TREE	24"	25'	35'
110	LIGUSTRUM TREE	60"	45'	50'
111	OAK TREE	32"	25'	30'
112	OAK TREE	15"	25'	30'
113	UNIDENTIFIED TREE	15"	10'	45'
114	UNIDENTIFIED TREE	12"	10'	30'
115	UNIDENTIFIED TREE	12"	10'	35'
116	UNIDENTIFIED TREE	10"	10'	25'
117	OAK TREE	36"	35'	40'
118	PALM TREE	15"	10'	25'
119	OAK TREE	40"	25'	35'
120	OAK TREE	62"	25'	40'
121	OAK TREE	24"	25'	30'
122	MANGO TREE	15"	30'	30'
123	MANGO TREE	15"	30'	30'
124	UNIDENTIFIED TREE	15"	15'	15'

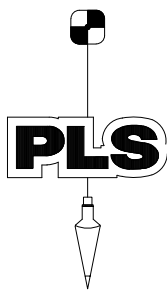
Tree Number	Common Name	DBH (inches)	Canopy (feet)	Height (feet)
125	OAK TREE	24"	30'	35'
126	OAK TREE	38"	30'	35'
127	OAK TREE	38"	30'	35'
128	OAK TREE	38"	30'	50'
129	OAK TREE	38"	30'	50'
130	OAK TREE	38"	30'	50'
131	OAK TREE	38"	30'	50'
132	MANGO TREE	18"	20'	15'
133	OAK TREE	24"	15'	20'
134	OAK TREE	24"	25'	40'
135	PALM TREE	8"	10'	25'
136	PALM TREE	18"	10'	15'
137	OAK TREE	20"	15'	25'
138	PALM TREE	12"	10'	30'
139	PALM TREE	18"	10'	15'
140	PALM TREE	12"	10'	20'
141	MANGO TREE	18"	25'	25'
142	UNIDENTIFIED TREE	12"	15'	15'
143	PALM TREE	10"	15'	25'
144	UNIDENTIFIED TREE	15"	10'	10'
145	MANGO TREE	24"	30'	25'
146	MANGO TREE	24"	30'	25'
147	MANGO TREE	24"	30'	25'
148	PALM TREE	12"	10'	15'
149	PALM TREE	12"	10'	15'
150	PALM TREE	15"	10'	15'
151	PALM TREE	12"	10'	10'
152	PALM TREE	8"	10'	8'
153	PALM TREE	10"	10'	20'
154	PALM TREE	10"	10'	25'
155	PALM TREE	8"	10'	15'
156	PALM TREE	10"	10'	8'
157	PALM TREE	12"	10'	8'
158	PALM TREE	10"	10'	15'
159	OAK TREE	36"	20'	35'
160	OAK TREE	60"	30'	40'
161	OAK TREE	38"	20'	40'
162	OAK TREE	38"	20'	40'
163	OAK TREE	60"	20'	40'
164	PALM TREE	12"	10'	15'
165	MANGO TREE	24"	35'	30'
166	OAK TREE	28"	35'	40'
167	OAK TREE	15"	15'	20'
168	UNIDENTIFIED TREE	28"	15'	25'
169	OAK TREE	15"	20'	20'
170	OAK TREE	36"	20'	40'
171	OAK TREE	36"	20'	40'
172	OAK TREE	18"	20'	40'
173	OAK TREE	36"	20'	40'
174	OAK TREE	36"	20'	40'
175	PALM TREE	15"	10'	10'
176	OAK TREE	36"	25'	35'
177	PALM TREE	12"	10'	25'
178	OAK TREE	18"	25'	30'
179	UNIDENTIFIED TREE	10"	10'	20'
180	PALM TREE	12"	10'	25'
181	OAK TREE	28"	15'	35'
182	OAK TREE	28"	15'	35'
183	OAK TREE	28"	15'	35'
184	OAK TREE	28"	15'	35'
185	OAK TREE	40"	25'	35'
186	OAK TREE	72"	35'	40'
187	UNIDENTIFIED TREE	15"	15'	10'

SHEET 2 OF 2

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

HOLLYWOOD OAKS SITE
4220 & 4231 N 58TH AVE
HOLLYWOOD, FLORIDA, 33021
(CITY OF HOLLYWOOD, BROWARD COUNTY)

BOUNDARY AND TOPOGRAPHIC SURVEY



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CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: L.H.
CHECKED BY: J.F.P.

SCALE: 1" = 40'
SURVEY DATE: 9/25/23

CLIENT: KUSHNER
ORDER NO.: 71830





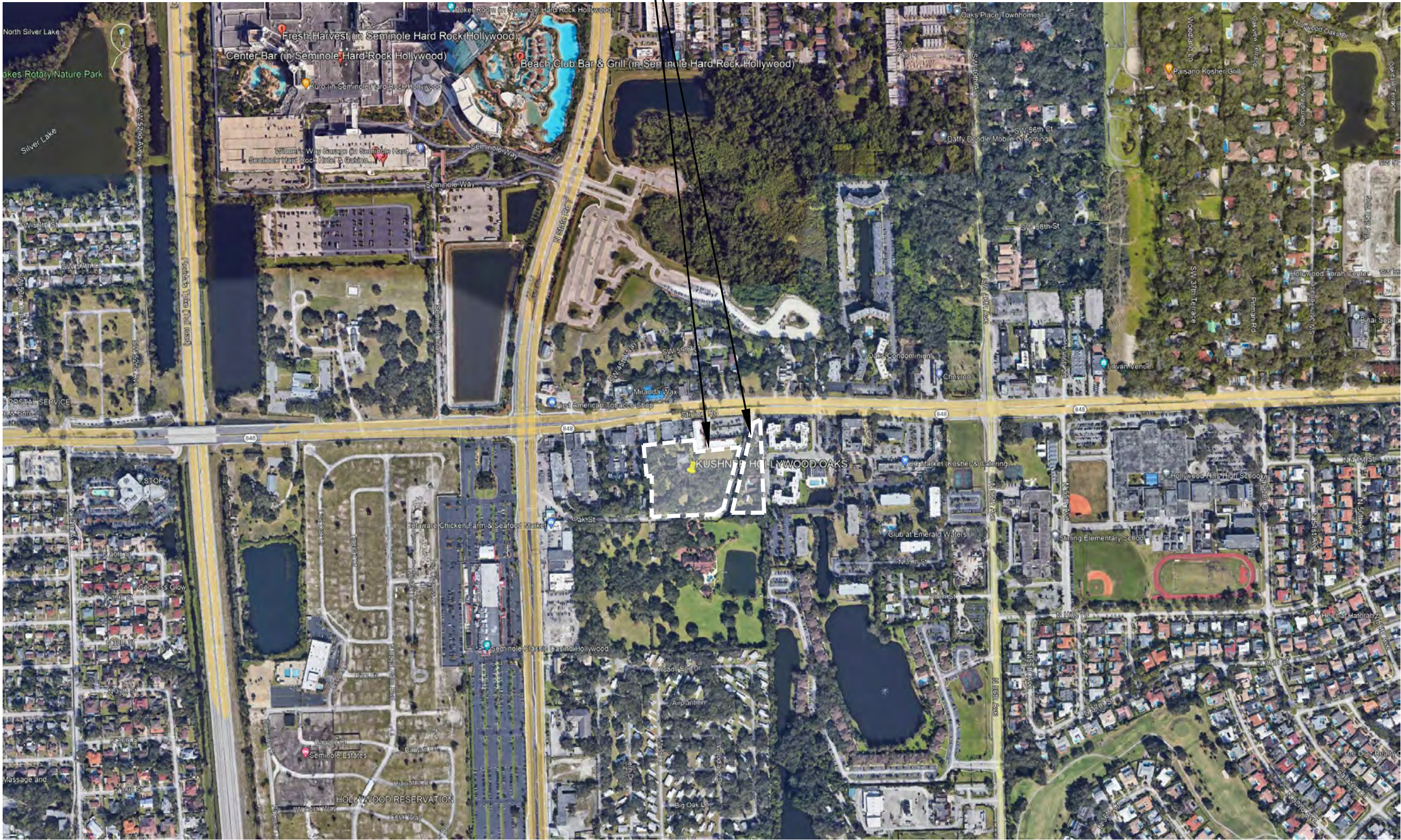






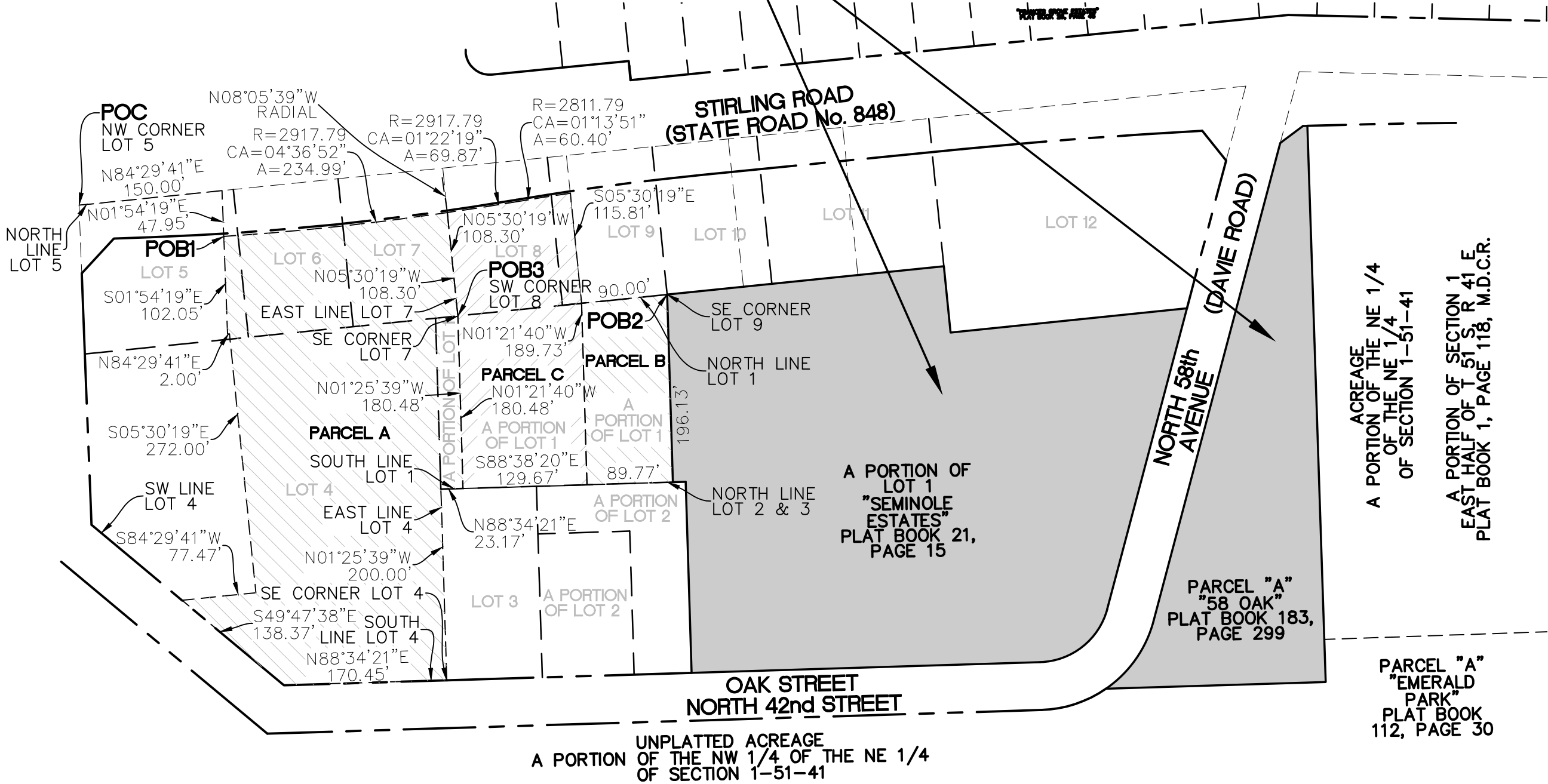
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HOLLYWOOD OAKS:
4220 & 4231 N 58TH AVE



AERIAL MAP
SCALE: N.T.S
NORTH

HOLLYWOOD OAKS:
4220 & 4231 N 58TH AVE



LOCATION MAP
SCALE: N.T.S
NORTH

**PASCUAL
PEREZ
KILIDDJIAN
STARR**

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4220 N 58TH AVE.
RESIDENTIAL BUILDING
HOLLYWOOD, FLORIDA

BY: KUSHNER
260 95th STREET
SUITE 201
SURFSIDE, FL 33154

PASCUAL,
PEREZ,
KILIDDJIAN,
STARR & ASSOC.

INDEX OF DRAWINGS:
ARCHITECTURAL

- | | | | | | | | |
|--------------|-------------------------------|------------|------------------------------|------------|-----------------------------------|------------|--|
| 1. R-1 | RENDER 1 - CORNER | 12. MSP-2 | MASTER SITE PLAN / DIAGRAMS | 23. SP-4.3 | ROOF PLAN | 34. SA-3.4 | CLUBHOUSE - CONCRETE TRELLIS |
| 2. R-2 | RENDER 2 - ENTRY | 13. MSP-3 | MASTER SITE PLAN / DIAGRAMS | 24. SP-5 | SITE PLAN / DETAILS | 35. SA-4 | COMMUNITY BUILDING (SYNAGOGUE) FLOOR PLAN |
| 3. R-3 | RENDER 3 - GARAGE ENTRY SOUTH | 14. FP-1 | FIRE SET-UP PLAN | 25. SP-6 | SITE PLAN / DETAILS | 36. SA-5.1 | COMMUNITY BUILDING (SYNAGOGUE) ELEVATIONS |
| 4. R-4 | RENDER 4 - SYNAGOGUE | 15. SP-1.2 | PERVIOUS AND IMPERVIOUS PLAN | 26. SP-7 | GARAGE NATURAL VENTILATION CALCS. | 37. SA-5.2 | COMMUNITY BUILDING (SYNAGOGUE) RENDER ELEVATIONS |
| 5. R-5 | RENDER 5 - GARAGE NORTH | 16. SP-2 | SECOND FLOOR PLAN | 27. A-1 | RESIDENTIAL BUILDING ELEVATIONS | 38. SA-5.3 | COMMUNITY BUILDING (SYNAGOGUE) RENDER ELEVATIONS |
| 6. R-6 | RENDER 6 - GARAGE WEST | 17. SP-3.1 | 3RD FLOOR PLAN | 28. A-2 | RESIDENTIAL BUILDING ELEVATIONS | 39. LS-1 | LIFE SAFETY PLAN GENERAL NOTES |
| 7. R-7 | RENDER 7 - AMENITY ENTRANCE | 18. SP-3.2 | 4TH FLOOR PLAN | 29. SA-1 | CLUBHOUSE FLOOR PLAN | 40. LS-2 | LIFE SAFETY PLAN GROUND FLOOR |
| 8. C-0 | COVER SHEET - LOCATION MAP | 19. SP-3.3 | 5TH FLOOR PLAN | 30. SA-2 | CLUBHOUSE ELEVATIONS | 41. LS-3 | LIFE SAFETY PLAN SECOND FLOOR |
| 9. SP-1.1 | SITE PLAN / GROUND FLOOR | 20. SP-3.4 | 6TH FLOOR PLAN | 31. SA-3.1 | CLUBHOUSE ELEVATIONS | 42. LS-4 | LIFE SAFETY PLAN TYPICAL (3rd To 7th) FLOOR |
| 10. SP-1.1.2 | VISIBILITY TRIANGLES DIAGRAM | 21. SP-4 | 7TH FLOOR PLAN | 32. SA-3.2 | CLUBHOUSE RENDER ELEVATIONS | 43. LS-5 | LIFE SAFETY PLAN 8th FLOOR |
| 11. MSP-1 | MASTER SITE PLAN | 22. SP-4.2 | 8TH FLOOR PLAN | 33. SA-3.3 | CLUBHOUSE RENDER ELEVATIONS | | |

LEGAL DESCRIPTION

LEGAL DESCRIPTION:

PARCEL A, "58 OAK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH

LOT 1 OF "SEMINOLE ESTATES", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS PORTIONS DESCRIBED AS FOLLOWS:

PARCEL A:

A PORTION OF LOTS 1, 4, AND 5, AND ALL OF LOTS 6 AND 7, OF "SEMINOLE ESTATES", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 5; THENCE NORTH 84°29'41" EAST ON AN ASSUMED BEARING ALONG THE NORTH LINE OF SAID LOT 5, A DISTANCE OF 150 FEET; THENCE SOUTH 1°54'19" EAST 47.95 FEET TO A POINT OF BEGINNING 1; THENCE CONTINUE SOUTH 1°54'19" EAST 102.05 FEET; THENCE NORTH 84°29'41" EAST 2 FEET; THENCE SOUTH 5°30'19" EAST 272 FEET; THENCE SOUTH 84°29'41" WEST 77.47 FEET TO THE SOUTHWEST LINE OF SAID LOT 4; THENCE SOUTH 49°47'38" EAST ALONG SAID SOUTHWEST LINE 138.37 FEET; THENCE NORTH 88°34'21" EAST ALONG THE SOUTH LINE OF SAID LOT 4, A DISTANCE OF 170.45 FEET TO THE SOUTHEAST CORNER OF LOT 4; THENCE NORTH 01°25'39" WEST ALONG THE EAST LINE OF LOT 4, A DISTANCE OF 200 FEET TO THE SOUTH LINE OF SAID LOT 1; THENCE NORTH 88°34'21" EAST ALONG THE LAST DESCRIBED SOUTH LINE 23.17 FEET; THENCE NORTH 1°25'39" WEST PARALLEL WITH THE WEST LINE OF LOT 1, A DISTANCE OF 180.48 FEET TO THE SOUTHEAST CORNER OF SAID LOT 7; THENCE NORTH 5°30'19" WEST ALONG THE EAST LINE OF LOT 7, A DISTANCE OF 108.30 FEET TO A POINT ON A NON-TANGENT CURVE WHOSE CENTER BEARS NORTH 8°05'39" WEST FROM SAID POINT; THENCE WESTERLY ALONG A 2917.79 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 4°36'52" AN ARC DISTANCE OF 234.99 FEET TO THE POINT OF BEGINNING 1; SAID CURVE FORMING THE SOUTH RIGHT OF WAY LINE OF STIRLING ROAD, AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, SECTION 86516-2602.

PARCEL B:

LOT 9, LESS THE WEST 20.0 FEET THEREOF, "SEMINOLE ESTATES", AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT PART OF LOT 1 OF SAID "SEMINOLE ESTATES", DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 9; THENCE SOUTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT 1, 196.13 FEET TO THE NORTH LINE OF LOT 2 OF SAID "SEMINOLE ESTATES"; THENCE WESTERLY ALONG THE NORTH LINE OF LOT 2 OF SAID "SEMINOLE ESTATES" 89.77 FEET; THENCE NORTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT 1, A DISTANCE OF 189.73 FEET TO THE SOUTH LINE OF SAID LOT 9; THENCE EASTERLY ALONG THE SOUTH LINE OF SAID LOT 9, A DISTANCE OF 90.0 FEET TO THE POINT OF BEGINNING.

PARCEL C:

LOT 8, AND THE WEST 20.0 FEET OF LOT 9, AND PART OF LOT 1, "SEMINOLE ESTATES", AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT 8, BEING THE POINT OF BEGINNING 3; THENCE ON AN ASSUMED BEARING OF NORTH 05°30'19" WEST A DISTANCE OF 108.30 FEET TO A POINT ON THE ARC OF A CONCAVE CURVE NON-TANGENT, NORTHEASTERLY, HAVING A RADIUS OF 2,917.79 FEET, A CENTRAL ANGLE OF 01°22'19" AND AN ARC DISTANCE OF 69.87 FEET TO THE POINT OF A REVERSE CURVATURE OF A CIRCULAR CURVE SOUTHEASTERLY; THENCE EASTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 2,811.79 FEET, A CENTRAL ANGLE OF 01°13'51" AND AN ARC DISTANCE OF 60.40 FEET; THENCE SOUTH 05°30'19" EAST, A DISTANCE OF 115.81 FEET TO A POINT ON THE NORTH LINE OF LOT 1; THENCE SOUTH 01°21'40" EAST, A DISTANCE OF 189.73 FEET TO A POINT ON THE NORTH LINE OF LOTS 2 AND 3; THENCE SOUTH 88°38'20" WEST A DISTANCE OF 129.67 FEET TO A POINT; THENCE NORTH 01°21'40" WEST A DISTANCE OF 180.48 FEET TO THE POINT OF BEGINNING 3.

SURVEYOR'S LEGAL DESCRIPTION:

PARCEL A, "58 OAK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 183, PAGE 299, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH

A PORTION OF LOT 1, "SEMINOLE ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 01°45'12" WEST ALONG THE WEST LINE OF SAID LOT 1 FOR 199.83 FEET TO THE NORTHEAST CORNER OF LOT 2 OF SAID "SEMINOLE ESTATES"; THENCE SOUTH 88°14'48" WEST ALONG THE NORTH LINE OF SAID LOT 2 FOR 13.34 FEET; THENCE NORTH 01°45'12" WEST 196.14 FEET TO A POINT ON THE NORTHERLY LINE OF SAID LOT 1 AND THE SOUTHWEST CORNER OF LOT 10 OF SAID "SEMINOLE ESTATES"; THENCE ALONG THE NORTHERLY, EASTERLY, AND SOUTHERLY BOUNDARIES OF SAID LOT 1, THE FOLLOWING SIX COURSES AND DISTANCES: 1) NORTH 84°10'08" EAST 280.56 FEET; 2) SOUTH 05°49'52" EAST 69.53 FEET; 3) NORTH 84°10'08" EAST 248.23 FEET; 4) SOUTH 14°51'09" WEST 324.91 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; 5) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 75.00 FEET, A CENTRAL ANGLE OF 73°23'39" FOR AN ARC LENGTH OF 96.07 FEET TO A POINT OF TANGENCY; 6) SOUTH 88°14'48" WEST 364.30 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 249,853 SQUARE FEET (5.7359 ACRES) MORE OR LESS

PD MODIFICATIONS

1. FRONT SETBACK OF 15' PROPOSED WHERE A MINIMUM 25' IS REQUIRED PER SECTION 4.15. PD REQUIREMENTS.
2. REDUCE THE MINIMUM OFF-STREET PARKING REQUIREMENTS PER SECTION 4.15 PD REQUIREMENTS AS DETAILED IN THE SUBMITTED PARKING NEEDS STUDY DATES FEBRUARY 19, 2025.

PD WAIVERS

1. REDUCE THE MINIMUM REQUIRED PD SIZE FROM 10.0 ACRES TO 5.74 ACRES PER SECTION 4.15 PD REQUIREMENTS.

PRELIMINARY TAC SUBMITTAL September 16, 2024
FINAL TAC SUBMITTAL December 02, 2024
TAC REV. 1 SUBMITTAL January 27, 2025
TAC REV. 2 SUBMITTAL May 09, 2025
TAC REV. 3 SUBMITTAL June 30, 2025

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2. TAC - REV. 2 - 2025.05.09

3. TAC - REV. 3 - 2025.06.30

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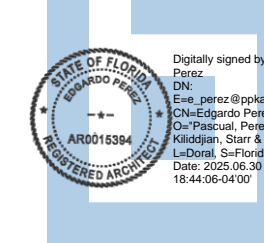
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HOLLYWOOD, FLORIDA

SEAL:



COVER SHEET

LOCATION PLAN

DATE: 2024-06-30

SCALE: AS SHOWN

DRAWN: SJ

CHECK BY: MP / PK

JOB NO.: 24-26

C-0

SHEET NO.:

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VIEW OF RESIDENTIAL BUILDING CORNER
OAK STREET & DAVIE ROAD

RENDER 1

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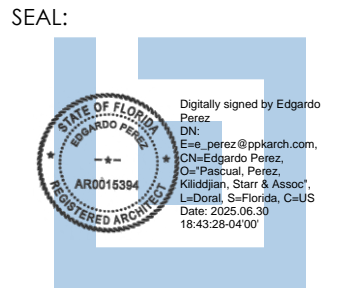
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R-1

SHEET NO.:



VIEW OF THE EAST DROP-OFF AREA
VIEW FROM DAVIE ROAD (N 58th AVE)

RENDER 2

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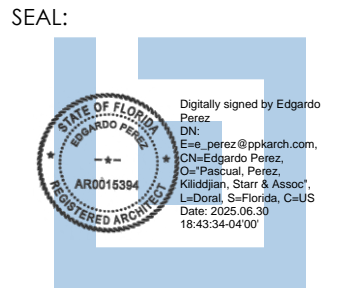
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SOUTH GARAGE ENTRY AND RESIDENTIAL BUILDING SOUTH ELEVATION
VIEW FROM OAK STREET (N 42nd ST)

RENDER 3

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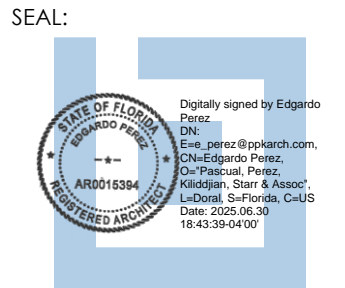
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VIEW OF SYNAGOGUE FROM ENTRY DRIVE
(SYNAGOGUE SOUTH-WEST CORNER VIEW)

RENDER 4

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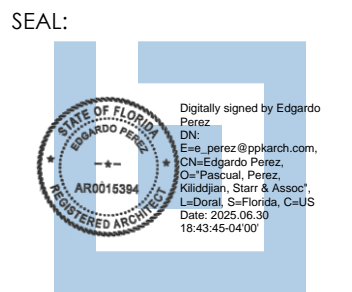
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PARKING GARAGE
NORTH - WEST ELEVATION VIEW

RENDER 5

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PARKING GARAGE
SOUTH - WEST ELEVATION VIEW

RENDER 6

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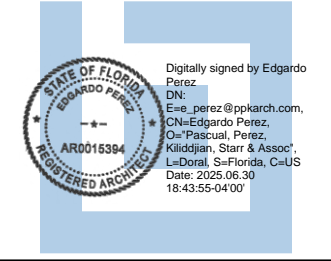
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VIEW OF CLUBHOUSE (AMENITY) ENTRY FROM SURFACE PARKING
(CLUBHOUSE NORTH ELEVATION VIEW)

RENDER 7

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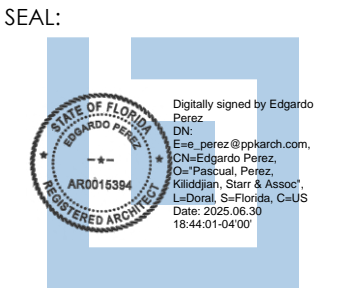
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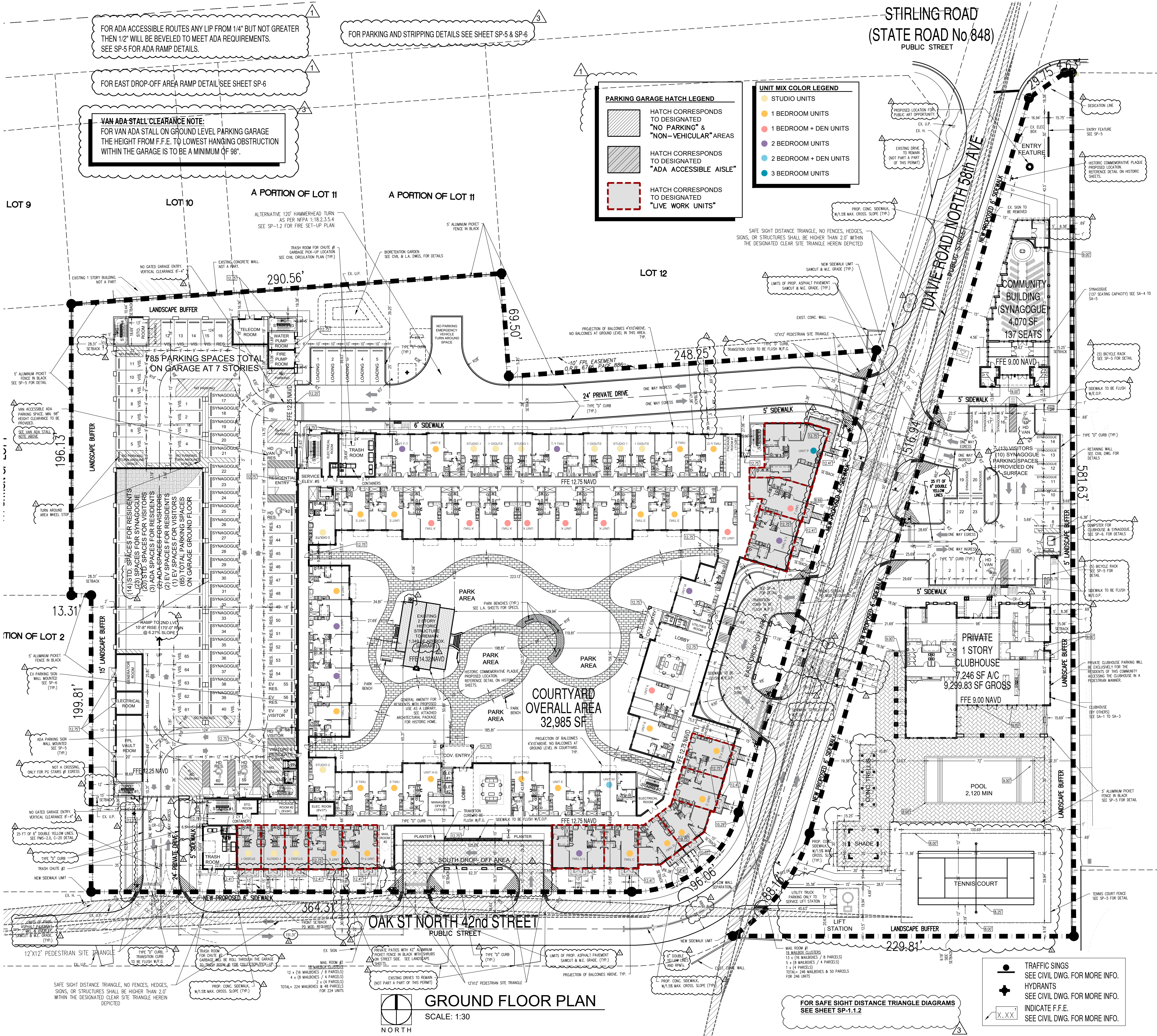
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FOR FIRE SET-UP PLAN SEE FP-1
FOR LIFE SAFETY PLAN SEE LS-1 TO LS-5
FOR PERVIOUS/ IMPERVIOUS DIAGRAM SEE SP-1.2
FOR SITE PLAN NOTES SEE SP-2
FOR UNIT BREAKDOWN TABLE SEE SP-3
FOR SITE PLAN DETAILS SEE SP-5 & SP-6

SITE DATA		
ZONING: PDD - PLANNED DEVELOPMENT DISTRICT		
GROSS AREA	SF	ACRES
249,853.00	5.74	
NET AREA	249,853.00	5.74
DENSITY PROVIDED		
# OF UNITS	DUA (GROSS)	
8 STORIES BLDG	470	81.94
MINIMUM UNIT SIZE		
650 SF REQUIRED	540 SF PROVIDED	
UNIT BREAKDOWN		
STUDIO		88
1 BEDROOM		148
1 BEDROOM + DEN		98
2 BEDROOM		84
2 BEDROOM + DEN		44
3-BEDROOM		8
TOTAL UNITS PROVIDED		470
PARKING BREAKDOWN		
RESIDENTIAL MULTIFAMILY INCLUDING LIVE-WORK UNITS PARKING 1.5 PER UNIT (423 UNITS)	ALLOWED/REQUIRED AS PER CURRENT CODE	PROVIDED (PD REQUEST)
635	635	
RESIDENTIAL AFFORDABLE HOUSING UNITS PARKING 1 PER UNIT (47 UNITS)	47	47
GUEST PARKING 1 PER 5 UNITS	94	94
SYNAGOGUE - PLACE OF WORSHIP (1 PER 60 SF OF FLOOR AREA AVAILABLE FOR SEATING AND 1 PER 4 FIXED SEATS)	69	33
TOTAL	844	809
TOTAL MISSING SPACES		36
SPACES PROVIDED ON (7-story) GARAGE		
786		
SPACES PROVIDED ON SURFACE	23	
HANDICAP SPACES (2%)	17	19
HANDICAP VAN SPACES	3	3
E.V.S.E. SPACES (2%)	17	17
LOADING ZONES	5	5
BICYCLE RACK (1 PER EVERY OTHER PARKING SPACE)	42	52
AREA CALCULATIONS		
RESIDENTIAL BLDG. FOOTPRINT	SF	%
55,651.54		
GARAGE BLDG. FOOTPRINT	39,734.86	
CLUBHOUSE FOOTPRINT	9,299.83	
COMMUNITY BLDG. (SYNAGOGUE)	4,070.51	
EXISTING HISTORIC BLDG. FOOTPRINT (PROPOSED LIBRARY GROSS AREA)	1,400.00	
TOTAL BUILDING FOOTPRINTS	110,156.74	44.09%
STREETS & PAVED AREAS	28,062.23	11.23%
PEDESTRIAN SIDEWALKS	16,415.38	6.57%
POOL & POOL DECK	9,882.40	3.96%
TENNIS COURT	6,037.25	2.42%
LIFT STATION	299.02	0.12%
UNENCUMBERED "LANDSCAPED" GREEN OPEN SPACE (5% MIN. REQUIRED) (REFERS TO LANDSCAPED OR GREEN/ PERVIOUS AREAS)	78,999.98	31.62%
TOTAL	249,853.00	100.00%
LOT COVERAGE		
MAX LOT COVERAGE SF	BY CITY COMMISSION	110,156.74
MAX LOT COVERAGE %	BY CITY COMMISSION	44.09%
OPEN SPACE (PARK AND RECREATIONAL AREAS) (INCLUDES LANDSCAPED "LANDSCAPED" GREEN OPEN SPACE OUTSIDE COURTYARD, POOL, POOL DECK & TENNIS COURT)		
COURTYARD	(SF)	(%)
32,985.00	13.20 %	
LANDSCAPE AREAS (OUTSIDE COURTYARD)	53,804.46	21.53 %
POOL & POOL DECK	9,882.40	3.96 %
TENNIS COURT	6,037.25	2.42 %
MINIMUM OPEN SPACE (BY CITY COMMISSION)	102,709.11 SF	41.11 %
PERVIOUS / IMPERVIOUS AREA		
PERVIOUS AREA SF (INCLUDES LANDSCAPED AREAS = UNENCUMBERED GREEN OPEN SPACE)	BY CITY COMMISSION	78,999.98
PERVIOUS AREA %	BY CITY COMMISSION	31.62%
IMPERVIOUS AREA SF	BY CITY COMMISSION	170,853.02
IMPERVIOUS AREA %	BY CITY COMMISSION	68.38%
SETBACKS		
INTERNAL STREETS	ALLOWED/REQUIRED	PROVIDED
25'-0"	15'-0"	
EXTERNAL STREETS	25'-0"	15'-0"
MIN. DISTANCE BETWEEN BLDGS	NOT REQUIRED	N/A
MAX BUILDING HEIGHT	ALLOWED	PROVIDED
RESIDENTIAL BLDG (TOP OF ROOF SLAB)	NOT REQUIRED	84'-10"
CLUBHOUSE (TOP OF PARAPET)	NOT REQUIRED	25'-1"
COMMUNITY BLDG SYNAGOGUE (TOP OF PARAPET)	NOT REQUIRED	24'-0"
EXISTING HISTORIC STRUCTURE (SEE HISTORIC STRUCTURE PACKAGE)	EXISTING	EXISTING
NOTE: THE MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL)		

PASQUAL PEREZ KILIDDJIAN STARR

ARCHITECTS + PLANNERS

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LICENSE NO.: AR 0015394
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REVISIONS:

- 1 TAC - REV. 1 - 2025.02.10
- 2 TAC - REV. 2 - 2025.05.09
- 3 TAC - REV. 3 - 2025.06.30
- 4 PZ/HPB - 2025.08.06

OWNER:
KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA

SEAL:
STATE OF FLORIDA
REGISTERED ARCHITECT
AR0015394
Digitally signed by Edgardo Perez, DN: cn=Edgardo Perez, o=Pasqual, Perez, Kiliddjian, Starr & Assoc., ou=Hollywood, FL 33154, c=US, Date: 2025.08.20 13:22:56-0400

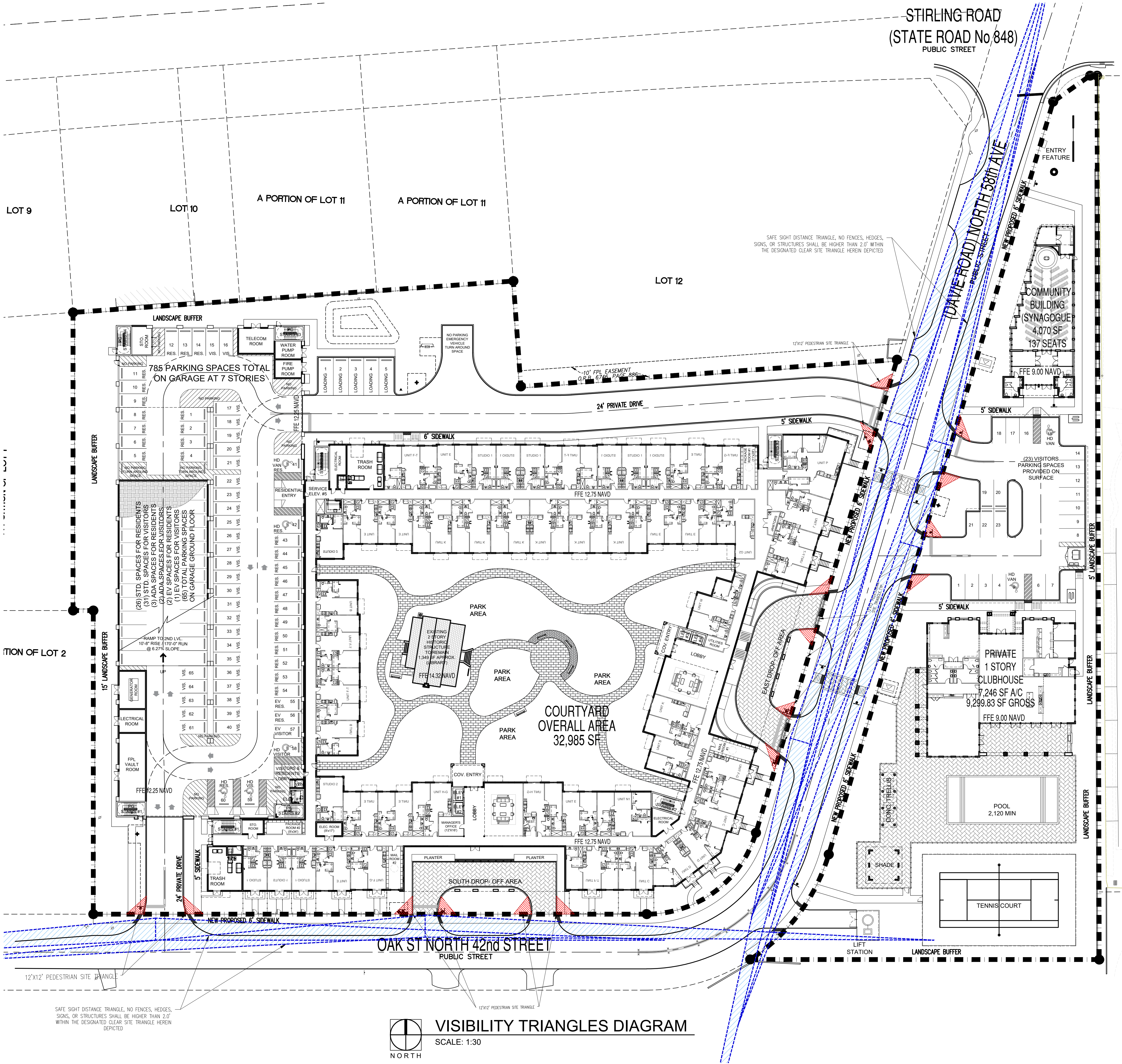
SITE PLAN

GROUND FLOOR
DATE: 2025-08-11
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

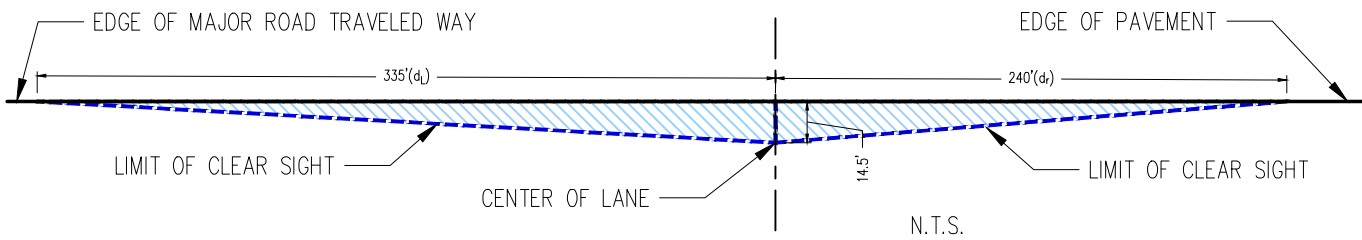
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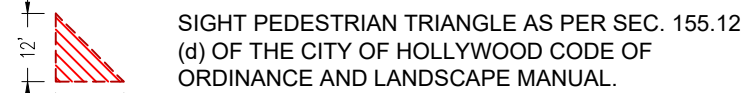


FDOT SAFE SIGHT DISTANCE TRIANGLE DIAGRAMS



SAFE SIGHT DISTANCE TRIANGLE
AS PER FDOT DESIGN MANUAL - JAN. 01, 2018. SEC. 212.11.1
2-LANE UNDIVIDED (PASSENGER VEHICLE)
POSTED SPEED = 30 mph
DESIGN SPEED = 35 mph
USED ON OAK STREET (NORTH 42ND STREET) (50 R.O.W.)
& DAVIE ROAD (NORTH 58TH AVENUE) (50 R.O.W.)

PEDESTRIAN SAFE SIGHT DISTANCE TRIANGLE DIAGRAMS



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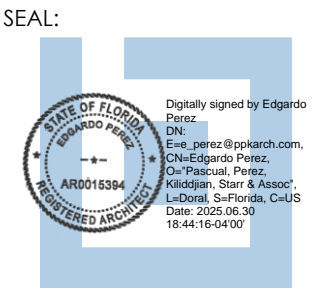
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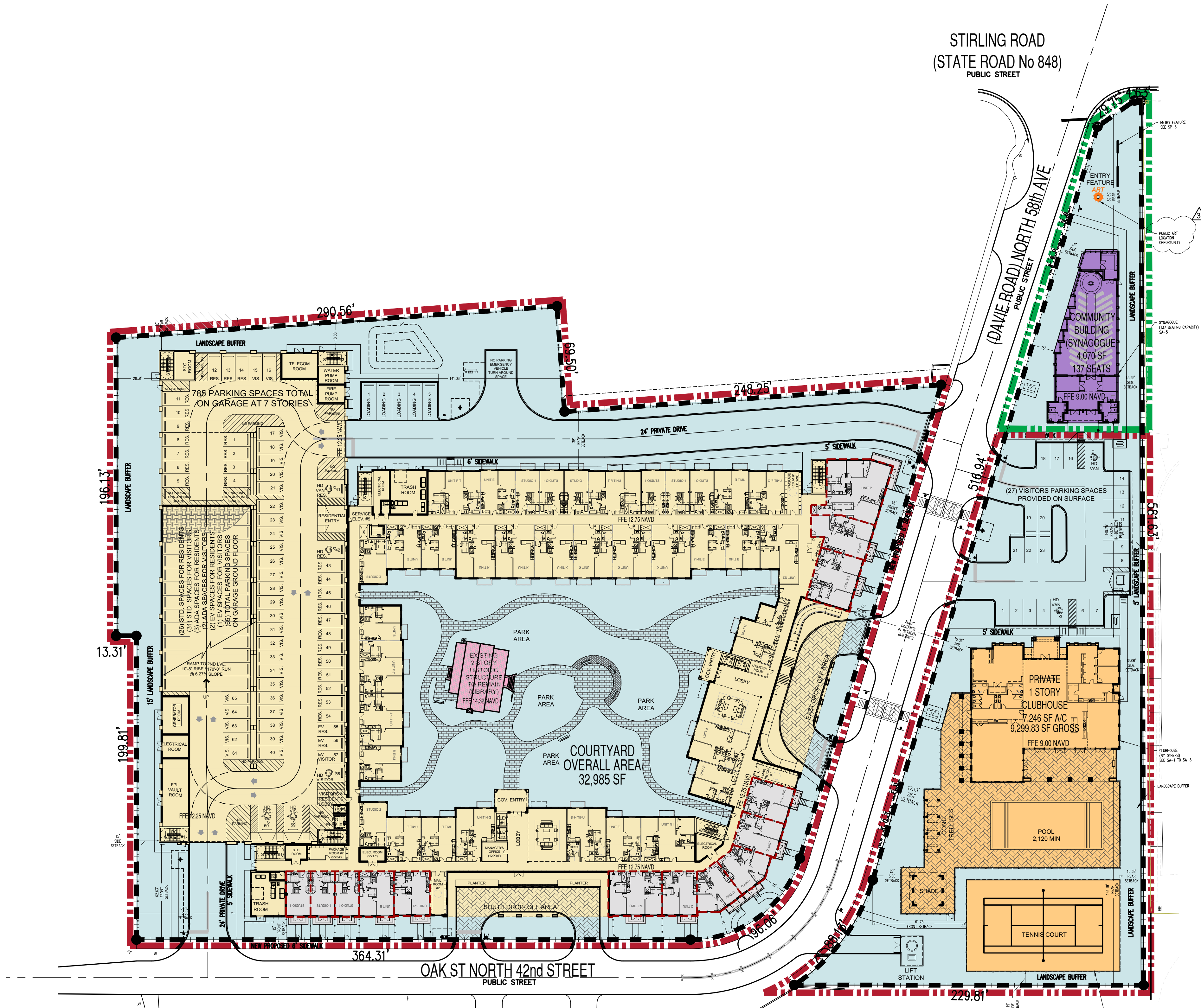


SITE PLAN

VIS. TRIANGLES DIAGRAM
DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SP-1.1.2

SHEET NO.:



MASTER SITE PLAN

SCALE: 1:40

- ### PHASING PLAN LEGEND
- PHASE 1
 - PHASE 2
- NOTE: PHASING DOESN'T REPRESENT CONSTRUCTION SEQUENCE.

- ### PUBLIC ART LEGEND
- PROPOSED LOCATION FOR PUBLIC ART OPPORTUNITY

- ### LAND USE PLAN LEGEND
- OPEN SPACE
 - RESIDENTIAL USE
 - RESIDENTIAL USE RECREATIONAL AREA
 - COMMUNITY FACILITY
 - HISTORY STRUCTURE "LIBRARY"
 - DESIGNATED "LIVE WORK UNITS"

PERMITTED USES:

AS PER SEC. 4.15 PD PLANNED DEVELOPMENT DISTRICT (D.)

- ALL RESIDENTIAL USES PERMITTED BY THE CITY OF HOLLYWOOD COMPREHENSIVE PLAN.
- BUSINESS USES LOCATED IN A PLANNED DEVELOPMENT WHICH IS INTENDED TO BE PREDOMINANTLY RESIDENTIAL OR INTENDED TO MEET THE NEIGHBORHOOD SHOPPING AND SERVICE NEEDS OF THE PLANNED DEVELOPMENT AND NOT THE GENERAL NEEDS OF THE SURROUNDING AREA.
- BUSINESS USES IN A PLANNED DEVELOPMENT WHICH IS INTENDED TO BE PREDOMINANTLY COMMERCIAL, OFFICE OR RESORT TO INCLUDE ALL COMMERCIAL USES CONSISTENT WITH MEDIUM HIGH-HIGH RESIDENTIAL, GENERAL BUSINESS AND OFFICE CATEGORIES OF THE CITY OF HOLLYWOOD COMPREHENSIVE PLAN.
- RESORT USES IN A PLANNED DEVELOPMENT MAY INCLUDE ENTERTAINMENT AND RECREATIONAL USES PERMITTED IN THE CENTRAL BEACH AND RECREATIONAL DISTRICTS AS WELL AS THOSE USES PERMITTED BY THE CITY OF HOLLYWOOD COMPREHENSIVE PLAN.
- USES AND STRUCTURES WHICH ARE CUSTOMARILY ACCESSORY AND CLEARLY INCIDENTAL TO PRINCIPAL USES AND STRUCTURES MAY BE PERMITTED.

PROHIBITED USES:

- ANY USE NOT DESCRIBED IN SEC. 4.15 PD PLANNED DEVELOPMENT DISTRICT OF THE CITY OF HOLLYWOOD PLAN DEVELOPMENT CODE.

DESIGN REGULATIONS:

AS PER SEC. 4.15 PD PLANNED DEVELOPMENT DISTRICT (E.)

- MINIMUM SIZE OF PLANNED DEVELOPMENT:**
REQUIRED = 10.0 ACRES OF LAND UNDER UNIFIED CONTROL; EXCEPT WITHIN THE DOWNTOWN DISTRICT OF THE COMMUNITY REDEVELOPMENT AGENCY WHERE PLANNED DEVELOPMENTS SHALL CONTAIN A MINIMUM OF TWO ACRES OF LAND UNDER UNIFIED CONTROL. THIS MINIMUM MAY BE WAIVED BY THE CITY COMMISSION UPON THE RECOMMENDATION OF THE PLANNING AND DEVELOPMENT BOARD.
PROVIDED = 5.74 ACRES
- MAXIMUM DENSITY:**
THE TOTAL NUMBER OF DWELLING UNITS PERMITTED IN A PLANNED DEVELOPMENT SHALL NOT EXCEED THE TOTAL NUMBER OF UNITS PERMITTED BY THE CITY OF HOLLYWOOD COMPREHENSIVE PLAN.
PROVIDED = 470 UNITS (81.94 DUA)
- MINIMUM LOT SIZE:**
NO MIN. LOT SIZE SHALL BE REQUIRED WITHIN A PLANNED DEVELOPMENT.
- DISTANCE BETWEEN STRUCTURES:**
NO MINIMUM DISTANCE REQUIRED, EXCEPT AS REQUIRED BY THE FLORIDA BUILDING CODE.
PROVIDED = NOT APPLICABLE
- SETBACKS**
INTERNAL STREETS = 25' REQUIRED
EXTERNAL STREETS = 25' REQUIRED
OTHER SETBACKS PROVIDED:
MIN. SETBACK FROM PARKING GARAGE TO PL. = 8'
MIN. SETBACK FROM SURFACE PARKING TO PL. = 8.8'
MIN. SETBACK FROM TENNIS COURT TO PL. = 8.94'
- MAXIMUM HEIGHT OF STRUCTURES:**
NO MAXIMUM HEIGHT OF STRUCTURES REQUIRED
PROVIDED = 8 STORIES RESIDENTIAL BUILDING
AT 84'-10" TO TOP OF ROOF SLAB
= CLUBHOUSE (1 STORY) AT 24'-6"
= SYNAGOGUE (1 STORY) AT 24'-0"
- TOTAL SITE COVERAGE:**
BY CITY COMMISSION UPON RECOMMENDATION OF THE PLANNING AND DEVELOPMENT BOARD.
PROVIDED = 111,025.09 SF (44.4%)
- LANDSCAPING**
SHALL MEET THE REQUIREMENTS OF ARTICLE 9 OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS UNLESS EXPRESSLY MODIFIED BY THE CITY COMMISSION.
SEE LANDSCAPE PLANS.
LANDSCAPE OPEN SPACE REQUIRED = 5% MIN.
LANDSCAPE OPEN SPACE PROVIDED = 78,999.98 (31.62%)
- UNDERGROUND UTILITIES**
ALL UTILITIES INCLUDING TELEPHONE, TELEVISION CABLE AND ELECTRICAL SYSTEMS SHALL BE INSTALLED UNDERGROUND.
- PERMITTED ABOVE GROUND UTILITIES** SHALL BE SCREEN WITH ADEQUATE LANDSCAPING WITH SHRUBS AND PLANTS.
- INTERNAL CIRCULATION:**
A PLANNED DEVELOPMENT SHALL PROVIDE AN INTERNAL CIRCULATION SYSTEM FOR USE BY BOTH MOTORIZED AND NON-MOTORIZED TRANSPORTATION MODES THAT IS ORDERLY.
SEE SHEETS MSP-2 & MSP-3 FOR VEHICULAR AND PEDESTRIAN CIRCULATION PLANS.

PARKING AND LOADING REQUIREMENTS:

OFF-STREET PARKING AND LOADING REQUIREMENTS. OFF-STREET PARKING AND LOADING REQUIREMENTS SHALL MEET ALL THE REQUIREMENTS OF ARTICLE 7 OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS UNLESS EXPRESSLY MODIFIED BY THE CITY COMMISSION.

PARKING BREAKDOWN	ALLOWED/REQUIRED AS PER CURRENT CODE	PROVIDED (PD REQUEST)
RESIDENTIAL PARKING PER UNIT (470 UNITS)	1.5	705
GUEST PARKING 1 PER 5 UNITS	94	94
SYNAGOGUE - PLACE OF WORSHIP PER 60 SF OF FLOOR AREA AVAILABLE FOR SEATING AND 1 PER 41 VEHICLES SEATING	69	0
TOTAL	868	809
TOTAL MISSING SPACES	59	
SPACES PROVIDED ON (7-story) GARAGE		786
SPACES PROVIDED ON SURFACE		23
HANDICAP SPACES (2%)	17	19
HANDICAP VAN SPACES	3	3
E.V.S.E. SPACES (2%)	17	17
LOADING ZONES	5	5
BICYCLE RACK (1 PER EVERY 20 RES. PARKING SPACES)	43	52

PASCUAL PEREZ KILIDDJIAN STARR

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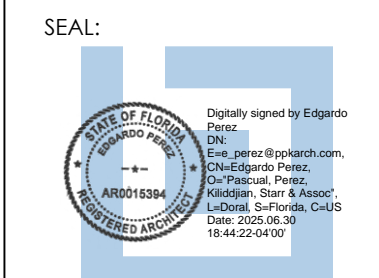
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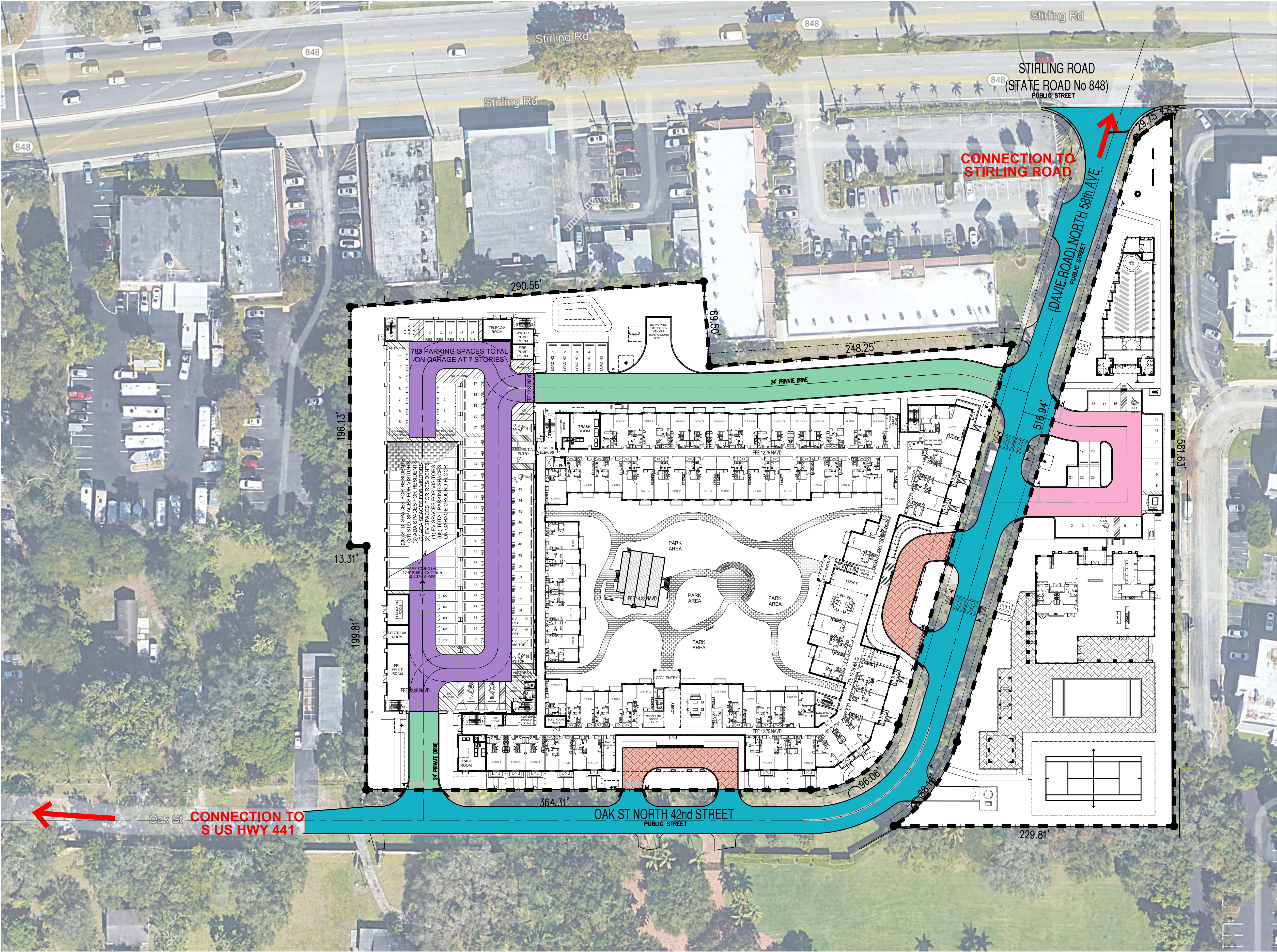
MASTER SITE PLAN

PLAN DEVELOPMENT
DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

MSP-1

SHEET NO.:

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VEHICULAR CIRCULATION
SCALE: 1:40

PARKING BREAKDOWN	ALLOWED/ REQUIRED AS PER CURRENT CODE	PROVIDED (PD REQUEST)
RESIDENTIAL PARKING PEB UNIT (476 UNITS)	1.5 705	715
GUEST PARKING 1 PER 5 UNITS	94	94
SYNAGOGUE - PLACE OF WORSHIP (1 PER 60 SF OF FLOOR AREA AVAILABLE FOR SEATING AND 1 PER 4 FIXED SEATS)	69	0
TOTAL	868	809
TOTAL MISSING SPACES	59	

SPACES PROVIDED ON (7-story) GARAGE	786
SPACES PROVIDED ON SURFACE	23
HANDICAP SPACES (2%)	17
HANDICAP VAN SPACES	3
E.V.S.E. SPACES (2%)	17
LOADING ZONES	5
BICYCLE RACK (1 PER EVERY 20 REQ. PARKING SPACES)	43
	52

PARKING PROVISION STANDARDS NOTES:

- 1.5 PARKING SPACES REQUIRED PER UNIT AS PER COH 7.2 - 1, 90" PARKING SHALL BE 9'x19' WITH A 24' DRIVE WIDTH.
- 1 PER 5 UNITS PARKING SPACES MARKED FOR GUEST AS PER 7.2 - 1.
- MIN. 2% OF PROVIDED PARKING SPACES SHALL BE HANDICAP ACCESSIBLE AS PER CITY OF HOLLYWOOD (COH) ENGINEERING STD. C-21A.
- MIN. 2% OF THE PROVIDED HANDICAP SPACES PROVIDED SHALL BE ADA VAN ACCESSIBLE AND COMPLY WITH FBG 502.5.
- AS PER COH 7.2 C. 2. LOADING SPACES SHALL BE FOR MULTI FAMILY BUILDING 50-100 UNITS - 1 SPACE + 1 SPACE FOR EACH ADDITIONAL 100 UNITS OR MAJOR FRACTION, AND THEY MUST BE AT LEAST 10'x25' WITH 14' VERTICAL CLEARANCE.
- EV PARKING AS PER COH 151.154.
- AS PER THE COH BICYCLE RACKS PROVIDED SHALL BE 5% OF TOTAL PARKING SPACES PROVIDED.

STREET HIERARCHY LEGEND

- PUBLIC STREET (R.O.W.)
(NOT INSIDE PROPERTY)
- PRIVATE DRIVE
- RESIDENTIAL DROP-OFF AREAS
- VEHICULAR CIRCULATION ON SURFACE PARKING
- VEHICULAR CIRCULATION INSIDE PARKING GARAGE.
NO EMERGENCY VEHICLE CLEARANCE
NO ADA VAN CLEARANCE
8'-0" CLEARANCE.

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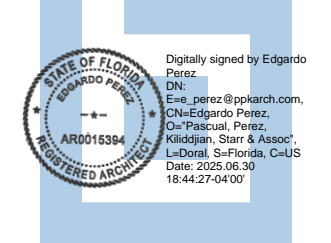
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Suite 201

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MASTER SITE PLAN

VEHICULAR CIRCULATION

DATE: 2024-06-30

SCALE: AS SHOWN

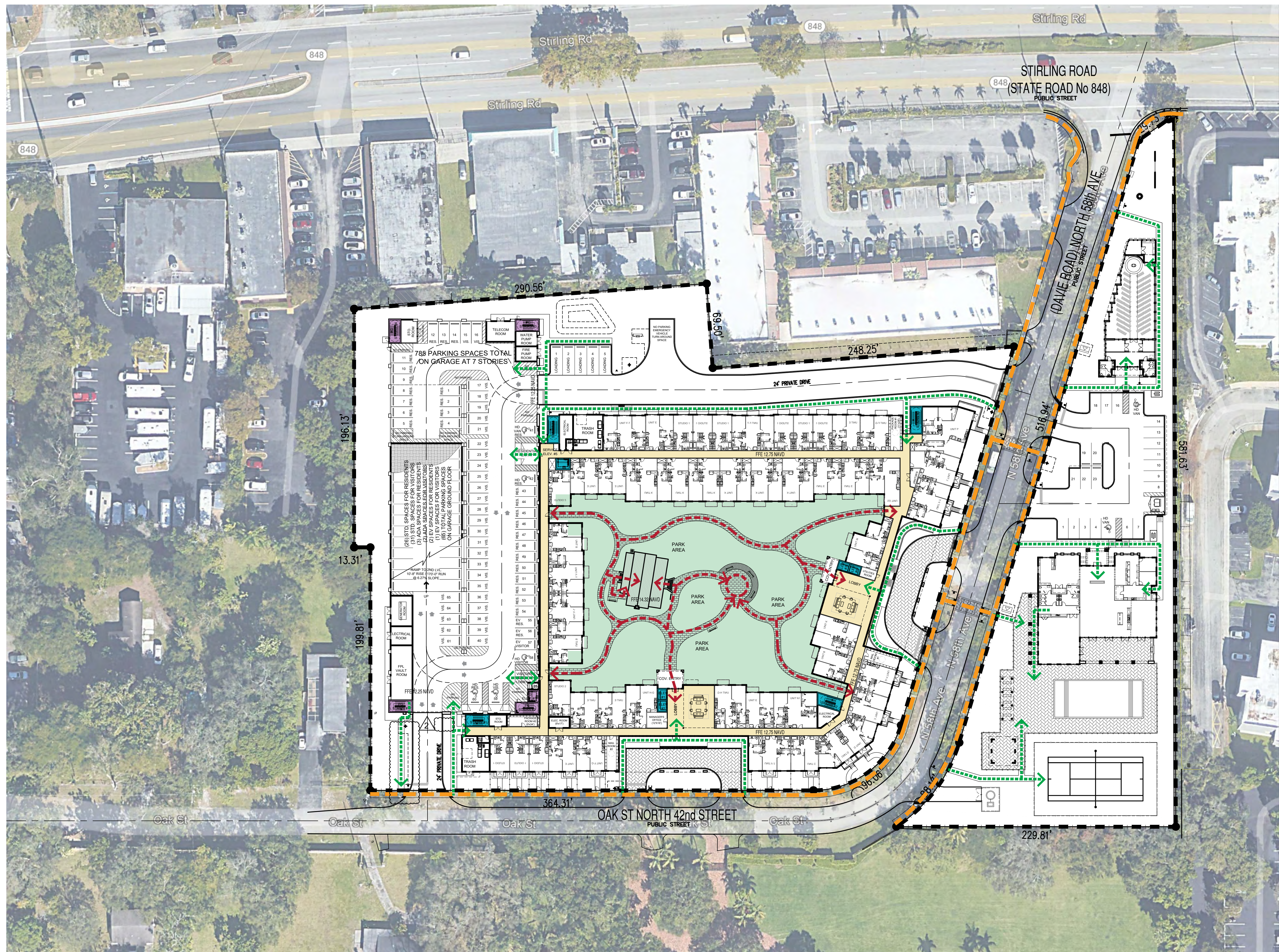
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MSP-2

SHEET NO.:

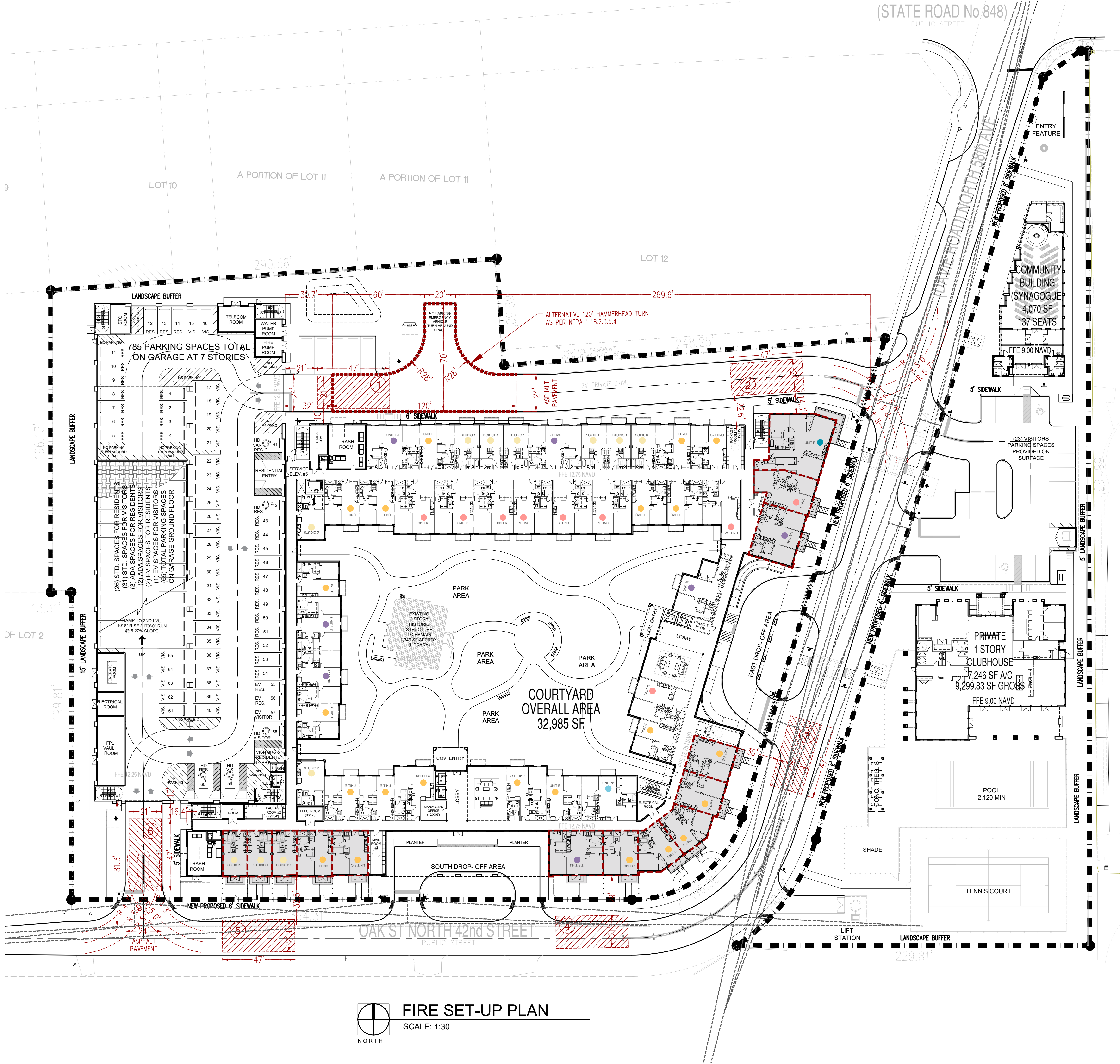


PEDESTRIAN CIRCULATION

SCALE: 1:40

NORTH

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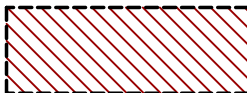


FIRE DEPARTMENT NOTES:

1. FIRE ACCESS LANES MUST BE CAPABLE OF SUPPORTING 32 TONS AND SURFACED WITH SOLID PAVEMENT, NATURAL OR CONCRETE STONES, OR GRASS TURF REINFORCED CONCRETE GRIDS OR STABILIZED SUB-GRADE CONSTRUCTION THAT MEETS THE STANDARDS OF BROWARD COUNTY PUBLIC WORKS DEPARTMENT. A REGISTERED PROFESSIONAL ENGINEER OF THE STATE OF FLORIDA MUST CERTIFY SUCH CONSTRUCTION. ACCESS LANES ARE TO BE A MINIMUM OF 20 FT. WIDE FOR TWO-WAY TRAFFIC WITH A VERTICAL CLEARANCE OF 13'-6" FT. AS PER THE FPFC NFPA 1:18.2.3.5.1.2. THE AHJ WILL ACCEPT A 15 FT. FOR A ONE-WAY TRAFFIC. LANDSCAPING WITHIN THESE LANES MUST BE APPROVED AND CONFORM TO LANDSCAPING PLANS.
2. TURNOUT LANES FOR FIRE APPARATUS SHALL HAVE A MINIMUM CENTERLINE RADIUS OF 50 FT. (T OR Y TURNAROUNDS ACCEPTABLE TO THE AHJ SHALL BE PERMITTED PER FPFC NFPA 13-5.2)
3. SET UP SITES SHALL BE NO CLOSER THAN 10 FT. OR FURTHER THAN 30 FT. FROM ANY BUILDING AND AT LEAST 21 FT. WIDE AND 47 FT. LONG WITH A CROSS SLOPE OF LESS THAN 5%. CONSTRUCTION OF THE SET-UP SITES WILL CONSIST OF STABILIZED SUB-GRADE WHICH MEETS THE STANDARDS OF BROWARD COUNTY PUBLIC WORKS DEPARTMENT, OR GRASS PAVERS OR AN EQUALLY ACCEPTABLE PRODUCT AS DETERMINED BY THE AUTHORITY HAVING JURISDICTION. SET-UP SITES MUST BE CAPABLE OF WITHSTANDING ANY POINT FORCES RESULTING FROM OUT-RIGGERS.
4. FIRE HYDRANTS AND FIRE PROTECTION APPLIANCES SHALL BE CLEAR OF ALL OBSTRUCTIONS AND LANDSCAPING OR DISTANCE OF 5 FT. TO THE FRONT AND BOTH SIDES OF THE HYDRANT OR APPLIANCE, AND 4 FT. CLEAR TO THE REAR. ALL FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED WITH 3 IN. LETTERS STATING "NO PARKING FIRE DEPARTMENT CONNECTION". ANY REQUIRED FIRE SPRINKLER POST INDICATOR VALVE AND/OR FIRE DEPARTMENT CONNECTION SHALL BE LOCATED NO LESS THAN 40 FT. FROM THE PROTECTED BUILDING. FIRE DEPARTMENT CONNECTION SHALL BE WITHIN 100 FT. OF THE CLOSEST FIRE HYDRANT.
5. AN IDENTIFICATION SYSTEM SHALL BE LOCATED AT THE ENTRANCE OF EVERY BUILDING COMPLEX CONSISTING OF 3 OR MORE BUILDINGS AND SHALL CONSIST OF A FRAMED, LIGHTED MAP OF THE DEVELOPMENT SHOWING ALL STRUCTURES AND STREETS AT AN ADEQUATE SCALE.
6. DEAD-END DRIVES SHALL BE LIMITED TO 150 FT. AND SHALL HAVE "DEAD-END" SIGNS LOCATED AT THE ENTRANCE OF EACH DRIVE. IN FULLY SPRINKLERED BUILDINGS, DEAD ENDS MAY BE UP TO 250 FT. TURN-AROUND SHALL BE APPROVED PER THE FPFC NFPA 1:18.2.3.5.4.
7. GATED ENTRANCES SHALL BE PROVIDED WITH ELEVATOR LOCK BOXES CONTAINING A SWITCH OR LEVER TO ACTIVATE GATES FOR FIRE DEPARTMENT ENTRY. THE MINIMUM WIDTH SHALL BE 15 FT. CLEAR AND CANNOT BE LOCATED WITHIN THE TURNING RADIUS OF ANY DRIVE. GATES WITHIN A TURNING RADIUS SHALL BE MIN. 20 FT. CLEAR.
8. BUILDING SHALL BE FULLY SPRINKLERED.
9. TOP OF LIVING AREA ARE BELOW 75'-0" HEIGHT FROM EACH SET-UP SITE. SEE TABLE BELOW FOR ADDITIONAL INFORMATION.
10. NO ACCESS ROADS COVERED OR GATED IN THIS PROJECT.
11. ALTERNATIVE 120' HAMMERHEAD TURN-AROUND PROVIDED FOR DEAD-END DRIVE OVER 250 FT AS PER THE FPFC NFPA 1:18.2.3.5.4

LEVELS UP TO TOP LIVING FLOOR	TOP FLOOR HEIGHT (FROM FINISHED FLOOR) (FFE 12.75' NAVD)	LOWEST POINT OF SET-UP SITE (NAVD)	TOP FLOOR HEIGHT FROM MIN. LOWEST POINT OF SET-UP SITE (NAVD)	SET-UP SITE (#)
8	70'-8"	11.40'	74'-10"	1
		12.05'		2
		8.57'		3
		11.10'		4
		10.98'		5
		11.60'		6

LEGEND

 DENOTES FIRE SET-UP SITE
21' x 47'
DISTANCE TO BUILDING NO CLOSER THAN 10 FT AND NO FURTHER THAN 30 FT.

 EMERGENCY VEHICLE TURNING RADIUS

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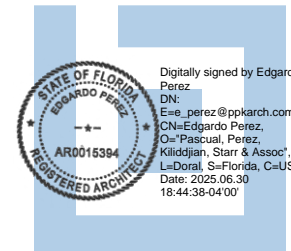
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HOLLYWOOD, FLORIDA

SEAL:



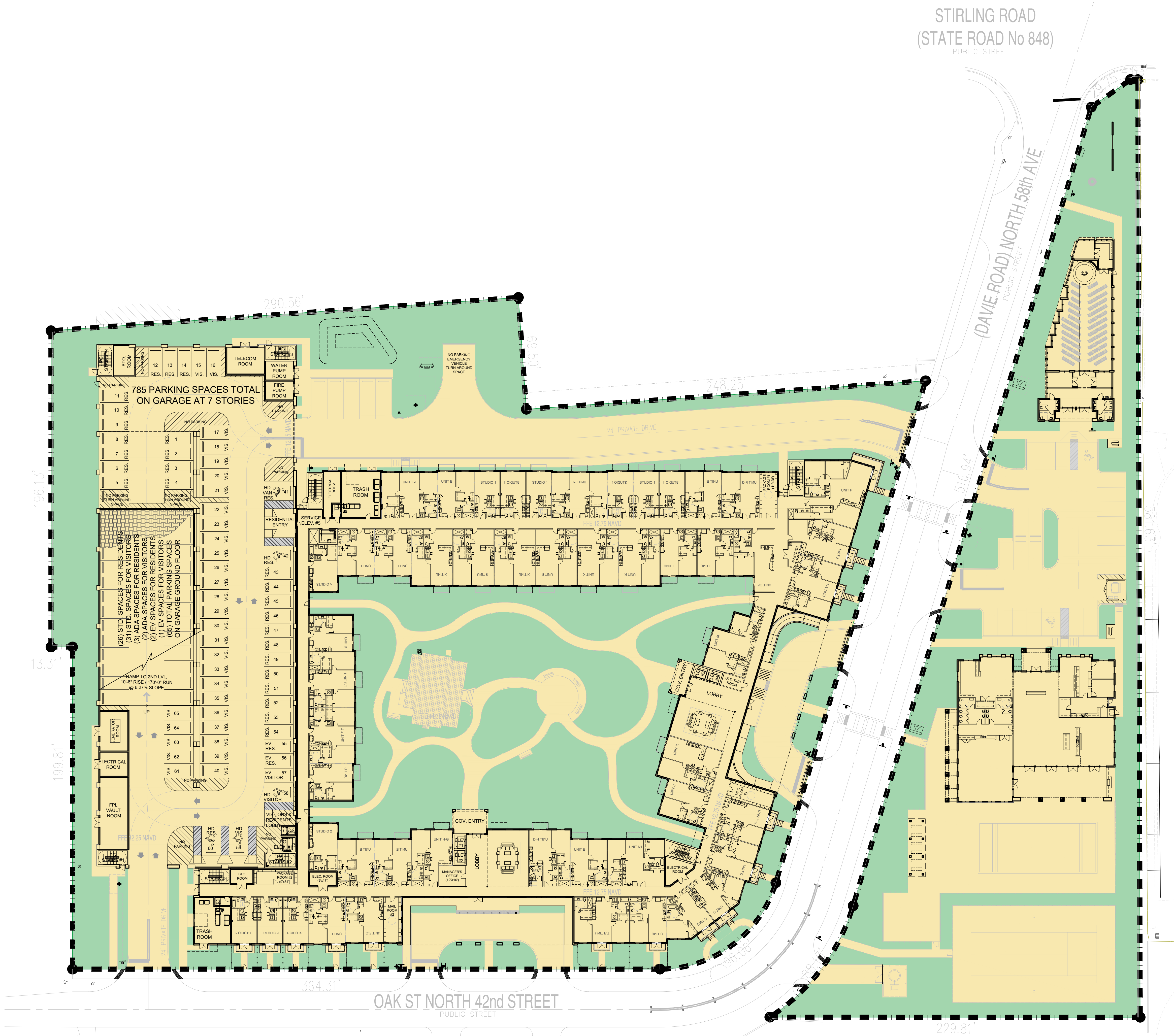
FIRE SET-UP PLAN

FIRE PLAN

DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

FP-1

SHEET NO.:

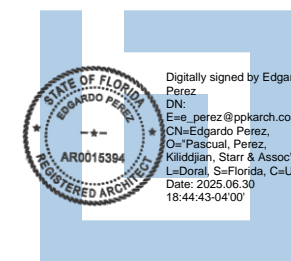


LEGEND

- DENOTES PERVIOUS SURFACES
- DENOTES IMPERVIOUS SURFACES

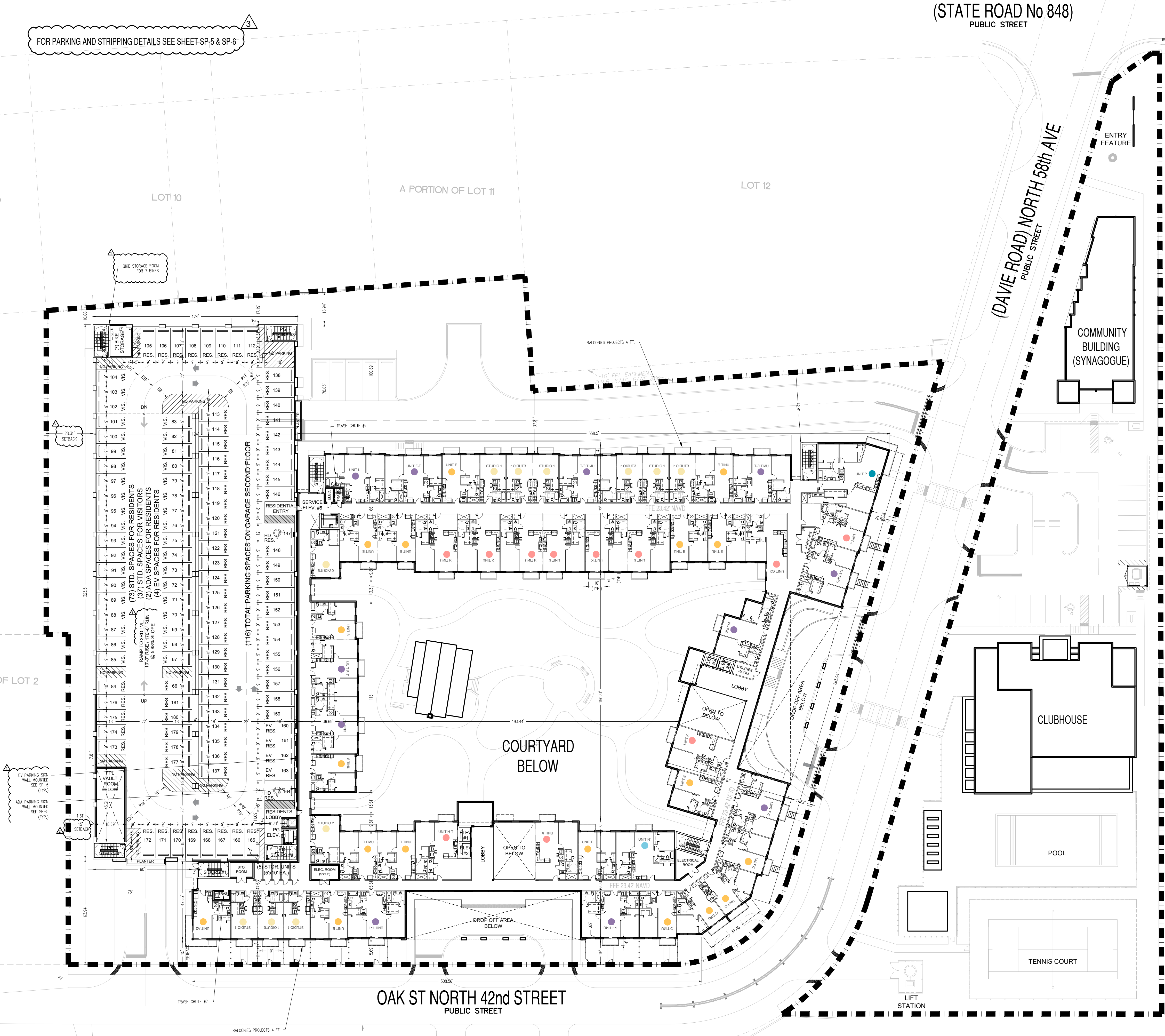
AREA CALCULATIONS	SF	%
RESIDENTIAL BLDG. FOOTPRINT	55,651.54	
GARAGE BLDG. FOOTPRINT	39,734.86	
CLUBHOUSE FOOTPRINT	9,299.83	
COMMUNITY BLDG. (SYNAGOGUE)	4,070.51	
EXISTING HISTORIC BLDG. FOOTPRINT (PROPOSED LIBRARY, GROSS AREA)	1,400.00	
TOTAL BUILDING FOOTPRINTS	110,156.74	44.09%
STREETS & PAVED AREAS	28,062.23	11.23%
PEDESTRIAN SIDEWALKS	16,415.38	6.57%
POOL & POOL DECK	9,882.40	3.96%
TENNIS COURT	6,037.25	2.42%
LIFT STATION	299.02	0.12%
UNENCUMBERED "LANDSCAPED" GREEN OPEN SPACE (5% MIN. REQUIRED) (REFERS TO LANDSCAPED OR GREEN PERVIOUS AREAS)	78,999.98	31.62%
TOTAL	240,855.00	100.00%

PERVIOUS / IMPERVIOUS AREA	ALLOWED/ REQUIRED	PROVIDED
PERVIOUS AREA SF (INCLUDES LANDSCAPED AREAS = UNENCUMBERED GREEN OPEN SPACE)	BY CITY COMMISSION	78,999.98
PERVIOUS AREA %	BY CITY COMMISSION	31.62%
IMPERVIOUS AREA SF	BY CITY COMMISSION	170,853.02
IMPERVIOUS AREA %	BY CITY COMMISSION	68.38%



FOR PARKING AND STRIPPING DETAILS SEE SHEET SP-5 & SP-6

(STATE ROAD No 848)
PUBLIC STREET



SECOND FLOOR PLAN

SCALE: 1:30

SITE PLAN NOTES:

- ALL CHANGES TO THE THE PD MASTER PLAN AND SITE PLAN SHALL FOLLOW THE REQUIREMENTS OF SECTION 4.15.G. CONFORMANCE TO APPROVED MASTER DEVELOPMENT PLAN AND SITE PLAN.
- PROJECT SHALL MEET THE "GREEN BUILDING REQUIREMENTS" SET IN CHAPTER 151 BY THE CITY OF HOLLYWOOD.
- FOR CONSTRUCTION PHASES, REFER TO SHEET MSP-1
- GARBAGE WILL BE PICKUP FROM THE TWO TRASH ROOMS LOCATED ON EACH END OF THE RESIDENTIAL BUILDING ADJACENT TO THE GARAGE. ALSO, SEE GARBAGE TRUCK MANEUVERING PLAN PROVIDED BY ENGINEER.
- ALL MECHANICAL EQUIPMENT ON ROOFTOP SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY.
- THE PROJECT SHALL MEET THE REQUIREMENTS OF THE CITY'S FLOOD PLAN ORDINANCE AND WILL BE REVIEWED AT THE TIME OF PERMITTING.
- PARKING GARAGE VENTILATION CALCULATIONS WILL BE PROVIDED AT TIME OF BUILDING PERMIT.
- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH ARTICLE 8 SIGN REGULATION
- ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRED A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.
- INSTALLATION OF SIGNAGE, PAVEMENT MARKINGS AND OTHER NEED IT ITEMS DEALING WITH ROADWAY CONSTRUCTION WORK SHALL CONFORM TO ALL APPLICABLE REQUIRED STANDARDS OF THE CITY OF HOLLYWOOD, BROWARD COUNTY, PUBLIC WORKS AND FIRE RESCUE DEPARTMENTS. REF. CIVIL DWGS.
- BUILDING WILL COMPLY WITH THE CITY ARTS AND PUBLIC SPACES PROGRAM.
- MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTIES LINES MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL.
- ALL ABOVE GROUND EQUIPMENT WHERE REQUIRED FOR SCREENING PURPOSES, HEDGE SHALL BE PLANTED AT EQUIPMENT HEIGHT FOR VISUAL SCREENING.
- REFERENCE LANDSCAPE PLANS FOR DETAILS.
- TREES AND PALMS SHALL NOT BE REMOVED WITHOUT FIRST OBTAINING AN APPROVED TREE REMOVAL PERMIT FROM THE CITY OF HOLLYWOOD.
- ALL LANDSCAPING SHALL BE WARRANTED FOR 1 YEAR AFTER FINAL INSPECTION.
- 100% IRRIGATION COVERAGE SHALL BE PROVIDED AT TIME OF BUILDING PERMIT.
- THE BOTTOM ELEVATION OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE ELEVATED TO BFE +1', AT THE MINIMUM.
- BUILDING SHALL BE CLASSIFIED AS A (MID-RISE BUILDING) WHERE THE FLOOR OF AN OCCUPIABLE STORY IS LESS THAN 75 FT ABOVE THE LOWEST LEVEL OF THE FIRE DEPARTMENT VEHICLE. SEE SP-1.3 FOR MORE FIRE SET-UP PLAN.
- NO BALCONIES AT GROUND LEVEL. BALCONIES ONLY FROM 2ND TO 8TH FLOOR. OVERHEAD WILL ENCROACH 4 FT AT GROUND LEVEL.
- PRIVATE CLUBHOUSE PARKING WILL BE EXCLUSIVELY FOR THE RESIDENTS OF THIS COMMUNITY ACCESSING THE CLUBHOUSE IN A PEDESTRIAN MANNER.
- SYNAGOGUE PARKING WILL BE PRIMARILY FOR THE RESIDENTS OF THIS COMMUNITY AND NEARBY RESIDENTS ACCESSING THE SYNAGOGUE IN A PEDESTRIAN MANNER.
- THE HISTORIC STRUCTURE WILL BE A GENERAL AMENITY FOR THE RESIDENTS WITH A LOW-IMPACT MULTIPURPOSE USE.

UNIT MIX COLOR LEGEND

- STUDIO UNITS
- 1 BEDROOM UNITS
- 1 BEDROOM + DEN UNITS
- 2 BEDROOM UNITS
- 2 BEDROOM + DEN UNITS
- 3 BEDROOM UNITS

**PASCUAL
PEREZ
KILIDDJIAN
STARR**

ARCHITECTS + PLANNERS

LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE NO.: AR 0015394
MARIO P. PASQUAL, AIA
LICENSE NO.: AR 0008254
PETER KILIDDJIAN, RA
LICENSE NO.: AR 0093067
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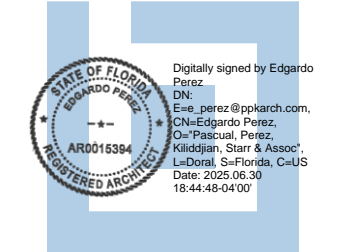
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- TAC - REV. 2 - 2025.05.09
- TAC - REV. 3 - 2025.06.30

OWNER:

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Suite 201
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SITE PLAN

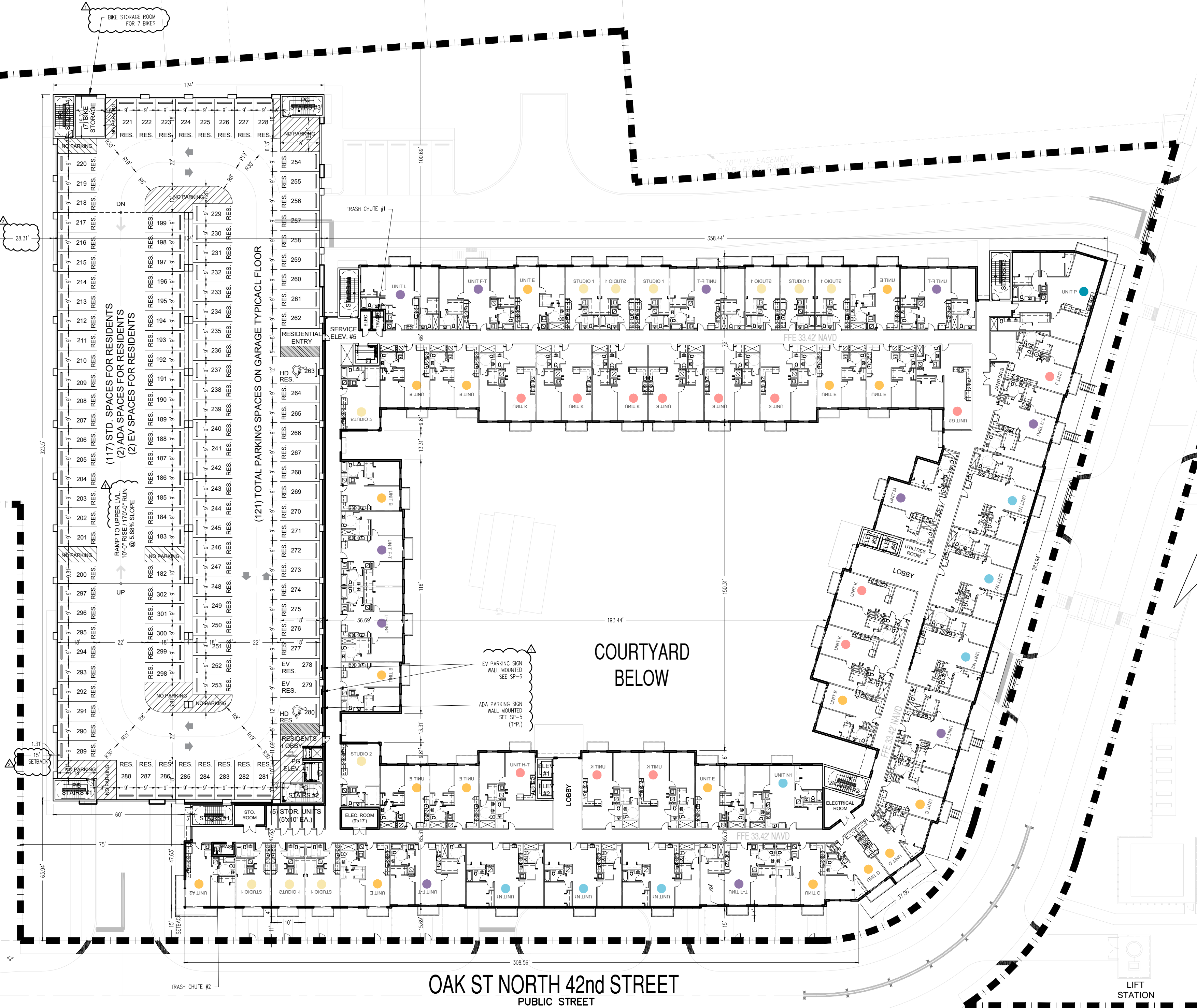
SECOND FLOOR

DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SP-2

SHEET NO.:

FOR PARKING AND STRIPPING DETAILS SEE SHEET SP-5 & SP-6



3RD FLOOR PLAN

SCALE: 1:30

OVERALL UNIT BREAKDOWN TABLE & RESIDENTIAL AREA CALCULATIONS

UNIT TYPE	No. BED/BATH	NET UNIT AREA (A/C ONLY, NO BALCONY)	GROSS UNIT AREA (W/BALCONY)	UNIT COUNT PER FLOOR								TOTAL No. UNITS		%	AVERAGE UNIT SIZE (BASED ON UNIT NET AREA)		
				1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	7TH FLOOR	8TH FLOOR						
STUDIO 1	STUDIO	480 SF	550 SF	9	9	9	9	9	9	9	9	72	STUDIO	88	18.72 %	515 SF	
STUDIO 2	STUDIO	550 SF	550 SF	2	2	2	2	2	2	2	2	16					
UNIT A	1 / 1	616 SF	656 SF	0	1	1	1	1	1	1	1	7	1 BED	148	31.49 %	686 SF	1 BED 246 UNITS TOTAL @ 52.34%
UNIT B	1 / 1	653 SF	693 SF	3	3	3	3	3	3	3	3	24					
UNIT C	1 / 1	671 SF	711 SF	2	2	2	2	2	2	2	2	16					
UNIT D	1 / 1	677 SF	734 SF	2	2	2	2	2	2	2	2	16					
UNIT E	1 / 1	685 SF	725 SF	10	10	10	10	10	10	10	10	80					
UNIT F-G	1 / 1	692 SF	732 SF	3	0	0	0	0	0	0	0	3					
UNIT H-G	1 / 1.5	811 SF	851 SF	2	0	0	0	0	0	0	0	2					
UNIT J	1 + DEN / 1.5	864 SF	904 SF	1	1	1	1	1	1	1	1	8	1 BED + DEN	98	20.85 %	935 SF	
UNIT G2	1 + DEN / 1	913 SF	953 SF	1	1	1	1	1	1	1	1	8					
UNIT K	1 + DEN / 1.5	926 SF	966 SF	7	8	10	10	10	10	10	10	75					
UNIT H-T	1 + DEN / 1.5	1,038 SF	1,078 SF	0	1	1	1	1	1	1	1	7					
UNIT L	2 / 2	970 SF	1,010 SF	0	1	1	1	1	1	1	1	7	2 BED	84	17.87 %	999 SF	2 BED 128 UNITS TOTAL @ 27.23%
UNIT F-T	2 / 2	1,017 SF	1,057 SF	6	9	9	9	9	9	9	9	69					
UNIT M	2 / 2	1,010 SF	1,050 SF	1	1	1	1	1	1	1	1	8					
UNIT N1	2 + DEN / 2	1,070 SF	1,110 SF	1	1	4	4	4	4	4	4	26	2 BED + DEN	44	9.36 %	1,161 SF	
UNIT N2	2 + DEN / 2	1,251 SF	1,291 SF	0	0	3	3	3	3	3	3	18					
UNIT P	3 / 2	1,566 SF	1,706 SF	1	1	1	1	1	1	1	1	8	3 BED	8	1.70 %	1,566 SF	
TOTAL UNITS PER FLOOR				51	53	61	61	61	61	61	61	61	470		81.28 %	999 SF	
AREAS FOR RESIDENTIAL BUILDING ONLY (PARKING GARAGE IS NOT INCLUDED IN COUNT)				TOTAL BY FLOOR (SF)								TOTAL BUILDING					
TOTAL NET RESIDENTIAL AREA (NET UNIT AREA) (A/C AREA ONLY)				38,622.12	41,592.20	50,281.56	50,281.56	50,281.56	50,281.56	50,281.56	50,281.56	381,903.68 SF					
TOTAL GROSS RESIDENTIAL AREA (GROSS UNIT AREA) (A/C + BALCONY)				39,659.16	43,775.86	52,785.61	52,785.61	52,785.61	52,785.61	52,785.61	52,785.61	400,148.68 SF					
TOTAL GROSS BUILDING AREA (INCLUDES UNIT NET AREA + BALCONIES + ANCILLARY AREAS + CIRCULATION AREAS)				55,995.10	56,601.17	63,653.91	63,653.91	63,653.91	63,653.91	63,653.91	63,653.91	494,519.73 SF					
EFFICIENCY % (GROSS RESIDENTIAL AREA VS. GROSS BUILDING AREA)				70.83 %	77.34 %	82.93 %	82.93 %	82.93 %	82.93 %	82.93 %	82.93 %	80.92 %					

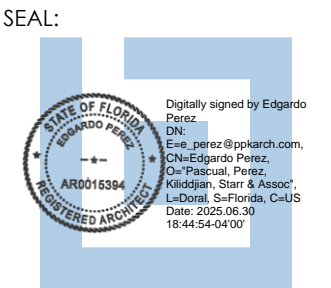
BUILDING CONSTRUCTION AREA (GROSS AREA)
RESIDENTIAL BUILDING ONLY @ 8 STORIES = 494,519 SF
GARAGE WITH 786 SPACES @ 7 STORIES = 278,144 SF
TOTAL RESIDENTIAL BUILDING AND GARAGE CONSTRUCTION AREA = 772,663 SF

UNIT MIX COLOR LEGEND	
STUDIO UNITS	
1 BEDROOM UNITS	
1 BEDROOM + DEN UNITS	
2 BEDROOM UNITS	
2 BEDROOM + DEN UNITS	
3 BEDROOM UNITS	

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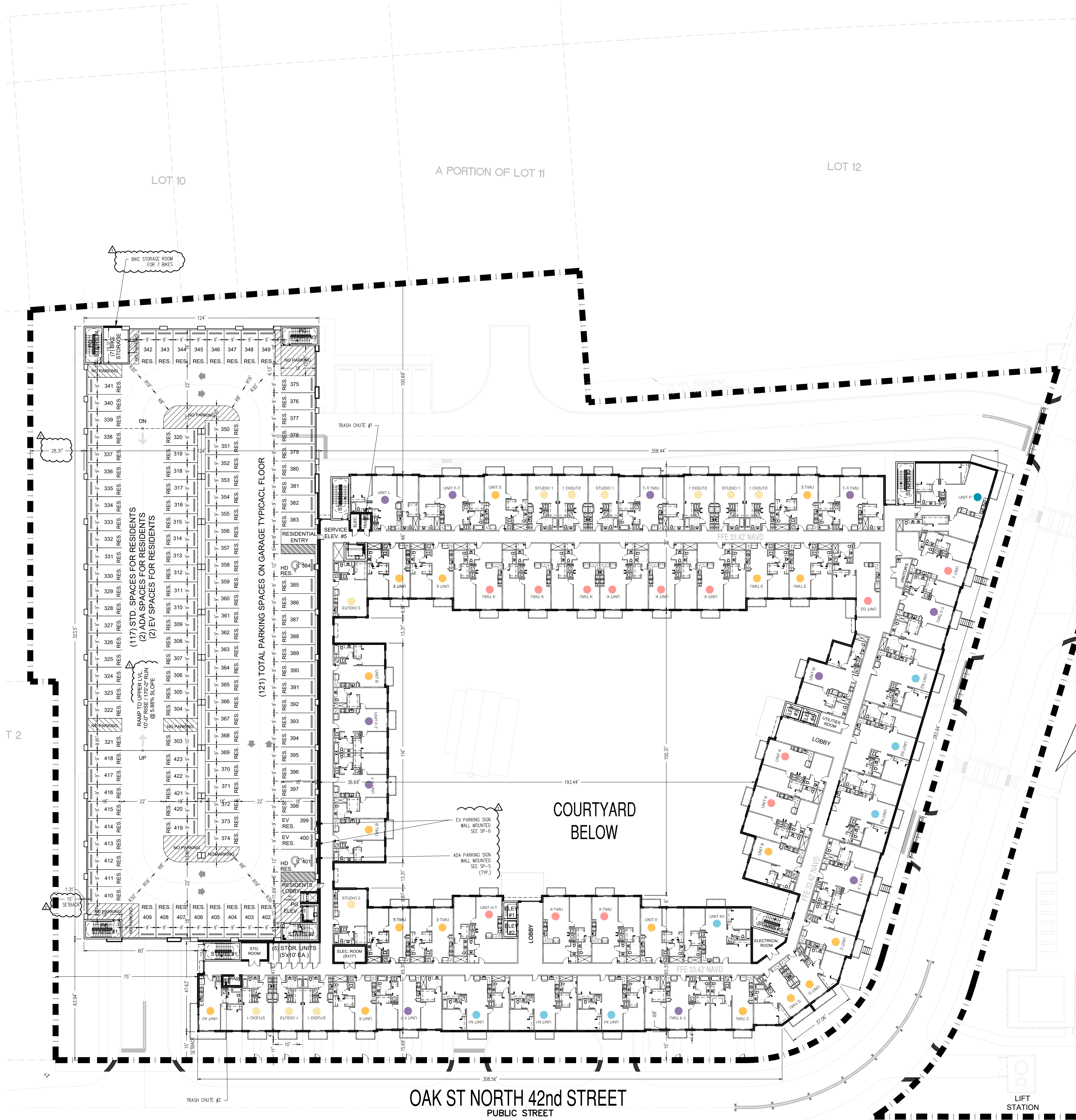
SITE PLAN

3RD FLOOR
DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SP-3.1

SHEET NO.:

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4TH FLOOR PLAN

SCALE: 1:30

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STARR**

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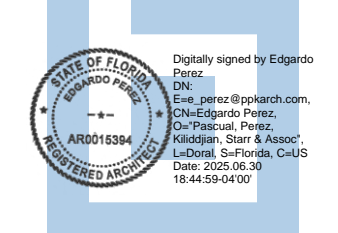
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SITE PLAN

4TH FLOOR

DATE: 2024-06-30

SCALE: AS SHOWN

DRAWN: SJ

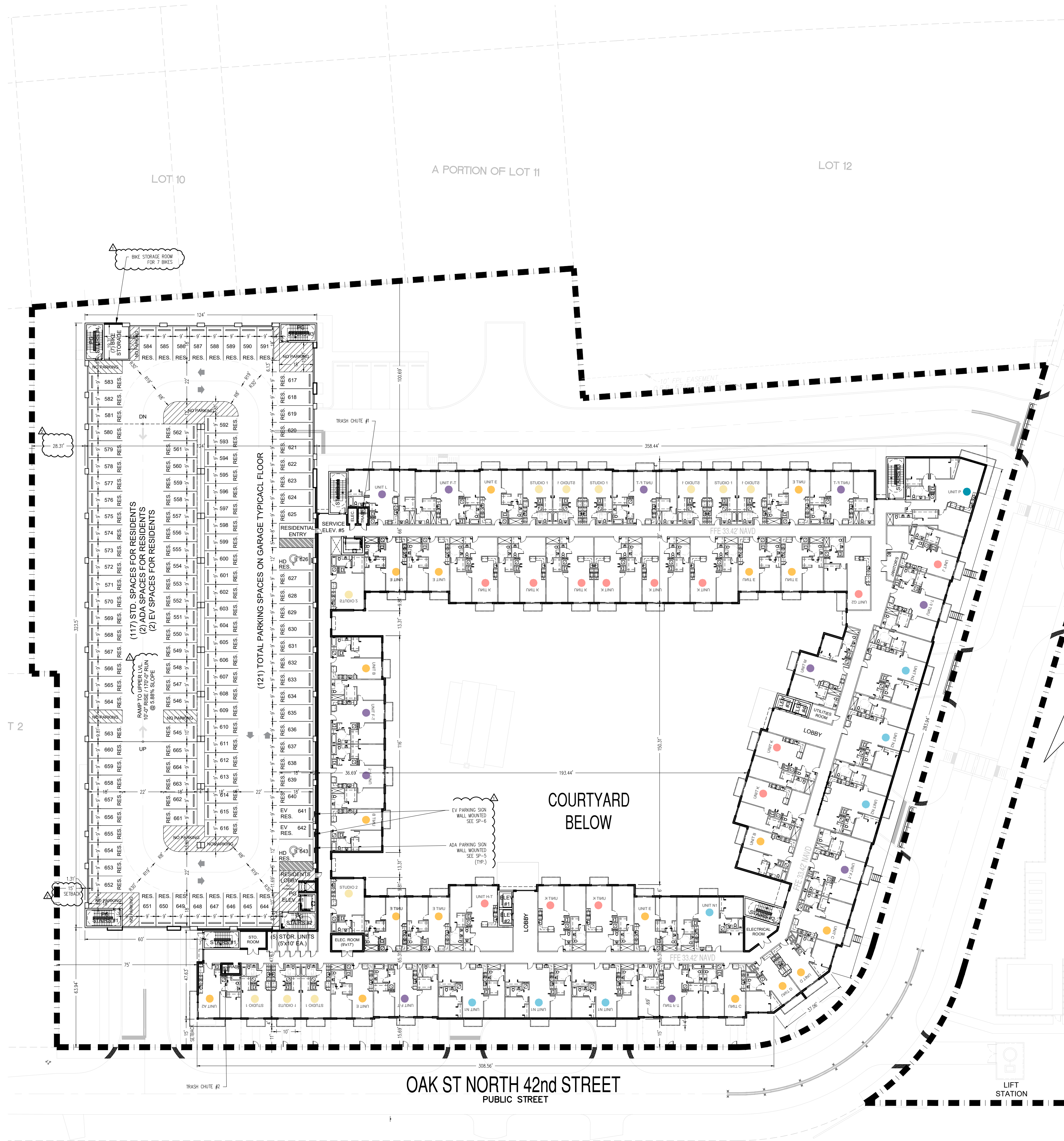
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SP-3.2

FOR PARKING AND STRIPPING DETAILS SEE SHEET SP-5 & SP-6



6TH FLOOR PLAN

SCALE: 1:30

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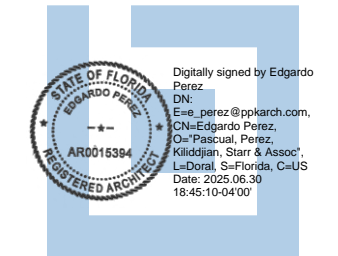
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SITE PLAN

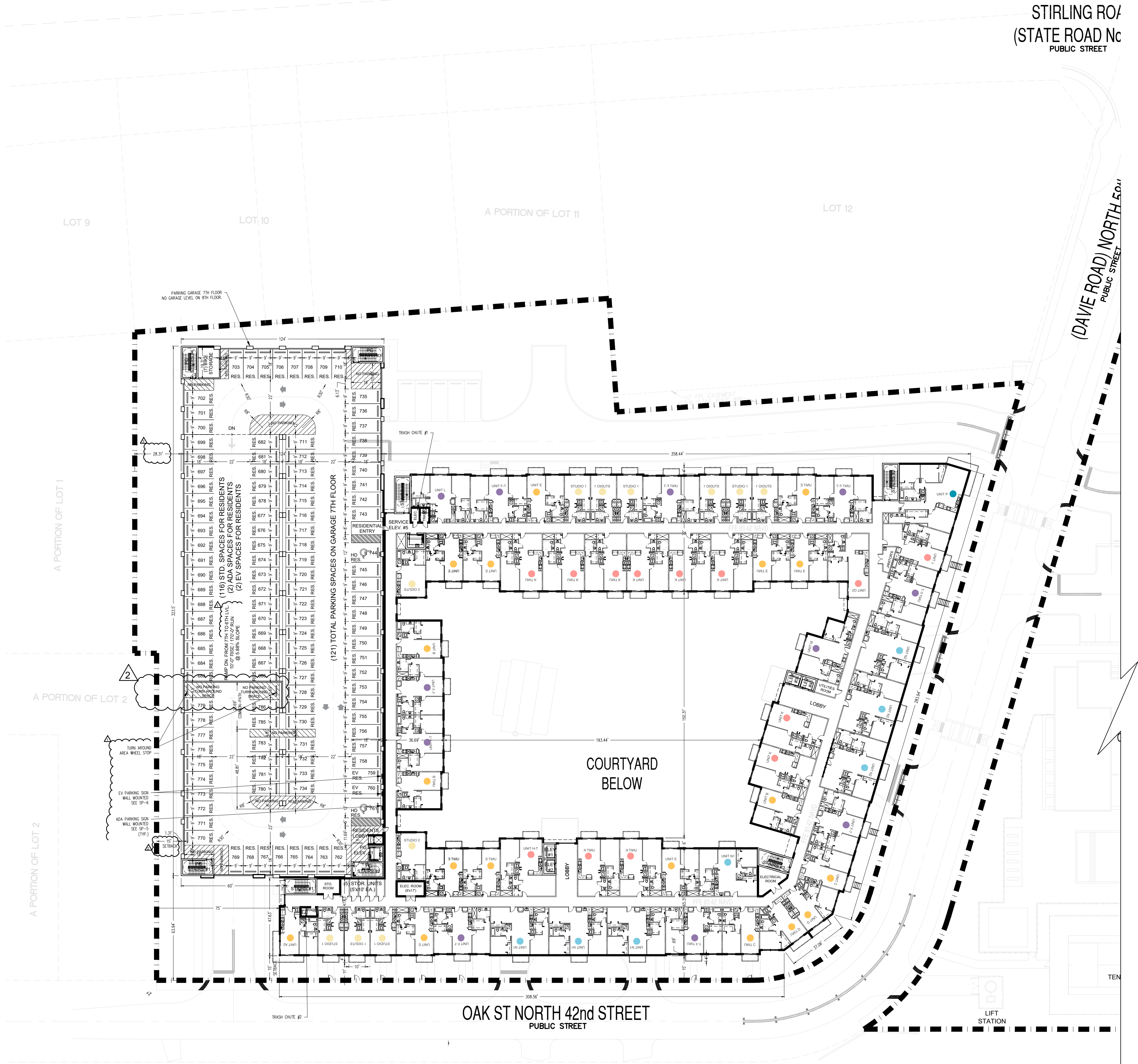
6TH FLOOR

DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SP-3.4

SHEET NO.:

FOR PARKING AND STRIPPING DETAILS SEE SHEET SP-5 & SP-6



7TH FLOOR PLAN

SCALE: 1:30

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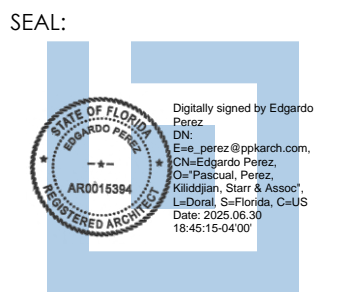
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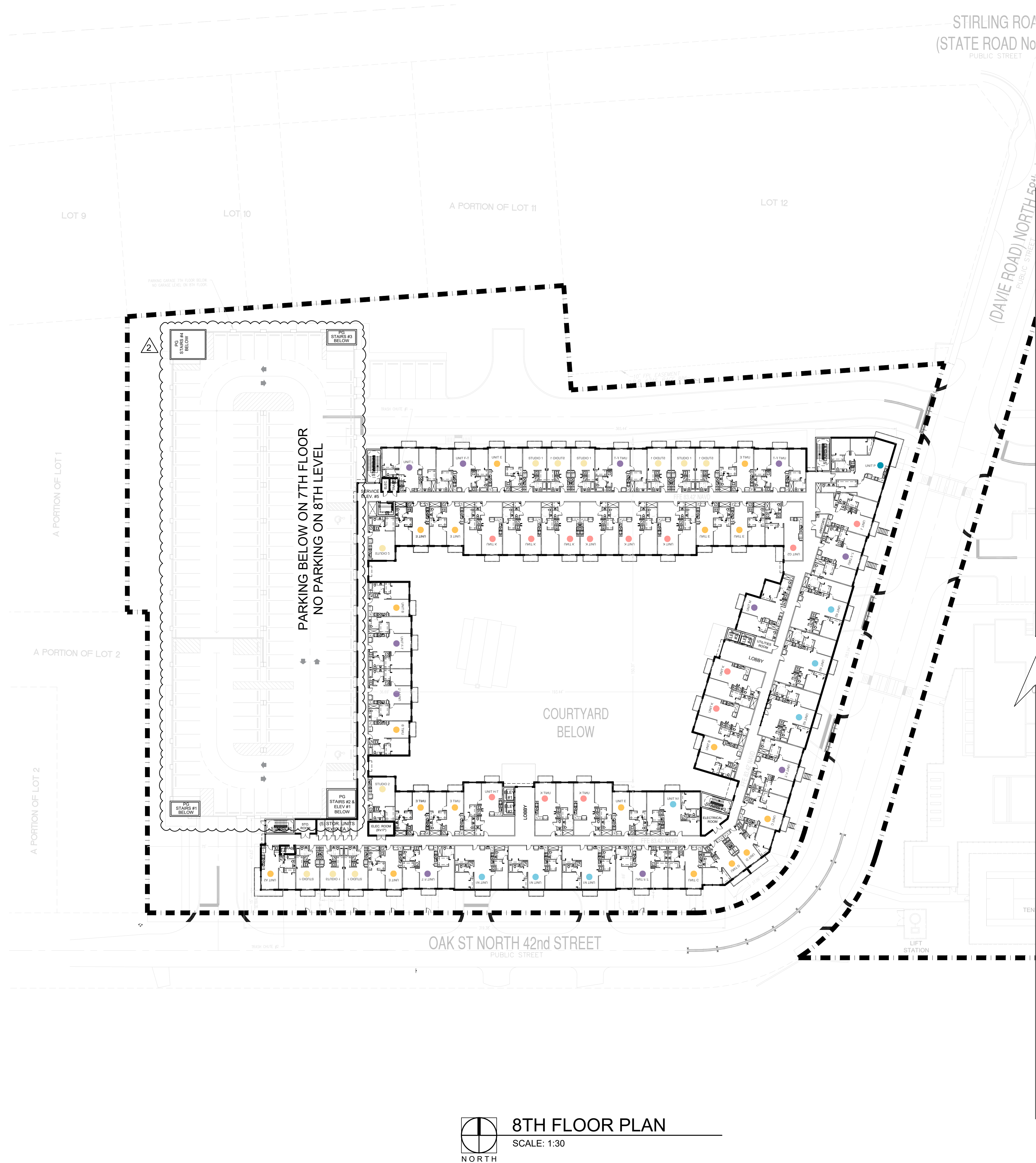


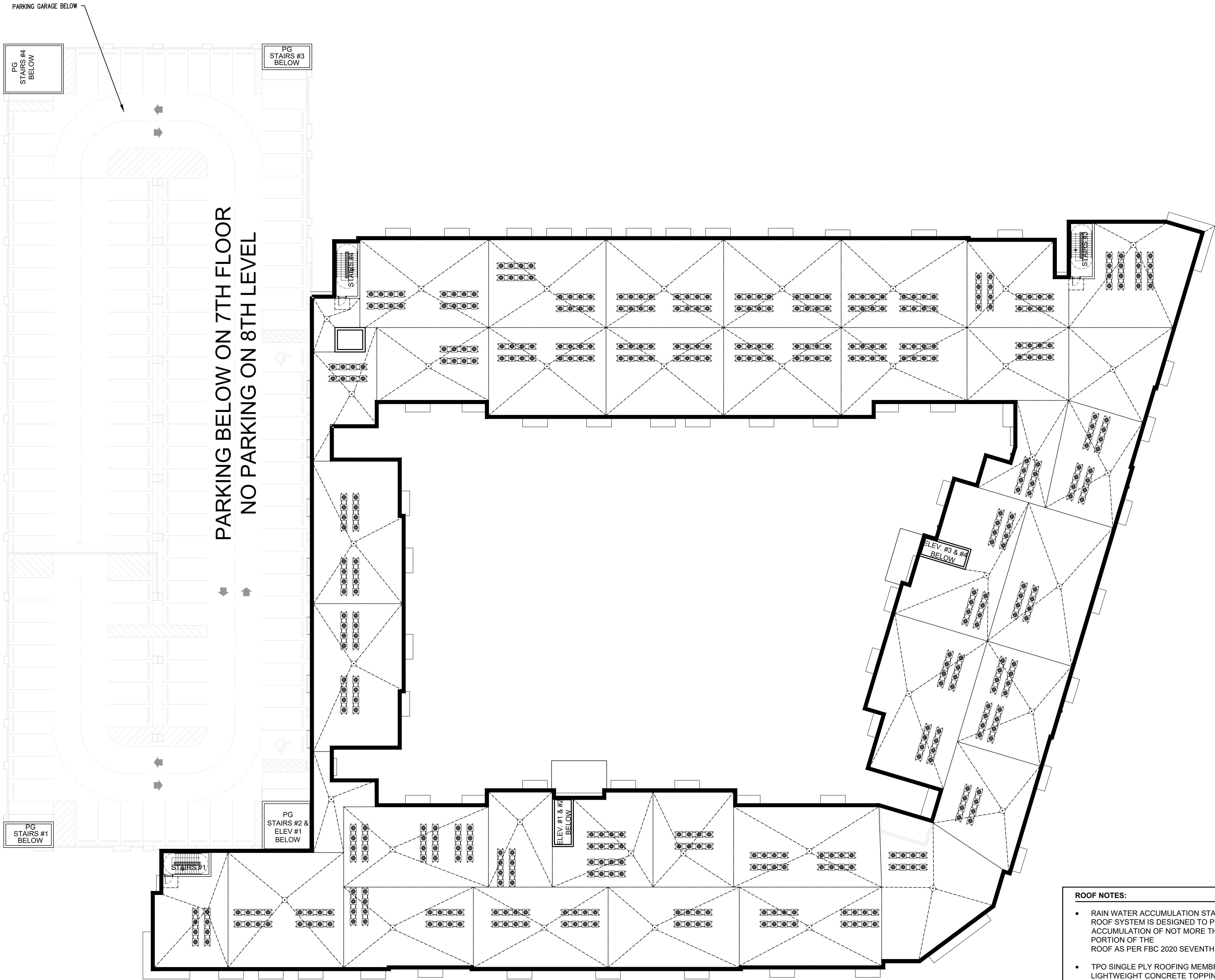
SITE PLAN

7TH FLOOR
DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SP-4

SHEET NO.:





ROOF PLAN

SCALE: 1:20

ROOF NOTES:

- RAIN WATER ACCUMULATION STATEMENT:
ROOF SYSTEM IS DESIGNED TO PREVENT THE
ACCUMULATION OF NOT MORE THAN 5" OF WATER ON ANY
PORTION OF THE
ROOF AS PER FBC 2020 SEVENTH EDITION SECTION 1611.1.
- TPO SINGLE PLY ROOFING MEMBRANE ATTACHED TO
LIGHTWEIGHT CONCRETE TOPPING OVER HIGH DENSITY
FOAM INSULATION ON CONCRETE SLAB.
PROVIDE 1/4" MIN SLOPE FROM 2" MIN AT THE DRAIN
LOCATION TO 6" MAX AT THE HIGH POINT. THE ROOF
MEMBRANE SHOULD TERMINATE 6" TO 8" HGT ALONG THE
PERIMETER OF THE PARAPET WALLS.
- SEE CIVIL DRAWING FOR ROOF DRAINAGE CONNECTION
POINTS.

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SITE PLAN

ROOF PLAN

DATE: 2024-06-30

SCALE: AS SHOWN

DRAWN: SJ

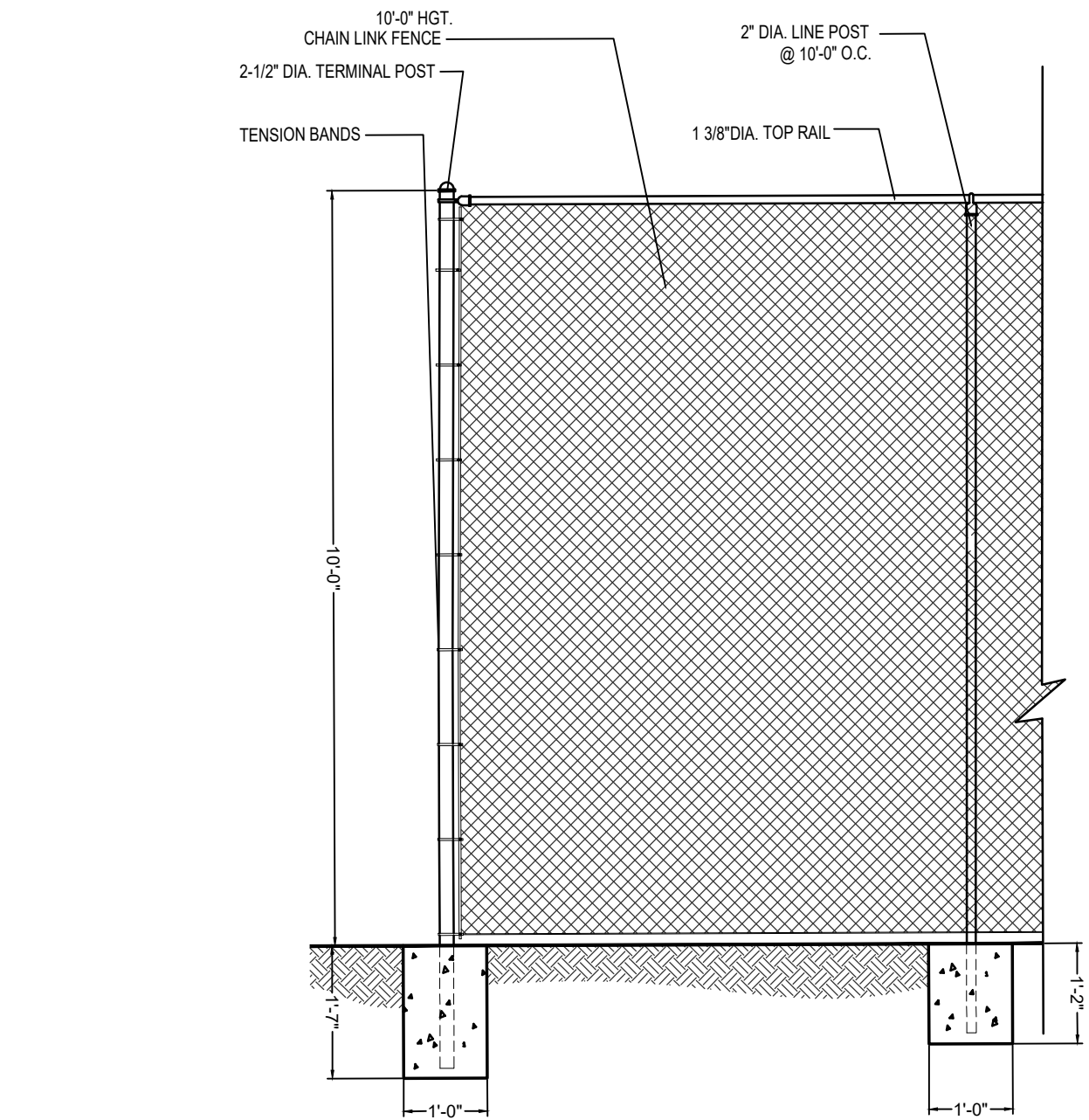
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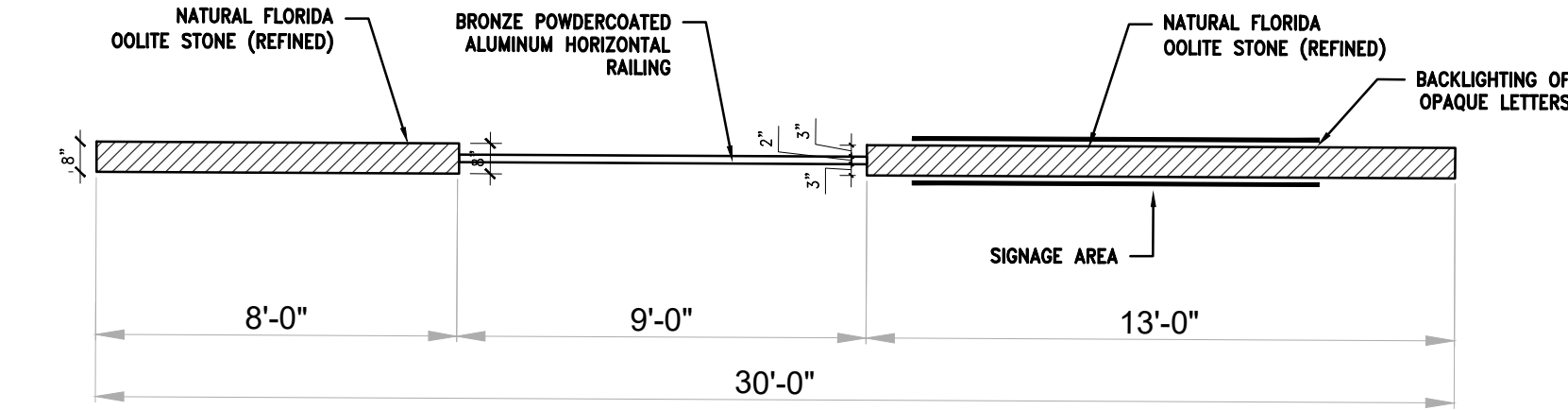
SP-4.3

SHEET NO.:

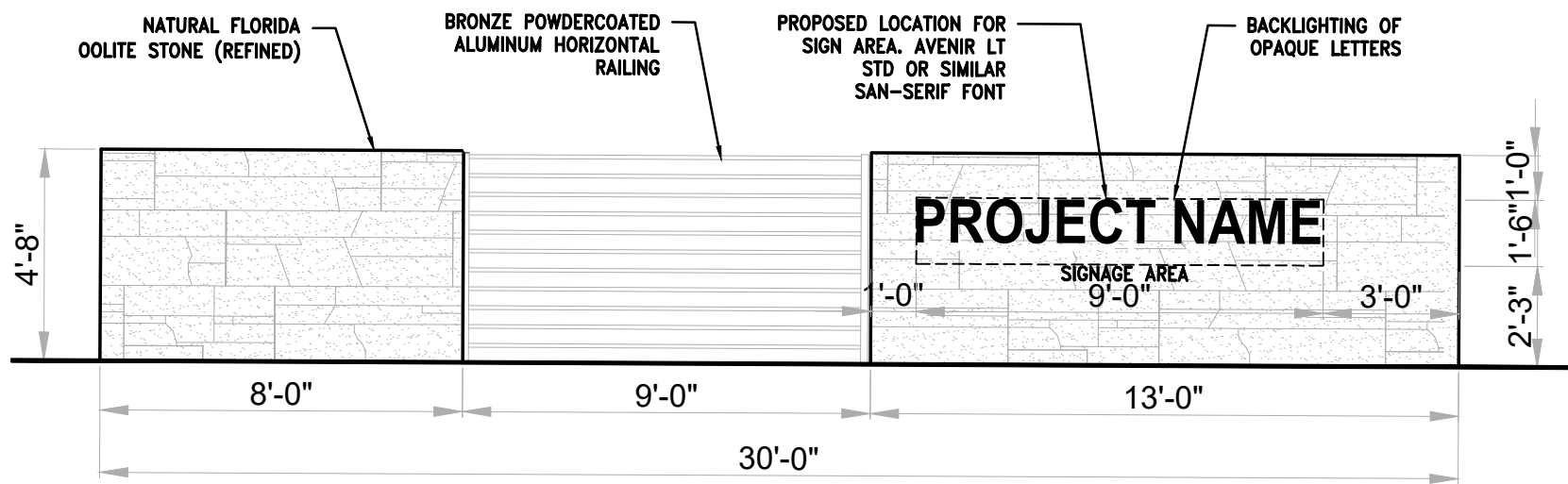
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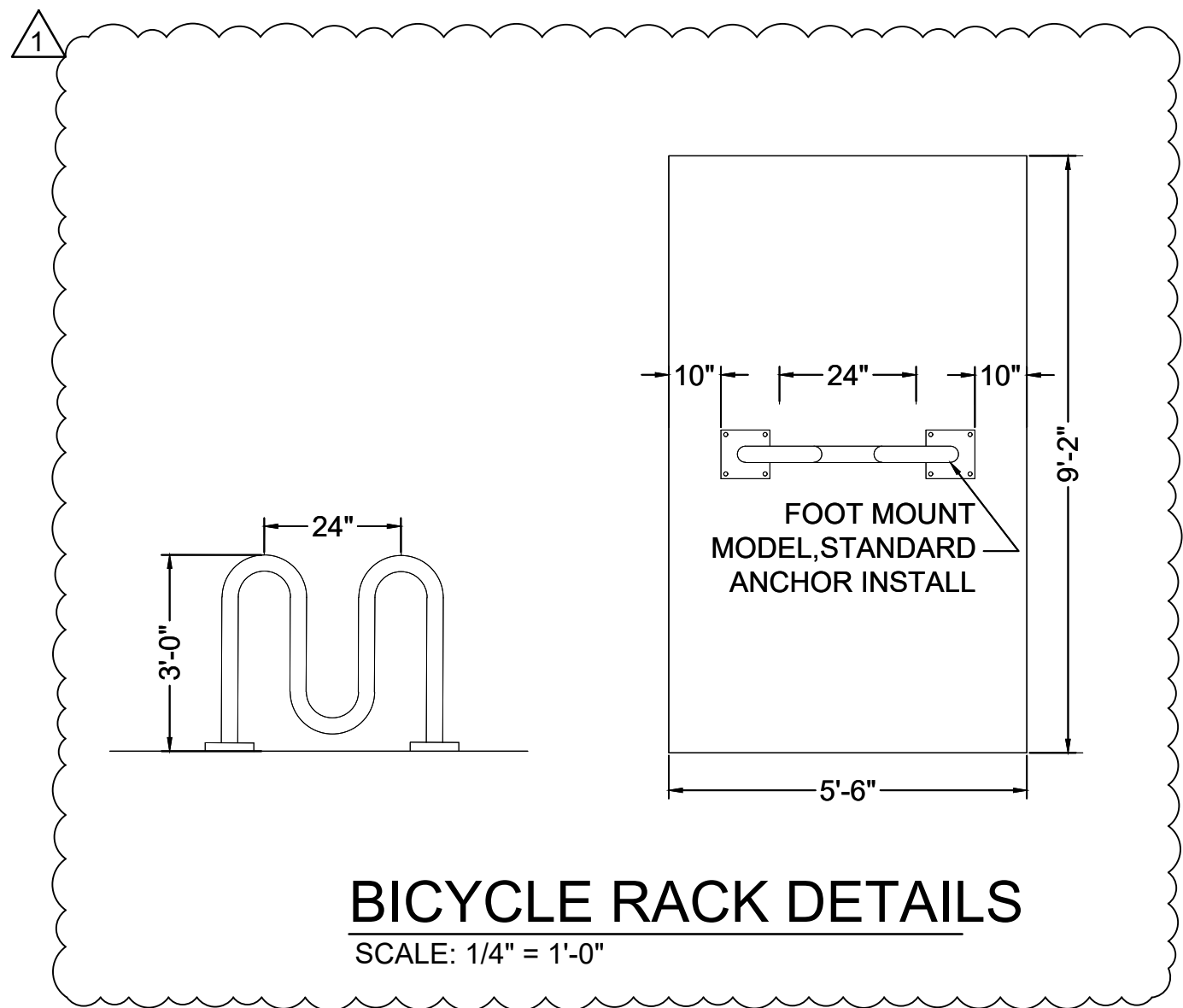
TENNIS COURT
BLACK VINYL COATED
CHAIN LINK FENCE DETAILS
SCALE: NTS



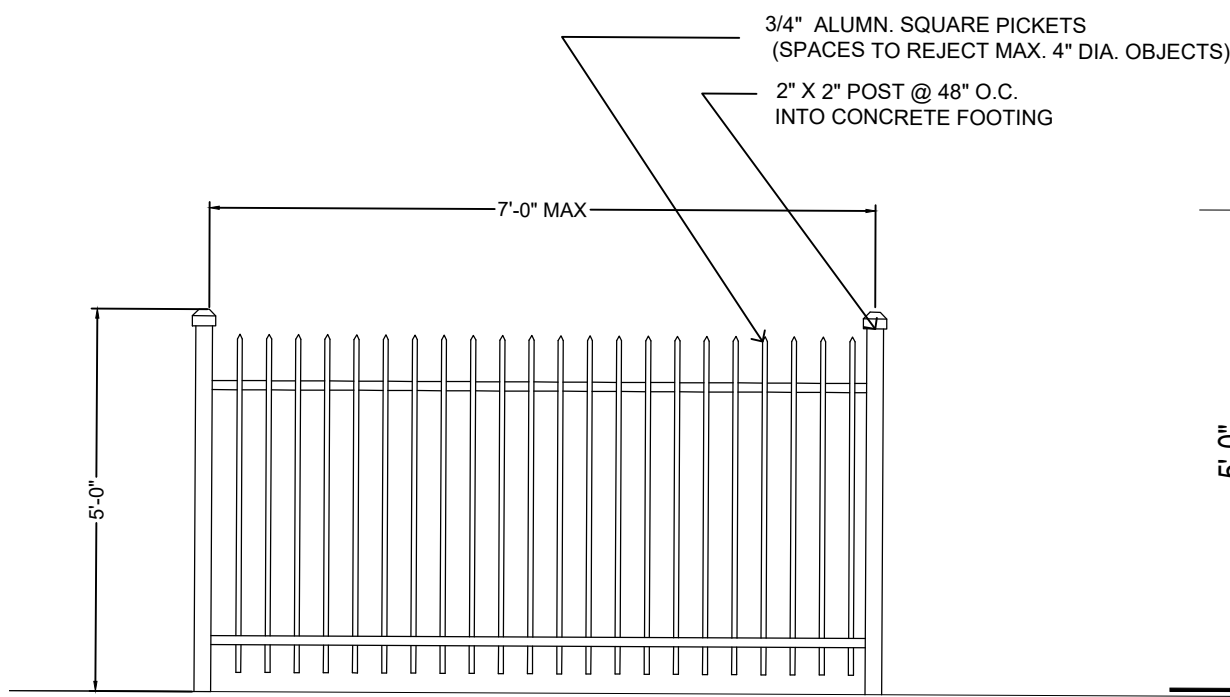
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SCALE: 1/4" = 1'-0"



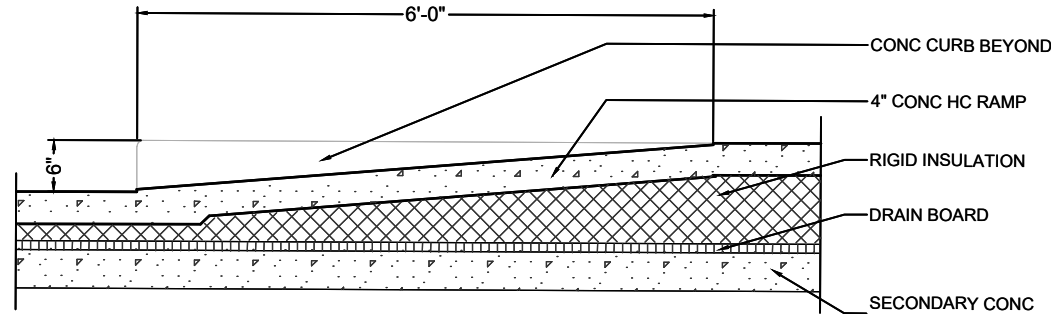
ENTRY FEATURE - FRONT ELEVATION
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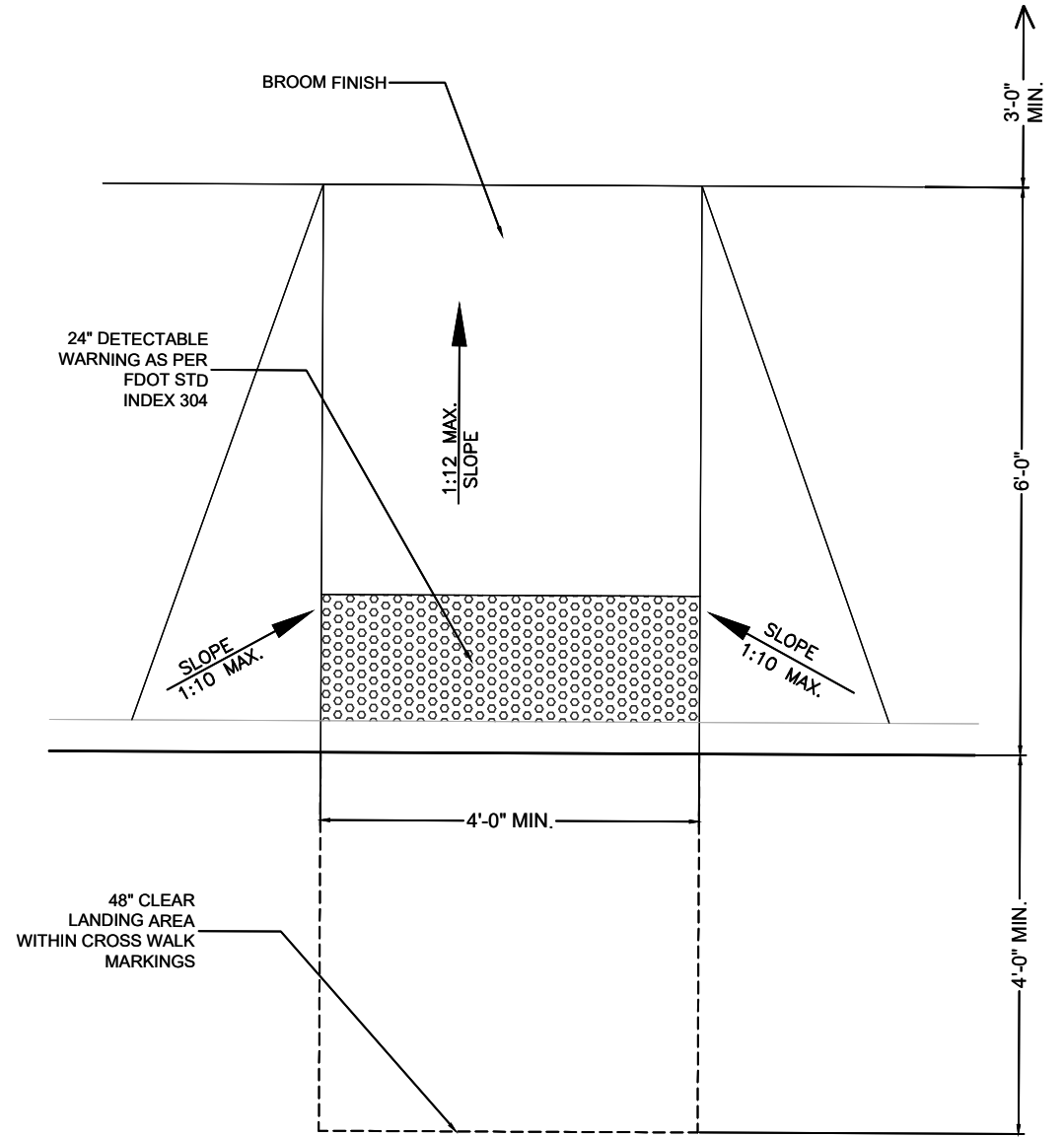
BICYCLE RACK DETAILS
SCALE: 1/4" = 1'-0"



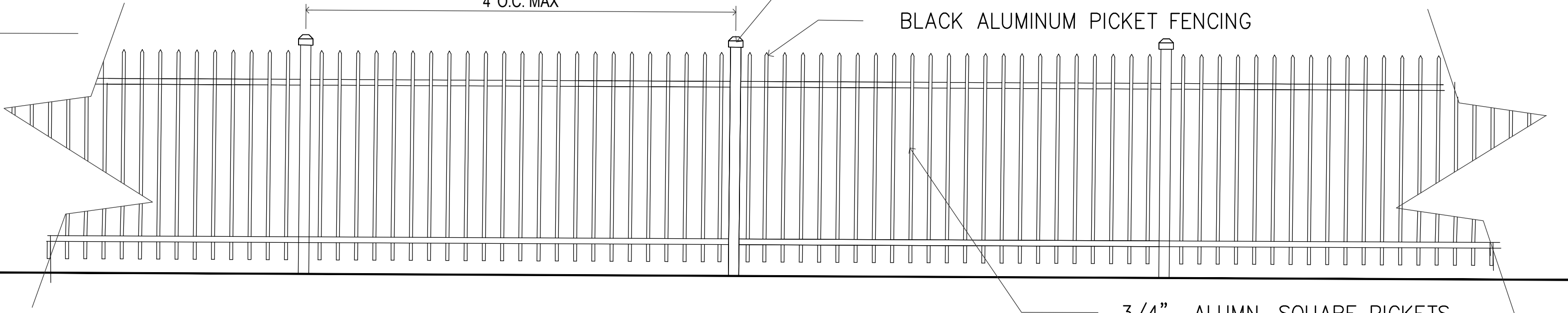
ALUMINUM PICKET
FENCE DETAIL
SCALE: 1/2" = 1'-0"



HANDICAPPED
RAMP SECTION
SCALE: 1/2" = 1'-0"

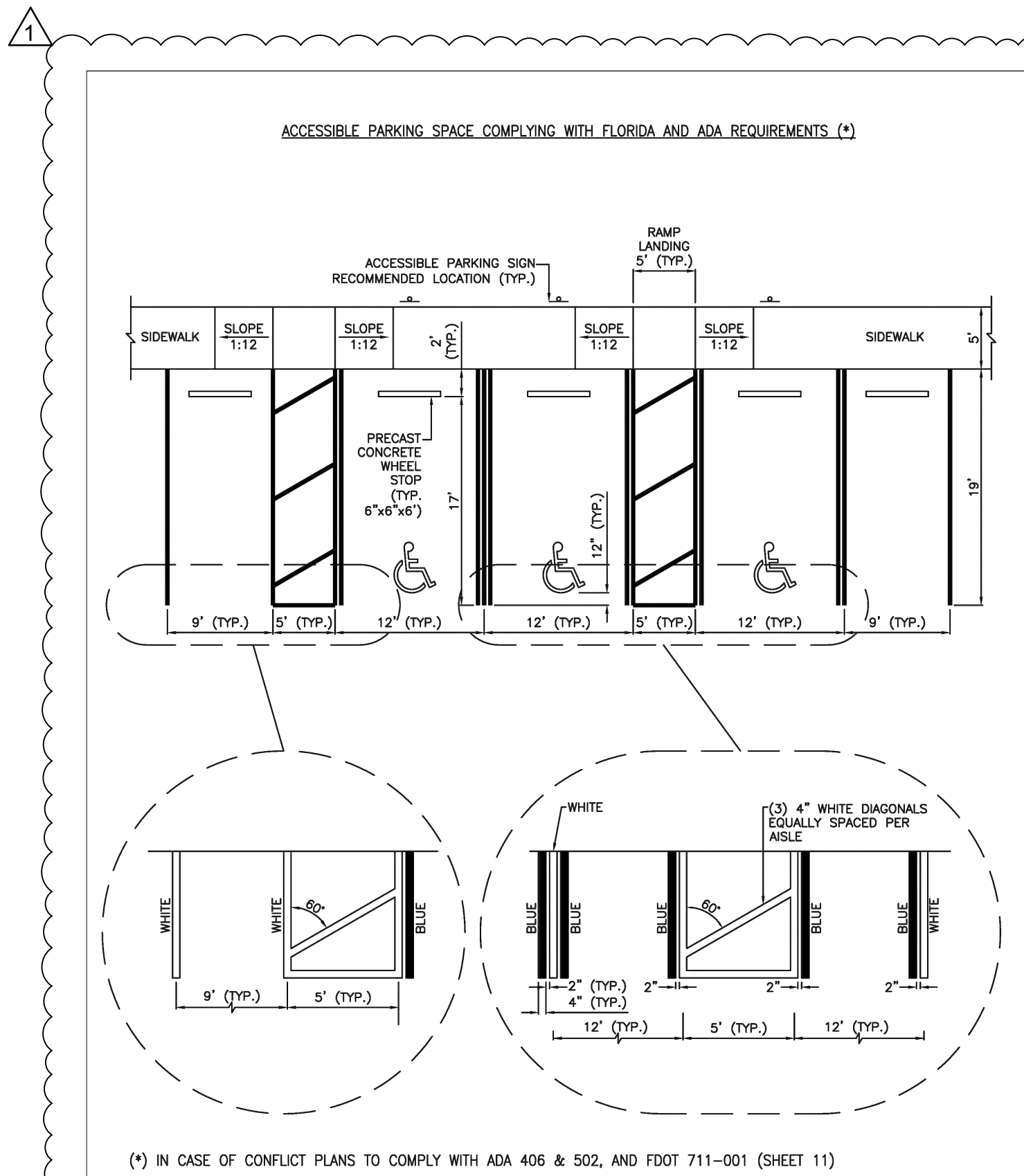


HANDICAPPED
RAMP PLAN
SCALE: 1/2" = 1'-0"



POOL FENCE DETAIL
SCALE: 1/2" = 1'-0"

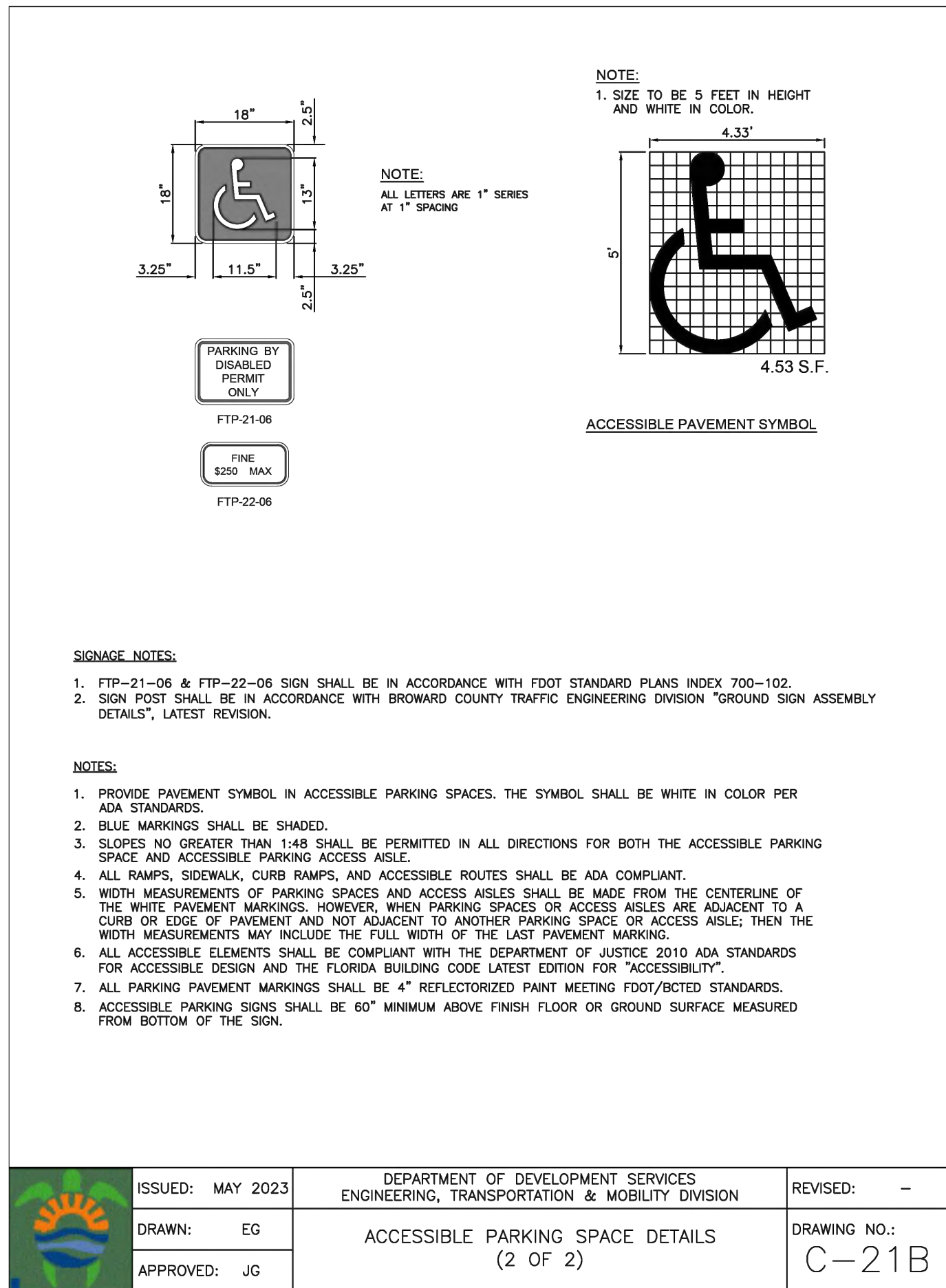
3/4" ALUMN. SQUARE PICKETS
(SPACES TO REJECT MAX. 4" DIA.
OBJECTS).



(*) IN CASE OF CONFLICT PLANS TO COMPLY WITH ADA 406 & 502, AND FDOT 711-001 (SHEET 11)

	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
	DRAWN: EG	ACCESSIBLE PARKING SPACE DETAILS (1 OF 2)	DRAWING NO.: C-21A
	APPROVED: JG		

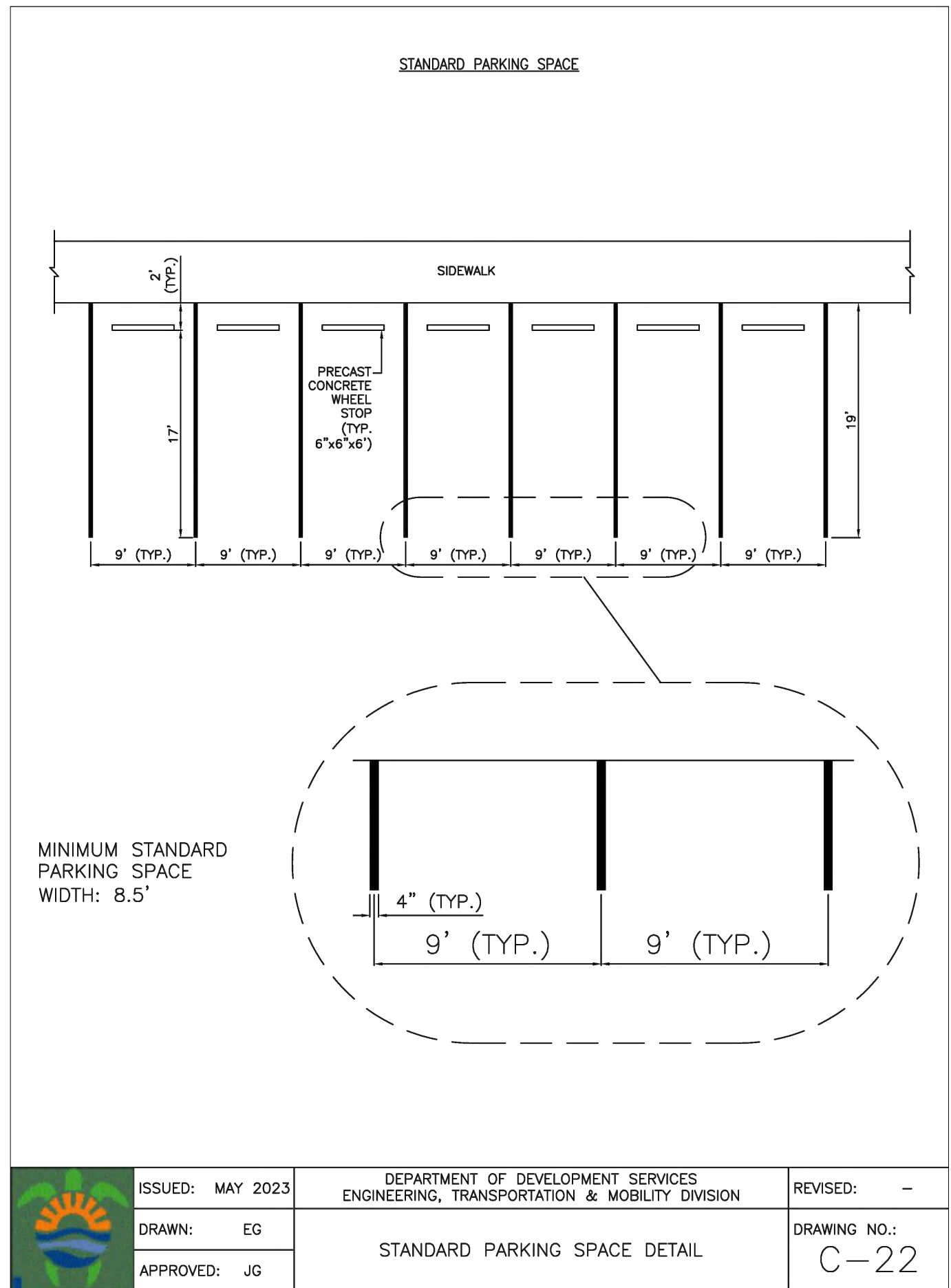
PARKING DETAILS
SCALE: N.T.S.



- SIGNAGE NOTES:
- FTP-21-06 & FTP-22-06 SIGN SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 700-102.
 - SIGN POST SHALL BE IN ACCORDANCE WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION "GROUND SIGN ASSEMBLY DETAILS", LATEST REVISION.

- NOTES:
- PROVIDE PAVEMENT SYMBOL IN ACCESSIBLE PARKING SPACES. THE SYMBOL SHALL BE WHITE IN COLOR PER ADA STANDARDS.
 - BLUE MARKINGS SHALL BE SHADED.
 - SLOPES NO GREATER THAN 1:48 SHALL BE PERMITTED IN ALL DIRECTIONS FOR BOTH THE ACCESSIBLE PARKING SPACE AND ACCESSIBLE PARKING ACCESS AISLE.
 - ALL RAMP, SIDEWALK, CURB RAMP, AND ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT.
 - WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESSIBLE ROUTES SHALL BE MADE FROM THE CENTERLINE OF THE WHITE PAVEMENT MARKINGS. HOWEVER, WHEN PARKING SPACES OR ACCESSIBLE ROUTES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESSIBLE ROUTE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST PAVEMENT MARKING.
 - ALL ACCESSIBLE ELEMENTS SHALL BE COMPLIANT WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE FLORIDA BUILDING CODE LATEST EDITION FOR "ACCESSIBILITY".
 - ALL PARKING PAVEMENT MARKINGS SHALL BE 4" REFLECTORIZED PAINT MEETING FDOT/ICTED STANDARDS.
 - ACCESSIBLE PARKING SIGNS SHALL BE 60" MINIMUM ABOVE FINISH FLOOR OR GROUND SURFACE MEASURED FROM BOTTOM OF THE SIGN.

	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
	DRAWN: EG	ACCESSIBLE PARKING SPACE DETAILS (2 OF 2)	DRAWING NO.: C-21B
	APPROVED: JG		



MINIMUM STANDARD
PARKING SPACE
WIDTH: 8.5'

	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
	DRAWN: EG	STANDARD PARKING SPACE DETAIL	DRAWING NO.: C-22
	APPROVED: JG		

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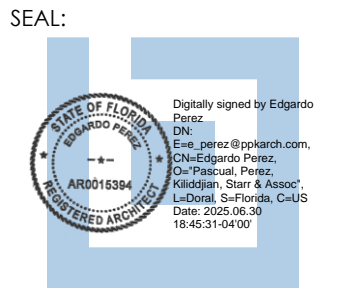
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BY KUSHNER
HOLLYWOOD, FLORIDA

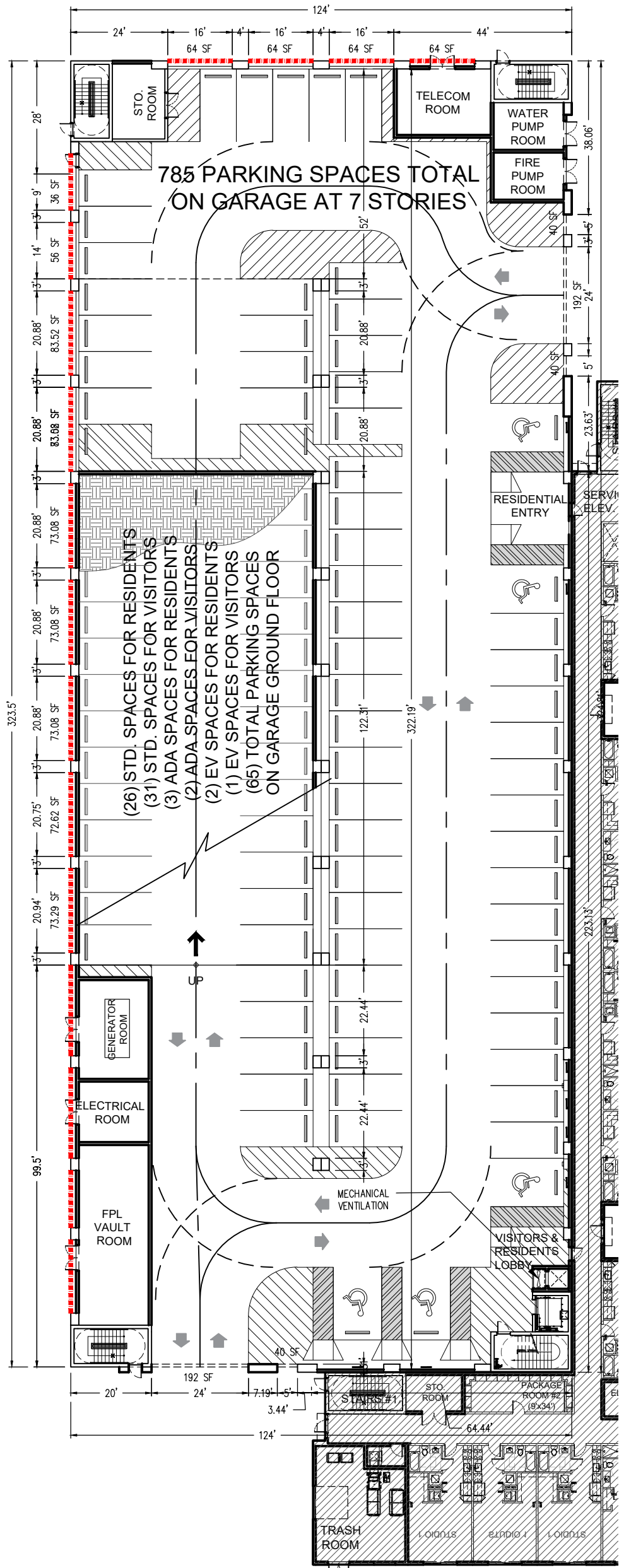


SITE PLAN

DETAILS
DATE: 2024-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

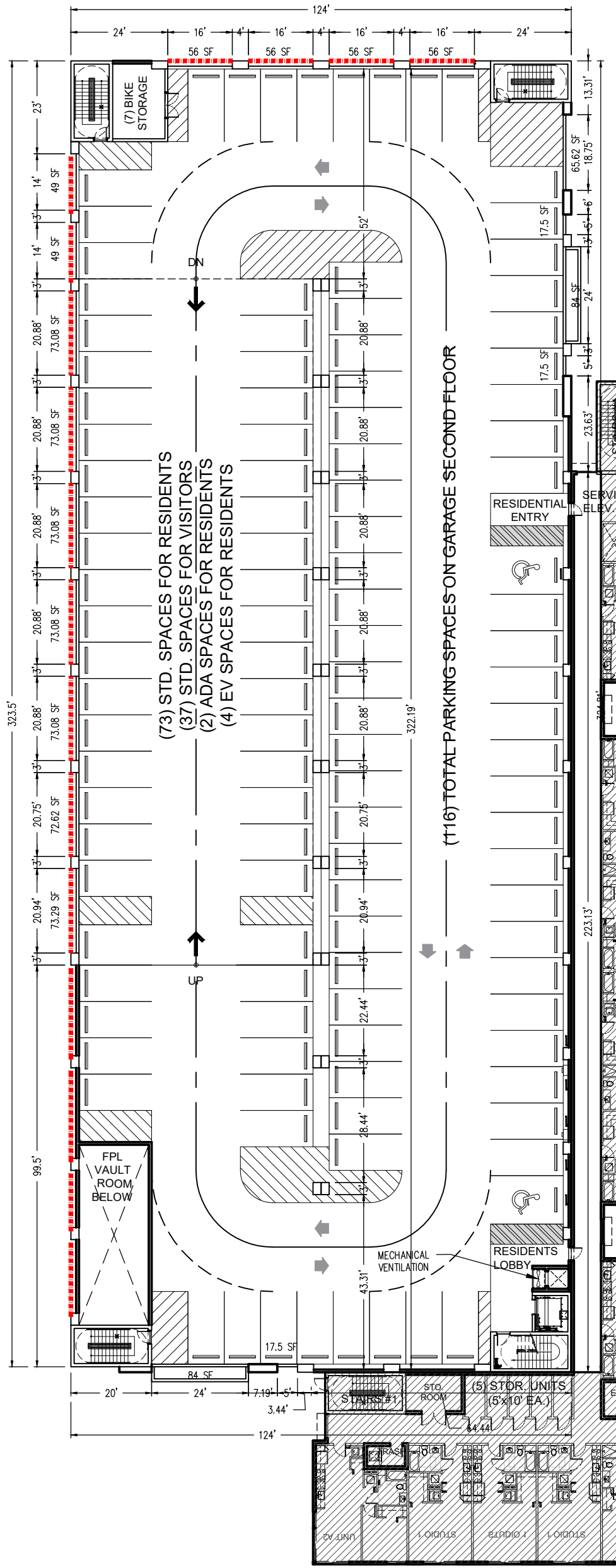
SP-5

SHEET NO.:



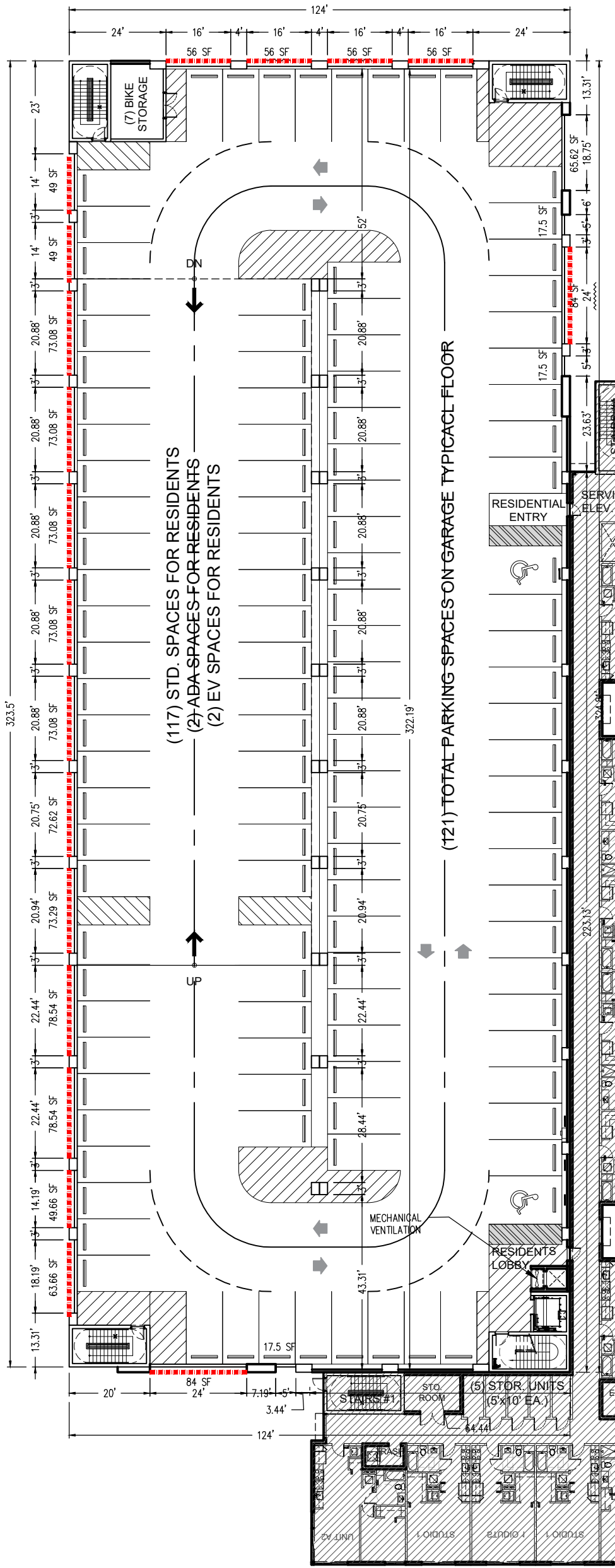
GROUND FLOOR PLAN
SCALE: 1:30

NATURAL VENTILATION CALCULATION TABLE FOR OPEN PARKING STRUCTURE				
GROUND FLOOR				
OPEN AREA	MIN. OPEN AREA AS PER NPFA 88A 5.5.2			
	REQUIRED		PROVIDED	
	TOTAL PERIMETER x FLOOR HEIGHT		TOTAL PERIMETER	896'
			FLOOR HEIGHT	10.66'
	9,555 SF		9,555 SF	
	1,911 SF		1,171 SF	
	20.00%		12.25%	
	WALL ID.	OPENING NO LOUVERS OR SCREEN	OPENING W/ LOUVERS @ 80%	TOTAL OPEN AREA
	SOUTH	232 SF	0 SF @80% = 0 SF	232 SF
	EAST	272 SF	0 SF @80% = 0 SF	272 SF
	NORTH	0 SF	224 SF @80% = 179 SF	179 SF
	WEST	0.00 SF	609.31 SF @80% = 487 SF	487 SF
TOTAL	504 SF	667 SF	1,171 SF	
PERIMETER	WALL ID.	PERIMETER BY WALL	OPENING LENGTH	
	SOUTH	124'	29'	
	EAST	324.81'	34'	
	NORTH	124'	48'	
	WEST	323.5'	50.76'	
	TOTAL		896'	162'
	MIN. AGGREGATE LENGTH OF OPENINGS AS PER NPFA 88A 5.5.3			
	REQUIRED		PROVIDED	
	OPENINGS MIN. 40% OF TOTAL PERIMETER WALL		18.05%	
	359'		162'	
INT. OPENINGS	MIN. INTERIOR LENGTH OF OPENINGS AS PER NPFA 88A 5.5.5			
	INTERIOR LENGTH		322.19'	
	INT. OPENING LENGTH		187.95'	
	REQUIRED		PROVIDED	
	OPENINGS MIN. 20% OF TOTAL INTERIOR LENGTH		58.34%	
	38'		187.95'	



SECOND FLOOR PLAN
SCALE: 1:30

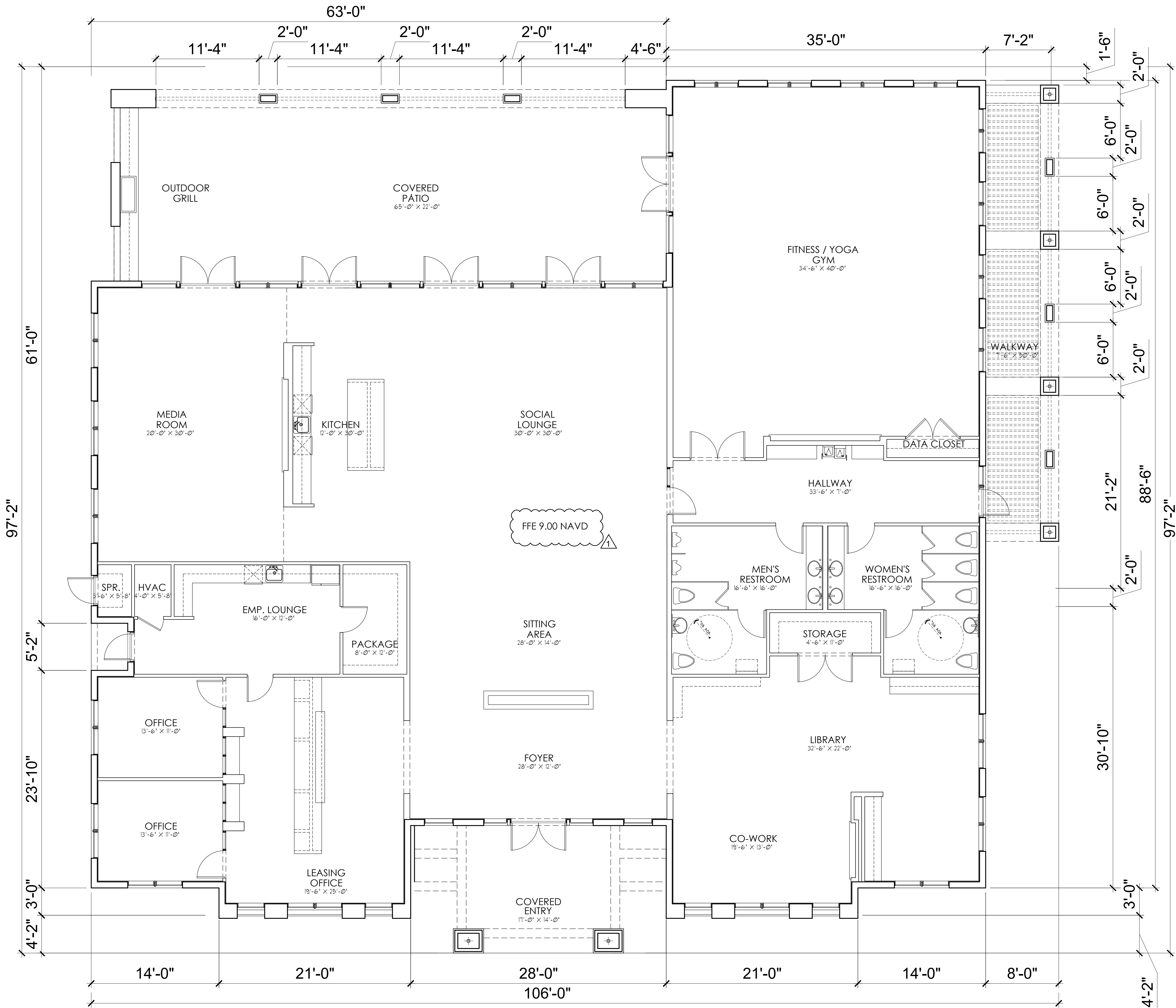
NATURAL VENTILATION CALCULATION TABLE FOR OPEN PARKING STRUCTURE				
SECOND FLOOR				
OPEN AREA	MIN. OPEN AREA AS PER NPFA 88A 5.5.2			
	REQUIRED		PROVIDED	
	TOTAL PERIMETER x FLOOR HEIGHT		TOTAL PERIMETER	896'
			FLOOR HEIGHT	10.66'
	9,555 SF		9,555 SF	
	1,911 SF		770 SF	
	20.00%		8.06%	
	WALL ID.	OPENING NO LOUVERS OR SCREEN	OPENING W/ LOUVERS @ 80%	TOTAL OPEN AREA
	SOUTH	101.5 SF	0 SF @80%= 0 SF	102 SF
	EAST	184.62 SF	0 SF @80%= 0 SF	185 SF
	NORTH	0 SF	224 SF @80%= 179 SF	179 SF
WEST	0 SF	609.31 SF @80%= 305 SF	305 SF	
TOTAL		286 SF	484 SF	770 SF
PERIMETER	WALL ID.	PERIMETER BY WALL		OPENING LENGTH
	SOUTH	124'		29'
	EAST	324.81'		52.75'
	NORTH	124'		64'
	WEST	323.5'		174.19'
	TOTAL		896'	320'
	MIN. AGGREGATE LENGTH OF OPENINGS AS PER NPFA 88A 5.5.3			
	REQUIRED		PROVIDED	
OPENINGS MIN. 40% OF TOTAL PERIMETER WALL		35.70%		
359'		320'		
INT. OPENINGS	MIN. INTERIOR LENGTH OF OPENINGS AS PER NPFA 88A 5.5.5			
	INTERIOR LENGTH		322.19'	
	INT. OPENING LENGTH		292.28'	
	REQUIRED		PROVIDED	
	OPENINGS MIN. 20% OF TOTAL INTERIOR LENGTH		90.72%	
58'		292.28'		



TYPICAL FLOOR PLAN
3RD TO 7TH LEVEL
SCALE: 1:30

NATURAL VENTILATION CALCULATION TABLE FOR OPEN PARKING STRUCTURE				
TYPICAL FLOOR (3RD - 7TH)				
OPEN AREA	MIN. OPEN AREA AS PER NPFA 88A 5.5.2			
	REQUIRED		PROVIDED	
	TOTAL PERIMETER x FLOOR HEIGHT		TOTAL PERIMETER	896'
			FLOOR HEIGHT	10.66'
	9,555 SF		9,555 SF	
	1,911 SF		1,135 SF	
	20.00%		11.88%	
	WALL ID.	OPENING NO LOUVERS OR SCREEN	OPENING W/ LOUVERS @ 80%	TOTAL OPEN AREA
	SOUTH	17.50 SF	84 SF @80%= 67 SF	85 SF
	EAST	100.62 SF	84 SF @80%= 67 SF	168 SF
	NORTH	0 SF	224 SF @80%= 179 SF	179 SF
WEST	0 SF	879.71 SF @80%= 704 SF	704 SF	
TOTAL	118 SF	1,017 SF	1,135 SF	
PERIMETER	WALL ID.	PERIMETER BY WALL		OPENING LENGTH
	SOUTH	124'		29'
	EAST	324.81'		52.75'
	NORTH	124'		64'
	WEST	323.5'		251.35'
	TOTAL		896'	397'
	MIN. AGGREGATE LENGTH OF OPENINGS AS PER NPFA 88A 5.5.3			
	REQUIRED		PROVIDED	
	OPENINGS MIN. 40% OF TOTAL PERIMETER WALL		44.30%	
	359'		397'	
INT. OPENINGS	MIN. INTERIOR LENGTH OF OPENINGS AS PER NPFA 88A 5.5.5			
	INTERIOR LENGTH		322.19'	
	INT. OPENING LENGTH		292.28'	
	REQUIRED		PROVIDED	
	OPENINGS MIN. 20% OF TOTAL INTERIOR LENGTH		90.72%	
	58'		292.28'	

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CLUBHOUSE - FLOOR PLAN
SCALE: 3/16" = 1'-0"

CLUBHOUSE	
AREA CALCULATION	
FITNESS / YOGA GYM	1,477.09 SF
SOCIAL LOUNGE	921.23 SF
KITCHEN	368.99 SF
MEDIA ROOM	648.32 SF
LEASING OFFICE / EMPLOYEE LOUNGE	1,250.43 SF
HALLWAY	259.98 SF
MEN'S RESTROOMS	250.10 SF
WOMEN'S RESTROOMS	254.34 SF
SITTING AREA & FOYER	860.20 SF
LIBRARY & CO-WORK	955.57 SF
TOTAL A/C AREA	7,246.25 SF
WALKWAY	429.67 SF
COVERED ENTRY	222.91 SF
COVERED PATIO	1,401.00 SF
TOTAL LOT COVERAGE	9,299.83 SF

OCCUPANCY LOAD CALCULATIONS: OCCUPANCY CLASSIFICATION = A-3 AS PER FBC 2023 TABLE 1004.5		
FITNESS / YOGA GYM EXERCISE ROOM	1477 SQ.FT 50 SF/PERSON	= 30 MAX. OCCUPANT LOAD
SOCIAL LOUNGE ASSEMBLY - UNCONCENTRATED	921 SQ.FT 15 SF/PERSON	= 62 MAX. OCCUPANT LOAD
KITCHEN KITCHEN	369 SQ.FT 200 SF/PERSON	= 2 MAX. OCCUPANT LOAD
MEDIA ROOM ASSEMBLY - UNCONCENTRATED	648 SQ.FT 15 SF/PERSON	= 44 MAX. OCCUPANT LOAD
LEASING OFFICE BUSINESS AREAS	1250 SQ.FT 150 SF/PERSON	= 9 MAX. OCCUPANT LOAD
SEATING AREA / FOYER WAITING AREAS	860 SQ.FT 15 SF/PERSON	= 58 MAX. OCCUPANT LOAD
LIBRARY & CO-WORK LIBRARY - READING ROOMS	955 SQ.FT 50 SF/PERSON	= 20 MAX. OCCUPANT LOAD
EMPLOYEE LOUNGE ASSEMBLY - UNCONCENTRATED	1250 SQ.FT 15 SF/PERSON	= 84 MAX. OCCUPANT LOAD
COVERED PATIO ASSEMBLY - UNCONCENTRATED	1401 SQ.FT 15 SF/PERSON	= 94 MAX. OCCUPANT LOAD
TOTAL OCCUPANT LOAD PERSONS		403

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LEGEND

- 01

SMOOTH STUCCO FINISH.
- 02

COQUINA STONE VENEER.
- 03

SMOOTH 4" SCORED STUCCO LINE.
- 04

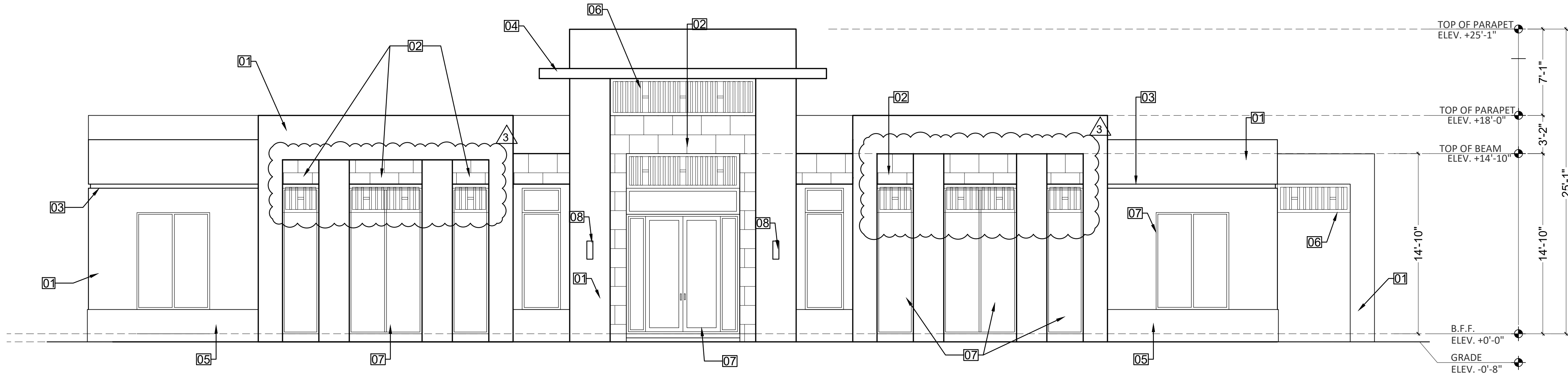
4" CONCRETE EYEBROW.
- 05

2'-8" STUCCO BAND.
- 06

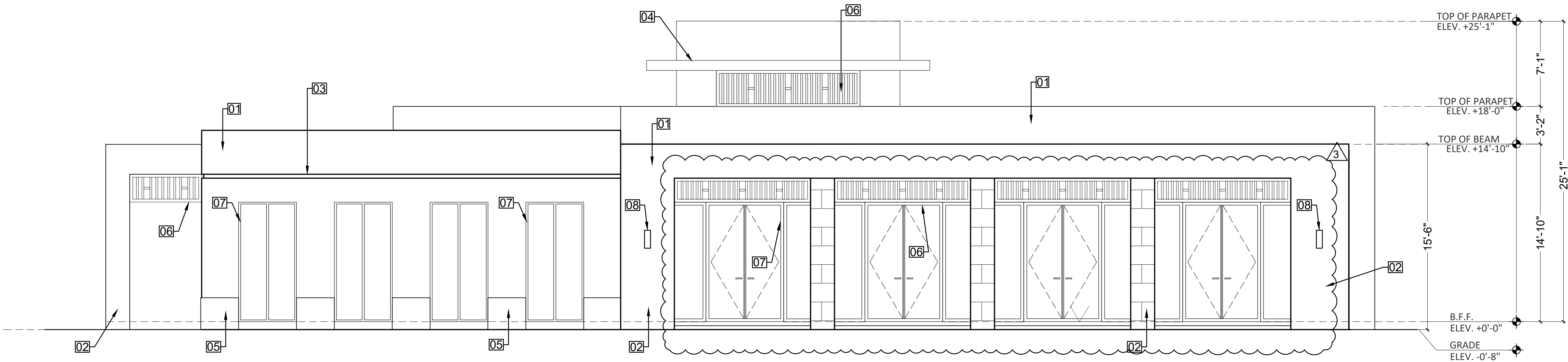
METAL LOUVERS IN BRONZE.
- 07

WINDOW/DOOR FRAME IN BRONZE
- 08

LIGHT FIXTURE IN BRONZE



CLUBHOUSE - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



CLUBHOUSE - REAR ELEVATION
SCALE: 3/16" = 1'-0"

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LEGEND

- 01

SMOOTH STUCCO FINISH.
- 02

COQUINA STONE VENEER.
- 03

SMOOTH 4" SCORED STUCCO LINE.
- 04

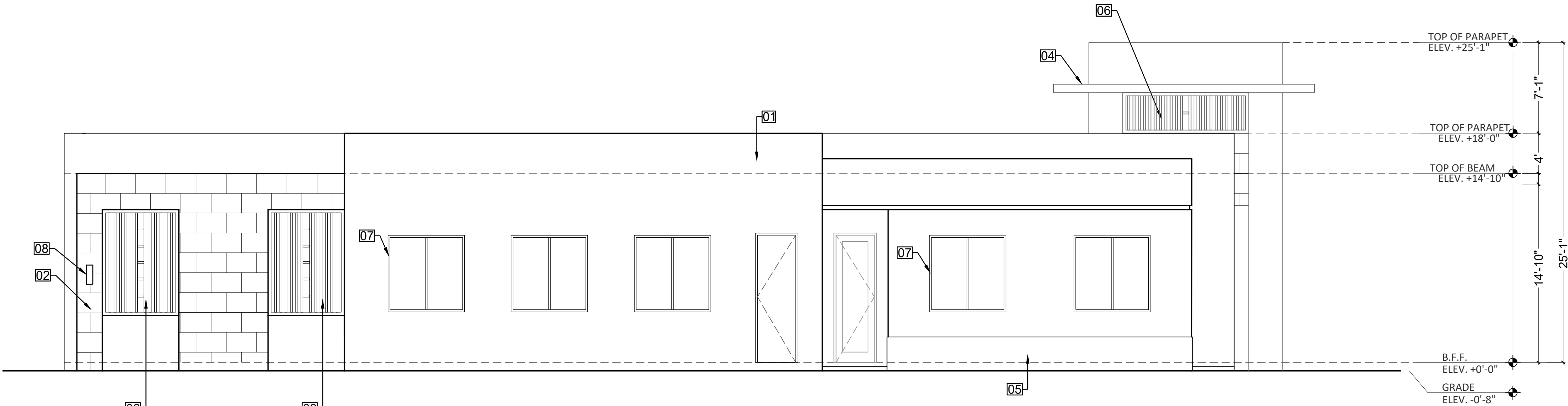
4" CONCRETE EYEBROW.
- 05

2'-8" STUCCO BAND.
- 06

METAL LOUVERS IN BRONZE.
- 07

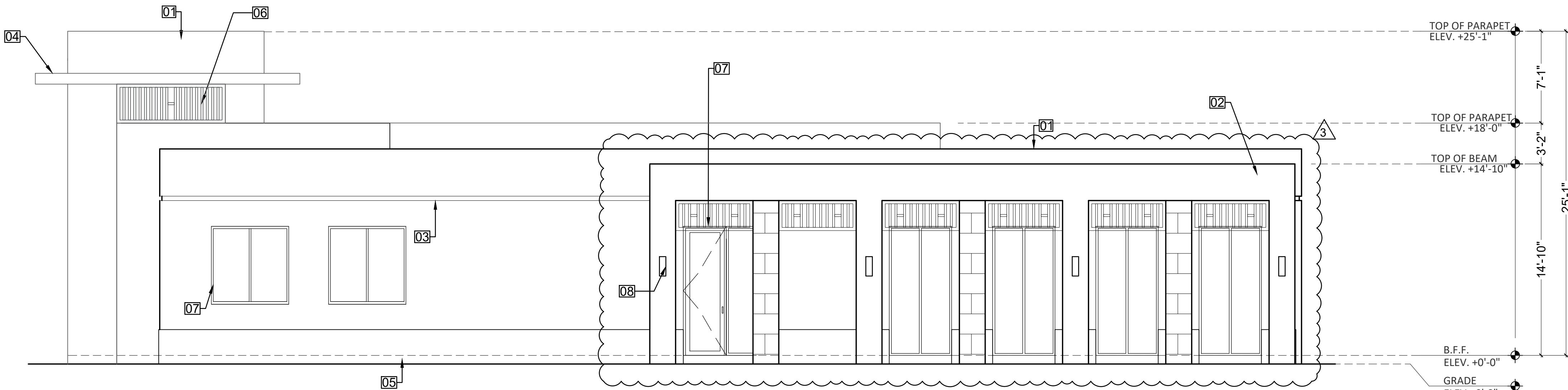
WINDOW/DOOR FRAME IN BRONZE
- 08

LIGHT FIXTURE IN BRONZE



CLUBHOUSE - LEFT SIDE ELEVATION

SCALE: 3/16" = 1'-0"



CLUBHOUSE - RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"

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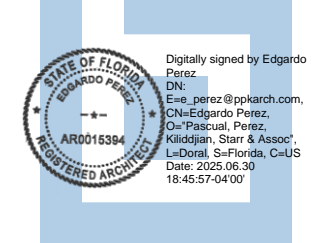
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BY KUSHNER
HOLLYWOOD, FLORIDA

SEAL:



CLUBHOUSE

ELEVATIONS

DATE : 2025-06-30
SCALE : AS SHOWN
DRAWN : SP / SJ
CHECK BY: MP / PK
JOB NO. : 24-26

SA-3.1

SHEET NO. :

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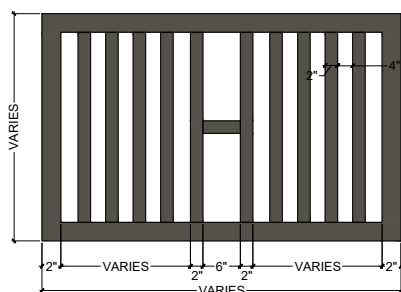


CLUBHOUSE
FRONT (NORTH) ELEVATION
SCALE: N.T.S.



CLUBHOUSE
REAR (SOUTH) ELEVATION
SCALE: N.T.S.

MATERIAL COLOR PALETTE



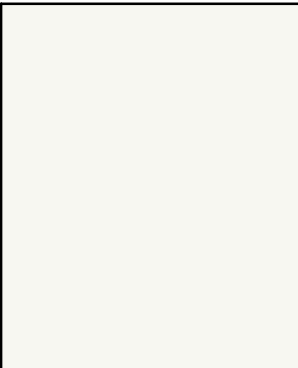
ALUMINUM METAL
LOUVERS
SW 7048
URBANE BRONZE



WINDOWS & DOORS
ALUMINUM FRAMES
SW 7048
URBANE BRONZE



COQUINA STONE
VENEER ACCENT



SMOOTH STUCCO
EXTERIOR PAINT
SW 7757
HIGH REFLECTIVE WHITE



SMOOTH STUCCO
EXTERIOR PAINT
SW 7648
BIG CHILL

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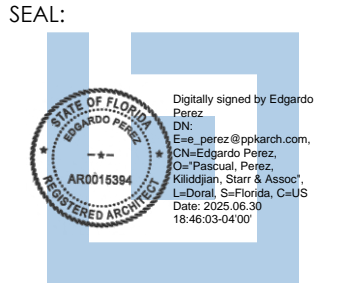
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 - 2 TAC - REV. 2 - 2025.05.09
 - 3 TAC - REV. 3 - 2025.06.30

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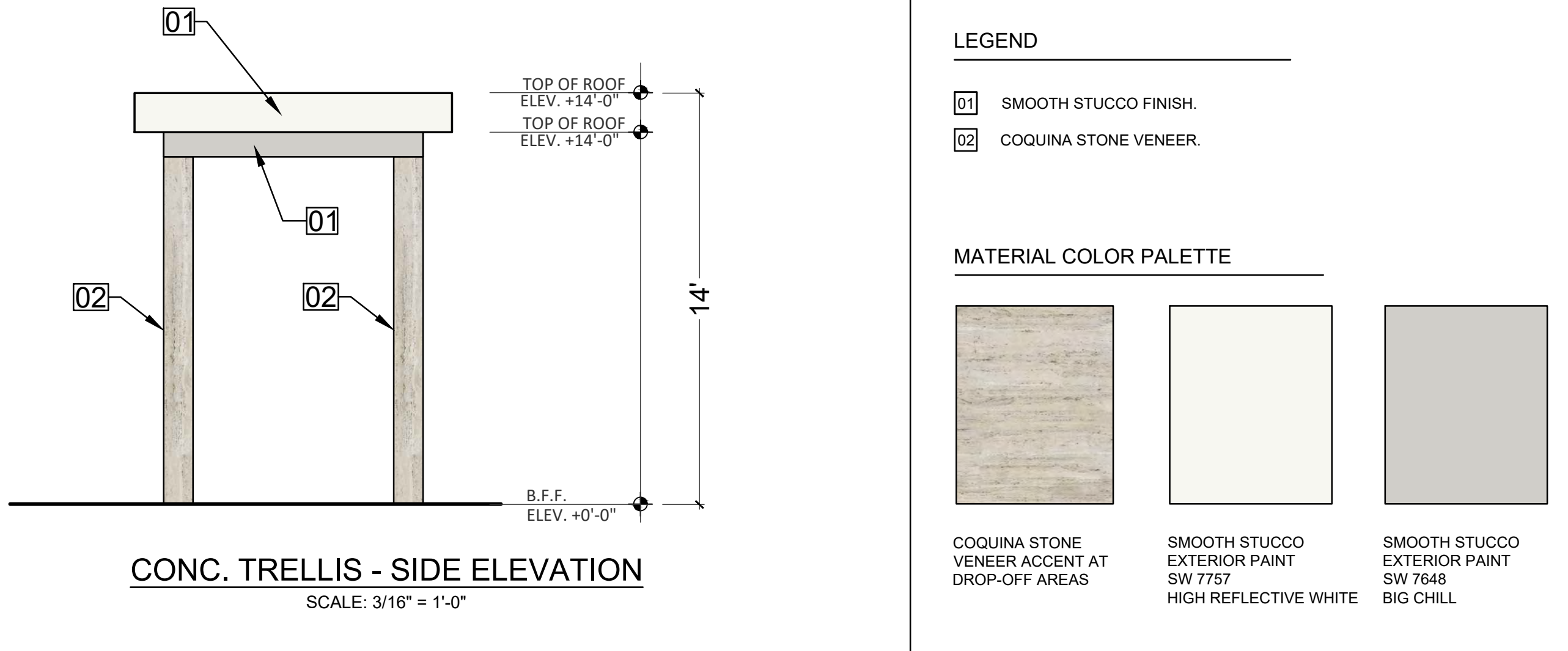
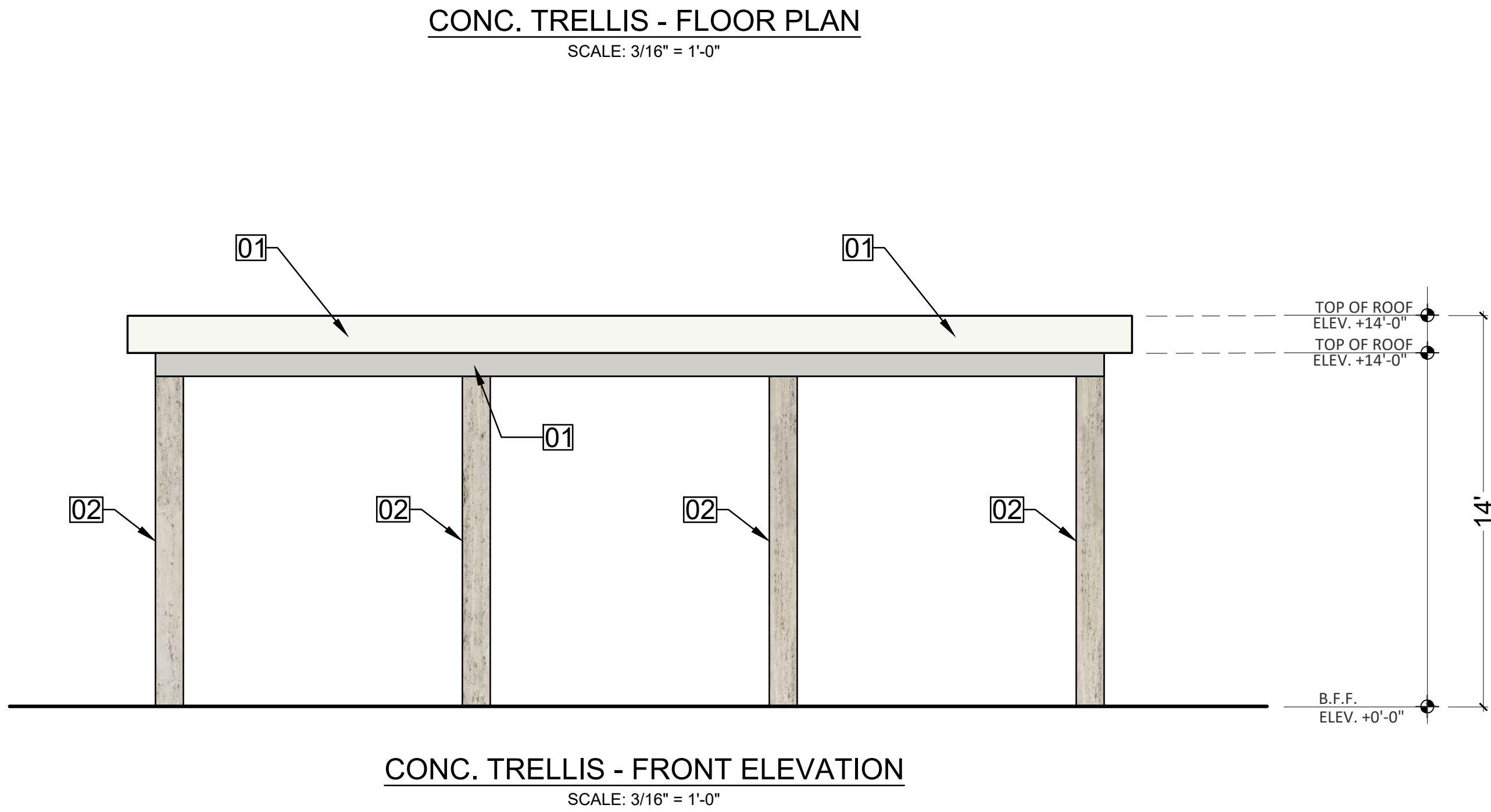
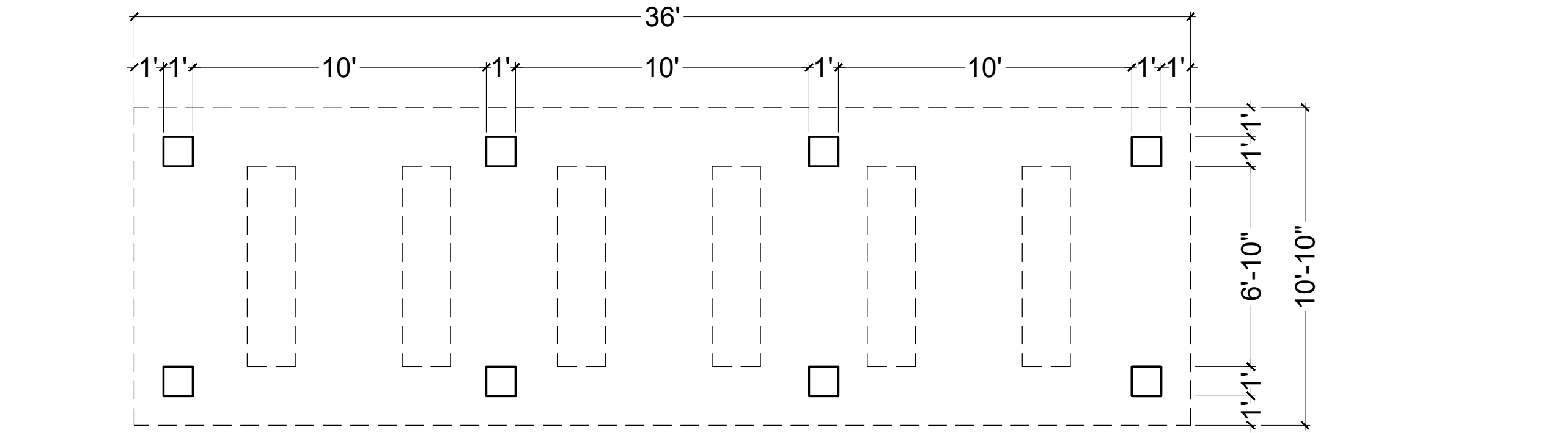
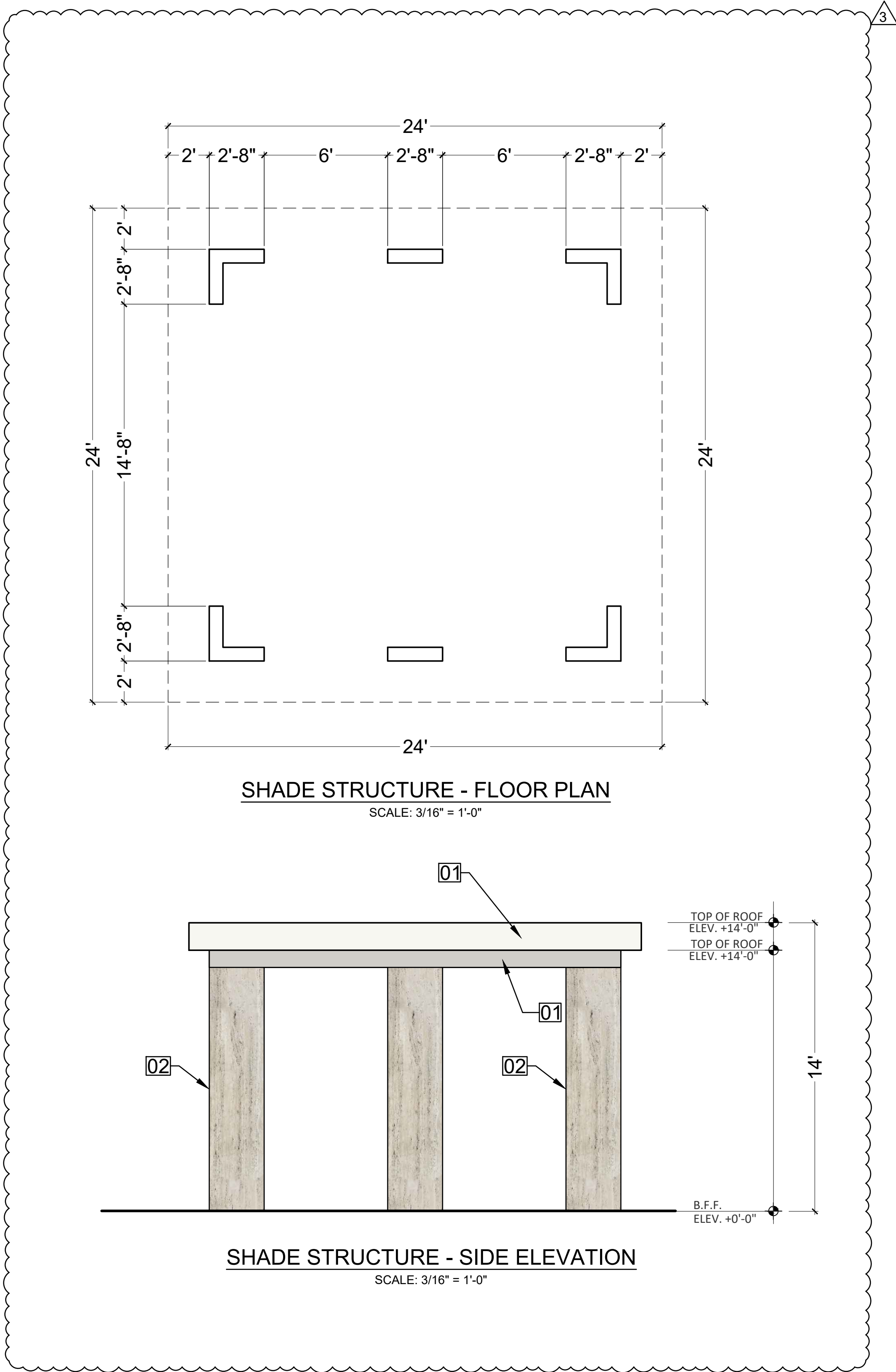


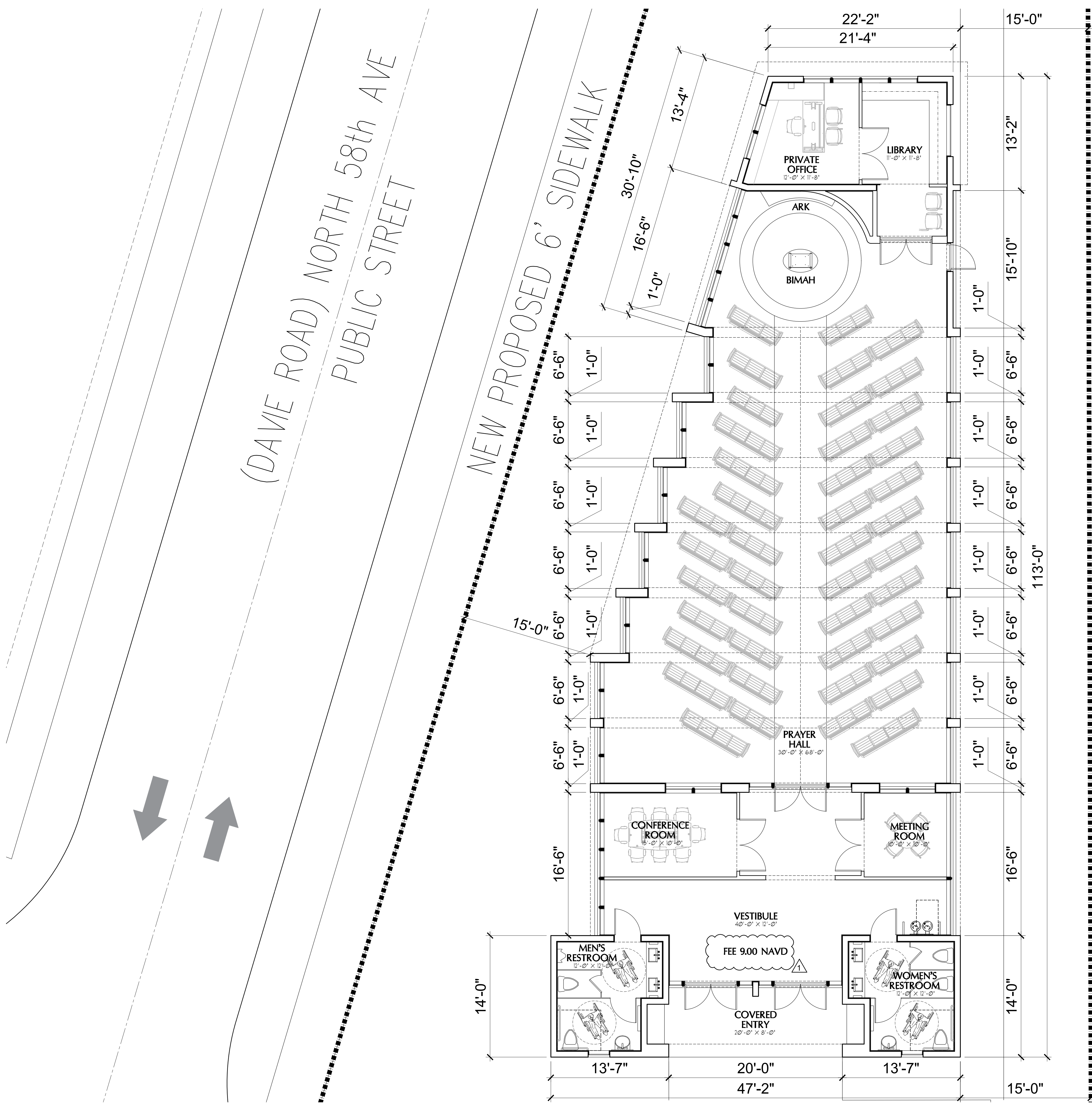
CLUBHOUSE

RENDER ELEVATIONS
DATE: 2025-06-30
SCALE: AS SHOWN
DRAWN: SP / SJ
CHECK BY: MP / PK
JOB NO.: 24-26

SA-3.2
SHEET NO.:

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HOLLYWOOD OAKS SYNAGOGUE
GROUND FLOOR PLAN

SCALE: 3/16" = 1'-0"

SYNAGOGUE AREA CALCULATION	
PRAYER HALL (SEATING AREA)	2,042.43 SF
BIMAH & ARK	293.44 SF
PRACTICE OFFICE	167.79 SF
LIBRARY	219.80 SF
CONFERENCE ROOM	168.41 SF
MEETING ROOM	110.08 SF
VESTIBULE	528.23 SF
MEN'S RESTROOMS	178.71 SF
WOMEN'S RESTROOMS	178.71 SF
TOTAL A/C AREA PROVIDED	3,887.60 SF
COVERED ENTRY	
182.91 SF	
TOTAL LOT COVERAGE PROVIDED	
4,070.51 SF	

SYNAGOGUE
SEATING CAPACITY:
137 SEATS PROVIDED

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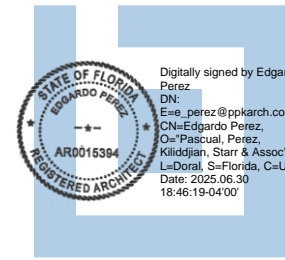
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HOLLYWOOD, FLORIDA

SEAL:



FLOOR PLAN

SYNAGOGUE

DATE: 2025-06-30

SCALE: AS SHOWN

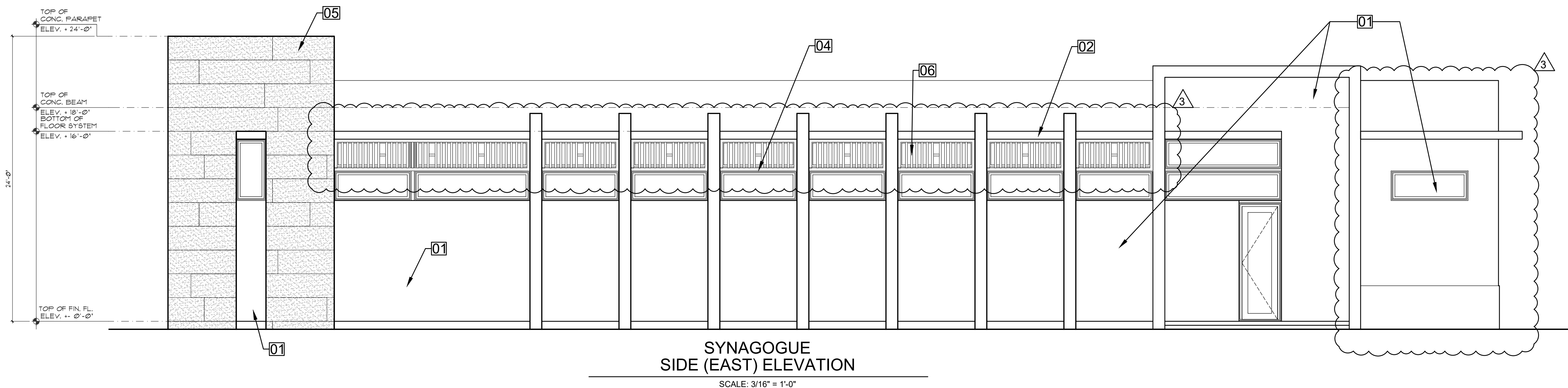
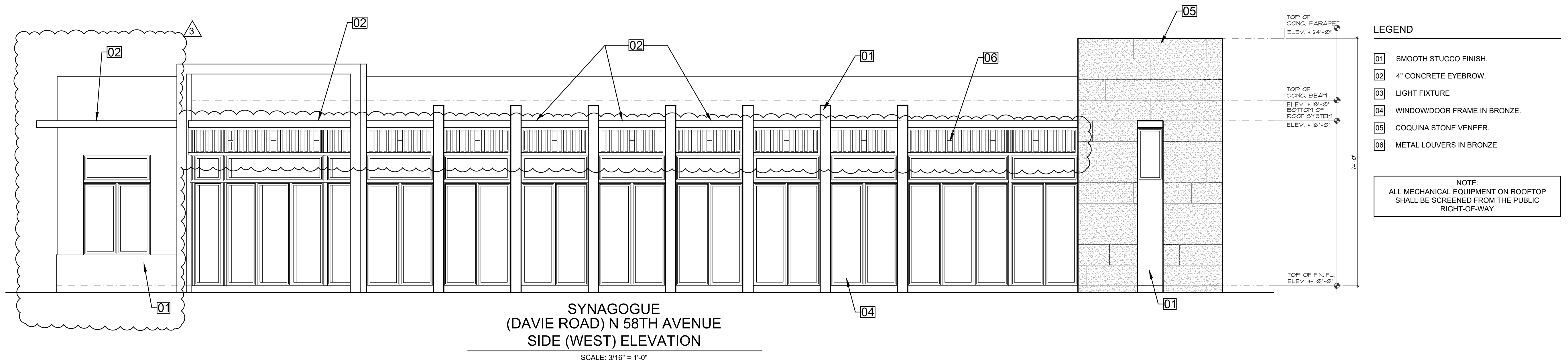
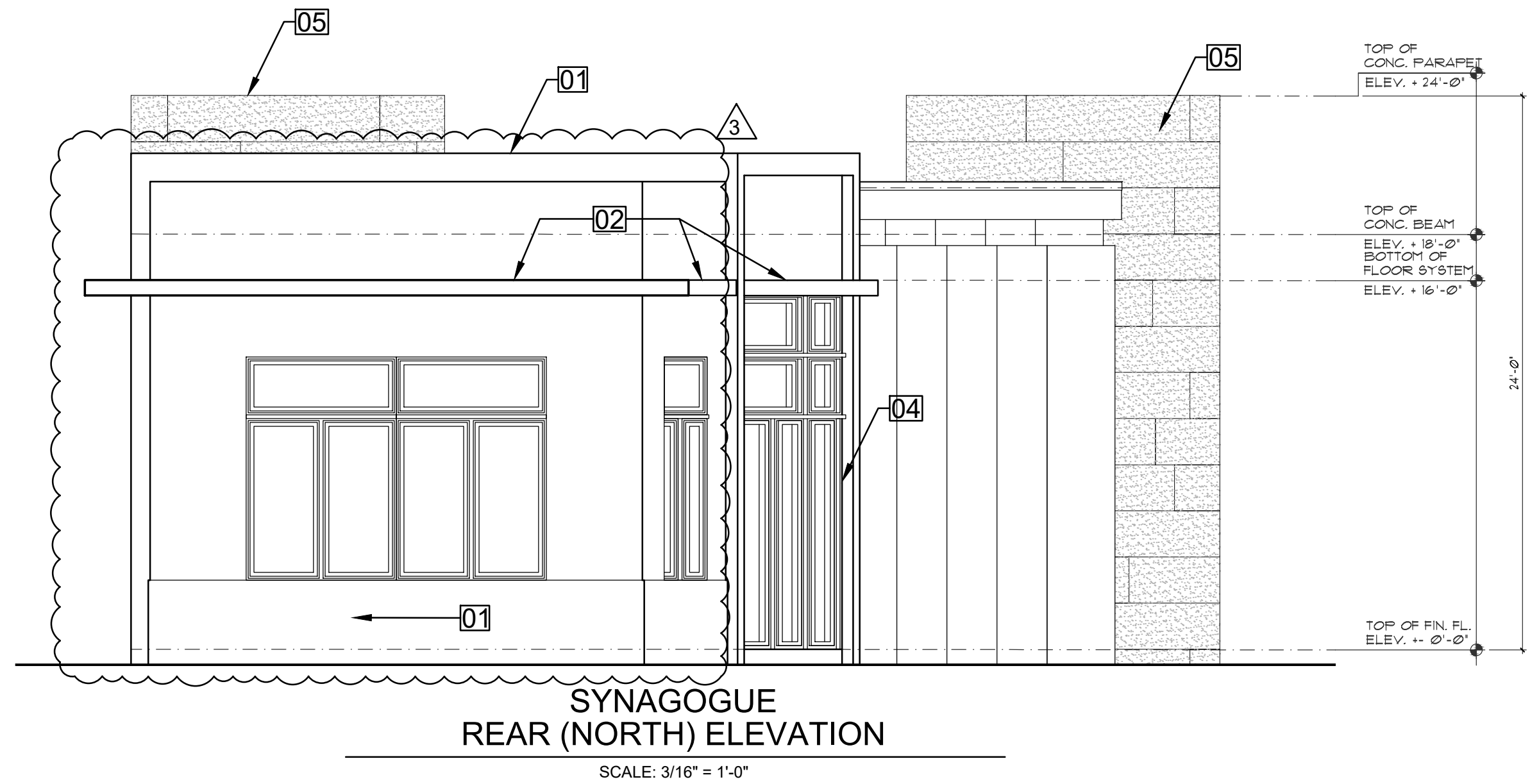
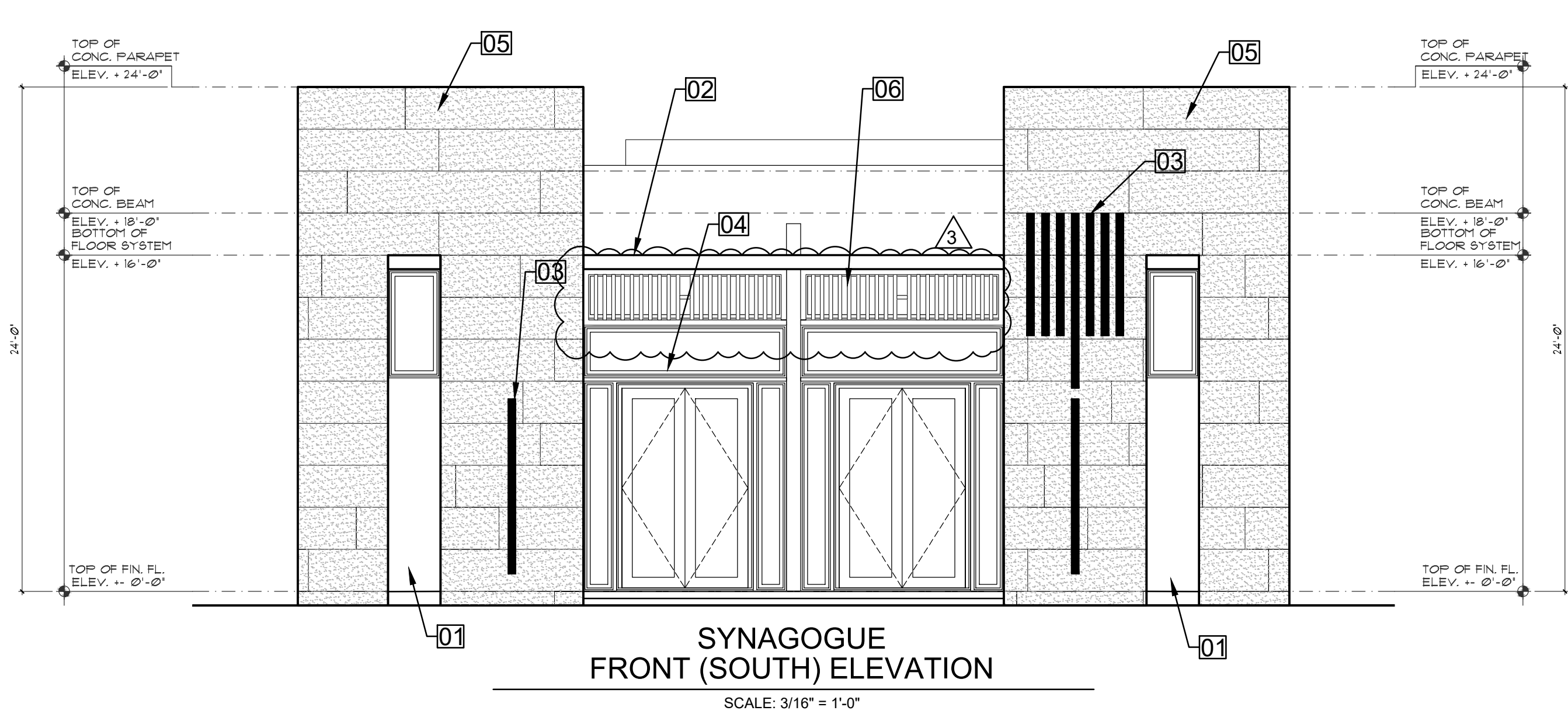
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CHECK BY: MP / PK

JOB NO.: 24-26

SA-4

SHEET NO.:





SYNAGOGUE
REAR (NORTH) ELEVATION

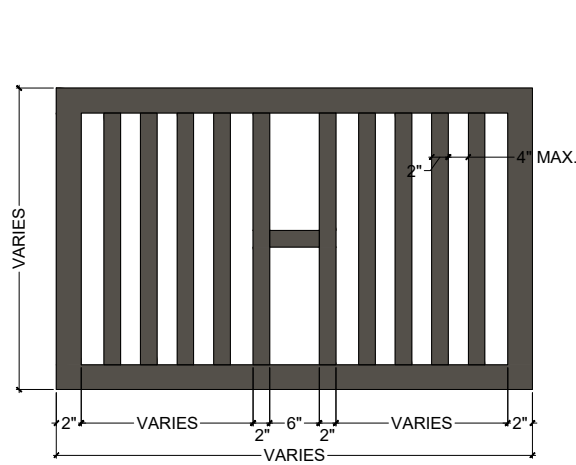
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SYNAGOGUE
FRONT (SOUTH) ELEVATION

SCALE: N.T.S.

MATERIAL COLOR PALETTE



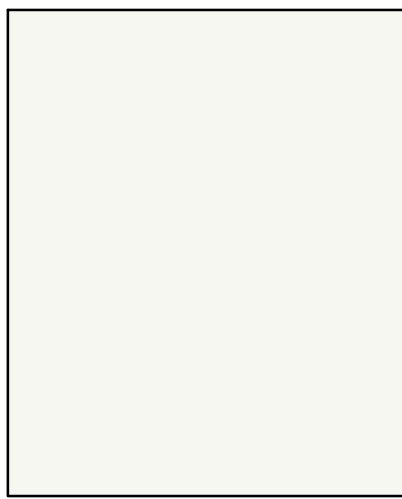
ALUMINUM METAL
LOUVERS
SW 7048
URBANE BRONZE



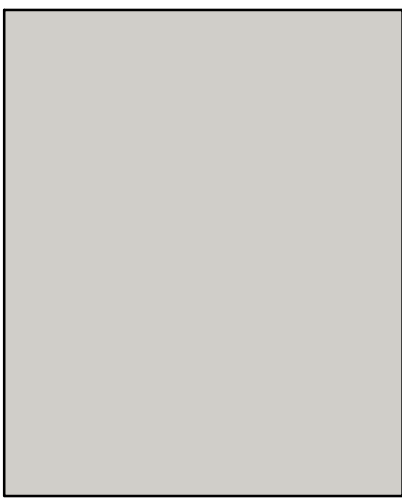
WINDOWS & DOORS
ALUMINUM FRAMES
SW 7048
URBANE BRONZE



COQUINA STONE
VENEER ACCENT



SMOOTH STUCCO
EXTERIOR PAINT
SW 7757
HIGH REFLECTIVE WHITE



SMOOTH STUCCO
EXTERIOR PAINT
SW 7648
BIG CHILL

PASCUAL
PEREZ
KILIDDJIAN
STARR

ARCHITECTS + PLANNERS

LICENSE # AA 26001357

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REVISIONS:

1 TAC - REV. 1 - 2025.02.10

2 TAC - REV. 2 - 2025.05.09

3 TAC - REV. 3 - 2025.06.30

OWNER:

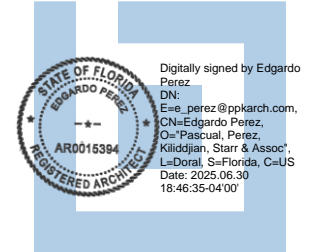
KUSHNER

260 95th Street

Suite 201

Surfside, FL 33154

SEAL:



RENDER ELEVATIONS

SYNAGOGUE

DATE : 2025-06-30

SCALE : AS SHOWN

DRAWN : SP / S.J

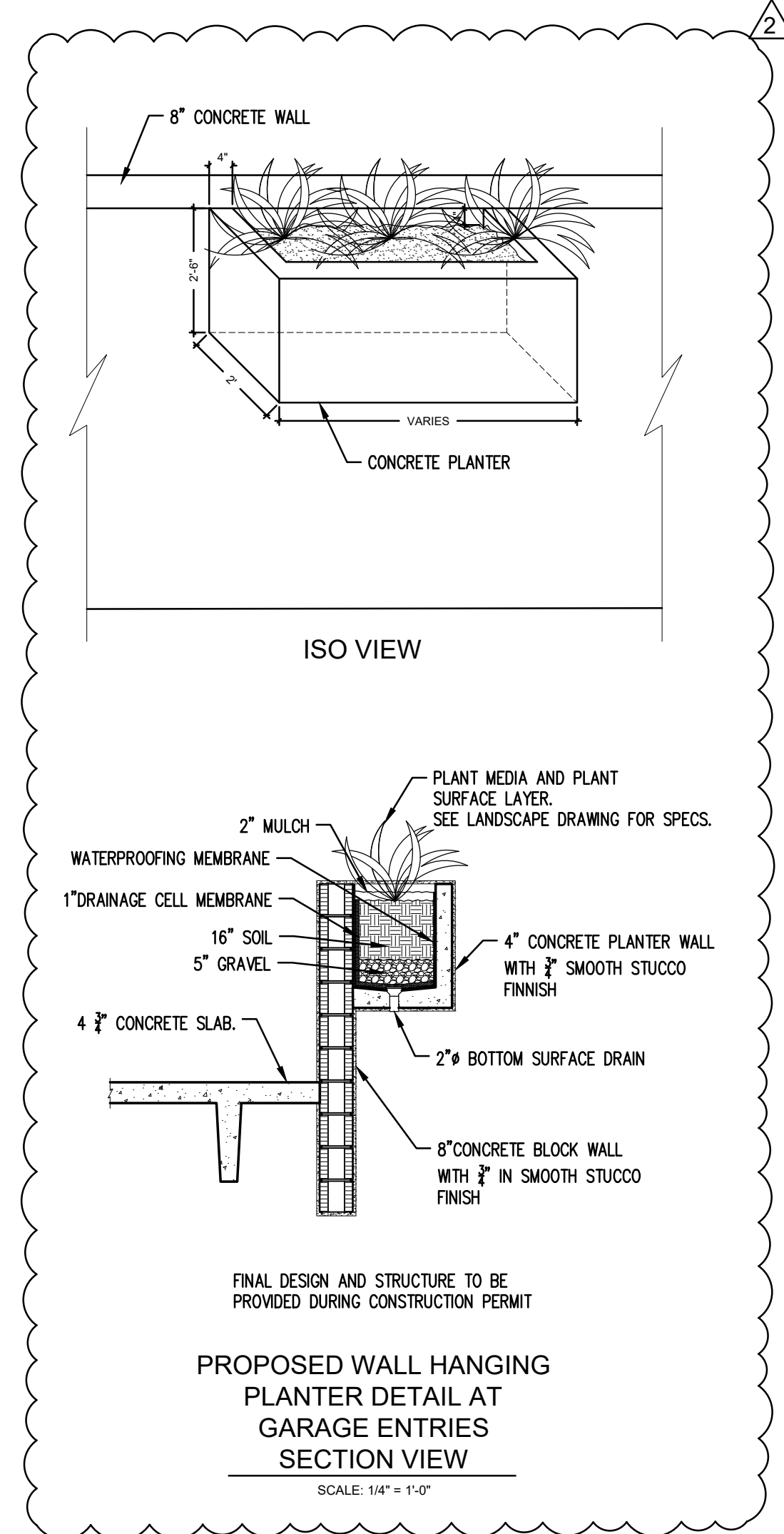
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JOB NO. : 24-26

SA-5.3

SHEET NO. :

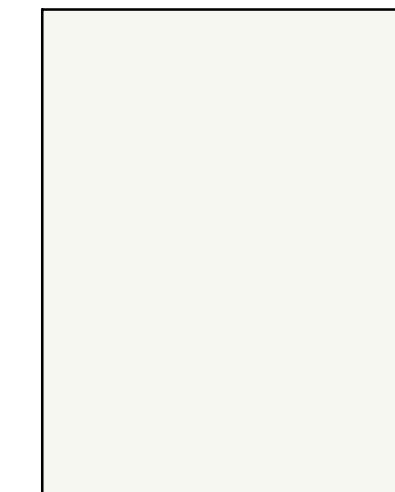
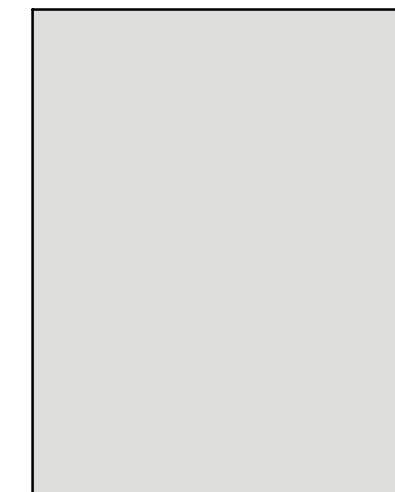
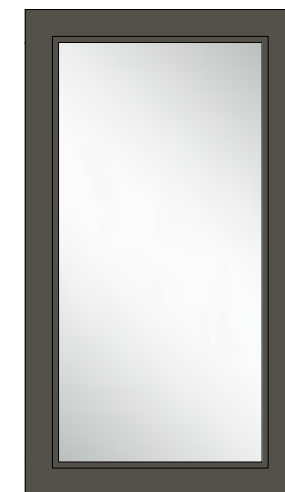
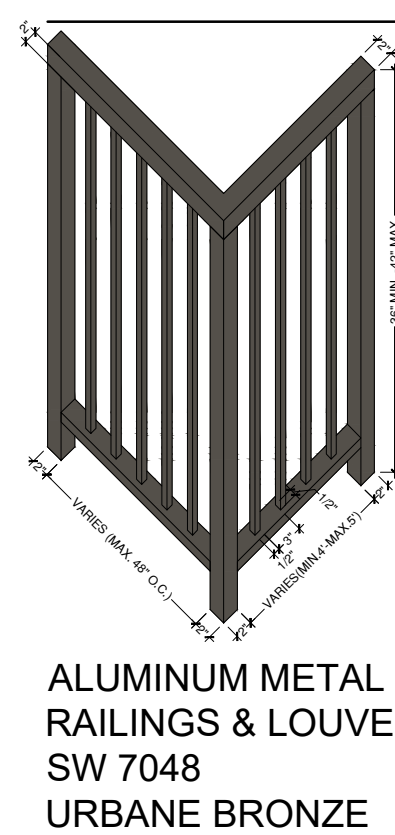
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LEGEND

- 01 SMOOTH STUCCO FINISH.
- 02 SMOOTH 1 1/2" SCORED STUCCO LINE.
- 03 6" STUCCO BAND, 6" THICK.
- 04 28" STUCCO BAND, 6" THICK.
- 05 PLANTER.
- 06 ALUMINUM RAILINGS
- 07 COQUINA STONE VENEER.
- 08 GARAGE ALUMINUM LOUVER SCREEN.

MATERIAL COLOR PALETTE



PASCUAL PEREZ KILIDDJIAN STARR

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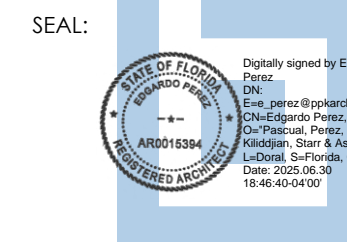
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- 2 TAC - REV. 2 - 2025.05.09
- 3 TAC - REV. 3 - 2025.06.30

OWNER:
KUSHNER
260 95th Street
Suite 201
Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA



ELEVATIONS

DATE : 2025-06-30
SCALE : AS SHOWN
DRAWN : SJ
CHECK BY : MP
JOB NO. : 24-26

A-1

SHEET NO. :



SCREEN DETAIL FOR VIEW



SID = (WES1) == WES1

- ### LEGEND

- 09** O/RACE / REMINISCE OVER SCREEN:

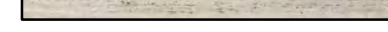
MATERIALS COLOR PALETTE



URBANE BRONZE



URBANE BRONZE



DROP-OUT AREAS



NEBULOUS WHITE



HIGHLY SELECTIVE WHITE



RESTRELL WHITE

GENERAL INFORMATION / LIFE SAFETY SUMMARY

CODE REGULATIONS:

- 1- FLORIDA FIRE PREVENTION CODE - EIGHT EDITION BASED ON: NFPA 1, FIRE CODE, 2021 EDITION NFPA 101, LIFE SAFETY CODE, 2021 EDITION
2- FLORIDA BUILDING CODE 2023 - EIGHT EDITION

BUILDING DESCRIPTION:

- 8 STORY BUILDING / MIDRISE
- BUILDING HEIGHT: 85'-0" / 74'-10" FROM GRADE TO HIGHEST DWELLING CONCRETE SLAB
- BUILDING TOTAL AREA (ALL FLOORS): 507,498 S.F. (RESIDENTIAL) / 278,144 S.F. (PARKING GARAGE)
- SPRINKLERED BUILDING TYPE S13R - (FBC SECTION 903.3.1.2)

TYPE OF CONSTRUCTION:

- TYPE I (332) PER FIRE PREVENTION CODE
- TYPE I-B PER FBC CHAPTER 5

CLASSIFICATION OF OCCUPANCY:

- NFPA 101 CHAPTERS 6 AND 30) / FBC CHAPTER 3 SECTION 310.4
NEW APARTMENT BUILDING / RESIDENTIAL R-2
(NFPA 101 CHAPTER 42) / (FBC CHAPTER 3 SECTION 311.3)
PARKING STRUCTURE (STORAGE OCCUPANCY - ORDINARY HAZARD NFPA 42.8.1.5) / STORAGE S-2

OCCUPANT LOAD

- NFPA 101 TABLE 7.3.1.2 / FBC TABLE 1004.5
- RESIDENTIAL:
1ST. FLOOR: 56,838.89 S.F. / 200 = 284 OCCUPANTS
2ND. FLOOR: 56,868.62 S.F. / 200 = 284 OCCUPANTS
3RD. TO 8TH FLOOR: 65,631.78 S.F. / 200 = 328 OCCUPANTS PER FLOOR
- PARKING:
1ST. TO 7TH. FLOOR 39,734.86 S.F. / 200 = 199 OCCUPANTS PER FLOOR

MEAN OF EGRESS

- NFPA 101 CHAPTER 7 / FBC CHAPTER 101
1- APARTMENTS BUILDING
1.1- NUMBER OF EGRESS: NFPA 101 7.4 AND 30.2.4 / FBC 1006.3.2
EXIT ENCLOSURE STAIRS:
1ST. FLOOR (GROUND): REQUIRED : 2 PROVIDED : 5
2ND. TO 8TH. FLOOR (STAIRS): REQUIRED : 2 PROVIDED : 4

12- EGRESS STAIR CAPACITY

- NFPA 101 SECTION 7.3.3 / FBC 1005.3.1
2ND FLOOR: REQUIRED: 284 / 4 = 71 OCC. PROVIDED: 44 IN. / 0.3 = 146 OCC.
3RD. TO 8TH FL: REQUIRED: 328 / 4 = 82 OCC. PROVIDED: 44 IN. / 0.3 = 146 OCC.

13- EGRESS DOOR CAPACITY

- NFPA 101 SECTION 7.3.3 / FBC 1005.3.2
1ST FLOOR: REQUIRED: 284 / 5 = 57 OCC. PROVIDED: 36 IN. / 0.2 = 180 OCC.
2ND FLOOR: REQUIRED: 284 / 4 = 71 OCC. PROVIDED: 36 IN. / 0.2 = 180 OCC.
3RD. TO 8TH FL: REQUIRED: 328 / 4 = 82 OCC. PROVIDED: 36 IN. / 0.2 = 180 OCC.

2 - PARKING GARAGE

- 2.1- NUMBER OF EGRESS STAIRS: NFPA 101 7.4 AND 30.2.4 / FBC 1006.3.2
EXIT ENCLOSURE STAIRS:
1ST. FLOOR (GROUND): REQUIRED : 2 PROVIDED : 3
2ND. TO 7TH. FLOOR (STAIRS): REQUIRED : 2 PROVIDED : 3

2.2- EGRESS STAIR CAPACITY

- NFPA 101 SECTION 7.3.3 / FBC 1005.3.1
2ND. TO 8TH FL: REQUIRED: 199 / 3 = 66 OCC. PROVIDED: 44 IN. / 0.3 = 146 OCC.

2.3- EGRESS DOOR CAPACITY

- NFPA 101 SECTION 7.3.3 / FBC 1005.3.2
1ST FLOOR: REQUIRED: 199 / 3 = 57 OCC. PROVIDED: 36 IN. / 0.2 = 180 OCC.
2ND. TO 7TH FL: REQUIRED: 199 / 4 = 50 OCC. PROVIDED: 36 IN. / 0.2 = 180 OCC.

3- EGRESS STAIR FIRE RESISTANCE RATING

- NFPA 101 30.2.2.1.2 / FBC 1023.2
REQUIRED: 1 HR
PROVIDED: 2 HR.

4- EGRESS STAIRS SEPARATION DISTANCE

- NFPA 101 SECTION 7.5.1.3.3
4.1- APARTMENTS BUILDING
REQUIRED: MIN. 1/3 OF 532'-0" = 177'-4"
PROVIDED: 311'-0"
4.2- PARKING GARAGE
REQUIRED: MIN. 1/3 OF 346'-6" = 115'-6"
PROVIDED: 299'-0"

5- TRAVEL DISTANCES TO EXIT

- 5.1- TRAVEL DISTANCE WITHIN DWELLING UNIT:
REQUIRED: 125 FT. MAX (NFPA 101 30.2.6.2)
PROVIDED: 87'-5" (AT UNIT P THAT IS LONGEST PATH OF TRAVEL)
5.2- TRAVEL DISTANCE FROM DWELLING UNIT ENTRANCE DOOR TO NEAREST EXIT
REQUIRED: 200 FT. MAX (NFPA 101 30.2.6.3.2)
PROVIDED: 185 FT. (LONGEST PATH OF TRAVEL)
5.3- DWELLING UNIT COMMON PATH OF TRAVEL
REQUIRED: 50 FT. MAX (NFPA 101 30.2.5.2.1)
PROVIDED: 7 FT.
5.4- DWELLING UNITS DEAD ENDS CORRIDOR
REQUIRED: 50 FT. MAX (NFPA 101 30.2.5.3.1)
PROVIDED: 35 FT.
5.5- PARKING GARAGE COMMON PATH OF TRAVEL
REQUIRED: 50 FT. MAX (NFPA 101 TABLE A.7.6)
PROVIDED: 48 FT.
5.6- PARKING GARAGE TRAVEL DISTANCE
REQUIRED: 200 FT. MAX (NFPA 101 TABLE A.7.6)
PROVIDED: 151 FT. (LONGEST PATH OF TRAVEL)

A LIFE SAFETY PROGRAM SUMMARY DESCRIPTION

THE FOLLOWING IS A SUMMARY DESCRIPTION OF FIRE PROTECTION AND LIFE SAFETY COMPONENTS IN THE LIFE SAFETY EVALUATION. IT CANNOT BE OVER-EMPHASIZED THAT THE FOLLOWING SUMMARY DESCRIPTION IS SPECIFIC TO THIS PROJECT ONLY AND IS NON-TRANSFERABLE. THE FIRE DEPARTMENT HAS NOT YET ACCEPTED THE CONCEPTUAL PROPOSAL. THAT APPROVAL OF ANY AND ALL FUTURE CONSTRUCTION DOCUMENTS TO BE SUBMITTED AS PART OF THE FIRE PROTECTION AND LIFE SAFETY PROGRAM WILL BE SUBJECT TO THEIR (THE A.H.J.) FINAL REVIEW.

FIRE RESISTANCE RATING TYPICAL FLOORS	
MEANS OF EGRESS COMPONENTS / VERTICAL OPENINGS	
- EXIT STAIRS	2 HRS
- ELEVATOR HOISTWAYS	2 HRS
- TRASH CHUTE SHAFT ENCLOSURES	2 HRS
- COMMERCIAL EXH. AND MECH. SHAFTS ENCLOSURES	2 HRS
- EXIT ACCESS DOORS	90 MIN
SEPARATION BETWEEN OWNERS / BUILDING SERVICES / FIRE PROTECTION EQUIPMENT	
- TRASH CHUTE ACCESS ROOMS	2 HRS
- TRASH CHUTE ACCESS ROOM DOORS	90 MIN.
- SEPARATION UNIT-TO-UNIT	1 HR
- TRASH COLLECTION ROOMS / DOORS	2 HRS / 'B' LABEL
- SEPARATION FLOOR-TO-FLOOR	2 HR
(INCLUDING FIRE DAMPERS)	2 HRS (MINIMUM)
- DOOR SEPARATING UNIT-TO-CORRIDOR	'C' LABEL (20 MIN.)
SEPARATION FROM HAZARDOUS AREAS SHALL BE IN ACCORDANCE WITH NFPA 101 - 30.1 (NEW APT, BUILDING & 38.1 (NEW BUSINESS OCCUPANCY)	
APARTMENT BUILDING / COMMERCIAL FULLY SPRINKLERED IN ACCORDANCE WITH NFPA 13, INCLUDING:	
› ALL BUILDING SERVICE AREAS	2 HRS
› LOCKER ROOMS	2 HRS
› ANY RETAIL SHOPS	1HR
› MAINTENANCE SHOP	1HR
› TRASH COLLECTION ROOMS	2 HRS
PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED AS PER NFPA 101 - 9.7.4.1 AND NFPA 101	

GENERAL INFORMATION

- 1 PROPOSED BUILDING TO BE FULLY SPRINKLED IN ACCORDANCE WITH NFPA 101 AND F.B.C. 2023.

2 EXIT DOORS SHALL NOT BE LOCKED FROM EGRESS AND SHALL CONFORM TO F.B.C. 2023 ALL FIRE DOORS SHALL BE PROVIDED WITH FIRE DOOR HARDWARE AS PER NFPA 80 INCLUDING DOOR, FRAME, HINGES, CLOSERS AND PASSAGE SETS. PLEASE SEE DOOR SCHEDULE ON ARCHITECTURAL SHEETS FOR FURTHER DETAILS. A SEPARATED ELEVATOR FOYER IS NOT REQUIRED AT THE GROUND LOBBY LEVEL.

- 4 ILLUMINATED AND MARKED MEANS OF EGRESS AS PER NFPA 7.8 AND SECTION 1006 F.B.C. 2023.

5 AUDIBLE ALARM AND COMMUNICATION SYSTEM SHALL BE IN ACCORDANCE TO SECTION 907 F.B.C. 2023. DETECTION, ALARM AND COMMUNICATION SYSTEMS SHALL BE AS PER NFPA SECTION 30-8, MID-RISE BUILDINGS. ALARM TO STATE, *MAY I HAVE YOUR ATTENTION PLEASE. A FIRE EMERGENCY HAS BEEN REPORTED IN THE BUILDING. WHILE THIS IS BEING INVESTIGATED, PLEASE LEAVE THE BUILDING BY THE NEAREST EXIT. DO NOT USE THE ELEVATOR.* OR AS PER A.H.J.

6 FIRE ALARM SYSTEM TO BE INSTALLED CERTIFIED AND MAINTAINED BY A U.L. CERTIFIED FIRE ALARM CONTRACTOR FIRE ALARM SYSTEM IS NOT TO BE OFF-SITE (PROPRIETARY SYSTEM ONLY).

7 EVERY MECHANICAL EQUIPMENT, ELECTRICAL, TRANSFORMER, TELEPHONE EQUIPMENT, ELEVATOR MACHINE AND LOBBY, OR SIMILAR ROOM SHALL BE PROTECTED BY APPROVED SMOKE DETECTORS, CHAPTER 3 F.B.C. 2021 AND EACH DWELLING UNIT AS PER SECTION 9 F.B.C. 2021, REFER TO ELECTRICAL DRAWINGS FOR EACH LOCATION OF SMOKE AND HEAT DETECTION DEVICES.

8 VERTICAL PENETRATIONS SHALL BE OF 2-HOUR NONCOMBUSTIBLE CONSTRUCTION AND SEPARATION AND METAL LINED. ANY SHAFTWAY LARGE ENOUGH FOR A PERSON TO FALL IN SHALL BE MARKED *SHAFTWAY* IN RED LETTERS.

9 AS PER NFPA 101-5-13.1 ENCLOSED EXIT STAIRWAYS SHALL UTILIZE 1-1/2-HOUR SELF-CLOSING DOORS AND FRAMES W 450° TEMP. STAIR IDENTIFICATION SIGNS SHALL BE PROVIDED FOR ALL STAIRWAYS.

10 AS PER *SAFETY CODE FOR ELEVATORS* TWO-HOUR PENETRATIONS SHALL BE SMOKE AND FIRE PROTECTED WHERE REQUIRED.

11 THE PROPOSED BUILDING DOES NOT INCORPORATE ANY COMMUNICATING SPACE.

12 WET FIRE HYDRANTS ARE REQUIRED PRIOR TO, DURING, AND AFTER CONSTRUCTION.

13 SUITABLE ROADS ARE TO BE PROVIDED FOR FIRE AND PARAMEDICAL EQUIPMENT.

14 ALL CONSTRUCTION WORK TO COMPLY WITH NFPA 241.

15 REFER TO SIGNAGE SHEET FOR DETAILS AND INFORMATION ON, BUILDING ADDRESS SIGN (6" MIN. HEIGHT), STAIR IDENTIFICATION SIGNS, SHAFTWAY AND ELEVATOR LOBBIES.

16 ELEVATOR LOBBY TO HAVE SIGNAGE READING *IN CASE OF FIRE EMERGENCY, DO NOT USE ELEVATOR. USE STAIRS*.

17 ALL ELEVATORS SHALL BE STRETCHER CAPABLE AND A SIGN SHALL BE PROVIDED INDICATING THIS AT THE ELEVATOR.

18 TACTILE SIGNAGE SHALL BE PROVIDED AT ALL STAIRWELLS.

NOTES OF WALKING SURFACES IN THE MEAN OF EGRESS:

- 1.- WALKING SURFACES IN THE MEAN OF EGRESS SHALL COMPLY WITH CHAPTER 7.1.6 NFPA 101.
2.- ABRUPT CHANGE IN ELEVATION OF WALKING SURFACE SHALL NOT EXCEED 1/4-IN. CHANGES IN ELEVATION EXCEEDING 1/4-IN BUT NOT EXCEEDING 1/2-IN SHALL BE BELIEVED WITH SLOPE 1:2.
3.- WALKING SURFACE SHALL BE NOMINALLY LEVEL. MAX. SLOPE IN THE DIRECTION OF TRAVEL SHALL NOT EXCEED 1:20 AND 1:48 MAX. PERPENDICULAR TO THE DIRECTION OF TRAVEL.
4.- WALKING SURFACES SHALL BE SLIP RESISTANCE UNDER FORESEEABLE CONDITIONS. 7.1.6.4 NFPA 101.
5.- CHANGES IN LEVEL IN MEAN OF EGRESS SHALL COMPLY WITH CHAPTER 7.1.7 NFPA 101. CHANGES IN LEVEL IN MEAN OF EGRESS NOT IN EXCESS OF 21-IN SHALL BE ACHIEVED EITHER BY RAMP COMPLYING WITH THE REQUIREMENTS OF 7.2.5 NFPA 101 OR BY A STAIR COMPLYING WITH THE REQUIREMENTS OF 7.2.2 NFPA 101.

FIRE PUMP LOCATION:.

FIRE PUMP IS LOCATED IN GARAGE STRUCTURE "C" (SEE LS-2) UNDER SEPARATE PERMIT..

EMERGENCY FORCES ACCESS

-ACCESS FOR EMERGENCY VEHICLES, VEHICULAR ACCESS LANES AND WIDTHS, OBSTRUCTION REQUIREMENTS AND TURNING RADII TO BE ACCOMMODATED. CONTINUED VEHICULAR ACCESS TO BE CONTINUOUS THROUGH ANY PROPOSED ENTRANCE FEATURE.

-APPROACH ACCESS LANES FOR EMERGENCY FIRE APPARATUS TO BE MAINTAINED AS PER APPROVED SPECIFICATIONS.

-OPERATION AREA FOR HYDRANT CONNECTION AND SUPPLY TO FDC, EXACT LOCATION TO BE DETERMINED IN THE FIELD WITH THE AHJ.
-DURING CONFIRMED EMERGENCIES, THE PRIMARY DEDICATED STAGING AREA FOR LADDERING APPARATUS WILL BE ON 107TH AVE AND NW 78TH TERRACE

-BACK-UP *Y*-TURNAROUND AS PER EXCEPTION NO.1 TO NFPA 1-3-5.2.
GENERAL AREA OF THE TYPICAL FLOOR AREA AND CONFIGURATION USING THE COMPARTMENTATION / SMOKE-PROTECTED COMMON AREA ALTERNATIVE EQUIVALENCY

-SOLUTION AS DESCRIBED IN THE ORIGINAL LIFE SAFETY EQUIVALENCY PROGRAM. ACCESS POINT (ON EACH TYPICAL FLOOR) THAT WOULD BE THE TARGET PENETRATION POINT FOR *WORST-CASE* LADDERING OPERATIONS. PROVIDE A SMOKE-PROTECTED PERSONNEL STAGING AREA GRANTING ACCESS THROUGH LOWER LEVEL UNITS INTO THE *CORE* AREA ON EACH FLOOR AND, FROM THERE TO 2 AND 1-WAY COMMUNICATIONS, STANDPIPE HOSE CONNECTIONS, ELEVATORS FOR BACK-UP EQUIPMENT EVACUATION OF NON-AMBULATORY OCCUPANTS, ETC. AND DIRECT ACCESS TO ALL OTHER UNITS.

GENERAL REQUIREMENTS FOR MEANS OF ACCESS FOR FIRE DEPARTMENT APPARATUS

GENERAL PROVISIONS FOR FIRE LANES 16'-0" OF UNOBSTRUCTED WIDTH ABLE TO WITHSTAND LIVE LOADS OF F.D. APPARATUS MINIMUM OF 13'-6" OF VERTICAL CLEARANCE, MINIMUM CENTERLINE RADIUS OF 50'-0", MAXIMUM GRADE OF FIRE LANE NO GREATER THAN 10%. EXCEPTION: WHERE BUILDINGS ARE PROTECTED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM, THE PROVISIONS OF THIS SECTION MAY BE MODIFIED BY THE AHJ.

APPARATUS WEIGHT	APPARATUS BOOSTER TANK (H2O)	62,080 2,400 8,000	LBS. LBS. LBS.
	MANPOWER / EQUIPMENT	72,460	LBS. OR 36 TONS

OTHER

THE 38' INSIDE RADIUS AND 50' OUTSIDE RADIUS MUST BE ADHERED TO FOR ALL APPROACH AND FIRE ACCESS LANES. STAGING FOR ALL AERIAL APPARATUS WILL BE ACCOMMODATED ON 107th AVENUE AND ACCESS DRIVE PROVIDED. FIRE HYDRANT AND FIRE DEPARTMENT CONNECTIONS CAN BE LOCATED ON CIVIL DRAWINGS.

TURNAROUND FOR FIRE DEPARTMENT APPARATUS SHALL BE ACCOMPLISHED BY IT IS IMPORTANT THAT TURNING RADII, APPARATUS LENGTHS AND WEIGHT BE CONSIDERED AND ACCOMMODATED.

INTERIOR FINISH CLASSIFICATION (SPRINKLERED BUILDING)

INTERIOR WALL AND CEILING FINISH MATERIALS AS FOLLOW:

- EXITS : CLASS "B"
- LOBBIES AND EXIT ACCESS CORRIDORS : CLASS "C"
- OTHER SPACES : CLASS "C"

PRODUCTS REQUIRED TO BE TESTED IN ACCORDANCE WITH NFPA 101 TABLE A.10.2.2

CLASS "B" FLAME SPREAD 26-75 & SMOKE DEVELOPMENT 0-450



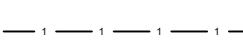
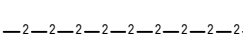
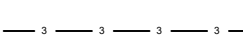
CLASS "C" FLAME SPREAD 76-200 & SMOKE DEVELOPMENT 0-450

INTERIOR FLOOR FINISH MATERIALS AS FOLLOW:

- EXITS : CLASS "II"
- LOBBIES AND EXIT ACCESS CORRIDORS : CLASS "II"
- OTHER SPACES : N/A

CLASS II: CRITICAL RADIANT FLUX, NOT MORE THAN 0.22 W/CM2, BUT LESS THAN 0.45 W/CM2

TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)	
BUILDING ELEMENT	TYPE I-B
PRIMARY STRUCTURAL FRAME	2
BEARINGS WALLS: EXTERIOR	2
INTERIOR	2
NON-BEARING WALLS & PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION & SECONDARY MEMBERS	2
ROOF CONSTRUCTION & SECONDARY MEMBERS	1

Legend	
SYMBOL	DESCRIPTION
	EXIT SIGN
	FIRE EXTINGUISHER
	ONE HOUR FIRE RATING
	TWO HOUR FIRE RATING
	THREE HOUR FIRE RATING

PASCUAL PEREZ KILIDDJIAN STARR

ARCHITECTS + PLANNERS

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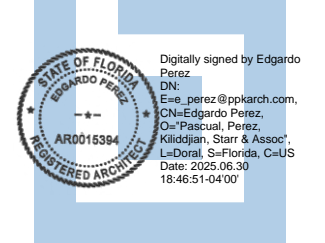
260 95th Street

Suite 201

Surfside, FL 33154

4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA

SEAL:



GENERAL NOTES

LIFE SAFETY GENERAL INFORMATION

DATE: 2025-06-30

SCALE: AS SHOWN

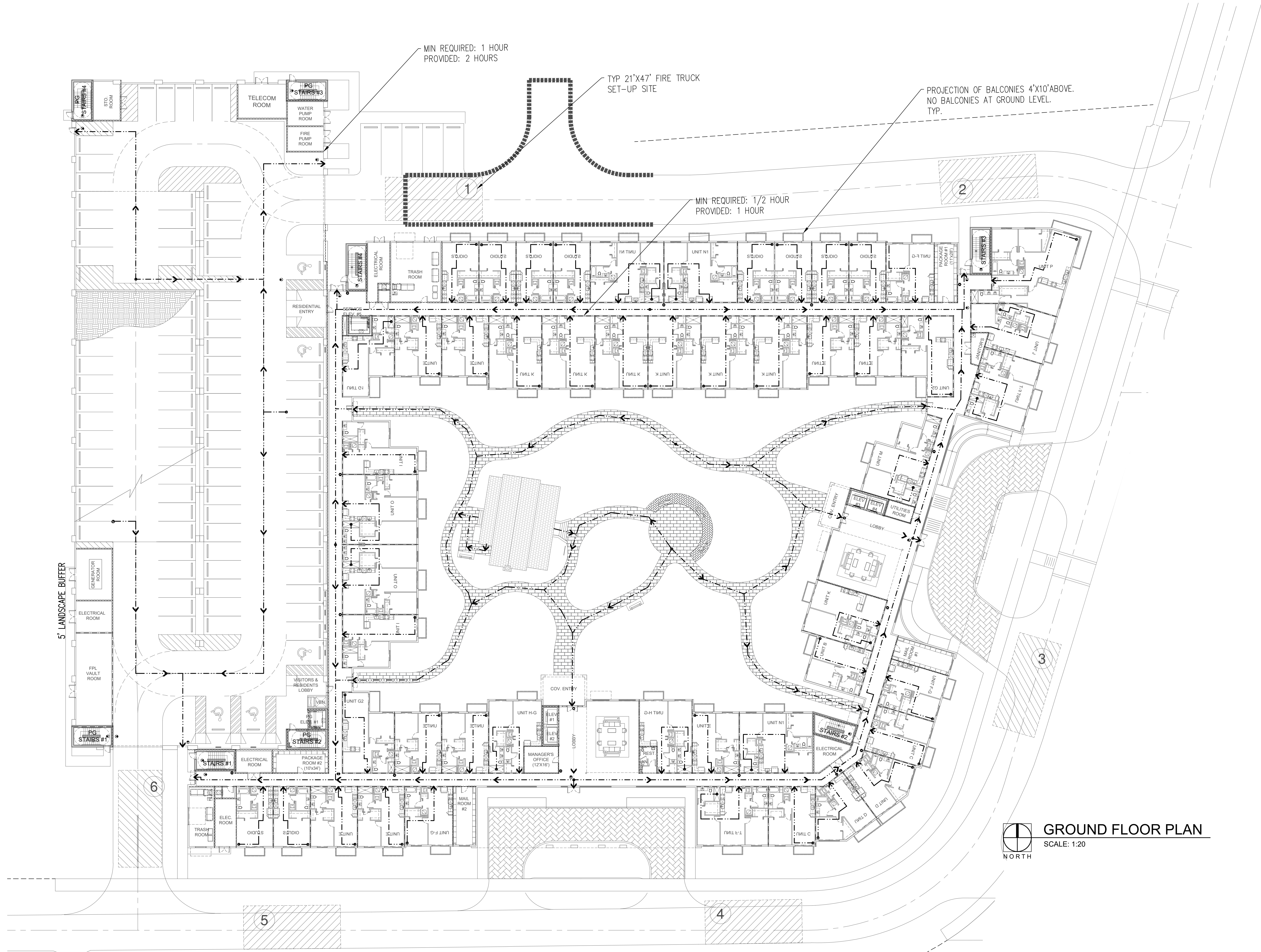
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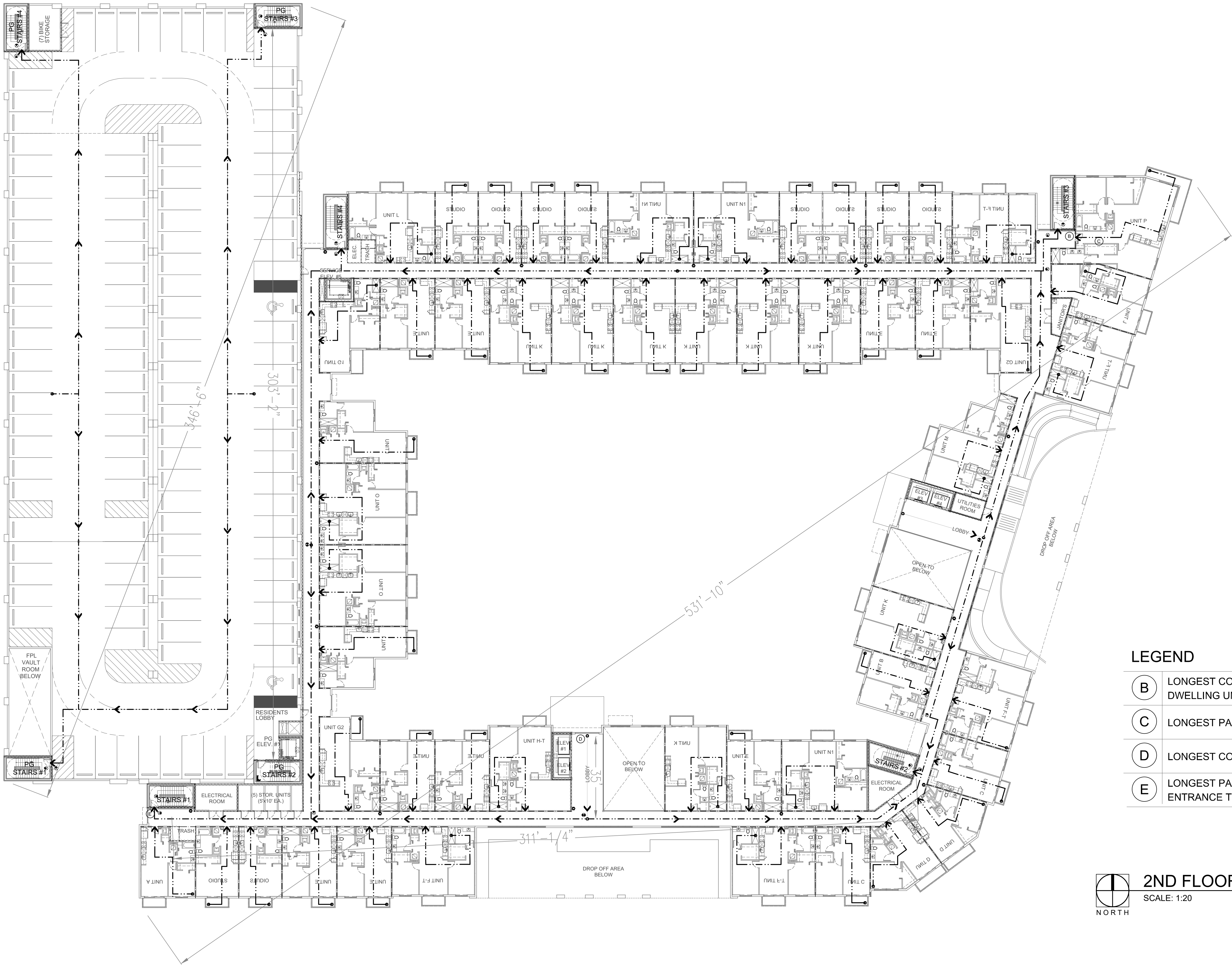
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JOB NO.: 24-26

LS-1

SHEET NO.: 1





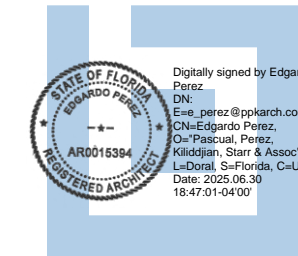
LEGEND

B	LONGEST COMMON PATH OF TRAVEL FROM DWELLING UNIT ENTRANCE
C	LONGEST PATH OF TRAVEL INTO A UNIT
D	LONGEST COMMON PATH = 35'
E	LONGEST PATH OF TRAVEL FROM DWELLING UNIT ENTRANCE TO EXIT STAIR = 185'

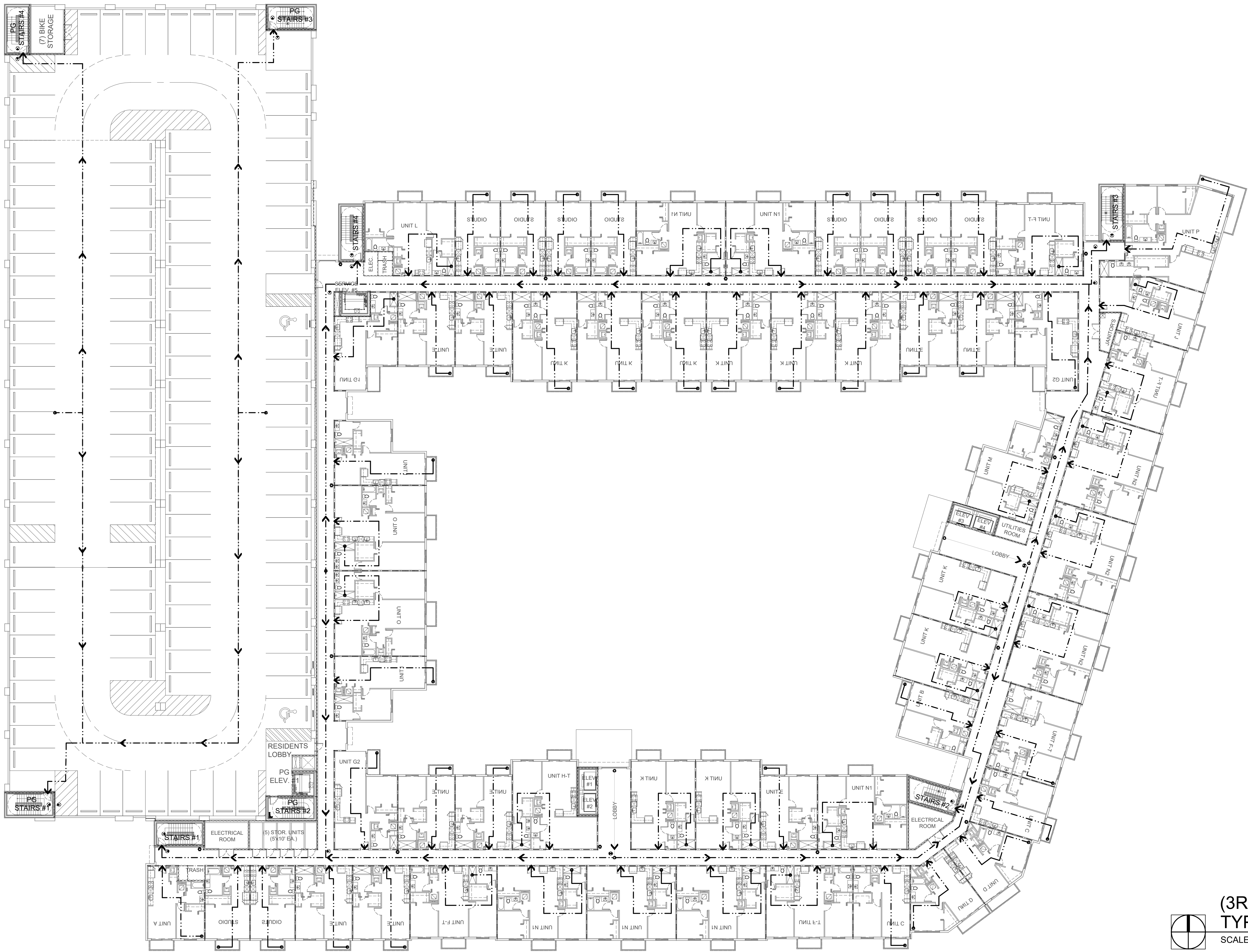


2ND FLOOR PLAN

SCALE: 1:20



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(3RD to 7TH)
TYPICAL FLOOR PLAN
SCALE: 1:20

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ARCHITECTS + PLANNERS

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LICENSE No.: AR 0015394
MARIO P. PASCUAL, AIA
LICENSE No.: AR 0008254
PETER KILIDDJIAN, RA
LICENSE No.: AR 0093067
ANDREW STARR, RA
LICENSE No.: AR 0095130

AT THE BEACON CENTER
1330 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE: (305) 592-1363
FACSIMILE: (305) 592-6865
<http://www.ppkarch.com>

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4220 N 58TH AVE.
BY KUSHNER
HOLLYWOOD, FLORIDA

SEAL:

LIFE SAFETY PLAN

TYPICAL FLOOR
DATE: 2025-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

LS-4
SHEET NO.:

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8TH FLOOR PLAN
SCALE: 1:20

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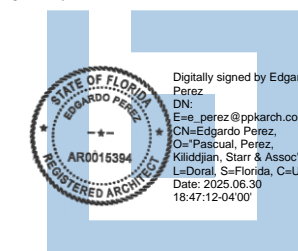
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HOLLYWOOD, FLORIDA

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LIFE SAFETY PLAN

8TH FLOOR
DATE: 2025-06-30
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

LS-5

SHEET NO.:

ATTACHMENT A
Application Package
Part II



KallerArchitecture

CRITERIA STATEMENT
For the Historic Preservation Board

June 30, 2025

City of Hollywood
Planning and Zoning Board
2600 Hollywood Boulevard
Hollywood Fl. 33022

Reference: Pothos Bryan House - Historic Home
4220 North 58th Avenue
Hollywood, Florida
Architect's Project #24329

Integrity of Location

The existing 2-story Historical home built in the 1920's is to be carefully restored and re-purposed as a library/meeting area for the residential development. This Historical Gem allows visual views from all sides of the surrounding Buildings

Design

A partial demolition of external stairs, floor slabs, walls and roof of a more recent addition in the first floor of the building in the areas area and the demolition of the internal stair and second level floor slab with architectural features such as walls, doors, plumbing fixtures, lighting and carpentry (existing windows to remain on facades). We envision a two-story volume internal building ceiling height with a sunroom in the front.

Setting

The current Historical Building is presently centrally located on the 4.25+/- Acre Site located at 4220 North 58 Avenue. The integration of the House placed in the central courtyard of the development which will provide a Historical Charm and serve as a small amenities building at the core and in the consolidated location of the Site.

Materials

The restoration will focus on key architectural features, such as windows with wood shutters, building wood corner guards, roof with wood structural elements, white wood siding for facades and fireplace while making necessary updates to accommodate the needs of a library. This will include areas for reading, study, community events, restrooms, water filing station, A/C and janitor's room. The restoration plan also integrates materials that closely resemble the original materials in appearance but offer greater durability and improved longevity.

Workmanship

The proportion of form, space and functionality are simple but sophisticated at the same time. The style is characterized by straight lines, volumes that make a strong imprint of architecture. The workforce must be very careful in order to achieve the necessary quality standards and achieve an energy efficient product and at the same time an environment filled with light, preserving its Historic Charm while ensuring it meets all the updated standards for accessibility, safety and functionality.

Association

The Historical residence is located and is incorporated in a perfect manner to the surrounding environment, not only from the existing frontage facing the multi-family buildings.

This home allows visual from all sides to both its residents and neighbors.

Should you have any questions or need anything further, please feel free to contact this office.

Sincerely,
Kaller Architecture



Joseph B. Kaller, AIA, LEED AP BD+C
President



KallerArchitecture

June 30, 2025

City of Hollywood
Department of Planning & Zoning
2600 Hollywood Boulevard
Hollywood, Florida 33020

Re: Pothos Bryan - Historic Home
4220 North 58th Avenue
Hollywood, Florida
Architect's Project #24329

**CERTIFICATE OF APPROPRIATENESS FOR PARTIAL DEMOLITION
FOR AN EXISTING PORTION OF THE STRUCTURE**

The Zoning and Land Development Regulations Section 5.5.F.4.e states the Historic Preservation Board shall consider the following Criteria in evaluating an Application for Certificate of Appropriateness for "partial" Demolition of the rear addition portion of the Home and the main portion of the house will be carefully restored and repurposed to serve as a library for the residential development preserving its Historic Charm while ensuring it meets modern code standards for accessibility, safety and functionality.

CRITERION 1: *The building, structure, improvement, or site is designated on either a National, State or Local level as a Historic Preservation District or an Architectural Landmark or Site.*

ANALYSIS: The existing 1920's Pothos Bryan Home is a Historic Residential Landmark to be preserved and retained in the interior courtyard of a Proposed New Multi-Family Development Site.

CRITERION 2: *The building, structure, improvement, or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty or expense.*

ANALYSIS: The small rear (west) portion of the building that is proposed to be demolished is not original to the building itself. It is an addition that was poorly constructed of wood framing, with low ceilings and no insulation. There is no air conditioning, finished ceilings or floors in the area. The removal of the addition would be done in order to meet the simplicity of the original design of the building, and giving the Historical Structure the presence that it so highly deserves.

CRITERION 3: *The building, structure, improvement, or site is one of the last remaining examples of its kind in the neighborhood, the county, or the region*

ANALYSIS: The existing 2-Story building structure is characterized by the 1920's Southern, craftsman/colonial revival style, and is currently surrounded by others similar in age and varying styles, and varying samples of this particular style exist in the area.

CRITERION 4: *The building, structure, improvement, or site contributes significantly to the Historic Character of a Historically Designated District.*

ANALYSIS: The Historical Building is not located in a Historically significant District, but its adaptive re-use as a library would significantly be seen as a Historic Jewel in the center of the proposed new multi-family development Site.

CRITERION 5: *Retention of the building, structure, improvement or site promotes the general welfare of the City by providing an opportunity for study of local history, architecture and design or by developing an understanding of the importance and value of a particular culture and heritage.*

ANALYSIS: The restoration and renovation of the existing Two-Story Historic Building in its original Site location promotes the general welfare of the City by providing an opportunity for the study of local Florida History, Architecture and Design and understanding the importance and value of Historic Architecture within our Community.

CRITERION 6: *There are definite plans for reuse of the property if the proposed demolition is carried out, and those plans will adversely affect the historic character of the Historic District.*

ANALYSIS: Since the existing Historic Building will be retained, restored and re-purpose, it will enhance the immediate area and yet preserve the structures Historical Charm.

CRITERION 7: *The Unsafe Structures Board has ordered the demolition of a structure or the feasibility study determines that the retention of the building would deny the Owner of all economically viable uses of the Property.*

ANALYSIS: This has not been reviewed by the Unsafe Structures Board.

CRITERION 8: *The information listed in the Historic Properties Database (a listing of historic and non-historic properties), as a guideline in determining whether a certification of Appropriateness for Demolition should be issued.*

ANALYSIS: The information listed in the Historic Properties database, reflects this structure to be considered as a Historic Home that was built in the early 1900's, and therefore the Certificate of Appropriateness for "partial" demolition should be considered.

Should you have any questions, please feel free to contact our office at any time.

Sincerely,
Kaller Architecture



Joseph B. Kaller, AIA, LEED AP BD+C
President

OWNER

ARCHITECT

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CIVIL ENGINEER

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

MEP ENGINEERS

www.kallerarchitects.com

Kaller Architecture

2417 Hollywood Blvd.
Hollywood Florida 33020

HISTORICAL HOUSE

4220 N 58TH AVENUE., HOLLYWOOD, FL.

SCOPE OF WORK

The building will be partially demolished, carefully restored and repurposed to serve as a library for the residential development in the lot area, preserving its historical charm while ensuring it meets modern standards for accessibility, safety, and functionality.

A partial demolition of external stairs, floors slabs, walls and roof of a more recent addition in the first floor of the building in the rear area and the demolition of the internal stair and second level floor slab with architectural features such as walls, door, plumbing fixtures, lighting and carpentry (existing windows to remain on facades). We envision a two-story building height with a sunroom in the front.

The restoration will focus on key architectural features, such as windows with wood shutters, building wood corners guards, roof with wood structural elements, white wood siding for facades and fireplace while making necessary updates to accommodate the needs of a library. This will include areas for reading, study, community events, restrooms, water filling station, A/C and janitor's room. The restoration plan also integrate materials that closely resemble the original materials in appearance but offer greater durability and improved longevity.

A. Architectural Review and Restoration: evaluating and restoring the building's historical features, including the façades, original windows, and unique external and internal architectural details.

B. Structural Reinforcement: The building's structural integrity will be reinforced as per civil specifications as the second and third floor slab will be removed.

C. Material Conservation: Where possible, original building materials will be preserved. In cases of deterioration, we will use historically appropriate materials to ensure consistency with the building's original design.

D. Adaptive Reuse: The library's design will adapt the space for modern use while minimizing disruptions to the building's original layout. Key historical elements will remain prominent, and any upgrades (e.g., electrical systems, HVAC) will be carefully integrated to avoid impacting the building's character.

PROJECT + ZONING INFORMATION

ZONING INFORMATION

ADDRESS: 4220 N 58TH AVENUE., HOLLYWOOD, FL. 33021
FOLIO NUMBER(S): 514101010010
LAND USE: TRANSIT ORIENTED CORRIDOR
ZONING DISTRICT: N-MU
JURISDICTION: CITY OF HOLLYWOOD + BROWARD COUNTY + FLORIDA
BASE FLOOD ELEVATION: 7' NAVD88
LOT AREA: 184,748 S.F. (BCPA)

BUILDING INFORMATION	ALLOWED	PROPOSED
BUILDING HEIGHT	65'	25' 10"
OCCUPANCY CLASSIFICATION	R-1	A-3

SETBACKS	ALLOWED	PROPOSED
PRIMARY FRONT SETBACK	15'-0"	Existing to remain
SIDE SETBACK (NORTH)	15'-0"	Existing to remain
SIDE SETBACK (SOUTH)	15'-0"	Existing to remain
REAR SETBACK	15'-0"	Existing to remain

PROJECT FLOOD ZONE INFORMATION

FLOOD ZONE AH , X 0.2 Percent Annual
Chance Flood Hazard

DESIGN FLOOD ELEVATION:

FEMA BASE FLOOD ELEVATION: 7.00' NAVD88
CROWN OF ROAD ELEVATION 13.14' NAVD88
PROPOSED FINISH FLOOR ELEVATION (F.F.E) 14.32' NAVD



0. GENERAL			
SHEET NO.	SHEET NAME	REV #	LAST REVISION DATE
T-0.00	COVER SHEET	3	6-31-25
1. SITE			
SHEET NO.	SHEET NAME	REV #	LAST REVISION DATE
SP-1.00	PROPOSED SITE PLAN	3	6-31-25
SP-2.00	CONSTRUCTION PROTECTION PLAN		
3. ARCHITECTURE (EXISTING & DEMOLITION)			
SHEET NO.	SHEET NAME	REV #	LAST REVISION DATE
D-1.00	DEMOLITION - FIRST LEVEL PLAN	3	6-31-25
D-1.01	DEMOLITION - SECOND LEVEL PLAN	3	6-31-25
D-1.02	DEMOLITION - ROOF PLAN	3	6-31-25
D-3.00	DEMOLITION EAST & WEST BUILDING ELEVATIONS	3	6-31-25
D-3.01	DEMOLITION NORTH & SOUTH BUILDING ELEVATIONS	3	6-31-25
3. ARCHITECTURE (PROPOSED)			
SHEET NO.	SHEET NAME	REV #	LAST REVISION DATE
A-1.00	EXISTING AND PROPOSED FIRST LEVEL FLOOR PLAN	3	6-31-25
A-1.01	EXISTING AND PROPOSED ROOF PLAN	3	6-31-25
A-3.00	EXISTING AND PROPOSED - EAST BUILDING ELEVATIONS	3	6-31-25
A-3.01	EXISTING AND PROPOSED - WEST BUILDING ELEVATIONS	3	6-31-25
A-3.02	EXISTING AND PROPOSED NORTH BUILDING ELEVATIONS	3	6-31-25
A-3.03	EXISTING AND PROPOSED SOUTH BUILDING ELEVATIONS	3	6-31-25
A-3.10	COLORLED EAST & WEST ELEVATIONS	2	4-1-25
A-3.11	COLORLED NORTH & SOUTH BUILDING ELEVATIONS	2	4-1-25
A-4.01	EAST & NORTH BUILDING SECTIONS		
A-4.02	DETAILS	2	4-1-25
A-5.00	3D PERSPECTIVES		
A-5.01	3D PERSPECTIVES CONT.		
A-5.02	RENDERING 1		
A-5.03	RENDERING 2		



DRAWINGS INDEX

PROPERTY MAP

KA

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joseph@kallerarchitects.com

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2025.06.30
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accuracy and
integrity of this
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JOSEPH B. KALLER
FLORIDA R.A. #0009239

PROJECT TITLE
HISTORICAL HOUSE

4220 N 58TH AVENUE., HOLLYWOOD, FL.

SHEET TITLE
COVER SHEET

REVISIONS

No.	Description	Date
2	TAC COMM.	4-1-25
3	REV 3 - TAC COMM.	6-31-25

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CHECKED BY: JBK

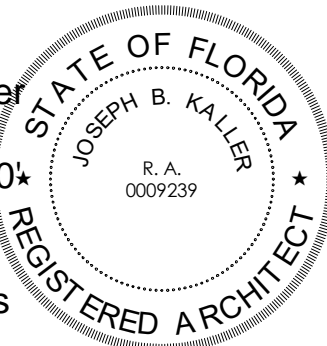
SHEET

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CONSTRUCTION DOCUMENTS

HISTORICAL HOUSE

4220 N 58TH AVENUE, HOLLYWOOD, FL.

PROJECT TITLE

PROPOSED SITE PLAN

SHEET TITLE

REVISIONS

No.	Description	Date
3	REV 3 - TAC COMM.	6-31-25

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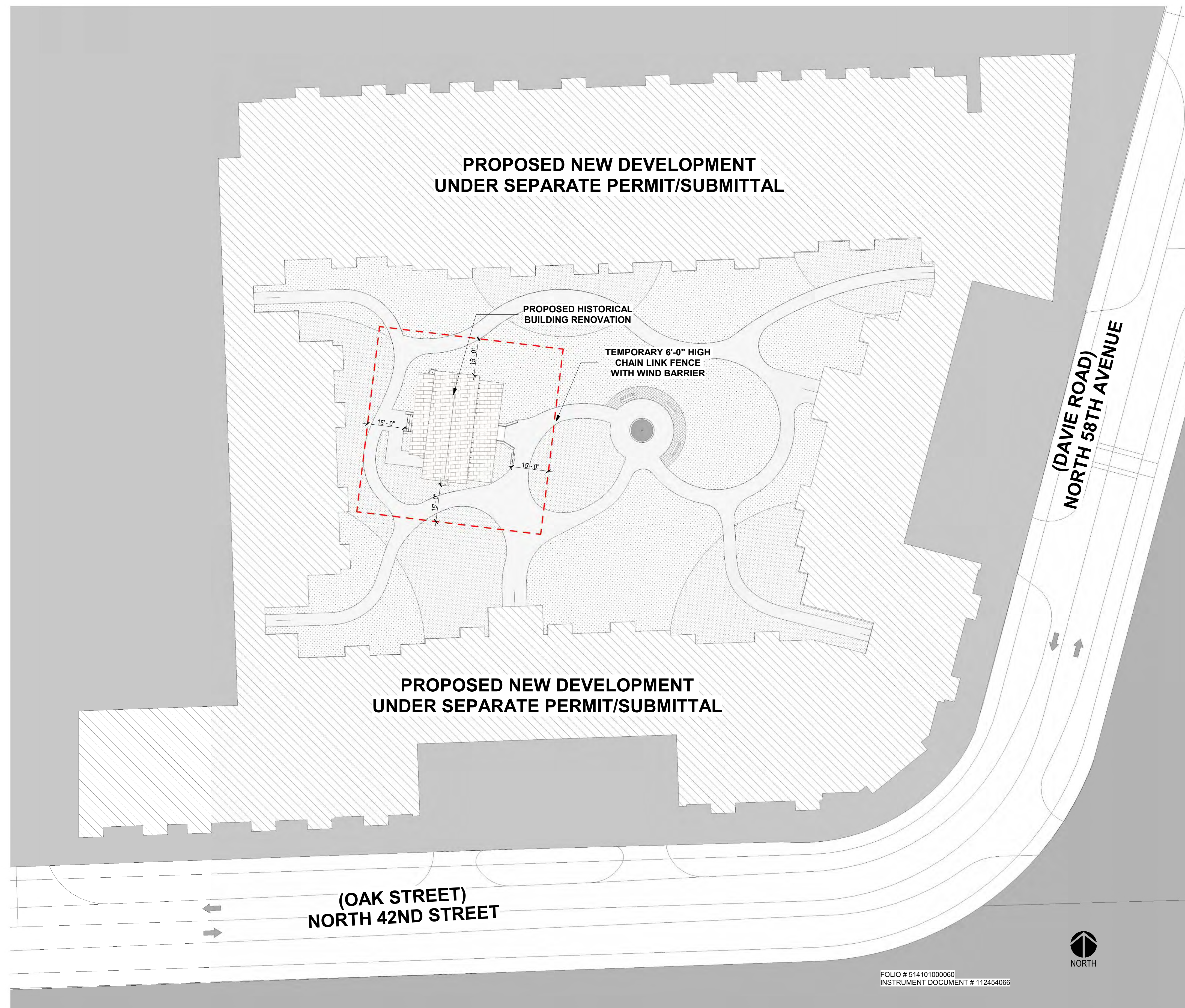
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SHEET

SP-1.00



3

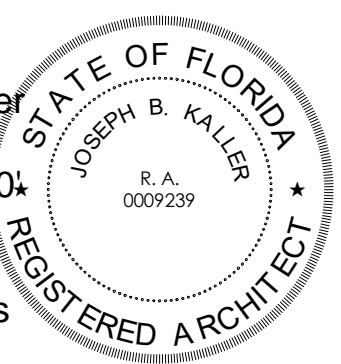


1 CONSTRUCTION PROTECTION PLAN
3/64" = 1'-0"

FOLIO # 514101000060
INSTRUMENT DOCUMENT # 112454066



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HISTORICAL HOUSE

4220 N 58TH AVENUE., HOLLYWOOD, FL.

SHEET TITLE

CONSTRUCTION PROTECTION PLAN

REVISIONS

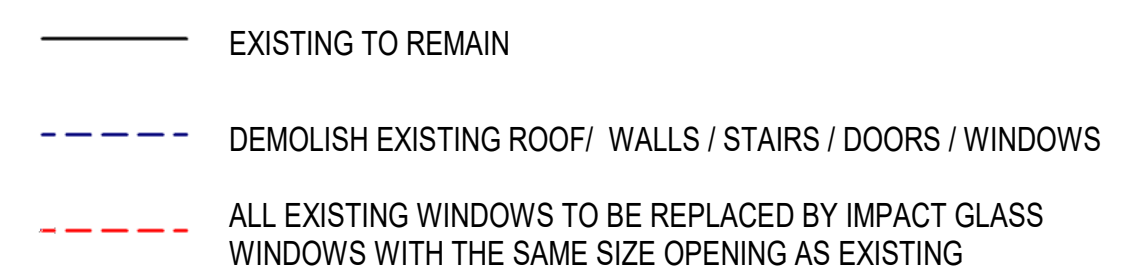
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SP-2.00





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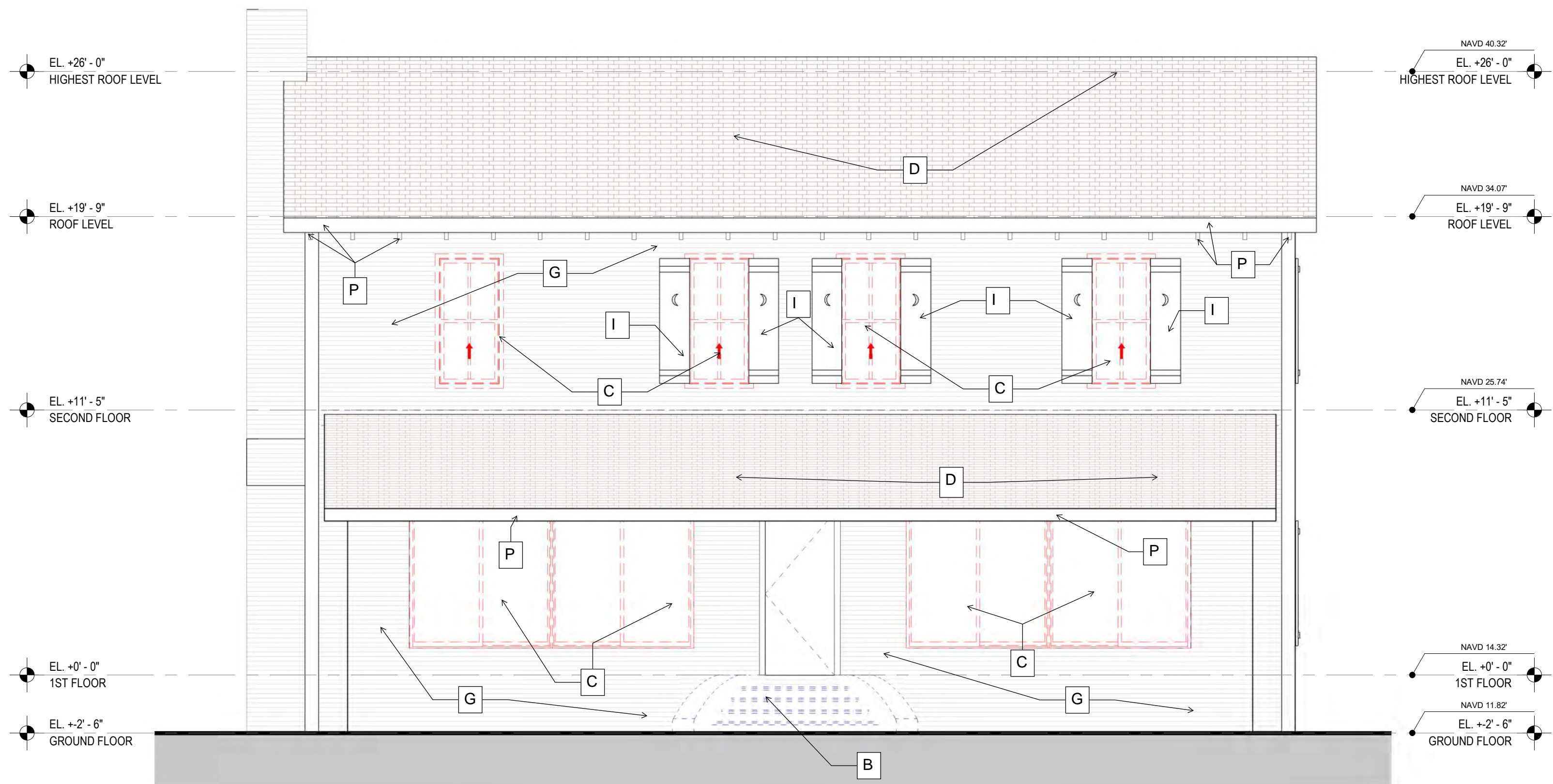
0-1.02



LINE TYPES LEGEND

- EXISTING TO REMAIN
- DEMOLISH EXISTING ROOF/ WALLS / STAIRS / DOORS / WINDOWS
- ALL EXISTING WINDOWS TO BE REPLACED BY IMPACT GLASS WINDOWS WITH THE SAME SIZE OPENING AS EXISTING

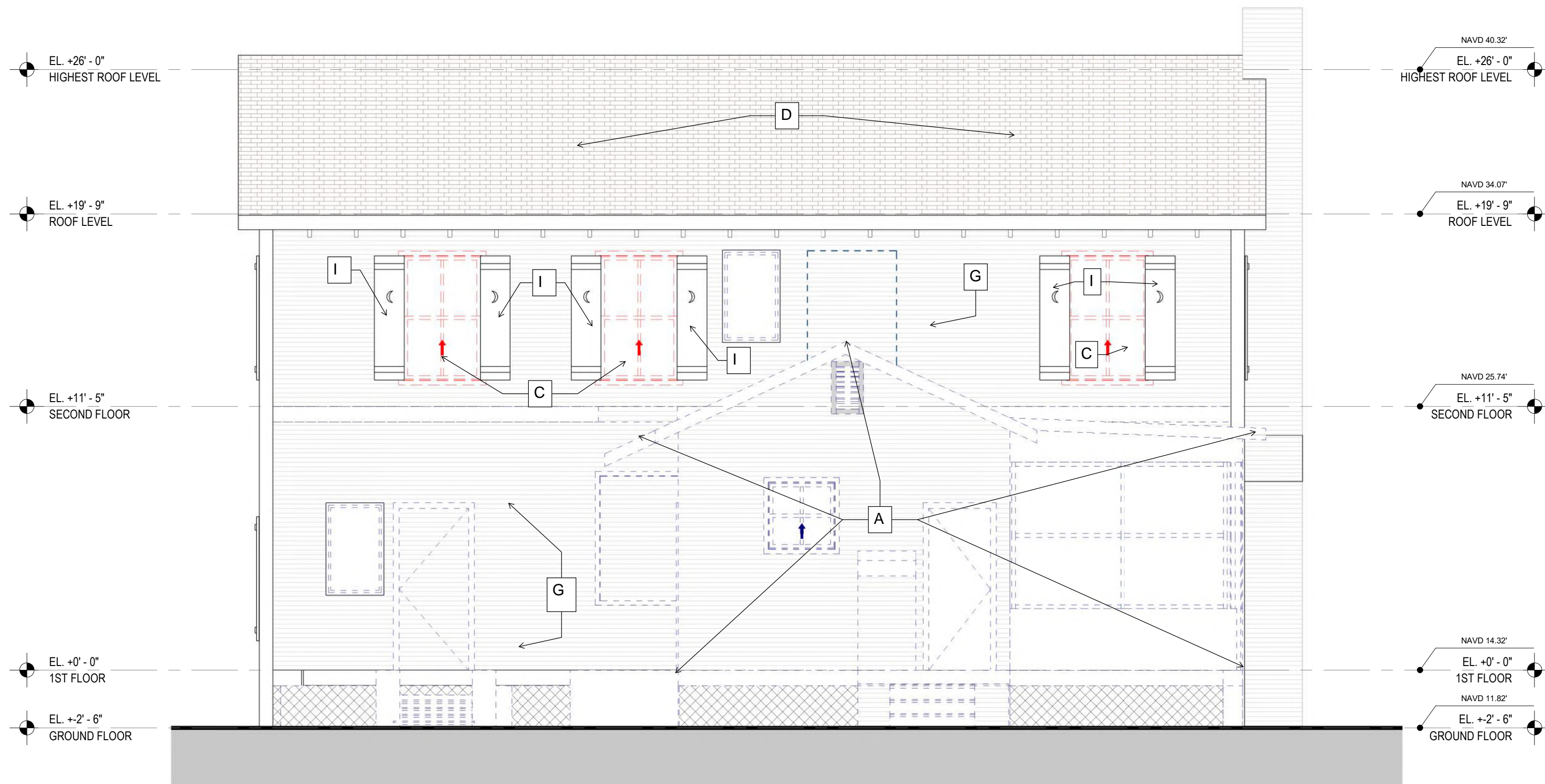
$$\frac{1}{4}'' = 1'-0''$$

① DEMOLITION EAST ELEVATION.
1/4" = 1'-0"

SCOPE OF WORK:

- A. DEMOLITION OF WEST ADDITION PRESERVING THE REST OF BUILDING
- B. DEMOLITION OF EXISTING ENTRANCE STAIR. BUILDING A NEW ENTRANCE STAIR TO BE SIMILAR IN DESIGN IN COMPLIANCE WITH FBC AND FLORIDA ACCESSIBILITY CODE
- C. REPLACING ALL DOORS AND WINDOWS TO MATCH EXISTING STYLE, DIMENSIONS WITH IMPACT RESISTANT TYPE, IN COMPLIANCE WITH FBC AND OTHER APPLICABLE CODES.
- D. REPLACING ROOF SHINGLES AND BUILDING AN ADDITION WEST SIDE OF THE BUILDING.
- E. NEW WEST STAIR AND RAILING
- F. ADA VERTICAL LIFT
- G. REPLACE ALL DAMAGED WOOD SIDING TO MATCH STYLE AND DIMENSIONS.
- H. NEW PAINT ALL EXTERIOR SIDING
- I. REPAIR, REFURBISH ALL EXTERIOR SHUTTERS
- J. BUILD TWO NEW ADA BATHROOMS TO COMPLY WITH FBC AND FLORIDA ACCESSIBILITY CODE.
- K. REMOVING SECOND FLOOR TO CREATE A CATHEDRAL SPACE (DOUBLE HEIGHT) IN LIBRARY ROOM.
- L. ADDING AN AC UNIT WITHIN A CLOSET AND EXTERIOR CONDENSER.
- M. ADDING DRINKING FOUNTAIN WITH BOTTLE FILLER
- N. PAINTING ALL INTERIOR SPACES AFTER REPAIRING INTERIOR EXISTING WALLS
- O. NEW LIGHTING FIXTURES
- P. REPAIRING EXTERIOR ARCHITECTURAL ELEMENTS (EDGE OF RAFTERS, BANDING, MOLDING).
- R. REMOVE INTERIOR WALLS, STAIRS. PATCH AND REPAIR WALLS TO REMAIN. PREPARE THE WALLS FOR PAINT. REFER TO COLOR SCHEME FOR PAINT.



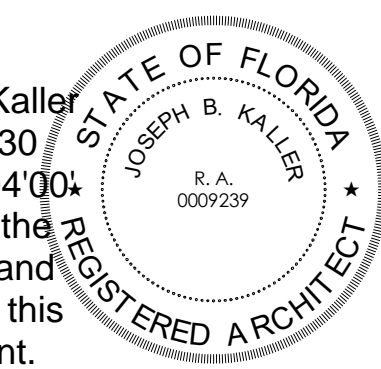
② DEMOLITION WEST ELEVATION.
1/4" = 1'-0"

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FLORIDA R.A. #0009239

CONSTRUCTION DOCUMENTS

PROJECT TITLE

HISTORICAL HOUSE

4220 N 58TH AVENUE., HOLLYWOOD, FL.

**DEMOLITION
EAST & WEST
BUILDING
ELEVATIONS**

REVISIONS

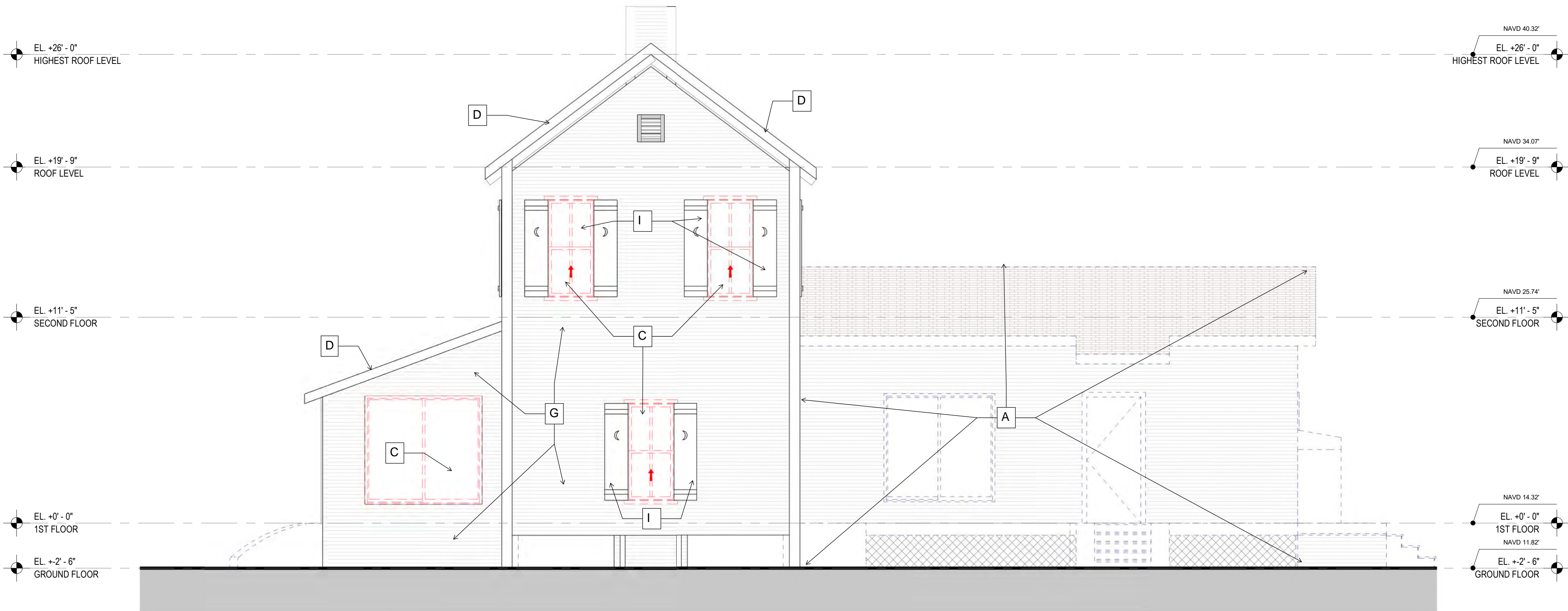
No.	Description	Date
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3	REV 3 TAC COMM.	6.31.25

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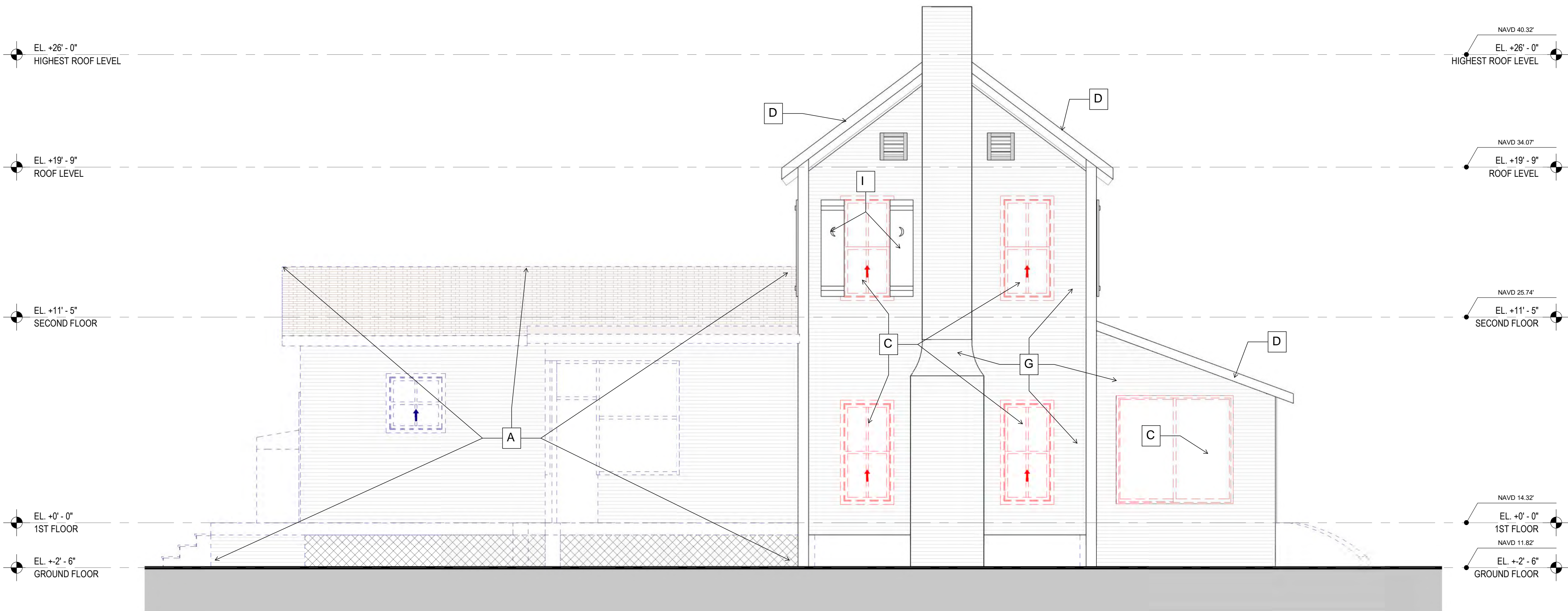
PROJECT No.: 24329
DATE: 02/19/2025
DRAWN BY: PZ
CHECKED BY: JBK

SHEET

3
D-3.00



1 DEMOLITION NORTH ELEVATION
1/4" = 1'-0"



2 DEMOLITION SOUTH ELEVATION
1/4" = 1'-0"

SCOPE OF WORK:

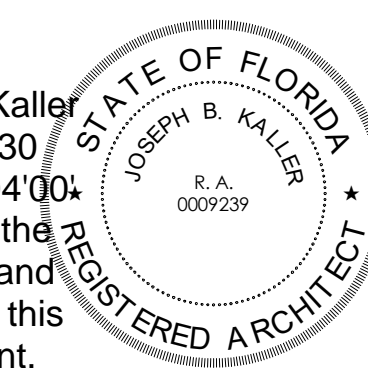
- A. DEMOLITION OF WEST ADDITION PRESERVING THE REST OF BUILDING
- B. DEMOLITION OF EXISTING ENTRANCE STAIR, BUILDING A NEW ENTRANCE STAIR TO BE SIMILAR IN DESIGN IN COMPLIANCE WITH FBC AND FLORIDA ACCESSIBILITY CODE
- C. REPLACING ALL DOORS AND WINDOWS TO MATCH EXISTING STYLE, DIMENSIONS WITH IMPACT RESISTANT TYPE, IN COMPLIANCE WITH FBC AND OTHER APPLICABLE CODES.
- D. REPLACING ROOF SHINGLES AND BUILDING AN ADDITION WEST SIDE OF THE BUILDING.
- E. NEW WEST STAIR AND RAILING
- F. ADA VERTICAL LIFT
- G. REPLACE ALL DAMAGED WOOD SIDING TO MATCH STYLE AND DIMENSIONS.
- H. NEW PAINT ALL EXTERIOR SIDING
- I. REPAIR, REFURBISH ALL EXTERIOR SHUTTERS
- J. BUILD TWO NEW ADA BATHROOMS TO COMPLY WITH FBC AND FLORIDA ACCESSIBILITY CODE.
- K. REMOVING SECOND FLOOR TO CREATE A CATHEDRAL SPACE (DOUBLE HEIGHT) IN LIBRARY ROOM.
- L. ADDING AN AC UNIT WITHIN A CLOSET AND EXTERIOR CONDENSER.
- M. ADDING DRINKING FOUNTAIN WITH BOTTLE FILLER
- N. PAINTING ALL INTERIOR SPACES AFTER REPAIRING INTERIOR EXISTING WALLS
- O. NEW LIGHTING FIXTURES
- P. REPAIRING EXTERIOR ARCHITECTURAL ELEMENTS (EDGE OF RAFTERS, BANDING, MOLDING).
- R. REMOVE INTERIOR WALLS, STAIRS. PATCH AND REPAIR WALLS TO REMAIN. PREPARE THE WALLS FOR PAINT. REFER TO COLOR SCHEME FOR PAINT.

LINE TYPES LEGEND

- EXISTING TO REMAIN
- - - DEMOLISH EXISTING ROOF/ WALLS / STAIRS / DOORS / WINDOWS
- - - ALL EXISTING WINDOWS TO BE REPLACED BY IMPACT GLASS WINDOWS WITH THE SAME SIZE OPENING AS EXISTING

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joseph@kallerarchitects.com
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JOSEPH B. KALLER
FLORIDA R.A. #0009239

CONSTRUCTION DOCUMENTS

HISTORICAL HOUSE

PROJECT TITLE

4220 N 58TH AVENUE., HOLLYWOOD, FL.

DEMOLITION
NORTH & SOUTH
BUILDING
ELEVATIONS

SHEET TITLE

REVISIONS

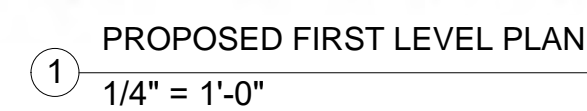
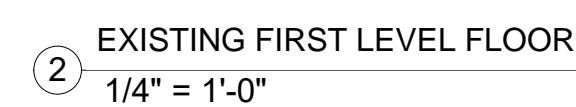
No.	Description	Date
2	TAC COMM.	4-1-25
3	REV 3 TAC COMM.	6.31.25

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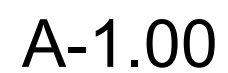
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DRAWN BY: PZ
CHECKED BY: JBK

SHEET

3
D-3.01



NOTE: NUMBERED KEYNOTES (LEGEND MATERIAL AND FINISHES) REFER TO A-3.0

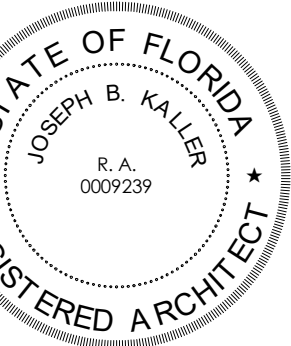




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EAL



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HISTORICAL HOUSE

4220 N 38TH AVENUE., HOLLYWOOD, FL.

EXISTING AND PROPOSED ROOF PLAN

REVISIONS

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SHEET

A-1.01



2 EXISTING ROOF LEVEL FLOOR PLAN
1/4" = 1'-0"

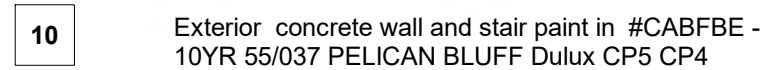


1 PROPOSED ROOF LEVEL FLOOR PLAN
1/4" = 1'-0"



4 Roof shingles: BARKWOOD Timberline HDZ®
Shingles or similar

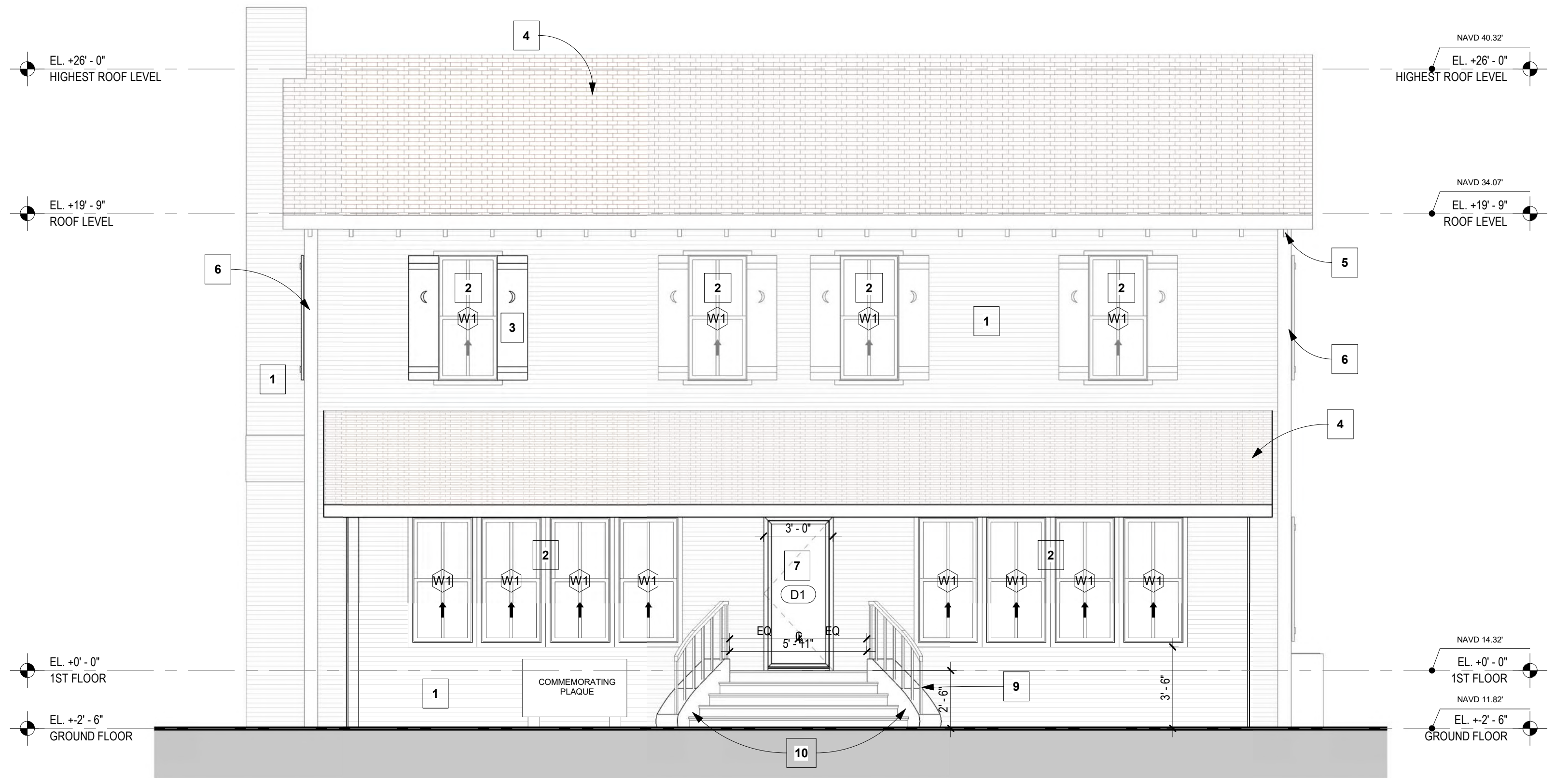
9	Exterior stair handrail in steel and color Pure Black Hi-Gloss Enamel Exterior/Interior Paint #86200 (Behr Fandek)
---	--



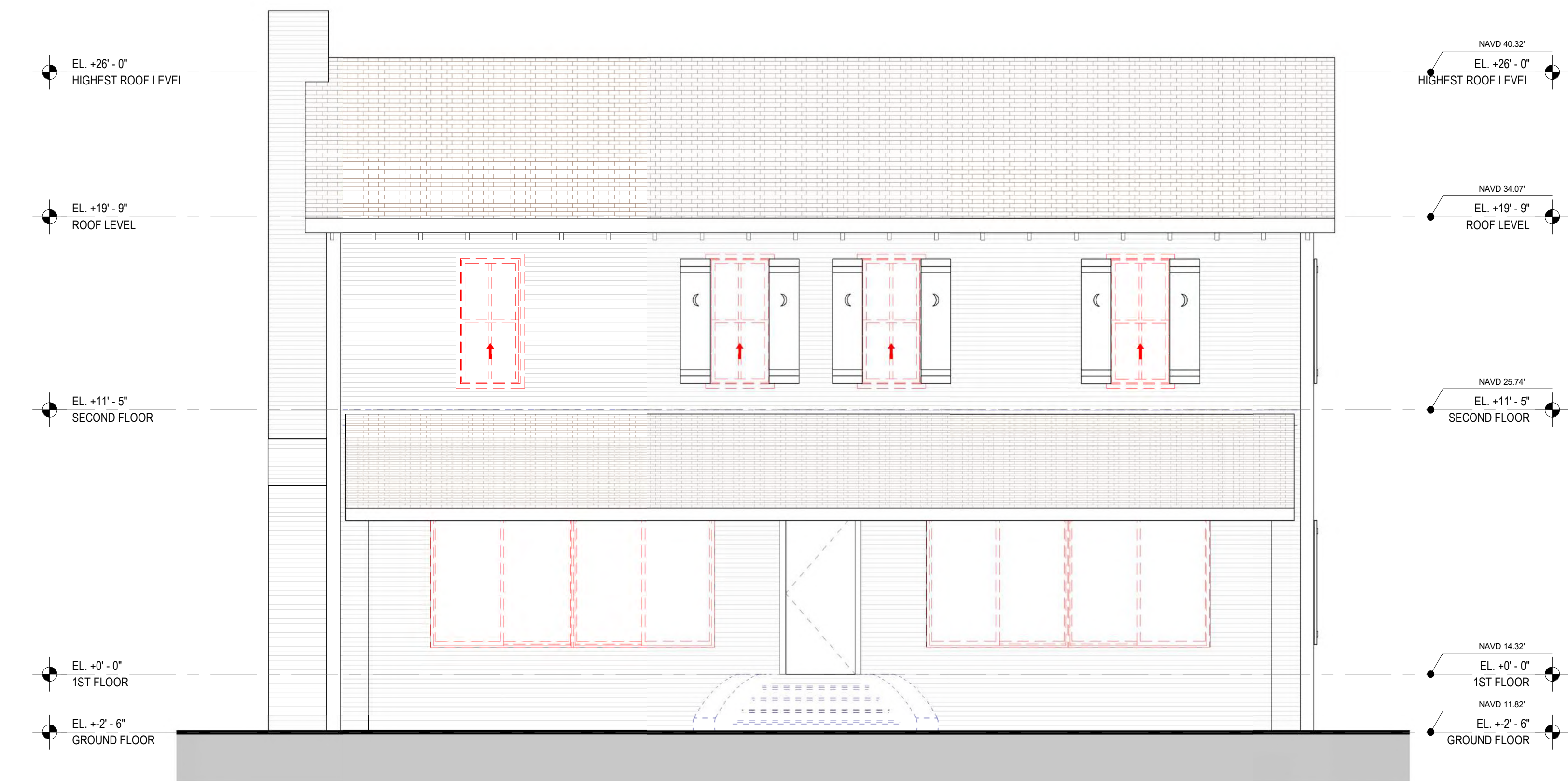
PROPOSED MATERIALS AND FINISHES
3/8" = 1'-0"

SCOPE OF WORK:

A. DEMOLITION OF WEST ADDITION PRESERVING THE REST OF BUILDING
B. DEMOLITION OF EXISTING ENTRANCE STAIR, BUILDING A NEW ENTRANCE STAIR TO BE SIMILAR IN DESIGN IN COMPLIANCE WITH FBC AND FLORIDA ACCESSIBILITY CODE
C. REPLACING ALL DOORS AND WINDOWS TO MATCH EXISTING STYLE, DIMENSIONS WITH IMPACT RESISTANT TYPE, IN COMPLIANCE WITH FBC AND OTHER APPLICABLE CODES.
D. REPLACING ROOF SHINGLES AND BUILDING AN ADDITION WEST SIDE OF THE BUILDING.
E. NEW WEST STAIR AND RAILING
F. ADA VERTICAL LIFT



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 EXISTING EAST ELEVATION
1/4" = 1'-0"

SCOPE OF WORK:

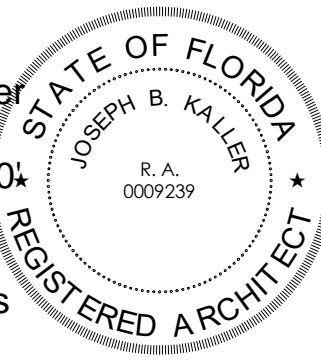
- DEMOLITION OF WEST ADDITION PRESERVING THE REST OF BUILDING
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- ADDING AN AC UNIT WITHIN A CLOSET AND EXTERIOR CONDENSER.
- ADDING DRINKING FOUNTAIN WITH BOTTLE FILLER
- PAINTING ALL INTERIOR SPACES AFTER REPAIRING INTERIOR EXISTING WALLS
- NEW LIGHTING FIXTURES
- REPAIRING EXTERIOR ARCHITECTURAL ELEMENTS (EDGE OF RAFTERS, BANDING, MOLDING).

MATERIALS AND FINISHES

TYPE # DESCRIPTION

- Exterior wall Siding size is 6" high please NOA No-23-1012.05 we will be using fiber-cement siding - paint in ULTRA PURE WHITE (Behr Fandek)
- Windows and louvers: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
- Windows Shutters: #829CB3 - 278-4 GENTLE BLUE (Valspar Color system)
- Roof shingles: BARKWOOD Timberline HDZ® Shingles or similar
- Column and Roof beam system: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
- Wood Corner Guards Size 4.5" - #829CB3 painted in - 278-4 GENTLE BLUE (Valspar Color system)
- Exterior Doors Frame: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
- Wood Paneling and Trim: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
- Exterior stair handrail in steel and color Pure Black Hi-Gloss Enamel Exterior/Interior Paint #86200 (Behr Fandek)
- Exterior concrete wall and stair paint in #CABFBE - 10YR 55/037 PELICAN BLUFF Dulux CP5 CP4
- Heavy duty fencing galvanized steel - 1/2" Hardware Cloth

Joseph B Kaller
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FLORIDA R.A. #0009239

CONSTRUCTION DOCUMENTS

PROJECT TITLE

HISTORICAL HOUSE

4220 N 58TH AVENUE., HOLLYWOOD, FL.

EXISTING AND
PROPOSED - EAST
BUILDING ELEVATIONS

SHEET TITLE

REVISIONS

No.	Description	Date
3	REV 3 TAC COMM.	6.31.25

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3

SHEET

A-3.00



1 PROPOSED WEST ELEVATION
1/4" = 1'-0"



2 EXISTING WEST ELEVATION
1/4" = 1'-0"

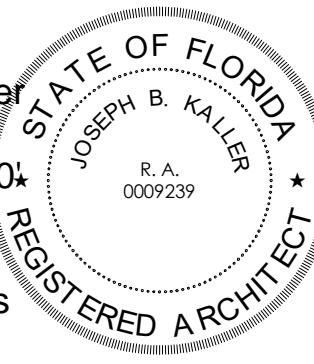
SCOPE OF WORK:

- DEMOLITION OF WEST ADDITION PRESERVING THE REST OF BUILDING
- DEMOLITION OF EXISTING ENTRANCE STAIR, BUILDING A NEW ENTRANCE STAIR TO BE SIMILAR IN DESIGN IN COMPLIANCE WITH FBC AND FLORIDA ACCESSIBILITY CODE
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- ADDING DRINKING FOUNTAIN WITH BOTTLE FILLER
- PAINTING ALL INTERIOR SPACES AFTER REPAIRING INTERIOR EXISTING WALLS
- NEW LIGHTING FIXTURES
- REPAIRING EXTERIOR ARCHITECTURAL ELEMENTS (EDGE OF RAFTERS, BANDING, MOLDING).

MATERIALS AND FINISHES

TYPE #	DESCRIPTION
1	Exterior wall Siding size is 6" high please NOA No-23-1012.05 we will be using fiber-cement siding - paint in ULTRA PURE WHITE (Behr Fandek)
2	Windows and louvers: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
3	Windows Shutters: #829CB3 - 278-4 GENTLE BLUE (Valspar Color system)
4	Roof shingles: BARKWOOD Timberline HDZ® Shingles or similar
5	Column and Roof beam system: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
6	Wood Corner Guards Size 4.5" - #829CB3 painted in - 278-4 GENTLE BLUE (Valspar Color system)
7	Exterior Doors Frame: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
8	Wood Paneling and Trim: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
9	Exterior stair handrail in steel and color Pure Black Hi-Gloss Enamel Exterior/Interior Paint #86200 (Behr Fandek)
10	Exterior concrete wall and stair paint in #CABFBE - 10YR 55/037 PELICAN BLUFF Dulux CP5 CP4
11	Heavy duty fencing galvanized steel - 1/2" Hardware Cloth

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CONSTRUCTION DOCUMENTS

PROJECT TITLE

HISTORICAL HOUSE

4220 N 58TH AVENUE., HOLLYWOOD, FL.

EXISTING AND
PROPOSED - WEST
BUILDING ELEVATIONS

SHEET TITLE

REVISIONS

No.	Description	Date
3	REV 3 - TAC COMM.	6-31-25

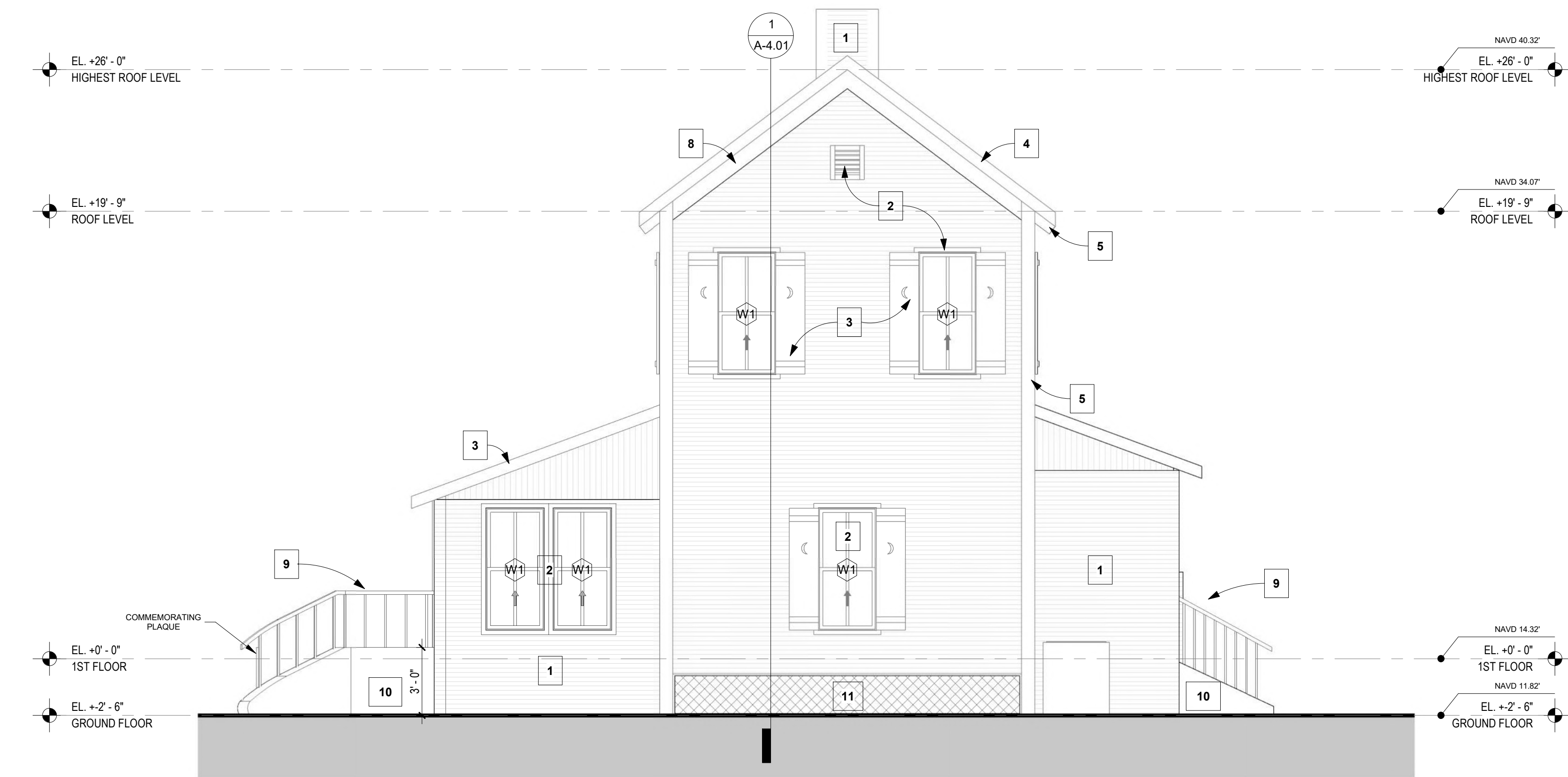
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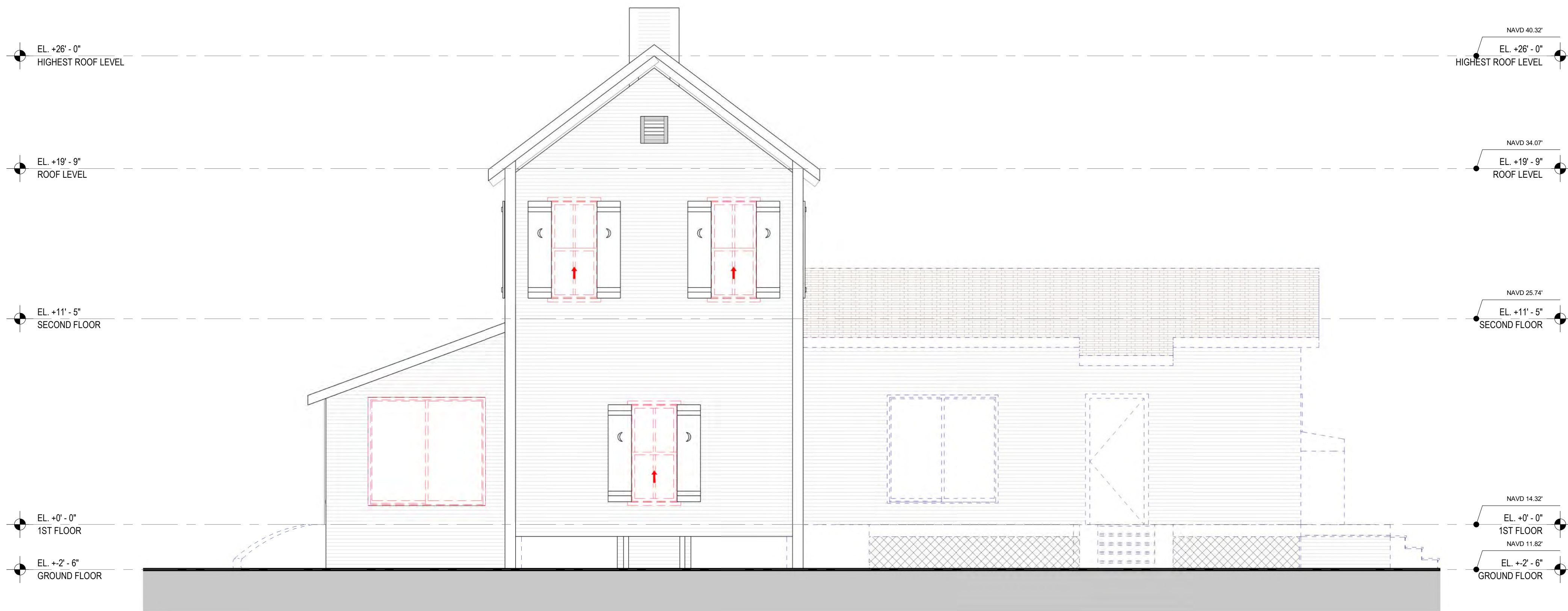
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SHEET

A-3.01



1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
1/4" = 1'-0"

SCOPE OF WORK:

A. DEMOLITION OF WEST ADDITION PRESERVING THE REST OF BUILDING

B. DEMOLITION OF EXISTING ENTRANCE STAIR, BUILDING A NEW ENTRANCE STAIR TO BE SIMILAR IN DESIGN IN COMPLIANCE WITH FBC AND FLORIDA ACCESSIBILITY CODE

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E. NEW WEST STAIR AND RAILING

F. ADA VERTICAL LIFT

G. REPLACE ALL DAMAGED WOOD SIDING TO MATCH STYLE AND DIMENSIONS.

H. NEW PAINT ALL EXTERIOR SIDING

I. REPAIR, REFURBISH ALL EXTERIOR SHUTTERS

J. BUILD TWO NEW ADA BATHROOMS TO COMPLY WITH FBC AND FLORIDA ACCESSIBILITY CODE.

K. REMOVING SECOND FLOOR TO CREATE A CATHEDRAL SPACE (DOUBLE HEIGHT) IN LIBRARY ROOM.

L. ADDING AN AC UNIT WITHIN A CLOSET AND EXTERIOR CONDENSER.

M. ADDING DRINKING FOUNTAIN WITH BOTTLE FILLER








N. PAINTING ALL INTERIOR SPACES AFTER REPAIRING INTERIOR EXISTING WALLS

O. NEW LIGHTING FIXTURES

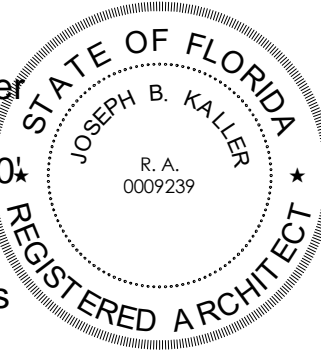
P. REPAIRING EXTERIOR ARCHITECTURAL ELEMENTS (EDGE OF RAFTERS, BANDING, MOLDING).

MATERIALS AND FINISHES

TYPE # DESCRIPTION

-  Exterior wall Siding size is 6" high please NOA No-23-1012.05 we will be using fiber-cement siding - paint in ULTRA PURE WHITE (Behr Fandek)
-  Windows and louvers: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
-  Windows Shutters: #829CB3 - 278-4 GENTLE BLUE (Valspar Color system)
-  Roof shingles: BARKWOOD Timberline HDZ® Shingles or similar
-  Column and Roof beam system: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
-  Wood Corner Guards Size 4.5" : #829CB3 painted in - 278-4 GENTLE BLUE (Valspar Color system)
-  Exterior Doors Frame: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
-  Wood Paneling and Trim: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
-  Exterior stair handrail in steel and color Pure Black HI-Gloss Enamel Exterior/Interior Paint #86200 (Behr Fandek)
-  Exterior concrete wall and stair paint in #CABFBE - 10YR 55/037 PELICAN BLUFF Dulux CP6 CP4
-  Heavy duty fencing galvanized steel - 1/2" Hardware Cloth

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CONSTRUCTION DOCUMENTS

HISTORICAL HOUSE

4220 N 58TH AVENUE., HOLLYWOOD, FL.

PROJECT TITLE

EXISTING AND PROPOSED NORTH BUILDING ELEVATIONS

SHEET TITLE

REVISIONS

No.	Description	Date
3	REV 3 TAC COMM.	6.31.25

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SHEET

A-3.02

SCOPE OF WORK:

A. DEMOLITION OF WEST ADDITION PRESERVING THE REST OF BUILDING

B. DEMOLITION OF EXISTING ENTRANCE STAIR, BUILDING A NEW ENTRANCE STAIR TO BE SIMILAR IN DESIGN IN COMPLIANCE WITH FBC AND FLORIDA ACCESSIBILITY CODE

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E. NEW WEST STAIR AND RAILING

F. ADA VERTICAL LIFT

G. REPLACE ALL DAMAGED WOOD SIDING TO MATCH STYLE AND DIMENSIONS.

H. NEW PAINT ALL EXTERIOR SIDING

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L. ADDING AN AC UNIT WITHIN A CLOSET AND EXTERIOR CONDENSER.

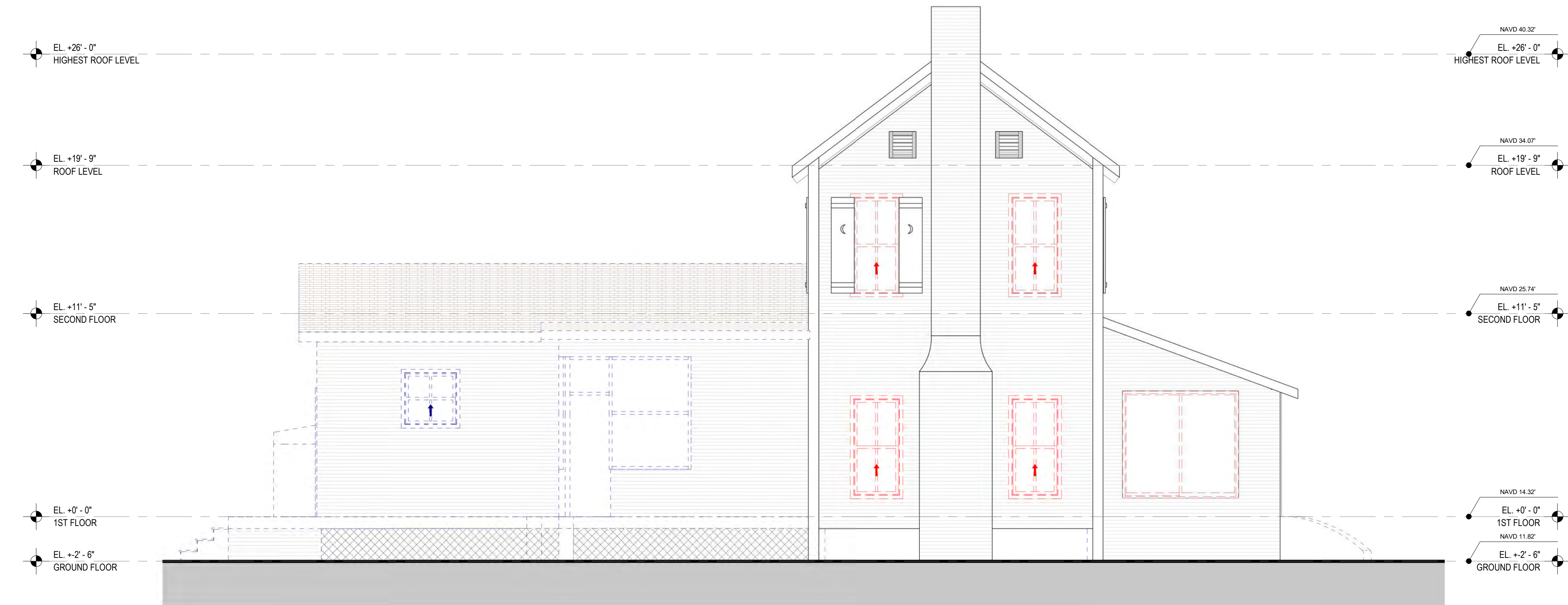
M. ADDING DRINKING FOUNTAIN WITH BOTTLE FILLER

N. PAINTING ALL INTERIOR SPACES AFTER REPAIRING INTERIOR EXISTING WALLS

O. NEW LIGHTING FIXTURES

P. REPAIRING EXTERIOR ARCHITECTURAL ELEMENTS (EDGE OF RAFTERS, BANDING, MOLDING).

1 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



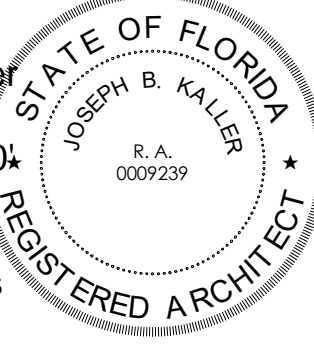
2 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

MATERIALS AND FINISHES

TYPE # DESCRIPTION

- 1 Exterior wall Siding size is 6" high please NOA No-23-1012.05 we will be using fiber-cement siding - paint in ULTRA PURE WHITE (Behr Fandek)
- 2 Windows and louvers: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
- 3 Windows Shutters: #829CB3 - 278-4 GENTLE BLUE (Valspar Color system)
- 4 Roof shingles: BARKWOOD Timberline HDZ® Shingles or similar
- 5 Column and Roof beam system: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
- 6 Wood Corner Guards Size 4.5" : #829CB3 painted in - 278-4 GENTLE BLUE (Valspar Color system)
- 7 Exterior Doors Frame: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
- 8 Wood Paneling and Trim: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
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- 10 Exterior concrete wall and stair paint in #CABFBE - 10YR 55/037 PELICAN BLUFF Dulux CP5 CP4
- 11 Heavy duty fencing galvanized steel - 1/2" Hardware Cloth

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FLORIDA R.A. #0009239

CONSTRUCTION DOCUMENTS

HISTORICAL HOUSE

4220 N 58TH AVENUE., HOLLYWOOD, FL.

PROJECT TITLE

**EXISTING AND
PROPOSED SOUTH
BUILDING ELEVATIONS**

SHEET TITLE

REVISIONS

No.	Description	Date
2	TAC COMM.	4-1-25
3	REV 3 TAC COMM.	6.31.25

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3 SHEET

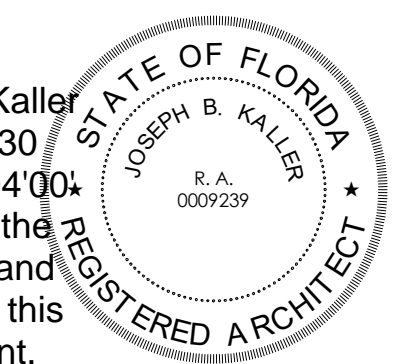
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JOSEPH B. KALLER
FLORIDA R.A. #0009239

CONSTRUCTION DOCUMENTS

HISTORICAL HOUSE

4220 N 58TH AVENUE., HOLLYWOOD, FL.

COLORED EAST & WEST
ELEVATIONS

REVISIONS

[illegible]

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PROJECT No.: 24329

DATE: 02/19/2025

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CHECKED BY: JBK

SHEET

A-3.10















① COLORED EAST ELEVATION
1/4" = 1'-0"



② COLORED WEST ELEVATION
1/4" = 1'-0"

MATERIALS AND FINISHES

TYPE #	DESCRIPTION
1	 <p>Exterior wall Siding size is 6" high please NOA No-23-1012.05 we will be using fiber-cement siding - paint in ULTRA PURE WHITE (Behr Fandek)</p>
2	  <p>Windows and louvers: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)</p>
3	 <p>Windows Shutters: #829CB3 - 278-4 GENTLE BLUE (Valspar Color system)</p>
4	 <p>Roof shingles: BARKWOOD Timberline HDZ® Shingles or similar</p>
5	 <p>Column and Roof beam system: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)</p>
6	 <p>Wood Corner Guards Size 4.5" : #829CB3 painted in - 278-4 GENTLE BLUE (Valspar Color system)</p>
7	 <p>Exterior Doors Frame: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)</p>
8	 <p>Wood Paneling and Trim: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)</p>
9	 <p>Exterior stair handrail in steel and color Pure Black Hi-Gloss Enamel Exterior/Interior Paint #86200 (Behr Fandek)</p>
10	 <p>Exterior concrete wall and stair paint in #CABFBE - 10YR 55/037 PELICAN BLUFF Dulux CP5 CP4</p>
11	 <p>Heavy duty fencing galvanized steel - 1/2" Hardware Cloth</p>

Joseph B Kalle
2025.06.30
15:46:27-04'00
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1 COLORED NORTH ELEVATION
1/4" = 1'-0"



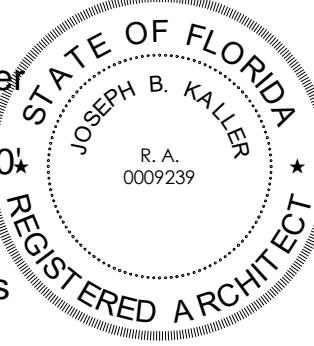
2 COLORED SOUTH ELEVATION
1/4" = 1'-0"

MATERIALS AND FINISHES

TYPE # DESCRIPTION

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-  Windows Shutters: #829CB3 - 278-4 GENTLE BLUE (Valspar Color system)
-  Roof shingles: BARKWOOD Timberline HD2® Shingles or similar
-  Column and Roof beam system: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
-  Wood Corner Guards Size 4.5" - #829CB3 painted in - 278-4 GENTLE BLUE (Valspar Color system)
-  Exterior Doors Frame: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
-  Wood Paneling and Trim: #F7F8F4 - ULTRA PURE WHITE (Behr Fandek)
-  Exterior stair handrail in steel and color Pure Black Hi-Gloss Enamel Exterior/Interior Paint #86200 (Behr Fandek)
-  Exterior concrete wall and stair paint in #CABFBE - 10YR 55/037 PELICAN BLUFF Dulux CP5 CP4
-  Heavy duty fencing galvanized steel - 1/2" Hardware Cloth

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FLORIDA R.A. #0009239

CONSTRUCTION DOCUMENTS

PROJECT TITLE

HISTORICAL HOUSE

4220 N 58TH AVENUE., HOLLYWOOD, FL.

COLORED NORTH & SOUTH BUILDING ELEVATIONS

SHEET TITLE

REVISIONS

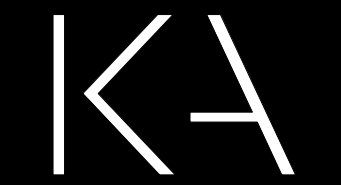
No.	Description	Date
2	TAC COMM.	4-1-25

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PROJECT No.: 24329
DATE: 02/19/2025
DRAWN BY: PZ
CHECKED BY: JBK

SHEET

A-3.11

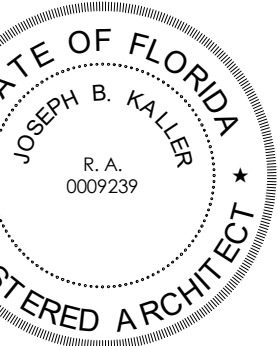


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joseph@kallerarchitects.com

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HISTORICAL HOUSE

4220 N 58TH AVENUE., HOLLYWOOD, FL.

EAST & NORTH BUILDING SECTIONS

REVISIONS

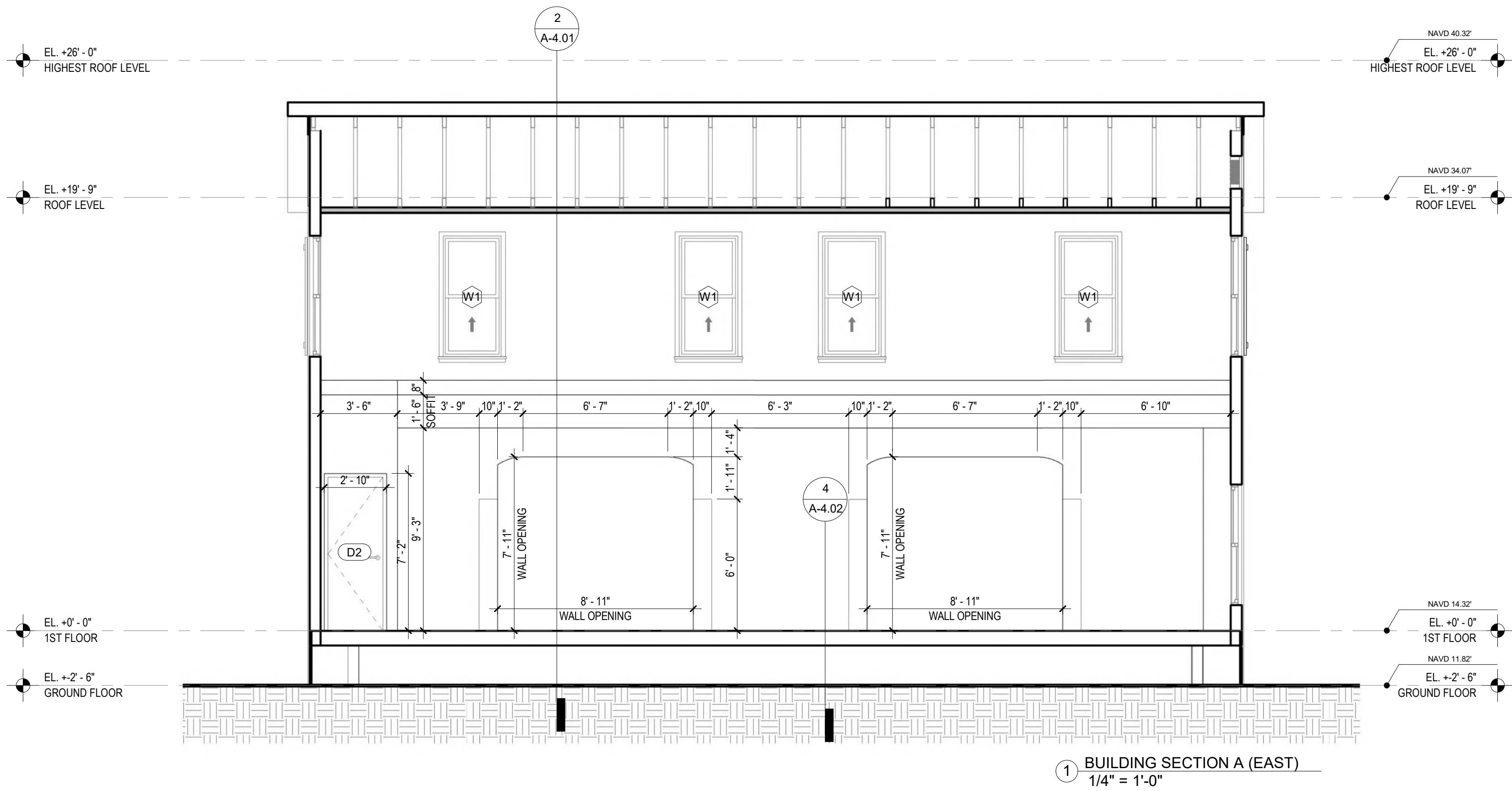
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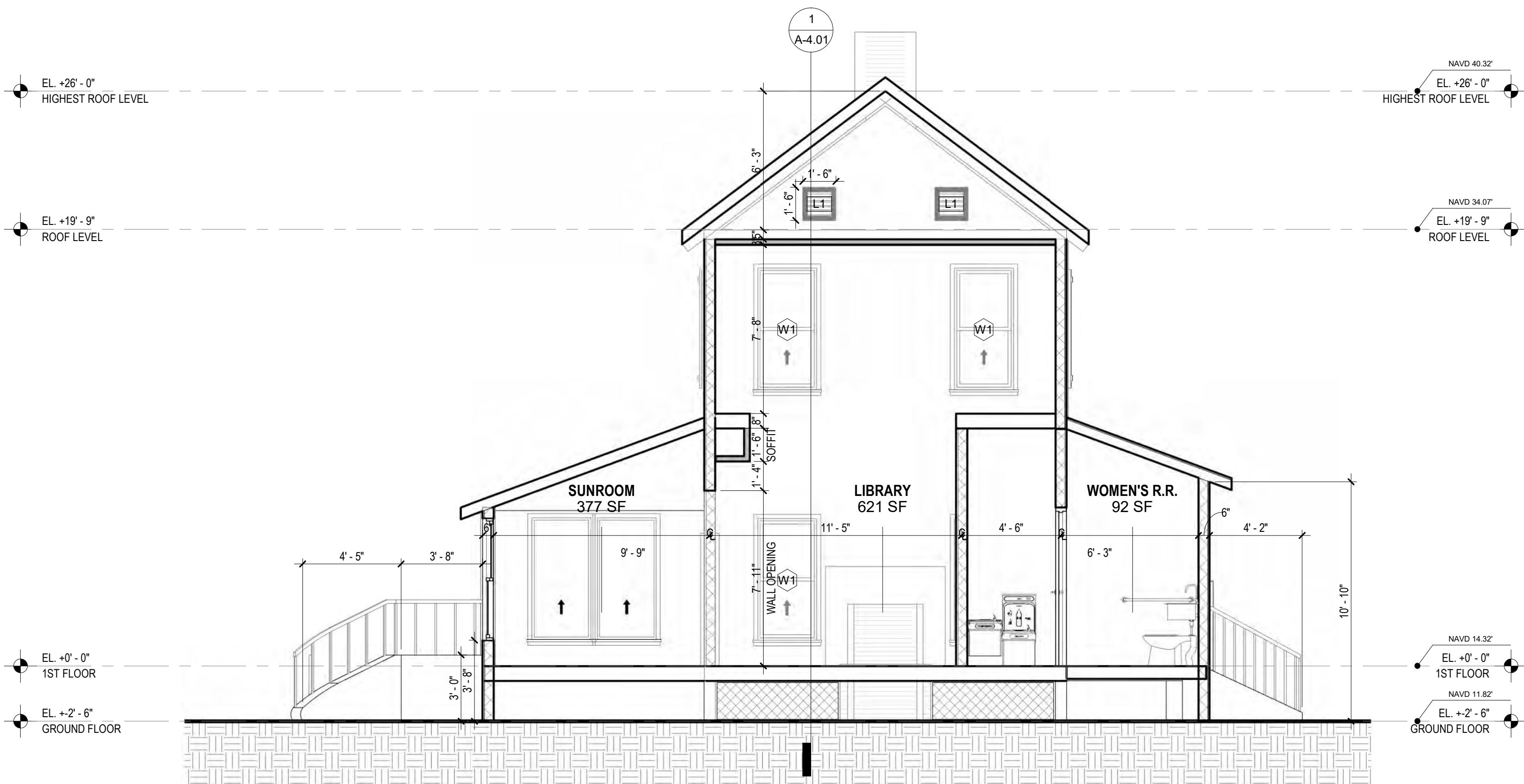
PROJECT No.: 24329
DATE: 02/19/2025
DRAWN BY: PZ
CHECKED BY: JBK

SHEET

A-4.01



1 BUILDING SECTION A (EAST)
1/4" = 1'-0"



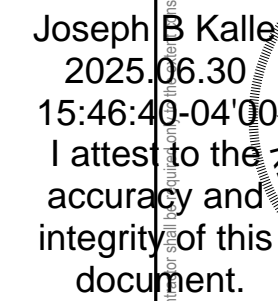
2 BUILDING SECTION B (NORTH)
1/4" = 1'-0"



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CONSTRUCTION DOCUMENTS

PROJECT TITLE

SHEET TITLE

HISTORICAL HOUSE

4220 N 58TH AVENUE., HOLLYWOOD, FL.

DETAILS

REVISIONS

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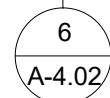
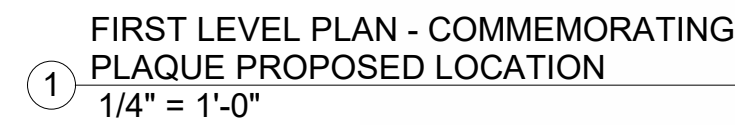
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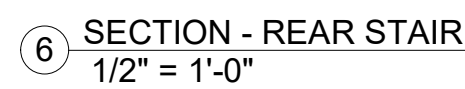
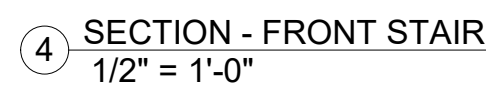
CHECKED BY: JBR

SHEET

A-4.02



5 FIRST LEVEL PLAN - REAR STAIR PLAN
1/4" = 1'-0"



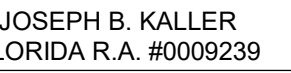


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HISTORICAL HOUSE

4220 N 58TH AVENUE., HOLLYWOOD, FL

3D PERSPECTIVES

REVISIONS

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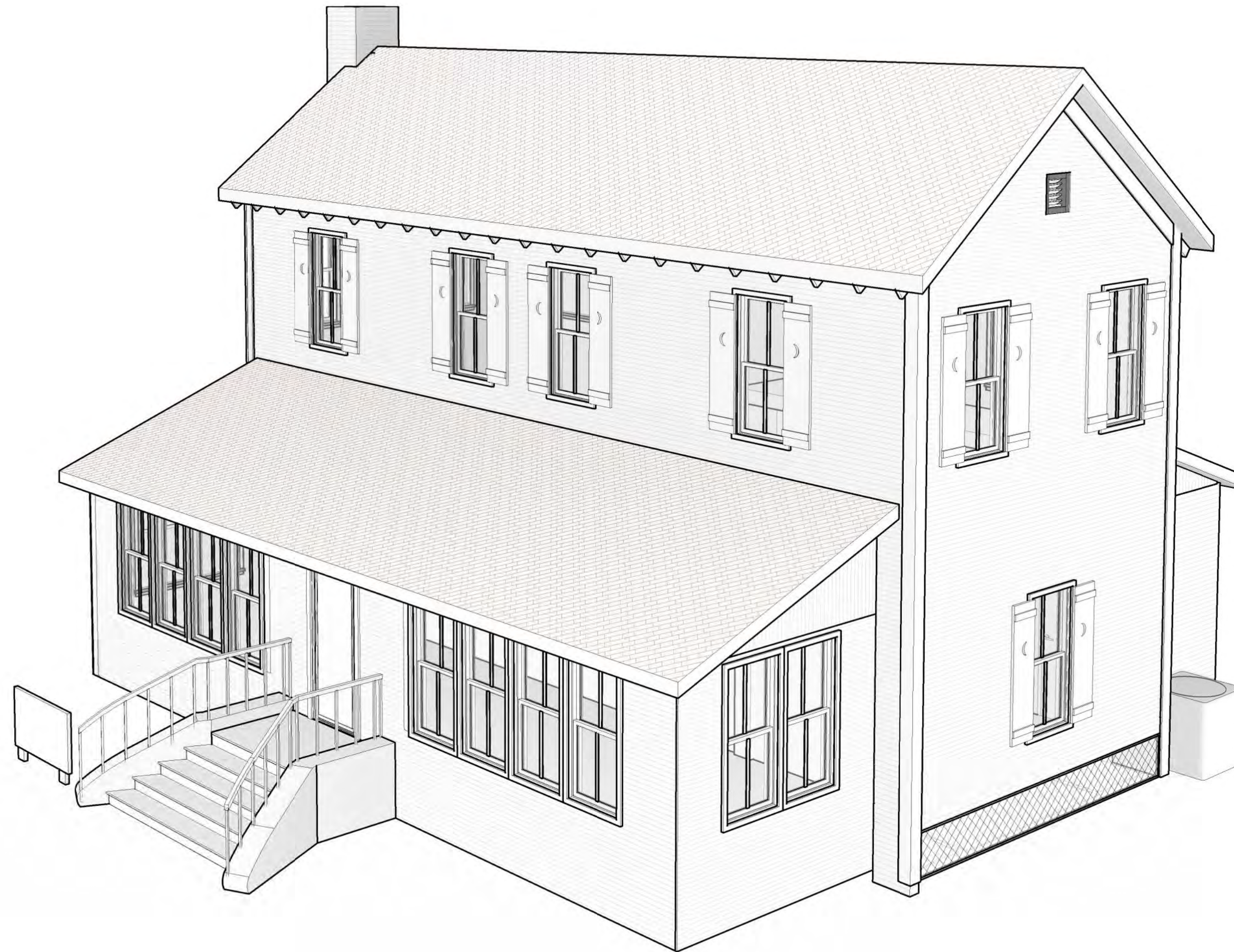
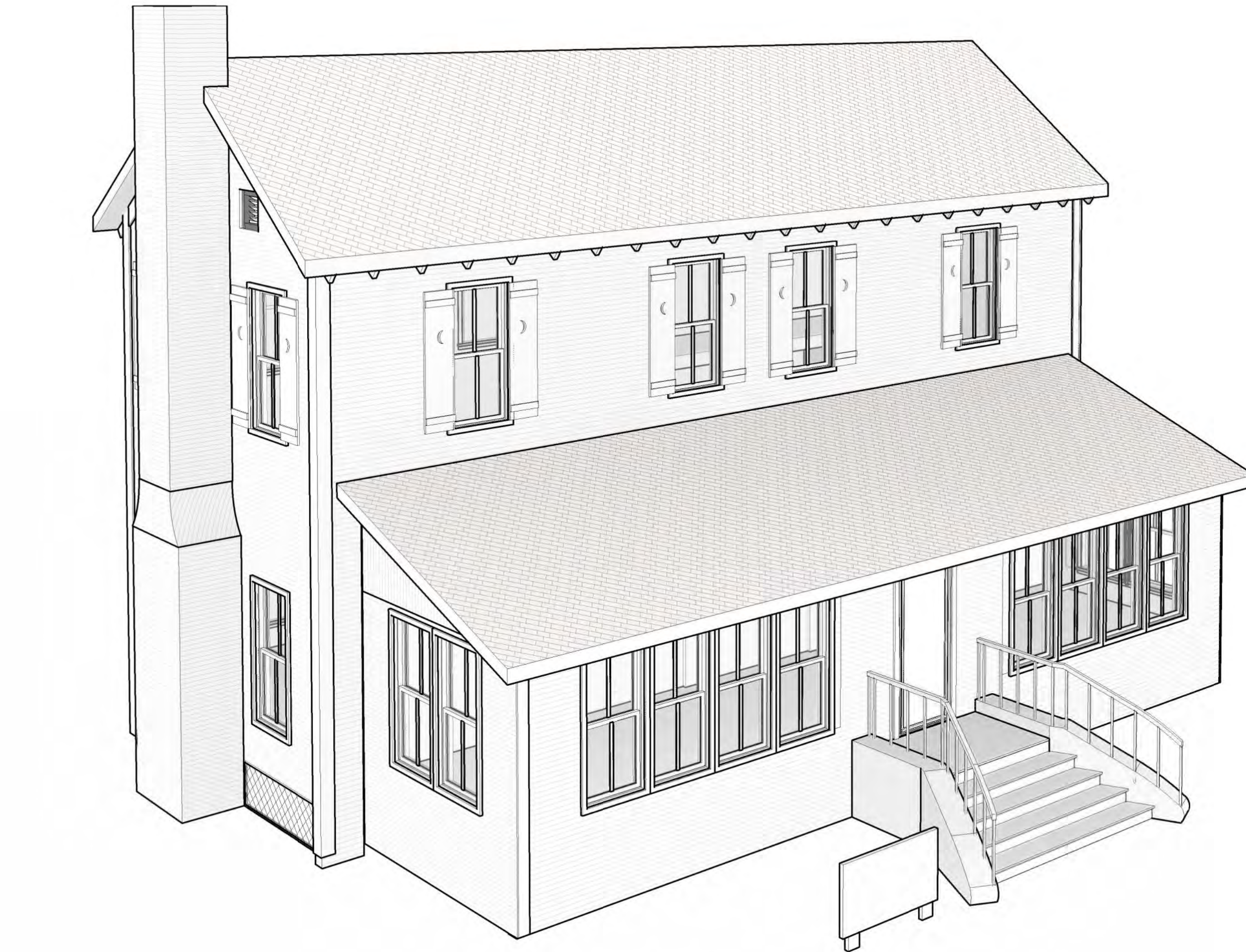
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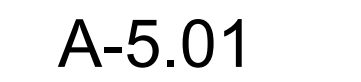
RAWN BY: PZ

CHECKED BY: JBK

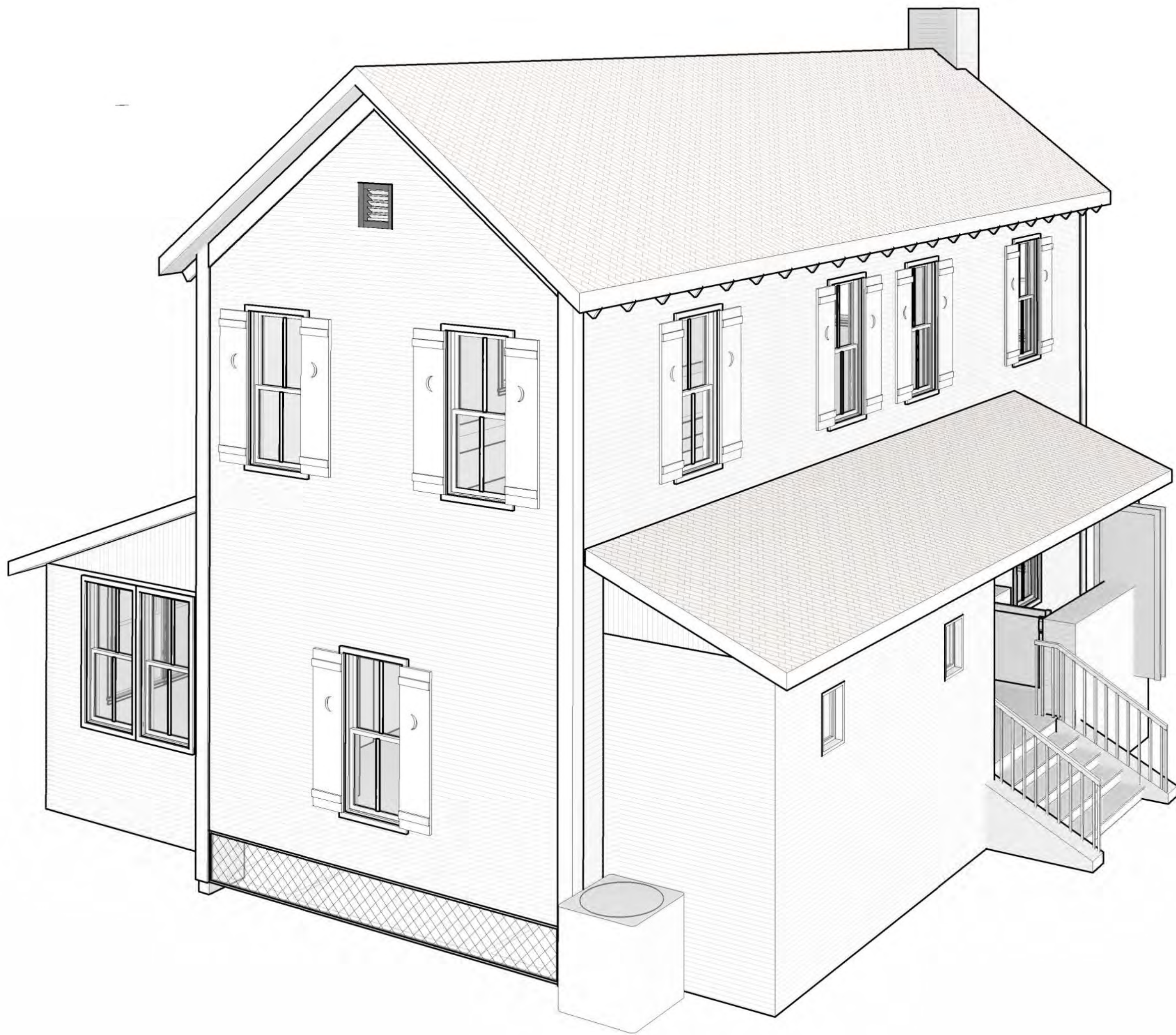
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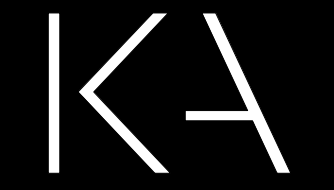
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A-5.01



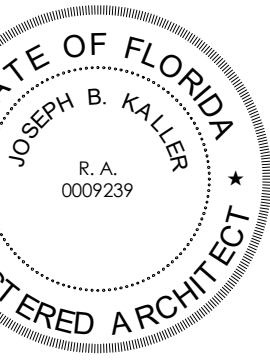


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h@kallerarchitects.com

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JOSEPH B. KALLER
FLORIDA R.A. #0009239

HISTORICAL HOUSE

4220 N 38TH AVENUE., HOLLYWOOD, FL:

RENDERING 1

REVISIONS

[illegible]

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PROJECT No.: 24329

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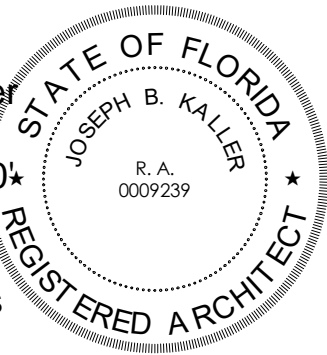
SHEET

A-5.02



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CONSTRUCTION DOCUMENTS

PROJECT TITLE

HISTORICAL HOUSE

4220 N 58TH AVENUE, HOLLYWOOD, FL.

SHEET TITLE

RENDERING 2

REVISIONS

No.	Description	Date

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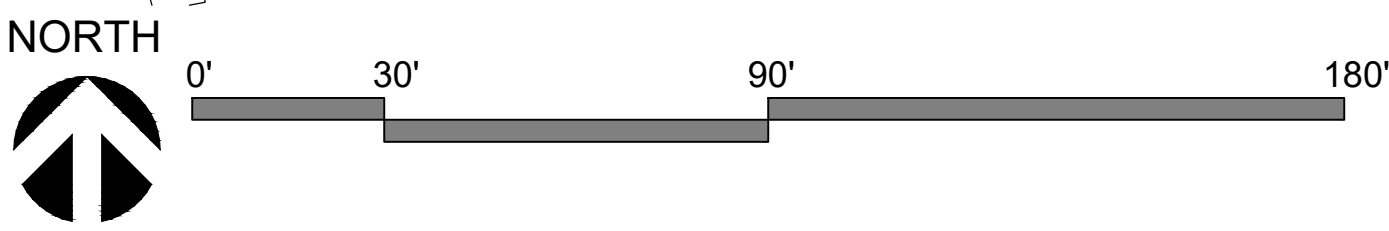
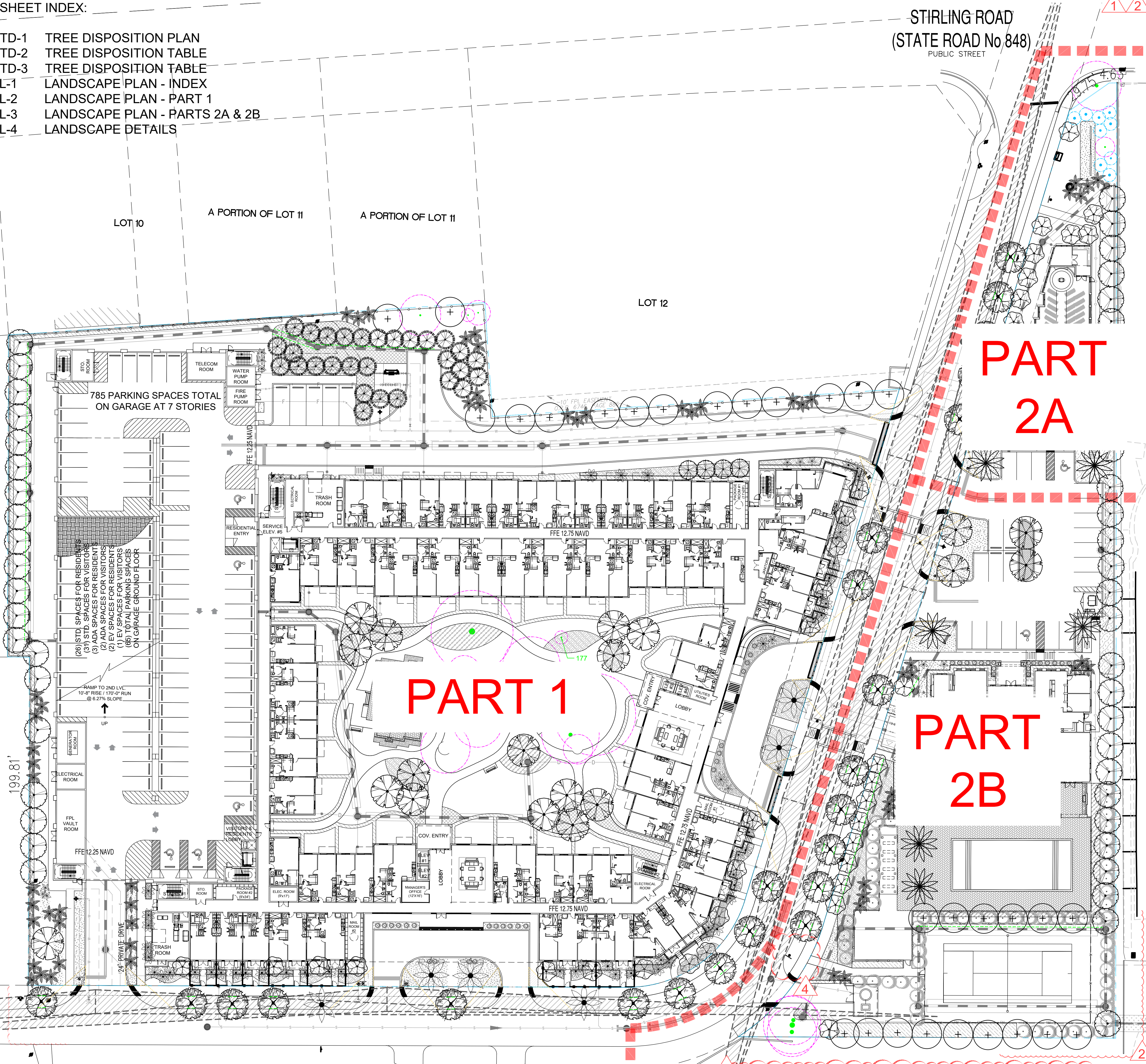
PROJECT No.: 24329
DATE: 02/19/2025
DRAWN BY: PZ
CHECKED BY: JBK

SHEET

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SHEET INDEX:

- TD-1 TREE DISPOSITION PLAN
TD-2 TREE DISPOSITION TABLE
TD-3 TREE DISPOSITION TABLE
L-1 LANDSCAPE PLAN - INDEX
L-2 LANDSCAPE PLAN - PART 1
L-3 LANDSCAPE PLAN - PARTS 2A & 2B
L-4 LANDSCAPE DETAILS



NOTES:
CONTRACTOR TO PROVIDE SCREENING HEDGE FOR ANY ADDITIONAL EQUIPMENT NOT SHOWN ON PLAN. PROVIDE ADDITIONAL 36" HEIGHT.

STIRLING ROAD
(STATE ROAD No 848)
PUBLIC STREET

PLANT SCHEDULE							
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	NATIVE	NOTES
TREES							
	CO	48	Chrysophyllum oliviforme Satinleaf	16' HT. X 6" DBH. MIN	-	Y	-
	CD	38	Coccocoba diversifolia Pigeon Plum	16' HT. X 6" DBH. MIN	-	Y	-
	CE	29	Conocarpus erectus Green Buttonwood	16' HT. X 6" DBH. MIN	-	Y	-
	CS	4	Conocarpus erectus sericeus Silver Buttonwood	14' HT. X 4" DBH. MIN.	-	Y	-
	QV2	19	Quercus virginiana Live Oak	16' HT. X 6" DBH. MIN	F.G. / CONT.	Y	-
	TA	29	Taxodium ascendens Pond Cypress	16' HT. X 6" DBH. MIN	-	N	-
PALM TREES							
	PM	6	Phoenix dactylifera 'Medjool' Medjool Date Palm	16' C.T.	F.G.	N	-
	SP	68	Sabal palmetto Sabal Palm	22' O.A. HT., 10' C.T.	F.G. / CONT.	Y	-
	TR	53	Thrinax radiata Florida Thatch Palm	5' - 6' O.A. HT.	F.G. / CONT.	Y	-
STREET TREES							
	PM2	6	Phoenix dactylifera 'Medjool' Medjool Date Palm	16' C.T.	F.G.	N	-
	QV	23	Quercus virginiana Live Oak	16' HT. X 6" DBH. MIN	-	Y	-
SHRUBS							
	AI	42	Alcantarea imperialis Imperial Bromeliad (By Bullis Bromeliads)	36" HT. X 36" SPR.	17" POT	N	-
	CE2	64	Conocarpus erectus Green Buttonwood	8' O.A. HT.	-	Y	-
	DS	17	Dion spinulosum Giant Dion	36" HT. X 36" SPR.	-	N	-
SHRUB AREAS							
	CI	843	Chrysobalanus icaco 'Horizontalis' Horizontal Cocoplum	18" HT. X 18" SPR. / 18 O.C.	-	Y	-
	CG	2,014	Clusia guttifera Small Leaf Clusia	24" HT. X 24" SPR. / 24" O.C.	-	Y	-
	MC	1,236	Muhlenbergia capillaris Pink Muhly Grass	24" HT. X 24" SPR. / 24" O.C.	-	Y	-
	NM	1,048	Nephrolepis biserrata Macho Fern	18" HT. X 18" SPR. / 18" O.C.	-	N	-
	TD	478	Tripsacum dactyloides Fakahatchee Grass	36" HT. X 36" SPR. / 36" O.C.	-	Y	-
GROUND COVERS							
	FM	4,101	Ficus microcarpa Green Island ficus	15" HT. X 15" SPR. / 15" O.C.	-	N	-
TURF GRASS							
	LAWN	3,530 sf	Stenotaphrum secundatum 'Floratum' Floratum St. Augustine Grass	SOLID EVEN SOD	-	N	-

LANDSCAPE LEGEND - CITY OF HOLLYWOOD			
ZONE DISTRICT: PD			
Previous Landscape area 79,359.22 sq. ft.			
TREES & PALMS			
A. No. trees required = 1 tree per 1,000 sq. ft. previous landscape area	REQ.	PROV.	
Palms can be counted up to 50% but more than 20% of all trees must be native shade trees	80	80+	
No. of existing to remain trees meeting or exceeding minimum requirements to count towards landscape requirements		16	
No. of proposed trees meeting or exceeding minimum requirements to count towards landscape requirements		52	
No. of existing to remain palms meeting or exceeding minimum requirements to count towards landscape requirements		12 (4 TREES)	
No. of proposed palms meeting or exceeding minimum requirements to count towards landscape requirements		25 (8 TREES)	
B. Street trees provided at a maximum spacing of 50' o.c. per linear ft. of street frontage	25	25	
1,217 ft. / 50' =			
C. Parking Buffer Trees to be planted at a maximum of 20 ft. O.C. per linear ft. of parking	10	10+	
201 ft. parking provided =			
D. Total Trees Required	115	115+	
A + B + C = Total Trees			
60% of total trees required must be Florida Native			
SHRUBS			
A. Parking Buffer Shrubs to be planted at maximum spacing of 36" o.c. per linear ft. of parking	67	67+	
201 ft. parking provided =			
NOTES			
• IRRIGATION: 100% coverage as required by City of Hollywood.			
• Plant material will not be planted into root balls of trees and palms.			
• No substitutions without the approval of Hollywood's Landscape Plan Reviewer			
• All landscaping shall be warranted for 1 year after final inspection.			

TREE & PALM MITIGATION TABLE					
DESCRIPTION	REMOVED	PROVIDED	DEFICIENCY	VALUE PER UNIT	DOLLAR REPLACEMENT
TREES	3,400	654	2,746	\$18	\$480,550
PALMS	61	61	0	N/A	0
Total Financial Contribution Expected per Provided Mitigation Deficiency					\$480,550
NOTES					
• Any additional mitigation shall take place off site or paid into a tree trust fund. Mitigation shall be worked out with the City of Hollywood based on the tree survey.					
PROVIDED TREES & PALM CALCULATIONS					
196 TOTAL PROPOSED TREES (LOT & STREET)					
74 TOTAL PROPOSED PALMS					
TREES & PALMS PROVIDED FOR SITE REQUIREMENTS					
• 25 PALMS					
• 52 TREES					
• 25 STREET TREES					
• 10 BUFFER TREES					
TREES & PALMS PROVIDED FOR SITE MITIGATION					
• 49 PALMS					
• 4 STREET TREES @ 6" DBH EACH = 24"					
• 105 LOT TREES @ 6" DBH EACH = 630"					
654" - TOTAL DBH PROVIDED FOR MITIGATION					

- NOTES:
- Any additional mitigation shall take place off site or paid into a tree trust fund. Mitigation shall be worked out with the City of Hollywood based on the tree survey.
 - 100% Irrigation coverage shall be provided.
 - All landscaping shall be warranted for 1 year after final inspection.
- ROOT PRUNING/SHAVING: An ISA Certified Arborist shall be present on-site to monitor work near existing trees to ensure that inappropriate pruning and/or shaving of roots belonging to specimen trees is avoided. All root pruning and shaving must adhere to ISA methods and standards to protect tree health and stability. If roots are encountered that require pruning and/or shaving that are outside accepted ISA standards and practices, work shall cease and the City Engineering Department/ Landscape division shall be contacted immediately.

HOLLYWOOD OAKS
BY KUSHNER

4220 & 4231 N. 58TH AVE.
HOLLYWOOD, FLORIDA

LANDSCAPE PLAN - INDEX

Revisions:

	Date:	By:
1) TAC Comments	02.10.2025	JT
2) TAC Comments	05.05.2025	SCGM
3) TAC Comments	06.30.2025	SCGM
4) TAC Comments	07.18.2025	CB

Seal:

Lic. # LA0000889
Member: A.S.L.A.

Date: 11/18/2024
Scale: 1"=30'
Drawn by: SC
Sheet No.:

L-1
Cad Id.: 2024-023

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+ PARTNERS
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phone: 954-923-9681 fax: 954-923-9689
www.witkindesign.com



KEY PLAN

- SYMBOL LEGEND**
- Tree to Remain
 - Relocated Tree / Palm
 - Existing Tree Canopy

PLANT SCHEDULE					
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
TREES					
CO	48	4	Chrysophyllum oliviforme Satinleaf	16" HT. X 6" DBH. MIN.	-
CD	38	4	Coccoloba diversifolia Pigeon Plum	16" HT. X 6" DBH. MIN.	-
CE	29	4	Conocarpus erectus Green Buttonwood	16" HT. X 6" DBH. MIN.	-
CS	4	4	Conocarpus erectus sericeus Silver Buttonwood	14" HT. X 4" DBH. MIN.	-
QV2	19	4	Quercus virginiana Live Oak	16" HT. X 6" DBH. MIN.	F.G. / CONT.
TA	29	4	Taxodium ascendens Pond Cypress	16" HT. X 6" DBH. MIN.	-
PALM TREES					
PM	6	4	Phoenix dactylifera 'Medjool' Medjool Date Palm	16" C.T.	F.G.
SP	68	4	Sabal palmetto Sabal Palm	22" O.A. HT., 10" C.T.	F.G. / CONT.
TR	53	4	Thrinax radiata Florida Thatch Palm	5' - 6' O.A. HT.	F.G. / CONT.
STREET TREES					
PM2	6	4	Phoenix dactylifera 'Medjool' Medjool Date Palm	16" C.T.	F.G.
QV	23	4	Quercus virginiana Live Oak	16" HT. X 6" DBH. MIN.	-
SHRUBS					
AI	42	4	Alcantarea imperialis Imperial Bromeliad (By Bulbs Bromeliads)	36" HT. X 36" SPR.	17" POT
CE2	64	4	Conocarpus erectus Green Buttonwood	8" O.A. HT.	-
DS	17	4	Ocotea spicata Giant Dicot	36" HT. X 36" SPR.	-
SHRUB AREAS					
CI	943	4	Chrysobalanus icaco 'Horizontalis' Horizontal Cocoplum	16" HT. X 18" SPR. / 18" O.C.	-
CG	2,014	4	Chamaecyparis Small Leaf Cyprip	24" HT. X 24" SPR. / 24" O.C.	-
MC	1,236	4	Muhlenbergia capillaris Pink Muhly Grass	24" HT. X 24" SPR. / 24" O.C.	-
NM	1,048	4	Nephrolepis biserrata Macho Fern	16" HT. X 18" SPR. / 18" O.C.	-
TD	478	4	Tripsacum dactyloides Fakelatchee Grass	36" HT. X 36" SPR. / 36" O.C.	-
GROUND COVERS					
FM	4,101	4	Ficus microcarpa Green Island ficus	15" HT. X 15" SPR. / 15" O.C.	-
TURF GRASS					
LAWN	3,530.0	4	Stenotaphrum secundatum 'Florant' Florant St. Augustine Grass	SOLID EVEN SOD	-

W

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phone 954.923.9681 fax 954.923.9689
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BY KUSHNER

4220 & 4231 N. 58TH AVE.
HOLLYWOOD, FLORIDA

LANDSCAPE PLAN - PART 1

Project:
Phase:

FINAL TAC

Revisions:

Date:

By:

1) TAC Comments	02.10.2025	JT
2) TAC Comments	05.05.2025	SCGM
3) TAC Comments	06.30.2025	SCGM
4) TAC Comments	07.18.2025	CB

Seal:

STATE OF FLORIDA
LANDSCAPE ARCHITECT
LA0000889
Member: A.S.L.A.

Date: 11/18/2024

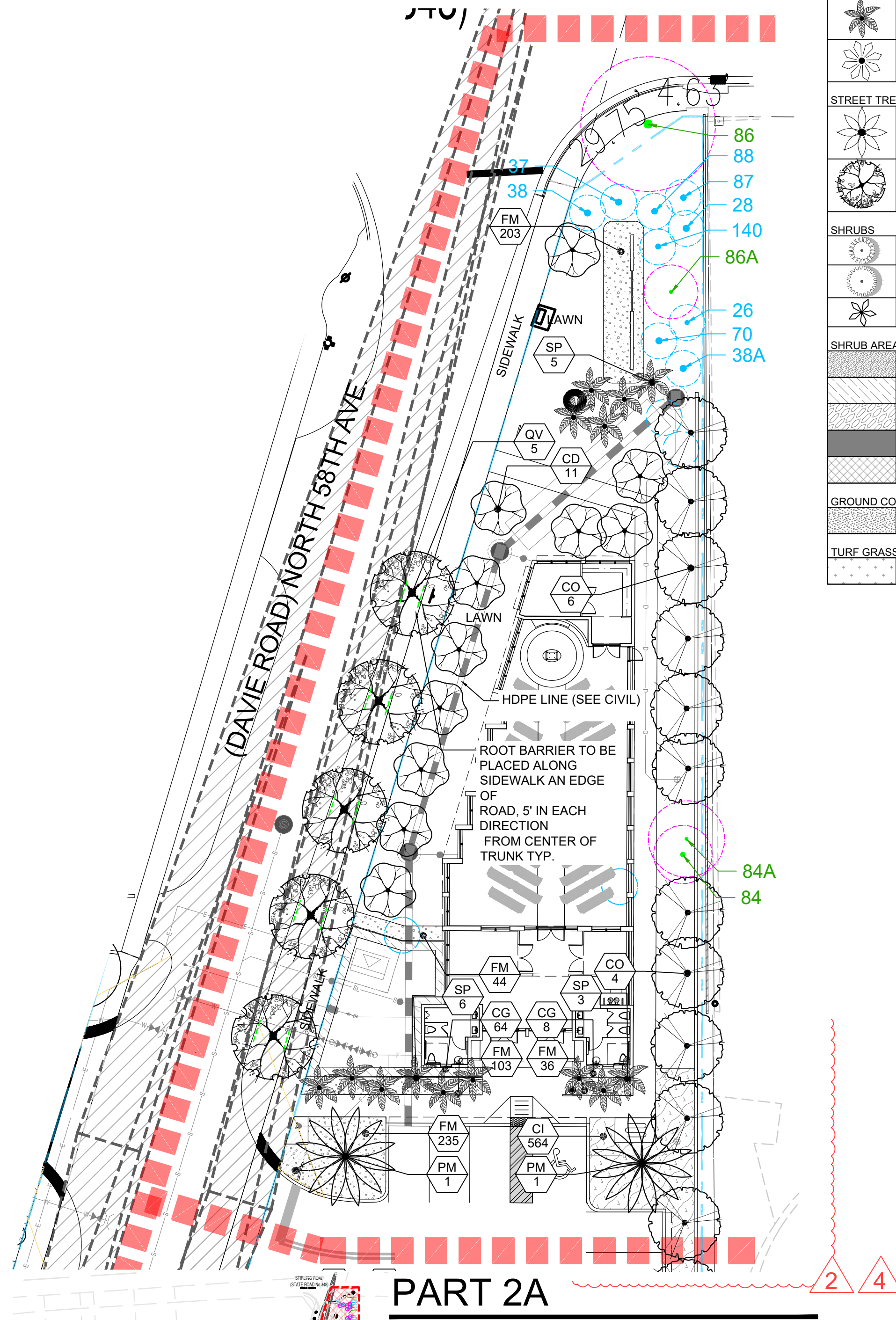
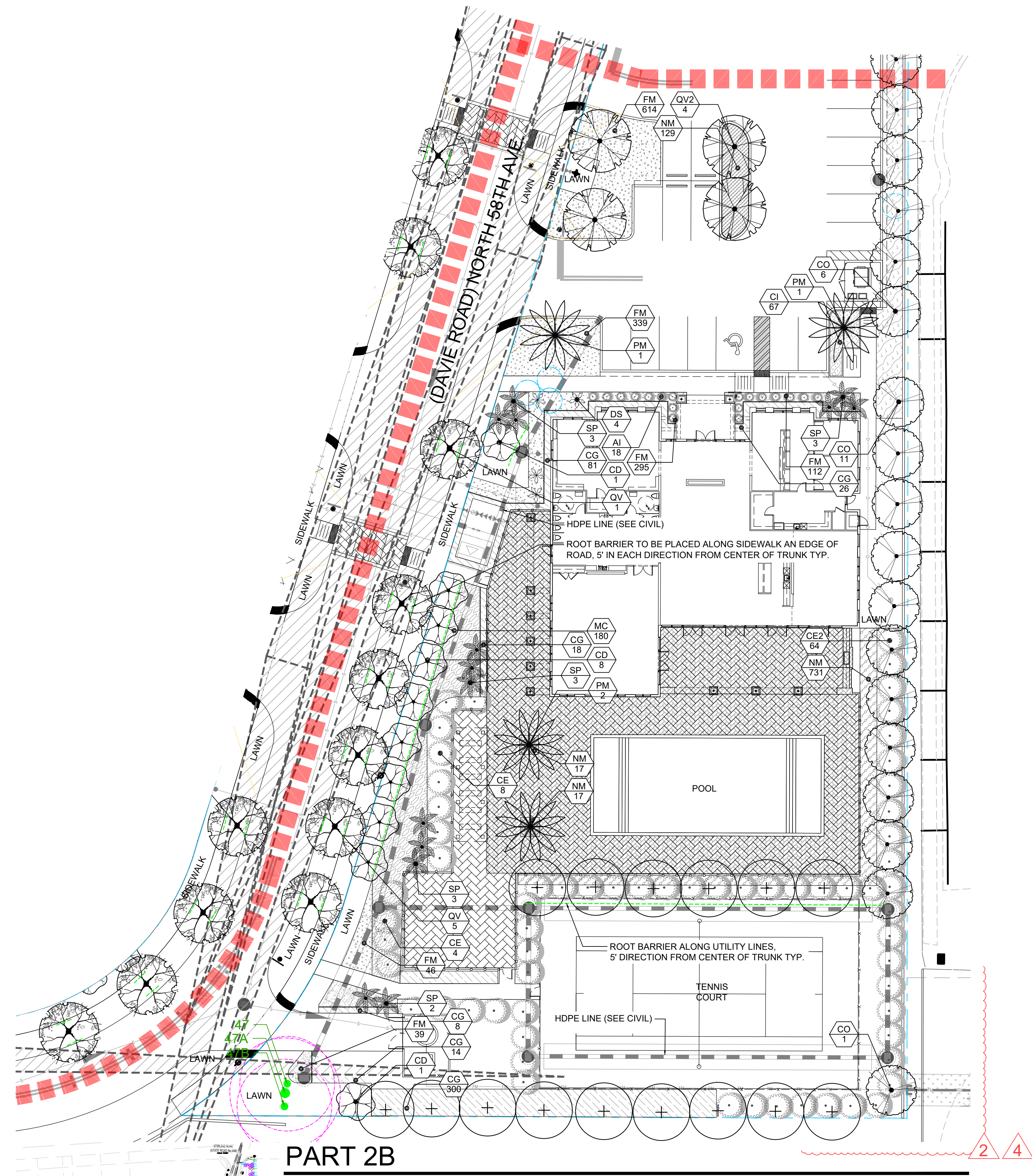
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Drawn by: SC

Sheet No.:

L-2

Cad Id.: 2024-023



PLANT SCHEDULE					
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
TREES					
	CO	48	Chrysophyllum oliviforme Satinleaf	16' HT. X 6" DBH. MIN	-
	CD	38	Coccoloba diversifolia Pigeon Plum	16' HT. X 6" DBH. MIN	-
	CE	29	Conocarpus erectus Green Buttonwood	16' HT. X 6" DBH. MIN	-
	CS	4	Conocarpus erectus sericeus Silver Buttonwood	14' HT. X 4" DBH. MIN.	-
	QV2	19	Quercus virginiana Live Oak	16' HT. X 6" DBH. MIN	F.G. / CONT.
	TA	29	Taxodium ascendens Pond Cypress	16' HT. X 6" DBH. MIN	-
PALM TREES					
	PM	6	Phoenix dactylifera 'Medjool' Medjool Date Palm	16" C.T.	F.G.
	SP	68	Sabal palmetto Sabal Palm	22' O.A. HT., 10' C.T.	F.G. / CONT.
	TR	53	Thrinax radiata Florida Thatch Palm	5' - 6' O.A. HT.	F.G. / CONT.
STREET TREES					
	PM2	6	Phoenix dactylifera 'Medjool' Medjool Date Palm	16" C.T.	F.G.
	QV	23	Quercus virginiana Live Oak	16' HT. X 6" DBH. MIN	-
SHRUBS					
	AI	42	Alcantarea imperialis Imperial Bromeliad (By Bullis Bromeliads)	36" HT. X 36" SPR.	17" POT
	CE2	64	Conocarpus erectus Green Buttonwood	8' O.A. HT.	-
	DS	17	Dioon spinulosum Giant Dioon	36" HT. X 36" SPR.	-
SHRUB AREAS					
	CI	843	Chrysobalanus icaco 'Horizontalis' Horizontal Cocoplum	18" HT. X 18" SPR. / 18 O.C.	-
	CG	2,014	Clusia guttifera Small Leaf Clusia	24" HT. X 24" SPR. / 24" O.C.	-
	MC	1,236	Muhlenbergia capillaris Pink Muhly Grass	24" HT. X 24" SPR. / 24" O.C.	-
	NM	1,048	Nephrolepis biserrata Macho Fern	18" HT. X 18" SPR. / 18" O.C.	-
	TD	478	Tripsacum dactyloides Fakahatchee Grass	36" HT. X 36" SPR. / 36" O.C.	-
GROUND COVERS					
	FM	4,101	Ficus microcarpa Green Island ficus	15" HT. X 15" SPR. / 15" O.C.	-
TURF GRASS					
	LAWN	3,530 sf	Stenotaphrum secundatum 'Floratum' Floratum St. Augustine Grass	SOLID EVEN SOD	-

W

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HOLLYWOOD OAKS
BY KUSHNER

4220 & 4231 N. 58TH AVE.
HOLLYWOOD, FLORIDA

LANDSCAPE PLAN - PARTS 2A & 2B

Project:
Phase: FINAL TAC

Revisions:	Date:	By:
1) TAC Comments	02.10.2025	JT
2) TAC Comments	05.05.2025	SCGM
3) TAC Comments	06.30.2025	SCGM
4) TAC Comments	07.18.2025	CB

Seal:

Lic. # LA0000889
Member: A.S.L.A.

Date: 11/18/2024

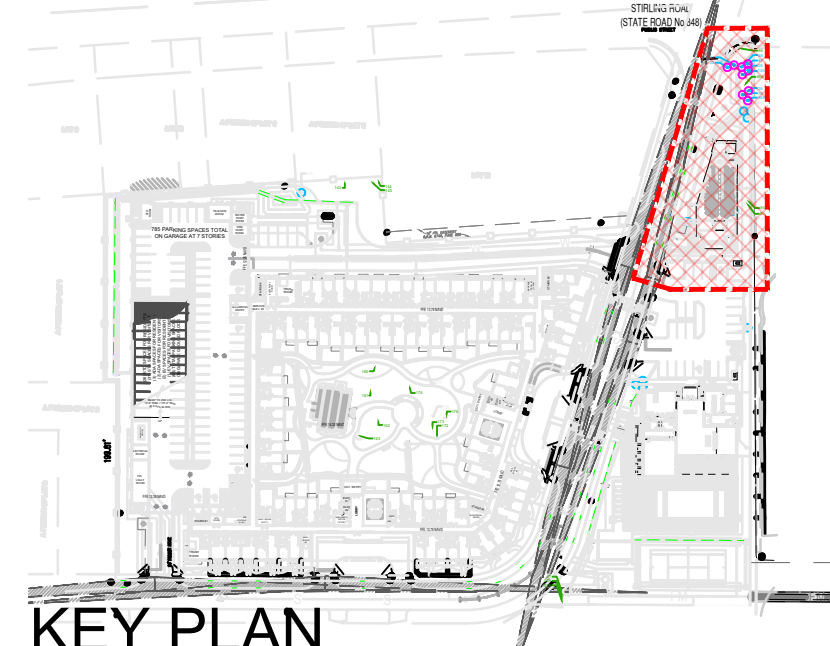
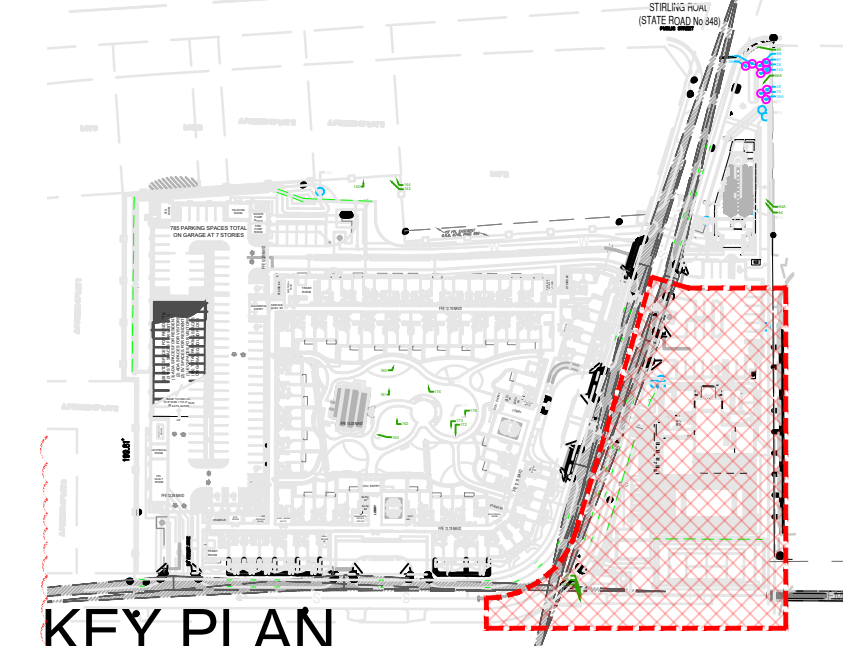
Scale: 1"=20'-0"

Drawn by: SC

Sheet No.:

L-3

Cad Id.: 2024-023



NORTH

0' 20' 60' 120'

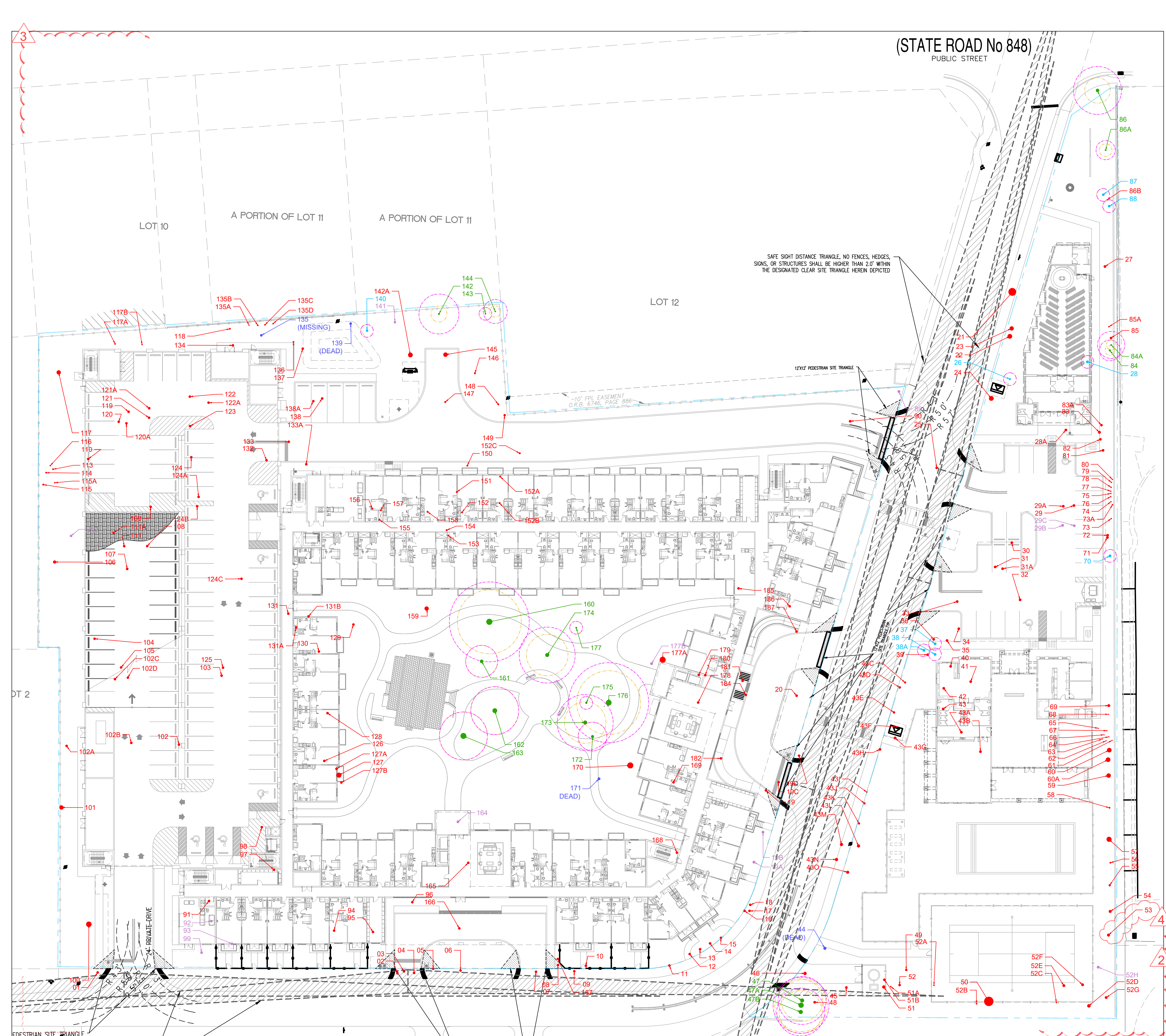
SYMBOL LEGEND

#● Tree to Remain

#● Relocated Tree / Palm

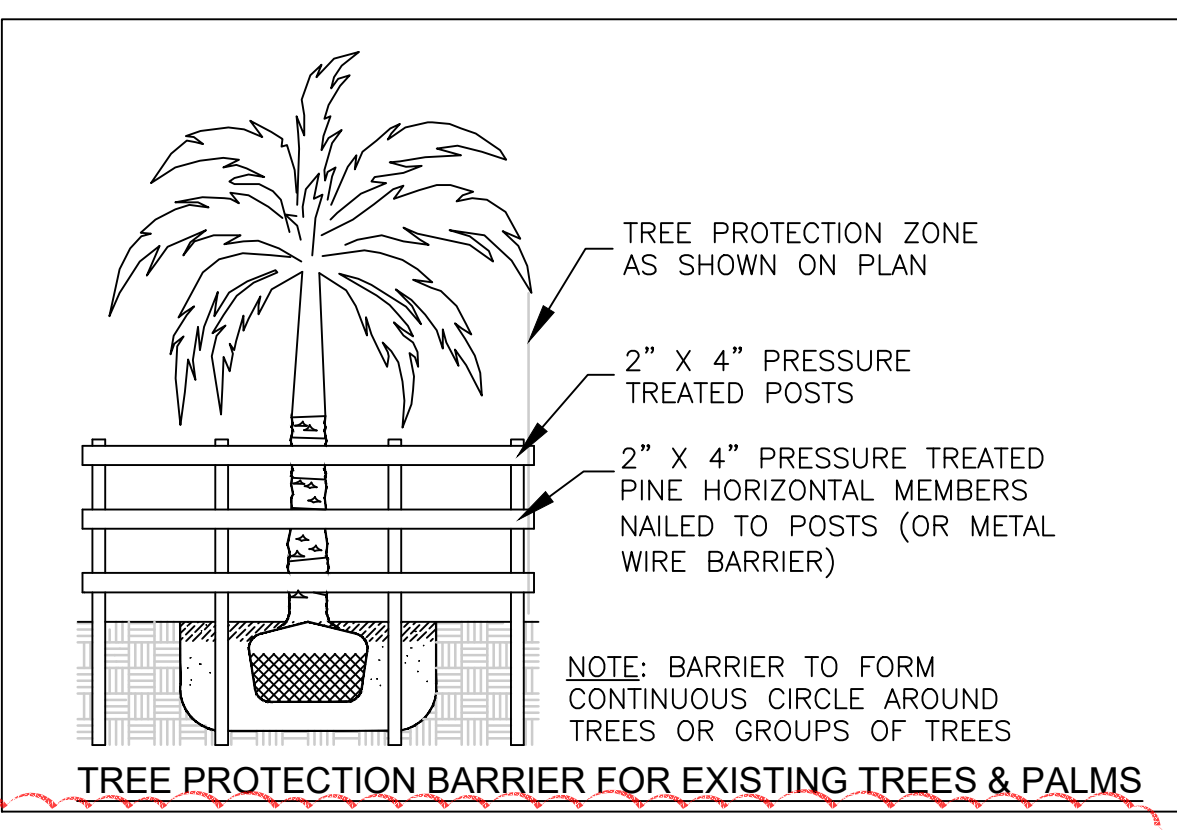
○ Existing Tree Canopy





SYMBOL LEGEND

- # ● Tree to Remove
- # ● Tree to Remain
- ◯ Existing Tree Canopy
- ◯ Critical Root Zone
- ◯ Tree Protection Zone
- # ● Tree to be Relocated
- # ● Tree Dead or Missing
- # ● Invasive



NOTES:

- Trees and palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.
- Any existing trees or palms on adjacent lot are to remain.
- All landscaping shall be warranted for 1 year after final inspection.
- ROOT PRUNING/SHAVING: An ISA Certified Arborist shall be present on-site to monitor work near existing trees to ensure that inappropriate pruning and/or shaving of roots belonging to specimen trees is avoided. All root pruning and shaving must adhere to ISA methods and standards to protect tree health and stability. If roots are encountered that require pruning and/or shaving that are outside accepted ISA standards and practices, work shall cease and the City Engineering Department/ Landscape division shall be contacted immediately.

Disposition Requirements	
Trees	Palms
Total diameter of tree(s) to be removed (Sum of inches at DBH)	Total number of palms removed (Sum of individual palms removed)
3,400	61

WITKIN HULTS + PARTNERS

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HOLLYWOOD OAKS
BY KUSHNER

4220 & 4231 N. 58TH AVE.
HOLLYWOOD, FLORIDA

TREE DISPOSITION PLAN

Project:

Phase:

Revisions:	Date:	By:
1) TAC Comments	02.10.2024	JT
2) TAC Comments	05.05.2024	SCGM
3) TAC Comments	06.30.2024	SCGM
4) TAC Comments	07.18.2024	CB

Seal:

Lic. # LA0000889
Member: A.S.L.A.

Date: 11/18/2024

Scale: 1"=30'

Drawn by: JT

Sheet No.:

TD-1

Cad Id.: 2024-023

TREE #	COMMON NAME	BOTANICAL NAME	HEIGHT (ft)	WIDTH (ft)	DBH (in)	CLEAR TRUNK (ft)	HEALTH CONDITION	HEALTH CONDITION %	CRITICAL ROOT ZONE (CRZ)*	TREE PROTECTION ZONE (TPZ)**	SPECIMEN	UNDERSIZED	MITIGATION REQUIRED	DISPOSITION	RELOCATION CANDIDATE (Y/N)	NOTES
1	Live Oak	Quercus virginiana	27.7	50	25.50		Fair	47%	12.20	25.00	Y	N	YES	Remove	N	
2	Live Oak	Quercus virginiana	20	12	12.50		Fair	45%	6.00	6.00	N	N	YES	Remove	N	
3	Live Oak	Quercus virginiana	21.3	12	10.50		Fair	45%	5.00	6.00	N	N	YES	Remove	N	
4	Live Oak	Quercus virginiana	26.7	15	14.00		Fair	45%	7.00	7.50	N	N	YES	Remove	N	
5	Live Oak	Quercus virginiana	24.8	15	15.25		Fair	45%	7.50	7.50	N	N	YES	Remove	N	
6	Live Oak	Quercus virginiana	32.3	35	20.00		Fair	47%	10.00	17.50	Y	N	YES	Remove	N	
7	Live Oak	Quercus virginiana	26.9	55	40.00		Fair	47%	20.00	27.50	Y	N	YES	Remove	N	
8	Live Oak	Quercus virginiana	33.4	18	14.25		Fair	47%	7.00	9.00	N	N	YES	Remove	N	
9	Live Oak	Quercus virginiana	17.1	14	13.00		Fair	46%	6.50	7.00	N	N	YES	Remove	N	
10	Live Oak	Quercus virginiana	45.1	26	19.75		Fair	49%	10.00	13.00	Y	N	YES	Remove	N	
11	Live Oak	Quercus virginiana	51.8	46	33.00		Fair	51%	16.20	23.00	Y	N	YES	Remove	N	
12	Live Oak	Quercus virginiana	21.3	13	18.00		Poor	40%	6.50	6.50	Y	N	YES	Remove	N	
13	Live Oak	Quercus virginiana	44.3	22	15.00		Fair	52%	7.50	11.00	N	N	YES	Remove	N	
14	Live Oak	Quercus virginiana	48.4	40	20.50		Fair	52%	10.00	20.00	Y	N	YES	Remove	N	
15	Live Oak	Quercus virginiana	44.4	55	29.00		Fair	51%	10.00	22.00	Y	N	YES	Remove	N	
16	Live Oak	Quercus virginiana	26.4	42	23.00		Fair	48%	11.50	13.00	Y	N	YES	Remove	N	
17	Live Oak	Quercus virginiana	44.7	34	18.00		Fair	51%	9.00	17.00	Y	N	YES	Remove	N	
18	Live Oak	Quercus virginiana	42.7	34	17.50		Fair	50%	8.50	17.00	N	N	YES	Remove	N	
19	Live Oak	Quercus virginiana	39.9	36	28.00		Fair	47%	14.00	18.00	Y	N	YES	Remove	N	
19A	Umbrella tree	Schefflera actinophylla	20.5	15	9.00		Fair	49%	4.50	7.50	N	N	NO	Remove	N	Florida Invasive Species Council Category I Invasive
19B	Umbrella tree	Schefflera actinophylla	24.5	15	13.00		Fair	49%	6.50	7.50	N	N	NO	Remove	N	Florida Invasive Species Council Category I Invasive
19C	Solitaire Palm	Pythosperma elegans	24.5	6	4.50	20.5	Fair	52%	2.00	3.00	N	N	YES	Remove	N	
19D	Sugar Berry	Celtis brevigata	16.8	26	16.00		Fair	46%	8.00	13.00	N	N	YES	Remove	N	
20	Live Oak	Quercus virginiana	51.9	32	39.50		Fair	47%	16.00	16.00	Y	N	YES	Remove	N	
21	Live Oak	Quercus virginiana	40.6	52	54.50		Fair	56%	16.00	26.00	Y	N	YES	Remove	N	
22	Live Oak	Quercus virginiana	37.6	42	31.50		Fair	52%	10.00	21.00	Y	N	YES	Remove	N	
23	Live Oak	Quercus virginiana	37.6	32	28.25		Fair	54%	10.00	16.00	Y	N	YES	Remove	N	
24	Live Oak	Quercus virginiana	44.8	38	32.00		Fair	55%	16.00	19.00	Y	N	YES	Remove	N	
25	Live Oak	Quercus virginiana	36.2	66	35.00		Fair	56%	15.00	33.00	Y	N	YES	Remove	N	
26	Sabal Palm	Sabal palmetto	35.9	8	10.75	31.9	Fair	58%	4.00	4.00	N	N	YES	RELOCATE	Y	
27	Sabal Palm	Sabal palmetto	32.1	8	16.50	28.1	Good	65%	4.00	4.00	N	N	YES	Remove	N	
28	Sabal Palm	Sabal palmetto	21.2	8	15.00	17.2	Good	65%	4.00	4.00	N	N	YES	RELOCATE	Y	
28A	Gumbo Limbo	Bursera simaruba	24.6	35	17.75		Good	64%	9.00	17.50	N	N	YES	Remove	Y	
29	Live Oak	Quercus virginiana	50	34	31.00		Fair	54%	15.50	17.00	Y	N	YES	Remove	N	
29A	Live Oak	Quercus virginiana	21.9	27	21.00		Fair	50%	10.50	13.50	Y	N	YES	Remove	N	
29B	Brazilian Pepper	Schinus terebinthifolia	15	15	6.00		Fair	29%			N	N	NO	Remove	N	Florida Invasive Species Council Category I Invasive
29C	Brazilian Pepper	Schinus terebinthifolia	15	18	7.00		Fair	29%			N	N	NO	Remove	N	Florida Invasive Species Council Category I Invasive
30	Live Oak	Quercus virginiana	45.5	56	45.00		Poor	37%	22.50	28.00	Y	N	YES	Remove	N	
31	Live Oak	Quercus virginiana	26.4	28	21.50		Poor	40%	11.00	14.00	Y	N	YES	Remove	N	
31A	Live Oak	Quercus virginiana	51.6	30	23.00		Very poor	15%	11.50	15.00	Y	N	YES	Remove	N	
32	Live Oak	Quercus virginiana	36.1	32	23.00		Fair	52%	11.50	16.00	Y	N	YES	Remove	N	
33	Live Oak	Quercus virginiana	36.1	26	22.50		Poor	40%	11.00	13.00	Y	N	YES	Remove	N	
34	Live Oak	Quercus virginiana	38.8	20	22.50		Poor	40%	10.00	10.00	Y	N	YES	Remove	N	
35	Live Oak	Quercus virginiana	38.8	15	15.25		Poor	40%	7.50	7.50	N	N	YES	Remove	N	
36	Live Oak	Quercus virginiana	27.3	25	19.00		Poor	41%	9.50	12.50	Y	N	YES	Remove	N	
37	Sabal Palm	Sabal palmetto	17.1	8	15.50	13.1	Good	65%	4.00	4.00	N	N	YES	RELOCATE	Y	
38	Sabal Palm	Sabal palmetto	24.1	8	15.50	20.1	Good	65%	4.00	4.00	N	N	YES	RELOCATE	Y	
38A	Sabal Palm	Sabal palmetto	14	8	17.00	10	Good	65%	4.00	4.00	N	N	YES	RELOCATE	Y	
39	Live Oak	Quercus virginiana	50.6	65	34.50		Fair	47%	17.00	33.00	Y	N	YES	Remove	N	
40	Live Oak	Quercus virginiana	41	44	25.00		Fair	48%	12.50	22.00	Y	N	YES	Remove	N	
41	Royal Poinciana	Delonix regia	19.9	20	6.50		Fair	54%	3.00	10.00	N	N	YES	Remove	N	
42	Royal Palm	Roystonea Regia	33.9	16	16.75	24.9	Good	65%	4.00	8.00	N	N	YES	Remove	Y	
43	Royal Palm	Roystonea Regia	40.6	16	16.00	32.6	Good	65%	4.00	8.00	N	N	YES	Remove	Y	
43A	Royal Poinciana	Delonix regia	23	12	6.50		Fair	54%	3.00	6.00	N	N	YES	Remove	Y	
43B	Christmas Palm	Adonidia merrillii	22	6	7.00	19	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
43C	Live Oak	Quercus virginiana	26.4	25	11.50		Fair	48%	10.50	12.50	N	N	YES	Remove	N	
43D	Live Oak	Quercus virginiana	34.2	30	14.00		Fair	50%	7.00	15.00	N	N	YES	Remove	N	
43E	Royal Poinciana	Delonix regia	28.4	30	26.00		Fair	52%	13.00	15.00	Y	N	YES	Remove	N	
43F	Royal Poinciana	Delonix regia	21.1	15	6.50		Fair	54%	3.00	7.50	N	N	YES	Remove	N	
43G	Areca Palm	Dypsis lutescens	14.5	15	17.00	11.5	Fair	54%	4.00	7.50	N	N	YES	Remove	N	
43H	Royal Poinciana	Delonix regia	31.5	16	16.50		Fair	54%	8.00	8.00	N	N	YES	Remove	N	
43I	Royal Poinciana	Delonix regia	33.3	20	7.00		Fair	52%	3.50	10.00	N	N	YES	Remove	N	
43J	Royal Poinciana	Delonix regia	33.3	22	12.00		Fair	52%	6.00	11.00	N	N	YES	Remove	N	
43K	Royal Poinciana	Delonix regia	36.5	20	12.50		Fair	53%	6.00	10.00	N	N	YES	Remove	N	
43L	Royal Poinciana	Delonix regia	28.7	28	20.00		Fair	53%	10.00	14.00	Y	N	YES	Remove	N	
43M	Live Oak	Quercus virginiana	34	30	27.50		Fair	51%	13.50	15.00	Y	N	YES	Remove	N	
43N	Live Oak	Quercus virginiana	30.6	24	19.00		Fair	46%	9.50	12.00	Y	N	YES	Remove	N	
43O	Avocado	Persea Americana	20.4	12	13.75		Fair	47%	6.00	6.00	N	N	YES	Remove	N	Non-Native Fruit Tree
44	Live Oak	Quercus virginiana					Dead	0%			N	Y	NO	Remove	N	
45	Coconut Palm	Cocos nucifera	35	16	7.50	27	Good	65%	4.00	8.00	N	N	YES	Remove	Y	
46	Live Oak	Quercus virginiana	25.4	30	21.00		Fair	47%	10.00	15.00	Y	N	YES	Remove	N	
47	Live Oak	Quercus virginiana	21.3	30	26.00		Fair	51%	13.00	15.00	Y	N	NO	Remain	N	

TREE #	COMMON NAME	BOTANICAL NAME	HEIGHT (ft)	WIDTH (ft)	DBH (in)	CLEAR TRUNK (ft)	HEALTH CONDITION	HEALTH CONDITION %	CRITICAL ROOT ZONE (CRZ)*	TREE PROTECTION ZONE (TPZ)**	SPECIMEN	UNDERSIZED	MITIGATION REQUIRED	DISPOSITION	RELOCATION CANDIDATE (Y/N)	NOTES
47A	Live Oak	Quercus virginiana	21.3	30	35.00		Fair	51%	16.50	15.00	Y	N	NO	Remain	N	
47B	Live Oak	Quercus virginiana	21.3	30	27.00		Fair	51%	13.50	15.00	Y	N	NO	Remain	N	
48	Coconut Palm	Cocos nucifera	43.7	16	13.75	35.7	Good	65%	4.00	8.00	N	N	YES	Remove	Y	
49	Mango	Mangifera indica	29.6	30	13.50		Fair	55%	6.50	15.00	N	N	YES	Remove	N	Non-Native Fruit Tree
50	Live Oak	Quercus virginiana	36.5	56	66.00		Fair	53%	28.00	28.00	Y	N	YES	Remove	N	
51	Royal Poinciana	Delonix regia	41.5	55	20.50		Fair	54%	10.00	26.50	Y	N	YES	Remove	N	
51A	Mango	Mangifera indica	24	15	6.50		Fair	52%	3.00	7.50	N	N	YES	Remove	N	Non-Native Fruit Tree
51B	Queen Palm	Syagrus romanzoffiana	30	7	7.50	23	Fair	52%	3.00	7.00	N	N	YES	Remove	N	
52	Mango	Mangifera indica	28.1	27	14.50		Fair	53%	7.00	13.50	N	N	YES	Remove	N	Non-Native Fruit Tree
52A	Mango	Mangifera indica	26.7	15	6.00		Fair	53%	3.00	7.50	N	N	YES	Remove	N	Non-Native Fruit Tree
52B	Mango	Mangifera indica	32.6	17	7.50		Fair	48%	3.00	8.50	N	N	YES	Remove	N	Non-Native Fruit Tree
52C	Live Oak	Quercus virginiana	33.8	28	5.50		Fair	45%	3.00	14.00	N	N	YES	Remove	N	
52D	Live Oak	Quercus virginiana	39.3	35	22.00		Fair	53%	11.00	17.50	Y	N	YES	Remove	N	
52E	Areca Palm	Dyopsis lutescens	17.6	15	17.00		Fair	53%	4.00	7.50	N	N	YES	Remove	N	
52F	Areca Palm	Dyopsis lutescens	17.6	15	17.00		Fair	53%	4.00	7.50	N	N	YES	Remove	N	
52G	Areca Palm	Dyopsis lutescens	17.6	15	17.00		Fair	53%	4.00	7.50	N	N	YES	Remove	N	
52H	Umbrella Tree	Schefflera actinophylla	35.9	23	16.50		Fair	53%			N	N	NO	Remove	N	Florida Invasive Species Council Category I Invasive
53	Live Oak	Quercus virginiana	49	50	45.00		Fair	54%	16.00	25.00	Y	N	NO	Remove	N	
54	Live Oak	Quercus virginiana	22	22	18.25		Fair	54%	6.00	11.00	Y	N	YES	Remove	N	
55	Solitaire Palm	Pythosperma elegans	45.5	6	13.00	37.5	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
56	Solitaire Palm	Pythosperma elegans	22.5	6	9.00	19.5	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
57	Live Oak	Quercus virginiana	44.8	55	34.00		Fair	54%	11.00	27.50	Y	N	YES	Remove	N	
58	Solitaire Palm	Pythosperma elegans	34.2	8	9.00	31.2	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
59	Live Oak	Quercus virginiana	35.4	25	29.00		Fair	49%	11.00	12.50	Y	N	YES	Remove	N	
60	Live Oak	Quercus virginiana	45.7	55	30.50		Fair	50%	11.00	27.50	Y	N	YES	Remove	N	
60A	Live Oak	Quercus virginiana	36.9	40	31.00		Fair	53%	11.00	20.00	Y	N	YES	Remove	N	
61	Solitaire Palm	Pythosperma elegans	25	6	3.50	22	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
62	Solitaire Palm	Pythosperma elegans	25	6	3.50	22	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
63	Solitaire Palm	Pythosperma elegans	25	6	3.50	22	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
64	Solitaire Palm	Pythosperma elegans	25	6	3.50	22	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
65	Solitaire Palm	Pythosperma elegans	25	6	3.50	22	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
66	Solitaire Palm	Pythosperma elegans	25	6	3.50	22	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
67	Solitaire Palm	Pythosperma elegans	25	6	3.50	22	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
68	Solitaire Palm	Pythosperma elegans	25	6	3.50	22	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
69	Live Oak	Quercus virginiana	27.9	22	17.50		Fair	52%	6.00	11.00	N	N	YES	Remove	N	
70	Sabal Palm	Sabal palmetto	24	8	17.00	20	Good	65%	4.00	4.00	N	N	YES	RELOCATE	Y	
71	Solitaire Palm	Pythosperma elegans	25	6	3.00	22	Fair	53%	3.00	3.00	N	Y	NO	Remove	N	
72	Solitaire Palm	Pythosperma elegans	25	6	3.00	22	Fair	53%	3.00	3.00	N	Y	NO	Remove	N	
73	Solitaire Palm	Pythosperma elegans	25	6	4.00	22	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
73A	Gumbo Limbo	Bursera Simaruba	18	12	8.25		Fair	51%	4.00	6.00	N	N	YES	Remove	N	
74	Solitaire Palm	Pythosperma elegans	23	6	5.00	20	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
75	Solitaire Palm	Pythosperma elegans	23	6	5.00	20	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
76	Solitaire Palm	Pythosperma elegans	23	6	5.00	20	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
77	Solitaire Palm	Pythosperma elegans	23	6	5.00	20	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
78	Solitaire Palm	Pythosperma elegans	23	6	5.00	20	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
79	Solitaire Palm	Pythosperma elegans	23	6	5.00	20	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
80	Solitaire Palm	Pythosperma elegans	23	6	5.00	20	Fair	53%	3.00	3.00	N	N	YES	Remove	N	
81	Live Oak	Quercus virginiana	20.5	12	6.00		Fair	52%	3.00	6.00	N	N	YES	Remove	N	
82	Live Oak	Quercus virginiana	21.4	17	8.00		Fair	52%	4.00	8.50	N	N	YES	Remove	N	
83	Live Oak	Quercus virginiana	37	35	17.00		Fair	54%	6.00	17.50	N	N	YES	Remove	N	
83A	Live Oak	Quercus virginiana	27.6	23	14.50		Fair	52%	4.00	11.50	N	N	YES	Remove	N	
84	Gumbo Limbo	Bursera Simaruba	13.5	13	11.75		Fair	57%	3.00	6.50	N	N	NO	Remain	N	
84A	Live Oak	Quercus virginiana	24.4	17	7.50		Fair	53%	3.00	6.50	N	N	NO	Remain	N	
85	Sabal Palm	Sabal palmetto	22.5	8	15.00	19.5	Fair	57%	4.00	4.00	N	N	YES	Remove	N	
85A	Live Oak	Quercus virginiana	23	15	7.00		Fair	54%	3.00	7.50	N	N	YES	Remove	N	
86	Black Olive	Bucida buceris	27.9	30	21.00		Fair	55%	8.00	15.00	Y	N	NO	Remain	N	
86A	Live Oak	Quercus virginiana	22	12	8.50		Fair	55%	4.00	6.00	N	N	YES	Remain	N	
86B	Live Oak	Quercus virginiana	22.7	17	8.00		Fair	53%	4.00	8.50	N	N	YES	Remove	N	
87	Sabal Palm	Sabal palmetto	19	8	15.00	15	Good	65%	4.00	4.00	N	N	YES	RELOCATE	Y	
88	Sabal Palm	Sabal palmetto	19	8	15.00	15	Good	65%	4.00	4.00	N	N	YES	RELOCATE	Y	
89	Carrotwood	Cupaniopsis anacardioides	25	15	12.25		Poor	37%			N	N	YES	Remove	N	Florida Invasive Species Council Category I Invasive
90	Strangler Fig	Ficus aurea	36.5	25	17.75		Fair	55%	9.00	12.50	N	N	YES	Remove	N	
91	Live Oak	Quercus virginiana	45.7	75	39.75		Fair	53%	20.00	37.50	Y	N	YES	Remove	N	
92	Umbrella Tree	Schefflera actinophylla	28	8	6.00		Fair	50%			N	N	NO	Remove	N	Florida Invasive Species Council Category I Invasive
93	Brazilian Pepper	Schinus terebinthifolia	22	17	15.00		Fair	47%			N	N	NO	Remove	N	Florida Invasive Species Council Category I Invasive
94	Queen Palm	Syagrus romanzoffiana	20.9	13	8.00	14.9	Fair	52%	4.00	4.00	N	N	YES	Remove	N	
95	Queen Palm	Syagrus romanzoffiana	20.9	13	8.00	14.9	Fair	52%	4.00	4.00	N	N	YES	Remove	N	
96	Queen Palm	Syagrus romanzoffiana	20.9	13	8.00	14.9	Fair	52%	4.00	4.00	N	N	YES	Remove	N	
97	Live Oak	Quercus virginiana	41.7	65	36.50		Fair	53%	19.00	33.00	Y	N	YES	Remove	N	
98	Queen Palm	Syagrus romanzoffiana	34.8	13	10.00	28.8	Fair	52%	4.00	4.00	N	N	YES	Remove	N	
99	Carrotwood	Cupaniopsis anacardioides	23	17	10.00		Fair	47%			N	N	NO		N	Florida Invasive Species Council Category I Invasive
100	Live Oak	Quercus virginiana	32.4	50	37.50		Fair	54%	18.50	25.00	Y	N	YES	Remove	N	

TREE #	COMMON NAME	BOTANICAL NAME	HEIGHT (ft)	WDTH (ft)	DBH (in)	CLEAR TRUNK (ft)	HEALTH CONDITION	HEALTH CONDITION %	CRITICAL ROOT ZONE (CRZ)*	TREE PROTECTION ZONE (TPZ)**	SPECIMEN	UNDERSIZED	MITIGATION REQUIRED	DISPOSITION	RELOCATION CANDIDATE (Y/N)	NOTES
101	Avocado	Persea americana	30.5	28	28.00		Fair	50%	14.00	14.00	Y	N	YES	Remove	N	Non-Native Fruit Tree
102	Live Oak	Quercus virginiana	39.8	54	34.00		Fair	55%	17.00	20.00	Y	N	YES	Remove	N	
102A	Strangler Fig	Ficus aurea	31.9	35	21.50		Fair	54%	11.00	17.50	Y	N	YES	Remove	N	
102B	Live Oak	Quercus virginiana	30.9	40	23.00		Fair	50%	11.50	20.00	Y	N	YES	Remove	N	
102C	Royal Poinciana	Delonix regia	42.8	15	10.00		Fair	50%	5.00	7.50	N	N	YES	Remove	N	
102D	Queen Palm	Syagrus romanzoffiana	29.1	14	8.00	22.1	Fair	60%	4.00	4.00	N	N	YES	Remove	N	
103	Live Oak	Quercus virginiana	37	38	27.00		Fair	45%	13.50	19.00	Y	N	YES	Remove	N	
104	Mango	Mangifera indica	38.7	28	25.00		Fair	53%	12.50	14.00	Y	N	YES	Remove	N	Non-Native Fruit Tree
105	Mango	Mangifera indica	53.2	60	37.00		Fair	55%	18.50	30.00	Y	N	YES	Remove	N	Non-Native Fruit Tree
106	Live Oak	Quercus virginiana	39.4	30	16.50		Fair	52%	8.00	15.00	N	N	YES	Remove	N	
107	Mango	Mangifera indica	34.2	37	19.00		Fair	55%	9.50	18.50	Y	N	YES	Remove	N	Non-Native Fruit Tree
108	Mango	Mangifera indica	31.4	22	19.25		Fair	46%	10.00	11.00	Y	N	YES	Remove	N	Non-Native Fruit Tree
109	Mango	Mangifera indica	40.5	27	19.50		Fair	55%	10.00	13.50	Y	N	YES	Remove	N	Non-Native Fruit Tree
110	Weeping Fig	Ficus benjamina	42	36	49.50		Fair	49%	18.00	18.00	Y	N	YES	Remove	N	Non-Native Fruit Tree
111	Live Oak	Quercus virginiana	40.4	30	22.50		Fair	46%	11.00	15.00	Y	N	YES	Remove	N	
111A	Coconut Palm	Cocos nucifera	36.7	16	8.25	28.7	Good	6%	8.00	8.00	N	N	YES	Remove	Y	
112	Brazilian Pepper	Schinus terebinthifolia	27.8	30	22.00		Fair	48%			N	N	NO	Remove	N	Florida Invasive Species Council Category I Invasive
113	Royal Poinciana	Delonix regia	44	15	8.50		Fair	53%	4.00	7.50	N	N	YES	Remove	N	
114	Royal Poinciana	Delonix regia	44	15	8.50		Fair	53%	4.00	7.50	N	N	YES	Remove	N	
115	Royal Poinciana	Delonix regia	44	15	10.75		Fair	53%	5.00	7.50	N	N	YES	Remove	N	
115A	Royal Poinciana	Delonix regia	44	7.5	6.50		Fair	53%	3.00	3.50	N	N	YES	Remove	N	
116	Royal Poinciana	Delonix regia	44	15	7.00		Fair	53%	3.50	7.50	N	N	YES	Remove	N	
117	Live Oak	Quercus virginiana	42.4	55	29.50		Fair	54%	15.00	27.50	Y	N	YES	Remove	N	
117A	Royal Poinciana	Delonix regia	20.5	15	8.00		Fair	55%	4.00	7.50	N	N	YES	Remove	N	
117B	Royal Poinciana	Delonix regia	24.1	12	6.50		Fair	55%	3.00	6.00	N	N	YES	Remove	N	
118	Queen Palm	Syagrus romanzoffiana	38	13	8.50	32	Fair	53%	4.00	4.00	N	N	YES	Remove	N	
119	Royal Poinciana	Delonix regia	44	36	28.50		Fair	46%	14.00	18.00	Y	N	YES	Remove	N	
120	Royal Poinciana	Delonix regia	42.8	52	53.50		Fair	51%	21.00	21.00	Y	N	YES	Remove	N	
120A	Royal Poinciana	Delonix regia	33.6	25	16.00		Fair	50%	8.00	12.50	N	N	YES	Remove	N	
121	Mango	Mangifera indica	36.4	26	16.50		Fair	54%	8.00	13.00	N	N	YES	Remove	N	Non-Native Fruit Tree
121A	Mango	Mangifera indica	17.7	17	6.75		Fair	52%	3.00	8.50	N	N	YES	Remove	N	Non-Native Fruit Tree
122	Mango	Mangifera indica	32.4	30	18.50		Fair	54%	9.00	15.00	Y	N	YES	Remove	N	Non-Native Fruit Tree
122A	Avocado	Persea americana	32.8	20	26.50		Poor	25%	10.00	10.00	Y	N	YES	Remove	N	Non-Native Fruit Tree
123	Mango	Mangifera indica	30.7	25	17.50		Fair	53%	8.50	12.50	N	N	YES	Remove	N	Non-Native Fruit Tree
124	Avocado	Persea americana	31.1	18	18.50		Poor	37%	9.00	9.00	Y	N	YES	Remove	N	Non-Native Fruit Tree
124A	Mango	Mangifera indica	28.8	15	8.25		Fair	53%	4.00	7.50	N	N	YES	Remove	N	Non-Native Fruit Tree
124B	Mango	Mangifera indica	30	20	13.00		Fair	53%	7.50	10.00	N	N	YES	Remove	N	Non-Native Fruit Tree
124C	Laurel Oak	Quercus laurifolia	34	30	16.25		Good	64%	4.00	15.00	N	N	YES	Remove	N	
125	Live Oak	Quercus virginiana	42.6	40	33.50		Fair	46%	16.50	20.00	Y	N	YES	Remove	N	
126	Live Oak	Quercus virginiana	47.6	52	43.00		Fair	51%	21.50	36.00	Y	N	YES	Remove	N	
127	Live Oak	Quercus virginiana	33.9	34	34.50		Fair	49%	17.00	17.00	Y	N	YES	Remove	N	
127A	Queen Palm	Syagrus romanzoffiana	30	13	6.00	24	Fair	53%	4.00	4.00	N	N	YES	Remove	N	
127B	Queen Palm	Syagrus romanzoffiana	30	13	8.00	24	Fair	53%	4.00	4.00	N	N	YES	Remove	N	
128	Live Oak	Quercus virginiana	48.8	18	30.50		Fair	44%	9.00	9.00	Y	N	YES	Remove	N	
129	Live Oak	Quercus virginiana	51.6	25	39.00		Poor	28%	12.50	12.50	Y	N	YES	Remove	N	
130	Live Oak	Quercus virginiana	40.1	30	27.00		Fair	47%	13.50	25.00	Y	N	YES	Remove	N	
131	Live Oak	Quercus virginiana	40.9	45	50.00		Poor	32%	22.50	22.50	Y	N	YES	Remove	N	
131A	Queen Palm	Syagrus romanzoffiana	30	13	8.00	24	Fair	53%	4.00	4.00	N	N	YES	Remove	N	
131B	Live Oak	Quercus virginiana	34.4	15	29.00		Poor	27%	7.50	7.50	Y	N	YES	Remove	N	
132	Avocado	Persea americana	29.8	30	15.00		Fair	54%	7.50	15.00	N	N	YES	Remove	N	Non-Native Fruit Tree
133	Mango	Mangifera indica	32	26	17.00		Fair	52%	8.50	13.00	N	N	YES	Remove	N	
133A	Frangi Pani	Plumeria sp.	18.8	15	8.50		Fair	54%	4.00	7.50	N	N	YES	Remove	N	
134	Mango	Mangifera indica	35.3	43	36.00		Fair	53%	18.00	21.50	Y	N	YES	Remove	N	Non-Native Fruit Tree
135	Messing						Missing	0%			N/A	N/A	N/A	N/A	N	
135a	Queen Palm	Syagrus romanzoffiana	30.1	8	4.00	24	Fair	53%	4.00	4.00	N	N	YES	Remove	N	
135b	Queen Palm	Syagrus romanzoffiana	30.1	13	8.00	24.1	Fair	53%	4.00	4.00	N	N	YES	Remove	N	
135c	Queen Palm	Syagrus romanzoffiana	30.1	13	8.00	24.1	Fair	53%	4.00	4.00	N	N	YES	Remove	N	
135d	Queen Palm	Syagrus romanzoffiana	30.1	13	8.00	24.1	Fair	53%	4.00	4.00	N	N	YES	Remove	N	
136	Sabal Palm	Sabal palmetto	30.1	13	8.00	24.1	Good	65%	4.00	4.00	N	N	YES	Remove	N	
137	Mango	Mangifera indica	30.4	20	19.25		Fair	51%	10.00	10.00	Y	N	YES	Remove	N	Non-Native Fruit Tree
138	Sabal Palm	Sabal palmetto	31.8	8	12.00	27.8	Good	65%	4.00	4.00	N	N	YES	Remove	N	
138A	Silk Cotton Tree	Ceiba pentandra	29.2	35	31.50		Fair	56%	15.50	17.50	Y	N	YES	Remove	N	
139	Queen Palm	Syagrus romanzoffiana					Dead	0%			N/A	N/A	NO	Remove	N	
140	Sabal Palm	Sabal palmetto	22.9	8	13.50	18.9	Good	65%	4.00	4.00	N	N	YES	RELOCATE	Y	
141	Queen Palm	Syagrus romanzoffiana	25	13	8.00	19	Good	65%	4.00	4.00	N	N	NO	Remove	Y	Florida Invasive Species Council Category I Invasive
142	Royal Poinciana	Delonix regia	27	25	10.50		Good	65%	5.00	12.50	N	N	NO	Remain	N	
142A	Mango	Mangifera indica	35.6	32	31.50		Fair	51%	15.50	16.00	Y	N	YES	Remove	N	Non-Native Fruit Tree
143	Queen Palm	Syagrus romanzoffiana	26.8	8	6.00	20.8	Fair	46%	4.00	4.00	N	N	NO	Remain	N	
144	Frangi Pani	Plumeria sp.	16.7	15	7.00		Fair	53%	3.50	7.50	N	N	NO	Remain	N	
145	Mango	Mangifera indica	35.6	35	29.75		Fair	54%	15.00	17.50	Y	N	YES	Remove	N	Non-Native Fruit Tree
146	Mango	Mangifera indica	20.4	23	16.50		Fair	52%	8.00	11.50	N	N	YES	Remove	N	Non-Native Fruit Tree

TREE #	COMMON NAME	BOTANICAL NAME	HEIGHT (ft)	WIDTH (ft)	DBH (in)	CLEAR TRUNK (ft)	HEALTH CONDITION	HEALTH CONDITION %	CRITICAL ROOT ZONE (CRZ)**	TREE PROTECTION ZONE (TPZ)**	SPECIMEN	UNDERSIZED	MITIGATION REQUIRED	DISPOSITION	RELOCATION CANDIDATE (Y/N)	NOTES
147	Mango	Mangifera indica	29.5	33	20.00		Fair	54%	10.00	16.50	Y	N	YES	Remove	N	Non-Native Fruit Tree
148	Sabal Palm	Sabal palmetto	28	8	10.00	24	Good	65%	4.00	4.00	N	N	YES	Remove	N	
149	Sabal Palm	Sabal palmetto	25	8	14.00	21	Good	65%	4.00	4.00	N	N	YES	Remove	N	
150	Foxtail Palm	Wodyetia bifurcata	23	8	12.00	19	Fair	59%	4.00	4.00	N	N	YES	Remove	Y	
151	Coconut Palm	Cocos nucifera	24	14	10.00	18	Good	65%	7.00	7.00	N	N	YES	Remove	Y	
152	Foxtail Palm	Wodyetia bifurcata	14	6	7.00	8	Fair	58%	4.00	4.00	N	N	YES	Remove	Y	
152a	Japanese Blueberry	Elaeocarpus decipiens	19.7	15	9.00		Fair	53%	4.50	7.50	N	N	YES	Remove	N	
152b	Japanese Blueberry	Elaeocarpus decipiens	10	8	7.00		Fair	50%	3.50	4.00	N	N	YES	Remove	N	
152c	Mango	Mangifera indica	42.6	40	27.00		Fair	49%	13.50	20.00	Y	N	YES	Remove	N	Non-Native Fruit Tree
153	Foxtail Palm	Wodyetia bifurcata	20	8	7.00	16	Good	65%	4.00	4.00	N	N	YES	Remove	Y	
154	Foxtail Palm	Wodyetia bifurcata	20	8	7.00	16	Good	65%	4.00	4.00	N	N	YES	Remove	Y	
155	Foxtail Palm	Wodyetia bifurcata	18.5	8	7.00	14.5	Fair	53%	4.00	4.00	N	N	YES	Remove	N	
156	Triangle Palm	Dypsis decaryi	18.5	12	11.50	10.5	Fair	53%	4.00	4.00	N	N	YES	Remove	N	
157	Triangle Palm	Dypsis decaryi	18.5	12	11.50	10.5	Fair	53%	4.00	4.00	N	N	YES	Remove	N	
158	Foxtail Palm	Wodyetia bifurcata	19.7	8	6.00	14.7	Good	65%	4.00	4.00	N	N	YES	Remove	Y	
159	Tropical Almond	Terminalia muelleri	44.9	44	28.25		Fair	55%	14.00	22.00	Y	N	YES	Remove	N	
160	Live Oak	Quercus virginiana	49.8	50	41.50		Poor	17%	20.00	25.00	Y	N	NO	Remain	N	
161	Live Oak	Quercus virginiana	40.4	20	22.75		Poor	33%	10.00	10.00	Y	N	NO	Remain	N	
162	Live Oak	Quercus virginiana	57.5	30	32.00		Fair	49%	15.00	15.00	Y	N	NO	Remain	N	
163	Live Oak	Quercus virginiana	53.2	30	40.00		Fair	44%	15.00	15.00	Y	N	NO	Remain	N	
164	Queen Palm	Syagrus romanzoffiana	24.8	14	8.00	16.8	Good	62%	4.00	4.00	N	N	NO	Remove	Y	Florida Invasive Species Council Category I Invasive
165	Lychee	Litchi chinensis	29.3	40	26.75		Good	64%	13.00	20.00	Y	N	YES	Remove	Y	
166	Live Oak	Quercus virginiana	30.2	52	29.00		Fair	55%	15.00	26.00	Y	N	YES	Remove	N	
167	Live Oak	Quercus virginiana	35.5	22	14.25		Fair	50%	7.00	11.00	N	N	YES	Remove	N	
168	Sapote	Pouteria sapota	34.5	30	27.00		Fair	55%	13.50	15.00	Y	N	YES	Remove	N	
169	Live Oak	Quercus virginiana	23.7	15	17.50		Poor	28%	7.50	7.50	N	N	YES	Remove	N	
170	Live Oak	Quercus virginiana	33.9	35	41.50		Poor	35%	17.50	17.50	Y	N	YES	Remove	N	
171	Live Oak	Quercus virginiana			17.00		Dead	0%			N/A	N/A	NO	Remove	N	
172	Live Oak	Quercus virginiana	33.7	18	19.00		Poor	40%	9.00	9.00	Y	N	NO	Remain	N	
173	Live Oak	Quercus virginiana	53.6	38	36.75		Poor	24%	18.00	19.00	Y	N	NO	Remain	N	
174	Live Oak	Quercus virginiana	54.2	35	26.00		Poor	23%	13.00	17.50	Y	N	NO	Remain	N	
175	Sabal Palm	Sabal palmetto	29.2	8	10.00	25.2	Good	65%	4.00	4.00	N	N	NO	Remain	Y	
176	Live Oak	Quercus virginiana	49.5	50	39.00		Fair	47%	20.00	25.00	Y	N	NO	Remain	N	
177	Sabal Palm	Sabal palmetto	36.5	8	8.00	32.5	Good	65%	4.00	4.00	N	N	NO	Remain	Y	
177A	Live Oak	Quercus virginiana	39.3	35	41.00		Poor	40%	17.50	17.50	Y	N	YES	Remove	N	
177B	Queen Palm	Syagrus romanzoffiana	39	13	7.00		Fair	55%	4.00	4.00	N	N	YES	Remove	N	
178	Live Oak	Quercus virginiana	37	30	30.00		Poor	40%	15.00	15.00	Y	N	YES	Remove	N	
179	Mango	Mangifera indica	31.7	12	8.75		Fair	47%	4.00	6.00	N	N	YES	Remove	N	Non-Native Fruit Tree
180	Queen Palm	Syagrus romanzoffiana	30	13	10.00	24	Good	65%	4.00	4.00	N	N	YES	Remove	Y	
181	Live Oak	Quercus virginiana	39.7	25	23.00		Poor	40%	11.50	12.50	Y	N	YES	Remove	N	
182	Live Oak	Quercus virginiana	41.9	32	32.00		Poor	40%	16.00	16.00	Y	N	YES	Remove	N	
184	Live Oak	Quercus virginiana	31.6	20	22.50		Poor	37%	10.00	10.00	Y	N	YES	Remove	N	
185	Live Oak	Quercus virginiana	34.1	50	34.00		Fair	49%	17.00	25.00	Y	N	YES	Remove	N	
186	Live Oak	Quercus virginiana	49.7	60	82.00		Fair	53%	30.00	30.00	Y	N	YES	Remove	N	
187	Frangi Parli	Plumeria sp.	27	18	15.00		Fair	53%	7.50	9.00	N	N	YES	Remove	N	

ATTACHMENT A
Application Package
Part III

C-1.0

Printed on Monday, June 30, 2026, 12:53 PM by Corey Strassmeyer

MICHAEL A. TROXELL, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 50572. THIS ITEM HAS BEEN OFFICIALLY SIGNED AND SEALED BY MICHAEL A. TROXELL, P.E. ON 6/30/2026. PRINTED COPIES OF THIS DOCUMENT ARE VALID FOR 90 DAYS. ANY COPIES OF THIS DOCUMENT AFTER 90 DAYS ARE NOT VALID FOR ANY PURPOSE.

PROJECT NOTES

- A. IF A CONFLICT BETWEEN THE PLANS, STANDARDS AND GENERAL NOTES AND THE CITY OF HOLLYWOOD UTILITY STANDARDS AND DETAILS, THE MORE STRINGENT SHALL APPLY.
- B. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE CONFORMANCE TO THESE REQUIREMENTS BY ALL SUBCONTRACTORS.
- C. WATER AND SEWER UTILITY PROVIDER FOR THIS PROJECT IS THE CITY OF HOLLYWOOD UTILITY DEPARTMENT.

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION UNLESS NOTED OTHERWISE IN THE PLANS. SHOULD A CONFLICT EXIST BETWEEN THE PLANS AND THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE MORE STRINGENT SHALL APPLY.
2. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN: BOUNDARY AND TOPOGRAPHIC SURVEY/ ATLANSPS LAND TITLE SURVEY, HOLLYWOOD OAKS SITE, PREPARED BY PULICE LAND SURVEYORS, INC, DATED 6/30/21.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT HEISHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE.
3. ALL HANDICAPPED PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) CODE 42 U.S.C. § 1201 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ), FLORIDA ACCESSIBILITY CODE (LATEST EDITION), OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.
4. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
5. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.
7. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
8. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO THOMAS ENGINEERING GROUP BY THE OWNER AND OTHERS. PRIOR TO COMMENCEMENT OF ANY WORK, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THOMAS ENGINEERING GROUP, LLC IN WRITING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES. NO ADDITIONAL COMPENSATION SHALL BE PROVIDED FOR RE-WORK FOR FAILURE TO VERIFY EXISTING CONDITIONS.
9. ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR RE-WORK DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS.
10. CONTRACTOR SHALL UTILIZE THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY CONNECTION LOCATIONS AND ELEVATIONS. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF ANY DISCREPANCIES IN WRITING PRIOR TO COMMENCEMENT OF WORK IF THERE ARE ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ARCHITECTURAL/BUILDING PLANS. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR RE-WORK AFTER COMMENCEMENT OF WORK.
11. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.
13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL, INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
15. ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/ MEANS FOR COMPLETION OF THE WORK DEPICTED NEITHER ON THESE PLANS, NOR FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS THE ENGINEER OF RECORD BEEN RETAINED FOR SUCH PURPOSES.
18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS' COMPENSATION INSURANCE, EMPLOYERS' LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME THOMAS ENGINEERING GROUP, LLC AND ITS SUB-CONSULTANTS AS ADDITIONAL NAMED INSURERS AND TO PROVIDE CONTRACTOR LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH THOMAS ENGINEERING GROUP, LLC WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS THOMAS ENGINEERING GROUP, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS'

FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

19. THOMAS ENGINEERING GROUP, LLC WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THOMAS ENGINEERING GROUP'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT THOMAS ENGINEERING GROUP, LLC HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. THOMAS ENGINEERING GROUP, LLC WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. THOMAS ENGINEERING GROUP, LLC WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
20. NEITHER THE PROFESSIONAL ACTIVITIES OF THOMAS ENGINEERING GROUP, LLC NOR THE PRESENCE OF THOMAS ENGINEERING GROUP, LLC OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. THOMAS ENGINEERING GROUP, LLC AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THOMAS ENGINEERING GROUP, LLC SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
22. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, REQUIREMENTS AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
23. CONTRACTOR IS RESPONSIBLE FOR DESIGNING, SEQUENCING AND PROVIDING REQUIRED MAINTENANCE AND PROTECTION OF TRAFFIC (M.O.T.) FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL (VEHICULAR AND PEDESTRIAN) WITHIN THE RIGHT-OF-WAY OR ON SITE. M.O.T. SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) OR OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION REQUIREMENTS. THE COST FOR M.O.T. SHALL BE INCLUDED IN THE CONTRACT PRICE.
24. CONTRACTOR SHALL CONFIRM THAT LAYOUT OF SIDEWALKS AND PARKING AREAS MEET THE APPLICABLE ADA ACCESSIBILITY REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. NO ADDITIONAL COMPENSATION FOR REWORK SHALL BE PROVIDED FOR FAILURE TO NOTIFY ENGINEER PRIOR TO COMMENCEMENT OF WORK OF ANY DISCREPANCIES.
25. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.
26. ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION IF REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY. THESE EASEMENTS SHALL BE SKETCHED, DESCRIBED, AND RECORDED AT THE SOLE COST OF THE CONTRACTOR.
27. CONTRACTOR SHALL PROVIDE MINIMUM 48 HOUR NOTICE TO ENGINEER AND APPLICABLE AGENCIES FOR SCHEDULING INSPECTIONS.
28. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD AND APPLICABLE GOVERNMENTAL AGENCIES HAVING JURISDICTION FOR THE FOLLOWING: CATCH BASINS, FIRE HYDRANTS, VALVES, AND ALL REQUIRED ACCESSORIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.
29. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.
30. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
31. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE THE BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION FROM THE GOVERNMENTAL AGENCY HAVING JURISDICTION.
32. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, PAVEMENT MARKING AND SIGNAGE OR ANY PEDESTRIAN SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN ALTERNATE SAFE WALK ROUTE. ALL RESTORED TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCY'S TRAFFIC ENGINEERING STANDARDS.
33. CONTRACTOR SHALL REMOVE ORGANICS AND/OR DELETERIOUS MATERIAL WHERE ENCOUNTERED AND REPLACE WITH SUITABLE FILL. ORGANICS MAY BE REUSED TO GRADE LANDSCAPE AREAS.

SANITARY SEWER NOTES:

- A. GENERAL:
- COMPLY WITH THE STANDARDS, DETAILS AND SPECIFICATIONS OF THE UTILITY PROVIDER OR GOVERNMENTAL AGENCY HAVING JURISDICTION. SHOULD A CONFLICT EXIST BETWEEN THOSE REQUIREMENTS AND THESE PLANS AND NOTES, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
 - DISTANCE AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES.
- B. MATERIALS:
- ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLY(VINYL CHLORIDE) (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS. (24" SHALL BE DR-25).
 - DUCTILE IRON PIPE (DIP) SHALL BE CEMENT OR POLYLINE INSIDE AND SHALL HAVE A COAL TAR EPOXY COATING, MANUFACTURED IN ACCORDANCE WITH ANSI/AWWA C151/ASTM 51-86 OR LATEST REVISION, MINIMUM WALL THICKNESS CLASS 52 (4"-12" SPECIFIED).
- C. INSTALLATION:
- PIPE AND FITTINGS:
 - SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, AND THE UNIBELL PLASTICS PIPE ASSOCIATIONS' RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE.
 - D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C800-93 OR LATEST REVISION.
 - BEDDING AND INITIAL BACKFILL (12 INCHES) OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN THE TRENCH OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF ENGINEER AND THE UTILITY PROVIDER. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.
 - SERVICE PIPING SHALL BE TYPE "K" DRAWN COPPER. - GENERAL: CONNECTION OF ALL NEW SYSTEMS TO EXISTING MAINS SHALL BE DONE BY USING ONE OF THE FOLLOWING METHODS:

2. SERVICE:
- MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE AS INDICATED IN THE FLORIDA BUILDING CODE.
 - SERVICE LATERALS SHALL TERMINATE AT A DEPTH 30" BELOW FINISHED GRADE OR AS INDICATED ON PLUMBING PLAN.
 - EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG.
 - THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2"x4" TREATED STAKE PAINTED RED, EXTENDING 18"(MIN) ABOVE GRADE.
 - CONTRACTOR SHALL ROUGH IN RISER TO 1 FOOT ABOVE FINISHED GRADE AND PLUG. AT PROJECT COMPLETION, CUT BACK TO FINISHED GRADE.
 - CONNECTION OF SERVICES TO BUILDINGS PLUMBING SHALL BE COORDINATED WITH THE CITY'S BUILDING AND ZONING DEPARTMENT, PLUMBING SECTION.
- D. TESTING:
- AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.
 - AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF THE ENGINEER.
 - MANHOLE LEAKAGE TEST SHALL NOT EXCEED FOUR GALLONS PER DAY PER UNIT. NO VISIBLE LEAKAGE ALLOWED.
 - SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER MILE IN A TWO HOUR TEST PERIOD FOR ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED AND ALL LINES SHALL BE T.V. INSPECTED.
 - SANITARY SEWER SHALL BE TELEVISED AND LAMPED, PRIOR TO FINAL ACCEPTANCE. OWNER / CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO CERTIFICATION TO ANY AGENCY. VISIBLE INFILTRATION LEAKAGE INTO MANHOLES AND SEWER PIPE SHALL NOT BE PERMITTED.

WATER DISTRIBUTION AND/OR SANITARY SEWER FORCE MAIN SYSTEM

- A. GENERAL:
- COMPLY WITH THE STANDARDS, DETAILS AND SPECIFICATIONS OF THE UTILITY PROVIDER OR GOVERNMENTAL AGENCY HAVING JURISDICTION. SHOULD A CONFLICT EXIST BETWEEN THOSE REQUIREMENTS AND THESE PLANS AND NOTES, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
 - NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS, FOR THE WATER AND SEWER FORCE MAINS, AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE UTILITY PROVIDER AND RELEASED TO BE PLACED IN TO SERVICE BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION OR AN ENTITY WHICH IT HAS RELEGATED ITS AUTHORITY.
 - BEDDING AND INITIAL BACKFILL FOR MAINS SHALL BE SAND WITH NO ROCKS LARGER THAN 1" IN DIAMETER.
 - USE "DETECTO" TAPE ON ALL PVC MAINS (18" ABOVE), AND USE "NON-DETECTO" TAPE ON ALL D.I.P. MAINS (18" ABOVE).
 - A SIX (6) FOOT HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATER MAINS AND OBSTRUCTIONS (I.E. CATCH BASINS, POWER POLES, INCLUDING TREES & WATER MAINS, ETC.).
 - NO VALVES, METERS, FIRE HYDRANTS, CLEANOUTS, MANHOLES OR OTHER UTILITY APPURTENANCES ARE TO BE PLACED IN, OR ADJACENT TO, SIDEWALKS, CURBS, PARKING SPACES OR OTHER SUCH SITE FEATURES SO AS TO PRESENT A HAZARD OR RESTRICT THE MAINTENANCE OR OPERATION OF THE UTILITY INFRASTRUCTURE.
- B. MATERIALS:
- DUCTILE IRON PIPE (DIP) SHALL BE CLASS 52 UP TO 12" SIZE AND CLASS 51 FOR 14" AND LARGER WITH INTERIOR CEMENT LINING AND BITUMINOUS COATED OUTSIDE. WATER MAIN & EPOXY LINED & COATED FORCE MAIN MANUFACTURED IN ACCORDANCE WITH ANSI/AWWA C151/ASTM 51-91 OR LATEST REVISION. THE PIPE SHALL WITHSTAND A WORKING PRESSURE OF 350 PSI. THE JOINTS SHALL BE BELL AND SPIGOT PUSH-ON TYPE UNLESS OTHERWISE NOTED ON THE PLANS.
 - ALL PVC MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PRESSURE PIPE CONFORMING TO ANSI/AWWA C300-89 OR LATEST REVISION, AND SHALL HAVE PUSH-ON JOINTS, AND IRON PIPE O.D. (PVC ON-SITE ONLY).
 - FITTINGS FOR MAINS 4" AND LARGER SHALL BE DUCTILE IRON MECHANICAL JOINT CONFORMING TO ANSI/AWWA C110/ASTM 10-93 OR LATEST REVISION, COMPLETE WITH GLANDS, GASKETS, BOLTS AND NUTS. ALL FITTINGS SHALL BE CEMENT LINED AND SEAL COATED WITH THE SAME MATERIALS AS THE PIPE & USE MEGALUG SERIES 1100 RESTRAINED JOINT ADAPTERS.
 - VALVES SHALL BE GATE VALVES, IRON BODY, FULLY RESILIENT SEAT BRONZED MOUNTED NON-RISING STEM, RATED AT 250 PSI AND CONFORMING TO ANSI/AWWA C300-89 OR LATEST REVISION AND SHALL HAVE MECHANICAL JOINTS.
 - GATE VALVES 4" AND LARGER SHALL BE MUELLER A-2360-20, RESILIENT SEATED GATE VALVES SHALL BE AMERICAN 5002500 LINE OR CLOW F-4100, CONFORMING TO ANSI/AWWA C509-87.
 - TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.
 - GATE VALVES 3" OR LESS SHALL BE NISCO T-133 OR T-136 WITH MALLEABLE HAND WHEELS. NO SUBSTITUTIONS ALLOWED.
 - TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL.
 - VALVE BOXES SHALL BE TYLER/UNION 491-S OR APPROVED EQUAL.
 - RETAINER GLANDS SHALL CONFORM TO ANSI/AWWA C111/ASTM 11-90 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING, CLOW CORPORATION MODEL F-1058 OR STANDARD FIRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.
 - DRESSER COUPLING SHALL BE REGULAR BLACK COUPLINGS WITH PLAIN GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRESSER STYLE 90. NO SUBSTITUTIONS ALLOWED.
 - FIRE HYDRANTS SHALL HAVE A 5" 1/4" MAIN VALVE OPENING. PUMPER NOZZLE TO BE 18" FROM FINISH GRADE. ALL HYDRANTS TO BE INSTALLED WITH ANCHORING TEE AND CONTROL VALVE. FIRE HYDRANT SHALL COMPLY WITH ANSI/AWWA C502-85 (OR LATEST REVISION). HYDRANTS SHALL BE MUELLER CENTURION OR AMERICAN DARLING. BLUE REFLECTIVE PAVEMENT MARKER REQUIRED IN CENTER OF NEAREST DRIVING LANE FOR FIRE HYDRANTS.
 - PIPE COLOR CODING REQUIREMENT SHALL CONFORM TO 62-555.320(21) (b) (3), F.A.C.
- C. SERVICE CONNECTION:
- CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM B-642 WITH THREADED ENDS, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.
 - CURB STOPS SHALL BE MUELLER OR APPROVED EQUAL.
 - METER STOPS SHALL BE 90° LOCK WING TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM B-82. METER STOPS SHALL BE CLOSED BOTTOM DESIGN AND RESILIENT 10" RING SEALED AGAINST EXTERNAL LEAKAGE AT THE TOP. STOPS SHALL BE EQUIPPED WITH A METER COUPLING NUT ON THE OUTLET SIDES, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.
 - SERVICE PIPING SHALL BE TYPE "K" DRAWN COPPER.
- D. INSTALLATION:
- GENERAL: CONNECTION OF ALL NEW SYSTEMS TO EXISTING MAINS SHALL BE DONE BY USING ONE OF THE FOLLOWING METHODS:

- METHOD A, A REDUCED SIZE TEMPORARY CONNECTION BETWEEN THE EXISTING MAIN AND THE NEW ONE.
 - METHOD B, A DIRECT CONNECTION BETWEEN THE NEW AND EXISTING MAINS USING TWO GATE VALVES SEPARATED BY A SLEEVE WITH A VENT PIPE.
 - METHOD C, A TAP WITH ONE GATE VALVE REQUIRING DISINFECTION OF THE NEW SYSTEM PRIOR TO CONDUCTING THE PRESSURE TEST.
2. BEDDING:
- BEDDING AND INITIAL BACKFILL (12 INCHES ABOVE PIPE) FOR ALL PIPE SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF THE ENGINEER AND UTILITY PROVIDER. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.
3. PVC PIPE:
- PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNIBELL PLASTIC PIPE ASSOCIATIONS' GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEMS.
 - PVC PIPE SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER.
 - DETECTOR TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL PVC MAINS APPROXIMATELY 18" ABOVE THE PIPE, COLOR SIDE UP.
4. DUCTILE PIPE:
- D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C800-93 OR LATEST REVISION.
 - D.I.P. SHALL BE INSTALLED WITH A MINIMUM OF 30" COVER.
 - "NON-DETECTO" TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL D.I.P. MAINS APPROXIMATELY 18" ABOVE THE MAIN COLOR SIDE UP.
5. VALVES:
- ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "WATER" OR "SEWER" CAST IN THE COVER. A BRASS DISK INDICATING SIZE, TYPE, KIND & OPERATOR INSTRUCTIONS SHALL BE INSTALLED ADJACENT TO VALVE BOX.
 - MAIN VALVES SHALL BE LOCATED ON AN EXTENSION OF THE RIGHT-OF-WAY LINE UNLESS DIMENSIONED OTHERWISE.
 - MAIN VALVES SHALL BE INSTALLED AWAY FROM PARKING AREAS. IF THIS IS UNAVOIDABLE, PROPER MEASURES SHALL BE TAKEN TO AVOID THE PARKING OF VEHICLES OVER THE VALVES. HYDRANT VALVES SHALL BE INSTALLED AS CLOSE TO THE MAIN AS POSSIBLE. VALVES LOCATED IN NON-PAVED AREAS OR IN PARKING STALLS REQUIRE A REFLECTIVE PAVEMENT MARKER ON THE CENTER OF THE NEAREST LANE OF ROAD PAVEMENT, WHITE REFLECTORS FOR THE WATER MAIN VALVES, GREEN REFLECTORS FOR FORCE MAIN VALVES.
 - THE DISTANCE FROM THE TOP OF THE VALVE ACTUATOR NUT TO FINAL GRADE SHALL BE A MINIMUM OF 12 INCHES AND A MAXIMUM OF 18 INCHES.

6. SERVICE:
- COVER OVER SERVICE LINES SHALL BE 18" MINIMUM, 36" MAXIMUM BELOW FINISHED GRADE AND 36" UNDER PAVEMENT.
 - SERVICES UP TO 2" SHALL BE TYPE "K" COPPER.
 - METER STOPS SHALL HAVE 8" TO 10" COVER AS REQUIRED FOR PROPER METER/BOX INSTALLATION.
 - WATER SERVICES UNDER PAVEMENT SHALL BE ENCASED IN A SCHEDULE 80 PVC SLEEVE FOR THE FULL LENGTH OF THE PAVEMENT AND FOR 2' BEYOND THE EDGE. SLEEVE DIAMETER SHALL BE TWICE THE DIAMETER OF THE SERVICE PIPE.
 - THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2"x4" TREATED STAKE, PAINTED BLUE EXTENDING 18" MINIMUM ABOVE GRADE UNLESS INDICATED OTHERWISE.

- E. TESTING
- BEFORE ANY PHYSICAL CONNECTIONS TO THE EXISTING WATER MAINS ARE MADE, THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. HYDROSTATIC TESTING OF NEW MAINS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 150 PSI FOR TWO HOURS IN ACCORDANCE WITH ANSI/AWWA C800-93 OR LATEST REVISION, THE PRESSURE TEST SHALL NOT VARY MORE THAN +5 P.S.I. DURING THE TEST.
 - THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE UTILITY PROVIDER AND THE ENGINEER OF RECORD.
 - BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH THE ANSI/AWWA C681-05, 150 PSI MINIMUM STARTING TEST PRESSURE, WITH BACTERIOLOGICAL SAMPLES IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS.
 - SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS. IF NOT SPECIFIED, SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF 1,000' MAXIMUM FOR LINES GREATER THAN 1,500' IN LENGTH. PROVIDE A MINIMUM OF TWO SAMPLING POINTS FOR ALL OTHER TEST SEGMENTS. SAMPLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS OR THE AGENCY WHICH HAS RELEGATED ITS AUTHORITY.
 - THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:

$$L = S \cdot D^{.95} \cdot 148,000$$

IN WHICH:

- L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR
S = LENGTH OF PIPE (LINEAR FEET)
D = NOMINAL DIAMETER OF PIPE (INCHES)
P = THE MINIMUM TEST PRESSURE (POUNDS PER SQUARE INCH)

SEPARATION OF WATER AND SEWER MAINS

- A. SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE BOTTOM OF THE WATER MAIN AND THE TOP OF THE WASTEWATER MAIN WHENEVER POSSIBLE. WHERE SANITARY SEWERS, STORM SEWERS, OR FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
- ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING). WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP, AND THE CROSSING SHALL BE ARRANGED TO MEET THE REQUIREMENTS ABOVE.
- B. A MINIMUM 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER JOINTS. ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS). A MINIMUM 6-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND ALL OBSTRUCTIONS INCLUDING TREES.
- C. ALL DIP SHALL BE CLASS 50 OR HIGHER. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE ENGINEER.

STORM DRAINAGE:

- A. GENERAL:
- CATCH BASIN GRADES AND RIM ELEVATIONS AS SHOWN ON PLANS SHALL BE ADJUSTED TO

- CONFORM TO NEW OR EXISTING GRADES.
- DISTANCES AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES.
 - CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT THE DRAINAGE ADJACENT TO BUILDINGS COMPLY WITH FBC SECTION 180.3.4 AND PROVIDE POSITIVE DRAINAGE FLOW TO THE SITE DRAINAGE SYSTEM. CONTRACTOR SHALL INSTRUCT SUB-CONTRACTORS (SITE, LANDSCAPE, ETC.) OF THE SAME. SHALLOW SWALES MAY BE NEEDED IN CERTAIN INSTANCES.
- B. MATERIALS:
- ALL HIGH DENSITY POLYETHYLENE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M-294 LATEST REVISIONS, ALL PIPING TO BE NON-PERFORATED TUBING.
 - ALL YARD DRAIN BASINS ARE TO BE HIGH DENSITY POLYETHYLENE PRODUCT AND SHALL MEET ASTM LATEST MINIMUM STANDARDS.
 - ALL DRAINAGE CATCH BASINS AND STRUCTURES SHALL BE PRECAST CONCRETE AND SHALL MEET THE REQUIREMENTS OF A.S.T.M. SPECIFICATION C-478 AND 84T UNLESS OTHERWISE NOTED IN THE PLANS. BLOCK CATCH BASINS WILL BE ALLOWED ONLY WITH APPROVAL OF THE ENGINEER. THE MINIMUM WALL AND SLAB THICKNESS SHALL BE 8 INCHES AND THE MINIMUM REINFORCING SHALL BE NO. 4 BARS AT 12 INCHES EACH WAY UNLESS OTHERWISE INDICATED. CONCRETE SHALL BE MINIMUM OF f'-3,750 PSI AT 28 DAYS.
 - IN DRY RETENTION / DETENTION AREAS, CONTRACTOR TO EXCAVATE AND FILL BACK WITH CLEAN FREE-DRAINING MATERIAL A MINIMUM OF 1 FOOT BELOW THE WATER TABLE.
- C. INSTALLATION:
- PIPE SHALL BE PLACED ON A MINIMUM OF 8" STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION AND OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A UNIFORM GRADE AND LINE.
 - BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL TAMPED IN LAYERS NOT TO EXCEED 6 INCHES TO A HEIGHT OF 12 INCHES ABOVE PIPE AS SHOWN ON THE PLANS.
 - PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL NOTIFY THE GOVERNMENTAL AGENCY HAVING AUTHORITY, FDOT (WITHIN STATE ROADWAYS) AND THE ENGINEER OF RECORD AT LEAST 7 DAYS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.

PAVING:

- A. GENERAL:
- ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIME ROCK BASE.
 - ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTORS EXPENSE.
 - WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT TO ENSURE A PROPER JOINT.
- B. MATERIALS:
- LIME ROCK BASE: LIME ROCK BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM 8" THICKNESS UNLESS OTHERWISE NOTED AND COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180 (LBR 100), AT THE DISCRETION OF THE OWNER OTHER SUBSTITUTES SHALL BE PER FOOT SPECIFICATIONS AND PROVIDE EQUIVALENT STRUCTURAL NUMBER AS ABOVE. LIME ROCK TO HAVE MINIMUM OF 10% CARBONATES AND LIQUID LIMIT 35 PLASTICITY AND ACCEPTABLE FDOT PRODUCT APPROVAL.
 - ASPHALTIC CONCRETE: INSTALLATION OF THE ASPHALTIC CONCRETE SURFACE COURSE SHALL HAVE A MIN. THICKNESS OF 2" UNLESS OTHER WISE NOTED AND CONFORM WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR TYPE SP-8.5 ASPHALTIC CONCRETE, AND SHALL BE CONSTRUCTED IN TWO 1" LIFTS WITH TACK COAT BETWEEN LIFTS.
 - REINFORCED CONCRETE PAVEMENTS SHALL BE A MIN. THICKNESS OF 8" AND CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 4,000 PSI UNLESS OTHERWISE NOTED.
- C. INSTALLATION:
- COMPACT STABILIZED SUB-BASE TO 98% OF MAX. DRY DENSITY PER AASHTO T-180 (MIN LBR 40).
 - BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE FDOT STANDARD SPECIFICATIONS, LATEST REVISION, FOR TYPE SP-8.5 ASPHALTIC CONCRETE.
- D. TESTING:
- THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
 - DENSITY TESTS SHALL BE TAKEN ON THE SUBGRADE AND BASE MATERIAL BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
 - ALL TESTING COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
 - DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND GOVERNMENTAL AGENCY HAVING JURISDICTION AND APPROVED BEFORE ANY BASE IS CONSTRUCTED.
 - DENSITY TESTS AND "AS-BUILTS" ON THE FINISHED BASE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND GOVERNMENTAL AGENCY HAVING JURISDICTION BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.

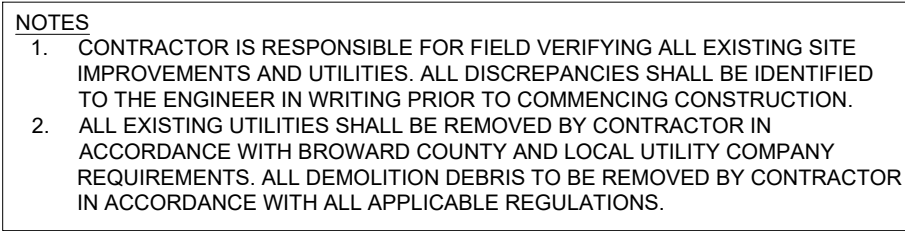
PAVEMENT MARKING & SIGNAGE:

- A. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION; THE GOVERNMENTAL AGENCY HAVING JURISDICTION STANDARDS; AND / OR THE FDOT STANDARDS AND DETAILS (WITHIN STATE ROADWAYS).
- B. THE PLANS INCLUDE A STORMWATER POLLUTION PREVENTION PLAN, SPECIFICATIONS AND DETAILS AND ARE ONLY A SUGGESTED APPROACH TO ASSIST THE CONTRACTOR IN IMPLEMENTING AN APPROPRIATE POLLUTION PREVENTION PLAN COMPLYING WITH FLORIDA'S NPDES STORMWATER PERMITTING PROGRAM FOR CONSTRUCTION ACTIVITY, AS ESTABLISHED BY FDEP. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE, PREPARE AND IMPLEMENT THE BEST MANAGEMENT PRACTICES THAT ARE APPROPRIATE FOR THE PROJECTS SITE SPECIFIC CONDITIONS DURING THE LIFE OF THE CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL CONSCIOUSLY ENSURE THAT THE PERMITTER OF THE SITE, INCLUDING CONSTRUCTION ENTRANCES, IS SECURED FROM ALLOWING DEBRIS AND SEDIMENT TO LEAVE THE SITE DUE TO CONSTRUCTION ACTIVITY OR RAINFALL EVENTS.
- B. WHEN REQUIRED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, THE CONTRACTOR SHALL OBTAIN "A NOTICE OF INTENT TO USE NPDES GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES" FOR THE PROJECT SITE. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED INSPECTIONS AND DOCUMENTATION INCLUDING MAINTAINING AND POSTING A WEEKLY LOG WHICH SHALL BE POSTED ON-SITE IN ACCORDANCE WITH THE NPDES PERMIT.
- C. BY BIDDING DOCUMENTS CONTRACTOR ACKNOWLEDGES HE/SHE IS AWARE OF NPDES GUIDELINES AND POLICIES AS WELL AS BEST MANAGEMENT PRACTICES AND ASSUMES SOLE RESPONSIBILITY FOR FINES IMPOSED BY GOVERNMENTAL AGENCIES DUE TO VIOLATIONS.

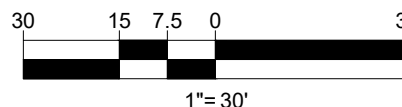
PROJECT RECORD DOCUMENTS:

- A. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
- B. UPON COMPLETION OF DRAINAGE IMPROVEMENTS AND BASE CONSTRUCTION (AND BEFORE PLACING ASPHALT PAVEMENT) THE CONTRACTOR SHALL FURNISH THE ENGINEER OF RECORD "AS-BUILT" PLANS FOR THESE IMPROVEMENTS, SHOWING THE LOCATIONS AND APPLICABLE GRADES OF ALL DRAINAGE INSTALLATIONS AND THE FINISHED ROCK GRADES OF THE ROAD CROWN OR INVERT AND EDGES OF PAVEMENT AT 50 FOOT INTERVALS, INCLUDING LOCATIONS AND ELEVATIONS OF ALL HIGH AND LOW POINTS.
- C. UPON COMPLETION OF CONSTRUCTION, AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF ALL "AS-BUILT" CONTRACT DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONS, LOCATIONS, AND ELEVATIONS OF ALL IMPROVEMENTS IN A FORMAT APPROVED BY CITY OF PORT ST. LUCIE PUBLIC UTILITIES / ENGINEERING DEPARTMENT.
- D. "AS-BUILT" INFORMATION OF GRAVITY SEWERS MUST CONTAIN LOCATION OF SERVICE LATERALS, STATIONING OF BOTH THE WYE, CLEAN-OUTS, AND THE SERVICE END MUST ALSO BE INCLUDED.
- E. "AS-BUILT" INFORMATION OF WATER DISTRIBUTION SYSTEMS MUST CONTAIN LOCATIONS OF ALL VALVES, FITTINGS, FIRE HYDRANTS, SERVICES AND APPURTENANCES. TOP OF PIPE ELEVATIONS ALONG THE WATER MAIN ARE REQUIRED AT INTERVALS OF 100 FEET (MAXIMUM).
- F. ALL "AS-BUILT" INFORMATION ON ELEVATIONS SHALL BE CERTIFIED BY A FLORIDA PROFESSIONAL SURVEYOR & MAPPER.
- G. "AS-BUILTS" OF WATER LINES SHALL INCLUDE THE FOLLOWING INFORMATION:
- TOP OF PIPE ELEVATIONS EVERY 100 FEET.
 - LOCATIONS AND ELEVATIONS OF ALL FITTINGS INCLUDING BENDS, TEES, GATE VALVES, DOUBLE DETECTOR CHECK VALVES, FIRE HYDRANTS, ETC.
 - ALL TIES TO EXISTING LINES SHALL BE "AS-BUILT".
 - THE ENDS OF ALL WATER SERVICES AT THE BUILDINGS OR HOMES SHALL BE "AS-BUILT" OR WHERE THE WATER SERVICE TERMINATES.
- H. "AS-BUILTS" OF ALL GRAVITY SANITARY SEWER LINES SHALL INCLUDE THE FOLLOWING INFORMATION:
- RIMS, INVERTS AND LENGTH OF PIPING BETWEEN STRUCTURES AS WELL AS SLOPES.
 - THE STUB ENDS OF ALL SEWER LATERALS SHALL BE LOCATED, AND IF THERE ARE ANY CLEANOUTS INSTALLED ON THE SEWER LATERALS, THEN THE INVERT ELEVATION OF THESE CLEANOUTS NEED TO BE OBTAINED.
 - LIFT STATION "AS-BUILTS" SHALL CONSIST OF:
 - TOP OF WET WELL ELEVATION
 - INVERT ELEVATION OF THE INCOMING LINE
 - C. BOTTOM OF THE WET WELL
 - "AS-BUILTS" OF THE COMPOUND AREA.
- I. FORCE MAIN "AS-BUILTS" SHALL BE PREPARED THE SAME AS THE WATER LINE "AS-BUILTS".
- J. "AS-BUILTS" OF ALL DRAINAGE LINES SHALL INCLUDE THE FOLLOWING INFORMATION:
- RIMS, INVERTS AND LENGTH OF PIPING BETWEEN STRUCTURES AND WEIR ELEVATIONS IF APPLICABLE.
 - THE SIZE OF THE PIPING SHALL BE VERIFIED BY THE SURVEY CREW AT THE TIME OF "AS-BUILT".
- K. ALL ROCK "AS-BUILTS" FOR PARKING LOT AREAS SHALL CONSIST OF THE FOLLOWING:
- ROCK ELEVATIONS AT ALL HIGH AND LOW POINTS, AND AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY.
 - ROCK "AS-BUILTS" SHALL BE TAKEN AT ALL LOCATIONS WHERE THERE IS A FINISH GRADE ELEVATION SHOWN ON THE DESIGN PLANS.
 - ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS SHALL BE SHOWN.
 - ELEVATIONS AROUND ISLAND AREAS WILL ALSO BE SHOWN.
- L. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PREP

Digitally signed by Michael
Troxell
Date: 2025.06.30 14:34:14 -04'00'



EXP
PAVE



ACREAGE

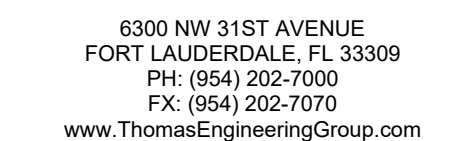
- DEMOLITION NOTES

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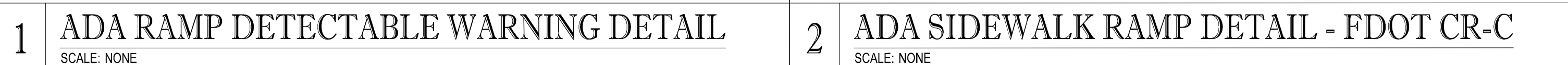
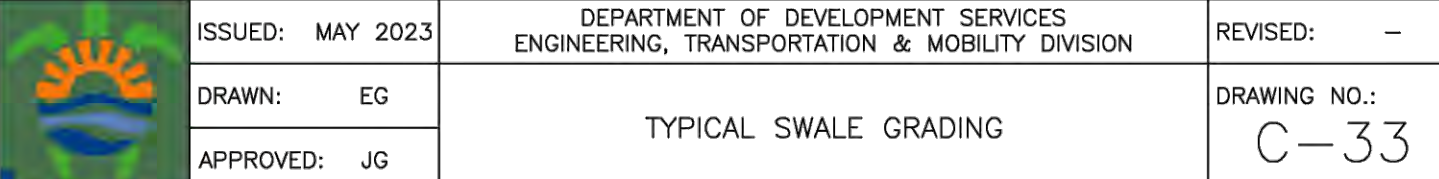
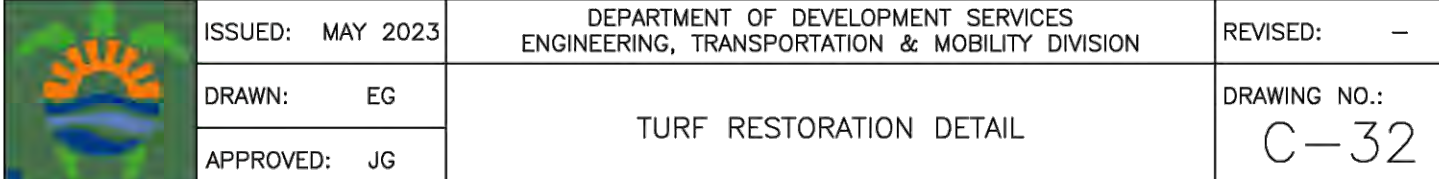
PROJECT No.:	F240042
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	05/06/2025
CAD I.D.:	F240042 DEMO PLAN

— FOR —
KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 33154



SHEET NUMBER: _____

C-3.0

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TAC SUBMITTA

PROJECT No.:	F24004
DRAWN BY:	CAI
CHECKED BY:	MA
DATE:	05/06/202
CAD I.D.:	F240042 SITE DTL

PROJECT:

HOLLYWOOD OAKS
4220 & 4231 N 58th Ave.
HOLLYWOOD, FL 3302

— FOR —
KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 3315

THOMAS
ENGINEERING GROUP

6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
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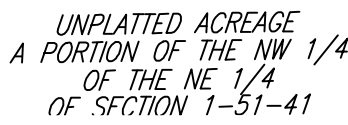
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SITE DETAILS

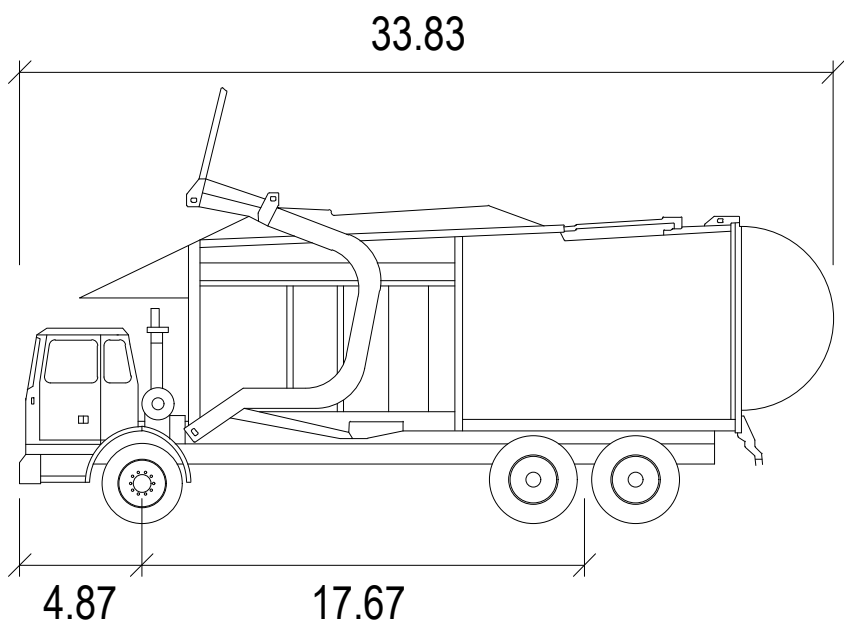
SHEET NUMBER

C-4.2

Printed on Monday, June 30, 2025, 4:39 PM by Corey Sprusansky



Digitally signed by Michael
Troxell



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Steering Angle	: 45.0

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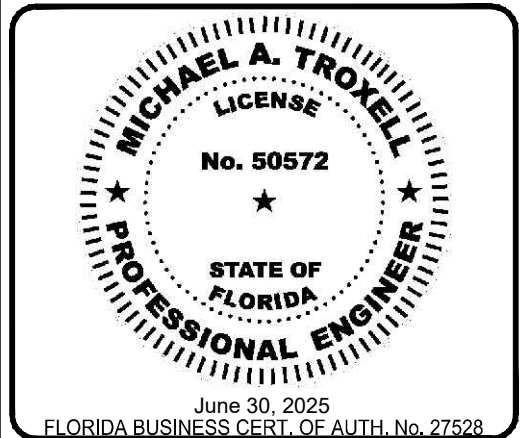
TAC SUBMITTAL

PROJECT No.: F240042
DRAWN BY: CAD
CHECKED BY: MAT
DATE: 05/06/2025
CAD I.D.: F240042 CIRCULATION PLAN

FOR
KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 33154



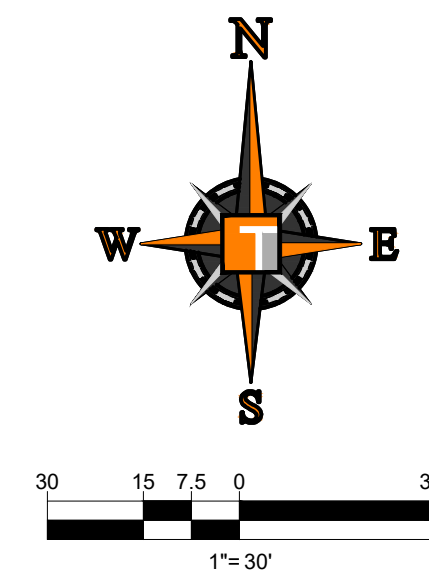
6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
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SHEET TITLE:

CIRCULATION PLAN

SHEET NUMBER:



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ENGINEERING GROUP

CIVIL ENGINEERS • PROJECT MANAGERS • LAND PLANNING • LANDSCAPE ARCHITECTS

■ 1629 W. FLETCHER AVE.
UNIT NO. 101
TAMPA, FL 33612
P: (813) 379-4100

■ 125 W. INDIANTOWN RD.
SUITE 206
JUPITER, FL 33458
P: 561-203-7503

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PROJECT No.: F24004
DRAWN BY: CA
CHECKED BY: MA
DATE: 05/06/202
CAD I.D.: F240042 CIRCULATION PLAN

PROJECT:

HOLLYWOOD OAKS
4220 & 4231 N 58th Ave.
HOLLYWOOD, FL 3302

FOR

KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 3315



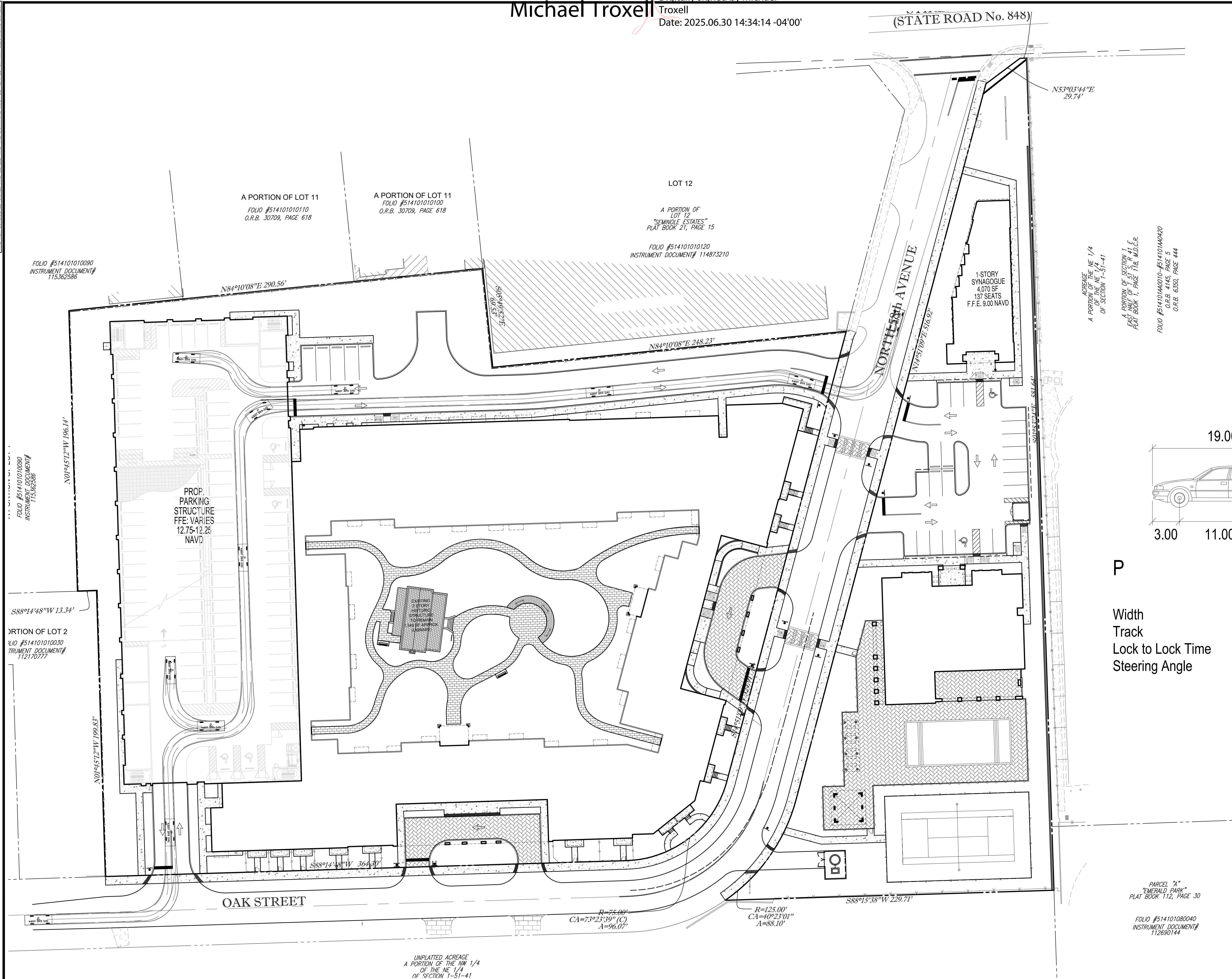
6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

A circular professional engineer seal for Michael A. Troxell. The outer ring contains the text "MICHAEL A. TROXELL" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. Inside this ring, the word "LICENSE" is at the top, "No. 50572" is in the center, and "STATE OF FLORIDA" is at the bottom, also separated by two stars. The seal has a serrated outer edge.

June 30, 2025
FLORIDA BUSINESS CERT. OF AUTH. No. 2752

CIRCULATION PLAN

SHEET NUMBER:
CIR-1.1



P

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Width	: 7.00
Track	: 6.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.6

UNPLATTED ACREAGE
A PORTION OF THE NW 1/4
OF THE NE 1/4
OF SECTION 1-51-41

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PROJECT No.: F240042
 DRAWN BY: CAD
 CHECKED BY: MAT
 DATE: 05/06/2025
 CAD I.D.: F240042 PGD DTL5

PROJECT:

HOLLYWOOD OAKS
4220 & 4231 N 58th Ave.
HOLLYWOOD, FL 33021

— FOR —

KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 33154

THOMAS
ENGINEERING GROUP

6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
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A circular professional engineer seal for Michael A. Trojel. The outer ring contains the text "MICHAEL A. TROJEL" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. Inside the ring, the word "LICENSE" is at the top, "No. 50572" is in the center, and "STATE OF FLORIDA" is at the bottom, also separated by two stars. Below the seal, the text "Commission Expires June 30, 2025" is printed. At the very bottom of the stamp area, it says "FLORIDA BUSINESS CERT. OF AUTH. NO. 27392".

SECTION A-A

NTS

SECTION B-B

NTS

SECTION C-C

NTS

SECTION D-D

NTS

SECTION E-E

SECTION F-F

NTS

SECTION G-G
NTS

SECTION H-H
NTS

SECTION I-

NTS

SECTION J-J

NTS

SECTION K-K

KEY MAP

LEGEND

- (A) WEARING SURFACE:
INSTALLATION OF THE 2" ASPHALTIC CONCRETE SURFACE COURSE WHICH SHALL CONFORM WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR TYPE SP-9.5 ASPHALTIC CONCRETE, AND SHALL BE CONSTRUCTED WITH (2) LIFTS OF 1" SP-9.5 ASPHALTIC CONCRETE WITH TACK COAT BETWEEN LIFTS.
- (B) LIME ROCK BASE:
LIME ROCK BASE COURSE MATERIAL SHALL BE A MINIMUM 8" THICKNESS AND COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180 (LBR 100).
- (C) SUB-BASE:
12" THICKNESS SUB-BASE COMPACTED TO 98% OF MAX. DRY DENSITY PER AASHTO T-180 (MIN LBR 40).
- (D) CONCRETE SIDEWALK:
4" THICK (6" AT DRIVEWAYS) 3,000 PSI CONCRETE @ 28 DAYS AND EXPANSION JOINTS ALONG STRUCTURES AND CURBING.
- (E) TYPE 'D' CURB PER FOOT STANDARD PLANS 520-001
- (F) LANDSCAPE AREA - SEE LANDSCAPE PLAN.
- (G) PAVERS - REFER TO HARDSCAPE PLANS
MIN. 2 3/8 INCH THICKNESS PLACES OVER 1 1/2 INCH SAND BASE WITH MIN. 6 INCH EDGE RESTRAINT (CONCRETE BORDER) IS REQUIRED AROUND PERIMETER OF INTERLOCKING PAVERS.

PAVEMENT NOTES:

1. THE FULL DEPTH OF ALL EXISTING ORGANIC AND DELETERIOUS MATERIAL WITHIN THE ROADWAYS, RIGHT-OF-WAYS AND UTILITY DRAINAGE EASEMENTS SHALL BE REMOVED. NO MATERIAL OF FILL CLASS A-5, A-7 OR A-8 SHALL BE ALLOWED.
2. ALL MATERIAL SUPPORTING THE ROADWAY AND SHOULDERS SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (L.B.R.) OF 40. THE SUBGRADE SHALL BE 12" COMPACT TO 98% OF MAXIMUM DRY DENSITY AS PER AASHTO T-99. THE ENGINEER AND COUNTY INSPECTOR WILL DETERMINE THE LOCATION AND NUMBER OF CORES TO BE TESTING. WHICH SHALL BE APPROXIMATELY ONE DENSITY FOR EVERY 7000 SQUARE FEET OF AREA.
3. LIMEROCK BASE SHALL BE #2 PRIMED AND SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (L.B.R.) OF 100. SHALL BE OF THE MIAMI FORMATION HAVING A MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM OF 60. UNLESS OTHERWISE APPROVED. BASE MATERIAL SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 98% OF MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180 UNDER ALL PAVED AREAS.
4. BASE COURSE CONSTRUCTION SHALL NOT BE STARTED UNTIL ALL UNDERGROUND CONSTRUCTION IN THE VICINITY HAS BEEN INSTALLED, TESTED AND ACCEPTED.
5. PRIME AND TACK COAT FOR BASE SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF SECTIONS 300.1 THROUGH 300.7 OF F.O.D.T. STANDARDS SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
6. ALL TACK COAT BETWEEN PAVING COURSES AS PER F.O.D.T. MINIMUM STANDARDS (0.05 GAL/SQYD).
7. ALL GRADES SHOWN ARE FINISH ASPHALT PAVEMENT GRADES (2ND LIFT) UNLESS OTHERWISE NOTED.
8. ALL REPAIRS TO EXISTING PAVEMENT SHALL RECEIVE SAW-CUT EDGES PRIOR TO RELAYING ASPHALT. UTILITY PIPES OR WIRING LESS THAN FOUR (4) INCHES IN DIAMETER REQUIRES A SCHEDULE 40 PVC CASING PIPE WITH SAND BACKFILLS UNDER PAVED AREAS ONLY.
9. ALL EXISTING CONTROL POINTS AND/OR REFERENCE MARKERS SHALL BE RAISED TO FINAL GRADE. THESE POINTS AND REFERENCE MARKERS SHALL BE LOCATED AND NOTED ON THE PLAN.
10. LABORATORY PROCTOR COMPACTION TEST (T-180) SHALL BE PERFORMED ON ALL MATERIAL, SUBGRADE AND BASE AND ANY SUBSEQUENT CHANGES IN MATERIALS. LIMEROCK BEARING RATIOS, L.B.R. 40 AND 100, AND L.B.R. 100 ARE REQUIRED BY THE CONTRACT DOCUMENTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD.

Michael
Troxell

Digitally signed by
Michael Troxell
Date: 2025.06.30
16:46:34 -04'00'

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TAC SUBMITTAL

PROJECT No.:	F240042
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	05/06/2025
CAD I.D.:	F240042 SECTIONS

PROJECT:

HOLLYWOOD OAKS
4220 & 4231 N 58th Ave.
HOLLYWOOD, FL 33021

KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 33154



THOMAS
ENGINEERING GROUP

6300 NW 31ST AVENUE
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SECTIONS

SHEET NUMBER:
PD-3.0

SHEET TITLE:

**DRIVEWAY
PROFILES**

SHEET NUMBER:

PD-4.0

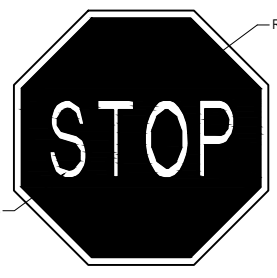
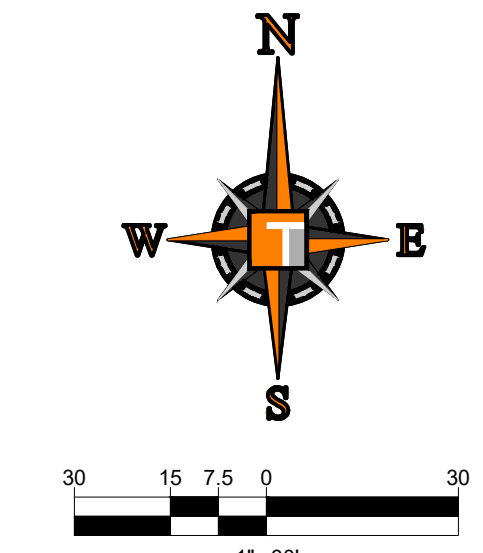
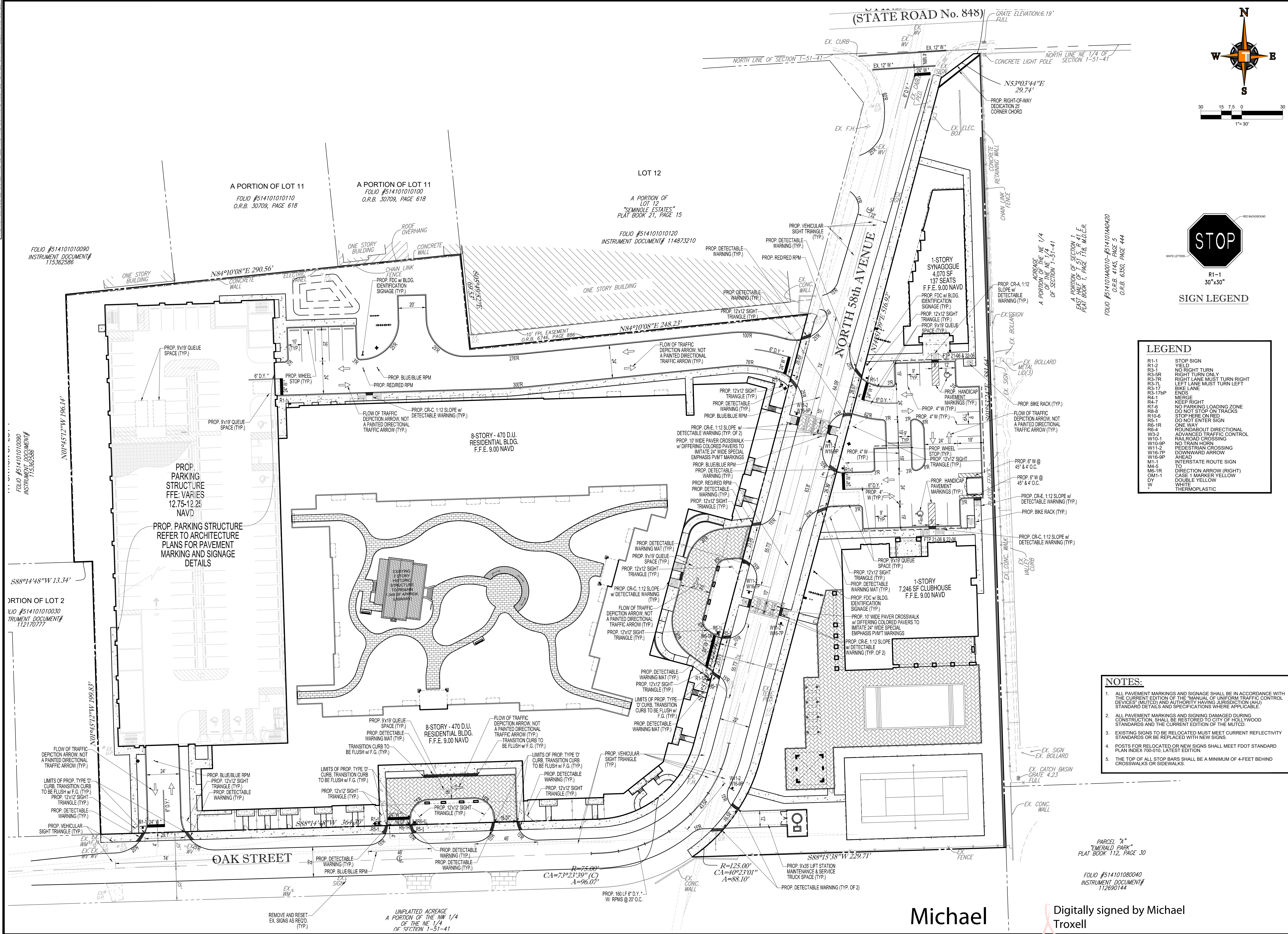
Digitally signed by
Michael Troxell
Date: 2025.06.30 16:48:39
-04'00'

MICHAEL A. TROXELL, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 25072. THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MICHAEL TROXELL, P.E. ON 6/30/2025. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE HAS BEEN REMOVED FOR REPRODUCTION PURPOSES.

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INSTRUMENT DOCUMENT# 115362586

FOLIO #514101010090
INSTRUMENT DOCUMENT# 115362586

Printed on Monday, June 30, 2025, 4:38 PM by: Corey Spradinsky
FOLIO #514101010090
INSTRUMENT DOCUMENT# 115362586



SIGN LEGEND

LEGEND	
R1-1	STOP SIGN
R1-2	YIELD
R3-1	NO RIGHT TURN
R3-2	RIGHT TURN ONLY
R3-3	RIGHT LANE MUST TURN RIGHT
R3-4	LEFT LANE MUST TURN LEFT
R3-5	BIKE LANE
R3-6	ENDS
R4-1	MERGE
R4-2	KEEP RIGHT
R4-3	NO PARKING LOADING ZONE
R4-4	DO NOT STOP ON TRACKS
R4-5	STOP HERE ON RED
R4-6	DO NOT ENTER SIGN
R5-1	ONE WAY
R5-2	ROUNDABOUT DIRECTIONAL
R5-3	ADVANCED TRAFFIC CONTROL
R5-4	RAILROAD CROSSING
R5-5	NO TRAIN HORN
R5-6	PEDESTRIAN CROSSING
R5-7	DOWNWARD ARROW
R5-8	INTERSTATE ROUTE SIGN
R5-9	TO
R5-10	DIRECTION ARROW (RIGHT)
R5-11	CASE 1 MARKER YELLOW
R5-12	DOUBLE YELLOW
R5-13	WHITE
R5-14	THERMOPLASTIC

- NOTES:**
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND AUTHORITY HAVING JURISDICTION (AHJ) STANDARD DETAILS AND SPECIFICATIONS WHERE APPLICABLE.
 - ALL PAVEMENT MARKINGS AND SIGNING DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO CITY OF HOLLYWOOD STANDARDS AND THE CURRENT EDITION OF THE MUTCD.
 - EXISTING SIGNS TO BE RELOCATED MUST MEET CURRENT REFLECTIVITY STANDARDS OR BE REPLACED WITH NEW SIGNS.
 - POSTS FOR RELOCATED OR NEW SIGNS SHALL MEET FOOT STANDARD PLAN INDEX 700-010, LATEST EDITION.
 - THE TOP OF ALL STOP BARS SHALL BE A MINIMUM OF 4-FEET BEHIND CROSSWALKS OR SIDEWALKS.

THOMAS
ENGINEERING GROUP

CIVIL ENGINEERS - PROJECT MANAGERS - LANDSCAPE ARCHITECTS

125 W. INDIANTOWN RD.
TAMPA, FL 33612
P: (813) 379-4100
P: (813) 379-4100

REVISIONS			
REV.	DATE	COMMENT	BY

Sunshine

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

TAC SUBMITTAL	
PROJECT No.:	F240042
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	05/06/2025
CAD I.D.:	F240042 PMS

PROJECT:

HOLLYWOOD OAKS
4220 & 4231 N 58th Ave.
HOLLYWOOD, FL 33021

FOR

KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 33154

THOMAS
ENGINEERING GROUP

6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

MICHAEL A. TROXELL
LICENSE
No. 25072
STATE OF FLORIDA
PROFESSIONAL ENGINEER

June 30, 2025
FLORIDA BUSINESS CERT. OF AUTH. No. 27592

SHEET TITLE:

PAVEMENT MARKING & SIGNAGE PLAN

SHEET NUMBER:

PMS-1.0

Michael Troxell

Digitally signed by Michael Troxell

Date: 2025.06.30 15:43:22 -04'00'

Michael
Troxell

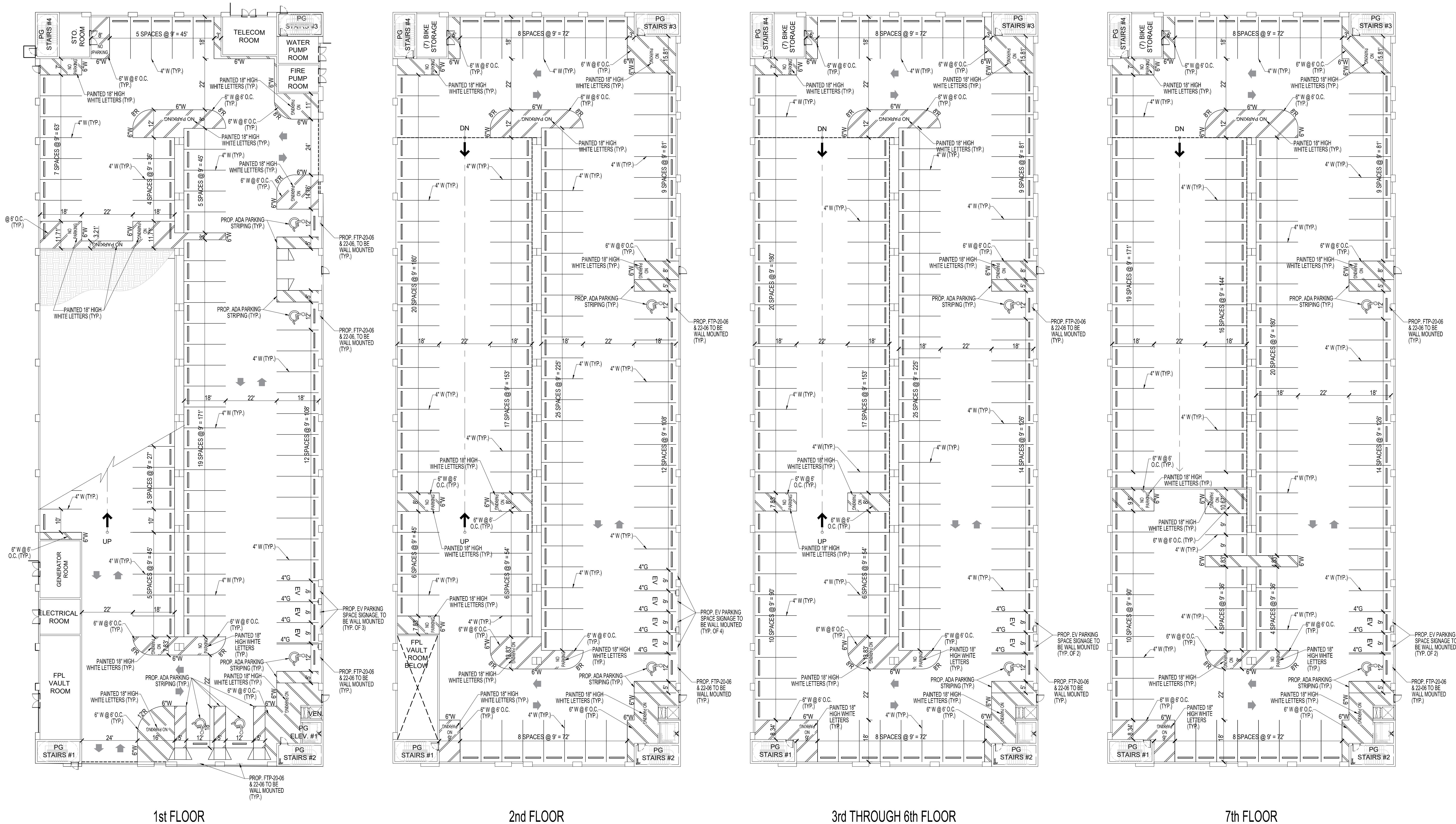
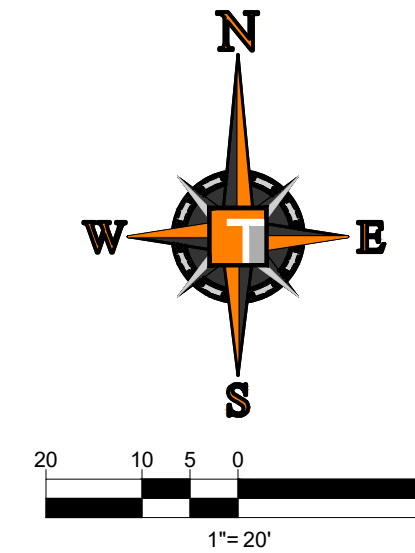
Digitally signed by Michael
Troxell
Date: 2025.06.30 15:43:22
-04'00'

PAVEMENT MARKING

G	GREEN
W	WHITE

PAVEMENT MARKINGS & SIGNAGE NOTES:

1. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LATEST CITY OF COCONINO CREEK STANDARD DETAILS AND SPECIFICATIONS.
2. ALL PROPOSED THERMOPLASTIC PAVEMENT MARKINGS SHALL BE PER FDOT AND THE CITY OF COCONINO CREEK STANDARDS AND SPECIFICATIONS.
3. ALL SIGNS TO BE MOUNTED SUCH THAT THE BOTTOM OF THE SIGN IS 7' ABOVE THE ADJACENT EDGE OF ROADWAY GRADE.
4. ALL PAVEMENT MARKINGS SHALL BE INSTALLED WITH SLIP RESISTANT PAINT.
5. ALL FDOT'S SHALL INCLUDE SIGNAGE THAT IDENTIFIES THE ASSISTANT OF THE BUILDING THEY SERVE IN ACCORDANCE WITH THE CITY OF COCONINO CREEK STANDARDS
6. EV AND HANDICAP PARKING SIGNS SHALL BE WALL MOUNTED.

[illegible]

Sunshine 811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

TAC SUBMITTAL

PROJECT No.:	F240042
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	05/06/2025
CAD I.D.:	F240042 PMS GARAGE

PROJECT:

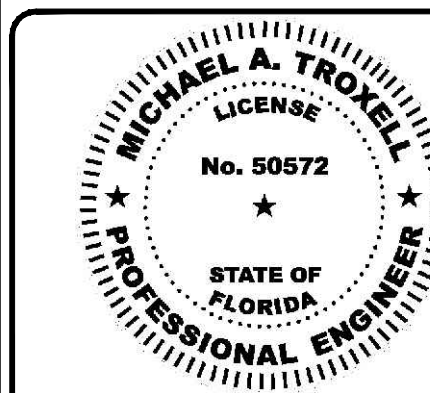
HOLLYWOOD OAKS
4220 & 4231 N 58th Ave.
HOLLYWOOD, FL 33021

— FOR —
KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 33154



6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
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www.ThomasEngineeringGroup.com



June 30, 2025
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:
**PAVEMENT MARKING
& SIGNAGE PLAN
(GARAGE)**

SHEET NUMBER

PMS-1.1

ATTACHMENT A
Application Package
Part IV

February 19, 2025

Mr. Raphael Schwartz
Senior Vice President
Development and Construction
KUSHNER
188 Bal Bay Drive
Bal Harbour, Florida 33154

Re: Hollywood Oaks by Kushner - Parking Needs Study

Dear Rafi:

Per the City's request, Traf Tech Engineering, Inc. has determined the parking needs associated with the proposed 470-unit Hollywood Oaks residential development planned to be located at 4220 & 4231 N 58th Avenue in the City of Hollywood in Broward County, Florida. As shown in the site plan contained in Attachment A, the project consists of the following mix of residential units and amenities:

470 residential units

- 80 studios
 - 132 one-bedroom units
 - 122 one-bedroom units with den
 - 52 two-bedroom units
 - 76 two-bedroom units with den
 - 8 three-bedroom units
- 470 units total (614 bedrooms)

812 parking spaces

- 785 parking spaces in the parking garage
- 27 surface parking spaces

Additionally, the project includes a clubhouse, an existing historic building and a community building (4,071 square-foot synagogue).

Parking Needs Based on City of Hollywood Code

According to the City of Hollywood Land Development Regulations, the following parking requirements apply to the Hollywood Oaks project:

Parking Requirements

- | | |
|--|----------------------------|
| ○ 470 residential units x 1.5 spaces per unit | = 705 parking spaces |
| ○ Residential guests (1/5 units) | = 94 parking spaces |
| ○ Synagogue (1/60 sf of floor area + 1/4seats) | = <u>69 parking spaces</u> |
| | = 868 parking spaces |

Parking Provided

- 812 parking spaces

It is important to note that the synagogue is for Orthodox Jews and therefore, very little to no automobile traffic is expected. Additionally, many members of the synagogue will live in the residential building located within the same complex. Hence, only residents + guests will require parking spaces, or 799 parking spaces. **Therefore, parking is expected to be adequate for this development based on City Code by recognizing the low vehicular use of the Synagogue.**

Parking Needs Based on Traffic Engineering and Planning Industry Standards

The parking needs for this development using parking rates published by the Institute of Transportation Engineers (ITE) in their *Parking Generation Manual (6th Edition)* and by the Urban Land Institute in their *Shared Parking (Third Edition)* were developed.

Based on ITE's *Parking Generation Manual (6th Edition)*, mid-rise multi-family developments (ITE's LUC 221) has the following conservative requirement¹ to determine the amount of parking spaces required for this type of residential development:

Parking Needs = 1.00 (X), where X = number of bedrooms

Using the above formula, the 614 bedrooms require 614 parking spaces. Adding the 94 parking stalls for guests + 69 parking spaces for the Synagogue (ultra conservative), the total parking needs are = 777 parking spaces. Since 812 parking stalls are proposed, **parking is projected to be adequate for the Hollywood Oaks development based on ITE.**

¹ Refer to Attachment B (used highest parking needs of 1.0 per bedroom)

Based on ULI's *Shared Parking (Third Edition)*, residential developments with a mix of bedroom sizes have the following requirements to determine the number of parking spaces:

Parking Needs	0.85 x 80 studios	= 68 parking spaces
	0.9 x 254 one-bedroom units	= 229 parking spaces
	1.65 x 128 two-bedroom units	= 212 parking spaces
	2.5 x 8 three-bedroom units	= <u>20 parking spaces</u>
		= 529 parking spaces

Using the above formula, the 470 residential units require 529 parking spaces. Adding the 94 parking stalls for guests + 69 parking spaces for the Synagogue (ultra conservative), the total parking needs are = 692 parking spaces (529 + 94 + 69). Since 812 parking stalls are proposed, **parking is projected to be adequate for the Hollywood Oaks development based on ULI.**

Shared Parking Analysis

Shared parking principles were applied to Hollywood Oaks residential development. Shared parking is defined as parking spaces that are shared between different land uses, especially when the land uses have parking peaks that occur at different times of the day. Using the percent parking distribution (shared parking principles), by time of day, as published in the Urban Land Institute's (ULI) *Shared Parking* document, the maximum number of shared parking spaces required to serve the residential use (residents and guests) were determined.

Additional parking reductions to account for internal trips, and trips occurring via non-automobile modes of transportation (e.g. multimodal trips such as transit, walking and bicycle trips) were not considered for a conservative analysis.

Table 1 presents the results of the shared parking analysis using City of Hollywood parking requirements and ULI's time of day usage for residents and guests. For the Synagogue, the following assumptions were used based on parking analysis conducted by Traf Tech Engineering, Inc.

- o Friday Evening Service (6:00 PM to 10:00 PM at 100% parking usage). All other times assumed 50% parking usage (conservative approach).
- o Saturday morning Service (9:00 AM to 1:00 PM at 100 parking usage). All other times assumed 50% parking usage (conservative approach).

As indicated in Table 1, the Hollywood Oaks residential development requires 798 parking spaces on weekdays and 787 parking stalls on weekends. **Hence, a parking surplus of 14 parking spaces will be available using very conservative assumptions based on the shared parking analysis.**

Summary

In summary, the proposed 470-unit residential development and synagogue with 812 parking spaces provide sufficient parking spaces to accommodate the peak parking demand of the Hollywood Oaks development.

Please give me a call if you have any questions.

Sincerely,

TRAF TECH ENGINEERING, INC.

Joaquin E. Vargas, P.E.
Senior Transportation Engineer

TABLE 1 Hollywood Oaks (Weekday) Shared Parking Analysis (Using CityParking Requirements and ULI Shared Parking by Time of Day)									
Hour of Day	Spaces = 705		Spaces = 94		Spaces = 69		Spaces = 0		868
	Residential (Residents)	Utilization	Residential (Guests)	Utilization	Synagogue (Attendee)	Utilization	Synagogue (Other)	Utilization	Total
6:00 AM	95%	670	0%	0	50%	35	0%	0	704
7:00 AM	85%	599	10%	9	50%	35	0%	0	643
8:00 AM	75%	529	20%	19	50%	35	0%	0	582
9:00 AM	65%	458	20%	19	50%	35	0%	0	512
10:00 AM	60%	423	20%	19	50%	35	0%	0	476
11:00 AM	55%	388	20%	19	50%	35	0%	0	441
12:00 PM	50%	353	20%	19	50%	35	0%	0	406
1:00 PM	50%	353	20%	19	50%	35	0%	0	406
2:00 PM	50%	353	20%	19	50%	35	0%	0	406
3:00 PM	55%	388	20%	19	50%	35	0%	0	441
4:00 PM	60%	423	20%	19	50%	35	0%	0	476
5:00 PM	65%	458	40%	38	50%	35	0%	0	530
6:00 PM	70%	494	60%	56	100%	69	0%	0	619
7:00 PM	75%	529	100%	94	100%	69	0%	0	692
8:00 PM	80%	564	100%	94	100%	69	0%	0	727
9:00 PM	85%	599	100%	94	100%	69	0%	0	762
10:00 PM	95%	670	100%	94	50%	35	0%	0	798
11:00 PM	97%	684	80%	75	50%	35	0%	0	794
12:00 AM	100%	705	50%	47	50%	35	0%	0	787

Source: City of Hollywood and Urban Land Institute (ULI) Shared Parking (Third Edition)

				Max Parking =	798
				Available Parking =	812
				Surplus Parking =	14
Land Use	Size	Pkg Rate	Total Parking Spaces		
Residential	470 units		799 Spaces		
- Tenant	470 units	1.50 /unit	705 Spaces		
- Guest	470 units	1.00 /5 units	94 Spaces		
Synagogue			69 Spaces		
Total			868.00 Spaces		

TABLE 2 Hollywood Oaks (Saturday) Shared Parking Analysis (Using CityParking Requirements and ULI Shared Parking by Time of Day)									
Hour of Day	Spaces = 705		Spaces = 94		Spaces = 69		Spaces = 0		868
	Residential (Residents)	Utilization	Residential (Guests)	Utilization	Synagogue (Attendee)	Utilization	Synagogue (Other)	Utilization	Total
6:00 AM	90%	635	0%	0	50%	35	0%	0	669
7:00 AM	85%	599	20%	19	50%	35	0%	0	653
8:00 AM	80%	564	20%	19	50%	35	0%	0	617
9:00 AM	75%	529	20%	19	100%	69	0%	0	617
10:00 AM	70%	494	20%	19	100%	69	0%	0	581
11:00 AM	69%	486	20%	19	100%	69	0%	0	574
12:00 PM	68%	479	20%	19	100%	69	0%	0	567
1:00 PM	67%	472	20%	19	50%	35	0%	0	526
2:00 PM	66%	465	20%	19	50%	35	0%	0	519
3:00 PM	55%	388	20%	19	50%	35	0%	0	441
4:00 PM	60%	423	20%	19	50%	35	0%	0	476
5:00 PM	55%	388	40%	38	50%	35	0%	0	460
6:00 PM	50%	353	60%	56	50%	35	0%	0	443
7:00 PM	55%	388	100%	94	50%	35	0%	0	516
8:00 PM	65%	458	100%	94	50%	35	0%	0	587
9:00 PM	75%	529	100%	94	50%	35	0%	0	657
10:00 PM	85%	599	100%	94	50%	35	0%	0	728
11:00 PM	90%	635	80%	75	50%	35	0%	0	744
12:00 AM	100%	705	50%	47	50%	35	0%	0	787

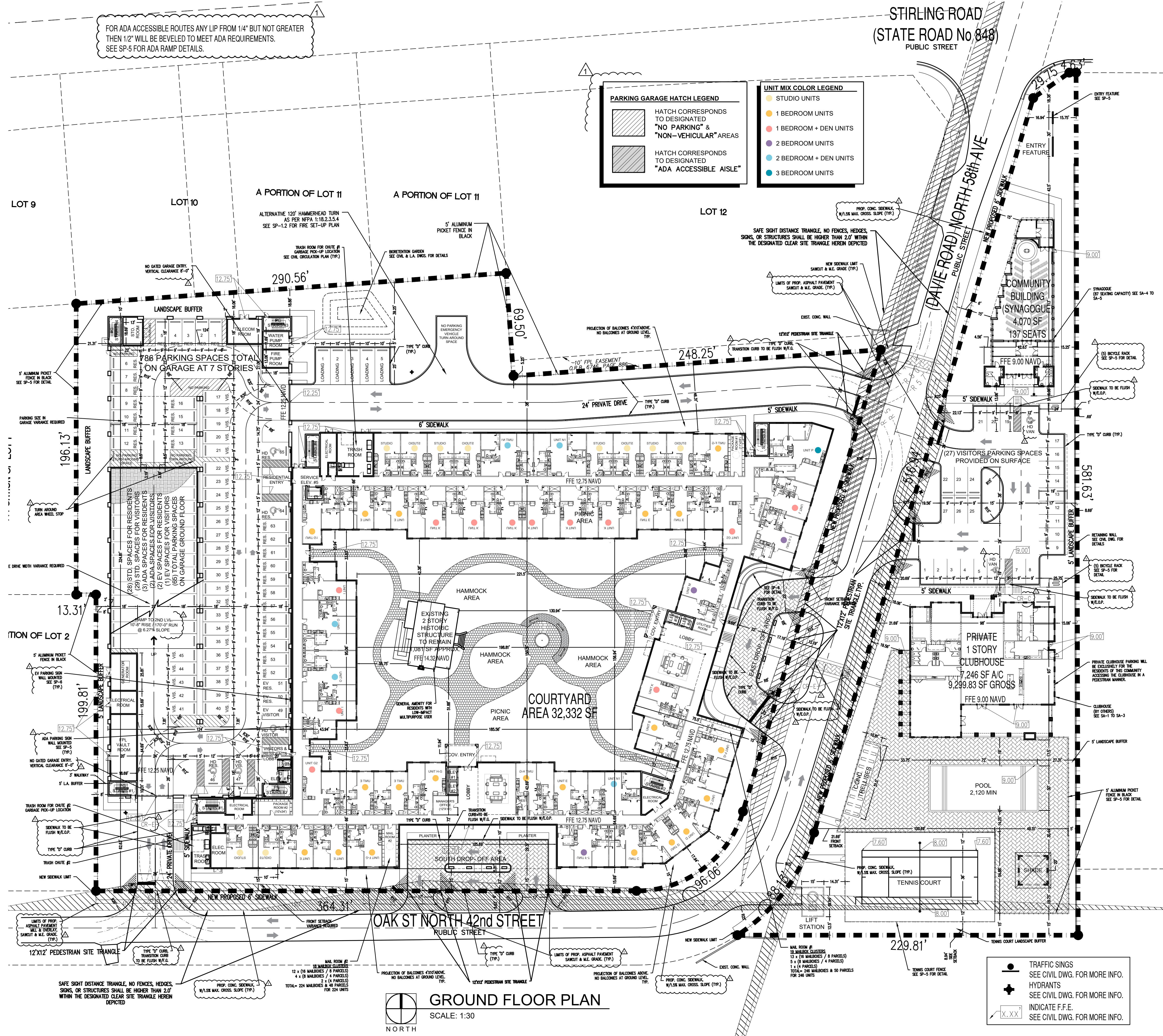
Source: City of Hollywood and Urban Land Institute (ULI) Shared Parking (Third Edition)

				Max Parking =	787
				Available Parking =	812
				Surplus Parking =	26
Land Use	Size	Pkg Rate	Total Parking Spaces		
Residential	470 units		799 Spaces		
- Tenant	470 units	1.50 /unit	705 Spaces		
- Guest	470 units	1.00 /5 units	94 Spaces		
Synagogue			69 Spaces		
Total			868.00 Spaces		

ATTACHMENT A

**Site Plan for
Hollywood Oaks - By Kushner**

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FOR FIRE SET-UP PLAN SEE FP-1
FOR LIFE SAFETY PLAN SEE LS-1 TO LS-5
FOR PERVIOUS/ IMPERVIOUS DIAGRAM SEE SP-1.2
FOR SITE PLAN NOTES SEE SP-2
FOR UNIT BREAKDOWN TABLE SEE SP-3
FOR SITE PLAN DETAILS SEE SP-5 & SP-6

SITE DATA		
ZONING: PDD - PLANNED DEVELOPMENT DISTRICT		
GROSS AREA	SF	ACRES
249,853.00	5.74	
NET AREA	249,853.00	5.74
DENSITY PROVIDED		
# OF UNITS	DUA (GROSS)	
470	81.94	
MINIMUM UNIT SIZE		
650 SF REQUIRED	540 SF PROVIDED	
UNIT BREAKDOWN		
STUDIO	80	
1 BEDROOM	132	
1 BEDROOM + DEN	122	
2 BEDROOM	52	
2 BEDROOM + DEN	76	
3-BEDROOM	8	
TOTAL UNITS PROVIDED	470	
PARKING BREAKDOWN		
RESIDENTIAL PARKING 1.5 PER UNIT (470 UNITS)	705	718
SYNAGOGUE - PLACE OF WORSHIP (1 PER 80 SF OF FLOOR AREA AVAILABLE FOR SEATING AND 1 PER 4 FIXED SEATS)	69	0
TOTAL	868	812
TOTAL MISSING SPACES	56	
SPACES PROVIDED ON GARAGE		
SPACES PROVIDED ON SURFACE	27	
HANDICAP SPACES (2%)	17	19
HANDICAP VAN SPACES	2	
E.V.S.E. SPACES (2%)	17	17
LOADING ZONES	5	5
BICYCLE RACK (5% OF PARKING SPACES)	41	52
AREA CALCULATIONS		
RESIDENTIAL BLDG. FOOTPRINT	56,838.89	%
GARAGE BLDG. FOOTPRINT	39,734.86	
CLUBHOUSE FOOTPRINT	9,299.83	
COMMUNITY BLDG. (SYNAGOGUE)	4,070.51	
EXISTING HISTORIC BLDG FOOTPRINT	1,081.00	
TOTAL BUILDING FOOTPRINTS	111,025.09	44.44%
STREETS & PAVED AREAS	29,607.75	11.85%
PEDESTRIAN SIDEWALKS	15,804.23	6.33%
COURTYARD	32,332.58	12.94%
POOL & POOL DECK	13,120.44	5.25%
TENNIS COURT	6,037.25	2.42%
LIFT STATION	299.02	0.12%
UNENCUMBERED GREEN OPEN SPACE	41,626.64	16.68%
TOTAL	249,853.00	100.00%
LOT COVERAGE		
MAX LOT COVERAGE SF	BY CITY COMMISSION	111,025.09
MAX LOT COVERAGE %	BY CITY COMMISSION	44.4%
OPEN SPACE		
(LANDSCAPED OPEN SPACE AT GRADE / COURTYARD / POOL DECK & TENNIS COURT)	ALLOWED/ REQUIRED	PROVIDED
MINIMUM OPEN SPACE SF	BY CITY COMMISSION	93,116.91 SF
MINIMUM OPEN SPACE %	BY CITY COMMISSION	37.3%
PERVIOUS / IMPERVIOUS AREA		
PERVIOUS AREA SF	ALLOWED/ REQUIRED	PROVIDED
PERVIOUS AREA %	BY CITY COMMISSION	67,469.15
IMPERVIOUS AREA SF	BY CITY COMMISSION	27.00%
IMPERVIOUS AREA %	BY CITY COMMISSION	182,383.85
IMPERVIOUS AREA %	BY CITY COMMISSION	73.00%
SETBACKS		
INTERNAL STREETS	ALLOWED/ REQUIRED	PROVIDED
EXTERNAL STREETS	25'-0"	15'-0"
MIN. DISTANCE BETWEEN BLDGS	NOT REQUIRED	N/A
MAX BUILDING HEIGHT	ALLOWED	PROVIDED
RESIDENTIAL BLDG (TOP OF ROOF SLAB)	NOT REQUIRED	84'-10"
CLUBHOUSE (TOP OF PARAPET)	NOT REQUIRED	26'-8"
COMMUNITY BLDG SYNAGOGUE (TOP OF PARAPET)	NOT REQUIRED	24'-0"
EXISTING HISTORIC STRUCTURE (TOP OF ROOF SLAB)	EXISTING	EXISTING
SAFE SIGHT DISTANCE TRIANGLE DIAGRAMS		
NOTE: THE MAXIMUM FOOT - CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL)		

PASQUAL PEREZ KILIDDJIAN STARR

ARCHITECTS + PLANNERS

LICENSE # AA 26001357

EDGARDO PEREZ, AIA

LICENSE NO.: AR 0015394

MARIO P. PASQUAL, AIA

LICENSE NO.: AR 0008254

PETER KILIDDJIAN, RA

LICENSE NO.: AR 0093067

ANDREW STARR, RA

LICENSE NO.: AR 0095130

AT THE BEACON CENTER

1330 NW 84th AVENUE

DORAL, FLORIDA 33126

PHONE: (305) 592-1363

FACSIMILE: (305) 592-6865

http://www.ppkarch.com

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REVISIONS:

1 TAC - REV. 1 - 2024.01.20

OWNER:

KUSHNER

188 BAL BAY DRIVE

BAL HARBOUR, FL 33154

HOLLYWOOD OAKS

BY KUSHNER

4220 & 4231 N 58TH AVE.

HOLLYWOOD, FLORIDA

SEAL:

SITE PLAN

GROUND FLOOR

DATE: 2024-01-20

SCALE: AS SHOWN

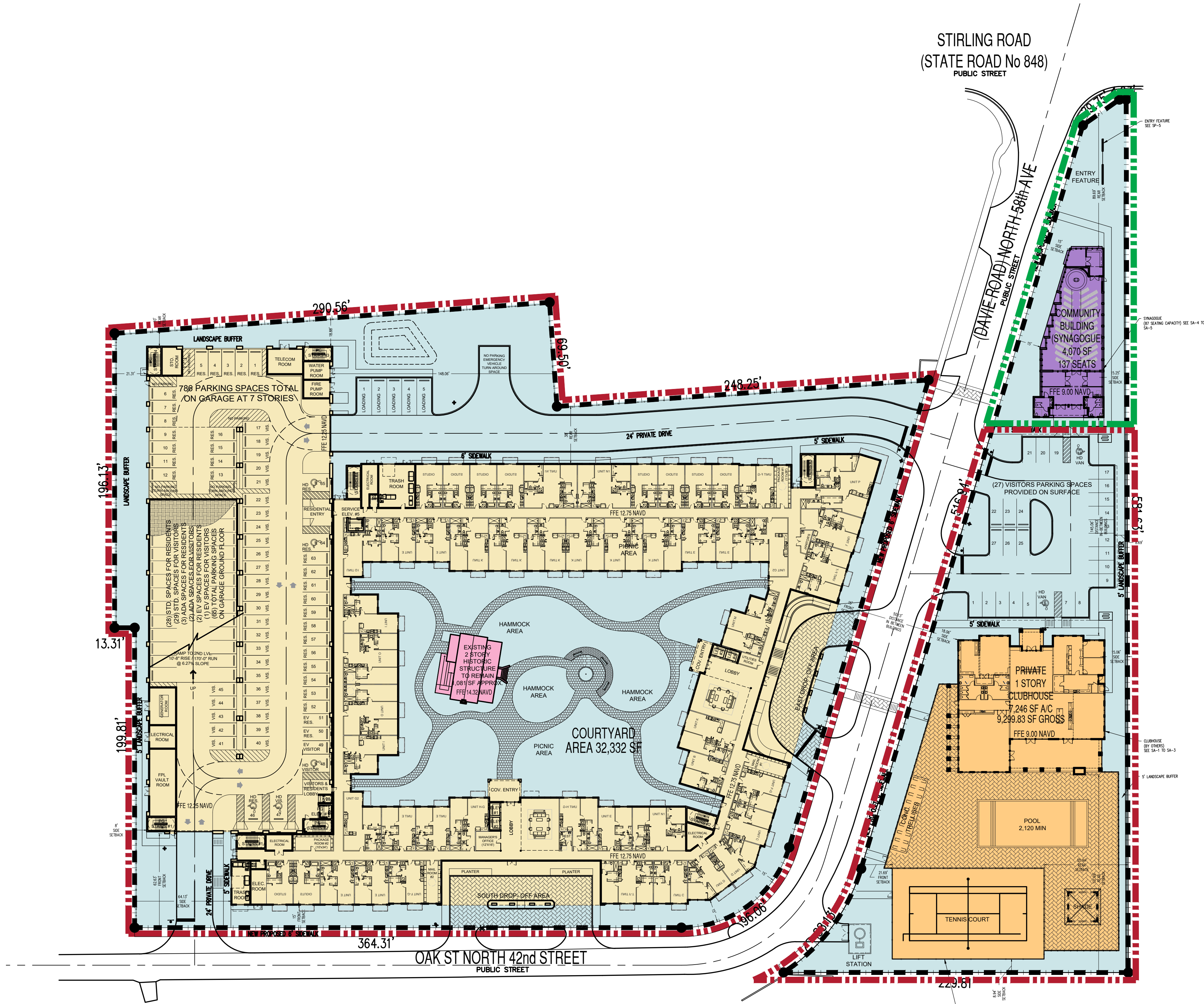
DRAWN: SJ

CHECK BY: MP / PK

JOB NO.: 24-26

SP-1.1

SHEET NO.:



MASTER SITE PLAN

SCALE: 1:40

PHASING PLAN LEGEND

- PHASE 1
- PHASE 2

NOTE: PHASING DOESN'T REPRESENT CONSTRUCTION SEQUENCE.

LAND USE PLAN LEGEND

- OPEN SPACE
- RESIDENTIAL USE
- RESIDENTIAL USE RECREATIONAL AREA
- COMMUNITY FACILITY
- HISTORY STRUCTURE

PERMITTED USES:

AS PER SEC. 4.15 PD PLANNED DEVELOPMENT DISTRICT (D.)

- ALL RESIDENTIAL USES PERMITTED BY THE CITY OF HOLLYWOOD COMPREHENSIVE PLAN.
- BUSINESS USES LOCATED IN A PLANNED DEVELOPMENT WHICH IS INTENDED TO BE PREDOMINANTLY RESIDENTIAL OR INTENDED TO MEET THE NEIGHBORHOOD SHOPPING AND SERVICE NEEDS OF THE PLANNED DEVELOPMENT AND NOT THE GENERAL NEEDS OF THE SURROUNDING AREA.
- BUSINESS USES IN A PLANNED DEVELOPMENT WHICH IS INTENDED TO BE PREDOMINANTLY COMMERCIAL, OFFICE OR RESORT TO INCLUDE ALL COMMERCIAL USES CONSISTENT WITH MEDIUM HIGH-HIGH RESIDENTIAL, GENERAL BUSINESS AND OFFICE CATEGORIES OF THE CITY OF HOLLYWOOD COMPREHENSIVE PLAN.
- RESORT USES IN A PLANNED DEVELOPMENT MAY INCLUDE ENTERTAINMENT AND RECREATIONAL USES PERMITTED IN THE CENTRAL BEACH AND RECREATIONAL DISTRICTS AS WELL AS THOSE USES PERMITTED BY THE CITY OF HOLLYWOOD COMPREHENSIVE PLAN.
- USES AND STRUCTURES WHICH ARE CUSTOMARILY ACCESSORY AND CLEARLY INCIDENTAL TO PRINCIPAL USES AND STRUCTURES MAY BE PERMITTED.

PROHIBITED USES:

- ANY USE NOT DESCRIBED IN SEC. 4.15 PD PLANNED DEVELOPMENT DISTRICT OF THE CITY OF HOLLYWOOD PLAN DEVELOPMENT CODE.

DESIGN REGULATIONS:

AS PER SEC. 4.15 PD PLANNED DEVELOPMENT DISTRICT (E.)

- MINIMUM SIZE OF PLANNED DEVELOPMENT:**
REQUIRED = 10.0 ACRES OF LAND UNDER UNIFIED CONTROL; EXCEPT WITHIN THE DOWNTOWN DISTRICT OF THE COMMUNITY REDEVELOPMENT AGENCY WHERE PLANNED DEVELOPMENTS SHALL CONTAIN A MINIMUM OF TWO ACRES OF LAND UNDER UNIFIED CONTROL. THIS MINIMUM MAY BE WAIVED BY THE CITY COMMISSION UPON THE RECOMMENDATION OF THE PLANNING AND DEVELOPMENT BOARD.
PROVIDED = 5.74 ACRES
- MAXIMUM DENSITY:**
THE TOTAL NUMBER OF DWELLING UNITS PERMITTED IN A PLANNED DEVELOPMENT SHALL NOT EXCEED THE TOTAL NUMBER OF UNITS PERMITTED BY THE CITY OF HOLLYWOOD COMPREHENSIVE PLAN.
PROVIDED = 470 UNITS (81.94 DUA)
- MINIMUM LOT SIZE**
- NO MIN. LOT SIZE SHALL BE REQUIRED WITHIN A PLANNED DEVELOPMENT.**
- DISTANCE BETWEEN STRUCTURES:**
NO MINIMUM DISTANCE REQUIRED, EXCEPT AS REQUIRED BY THE FLORIDA BUILDING CODE.
PROVIDED = NOT APPLICABLE
- SETBACKS**
INTERNAL STREETS = 25' REQUIRED
= 15' PROVIDED (VARIANCE REQUESTED)
EXTERNAL STREETS = 25' REQUIRED
= 15' PROVIDED (VARIANCE REQUESTED)
OTHER SETBACKS PROVIDED:
MIN. SETBACK FROM PARKING GARAGE TO PL. = 8'
MIN. SETBACK FROM SURFACE PARKING TO PL. = 8.69'
MIN. SETBACK FROM TENNIS COURT TO PL. = 8.84'
- MAXIMUM HEIGHT OF STRUCTURES:**
NO MAXIMUM HEIGHT OF STRUCTURES REQUIRED
PROVIDED = 8 STORIES RESIDENTIAL BUILDING AT 84'-10" TO TOP OF ROOF SLAB = CLUBHOUSE (1 STORY) AT 24'-6" = SYNAGOGUE (1 STORY) AT 24'-0"
- TOTAL SITE COVERAGE:**
BY CITY COMMISSION UPON RECOMMENDATION OF THE PLANNING AND DEVELOPMENT BOARD.
PROVIDED = 111,025.09 SF (44.4%)
- LANDSCAPING**
SHALL MEET THE REQUIREMENTS OF ARTICLE 9 OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS UNLESS EXPRESSLY MODIFIED BY THE CITY COMMISSION.
SEE LANDSCAPE PLANS.
- UNDERGROUND UTILITIES**
ALL UTILITIES INCLUDING TELEPHONE, TELEVISION CABLE AND ELECTRICAL SYSTEMS SHALL BE INSTALLED UNDERGROUND.
- PERMITTED ABOVE GROUND UTILITIES SHALL BE SCREEN WITH ADEQUATE LANDSCAPING WITH SHRUBS AND PLANTS.**
- INTERNAL CIRCULATION:**
A PLANNED DEVELOPMENT SHALL PROVIDE AN INTERNAL CIRCULATION SYSTEM FOR USE BY BOTH MOTORIZED AND NON-MOTORIZED TRANSPORTATION MODES THAT IS ORDERLY.
SEE SHEETS MSP-2 & MSP-3 FOR VEHICULAR AND PEDESTRIAN CIRCULATION PLANS.

PARKING AND LOADING REQUIREMENTS:

OFF-STREET PARKING AND LOADING REQUIREMENTS- OFF-STREET PARKING AND LOADING REQUIREMENTS SHALL MEET ALL THE REQUIREMENTS OF ARTICLE 7 OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS UNLESS EXPRESSLY MODIFIED BY THE CITY COMMISSION.

PARKING BREAKDOWN	ALLOWED/REQUIRED (AS PER CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS)	PROVIDED (AS REQUESTED)
RESIDENTIAL PARKING (1.5 PER UNIT (470 UNITS))	705	718
GUEST PARKING (1 PER UNIT)	94	94
SYNAGOGUE - PLACE OF WORSHIP (1 PER 60 SF OF FLOOR AREA AVAILABLE FOR SEATING AND 1 PER 4,000 SEATS)	69	0
TOTAL	868	812
TOTAL MISSING SPACES	56	
SPACES PROVIDED ON GARAGE	785	
SPACES PROVIDED ON SURFACE	27	
HANDICAP SPACES (2%)	17	19
HANDICAP VAN SPACES	2	
E.V.S.E. SPACES (2%)	17	17
LOADING ZONES	5	5
BICYCLE RACK (5% OF PARKING SPACES)	41	52

**PASCUAL
PEREZ
KILIDDJIAN
STARR**

ARCHITECTS + PLANNERS

LICENSE # AA 26001357

EDGARDO PEREZ, AIA

LICENSE NO.: AR 0015394

MARIO P. PASQUAL, AIA

LICENSE NO.: AR 0008254

PETER KILIDDJIAN, RA

LICENSE NO.: AR 0093067

ANDREW STARR, RA

LICENSE NO.: AR 0095130

AT THE BEACON CENTER

1330 NW 84th AVENUE

DORAL, FLORIDA 33126

TELEPHONE: (305) 592-1363

FACSIMILE: (305) 592-6865

http://www.ppkarch.com

EDGARDO PEREZ, PASCUAL, KILIDDJIAN, STARR, ARCHITECTS - PLANNERS

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REVISIONS:

1 TAC - REV. 1 - 2024.01.20

OWNER:
KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 33154

HOLLYWOOD OAKS
BY KUSHNER
4220 & 4231 N 58TH AVE.
HOLLYWOOD, FLORIDA

SEAL:

MASTER SITE PLAN

PLAN DEVELOPMENT

DATE: 2024-01-20

SCALE: AS SHOWN

DRAWN: SJ

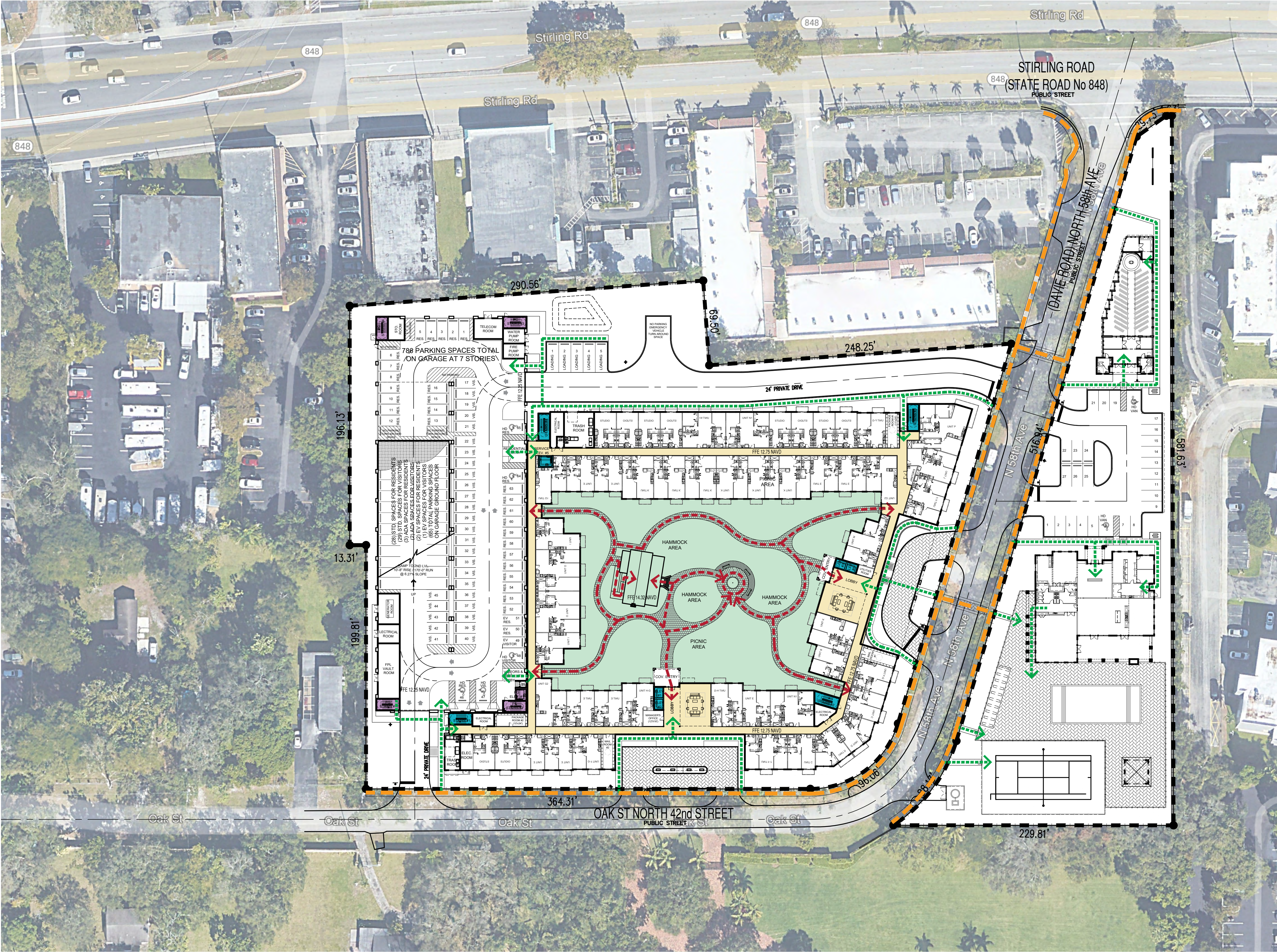
CHECK BY: MP / PK

JOB NO.: 24-26

MSP-1

SHEET NO.:

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PEDESTRIAN CIRCULATION LEGEND

- COURTYARD
PEDESTRIAN CONNECTIVITY
- INTERIOR PROPERTY
PEDESTRIAN CIRCULATION
- PUBLIC
PEDESTRIAN CIRCULATION
- PRIVATE
COURTYARD AREA
- EGRESS STAIRS AND/OR ELEVATOR
FOR RESIDENTIAL BUILDING
- EGRESS STAIRS AND/OR ELEVATOR
FOR PARKING GARAGE
- GROUND LEVEL RESIDENTIAL BUILDING
PEDESTRIAN CIRCULATION



PEDESTRIAN CIRCULATION

SCALE: 1:40

PASCUAL
PEREZ
KILIDDJIAN
STARR

ARCHITECTS + PLANNERS

LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE NO.: AR 0015394
MARIO P. PASQUAL, AIA
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http://www.ppkarch.com

EDGARDO PEREZ, AIA, PETER KILIDDJIAN, RA, ANDREW STARR, RA, ARCHITECTS - PLANNERS
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REVISIONS:

1 TAC - REV. 1 - 2024-01-20

OWNER:
KUSHNER
188 BAY DRIVE
BAL HARBOUR, FL 33154

HOLLYWOOD OAKS
BY KUSHNER
4220 & 4231 N 58TH AVE.
HOLLYWOOD, FLORIDA

SEAL:

MASTER SITE PLAN

PEDESTRIAN CIRCULATION

DATE: 2024-01-20
SCALE: AS SHOWN
DRAWN: SJ
CHECK BY: MP / PK
JOB NO.: 24-26

MSP-3

SHEET NO.:

ATTACHMENT B

ITE Parking Generation



A Community of Transportation Professionals

Institute of Transportation Engineers



Parking Generation Manual

6th Edition

October 2023

Multifamily Housing - 2+ BR (Mid-Rise) Not Close to Rail Transit (221)

Peak Period Parking Demand vs: Bedrooms

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban

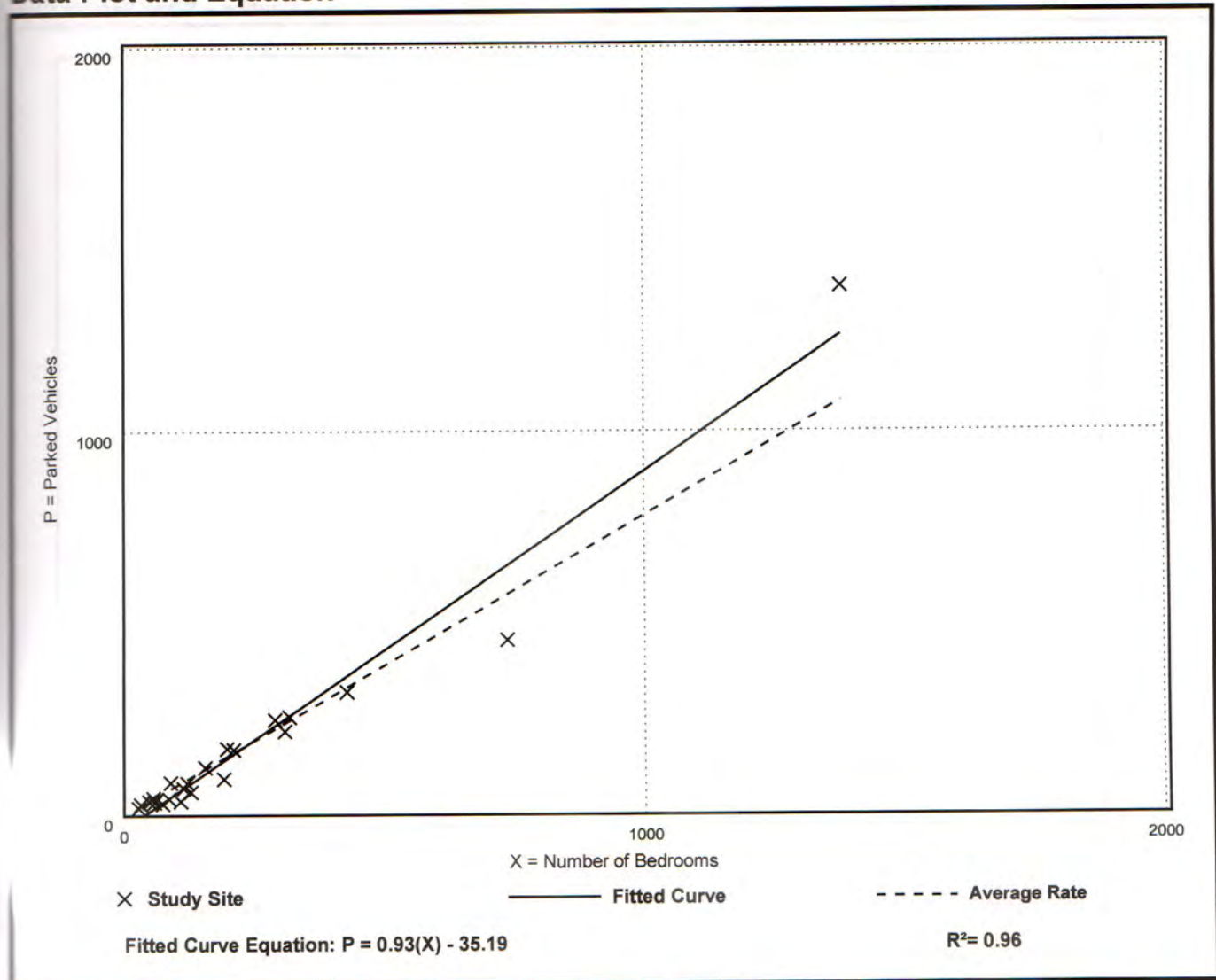
Number of Studies: 23

Avg. Num. of Bedrooms: 226

Peak Period Parking Demand per Bedroom

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.78	0.34 - 1.00	0.62 / 0.88	0.71 - 0.85	0.18 (23%)

Data Plot and Equation



ATTACHMENT C

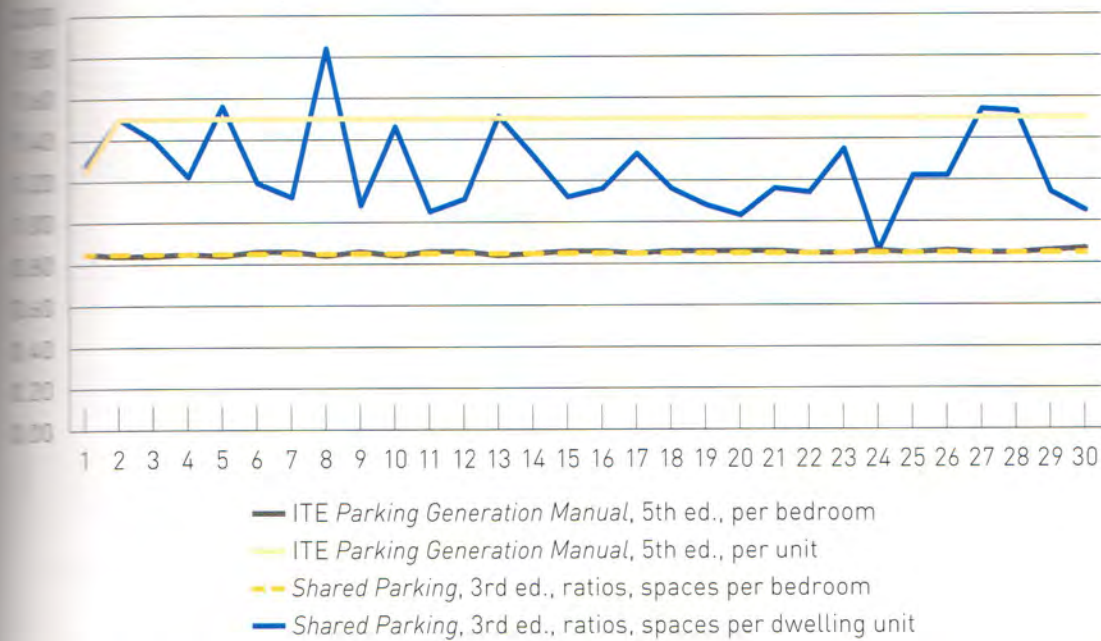
ULI Parking Rates

SHARED PARKING

THIRD EDITION



FIGURE 4-21 Comparison of Ratios per Bedroom versus Spaces per Unit



ended to capture the typical mix of units in residential components of shared parking projects today. The ratios were calibrated to result in an overall 0.85 spaces per total bedrooms (dotted yellow line in figure 4-21) across the 30 projects.

The average number of bedrooms per unit was 1.43 for these 30 projects. The recommended ratios for resident parking with an example calculation are as seen in figure 4-22.

The distribution of bedrooms in figure 4-22 is rounded from that for the 30 projects.

The recommended ratios for this edition are based on data collected overnight when there is little or no visitor parking. They are presumed to be the resident ratios; 0.10 spaces per unit on weekdays and 0.15 spaces per unit on weekends are added for visitor parking. The visitor components are the same as in the second edition, and were based on information provided by the team and residential developers.

Overall therefore for the example project, a total of 1.39 spaces per unit would be recommended.

The exercise also clearly demonstrates that the projection for an individual project will be more

FIGURE 4-22 Residential Parking Ratios

Type of unit	Base ratio	Example calculation	
		Number of units	Parking demand
Studio	0.85	10	9
1 bedroom	0.9	50	45
2 bedroom	1.65	35	58
3 or more bedrooms	2.5	5	13
Resident spaces	1.25	100	125
Visitors	0.15	100	15
Total spaces	1.40	100	140

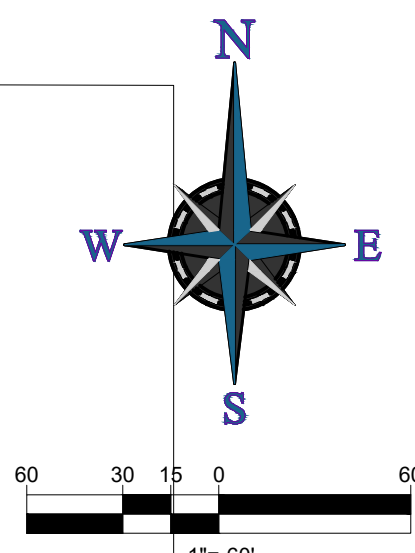
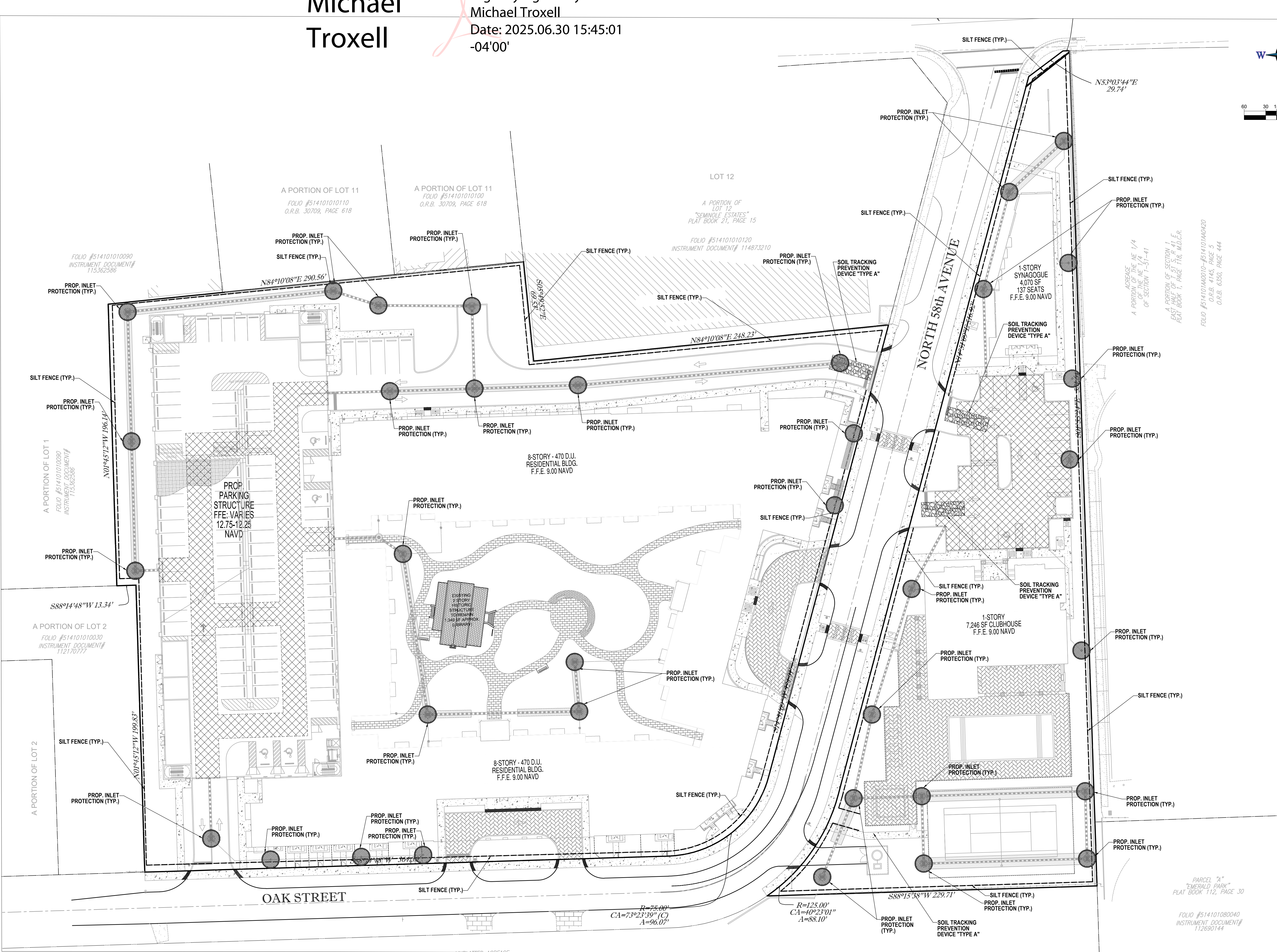
SHEET TITLE
**PAVEMENT
 MARKING &
 SIGNAGE PLAN
 DETAILS**
 SHEET NUMBER:
PMS-2.0

MICHAEL A. TROXELL, STATE OF FLORIDA - PROFESSIONAL ENGINEER LICENSE NO. 50572. THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MICHAEL A. TROXELL, P.E. ON 6/30/2025. PRINTED COPY OF THIS DOCUMENT AND THE COVER SHEET AND SIGNED AND SEALED AND THE SIGNATURE SHALL BE REQUIRED FOR ANY SUBSEQUENT CORRECTIONS.

Printed on Monday, June 30, 2025, 12:54 PM by Corey Spradinsky
P:\2025\250012 SWPP\250012 SWPP.dwg - PLT 250012 - SWPP2

Michael
Troxell

Digitally signed by
Michael Troxell
Date: 2025.06.30 15:45:01
-04'00'



THOMAS
ENGINEERING GROUP

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

11602 W. FLETCHER AVE.
SUITE 200
TAMPA, FL 33612
P: (813) 379-4100
F: (813) 379-4101

1125 W. INDIANTOWN RD.
SUITE 100
JUPITER, FL 33458
P: (561) 263-7503
F: (561) 263-7504

THE INFORMATION, DESIGN AND CONSTRUCTION OF THIS PLAN ARE PREPARED AND SHALL BE USED FOR THE PURPOSES INTENDED HEREIN. ANY OTHER USE OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF THOMAS ENGINEERING GROUP, LLC, IS PROHIBITED. SIGNED AND SEALED PLANS SHALL BE USED FOR CONSTRUCTION.

REVISIONS			
REV.	DATE	COMMENT	BY

Sunshine 811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

TAC SUBMITTAL

PROJECT No.: F240042
DRAWN BY: CAD
CHECKED BY: MAT
DATE: 05/06/2025
CAD I.D.: F240042 SWPP

PROJECT:

HOLLYWOOD OAKS
4220 & 4231 N 58th Ave.
HOLLYWOOD, FL 33021

FOR

KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 33154

THOMAS
ENGINEERING GROUP

6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

MICHAEL A. TROXELL
LICENSE
No. 50572
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

June 30, 2025
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

**STORMWATER
POLLUTION
PREVENTION PLAN**

SHEET NUMBER:

SWPP-2.0

Digitally signed by
Michael Troxell
Date: 2025.06.30
15:45:51 -04'00'

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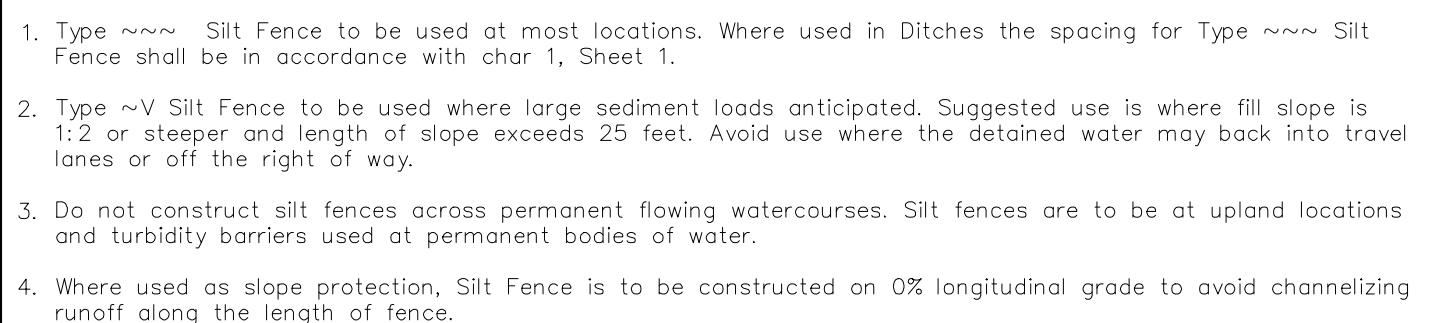
PROJECT No.:	F240042
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	05/06/2025
CAD I.D.:	F240042 SWPP

FOR
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SHEET NUMBER:

SWPP-3.0



NOTES FOR BAILED HAY OR STRAW BARRIERS

1. Type I and II Barriers should be spaced in accordance with Chart I, Sheet I.
2. Hay bales shall be trenched 3" to 4" and anchored with 2" - 1" x 2" for I" dip, 1 x 4" wood stakes. Stakes of other material or shape providing equivalent strength may be used if approved by the Engineer. Stakes other than wood shall be removed upon completion of the project.
3. Rolls and posts shall be 2" x 4" wood. Other materials providing equivalent strength may be used if approved by the Engineer.
4. Adjacent rolls shall be buried firmly together. Unavoidable gaps shall be plugged with hay or straw to prevent soil from passing.
5. Where used in conjunction with slit fence, hay bales shall be placed on the upstream side of the fence.

GENERAL NOTES

1. A Soil Trafficking Prevention Device (STPD) shall be constructed at locations designated by the engineer for points of egress from unutilized areas of the project to public roads where offsite tracking of mud could occur. Traffic from unutilized areas of the construction project shall be directed thru STPDs. Barriers, flagging, or other positive means shall be used as required to limit and direct vehicular egress across the STPD.
2. The Contractor may propose an alternative technique to minimize offsite tracking of sediment. The alternative must be reviewed and approved by the Engineer prior to its use.
3. All materials spilled, dropped, or tracked onto public roads must be removed from the STPD and the STPD must be removed and replaced, or more frequently if so directed by the Engineer.
4. Aggregate shall be as described in Section 900 excluding 900-2.3. Aggregate shall be 100" size or less. If this size is not available, the next available smaller size aggregate may be substituted with the approval of the Engineer. Sizes containing excessive small aggregate will fail the project and are unacceptable.
5. The sediment pit should provide a retention volume of 3600 cubic feet/acre of surface area draining to the pit.
When the STPD is isolated from other drainage areas, the following pit volumes will satisfy this requirement:
 $10' \times 60' \times 10'$
 $20' \times 60' \times 10'$
6. As an option to the sediment pit, the width of the swale portion can be increased to contain the volume. When the sediment pit or swale volume has been reduced to any size, it must be enclosed when a swale is used, hay bales or silt fence shall be placed along the entire length.
7. The swale ditch draining the STPD shall have a 0.2% minimum and a 1.0% maximum grade along the STPD and to the sediment pit.
8. Wired and section areas are not required when the sidewalk pipe satisfies the clear zone requirements.
9. The STPD shall be maintained in a condition that will allow it to perform its function.
If the STPD is damaged or offsite tracking, the STPD shall be rinsed (only when in use) to more accurately measure flow thru the STPD and be required to be replaced and tracked.
10. The nominal size of a standard STPD is 15' x 50' unless otherwise shown in the plans. If the volume of entering and exiting sediment is greater than 350 cubic yards, the STPD shall be approved by the Engineer. When a double width (30') STPD is used, the unit quantity shall be 2.0 per each location.

SOIL TRACKING PREVENTION DEVICE TYPE A
SCALE: NONE

Printed on Monday, June 30, 2025, 4:39 PM by Corey Sprusansky
G:\KUSHNER\F24C042 58TH & OAK RESIDENTIAL\DWG\SIT\2025-05-

WATER & SEWER DEMAND:

APARTMENTS:
470 UNITS (@ 250 GPD/ UNIT) = 117,500 GPD

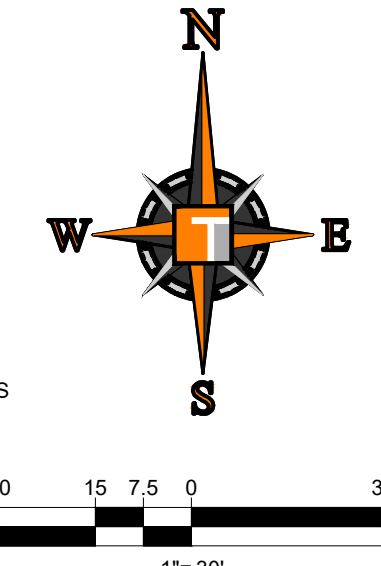
SYNAGOGUE:
137 SEATS (@ 3 GPD/SEAT) = 411 GPD

TOTAL DEMAND = 117,500 GPD + 411 GPD = 117,911 GPD

*THIS CALCULATION WAS BASED ON BROWARD COUNTY
DESIGN FLOW STANDARDS CHAPTER 27 SECTION 27-201

ADDITIONALLY, THERE ARE ONE (1) EXISTING FIRE HYDRANTS WITHIN 250' OF THE PROPOSED BUILDING. NFPA TABLE 18.5.4.3 STATES THAT A HYDRANT LESS THAN 250' FROM THE BUILDING PROVIDE A MAXIMUM CAPACITY OF 1,500 GPM. BASED ON THIS INFORMATION, THE AGGREGATE FIRE FLOW CAPACITY FROM THE HYDRANTS IN THE VICINITY IS 2,146 GPM, EXCEEDING THE REQUIRED 1,500 GPM.

ADDITIONALLY, THERE ARE ONE (1) EXISTING FIRE HYDRANTS WITHIN 250' OF THE PROPOSED BUILDING. NFPA TABLE 18.5.4.3 STATES THAT A HYDRANT LESS THAN 250' FROM THE BUILDING PROVIDE A MAXIMUM CAPACITY OF 1,500 GPM. BASED ON THIS INFORMATION, THE AGGREGATE FIRE FLOW CAPACITY FROM THE HYDRANTS IN THE VICINITY IS 2,146 GPM, EXCEEDING THE REQUIRED 1,500 GPM.



STRUCT. NO.	RIM ELEV.	INVERT IN	INVERT OUT
MAS-1	9.75	3.55 SW 1.15 NE	1.05 SE
MAS-2	11.25	4.00 W	3.90 NE
MAS-3	12.10		5.00 E
MAS-4	8.95		2.75 SW

1 RECORD DRAWINGS SHALL BE PREPARED IN THE STATE PLAN COORDINATE SYSTEM.
2 ALL UTILITY FEATURES SHALL BE SHOWN IN THEIR AS-BUILT LOCATION.
3 STATE PLANE COORDINATES SHALL BE DISPLAYED ON RECORD DRAWINGS FOR ALL FEATURES
SPECIFIED IN CITY OF HOLLYWOOD PUBLIC UTILITIES STANDARDS.
4 STATE PLANE COORDINATES SHALL BE SHOWN ON PROPERTY CORNERS AS REQUIRED BY CITY OF
HOLLYWOOD PUBLIC UTILITIES.





































- 1 FIRE HYDRANT SHALL BE EQUIPPED WITH A SET OF AFC "CAPTIVATED" SECURITY CAPS. THE CAPS SHALL BE CHAINED TO THE HYDRANT BODY AND INSTALLED PRIOR TO ISSUANCE OF "CONSTRUCTION WATER RELEASE" CERTIFICATION. A SCHEDULED INSPECTION BY CITY OF HOLLYWOOD PUBLIC UTILITIES IS REQUIRED TO VERIFY THE INSTALLATION AND OPERATION OF THE CAPS.
- 2 PLEASE NOTE THAT THE SECURITY CAPS CAN ONLY BE REMOVED USING SPECIAL WRENCHES. THE CONTRACTOR SHALL CONTACT THE CITY OF HOLLYWOOD PUBLIC UTILITIES INSPECTOR FOR ASSISTANCE IF ACCESS TO THE HYDRANT IS REQUIRED FOR FLUSHING OR TESTING PURPOSES.
- 3 ALL NEW FIRE HYDRANTS ARE TO BE INSTALLED SO THE PUMPER NOZZLE IS 5.0' MIN. WITH RAISED CURB OR 6.0' MIN. WITHOUT CURB AND 12.0' MAX. FROM THE EDGE OF PAVEMENT.

1. ALL WATER MAIN DUCTILE IRON PIPE AND PIPE FITTINGS SHALL BE PAINTED WITH A 4" WIDE CONTINUOUS BLUE LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND IS LOCATED ALONG THE TOP OF THE PIPE.
2. ALL WATER MAINS SHALL BE MARKED WITH ONE CONTINUOUS 6" WIDE MAGNETIC BLUE CODED TAPE IMPRINTED WITH TWO (2) INCH HIGH LETTERING READING "CAUTION - POTABLE WATER LINE BURIED BELOW" AND LOCATED APPROXIMATELY TWELVE (12) INCHES ABOVE THE CROWN OF THE PIPE. THE WORDING SHALL OCCUR EVERY THREE (3) FEET.
3. ALL WATER SERVICE FITTINGS ARE REQUIRED TO BE LEAD FREE.
4. ALL EXISTING CITY OF HOLLYWOOD PUBLIC UTILITY FACILITIES (I.E. VALVES) TO BE OPERATED BY CITY OF HOLLYWOOD PUBLIC UTILITIES PERSONNEL ONLY.

1 ON-SITE SEWER LATERALS ARE PRIVATELY OWNED AND MAINTAINED.
2
3 SEWER CLEANOUT MINI-MANHOLLS ARE REQUIRED ON ALL CLEANOUTS WITHIN PAVEMENT AREAS.
4
5 **GENERAL LANDSCAPE NOTE:**
6
7 1) IF ANY NEW LANDSCAPE MATERIALS ARE INSTALLED AS PART OF THIS PROJECT THEN SO DOW ONLY WITHIN
8 10' OF ANY AND/OR EXISTING UNPAVED WITHIN 5' OF ANY WATER MAIN AND WITHIN 5' OF ANY
9 "FIRE HYDRANT. TREES CANNOT BE INSTALLED WITHIN 10' OF A WATER MAIN WITHOUT PRIOR CITY OF
10 HULLYARD PUBLIC UTILITIES' APPROVAL AND THE INSTALLATION OF A ROOT BARRIER. ALSO, IF ANY
11 EXISTING TREES ARE LESS THAN 10' MINIMUM OF ANY NEW WATER AND/OR SEWER MAIN A ROOT
12 BARRIER IS REQUIRED TO BE INSTALLED OR TREE RELOCATED/REMOVED.

1. WATER SUPPLY AND ANY NEW HYDRANTS SHALL BE IN PLACE PRIOR TO ACCUMULATION OF COMBUSTIBLE MATERIALS PER NFPA 1 (2018 ED.) SECTION 16.4.3.1.1
2. ALL UNDERGROUND FIRE MAIN WORK MUST BE COMPLETED BY FIRE PROTECTION CONTRACTOR HOLDING CLASS I, II OR V LICENSE PER FS 38.02.
3. SINCE THE PROPOSED STRUCTURE IS A HIGH-RISE, AT TIME OF SUBMITTAL, ENSURE COMPLIANCE WITH FLORIDA FIRE PREVENTION CODE (7TH ED.), NFPA 1 (2018 ED.), NFPA 101 (2018 ED.), AND ALSO CHAPTER 11 OF NFPA 101 (2018 ED.) — "SPECIAL STRUCTURES AND HIGH-RISE BUILDINGS."

1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
2. ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH THE CITY OF WOODBURY PUBLIC UTILITIES AND LOCAL UTILITY COMPANY REQUIREMENTS. ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
3. ALL HYDRANTS SHALL FALL WITHIN 4' OF THE CURB
4. MINIMUM 75' CLEARANCE AROUND THE HYDRANT CIRCUMFERENCE. THE 4 1/2" CAP SHALL FACE THE ROADWAY.
5. ALL FIRE HYDRANTS SHOULD HAVE BLUE REFLECTIVE MARKERS.
6. WATER SHALL BE ON SITE BEFORE CONSTRUCTION BEGINS.
7. CLEAN OUTFS INSTALLED IN ASPHALT MUST BE INSTALLED IN A CITY BOX MARKED SEWER.

EXISTING NOTE	TYPICAL NOTE TEXT	SUPPOSED NOTE
	UNDERGROUND WATER LINE	
	UNDERGROUND FIRE LINE	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND TELEPHONE LINE	
	UNDERGROUND CATV LINE	
	STORM SEWER	
	STORM SEWER DRAINAGE LATERAL	
	SANITARY SEWER MAIN	
	SANITARY SEWER FORCE MAIN	
	OVERHEAD WIRE	
	SANITARY SEWER LATERAL	
	SANITARY MANHOLE	
	CLEAN OUT	
	STORM MANHOLE	
	CATCH BASIN	
	WATER METER	
	HYDRANT	
	BACKFLOW PREVENTER	



1502 W. FLETCHER AVE.
UNIT NO. 101
TAMPA, FL 33612
P: (813) 379-4100

125 W. INDIANTOWN RD.
SUITE 206
JUPITER, FL 33458
P: 561-203-7503

[illegible]

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

PROJECT No.:	F240042
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	05/06/2025
CAD I.D.:	F240042 WSU

HOLLYWOOD OAKS
4220 & 4231 N 58th Ave.
HOLLYWOOD, FL 33021

FOR
KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 33154

A circular professional engineer seal for Michael A. Troxell. The outer ring contains the text "MICHAEL A. TROXELL" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. Inside the ring, the word "LICENSE" is at the top, "No. 50572" is in the center, and "STATE OF FLORIDA" is at the bottom, also separated by two stars. The seal has a serrated outer edge.

Michael
Troxell

Digitally signed by
~~Michael Troxell~~

Date: 2025.06.30
16:47:54 -04'00'

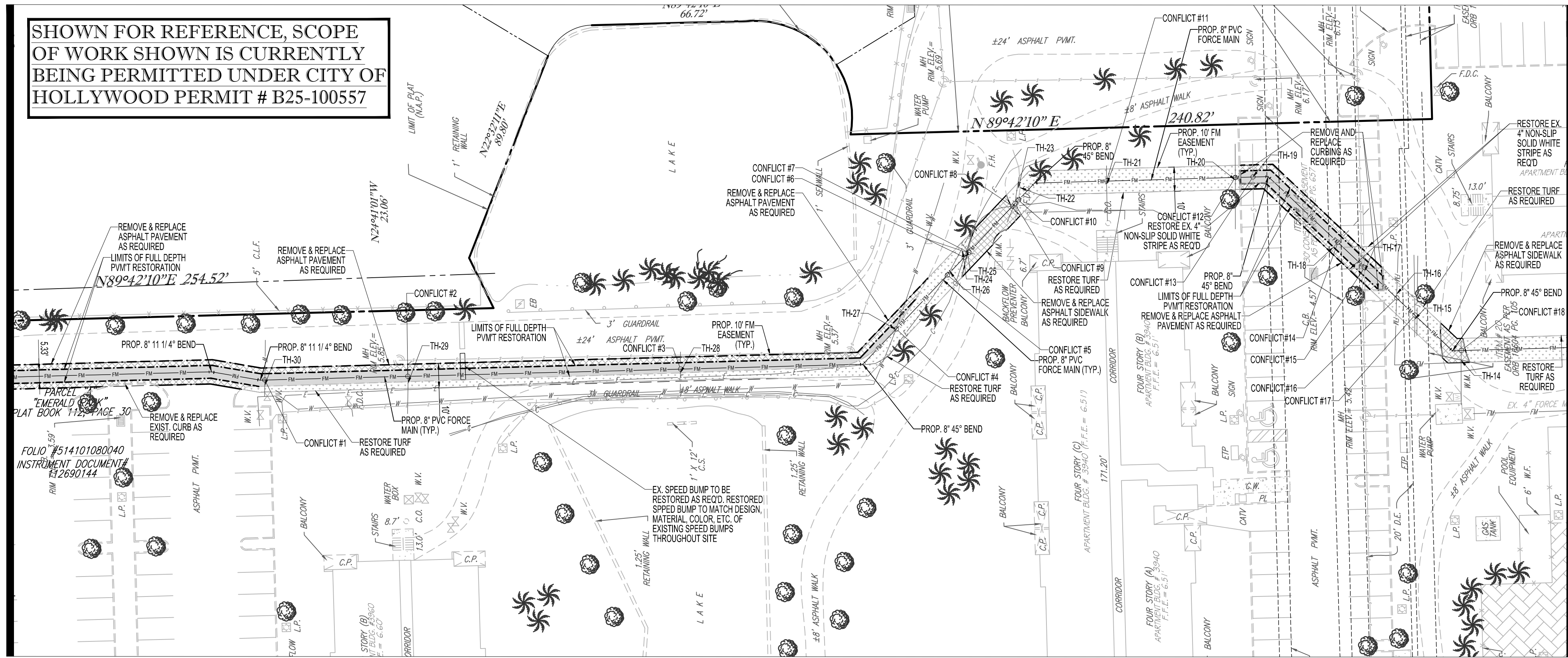
MATCH LINE SEE SHEET U-1.1

154

MICHAEL A. TROXELL, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 25572. THIS ITEM HAS BEEN
DIGITALLY SIGNED AND SEALED BY MICHAEL TROXELL, PE, ON 6/29/2025. PRINTED COPIES OF THIS DOCUMENT
AND ANY MODIFIED, REPRODUCED, COPIED, OR OTHERWISE USED ARE VOID AND NOT BE USED FOR CONSTRUCTION.

MATCH LINE SEE SHEET U-1.0

SHOWN FOR REFERENCE, SCOPE
OF WORK SHOWN IS CURRENTLY
BEING PERMITTED UNDER CITY OF
HOLLYWOOD PERMIT # B25-100557



MATCH LINE SEE SHEET BELOW

OFF-SITE PAVEMENT, CURB, MARKINGS & TURF

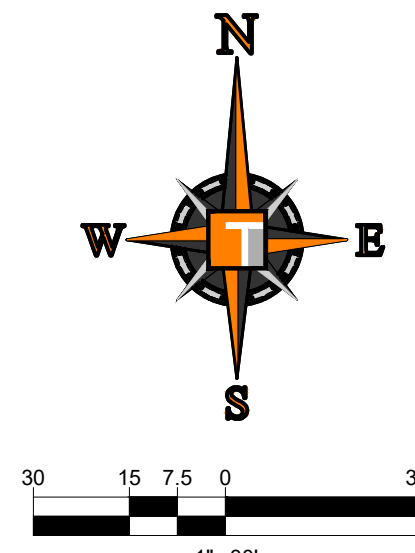
RESTORATION QUANTITIES		
DESCRIPTION	UNIT	TOTAL
Full Depth Pavement Restoration	SY	399
Pavement Restoration	SY	307
Pavement Mill & Overlay	SY	-
Sidewalk Restoration	SY	74
Curb Restoration	LF	43
24" White Thermoplastic Stripe	LF	13
6" White Thermoplastic Stripe	LF	78
4" White Paint Stripe	LF	51
White Thermoplastic Directional Arrow	EA	1
White Paint Directional Arrow	EA	3
Speed Bump Restoration	LF	23
Turf Restoration	SY	752

RIGHT-OF-WAY PAVEMENT, CURB, MARKINGS & TURF RESTORATION QUANTITIES

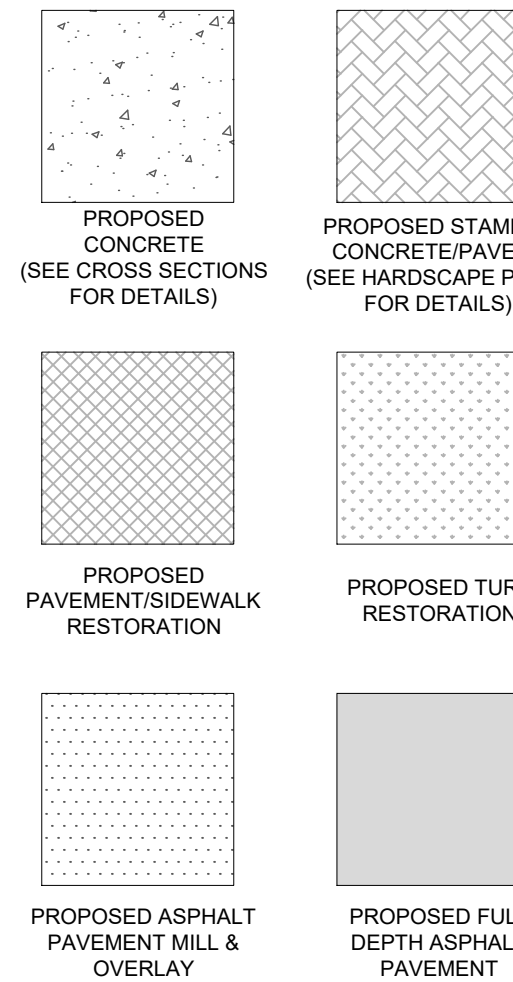
DESCRIPTION	UNIT	TOTAL
Full Depth Pavement Restoration	SY	20
Pavement Restoration	SY	30
Pavement Mill & Overlay	SY	399
Sidewalk Restoration	SY	3
Curb Restoration	LF	-
6" White Thermoplastic Stripe	LF	24
6" Yellow Thermoplastic Stripe	LF	24
White Thermoplastic Directional Arrow	EA	24
MD/Y RPM	EA	1
Turf Restoration	SY	-

UTILITY CONFLICT TABLE

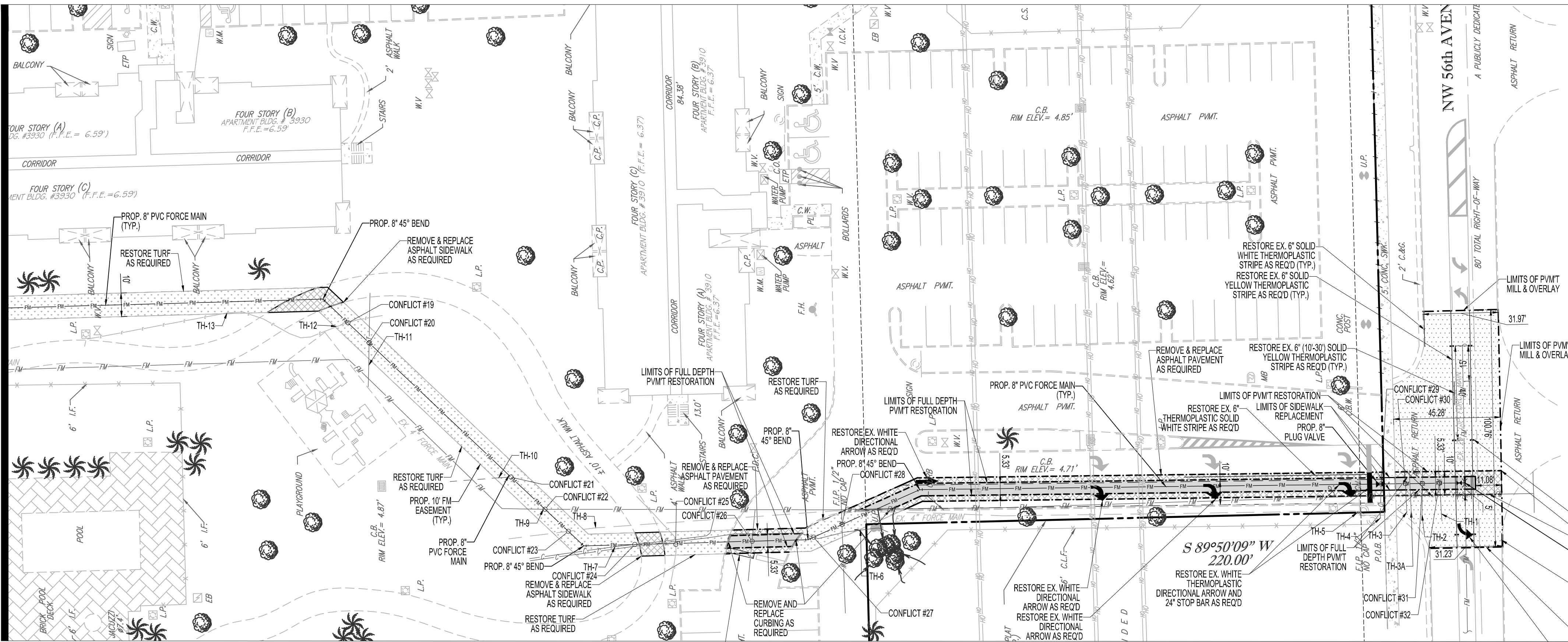
NUM	GRADE	BOTTOM OF PIPE	TOP OF PIPE	CLR
1	5.19	0.81 (8"WT)	(-0.50) (8"FM)	1.31
2	5.28	1.67 (6"SAN)	(-0.50) (8"FM)	2.17
3	5.47	1.03 (8"WT)	0.31 (2"FM)	0.72
4	5.23	1.01 (8"WT)	(-0.50) (8"FM)	1.51
5	5.37	0.71 (6"ELEC)	(-0.50) (8"FM)	1.21
6	5.40	3.40 (2"COM)	(-0.50) (8"FM)	3.90
7	5.46	1.99 (4"WT)	(-0.50) (8"FM)	2.49
8	4.85	3.40 (2"COM)	(-0.50) (8"FM)	3.90
9	4.85	3.79 (1"TBLE)	(-0.50) (8"FM)	4.29
10	4.85	3.24 (1"ELEC)	(-0.50) (8"FM)	3.74
11	4.17	1.01 (6"SAN)	(-0.50) (8"FM)	1.51
12	5.89	3.92 (1"TBLE)	(-1.25) (8"FM)	6.32
13	5.48	-1.12 (36"STM)	(-2.50) (8"FM)	1.48
14	5.08	-1.02 (36"STM)	(-2.50) (8"FM)	1.58
15	5.29	(-1.22 (8"SAN)	(-2.50) (8"FM)	1.28
16	6.63	4.31 (8"FM)	(-0.50) (8"FM)	4.81
17	5.90	3.70 (2"TBLE)	(-0.50) (8"FM)	4.20
18	5.91	2.14 (8"FM)	(-0.50) (8"FM)	2.61
19	4.70	3.11 (1"ELEC)	(-0.50) (8"FM)	3.84
20	5.04	3.15 (1"TBLE)	(-0.50) (8"FM)	3.85
21	4.66	0.36 (18"STM)	(-0.50) (8"FM)	0.66
22	4.62	2.04 (4"COM)	(-0.50) (8"FM)	2.54
23	4.62	2.64 (1"COM)	(-0.50) (8"FM)	3.14
24	4.83	2.92 (1"COM)	(-0.50) (8"FM)	3.42
25	5.40	2.29 (1"ELEC)	(-0.50) (8"FM)	2.79
26	5.25	1.69 (6"ELEC)	(-0.50) (8"FM)	2.19
27	5.65	4.06 (1"COM)	(-0.50) (8"FM)	4.56
28	5.65	1.48 (8"WT)	(-0.50) (8"FM)	1.98
29	5.63	3.80 (1"COM)	(-1.50) (8"FM)	5.30
30	5.21	(-1.08 (RWM)	(-1.50) (8"FM)	1.42
31	5.33	(-1.03 (8"WT)	(-1.50) (8"FM)	1.13
32	5.04	0.93 (8"WT)	(-1.50) (8"FM)	2.43



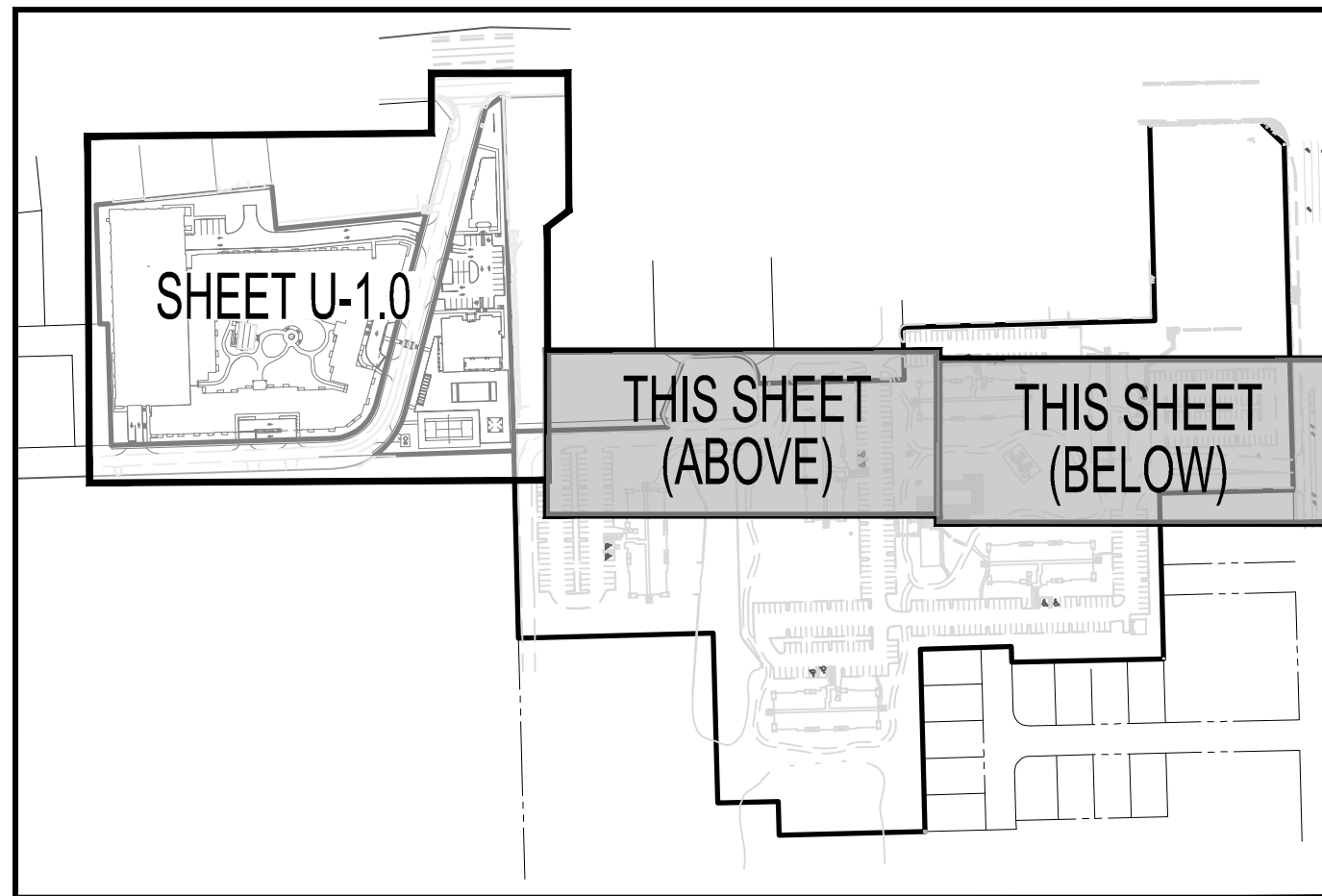
HATCH LEGEND



MATCH LINE SEE SHEET ABOVE



SHOWN FOR REFERENCE, SCOPE
OF WORK SHOWN IS CURRENTLY
BEING PERMITTED UNDER CITY OF
HOLLYWOOD PERMIT # B25-100557



KEY PLAN

RESTORE EX. MDY
RPMs AS REQ'D (TYP.)
LIMITS OF PAVMT RESTORATION
CONNECT TO EXIST. F.M.
WITH 24\"/>

Michael
Troxell

Digitally signed by
Michael Troxell
Date: 2025.06.30
16:47:54 -04'00'

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ENGINEERING GROUP
CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
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SUITE 200
TAMPA, FL 33612
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F: (813) 379-4101

REVISIONS			
REV.	DATE	COMMENT	BY

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PROJECT No.: F240042
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CHECKED Y/A: MAT
DATE: 05/06/2025
CAD I.D.: F240042 WSU

PROJECT:
HOLLYWOOD OAKS
4220 & 4231 N 58th Ave.
HOLLYWOOD, FL 33021

FOR
KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 33154


THOMAS
ENGINEERING GROUP
6300 NW 31ST AVENUE
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MICHAEL A. TROXELL
LICENSE
No. 25572
STATE OF FLORIDA
PROFESSIONAL ENGINEER
June 30, 2025
FLORIDA BUSINESS CERT. OF AUTH. No. 27592

SHEET TITLE:
UTILITY PLAN
SHEET NUMBER:
U-1.1


WATER SYSTEM NOTES:

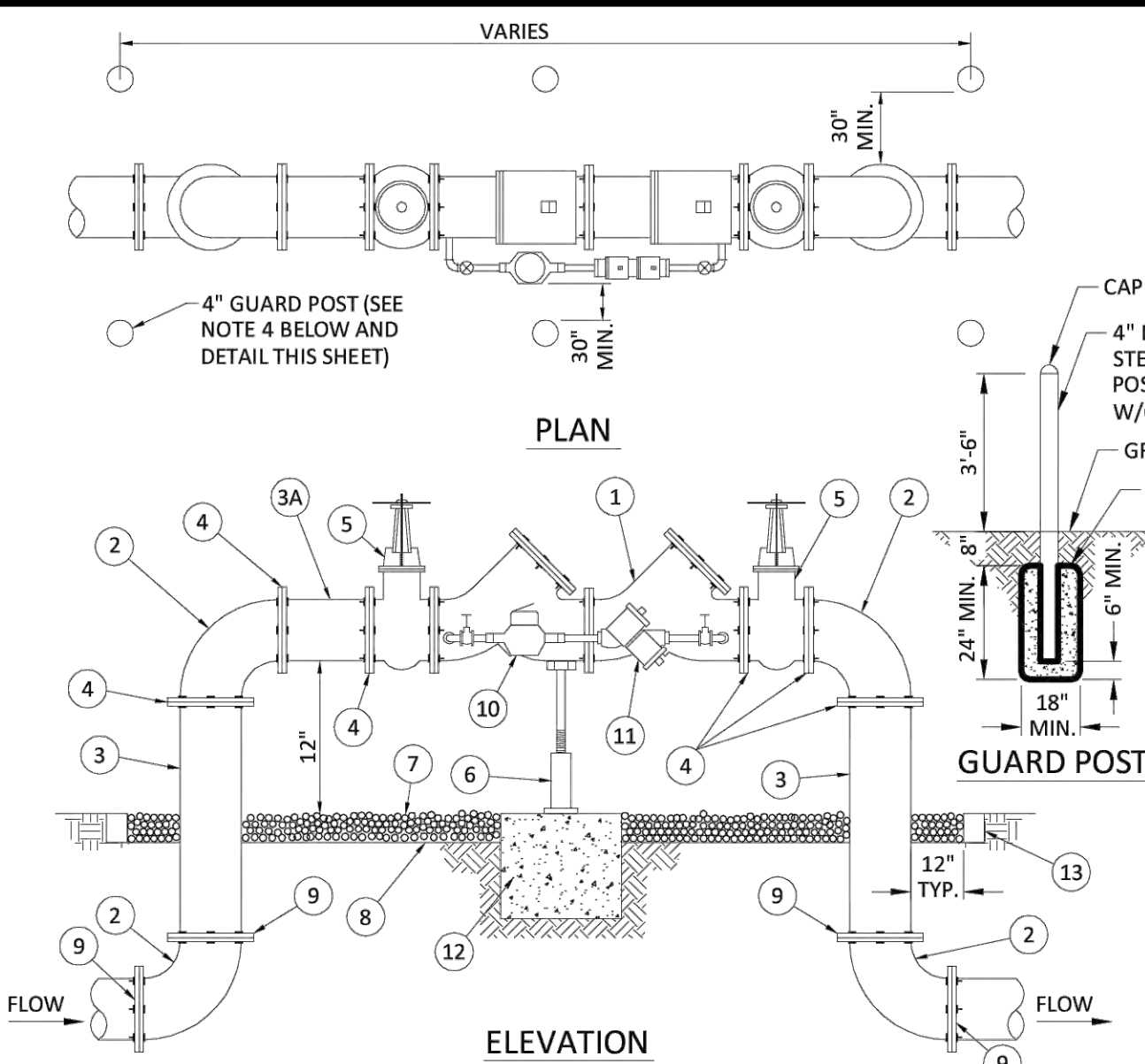
3. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
2. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
3. AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
4. NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
5. POLYETHYLENE ENCASMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP EACH END OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
6. THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
7. FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
8. GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WELF. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
9. VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TOP. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
10. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	WATER SYSTEM NOTES	DRAWING NO.
	APPROVED: XXX		W-01

WATER SYSTEM NOTES (CONTINUED):

11. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
12. ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS 158. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PIPE/STRESS CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
13. FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
14. ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
15. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
16. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
17. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
18. MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
19. MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURERS RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
21. PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
22. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.


	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	WATER SYSTEM NOTES	DRAWING NO.
	APPROVED: XXX		W-02

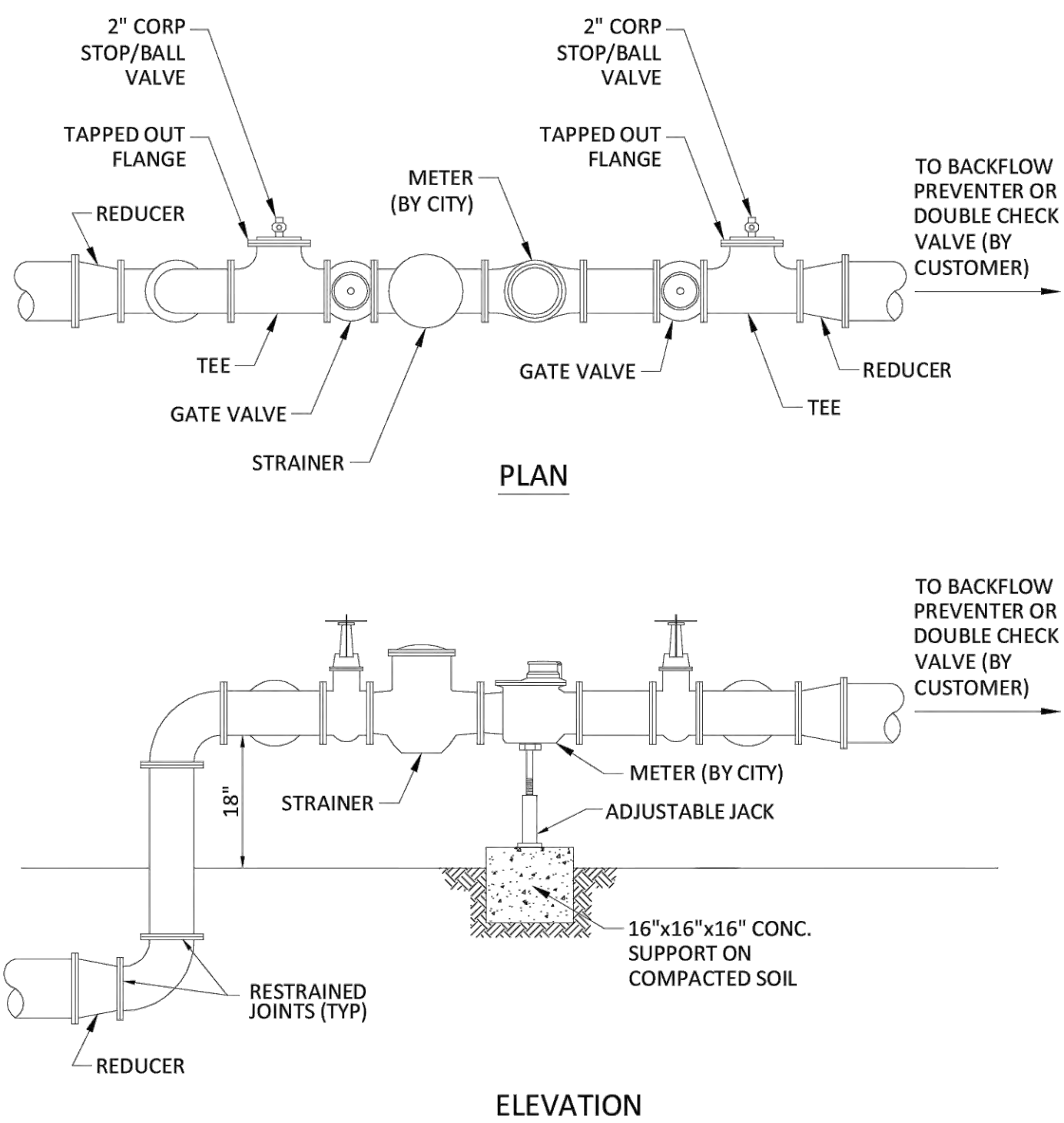


MATERIALS					
ITEM	QTY.	DESCRIPTION	ITEM	QTY.	DESCRIPTION
1	1	4", 6", 8" VALVE, DOUBLE CHECK	7	N/A	PEA GRAVEL (4" DEEP)
2	4	4", 6", 8" BEND-90"	8	N/A	PLASTIC LINER/WEEP STOP (5 MILS)
3	2	4", 6", 8" D.I.P. SPOOL PIECE	9	4	RESTRAINED JOINTS
3A	1	4", 6", 8" D.I.P. SPOOL PIECE (24" LONG)	10	1	FLOW METER
4	7	4", 6", 8" FLANGE, D.I.P.	11	1	4" VALVE, DOUBLE CHECK
5	2	4", 6", 8" GATE VALVE (SEE NOTE 6)	12	1	16" X16" X16" CONC. SUPPORT
6	1	SCREW JACK/ANCHORED	13	1	P.T. X24 LUMBER ALL AROUND

NOTES:


1. FIELD ADJUST AND CUT ITEM 3 TO THE PROPER LENGTH.
2. ALL PIPING SHALL BE D.I.P. CL 50/52 AS APPLICABLE TO MINIMUM STANDARDS.
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
4. PROTECTIVE 4" GALV. GUARD POSTS SHALL BE SPACED EVENLY APART AS SHOWN ABOVE OR IN ACCORDANCE WITH INSPECTOR'S DIRECTIONS.
5. MAY USE 45° BENDS (SEE DETAIL W-07.2) WHEN WORKING AREA IS NOT LIMITED, AS DIRECTED BY CITY.
6. GATE VALVES SHALL BE CHAINED AND LOCKED TOGETHER TO PREVENT TAMPERING.

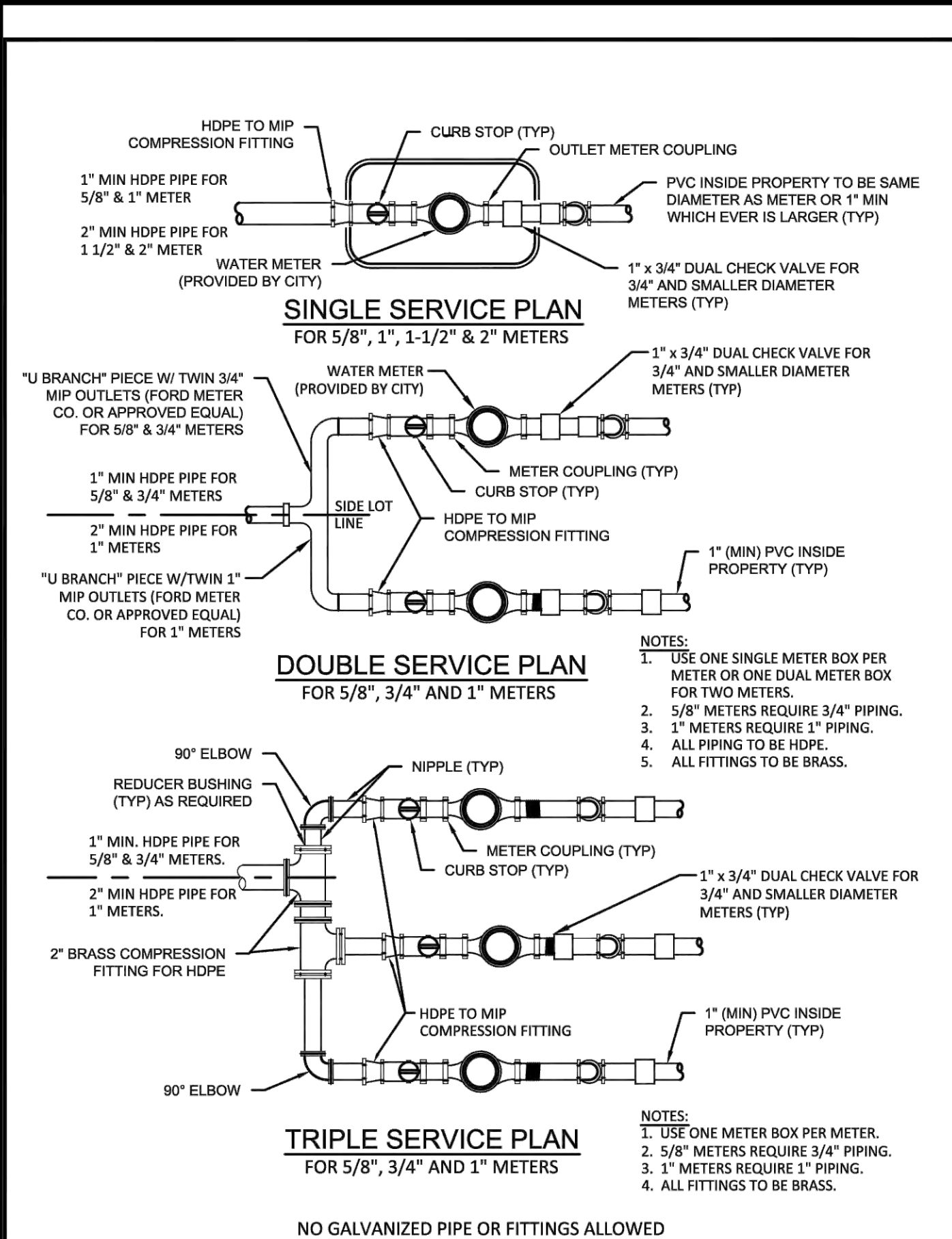
	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/20
	DRAWN: EAM	TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR ASSEMBLY FOR FIRE SPRINKLER SERVICE (90° BENDS)	DRAWING NO.
	APPROVED: XXX		W-03




NOTES:

1. THE WATER METER AND STRAINER IS PROVIDED BY THE CITY OF HOLLYWOOD.
2. THE CITY'S RESPONSIBILITY ENDS AT THE REDUCER PRECEDING THE BACKFLOW PREVENTER.
3. TAPPED OUT FLANGE SHOULD MATCH SIZE OF TEE AND STANDARD 2" CORP STOP OR BALL VALVE

	ISSUED: 03/01/99/4	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	<p align="center">TYPICAL METER 3" DIAMETER AND LARGER</p>	<p>DRAWING NO. W-11</p>
	APPROVED: XXX		

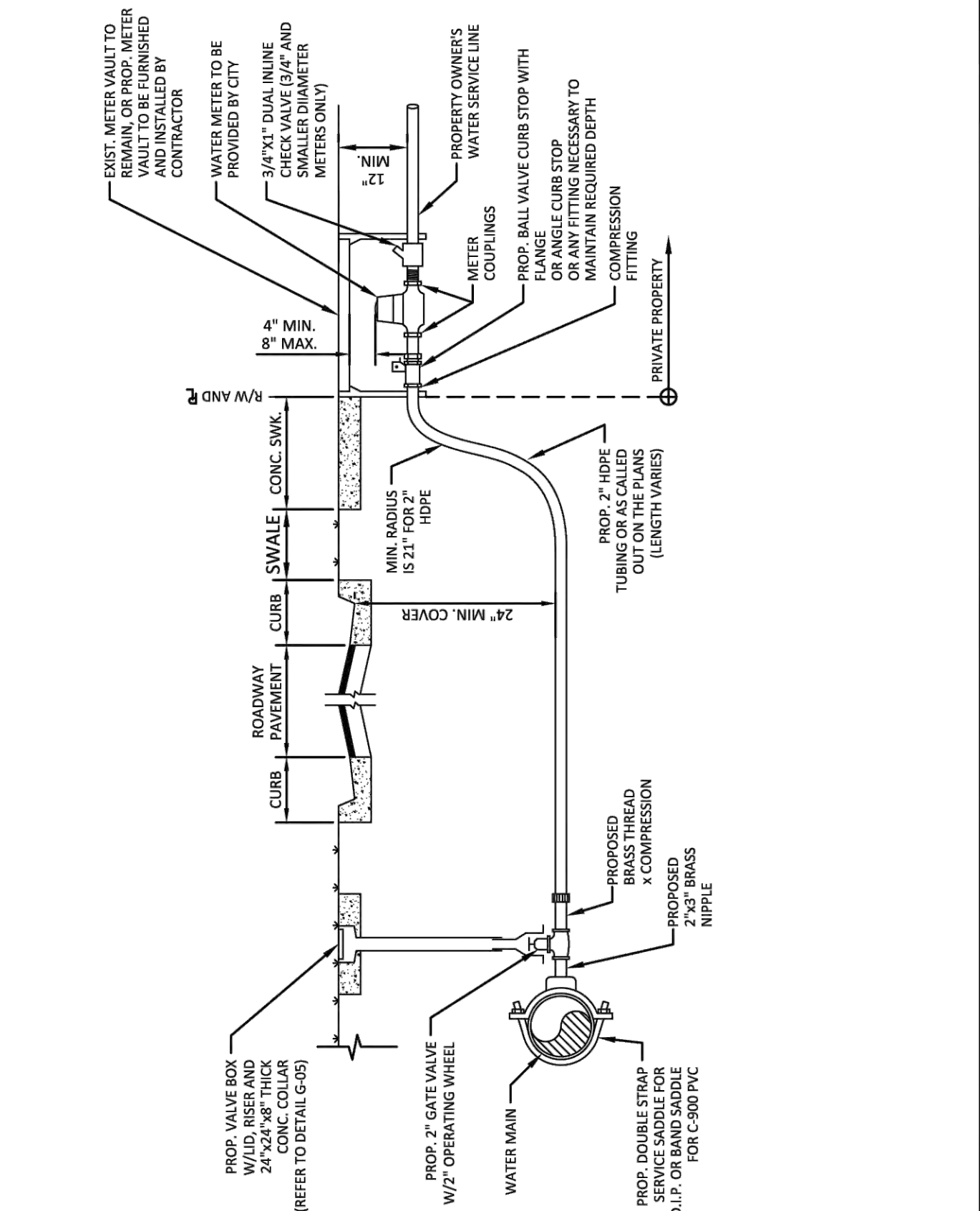



	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
	DRAWN: EAM	TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION	DRAWING NO. W-06
	APPROVED: XXX		

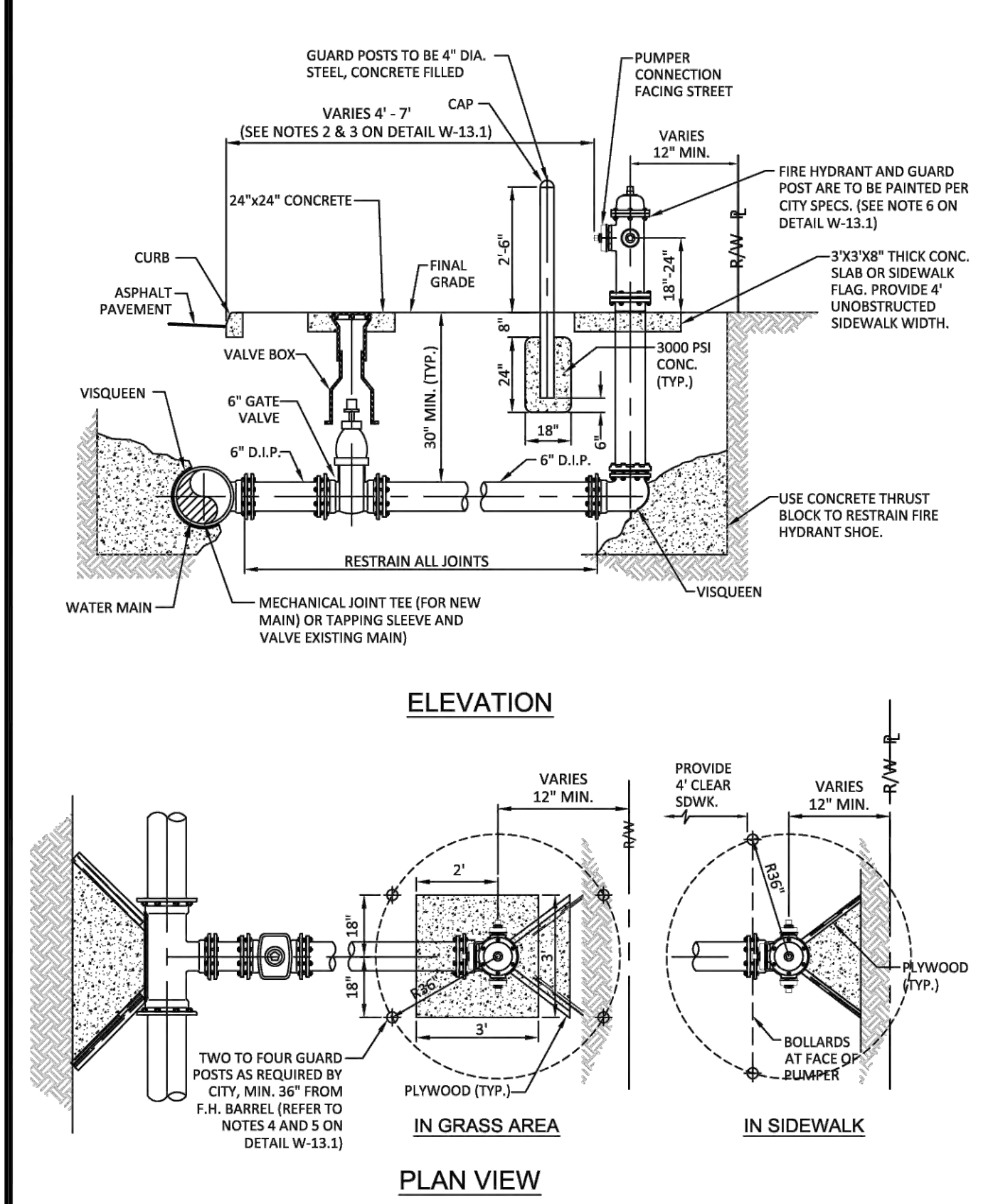
WATER METER SERVICE NOTES:


1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
2. P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm) FOR WATER SERVICE".
3. MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL ¾" OR SINGLE 1" DIAMETER METERS.
4. MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1-½" OR SINGLE 2" DIAMETER METERS.
5. FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
6. APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
7. FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE WATER METERS WILL BE PROVIDED AND INSTALLED BY THE CITY OF HOLLYWOOD (NEW ACCOUNTS).
8. FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
9. FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
 - a. CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
 - b. FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
12. THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL.
13. AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.
14. FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
	DRAWN: EAM	WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS	DRAWING NO.
	APPROVED: XXX		W-07



	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
	DRAWN: EAM	TYPICAL 2-INCH HDPE WATER SERVICE FOR SINGLE/DUAL 5/8" TO 1" METERS, AND ANY SINGLE 1-1/2" TO 2" METERS	DRAWING NO.
	APPROVED: XXX		W-09

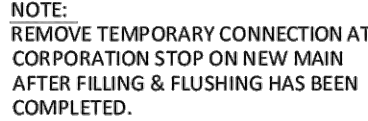


	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 03/05/2019
	DRAWN: EAM	TYPICAL FIRE HYDRANT INSTALLATION	DRAWING NO.
	APPROVED: XXX		W-13

[illegible]

1. IN ALL CASES, PROVIDE 4' UNOBSTRUCTED SIDEWALK CLEAR OF THE FIRE HYDRANT AND BOLLARDS
2. FIRE HYDRANTS SHALL BE LOCATED BETWEEN 4' AND 7' FROM THE FACE OF CURB.
3. FIRE HYDRANTS SHALL NOT BE LOCATED WITHIN A RADIUS OR WITHIN FOOT CLEAR DRIVING ZONE.
4. GUARD POSTS SHALL BE INSTALLED AS REQUIRED FOR SAFETY OR AS APPROVED BY THE DEPT. OF PUBLIC UTILITIES. IN SIDEWALK, LOCATE GUARD POSTS AT THE FACE OF THE PUMPER AND 2'-6" LEFT/RIGHT OF C. OF THE FIRE HYDRANT. EXTRA POSTS MAY BE REQUIRED IN INDUSTRIAL AND CONGESTED TRAFFIC AREAS. (4 POSTS MAX.)
5. FIRE HYDRANT CONCRETE SLAB AND CONCRETE GUARD POST FOOTINGS SHALL BE DIFFERENT POURS.
6. THE FIRE HYDRANT BONNET, OPERATING NUT, HOLD-DOWN NUT, PUMPER CAP AND HOSE CAPS SHALL BE PAINTED GREEN, AND THE HYDRANT UPPER BARREL SHALL BE PAINTED SILVER IN ACCORDANCE WITH CITY SPECIFICATIONS.

3. THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.
4. PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 1599S, "PIPELINE TESTING AND DISINFECTION".
5. BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.
7. THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.



NOTES:

SAMPLING POINT SHALL NOT BE REMOVED UNTIL APPROVAL IS OBTAINED FROM BROWARD COUNTY HEALTH DEPARTMENT.

Digitally signed by Michael

125 W. INDIANTOWN RD.
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JUPITER, FL 33458
P: 561-203-7503

[illegible]

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CHECKED BY:	MAT
DATE:	05/06/2025
CAD I.D.:	F240042 WSU DTL

PROJECT:

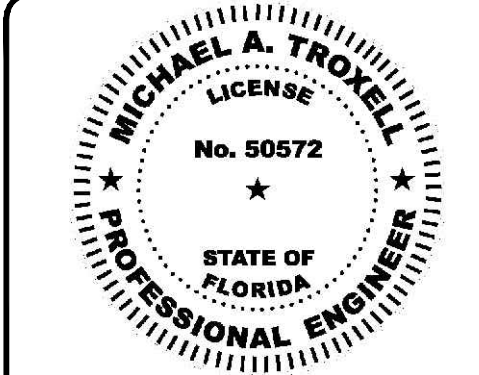
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4220 & 4231 N 58th Ave.
HOLLYWOOD, FL 33021

— FOR —

KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 33154

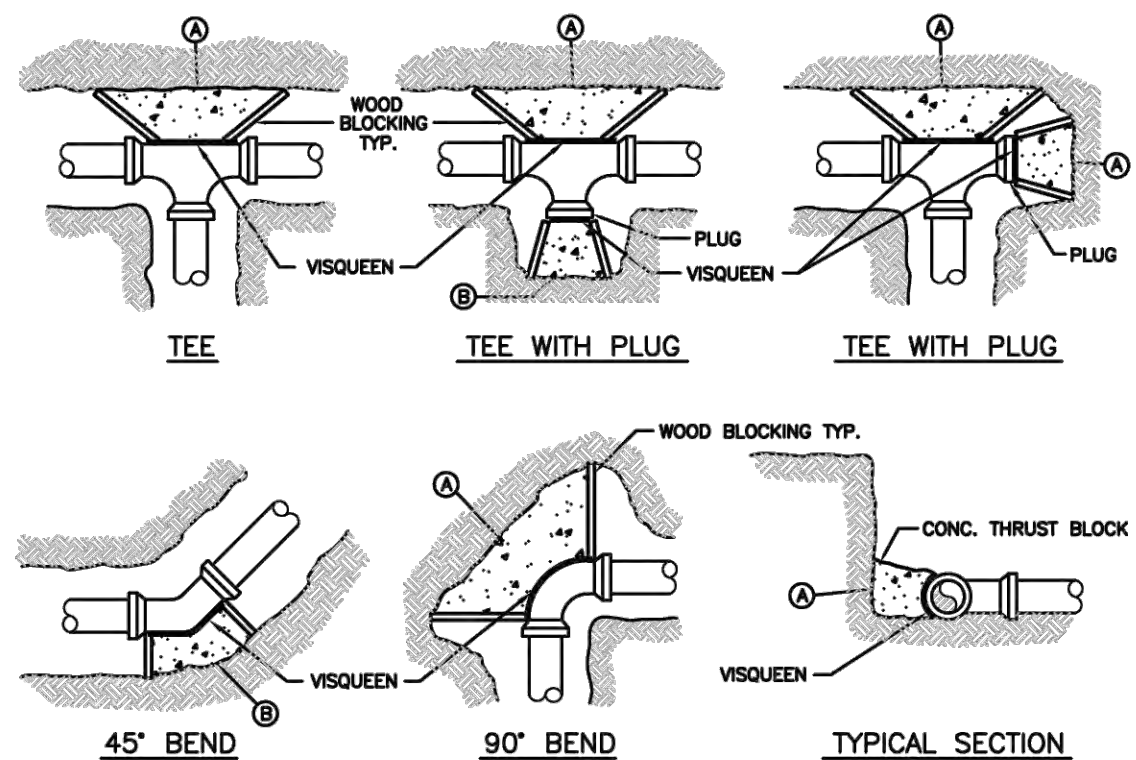


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June 30, 2025
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

U-2.1



MINIMUM CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL (SQ. FT.)				
MARK	PIPE SIZE			
	4" OR 6"	8"	10"	12"
A				
B				

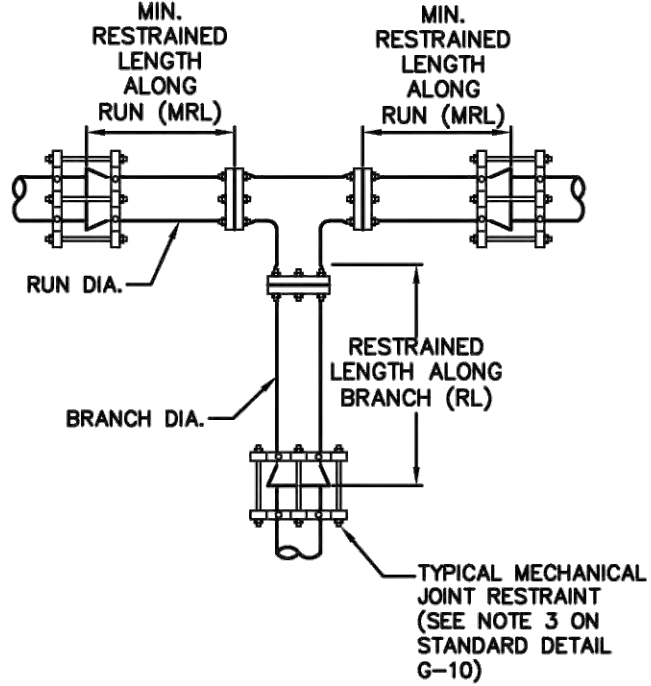
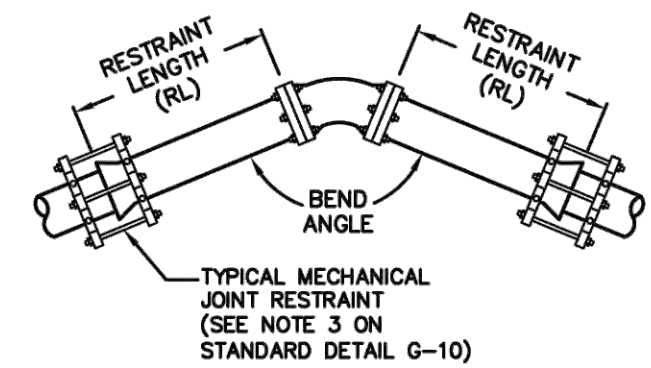
NOTES:

1. THRUST BLOCKS ARE TO BE USED IN COMBINATION WITH, AND NOT IN LIEU OF, MECHANICAL JOINT RESTRAINTS AS REQUIRED BY THE CITY. REFER TO THRUST RESTRAINT DESIGN TABLE IN STANDARD DETAIL G-10.
2. THE AREAS IN THE TABLE ARE BASED ON _____ POUNDS PER SQUARE FOOT SOIL BEARING AGAINST THE UNDISTURBED TRENCH WALL AND ARE TO REPRESENT THE MINIMUM VERTICAL PROJECTED AREA AT THE THRUST BLOCK IN A PLANE PERPENDICULAR TO THE LINE BISECTING THE INCLUDING ANGLE OF THE FITTING.
3. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH WALL HAS BEEN DISTURBED, EVACUATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL.
4. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
5. DO NOT COVER COUPLING OR JOINTS WITH CONCRETE.
6. CONCRETE TO BE 2500 P.S.I. MINIMUM 28 DAY STRENGTH.
7. TABLE TO BE COMPLETED BY DESIGN ENGINEER.

THRUST RESTRAINT NOTES:

1. ALL JOINTS BETWEEN BENDS AT HORIZONTAL & VERTICAL OFFSETS SHALL BE RESTRAINED.
2. MECHANICAL THRUST RESTRAINTS FOR D.I.P. FITTINGS ON D.I.P. OR P.V.C. PIPE SHALL BE MEGALUGS AS MANUFACTURED BY EBAA IRON, INC., OR APPROVED EQUAL.
3. DUCTILE IRON FITTINGS UP TO 20-INCHES IN DIAMETER SHALL BE RESTRAINED BY MECHANICAL MEANS, I.E., MEGALUGS OR APPROVED EQUAL.
4. DUCTILE IRON FITTINGS 24-INCH IN DIAMETER AND ABOVE SHALL BE RESTRAINED BY MECHANICAL MEANS, I.E., MEGALUGS OR APPROVED EQUAL, WITH THE ADDITION OF THRUST BLOCKS AND CONCRETE ANCHORS AT THE DISCRETION OF THE ENGINEER OF RECORD.
5. ANY THRUST BLOCKS AND ANCHORS ARE TO BE DESIGNED BY THE ENGINEER OF RECORD. SIGNED AND SEALED CALCULATIONS SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO INSTALLATION.
6. THRUST BLOCKS CONSISTING OF POURED-IN-PLACE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AFTER 28 DAYS.

HORIZONTAL BENDS			
PIPE DIA. (INCHES)	BEND (ANGLE)	RESTRAINED LENGTH (RU) (FT)	
		PVC	"DIP
24	11½	-	-
	22½	-	-
	45	-	-
	90	-	-
16	11½	-	-
	22½	-	-
	45	-	-
	90	-	-
12	11½	-	-
	22½	-	-
	45	-	-
	90	-	-
8	11½	-	-
	22½	-	-
	45	-	-
	90	-	-
6	11½	-	-
	22½	-	-
	45	-	-
	90	-	-
4	11½	-	-
	22½	-	-
	45	-	-
	90	-	-





TEES AND TAPPING SLEEVES									
RUN DIA. (INCHES)	BRANCH DIA. (INCHES)	MINIMUM RESTRAINED LENGTH ALONG RUN (FT.)	MINIMUM RESTRAINED LENGTH ALONG BRANCH (FT.)		RUN DIA. (INCHES)	BRANCH DIA. (INCHES)	MINIMUM RESTRAINED LENGTH ALONG RUN (FT.)	MINIMUM RESTRAINED LENGTH ALONG BRANCH (FT.)	
			PVC	*DIP				PVC	*DIP
24"	24"	-	-	-	12"	12"	-	-	-
	16"	-	-	-		8"	-	-	-
	12"	-	-	-		6"	-	-	-
	8"	-	-	-		4"	-	-	-
	6"	-	-	-		8"	-	-	-
	4"	-	-	-		6"	-	-	-
16"	16"	-	-	-	6"	4"	-	-	-
	12"	-	-	-		6"	-	-	-
	8"	-	-	-		4"	-	-	-
	8"	-	-	-		4"	-	-	-
	4"	-	-	-		4"	-	-	-


*ALL DIP JOINT-RESTRAINT CALCULATIONS ASSUME THE PIPE WILL BE WRAPPED IN POLYETHYLENE ENCASEMENT


FLEXIBLE PAVEMENT RESTORATION NOTES:

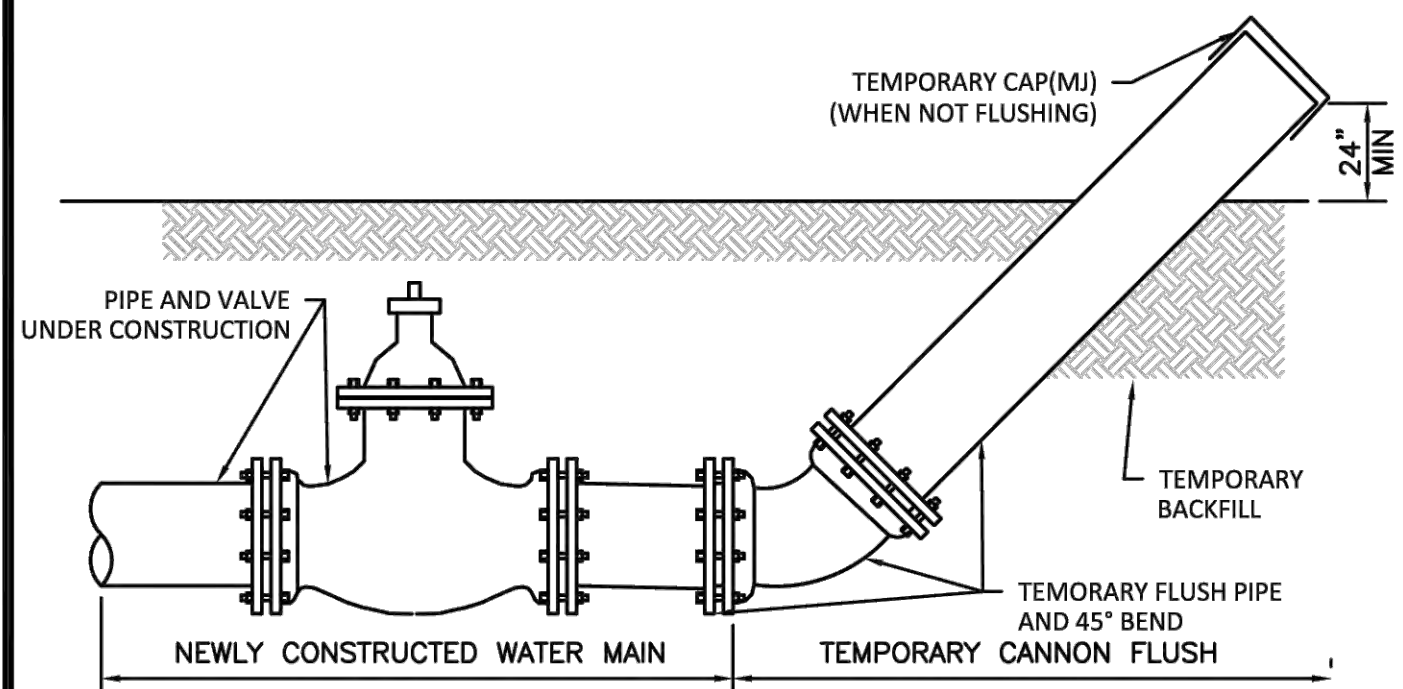
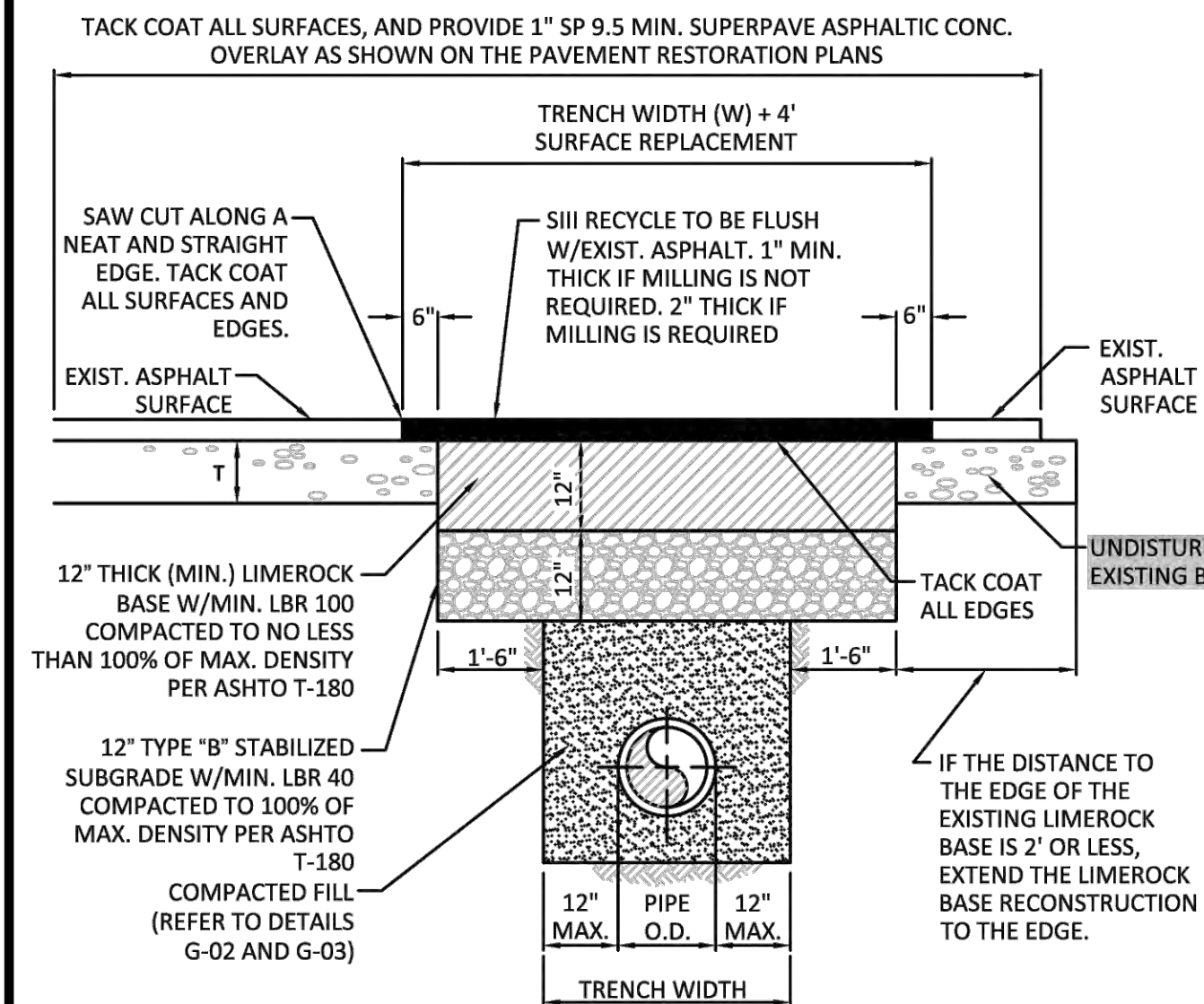
1. THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FDOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
2. LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK".
3. LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER ASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
4. STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
5. BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
6. ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
7. RESURFACING MATERIAL SHALL BE FDOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
8. MILL AND BUTT JOINT TO EXISTING PAVEMENT.
9. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
10. REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
11. WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK. REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLaid USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	THRUST BLOCK DESIGN	DRAWING NO.
	APPROVED: XXX		G-10

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	JOINT RESTRAINT DESIGN FOR PVC AND DIP THRUST RESTRAINT NOTES	DRAWING NO. G-11
	APPROVED: XXX		


	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	JOINT RESTRAINT DESIGN FOR PVC AND DIP HORIZONTAL BENDS AND TEES	DRAWING NO. G-11.1
	APPROVED: XXX		


	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
	DRAWN: EAM	FLEXIBLE PAVEMENT RESTORATION NOTES	DRAWING NO. G-12
	APPROVED: XXX		



GENERAL NOTES:

1. FLUSHING LOCATIONS ARE TO BE PROPOSED BY CONTRACTOR AND APPROVED BY ECDSD.
2. UPON COMPLETION OF THE PIPE INSTALLATION FOR ANY SECTION, THE MAIN SHALL BE CANNON FLUSHED TO REMOVE DIRT AND ANY OTHER FOREIGN MATERIAL.
3. INSTALL A TEMPORARY 45° BEND AND ASSOCIATED TENSIONED PIPING AS SHOWN TO DIRECT THE FLUSHING WATER TO THE DOWNSTREAM MANHOLE AND EXERCISE DUE CARE SO AS TO ENSURE THAT THE WATER USED IN FLUSHING DOES NOT CAUSE A NUISANCE OR INFLECT PROPERTY DAMAGE.
4. BENDS AND PIPING SHALL BE THE SAME SIZE OR LARGER AS THE LINE BEING FLUSHED.
5. PRIOR TO THE ACTUAL LINE FLUSHING OPERATION THE CONTRACTOR SHALL PERSONALLY NOTIFY ECDSD INSPECTOR OF SUCH INTENDED WATER USE.
6. EXISTING VALVE SHALL BE OPERATED, EXCEPT BY AUTHORIZED CITY PERSONNEL.
7. FLUSHING WATER SHALL BE ACCOMPANIED, WITHOUT THE ACTUAL PRESENCE OF THE ECDSD INSPECTOR.
8. AFTER THE LINE UNDER CONSTRUCTION HAS BEEN SUCCESSFULLY FLUSHED, THE CONTRACTOR SHALL REMOVE THE TEMPORARY PIPING ARRANGEMENT AND PROCEED WITH THE REMAINING CONSTRUCTION AS SPECIFIED.
9. ALL PIPING SHALL BE MECHANICALLY RESTRAINED IN ACCORDANCE WITH CITY STANDARDS.
10. IF REQUIRED BY ECDSD, WORK SHALL BE CLEANED BY PIGGING.
11. CONTRACTOR WILL INSTALL A PRESSURE GAUGE AT OR NEAR THE FILL AND FLUSH LOCATION AND MAINTAIN A MINIMUM PRESSURE OF 40 PSI AT ALL TIMES. THE FILL VALVE WILL BE OPENED AND CLOSED SLOWLY TO AVOID RAPID PRESSURE CHANGES IN THE WATER SYSTEM.
12. CONTRACTOR IS CAUTIONED THAT GOVERNING AGENCIES OR UTILITIES MAY HAVE REGULATIONS LIMITING OR PROHIBITING DISCHARGE INTO SEWERS, SURFACE WATERS, CANALS, DITCHES AND OTHER CONVEYANCES/RECEIPTS. ALL CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH ALL REGULATIONS (INCLUDING PERMITTING, IF REQUIRED) IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
13. CANNON FLUSHING TO PROCEED AFTER HEALTH DEPARTMENT CLEARANCE IS RECEIVED.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
	DRAWN: EAM	FLEXIBLE PAVEMENT RESTORATION FOR TRENCHES CUT PERPENDICULAR AND PARALLEL TO THE ROADWAY	DRAWING NO. G-12.1
	APPROVED: XXX		

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	CANNON FLUSHING	DRAWING NO.
	APPROVED: XXX		G-13

Michael
Troxell

Digitally signed by
Michael Troxell
Date: 2025.06.30
15:49:46 -04'00'

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Sunshine 811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

TAC SUBMITTAL

PROJECT No.:	F240042
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	05/06/2025
CAD I.D.:	F240042 WSU DTLS

PROJECT:

HOLLYWOOD OAKS
4220 & 4231 N 58th Ave.
HOLLYWOOD, FL 33021

FOR

KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 33154



6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

www.ThomasEngineeringGroup.com

MICHAEL A. TROXELL
 LICENSE
 No. 50572
 ★
 STATE OF
 FLORIDA
 PROFESSIONAL ENGINEER
 June 30, 2025
 FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

SHEET TITLE:	
UTILITY DETAILS	
SHEET NUMBER:	
U-2.3	

[illegible]

Sunshine 811
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig

TAC SUBMITTAL

PROJECT No.: F240042
DRAWN BY: CAD
CHECKED BY: MAT
DATE: 05/06/2025
CAD I.D.: F240042 WSU DTL

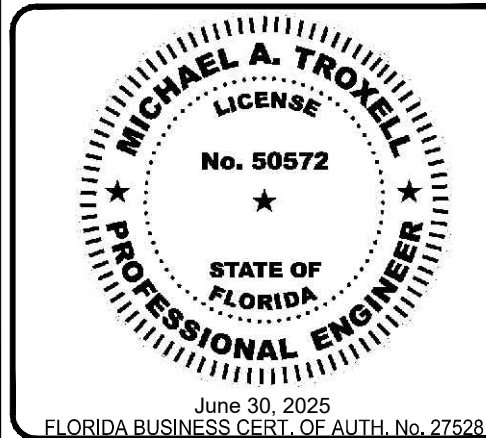
PROJECT:

HOLLYWOOD OAKS
4220 & 4231 N 58th Ave.
HOLLYWOOD, FL 33021

FOR
KUSHNER
188 BAL BAY DRIVE
BAL HARBOUR, FL 33154

THOMAS
ENGINEERING GROUP

6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com



SHEET TITLE:

UTILITY DETAILS

SHEET NUMBER: _____

U-2.5

Michael
Troxell

Digitally signed by Michael
Troxell
Date: 2025.06.30 15:50:28
-04'00'



Hollywood Oaks - By Kushner

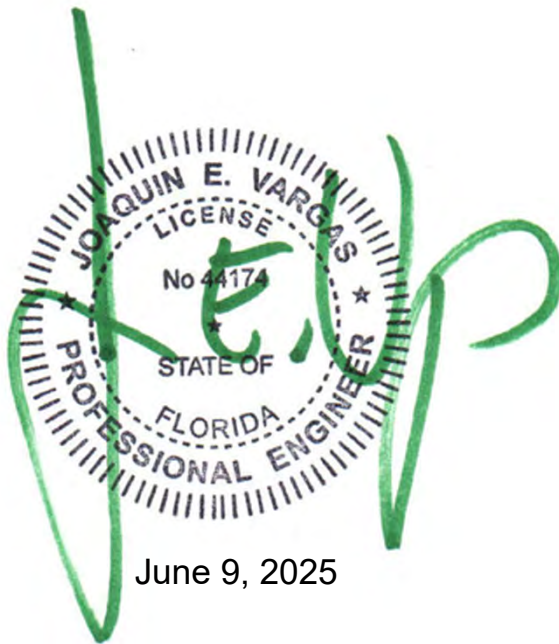
4220 & 4231 N 58th Avenue

Hollywood, Florida 33021

prepared for:

Kushner Realty Acquisition, LLC

traffic study



June 9, 2025

TRAFTECH
ENGINEERING, INC.

June 2025

ENGINEER'S CERTIFICATION

I, Hereby certify that I am a registered professional engineer in the State of Florida, practicing with Traf Tech Engineering, Inc., a Florida Corporation under Section 471.023, Florida Statutes, to offer engineering services to the public through a Professional Engineer, duly licensed under Chapter 471, Florida Statutes, Professional License Number 44174, by the State of Florida, Department of Professional Regulation, Board of Professional Engineers, and that I have prepared or approved the evaluation, findings, opinions, conclusions, or technical advice hereby reported for:

Project: Hollywood Oaks
Location: Hollywood, Florida
Client: Kushner Realty Acquisition, LLC

Report Prepared by: Traf Tech Engineering, Inc
8400 N. University Drive, Suite 309
Tamarac, FL 33321

I acknowledge that the procedures and references used to develop the results contained in this report are standards to the professional practice of transportation engineering as applied through professional judgement and experience.

Signature:

Name:

License No.

Date:

Joaquin E. Vargas, P.E.

FL 44174

June 12, 2025



June 12, 2025

June 12, 2025

Mr. Raphael Schwartz
Senior Vice President
Development and Construction
KUSHNER
188 Bal Bay Drive
Bal Harbour, Florida 33154

Re: Hollywood Oaks by Kushner - Traffic Study

Dear Rafi:

Traf Tech Engineering, Inc. is pleased to provide you with the results of the updated traffic impact study associated with the proposed 8-story residential development to be located at 4220 & 4226 N 58th Avenue in the City of Hollywood, Florida. The traffic study documents the traffic impacts associated with the project.

Additionally, the signal warrant study conducted for the intersection of Stirling Road and N 58th Avenue is contained in Appendix F. FDOT reviewed the signal warrant study and recommended an updated study should be prepared once the project is built. The FDOT letter is include in Appendix G.

It has been a pleasure working with you on this project.

Sincerely,

TRAF TECH ENGINEERING, INC.

Joaquin E. Vargas, P.E.
Senior Transportation Engineer

TABLE OF CONTENTS

INTRODUCTION	1
INVENTORY	3
Existing Land Use	3
Proposed Land Use and Access	3
EXISTING CONDITIONS	4
Roadway System.....	4
Nearby Intersections	4
TRAFFIC COUNTS	6
TRIP GENERATION	8
TRIP DISTRIBUTION AND TRAFFIC ASSIGNMENT	9
TRAFFIC ANALYSES	11
Future Conditions Traffic Volumes	11
Level of Service (LOS) Analyses	14
Turn Lane Evaluation	18
Maneuverability Analysis	19
Access Management	19
Transit Services	21
CONCLUSIONS AND RECOMENDATIONS	23

LIST OF FIGURES

FIGURE 1 – Project Location Map	2
FIGURE 2 – Existing Lane Geometry	5
FIGURE 3 – Existing Traffic Counts	7
FIGURE 4 – Project Traffic Assignment	10
FIGURE 5 – Background Traffic – AM Peak Hour (Year 2028).....	12
FIGURE 6 – Total Traffic with Project – AM Peak Hour (Year 2028).....	13
FIGURE 7 – Access Management	20

LIST OF TABLES

TABLE 1 – Trip Generation	8
TABLE 2A – Intersection Capacity / Level of Service Analyses AM Peak Hour	16
TABLE 2B – Intersection Capacity / Level of Service Analyses PM Peak Hour	17
TABLE 3 – Left-Turn Criteria.....	18
TABLE 4 – Need for Turning Lanes	19

TABLE OF CONTENTS (Continued)

APPENDICES

Appendix A: Site Plan & Traffic Methodology

Appendix B: Traffic Counts

Appendix C: Signal Timing, PSCF, Historical Data, Growth Rate, and Committed Developments

Appendix D: Future Turning Movement Volumes

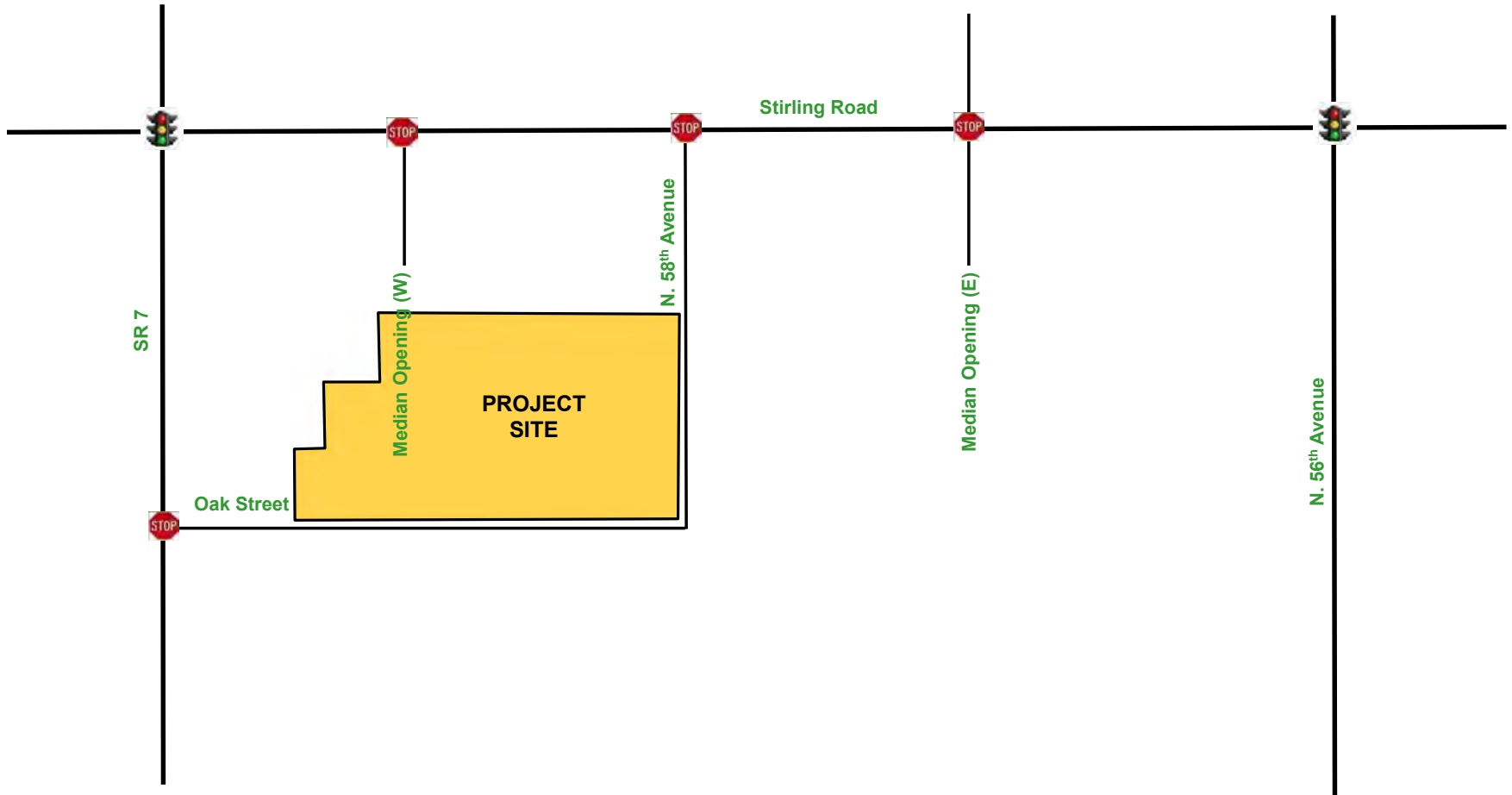
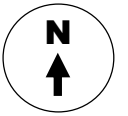
Appendix E: SYNCHRO Analyses

INTRODUCTION

Hollywood Oaks is a proposed 8-story residential development with 470 units planned to be located at 4220 & 4231 N 58th Avenue in the City of Hollywood, Broward County, Florida. The location of the project site is illustrated in Figure 1 on the following page.

Traf Tech Engineering, Inc. was retained by Kushner Realty Acquisition, LLC to conduct a traffic study in connection with the proposed residential development. The study addresses trip generation and the traffic impacts created by the proposed project on the nearby transportation network. This study is divided into seven (7) sections, as listed below:

1. Inventory
2. Existing Conditions
3. Traffic Counts
4. Trip Generation
5. Trip Distribution and Traffic Assignment
6. Traffic Impact Analysis
7. Conclusions and Recommendations



LEGEND	
	Subject Site



PROJECT LOCATION MAP

FIGURE1
Hollywood Oaks
Hollywood, Florida

INVENTORY

Existing Land Use

The project site is primarily vacant.

Proposed Land Uses and Access

The proposed development consists of the following land uses and intensity:

- 470 residential units (mid-rise)
- 7-level parking garage
- A private one-story club house
- A community building (synagogue) for Orthodox Jews (no driving expected)

Access to the parking garage is provided via two full-access driveways, one on N 58th Avenue and another on Oak Street. The club house has two access driveways off of N 58th Avenue. Additionally, there are two drop-off areas with two driveways each, one on N 58th Avenue and another on Oak Street. N 58th Avenue connects with Stirling Road as a right-turn in/right-turn out driveway. Similarly, Oak Street connects with SR 7 as a right-turn in-right-turn out. The proposed residential development is anticipated to be built and occupied in 2028. Appendix A contains a copy of the proposed site plan for the project site.

EXISTING CONDITIONS

This section addresses the existing roadway system located in the vicinity of the project site and nearby intersections.

Roadway System

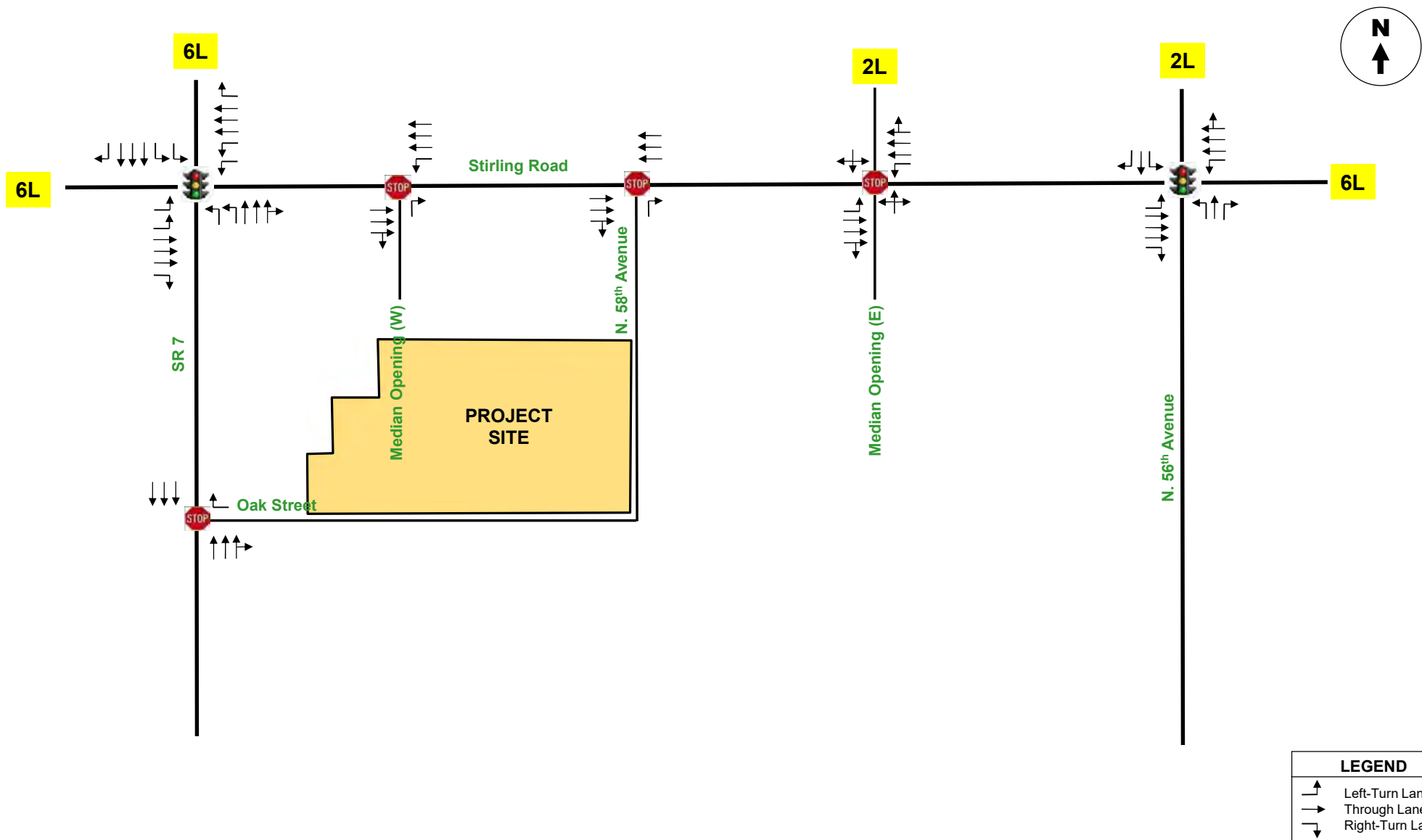
The roadway system located near the project site includes State Road 7, Stirling Road, Oak Street, N 58th Avenue, and N 56th Avenue. State Road 7 and Stirling Road are six-lane divided major arterials near the project site. N 56th Avenue is a two-lane undivided facility and N 58th Avenue and Oak Street are both two-lane local streets.

Nearby Intersections

Six intersections plus the access driveways were identified as the locations that will be impacted the most by the proposed project. These six intersections include:

1. State Road 7 and Stirling Road (signalized)
2. State Road 7 and Oak Street (stop control)
3. Stirling Rd and 1st Median Opening west of N 58th Ave (stop control)
4. Stirling Road and N 58th Avenue (stop control)
5. Stirling Rd and 1st Median Opening east of N 58th Ave (stop control)
6. Stirling Road and N 56th Avenue (signalized)

Figure 2 shows the existing lane geometry of the six intersections selected for analysis purposes. The number of lanes on the street system surrounding the project site is also depicted in the figure.



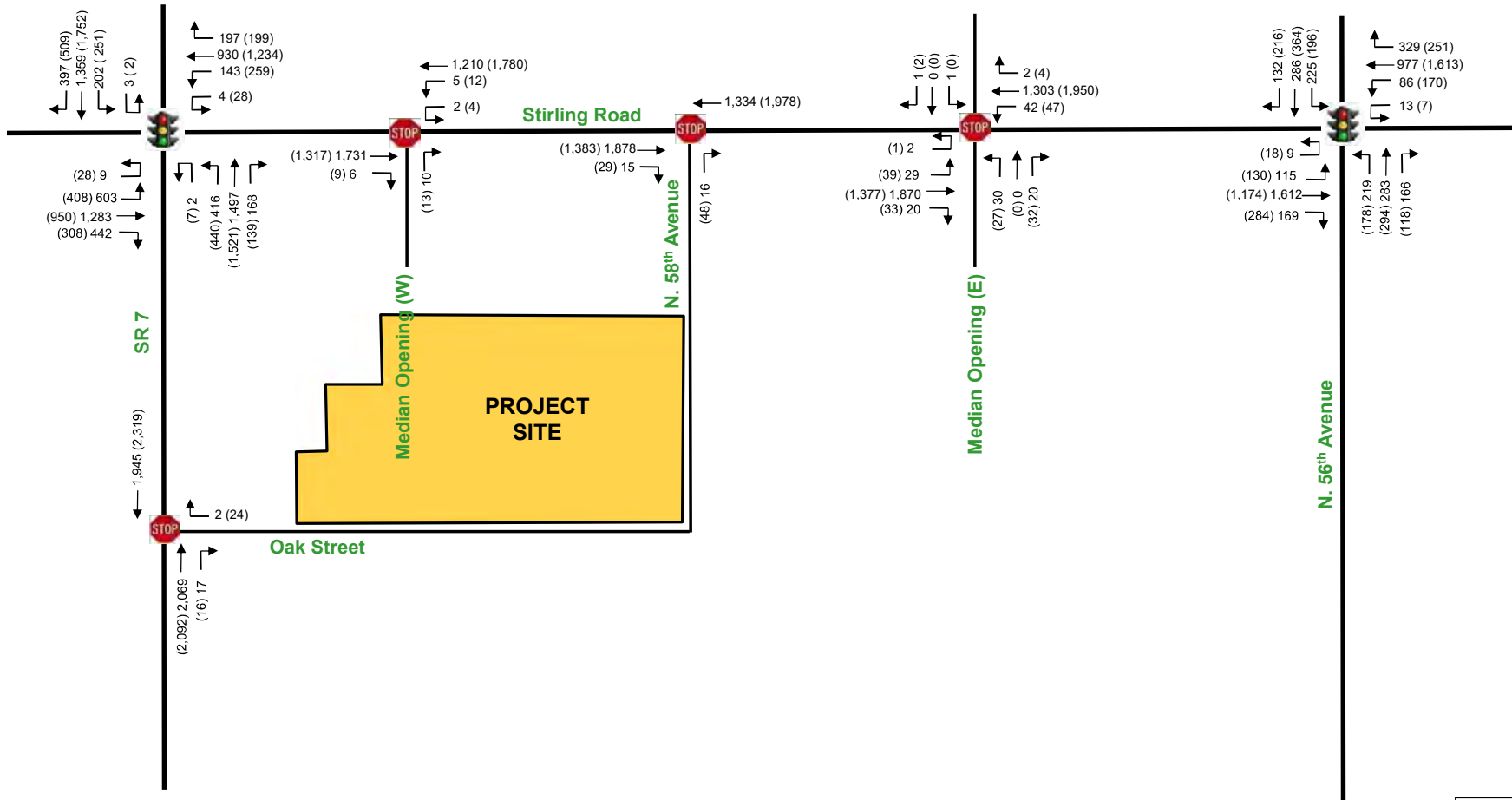
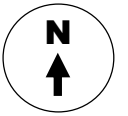
TRAFFIC COUNTS

Traf Tech Engineering, Inc., collected intersection turning movement counts at the six study intersections. The intersection turning movement counts were collected on Tuesday, November 19, 2024 from 7:00 AM and 9:00 AM and from 4:00 PM and 6:00 PM at the following six intersections located near the project site:

1. State Road 7 and Stirling Road
2. State Road 7 and Oak Street
3. Stirling Rd and 1st Median Opening west of N 58th Ave
4. Stirling Road and N 58th Avenue
5. Stirling Rd and 1st Median Opening east of N 58th Ave
6. Stirling Road and N 56th Avenue

Appendix B contains the intersection turning movement counts, as collected in the field. The latest signal timing plans for the signalized intersection were obtained from Broward County Traffic Engineering Division and are also included in Appendix B. The traffic counts were adjusted by utilizing a peak season factor based on FDOT peak season adjustment factors. The State-published adjustment factors are contained in Appendix C.

Figure 3 shows the 2025 peak season AM and PM peak hour traffic volumes.



LEGEND
XX AM Peak Hour
(YY) PM Peak Hour



2025 PEAK SEASON TRAFFIC – AM & (PM) Peak Hour

FIGURE 3
Hollywood Oaks
Hollywood, Florida

TRIP GENERATION

The trip generation for the project was based on information contained in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual* (11th Edition). According to the subject ITE manual, the most appropriate "land use" categories for the proposed uses include ITE's Land Use 221 – Multifamily Housing (Mid-Rise) and ITE's Land Use 561 – Synagogue. The private one-story club-house and the community building (synagogue) for Orthodox Jews. Table 1 summarizes the project trips associated with the proposed residential development.

TABLE 1 Trip Generation Summary Hollywood Oaks - by Kushner								
Land Use	Size	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total Trips	Inbound	Outbound	Total Trips	Inbound	Outbound
Residential Mid-Rise (LUC 221)	470 units	2,195	195	45	150	184	112	72
Synagogue (LUC 561)								
- Based on Size	4,070 sf	120	10	6	4	12	7	5
- Based on Member Families *	70 families	190	15	9	6	19	11	8
Proposed External Trips		2,385	210	54	156	203	123	80

Source: ITE Trip Generation Manual (11th Edition). *Synagogue has 137 seats, assumed 2 seats per family = 69 families, say 70 families

As indicated in Table 1, the trips generated by the proposed residential development consists of approximately 210 trips during the AM peak hour (54 inbound and 156 outbound) and approximately 203 trips during the PM peak hour (123 inbound and 80 outbound).

TRIP DISTRUBUTION AND TRAFFIC ASSIGNMENT

The trip distribution and traffic assignment for the project was based on knowledge of the study area, examination of the surrounding roadway network characteristics, review of current traffic volumes, and existing land use patterns. Based on the above, the following traffic assignment was assumed for the proposed development:

- 35% to and from the north via SR 7
- 20% to and from the south via SR 7
- 25% to and from the west via Stirling Road
- 5% to and from the north via N. 56th Avenue
- 5% to and from the south via N. 56th Avenue
- 10% to and from the east via Stirling Road

The peak hour traffic generated by the project was assigned to the nearby transportation network using the traffic assignment documented above. The new project traffic assignment is summarized in Figure 4.

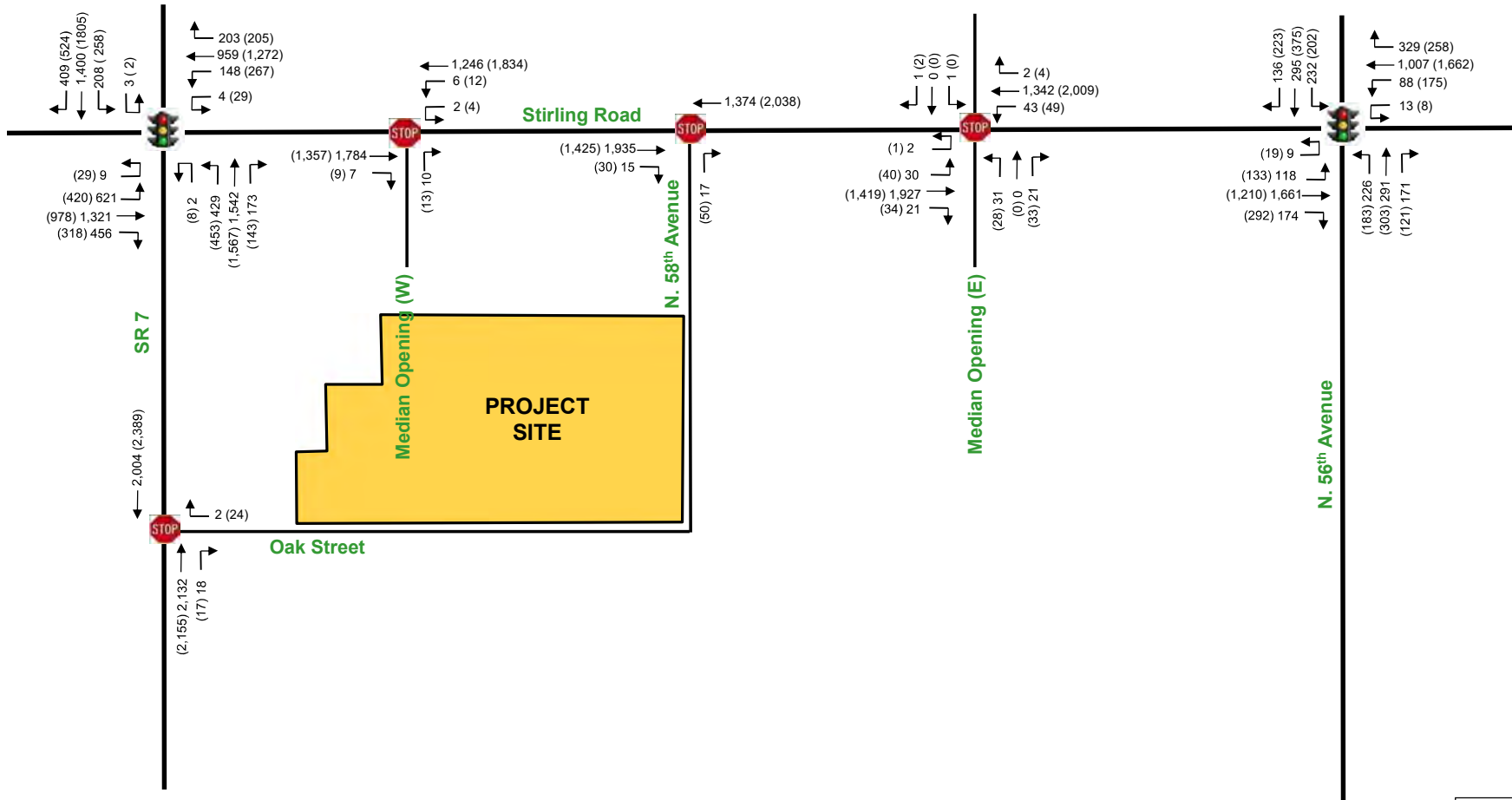
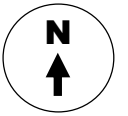
TRAFFIC ANALYSIS

This section of the study includes six (6) parts. The first part consists of developing the future conditions traffic volumes for the study area. The second part includes level-of-service analyses for existing and future conditions. The last four sections address turn lane analysis, access management, maneuverability analysis, and transit services.

Future Conditions Traffic Volumes

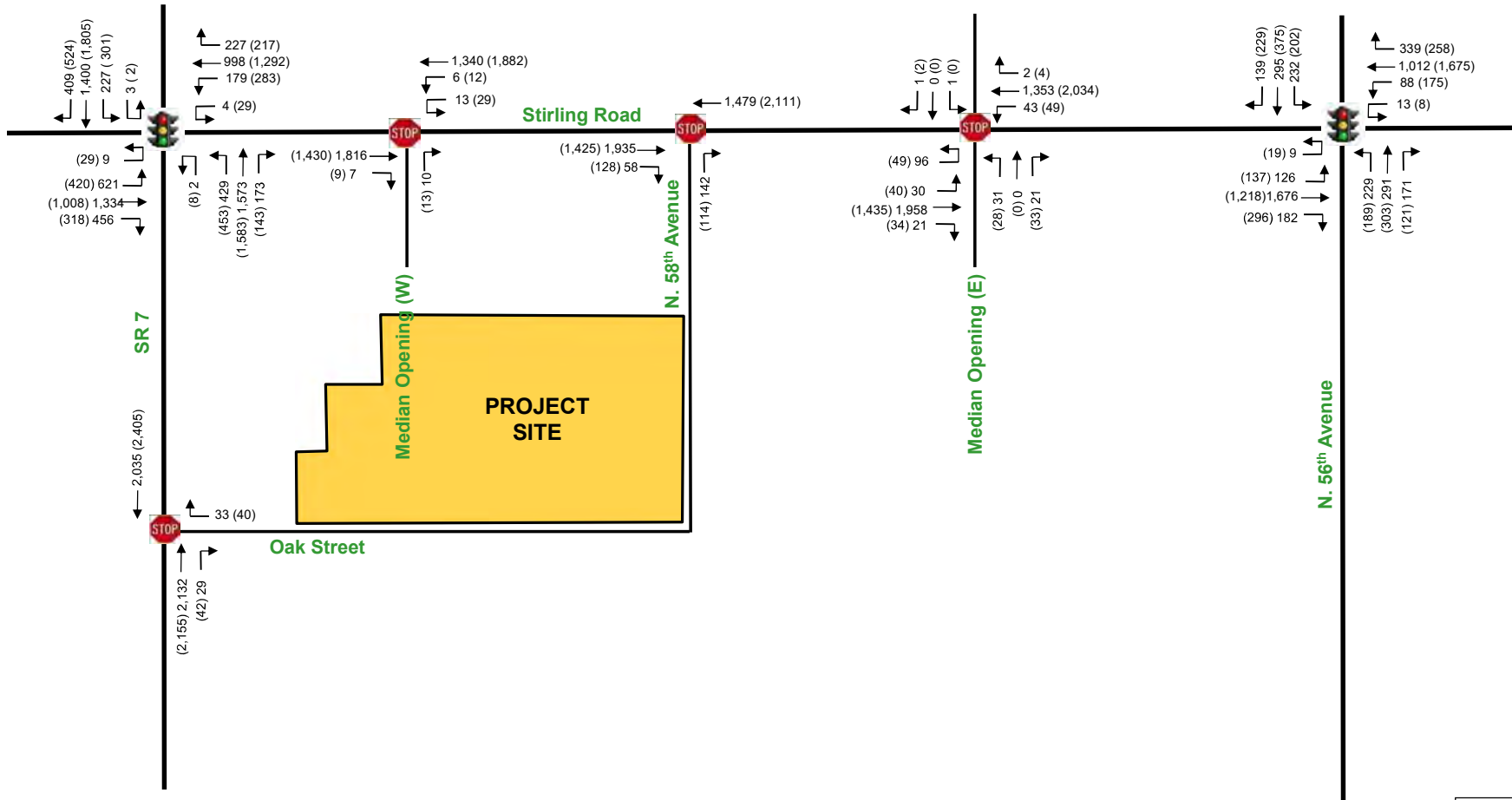
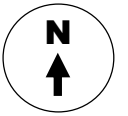
Two sets of future traffic volumes were developed. The first set includes project buildout conditions without the proposed project and the second set adds the new trips anticipated to be generated by the project.

In order to develop year 2028 traffic volumes (project anticipated to be built and occupied by the year 2028), without the proposed project, two separate analyses were undertaken. The first analysis converts the existing peak hour traffic counts collected in the field during the month of November to average peak season conditions. Based on FDOT's Peak Season Factor Category report, a factor of 1.06 is required to convert traffic counts to average peak season conditions (refer to Appendix C). The second analysis includes a growth factor to project 2025 peak season traffic volumes to the year 2028. Based on traffic growth data published by the FDOT for a nearby traffic count stations, traffic growth has not occurred during the past five and ten years (refer to Appendix C). Based on the historical traffic count analysis, a 1.0% growth rate was used for purposes of this study. The future traffic projections for the study intersections (peak season adjustments, and growth rate) are presented in tabular format in Appendix D. Figures 5 and 6 present the year 2028 future traffic volumes for the study area. Figure 5 includes background traffic only (without the proposed project) and Figure 6 includes the additional traffic anticipated to be generated by the subject residential project.



**BACKGROUND TRAFFIC – Year 2028
AM & (PM) Peak Hour**

FIGURE 5
Hollywood Oaks
Hollywood, Florida



LEGEND	
XX	AM Peak Hour
(YY)	PM Peak Hour



**TOTAL TRAFFIC VOLUMES with Project Trips
(Year 2028 Peak Season)**

FIGURE 6
Hollywood Oaks
Hollywood, Florida

Level of Service Analyses

Intersection capacity/level of service analyses were conducted for the six study intersections and access driveways. The analyses were undertaken following the capacity/level of service procedures outlined in the Highway Capacity Manual (HCS) using the SYNCHRO software. The results of the capacity analyses are summarized in Tables 2A and 2B.

As indicated in Table 2A and 2B, all study intersections are currently operating adequately and will continue to operate at a good level of service in the year 2028 with the proposed project in place, except for two intersections. The exceptions are the intersections of SR 7 & Stirling Road, during AM and PM periods and Stirling Road & N. 56th Avenue, during the PM peak period. These intersections are projected to operate deficiently without the project in place. However, with the implementation of minor signal optimization the delay is expected to decrease.

The northbound and southbound approaches of the unsignalized intersection of Stirling Road & Median Opening (East) are expected to operate deficiently with and without the project in place. Note that the proposed project does not add trips to these approaches, instead project trips are added as eastbound U-turns. A review of eastbound left-turn queues with the proposed project in place, revealed that the existing turn lane has sufficient capacity to accommodate the additional trips added by the proposed development. Therefore, no improvements are recommended for this median opening. The 95th Percentile queue of turning lanes affected by the project trips are also summarized in Tables 2A and 2B.

Turn bays impacted by the project trips are highlighted in yellow. As shown in the table, none of the queues exceed beyond the length of the existing turn bays, except for the northbound left-turn (NBL) queue at the intersection of Stirling Road and N.56th Street.

However, both existing and background queues already extend beyond the length of the existing turn bay, indicating background failures.

With the proposed project in place, future queues are projected to increase by zero (0) feet during the AM peak hour and by 13 feet during the PM peak hour. These queues are considered to have minimal impact, as the maximum number of trips added by the proposed development are two (2) AM and six (6) PM peak hour trips. Note that the NBL bay could be extended if necessary.

The computer printouts of the intersection capacity analyses are contained in Appendix E.

Table 2A Level of Service and 95th Percentile Queues - AM Peak Hour															
101: String Rd & SR 7~	Existing	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
		LnGrp Delay(d), s/veh	131.4	59.9	36.5	96.4	129.5	43.6	210.8	99.9		80.1	62.1	25.1	
		LnGrp LOS	F	E	D	F	F	D	F	F		F	E	C	
		Approach Delay, s/veh		74.2			112.4			122.2			56.2		
		Approach LOS		E			F			F			E		
		Intersection Summary													
		HCM 7th Control Delay, s/veh	89.1												
		HCM 7th LOS	F												
		Queue Length 95th (ft)	#532	584	444	#152	#541	122	#424	#902		166	619	309	
		Turn Bay Length (ft)	430		225	370		220	575			510		765	
	Background	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
		LnGrp Delay(d), s/veh	143.6	63.4	37.4	99.4	143.2	44.8	227.3	115.4		80.4	66.1	25.4	
		LnGrp LOS	F	E	D	F	F	D	F	F		F	E	C	
		Approach Delay, s/veh		79.5			122.9			137.9			59.3		
		Approach LOS		E			F			F			E		
		Intersection Summary													
		HCM 7th Control Delay, s/veh	97.5												
		HCM 7th LOS	F												
		Queue Length 95th (ft)	#555	607	466	m#157	#565	128	#441	#946		171	#647	323	
		Turn Bay Length (ft)	430		225	370		220	575			510		765	
	Future	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
		LnGrp Delay(d), s/veh	143.6	65.2	37.4	139	163.1	46.1	227.3	129.4		82.6	66.1	25.4	
		LnGrp LOS	F	E	D	F	F	D	F	F		F	E	C	
		Approach Delay, s/veh		80.4			141.1			148.8			59.8		
		Approach LOS		F			F			F			E		
		Intersection Summary													
		HCM 7th Control Delay, s/veh	104.3												
		HCM 7th LOS	F												
		Queue Length 95th (ft)	#555	615	466	m#201	m#600	m149	#441	#975		185	#647	323	
		Turn Bay Length (ft)	430		225	370		220	575			510		765	
	Future + Optimization	Is Turning Bay OK?	Yes												
		Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
		LnGrp Delay(d), s/veh	159.6	74.4	37.4	113.4	152.5	47.4	170.4	82.9		184.7	70.2	26.1	
		LnGrp LOS	F	E	D	F	F	D	F	F		F	E	C	
		Approach Delay, s/veh		89.6			130.5			100.2			74.2		
		Approach LOS		F			F			F			E		
		Intersection Summary													
		HCM 7th Control Delay, s/veh	95.7												
		HCM 7th LOS	F												
		Queue Length 95th (ft)	#568	#660	466	#189	#590	133	#417	#873		#255	#679	294	
Turn Bay Length (ft)	430		225	370		220	575			510		765			
102: Median Opening (West) & String Rd	Existing	Approach	EB		WB			NB							
		HCM Control Delay, s/v	0		0.15			10.81							
		HCM LOS						B							
		Minor Lane/Major Mvmt		NBLn1	EBT	EBR	WBL	WBT							
		HCM Control Delay (s/veh)		10.8	-	-	25.3	-							
		HCM Lane LOS		B	-	-	D	-							
		HCM 95th %tile Q(veh)		0	-	-	0.1	-							
		Turn Bay Length (ft)					115								
		Is Turning Bay OK?				Yes	Yes								
	Background	Approach	EB		WB			NB							
		HCM Control Delay, s/v	0		0.17			10.94							
		HCM LOS						B							
		Minor Lane/Major Mvmt		NBLn1	EBT	EBR	WBL	WBT							
		HCM Control Delay (s/veh)		10.9	-	-	27.4	-							
		HCM Lane LOS		B	-	-	D	-							
		HCM 95th %tile Q(veh)		0.1	-	-	0.2	-							
		Turn Bay Length (ft)					115								
		Is Turning Bay OK?					Yes								
	Future	Approach	EB		WB			NB							
		HCM Control Delay, s/v	0		0.33			11.01							
		HCM LOS						B							
		Minor Lane/Major Mvmt		NBLn1	EBT	EBR	WBL	WBT							
		HCM Control Delay (s/veh)		11	-	-	23.8	-							
		HCM Lane LOS		B	-	-	C	-							
		HCM 95th %tile Q(veh)		0.1	-	-	0.3	-							
		Turn Bay Length (ft)					115								
		Is Turning Bay OK?					Yes								
103: N 98 Ave & String Rd	Existing	Approach	EB		WB			NB							
		HCM Control Delay, s/v	0		0			11.25							
		HCM LOS						B							
		Minor Lane/Major Mvmt		NBLn1	EBT	EBR	WBL	WBT							
		HCM Control Delay (s/veh)		11.2	-	-	-	-							
		HCM Lane LOS		B	-	-	-	-							
		HCM 95th %tile Q(veh)		0.1	-	-	-	-							
		Approach	EB		WB			NB							
		HCM Control Delay, s/v	0		0			13.48							
		HCM LOS						B							
	Background	Approach	EB		WB			NB							
		HCM Control Delay, s/v	0		0			11.4							
		HCM LOS						B							
		Minor Lane/Major Mvmt		NBLn1	EBT	EBR	WBL	WBT							
		HCM Control Delay (s/veh)		11.4	-	-	-	-							
		HCM Lane LOS		B	-	-	-	-							
		HCM 95th %tile Q(veh)		0.1	-	-	-	-							
		Approach	EB		WB			NB							
		HCM Control Delay, s/v	0		0			13.48							
		HCM LOS						B							
Future	Approach	EB		WB			NB								
	HCM Control Delay, s/v	0		0			11.01								
	HCM LOS						B								
	Minor Lane/Major Mvmt		NBLn1	EBT	EBR	WBL	WBT								
	HCM Control Delay (s/veh)		13.5	-	-	-	-								
	HCM Lane LOS		B	-	-	-	-								
	HCM 95th %tile Q(veh)		1	-	-	-	-								
	Turn Bay Length (ft)					115									
	Is Turning Bay OK?					Yes									
	104: Median Opening (East) & String Rd	Existing	Approach	EB		WB			NB					SB	
HCM Control Delay, s/v			0.33					1.44		NB	77.5		28.58		
HCM LOS								F		F			D		
Minor Lane/Major Mvmt				NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1				
HCM Control Delay (s/veh)				77.5	20.2	-	-	46.3	-	-	28.6				
HCM Lane LOS				F	C	-	-	E	-	-	D				
HCM 95th %tile Q(veh)				2.4	0.4	-	-	1.4	-	-	0				
Approach			EB		WB			NB					SB		
HCM Control Delay, s/v			0.34					1.59		100.46			31.63		
HCM LOS								F		D					
Background		Approach	EB		WB			NB					SB		
		HCM Control Delay, s/v	0.34					1.59		100.46			31.63		
		HCM LOS						F		D					
		Minor Lane/Major Mvmt		NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1				
		HCM Control Delay (s/veh)		100.5	21.1	-	-	51.4	-	-	31.6				
		HCM Lane LOS		F	C	-	-	F	-	-	D				
		HCM 95th %tile Q(veh)		2.9	0.4	-	-	1.5	-	-	0				
		Turn Bay Length (ft)			240										
		Is Turning Bay OK?			Yes										
		Future	Approach	EB		WB			NB					SB	
HCM Control Delay, s/v			0.34					1.59		100.46			31.63		
HCM LOS								F		D					
Minor Lane/Major Mvmt				NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1				
HCM Control Delay (s/veh)				100.5	21.1	-	-	51.4	-	-	31.6				
HCM Lane LOS				F	C	-	-	F	-	-	D				
HCM 95th %tile Q(veh)				2.9	0.4	-	-	1.5	-	-	0				
Turn Bay Length (ft)					240										
Is Turning Bay OK?				Yes											
105: N 56th Avenue & String Rd	Existing		Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
		LnGrp Delay(d), s/veh	51.3	42.0	42.4	43.0	36.8		60.9	79.2	54.7	60.0	75.6	52.1	
		LnGrp LOS	D	D	D	D	D		E	E	D	E	E	D	
		Approach Delay, s/veh		42.6			37.2			67.1			65.3		
		Approach LOS		D			D			E			E		
		Intersection Summary													
		HCM 7th Control Delay, s/veh	47.7												
		HCM 7th LOS	D												
		Queue Length 95th (ft)	m132	m#741	m80	137	556		232	414	110	247	412	58	
		Turn Bay Length (ft)	230		230	290			175	175	175	210			
	Background	Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
		LnGrp Delay(d), s/veh	52.7	44.2	43.7	44.3	38		64.0	80.9	54.7	63.0	77.3	51.9	
		LnGrp LOS	D	D	D	D	D		E	F	D	E	E	D	
		Approach Delay, s/veh		44.7			38.4			68.8			67.1		
		Approach LOS		D			D			E			E		
		Intersection Summary													
		HCM 7th Control Delay, s/veh	49.4												
		HCM 7th LOS	D												
		Queue Length 95th (ft)	m131	m#783	m80	141	579	252	427	116	264	426		59	
		Turn Bay Length (ft)	230		230	290			175		175	210			
	Future	Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
		LnGrp Delay(d), s/veh	52.1	44.7	42.8	44.2	38.7		65	80.5	54.4	62.4	77.9	52	
		LnGrp LOS	D	D	D	D	D		E	F	D	E	E	D	
		Approach Delay, s/veh		45.1			39.1			69.0			67.1		
		Approach LOS		D			D			E			E		
		Intersection Summary													
		HCM 7th Control Delay, s/veh	49.8												
HCM 7th LOS		D													
Queue Length 95th (ft)		m145	m#791	m84	140	582	259	427	116	262	426		59		
Turn Bay Length (ft)		230		230	290			175		175	210				
106: SR 7 & Oak St	Existing	Approach	WB		NB			SB							
		HCM Control Delay, s/v	12.38		0		0								
		HCM LOS	B												
		Minor Lane/Major Mvmt		NBT	NBR	WBLn1	SBT								
		HCM Control Delay (s/veh)		-	-	12.4	-								
		HCM Lane LOS		-	-	B	-								
		HCM 95th %tile Q(veh)		-	-	0	-								
		Approach	WB		NB			SB							
		HCM Control Delay, s/v	12.6		0		0								
		HCM LOS	B												
Background	Minor Lane/Major Mvmt		NBT	NBR	WBLn1	SBT									
	HCM Control Delay (s/veh)		-	-	12.6	-									
	HCM Lane LOS		-	-	B	-									
	HCM 95th %tile Q(veh)		-	-	0	-									
	Approach	WB		NB			SB								
	HCM Control Delay, s/v	13.27		0		0									

Table 2B Level of Service and 95th Percentile Queues - PM Peak Hour														
101: Stirling Rd & SR 7*	Existing	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
		LnGrp Delay(d), s/veh	102.5	60.2	39.9	94.6	118.3	43.7	200.1	78.0		92.3	110.7	35.3
		LnGrp LOS	F	E	D	F	F	D	F	E		F	F	D
		Approach Delay, s/veh		67.4			105.7			103.9			93.6	
		Approach LOS		E			F			F			F	
	Background	Intersection Summary												
		HCM 7th Control Delay, s/veh	93.4											
		HCM 7th LOS	F											
		Queue Length 95th (ft)	#387	462	313	240	#735	184	#475	#913		#552	#993	522
		Turn Bay Length (ft)	430		225	370		220	575			510		765
	Future	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
		LnGrp Delay(d), s/veh	105.7	61.4	40.5	95.2	133.7	43.9	214.5	87.5		92.9	123.6	35.7
		LnGrp LOS	F	E	D	F	F	D	F	F		F	F	D
		Approach Delay, s/veh		69			116.9			114.4			102.8	
		Approach LOS		E			F			F			F	
	Future + Optimization	Intersection Summary												
		HCM 7th Control Delay, s/veh	101.7											
		HCM 7th LOS	F											
		Queue Length 95th (ft)	#406	495	326	#269	#792	m207	#494	#974		#269	#1042	548
		Turn Bay Length (ft)	430		225	370		220	575			510		765
102: Median Opening (West) & Stirling Rd	Existing	Lane Group	EBL	EBL	EBL	EBL	EBL	EBL	EBL	EBL	EBL	EBL	EBL	EBL
		LnGrp Delay(d), s/veh	139.8	67.5	41.6	97.3	144.2	45.4	167.1	70.4		139.2	115.8	37.1
		LnGrp LOS	F	E	D	F	F	D	F	e		F	F	D
		Approach Delay, s/veh		81.2			124.4			90.8			102.8	
		Approach LOS		F			F			F			E	
	Background	Intersection Summary												
		HCM 7th Control Delay, s/veh	99.8											
		HCM 7th LOS	F											
		Queue Length 95th (ft)	#442	507	329	#269	#789	215	#470	#885		#317	#1029	562
		Turn Bay Length (ft)	430		225	370		220	575			510		765
	Future	Approach	EB		WB			NB						
		HCM Control Delay, s/v	0		0.18			10.31						
		HCM LOS						B						
		Minor Lane/Major Mvmt		NBLn1	EBT	EBR	WBL	WBT						
		HCM Control Delay (s/veh)		10.3	-	-	21.3	-						
103: N 59 Ave & Stirling Rd	Existing	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
		LnGrp Delay(d), s/veh	102.5	60.2	39.9	94.6	118.3	43.7	200.1	78.0		92.3	110.7	35.3
		LnGrp LOS	F	E	D	F	F	D	F	E		F	F	D
		Approach Delay, s/veh		67.4			105.7			103.9			93.6	
		Approach LOS		E			F			F			F	
	Background	Intersection Summary												
		HCM 7th Control Delay, s/veh	93.4											
		HCM 7th LOS	F											
		Queue Length 95th (ft)	#387	462	313	240	#735	184	#475	#913		#552	#993	522
		Turn Bay Length (ft)	430		225	370		220	575			510		765
	Future	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
		LnGrp Delay(d), s/veh	105.7	61.4	40.5	95.2	133.7	43.9	214.5	87.5		92.9	123.6	35.7
		LnGrp LOS	F	E	D	F	F	D	F	F		F	F	D
		Approach Delay, s/veh		69			116.9			114.4			102.8	
		Approach LOS		E			F			F			F	
104: Median Opening (East) & Stirling Rd	Existing	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
		LnGrp Delay(d), s/veh	102.5	60.2	39.9	94.6	118.3	43.7	200.1	78.0		92.3	110.7	35.3
		LnGrp LOS	F	E	D	F	F	D	F	E		F	F	D
		Approach Delay, s/veh		67.4			105.7			103.9			93.6	
		Approach LOS		E			F			F			F	
	Background	Intersection Summary												
		HCM 7th Control Delay, s/veh	93.4											
		HCM 7th LOS	F											
		Queue Length 95th (ft)	#387	462	313	240	#735	184	#475	#913		#552	#993	522
		Turn Bay Length (ft)	430		225	370		220	575			510		765
	Future	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
		LnGrp Delay(d), s/veh	105.7	61.4	40.5	95.2	133.7	43.9	214.5	87.5		92.9	123.6	35.7
		LnGrp LOS	F	E	D	F	F	D	F	F		F	F	D
		Approach Delay, s/veh		69			116.9			114.4			102.8	
		Approach LOS		E			F			F			F	
105: N 58th Avenue & Stirling Rd	Existing	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
		LnGrp Delay(d), s/veh	102.5	60.2	39.9	94.6	118.3	43.7	200.1	78.0		92.3	110.7	35.3
		LnGrp LOS	F	E	D	F	F	D	F	E		F	F	D
		Approach Delay, s/veh		67.4			105.7			103.9			93.6	
		Approach LOS		E			F			F			F	
	Background	Intersection Summary												
		HCM 7th Control Delay, s/veh	93.4											
		HCM 7th LOS	F											
		Queue Length 95th (ft)	#387	462	313	240	#735	184	#475	#913		#552	#993	522
		Turn Bay Length (ft)	430		225	370		220	575			510		765
	Future	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
		LnGrp Delay(d), s/veh	105.7	61.4	40.5	95.2	133.7	43.9	214.5	87.5		92.9	123.6	35.7
		LnGrp LOS	F	E	D	F	F	D	F	F		F	F	D
		Approach Delay, s/veh		69			116.9			114.4			102.8	
		Approach LOS		E			F			F			F	
106: SR 7 & Oak St	Existing	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
		LnGrp Delay(d), s/veh	102.5	60.2	39.9	94.6	118.3	43.7	200.1	78.0		92.3	110.7	35.3
		LnGrp LOS	F	E	D	F	F	D	F	E		F	F	D
		Approach Delay, s/veh		67.4			105.7			103.9			93.6	
		Approach LOS		E			F			F			F	
	Background	Intersection Summary												
		HCM 7th Control Delay, s/veh	93.4											
		HCM 7th LOS	F											
		Queue Length 95th (ft)	#387	462	313	240	#735	184	#475	#913		#552	#993	522
		Turn Bay Length (ft)	430		225	370		220	575			510		765
	Future	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
		LnGrp Delay(d), s/veh	105.7	61.4	40.5	95.2	133.7	43.9	214.5	87.5		92.9	123.6	35.7
		LnGrp LOS	F	E	D	F	F	D	F	F		F	F	D
		Approach Delay, s/veh		69			116.9			114.4			102.8	
		Approach LOS		E			F			F			F	

Turn Lane Evaluation

A turn lane analysis was performed using the FDOT 2019 Access Management Guidebook and AASHTO 7th edition for the proposed access driveways.

A Right Turn Deceleration Lane based on FDOT Access Management Guidebook (2019), for roadways with posted speed limit of 45 mph or less, right-turn lane is recommended if the development generates 80-125 trips in the peak hour.

Following AASHTO 7th edition, left turn lane in compliance with the Florida's Green Book shall be provided at each access point if the traffic volumes summarized in Table 3 are met.

Table 3	
Left-turn Lane Criteria	
Left-turn Volume	Through Volume *
25	200
30	150
35	150
40	150
45	150
50 or more	100

Source: AASHTO 7th edition

* Three-legged intersection

- Major road volume

Based on the anticipated peak hour trips for the driveways at build-out conditions (refer to Figure 4), the following can be concluded as shown in Table 4, a dedicated right-turn turn lane is warranted at the intersection of Stirling Road and N.58th Avenue.

Table 4 Hollywood Oaks Need for Turning Lanes								
Location	Jurisdiction	RT Volume Requirement (vph)*	RT Volume (vph)**	RT Lane Required ?	LT and TH Volume Requirements (vph)*	LT Volume (vph)**	TH Volume (vph)**	LT Lane Required ?
N.58th Avenue & Stirling Road	FDOT	80	58/128	Yes				
N.58th Avenue & Driveway	City	80	18/45	No				
Oak Street & Driveway	City	80	18/45	No	See Table 3	9/22	17/31	No

* Source: AASHTO 7th edition and FDOT 2019 Access Management Guidebook

** Volumes extracted from Figure 4 and Synchro outputs

Maneuverability Analysis

The maneuverability analysis was undertaken using the AutoTURN software. Software runs for parking and unparking maneuvers of automobiles at the ground level of the parking structure were undertaken and are included in the civil engineering plan set submitted for the project. The ground floor plan included in Appendix A shows the T-turn maneuver for the fire trucks.

Access Management

The roadway segment of Stirling Road (SR 848), from SR 7 to N. 56th Avenue is classified by FDOT as an Access Class 5 facility. As such, the spacing for traffic signals and full median openings should be no less than 1,320 feet. Directional median openings should have a spacing of 660 feet, or more. As shown in Figure 7, there is a partial (does not physically prohibit southbound lefts) directional median opening located approximately 680 feet east of SR 7 (meets access management standards). The two full median openings located between N 58th Avenue and N 56th Avenue are in violation with

FDOT's access management standards. A traffic signal (with a new full median opening) located at N 58th Avenue would be in compliance with FDOT spacing standards (1,330 feet from existing traffic signals located east and west).



Based on the above, it is recommended that a signal warrant analysis be conducted at the Stirling Road/N 58th Avenue intersection prior to meeting with FDOT for a pre-app meeting. Recommendations regarding a fully operational traffic signal at the N 58th Avenue location, and closures/modifications of nearby median openings will be documented as part of the signal warrant analysis for review with FDOT.

It is important to note that the proposed project does not add many westbound U-turn trips (9 AM/23PM) to the median opening located west of N 58th Avenue and eastbound U-turn trips of 30 AM/14 PM at the median opening located immediately east of N 58th Avenue. Moreover, a review of vehicle queues with the proposed project in place (see Table 2), revealed that the existing turn lanes have sufficient capacity to accommodate the additional trips added by the proposed development. Therefore, additional lengthening of these turn lanes is not required as a result of the Hollywood Oaks project.

Transit Services

Currently, Broward County Transit (BCT) routes 15, 18, and 16 serve the study area. BCT Routes 15 and 18 travel north and south along SR 7. For northbound traffic, there is a bus stop on the east side of SR 7, just south of Oak Street. For southbound traffic, there is a bus stop on the west side of SR 7, north of Stirling Road.

BCT Routes 15 and 16 travel east and west along Stirling Road. For eastbound traffic, there are two bus stops on the south side of Stirling Road, one east of SR 7 and the other one east of N. 56th Avenue. For westbound traffic, there are two bus stops on the north side of Stirling, one west of N. 56th Avenue and the other one, east of State Road 7.

Pedestrian features are provided at the signalized intersections of SR 7 & Stirling Road and Stirling Road & N. 56th Avenue.

Traffic Control Plan (CTP)

CONCLUSIONS AND RECOMMENDATIONS

Hollywood Oaks is a proposed 8-story residential development planned to be located at 4220 & 4231 N 58th Avenue in the City of Hollywood, Broward County, Florida. The site will be developed with the following land uses and intensities:

- 470 residential units (mid-rise)
- 7-level parking garage
- A private one-story club house
- A community building (synagogue) for Orthodox Jews (no driving expected)

Access to the parking garage is provided via two full-access driveways, one on N 58th Avenue and another on Oak Street. The club house has two access driveways off of N 58th Avenue. Additionally, there are two drop-off areas with two driveways each, one on N 58th Avenue and another on Oak Street. N 58th Avenue connects with Stirling Road as a right-turn in/right-turn out driveway. Similarly, Oak Street connects with SR 7 as a right-turn in-right-turn out.

The conclusions of the traffic study are presented below:

- The project trips anticipated to be generated by the proposed residential development consist of approximately 210 trips during the AM peak hour (54 inbound and 156 outbound) and approximately 203 trips during the PM peak hour (123 inbound and 80 outbound).
- All study intersections are currently operating adequately and will continue to operate at a good level of service in the year 2028 with the proposed project in place, except for two intersections. The exceptions are the intersections of SR 7 & Stirling Road and Stirling Road & N. 56th Avenue, during AM and PM peak periods. These intersections are projected to operate deficiently without the project in place. However, with the implementation of minor signal optimization the delay is expected to decrease.

-
- The northbound and southbound approaches of the unsignalized intersection of Stirling Road & Median Opening (East) are expected to operate deficiently with and without the project in place. Note that the proposed project does not add trips to these approaches, instead project trips are added as eastbound U-turns. A review of eastbound left-turn queues with the proposed project in place, revealed that the existing turn lane has sufficient capacity to accommodate the additional trips added by the proposed development.
 - The segment of Stirling Road (SR 848), from SR 7 and N 56th Avenue has two traffic signals and three median openings. Furthermore, this section of SR 848 does not meet current FDOT access management standards.
 - A meeting should be held with FDOT to discuss the future trips impacting Stirling Road via N 58th Avenue and SR 7 via Oak Street. The potential for installing a traffic signal at the intersection of Stirling Road and N 58th Avenue should be explored with the state.

Based on the above, it is recommended that a signal warrant analysis be conducted at the Stirling Road/N 58th Avenue intersection prior to meeting with FDOT for a pre-app meeting. Recommendations regarding a fully operational traffic signal at the N 58th Avenue location, and closures/modifications of nearby median openings will be documented as part of the signal warrant analysis for review with FDOT.

APPENDIX A

Traffic Methodology



Hollywood Oaks - By Kushner

4220 & 4231 N 58th Avenue

Hollywood, Florida 33021

prepared for:

Kushner Realty Acquisition, LLC

traffic methodology

November 13, 2024

Mr. Raphael Schwartz
Senior Vice President
Development and Construction
KUSHNER
188 Bal Bay Drive
Bal Harbour, Florida 33154

Re: Hollywood Oaks by Kushner - Traffic Statement and Traffic Methodology

Dear Rafi:

Traf Tech Engineering, Inc. has prepared this traffic memorandum and proposed traffic methodology in connection with a proposed 8-story residential development to be located at 4220 & 4226 N 58th Avenue in the City of Hollywood, Florida. The project will consist of up to 470 mid-rise residential units and a 7-level parking garage. The proposed site plan for the project is contained in Attachment A. This traffic memorandum addresses the following topics:

- o Trip Generation
- o Proposed Traffic Methodology

Trip Generation

A trip generation analysis was performed for the site using the trip generation equations published in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual (11th Edition)*. The trip generation analyses were undertaken for daily, AM peak hour, and PM peak hour conditions. According to ITE's *Trip Generation Manual (11th Edition)*, the trip generation equations used for the analyses are presented below:

Multifamily Mid Rise (ITE Land Use 221)

Daily Trips

$$T = 4.77 (X) - 46.46$$

Where T = average daily vehicle trip ends and X = number of units

AM Peak Hour

$$T = 0.44 (X) - 11.61 \text{ with 23\% inbound and 77\% outbound}$$

Where T = AM peak hour trip ends and X = number of units

PM Peak Hour

$$T = 0.39 (X) + 0.34 \text{ with 61\% inbound and 39\% outbound}$$

Where T = PM peak hour trip ends and X = number of units

Using the above-listed trip generation equations from the ITE document, a trip generation analysis was undertaken for the Hollywood Oaks project. The results of this effort are documented in Table 1. As shown in the table, the residential development is projected to generate approximately 2,195 daily trips, approximately 195 AM peak hour trips (45 inbound and 150 outbound) and approximately 184 trips during the typical afternoon peak hour (112 inbound and 72 outbound).

TABLE 1 Trip Generation Summary Hollywood Oaks - by Kushner									
			Daily	AM Peak Hour			PM Peak Hour		
Land Use	Size		Trips	Total Trips	Inbound	Outbound	Total Trips	Inbound	Outbound
Residential Mid-Rise (LUC 221)	470	units	2,195	195	45	150	184	112	72
Proposed External Trips			2,195	195	45	150	184	112	72
Source: ITE Trip Generation Manual (11th Edition)									

Source: ITE Trip Generation Manual (11th Edition)

Please give me a call if you have any questions.

Sincerely,

TRAFTech ENGINEERING, INC.

Joaquin E. Vargas, P.E.
Senior Transportation Engineer

PROPOSED TRAFFIC METHODOLOGY

- The trip generation analysis will be based upon the Institute of Transportation Engineers (ITE) *Trip Generation Manual (11th Edition)*. Table 1 on the previous page documents the trip generation associated with the proposed residential development. The residential building is planned to have up to eight (8) stories.
- The trip distribution and assignment of project traffic will be based upon the roadway system near the project site and current traffic volumes on State Road 7 and Stirling Road. The trip distribution will be provided to the City for review and acceptance prior to completing the traffic study.
- The subject traffic study will evaluate the following intersections during the typical AM and PM peak periods:
 - State Road 7 and Stirling Road (signalized) ✓
 - State Road 7 and Oak Street (stop control) ✓
 - Stirling Rd and 1st Median Opening west of N 58th Ave (stop control) ✓
 - Stirling Road and N 58th Avenue (stop control) ✓
 - Stirling Rd and 1st Median Opening east of N 58th Ave (stop control)
 - Stirling Road and N 56th Avenue (signalized) ✓
- Traffic counts will be performed at the study intersections on a typical weekday during the AM peak period (7:00 AM – 9:00 AM) and the PM peak period (4:00 PM – 6:00 PM). These counts will include bicyclists and pedestrians. The traffic counts will be collected when school is in session.
- Traffic counts will be adjusted to reflect average peak season conditions based upon the most recent available FDOT adjustment factors.
- A growth factor will be applied to the traffic counts to reflect future traffic conditions at project build-out. The growth factor will be based upon historical traffic data available for the area near the project site.
- Traffic associated with the committed developments will be provided by the City of Hollywood:

- Existing traffic signal timing data for the study intersections will be obtained from Broward County Traffic Engineering Division and will be included in the Appendix of the traffic study.
- Traffic analysis will be prepared for each of the study intersections and project driveways for the following scenarios:
 - Existing (2024) traffic conditions
 - Background traffic conditions for buildout year (2028)
 - Future conditions with growth rate, committed development and project traffic for the buildout year (2028)
- The level of service and delay for the study intersections and project driveways will be summarized by movement and approach as well as for the overall intersection. If necessary, mitigation of impacts will be recommended. A turn lane analysis will also be performed.
- Intersection and driveway analyses will be conducted using the Synchro software for existing conditions, future conditions without the project, and future conditions with the proposed project in place. The Highway Capacity Manual (HCM) 6th or 2000 Edition will be used, as applicable. Synchro files will be provided as part of the traffic study. The level of service, delay, and queue will be provided for all movements, approaches, and overall intersection for all study locations and driveways. The pedestrian volumes and pedestrian calls will be coded into the SYNCHRO software for each study locations.
- Queuing at entry gates, if applicable, will be addressed in the traffic study.
- The traffic study will address loading areas (description, locations and maneuverability analysis using the AutoTURN software).
- The traffic report will have an access management section for Stirling Road from SR 7 to N 56th Avenue. An evaluation of a traffic signal at N 58th Avenue, potential median closures, queueing at EB and WB turn lanes, and an FDOT Pre-App meeting letter from the State.
- The traffic study will include a multimodal section addressing non-automobile modes of transportation.

- A Traffic Control Plan (TCP) depicting proposed signing and markings within the parking areas and access driveways will be included in the traffic study.
- If valet service is proposed for the project, a valet operations plan will be prepared addressing valet station(s), parking and retrieval routes, valet parking and number of valet attendants required to prevent traffic queues from interfering with on-site circulation or from spilling onto public streets. Ridesharing will be documented.
- The traffic report will include a traffic mitigation section addressing intersection/roadway improvements, signal timing modifications, turn lane storage needs, pedestrian facility improvements, lighting, etc.
- The results of the traffic impact analysis will be documented in a technical report with an executive summary. All traffic data obtained for this project will be included in the Appendix of the traffic study.

APPENDIX G

FDOT Pre-App Letter



Florida Department of Transportation

RON DESANTIS
GOVERNOR

3400 West Commercial Boulevard
Fort Lauderdale, FL 33309

JARED W. PERDUE, P.E.
SECRETARY

June 5, 2025

THIS PRE-APPLICATION LETTER IS VALID UNTIL – June 5, 2026
THIS LETTER IS NOT A PERMIT APPROVAL

Michael Troxell, P.E.
Thomas Engineering Group, LLC
6300 NW 31st Avenue, Fort Lauderdale, FL 33309

Dear Michael Troxell, P.E.:

RE: Pre-Application Review for **Category D Driveway**, Pre-Application Meeting Date: **4/17/2025, 4:15 PM**
Broward County - Hollywood; SR 848; Sec. # 86016000; MP: 3; Access Class - 05;
Posted Speed - 45; SIS – N/A; FDOT Ref. Project: 446370.1 (Thuc Le)

Request: Driveway connections along N 58th Avenue (not FDOT jurisdiction).

SITE SPECIFIC INFORMATION

Project Name & Address: **Hollywood Oaks – 4220 N 58th Ave, Hollywood, FL, 33021, USA**
Property Owner: **4220 N 58th Avenue Partners LLC**; Parcel Size: **4.2 Acres**
Development Size: **470 Multifamily (Mid-Rise) Dwelling Units**

NO OBJECTION

This decision is based on your presentation of the facts, site plan and survey - please see the conditions and comments below. You may choose to review this concept further with the District Access Management Review Committee (AMRC).

Conditions:

- **Driveway connections along N 58th Street (not FDOT jurisdiction) shall be located a minimum of 25 feet from Department right-of-way.**

Comments:

- **If a signal is proposed at the intersection of N 58th Street and SR 848, a signal warrant analysis shall be conducted using actual traffic volumes post construction of the subject development to determine the need for a traffic signal. Sufficient right-of-way along the north and south side of SR 848 must be available or donated to the Department to install the traffic signal. If a signal is warranted, a surety bond with the County shall be posted. Bond funds will be used to design and construct the traffic signal and subsequent median modifications via Department Construction Agreement (permit).**
- All driveways not approved in this letter must be fully removed and the area restored.
- Drainage mitigation is required for any stormwater impacts within FDOT right-of-way (i.e. increased runoff or reduction of existing storage.). The drainage mitigation shall meet all FDOT Drainage Manual criteria and will be reviewed/approved as part of an access permit.
- The applicant shall donate property to the Department if right-of-way dedication is required to implement the improvements.
- Dimensions between driveways are measured from the near edge of pavement to near edge of pavement and for median openings are measured from centerline to centerline unless otherwise indicated.

The purpose of this Pre-Application letter is to document the conceptual review of the approximate location of driveway(s) to the State Highway System and to note required improvements, if any. This letter shall be submitted with any further reviews and for permitting. The Department's personnel shall review permit plans for compliance with this letter as well as current Department standards and/or specifications. Final design must consider the existing roadway profile and any impacts to the existing drainage system. **Note, this letter does not guarantee permit approval.** The permit may be denied based on the review of the submitted engineering plans. Be aware that any approved median openings may be modified (or closed) in the future, at the sole discretion of the Department. For right-of-way dedication requirements go to: <https://osp.fdot.gov>; click on Statewide Permit News; Scroll down to District 4; Scroll down to Additional Information and Examples and choose Right-of-way Donations/Dedications.

Please contact the District Traffic Operations Access Manager - Tel. # 954-777-4363 or e-mail: D4AccessManagement@dot.state.fl.us with any questions regarding the Pre-Approval Letter.

Sincerely,

Roya Edwards, AICP
District Traffic Operations Access Manager

cc: Anthony Beecher

File: S:\Transportation Operations\Traffic Operations\Access Management\1. Pre-Apps and Variance\2025-04-17\Pre-App 08 86016000 MP 3.00 SR 848 Hollywood Oaks\86016000 MP 3.00 SR 848 Hollywood Oaks.docx

February 19, 2025

Mr. Raphael Schwartz
Senior Vice President
Development and Construction
KUSHNER
188 Bal Bay Drive
Bal Harbour, Florida 33154

Re: Hollywood Oaks by Kushner - Parking Needs Study

Dear Rafi:

Per the City's request, Traf Tech Engineering, Inc. has determined the parking needs associated with the proposed 470-unit Hollywood Oaks residential development planned to be located at 4220 & 4231 N 58th Avenue in the City of Hollywood in Broward County, Florida. As shown in the site plan contained in Attachment A, the project consists of the following mix of residential units and amenities:

470 residential units

- 80 studios
 - 132 one-bedroom units
 - 122 one-bedroom units with den
 - 52 two-bedroom units
 - 76 two-bedroom units with den
 - 8 three-bedroom units
- 470 units total (614 bedrooms)

812 parking spaces

- 785 parking spaces in the parking garage
- 27 surface parking spaces

Additionally, the project includes a clubhouse, an existing historic building and a community building (4,071 square-foot synagogue).

Parking Needs Based on City of Hollywood Code

According to the City of Hollywood Land Development Regulations, the following parking requirements apply to the Hollywood Oaks project:

Parking Requirements

- | | |
|--|----------------------------|
| o 470 residential units x 1.5 spaces per unit | = 705 parking spaces |
| o Residential guests (1/5 units) | = 94 parking spaces |
| o Synagogue (1/60 sf of floor area + 1/4seats) | = <u>69 parking spaces</u> |
| | = 868 parking spaces |

Parking Provided

- o 812 parking spaces

It is important to note that the synagogue is for Orthodox Jews and therefore, very little to no automobile traffic is expected. Additionally, many members of the synagogue will live in the residential building located within the same complex. Hence, only residents + guests will require parking spaces, or 799 parking spaces. **Therefore, parking is expected to be adequate for this development based on City Code by recognizing the low vehicular use of the Synagogue.**

Parking Needs Based on Traffic Engineering and Planning Industry Standards

The parking needs for this development using parking rates published by the Institute of Transportation Engineers (ITE) in their *Parking Generation Manual (6th Edition)* and by the Urban Land Institute in their *Shared Parking (Third Edition)* were developed.

Based on ITE's *Parking Generation Manual (6th Edition)*, mid-rise multi-family developments (ITE's LUC 221) has the following conservative requirement¹ to determine the amount of parking spaces required for this type of residential development:

Parking Needs = 1.00 (X), where X = number of bedrooms

Using the above formula, the 614 bedrooms require 614 parking spaces. Adding the 94 parking stalls for guests + 69 parking spaces for the Synagogue (ultra conservative), the total parking needs are = 777 parking spaces. Since 812 parking stalls are proposed, **parking is projected to be adequate for the Hollywood Oaks development based on ITE.**

¹ Refer to Attachment B (used highest parking needs of 1.0 per bedroom)

Based on ULI's *Shared Parking (Third Edition)*, residential developments with a mix of bedroom sizes have the following requirements to determine the number of parking spaces:

Parking Needs	0.85 x 80 studios	= 68 parking spaces
	0.9 x 254 one-bedroom units	= 229 parking spaces
	1.65 x 128 two-bedroom units	= 212 parking spaces
	2.5 x 8 three-bedroom units	= <u>20 parking spaces</u>
		= 529 parking spaces

Using the above formula, the 470 residential units require 529 parking spaces. Adding the 94 parking stalls for guests + 69 parking spaces for the Synagogue (ultra conservative), the total parking needs are = 692 parking spaces (529 + 94 + 69). Since 812 parking stalls are proposed, **parking is projected to be adequate for the Hollywood Oaks development based on ULI.**

Shared Parking Analysis

Shared parking principles were applied to Hollywood Oaks residential development. Shared parking is defined as parking spaces that are shared between different land uses, especially when the land uses have parking peaks that occur at different times of the day. Using the percent parking distribution (shared parking principles), by time of day, as published in the Urban Land Institute's (ULI) *Shared Parking* document, the maximum number of shared parking spaces required to serve the residential use (residents and guests) were determined.

Additional parking reductions to account for internal trips, and trips occurring via non-automobile modes of transportation (e.g. multimodal trips such as transit, walking and bicycle trips) were not considered for a conservative analysis.

Table 1 presents the results of the shared parking analysis using City of Hollywood parking requirements and ULI's time of day usage for residents and guests. For the Synagogue, the following assumptions were used based on parking analysis conducted by Traf Tech Engineering, Inc.

- o Friday Evening Service (6:00 PM to 10:00 PM at 100% parking usage). All other times assumed 50% parking usage (conservative approach).
- o Saturday morning Service (9:00 AM to 1:00 PM at 100 parking usage). All other times assumed 50% parking usage (conservative approach).

As indicated in Table 1, the Hollywood Oaks residential development requires 798 parking spaces on weekdays and 787 parking stalls on weekends. **Hence, a parking surplus of 14 parking spaces will be available using very conservative assumptions based on the shared parking analysis.**

Summary

In summary, the proposed 470-unit residential development and synagogue with 812 parking spaces provide sufficient parking spaces to accommodate the peak parking demand of the Hollywood Oaks development.

Please give me a call if you have any questions.

Sincerely,

TRAF TECH ENGINEERING, INC.

Joaquin E. Vargas, P.E.
Senior Transportation Engineer

TABLE 1 Hollywood Oaks (Weekday) Shared Parking Analysis (Using CityParking Requirements and ULI Shared Parking by Time of Day)									
Hour of Day	Spaces = 705		Spaces = 94		Spaces = 69		Spaces = 0		868
	Residential (Residents)	Utilization	Residential (Guests)	Utilization	Synagogue (Attendee)	Utilization	Synagogue (Other)	Utilization	Total
6:00 AM	95%	670	0%	0	50%	35	0%	0	704
7:00 AM	85%	599	10%	9	50%	35	0%	0	643
8:00 AM	75%	529	20%	19	50%	35	0%	0	582
9:00 AM	65%	458	20%	19	50%	35	0%	0	512
10:00 AM	60%	423	20%	19	50%	35	0%	0	476
11:00 AM	55%	388	20%	19	50%	35	0%	0	441
12:00 PM	50%	353	20%	19	50%	35	0%	0	406
1:00 PM	50%	353	20%	19	50%	35	0%	0	406
2:00 PM	50%	353	20%	19	50%	35	0%	0	406
3:00 PM	55%	388	20%	19	50%	35	0%	0	441
4:00 PM	60%	423	20%	19	50%	35	0%	0	476
5:00 PM	65%	458	40%	38	50%	35	0%	0	530
6:00 PM	70%	494	60%	56	100%	69	0%	0	619
7:00 PM	75%	529	100%	94	100%	69	0%	0	692
8:00 PM	80%	564	100%	94	100%	69	0%	0	727
9:00 PM	85%	599	100%	94	100%	69	0%	0	762
10:00 PM	95%	670	100%	94	50%	35	0%	0	798
11:00 PM	97%	684	80%	75	50%	35	0%	0	794
12:00 AM	100%	705	50%	47	50%	35	0%	0	787

Source: City of Hollywood and Urban Land Institute (ULI) Shared Parking (Third Edition)

				Max Parking =	798
				Available Parking =	812
				Surplus Parking =	14
Land Use	Size	Pkg Rate	Total Parking Spaces		
Residential	470 units		799 Spaces		
- Tenant	470 units	1.50 /unit	705 Spaces		
- Guest	470 units	1.00 /5 units	94 Spaces		
Synagogue			69 Spaces		
Total			868.00 Spaces		

TABLE 2 Hollywood Oaks (Saturday) Shared Parking Analysis (Using CityParking Requirements and ULI Shared Parking by Time of Day)									
Hour of Day	Spaces = 705		Spaces = 94		Spaces = 69		Spaces = 0		868
	Residential (Residents)	Utilization	Residential (Guests)	Utilization	Synagogue (Attendee)	Utilization	Synagogue (Other)	Utilization	Total
6:00 AM	90%	635	0%	0	50%	35	0%	0	669
7:00 AM	85%	599	20%	19	50%	35	0%	0	653
8:00 AM	80%	564	20%	19	50%	35	0%	0	617
9:00 AM	75%	529	20%	19	100%	69	0%	0	617
10:00 AM	70%	494	20%	19	100%	69	0%	0	581
11:00 AM	69%	486	20%	19	100%	69	0%	0	574
12:00 PM	68%	479	20%	19	100%	69	0%	0	567
1:00 PM	67%	472	20%	19	50%	35	0%	0	526
2:00 PM	66%	465	20%	19	50%	35	0%	0	519
3:00 PM	55%	388	20%	19	50%	35	0%	0	441
4:00 PM	60%	423	20%	19	50%	35	0%	0	476
5:00 PM	55%	388	40%	38	50%	35	0%	0	460
6:00 PM	50%	353	60%	56	50%	35	0%	0	443
7:00 PM	55%	388	100%	94	50%	35	0%	0	516
8:00 PM	65%	458	100%	94	50%	35	0%	0	587
9:00 PM	75%	529	100%	94	50%	35	0%	0	657
10:00 PM	85%	599	100%	94	50%	35	0%	0	728
11:00 PM	90%	635	80%	75	50%	35	0%	0	744
12:00 AM	100%	705	50%	47	50%	35	0%	0	787

Source: City of Hollywood and Urban Land Institute (ULI) Shared Parking (Third Edition)

				Max Parking =	787
				Available Parking =	812
				Surplus Parking =	26
Land Use	Size	Pkg Rate	Total Parking Spaces		
Residential	470 units		799 Spaces		
- Tenant	470 units	1.50 /unit	705 Spaces		
- Guest	470 units	1.00 /5 units	94 Spaces		
Synagogue			69 Spaces		
Total			868.00 Spaces		

ATTACHMENT A
Application Package
Part V



A PHASE I CULTURAL RESOURCE ASSESSMENT OF THE BRYAN HOUSE PARCEL, BROWARD COUNTY, FLORIDA

ARCHAEOLOGICAL AND HISTORICAL CONSERVANCY, INC.



AHC PROJECT NO. 2022.138
AHC TECHNICAL REPORT NO. 1397
SEPTEMBER 2022

A PHASE I CULTURAL RESOURCE ASSESSMENT OF THE BRYAN HOUSE PARCEL, BROWARD COUNTY, FLORIDA

By:

Robert S. Carr, M.S.
Ryan Franklin, Ph.D.
Timothy A. Harrington
John G. Beriault, B.A.
Henry Calway, B.A.
.

ARCHAEOLOGICAL AND HISTORICAL CONSERVANCY, INC.

4800 SW 64th Avenue, Suite 107
Davie, Florida 33314
archlgcl@bellsouth.net
(954) 792-9776

For:

BROWARD COUNTY FLORIDA
RESILIENT ENVIRONMENT DEPARTMENT
URBAN PLANNING DIVISION

AHC PROJECT NO. 2022.138
AHC TECHNICAL REPORT NO. 1397
SEPTEMBER 2022



TABLE OF CONTENTS

LIST OF FIGURES ii

EXECUTIVE SUMMARY 1

PROJECT SETTING 3

PREVIOUS RESEARCH 12

CULTURAL SUMMARY 18

METHODOLOGY 26

SUMMARY OF SITES 28

RESULTS AND CONCLUSIONS 35

REFERENCES CITED 37

APPENDIX I: FLORIDA SURVEY LOG 47

APPENDIX II: SITE FORMS – 8BD153, 8BD1075, 8BD2913 51

LIST OF FIGURES

Figure 1.	USGS map of the Bryan House Parcel	2
Figure 2.	1899 plat maps for Township 50S, Range 41E with the project parcel boundaries superimposed	5
Figure 3.	1947 black and white aerial photograph of the project parcel	6
Figure 4.	1957 black and white aerial photograph of the project parcel	7
Figure 5.	1980 black and white aerial photograph of the project parcel	8
Figure 6.	2022 color aerial orthophotograph of the Bryan House Parcel	9
Figure 7.	Looking southeast from ST1 toward the rear of 8BD153	10
Figure 8.	Looking south past ST6 toward the rear of 8BD1075	10
Figure 9.	Looking south from ST19 toward Oak Street	11
Figure 10.	Looking south from ST25 toward the part of the project parcel east of NW 58th Avenue	11
Figure 11.	USGS map showing all previously recorded archaeological sites within one mile of the project parcel and all cultural resources within the parcel	17
Figure 12.	1949 USGS map labeling the Bryan House as a Seminole church	23
Figure 13.	Members of the Bryan family in 1920	24
Figure 14.	John Milton Bryan, Sr.	24
Figure 15.	Growers Map of the New River	24
Figure 16.	Gilda Rose and John Milton Bryan, Jr. in 1905	25
Figure 17.	John Milton Bryan, Jr. in 1936	25
Figure 18.	John Murray Bryan and Lourcey Bryan	25
Figure 19.	2022 aerial photograph of the project parcel showing the location of shovel tests and historic structures	27
Figure 20.	Bryan House, 8BD153, looking southwest	30
Figure 21.	8BD153 looking southeast	30

Figure 22.	5821 NW 42nd Street, 8BD1075, looking northwest	32
Figure 23.	8BD1075 looking northeast	32
Figure 24.	Panoramic view of the Bryan Homestead, 8BD2913, looking west to north	34
Figure 25.	Panoramic view of 8BD2913 looking east/south to west	34

LIST OF TABLES

Table 1.	Literature Review Summary	14
Table 2.	Previously Recorded Sites Summary	14
Table 3.	Previous Assessments	15

EXECUTIVE SUMMARY

In July and August 2022, the Archaeological & Historical Conservancy, Inc. (AHC) conducted a Phase I cultural resource assessment of the Bryan House parcel for the Resilient Environment Department, Urban Planning Division, Broward County, Florida. The ±6.5 -acre parcel is located in Township 50S, Range 41E, Section 36 and Township 51S, Range 41E, Section 1 in Hollywood, Florida. The parcel was surveyed to locate and assess any sites of archaeological and/or historical significance.

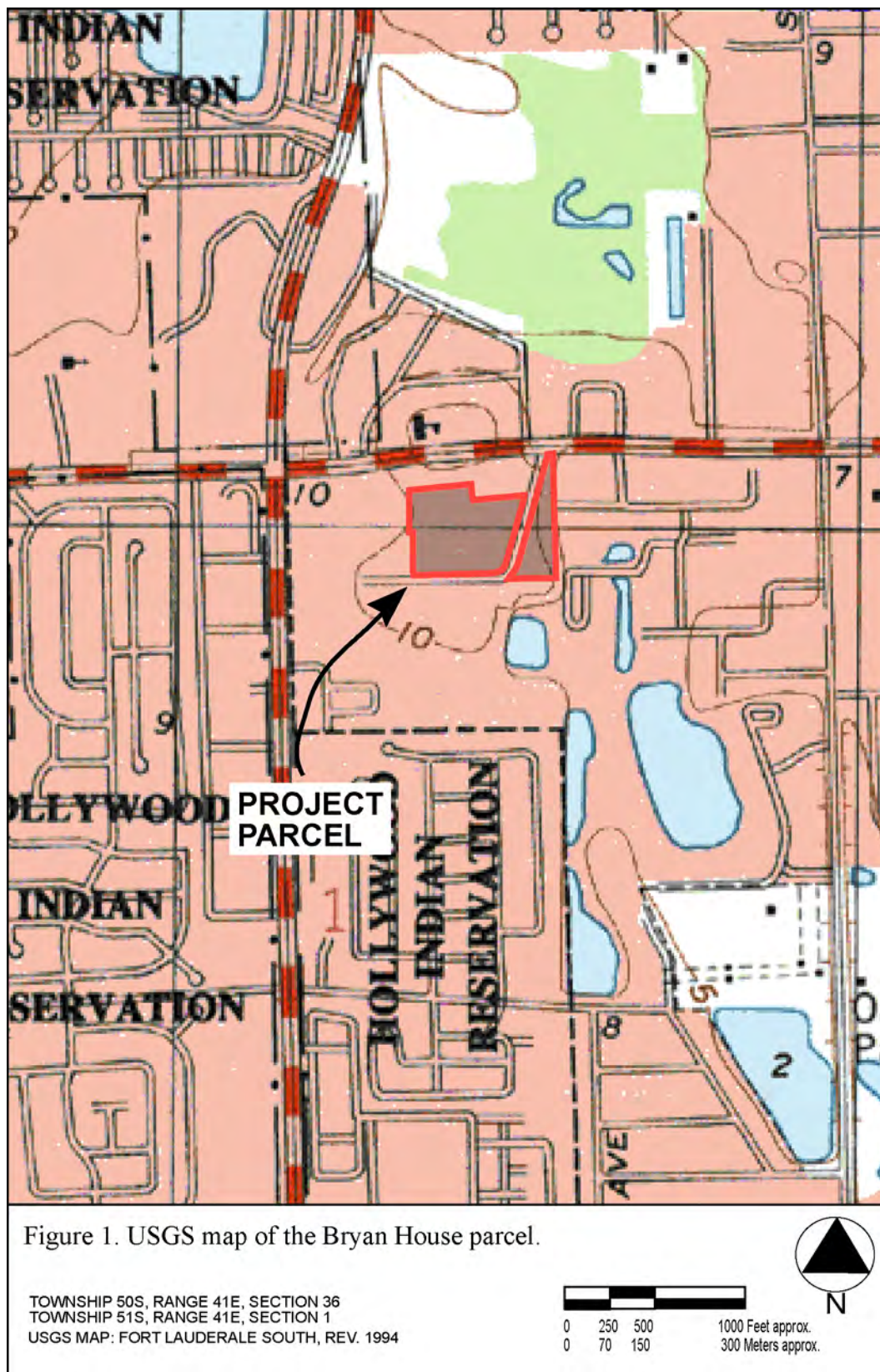
This assessment was conducted to fulfill historic and cultural resource requirements of Chapter 267, Florida Statutes, and cultural resource requirements of the Broward County Historic Commission. The work and the report conform to the specifications set forth in Chapter 1A-46, Florida Administrative Code.

A review was completed by AHC in July, 2022 of archival documents, including maps, vintage aerial photographs, and information available from the Florida Master Site File (FMSF) to determine whether any recorded historic or archaeological sites occur on the parcels. The review resulted in determining that three cultural resources had been previously recorded on the project parcel and one cultural resource assessment conducted (City of Hollywood 1999).

These sites include the John M. and Guilda Bryan House (4200 N 58th Avenue: 8BD153), a farmhouse built in 1916 replacing an earlier structure; a frame vernacular house in the southwest corner of the parcel (5821 NW 42nd Street: 8BD1075); and the Bryan Homestead (8BD2913), a formerly 90-acre citrus grove planted at the turn of the twentieth century.

A pedestrian survey and a total of 33 systematic shovel tests were excavated during this assessment. These shovel tests were dug across the project parcel on a roughly 25 meter grid. Of the tests, five were positive for cultural material including bottle glass, historic ceramics, and fragmentary faunal bone (Figure 15). While the faunal bone fragments are non-diagnostic, the other material is consistent with early to mid-20th century refuse. This testing corroborates the presence of a previously recorded historic scatter on the parcel, the Bryan Homestead, 8BD2913. None of the archaeological finds were regarded as significant.

It is the consultant's opinion that one cultural resource on the project parcel, the John M. and Guilda Bryan House (8BD153) meets eligibility criteria for listing in the National Register of Historic Places (National Register). Sites 8BD1075 and 8BD2913 do not meet the criteria for listing in the National Register.



PROJECT SETTING

The Bryan House parcel is located in Hollywood, Broward County, Florida within Section 36 of Township 50S, Range 41E and Section 1 of Township 51S, Range 41E. The parcel encompasses ± 6.5 acres and is bounded on the north by Stirling Road, is bisected by North 58th Avenue, and borders Oak St. to the south. The parcel lies slightly east and south of the Hollywood Seminole Reservation (Figure 1). The relevant USGS map is Fort Lauderdale South.

The parcel and much of the surrounding land was historically located on an island east of the Atlantic Coastal Ridge and three miles southwest of the South Fork of the New River. The project area was characterized as pine woods and oak hammocks dropping toward hydric transverse glades to the north. The historic edge of the Eastern Everglades occurred slightly west of the project parcel.

Historically, the slash pine flatwoods were extensive in this area of southeastern to east-central Broward County. Nineteenth century surveyors characterized the country as “second or third-rate pineland”, meaning the slash pines were somewhat scattered and not considered high-canopy and useful for logging. Much of this community, which contains a dense, often head-high understory of saw palmetto, is subject to and maintained by periodic natural fires. Fires were set either naturally through lightning strikes or purposefully by prehistoric Indians or early settlers to aid hunting or cattle grazing. Among the plants typically found in the slash pine/saw palmetto flatland/prairie environments are: slash pine, saw palmetto, gallberry, shiny lyonia, rusty lyonia, staggerbush, dahoon holly, Slash pine flatwoods communities that were historically situated on and near the subject parcel were usually situated on high ground above the upper flood terraces of the Oleta River/ Snake Creek. Some flatwoods areas can approach a xeric, well-drained character with seasonal dry times encouraging dense stands of saw palmetto and scrub live oak, round-leaved oak, Chapman’s oaks, and various oak intergrades.

Elevations average 5 to 8 feet above sea level. There is very little topographic variation through the project area. Soils present on the parcel include Dade Urban Land Complex and Urban Land, 0-2 percent slopes according to the Broward County soil map (Figure 4). These are fine, poorly-drained sands deposited by wind and water activity through time and much altered through recent developmental changes.

Scattered through the pine flatwoods are circular grass marsh ponds. Many of these are solution ponds created initially through geologic processes including ongoing peat accumulation through decay of succulent marsh plants in the deepest portions of the ponds. Many of these pond features are oval or circular and fairly symmetrical in shape. Many of these ponds exhibit concentric “banding” of plant communities determined by depth and situation within the ponds. Most ponds seldom exceed two feet depth, but many have hydroperiods lasting the better part of the year and are home to alligators, wading birds, snakes, amphibians, fish, turtles, and other animals.

The project parcel occurs on higher ground historically called Big City Island. The 1899 plat map shows an area labeled “B.L.” or Boat Landing 200 meters north of the project parcel (Figure 2). Three structures, likely chickees, are indicated with a field extending off to the southeast. Seminole encampments were frequently placed in pinelands in the summer. Camps were permanently or seasonally occupied and Seminole families could occupy a camp in the Big Cypress and one inland from the East Coast (West 2002).

A survey of the southern line of Section 36 by Special Agent J.O. Fries in 1898 noted changes in the landforms beginning at the southeast corner of Section 36 as “sawgrass” to “swamp (possibly custard apple), to “dry hammock” to “Indian Old Fields, to “palmettos scrub” to “pineland” (GLO survey notes Vol. 251, page 17A).

Disturbances to the project parcel have been extensive. In 1947 the parcel and adjacent land were under citrus cultivation with several structures on the project parcel including two historic houses and a modern residence (Figure 3). Citrus groves are gone by 1957 (Figure 4).

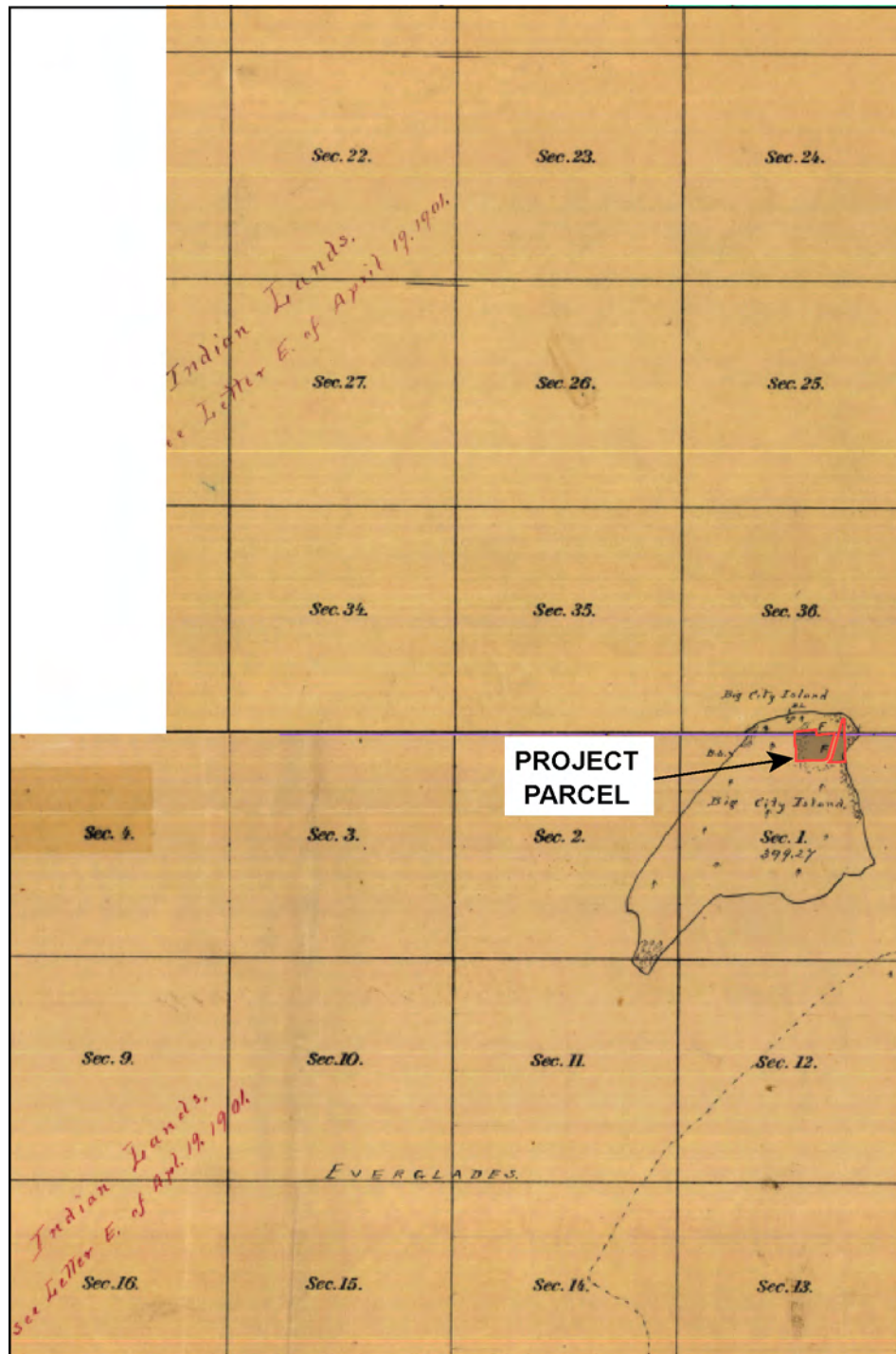
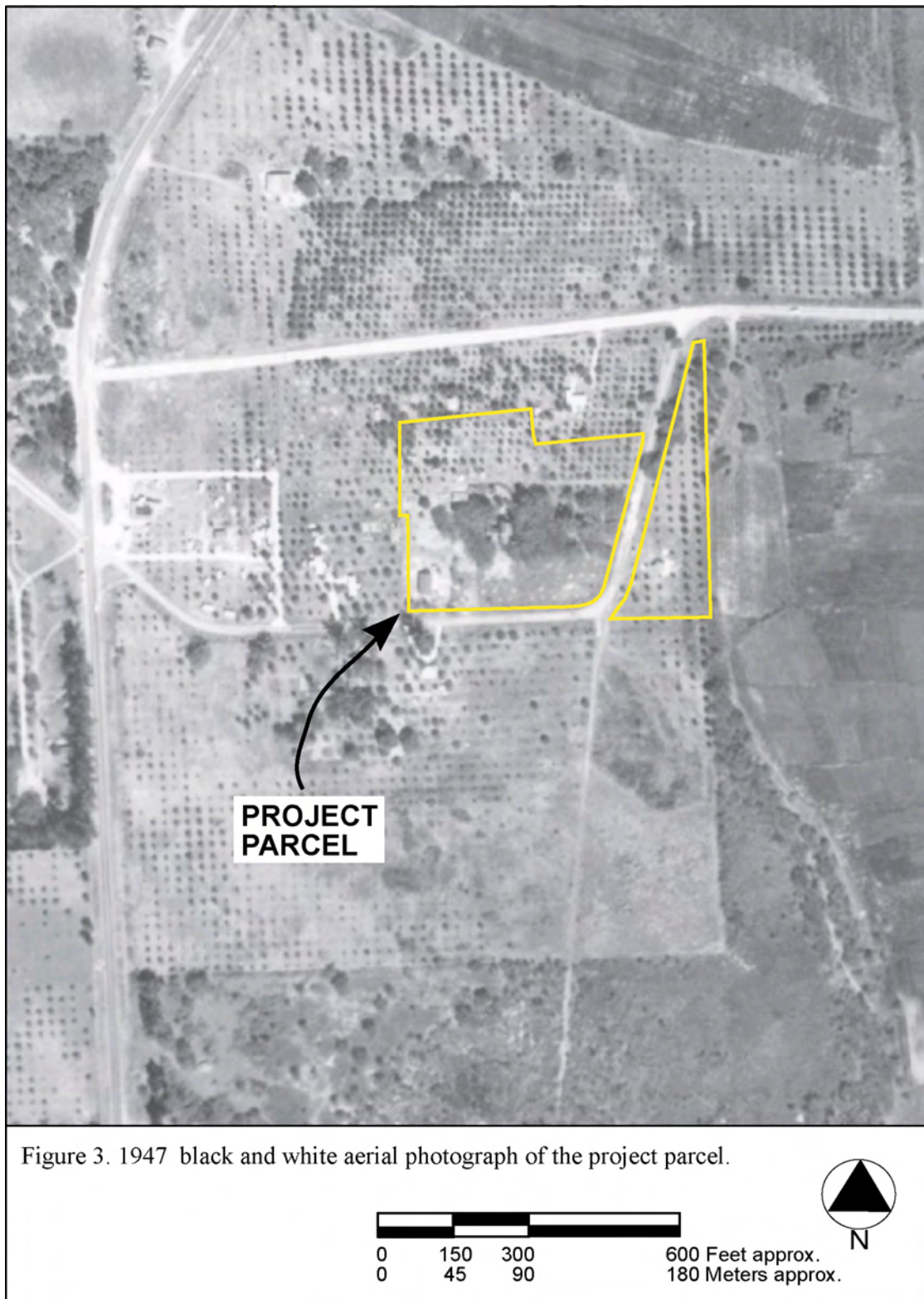


Figure 2. 1899 plat maps for Township 50S, Range 41E and Township 51S, Range 41E with the project parcel boundaries superimposed. The overall area is wetland (Everglades) with Big City Island standing out.



12000 Feet approx.
3600 Meters approx.





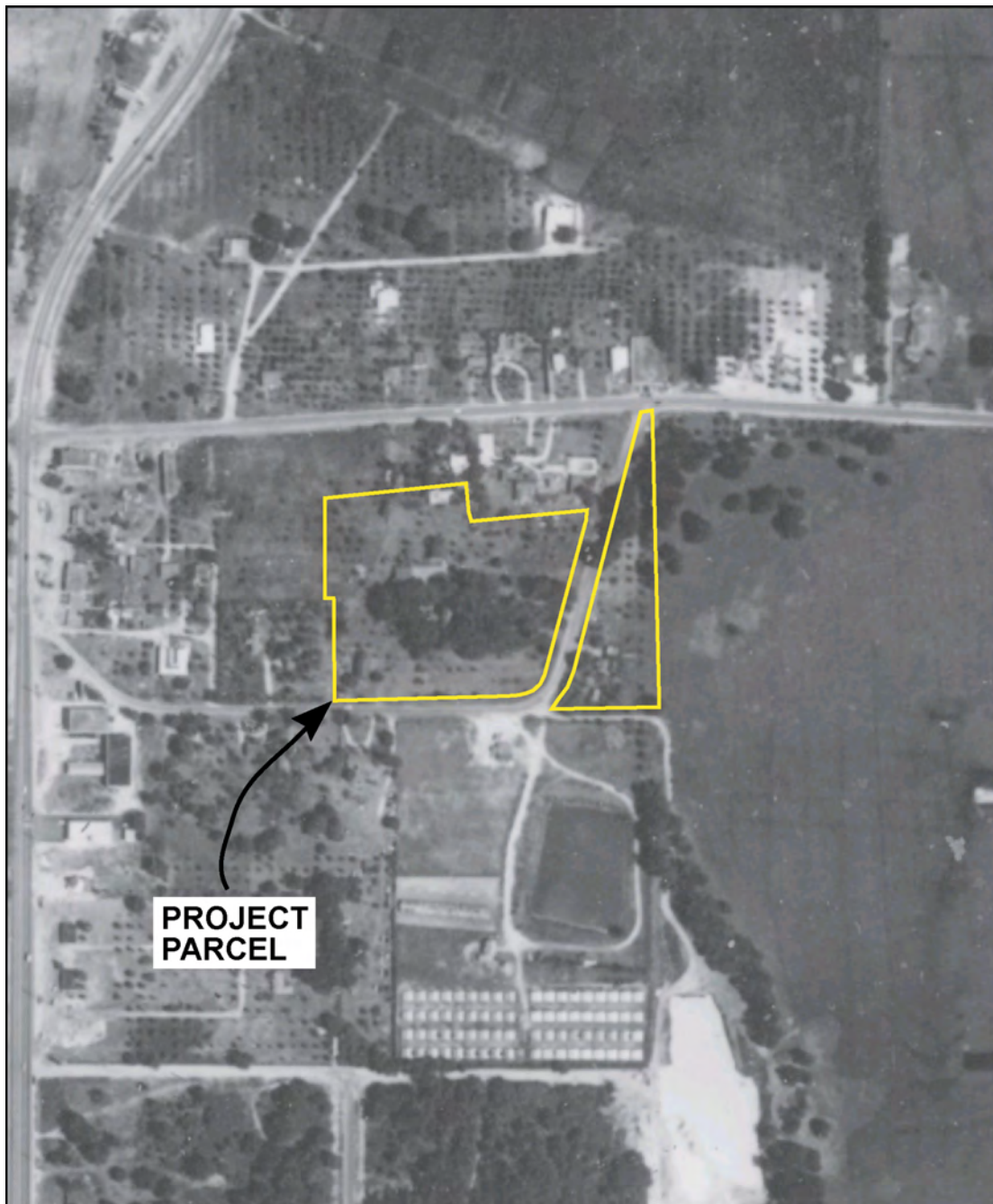
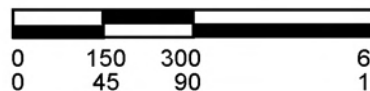


Figure 4. 1957 black and white aerial photograph of the project parcel.



600 Feet approx.
180 Meters approx.



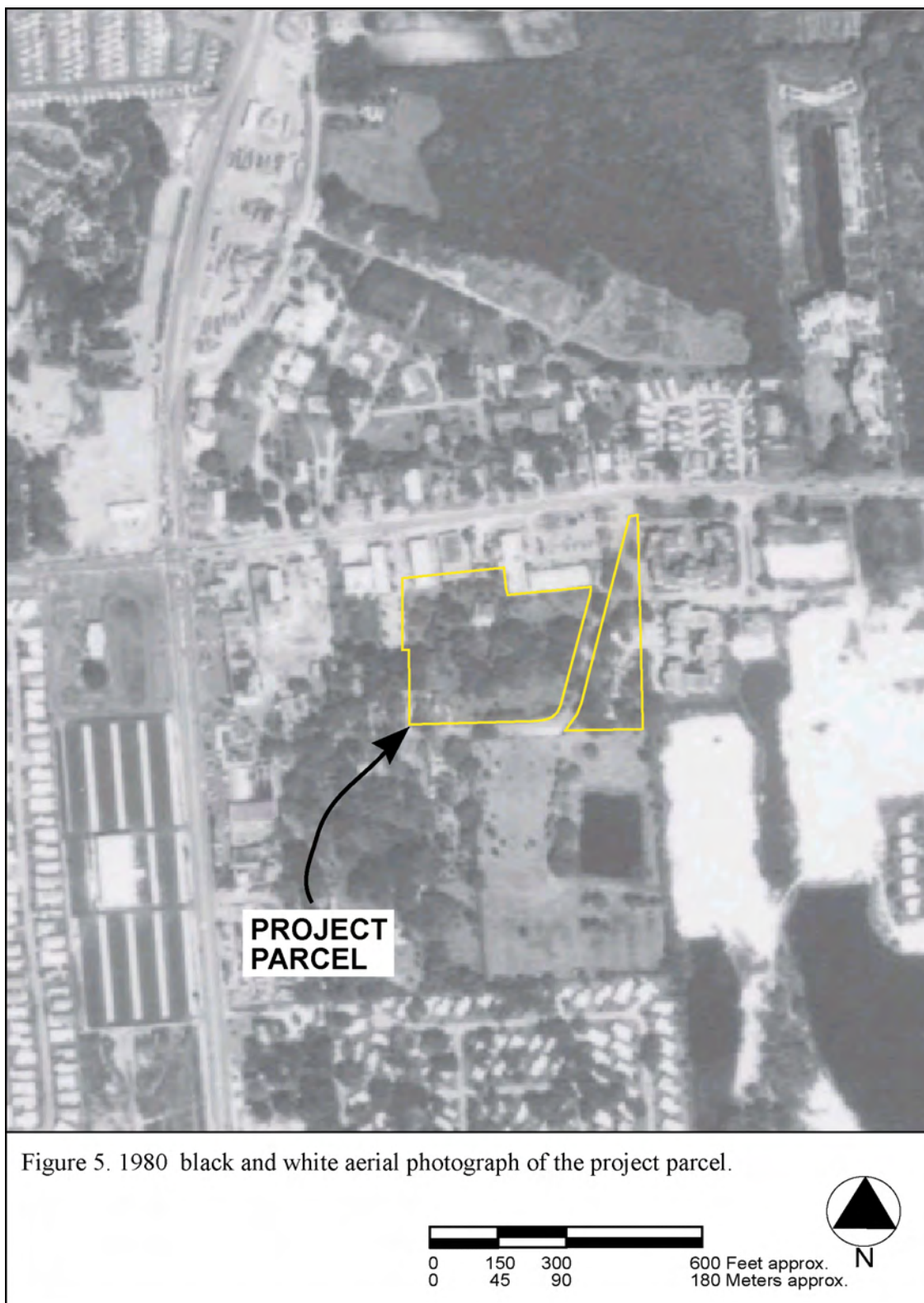


Figure 5. 1980 black and white aerial photograph of the project parcel.

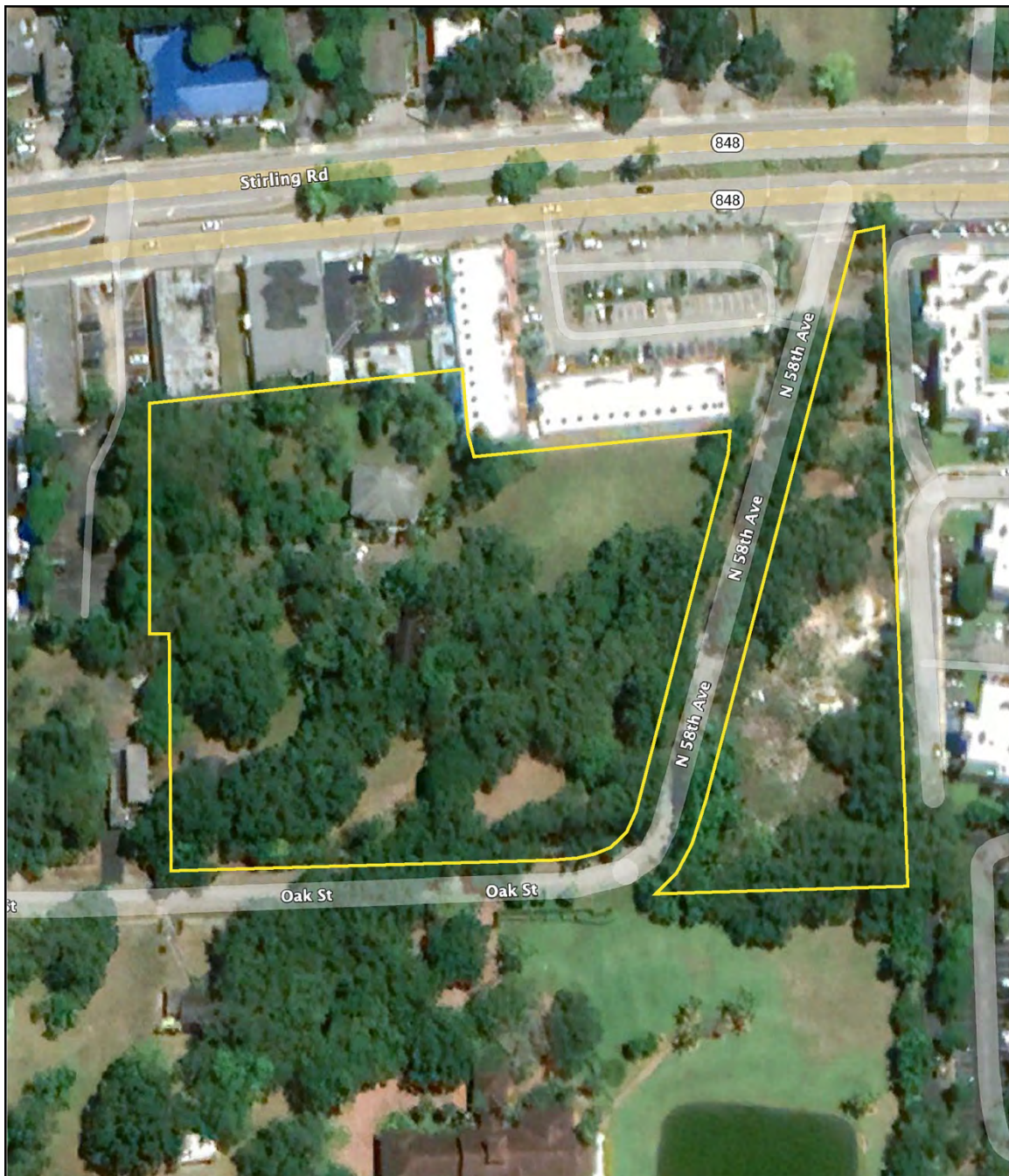


Figure 6. 2022 color aerial orthophotograph of the project parcel.

 = PROJECT PARCEL





Figure 7. Looking southeast from ST-1 toward rear of BD153.



Figure 8 . Looking south past ST-6 toward rear of BD1075.

Figure 9. Looking south from ST-19 toward Oak Street.



Figure 10. Looking south from ST-25 along portion of project parcel east of N 58th Avenue.

PREVIOUS RESEARCH

The first known archaeological investigation of a prehistoric site in the Everglades was by M. R. Harrington in 1908 (Harrington 1909:139-143). His visit to Pine Island did not include excavations, but he did conduct surface collections of artifacts, which currently repose at the Smithsonian Institution.

Archaeological investigations in the eastern Everglades of Broward County began with the WPA programs of the 1930s. Those excavations of South Florida sites were funded by the U.S. government and were administered by the Smithsonian Institution (Willey 1949). A number of sites were tested near the Broward-Dade County line. These sites were black dirt middens located on Everglades tree islands or "hammocks" and yielded evidence of prehistoric habitation dating back to the Glades II Period (ca. 500 AD). Historic artifacts associated with the 19th-century Seminoles were also recovered.

Archaeologist John Goggin began site excavations in the eastern Everglades in the 1930s. His observations of the Flagami site (8DA36) in 1932 represent the first site visit of his long career in South Florida archaeology. The first listing of eastern Everglades sites in the Florida State Master Site File emerged from his documentations of tree island sites in Dade and Broward Counties.

Following Goggin's paper, "Stratigraphic Sites in the Everglades," twenty years passed before any other professional archaeologist would contribute to South Florida prehistoric research (Goggin, 1950). In the interim, the rapid urban development of the 1960s began to encroach into the eastern Everglades and numerous archaeological sites were destroyed.

The archaeological research vacuum left by Goggin was partially filled when a number of local avocational archaeological societies were formed in Southeast Florida, which included the Archaeological Society of South Florida and the Broward County Archaeological Society. The latter group, formed in 1968 under the leadership of Wilma Williams, began an ambitious program of conducting digs across all of Broward County, thus leaving an extensive record of publications in the *Florida Anthropologist* and prehistoric materials that now repose at Broward County Community College. Initially, the societies excavated without any regard as to whether a site was endangered by development or whether it was preserved in a park setting. Thus, many of the eastern Everglades sites in parks such as those in Markham Park were intensively damaged by their archaeological excavations.

In the 1970s and 1980s, the Broward County Archaeological Society excavated a large number of sites in the eastern Everglades area of Broward County. One of these sites was the Margate-Blount Site, 8BD41 (Williams and Mowers 1972, 1979; Williams 1983). This site was determined to be an extensive remnant tree island midden with a significant cemetery component. This site was later preserved and the extent of excavation and attendant destruction was unwarranted. An increasing conservation movement within the

archaeological community has now shifted avocational excavations away from conducting digs at preserved sites to a focus on sites threatened by development.

Several individuals emerged from the avocational archaeological movement and produced important articles on Everglades sites. Prominent among these are articles by Dan Laxson, who tested numerous Everglades tree island sites in Dade and Broward Counties (Laxson 1962). His tests were generally limited in size and he rarely excavated below the depth of the concretion "hard pan" that underlies most midden deposits. Wes Coleman, one of the founders of the Miami-West India Archaeological Society, was the first to excavate below the concretion and note the presence of early St. Johns pottery, a marker for the Late Archaic Period (Coleman 1973).

A comprehensive archaeological survey of the eastern Everglades of Broward County has never been completed. However, numerous sites have been documented during the previous twenty years by the Broward County Archaeological Society. In 1974, Florida's Division of Historic Resources funded a limited assessment of sites in Broward County that included selected sites in the eastern Everglades east of State Road 27, as well as the first assessment of sites on Pine Island Ridge. In 1979, the Broward County Archaeological Society conducted a windshield survey of known Broward sites.

Other archaeological investigations in the eastern Everglades have been conducted by Gypsy Graves of the Broward County Archaeological Society. In 1981, she completed a thesis on the West Rolling Oaks site that identified the fauna exploited by the Tequesta. A study of prehistoric ecology in the eastern Everglades is the subject of ongoing research at the Honey Hill site (8DA411) and at Miramar Oaks in Broward County (Dickinson and Wayne 1988).

Since 1980, archaeological surveys in the Broward County area of the eastern Everglades have been conducted on an "as needed" basis as required by various permit requirements of Broward County, the State of Florida, and the U.S. Army Corps of Engineers. These surveys have been generally conducted by archaeological consultants and have resulted in numerous site discoveries and assessments.

In 1991, the Archaeological and Historical Conservancy (AHC) conducted a systematic assessment of archaeological sites in western urban Broward County. As a result of that survey twenty-five previously recorded sites and sixty-five previously unrecorded sites were assessed (Carr, Davis and Steele 1994).

Twenty-eight surveys of archaeological and historic resources have been performed in a one-mile radius of the project parcel in the last thirty years outside the boundaries of the Hollywood (Dania) Seminole Reservation. Information on projects and sites within the Reservation have been restricted by Statute 16USC470hh enacted 2006. Many of the projects outside the Reservation are broad surveys of archaeological resources within Broward County, assessments of specific parcels, utility surveys and road right-of-way assessments and cellular tower placements.

LITERATURE REVIEW

A search was requested on 7/18/2022 with the Florida Division of Historic Resources for relevant archives and literature associated with the project area. This included, but was not limited to, site forms and reports from FMSF in Tallahassee concerning previously recorded sites within 1.6 kilometer (1.0 mile) of the project parcel (Table 1).

Table 1. Literature Review Summary

Previously Recorded Sites:	
Within Project Parcel	3 (8BD153, 8BD1075, 8BD2913)
Within 1.6 km (1.0 mi) of Parcel	9
Previous Investigations:	
Within Project Parcel	1
Within 1.6 km (1.0 mi) of Parcel	27

A review of site files conducted on 7/18/2022 resulted in the identification of twelve previously recorded sites adjacent to or within a mile of the project parcel: two historic houses, one historic homestead/farmstead, and nine archaeological sites.

Table 2. Previously Recorded Sites Summary¹

Site No.	Name	Site Type	References	In Parcel	Outside of Parcel
8BD00051	Hollywood Seminole Indian Site	Prehistoric and Seminole	Carr 1995		X
8BD00099	Playland Isles	Prehistoric midden and Seminole campsite	Carr 1995		X
8BD00100	Shady Oaks	Prehistoric Midden	Carr 1995		X
8BD00153	Bryan House	Historic Structure - farmhouse	Evans 1974	X	
8BD1075	5821 NW 42nd St	Historic Structure - house	Kemper 1979 (?)	X	
8BD01871	Crystal Lakes	Prehistoric Midden	Carr, 1995		X
8BD02907	Foster Site	Prehistoric Midden	Carr 1995		X
8BD02911	Muhley Site	Prehistoric Midden	Carr 1995		X
8BD02912	Museum Site	Prehistoric Midden	Carr 1995		X
8BD02913	Bryan Homestead	Historic 20 th Century Homestead	Carr 1995	X	
8BD04564	Big City Island	19 th -20 th Century Seminole Village/Camp	Carr and Beriault 2009		X
8BD06780	Palmetto Turnpike Historic Scatter	Historic Canal, Resource Contributor	Azevedo 2019		X

Notes: ¹Based on sites within 1.6 kilometers (1.0 miles) of the project parcel.

In addition, a review of the state report files conducted in the same area indicated twenty-eight investigations previously conducted within 1.6 kilometers (1.0 miles) of the project parcel (Table 3).

Table 3. Previous Assessments¹

Survey No.	Date	Author	Title	In Parcel	Outside of Parcel
730	1981	Carr, Robert S.	<i>Broward County Comprehensive Survey, Phase I</i>		X
2400	1989	Carr, Robert S.	<i>An Archaeological Survey of the Trafalgar Property, Broward County, Florida.</i>		X
2710	1991	McMurray, Carl	<i>Cultural Resource Assessment Survey of SR 7 (US 441) in Broward County, Florida.</i>		X
2933	1991	Carr, Robert S.	<i>An Archaeological Survey of Broward County, Florida.</i>		X
2710	1991	Florida Department of Transportation	<i>Cultural Resource Assessment Survey of SR 7 (US 441) in Broward County, Florida.</i>		X
3633	1993	Carr, Robert S.	<i>An Archaeological Survey of Broward County, Florida: Phase II.</i>		X
4075	1995	Carr, Robert S.	<i>An Archaeological Survey of Southeast Broward County, Florida: Phase 3.</i>		X
5368	1998	Eck, Christopher R.	<i>An Archaeological Survey of the Oakridge West Parcel, Broward County, Florida.</i>		X
N/A	1999	Community Planning Division, City of Hollywood, Florida	<i>Historic Designation Report: Bryan House, 4444 SW 60th Street.</i>	X	
6247	2000	Panamerican Consultants, Inc.	<i>A Cultural Resource Assessment of the Sheridan Street Bridge (#860155) Replacement from 64th Avenue to State Road 7 (US 441), Broward County, Florida.</i>		X
7033	2000	Carr, Robert S.	<i>An Archaeological and Historical Survey of the Miro Corners Parcel, Hollywood, Broward County, Florida.</i>		X
10428	2004	Groff, Amanda T.	<i>An Archaeological and Historical Assessment for the Existing 45th Street Cellular Tower, Broward County, Florida.</i>		X
11530	2005	Johnson Archaeological Consultants	<i>Final Cultural Resource Assessment Survey Report, Widening of Florida's Turnpike from North of Johnson Street to Griffin Road, Broward County, Florida.</i>		X
12275	2005	Janus Research	<i>Cultural Resource Assessment Survey and Desktop Analysis for the Fort Lauderdale-Hollywood International Airport, Broward County.</i>		X
12945	2005	Janus Research	<i>Cultural Resource Assessment Survey I-595 (SR 862) Project Development and Environment Study FM 4093 54-1-22-01 FAP No. 5951 539 I from the I-75 Interchange West of 136th Avenue to the I-75 Interchange, Broward County.</i>		X
13095	2006	Janus Research	<i>Cultural Resource Assessment Survey of the SR 91 Florida's Turnpike Widening – Griffin Road to HEFT (SR 821) and Atlantic Boulevard to West Hillsboro Boulevard, Broward County, Florida.</i>		X
13264	2006	Keel, Frank J.	<i>A Cultural Resources Assessment of the Proposed Stirling Road/Florida's Turnpike Interchange Project, Broward County, Florida.</i>		X
14306	2006	Chambliss, Elizabeth	<i>Cultural Resources Assessment Survey State Road (SR) 817 from Pines Blvd. To Griffin Road, Broward County, Florida.</i>		X
14770	2007	Keel, Frank J.	<i>A Cultural Resource Assessment for Florida's Turnpike Sunnav Southern Arterial Dynamic Sign Message DMS Project, Broward, Dade, and Palm Beach Counties, Florida.</i>		X

15037	2008	Arbuthnot, Michael A.	<i>A Cultural Resource Assessment Survey of the Trotters Chase tract, Broward County, Florida.</i>	X
16072	2009	Wood, Karen G.	<i>Hollywood Fl proposed Cell Tower, Phase I Archaeological Survey of a Proposed Cellular Tower 2448 North SR 7, Hollywood, Florida.</i>	X
16774	2009	Tribal Archaeology Section, Ah-Tah-Thi-Ki Museum	<i>Phase I Archaeological Report for the Stirling Mobile Home Park Project, Project #2007-171.</i>	X
16867	2009	Archaeological and Historical Conservancy	<i>A Phase I Archaeological Survey of the Seminole First Baptist Church Parcel, Broward County, Florida.</i>	X
17601	2010	Wallace, Jelane M.	<i>A Cultural Resource Assessment Survey of State Road 7 from Hollywood Boulevard to Osceola Drive, in Hollywood, Broward County, Florida.</i>	X
17617	2010	Richko-Labate, Julie et al.	<i>A Phase I Archaeological Survey of the Miro Corners Compilation Project, Hollywood Reservation Project 2009-231 Letter Report 2009.231.3.</i>	X
17948	2000	Southeastern Archaeological Research, Inc.	<i>Cultural Resource Assessment Survey of State Road (SR) 7 from Lucky Street to SW 49th Court, Broward County, Florida.</i>	X
18689	2011	Janus Research, Inc.	<i>Addendum to the Cultural Resource Assessment Survey (CRAS) of State Road (SR) from SW 25th Street to Fillmore Street in Hollywood, Broward County, Florida.</i>	X
20221	2013	Southeastern Archaeological Research, Inc.	<i>Cultural Resource Assessment Survey of the Sterling Ranches Property, Broward County, Florida.</i>	X
21548	2014	Janus Research, Inc.	<i>CRAS for Eight Potential Roadway Transfers from the FDOT, District 4, to Broward County: SR 824/Pembroke Road, SR 848/Stirling Road, Riverland Road, SR 736/Davie Boulevard, Las Olas Boulevard, SR849/NE 31st Avenue, SR 844/NE 14th Street.</i>	X
25762	2018	Janus Research, Inc.	<i>Cultural Resource Assessment Survey Broward Mobility Miramar/Hollywood SW 56th Avenue, SW 62nd Avenue, and North 64th Avenue, Broward County, Florida.</i>	X
26696	2019	Environmental Services, Inc.	<i>Phase I Cultural Resource Assessment Survey of the Dania Oaks Project, Broward County, Florida.</i>	X
26858	2020	Janus Research, Inc.	<i>Cultural Resource Desktop Analysis and Field Review for SW40th Avenue from Stirling Road to Griffin road, Dania Beach, Broward County, Florida.</i>	X
28151	2019	Southeastern Archaeological Research, Inc.	<i>Phase I Cultural Resource Assessment Survey Report Florida Gas Transmission Company LLC Turnpike Palmetto Road Relocation Project, Broward and Miami-Dade Counties, Florida.</i>	X

Notes: ¹Based on sites within 1.6 kilometers (1.0 miles) of the project parcel.

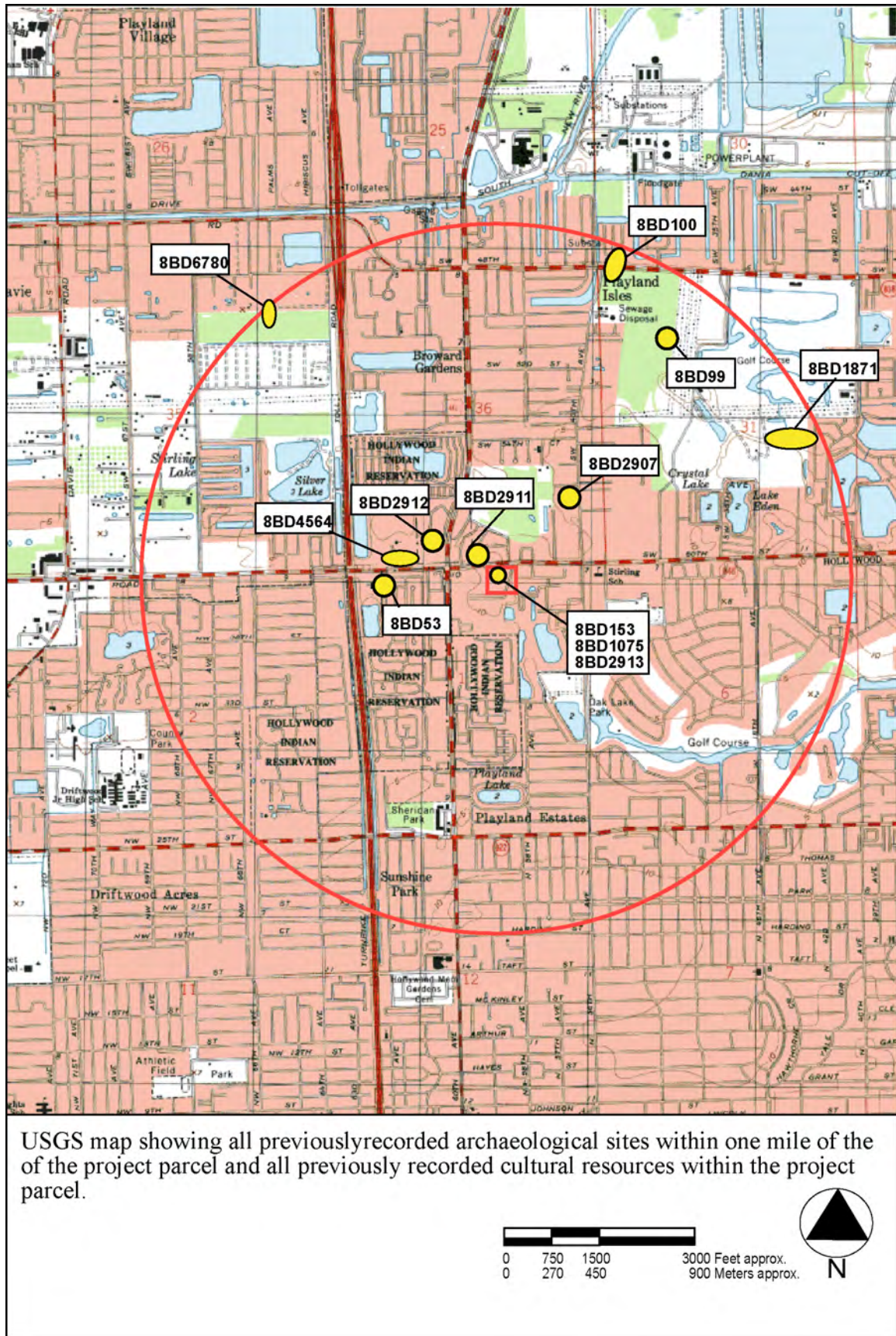


Figure 11. USGS map showing all previously recorded archaeological sites within one mile of the project parcel and all previously recorded cultural resources within the parcel.

CULTURAL SUMMARY

The Glades area was originally defined by M.W. Stirling in 1936 as a distinctive cultural area to include all of Southern Florida. John M. Goggin defined more specific boundaries for the area and identified three inclusive sub-areas (1947). These were the Calusa sub-area in southwest Florida, the "Tekesta" sub-area for Southeast Florida and the Florida Keys, as well as the Okeechobee sub-area around Lake Okeechobee. Goggin classified these sub-areas on the basis of his recognition of their distinctive natural environments, the different tribes in those regions during historic times, and differences in the archaeological record.

A redefinition of the Glades culture area was offered using the term Everglades Area by Beriault and Carr to encompass only southeast Florida (Carr and Beriault 1984: 1-11). In 1988, Griffin concurred by using Everglades Area in his recent synthesis of South Florida archaeology. This revision confines the Everglades Area to southeastern Florida and the Florida Keys. It is difficult to determine an exact western boundary for the area, but Beriault and Carr suggest one somewhere west of the Shark River and east of Turner River, probably near the eastern boundary of Big Cypress Swamp. A northern boundary would be somewhere near the Broward-Palm Beach County line (Carr and Beriault 1984:2).

PALEO INDIAN PERIOD (10000 BC - 8000 BC)

The Paleo-Indian lived in southern Florida in probable association with mammoths, bison, and other types of megafauna. Deposits of fossilized Pleistocene bone have been uncovered by dredging operations from several locations in South Florida and from solution holes in southern Dade County. Martin and Webb (1974) note the wide range of grazing ungulates and sloths indicating more extensive grasslands than present. With the extinction of the megafauna by about 11,000 years ago, the Paleo-Indian apparently made an effective adaptation to the emerging wetlands of southern Florida and began to establish the patterns of subsistence that were to provide the basis of resource procurement for the subsequent 10,000 years. Evidence of the Paleo-Indian in southern Florida is now well established with the discovery of a late Paleo/Early Archaic site at Cutler in South Dade County (Carr 1986). Radiocarbon dates of 9,640 +/- 120 years were determined for this site which yielded evidence of exploitation of deer and rabbit, some marine fauna, and some indication of hunting extinct horse and peccary. However, most of the faunal bone from this site indicates an Indian adaptation to the post-extinction of New World megafauna.

ARCHAIC PERIOD (6500 BC - 1000 BC)

During the Post Glacial era, the sea level rose and greatly diminished Florida's land size. It has been calculated that the rate of sea level rise was approximately 8.3 cm per 100 years from 6000 to 3000 years ago. That rate has decreased to about 3.5 cm per 100 years from 3000 years ago to present (Scholl et al. 1967). By 5000 years ago, cypress swamps and hardwood forests characteristic of the sub-tropics began to develop in southern Florida (Carbone 1983, Delcourt and Delcourt 1981). The Archaic Period was characterized by an

increased reliance by the native populations on the shellfish and marine resources on the coast, and a generally expanded hunting, fishing, and plant gathering base throughout southern Florida. Archaeologists were not aware until recently of the extent and nature of Archaic Period sites in southern Florida. The earliest dated mid-Archaic archaeological materials are from the Bay West site, a cypress pond mortuary situated in Collier County northeast of Naples (Beriault et al. 1981). It is likely that the Bay West site was a hydric sinkhole that provided an "oasis" and water hole during the much drier mid-Archaic period. Radiocarbon dates recovered there indicate a temporal range of 5500 to 7000 years ago. This chronology and the cultural materials, particularly the preservation of organic materials, are very similar to those recovered from Little Salt Spring 110 km to the north (Clausen et al. 1979). The mortuary pond is undoubtedly one of the characteristic types of cemeteries of the Archaic Period throughout central and southern Florida.

A mid-Archaic Period site was recently discovered in Broward County, the first site from this period discovered in southeast Florida (Carr and Sandler 1991). The site, 8BD1119, was discovered on Pine Island Ridge. Characterized by a scatter of chert flakes and several mid-Archaic projectile points, the site appears to be lithic workshop for reshaping tools.

Sites from the Late Archaic Period are becoming increasingly evident in Southeast Florida. Sites dating from as early as 4000 years ago have been located along Biscayne Bay (Carr 1981), but Late Archaic horizons appear to be commonplace on Everglades sites. Radiocarbon dates in the Everglades indicate early ages of 3050 years ago, +/- 140 years for the Peace Camp site (Mowers and Williams 1972: 18), and 4840 years ago +/- 210 years for Taylor's Head (8BD73) (Masson et al. 1988:346).

The Late Archaic Period is distinguished by the development of fiber-tempered pottery. The Orange series of fiber-tempered pottery is well documented by Cockrell on Marco Island (1970), and undecorated fiber-tempered pottery has been recovered on the southeast coast at the Atlantis site (Carr 1981b). Sites containing fiber-tempered pottery have been dated from as early as 3400 +/- 100 years ago on Marco Island, and dates of ca. 2500 years ago at the Firebreak site in Collier County, and 3000 +/- 4000 years ago along Biscayne Bay (Carr 1981b). Partial fiber and sand tempered pottery have been recovered from interior sites such as the Honey Hill site (8DA411) and the 202nd Street site in northern Dade County, and the Markham Park (8BD183) site in Broward County.

THE GLADES PERIOD (CA. 750 BC - 1750 AD)

Goggin (1947) defined three periods for the Formative Era. Using decorated pottery types that have proven to be effective time markers, he created the Glades I, II and III periods. These divisions have proven most useful in extreme southern Florida. The Glades I Early period (750 BC - ca. AD 200) is characterized by the use of undecorated sand-tempered pottery. Ceramic decorations in extreme southern Florida were developed by 500 A. D. with the inception of the Ft. Drum decorated series. While decorated types begin during Goggin's Late Glades I period, future revisions of the Glades period may simply make the first appearance of decorated wares coincide with the inception of the Glades II Period.

During the Glades II period (A. D. 750 - A. D. 1200), there are shifts in ceramic styles that allow the archaeologist to accurately divide the period into three sub-periods based on the relative frequency of certain decorative styles (i.e., Key Largo Incised, Miami Incised, Sanibel Incised, etc.). Mound construction was also commonplace during this period, reflecting the rise of a stratified society with a select ruling and/or priest class.

During the Glades II and III periods (AD 1200 - AD 1750), there is a shift in ceramic decorations and vessel shape in extreme southern Florida. Griffin reports the near absence of decorated pottery between AD 1000 - AD 1200 (1974). Occurrences of St. Johns tradeware and Belle Glade Plain increase along the east coast, and in general, a thriving trade network that brought a variety of exotic resources, such as lithic tools and ornaments, is evident.

HISTORIC PERIOD (CA. AD 1500 - AD 1900)

When the Europeans arrived in the sixteenth century, they encountered a thriving population of at least five separate tribes in southern Florida: the Tequesta in southeast Florida, the Calusa in southwest Florida, and the Jeaga and Ais along the east coast north of the Tequesta, and the Mayaimi near Lake Okeechobee. At the time of Spanish contact the Calusa maintained political dominance over these other tribes. It has been estimated that there were about 20,000 Indians in south Florida when the Spanish arrived (Milanich and Fairbanks 1980). By 1763, when the English gained control of Florida, that population had been reduced to several hundred. These tribal remnants were reported to have migrated to Cuba with the Spanish (Romans 1962), however, it is likely that the so-called "Spanish Indians" (Sturtevant 1953) who raided Indian Key in 1840, were the mixed-blood descendants of the Calusa and/or refugees from north Florida missions raided by the English in the early eighteenth century. The Spanish-Indians became part of the Seminoles, who had fled en mass into south Florida in 1838 after the Battle of Okeechobee, although some Creek groups had migrated to south Florida earlier in the century.

The earliest documentary evidence of Seminole settlement in South Florida is an account by John Lee Williams describing Snake Warrior's Island at the headwaters of Snake Creek. This site was recently identified as probably being site 8BD1867 in Miramar in southern Broward County. Most Seminoles were forced to emigrate to Oklahoma during the Second and Third Seminole Wars (1838-1858).

No official attempt was made to officially engage the remaining Seminole Indians in Florida after the last group of Seminoles were removed to the Oklahoma territory in 1859 until Lt. R.H. Pratt visited the Florida Seminoles in 1879 counting four camps and estimating that 292 Indians remained in Florida (Sturtevant 1956). Reverend Clay MacCauley visited five camps and estimated 208 individuals in 1880-81 (McCauley 1883). A.M. Wilson in 1887 noted 269 in an informal census (Kersey 1970). All agreed that the Indians had no common governing body and needed organizational assistance.

From the 1880s to early 1920s, the Seminoles interacted with white traders such as Frank Stranahan in Fort Lauderdale, the Brickells on the Miami River, Frank Brown at Boat

Landing on the western edge of the Everglades and Ted Smallwood at Chokoloskee. Missionaries helped the Seminoles including the Episcopalian Mission at Immokalee and later at Boat Landing, formerly Brown's Trading Post, which became known as the Glades Cross Mission (Kersey 1970, 1975).

By 1892 the U.S. Indian Service began purchasing certain lands in the state for the Seminoles. Agents Churchill in 1909 and Creel in 1911 were sent to investigate setting up reservations. Both reported the Indians would not likely stay on them, and Creel felt the Indians were best assimilated into the general population (Kersey 1970:81-85). Several groups friendly to the Seminole Indians, including individuals such as Minnie Moore Willson and Mr. and Mrs. Frank Stranahan agitated for setting aside land. Total land held for the Seminoles was 26,667 acres by 1911 (Willson 1911, Kersey 1970).

Big City Island was the heart of the Dania Reservation that officially opened in 1926. Education began with the opening of a Federal Day School on the Dania Reservation in 1927, but education was only sporadically available until the 1940s. Upon formal establishment of the reservations in 1940, the Miccosukee, breaking from the Seminoles, refused to move onto them.

In 1907 a rancher near Lake Okeechobee appealed to the Baptist Church to send a missionary to the Seminoles. Andrew Brown, a Seminole Indian from Oklahoma was the first missionary, who preached one sermon and returned in 1909 with additional preachers. In 1912 the Creek, Seminole, and Wichita Association sent Byer Beaver as first missionary. He was followed by preachers George Washington, William Green, Henry Land, Willie King and Stanley Smith. Reverend L.A. Spencer served as special commissioner to the Seminoles from 1913 to 1930. James L. Glenn succeeded him and worked to establish the Seminoles in the cattle business (Kersey 1970).

The First Seminole Baptist Church was founded in 1936 1/4 mile west of 441 on Stirling Road in Davie. By 1943 it had but eleven members. Reverend Smith served a controversial eleven years as pastor of the First Seminole Baptist Church leaving the area in 1954 after founding an Independent Seminole Baptist Church.

By the early 1950s the Seminole Tribe was in danger of losing official recognition status by the Federal Government. Concerned individuals initiated complex legal proceeding to circumvent this loss of status. The Seminole Tribe of Florida was incorporated in 1957 at the assistance and urging of local political and civic leaders. The present Hollywood (Dania) Reservation in large part owes its location to the locale where the First Seminole Baptist Church was established and to the proximity of several traditional Seminole camping areas at and near Big City Island (Carr personal communication).

Early plat maps ca. 1900 show an area at the extreme northern tip of Big City Island (approximately 100-200 meters northeast of the project parcel) labeled "B.L." or Boat Landing (Fries Survey Notes 1898). Three structures, likely chickees, are indicated with an agricultural field extending off to the southeast. A reported Seminole camp on Doctor's Island was identified as occurring on the project parcel (Scheidecker personal

communication). Seminole encampments were frequently placed in low-elevation pineland areas barely out of high water in the summer. Camps were permanently or seasonally occupied and Seminole families could occupy a camp in the Big Cypress and one inland from the East Coast during different parts of the year (West 2002).

Much of the area surrounding the project parcel is part of the Seminole Hollywood Reservation. The area is now densely populated with the Seminole Hard Rock Resort and Casino lying to the immediate north.

PHILEMON BRYAN and JOHN MILTON BRYAN

Philemon (alternative spelling Phileoman) N. Bryan was a Confederate veteran mustered out with the rank of First Sergeant who married Lucy Murray in 1867 and began farming citrus and other crops in Volusia County at Glencoe west of New Smyrna. In 1887 Bryan became the first mayor of New Smyrna and formed a friendship with Henry Flagler of the Florida East Coast Rail Line through business activities and Flagler's determined pursuit of a rail line being forced south to Miami. Various business and personal reverses occurred for Bryan in the 1880s and 1890s culminating in the freezes of 1894 and 1895 which destroyed much of Florida's citrus crop. Henry Flagler was then able to engage Philemon Bryan as his section manager to supervise the construction of a segment of railroad bed north from the New River near Fort Lauderdale to Pompano in 1895. Two sons, Reed and Tom, received higher education during this period, graduating from Stetson University and Emory College by 1902 and coming south to assist their father. Tom Bryan and his father came to stay with pioneer Frank Stranahan on the New River in Fort Lauderdale by April 1895. In that year, Philomen Bryan bought a sizable tract of land on the New River, and by 1897 had bought additional lands which he called New River Groves four or five miles north of the Stranahan crossing between the north and south forks of the New River. This land was characterized by a Seminole encampment and fields (Mitzner 2015). This period coincided with the arrival of Philemon's cousin, John Milton Bryan, Jr., in Dania (Crim 1940).

One day in 1896 Tom Bryan was rewarded for favors to the local Seminoles with a gift of wild oranges that were so delicious that he persuaded the donor to take him by canoe up the New River to their source: 700 wild orange and lemon trees growing on "rich hammock land" near what became the Dania Reservation. Tom shared this discovery with his father and brother Reed, and their cousin John Milton Bryan, Jr., upon which the Bryans "selected their lands" agreeing that John would cultivate the western portion at Tiger Tail Hammock which he named Big City grove, later known as the Indian River grove; Philemon and Reed would farm the eastern portion, the Helencia grove, and later planted the New River grove north of the river (Crim 1940).

The Bryan House (8DA153), built in 1916 by John Milton Bryan, Jr. (born in 1874) and Guilda Rose Bryan (born in 1881, married John in 1904), is situated on a six-acre remnant of their original grove (the Bryan Homestead, 8DA2913) south of Stirling Road and east of SR7. The structure is a frame vernacular Carolina-style farmhouse built of Dade County pine at the site of a shack Bryan had first built there, in 1898. The *Miami Metropolis*, noting

Bryan's presence in south Florida in September of 1897, stated that he had "a farm in Hallandale [—a dairy farm according to his obituary (Fort Lauderdale News 1936)—] and also a fine citrus grove at Big City" and noted that he had been a Broward County Commissioner from February 1925 until January 1929 (Broward Legacy 1984).

John's father, John Milton Bryan, Sr., was born in Hamilton County, Florida, in 1838. His grandfather, Philemon Bryan, had migrated to territorial Florida from New Bern, North Carolina, before the end of the Spanish occupation. John Sr. served in the Third Florida during the Civil War. He married Louise Margaret Norton in 1867. Their first home was a log cabin known as the Old Ballard Place near Umatilla. They moved to Fort Mason about 1875 where they had seven of their ten children. He started business with a trading post on Lake Eustis. He represented Orange County in the State Legislature from 1875 to 1883 and in the State Senate from 1886 to 1890. Two of his sons, Will and Nathan, were U.S. Senators from Florida. He moved to Kissimmee in 1883 and after the freezes of 1895-96 moved south to homestead land in Dania around 1905. He died at Tigertail, his Dania home, in 1911, aged 73 (Simpson 1984).

John Milton Bryan, Jr. died in 1936 at the age of 61. Guilda lived until 1951. Both are buried in Edgewater New Smyrna Cemetery in Volusia County. Their two sons, John and Lourcey, died in 1991 and 2009 (Find a Grave 2022). John's obituary also lists a daughter, Guilda (Fort Lauderdale News 1936).

Subsequently, the Bryan house had a checkered past if reports are believed. At some point in the 1940s, the house was reputed to have been the locale of gambling and other illicit activities and also functioned as a local lodge for the Elks Club (Evans 1974). Seeming to contradict this report, the 1949 USGS map for Fort Lauderdale South labels the structure as a Seminole Church. However, no evidence has been found in Seminole Tribe records that the First Baptist Seminole Church, founded in 1936, ever existed outside its present location west of U.S. 441 and north of Stirling Road, half a mile from the Bryan House, near the structure shown on the 1949 map as Seminole School; instead, as noted above, a Seminole camp was recorded as having existed on Doctor's Island at the site of the house (Scheidecker personal communication).

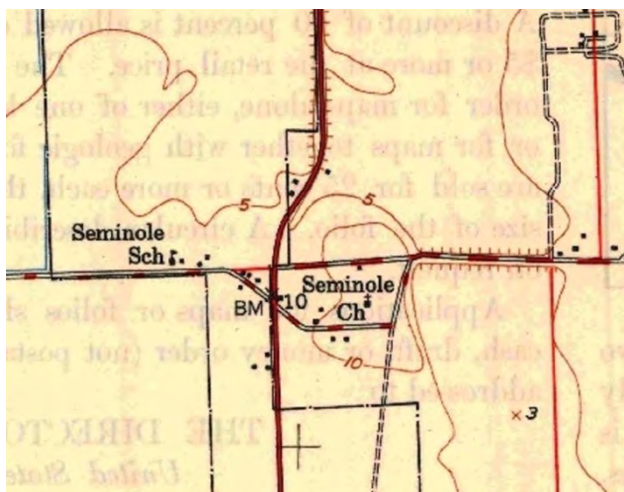


Figure 12. 1949 USGS map showing a structure at the exact location of the Bryan House labeled Seminole Church. The 1936 First Baptist Seminole Church is slightly north of the structure shown as Seminole School.



Figure 13. The Philemon Bryan family in 1921. Lucy and Philemon seated; Tom M. Bryan left, Reed A. Bryan, right. Courtesy of History Fort Lauderdale.

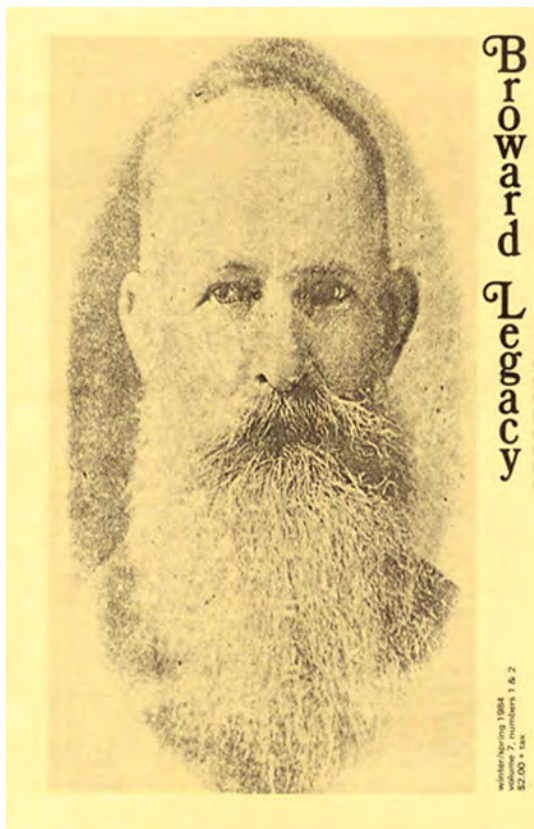


Figure 14. John Milton Bryan, Sr. Cover, The Broward Legacy Vol. 7 No. 1-2 (1984)

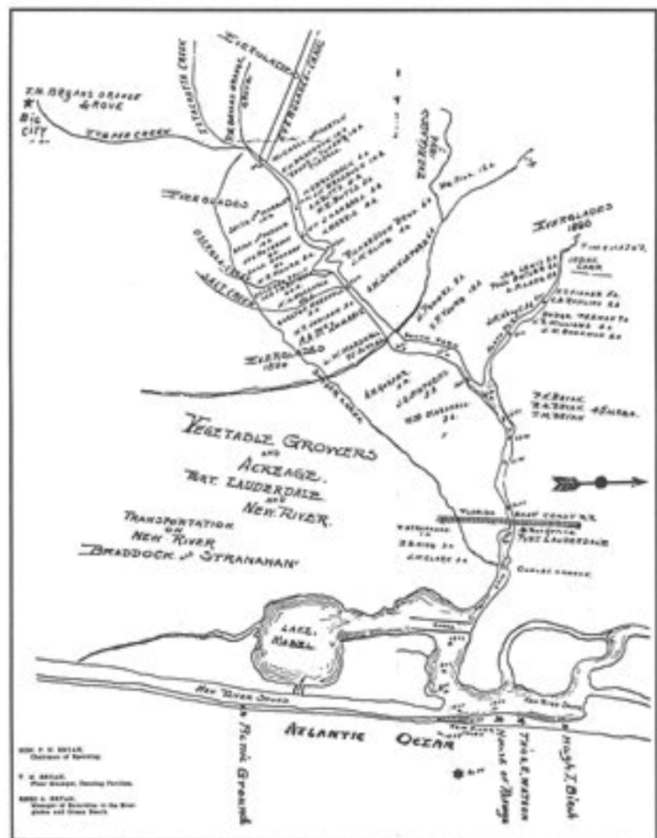


Figure 15. Growers Map of the New River, early 20th century. Note J. M. Bryan grove at far right. Poleo 1998 (Map: Fort Lauderdale Historical Society)

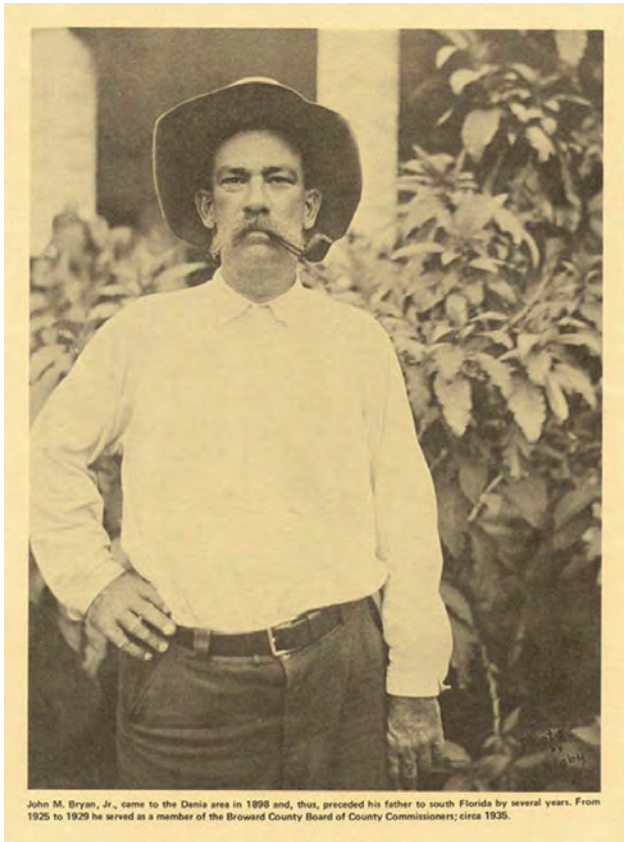


Figure 17. John Milton Bryan, Jr. in 1936. Back Cover, The Broward Legacy Vol. 7 No. 1-2 (1984)

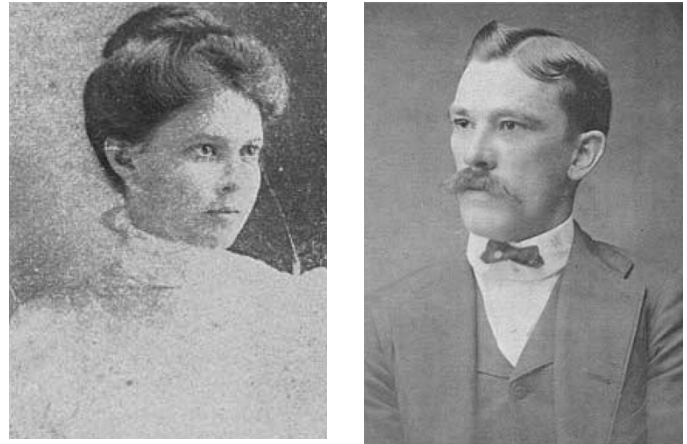


Figure 16. Guilda Rose and John Milton Bryan, Jr. in 1905. The Broward Legacy Vol. 7 No. 1-2 (1984)



Figure 18. John Jr. and Guilda's sons. Left: John Murray Bryan, middle row, second left. Right: Lourcey Bryan. Courtesy of Find a Grave 2020.



METHODOLOGY

ARCHIVAL REVIEW

Prior to conducting fieldwork in the project parcel, relevant archives and literature were reviewed. This included, but was not limited to, studying previous archaeological reports for sites in central Broward County and the Hollywood/Dania area, reviewing information from the Master Site File in Tallahassee concerning nearby sites, and examining USGS maps of the project area. A review of the Labins database of land surveys also was conducted. In addition, color and black and white aerial photographs from the project area, which could aid in revealing anthropogenic changes to the topography and floral communities were interpreted.

RESEARCH DESIGN

This Phase I cultural resource survey of the Bryan House parcel incorporated the use of certain predictive archaeological site models. These models postulate that elevated oak hammocks adjacent to historic wetlands are high probability areas for being associated with archaeological sites. Additionally, higher ground in elevated slash pine flatwoods can include historic and prehistoric activity areas. Some of these prehistoric sites and higher probability areas can be identified examining vintage aerial photographs taken prior to development (Figure 3). Big City Island had Seminole settlements in close proximity to the project parcel.

The fieldwork was designed to sample all moderate to high probability areas of the parcel by systematic and judgmental shovel testing. Additionally, some sampling was done in lower ground, low-probability areas.

FIELDWORK

The project parcel (8BD2913) was assessed by pedestrian survey and subsurface testing. Tests were dug at 25m intervals across the parcel. All test holes were 50cm square and dug to a depth of 100cm or to bedrock or water table. All recovered sediments were sifted through a 1/4-inch screen. Test locations were documented on a handheld GPS device.

A historical architectural assessment was conducted of the two historic structures identified on the project parcel: the Bryan House (8BD153) and a cottage in the southwest corner of the project parcel (8BD1075) and the site forms were updated.

COLLECTIONS

Recovered materials assigned field specimen (FS) numbers, bagged, and transferred to the the AHC offices for analysis. All field notes, maps, and photos are archived at the AHC offices in Davie.

INFORMANTS

Two persons residing in a modern (1990s) house on the parcel provided anecdotal information on the historic Bryan home and homestead, pointing out some isolated interior ceiling damage in the house which they attributed to a hurricane, and mentioning rumors of artifacts buried on various parts of the property.



Figure 19. 2022 aerial photograph of the project parcel showing the location of shovel tests and historic structures.

SUMMARY OF SITES

Site Name: Bryan House

Site Number: 8BD153

Location: Township 50S, Range 41E, Section 36

Environmental Setting: Historic pineland

Site Type: Structure

Site Function: Residence

Description: The Bryan House was constructed 1916 by area pioneers John M. and Guilda Bryan. The structure is a two-story wood frame vernacular home built in a "Carolina" style of Dade County pine on masonry piers with a gable roof and a brick chimney on the south side. John Milton Bryan, Jr., was reported by the Miami Metropolis in 1998 to have "a farm in Hallandale and also a fine citrus grove at Big City, near the south fork of the New River. Bryan, Jr., served as a Broward County Commissioner from February 1925 until January 1929. His home, located just south of Stirling Road and east of Route 441, stands on the site where he had first built a shack in 1898" (Broward Legacy 1984). To the original house a frame vernacular front porch and rear dining/Florida room and kitchen were added between the 1920s and 1940s i.e, during the Bryan residency.

The original site form (1974) states that portions of the house are of 1902 or earlier vintage, and that there were packing houses at the rear of the property. The City of Hollywood's 1991 historic designation report quotes this site form as stating that "servants were Indians. Betty Jumper, a Seminole Indian, played there as a child. In the late 1940s and early 1950s, the house was used as a gambling casino by a syndicate operation. The syndicate was involved in raids, gun running, and other illegal activities. In 1948 and through the early 1950s the house was used by the Elks Club." This chronology is not supported by resident Tom Cheaney who said in a 1996 interview that the house had been in his family since 1946. That the house was ever a "Seminole Church" as represented on the 1949 USGS map is not supported by Seminole tribal records.

Chronology:	Historic: early to mid-twentieth century
Collections:	Historic (early to mid-twentieth century) glass, metal, ceramics
Ownership:	Private
Preservation Quality:	Fair: the house with its Bryan-era alterations is intact though abandoned.
Significance:	Pursuant to a recommendation in the City of Hollywood Comprehensive Historic Plan in 1991, the Broward County Historical Commission listed the house as a "Very High Priority Site." The city updated the site form in 1996, and its Historic Designation Report was reviewed and approved by the county in 1999, and the Bryan house was designated a Local Historic Site. Based on that evaluation, the resource appears to meet eligibility criteria A, B, and C for listing in the National Register.



Figure 20. Above: the Bryan House, 8BD153, looking southwest. Figure 21. Below: 8BD153 looking southeast.

Site Name:	5821 NW 42nd Street
Site Number:	8BD1075
Location:	Township 50S, Range 41E, Section 36
Environmental Setting:	Historic pineland, scattered oaks
Site Type:	Structure: building
Site Function:	Residence
Description:	The site is a rectangular, single-story, frame vernacular residence. The house is built on an apparent continuous foundation of concrete block. It has clapboard siding and a composition roll-surfaced, gable roof. At the front (street side facing south) the main entrance is through a hip-roofed, enclosed porch. The house is visible on a 1947 aerial photo.
Chronology:	Historic: early to mid-twentieth century
Collections:	N/A
Ownership:	Private
Preservation Quality:	Fair, abandoned.
Significance:	<p>In its original site form in 2008 recorder Marilyn Kemper, Director of the Historic Broward County Preservation Board, was evaluated the resource as follows: "This building is significant because it dates from the earliest period in Hollywood, Florida. Although this building is not architecturally significant on an individual basis, its significance in the historic build environment may become greater as the older structures in Hollywood are demolished."</p> <p>However, this resource does not meet eligibility criteria for listing in the National Register.</p>



Figure 22. Above: 5821 NW 42nd Street, 8BD1075, looking northwest. Figure 23. Below: 8BD1075 looking northeast.

Site Name:	Bryan Homestead
Site Number:	8BD2913
Location:	Township 50S, Range 41E, Section 36, Township 51S, De Range 41E, Section 1
Environmental Setting:	Historic pineland
Site Type:	Farmstead
Site Function:	Agriculture, residence
Description:	<p>This site was recorded in 1995 as "the archaeological component for the Bryan House" (8BD153). John Milton Bryan, Jr. built a "shack" there in 1889 and grew citrus. He built a home there in place of the shack in 1916. The site consists of the less than six-acre grounds of the Bryan House including "a remnant of an oak and hardwood hammock" and is the only remains of Bryan's citrus grove and farm of 90 acres north and south of Stirling Road overlapping part of the pre-drainage period Big City Island (8DA4564). The farm originated in a grove of wild oranges and lemons tended by the Seminoles. The Seminole Tribe has records of a camp on Doctor's Island at the site of the Bryan House.</p>
Chronology:	Historic: early twentieth century (1898-1940s)
Collections:	Historic glass, metal, ceramics
Previous Research:	Zamanillo and Carr 1995
Ownership:	Private
Preservation Quality:	<p>Archaeological testing across the parcel on a 25m grid found no prehistoric artifacts, no Seminole artifacts, and no human burials. The small number of positive tests were consistent with early twentieth century residential occupation.</p>
Significance:	<p>The site was initially evaluated as "worthy of additional investigations and is of local significance." Additional testing, however, did not add significantly to the archaeological record.</p> <p>Therefore, this resource does not meet eligibility criteria for listing in the National Register.</p>



Figure 24. Panoramic view of the Bryan Homestead, 8DB2913, looking from west at historic cottage BD1075, left, to north at the Bryan House, BD153, center right.



Figure 25. Panoramic view of 8BD2913 (left) from the drive looking from east/south toward N 58th Avenue and Oak Street (left) to west (center) toward the Bryan House, BD153, and to the modern home visible at far right.

RESULTS AND CONCLUSIONS

The Bryan House parcel was assessed with an archival review followed by a Phase I cultural resource assessment in regard to known and potential cultural resources. The assessment resulted in determining that three cultural resources had been previously recorded on the project parcel (8BD153, 8BD1075 and 8BD2913). One cultural resource assessment (Community Planning Division, City of Hollywood, Florida, 1999) had been completed for historic structure 8BD153. FMSF site forms were updated for the three previously recorded sites.

Two historic structures, the Bryan House (8BD153) and a cottage (8BD1075) at 5821 NW 42nd Street, now Oak Street, were assessed by an architectural historian. Designation of the Bryan House as a local historic site by the City of Hollywood was approved by the Broward County Historical Commission in 1999 (Appendix IV). This assessment found no reason to diverge from the findings of that report and concurs with this determination that the structure is potentially eligible for listing in the National Register under Criteria A, B, and C.

Cottage 8BD1075 was recorded by the Broward County Historic Preservation Board in 2008. It is the consultant's opinion that this resource does not meet the eligibility criteria for listing in the National Register.

A pedestrian survey and archaeological assessment of the overall parcel representing a portion of the Bryan Homestead (8BD2913) also was conducted as a part of this assessment. A total of 33 systematic shovel tests were excavated across the project parcel with holes dug on a roughly 25m grid. The stratigraphy was relatively consistent across much of the parcel with a very dark grey plow zone sharply transitioning to light grey or pale brown sand. Pinnacles of bedrock were encountered at between 30 and 60cmbs, but deeper solution hole sediments could be found throughout, with most tests being dug to 60-100cmbs.

Five of the tests were positive for cultural material (ST-2, 10, 11, 15 and 21), consisting mainly of bottle glass, historic whiteware sherds, and miscellaneous metal. Two tests also contained unidentifiable fragmentary faunal bone (ST-15 and ST-21). While the faunal bone is non-diagnostic, all cultural material was recovered from the upper plow zone and is consistent with early-to mid-20th century use/occupation of the parcel. No significant artifacts were recovered.

The Bryan Homestead site, 8BD2913, was recorded as part of a Southeast Broward County Archaeological Survey (Zamanillo and Carr 1995). In this Phase I assessment, systematic testing of the site did not reveal evidence of citrus cultivation or a Seminole encampment or add significantly to the archaeological record. Therefore, the resource is not considered eligible for listing in the National Register.

It is the consultant's opinion that one cultural resource potentially eligible for individual listing in the NRHP occurs on the project parcel: 8BD153, the Bryan House. This resource meets criterion A in its association with the early farming industry in Broward County, criterion B as the homestead of prominent county pioneers, and criterion C in its embodiment of distinctive architectural characteristics. Maintenance of the historic structure should not be neglected and should follow accepted guidelines (Park 2022, National Park Service 2022). On-site interpretative signage for the Bryan House and Bryan Homestead also is recommended.

Archaeological monitoring of any ground-disturbing activities on the project parcel is recommended. In the event that human remains are found, then the provisions of Chapter 872.05, Florida Statutes, will apply.

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APPENDIX I: FLORIDA SURVEY LOG

Ent D (FMSF only) _____



Survey Log Sheet

Florida Master Site File
Version 5.0 3/19

Survey # (FMSF only) _____

Consult *Guide to the Survey Log Sheet* for detailed instructions.

Manuscript Information

Survey Project (name and project phase)

Report Title (exactly as on title page)

Report Authors (as on title page)

1. _____ 3. _____
2. _____ 4. _____

Publication Year _____

Number of Pages in Report (do not include site forms) _____

Publication Information (Give series, number in series, publisher and city. For article or chapter, cite page numbers. Use the style of *American Antiquity*.)

Supervisors of Fieldwork (even if same as author) Names _____

Affiliation of Fieldworkers: Organization _____ City _____

Key Words/Phrases (Don't use county name, or common words like *archaeology*, *structure*, *survey*, *architecture*, etc.)

1. _____ 3. _____ 5. _____ 7. _____
2. _____ 4. _____ 6. _____ 8. _____

Survey Sponsors (corporation, government unit, organization, or person funding fieldwork)

Name _____ Organization _____

Address/Phone/E-mail _____

Recorder of Log Sheet _____ Date Log Sheet Completed _____

Is this survey or project a continuation of a previous project? No Yes: Previous survey #s (FMSF only) _____

Project Area Mapping

Counties (select every county in which field survey was done; attach additional sheet if necessary)

1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

USGS 1:24,000 Map Names/Year of Latest Revision (attach additional sheet if necessary)

1. Name _____ Year _____ 4. Name _____ Year _____
2. Name _____ Year _____ 5. Name _____ Year _____
3. Name _____ Year _____ 6. Name _____ Year _____

Field Dates and Project Area Description

Fieldwork Dates: Start _____ End _____ Total Area Surveyed (fill in one) _____ hectares _____ acres

Number of Distinct Tracts or Areas Surveyed _____

If Corridor (fill in one for each) Width: _____ meters _____ feet Length: _____ kilometers _____ miles

Research and Field Methods

Types of Survey (select all that apply): archaeological architectural historical/archival underwater
 damage assessment monitoring report other(describe): _____

Scope/Intensity/Procedures

Preliminary Methods (select as many as apply to the project as a whole)

Florida Archives (Gray Building)	library research- <i>local public</i>	local property or tax records	other historic maps	LIDAR
Florida Photo Archives (Gray Building)	library-special collection	newspaper files	soils maps or data	other remote sensing
Site File property search	Public Lands Survey (maps at DEP)	literature search	windshield survey	
Site File survey search	local informant(s)	Sanborn Insurance maps	aerial photography	
other (describe): _____				

Archaeological Methods (select as many as apply to the project as a whole)

Check here if **NO** archaeological methods were used.

surface collection, controlled	shovel test-other screen size	block excavation (at least 2x2 m)	metal detector
surface collection, <u>un</u> controlled	water screen	soil resistivity	other remote sensing
shovel test-1/4" screen	posthole tests	magnetometer	pedestrian survey
shovel test-1/8" screen	auger tests	side scan sonar	unknown
shovel test 1/16" screen	coring	ground penetrating radar (GPR)	
shovel test-unscreened	test excavation (at least 1x2 m)	LIDAR	
other (describe): _____			

Historical/Architectural Methods (select as many as apply to the project as a whole)

Check here if **NO** historical/architectural methods were used.

building permits	demolition permits	neighbor interview	subdivision maps
commercial permits	windshield survey	occupant interview	tax records
interior documentation	local property records	occupation permits	unknown
other (describe): _____			

Survey Results

Resource Significance Evaluated? Yes No

Count of Previously Recorded Resources _____ Count of Newly Recorded Resources _____

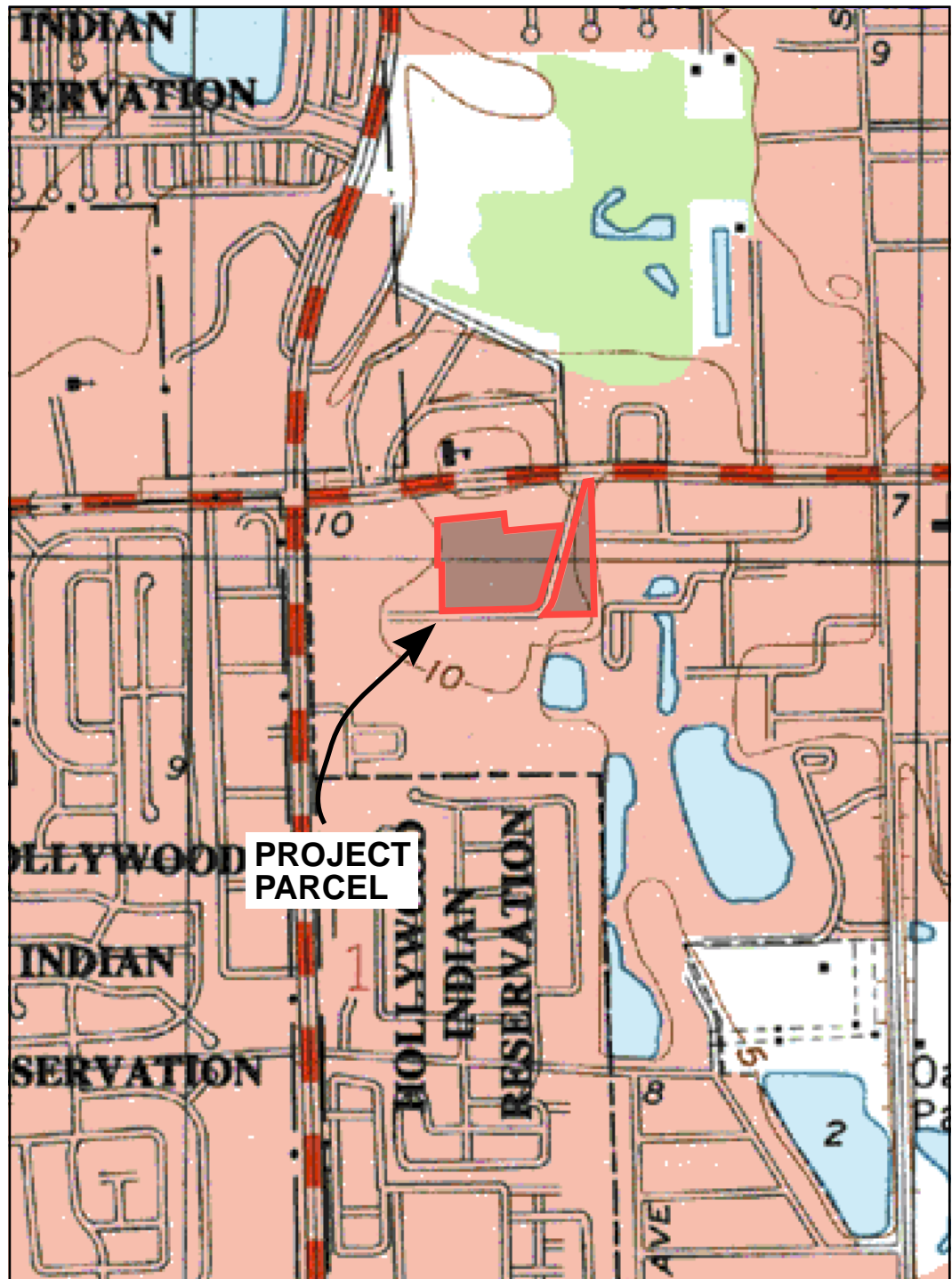
List Previously Recorded Site ID#s with Site File Forms Completed (attach additional pages if necessary)

List Newly Recorded Site ID#s (attach additional pages if necessary)

Site Forms Used: Site File Paper Forms Site File PDF Forms

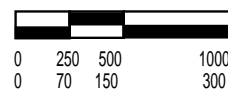
REQUIRED: Attach Map of Survey or Project Area Boundary

SHPO USE ONLY				SHPO USE ONLY				SHPO USE ONLY			
Origin of Report:	872	Public Lands	UW	1A32 # _____	Academic	Contract	Avocational				
Grant Project # _____					Compliance Review: CRAT # _____						
Type of Document:	Archaeological Survey	Historical/Architectural Survey			Marine Survey	Cell Tower CRAS	Monitoring Report				
	Overview	Excavation Report	Multi-Site Excavation Report			Structure Detailed Report	Library, Hist. or Archival Doc				
	Desktop Analysis	MPS	MRA	TG	Other: _____						
Document Destination: _____					Plotability: _____						



USGS map of the Bryan House parcel.

TOWNSHIP 50S, RANGE 41E, SECTION 36
 TOWNSHIP 51S, RANGE 41E, SECTION 1
 USGS MAP: FORT LAUDERALE SOUTH, REV. 1994



**APPENDIX II: FLORIDA SITE FORMS – 8BD0153, 8BD1075,
8BD2913**

☐ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 _____
 Field Date _____
 Form Date _____
 Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) _____ Multiple Listing (DHR only) _____
 Survey Project Name _____ Survey # (DHR only) _____
 National Register Category (please check one) ☐ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction
 Cross Streets (nearest / between) _____
 USGS 7.5 Map Name _____ USGS Date _____ Plat or Other Map _____
 City / Town (within 3 miles) _____ In City Limits? ☐ yes ☐ no ☐ unknown County _____
 Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # _____ Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting _____ Northing _____
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: _____ approximately _____ year listed or earlier _____ year listed or later _____
 Original Use _____ From (year): _____ To (year): _____
 Current Use _____ From (year): _____ To (year): _____
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☐ no ☐ unknown Date: _____ Original address _____
 Alterations: ☐ yes ☐ no ☐ unknown Date: _____ Nature _____
 Additions: ☐ yes ☐ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): _____ Builder (last name first): _____
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☐ unknown Describe _____

DESCRIPTION

Style _____ Exterior Plan _____ Number of Stories _____
 Exterior Fabric(s) 1. _____ 2. _____ 3. _____
 Roof Type(s) 1. _____ 2. _____ 3. _____
 Roof Material(s) 1. _____ 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) _____

Distinguishing Architectural Features (exterior or interior ornaments) _____

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____

SHPO – Appears to meet criteria for NR listing: ☐ yes ☐ no ☐ insufficient info

Date _____ Init. _____

KEEPER – Determined eligible: ☐ yes ☐ no

Date _____

NR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see *National Register Bulletin 15*, p. 2)

☐ Owner Objection

DESCRIPTION (continued)

Chimney: No. _____ Chimney Material(s): 1. _____ 2. _____ 3. _____
 Structural System(s): 1. _____ 2. _____ 3. _____
 Foundation Type(s): 1. _____ 2. _____
 Foundation Material(s): 1. _____ 2. _____

Main Entrance (stylistic details)

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

FMSF record search (sites/surveys)	library research	building permits	Sanborn maps
FL State Archives/photo collection	city directory	occupant/owner interview	plat maps
property appraiser / tax records	newspaper files	neighbor interview	Public Lands Survey (DEP)
cultural resource survey (CRAS)	historic photos	interior inspection	HABS/HAER record search
other methods (describe) _____			

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name _____ Affiliation _____

Recorder Contact Information _____
 (address / phone / fax / e-mail)

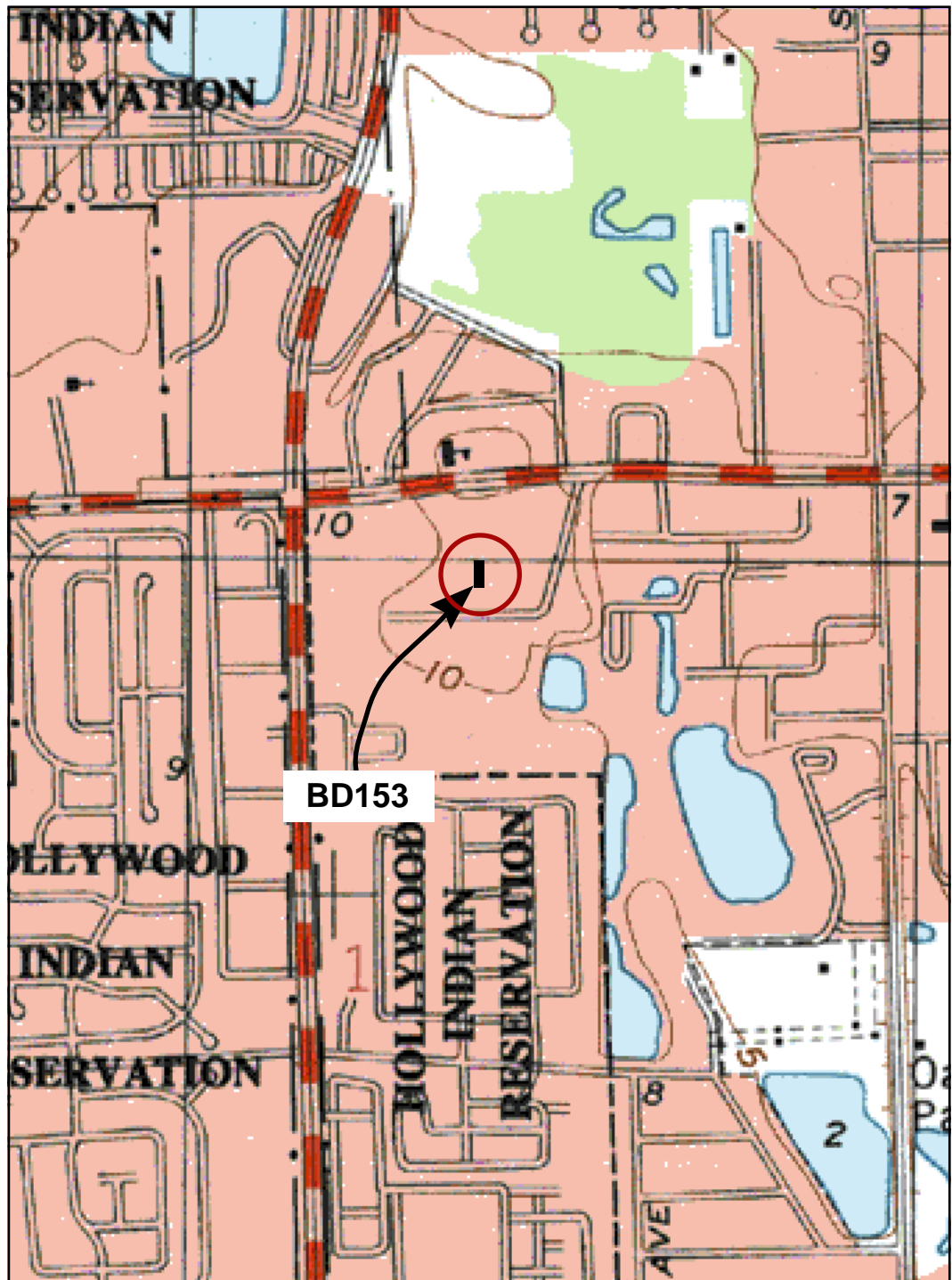
Required Attachments

❶ USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED

❷ LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

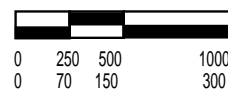
❸ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



USGS map of 8BD00153, the Bryan House.

TOWNSHIP 51S, RANGE 41E, SECTION 1
USGS MAP: FORT LAUDERALE SOUTH, REV. 1994



Bryan House

NARRATIVE

The Bryan House (8DA153), built in 1916 by John Milton Bryan, Jr. (born in 1874) and Guilda Rose Bryan (born in 1881, married John in 1904), is situated on a six-acre remnant of their original grove (the Bryan Homestead, 8DA2913) south of Stirling Road and east of SR7. The structure is a frame vernacular Carolina-style farmhouse built of Dade County pine at the site of a shack Bryan had first built there, in 1898. The *Miami Metropolis*, noting Bryan's presence in south Florida in September of 1897, stated that he had "a farm in Hallandale [—a dairy farm according to his obituary (Fort Lauderdale News 1936)—] and also a fine citrus grove at Big City" and noted that he had been a Broward County Commissioner from February 1925 until January 1929 (Simpson 1984).

John's father, John Milton Bryan, Sr., was born in Hamilton County, Florida, in 1838. His great grandfather, Philemon Bryan, had migrated to territorial Florida from New Bern, North Carolina, before the end of the Spanish occupation. John Sr. served in both the Seminole Wars and the Civil War. He married Louise Margaret Norton in 1867. Their first home was a log cabin known as the Old Ballard Place near Umatilla. They moved to Fort Mason about 1875 where they had seven of their ten children. He started business with a trading post on Lake Eustis. He represented Orange County in the State Legislature from 1875 to 1883 and in the State Senate from 1886 to 1890. Two of his sons, Will and Nathan, were U.S. Senators from Florida. He moved to Kissimmee in 1883 and after the freezes of 1895-96 moved south to homestead land in Dania around 1905, his son John, Jr. having preceded him. He died at Tigertail, his Dania home, in 1911, aged 73 (Simpson 1984).

The freeze also prompted a cousin of the John Miltons, Philemon N. Bryan, to move to south Florida. A Confederate veteran, he married Lucy Murray in 1867 and began farming citrus and other crops in Volusia County at Glencoe west of New Smyrna. In 1887 Bryan became the first mayor of New Smyrna and a friend of Henry Flagler. Flagler hired Philemon as his section manager to supervise the construction of a segment of railroad bed north from the New River near Fort Lauderdale to Pompano in 1895. When Philemon's sons, Reed and Tom, graduated from Stetson University and Emory College, they joined their father who was staying at Frank Stranahan's trading post on the New River in Fort Lauderdale. They built the railroad camp a half mile upstream and supervised a crew of 400 laborers, finishing the job by the end of 1895. Philemon returned to New Smyrna but within a year he and Lucy relocated to Fort Lauderdale to try their hand at farming in a warmer climate.

In 1896, Tom Bryan was rewarded for favors to the local Seminoles with a gift of wild oranges so delicious that he induced the donor to take him by canoe up river to their source: 700 wild orange and lemon trees growing on "rich hammock land" in an area soon proposed to be set aside as the Dania Reservation. Tom shared this discovery with his father, brother Reed, and their cousin John Milton Bryan, Jr., and the Bryans "selected their lands" agreeing that John would cultivate the western portion at Tiger Tail Hammock which he named Big City grove, later known as the Indian River grove; Philemon and Reed would farm the eastern portion, the Helencia grove, and later

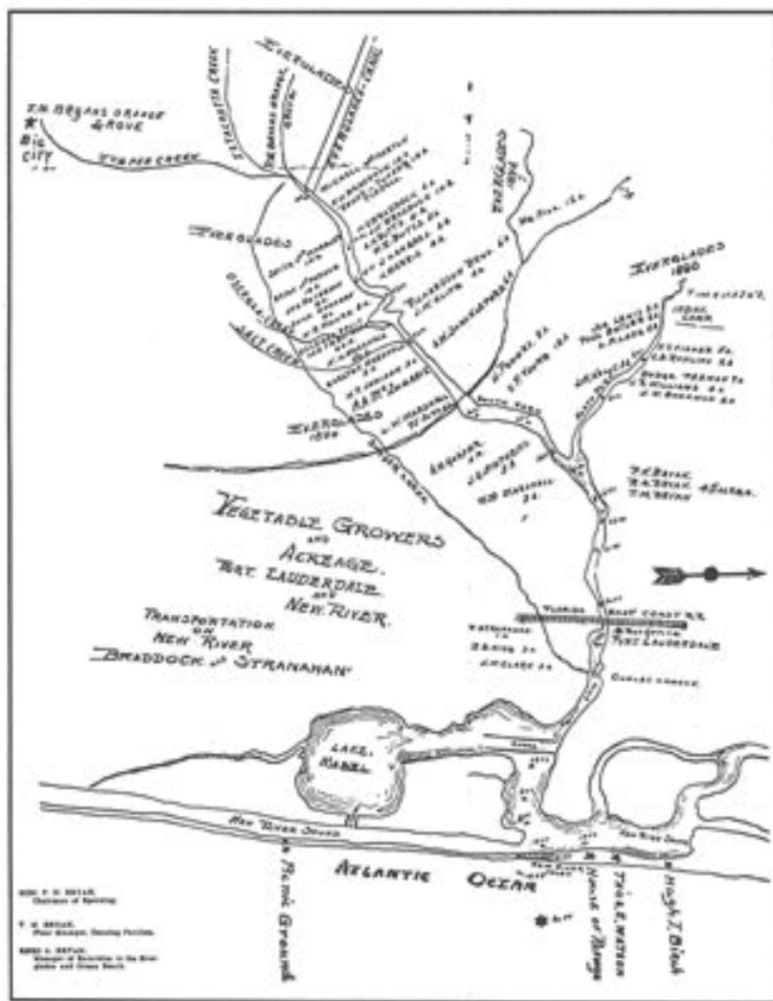
planted the New River grove north of the river (Crim 1940). The New River grove was started in 1897 by Tom as the "Bryan grove" consisting of 168 acres of which 35 were grove (Mitzner 2015). Big City grove is said to have consisted of 90 acres bought for 25¢ an acre (Evans 1974).

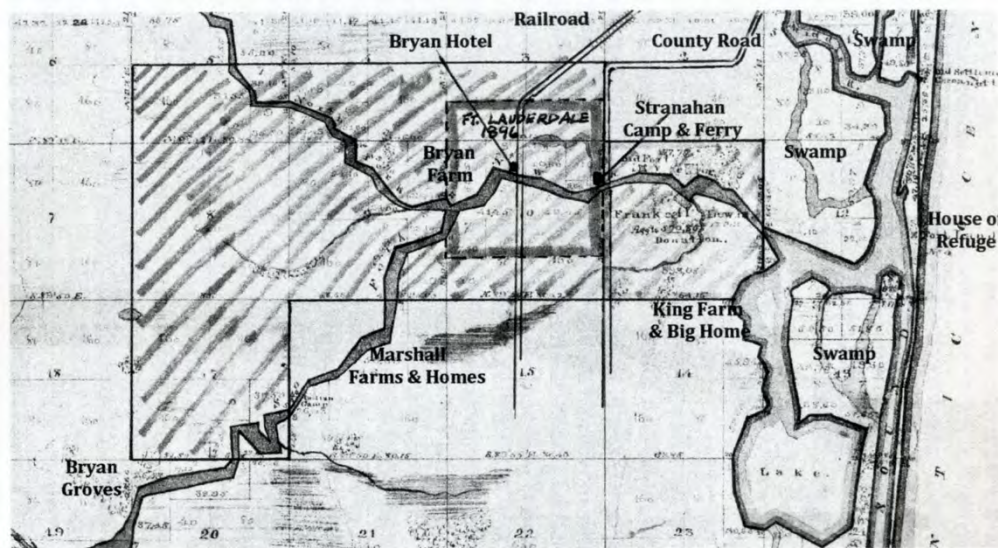
In 1898, Special Indian Inspector A. J. Duncan was in south Florida with surveyor Otto Fries assessing lands to be set aside for the Seminoles. In a report he noted "forty acres of hammock (high ground) land between the north and south fork of the New River that had been occupied by Indians on April 1, 1897 but were taken possession of by a white man named Bryan while they were on a hunt and he is at present occupying their homes and cultivating the hammocks formerly cultivated by them." This probably referred to Old Tommie's camp – both he and Robert Osceola had camps on the upper New River. By 1898 Robert had lost his camp to farmers Marshall and Marsh. Duncan and Fries survey was the basis for the recommendation of James E. Ingraham, chairman of the state Seminole trustees, that tracts in Townships 50, 51 and 52, Range 40 and 41, known as Pine Island, Big City, and the Keys, be included in the 5000 acres reserved by the state for the Seminoles. John Milton Bryan, Sr. immediately lobbied for his and his cousins' lands to be set aside from inclusion in the reservation. Duncan's plan was whittled down in the end, the federal

government acquiring twelve 40-acre parcels near Dania for the Seminoles, excluding the Bryan holdings (Poleo 1998; Mitzner 2015).

John Milton Bryan, Jr. died in 1936 at the age of 61. Guilda lived until 1951. Both are buried in Edgewater New Smyrna Cemetery in Volusia County. Their two sons, John and Lourcey, died in 1991 and 2009 (Find a Grave 2022). John's obituary also lists a daughter, Guilda (Fort Lauderdale News 1936).

Growers map of Fort Lauderdale and the New River circa the early 20th century. The J. M. Bryan orange grove at Big City upper left corner is quite apart from the farms of the P. N. Bryan family. Source: Fort Lauderdale Historical Society in Poleo (1998)

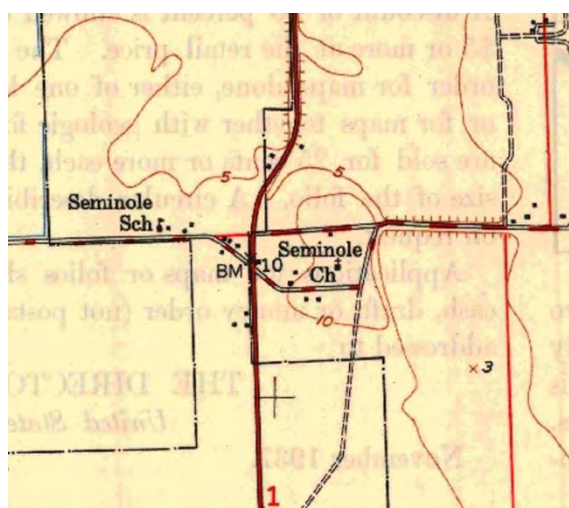




1900 Ft. Lauderdale area. Each block is a square mile. Easternmost block is Brickell "Donation" (1874); other shaded area is Brickell purchase of 1890. Ft. Lauderdale block is Flagler's plat of 1896. Relative location of early key settlers is noted.

19th century plat map depicting early 20th century pioneer holdings (Mitzner 2015).

The John M. Bryan House has been recorded with several names, addresses, and backstories. It might have been confused with the railroad camp built by Philemon Bryan – the camp had several buildings, including a commissary and a waterfront saloon (Mitzner 2015); yet while it was being an Elks Club, gambling casino, and gun running operation from 1948 to the early 1950s (Evans 1974), Tom Cheaney had been living there since 1946 (Nipe 1996). The 1949 USGS map labels the house a Seminole Church, but no evidence was found in Seminole tribal records that the First Baptist Seminole Church, founded in 1936, ever existed or conducted services outside its present location a half-mile north of the Bryan House; instead, a Seminole camp was reported there, on Doctor's Island (Scheidecker personal communication). Systematic archaeological testing during this survey uncovered no trace of a camp; and no further information on Doctor's Island was found.



Betty Mae Jumper holding her poodle, 1967: State Archives of Florida. She played as a child at the Bryan House according to Evans (1974). She was an early convert to Christianity. Her book *And With The Wagon—Came God's Word* does not mention the Bryan House (Jumper 1985). But she remembered the orange groves east of 441 as "Mr. McMahon's" and remembered playing with his kids (Jumper and West 2001). She was 5 years old when she moved to Dania. Right: the 1949 USGS map labeling the house "Seminole Church."

EVALUATION

The Bryan House was listed by the City of Hollywood as a local historic site in 1999. The Broward County Historical Commission recommended the designation after having done its own research and site assessment of the property. The nucleus of the existing house is a two-story, rectangular, high-pitch gabled-roofed structure built of local materials described as frame vernacular in a Carolina style, referring to an austere, symmetrical Georgian Revival style popular in North Carolina in the 18th and 19th centuries. As to why this style, so far, the only clue is that the great-grandfather of John Milton Bryan, Jr. came from New Bern, capitol of North Carolina from 1770 to 1792; the only reason, the persistence of culture. New Bern, a town of 30,000, is a practically a museum of colonial architecture, having four National Register and two Local Historic Districts.

The house has three additions: a front porch, rear dining room/porch, and kitchen, which the interior design has been adapted to integrate, doubtlessly by the Bryans. The front elevation of the original house within the porch appears to be mostly intact, while the rear is more disturbed, having been opened up for the dining room. The county found that "despite these changes, much of the house appears to be intact." The designation report determines the Bryan House to be "one of the oldest surviving structures in Southern Broward County"; that it maintains its architectural integrity; is associated with the growth of pioneer agriculture being the farmhouse of one the first citrus groves in the county; is associated with the Bryan family, members of whom were prominent in local, state, and national history; and embodies distinctive characteristics of vernacular architecture in the early twentieth century. Hence it appears to meet criteria A, B, and C for individual listing in the National Register.

REFERENCES CITED

City of Hollywood, Florida

1999 Historic Designation Report: Bryan House. Department of Development Administration. Community Planning Division. July 26.

Crim, Sara

1940 The Story of Fort Lauderdale. Chapter XVIII. *Fort Lauderdale News*, November 10.

Evans, Mary K.

1974 BD153. Florida Master Site File, Tallahassee.

Fort Lauderdale News

1936 John M. Bryan, Broward Pioneer, Dies Early Today. March 26.

Jumper, Betty Mae

1985 *And With the Wagon—Came God's Word*. Seminole Communications Department, Seminole Tribe of Florida, Hollywood.

Jumper, Betty Mae and Patsy West

2001 A Seminole Legend. The Life of Betty Mae Tiger Jumper. University Press of Florida, Gainesville.

Mitzner, Keith D.

2015 Tom Bryan and Other Movers and Shakers of Early Fort Lauderdale. Lulu Press, Inc. Research Triangle, North Carolina.

Poleo, Barbara A.

1998 Seminoles and Settlers. South Florida Perspectives. 1890-1920. *The Broward Legacy*. Vol. 21 No. 1-2. Broward County Historical Commission, Fort Lauderdale.

Nipes, Frances

1996 BD153. Florida Master Site File, Tallahassee.

8BD00153



Above: Bryan House, BD153, front looking west. Below: looking southwest.

8BD00153



Above: Bryan House looking southeast. Below: rear, looking east.

8BD00153



Above: Bryan House, rear looking northeast. Below: looking north.



Bryan House Interior

Left: old front door within porch looking west.

Below: fireplace in south wall.



Above: looking from living into dining room, kitchen beyond.

Right: living room view south with dining room entrance on far right.





Above: Bryan House drive looking east toward entrance. Below: gate looking west from North 58th Avenue.

☐ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 _____
 Field Date _____
 Form Date _____
 Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) _____ Multiple Listing (DHR only) _____
 Survey Project Name _____ Survey # (DHR only) _____
 National Register Category (please check one) building structure district site object
 Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction
 Cross Streets (nearest / between) _____
 USGS 7.5 Map Name _____ USGS Date _____ Plat or Other Map _____
 City / Town (within 3 miles) _____ In City Limits? yes no unknown County _____
 Township _____ Range _____ Section _____ ¼ section: NW SW SE NE Irregular-name: _____
 Tax Parcel # _____ Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone 16 17 Easting _____ Northing _____
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: _____ approximately year listed or earlier year listed or later
 Original Use _____ From (year): _____ To (year): _____
 Current Use _____ From (year): _____ To (year): _____
 Other Use _____ From (year): _____ To (year): _____
 Moves: yes no unknown Date: _____ Original address _____
 Alterations: yes no unknown Date: _____ Nature _____
 Additions: yes no unknown Date: _____ Nature _____
 Architect (last name first): _____ Builder (last name first): _____
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☐ unknown Describe _____

DESCRIPTION

Style _____ Exterior Plan _____ Number of Stories _____
 Exterior Fabric(s) 1. _____ 2. _____ 3. _____
 Roof Type(s) 1. _____ 2. _____ 3. _____
 Roof Material(s) 1. _____ 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.) _____

Distinguishing Architectural Features (exterior or interior ornaments) _____

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____

SHPO – Appears to meet criteria for NR listing: ☐ yes ☐ no ☐ insufficient info

Date _____ Init. _____

KEEPER – Determined eligible: ☐ yes ☐ no

Date _____

NR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see *National Register Bulletin 15*, p. 2)

☐ Owner Objection

DESCRIPTION (continued)

Chimney: No. ____ Chimney Material(s): 1. _____ 2. _____ 3. _____
 Structural System(s): 1. _____ 2. _____ 3. _____
 Foundation Type(s): 1. _____ 2. _____
 Foundation Material(s): 1. _____ 2. _____

Main Entrance (stylistic details)

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

FMSF record search (sites/surveys)	library research	building permits	Sanborn maps
FL State Archives/photo collection	city directory	occupant/owner interview	plat maps
property appraiser / tax records	newspaper files	neighbor interview	Public Lands Survey (DEP)
cultural resource survey (CRAS)	historic photos	interior inspection	HABS/HAER record search
other methods (describe) _____			

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name _____ Affiliation _____

Recorder Contact Information _____
 (address / phone / fax / e-mail)

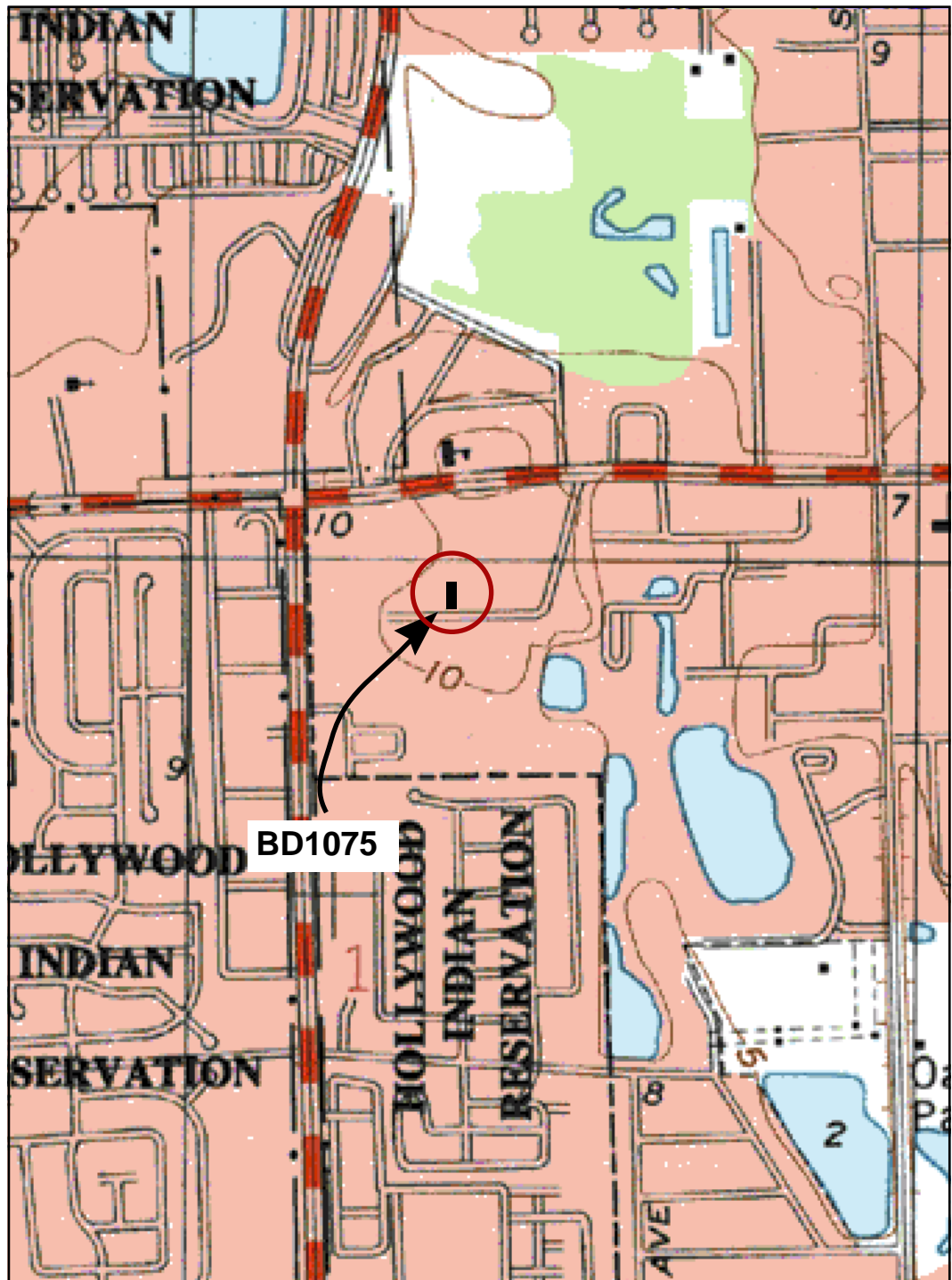
Required Attachments

❶ USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED

❷ LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

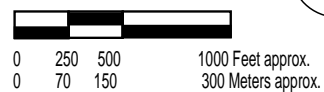
❸ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



USGS map of 8BD01075, 5821 NW 42nd Street.

TOWNSHIP 51S, RANGE 41E, SECTION 1
USGS MAP: FORT LAUDERALE SOUTH, REV. 1994



8BD01075



Above: 5821 NW 42nd Street, BD1075, front looking north. Below: looking northwest.

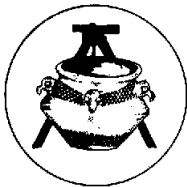
8BD01075



Above: Side view looking northeast. Below: rear, looking south, showing storage shed.



Above: rear gate looking northeast towards the Bryan House, BD153. Below: looking south toward BD1075 from the back yard of the Bryan House.

Original
Update

ARCHAEOLOGICAL SITE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Consult *Guide to Archaeological Site Form* for detailed instructions
 Site #8 _____
 Field Date _____
 Form Date _____
 Recorder # _____

 Site Name(s) _____ Multiple Listing (DHR only) _____
 Project Name _____ Survey # (DHR only) _____
 Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

 USGS 7.5 Map Name _____ USGS Date _____ Plat or Other Map _____
 City/Town (within 3 miles) _____ In City Limits? yes no unknown County _____
 Township _____ Range _____ Section _____ ¼ section: NW SW SE NE Irregular-name: _____
 Township _____ Range _____ Section _____ ¼ section: NW SW SE NE
 Landgrant _____ Tax Parcel # _____
 UTM Coordinates: Zone 16 17 Easting _____ Northing _____
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Address / Vicinity / Route to: _____

 Name of Public Tract (e.g., park) _____

TYPE OF SITE (select all that apply)

SETTING

 Land (*terrestrial*) Wetland (*palustrine*)
 Lake/Pond (*lacustrine*) usually flooded
 River/Stream/Creek (*riverine*) usually dry
 Tidal (*estuarine*) Cave/Sink (*subterranean*)
 Saltwater (*marine*) terrestrial
 aquatic

STRUCTURES OR FEATURES

 log boat fort road segment
 agric/farm building midden shell midden
 burial mound mill shell mound
 building remains mission shipwreck
 cemetery/grave mound, nonspecific subsurface features
 dump/refuse plantation surface scatter
 earthworks (historic) platform mound well

FUNCTION

 campsite
 extractive site
 habitation (prehistoric)
 homestead (historic)
 farmstead
 village (prehistoric)
 town (historic)
 quarry (prehistoric)

Other Features or Functions (Choose from the list or type a response.)

1. _____ 2. _____

CULTURE PERIODS (select all that apply)

ABORIGINAL

 Alachua Englewood
 Archaic (nonspecific) Fort Walton
 Archaic, Early Glades (nonspecific)
 Archaic, Middle Glades I
 Archaic, Late Glades II
 Belle Glade Glades III
 Cades Pond Hickory Pond
 Caloosahatchee Leon-Jefferson
 Deptford Malabar I
 Malabar II

 Manasota
 Mississippian
 Mount Taylor
 Norwood
 Orange
 Paleoindian
 Pensacola
 Perico Island
 Safety Harbor
 St. Augustine

 St. Johns (nonspecific)
 St. Johns I
 St. Johns II
 Santa Rosa
 Santa Rosa-Swift Creek
 Seminole (nonspecific)
 Seminole: Colonization
 Seminole: 1st War To 2nd
 Seminole: 2nd War To 3rd
 Seminole: 3rd War & After

 Swift Creek (nonspecific)
 Swift Creek, Early
 Swift Creek, Late
 Transitional
 Weeden Island (nonspecific)
 Weeden Island I
 Weeden Island II
 Prehistoric (nonspecific)
 Prehistoric non-ceramic
 Prehistoric ceramic

NON-ABORIGINAL

 First Spanish 1513-99
 First Spanish 1600-99
 First Spanish 1700-1763
 First Spanish (nonspecific)
 British 1763-1783
 Second Spanish 1783-1821
 American Territorial 1821-45
 American Civil War 1861-65
 American 19th Century
 American 20th Century
 American (nonspecific)
 African-American

Other Cultures (Choose from the list or type a response. For historic sites, give specific dates.)

1. _____ 3. _____
2. _____ 4. _____

OPINION OF RESOURCE SIGNIFICANCE

Potentially eligible individually for National Register of Historic Places? yes no insufficient information

Potentially eligible as contributor to a National Register district? yes no insufficient information

Explanation of Evaluation (required if evaluated; use separate sheet if needed)

Recommendations for Owner or SHPO Action

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date

SHPO – Appears to meet criteria for NR listing: ☐ yes ☐ no ☐ insufficient info

Date _____ Init. _____

KEEPER – Determined eligible: ☐ yes ☐ no

Date _____

☐ Owner ObjectionNR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see *National Register Bulletin 15*, p. 2)

FIELD METHODS (select all that apply)

SITE DETECTIONSITE BOUNDARY

no field check	exposed ground	screened shovel	bounds unknown	remote sensing	unscreened shovel
literature search	posthole tests	screened shovel-1/4"	none by recorder	exposed ground	screened shovel
informant report	auger tests	screened shovel-1/8"	literature search	posthole tests	block excavations
remote sensing	unscreened shovel	screened shovel-1/16"	informant report	auger tests	estimate or guess

Other methods; number, size, depth, pattern of units; screen size (attach site plan)

SITE DESCRIPTION

Extent/Size (m²) _____ Depth/stratigraphy of cultural deposit (describe below)

Temporal Interpretation - Components (check one): single component multiple component uncertain

Describe each occupation in plan (refer to attached large scale map) and stratigraphically. Discuss temporal and functional interpretations:

Integrity - Overall disturbance: none seen minor substantial major redeposited destroyed-document! unknown

Disturbances / threats / protective measures

Surface collection: area collected _____ m² # collection units _____ Excavation: # noncontiguous blocks _____

ARTIFACTS

Total Artifacts # _____ count estimate Surface # _____ Subsurface # _____

COLLECTION SELECTIVITY

unknown unselective (all artifacts)
 selective (some artifacts)
 mixed selectivity

SPATIAL CONTROL

uncollected general (not by subarea)
 unknown controlled (by subarea)
 variable spatial control
 other (describe in comments below)

ARTIFACT CATEGORIES and DISPOSITIONS

_____ - _____
 _____ - _____
 _____ - _____
 _____ - _____
 _____ - _____
 _____ - _____
 _____ - _____
 _____ - _____

select a disposition from the list below
for each artifact category selected at left

A - category always collected
 S - some items in category collected
 O - observed first hand, but not collected
 R - collected and subsequently left at site
 I - informant reported category present
 U - unknown

Artifact Comments

DIAGNOSTICS (type or mode, and frequency: e.g., Suwanee ppk, heat-treated chert, Deptford Check-stamped, ironstone/whiteware)

1. _____ N= _____ 4. _____ N= _____ 7. _____ N= _____
 2. _____ N= _____ 5. _____ N= _____ 8. _____ N= _____
 3. _____ N= _____ 6. _____ N= _____ 9. _____ N= _____

ENVIRONMENT

Nearest fresh water: Type _____ Name _____ Distance from site (m) _____
 Natural community _____ Topography _____ Elevation: Min _____m Max _____m
 Local vegetation _____
 Present land use _____
 SCS soil series _____ Soil association _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

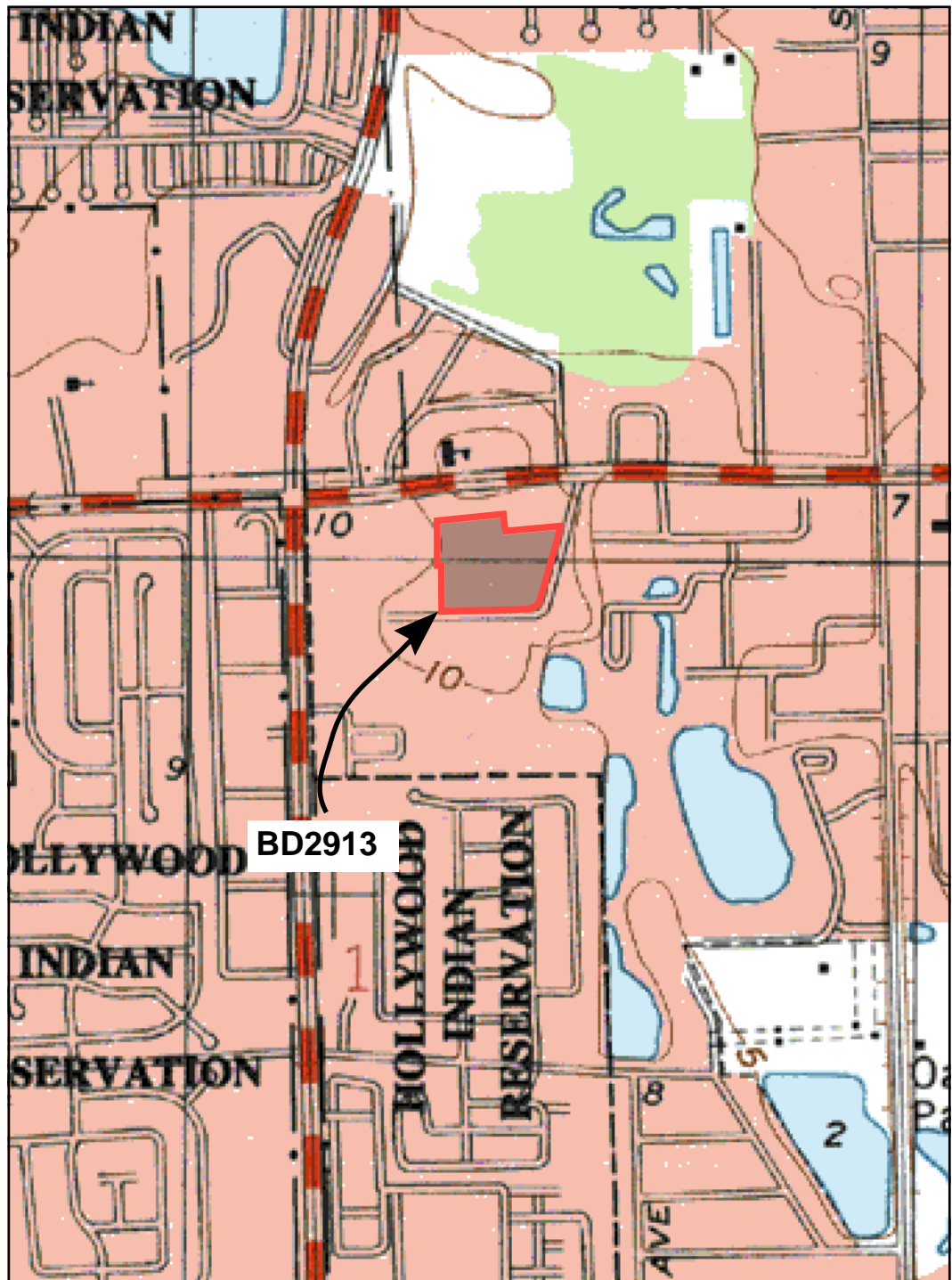
1) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER & INFORMANT INFORMATION

Informant Information: Name _____
 Address / Phone / E-mail _____
 Recorder Information: Name _____ Affiliation _____
 Address / Phone / E-mail _____

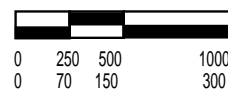
**Required
Attachments**

1 PHOTOCOPY OF 7.5' USGS QUAD MAP WITH SITE BOUNDARIES MARKED *and* SITE PLAN
 Plan at 1:3,600 or larger. Show boundaries, scale, north arrow, test/collection units, landmarks and date.



USGS map of 8BD02913, the Bryan Homestead.

TOWNSHIP 50S, RANGE 41E, SECTION 36
 TOWNSHIP 51S, RANGE 41E, SECTION 1
 USGS MAP: FORT LAUDERALE SOUTH, REV. 1994





The Bryan Homestead, BD2913: panoramic view looking northwest to southeast (left to right) with Bryan House, BD153, at center.



Panoramic view looking north (along N 58th Avenue) to southeast (left to right) towards cottage, 5821 NW 42nd Street, BD1075.

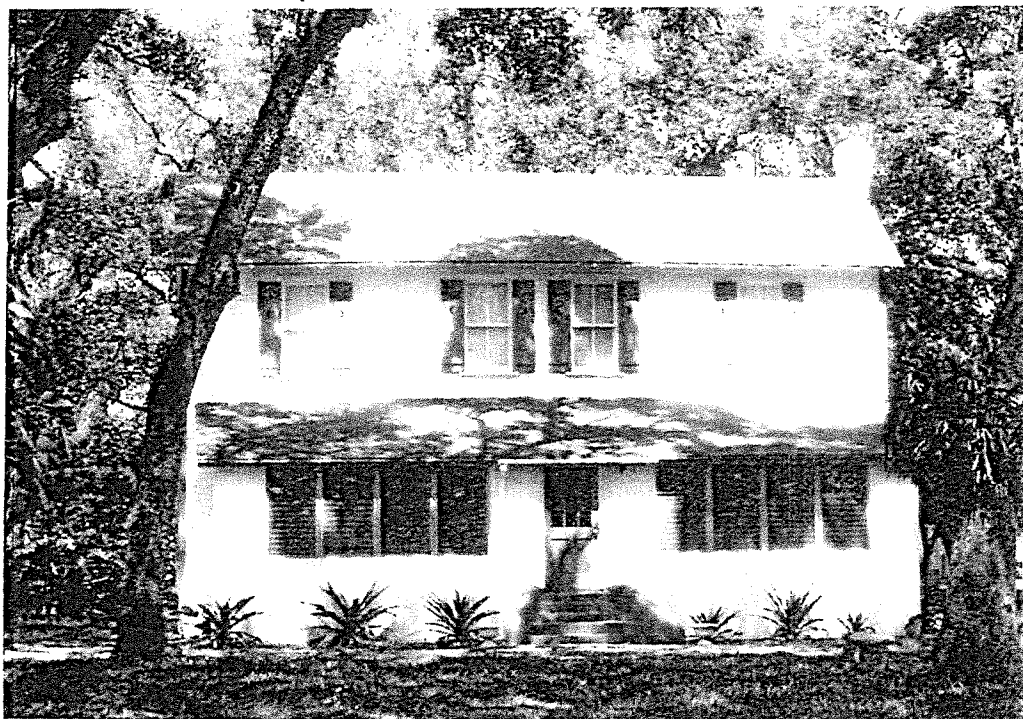


Panoramic view looking west towards BD1075 to northwest towards Bryan House (left to right).

ATTACHMENT A
Application Package
Part VI

HISTORIC DESIGNATION REPORT

**BRYAN HOUSE
4220 NORTH 58 AVENUE**



JULY 26, 1999

by

**City of Hollywood, Florida
Department of Development Administration
Community Planning Division**

**Recommendation for Historical Consideration
Broward County Historical Commission
October 1, 1991**

Historic Name of Site: Bryan House

Current Name of Site: Cheaney Residence

Address: 4220 North 58th Avenue

Construction Date: c. 1916

Function: Residential

Brief Description: Two-story Wood Frame Vernacular residence

Owner: Thomas Cheaney

Type Ownership: Private

Legal Description: Seminole Estates 21-15 B, Lot 1 Less Beginning N.E. Corner of Lot 4, Easterly along North Property Line of Lot 1 243.23, Southerly 196.13, Westerly 242.67 to N. W. Corner of Lot 3, Northerly to Point of Beginning.

Folio Number: 514101010010

Previous Listing: Florida Master Site File; Listed as Very High Priority Site by Broward County Historical Commission

ATTACHMENT A
Application Package
Part VI

**The Bryan House
4220 North 58th Avenue
Local Historic Site**

Statement of Significance:

Historical Information:

This two-story Dade County Pine farmhouse, built in 1916, is one of the oldest surviving structures in Southern Broward County and is a fine example of Wood Frame Vernacular style of architecture. The Broward County Historical Commission recently listed the Bryan home as being one of the most historically and architecturally significant structures in Broward County.¹

Phileomen N. Bryan built the farmhouse for John M. and Guilda M. Bryan. The Bryans were a prominent Broward County pioneer family and citrus growers. The farmhouse was built near the site of Bryan's 1902 farmhouse that was demolished.²

John and Guilda Bryan originally purchased 90 acres of land for 25 cents per acre and developed the first orange grove in Broward County on the property. It is believed that the property was originally an island, but the surrounding land was drained when the first farmhouse was constructed. It is also believed that the property contained the most southern tributary of the South Fork of the New River and that there was a dock at the water's edge. An existing nearby pond and a remnant oak and hardwood hammock provide evidence to these original land features.

According to the 1974 Florida Master Site File for this property, "servants were Indians. Betty Jumper, a Seminole Indian, played there when she was a child. In the late 1940s and early 1950s, the house was used as a gambling casino by a syndicate operation. The syndicate was involved in raids, gun running, and other illegal activities. In 1948 and through the early 1950s the house was used by the Elk's Club".³

¹ Research Atlantica, Inc., City of Hollywood, Florida Comprehensive Historic Preservation Plan, Coral Springs, September 1991, pp. 8 and 35.

² Murray and Lourcey Bryan, sons of John M. Bryan and Guilda M. Bryan, Interviews with Dr. Cooper Kirk, Broward County Historian, 1982.

³ State of Florida, Department of State, "Florida Master Site File, 4220 N. 58th Avenue."

Over the years the homestead has been reduced to 5 acres and a new house recently was built near the original homestead.

Architectural Information:

The Bryan House is an example of Wood Frame Vernacular style of architecture. This style represents a typical method of construction used by pioneers in South Florida. As is typical of the style, the builder used local available materials in the construction of a useful and practical building. The materials included Dade County Pine that is valued for its longevity. The rectangular structure has stark simplicity and is described in the Florida Site File as a farmhouse in the "Carolina" style. The structure is built on stone piers, has a front porch, and has a high pitched gabled roof which usually indicates construction before 1920. The windows are double-hung and single-hung sash with shutters.⁴

On inspection, it is evident that some additions and alterations have been made to the house. Most notable alterations to the original structure are the additions of an enclosed front porch, a side porch, a kitchen and dining room to the rear. Other alterations include elimination of some doorways, replacement of some windows and doors, interior remodeling, and replacement of a portion of siding on the south side of the house. Most of these alterations appear to have been made between the 1920s and the 1940s. Despite these changes, much of the original material and configuration of the house appears to be intact.⁵

Although the structure has been altered, the architectural integrity of the original structure remains.

Archaeological Survey:

The Bryan property was tested as part of the current countywide archaeological survey in May 1995. This effort located no prehistoric or Seminole sites, although materials from the twentieth century occupation of the land were recovered.⁶

⁴ State of Florida, Department of State, "Florida Master Site File, 4220 N. 58th Avenue."

⁵ Rodney Dillon, Broward County Historical Commission, Memorandum on the "Survey of Historic John M. and Guilda Bryan House," May 15, 1995, p. 1.

⁶ Dillon, p. 2.

Criteria for Designation:

(D.3.a.) “Integrity of location, design, setting, materials, workmanship, and association.” Although there have been some alterations, the building maintains its architectural integrity and is one of the oldest structures in South Broward County.

(D.3.b.)1. “Association with events that have made a significant contribution to the broad patterns of our history.” The Bryan House is associated with the farming industry in the 1920s and the surrounding property contained one of the first orange groves in Broward County. The structure is one of the few remaining examples of a farmhouse in Broward County.

(D.3.b.)2. “Association with the lives of persons significant in our past.” The structure is significant historically as the homestead of John M. and Guilda M. Bryan, a prominent pioneer family in Broward County.

(D.3.b.)3. “Embodiment of the distinctive characteristics of a type, period, or method of construction.” Although there have been alterations, the structure at 4220 N. 58 Avenue embodies the characteristics of the Wood Frame Vernacular style of architecture. It is representative of the Boom Years of the 1920s in Broward County.

Recommendation:

Based upon the information presented in this report, it is recommended that the City of Hollywood designate 4220 N. 58 Avenue as a local historic site.

1. Areas subject to Review: All exterior elevations of buildings.
2. Review Guidelines: The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitation of Historic Buildings, as amended, and the City's Design Guidelines for Historic Properties.

Page 1 **HISTORICAL STRUCTURE FORM**
FLORIDA SITE FILE

Site # 8BD01076

Site Name *CHEANEY RESIDENCE*

Recorder # 0

Field Date

Survey

No Original

Form Date 6/17/1996

National Register Category *BUILDING*

Yes Update

Multilist #: 0

Survey #:

LOCATION AND IDENTIFICATION

Address (include N,S,E,W; st. ave, etc) *4200 N 58 AVE*

Cross Streets (nearest/between) *42 ST & STERLING RD*

Nearest City/Town *HOLLYWOOD*

Within City Limits Yes

County *BROWARD*

Tax # 514101010010

Subdivision Name *SEMINOLE ESTATES 21-15 B*

Ownership *PRIV-RESI*

Block

Lots *LOT 1 LESS..*

Name of Public Tract (e.g., park)

Route To *W SIDE 58 AVE/STERLING RD*

MAPPING

USGS Map Name *FT LAUD SOUTH 1962 PR 1969*

Township 51 Range 41 Sect. 1 1/4 1/4 - 1/4: Irreg. Sect.? No

UMT ZONE (16 OR 17): 17 Easting 579400 Northing 2880800

Landgrants:

Plat or Other Map (Map's name, Location) *SEMINOLE ESTATES 21-15 B*

DESCRIPTION

Style *FRAME VERNACULAR* Exterior Plan *IRREGULAR* No. Stories 2

Structural Systems *WOOD FRAME*

Foundation Types *PIERS* Materials *UNKNOWN*

Exterior Fabrics *WOOD*

Roof Types *GABLE* Materials *UNKNOWN*

Secondary Strucs. (dormers etc.) *SHED*

Chimney: No. 0 Materials *NA* Locations *NA*

Windows: Types *DHW, 1/1, SINGLE W/SHUTTERS* Materials *WOOD*

Main Entrance (stylistic details) *UNKNOWN*

Open Porches 0 Closed 1 Incised 0 Locations *S/ACCESS FROM S*

Porch Roof Types *UNKNOWN*

Exterior Ornament *NONE*

Interior Plan *UNKNOWN* Condition *FAIR*

Surroundings *A-RESI*

Ancillary Features *UNKNOWN*

Archaeological Remains at Site: *NONE-NA*

NARRATIVE: (eg description of interior, landscape, architecture, etc. 250 character limit.)

Architectural features that add to the integrity of this Wood Vernacular style structure include use of Dade County Pine (local materials), rectangular shape, porches, high pitched gable roof, and stark simplicity.

HISTORY

Construction Date 1916 CIRCA: Yes

ARCHITECT (last name first): UNKNOWN

BUILDER (last name first): UNKNOWN

Moves No Dates Orig. addr. NA

Alterations Yes Dates Nature ADDITIONS (ENCLOSED FRONT PORCH, SIDE P

Additions No Dates Nature UNKNOWN

Original Use (give dates): RESIDENCE From To

Intermediate Uses (give dates): From To

Present Uses (give dates): RESIDENCE From To

OWNERSHIP HISTORY:

ACCORDING TO FLA SITE FILE, JOHN M AND GUILDA M BRYAN WERE THE OWNERS OF THIS PROPERTY AND BUILT THE HOUSE IN 1916

RESEARCH METHODS (Check all choices that apply; if needed write others at bottom)

Yes Archaeological survey/testing:	Yes Tax records only:	No Library research-local:	Yes Subdivision maps:
No Exposures inspected, informal:	No Interior inspection:	Yes Library special collectn	No Sanborn maps:
No Controlled archaeological surf colln	Yes FMSF survey search:	No Building Permits:	Yes Plat maps:
No Archaeological form completed:	Yes FMSF sites search:	No Demolition permits:	Yes Newspapers:
No Public Lands Survey:	No FL Archives (Gray Bldg):	No Commercial permits	Yes Occupant interview:
No Tax records/property deeds:	No FL Photo Archives	No Occupation permits:	No neighbor interview:

No other: (Specify)

SURVEYOR'S EVALUATION OF SITE

Potentially eligible for local designation? Yes

Individually eligible for National Register? No Category

Potential contributor to National Register district? No

Historical Associations ARCHITECTURE

Explanation of Evaluation

THIS BUILDING IS SIGNIFICANT AS ONE OF THE OLDEST SURVIVING STRUCTURES IN SOUTHERN BROWARD COUNTY, IS A FINE EXAMPLE OF WOOD VERNACULAR STYLE OF ARCHITECTURE, AND REPRESENTS THE BOOM YEARS OF THE 1920S IN HOLLYWOOD, FLORIDA.

DOCUMENTATION (Photos, Plans, etc.)

Bibliographic References (Use continuation Sheet, give FSF Manuscript # if relevant)

NA

Location of negatives + negative numbers R33/F2,3,4

NOTE: For computer entry on "Smartform" please refer to the REPOSITORY section to input information on photographs)

RECORDER

Recorder Name NIPE, FRANCES

Recorder Address 2600 HWD BLVD, HWD FL 33022-9045

Recorder Phone 954-921-3471

Affiliation COM PLN DIV, HWD, FL

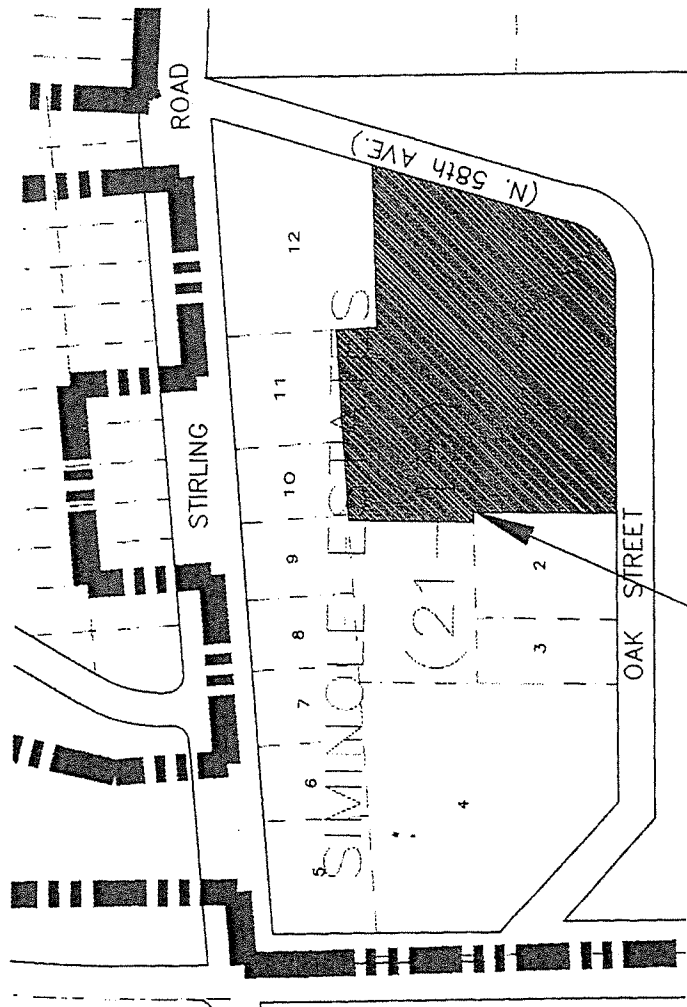
ADDITIONAL INFORMATION

Memorandum from Rodney Dillon, Broward County Historical Commission to Elizabeth Matei, Broward County Planning Council. "At the request of the Planning Council and Tom Cheaney, current owner of the John M. and Guilda Bryan house, the Historical Commission staff has conducted research in the Commission archives and performed a site survey on May 10. This structure is listed as Site #8BD0153 on the Florida Master Site File, which incorrectly identifies it as the Philemon Bryan house. It is also listed as a high priority site on the county's "Review of Florida Site File Records for southern Broward County and Recommendations for Historic Site Considerations". Both the Master Site File and the county's report, as well as a number of other secondary sources indicate a construction date of 1902. Both the site file and the county report describe the structure as a farmhouse of the "Carolina style". Background research: subsequent research by Historical Commission staff indicates the house was actually constructed by Broward County pioneer and citrus grower John M. Bryan in 1916 near the site of Bryan's 1902 house which has long since been demolished. This information is contained in a 1982 oral history interview by Broward County Historian Dr. Cooper Kirk with Murray and Lourcey Bryan, sons of John M. Bryan. Murray Bryan was born in 1905 and grew up on the property in the 1900s and 1910s.

Site Survey: On inspection, it is evident that some additions and alterations have been made to the house. Most notable are the additions of an enclosed front porch, a side porch, and a kitchen and dining room to the rear. Alterations include elimination of some doorways, replacement of some windows and doors, interior remodelling, and replacement of a portion of siding on the south side of the house. Most of these alterations appear to have been made between the 1920s and 1940s. Despite these changes, much of the house appears to be intact. The Master Site File refers to outbuildings on the property, but none of these remain. There are two other houses on the property, neither of historic significance.

Archaeological Survey: The Cheaney property was tested as part of the current county-wide archaeological survey in May 1995. This effort located no prehistoric or Seminole sites, although materials from the twentieth century occupation of the land were recovered. This historic pioneer component is not deemed eligible for the National Register of Historic Places, and no further testing is required of Mr. Cheaney. However, this office has requested access to the property to allow students and the Broward County archaeological Society volunteers to continue archaeological and historical research on this important east Everglades pioneer settlement. Field Survey: This represents the archaeological component for the Bryan House, a wood vernacular structure located at 4200 N 58th Avenue, Hollywood. The current structure includes a 1902 residence of the Bryan family. Potential archaeological components include pre-1920 trash pits and the out-house privy. The exact locations of these components are not known. Extensive conversations with the current owner, Tom Cheaney, indicates that the property has been in his family's possession since 1946. According to Mr. Cheaney, it was not until 1982, that the City of Hollywood stopped his grandmother from burning trash in the backyard. Two concrete "troughs" exist in the backyard where the trash was burned, and then separated and buried. That means that there may be approximately 80 years of historic refuse buried on the property. Complicating and obscuring the interpretation of any subsurface feature is the fact that Tom Cheaney has conducted extensive ditching for utility lines, landscaping, and clearing across the property. In recent months, he also brought a large load of dark grey sand from a land fill site and used it as fill at various locations across the property. This fill has hundreds of small fragments of glass and china mixed in the sand. During our 1995 assessment we excavated a total of six test holes on the property. These holes were all characterized by light to medium grey sand. The holes were all excavated at the eastern portion of the property the highest natural elevation occurs, and a remnant of an oak and hardwood hammock remains. No prehistoric or significant artifacts were uncovered during those tests.

HISTORIC RESOURCE



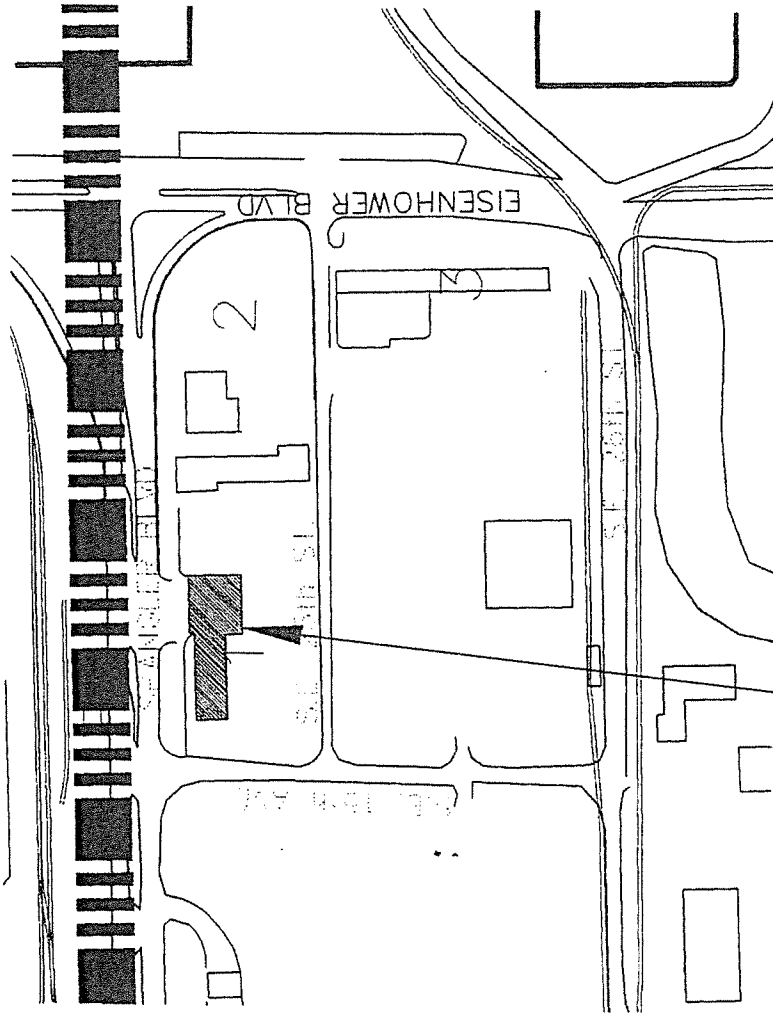
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CPD COMMUNITY PLANNING DIVISION
Department of Development
Administration

FLORIDA SITE FILE
8BD01076

CITY OF
HOLLYWOOD, FLORIDA
GEOGRAPHIC SECTION - GIS

HISTORIC RESOURCE



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CITY OF
HOLLYWOOD, FLORIDA
GEOGRAPHIC SECTION - GIS

FLORIDA SITE FILE
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CPD COMMUNITY PLANNING DIVISION
Department of Development
Administration

























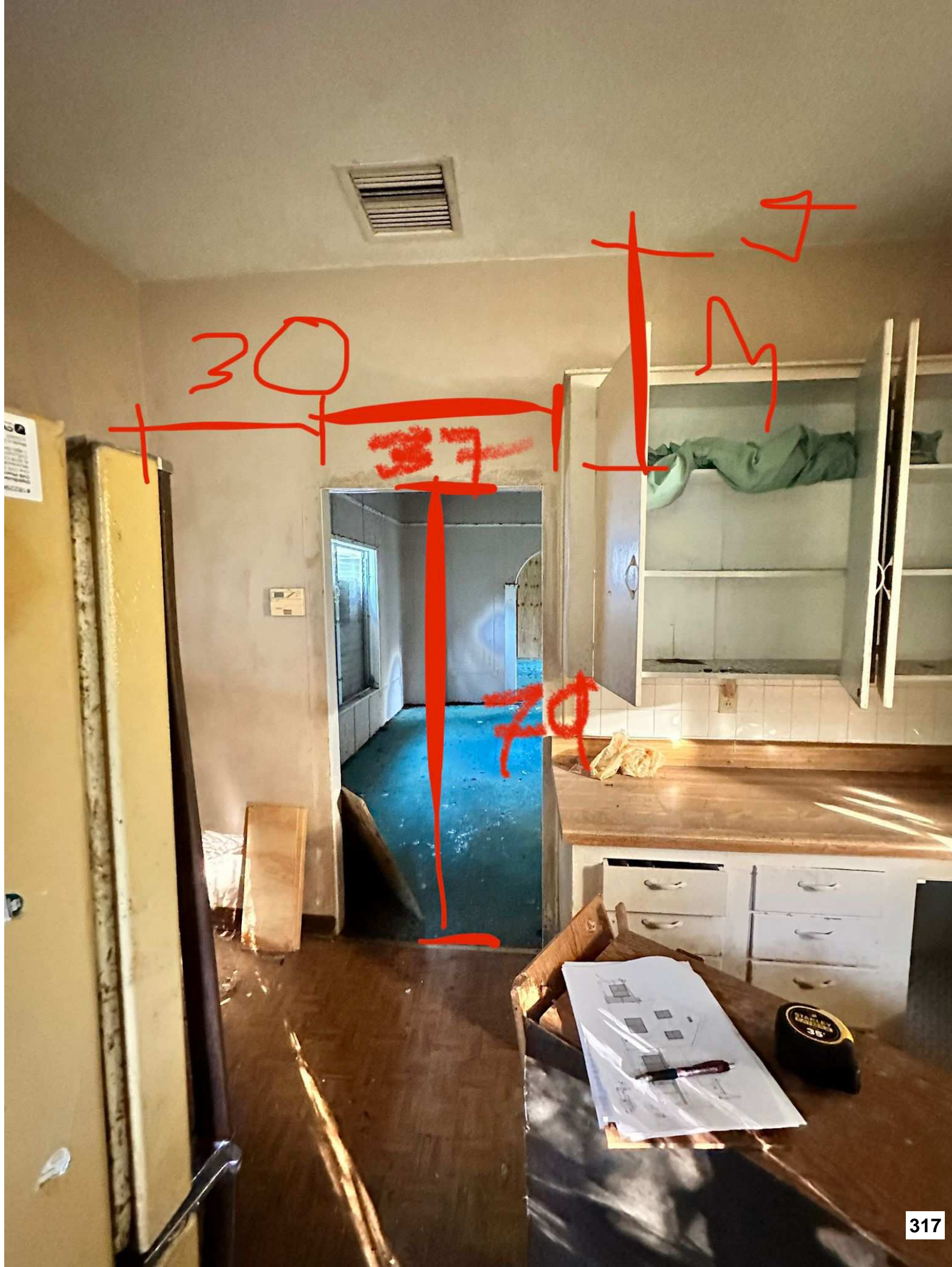








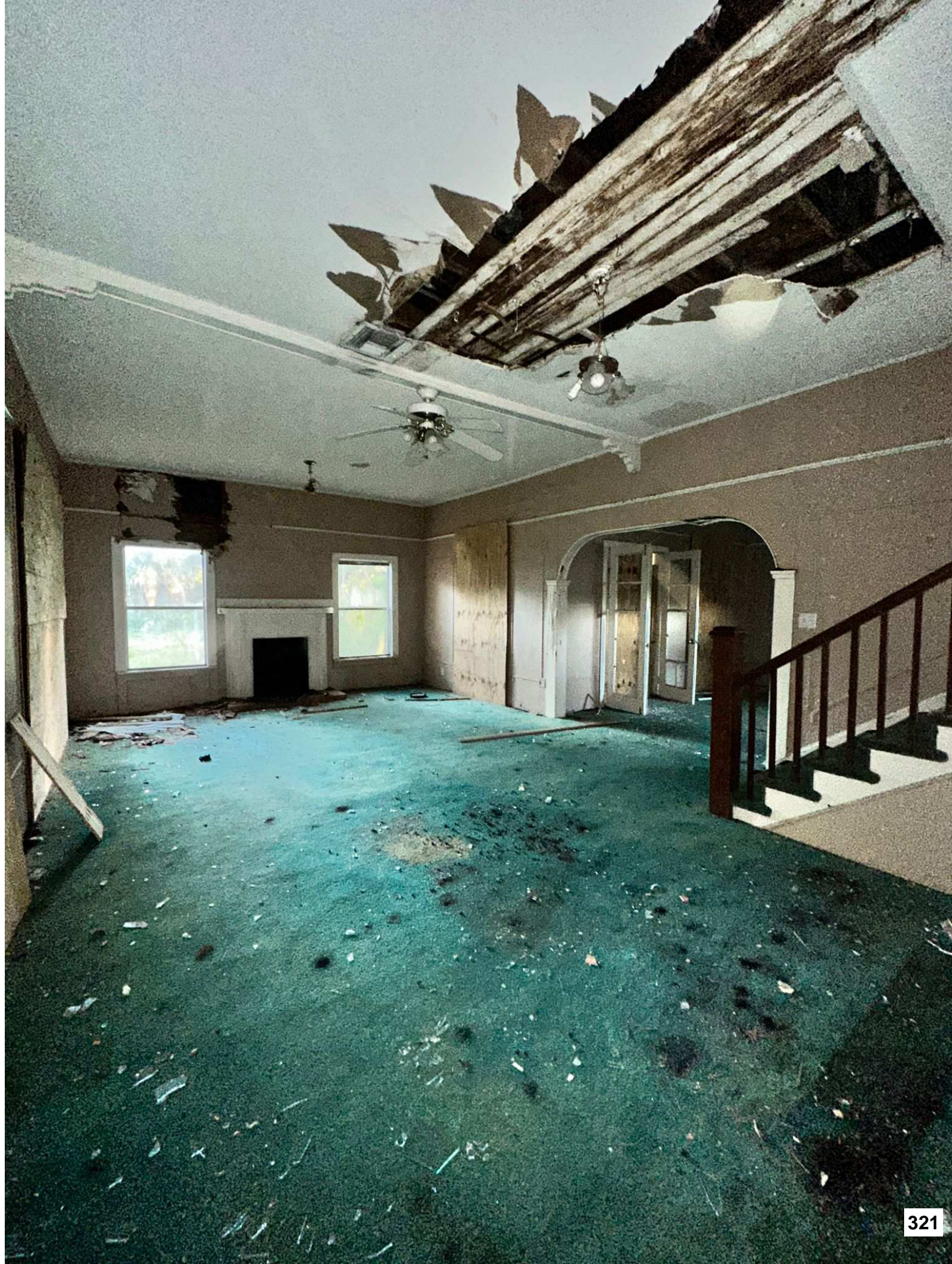












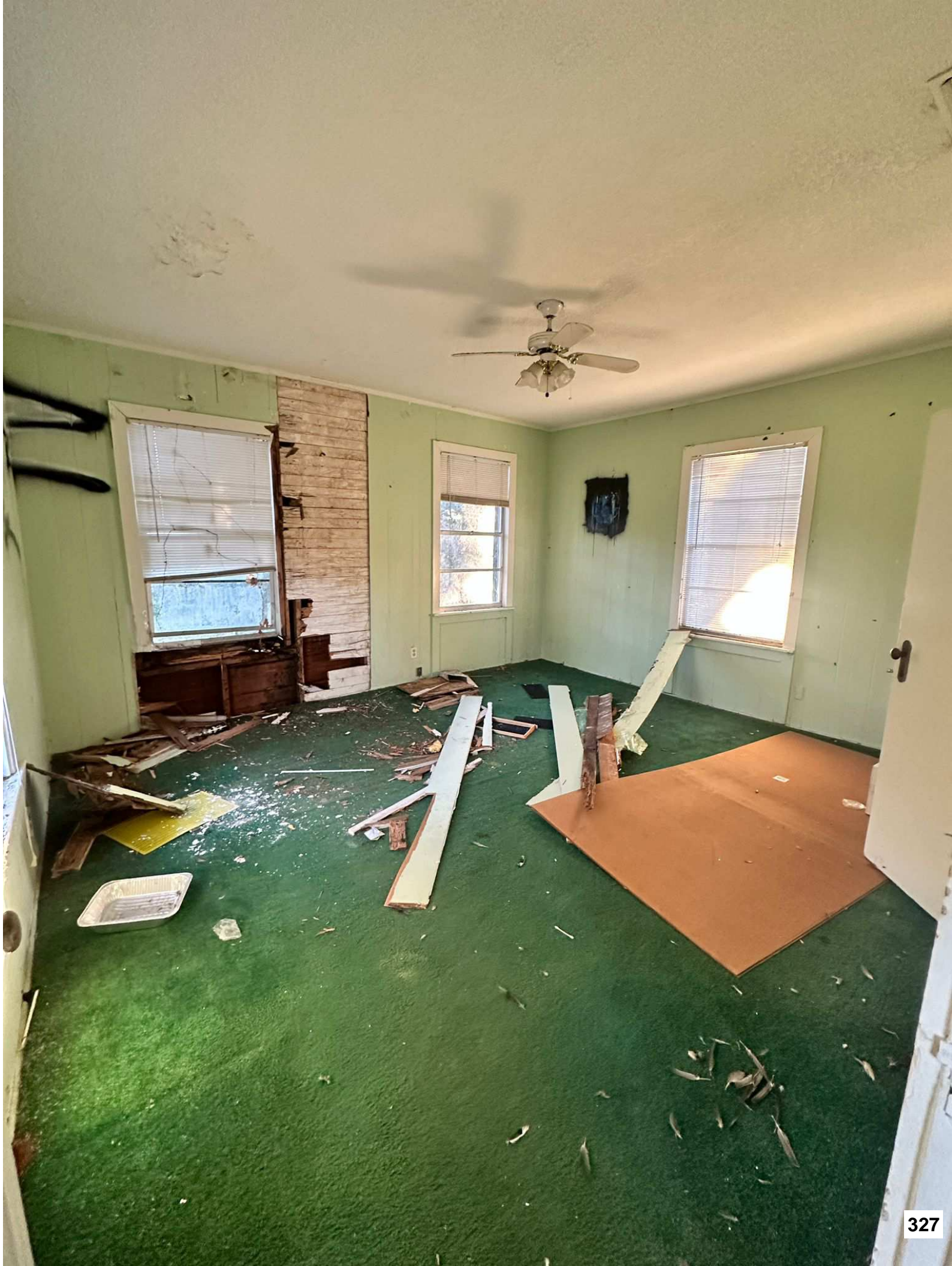


















ATTACHMENT B
Master Plan
Development Guidelines

4220 N 58TH Avenue PD Master Plan Development Guidelines

Submitted: August 21, 2025

Adoption Date: _____

O-2025-_____

TABLE OF CONTENTS

1.0	<i>INTRODUCTION</i>	3
1.1	PURPOSE AND INTENT	3
1.2	PROPERTY HISTORY AND LIMITATIONS	5
2.0	<i>SITE DESIGN</i>	7
2.1	OVERVIEW.....	7
2.3	CONNECTIVITY AND CIRCULATION.....	8
3.0	<i>HISTORIC PRESERVATION</i>	11
4.0	<i>BUILDING DESIGN INTENT</i>	13
5.0	<i>GENERAL DEVELOPMENT REGULATIONS</i>	18
5.1.	GENERAL BUILDING REQUIREMENTS	18
5.2.	GENERAL PUBLIC REALM REGULATIONS	18
5.3.	GENERAL PARKING REGULATIONS.....	20
5.4.	GENERAL OPEN SPACE, LANDSCAPE AND BUFFERING REGULATIONS	20
5.5.	GENERAL SIGNAGE REGULATIONS.....	20
6.0	<i>USE AND DEVELOPMENT REGULATIONS</i>	21
6.1	PROHIBITED USES	22
7.0	<i>OTHER CONSIDERATIONS</i>	23
7.1	APPLICABILITY AND AMENDMENTS	23

1.0 INTRODUCTION

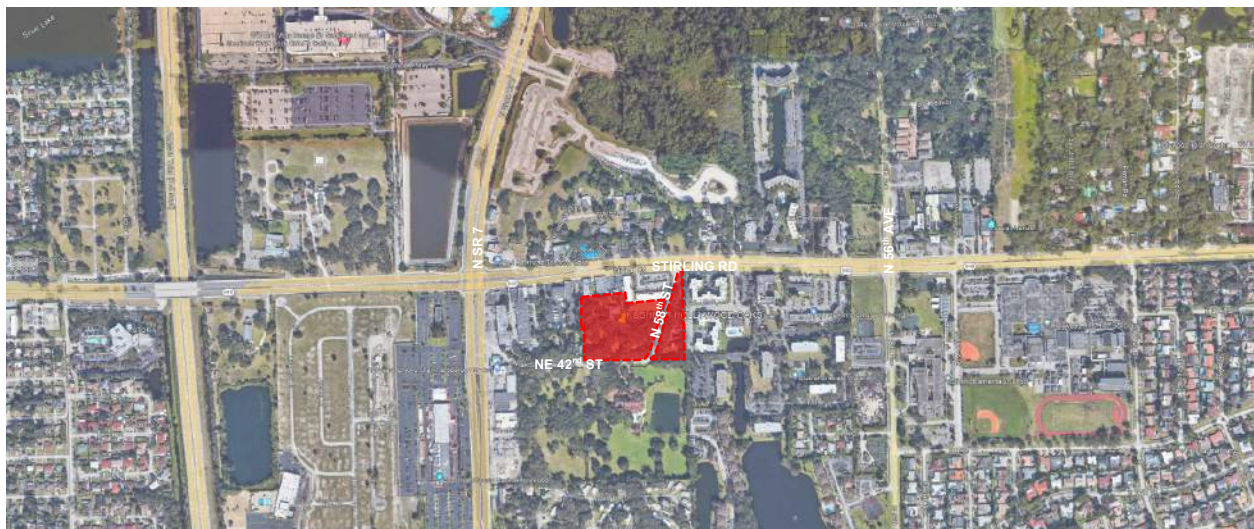
1.1 PURPOSE AND INTENT

The Master Plan Development Guidelines for the 4220 N 58th Avenue Planned Development Zoning District (the “4220 N 58th Avenue PD”) aim to provide direction and intent with regards to site design and development intensity of the approximate 5.74-acre property generally located south of Stirling Road between North 42nd Street and North 58th Avenue, at 4220 and 4231 North 58th Avenue, Hollywood, FL 33021, Tax Folio Nos. 514101010010 and 514101140010 (collectively, the “Property”). The Property has an underlying Transit Oriented Corridor (“TOC”) land use designation and as of the date of submittal is currently zoned North Mixed-Use District (“N-MU”). A portion of the Property is designated a Historic Property Overlay Site (HPOS-12), commonly known as the site of the “Bryan House”, one of the oldest surviving structures in Broward County built in 1916.

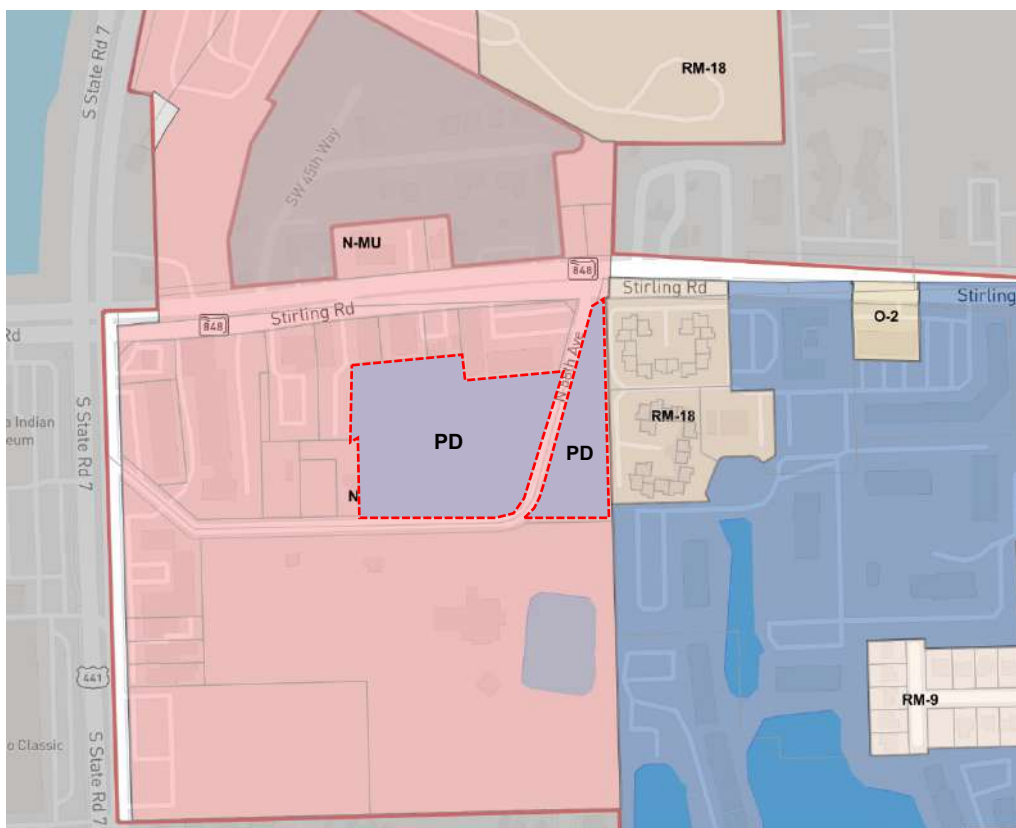
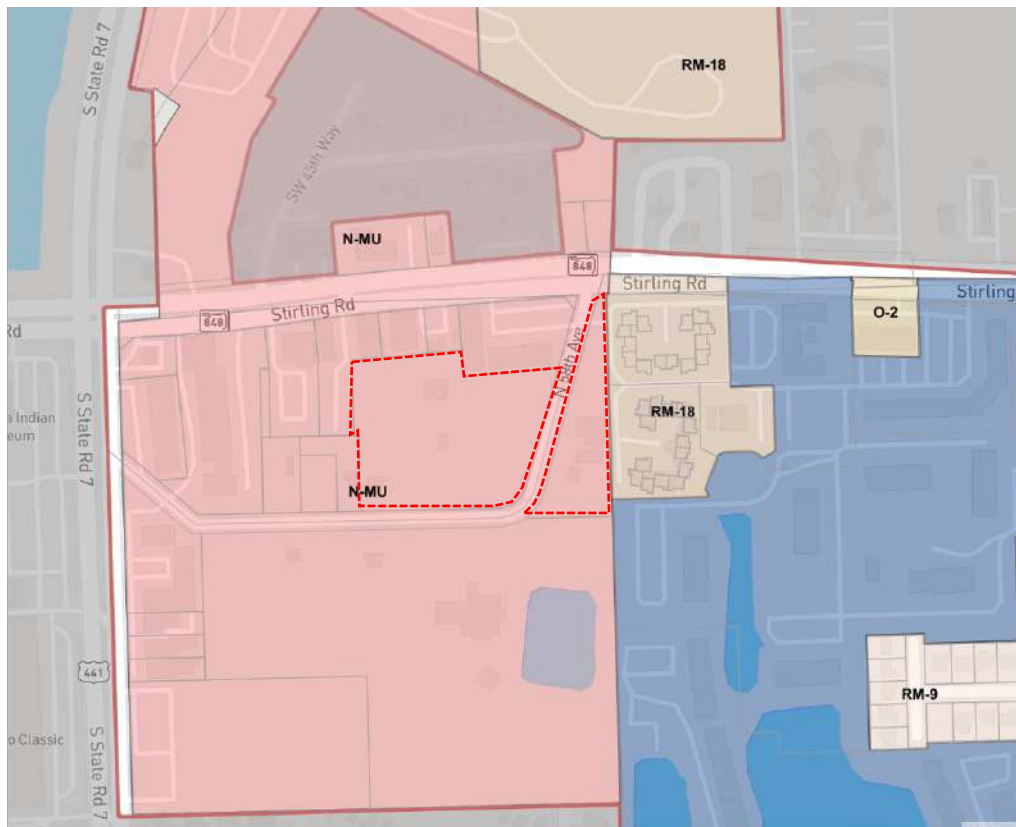
Per the City of Hollywood’s Zoning and Land Development Regulations (“ZLDRs”), Section 4.15, the purpose of the PD District is to provide “a greater amount of flexibility by removing some of the detailed restrictions of conventional zoning,” particularly to support high-quality, creative development that serves a broader public interest. While the 4220 N 58th Avenue PD is generally consistent with the State Road 7 Transit Oriented Corridor Districts general requirements and N-MU District standards, the PD framework allows for targeted flexibility primarily related to building height, residential density, and reduced parking to accommodate site constraints of preserving the historic Bryan House in its current location in order to support a viable development program.

The 4220 N 58th Avenue PD advances the purpose of ZLDR Section 4.15 by promoting unified redevelopment of a historic site in a manner that would not be feasible under conventional zoning. The Development Guidelines support a context-sensitive redevelopment that integrates a horizontal mix of multifamily residential, live/work, and community-serving place of worship uses and enables the partial demolition, restoration and adaptive reuse of the Bryan House, celebrating it as a shared amenity in the multifamily building’s central courtyard. This investment supports the City’s broader goals of preserving historical significance and encouraging mixed-use redevelopment, housing choice, and economic revitalization. These PD Development Guidelines establish the standards and design intent against which all future development within the 4220 N 58th Ave PD will be evaluated.

Figure 1: Location Map



Figures 2 and 3: Existing and Proposed Zoning Map



1.2 PROPERTY HISTORY AND LIMITATIONS

In July and August 2022, the Archaeological & Historical Conservancy, Inc. (“AHC”) conducted a Phase I Cultural Resource Assessment of the Property (the “Phase I Assessment”) to identify and evaluate any archaeological or historical resources present on-site. The assessment revealed that three previously recorded cultural resources are located on the Property and that one prior cultural resource assessment had been conducted. The identified resources include:

- The John M. and Guilda Bryan House (FMSF #8BD153), a 1916 farmhouse recognized as one of the oldest surviving structures in Broward County. It is historically associated with one of Broward County’s first citrus groves and with the Bryan family, whose members played significant roles local, state, and national history;
- A frame vernacular cottage (FMSF #8BD1075); and
- The Bryan Homestead (FMSF #8BD2913), a portion of a formerly 90-acre citrus grove established around the turn of the twentieth century.

The Bryan House was designated a Local Historic Site by the City of Hollywood in 1999, following a recommendation from the Broward County Historical Commission. The Phase I Assessment affirmed the findings of the 1999 designation and concluded that the Bryan House remains potentially eligible for listing in the National Register of Historic Places (“National Register”) under Criteria A (association with significant events), B (association with significant persons), and C (architectural significance).

The Phase I Assessment also included architectural and archaeological evaluations of Sites 8BD1075 and 8BD2913. The cottage (8BD1075) was determined not to meet National Register eligibility criteria. Archaeological testing of the Bryan Homestead (8BD2913) yielded limited non-diagnostic historic-period material and did not reveal any significant subsurface features. As a result, the Bryan Homestead was also found not to meet National Register eligibility criteria.

Figures 4 and 5: HPOS-12 Overlay Site and Existing Bryan House



The 4220 N 58th Ave PD encompasses ±5.74 net acres and permits up to 470 multifamily residential units, including 14 live/work units and a minimum 10% of total units set-aside as workforce housing units at one-hundred and twenty percent (120%) area median income, associated residential amenities including up to a ±1,400 square feet of private amenity use within the historic Bryan House and a ±9,300 square-foot private amenity clubhouse, and ±4,100 square-foot place of worship (synagogue), with associated parking facilities (collectively, the “Project”).

The PD enables a master-planned, context-sensitive redevelopment of the Property that prioritizes restoration and adaptive reuse of the historic Bryan House structure in its current location while accommodating a horizontally integrated mix of multifamily residential, live/work units, and community-serving place of worship consistent with the intent of the TOC land use designation. Central to the Project is the partial demolition, careful restoration, and adaptive reuse of the Bryan House, which will be repurposed as a private residential library and integrated into the landscaped courtyard of the multifamily building, preserving its historic character while ensuring compliance with modern standards for accessibility, safety, and functionality.

Per ZLDR Section 4.15, the purpose of the PD District is to provide “a greater amount of flexibility by removing some of the detailed restrictions of conventional zoning,” particularly to support high-quality, creative development that serves a broader public interest.

The PD zoning is essential to address limitations of the current N-MU District, which does not account for the unique site constraint created by preserving the Bryan House in its current location. This preservation approach significantly reduces the buildable area and precludes a traditional vertical mixed-use configuration. As a result, strict application of N-MU height and density standards would unduly constrain redevelopment of the site in a manner not contemplated by the code.

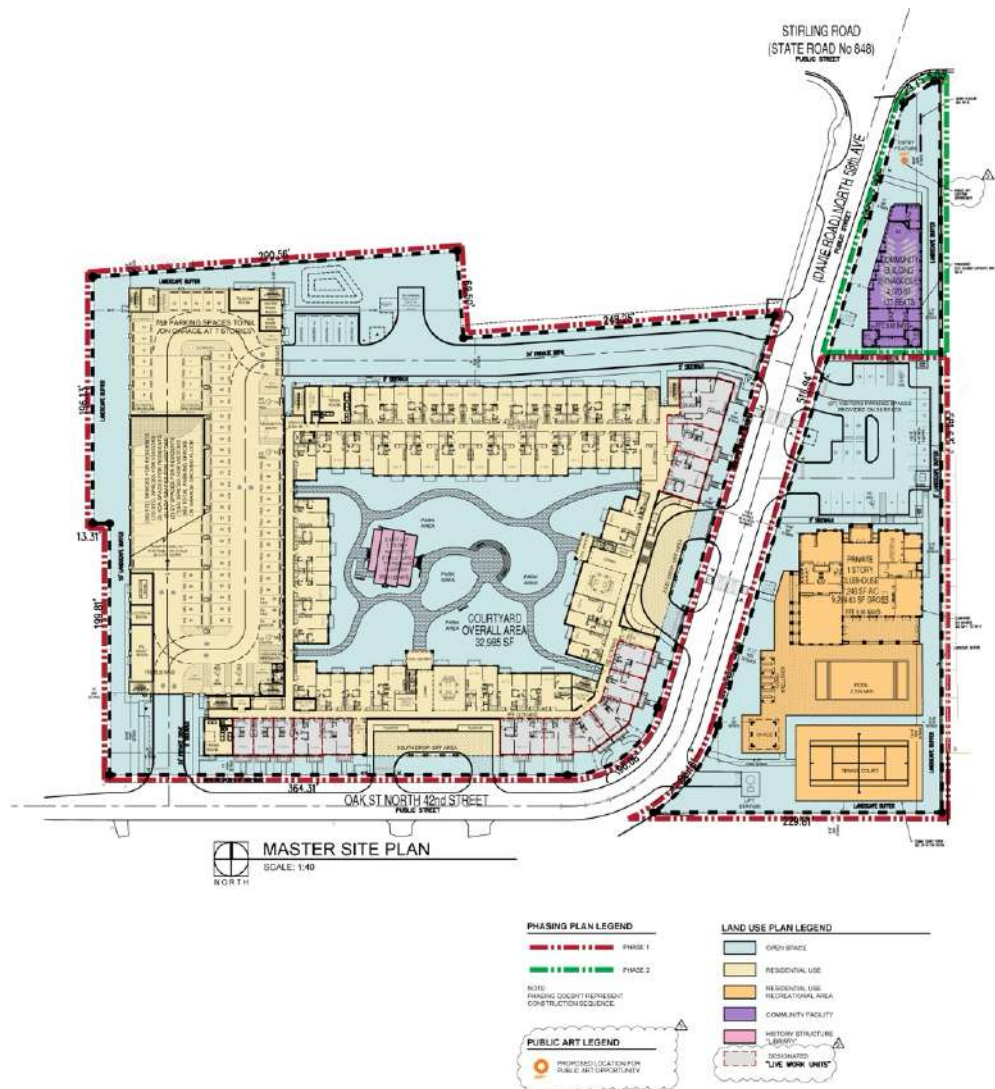
Specifically, the N-MU District limits single-use buildings to 36 du/acre and 65 feet in height, whereas vertical mixed-use projects may reach 50 du/acre and up to 175 feet when fronting State Road 7. Despite the Property’s underlying TOC land use designation, which imposes no density cap, the current zoning would prevent full utilization of the site while accommodating a designated historic resource.

2.0 SITE DESIGN

2.1 OVERVIEW

The 4220 N 58th Avenue PD encompasses ±5.74 net acres and allows up to 470 multifamily residential units, including 14 live/work units and a minimum 10% of total units set-aside as workforce housing units at one-hundred and twenty percent (120%) area median income, associated residential amenities including up to a ±1,400 square feet of private amenity use within the historic Bryan House and a ±9,300 square-foot private amenity clubhouse, and ±4,100 square-foot place of worship (synagogue), with associated parking facilities (collectively, the “Project”).

Figure 6: 4220 N 58th Ave PD Master Plan (see Sheet MSP-1)



A conceptual master plan is provided illustrating the envisioned layout. It should be noted that the building configurations are conceptual and may be adjusted in the site plan without a master plan amendment provided the site plan complies with the requirements of the 4220 N 58th Avenue PD and City's ZLDR, as applicable.

2.2 SITE CONFIGURATION

Guideline 2.2.1: Mix of Uses with Active Street Frontage

The PD supports a horizontal mix of uses including multifamily residential, live/work units, residential amenities, and a place of worship. These elements collectively fulfill the intent of a mixed-use development by activating the public realm, fostering pedestrian activity, and serving both residents and the broader community.

Live/work units shall conform to the definition set forth in ZLDR § 4.6.A, except that such units may consist of a single integrated space, rather than requiring ground floor commercial with a residential dwelling unit above. These units may be occupied as residential, commercial and office uses excluding food service, manufacturing or fabrication other than those associated with artistic pursuits. Ground-level live/workspaces with direct access to the public right-of-way are encouraged to promote street-level engagement.

2.3 CONNECTIVITY AND CIRCULATION

The Project prioritizes multimodal connectivity through a clearly organized vehicular circulation system, safe and accessible pedestrian pathways, and well-integrated bicycle facilities. These elements are designed to align with the intent of the TOC by promoting walkability, reducing vehicular dependency, and supporting active transportation modes.

Vehicular Access

As shown on Sheet MSP-2 (Vehicular Circulation), the Project will include the following access points:

- Two full-access driveways serve the parking garage: one on N 58th Avenue and one on NE 42nd Street;
- The private amenity clubhouse and place of worship (synagogue) are accessed via two separate full-access driveways along N 58th Avenue;
- Two designated drop-off areas are provided:
 - East drop-off with two driveways on N 58th Avenue
 - South drop-off with two driveways on N 42nd Street

N 58th Avenue connects with Stirling Road as a right-in/right-out driveway. Similarly, N 42nd Street connects with State Road 7 as a right-in/right-out access point.

Guideline 2.3.1: Facilitate Rideshare Access

Site design should accommodate safe and convenient access to clearly designated rideshare pickup and drop-off zones, particularly for residential and amenity uses. Where feasible, shaded and well-lit waiting areas should be provided and integrated into the pedestrian and vehicular circulation plan.

Pedestrian Circulation

As shown on Sheet MSP-3 (Pedestrian Circulation), the Project includes an interconnected internal network of walkways that provide continuous access across the site and connect to public sidewalks and crosswalks along the perimeter. Public sidewalk connections will be a minimum of 6 feet wide and shall be designed to ensure safe, comfortable, and ADA-compliant pedestrian access both within the PD and to surrounding uses.

In addition to its religious and cultural role, the on-site synagogue promotes walkability by serving as a centrally located community anchor. Its location encourages residents and nearby neighbors to walk rather than drive, enhancing local connectivity and reinforcing the pedestrian-oriented vision of the TOC.

Guideline 2.3.2: Prioritize Pedestrian Accessibility and Safety

A well-connected pedestrian circulation network shall be provided linking all principal buildings, open spaces, and public amenities. Walkways shall prioritize safety, maintain appropriate separation from vehicular areas, and be integrated with landscaping and lighting to enhance walkability.

Guideline 2.3.3: Strategically Locate and Prioritize Sidewalks

Sidewalks shall be designed to promote pedestrian movement throughout the PD, especially adjacent to surface parking areas, community amenities, and active ground-floor uses. Connections between buildings and sidewalks shall be direct, intuitive, and ADA-compliant.

Guideline 2.3.4: Provide Convenient and Secure Bicycle Parking

Bicycle parking facilities shall be located near all residential buildings, the clubhouse, place of worship, and other high-activity areas where appropriate. Facilities may include racks, lockers, or enclosed storage and shall be placed in clearly visible, easily accessible areas. Secure and weather-protected features are strongly encouraged.

Figure 7: Vehicular Circulation (see Sheet MSP-2)

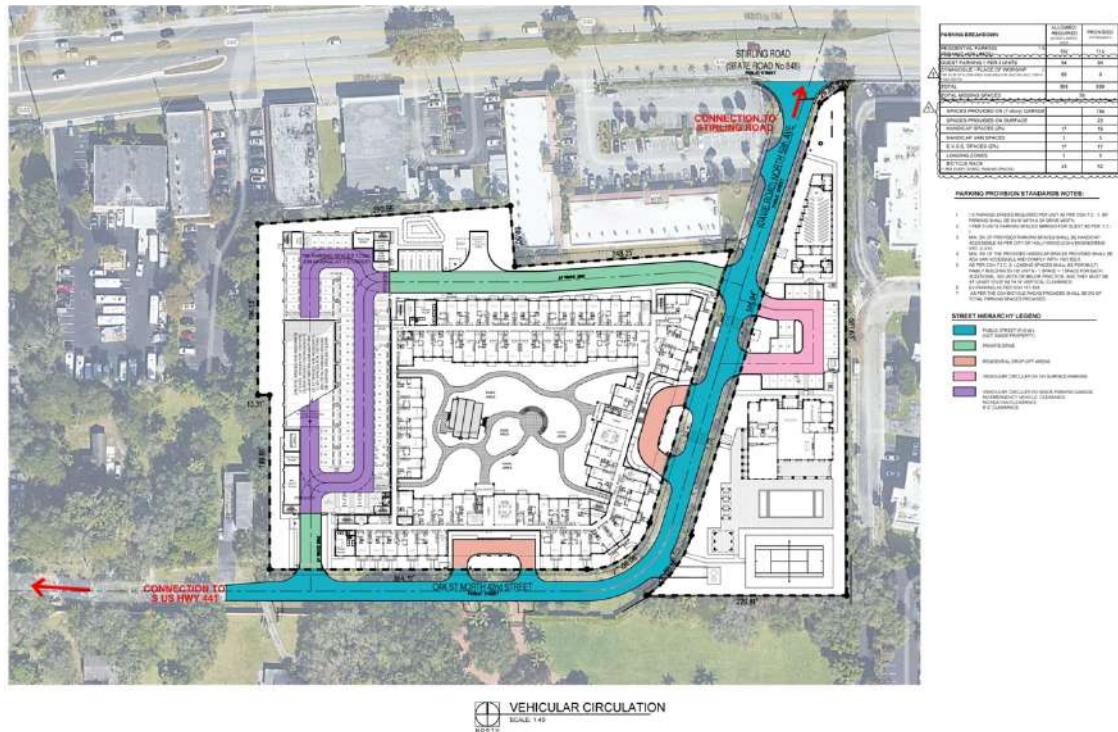
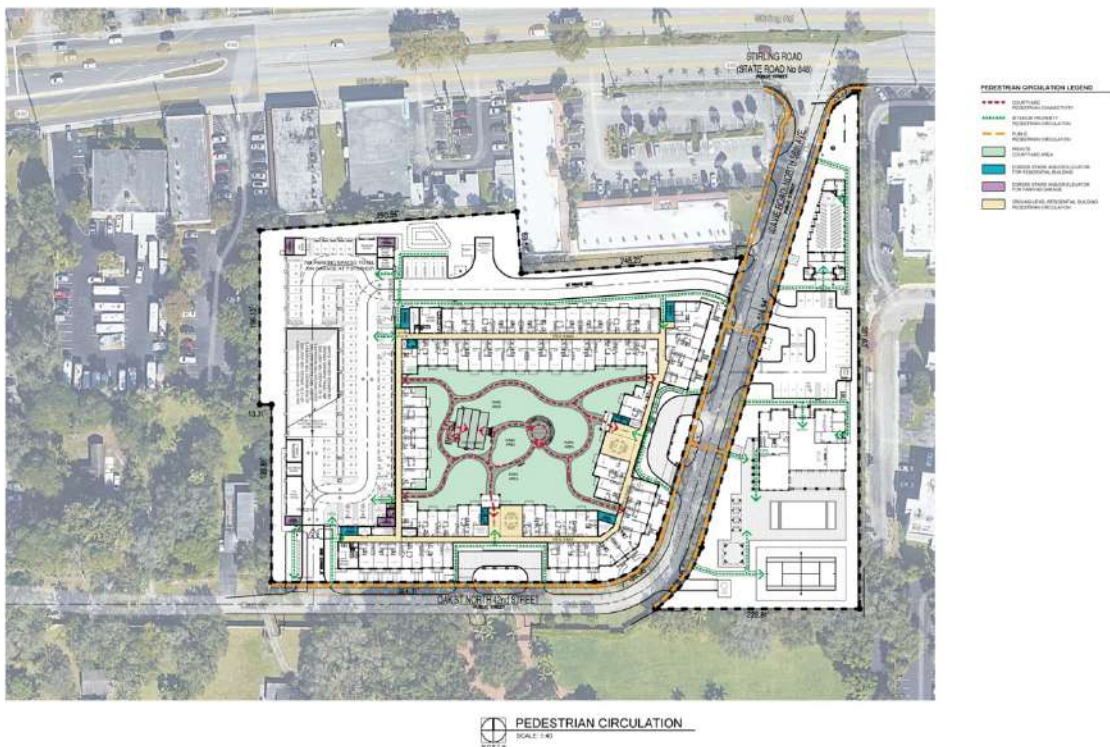


Figure 8: Pedestrian Circulation (see Sheet MSP-3)



3.0 HISTORIC PRESERVATION

The historic Bryan House structure (8BD153) will be partially demolished, carefully restored and repurposed to serve as a library for the residential development in the lot area, preserving its historical charm while ensuring it meets modern standards for accessibility, safety, and functionality.

Proposed is a partial demolition of external stairs, floor slabs, walls and roof of the more recent, non-contributing addition on the first floor of the building in the rear area¹ and the demolition of the internal stair and second level floor slab with architectural features such as walls, door, plumbing fixtures, lighting and carpentry. It is envisioned to be a two-story building height with a sunroom in the front.

The restoration will focus on key architectural features, such as windows with wood shutters, building's wood corners guards, roof with wood structural elements, white wood siding for facades and fireplace while making necessary updates to accommodate the needs of a library. This will include areas for reading, study, community events, restrooms, water filling station, A/C and janitor's room. The restoration plan also integrates materials that closely resemble the original materials in appearance but offer greater durability and improved longevity.

Guideline 3.0.1. Architectural Review and Restoration:

Evaluating and restoring the building's historical features, including the façades, original windows, and unique external and internal architectural details.

Guideline 3.0.2. Structural Reinforcement:

The building's structural integrity will be reinforced as per civil specifications as the second and third floor slab will be removed.

Guideline 3.0.3. Material Conservation:

Where possible, original building materials will be preserved. In cases of deterioration, the Applicant will use historically appropriate materials to ensure consistency with the building's original design.

Guideline 3.0.4 Adaptive Reuse:

The library's design will adapt the space for modern use while minimizing disruptions to the building's original layout. Key historical elements will remain prominent, and any upgrades (e.g., electrical systems, HVAC) will be carefully integrated to avoid impacting the building's character.

Certificates of Appropriateness for Demolition, Design, and Site Plan shall be obtained pursuant to Section 5.5. Historic Preservation Board and Historic District Regulations of the ZLDR.

¹ The City of Hollywood Historic Designation Report dated July 26, 1999, found: "On inspection, it is evident that some additions and alterations have been made to the house. **Most notable alterations to the original structure are the additions of an enclosed front porch, a side porch, a kitchen and dining room to the rear...**Most of these alterations appear to have been **made between the 1920s and the 1940s...**Although the structure has been altered, the **architectural integrity of the original structure remains.**" (emphasis added)

Figure 9: Historic Bryan House Conceptual Rendering



The Historic Bryan House will be carefully restored and repurposed to serve as a private amenity library for the multifamily residential development, preserving its historical charm while ensuring it meets modern standards for accessibility, safety, and functionality.

4.0 BUILDING DESIGN INTENT

The design vision for 4220 N 58th Avenue PD is to establish an upscale apartment community that seamlessly integrates modern amenities with respect for the site's rich history and natural beauty. The goal is to create a peaceful, serene living environment that is both refined and immersed in nature. The PD will include the following key structures:

- **Multifamily Residential Building**

An eight-story building containing up to 470 multifamily residential units, including 14 live/work units and a minimum 10% of total units set-aside as workforce housing units at one-hundred and twenty percent (120%) area median income, organized around a central courtyard that features the preserved Bryan House. A mix of studios, one-, two-, and three-bedroom layouts are contemplated. Live/work units activate street frontages along N 42nd Street and N 58th Avenue.

- **Historic Bryan House (Library Residential Amenity)**

A ±1,400-square-foot adaptive reuse of the historic structure, integrated into the central courtyard as a private resident library and community gathering space.

- **Structured Parking Garage**

A seven-story parking structure discreetly located at the northwest corner of the site, integrated architecturally into the development and screened with landscaping and material articulation.

- **Private Clubhouse (Residential Amenity)**

An up to ±9,300 square-foot amenity facility east of N 58th Avenue featuring a fitness center, lounge/social spaces, and access to a pool deck, tennis court, and shaded outdoor seating.

- **Synagogue**

An up to ±4,100 square-foot place of worship facility east of N 58th Avenue that reinforces the site's mixed-use character and provides a walkable religious anchor for residents and the surrounding neighborhood.

Guideline 4.0.1: Building Design

The building layout should promote a strong connection between indoor and outdoor spaces, with open-air courtyards, green spaces, or similar features serving as organizing elements within the PD. The historic Bryan House should be preserved in its current location and adaptively reused as a resident-serving amenity to celebrate the site's history. Preservation and integration of mature trees are encouraged where feasible.

The development may include a variety of residential unit types and sizes, as well as community-serving uses such as live-work units and places of worship. These elements should be located to support pedestrian access, internal circulation, and public frontage activation.

Parking garages should be thoughtfully designed to minimize visual impact and contribute positively to the overall architectural character of the development. Where garage façades are visible from public streets or residential areas, they should incorporate architectural screening, material articulation that aligns with the design language of proposed buildings within the PD, and landscape buffering at the ground level.

Guideline 4.0.2: Building Features

Primary building entrances should feature clear, well-articulated entry points that establish a sense of arrival using double-height volumes, horizontal or vertical elements, material differentiation, and/or landscape integration.

Building façades should incorporate massing variation and architectural articulation, especially at key locations such as corners and street-facing elevations. Elements such as balconies, projections, and material changes should be used to establish rhythm and visual interest. Ground-level spaces fronting public streets may include active uses such as live-work units, amenity entries, or transparent façades to enhance the public realm.

Guideline 4.0.3: Building Materials and Colors

Buildings should be constructed with durable, high-quality materials that convey a contemporary, refined architectural character. Smooth stucco finishes, stone accents, or similar treatments should be used to establish a cohesive visual language. Windows and sliding doors should be framed in bronze or other complementary finishes to elevate the design aesthetic and ensure durability.

Balconies should be articulated with aluminum or similar metal railings and designed to reinforce the rhythm and proportion of the building façades. Entryways and street-level interfaces should be enhanced using natural or textured materials that provide visual interest and support a sense of permanence.

Parking structures should be visually integrated into the building design through architectural screening, vertical or horizontal articulation, or complementary material treatments that minimize their visual impact and maintain overall design cohesion.

Pursuant to ZLDR Section 4.15.G.2, requests to modify Section 4.0 of these PD Development Guidelines may be reviewed and approved administratively by the Director, upon staff recommendation, if determined to be a “minor” change that remains consistent with the intent, purpose, and principal concept of the approved master development plan. Modifications to specific building footprints, internal configurations, and amenity locations may be approved through site plan review without requiring a formal amendment to the PD, provided the overall design character and development program remain materially unchanged. Any proposed modification that constitutes a “substantial” change under Section 4.15.G.3 of the ZLDRs, such as a change in character of the development, shall require review and approval by the City Commission.

Figures 10 and 11: Residential Building and Parking Garage Conceptual Renderings



Façade Articulation: Building façades should incorporate a combination of vertical and horizontal articulation techniques to avoid visual monotony and enhance architectural expression. Variation in depth, texture, and material should be used to provide a dynamic and pedestrian-scaled environment.



Architectural Expression: Facades should incorporate design elements that visually segment the building mass, such as horizontal score lines, contrasting base treatments with accentuated reveals, and alternating vertical color patterns to enhance architectural interest and definition.

Figures 12 and 13: Parking Garage Conceptual Renderings



Parking Garage Articulation: Parking structures should be visually integrated into the building design through architectural screening, vertical or horizontal articulation, or complementary material treatments that minimize their visual impact and maintain overall design cohesion.

Figures 14 and 15: Synagogue and Clubhouse Conceptual Renderings



Buildings should be constructed with durable, high-quality materials that convey a contemporary, refined architectural character. Smooth stucco finishes, stone accents, or similar treatments should be used to establish a cohesive visual language within the PD.

5.0 GENERAL DEVELOPMENT REGULATIONS

Refer to **Exhibit 1** for Section 4.6.D.3. which shall be reviewed together with the below.

5.1. GENERAL BUILDING REQUIREMENTS

General Building Requirements shall be pursuant to ZLDR Section 4.6.D.3.a. for State Road 7 Transit Oriented Corridor Districts, except for the minimum dwelling unit size, including for live/work units, which shall be as follows in the 4220 N 48th Avenue PD:

Guideline 5.1.1: Minimum Dwelling Unit Size

MINIMUM DWELLING UNIT SIZE		
Use	Minimum per Unit	Minimum Cumulative Average
Multifamily Dwelling Units	450 SF	750

5.2. GENERAL PUBLIC REALM REGULATIONS

General Public Realm Regulations shall be pursuant to ZLDR Section 4.6.D.3.b. for State Road 7 Transit Oriented Corridor Districts in addition to the below:

Guideline 5.2.1: Human-Scaled features

Building entrances should be designed with clear visual prominence and pedestrian accessibility in mind. Human-scaled elements, such as shaded entry canopies, walkways, landscaping and hardscaping, and/or pedestrian lighting, should be incorporated to create a comfortable, approachable environment that connects seamlessly to the public realm.

Guideline 5.2.2: Integration and Location of Public Art

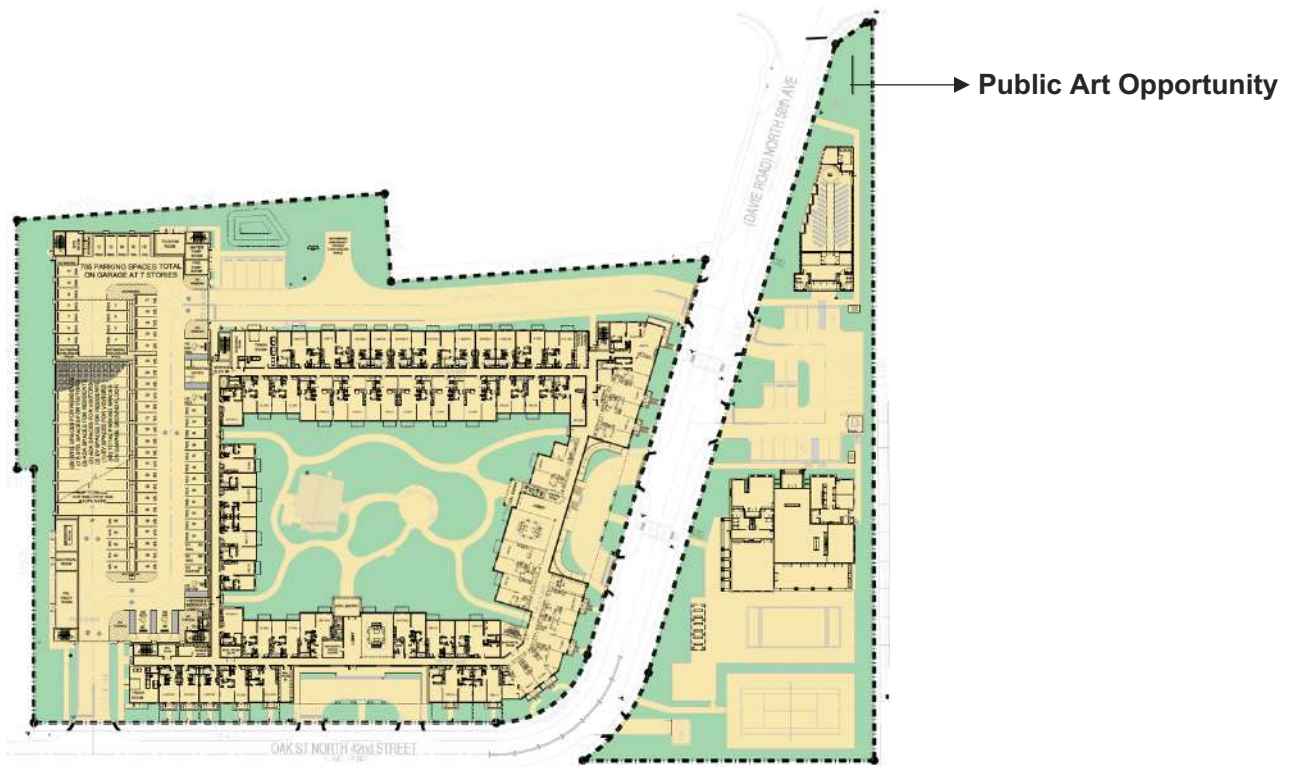
Public art should be thoughtfully integrated in key location(s) within the PD to strengthen the identity of the community and foster a sense of place. Art installations, sculptures, murals, or interactive pieces should be strategically placed in high-visibility public spaces such as street corners and building entrances ensuring they are accessible and engage residents and visitors alike. Gateway features and entry points to the PD are encouraged to incorporate public art opportunities.

Figure 16: Primary Entrance and Public Realm Conceptual Rendering



Primary entrances should be clearly defined through architectural emphasis, shade structures, and integrated landscaping. These elements should support an approachable scale and foster a seamless transition from the public realm.

Figure 17: Public Art Opportunities



5.3. GENERAL PARKING REGULATIONS

General Parking Requirements shall be pursuant to ZLDR Section 4.6.D.3.c. for State Road 7 Transit Oriented Corridor Districts, except for reduced parking provisions which shall be as follows.

Guideline 5.3.1: Parking Reduction

Parking for the development shall be provided in accordance with a project-specific Parking Needs Analysis prepared for the 4220 N 58th Avenue PD. In lieu of applying the standard shared parking methodology outlined in ZLDR Section 4.6.D.3.c.(6)(f), the development may utilize parking rates published by the Institute of Transportation Engineers (ITE) Parking Generation Manual and/or Urban Land Institute's Shared Parking publication to justify a parking reduction.

5.4. GENERAL OPEN SPACE, LANDSCAPE AND BUFFERING REGULATIONS

Open space and landscape requirements shall be pursuant to ZLDR Section 4.6.D.3.d. for State Road 7 Transit Oriented Corridor Districts, Article 9 Landscape Requirements, and the City of Hollywood Landscape Manual except that a minimum of 30% of the total 4220 N 58th Avenue PD land area shall be landscaped open space including landscaped open space located at grade or at higher elevations such as on pool decks, parking decks, roof decks, etc.

Guideline 5.4.1: Strategically Locate and Prioritize Sidewalks

Sidewalks should be designed to foster and encourage walkability. Sidewalks and walkways will be arranged to provide logical and prioritized pedestrian access to destinations within the PD.

Guideline 5.4.2: Installation of Effective and Strategic Landscaping

Landscaping within the planned development must incorporate shade trees, landscaping, and vegetative cover along streets, pathways, and open spaces to provide shade for pedestrians and buildings.

Guideline 5.4.3: Landscape Integration

Surround the buildings with lush, well-planned landscaping, including palm trees and ground-level greenery, to soften the structure and create an inviting pedestrian-friendly environment.

5.5. GENERAL SIGNAGE REGULATIONS

Signage and graphics affixed to attachments must comply with PD's adopted master signage regulations, supporting wayfinding and branding. The master sign package shall include typical elevations of signs for the respective uses, provided that the actual lettering, naming, logos, and tenant specific branding may be submitted concurrently by those specific tenants. In the absence of a master sign regulation, standards of Article 8 of the Zoning and Land Development Regulations shall apply.

Guideline 5.5.1: Integrate Signage into Building Design

Where possible, design prominent, inviting entrances accentuated by signage integrated into the building's architecture.

6.0 USE AND DEVELOPMENT REGULATIONS

The following permitted uses and development regulations, consistent with the Comprehensive Plan land use designation, shall apply to the 4220 N 58th Avenue PD:

4220 N 58 th Avenue PD Zoning District	
MAIN PERMITTED USES	
Maximum Multifamily Residential Density, including Live-Work Units* *Live/Work units shall conform to the definition set forth in ZLDR § 4.6.A, except that such units may consist of a single integrated space, rather than requiring ground floor commercial with a residential dwelling unit above. The live/work units may be occupied as residential, commercial and office uses excluding food service, manufacturing or fabrication other than those associated with artistic pursuits.	470 units (81.94 du/acre) ** **including a minimum 10% of total units set-aside as workforce housing units at one-hundred and twenty percent (120%) area median income
Place of Worship (Synagogue) Use	4,100 SF
ACCESSORY PERMITTED USES	
Any use customarily associated with one of the Main Permitted Uses, such as residential amenities, parking garages and parking lots	
STANDARDS	
Maximum Height	85 feet
Maximum Total Site Coverage	45% of the total PD area
Minimum Open Space (Pervious)	30% of the total PD area
Minimum Setbacks	
Frontage / External Streets	15 feet
Side Interior	15 feet
Rear	10 feet
Minimum At-Grade Parking Lots and Vehicular Use Areas Setbacks	
Front	10 feet
Side Interior	5 feet
Rear	5 feet
Parking and Loading Standards	
Multifamily Residential, including Live-Work units	1.5 spaces per unit
Multifamily Residential Affordable Units	1 space per unit
Multifamily Residential Guest Parking Spaces	1 space per 5 units* *Designated guest parking shall not be assigned or otherwise designated for any other purpose but may be included in the shared parking calculations.
Place of Worship	Exempt per Parking Needs Study
Bicycle Parking	1 bike rack space per every 20 required parking spaces
Loading	Multifamily: 1 space for 50–100 units, plus 1 additional space per 100 units or major fraction thereof

Guideline 6.0.1: Track Growth Management

The uses and standards outlined above reflect the development capacity of the 4220 N 58th Avenue PD and shall be inventoried and tabulated with each site plan and building permit submission. It is noted, the basis (i.e denominator) for calculating the zoning requirements is the overall 4220 N 58th Avenue PD unless otherwise noted herein.

6.1 PROHIBITED USES

The following uses, or accessory uses, shall be prohibited in the 4220 N 58th Avenue PD:

- i. Adult Entertainment or Adult Related Uses
- ii. All General and Heavy Manufacturing Uses
- iii. Bulk Sales, Storage, or Display of Lumber and Building Materials
- iv. Gun Shop
- v. Outdoor Storage
- vi. Pawn Shops
- vii. Psychic Help Uses
- viii. Self-Storage Facility
- ix. Any use not listed as a Main Permitted Use.

7.0 OTHER CONSIDERATIONS

7.1 APPLICABILITY AND AMENDMENTS

It is noted that the Master Plan Development Guidelines are intended to form part of this PD zoning district and shall guide all future development within the 4220 N 58th Avenue PD. Any request to modify (major or minor) or change the Master Development Plan or Site Plans approved at the time of PD adoption must align with the Master Plan Development Guidelines, as may be amended from time to time, of the PD zoning district and the Zoning and Land Development Regulations (“ZLDR”) standards in effect, unless expressly stated in the PD zoning regulations and Master Development Plan Development Guidelines.

Note to Reader: Future modifications to the PD will be subject to Staff review and may be subject to additional design, site plan, variance and/or special exception requests, with a recommendation from the Planning and Development Board and final approval by the City Commission.

Modifications to the PD Master Plan or Master Planned Development Guidelines shall be pursuant to Section 4.15.G of the ZLDRs.

Exhibit 1

Section 4.6.D. State Road 7 Transit Oriented Corridor Districts

D. State Road 7 Transit Oriented Corridor Districts.

1. Intent. The State Road 7 Transit Oriented Corridor (TOC) Land Use designation is intended to facilitate a balanced and interconnected mix of land uses, encourage mass transit and non-motorized transportation, reduce the need for automobile travel, provide incentives for quality development, and give definition to the urban form. Development patterns shall generally reflect planning and design principles that support mixed-use development to integrate housing, employment, retail, recreation and local and regional community facilities with a primary orientation toward a multimodal transportation system. To this objective, the corresponding TOC Zoning Districts are intended to:
 - a. Establish an identity for the State Road 7 Transit Oriented Corridor Districts;
 - b. Facilitate mixed-use development, including a wide-range of housing types, office, retail, and service oriented uses;
 - c. Incorporate design features promoting the safe and convenient movement of pedestrians, including wide interconnected sidewalks, bicycle lanes, connectivity to transit stops and stations;
 - d. Provide adequate transitions from mixed-use development to residential neighborhoods.
2. The purpose of the TOC Zoning Districts is to concentrate density in specific areas, protecting [adjacent](#) residential neighborhoods from excessive growth and commercial intrusion; while accommodating a diverse range of housing types, heights, and intensities, which is ideal for sustainable growth. The Districts facilitate the transition from one District to another and to the [adjacent](#) neighborhoods; providing adequate and compatible transitions in scale, character, and uses to [adjacent](#) residential neighborhoods. The State Road 7 Transit Oriented Corridor area consists of the following zoning districts:
 - a. Transit Oriented Corridor Districts
 - Multiple Family Districts
 - SR7 RM-9 – State Road 7 Low Density Multiple Family
 - SR7 RM-18 – State Road 7 Medium Density Multiple Family
 - SR7 RM-25 – State Road 7 High Density Multiple Family
 - North District
 - N-MU – North Mixed-Use District
 - Central Districts
 - C-SS – Central Sheridan Street District
 - C-LP – Central Linear Park District
 - C-JS – Central Johnson Street District
 - C-MU – Central Mixed-Use District
 - South District
 - S-MU – South Mixed-Use District
 - b. Administrative Regulations Applicable to All Districts.
 - (1) District boundaries. The district and subdistrict boundaries shall be indicated by the district and subdistrict maps. In cases where uncertainty exists as to the boundaries of a district or subdistrict, the following conditions shall apply:
 - (a) Boundaries are intended to parallel street lines, rights-of-way, or to follow existing lot lines.
 - (b) Where a boundary follows a public right-of-way, street or alley, the centerline shall be the boundary.

- (c) In the event of further uncertainty, the City Manager or designee shall determine the boundary location.
- (d) The density capacity for lots that have more than one district or subdistrict designation shall be calculated separately for each portion of the lot according to its respective density. Development for each portion of the lot shall be in conformance with the applicable district or subdistrict Building Requirements Table.

(2) Phased Development.

- (a) All land included for the purpose of development within a Phased Development shall be under the control of the applicant (an individual, partnership or corporation, or group of individuals, partnerships, or corporations). The applicant shall present satisfactory legal documents to constitute evidence of the unified control of the entire area within the proposed Phased Development which shall be certified by the City Manager or designee.
- (b) The Phased Development Master Plan shall illustrate the boundaries of each phase and intended phasing sequence.
- (c) Each phase of Phased Developments shall autonomously comply with these regulations and district requirements. Site plans, elevations, and massing diagrams shall be provided for each phase and shall indicate the function and improvement of undeveloped portions of land for independent review and approval. Undeveloped land shall be improved pursuant to the General Landscape Regulations set forth herein.
- (d) Vacant non-historic and non-contributing structures; and structures which are not eligible for historic designation and are not intended for incorporation in the final development Master Plan shall be demolished prior to commencement of construction of Phase I.
- (e) No phase or portion of a phase of a Phased Development shall be dependent upon the completion of a subsequent phase. Each phase shall be autonomously functional and provide adequate parking, landscape, articulation and associated amenities at the time of completion of that phase and shall not be contingent on future phases.
- (f) Any building amenity, or portion thereof that will service the current phase under development shall be completed in its entirety and shall receive a Certificate of Occupancy prior to the issuance of a Certificate of Occupancy for the remaining phase components or uses.
- (g) Each phase shall provide temporary or permanent transitional features, buffers, or protective areas in order to prevent any adverse impact on completed phases, future phases, and adjacent properties.
- (h) The applicant shall have up to 24 months from the issuance of the final Certificate of Occupancy for any given phase to obtain all necessary building permits required to proceed with construction on subsequent phases. If the applicant fails to obtain said building permit(s) within the time period, all staff and Board approvals shall be null and void and the applicant shall be required to reinitiate the development review process.
- (i) Changes and deviations from an approved Phased Development Master Plan which constitute a substantial alteration to the character of the development or an individual phase require that the requested changes be reviewed and approved by the appropriate Board. Substantial changes would include:

- (i) Any change in the phasing boundary or sequence;
 - (ii) An increase or decrease in density;
 - (iii) A change in the use or character of the Phased Development;
 - (iv) An increase in overall coverage of structures;
 - (v) An increase in the intensity of use;
 - (vi) An increase in the problems of traffic circulation and public utilities;
 - (vii) A reduction in required open spaces; and
 - (viii) An increase or decrease in the amount of off-street parking and loading spaces.
- (j) Any changes or deviations from an approved Phased Development Master Plan which are not listed as substantial and do not depart from the principal concept of the approved Phased Development Master Plan shall constitute a minor change and may be approved by the City Manager or designee.

3. General Development Regulations Applicable to All Districts.

a. General building requirements.

- (1) Development intensities shall be established and pursuant to the Building Requirements Table for each district or subdistrict and the following:
 - (a) No variances to Density shall be granted.
 - (b) Established development thresholds are intended to provide flexibility in building massing. As such, when combined with other regulations and potential site constraints, maximum capacities may not always be achieved. In such cases, the other building requirements shall prevail.
- (2) All uses, including automobile oriented uses, shall be designed in a manner that reinforces the urban form.
- (3) Buildings shall have a recognizable entrance facing rights-of-way. Entrances shall be visible to pedestrians and vehicular traffic. For corner lots, corner entrance features are encouraged.
- (4) The finished floor of ground floor commercial and retail uses shall be generally flush with the sidewalk elevation. (See Appendix 1: Diagram 7)
- (5) Ground floor residential uses shall be raised a minimum of 18 inches above the sidewalk elevation and front the right-of-way.
- (6) The minimum floor to floor height for all habitable uses shall be nine (9) feet.
- (7) The minimum dwelling unit and room size shall be regulated by the building's principal use as indicated in the Minimum Dwelling Unit Size Table.

MINIMUM DWELLING UNIT AND HOTEL ROOM SIZE		
Use	Minimum Per Unit	Minimum Cumulative Average
Single Family	1,000 SF	-
Multi-family Dwelling Units	500 SF	750 SF
Hotel Rooms	300 SF	335 SF

- (8) Where applicable, towers shall be pursuant to the following:

- (a) Tower separation shall be at least 50 feet.
- (b) The maximum tower length shall be 300 feet.
- (c) The maximum average tower floorplate shall be regulated by the tower's principal use as follows:
 - (i) Commercial or mixed-use: Average up to 35,000 square feet; maximum of 45,000 square feet for any single tower floorplate.
 - (ii) Residential and Hotel uses: Average up to 24,000 square feet; maximum of 30,000 square feet for any single tower floorplate.

(9) Encroachments.

- (a) Horizontal projections shall be pursuant to the Projection Section in [Article 4](#), except:
 - (i) Balconies may encroach the setback for a maximum of 75 percent of the required setback.
 - (ii) Mechanical equipment and appurtenances necessary to the operation or maintenance of the building or structure itself such as, but not limited to, elevator, stair, shall be enclosed and screened in such a manner that the enclosure is designed as an integral part of the overall building design, and may encroach a maximum of 50 percent of the required front setback and may occupy up to a maximum of 30 percent of the front building facade.
- (b) Vertical projections shall be pursuant to the Height Exemptions Section in [Article 4](#), except:
 - (i) Mechanical equipment and appurtenances necessary to the operation or maintenance of the building or structure itself such as, but not limited to, cooling towers, elevator, stair and mechanical penthouses, vent stacks and antennas shall be enclosed and screened in such a manner that the enclosure is designed as an integral part of the overall building design.
 - (ii) Building base parapets shall have a maximum height of 20 percent of the maximum building base height, not to exceed 10 feet. Tower parapets shall have a maximum height of 15 feet.
 - (iii) Enclosed or covered rooftop amenities are permitted to exceed the maximum height for not more than 30 percent of the gross rooftop area. For the purposes of calculating the maximum area, enclosed or covered structures shall not include enclosures for screening mechanical systems. The following restrictions apply:
 - a. Rooftop amenities are permitted to exceed the maximum of 15 feet.
 - b. Rooftop amenities shall not include commercial uses in the C-SS and C-LP Districts.
 - c. Covered structures shall be architecturally compatible with and in proportion to the architecture of the overall building.

- d. Climate controlled structures are limited to the minimum area necessary to accommodate uses which are secondary and incidental to the principal rooftop amenity. These structures may include saunas and steam rooms and code-required restrooms.
- e. Supporting restroom facilities shall not exceed 150 percent of the size required by applicable federal, state, and local health regulations.

(10) Active use liners

- (a) Active use liners shall be pursuant to the Development Regulations table in each district or subdistrict and the following:

- (i) Minimum Active Use Liner Depth Table.

MINIMUM ACTIVE USE LINER DEPTH		
Use	Ground Floor	Above Ground Floor
Commercial	25 ft.	20 ft.
Residential	15 ft.	15 ft.

- (ii) When active use and active use liners are not required or exceed the minimum required frontage percentage, the active use shall be permitted to have a minimum depth of 15 feet. Further, when a parking structure is the principal use, the active use shall be permitted to have a minimum depth of 15 feet. (See Appendix 1: Diagram 1)
- (iii) Active use requirements may be reduced or waived at the discretion of City Manager or designee when sufficient evidence is provided to indicate that necessary vehicular [access](#) and circulation cannot be accommodated.

(11) Articulation requirements.

- (a) Building facades shall incorporate breaks in the horizontal and vertical wall plane to provide articulation and reduce visual mass.
- (b) Blank walls visible from [adjacent](#) streets, public areas or [adjacent](#) buildings shall not be permitted and shall incorporate facade articulation. A portion of the facade proportionate to the building massing may be permitted.
- (c) For ground floor commercial active uses, 50 percent of the storefront facade area shall provide transparency. Transparency may be provided through the use of windows and door glazing as well as unobstructed openings in the building facade. (See Appendix 1: Diagram 14)

(d) Architectural treatment shall be provided for all non-active use facade elevations and shall be harmonious and integrated with the design of [adjacent](#) active use facades. Architectural treatment shall be provided through a combination of two (2) or more treatments including, but not limited to: the use of similar materials and construction assemblies; the continuation of fenestration patterns, architectural features, articulation, and rhythm; the application of architectural screens, meshes, louvers, and glass; the incorporation of pervious surfaces and planters; and the provision of consistent signage, graphics, and architectural lighting. The following treatments are permitted, but shall not fulfill the requirement for architectural treatment: the application of paint and faux treatments; scoring, construction joints or material projections less than four (4) inches in height, width, or depth.

(12) Overhead doors, service bays, and similar elements shall not front rights-of-way or residential zoning districts. Such elements shall be internal to the site and screened from public view.

b. General public realm regulations.

(1) Minimum setback areas [adjacent](#) to rights-of-way, excluding alleys, shall:

(a) Be improved consistent with the public sidewalk and therefore, shall comply with sidewalk standards, and shall match or be harmonious with the design of the public sidewalk as determined by the City Manager or designee; or shall be pursuant to the General Landscape Regulations.

(b) Not include any parking uses and shall be left free of any structure higher than 42 inches, excluding street signage, lighting and other public improvements and provided that it does not occupy more than 30 percent of the setback.

(c) Not include the encroachment of any ramps and/or stairs associated with any ground floor uses, other than residential. (See Appendix 1: Diagram 7)

(2) Maximum setback areas shall be applicable to all building components, excluding open space, driveways, and porte cocheres. Variations in the building frontage where portions of facades do not meet the building maximum setback are permitted, as long as the intent of the regulation is met and the majority of the facade meets the requirement.

(3) Conflicts between vehicles and pedestrians shall be minimized or eliminated. Clear and safe pedestrian connections shall be provided.

(4) If fencing is used, it shall be decorative. Chain link fences shall be prohibited in commercial districts, [adjacent](#) to rights-of-way.

(5) The incorporation of transit stops or stations on-site or integrated into the building is encouraged.

(6) Public amenities shall be contextual and consistent with the overall design of the site and buildings; functional, high-quality, and durable; easily accessible and visible; and energy-efficient.

c. General parking regulations.

(1) Parking requirements.

- (a) Parking, the calculation of required off-street parking, and any other applicable regulation not set forth herein, shall be pursuant to [Article 7](#) of the Zoning and Land Development Regulations.
- (b) Developments may not exceed the required amount of parking by more than 20 percent, except:
 - (i) Through the use of structured parking (garage); or
 - (ii) Through the use of tandem parking (vertical or horizontal), mechanical parking lifts, or similar mechanical systems, which do not increase the overall building massing, pursuant to [Article 7](#).
- (c) Guest parking shall be provided pursuant to the parking requirements table in each district or subdistrict as set forth herein. Designated guest parking shall not be assigned or otherwise designated for any other purpose, but may be included in the shared parking calculations.
- (d) Multiple family buildings shall provide secure bicycle racks and/or storage shall, at a ratio of one (1) bike rack space per every 20 required parking spaces. The bicycle racks shall be located on-site and shall not encroach into the right-of-way.

(2) Parking stall dimensions.

- (a) Parallel parking minimum: Eight and one-half (8-1/2) feet in width by 22 feet in length. (See Appendix 1: Diagram 9)
- (b) Ninety (90) degree and angled parking minimum: Eight and one-half (8-1/2) feet in width by 18 feet in length. (See Appendix 1: Diagram 9)
- (c) In those cases where the side of any stall is [adjacent](#) to a wall, fence, building, or other physical obstruction, the stall widths shall be increased by one (1) foot. Where there is an obstruction on both sides of the stall, the stall widths shall be increased by two (2) feet.
- (d) Driveways may be a minimum 11 feet for one-way traffic and a minimum of 22 feet for two-way traffic.
- (e) Driveway entrances not [adjacent](#) to parking stalls may be a minimum of 20 feet.
- (f) All other parking stall dimension standards shall be pursuant to [Article 7](#) of the Zoning and Land Development Regulations.

(3) Detached and attached parking garages for single-family minimum size (clear dimension):

(a) One Car Space Garage: 10.5 feet in width by 19 feet in length.

(b) Two Car Space Garage: 21.0 feet in width by 19 feet in length.

(4) Parking garages and single parking decks under buildings shall be pursuant to the district or subdistrict Building Requirements Table and to the following requirements:

(a) All levels of parking garages shall be lined with active uses as required by the Building Requirements Table in each district or screened with architectural treatment. At ground level, parking garages shall be screened with both architectural treatment and landscape buffer.

(b) A minimum of 50 percent of all roof deck parking areas (including the top deck of the base) shall be visually screened or architecturally treated in such a way that parked vehicles cannot be viewed from adjacent buildings. Screening elements may include roofs, trellises, canopies, screens, or other similar structures.

(5) At-grade parking lots and vehicular use areas shall be pursuant to the General Landscape Regulations and the following requirements:

(a) At-grade parking lots shall not be permitted within frontage setbacks unless otherwise permitted within these regulations and shall be located behind the main structure to the maximum degree possible.

(b) Parking in front of buildings shall not be permitted along State Road 7 and Hollywood Boulevard. Pick-up and drop-off areas, such as porte cocheres are permitted.

(c) At-Grade Parking Lots and Vehicular Use Areas Setback Requirements Table.

AT-GRADE PARKING LOT AND VEHICULAR USE AREAS SETBACK REQUIREMENTS	
Minimum	
Front	10 feet
Interior	5 feet
Rear	5 feet
Alley	5 feet

(6) Parking reduction strategies. Developments, may utilize more than one of the parking strategies listed herein. The cumulative parking reduction shall not result in a reduction of more than 10 percent of the minimum parking requirement for single-use development and 25 percent of the minimum parking requirement for mixed-use development.

- (a) Where applicable, as determined by the City Manager or his/her designee, developments may provide a public bus shelter. The bus shelter shall be designed and located in conformance with all applicable requirements as determined by the City Manager or his/her designee and Broward County; and at a minimum shall provide protection from the sun, wind, and rain; provide seating and a waste receptacle; and be solar powered. If it is determined that a bus shelter will be provided, then the respective parking requirement for that use may be reduced by 10 percent.
- (b) Developments may provide secure public bicycle racks and/or storage at a ratio of one (1) bike rack space per every 20 required parking spaces. The bicycle racks shall be located on-site and shall not encroach into the right-of-way. If a development provides secure bicycle racks and/or storage, then the respective parking requirement may be reduced by five percent.
- (c) Developments may provide a public or private [bicycle sharing](#) kiosk. The [bicycle sharing](#) kiosk shall be located on-site and not encroach into the right-of-way. If a development provides a public or private [bicycle sharing](#) kiosk, then the respective parking requirement may be reduced by five percent.
- (d) Developments may provide dedicated car/ride sharing spaces at a ratio of one (1) car/ride sharing space per every 25 required parking spaces. The car/ride sharing spaces shall be located on-site and clearly labeled. If a development provides dedicated car/ride sharing spaces, then the respective parking requirement for that use by five (5) percent.
- (e) Developments may provide a public plaza or open space, including but not limited to, shaded areas, fixed or movable seating, landscape, pedestrian scaled lighting, waste receptacles, and public art. Such amenities shall be designed and located in a manner deemed appropriate by the City Manager or designee. If a development provides a public plaza or open space as set forth herein, then the respective parking requirement may be reduced by five (5) percent.
- (f) Shared parking is encouraged for proposed developments with two (2) or more distinguishable uses as listed in the Shared Parking Requirements Table.
 - (i) The minimum shared parking requirement and maximum shared parking reduction shall be determined by the following procedure:
 - a. Multiply the minimum parking requirement for each individual use pursuant to the Parking Requirement Table in each district or subdistrict by the appropriate percentage listed in the Shared Parking Requirements Table for each of the five (5) designated time periods.
 - b. Add the resulting sum for each of the five (5) vertical columns of the Shared Parking Requirement Table. The minimum shared parking requirement is provided by the highest number resulting from that sum.

(ii) The shared parking reduction shall not result in a reduction of more than 25 percent of the minimum parking requirement.

(iii) Shared Parking Requirements Table.

SHARED PARKING REQUIREMENT					
Use	Weekdays			Weekend	
	Night	Day	Evening	Day	Night and Evening
	Percent	Percent	Percent	Percent	Percent
Residential	100	60	90	80	90
Office	5	100	10	10	5
Commercial/Retail (Non-Office)	5	90	70	100	70
Hotel	80	60	100	80	100
Restaurant	10	50	100	50	100
Entertainment/ Recreation	10	40	100	80	100
All Others	100	100	100	100	100

(7) Loading and maneuvering shall be pursuant to [Article 7](#) of the Zoning and Land Development Regulations.

d. General landscape regulations. Landscape requirements shall be pursuant to the Landscape Requirements Table; to [Article 9](#) of the Zoning and Land Development Regulations; to the City of Hollywood Landscape Manual; and to the following requirements:

- (1) The minimum tree size is 12 feet in height, with a four (4) inch caliper measured at diameter breast height. (The diameter of a tree trunk measured at four and one-half (4-1/2) feet above the root ball).
- (2) Ground floor open spaces, such as plazas, courtyards, and passageways which are visible from the public right-of-way and larger than 3,000 square feet shall be improved as pursuant to these regulations and the following requirements:
 - (a) A minimum of 25 percent of the open space area shall be vegetated.
 - (b) Overhead cover shall be provided for a minimum of 10 percent of the open space area.

(c) A minimum of one (1) linear foot of seating for every 30 square feet of open space area shall be provided.

(3) General Landscape Requirements Table.

GENERAL LANDSCAPE REQUIREMENTS	
	Requirements
Perimeter Landscape	<p>One (1) street tree per 30 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.</p> <p>Residential Uses shall provide a five (5) foot landscape buffer within required setback areas with one (1) tree for every 20 linear feet of required buffer area. When abutting or across an alley from a residential zoning district a perimeter landscape buffer shall be included within the required setback area with one (1) tree for every 20 linear feet of required buffer area.</p>
Interior Landscape for At-Grade Parking Lots and Vehicular Use Area	<p>Terminal islands shall be installed at each end of all rows of parking spaces and landscape islands shall be provided no further apart than every 10 parking spaces. Each island shall contain a minimum of one 190 square feet of pervious area or shall measure the same length and width as the adjacent parking stall. Each island shall contain at least one (1) tree. A five (5) foot landscape buffer including a landscape element of at least 42 inches in height shall be provided along the perimeter. The landscape buffer may be included within required setback areas.</p> <p>Lots with a width of 50 feet or less: 15 percent of the total square footage of the paved vehicular use area shall be landscaped.</p> <p>Lots with a width of more than 50 feet: 25 percent of the total square footage of the paved vehicular use area shall be landscaped.</p> <p>Percentage calculation excludes required perimeter landscaped setback area.</p>
Open Space	<p>All pervious areas shall be landscaped with grass, ground cover and/or shrubbery; or covered by another sustainable surface or material as permitted and determined by the City Manager or designee. Required landscape open space shall not be used for parking.</p> <p>A minimum of one (1) tree per 1,000 square feet of pervious area of property; this is in addition to tree requirement for parking lots and paved vehicular use areas.</p>
Open Space	<p>SR7 RM Districts: A minimum of 25 percent of the total site area shall be landscaped open space including landscaped open space located at-grade or at higher elevations such as on pool decks, parking decks, roof decks, etc.</p> <p>C-SS, C-LP, C-JS Districts: A minimum of 15 percent of the total site area shall be landscaped open space including landscaped open space located at-grade</p>

	or at higher elevations such as on pool decks, parking decks, roof decks, etc. C-MU, N-MU, S-MU Districts: A minimum of 5 percent of the total site area shall be landscaped open space including landscaped open space located at-grade or at higher elevations such as on pool decks, parking decks, roof decks, etc.
View Triangle	15 For corner lots, a sight distance triangle shall be provided. See the City of Hollywood Landscape Manual for illustration diagram.
Irrigation	16 Provide 100 percent irrigation coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances and the Regulations of the South Florida Water Management District or apply xeriscape principles. (See the City of Hollywood Landscape Manual)

4. District use and development regulations. The purpose of the district specific regulations is to reinforce the existing and potential character of each district and subdistrict.

SR 7 RM

a. State Road 7 Multiple Family Residential Districts

(1) State Road 7 Multiple Family Residential Districts Purpose and Character.

- (a) Encourage high-quality housing within walking distance to transit, entertainment, personal services, retail, and office.
- (b) Encourage the creation of strong urban residential neighborhoods, providing an array of housing types, including high- and mid-rise multi-family, live-work units, walk-up units, lofts, and attached housing.
- (c) Enhance and protect the exiting neighborhood character and promote a strong sense of community.
- (d) Encourage renovation and reuse of existing building stock.

(2) State Road 7 Multiple Family Residential Districts Use and Development Regulations.

(a) SR7 RM – State Road 7 Multiple Family Residential Districts

(i) SR7 RM – State Road 7 Multiple Family Residential Districts Use Table.

SR 7 RM – State Road 7 Multiple Family Residential Use			
Main Permitted Uses	Accessory Uses	Special Exception Uses	Prohibited Uses
Multiple Family Residential	Parking Lot accessory to a Main Permitted Use; or	Day Care Facility Parking Lot accessory to a Main	Any use not listed as a Main Permitted Use,

Single-Family Residential	adjacent Main Permitted Use Any use customarily associated with one of the Main Permitted Uses.	Permitted Use; or adjacent Main Permitted Use Place of Worship, Meeting Hall, and Fraternal Lodge Schools (All)	
See Section 4.1, 4.2, 4.21, and 4.22 for Additional Use Regulations and Performance Standards.			

(ii) SR7 RM – State Road 7 Multiple Family Residential Districts Development Regulations Table.

SR 7 RM - State Road 7 Multiple Family Residential Development Regulations		
LOT REQUIREMENTS		
Lot Area	6,000 sq. ft.	
Lot Width	50 ft.	
Platted lots or lots of record as of April 6,1994 are considered as legal non-conforming and may be developed consistent with these regulations.		
ZONING DISTRICT	MAXIMUM DENSITY	MAXIMUM HEIGHT
SR 7 MF-9	9 units per acre	4 Stories, not to exceed 35 ft.
SR 7 MF-18	12 units per acre	4 Stories, not to exceed 45 ft.
SR 7 MF-25	25 units per acre	6 Stories, not to exceed 65 ft.
MINIMUM SETBACKS		
Front	20 ft.	
Side Street	15 ft.	
Side Interior	7.5 ft. Platted and recorded lots of 50 ft. or less in width may have a 5 ft. setback.	
Rear	20 ft.	

N-MU

b. North District.

(1) North District Purpose and Character.

- (a) Encourage higher intensity mixed-use, transit oriented or transit ready development, which accommodate a diverse mix of commercial uses including large format or destination retail and entertainment uses, which complement the Seminole Resort and Casino.
- (b) Orient the higher intensity and ground floor commercial uses towards State Road 7 to enhance the corridor, creating a more urban environment with buildings on the street edge, continuous sidewalks, and active uses which promote pedestrian activity.

(2) North District Use and Development Regulations.

(a) N-MU – North Mixed-Use District

(i) N-MU – North Mixed-Use District Use Table.

N-MU - SR7 North – Mixed-Use District Uses			
Main Permitted Uses	Accessory Uses	Special Exception Uses	Prohibited Uses
<p>Adult Educational Facilities¹</p> <p>Amusement Uses</p> <p>Antique, Consignment, Collectible, and Vintage Store</p> <p>Artisan and Maker</p> <p>Manufacturing Assembly of Pre-Manufactured Parts for Sale on the Premises</p> <p>Automotive Rental, except Truck Rental²</p> <p>Bar, Lounge, or Night Club</p> <p>Commercial Marinas, except dry dock facilities</p> <p>Commercial Uses</p> <p>Contractor Shop (Indoor)</p> <p>Dry Cleaners</p> <p>Food Processing</p> <p>Hotel</p> <p>Institutional</p> <p>Live-Work</p> <p>Microbrewery, Microdistillery, and</p>	<p>Cabinet, Furniture, Upholstery Shop</p> <p>Car Wash⁴</p> <p>Contractor Shop associated to Retail or Showroom</p> <p>Dry Dock Facilities⁵</p> <p>Light Manufacturing associated with Retail or Showroom</p> <p>Outdoor produce sales (fresh fruit, vegetable, plant and flower retail sales), accessory to a grocery store, specialty market, or similar use⁶</p> <p>Tattoo, Body Art, or Body Piercing⁷</p> <p>Any use customarily associated with one of the Main Permitted Uses.</p>	<p>Automotive Truck Rental²</p> <p>Day Care Facilities</p> <p>Parking Lots and Garages (commercial), fronting State Road 7</p> <p>Schools (K-12)</p> <p>Service Station</p>	<p>Adult Entertainment or Adult Related Uses</p> <p>All General and Heavy Manufacturing Uses</p> <p>Bulk Sales, Storage, or Display of Lumber and Building Materials</p> <p>Gun Shop</p> <p>Outdoor Storage</p> <p>Pawn Shops</p> <p>Psychic Help Uses</p> <p>Self-Storage Facility</p> <p>Any use not listed as a Main Permitted Use.</p>

<p>Microwinery</p> <p>Motel</p> <p>Multi-Family Residential, except on the ground floor adjacent to Griffin Road, Stirling Road, and State Road ⁷; and except north of Griffin Road.</p> <p>Museum, Art Gallery, and Similar Cultural Uses</p> <p>Office</p> <p>Parking Lots and Garages (commercial), except fronting State Road ⁷</p> <p>Personal Service</p> <p>Place of Worship, Meeting Hall, and Fraternal Lodges</p> <p>Restaurant</p> <p>Retail (Indoor)</p> <p>School, Business, Commercial, or Vocational; Recreational or Cultural; and University¹</p> <p>Single Family Residential, except on the ground floor adjacent to Griffin Road, Stirling Road, and State Road ⁷; and except north of Griffin Road.</p> <p>Wholesale and Warehousing³</p>			
<p>¹ Adult Educational Facilities and Schools may require additional review for pedestrian and vehicular circulation, pick-up and drop off operations, traffic, etc. Limitations may be imposed in regards to capacity, hours of operation, parking, and circulation.</p> <p>² Automotive Rental, shall be designed in a pedestrian oriented manner; vehicular inventory shall be stored in an enclosed building, or at the rear or side of the site and fully screened from public rights-of-way.</p>			

³ Wholesale and Warehousing shall be limited to the use of existing buildings and shall occur fully within an enclosed structure.

⁴ Car Washes shall be fully enclosed and adequately screened; or not visible from public rights-of-way.

⁵ Dry Dock Facilities shall be located on sites that abut a navigable [waterway](#) or have direct [access](#) to the Intracoastal [Waterway](#); shall not exceed 30 feet in height nor contain more than 50 boat slips; shall be subordinate to and contribute to the comfort, convenience or necessities of the users or the occupants of the principal use of the property; shall be in harmony with the scale and character of [adjacent](#) properties and the neighborhood in general; shall be compatible with dock patterns in the general vicinity and shall not have an impact on existing water recreation activities, navigation, marine environment, water quality, natural resources and wetlands. The dry dock shall not face or be visible from State Road 7.

⁶ Outdoor produce sales shall provide a plan illustrating the layout, location, and dimensions of the outdoor sales area; shall not interfere or obstruct pedestrian flow; and shall be exempt from screening requirements.

⁷ Tattoo, Body Art, or Body Piercing Establishments shall be limited to 25 percent of the total gross [floor area](#) of the use; and exterior primary signage shall not be permitted.
See Section 4.3.J, 4.21, and 4.22 for Additional Use Regulations and Performance Standards.

(ii) N-MU – North Mixed-Use District Development Regulations Table.

N-MU - SR7 North - Mixed-Use District Development Regulations	
MAXIMUM DENSITY	
Single Use Buildings	Vertical Mixed-Use Building Bonus
36 Dwelling Units per Acre	50 Dwelling Units per Acre
The number of hotel rooms is double the maximum number of dwelling units.	
MAXIMUM HEIGHT	
Single Use Buildings	Vertical Mixed-Use Building Bonus for Sites or portions of sites fronting State Road 7
65 ft.	175 ft.
Sites or portions of sites within 100 feet of RM-18 and PUD-R: 65 ft.	
MINIMUM SETBACKS	
Frontage	

All Frontages	Non-Residential: 10 ft. Residential: 15 ft.	
Side Interior	Non-Residential: 0 ft. Residential: 15 ft.	
Rear/Alley	Non-Residential: 5 ft. Residential: 15 ft. When adjacent to RM-18 and PUD-R: 20 ft.	
MAXIMUM SETBACKS		
Frontage	Ground Floor	Above Ground Floor
State Road 7	30 ft.	N/A
MINIMUM ACTIVE USES		
Frontage	Ground Floor	Above Ground Floor
State Road 7	60%	N/A
Griffin Road Stirling Road	40%	N/A

(iii) N-MU – North Mixed-Use District Special Requirements

- a. For lots which abut State Road 7, the tower orientation shall be towards State Road 7.
- b. Structured parking is encouraged.

c. Central Districts.

(1) Central Districts Purpose and Character.

- (a) Encourage higher intensity mixed-use transit oriented or transit ready development, which accommodate a diverse mix of commercial, office, and residential uses, serving the region and adjacent neighborhoods.
- (b) Orient the higher intensity and ground floor commercial uses towards State Road 7 to enhance the corridor, creating a more urban environment with buildings on the street edge, continuous sidewalks, and active uses which promote pedestrian activity.
- (c) Promote and enhance the visual appeal and brand identity of the Johnson Street District by encouraging neighborhood oriented active uses, outdoor cafes, continuous sidewalks, pedestrian scaled lighting, public

seating, and shade trees.

- (d) Utilize the Linear Park as an amenity, to enhance a sense of community and identity, and provide opportunities for community interaction in a comfortable, friendly, walkable environment.
- (e) Promote the adaptive reuse of buildings fronting Sheridan Street, east of State Road 7, providing an opportunity for professional offices.
- (f) Encourage the creation of strong urban residential neighborhoods, providing an array of housing types, including high- and mid-rise multi-family, live-work units, walk-up units, lofts, and attached housing.
- (g) Provide adequate and compatible transitions to protect the scale of adjacent residential neighborhoods.

(2) Central Districts Use and Development Regulations.

C-SS

a. C-SS – Central Sheridan Street District

(i) C-SS – Central Sheridan Street District Use Table.

C-SS - SR7 Central – Sheridan Street Mixed-Use District Uses			
Main Permitted Uses	Accessory Uses	Special Exception Uses	Prohibited Uses
Live-Work Office ¹ Professional Office ² Single-Family Residential	Any use customarily associated with one of the Main Permitted Uses.	Day Care Facility Personal Service Place of Worship, Meeting Hall, and Fraternal Lodge Schools (All)	Any use not listed as a Main Permitted Use.
¹ Offices on sites of less than 0.25 acres shall be limited to Administrative Offices which do not involve the on-site handling, processing, distribution, display, storage, or sale of goods and merchandise, such as, but not limited to, real estate brokers, insurance agencies, marketing and investment counseling, stockbrokers, secretarial and stenographic services, or other similar uses. ² Professional Offices on sites of less than 0.25 acres shall not exceed 2 doctors, dentists, lawyers, accountants, architects, engineers, or other similar field. See Section 4.3.J, 4.21, and 4.22 for Additional Use Regulations and Performance Standards.			

(ii) C-SS – Central Sheridan Street District Development Regulations Table.

C-SS - SR7 Central - Sheridan Street Mixed-Use District Development Regulations
MAXIMUM DENSITY
9 Dwelling Units per Acre

MAXIMUM HEIGHT	
2 Stories, not to exceed 35 ft.	
MINIMUM SETBACKS	
Frontage	
All Frontages	Non-Residential: 10 ft. Residential: 25 ft.
Side Interior	10 ft. Platted and recorded lots of 50 ft. or less in width may have a 5 ft. setback.
Alley	20 ft.

iii) C-SS – Central Sheridan Street District Special Requirements

- a. Parking Requirement: 1 space per 250 sq. ft. for sites greater than 0.25 acres in size, 1 space per 500 sq. ft., to a maximum of 5 spaces for sites less than or equal to 0.25 acres in size.
- b. Head-in/back-out parking not permitted.
- c. Required parking spaces (tandem) may be provided on a circular drive with an interior landscaped island.

C-LP

(b) C-LP – Central Linear Park District

(i) C-LP – Central Linear Park District Use Table.

C-LP - SR7 Central – Linear Park Mixed-Use District Uses			
Main Permitted Uses	Accessory Uses	Special Exception Uses	Prohibited Uses
Artisan and Maker Manufacturing Assembly of Pre-Manufactured Parts for Sale on the Premises Commercial Uses Live-Work Multi-Family Residential	Parking Lot accessory to a Main Permitted Use Outdoor produce sales (fresh fruit, vegetable, plant and flower retail sales) ¹ Any use customarily associated with one of	Day Care Facility Place of Worship, Meeting Hall, and Fraternal Lodge Schools (All)	Adult Entertainment or Adult Related Uses All General and Heavy Manufacturing Uses Bulk Sales, Storage, or Display of Lumber and Building Materials

Museum, Art Gallery, and Similar Cultural Uses Personal Service Professional Office ² Restaurant Retail (Indoor) Single Family Residential	the Main Permitted Uses.		Contractor Shop and Storage (Indoor or Outdoor) Gun Shop Outdoor Storage Pawn Shops Psychic Help Uses Self-Storage Facility Any use not listed as a Main Permitted Use.
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¹ Outdoor produce sales shall provide a plan illustrating the layout, location, and dimensions of the outdoor sales area; shall not interfere or obstruct pedestrian flow; and shall be exempt from screening requirements.

² Professional Offices on sites of less than 0.25 acres shall not exceed 2 doctors, dentists, lawyers, accountants, architects, engineers, or other similar field.

See Section 4.3.J, 4.21, and 4.22 for Additional Use Regulations and Performance Standards.

(ii) C-LP – Central Linear Park District Development Regulations Table.

C-LP - SR7 Central - Linear Park Mixed-Use District Development Regulations	
MAXIMUM DENSITY	
Single Use Buildings	Vertical Mixed-Use Building Bonus
25 Dwelling Units per Acre	36 Dwelling Units per Acre
MAXIMUM HEIGHT	
65 ft. Sites or portions of sites within 100 feet of MF-18: 45 ft.	
MINIMUM SETBACKS	
Frontage	
All Frontages	Non-Residential: 10 ft. Residential: 15 ft.
Side Interior	10 ft. Platted and recorded lots of 50 ft. or less in width may have a 5 ft. setback
Rear	15 ft.

iii) C-LP – Central Linear Park District Special Requirements

- a. Buildings shall be designed in a manner that enhances and encourages the use of the Linear Park.
- b. For lots adjacent to the Linear Park, active uses fronting the east-west streets shall wrap the corner to provide secondary frontages and activity along the Linear Park; and pedestrian connections shall be provided. The rear of buildings shall not face the Linear Park; this requirement may be waived at the discretion of City Manager or designee when sufficient evidence is provided to indicate it cannot be accommodated.
- c. Walk-up gardens shall be required for ground floor residential uses and shall have a minimum depth of five (5) feet measured horizontally between the building facade and the public sidewalk. Entrance landings and stairs may encroach the garden space. Garden perimeter fences, walls or other similar structures shall not exceed four (4) feet in height. A minimum of 40 percent of the walk-up garden area shall be pervious.

C-JS

(c) C-JS – Central Johnson Street District

(i) C-JS – Central Johnson Street District Use Table.

C-JS - SR7 Central – Johnson Street Mixed-Use District Uses			
Main Permitted Uses	Accessory Uses	Special Exception Uses	Prohibited Uses
<p>Adult Educational Facilities^{1,2}</p> <p>Amusement Uses (indoor)²</p> <p>Antique, Consignment, Collectible, and Vintage Store²</p> <p>Artisan and Maker Manufacturing²</p> <p>Assembly of Pre-Manufactured Parts for Sale on the Premises²</p> <p>Coin Laundry^{2,3}</p> <p>Commercial Uses²</p> <p>Contractor Shop (Indoor)²</p> <p>Dry Cleaners²</p>	<p>Automotive Repair²</p> <p>Cabinet, Furniture, Upholstery Shop²</p> <p>Light Manufacturing associated with Retail or Showroom²</p> <p>Outdoor produce sales (fresh fruit, vegetable, plant and flower retail sales), accessory to a grocery store, specialty market, or similar use⁴</p> <p>Any use customarily associated with one of the Main Permitted Uses.</p>	<p>Day Care Facility</p> <p>Schools (K-12)²</p> <p>Service Station²</p>	<p>Adult Entertainment or Adult Related Uses</p> <p>All General and Heavy Manufacturing Uses</p> <p>Bulk Sales, Storage, or Display of Lumber and Building Materials</p> <p>Contractor Shop and Storage (Outdoor)</p> <p>Gun Shop</p> <p>Outdoor Storage</p> <p>Pawn Shops</p> <p>Psychic Help Uses</p> <p>Self-Storage Facility</p>

Food Processing ² Hotel Institutional ² Live-Work ² Multi-Family Residential, above the ground floor Museum, Art Gallery, and Similar Cultural Uses ² Office ² Parking Lots and Garages (commercial), except fronting Johnson Street Personal Service ² Place of Worship, Meeting Hall, and Fraternal Lodges Restaurant ² Retail (Indoor) ² School, Business, Commercial, or Vocational; Recreational or Cultural; and University ^{1,2} Single Family Residential, except adjacent to Johnson Street			Any use not listed as a Main Permitted Use.
<p>¹ Adult Educational Facilities and Schools may require additional review for pedestrian and vehicular circulation, pick-up and drop off operations, traffic, etc. Limitations may be imposed in regards to capacity, hours of operation, parking, and circulation.</p> <p>² For properties east of 59th Avenue, Commercial Uses only permitted on properties fronting Johnson Street.</p> <p>³ Coin Laundries shall be fully enclosed and air-conditioned.</p> <p>⁴ Outdoor produce sales shall provide a plan illustrating the layout, location, and dimensions of the outdoor sales area; shall not interfere or obstruct pedestrian flow; and shall be exempt from screening requirements.</p> <p>See Section 4.3.J, 4.21, and 4.22 for Additional Use Regulations and Performance Standards.</p>			

(ii) C-JS – Central Johnson Street District Development Regulations Table.

C-JS - SR7 Central - Johnson Street Mixed-Use District Development Regulations
MAXIMUM DENSITY

Single Use Buildings	Vertical Mixed-Use Building Bonus	
36 Dwelling Units per Acre	42 Dwelling Units per Acre	
The number of hotel rooms is double the maximum number of dwelling units.		
MAXIMUM HEIGHT		
Single Use Buildings	Vertical Mixed-Use Building Bonus for Sites or portions of sites fronting State Road 7	
East of State Road 7: 65 ft. West of State Road 7: 85 ft.	175 ft.	
Sites or portions of sites within 100 feet of MF-18: 45 ft.		
MINIMUM SETBACKS		
Frontage		
All Frontages	Non-Residential: 10 ft. Residential: 15 ft.	
Side Interior	Non-Residential: 0 ft. Residential: 5 ft.	
Rear	10 ft.	
MAXIMUM SETBACKS		
Frontage	Ground Floor	Above Ground Floor
State Road 7	30 ft.	N/A
MINIMUM ACTIVE USES		
Frontage	Ground Floor	Above Ground Floor
State Road 7	60%	N/A
Johnson Street	40%	N/A

[iii) C-JS – Central Johnson Street District Special Requirements

- a. For lots which abut State Road 7, the tower orientation shall be towards State Road 7.

C-MU

(d) C-MU – Central Mixed-Use District

(i) C-MU – Central Mixed-Use District Use Table.

C-MU - SR7 Central – Mixed-Use District Uses			
Main Permitted Uses	Accessory Uses	Special Exception Uses	Prohibited Uses
<p>Adult Educational Facilities¹</p> <p>Amusement Uses</p> <p>Antique, Consignment, Collectible, and Vintage Store</p> <p>Artisan and Maker</p> <p>Manufacturing</p> <p>Assembly of Pre-Manufactured Parts for Sale on the Premises</p> <p>Automotive Rental²</p> <p>Automotive Sales New²</p> <p>Bar, Lounge, or Night Club</p> <p>Coin Laundry³</p> <p>Commercial Uses</p> <p>Contractor Shop (Indoor)⁴</p> <p>Dry Cleaners</p> <p>Food Processing</p> <p>Funeral Homes</p> <p>Hotel</p> <p>Institutional</p> <p>Live-Work</p> <p>Microbrewery, Microdistillery, and Microwinery</p> <p>Motel</p> <p>Multi-Family Residential, except on the ground floor</p>	<p>Automotive Paint or Body</p> <p>Automotive Repair</p> <p>Automotive Sales Used</p> <p>Cabinet, Furniture, Upholstery</p> <p>Shop associated to Retail or Showroom</p> <p>Car Wash⁵</p> <p>Contractor Shop associated to Retail or Showroom</p> <p>Light Manufacturing associated with Retail or Showroom</p> <p>Outdoor produce sales (fresh fruit, vegetable, plant and flower retail sales), accessory to a grocery store, specialty market, or similar use⁶</p> <p>Any use customarily associated with one of the Main Permitted Uses.</p>	<p>Automotive</p> <p>Truck Rental²</p> <p>Day Care</p> <p>Facilities</p> <p>Outdoor</p> <p>Storage</p> <p>Schools (K-12)</p> <p>Service</p> <p>Station</p>	<p>Adult Entertainment or Adult Related Uses</p> <p>All General and Heavy Manufacturing Uses</p> <p>Bulk Sales, Storage, or Display of Lumber and Building Materials</p> <p>Gun Shop</p> <p>Pawn Shops</p> <p>Psychic Help Uses</p> <p>Self-Storage Facility</p> <p>Any use not listed as a Main Permitted Use.</p>

<p>adjacent to Sheridan Street, Taft Street, and State Road 7</p> <p>Museum, Art Gallery, and Similar Cultural Uses</p> <p>Office</p> <p>Parking Lots and Garages (commercial), except fronting State Road 7</p> <p>Personal Service</p> <p>Place of Worship, Meeting Hall, and Fraternal Lodges</p> <p>Restaurant</p> <p>Retail (Indoor)</p> <p>School, Business, Commercial, or Vocational; Recreational or Cultural; and University¹</p> <p>Single Family Residential, except on the ground floor adjacent to Sheridan Street, Taft Street, and State Road 7⁷</p>			
<p>¹ Adult Educational Facilities and Schools may require additional review for pedestrian and vehicular circulation, pick-up and drop off operations, traffic, etc. Limitations may be imposed in regards to capacity, hours of operation, parking, and circulation.</p> <p>² Automotive Rental; Sales, New, shall be designed in a pedestrian oriented manner; and vehicular inventory shall be stored in an enclosed building, or at the rear or side of the site and fully screened from public rights-of-way.</p> <p>³ Coin Laundries shall be fully enclosed and air-conditioned.</p> <p>⁴ Contractor Shop (Indoor) shall be limited to the use of existing buildings and shall occur fully within an enclosed structure.</p> <p>⁵ Car Washes shall be fully enclosed and adequately screened; or not visible from public rights-of-way.</p> <p>⁶ Outdoor produce sales shall provide a plan illustrating the layout, location, and dimensions of the outdoor sales area; shall not interfere or obstruct pedestrian flow; and shall be exempt from screening requirements.</p> <p>See Section 4.3.J, 4.21, and 4.22 for Additional Use Regulations and Performance Standards.</p>			

(ii) C-MU – Central Mixed-Use District Development Regulations Table.

C-MU - SR7 Central - Mixed-Use District Development Regulations
MAXIMUM DENSITY

Single Use Buildings	Vertical Mixed-Use Building Bonus	
36 Dwelling Units per Acre	50 Dwelling Units per Acre	
The number of hotel rooms is double the maximum number of dwelling units.		
MAXIMUM HEIGHT		
Single Use Buildings	Vertical Mixed-Use Building Bonus for Sites or portions of sites fronting State Road 7	
85 ft.	175 ft.	
Sites or portions of sites within 100 feet of MF-9 and MF-18: 45 ft.		
MINIMUM SETBACKS		
Frontage		
All Frontages	Non-Residential: 10 ft. Residential: 15 ft.	
Side Interior	0 ft.	
Rear/Alley	5 ft. When adjacent to MF-9 and MF-18: 20 ft.	
MAXIMUM SETBACKS		
Frontage	Ground Floor	Above Ground Floor
State Road 7	30 ft.	N/A
MINIMUM ACTIVE USES		
Frontage	Ground Floor	Above Ground Floor
State Road 7	60%	N/A
Sheridan Street Taft Street	40%	N/A

iii) C-MU – Central Mixed-Use District Special Requirements

- a. For lots which abut State Road 7, the tower orientation shall be towards State Road 7.

b. Where possible, vehicular [access](#) shall be located along the east-west streets.

c. Structured parking is encouraged.

S-MU

d. South Districts.

(1) South Districts Purpose and Character.

(a) Encourage higher intensity mixed-use transit oriented or transit ready development, which accommodate a diverse mix of commercial, service oriented, and residential uses, serving the region and [adjacent](#) neighborhoods.

(b) Orient the higher intensity and ground floor commercial uses towards State Road 7 to enhance the corridor, creating a more urban environment with buildings on the street edge, continuous sidewalks, and active uses which promote pedestrian activity.

(c) Encourage the creation of strong urban residential neighborhoods, providing an array of housing types.

(d) Provide adequate and compatible transitions to protect the scale of [adjacent](#) residential neighborhoods.

(e) Identify areas within a quarter-mile radius of the intersection of State Road 7 and Hollywood Boulevard for the purpose of a Mobility Hub, to establish a place of connectivity for different modes of transportation that seamlessly converge with where people live, play, shop, and work.

(2) South District Use and Development Regulations.

(a) S-MU – South Mixed-Use District

(i) S-MU – South Mixed-Use District Use Table.

S-MU - SR7 South – Mixed-Use District Uses			
Main Permitted Uses	Accessory Uses	Special Exception Uses	Prohibited Uses
Adult Educational Facilities ¹ Amusement Uses Antique, Consignment, Collectible, and Vintage Store Artisan and Maker Manufacturing Assembly of Pre-Manufactured Parts for Sale on the Premises	Automotive Paint or Body Automotive Repair Automotive Sales Used Contractor Shop associated to Retail or Showroom Light Manufacturing associated with Retail or Showroom	Day Care Facilities Schools (K-12) Service Station	Adult Entertainment or Adult Related Uses All General and Heavy Manufacturing Uses Bulk Sales, Storage, or Display of Lumber

<p>Automotive Rental²</p> <p>Automotive Repair, except north of Washington Street²</p> <p>Automotive Sales New²</p> <p>Automotive Sales Used, except north of Washington Street²</p> <p>Bar, Lounge, or Night Club</p> <p>Cabinet, Furniture, Upholstery Shop</p> <p>Car Wash³</p> <p>Coin Laundry⁴</p> <p>Commercial Uses</p> <p>Contractor Shop (Indoor)⁵</p> <p>Dry Cleaners</p> <p>Food Processing</p> <p>Funeral Homes</p> <p>Hotel</p> <p>Institutional</p> <p>Live-Work</p> <p>Microbrewery, Microdistillery, and Microwinery</p> <p>Motel</p> <p>Multi-Family Residential, except on the ground floor adjacent to Hollywood Boulevard, Washington Street, Pembroke Road, and State Road ⁷</p> <p>Museum, Art Gallery, and Similar Cultural Uses</p> <p>Office</p> <p>Parking Lots and Garages (commercial), except fronting State Road 7</p> <p>Personal Service</p> <p>Place of Worship, Meeting Hall, and Fraternal Lodges</p> <p>Restaurant</p> <p>Retail (Indoor)</p>	<p>Outdoor produce sales (fresh fruit, vegetable, plant and flower retail sales), accessory to a grocery store, specialty market, or similar use⁶</p> <p>Outdoor Storage, except north of Washington Street</p> <p>Retail Sales (Outdoor)</p> <p>Tattoo, Body Art, or Body Piercing⁷</p> <p>Any use customarily associated with one of the Main Permitted Uses.</p>	<p>and Building Materials</p> <p>Gun Shop</p> <p>Pawn Shops</p> <p>Psychic Help Uses</p> <p>Any use not listed as a Main Permitted Use.</p>
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School, Business, Commercial, or Vocational; Recreational or Cultural; and University ¹ Self-Storage Facility, except north of Washington Street Single Family Residential, except on the ground floor adjacent to Hollywood Boulevard, Washington Street, Pembroke Road and State Road 7 Wholesale & Warehousing			
¹ Adult Educational Facilities and Schools may require additional review for pedestrian and vehicular circulation, pick-up and drop off operations, traffic, etc. Limitations may be imposed in regards to capacity, hours of operation, parking, and circulation. ² Automotive Rental; Repair; Sales, New, shall be designed in a pedestrian oriented manner; vehicular inventory shall be stored in an enclosed building, or at the rear or side of the site and fully screened from public rights-of-way.			
³ Car Washes shall be fully enclosed and adequately screened; or not visible from public rights-of-way. ⁴ Coin Laundries shall be fully enclosed and air-conditioned. ⁵ Contractor Shop (Indoor) shall be limited to the use of existing buildings and shall occur fully within an enclosed structure. ⁶ Outdoor produce sales shall provide a plan illustrating the layout, location, and dimensions of the outdoor sales area; shall not interfere or obstruct pedestrian flow; and shall be exempt from screening requirements. ⁷ Tattoo, Body Art, or Body Piercing Establishments shall be limited to 25 percent of the total gross floor area of the use; and exterior primary signage shall not be permitted. See Section 4.3.J, 4.21, and 4.22 for Additional Use Regulations and Performance Standards.			

(ii) S-MU – South Mixed-Use District Development Regulations Table.

S-MU - SR7 South - Mixed-Use District Development Regulations	
MAXIMUM DENSITY	
Single Use Buildings	Vertical Mixed-Use Building Bonus
36 Dwelling Units per Acre	50 Dwelling Units per Acre
The number of hotel rooms is double the maximum number of dwelling units.	

MAXIMUM HEIGHT		
Single Use Buildings	Vertical Mixed-Use Building Bonus for Sites or portions of sites fronting State Road 7	
North of Hollywood Boulevard: 85 ft. South of Hollywood Boulevard: 65 ft.	175 ft.	
Sites or portions of sites within 100 feet of MF-9, MF-25, and other residential zoning districts: 45 ft.		
MINIMUM SETBACKS		
Frontage		
All Frontages	Non-Residential: 10 ft. Residential: 15 ft.	
Side Interior	0 ft.	
Rear/Alley	5 ft. When adjacent to MF-9, MF-25, and other residential zoning districts: 20 ft.	
MAXIMUM SETBACKS		
Frontage	Ground Floor	Above Ground Floor
State Road 7	30 ft.	N/A
MINIMUM ACTIVE USES		
Frontage	Ground Floor	Above Ground Floor
State Road 7	60%	N/A
Hollywood Boulevard	40%	N/A

(iii) S-MU – South Mixed-Use District Special Requirements

- a. For lots which abut State Road 7, the tower orientation shall be towards State Road 7.

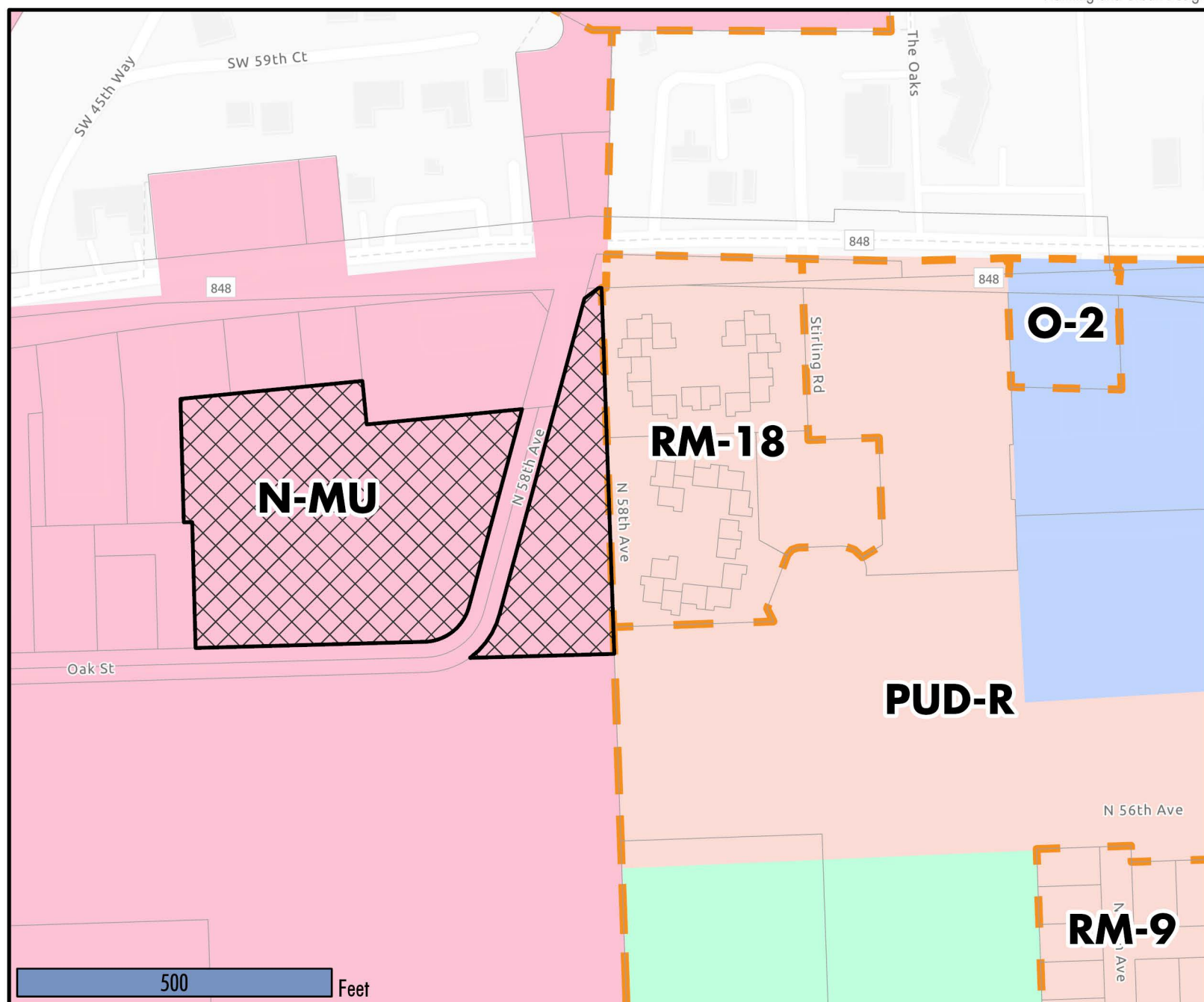
b. Where possible, vehicular [access](#) shall be located along the east-west streets.

c. Structured parking is encouraged.

(Ord. O-2007-34, passed 12-18-2007; Am. Ord. O-2009-40, passed 12-2-2009; Am. Ord. O-2013-13, passed 6-19-13; Am. Ord. O-2016-22, passed 10-19-16; Am. Ord. O-2017-23, passed 12-6-17; Am. Ord. O-2019-28, passed 12-4-19; Am. Ord. O-2020-01, passed 1-15-20; Ord. O-2021-04, passed 2-17-21)

ATTACHMENT B

Land Use and Zoning Map



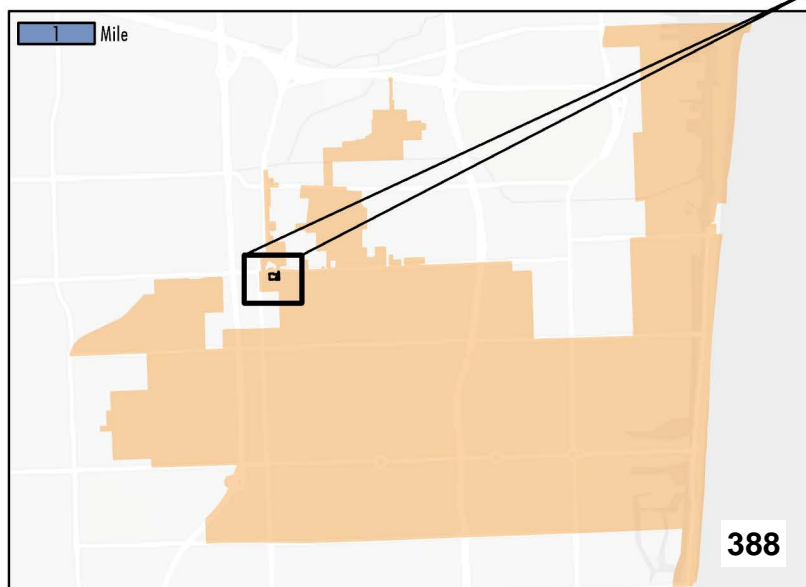
LEGEND

LAND USE

- TRANSIT-ORIENTED CORRIDOR
- MEDIUM (16) RESIDENTIAL
- LOW-MEDIUM (10) RESIDENTIAL
- GENERAL BUSINESS

- ZONING
- PARCELS
- SUBJECT SITE

subject site zoning request from N-MU to PD



ATTACHMENT D

Community Outreach Package

July 23, 2025

VIA ELECTRONIC SUBMITTAL

c/o Reginald White, Planner III
Department of Development Services
City of Hollywood
2600 Hollywood Boulevard
Hollywood, FL 33020

**RE: Public Participation Outreach Meeting Summary for 4220 N. 58th Ave
(the "Project")**

Pursuant to the City's Zoning and Land Development Regulations ("ZLDR") § 5.1. General Provisions effective as of the date the application was deemed accepted by the City of Hollywood, the Applicant held a Public Participation Outreach Meeting on March 10, 2025 to present the Project as summarized below.

The Applicant sent mailed notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the Project and posted a sign on the Property on February 21, 2025, notifying the date, time, and place of the Public Participation Outreach Meeting. A copy of the Mail/Sign Posting Certification Letter, Public Participation Outreach Meeting Notice, Property Owner List/Map and Sign Posting Photos are attached as **Exhibit 1** and a copy of the presentation is provided as **Exhibit 2**.

There were approximately 10 attendees. The Applicant presented the Project and provided an opportunity for Q&A. Q&A followed primarily related to site plan details, such as building setbacks, parking, architectural screening for the parking garage, and preservation of the existing historic original structure, as well as the Project timeline.

In response to public comment, Applicant increased the minimum side (west) setback from 8 feet to 15 feet and enhanced the parking garage architectural screening with aluminum louvers and metal fins following the color palette of the building. Built-in planters were also added to the entries to provide natural screening to the parking garage.

While the amended Public Participation Outreach Meeting requirements adopted by the City Commission on June 18, 2025 are inapplicable to the Project, Applicant is scheduled to host a second Public Outreach Meeting on August 11, 2025 to provide property owners and certified/registered civic and neighborhood association(s) within 500 feet of the Project another opportunity to discuss the Project. Refer to the Meeting Notice in **Exhibit 3**.

Should you require additional information, please let us know.

Respectfully,



Digitally signed by
Stephanie J.
Toothaker, Esq.
Date: 2025.07.23
19:09:05 -04'00'

Stephanie J. Toothaker, Esq.

Stephanie J. Toothaker, Esq.

land use development political strategy procurement

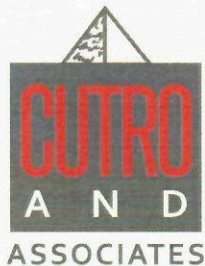


EXHIBIT 1

CERTIFICATION LETTER

City of Hollywood

Date: February 21, 2025

Applicant: 58 Oak LLC and 4220 N. 58th Avenue Partners LLC

Legal Description: Portions of Lots 1, 4, 3 of Seminole Estates Plat as recorded in Plat Book 21 Page 15 of the Public Records of Broward County, Florida.

Address or General Location: 4220 & 4231 N. 58 Avenue

This letter certifies that the attached list of property owners within 500 feet from each property line of the subject site was prepared using the latest tax folio rolls supplied by the Broward County Property Appraisers Office as of February 18, 2025 and the Planning Department, Civic Associations within 500 feet of the subject property.

This letter also certifies that the attached public hearing notification was sent to the persons on the list of property owners. The notice was mailed February 21, 2025.

Finally, this letter certifies that the site was posted with four public notice signs that meet the City of Hollywood notification regulations. The signs were posted February 21, 2025.

Thank You,

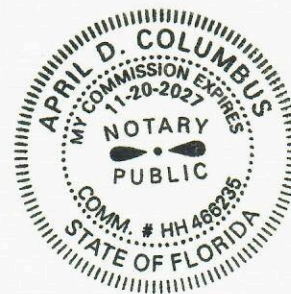
A handwritten signature in blue ink, appearing to read "Christina Mathews".

Christina Mathews

Sworn and subscribed before me this 21st day of February, 2025. She is personally known to me.

A handwritten signature in blue ink, appearing to read "April D. Columbus".

Signature of Notary



1025 Yale Drive
Hollywood, Florida 33021
954-920-2205

Email: cutroplanning@yahoo.com

February 19, 2025

Dear Neighbors and
Members of the Arapahoe Farms HOA
and Lakes of Emerald Hills HOA:

RE: NOTICE OF VIRTUAL PUBLIC PARTICIPATION MEETING
Hollywood Oaks Planned Development

This firm represents KUSHNER REALTY ACQUISITIONS, LLC (the “Applicant”), the contract purchaser of the approximate 5.74-acre property located at 4220 and 4231 North 58th Avenue, Hollywood, FL 33021, Folio Nos. 514101010010 and 514101140010 (the “Property”). On behalf of the Applicant, we would like to invite you to participate in a Virtual Public Participation Meeting to discuss the proposed Hollywood Oaks Planned Development including the preservation of the existing historic Bryan House (HPOS-12) and development of a 470-unit multifamily building, 812-space parking garage and 27 surface parking spaces, 9,300 SF private amenity clubhouse and 4,070 SF place of worship (synagogue).

WHEN: Monday, March 10, 2025 at 6:00 PM EST

WHERE: Please use the following link to register for this meeting:

<https://tinyurl.com/HollywoodOaksPD>

After registering, you will receive a confirmation email containing information about joining the meeting.

Should you have any questions, please contact me at stephanie@toothaker.org / (954) 648-9376 and Estefanía Mayorga at estefania@toothaker.org / (561) 777-0276.

Respectfully,



Digitally signed by
Stephanie J.
Toothaker, Esq.
Date: 2025.07.23
10:52:11 -04'00'

Stephanie J. Toothaker, Esq.

FOLIO_NUMB	NAME	ADDRESS_LI	CITY	STATE	ZIP	ZIP4	LEGAL
504136010550	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY	3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421	NEWMANS SURVEY 2-26 D 36-50-41THAT PT OF TR 15 DESC AS,COMMAT NE COR OF SEC 1,WLY 184.8TO P/C,WLY ALG ARC OF CUR 164.17TO P/T,WLY 494.36 TO POB,SLY26.2,WLY ALG N/L OF SEC 1 FOR500.67,NELY 56.53,ELY 484.97TO POB
504136010860	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY	3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421	NEWMANS SURVEY 2-26 D 36-50-41PORTION OF STIRLING RD FROM STRD 7 TO SW 40 AVE PER MISC MB8-2 LESS OR 1410/80 & LESS OR9084/221
504136030010	LEVY,ILANAYORAM,PEARL BEN	5532 ESTATE OAK CIR	FORT LAUDERDALE	FL	33312		FRANCES GROVE ESTATES 26-46 BCOMM AT NE COR TR A,SWLY 266.50TO POB,CONT SWLY 25.73 TO P/C,SWLY 139.01 TO P/C,SWLY 39.27,WLY 37.09,NLY 130,NELY 113.75,SELY 104.66 TO POBDESC IN OR 10172/875
504136030012	STOF HOLDINGS LLC ASHLEY T TAYLOR REV TRTAYLOR,ASHLEY TRSTE	6300 STIRLING RD	HOLLYWOOD	FL	33024		FRANCES GROVE ESTATES 26-46 BPORTION OF TR A DESC AS COMM ATNE COR OF SAID TR,SWLY ALG E/L11 TO POB,CONT SWLY 255.50,NWLY104.66,NELY 146.25,NELY 109,SELY150 TO POB
504136030110	ETAL	4305 STIRLING RD	DANIA BEACH	FL	33314		FRANCES GROVE ESTATES 26-46 BLOT 2 TO 7 BLK 2
504136030120	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		FRANCES GROVE ESTATES 26-46 BLOT 8 BLK 2
504136030130	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		FRANCES GROVE ESTATES 26-46 BLOT 9 BLK 2
504136030140	MY DARLING LLC	5566 SW 28 TER	FORT LAUDERDALE	FL	33312		FRANCES GROVE ESTATES 26-46 BLOT 10 BLK 2
504136030150	MY DARLING LLC	5566 SW 28 TER	FORT LAUDERDALE	FL	33312		FRANCES GROVE ESTATES 26-46 BLOT 11 BLK 2
504136030160	MY DARLING LLC	5566 SW 28 TER	FORT LAUDERDALE	FL	33312		FRANCES GROVE ESTATES 26-46 BLOT 12,13 BLK 2
504136030170	4441 STIRLING RD LLC	5131 N 36TH CT	HOLLYWOOD	FL	33021		FRANCES GROVE ESTATES 26-46 BLOT 14 BLK 2
504136030180	STIRLING ROAD RENTALS LLC	4191 PARK VIEW DR	HOLLYWOOD	FL	33021		FRANCES GROVE ESTATES 26-46 BLOT 15 BLK 2
504136030190	CASSIN CORP	189 MORNINGSIDE DR	MIAMI SPRINGS	FL	33166		FRANCES GROVE ESTATES 26-46 BLOT 16,17,18,19 BLK 2
504136030230	STIRLING OFFICES LLC	5650 STIRLING RD STE 4	HOLLYWOOD	FL	33314		FRANCES GROVE ESTATES 26-46 BLOT 20 LESS S 20 FOR RD,LOT 21LESS S 20 & LESS EXT AREA LYINGSWLY OF ARC WITH 25 RAD,TANGTO LINE 20 N OF & PARA TO S/L OFLOT 21 & TANG TO E R/W/L OFSW 45 WAY BLK 2
504136030250	STIRLING OFFICES LLC	5650 STIRLING RD STE 4	HOLLYWOOD	FL	33314		FRANCES GROVE ESTATES 26-46 BLOT 22 BLK 2
504136030260	STIRLING OFFICES LLC	5650 STIRLING RD STE 4	HOLLYWOOD	FL	33314		FRANCES GROVE ESTATES 26-46 BLOT 23 BLK 2
504136030270	STIRLING OFFICES LLC	5650 STIRLING RD STE 4	HOLLYWOOD	FL	33314		FRANCES GROVE ESTATES 26-46 BLOT 24 BLK 2
504136030280	FORTY FOUR SIXTY FOUR LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		FRANCES GROVE ESTATES 26-46 BLOT 25 BLK 2
504136030290	RAMIREZ,ERICK	4460 SW 59 CT	DANIA BEACH	FL	33314	7514	FRANCES GROVE ESTATES 26-46 BLOT 26 BLK 2
504136030300	GARCIA,KRYSTAL MNEGRON-GARCIA,ANITA	8900 NW 8 ST	PEMBROKE PINES	FL	33024		FRANCES GROVE ESTATES 26-46 BLOT 27,28 W1/2 BLK 2
504136030310	4434 SW 59 LLC	4434 SW 59 CT	DANIA BEACH	FL	33314	7514	FRANCES GROVE ESTATES 26-46 BLOT 28 E1/2,29 BLK 2
504136030330	CALDERON,ERIK & JENNY	4420 SW 59 CT	DANIA BEACH	FL	33314	7514	FRANCES GROVE ESTATES 26-46 BLOT 30,31 BLK 2
504136030350	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		FRANCES GROVE ESTATES 26-46 BLOT 32 BLK 2
504136030360	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		FRANCES GROVE ESTATES 26-46 BLOT 33,34 BLK 2
504136220010	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		MIRO CORNERS 148-29 BTRACT A TOGET WITH A POR OF OLDST RD 7 VACATED BY RESOLUTION96-0147 RECORDED IN OR 24713/803LYING WEST OF AND ABUTTINGSUBJECT PARCEL
514101000010	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY	3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421	1-51-41BEG AT A POINT 40 FT WLY OF NECOR SEC 1-51-41,WLY 1152.35 TOA PT ON A LINE,ELY 841.76,ELYARC DIST 167.20 TO A PT TAN,ELY119.85,SELY ARC DIST 39.27,NLY78.02 +/- TO POB
514101000022	STERLING 56 CONDO ONE INC &STERLING 56 CONDO THREE INC	5790 STIRLING RD APT 201	HOLLYWOOD	FL	33021	1530	1-51-41COMM AT NW COR OF NE1/4 OF NE1/4OF SEC 1,S ALG W/L 238,E 237 TOPOB,S 170,SE 50.78,THENCE ON CURTO NE ARC DIST 23.45,E 66.72 TOP/C,THENCE ON CUR TO SE ARCDIST 40.75,NE 38.04,N 170,W 112,N 15,W 83 TO POB,AKA STIRLING 56 REC AREA
514101000042	BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301	1801	1-51-41POR OF NE1/4 OF SEC 1 DESC'D INOR 8215/928AKA:PARCEL 88 STIRLING RD
514101000060	ROCK HARD HOLLYWOOD DEV LLC%REAL ESTATE SERVICES	6300 STIRLING RD	HOLLYWOOD	FL	33024		1-51-41 NE1/4PORTION NE 1/4 DESC AS BEG AT SECOR OF NW1/4 OF NE1/4,N 750,W229.25,SWLY 73.05,W 786.65,S382.62,E 425,S 348.50,E 660.90TO POB
514101000080	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		1-51-41W 235 OF NW1/4 OF NE1/4 LYINGS OF OLD DAVIE RD LESS W 35 FORRD R/W & LESS S 528.5
514101000090	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		1-51-41N 60 OF S 528.5 OF W 235 OFNW1/4 OF NE1/4 LESS W 35 FORRD R/W
514101000130	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		1-51-41S 348.50 OF W 660 OF NW1/4 OFNE1/4,EXCEPT THERE FROM W 35 FORR/W
514101010010	4220 N 58TH AVENUE PARTNERS LLC	3113 STIRLING RD #103	FORT LAUDERDALE	FL	33312		SEMINOLE ESTATES 21-15 BLOT 1 LESS BEG NE COR OF LOT 4,ELY ALG N/L OF LOT 1 243.23,SLY 196.13,WLY 242.67 TO NW COROF LOT 3,NLY TO POB
514101010011	HOLLYWOOD BUSINESS PARK LLC	5900 STIRLING ROAD	HOLLYWOOD	FL	33021		SEMINOLE ESTATES 21-15 BLOT 1 W 23.23 DESC AS COMMAT NE COR LOT 4,E ALG N/LOF LOT 1 23.23,SLY 180.48 TOPT ON N/L LOT 3,W 23.17 TONW COR LOT 3,N 178.83 TO POB
514101010020	JANCULA,PILAR	5901 OAK ST	HOLLYWOOD	FL	33021	1516	SEMINOLE ESTATES 21-15 BLOT 2 LESS E 60 & LESS N 50 OFW 96
514101010030	ALVARADO,CARLOSGUERRA,CARLA	5895 OAK ST	HOLLYWOOD	FL	33021		SEMINOLE ESTATES 21-15 BLOT 2 E 60 & N 50 OF W 96

514101010040	HOLLYWOOD BUSINESS PARK LLC	407 POINCIANA DR	HALLANDALE BEACH	FL	33009	SEMINOLE ESTATES 21-15 BLOT 3 SEMINOLE ESTATES 21-15 BLOT 4,5 LESS W 150 OF N 150& LESS PT OF LOTS 4 & 5 DESCIN OR 10333/762,6,7LESS THAT PT OF SAID LOTS INC'DIN FOL DESC,BEG AT NE COR OF LOT 7,SLY 46.7 TO PT ON CUR,WLY ARC DIST 235.18,NLY 47.93,ELY 232.09 TO POB
514101010050	HOLLYWOOD BUSINESS PARK LLC	5900 STIRLING ROAD	HOLLYWOOD	FL	33021	SEMINOLE ESTATES 21-15 BLOT 5 W 150 OF THE N 150 LESS,BEG NW COR OF LOT 5,ELY ALGN/L OF SAID LOT 150,SLY 47.93TO P/C,WLY 75.64,WLY 39.13,SWLY 49.46,NLY 74.65 TO POB
514101010060	8 CORNERS LLC%REAL ESTATE SERVICES	6300 STIRLING RD	HOLLYWOOD	FL	33024	SEMINOLE ESTATES 21-15 BPT OF LOT 1 DESC AS BEG SW COROF LOT 8,SLY PARALLEL WITH W/LOF SAID LOT 1 180.48,ELY ALG N/LOF LOTS 2 & 3 129.67,NLY 189.73,WLY 130 TO SW COR OF LOT 8 &POB,& LOT 8,9 W 20,LESSTHEREFROM,PT DESC AS BEG NW COROF LOT 8,ELY 130.05,SELY 39.19TO P/C,WLY AN ARC DIST OF 60.40TO P/R/C,WLY AN ARC DIST OF69.87,NLY 46.70 TO POB
514101010080	KRANZ,STANLEY	5882 STIRLING RD	HOLLYWOOD	FL	33021 1527	SEMINOLE ESTATES 21-15 BTHAT PT OF LOT 1 DESC AS BEG ATSW COR OF LOT 9,ELY 20 TO POB,CONT ELY 90,SLY 196.13,W 89.77,NLY 189.73 TO POB,LOT 9 LESSW 20,10 LESS E 30,BOTH LESS BEGININTERSEC WITH S/L OF STIRLING RD& A LINE 20 E OF W/L OF LOT 9,NE 170.10,SE 36,SW 36.28 TO P/CWLY AN ARC DIST OF 133.87,NW ALGLINE 20 E OF W/L OF LOT 9 A DISTOF 39.19 TO POB
514101010090	RIS STIRLING OF SOUTHFLORIDA LLC	16897 SW 51 ST	MIRAMAR	FL	33027	SEMINOLE ESTATES 21-15 BLOT 11 E 90 LESS PT DESC WITHINFOL,BEG AT NE COR OF LOT 11,SELY 36,SWLY 210.64,NWLY 36,NELY ALG N/L OF LOT 10 A DIST OF30,SELY 18,NELY 90.32,NWLY 18,NELY ALG N/L OF LOT 11 A DIST OF90.32 TO POB
514101010100	5850 STIRLING ROAD LLC	2901 STIRLING ROAD SUITE 207	FORT LAUDERDALE	FL	33312	SEMINOLE ESTATES 21-15 BLOT 10 E 30,LOT 11 LESS E 90 &LESS N 18 FOR CO RD & LESS PTDESC WITHIN FOL,BEG AT NE COR OFLOT 11,SELY 36,SWLY 210.64,NWLY 36,NELY ALG N/L OF LOT 10A DIST OF 30,SELY 18,NELY 90.32,NWLY 18,NELY ALG N/L OF LOT 11A DIST OF 90.32 TO POB
514101010110	5850 STIRLING ROAD LLC	2901 STIRLING ROAD SUITE 207	FORT LAUDERDALE	FL	33312	SEMINOLE ESTATES 21-15 BLOT 12 LESS PT DESC AS BEG ATNE COR OF LOT 12,SWLY 80.47,NWLY 40.46 TO P/C,WLY AN ARCDIST OF 251.63 TO P/T,SWLY31.04,NWLY 36,NELY 333.16TO POB
514101010120	POINCIANA PLAZA HOLDING LLC	301 HELEN ST	SOUTH PLAINFIELD	NJ	07080	SEMINOLE ESTATES 21-15 BPOR LOTS 4 & 5 DESC AS COMMATNW COR OF SAID LOT 5,NELY 150,SLY 150 TO POB,NELY 2,SELY 272,SWLY 77.47,NWLY 123.28,NLY184.11,NELY 150 TO POB
514101010130	SEMINOLE SHOPPING CENTER LLC	1060 E 33 ST	HIALEAH	FL	33013 3526	SEMINOLE ESTATES 21-15 BROADS R/W PER PLAT IN SEC01-51-41 LESS W 35 FT THEREOFFOR ST RD 7 LESS THAT PT ASSHOWN MISC MB 4-31
514101010140	PUBLIC LAND % CITY OF HOLLYWOODOFFICE OF BUSINESS & INTL TRADE	2600 HOLLYWOOD BLVD #212	HOLLYWOOD	FL	33020 4807	SEMINOLE ESTATES 21-15 BPORTION LOTS 5 THRU 12 FOR RDR/W PER FLORIDA DOT R/W MAP SEC86516-2606,MISC MAP 8-2
514101010150	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY	3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309 3421	SEMINOLE ESTATES 21-15 BPORTION LOTS 5 THRU 12 FOR RDR/W PER FLORIDA DOT R/W MAP SEC86516-2606,MISC MAP 8-2
514101080013	5770 STIRLING ROAD LLC%TL MANAGEMENT LLC	2071 FLATBUSH AVE STE 22	BROOKLYN	NY	11234	EMERALD PARK 112-30 BPOR PAR A DESC AS COMM AT NECOR OF SEC 1-51-41,WLY 260,SLY384.04,WLY 414.95 TO POB,SLY86.45,WLY 240.82 TO P/C,NLY30.19,NE 38.04,NLY 170,WLY 112,N 241.80,ELY 325.55,S 241.58,W 6,S 87,E 6,S 26 TO POB
514101080040	EMERALD HOLLYWOOD OWNER LLC ETAL% FBE LIMITED LLC	1 STATE ST 32 FLR	NEW YORK	NY	10004	EMERALD PARK 112-30 BPOR PAR A DESC AS COMM NE COR OFSEC,S 668.35,W 40 TO POB,W 220,S 272.86,W 249.81,N 25.59,W 150,S 300,W 239.75,N 55.58,W 100, N280,W 320,N 340,E 254.52,NWLY23.06,NE 89.80 TO P/C,NELY 23.45NE 66.72 TO P/C,SELY 70.94,ELY240.82,N 86.45,E 414.95,N 320,ELY 75.11,E 109.90,SE 49.50, SS 568.28 TO POB LESS POR PERMMB 9-141 B
514101140010	58 OAK LLC	5230 N 31 PL	HOLLYWOOD	FL	33021 2315	58 OAK 183-299 BPARCEL A STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 101PER CDO BK/PG: 4145/5
514101AA0010	BLACK MARLIN PROPERTIES INC	3300 N 29 AVE #101	HOLLYWOOD	FL	33020	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 102PER CDO BK/PG: 4145/5
514101AA0020	GUERRERO,,JOSE A	5790 STIRLING ROAD UNIT 102	HOLLYWOOD	FL	33021 1529	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 103PER CDO BK/PG: 4145/5
514101AA0030	AGAMI,NOAM	5790 STIRLING RD APT 103	HOLLYWOOD	FL	33021 1529	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 104PER CDO BK/PG: 4145/5
514101AA0040	FERRUCCI,PIERINA	5790 STIRLING RD APT 104	HOLLYWOOD	FL	33021 1529	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 105PER CDO BK/PG: 4145/5
514101AA0050	CARMEL,ITAI	2208 N 42 AVE	HOLLYWOOD	FL	33021	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 106PER CDO BK/PG: 4145/5
514101AA0060	HARRAR VINAS,ALIA HELENE	5790 STIRLING RD #106	HOLLYWOOD	FL	33021 1529	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 107PER CDO BK/PG: 4145/5
514101AA0070	MEGIDISH,MOSHE	4100 N 58 AVE #208	HOLLYWOOD	FL	33021	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 107PER CDO BK/PG: 4145/5

514101AA0080	BEREBY,EIDAN	4280 W PEBBLE RD	LAS VEGAS	NV	89139	7740	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 108PER CDO BK/PG: 4145/5
514101AA0090	NAHON,SALAMON	3661 FARRAGUT ST	HOLLYWOOD	FL	33021	3019	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 109PER CDO BK/PG: 4145/5
514101AA0100	YERUSHALMI,AVINOAM	4350 OAKES RD #503	DAVIE	FL	33314	2223	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 110PER CDO BK/PG: 4145/5
514101AA0110	HAYOON,ORITCHEN,ZMIRA	330 W 56 ST #24L	NEW YORK	NY	10019		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 111PER CDO BK/PG: 4145/5
514101AA0120	ID INVESTORS LLC	10265 NW 60 PL	PARKLAND	FL	33076		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 112PER CDO BK/PG: 4145/5
514101AA0130	ESPINAL,MONICA C & RAFAEL	5790 STIRLING ROAD UNIT 113	HOLLYWOOD	FL	33021	1543	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 113PER CDO BK/PG: 4145/5
514101AA0140	BUFALINI,RANDI	5790 STIRLING ROAD UNIT 114	HOLLYWOOD	FL	33021	1543	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 114PER CDO BK/PG: 4145/5
514101AA0150	TAYLOR,SHYKERE A DIANNE	11840 NW 19 DR #18	NORTH MIAMI	FL	33181		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 201PER CDO BK/PG: 4145/5
514101AA0160	MAJUMDER,SUBHASH	685 BERGEN ST #2	BROOKLYN	NY	11238		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 202PER CDO BK/PG: 4145/5
514101AA0170	LIPPEL,AARON	5965 STIRLING RD #330	DAVIE	FL	33314		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 203PER CDO BK/PG: 4145/5
514101AA0180	MATATOF,DAVID & BAT-SHEVA	5790 STIRLING ROAD UNIT 204	HOLLYWOOD	FL	33021	1530	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 204PER CDO BK/PG: 4145/5
514101AA0190	RIVEN,MIRELA	5790 STIRLING RD #205	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 205PER CDO BK/PG: 4145/5
514101AA0200	PLAZAS N A VARRETE,MONICAMARTINEZ,ORLANDO	5790 STIRLING RD	HOLLYWOOD	FL	33021	1530	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 206PER CDO BK/PG: 4145/5
514101AA0210	IZHAK,DANIEL	5790 STIRLING RD UNIT 207	HOLLYWOOD	FL	33021	1530	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 207PER CDO BK/PG: 4145/5
514101AA0220	CARVALHO,PEDRO PDOS SANTOS,LOURDES M	5790 STIRLING ROAD #208	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 208PER CDO BK/PG: 4145/5
514101AA0230	GANI,HEZY	4701 N 36 CT	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 209PER CDO BK/PG: 4145/5
514101AA0240	SE3221 LLC	3221 SW 53 ST	FORT LAUDERDALE	FL	33312		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 210PER CDO BK/PG: 4145/5
514101AA0250	REZNIK,ERIC YMEDVINSKY,ALEKSANDRA	1087 SCARLET OAK ST	HOLLYWOOD	FL	33019		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 211PER CDO BK/PG: 4145/5
514101AA0260	BLOCH,ZACHARY MICHAEL	5790 STIRLING RD #212	HOLLYWOOD	FL	33021	1544	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 212PER CDO BK/PG: 4145/5
514101AA0270	BEN-YAIRI,MOTI	5790 STIRLING RD #213	HOLLYWOOD	FL	33021	1544	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 213PER CDO BK/PG: 4145/5
514101AA0280	CALDERON-CHAU,GABRIELLE K	5790 STIRLING RD UNIT 214	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 214PER CDO BK/PG: 4145/5
514101AA0290	AQUA PROPERTY INC	5009 W PARK RD	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 301PER CDO BK/PG: 4145/5
514101AA0300	GANI,GAMILA	5790 STIRLING RD #302	HOLLYWOOD	FL	33021	1534	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 302PER CDO BK/PG: 4145/5
514101AA0310	SAMUEL T MCDERMOTT JR REV LIV TRMCDERMOTT,SAMUEL T JR TRSTEE	2700 N HIGHWAY A1A #104	HUTCHINSON ISLAND	FL	34949		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 303PER CDO BK/PG: 4145/5
514101AA0320	GREENBLUM,GILA	1926 KIMBALL ST	BROOKLYN	NY	11234		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 304PER CDO BK/PG: 4145/5
514101AA0330	ARREAGA,CECILARIASCOS,PABLO	5790 STIRLING ROAD #305	HOLLYWOOD	FL	33021	1534	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 305PER CDO BK/PG: 4145/5
514101AA0340	GANI,GILA	5790 STIRLING RD #306	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 306PER CDO BK/PG: 4145/5
514101AA0350	ANCONINA,DAVID	5790 STIRLING RD UNIT 307	HOLLYWOOD	FL	33021	1534	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 307PER CDO BK/PG: 4145/5
514101AA0360	RADKEVICH,MARINARADKEVICH FAM TR ETAL	5790 STIRLING RD #308	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 308PER CDO BK/PG: 4145/5
514101AA0370	HAIM,EYAL	1721 NW 6 AVE	FORT LAUDERDALE	FL	33311		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 309PER CDO BK/PG: 4145/5
514101AA0380	CAFIERO,MONICA EST	5790 STIRLING ROAD UNIT 310	HOLLYWOOD	FL	33021	1551	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 310PER CDO BK/PG: 4145/5
514101AA0390	VELASQUEZ,ASHLEY S	5790 STIRLING RD #311	HOLLYWOOD	FL	33021	1551	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 311PER CDO BK/PG: 4145/5
514101AA0400	CHEN,ZMIRAHAYOON,ORIT	330 W 56 ST APT 24L	NEW YORK	NY	10019		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 312PER CDO BK/PG: 4145/5
514101AA0410	VIGARINO,MICHAEL P	5790 STIRLING ROAD UNIT 114	HOLLYWOOD	FL	33021	1543	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 313PER CDO BK/PG: 4145/5

514101AA0420	KADOSH,TOMER	4945 SW 33 AVE	FORT LAUDERDALE	FL	33312	7937	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 314PER CDO BK/PG: 4145/5
514101AB0010	SHIREL INC	10414 SW 54 ST	COOPER CITY	FL	33328	5601	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 101PER CDO BK/PG: 4255/728
514101AB0020	DORICE,LITA	4100 N 58 AVE #102	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 102PER CDO BK/PG: 4255/728
514101AB0030	ATTIAS,RELLY	5406 JACKWOOD ST	HOUSTON	TX	77096	1231	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 103PER CDO BK/PG: 4255/728
514101AB0040	SILVERTON,JUDITH	4100 N 58 AVE UNIT 104	HOLLYWOOD	FL	33021	1531	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 104PER CDO BK/PG: 4255/728
514101AB0050	KARAIN,SAHAR SEHAM H/ECARIN,OR	4100 N 58 AVE #105	HOLLYWOOD	FL	33021	1531	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 105PER CDO BK/PG: 4255/728
514101AB0060	PRIZANT,YONITPRIZANT,YULI	5282 SW 33 WAY	FORT LAUDERDALE	FL	33312		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 106PER CDO BK/PG: 4255/728
514101AB0070	BENSON,MORRISMORRIS BENSON REV TR	4100 N 58 AVE #107	HOLLYWOOD	FL	33021	1525	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 107PER CDO BK/PG: 4255/728
514101AB0080	MAYA,LUZ M	4100 N 58 AVE #108	HOLLYWOOD	FL	33021	1525	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 108PER CDO BK/PG: 4255/728
514101AB0090	GONZALEZ,SONIA	4100 N 58 AVE APT 109	HOLLYWOOD	FL	33021	1525	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 109PER CDO BK/PG: 4255/728
514101AB0100	BENSON,MICHAL & ITZHAK	4100 N 58 AVE #110	HOLLYWOOD	FL	33021	1525	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 110PER CDO BK/PG: 4255/728
514101AB0110	CAVALIE,JAVIERCAVALIE-KOLKER,TATYANA	3952 FARRAGUT ST	HOLLYWOOD	FL	33021	3014	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 111PER CDO BK/PG: 4255/728
514101AB0120	AMARAL,ALBERTO A	4100 N 58 AVE UNIT 112	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 112PER CDO BK/PG: 4255/728
514101AB0130	AMSELLEM,MORDECHAI	4100 N 58 AVE #113	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 113PER CDO BK/PG: 4255/728
514101AB0140	PERETS,SHLOMO H/EPERETS,DANIELLA	4100 N 58 AVE #114	HOLLYWOOD	FL	33021	1525	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 114PER CDO BK/PG: 4255/728
514101AB0150	DRUMMOND,ANNETTE	4100 N 58 AVE	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 201PER CDO BK/PG: 4255/728
514101AB0160	DIAZ,MIGUEL	4100 N 58 AVE #202	HOLLYWOOD	FL	33021	1526	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 202PER CDO BK/PG: 4255/728
514101AB0170	SONART REAL ESTATEINVESTMENTS LLC	2640 HOLLYWOOD BLVD #212	HOLLYWOOD	FL	33020		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 203PER CDO BK/PG: 4255/728
514101AB0180	SONART REAL ESTATEINVESTMENTS LLC	2640 HOLLYWOOD BLVD #212	HOLLYWOOD	FL	33020		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 204PER CDO BK/PG: 4255/728
514101AB0190	AUGUSTIN,ROSE GERLANDE H/EAUGUSTIN,ROSE G	4100 N 58TH AVE APT 205	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 205PER CDO BK/PG: 4255/728
514101AB0200	GENKIN,VALENTINA H/EGENKIN,MICHAEL	4100 N 58 AVE #206	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 206PER CDO BK/PG: 4255/728
514101AB0210	GIGI,AVNER	7322 NW 18 CT	PEMBROKE PINES	FL	33024		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 207PER CDO BK/PG: 4255/728
514101AB0220	MEGIDISH,MOSHEMEGIDISH,CAREN	4100 N 58 AVE #208	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 208PER CDO BK/PG: 4255/728
514101AB0230	LEAL,GLADYS	4100 N 58 AVE #209	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 209PER CDO BK/PG: 4255/728
514101AB0240	KOLKER,TATYANA	3952 FARRAGUT ST	HOLLYWOOD	FL	33021	3014	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 210PER CDO BK/PG: 4255/728
514101AB0250	RODRIGUEZ,ISMENIA	1125 N 46 AVE	HOLLYWOOD	FL	33021	5320	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 211PER CDO BK/PG: 4255/728
514101AB0260	CAVALIE,JAVIER M	3952 FARRAGUT ST	HOLLYWOOD	FL	33021	3014	STERLING FIFTY-SIXCONDOUNIT 212PER CDO BK/PG: 4255/728
514101AB0270	SHARKAWI,NAGI SSHARKAWI,SAMIRA N	4100 N 58 AVE #213	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 213PER CDO BK/PG: 4255/728
514101AB0280	GRIMSLEY,MARK JARRETT	4100 N 58 AVE #214	HOLLYWOOD	FL	33021	1538	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 214PER CDO BK/PG: 4255/728
514101AB0290	POPLAWSKI,CYNTHIA	4100 N 58 AVE APT 301	HOLLYWOOD	FL	33021	1538	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 301PER CDO BK/PG: 4255/728
514101AB0300	DMC EXCLUSIVES OF NY LLC	108-29 65 AVE	FOREST HILLS	NY	11375		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 302PER CDO BK/PG: 4255/728
514101AB0310	MESHULAM,CHANANMESHOLAM,NIZA	2200 PARK LN #314	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 303PER CDO BK/PG: 4255/728
514101AB0320	LUCKY A ANGEL LLC	150-66 77 AVE	FLUSHING	NY	11367		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 304PER CDO BK/PG: 4255/728
514101AB0330	FILINOV,ROMAN	4100 N 58 AVE APT 305	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 305PER CDO BK/PG: 4255/728
514101AB0340	PENIAS,ELI H/EPENIAS,AVIVA	4100 N 58 AVE APT 306	HOLLYWOOD	FL	33021	1538	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 306PER CDO BK/PG: 4255/728

514101AB0350	MAHLAB,ELIRAN	18034 ABERDEEN RD	JAMAICA	NY	11432	1423	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 307PER CDO BK/PG: 4255/728
514101AB0360	HE,RU TANG	4100 N 58 AVE #308	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 308PER CDO BK/PG: 4255/728
514101AB0370	MESIKA,BEN	4100 N 58 AVE UNIT 309	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 309PER CDO BK/PG: 4255/728
514101AB0380	AGAM,NATHANIEL	4100 N 58 AVE # 310	HOLLYWOOD	FL	33021	1533	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 310PER CDO BK/PG: 4255/728
514101AB0390	BAILEY,JOSHUA DESMONDARCE,ANGLEA CYNTHIA	3641 N 54 AVE	HOLLYWOOD	FL	33021	2339	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 311PER CDO BK/PG: 4255/728
514101AB0400	EVAGELIA J GANAS REV TRGANAS,EVAGELIA JULIE TRSTEE	2812 N 46 AVE #G268	HOLLYWOOD	FL	33021	2957	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 312PER CDO BK/PG: 4255/728
514101AB0410	SOLOMON,ALON & ILANA H/EDAYAN,DANIEL	4100 N 58 AVE #313	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 313PER CDO BK/PG: 4255/728
514101AB0420	MONTEZ LEE,DEVEREN	4100 N 58 AVE #314	HOLLYWOOD	FL	33021	1552	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 314PER CDO BK/PG: 4255/728
514101AC0010	SAUNDERS,PAUL	3600 N 56 AVE #101	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 101 BLDG 1PER CDO BK/PG: 41272/130
514101AC0020	OALA 2 CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180		LAKEWOOD AT EMERALD HILLS CONDUNIT 102 BLDG 1PER CDO BK/PG: 41272/130
514101AC0030	PRIZANT REALTY LLC	5282 SW 33 WAY	FORT LAUDERDALE	FL	33312	7913	LAKEWOOD AT EMERALD HILLS CONDUNIT 103 BLDG 1PER CDO BK/PG: 41272/130
514101AC0040	PHIL GLASSMAN REV LIV TR%PPG MANAGEMENT	126 S FEDERAL HWY #5-201	DANIA BEACH	FL	33004		LAKEWOOD AT EMERALD HILLS CONDUNIT 104 BLDG 1PER CDO BK/PG: 41272/130
514101AC0050	MEIR,DORIT GAL ORMEIR,UZI	3650 N 36 AVE #22	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 105 BLDG 1PER CDO BK/PG: 41272/130
514101AC0060	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496	3834	LAKEWOOD AT EMERALD HILLS CONDUNIT 106 BLDG 1PER CDO BK/PG: 41272/130
514101AC0070	SPH INTERNATIONAL CONSULTING LLC	5851 SW 36 TER	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDUNIT 107 BLDG 1PER CDO BK/PG: 41272/130
514101AC0080	E A INVESTOR LLC	5642 PARK RD	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDUNIT 108 BLDG 1PER CDO BK/PG: 41272/130
514101AC0090	NOEMI POYASTRO REV TRPOYASTRO,NOEMI TRSTEE	3800 S OCEAN DR #1212A	HOLLYWOOD	FL	33019		LAKEWOOD AT EMERALD HILLS CONDUNIT 109 BLDG 1PER CDO BK/PG: 41272/130
514101AC0100	GLOBES GROUP LLC	19111 COLLINS AVE APT 2006	SUNNY ISLES BEACH	FL	33160	2382	LAKEWOOD AT EMERALD HILLS CONDUNIT 110 BLDG 1PER CDO BK/PG: 41272/130
514101AC0110	MCCLAIN,DAVID T	644 NW 2 AVE	FORT LAUDERDALE	FL	33311		LAKEWOOD AT EMERALD HILLS CONDUNIT 111 BLDG 1PER CDO BK/PG: 41272/130
514101AC0120	EVANS,MICHAEL R JR	1548 SW 19TH AVE PH	DEERFIELD BEACH	FL	33442	6131	LAKEWOOD AT EMERALD HILLS CONDUNIT 112 BLDG 1PER CDO BK/PG: 41272/130
514101AC0130	MEYER FLORIDA INVESTMENT LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 113 BLDG 1PER CDO BK/PG: 41272/130
514101AC0140	HENRY,JEAN	3600 N 56 AVE #114	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 114 BLDG 1PER CDO BK/PG: 41272/130
514101AC0150	STEINBERG,ESTHER	3035 LYNDBURST J	DEERFIELD BEACH	FL	33442	2266	LAKEWOOD AT EMERALD HILLS CONDUNIT 115 BLDG 1PER CDO BK/PG: 41272/130
514101AC0160	MASSRE,JACKMASSRE,TAYLOR	19700 NE 24 AVE	MIAMI	FL	33180		LAKEWOOD AT EMERALD HILLS CONDUNIT 116 BLDG 1PER CDO BK/PG: 41272/130
514101AC0170	BOKEELIA INVESTMENT III LLC	6470 SHADY PINE LN	BOKEELIA	FL	33922		LAKEWOOD AT EMERALD HILLS CONDUNIT 201 BLDG 2PER CDO BK/PG: 41272/130
514101AC0180	E A INVESTOR LLC	5642 PARK RD	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDUNIT 202 BLDG 2PER CDO BK/PG: 41272/130
514101AC0190	JOHNSON,LEONARD D JR &JOHNSON,MARY W	995 NORMANDY STATION RD	TAYLORSVILLE	KY	40071	9779	LAKEWOOD AT EMERALD HILLS CONDUNIT 203 BLDG 2PER CDO BK/PG: 41272/130
514101AC0200	BAN,EVAWEISS,DVIR	PO BOX 17405	PLANTATION	FL	33318		LAKEWOOD AT EMERALD HILLS CONDUNIT 204 BLDG 2PER CDO BK/PG: 41272/130
514101AC0210	CRAZY GYPSY LLC	2701 GRIFFIN RD	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDUNIT 205 BLDG 2PER CDO BK/PG: 41272/130
514101AC0220	CALDERON,ABELARDO CLAVIJO	3610 N 56 AVE #206	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 206 BLDG 2PER CDO BK/PG: 41272/130
514101AC0230	BASILE,CARMELA	87 VILLA DR	WARMINSTER	PA	18974		LAKEWOOD AT EMERALD HILLS CONDUNIT 207 BLDG 2PER CDO BK/PG: 41272/130
514101AC0240	NOSIKOVSKY,MILANA	18101 COLLINS AVE APT 1201	SUNNY ISLES BEACH	FL	33160	3197	LAKEWOOD AT EMERALD HILLS CONDUNIT 208 BLDG 2PER CDO BK/PG: 41272/130
514101AC0250	WEISS,DVIR	PO BOX 17405	PLANTATION	FL	33318		LAKEWOOD AT EMERALD HILLS CONDUNIT 209 BLDG 2PER CDO BK/PG: 41272/130
514101AC0260	WEISS,MORDECHAIWEISS,GUY	PO BOX 17405	PLANTATION	FL	33318		LAKEWOOD AT EMERALD HILLS CONDUNIT 210 BLDG 2PER CDO BK/PG: 41272/130

514101AC0270	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDUNIT 211 BLDG 2PER CDO BK/PG: 41272/130
514101AC0280	SANMARTIN,DAVID	3610 N 56 AVE #212-2	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 212 BLDG 2PER CDO BK/PG: 41272/130
514101AC0290	NOSIKOVSKY,MILANA	18101 COLLINS AVE APT 1201	SUNNY ISLES BEACH	FL	33160 3197	LAKEWOOD AT EMERALD HILLS CONDUNIT 213 BLDG 2PER CDO BK/PG: 41272/130
514101AC0300	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 214 BLDG 2PER CDO BK/PG: 41272/130
514101AC0310	UPTOWN PROPERTIES LLC	958 HARBOR VW S	HOLLYWOOD	FL	33019	LAKEWOOD AT EMERALD HILLS CONDUNIT 215 BLDG 2PER CDO BK/PG: 41272/130
514101AC0320	E A INVESTOR LLC	5642 PARK RD	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 216 BLDG 2PER CDO BK/PG: 41272/130
514101AC0330	NEW YORK INVESTMENTS FL CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 217 BLDG 2PER CDO BK/PG: 41272/130
514101AC0340	BOLARES LLC	3375 N COUNTRY CLUB DR #506	MIAMI	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 218 BLDG 2PER CDO BK/PG: 41272/130
514101AC0350	GASPAROTTI,ANA T ROUCOGASPAROTTI,LEONARDO FABIAN	3610 N 56 AVE #219	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 219 BLDG 2PER CDO BK/PG: 41272/130
514101AC0360	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 220 BLDG 2PER CDO BK/PG: 41272/130
514101AC0370	OALA 2 CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 221 BLDG 2PER CDO BK/PG: 41272/130
514101AC0380	GILBOA,YARON	18971NE 20 CT	MIAMI	FL	33179	LAKEWOOD AT EMERALD HILLS CONDUNIT 222 BLDG 2PER CDO BK/PG: 41272/130
514101AC0390	WILLIAMS,PAULA WILLIS EST	6413 63 PL	RIVERDALE	MD	20737 1403	LAKEWOOD AT EMERALD HILLS CONDUNIT 223 BLDG 2PER CDO BK/PG: 41272/130
514101AC0400	VERANO,ERNESTO	1250 S MIAMI AVE #1814	MIAMI	FL	33130	LAKEWOOD AT EMERALD HILLS CONDUNIT 224 BLDG 2PER CDO BK/PG: 41272/130
514101AC0410	LAKEWOOD 225 LLC	19380 COLLINS AVE #1426	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDUNIT 225 BLDG 2PER CDO BK/PG: 41272/130
514101AC0420	MORAD,BEN	5315 SW 33 AVE	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 226 BLDG 2PER CDO BK/PG: 41272/130
514101AC0430	ADS OF HOLLYWOOD LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 227 BLDG 2PER CDO BK/PG: 41272/130
514101AC0440	GHORR FL INVESTMENTS LLC% SIDOW INC	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDUNIT 228 BLDG 2PER CDO BK/PG: 41272/130
514101AC0450	NOIMAN,HANNAH	544 ALBERMARIE RD	CEDARHURST	NY	11516	LAKEWOOD AT EMERALD HILLS CONDUNIT 229 BLDG 2PER CDO BK/PG: 41272/130
514101AC0460	NYYN LLC	216	*NIRIT	IL	44805	LAKEWOOD AT EMERALD HILLS CONDUNIT 230 BLDG 2PER CDO BK/PG: 41272/130
514101AC0470	RULI & STASI LLC	14102 SW 273 LN	HOMESTEAD	FL	33032	LAKEWOOD AT EMERALD HILLS CONDUNIT 231 BLDG 2PER CDO BK/PG: 41272/130
514101AC0480	CALAY,RICHARD	3610 N 56 AVE #232	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 232 BLDG 2PER CDO BK/PG: 41272/130
514101AC0490	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 233 BLDG 2PER CDO BK/PG: 41272/130
514101AC0500	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDUNIT 234 BLDG 2PER CDO BK/PG: 41272/130
514101AC0510	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDUNIT 235 BLDG 2PER CDO BK/PG: 41272/130
514101AC0520	BEN-YEHUDA,GUY	3350 NE 192 ST APT 5Q	MIAMI	FL	33180 2421	LAKEWOOD AT EMERALD HILLS CONDUNIT 236 BLDG 2PER CDO BK/PG: 41272/130
514101AC0530	TEPPER,DAVIDKORIK,SILVANA	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 301 BLDG 3PER CDO BK/PG: 41272/130
514101AC0540	MOSERI PROPERTY LLC	251 174 ST SUITE 716	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDUNIT 302 BLDG 3PER CDO BK/PG: 41272/130
514101AC0550	SMD TUSCANY LLC	445 W 40 ST #402276	MIAMI BEACH	FL	33140	LAKEWOOD AT EMERALD HILLS CONDUNIT 303 BLDG 3PER CDO BK/PG: 41272/130
514101AC0560	JADE OCEAN 1206 CORP	20200 WEST DIXIE HIGHWAY #907	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 304 BLDG 3PER CDO BK/PG: 41272/130
514101AC0570	MASSRE,TAYLOR GABAY	19700 NE 24 AVE	MIAMI	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 305 BLDG 3PER CDO BK/PG: 41272/130
514101AC0580	MASSRE,JACK & TAYLOR	19700 NE 24 AVE	MIAMI	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 306 BLDG 3PER CDO BK/PG: 41272/130
514101AC0590	SPH INTERNATIONALCONSULTING LLC	5851 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 307 BLDG 3PER CDO BK/PG: 41272/130
514101AC0600	ZOHAN 18 LLC	3007 W COMMERCIAL BLVD #105	FORT LAUDERDALE	FL	33309	LAKEWOOD AT EMERALD HILLS CONDUNIT 308 BLDG 3PER CDO BK/PG: 41272/130

514101AC0610	LOCKE,JULIE BORA BORA REALTY TRPERPETUAL TRS SVCS LLC TRS	1421 EUCLID ST NW APT 503	WASHINGTON	DC	20009	5999	LAKEWOOD AT EMERALD HILLS CONDUNIT 309 BLDG 3PER CDO BK/PG: 41272/130
514101AC0620		12525 ORANGE DR STE 708	DAVIE	FL	33330		LAKEWOOD AT EMERALD HILLS CONDUNIT 310 BLDG 3PER CDO BK/PG: 41272/130
514101AC0630	LEAV 311 LLC	3630 N 56 AVE #311	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 311 BLDG 3PER CDO BK/PG: 41272/130
514101AC0640	RBSE PROPERTIES LLC	3301 NE 183 ST UNIT 401	AVENTURA	FL	33160		LAKEWOOD AT EMERALD HILLS CONDUNIT 312 BLDG 3PER CDO BK/PG: 41272/130
514101AC0650	JB 2009 LLC	6240 MIRAMAR PKWY	MIRAMAR	FL	33023		LAKEWOOD AT EMERALD HILLS CONDUNIT 313 BLDG 3PER CDO BK/PG: 41272/130
514101AC0660	GLOBES GROUP LLC	19111 COLLINS AVE #2006	SUNNY ISLES BEACH	FL	33160	2382	LAKEWOOD AT EMERALD HILLS CONDUNIT 314 BLDG 3PER CDO BK/PG: 41272/130
514101AC0670	LAKEWOOD 315 LLC	19380 COLLINS AVE #1426	SUNNY ISLES BEACH	FL	33160		LAKEWOOD AT EMERALD HILLS CONDUNIT 315 BLDG 3PER CDO BK/PG: 41272/130
514101AC0680	GLOBES GROUP LLC	19111 COLLINS AVE APT 2006	SUNNY ISLES BEACH	FL	33160	2382	LAKEWOOD AT EMERALD HILLS CONDUNIT 316 BLDG 3PER CDO BK/PG: 41272/130
514101AC0690	ZECHARIA,HERZEL	3630 N 56 AVE #317	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 317 BLDG 3PER CDO BK/PG: 41272/130
514101AC0700	NITO GLOBAL LLC	12555 ORANGE DR #226	DAVIE	FL	33330		LAKEWOOD AT EMERALD HILLS CONDUNIT 318 BLDG 3PER CDO BK/PG: 41272/130
514101AC0710	TINFLOR LLC	1792 BELL TOWER LN #204	WESTON	FL	33326		LAKEWOOD AT EMERALD HILLS CONDUNIT 319 BLDG 3PER CDO BK/PG: 41272/130
514101AC0720	NG,KENG CHUENG	7879 S SILVERADO CIR	COOPER CITY	FL	33024		LAKEWOOD AT EMERALD HILLS CONDUNIT 320 BLDG 3PER CDO BK/PG: 41272/130
514101AC0730	POKROVSKAIA,KSENIYA	1594 WEEPING WILLOW WAY	HOLLYWOOD	FL	33019		LAKEWOOD AT EMERALD HILLS CONDUNIT 321 BLDG 3PER CDO BK/PG: 41272/130
514101AC0740	DML AR INC	20200 W DIXIE HWY #907	AVENTURA	FL	33180		LAKEWOOD AT EMERALD HILLS CONDUNIT 322 BLDG 3PER CDO BK/PG: 41272/130
514101AC0750	OHAYON,JACOB	1820 NE 163 ST STE 300	N MIAMI BEACH	FL	33162	4801	LAKEWOOD AT EMERALD HILLS CONDUNIT 323 BLDG 3PER CDO BK/PG: 41272/130
514101AC0760	SARGIN,OLIVERASARGIN,DUSKO	1120 CHERRY PALM LN	HOLLYWOOD	FL	33019		LAKEWOOD AT EMERALD HILLS CONDUNIT 324 BLDG 3PER CDO BK/PG: 41272/130
514101AC0770	WEISS,YAAKOV	PO BOX 17405	PLANTATION	FL	33318		LAKEWOOD AT EMERALD HILLS CONDUNIT 401 BLDG 4PER CDO BK/PG: 41272/130
514101AC0780	BEMASAN CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180		LAKEWOOD AT EMERALD HILLS CONDUNIT 402 BLDG 4PER CDO BK/PG: 41272/130
514101AC0790	ZOHAN 18 LLC	3007 W COMMERCIAL BLVD #105	FORT LAUDERDALE	FL	33309		LAKEWOOD AT EMERALD HILLS CONDUNIT 403 BLDG 4PER CDO BK/PG: 41272/130
514101AC0800	MASSRE,JONATHAN	3640 N 56 AVE UNIT 404	HOLLYWOOD	FL	33021	1485	LAKEWOOD AT EMERALD HILLS CONDUNIT 404 BLDG 4PER CDO BK/PG: 41272/130
514101AC0810	BENMELEH,FORTUNA & BENMELEH,MORRIS	3301 LAUREL OAK ST	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDUNIT 405 BLDG 4PER CDO BK/PG: 41272/130
514101AC0820	TRINIDAD,HELENE & RODRIGUEZ-TRINIDA,KRISTINE	3640 N 56 AVE #406	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 406 BLDG 4PER CDO BK/PG: 41272/130
514101AC0830	LEVY,EYAL	5130 N HILLS DR	HOLLYWOOD	FL	33021	1622	LAKEWOOD AT EMERALD HILLS CONDUNIT 407 BLDG 4PER CDO BK/PG: 41272/130
514101AC0840	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 408 BLDG 4PER CDO BK/PG: 41272/130
514101AC0850	LEVY,EYAL & RIVKA	5130 N HILLS DR	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 409 BLDG 4PER CDO BK/PG: 41272/130
514101AC0860	RBSE PROPERTIES LLC	3301 NE 183 ST UNIT 401	AVENTURA	FL	33160		LAKEWOOD AT EMERALD HILLS CONDUNIT 410 BLDG 4PER CDO BK/PG: 41272/130
514101AC0870	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 411 BLDG 4PER CDO BK/PG: 41272/130
514101AC0880	ZOHAN 18 LLC	3007 W COMMERCIAL BLVD #105	FORT LAUDERDALE	FL	33309		LAKEWOOD AT EMERALD HILLS CONDUNIT 412 BLDG 4PER CDO BK/PG: 41272/130
514101AC0890	GLOBES GROUP LLC	19111 COLLINS AVE #2006	SUNNY ISLES BEACH	FL	33160	2382	LAKEWOOD AT EMERALD HILLS CONDUNIT 413 BLDG 4PER CDO BK/PG: 41272/130
514101AC0900	GGRB LLC	6692 NW 107 CT	DORAL	FL	33178		LAKEWOOD AT EMERALD HILLS CONDUNIT 414 BLDG 4PER CDO BK/PG: 41272/130
514101AC0910	JHG REAL PROPERTIES LLC	13017 BIG BEAR BLUFF	BOYTON BEACH	FL	33473		LAKEWOOD AT EMERALD HILLS CONDUNIT 415 BLDG 4PER CDO BK/PG: 41272/130
514101AC0920	MEIR,UZI & DORIT GAL OR	3650 N 36 AVE #22	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 416 BLDG 4PER CDO BK/PG: 41272/130
514101AC0930	KGD HOLDINGS LLC	PO BOX 17405	PLANTATION	FL	33318		LAKEWOOD AT EMERALD HILLS CONDUNIT 417 BLDG 4PER CDO BK/PG: 41272/130
514101AC0940	LGM REAL ESTATE HOLDINGS LLC%SIDOW MGT	PO BOX 17405	PLANTATION	FL	33318		LAKEWOOD AT EMERALD HILLS CONDUNIT 418 BLDG 4PER CDO BK/PG: 41272/130

514101AC0950	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZAN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 419 BLDG 4PER CDO BK/PG: 41272/130
514101AC0960	LEVY,EYALLEVY,RIVKA	5130 N HILLS DR	HOLLYWOOD	FL	33021 1622	LAKEWOOD AT EMERALD HILLS CONDUNIT 420 BLDG 4PER CDO BK/PG: 41272/130
514101AC0970	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496 3834	LAKEWOOD AT EMERALD HILLS CONDUNIT 421 BLDG 4PER CDO BK/PG: 41272/130
514101AC0980	GOURARIE,SARAKORIK,SILVANA	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 422 BLDG 4PER CDO BK/PG: 41272/130
514101AC0990	BLANCA NUBIA LIV TRVITERI,BLANCA NUBIA TRSTEE	618 N 46 AVE	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 423 BLDG 4PER CDO BK/PG: 41272/130
514101AC1000	TEPPER,DAVIDKORIK,SILVANA	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 424 BLDG 4PER CDO BK/PG: 41272/130
514101AC1010	GARFINKEL FAMILY PARTNERS LTD	13017 BIG BEAR BLUFF	BOYNTON BEACH	FL	33473 3303	LAKEWOOD AT EMERALD HILLS CONDUNIT 501 BLDG 5PER CDO BK/PG: 41272/130
514101AC1020	JED REAL PROPERTIES LLC	13017 BIG BEAR BLUFF	BOYNTON BEACH	FL	33473 3303	LAKEWOOD AT EMERALD HILLS CONDUNIT 502 BLDG 5PER CDO BK/PG: 41272/130
514101AC1030	GROSS,LEON	3832 MAPLE AVE	BROOKLYN	NY	11224 1314	LAKEWOOD AT EMERALD HILLS CONDUNIT 503 BLDG 5PER CDO BK/PG: 41272/130
514101AC1040	WEISS,DVIR	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDUNIT 504 BLDG 5PER CDO BK/PG: 41272/130
514101AC1050	ZOHAN 18 LLC	3007 W COMMERCIAL BLVD STE 105	FORT LAUDERDALE	FL	33309	LAKEWOOD AT EMERALD HILLS CONDUNIT 505 BLDG 5PER CDO BK/PG: 41272/130
514101AC1060	LE CLAIRE,ROBERT F	3650 N 56 AVE #506	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 506 BLDG 5PER CDO BK/PG: 41272/130
514101AC1070	SPH INTERNATIONAL CONSULTING LLC	5851 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 507 BLDG 5PER CDO BK/PG: 41272/130
514101AC1080	AGRONOR LLC	3475 SHERIDAN ST STE 215C	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 508 BLDG 5PER CDO BK/PG: 41272/130
514101AC1090	TENUBU,WINSTON O	10466 SW 12 MNR	PEMBROKE PINES	FL	33025	LAKEWOOD AT EMERALD HILLS CONDUNIT 509 BLDG 5PER CDO BK/PG: 41272/130
514101AC1100	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496 3834	LAKEWOOD AT EMERALD HILLS CONDUNIT 510 BLDG 5PER CDO BK/PG: 41272/130
514101AC1110	SANMARTIN,DAVID AMADO	2612 WASHINGTON ST	HOLLYWOOD	FL	33020 5711	LAKEWOOD AT EMERALD HILLS CONDUNIT 511 BLDG 5PER CDO BK/PG: 41272/130
514101AC1120	EARNEST,NELLI S	17555 COLLINS AVE #607	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDUNIT 512 BLDG 5PER CDO BK/PG: 41272/130
514101AC1130	LAKEWOOD 513 LLC	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDUNIT 513 BLDG 5PER CDO BK/PG: 41272/130
514101AC1140	HENDEL,HAGAY	3521 N 54 AVE	HOLLYWOOD	FL	33021 2337	LAKEWOOD AT EMERALD HILLS CONDUNIT 514 BLDG 5PER CDO BK/PG: 41272/130
514101AC1150	TANDARICA INVESTMENTS CORP	20900 NE 30 AVE STE 200-27	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 515 BLDG 5PER CDO BK/PG: 41272/130
514101AC1160	PANBECA CORP	20200 W DIXIE HWY STE 907	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 516 BLDG 5PER CDO BK/PG: 41272/130
514101AC1170	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496 3834	LAKEWOOD AT EMERALD HILLS CONDUNIT 517 BLDG 5PER CDO BK/PG: 41272/130
514101AC1180	HJG REAL PROPERTIES LLC	13017 BIG BEAR BLUFF	BOYNTON BEACH	FL	33473	LAKEWOOD AT EMERALD HILLS CONDUNIT 518 BLDG 5PER CDO BK/PG: 41272/130
514101AC1190	MB ONE LLC	5100 VAN BUREN ST	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 519 BLDG 5PER CDO BK/PG: 41272/130
514101AC1200	MEIR,UZI & DORIT GAL OR	3650 N 36 AVE #22	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 520 BLDG 5PER CDO BK/PG: 41272/130
514101AC1210	SALPIETRO,SALVATORE	1931 CORDOVA RD #1155	FORT LAUDERDALE	FL	33316 2157	LAKEWOOD AT EMERALD HILLS CONDUNIT 521 BLDG 5PER CDO BK/PG: 41272/130
514101AC1220	TEPPER,DAVIDTEPPER,DOV & KORIK,SILVAN	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 522 BLDG 5PER CDO BK/PG: 41272/130
514101AC1230	MK HADAR INVESTMENT LLC%OMER SHAHAR	1380 NE MIAMI GARDENS DR #205A	NORTH MIAMI BEACH	FL	33179	LAKEWOOD AT EMERALD HILLS CONDUNIT 523 BLDG 5PER CDO BK/PG: 41272/130
514101AC1240	BEMASAN CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 524 BLDG 5PER CDO BK/PG: 41272/130
514101AC1250	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496 3834	LAKEWOOD AT EMERALD HILLS CONDUNIT 601 BLDG 6PER CDO BK/PG: 41272/130
514101AC1260	EDENVEST LLC% JACOB K OHAYON	1835 NE MIAMI GARDENS DR	N MIAMI BEACH	FL	33179 5035	LAKEWOOD AT EMERALD HILLS CONDUNIT 602 BLDG 6PER CDO BK/PG: 41272/130
514101AC1270	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496 3834	LAKEWOOD AT EMERALD HILLS CONDUNIT 603 BLDG 6PER CDO BK/PG: 41272/130
514101AC1280	GABAY,TAYLORMASSRE,JACK	19700 NE 24 AVE	MIAMI	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 604 BLDG 6PER CDO BK/PG: 41272/130

514101AC1290	MOSERI PROPERTY LLC	251 174 ST SUITE 716	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDUNIT 605 BLDG 6PER CDO BK/PG: 41272/130
514101AC1300	MOSERI PROPERTY LLC	251 174 ST #716	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDUNIT 606 BLDG 6PER CDO BK/PG: 41272/130
514101AC1310	MOSERI PROPERTY LLC	251 174 ST #716	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDUNIT 607 BLDG 6PER CDO BK/PG: 41272/130
514101AC1320	COHAVA LLC	3999 SHERIDAN ST 2 FLOOR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 608 BLDG 6PER CDO BK/PG: 41272/130
514101AC1330	MB ONE LLC	5100 VAN BUREN ST	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 609 BLDG 6PER CDO BK/PG: 41272/130
514101AC1340	BIEGUN,LILIANA M KRASMASKY DEBIEGUN,MARIO	21388 MARINA COVE CIR APT 17G	AVENTURA	FL	33180 3564	LAKEWOOD AT EMERALD HILLS CONDUNIT 610 BLDG 6PER CDO BK/PG: 41272/130
514101AC1350	WEISS,MORDECHAIWEISS,GUY	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDUNIT 611 BLDG 6PER CDO BK/PG: 41272/130
514101AC1360	HVZ INVESTMENTS	19380 COLLINS AVE #1719	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDUNIT 612 BLDG 6PER CDO BK/PG: 41272/130
514101AC1370	MB ONE LLC	5100 VAN BUREN ST	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 613 BLDG 6PER CDO BK/PG: 41272/130
514101AC1380	M A FLORIDA INVESTMENT LLC	4730 SARAZEN AVE	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 614 BLDG 6PER CDO BK/PG: 41272/130
514101AC1390	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496 3834	LAKEWOOD AT EMERALD HILLS CONDUNIT 615 BLDG 6PER CDO BK/PG: 41272/130
514101AC1400	OALA 4 CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 616 BLDG 6PER CDO BK/PG: 41272/130
514101AC1410	ARIAS,WASHINGTON	12945 STONEBROOK DR	DAVIE	FL	33330	LAKEWOOD AT EMERALD HILLS CONDUNIT 617 BLDG 6PER CDO BK/PG: 41272/130
514101AC1420	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 618 BLDG 6PER CDO BK/PG: 41272/130
514101AC1430	BORAS LLC	6692 NW 107 CT	DORAL	FL	33178	LAKEWOOD AT EMERALD HILLS CONDUNIT 619 BLDG 6PER CDO BK/PG: 41272/130
514101AC1440	OLIVIA CR CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 620 BLDG 6PER CDO BK/PG: 41272/130
514101AC1450	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 621 BLDG 6PER CDO BK/PG: 41272/130
514101AC1460	ADS OF HOLLYWOOD LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 622 BLDG 6PER CDO BK/PG: 41272/130
514101AC1470	BLANCA NUBIA LIV TRVITERI,BLANCA NUBIA TRSTEE	618 N 46 AVE	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 623 BLDG 6PER CDO BK/PG: 41272/130
514101AC1480	HJG REAL PROPERTIES LLC	13017 BIG BEAR BLUFF	BOYNTON BEACH	FL	33473	LAKEWOOD AT EMERALD HILLS CONDUNIT 624 BLDG 6PER CDO BK/PG: 41272/130
514101AC1490	MASSRE,RALPH	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDUNIT 701 BLDG 7PER CDO BK/PG: 41272/130
514101AC1500	CARRERA PROPERTIES LLC	3540 N 53 AVE	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 702 BLDG 7PER CDO BK/PG: 41272/130
514101AC1510	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496 3834	LAKEWOOD AT EMERALD HILLS CONDUNIT 703 BLDG 7PER CDO BK/PG: 41272/130
514101AC1520	1722 INVESTMENTS INC	2208 BAY DR #7	MIAMI BEACH	FL	33141	LAKEWOOD AT EMERALD HILLS CONDUNIT 704 BLDG 7PER CDO BK/PG: 41272/130
514101AC1530	ROALOA LLCUNIT #A707	3564 AVALON PARK E BLVD STE 1	ORLANDO	FL	32828	LAKEWOOD AT EMERALD HILLS CONDUNIT 705 BLDG 7PER CDO BK/PG: 41272/130
514101AC1540	ADS OF HOLLYWOOD LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 706 BLDG 7PER CDO BK/PG: 41272/130
514101AC1550	COHAVA LLC	3999 SHERIDAN ST 2 FLOOR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 707 BLDG 7PER CDO BK/PG: 41272/130
514101AC1560	1722 INVESTMENTS INC	2208 BAY DR #7	MIAMI BEACH	FL	33141	LAKEWOOD AT EMERALD HILLS CONDUNIT 708 BLDG 7PER CDO BK/PG: 41272/130
514101AC1570	MASSRE,JACK & TAYLOR	19700 NE 24 AVE	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 709 BLDG 7PER CDO BK/PG: 41272/130
514101AC1580	TEPPER,DAVIDKORIK,SILVANA	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 710 BLDG 7PER CDO BK/PG: 41272/130
514101AC1590	GLOBES GROUP LLC	19111 COLLINS AVE APT 2006	SUNNY ISLES BEACH	FL	33160 2382	LAKEWOOD AT EMERALD HILLS CONDUNIT 711 BLDG 7PER CDO BK/PG: 41272/130
514101AC1600	LEON,ERIKA	3670 N 56 AVE #712	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 712 BLDG 7PER CDO BK/PG: 41272/130
514101AC1610	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021 2346	LAKEWOOD AT EMERALD HILLS CONDUNIT 713 BLDG 7PER CDO BK/PG: 41272/130
514101AC1620	RADICE,GIANMARCO	1835 E HALLANDALE BCH BLVD #1937	HALLANDALE BEACH	FL	33009 4619	LAKEWOOD AT EMERALD HILLS CONDUNIT 714 BLDG 7PER CDO BK/PG: 41272/130

514101AC1630	3670 N 56 AVENUE LLC	3396 NW 151 TER	MIAMI GARDENS	FL	33054	LAKEWOOD AT EMERALD HILLS CONDUNIT 715 BLDG 7PER CDO BK/PG: 41272/130
514101AC1640	SUAZO,GISELA H/EOTERO,JESUS E	3670 N 56 AVE #716-7	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 716 BLDG 7PER CDO BK/PG: 41272/130
514101AC1650	SRD REALTY LLC	1835 E HALLANDALE BCH BLVD #298	HALLANDALE BEACH	FL	33009	LAKEWOOD AT EMERALD HILLS CONDUNIT 717 BLDG 7PER CDO BK/PG: 41272/130
514101AC1660	JASMIA LLC	19370 COLLINS AVE #716	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDUNIT 718 BLDG 7PER CDO BK/PG: 41272/130
514101AC1670	PANICOL LLC	6692 NW 107 CT	DORAL	FL	33178	LAKEWOOD AT EMERALD HILLS CONDUNIT 719 BLDG 7PER CDO BK/PG: 41272/130
514101AC1680	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDUNIT 720 BLDG 7PER CDO BK/PG: 41272/130
514101AC1690	JAM AT THE LAKES LLC	15557 NW 82 PL	MIAMI LAKES	FL	33016	LAKEWOOD AT EMERALD HILLS CONDUNIT 721 BLDG 7PER CDO BK/PG: 41272/130
514101AC1700	WELLNESS LIASONS LLC	3520 E TREE TOPS CT	DAVIE	FL	33328	LAKEWOOD AT EMERALD HILLS CONDUNIT 722 BLDG 7PER CDO BK/PG: 41272/130
514101AC1710	ANEMAR LLC	6815 PARK STRAND DR	APOLLO BEACH	FL	33572	LAKEWOOD AT EMERALD HILLS CONDUNIT 723 BLDG 7PER CDO BK/PG: 41272/130
514101AC1720	GLOBES GROUP LLC	19111 COLLINS AVE APT 2006	SUNNY ISLES BEACH	FL	33160 2382	LAKEWOOD AT EMERALD HILLS CONDUNIT 724 BLDG 7PER CDO BK/PG: 41272/130
514101AC1730	PERGRUN 1992 CORP	1835 NE MIAMI GARDENS DR #173	NORTH MIAMI BEACH	FL	33179	LAKEWOOD AT EMERALD HILLS CONDUNIT 725 BLDG 7PER CDO BK/PG: 41272/130
514101AC1740	AGOSTINI,SIMONA	1835 E HALLANDALE BCH BLVD #298	HALLANDALE BEACH	FL	33009	LAKEWOOD AT EMERALD HILLS CONDUNIT 726 BLDG 7PER CDO BK/PG: 41272/130
514101AC1750	1722 INVESTMENTS INC	17385 PONTE CHIASO DR	BOCA RATON	FL	33496 3834	LAKEWOOD AT EMERALD HILLS CONDUNIT 727 BLDG 7PER CDO BK/PG: 41272/130
514101AC1760	BEMASAN CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 728 BLDG 7PER CDO BK/PG: 41272/130
514101AC1770	1722 INVESTMENTS INC	2208 BAY DR UNIT 7	MIAMI BEACH	FL	33141	LAKEWOOD AT EMERALD HILLS CONDUNIT 729 BLDG 7PER CDO BK/PG: 41272/130
514101AC1780	JOHN,JUSTA	19491 NE 19 PL	MIAMI	FL	33179	LAKEWOOD AT EMERALD HILLS CONDUNIT 730 BLDG 7PER CDO BK/PG: 41272/130
514101AC1790	LAKEWOOD 731 LLC	19380 COLLINS AVE #1426	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDUNIT 731 BLDG 7PER CDO BK/PG: 41272/130
514101AC1800	GLOBES GROUP LLC	19111 COLLINS AVE #2006	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDUNIT 732 BLDG 7PER CDO BK/PG: 41272/130
514101AC1810	MASSRE,JACKGABAY,TAYLOR	19700 NE 24 AVE	MIAMI	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 801 BLDG 8PER CDO BK/PG: 41272/130
514101AC1820	MASSRE,RALPH STEVEN TCHIRA REAL ESTATEINVESTMENT HOLDINGS LLC	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDUNIT 802 BLDG 8PER CDO BK/PG: 41272/130
514101AC1830		3328 NE 169 ST	NORTH MIAMI BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDUNIT 803 BLDG 8PER CDO BK/PG: 41272/130
514101AC1840	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 804 BLDG 8PER CDO BK/PG: 41272/130
514101AC1850	HADAR PROPERTIES LLC	1040 SEMINOLE DR APT 858	FORT LAUDERDALE	FL	33304 3235	LAKEWOOD AT EMERALD HILLS CONDUNIT 805 BLDG 8PER CDO BK/PG: 41272/130
514101AC1860	AOD PROPERTIES LLC	3690 N 56 AVE #926-9	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 806 BLDG 8PER CDO BK/PG: 41272/130
514101AC1870	WELLNESS LIASONS LLC	3520 E TREE TOPS CT	DAVIE	FL	33328	LAKEWOOD AT EMERALD HILLS CONDUNIT 807 BLDG 8PER CDO BK/PG: 41272/130
514101AC1880	AOD PROPERTIES LLC	3690 N 56 AVE #926-9	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 808 BLDG 8PER CDO BK/PG: 41272/130
514101AC1890	G & R SOLUTIONS I LLC	2407 ARTHUR ST APT REAR	HOLLYWOOD	FL	33020	LAKEWOOD AT EMERALD HILLS CONDUNIT 809 BLDG 8PER CDO BK/PG: 41272/130
514101AC1900	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDUNIT 810 BLDG 8PER CDO BK/PG: 41272/130
514101AC1910	ADS OF HOLLYWOOD LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 811 BLDG 8PER CDO BK/PG: 41272/130
514101AC1920	MEIR,UZIMEIR,DORIT G	3650 N 36 AVE APT 22	HOLLYWOOD	FL	33021 2556	LAKEWOOD AT EMERALD HILLS CONDUNIT 812 BLDG 8PER CDO BK/PG: 41272/130
514101AC1930	NJG FLORIDA PROPERTIES LLC	500 E 83 ST UNIT 2-C	NEW YORK	NY	10028	LAKEWOOD AT EMERALD HILLS CONDUNIT 813 BLDG 8PER CDO BK/PG: 41272/130
514101AC1940	SAFE P.O. LLC	10201 COLLINS AVE UNIT 1202	SOUTH BAL HARBOUR	FL	33154	LAKEWOOD AT EMERALD HILLS CONDUNIT 814 BLDG 8PER CDO BK/PG: 41272/130
514101AC1950	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDUNIT 815 BLDG 8PER CDO BK/PG: 41272/130
514101AC1960	POKROVSKAIA,KSENIA	1594 WEEPING WILLOW WAY	HOLLYWOOD	FL	33019	LAKEWOOD AT EMERALD HILLS CONDUNIT 816 BLDG 8PER CDO BK/PG: 41272/130

514101AC1970	COHEN,AVRAHAM	3680 N 56 AVE # 817-8	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 817 BLDG 8PER CDO BK/PG: 41272/130
514101AC1980	CARRERA PROPERTIES LLC	3540 N 53 AVE	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 818 BLDG 8PER CDO BK/PG: 41272/130
514101AC1990	PINEDA,IVAN J	5851 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 819 BLDG 8PER CDO BK/PG: 41272/130
514101AC2000	ATIKA INVESTMENTS LLC	5830 SW 36 TER	DANIA BEACH	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 820 BLDG 8PER CDO BK/PG: 41272/130
514101AC2010	WATKINS,TOYIA	2031 NW 99 TER	PEMBROKE PINES	FL	33024	LAKEWOOD AT EMERALD HILLS CONDUNIT 821 BLDG 8PER CDO BK/PG: 41272/130
514101AC2020	BASTIDAS,JACQUELINE	3680 N 56 AVE APT 822	HOLLYWOOD	FL	33021 2277	LAKEWOOD AT EMERALD HILLS CONDUNIT 822 BLDG 8PER CDO BK/PG: 41272/130
514101AC2030	UZIEL,DAVIDUZIEL,ESTHER	ARDOF 5	*AKKO	IL	24403	LAKEWOOD AT EMERALD HILLS CONDUNIT 823 BLDG 8PER CDO BK/PG: 41272/130
514101AC2040	MASSRE,RALPH	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDUNIT 824 BLDG 8PER CDO BK/PG: 41272/130
514101AC2050	FERNANDEZ,MARIA TERESA &HOYOS,OSCAR	3334 77TH ST APT 4H	JACKSON HEIGHTS	NY	11372 1216	LAKEWOOD AT EMERALD HILLS CONDUNIT 825 BLDG 8PER CDO BK/PG: 41272/130
514101AC2060	LAKEWOOD 826-8 LLC	5830 SW 36 TER	DAVIE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 826 BLDG 8PER CDO BK/PG: 41272/130
514101AC2070	VICTOR,JODIE	3705 W PICO BLVD	LOS ANGELES	CA	90019 3451	LAKEWOOD AT EMERALD HILLS CONDUNIT 827 BLDG 8PER CDO BK/PG: 41272/130
514101AC2080	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZAN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 828 BLDG 8PER CDO BK/PG: 41272/130
514101AC2090	MOE'S CELLS LLC	3701 N 47 AVE	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 829 BLDG 8PER CDO BK/PG: 41272/130
514101AC2100	PINEDA,IVAN	5851 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 830 BLDG 8PER CDO BK/PG: 41272/130
514101AC2110	R LUTHER FURR REV TRFURR,R LUTHER TRSTEE	819 N NORTHLAKE DR	HOLLYWOOD	FL	33019	LAKEWOOD AT EMERALD HILLS CONDUNIT 831 BLDG 8PER CDO BK/PG: 41272/130
514101AC2120	SAINT BON,JOEL	3680 N 56 AVE #832	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 832 BLDG 8PER CDO BK/PG: 41272/130
514101AC2130	KOSHA LLC	PO BOX 17405	FORT LAUDERDALE	FL	33318	LAKEWOOD AT EMERALD HILLS CONDUNIT 833 BLDG 8PER CDO BK/PG: 41272/130
514101AC2140	STEN PROJECTS LLC	703 WATERFORD WAY #805	MIAMI	FL	33126	LAKEWOOD AT EMERALD HILLS CONDUNIT 834 BLDG 8PER CDO BK/PG: 41272/130
514101AC2150	MASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDUNIT 835 BLDG 8PER CDO BK/PG: 41272/130
514101AC2160	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021 2346	LAKEWOOD AT EMERALD HILLS CONDUNIT 836 BLDG 8PER CDO BK/PG: 41272/130
514101AC2170	RBSE PROPERTIES LLC	3301 NE 183 ST #401	AVENTURA	FL	33160	LAKEWOOD AT EMERALD HILLS CONDUNIT 901 BLDG 9PER CDO BK/PG: 41272/130
514101AC2180	BEN,ELAD	10465 CANTERBURY CT	DAVIE	FL	33328	LAKEWOOD AT EMERALD HILLS CONDUNIT 902 BLDG 9PER CDO BK/PG: 41272/130
514101AC2190	NG,YELITZA	16419 OAKVIEW DR	WESTLAKE	FL	33470 2246	LAKEWOOD AT EMERALD HILLS CONDUNIT 903 BLDG 9PER CDO BK/PG: 41272/130
514101AC2200	PAGODA UNO LLC	2625 WESTON RD STE D	WESTON	FL	33331	LAKEWOOD AT EMERALD HILLS CONDUNIT 904 BLDG 9PER CDO BK/PG: 41272/130
514101AC2210	HARRAR,DIBORA	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 905 BLDG 9PER CDO BK/PG: 41272/130
514101AC2220	YOL TWICE LLC	4485 FICUS ST	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 906 BLDG 9PER CDO BK/PG: 41272/130
514101AC2230	AGKW GROUP LLC	18545 SW 47 CT	MIRAMAR	FL	33029	LAKEWOOD AT EMERALD HILLS CONDUNIT 907 BLDG 9PER CDO BK/PG: 41272/130
514101AC2240	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 908 BLDG 9PER CDO BK/PG: 41272/130
514101AC2250	CARRERA PROPERTIES LLC	3540 N 53 AVE	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 909 BLDG 9PER CDO BK/PG: 41272/130
514101AC2260	HARRAR,JOSEPH DE MAGRISO,RAQUEL BAZANRAQUEL MAGRISO	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 910 BLDG 9PER CDO BK/PG: 41272/130
514101AC2270	REV TR	3690 N 56 AVE #911	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 911 BLDG 9PER CDO BK/PG: 41272/130
514101AC2280	AGHIA SOPHIA LLC% SERBER & ASSOCIATES P A	2875 NE 191ST ST STE 901	MIAMI	FL	33180 2842	LAKEWOOD AT EMERALD HILLS CONDUNIT 912 BLDG 9PER CDO BK/PG: 41272/130
514101AC2290	ATIKA INVESTMENTS LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 913 BLDG 9PER CDO BK/PG: 41272/130
514101AC2300	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDUNIT 914 BLDG 9PER CDO BK/PG: 41272/130

514101AC2310	AGHIA SOPHIA LLC%SERBER & ASSOCIATES PA	2875 NE 191ST ST STE 901	MIAMI	FL	33180	2842	LAKEWOOD AT EMERALD HILLS CONDUNIT 915 BLDG 9PER CDO BK/PG: 41272/130
514101AC2320	MIZ BEACH LLC	4201 COLLINS AVE #2103	MIAMI BEACH	FL	33140		LAKEWOOD AT EMERALD HILLS CONDUNIT 916 BLDG 9PER CDO BK/PG: 41272/130
514101AC2330	M A FLORIDA INVESTMENT LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 917 BLDG 9PER CDO BK/PG: 41272/130
514101AC2340	101 HOLDINGS LLC	PO BOX 17405	FORT LAUDERDALE	FL	33318		LAKEWOOD AT EMERALD HILLS CONDUNIT 918 BLDG 9PER CDO BK/PG: 41272/130
514101AC2350	KORLICAR,MOSHE	10681 NW 18 CT	PLANTATION	FL	33322		LAKEWOOD AT EMERALD HILLS CONDUNIT 919 BLDG 9PER CDO BK/PG: 41272/130
514101AC2360	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZAN DR	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 920 BLDG 9PER CDO BK/PG: 41272/130
514101AC2370	BARRERA,MILAGROS DE JESUSBARRERA,CARMEN MARIA ROSA	2813 NW 83 TER	COOPER CITY	FL	33024		LAKEWOOD AT EMERALD HILLS CONDUNIT 921 BLDG 9PER CDO BK/PG: 41272/130
514101AC2380	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 922 BLDG 9PER CDO BK/PG: 41272/130
514101AC2390	POKROVSKAIA,KSENIA	1594 WEEPING WILLOW WAY #923-9	HOLLYWOOD	FL	33019		LAKEWOOD AT EMERALD HILLS CONDUNIT 923 BLDG 9PER CDO BK/PG: 41272/130
514101AC2400	AGRONOR LLC	3475 SHERIDAN ST STE 215C	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 924 BLDG 9PER CDO BK/PG: 41272/130
514101AC2410	PINEDA,IVAN	5851 SW 36 TER	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDUNIT 925 BLDG 9PER CDO BK/PG: 41272/130
514101AC2420	MENAHM,AMY	3690 N 56 AVE #926-9	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 926 BLDG 9PER CDO BK/PG: 41272/130
514101AC2430	ADS OF HOLLYWOOD LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDUNIT 927 BLDG 9PER CDO BK/PG: 41272/130
514101AC2440	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301		LAKEWOOD AT EMERALD HILLS CONDUNIT 928 BLDG 9PER CDO BK/PG: 41272/130
514101AC2450	BEDEAU,WILFRED E	3961 NW 207 DR	MIAMI	FL	33055		LAKEWOOD AT EMERALD HILLS CONDUNIT 929 BLDG 9PER CDO BK/PG: 41272/130
514101AC2460	GROSS,LEON	3832 MAPLE AVE	BROOKLYN	NY	11224		LAKEWOOD AT EMERALD HILLS CONDUNIT 930 BLDG 9PER CDO BK/PG: 41272/130
514101AC2470	MEIR,DORIT GMEIR,UZI	3650 N 36 AVE APT 22	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 931 BLDG 9PER CDO BK/PG: 41272/130
514101AC2480	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301		LAKEWOOD AT EMERALD HILLS CONDUNIT 932 BLDG 9PER CDO BK/PG: 41272/130
514101AC2490	ARGOT LLC	2875 NE 191 ST #801	AVENTURA	FL	33180		LAKEWOOD AT EMERALD HILLS CONDUNIT 933 BLDG 9PER CDO BK/PG: 41272/130
514101AC2500	FRANYO,GYULA	3690 N 56 AVE #934	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 934 BLDG 9PER CDO BK/PG: 41272/130
514101AC2510	PINEDA,IVAN	5851 SW 36 TER	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDUNIT 935 BLDG 9PER CDO BK/PG: 41272/130
514101AC2520	LAKEWOOD 936 LLC	19380 COLLINS AVE #1426	SUNNY ISLES BEACH	FL	33160		LAKEWOOD AT EMERALD HILLS CONDUNIT 936 BLDG 9PER CDO BK/PG: 41272/130
514101AC2530	G CUATRO LLC	150 S PINE ISLAND RD #300	PLANTATION	FL	33324		LAKEWOOD AT EMERALD HILLS CONDUNIT 937 BLDG 9PER CDO BK/PG: 41272/130
514101AC2540	KORLICAR,MOSHE	10681 NW 18 CT	PLANTATION	FL	33322		LAKEWOOD AT EMERALD HILLS CONDUNIT 938 BLDG 9PER CDO BK/PG: 41272/130
514101AC2550	GAVRA,ITZHAKGAVRA,ZACHI	20900 NE 30 AVE #514	AVENTURA	FL	33180		LAKEWOOD AT EMERALD HILLS CONDUNIT 939 BLDG 9PER CDO BK/PG: 41272/130
514101AC2560	940 INVESTMENT LLC	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33301		LAKEWOOD AT EMERALD HILLS CONDUNIT 940 BLDG 9PER CDO BK/PG: 41272/130
514101AC2570	CHANG,KENNETH & MARBELIA NG	9700 STIRLING RD STE 109	HOLLYWOOD	FL	33024	8011	LAKEWOOD AT EMERALD HILLS CONDUNIT 941 BLDG 9PER CDO BK/PG: 41272/130
514101AC2580	ENCORE REALTY TRENCORE MANAGEMENT LLC TRSTEE	12525 ORANGE DR #708	DAVIE	FL	33330		LAKEWOOD AT EMERALD HILLS CONDUNIT 942 BLDG 9PER CDO BK/PG: 41272/130
514101AC2590	COPE BROTHERS LLC	1172 S DIXIE HWY	CORAL GABLES	FL	33146	2918	LAKEWOOD AT EMERALD HILLS CONDUNIT 943 BLDG 9PER CDO BK/PG: 41272/130
514101AC2600	MASSRE,JACKMASSRE,TAYLOR	19700 NE 24 AVE	AVENTURA	FL	33180		LAKEWOOD AT EMERALD HILLS CONDUNIT 944 BLDG 9PER CDO BK/PG: 41272/130
514101AC2610	PERACH,ATAR	20900 NE 30 AVE STE 510	AVENTURA	FL	33180		LAKEWOOD AT EMERALD HILLS CONDUNIT 945 BLDG 9PER CDO BK/PG: 41272/130
514101AC2620	WEISS,DVIRBAN,EVA	PO BOX 17405	PLANTATION	FL	33318	7405	LAKEWOOD AT EMERALD HILLS CONDUNIT 946 BLDG 9PER CDO BK/PG: 41272/130
514101AC2630	GONZALEZ FUENTES,MARTHA C	3690 N 56 AVE #947	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDUNIT 947 BLDG 9PER CDO BK/PG: 41272/130
514101AC2640	OHAYON,JACOBABZRAD,ADEE	3301 NE 183 ST #2608	AVENTURA	FL	33160		LAKEWOOD AT EMERALD HILLS CONDUNIT 948 BLDG 9PER CDO BK/PG: 41272/130

514101AC2650	KORIK,SILVANA	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 1001 BLDG 10PER CDO BK/PG: 41272/130
514101AC2660	SANCHEZ,DIONISIO A	1121 NW 18 PL	MIAMI	FL	33125	LAKEWOOD AT EMERALD HILLS CONDUNIT 1002 BLDG 10PER CDO BK/PG: 41272/130
514101AC2670	ZECHARIA,HERZEL%SIDOW INC	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDUNIT 1003 BLDG 10PER CDO BK/PG: 41272/130
514101AC2680	EJL INVESTMENTS LLC	5130 N HILLS DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 1004 BLDG 10PER CDO BK/PG: 41272/130
514101AC2690	SUNAK,YAAKOV & ESTHER% SIDOW INC	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDUNIT 1005 BLDG 10PER CDO BK/PG: 41272/130
514101AC2700	ADS OF HOLLYWOOD LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDUNIT 1006 BLDG 10PER CDO BK/PG: 41272/130
514101AC2710	DIVERSIFIED RE HOLDINGS LLC	2425 E COMMERCIAL BLVD #402	FORT LAUDERDALE	FL	33308	LAKEWOOD AT EMERALD HILLS CONDUNIT 1007 BLDG 10PER CDO BK/PG: 41272/130
514101AC2720	WINDMILL REAL TRPERPETUAL TRS SERVICES	6511 NOVA DR #115	FORT LAUDERDALE	FL	33317	LAKEWOOD AT EMERALD HILLS CONDUNIT 1008 BLDG 10PER CDO BK/PG: 41272/130
514101AC2730	MASSRE,RALPH	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDUNIT 1009 BLDG 10PER CDO BK/PG: 41272/130
514101AC2740	LEVY,MOSHE	3700 N 56 AVE #1010	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 1010 BLDG 10PER CDO BK/PG: 41272/130
514101AC2750	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZAN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 1011 BLDG 10PER CDO BK/PG: 41272/130
514101AC2760	OHAYON,JACOB AZRAD,ADEE	3301 NE 183 ST UNIT 2608	AVENTURA	FL	33160 4646	LAKEWOOD AT EMERALD HILLS CONDUNIT 1012 BLDG 10PER CDO BK/PG: 41272/130
514101AC2770	DIE NUDEL LLC	2875 NE 191 ST SUITE 801	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 1013 BLDG 10PER CDO BK/PG: 41272/130
514101AC2780	MA FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 1014 BLDG 10PER CDO BK/PG: 41272/130
514101AC2790	COHAVA LLC	3999 SHERIDAN ST FLOOR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 1015 BLDG 10PER CDO BK/PG: 41272/130
514101AC2800	BAN,EVA WEISS,DVIR	9801 COLLINS AVE APT 17Q	BAL HARBOUR	FL	33154 1823	LAKEWOOD AT EMERALD HILLS CONDUNIT 1016 BLDG 10PER CDO BK/PG: 41272/130
514101AC2810	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDUNIT 1017 BLDG 10PER CDO BK/PG: 41272/130
514101AC2820	M SFL INVESTMENTS LLC	PO BOX 292534	FORT LAUDERDALE	FL	33329	LAKEWOOD AT EMERALD HILLS CONDUNIT 1018 BLDG 10PER CDO BK/PG: 41272/130
514101AC2830	HARRAR,DIBORA	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 1019 BLDG 10PER CDO BK/PG: 41272/130
514101AC2840	MA FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 1020 BLDG 10PER CDO BK/PG: 41272/130
514101AC2850	JOSE FERNANDO BERMUDEZ REV TRBERMUDEZ,JOSE FERNANDO TRSTEE	1800 N 32 CT	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 1021 BLDG 10PER CDO BK/PG: 41272/130
514101AC2860	LAKEWOOD EMERALD HILLS CONDO INC% BROUGH CHADROW & LEVINE PA	2149 N COMMERCE PKWY	WESTON	FL	33326	LAKEWOOD AT EMERALD HILLS CONDUNIT 1022 BLDG 10PER CDO BK/PG: 41272/130
514101AC2870	GABAY,TAYLORMASSRE,JACK	19700 NE 24 AVE	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDUNIT 1023 BLDG 10PER CDO BK/PG: 41272/130
514101AC2880	MASSRE,RALPH	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDUNIT 1024 BLDG 10PER CDO BK/PG: 41272/130
514101AC2890	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDUNIT 1025 BLDG 10PER CDO BK/PG: 41272/130
514101AC2900	ROTHSCHILD,KENNETH	3591 SIMMS STREET	HOLLYWOOD	FL	33021 3103	LAKEWOOD AT EMERALD HILLS CONDUNIT 1026 BLDG 10PER CDO BK/PG: 41272/130
514101AC2910	FARAGE,DORA E	3700 N 56 AVE #1027	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDUNIT 1027 BLDG 10PER CDO BK/PG: 41272/130
514101AC2920	GROMOV,ALEXANDRE	110 PROMENADE CIR APT 406	*THORNHILL ON	CA	L4J 7 W8	LAKEWOOD AT EMERALD HILLS CONDUNIT 1028 BLDG 10PER CDO BK/PG: 41272/130
514101AC2930	HENDEL,HAGAY	3521 N 54 AVE	HOLLYWOOD	FL	33021 2337	LAKEWOOD AT EMERALD HILLS CONDUNIT 1029 BLDG 10PER CDO BK/PG: 41272/130
514101AC2940	PEZ PROPERTIES LLC	5323 SW 34 WAY	FORT LAUDERDALE	FL	33312 5537	LAKEWOOD AT EMERALD HILLS CONDUNIT 1030 BLDG 10PER CDO BK/PG: 41272/130
514101AC2950	GROSS,LEON	3832 MAPLE AVE	BROOKLYN	NY	11224	LAKEWOOD AT EMERALD HILLS CONDUNIT 1031 BLDG 10PER CDO BK/PG: 41272/130
514101AC2960	LAKEWOOD 1032 LLC	19380 COLLINS AVE #1426	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDUNIT 1032 BLDG 10PER CDO BK/PG: 41272/130
514101AC2970	SUNAK,ESTHERSUNAK,YAAKOV	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDUNIT 1033 BLDG 10PER CDO BK/PG: 41272/130
514101AC2980	FOURBUSINESS LLC	2625 WESTON RD #D	WESTON	FL	33331	LAKEWOOD AT EMERALD HILLS CONDUNIT 1034 BLDG 10PER CDO BK/PG: 41272/130

514101AC2990	SPIELMAN,MEIRSPIELMAN,SARA ESTHER	4997 NW 67 AVE	LAUDERHILL	FL	33319	LAKWOOD AT EMERALD HILLS CONDUNIT 1035 BLDG 10PER CDO BK/PG: 41272/130
514101AC3000	STEINBERG,ESTHER Arapahoe Fams Homeowners' Association	3035 LYNTHURST J	DEERFIELD BEACH	FL	33442 2266	LAKWOOD AT EMERALD HILLS CONDUNIT 1036 BLDG 10PER CDO BK/PG: 41272/130
	C/O Miriam Ungar, President					
	5810 SW 33rd Terrace					
	Fort Lauderdale, FL 33312					
	Lakes of Emerald Hills HOA					
	Ken Strauss, President					
	C/O Vesta Property Services					
	2500 Hollywood Blvd					
	Ste 314					
	HOLLYWOOD, FL 33020					
	"CITY OF HOLLYWOOD					
	DEPT. OF PLANNING &					
	DEVELOPMENT SERVICES					
	PO BOX 229045					
	HOLLYWOOD FL 33022-9045"					
	City of Hollywood					
Josh Levy, Mayor	2600 Hollywood Boulevard					
	Hollywood, FL 33020-4807					
	City of Hollywood					
Caryl S. Shuham, Commissioner District 1	2600 Hollywood Boulevard					
	Hollywood, FL 33020-4807					
	City of Hollywood					
Peter Hernandez, Commissioner District 2	2600 Hollywood Boulevard					
	Hollywood, FL 33020-4807					
	City of Hollywood					
Traci L. Callari, Commissioner District 3	2600 Hollywood Boulevard					
	Hollywood, FL 33020-4807					
	City of Hollywood					
Adam Gruber, Commissioner District 4	2600 Hollywood Boulevard					
	Hollywood, FL 33020-4807					
	City of Hollywood					
Kevin D. Biederman, Commissioner District 5	2600 Hollywood Boulevard					
	Hollywood, FL 33020-4807					
	City of Hollywood					
Linda Sherwood, Commissioner District 6	2600 Hollywood Boulevard					
	Hollywood, FL 33020-4807					

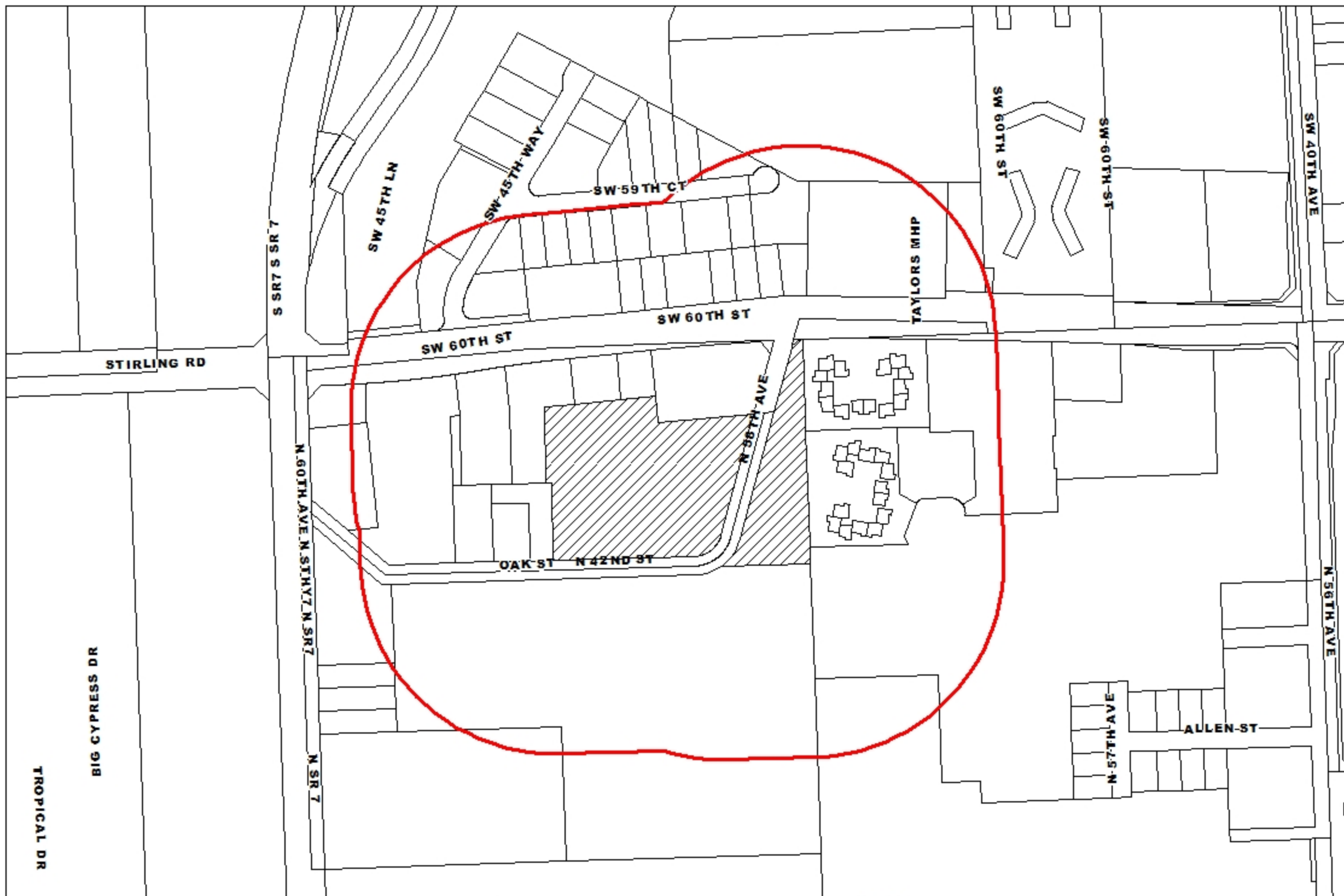




EXHIBIT 2



HOLLYWOOD OAKS PLANNED DEVELOPMENT

4220 & 423 N 58TH AVE, HOLLYWOOD

March 10, 2025
Public Participation Meeting

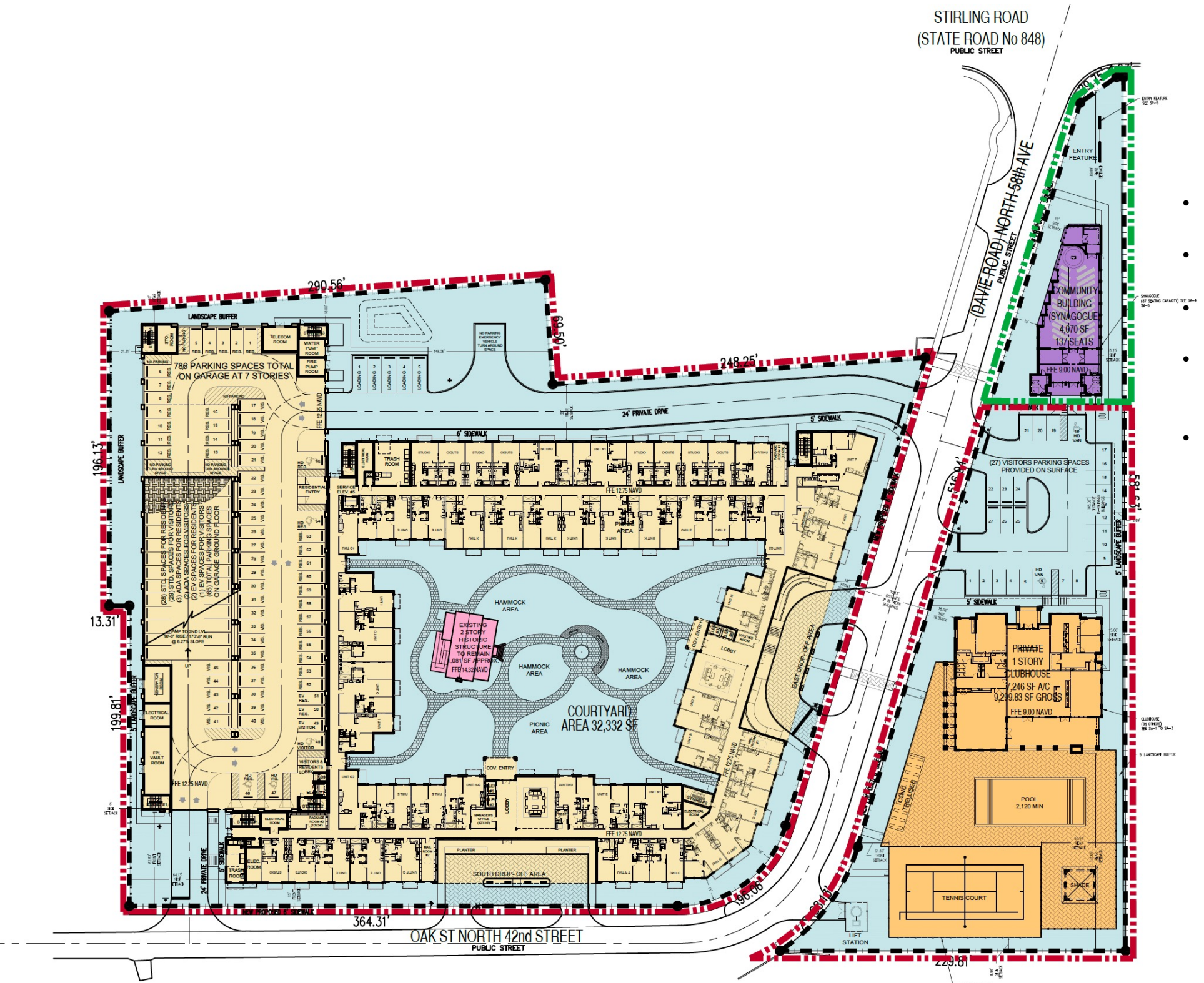
TOOTHAKER.ORG

LAND USE · DEVELOPMENT · POLITICAL
STRATEGY · PROCUREMENT





4220 & 4231 N 58TH AVE
5.74 ACRES



- 8-STORY (84'-10") MULTIFAMILY BUILDING / 470 UNITS
- 1-STORY / 4,071 SF PLACE OF WORSHIP (SYNAGOGUE)
- 1-STORY / 7,246 SF PRIVATE AMENITY CLUBHOUSE
- EXISTING HISTORIC BRYAN HOUSE TO BE CAREFULLY RESTORED AND REPURPOSED TO SERVE AS A LIBRARY FOR RESIDENTS
- 812 SPACES TOTAL
 - 868 SPACES REQUIRED BY CURRENT CODE VS. 529 SPACES REQUIRED PER SHARED PARKING STUDY)

LEGEND

- RESIDENTIAL USE
- PRIVATE AMENITY CLUBHOUSE
- PLACE OF WORSHIP (SYNAGOGUE)
- HISTORIC STRUCTURE (PRIVATE AMENITY LIBRARY)

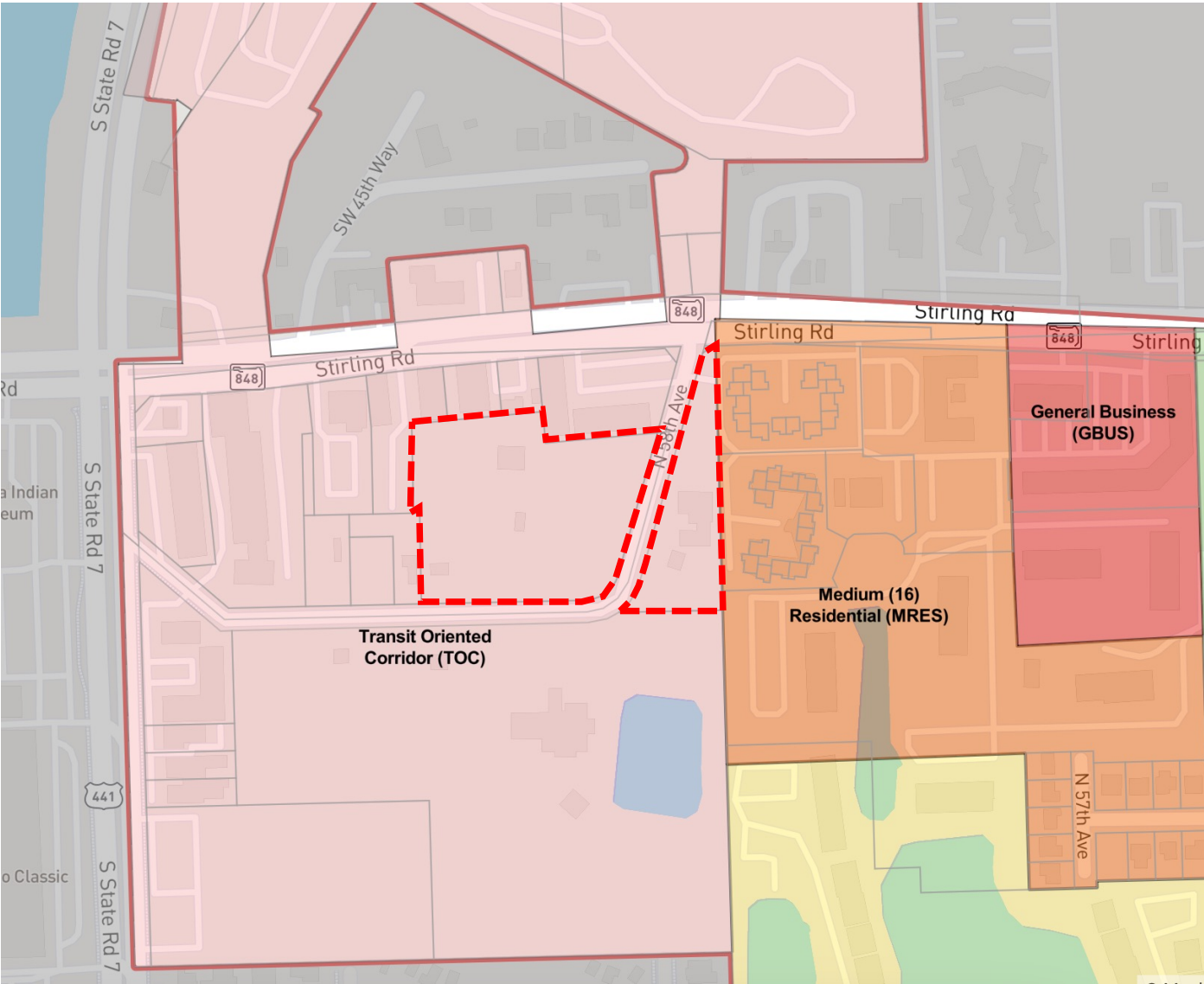
1. Certificate of Appropriateness for Design for Historical Building Rehabilitation

- All original portions of the Bryan House are being carefully restored

2. Rezoning of Property from N-MU to PD**3. PD Master Development Plan Approval with:**

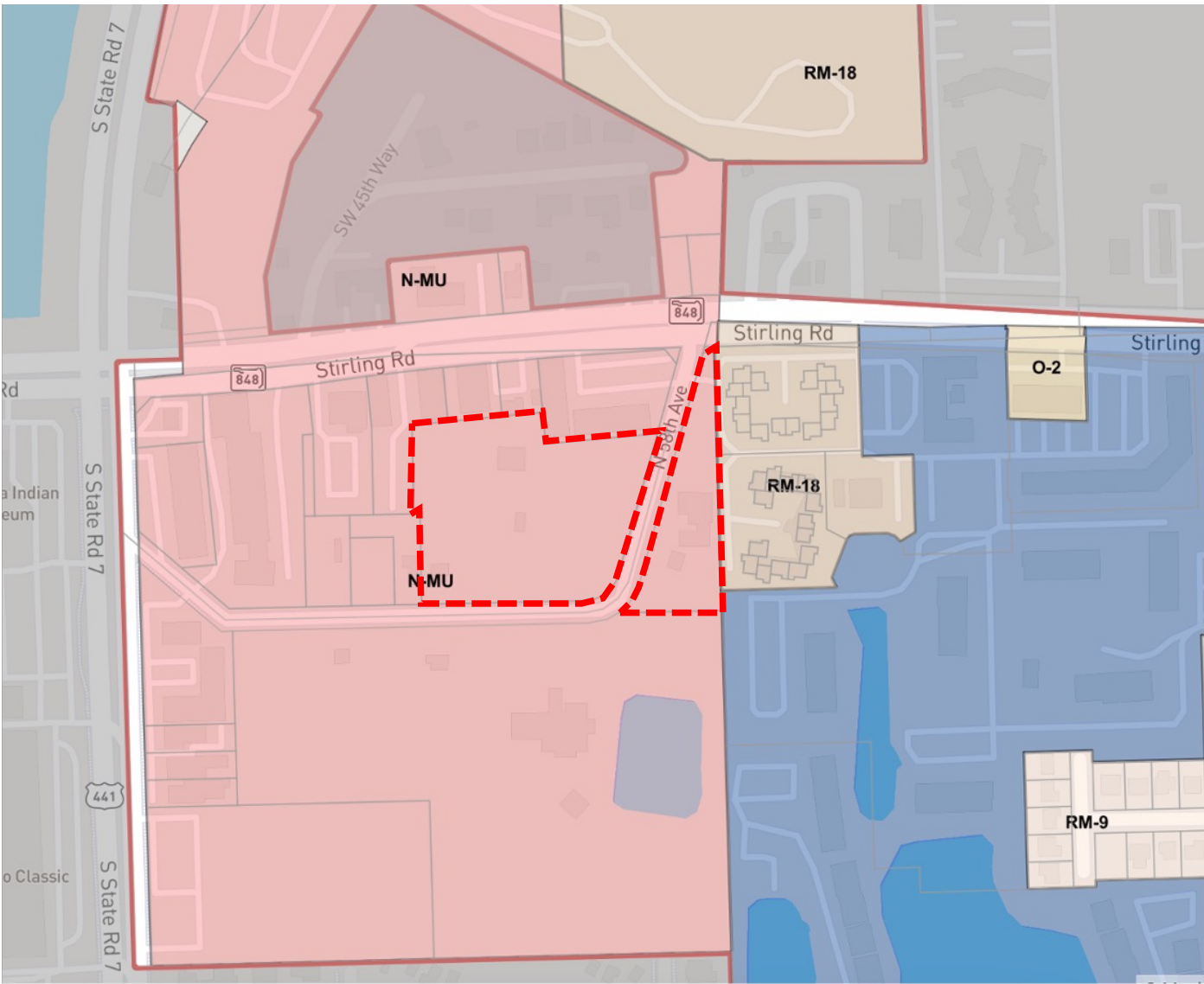
- **PD is being requested to deviate only from certain dimensional requirements of the N-MU Code, primarily to allow for greater flexibility due to the limitations of preserving the historic home – all other aspects of the Project comply with the existing zoning code:**
 - Height: Max. 84'-10" max. proposed where a 65' max. is permitted
 - Density: Max. 81.94 du/acre proposed where max. 30 du/acre permitted for horizontal mixed use
 - Rear Setback: Min. 15'-0" proposed where min. 20'-0" required
 - Parking: 829 spaces proposed where 868 spaces are required
 - Active Liner Uses: No active liner uses in the parking garage; where not screened by the residential building, architectural screening is proposed to screen the garage from the public right of way.
- **Waiver from PD Code:** To provide a 5.74-acre PD where a minimum size of 10 acres is required per § 4.15.E.
- **Variance from PD Code:** To provide a min. 15'-0" setback where a 25'-0" peripheral landscaped setback from all external streets is required per § 4.15.E.

4. Design and Final Site Plan Approval**5. Plat Approval**

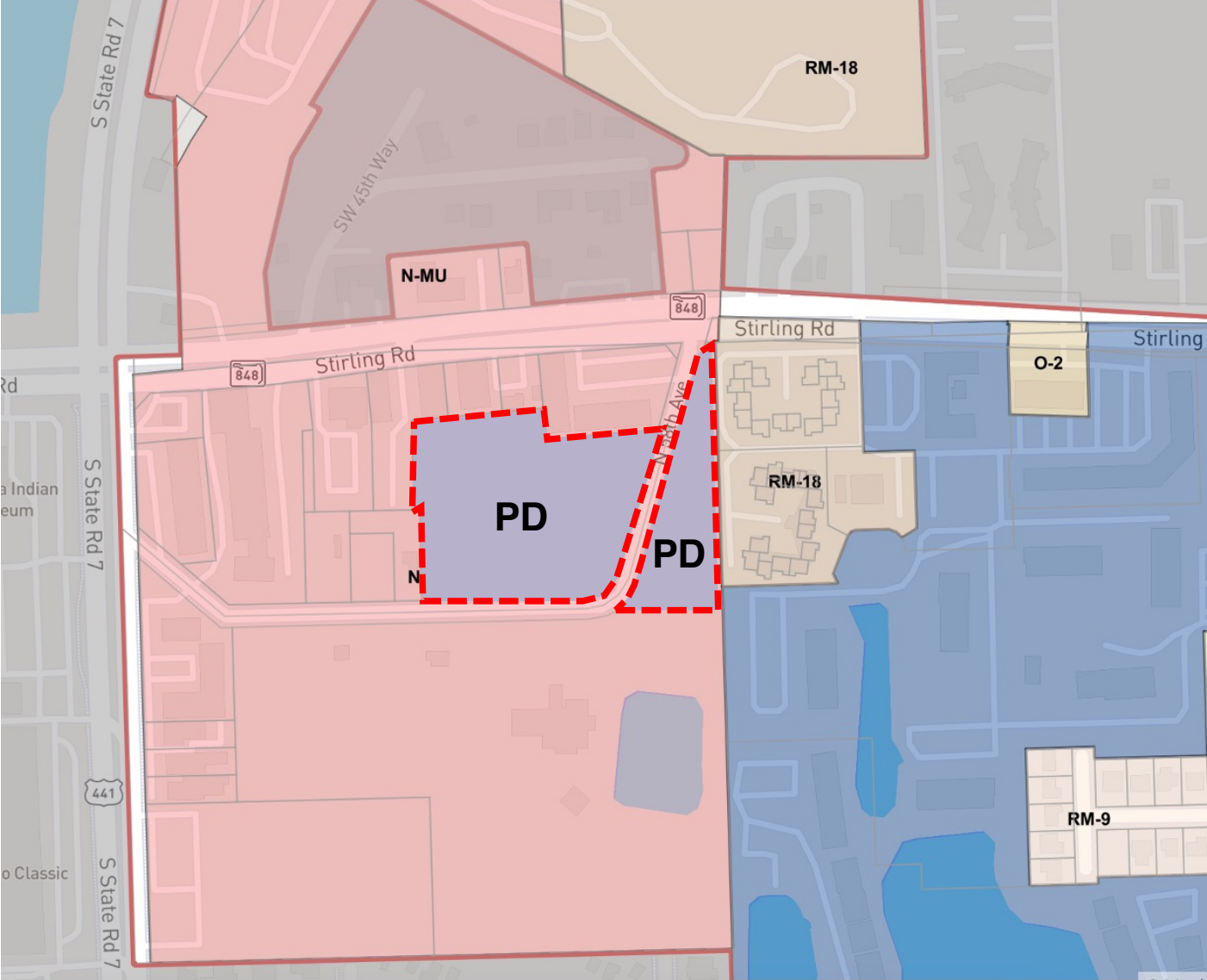


FUTURE LAND USE:
TRANSIT ORIENTED CORRIDOR

“The State Road 7 Transit Oriented Corridor (TOC) Land Use designation is intended to facilitate a balanced and interconnected mix of land uses, encourage mass transit and non-motorized transportation, reduce the need for automobile travel, provide incentives for quality development, and give definition to the urban form. **Development patterns shall generally reflect planning and design principles that support mixed-use development to integrate housing, employment, retail, recreation and local and regional community facilities with a primary orientation toward a multimodal transportation system.**”



EXISTING ZONING:
N-MU (NORTH MIXED USE) DISTRICT



PROPOSED ZONING:
PLANNED DEVELOPMENT DISTRICT









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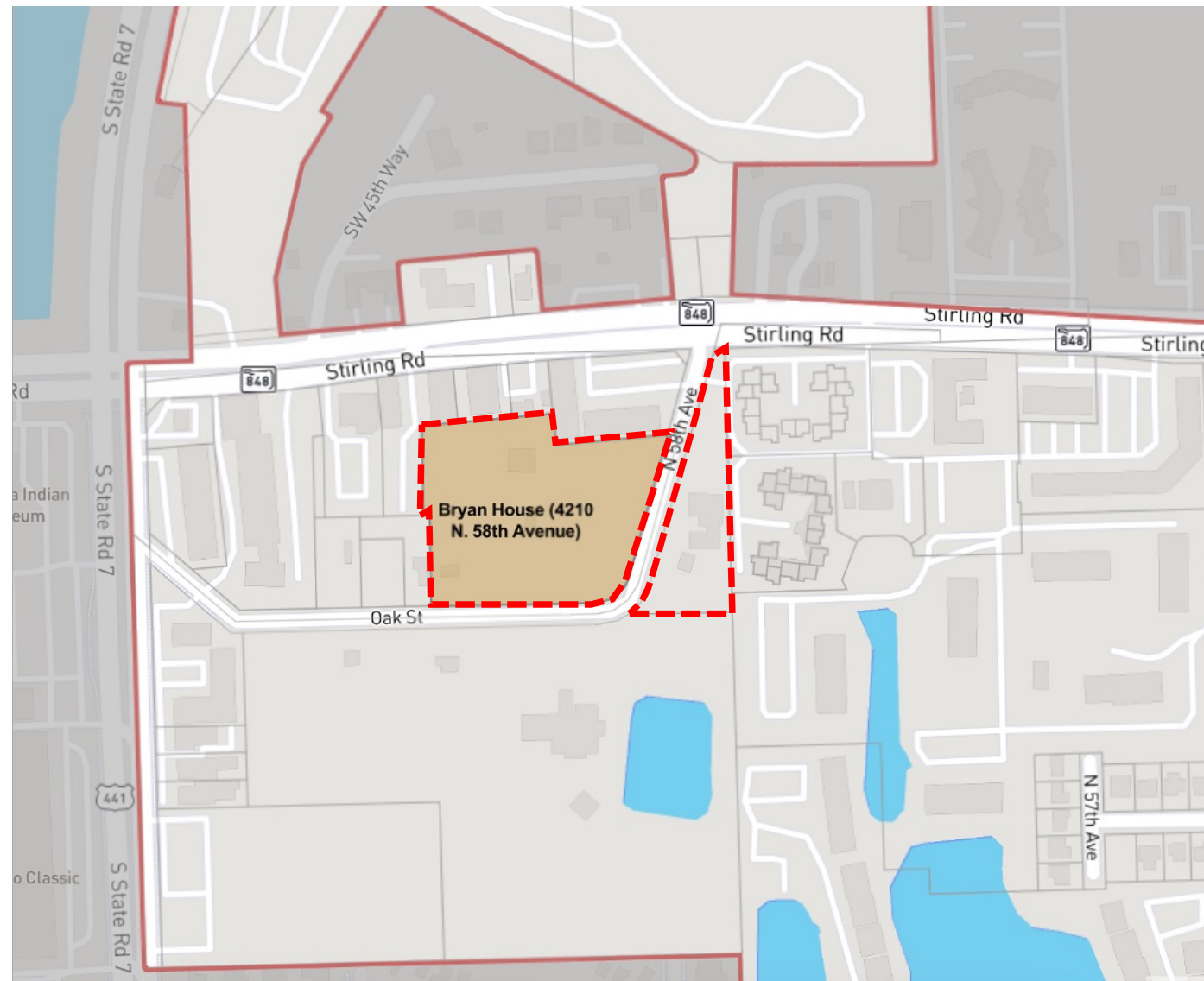


CLUBHOUSE
FRONT (NORTH) ELEVATION
SCALE: N.T.S.

- SW 7100 ARCADE WHITE
- SW 7516 KESTREL WHITE
- COQUINA STONE
- WINDOW FRAMES & METAL RAILINGS IN BRONZE



CLUBHOUSE
REAR (SOUTH) ELEVATION
SCALE: N.T.S.



THE WEST PARCEL IS DESIGNATED A “HISTORIC PRESERVATION OVERLAY SITE”, KNOWN AS THE SITE OF THE “BRYAN HOUSE”

BUILT IN 1916, IT IS ONE OF THE EARLIEST SURVIVING STRUCTURES CONSTRUCTED IN BROWARD COUNTY

PER THE FLORIDA MASTER SITE FILE, “ALTHOUGH THIS BUILDING IS NOT ARCHITECTURALLY SIGNIFICANT ON AN INDIVIDUAL BASIS, ITS SIGNIFICANCE IN THE HISTORIC BUILT ENVIRONMENT MAY BECOME GREATER AS THE OLDER STRUCTURES IN HOLLYWOOD ARE DEMOLISHED





AUGUST 2024	PRE-APPLICATION CONCEPTUAL OVERVIEW (PACO) MEETING
SEPTEMBER 16, 2024	PRELIMINARY TAC MEETING
DECEMBER 18, 2024	FINAL TAC MEETING (ADVERTISED TO ALL PROPERTY OWNERS WITHIN 500 FEET / SIGN NOTICE)
MARCH 10, 2025	PUBLIC PARTICIPATION MEETING (ADVERTISED TO ALL PROPERTY OWNERS WITHIN 500 FEET / SIGN NOTICE)
APRIL/MAY (TBD)	JOINT PLANNING & DEVELOPMENT BOARD & HISTORIC PRESERVATION BOARD MEETING
MAY/JUNE (TBD)	CITY COMMISSION (2 READINGS)

Q&A

stephanie@toothaker.org

c. 954.648.9376

July 23, 2025

Dear Neighbors and
Members of the Arapahoe Farms HOA
and Lakes of Emerald Hills HOA:

RE: NOTICE OF VIRTUAL PUBLIC PARTICIPATION MEETING #2
4220 N 58th Avenue Planned Development

This firm represents KUSHNER REALTY ACQUISITIONS, LLC (the “Applicant”), the contract purchaser of the approximate 5.74-acre property located at 4220 and 4231 North 58th Avenue, Hollywood, FL 33021, Folio Nos. 514101010010 and 514101140010 (the “Property”). On behalf of the Applicant, we would like to invite you to participate in our second Virtual Public Participation Meeting to discuss the proposed 4220 N 58th Avenue Planned Development including the preservation of the existing historic Bryan House (HPOS-12) and development of a 470-unit multifamily building, 9,300 SF private amenity clubhouse and 4,070 SF place of worship (synagogue) with 809 parking spaces.

WHEN: Monday, August 11, 2025 at 2:00 PM EST

WHERE: Please use the following link to register for this meeting:

<https://tinyurl.com/4220N58AVE>

After registering, you will receive a confirmation email containing information about joining the meeting.

Should you have any questions, please contact me at stephanie@toothaker.org / (954) 648-9376 and Estefanía Mayorga at estefania@toothaker.org / (561) 777-0276.

Respectfully,



Stephanie J. Toothaker, Esq.

Digitally signed by
Stephanie J.
Toothaker, Esq.
Date: 2025.07.23
10:52:11 -04'00'

Stephanie J. Toothaker, Esq.

land use development political strategy procurement



CERTIFICATION LETTER

City of Hollywood

Date: August 25, 2025

Applicant: 58 Oak LLC and 4220 N. 58th Avenue Partners LLC

Legal Description: Portions of Lots 1, 4, 3 of Seminole Estates Plat as recorded in Plat Book 21 Page 15 of the Public Records of Broward County, Florida.

Address or General Location: 4220 & 4231 N. 58 Avenue

This letter certifies that the attached list of property owners within 500 feet from each property line of the subject site was prepared using the latest tax folio rolls supplied by the Broward County Property Appraisers Office as of July 21, 2025 and the Planning Department.

This letter also certifies that the attached public hearing notification was sent to the persons on the list of property owners. The notice was mailed August 22, 2025.

Finally, this letter certifies that the site was posted with four public notice signs that meet the City of Hollywood notification regulations. The signs were posted August 25, 2025.

Thank You,

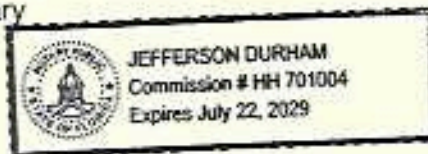
A handwritten signature in blue ink, appearing to read "C. Mathews", is written over a horizontal line.

Christina Mathews

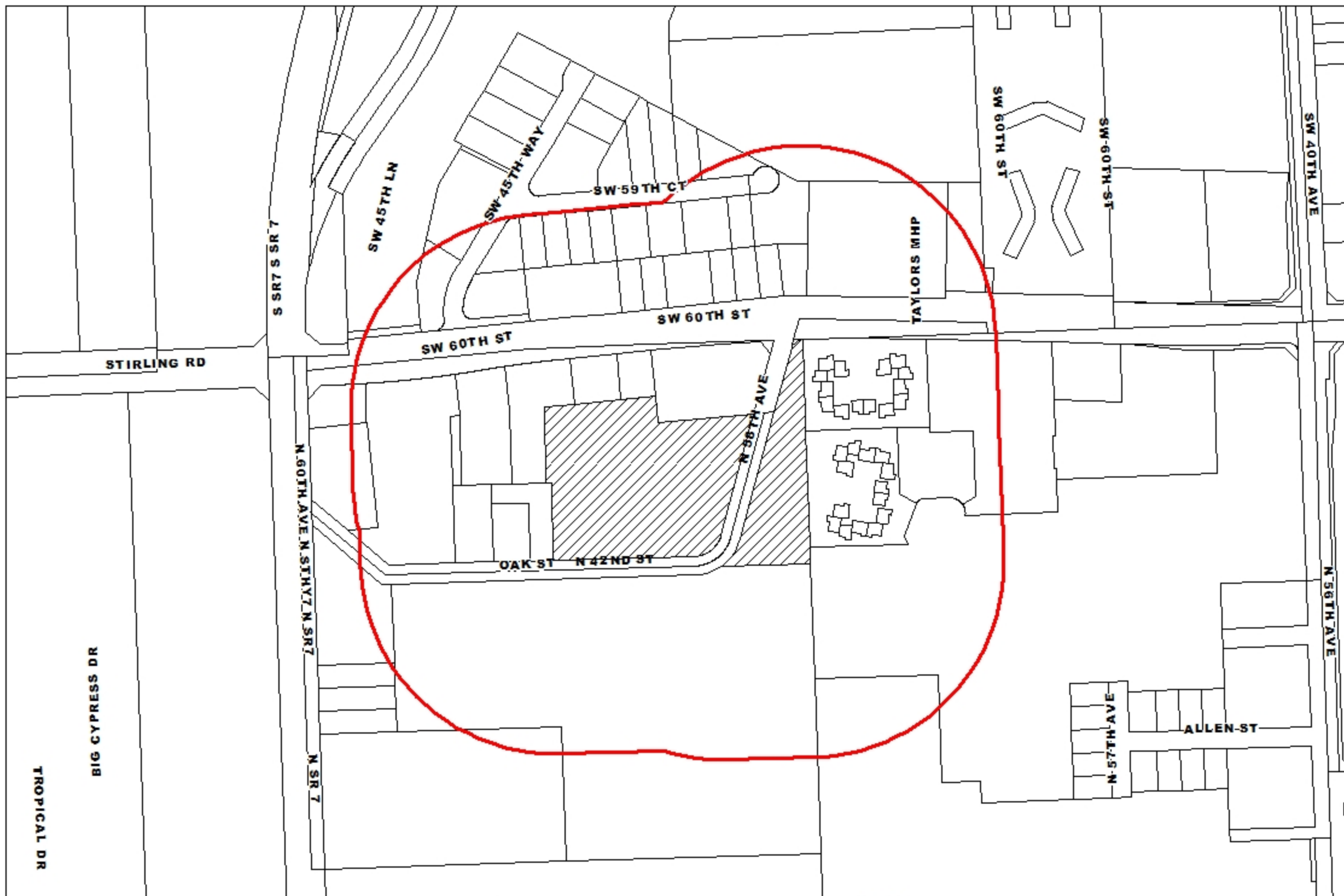
Sworn and subscribed before me this 25th day of August, 2025. She is personally known to me.

A handwritten signature in blue ink, appearing to read "Jefferson Durham", is written over a horizontal line.

Signature of Notary



1025 Yale Drive
Hollywood, Florida 33021
954-920-2205
Email: cutroplanning@yahoo.com



0 62.5125 250 375 500
Feet

MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER

MARTY KIAR
BROWARD
COUNTY

HOLLYWOOD OAKS APARTMENTS
DATE OF PRINT: 10/15/2024

FOLIO_NUMB	NAME	ADDRESS_LI	CITY	STATE	ZIP	ZIP4	LEGAL
504136010550	FLORIDA DEPT OF TRANSPORTATION WAY	OFFICE OF RIGHT OF 3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421	NEWMANS SURVEY 2-26 D 36-50-41THAT PT OF TR 15 DESC AS, COMMAT NE COR OF SEC 1, WLY 184.870 P/C, WLY ALG ARC OF CUR 164.1770 P/T, WLY 494.36 TO POB, SLY 26.2, WLY ALG N/L OF SEC 1 FOR 500.67, NELY 56.53, ELY 484.97 TO POB
504136010800	OAKS CONDO ASSN INC OF BRO	4151 STIRLING RD	FORT LAUDERDALE	FL	33314	7516	NEWMANS SURVEY 2-26 D36-50-41THAT PT OF TR 16 DESC AS COMM ATSW COR OF TR 16 N ALG W/L 104.170 POB, ESTLY 18.50, NLY 65, WSTLY 23 TO W/L OF TR 16, S 65.1670 TO POB
504136010860	FLORIDA DEPT OF TRANSPORTATION WAY	OFFICE OF RIGHT OF 3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421	NEWMANS SURVEY 2-26 D 36-50-41PORTION OF STIRLING RD FROM STRD 7 TO SW 40 AVE PER MISC MB8-2 LESS OR 1410/80 & LESS OR 9084/221
504136030010	LEVY, ILANAYORAM, PEARL BEN	5532 ESTATE OAK CIR	FORT LAUDERDALE	FL	33312		FRANCES GROVE ESTATES 26-46 BCOMM AT NE COR TR A, SWLY 266.50 TO POB, CONT SWLY 25.73 TO P/C, SWLY 139.01 TO P/C, SWLY 39.27, WLY 37.09, NLY 130, NELY 113.75, SELY 104.66 TO POB DESC IN OR 10172/875
504136030012	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		FRANCES GROVE ESTATES 26-46 BPORTION OF TR A DESC AS COMM ATNE COR OF SAID TR, SWLY ALG E/L 11 TO POB, CONT SWLY 255.50, NWLY 104.66, NELY 146.25, NELY 109, SELY 150 TO POB
504136030100	OAKS CONDO ASSN INC OF BRO	4151 STIRLING RD	DANIA BEACH	FL	33314	7516	FRANCES GROVE ESTATES 26-46 BLOT 1, LESS S 20 BLK 2
504136030110	ASHLEY T TAYLOR REV TR TAYLOR, ASHLEY TRSTE ETAL	4305 STIRLING RD	DANIA BEACH	FL	33314		FRANCES GROVE ESTATES 26-46 BLOT 2 TO 7 BLK 2
504136030120	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		FRANCES GROVE ESTATES 26-46 BLOT 8 BLK 2
504136030130	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		FRANCES GROVE ESTATES 26-46 BLOT 9 BLK 2
504136030140	MY DARLING LLC	5566 SW 28 TER	FORT LAUDERDALE	FL	33312		FRANCES GROVE ESTATES 26-46 BLOT 10 BLK 2
504136030150	MY DARLING LLC	5566 SW 28 TER	FORT LAUDERDALE	FL	33312		FRANCES GROVE ESTATES 26-46 BLOT 11 BLK 2
504136030160	MY DARLING LLC	5566 SW 28 TER	FORT LAUDERDALE	FL	33312		FRANCES GROVE ESTATES 26-46 BLOT 12, 13 BLK 2
504136030170	4441 STIRLING RD LLC	5131 N 36TH CT	HOLLYWOOD	FL	33021		FRANCES GROVE ESTATES 26-46 BLOT 14 BLK 2
504136030180	STIRLING ROAD RENTALS LLC	4191 PARK VIEW DR	HOLLYWOOD	FL	33021		FRANCES GROVE ESTATES 26-46 BLOT 15 BLK 2
504136030190	CASSIN CORP	189 MORNINGSIDE DR	MIAMI SPRINGS	FL	33166		FRANCES GROVE ESTATES 26-46 BLOT 16, 17, 18, 19 BLK 2
504136030230	STIRLING OFFICES LLC	5650 STIRLING RD STE 4	HOLLYWOOD	FL	33314		FRANCES GROVE ESTATES 26-46 BLOT 20 LESS S 20 FOR RD, LOT 21 LESS S 20 & LESS EXT AREA
504136030250	STIRLING OFFICES LLC	5650 STIRLING RD STE 4	HOLLYWOOD	FL	33314		LYNGSWLY OF ARC WITH 25 RAD, TANG TO LINE 20 N OF & PARA TO S/L OF LOT 21 & TANG TO E R/W/L
504136030260	STIRLING OFFICES LLC	5650 STIRLING RD STE 4	HOLLYWOOD	FL	33314		OF SW 45 WAY BLK 2
504136030270	STIRLING OFFICES LLC	5650 STIRLING RD STE 4	HOLLYWOOD	FL	33314		FRANCES GROVE ESTATES 26-46 BLOT 22 BLK 2
504136030280	FORTY FOUR SIXTY FOUR LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		FRANCES GROVE ESTATES 26-46 BLOT 23 BLK 2
504136030290	RAMIREZ, ERICK	7403 ADWEN ST	DOWNEY	CA	90241		FRANCES GROVE ESTATES 26-46 BLOT 24 BLK 2
504136030300	GARCIA, KRISTAL MNEGRON-GARCIA, ANITA	8900 NW 8 ST	PEMBROKE PINES	FL	33024		FRANCES GROVE ESTATES 26-46 BLOT 25 BLK 2
504136030310	4434 SW 59 LLC	5359 SW 32 TER	FORT LAUDERDALE	FL	33312		FRANCES GROVE ESTATES 26-46 BLOT 27, 28 W 1/2 BLK 2
504136030330	CALDERON, ERIK & JENNY	4420 SW 59 CT	DANIA BEACH	FL	33314	7514	FRANCES GROVE ESTATES 26-46 BLOT 28 E 1/2, 29 BLK 2
504136030350	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		FRANCES GROVE ESTATES 26-46 BLOT 30, 31 BLK 2
504136030360	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		FRANCES GROVE ESTATES 26-46 BLOT 32 BLK 2
504136030380	WOODSTOCK, LEO JOHN H/EFETES, SUSAN ALICE	4407 SW 59 CT	DANIA BEACH	FL	33314	7513	FRANCES GROVE ESTATES 26-46 BLOT 33, 34 BLK 2
504136030381	PLUMMER, MYRDIES	4421 SW 59 CT	DANIA BEACH	FL	33314		FRANCES GROVE ESTATES 26-46 BLOT 1 BLK 3
504136220010	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		MIRO CORNERS 148-29 BTRACT A TOGET WITH A POR OF OLDST RD 7 VACATED BY RESOLUTION 96- 0147 RECORDED IN OR 24713/803LYING WEST OF AND ABUTTINGSUBJECT PARCEL
504136220040	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		MIRO CORNERS 148-29 BTRACT G
514101000010	FLORIDA DEPT OF TRANSPORTATION WAY	OFFICE OF RIGHT OF 3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421	1-51-41BEG AT A POINT 40 FT WLY OF NECOR SEC 1- 51-41, WLY 1152.35 TO A PT ON A LINE, ELY 841.76, ELY ARC DIST 167.20 TO A PT TAN, ELY 119.85, SELY ARC DIST 39.27, NLY 78.02 +/- TO POB
514101000022	STERLING 56 CONDO ONE INC & STERLING 56 CONDO THREE INC	5790 STIRLING RD APT 201	HOLLYWOOD	FL	33021	1530	1-51-41COMM AT NW COR OF NE 1/4 OF NE 1/4 OF SEC 1, S ALG W/L 238.E 237 TO POB, S 170, SE 50.78, THENCE ON CURTO NE ARC DIST 23.45 E 66.72 TO P/C, THENCE ON CUR TO SE ARCDIST 40.75, NE 38.04, N 170, W 112, N 15, W 83 TO POB, AKA STIRLING 56 REC AREA 1
514101000042	BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301	1801	1-51-41POR OF NE 1/4 OF SEC 1 DESC'D IN: OR 8215/928AKA: PARCEL 88 STIRLING RD
514101000060	ROCK HARD HOLLYWOOD DEV LLC%REAL ESTATE SERVICES	6300 STIRLING RD	HOLLYWOOD	FL	33024		1-51-41 NE 1/4 PORTION NE 1/4 DESC AS BEG AT SECOR OF NW 1/4 OF NE 1/4, N 750, W 229.25, SWLY 73.05, W 786.65, S 382.62, E 425, S 348.50, E 660.90 TO POB
514101000080	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		1-51-41W 235 OF NW 1/4 OF NE 1/4 LYNGS OF OLD DAVIE RD LESS W 35 FORRD R/W & LESS S 528.5
514101000090	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		1-51-41N 60 OF S 528.5 OF W 235 OF NW 1/4 OF NE 1/4 LESS W 35 FORRD R/W
514101000130	STOF HOLDINGS LLC	6300 STIRLING RD	HOLLYWOOD	FL	33024		1-51-41S 348.50 OF W 660 OF NW 1/4 OF NE 1/4, EXCEPT THERE FROM W 35 FORRD W
514101010010	4220 N 58TH AVENUE PARTNERS LLC	3113 STIRLING RD #103	FORT LAUDERDALE	FL	33312		SEMINOLE ESTATES 21-15 BLOT 1 LESS BEG NE COR OF LOT 4, ELY ALG N/L OF LOT 1 243.23, SLY 196.13, WLY 242.67 TO NW COR OF LOT 3, NLY TO POB
514101010011	HOLLYWOOD BUSINESS PARK LLC	5900 STIRLING ROAD	HOLLYWOOD	FL	33021		SEMINOLE ESTATES 21-15 BLOT 1 W 23.23 DESC AS COMMAT NE COR LOT 4 E ALG N/L OF LOT 1 23.23, SLY 180.48 TO PT ON N/L LOT 3, W 23.17 TONW COR LOT 3, N 178.83 TO POB
514101010020	JANCULA, PILAR	1876 SHAW CIR	BRUNSWICK	OH	44212	4246	SEMINOLE ESTATES 21-15 BLOT 2 LESS E 60 & LESS N 50 OF W 96
514101010030	ALVARADO, CARLOS GUERRA, CARLA	5895 OAK ST	HOLLYWOOD	FL	33021		SEMINOLE ESTATES 21-15 BLOT 2 E 60 & N 50 OF W 96
514101010040	HOLLYWOOD BUSINESS PARK LLC	407 POINCIANA DR	HALLANDALE BEACH	FL	33009		SEMINOLE ESTATES 21-15 BLOT 3

514101010050	HOLLYWOOD BUSINESS PARK LLC	5900 STIRLING ROAD	HOLLYWOOD	FL	33021	SEMINOLE ESTATES 21-15 BLOT 4,5 LESS W 150 OF N 150& LESS PT OF LOTS 4 & 5 DESCIN OR 10333/762.6,7LESS THAT PT OF SAID LOTS INC'DIN FOL DESC,BEG AT NE COR OF LOT 7,SLY 46.7 TO PT ON CUR,WLY ARC DIST 235.18,NLY 47.93,ELY 232.09 TO POB
514101010060	8 CORNERS LLC%REAL ESTATE SERVICES	6300 STIRLING RD	HOLLYWOOD	FL	33024	SEMINOLE ESTATES 21-15 BLOT 5 W 150 OF THE N 150 LESS,BEG NW COR OF LOT 5,ELY ALGN/L OF SAID LOT 150,SLY 47.93TO P/C,WLY 75.64,WLY 39.13,SWLY 49.46,NLY 74.65 TO POB
514101010080	KRANZ,STANLEY	5882 STIRLING RD	HOLLYWOOD	FL	33021 1527	SEMINOLE ESTATES 21-15 BPT OF LOT 1 DESC AS BEG SW COROF LOT 8,SLY PARALLEL WITH W/LOF SAID LOT 1 180.48,ELY ALG N/LOF LOTS 2 & 3 129.67,NLY 189.73,WLY 130 TO SW COR OF LOT 8 &POB,& LOT 8,9 W 20,LESSTHEREFROM,PT DESC AS BEG NW COROF LOT 8,ELY 130.05,SELY 39.19TO P/C,WLY AN ARC DIST OF 60.40TO P/R/C,WLY AN ARC DIST OF69.87,NLY 46.70 TO POB
514101010090	MEGA REALTY HOLDINGS OFHOLLYWOOD LLC	14341 ARLINGTON PL	DAVIE	FL	33325	SEMINOLE ESTATES 21-15 BTHAT PT OF LOT 1 DESC AS BEG ATSW COR OF LOT 9,ELY 20 TO POB,CONT ELY 90,SLY 196.13,W 89.77,NLY 189.73 TO POB,LOT 9 LESSW 20,10 LESS E 30,BOTH LESS BEGINTERSEC WITH S/L OF STIRLING RD& A LINE 20 E OF W/L OF LOT 9,NE 170.10,SE 36,SW 36.28 TO P/CWLY AN ARC DIST OF 133.87,NW ALGLINE 20 E OF W/L OF LOT 9 A DISTOF 39.19 TO POB
514101010100	5850 STIRLING ROAD LLC	2901 STIRLING ROAD SUITE 207	FORT LAUDERDALE	FL	33312	SEMINOLE ESTATES 21-15 BLOT 11 E 90 LESS PT DESC WITHINFOL,BEG AT NE COR OF LOT 11,SELY 36,SWLY 210.64,NWLY 36,NELY ALG N/L OF LOT 10 A DIST OF30,SELY 18,NELY 90.32,NWLY 18,NELY ALG N/L OF LOT 11 A DIST OF90.32 TO POB
514101010110	5850 STIRLING ROAD LLC	2901 STIRLING ROAD SUITE 207	FORT LAUDERDALE	FL	33312	SEMINOLE ESTATES 21-15 BLOT 10 E 30,LOT 11 LESS E 90 &LESS N 18 FOR CO RD & LESS PTDESC WITHIN FOL,BEG AT NE COR OFLOT 11,SELY 36,SWLY 210.64,NWLY 36,NELY ALG N/L OF LOT 10A DIST OF 30,SELY 18,NELY 90.32,NWLY 18,NELY ALG N/L OF LOT 11A DIST OF 90.32 TO POB
514101010120	POINCIANA PLAZA HOLDING LLC	301 HELEN ST	SOUTH PLAINFIELD	NJ	07080	SEMINOLE ESTATES 21-15 BLOT 12 LESS PT DESC AS BEG ATNE COR OF LOT 12,SWLY 80.47,NWLY 40.46 TO P/C,WLY AN ARCDIST OF 251.63 TO P/T,SWLY31.04,NWLY 36,NELY 333.16TO POB
514101010130	SEMINOLE SHOPPING CENTER LLC	1060 E 33 ST	HIALEAH	FL	33013 3526	SEMINOLE ESTATES 21-15 BPOR LOTS 4 & 5 DESC AS COMMATNW COR OF SAID LOT 5,NELY 150,SLY 150 TO POB,NELY 2,SELY 272,SWLY 77.47,NWLY 123.28,NLY184.11,NELY 150 TO POB
514101010140	PUBLIC LAND % CITY OF HOLLYWOODOFFICE OF BUSINESS & INTL TRADE	2600 HOLLYWOOD BLVD #212	HOLLYWOOD	FL	33020 4807	SEMINOLE ESTATES 21-15 BROADS R/W PER PLAT IN SEC01-51-41 LESS W 35 FT THEREOFFOR ST RD 7 LESS THAT PT ASSHOWN MISC MB 4-31
514101010150	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY	3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309 3421	SEMINOLE ESTATES 21-15 BPORTION LOTS 5 THRU 12 FOR RDRW PER FLORIDA DOT R/W MAP SEC86516-2606,MISC MAP 8-2
514101080013	5770 STIRLING ROAD LLC%TL MANAGEMENT LLC	2071 FLATBUSH AVE STE 22	BROOKLYN	NY	11234	EMERALD PARK 112-30 BPOR PAR A DESC AS COMM AT NECOR OF SEC 1-51-41,WLY 260,SLY384.04,WLY 414.95 TO POB,SLY86.45,WLY 240.82 TO P/C,NLY30.19,NE 38.04,NLY 170,WLY 112,N 241.80,ELY 325.55,S 241.58,W 6,S 87,E 6,S 26 TO POB
514101080040	EMERALD HOLLYWOOD OWNER LLC ETAL% FBE LIMITED LLC	1 STATE ST 32 FLR	NEW YORK	NY	10004	EMERALD PARK 112-30 BPOR PAR A DESC AS COMM NE COR OFSEC,S 668.35,W 40 TO POB,W 220,S 272.86,W 249.81,N 25.59,W 150,S 300,W 239.75,N 55.58,W 100, N280,W 320,N 340,E 254.52,NWLY23.06,NE 89.80 TO P/C,NELY 23.45NE 66.72 TO P/C,SELY 70.94,ELY240.82,N 86.45,E 414.95,N 320,ELY 75.11,E 109.90,SE 49.50, SS 568.28 TO POB LESS POR PERMMB 9-141 B
514101140010	58 OAK LLC	5230 N 31 PL	HOLLYWOOD	FL	33021 2315	58 OAK 183-299 BPARCEL A
514101AA0010	BLACK MARLIN PROPERTIES INC	3300 N 29 AVE #101	HOLLYWOOD	FL	33020	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 101PER CDO BK/PG: 4145/5
514101AA0020	GUERRERO,JOSE A	5790 STIRLING ROAD UNIT 102	HOLLYWOOD	FL	33021 1529	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 102PER CDO BK/PG: 4145/5
514101AA0030	AGAMI,NOAM	5790 STIRLING RD APT 103	HOLLYWOOD	FL	33021 1529	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 103PER CDO BK/PG: 4145/5
514101AA0040	FERRUCCI,PIERINA	5790 STIRLING RD APT 104	HOLLYWOOD	FL	33021 1529	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 104PER CDO BK/PG: 4145/5
514101AA0050	CARMEL,ITAI	2208 N 42 AVE	HOLLYWOOD	FL	33021	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 105PER CDO BK/PG: 4145/5
514101AA0060	HARRAR VINAS,ALIA HELENE	5790 STIRLING RD #106	HOLLYWOOD	FL	33021 1529	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 106PER CDO BK/PG: 4145/5
514101AA0070	MEGIDISH,MOSHE	4100 N 58 AVE #208	HOLLYWOOD	FL	33021	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 107PER CDO BK/PG: 4145/5
514101AA0080	BEREBY,EIDAN	4280 W PEBBLE RD	LAS VEGAS	NV	89139 7740	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 108PER CDO BK/PG: 4145/5
514101AA0090	NAHON,SALAMON	3661 FARRAGUT ST	HOLLYWOOD	FL	33021 3019	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 109PER CDO BK/PG: 4145/5
514101AA0100	YERUSHALMI,AVINOAM	4350 OAKES RD #503	DAVIE	FL	33314 2223	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 110PER CDO BK/PG: 4145/5
514101AA0110	HAYOON,ORITCHEN,ZMIRA	330 W 56 ST #24L	NEW YORK	NY	10019	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 111PER CDO BK/PG: 4145/5
514101AA0120	ID INVESTORS LLC	10265 NW 60 PL	PARKLAND	FL	33076	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 112PER CDO BK/PG: 4145/5
514101AA0130	ESPINAL,MONICA C & RAFAEL	5790 STIRLING ROAD UNIT 113	HOLLYWOOD	FL	33021 1543	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 113PER CDO BK/PG: 4145/5
514101AA0140	BUFALINI,RANDI	5790 STIRLING ROAD UNIT 114	HOLLYWOOD	FL	33021 1543	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 114PER CDO BK/PG: 4145/5
514101AA0150	TAYLOR,SHYKEREA DIANNE	5790 STIRLING RD APT 201	HOLLYWOOD	FL	33021	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 201PER CDO BK/PG: 4145/5

514101AA0160	MAJUMDER,SUBHASH	100 W 92 ST APT 6G	NEW YORK	NY	10025	7569	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 202PER CDO BK/PG: 4145/5
514101AA0170	LIPPEL,AARON	5965 STIRLING RD #330	DAVIE	FL	33314		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 203PER CDO BK/PG: 4145/5
514101AA0180	MATATOF,DAVID & BAT-SHEVA	5790 STIRLING ROAD UNIT 204	HOLLYWOOD	FL	33021	1530	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 204PER CDO BK/PG: 4145/5
514101AA0190	RIVEN,MIRELA	5790 STIRLING RD #205	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 205PER CDO BK/PG: 4145/5
514101AA0200	PLAZAS NAVARRETE,MONICAMARTINEZ,ORLANDO	5790 STIRLING RD	HOLLYWOOD	FL	33021	1530	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 206PER CDO BK/PG: 4145/5
514101AA0210	IZHAK,DANIEL	5790 STIRLING RD UNIT 207	HOLLYWOOD	FL	33021	1530	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 207PER CDO BK/PG: 4145/5
514101AA0220	CARVALHO,PEDRO PDOS SANTOS,LOURDES M	5790 STIRLING ROAD #208	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 208PER CDO BK/PG: 4145/5
514101AA0230	GANI,HEZY	4701 N 36 CT	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 209PER CDO BK/PG: 4145/5
514101AA0240	SE3221 LLC	3221 SW 53 ST	FORT LAUDERDALE	FL	33312		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 210PER CDO BK/PG: 4145/5
514101AA0250	REZNIK,ERIC YMEDVINSKY,ALEKSANDRA	1087 SCARLET OAK ST	HOLLYWOOD	FL	33019		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 211PER CDO BK/PG: 4145/5
514101AA0260	BLOCH,ZACHARY MICHAEL	5790 STIRLING RD #212	HOLLYWOOD	FL	33021	1544	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 212PER CDO BK/PG: 4145/5
514101AA0270	BEN-YAIRI,MOTI	5790 STIRLING RD #213	HOLLYWOOD	FL	33021	1544	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 213PER CDO BK/PG: 4145/5
514101AA0280	CALDERON-CHAU,GABRIELLE K	5790 STIRLING RD UNIT 214	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 214PER CDO BK/PG: 4145/5
514101AA0290	AQUA PROPERTY INC	5009 W PARK RD	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 301PER CDO BK/PG: 4145/5
514101AA0300	GANI,GAMILA	5790 STIRLING RD #302	HOLLYWOOD	FL	33021	1534	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 302PER CDO BK/PG: 4145/5
514101AA0310	SAMUEL T MCDERMOTT JR REV LIV TRMCDERMOTT,SAMUEL T JR TRSTEE	2700 N HIGHWAY A1A #104	HUTCHINSON ISLAND	FL	34949		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 303PER CDO BK/PG: 4145/5
514101AA0320	GREENBLUM,GILA	1926 KIMBALL ST	BROOKLYN	NY	11234		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 304PER CDO BK/PG: 4145/5
514101AA0330	ARREAGA,CECILARIASCOS,PABLO	5790 STIRLING ROAD #305	HOLLYWOOD	FL	33021	1534	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 305PER CDO BK/PG: 4145/5
514101AA0340	GANI,GILA	5790 STIRLING RD #306	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 306PER CDO BK/PG: 4145/5
514101AA0350	ANCONINA,DAVID	5790 STIRLING RD UNIT 307	HOLLYWOOD	FL	33021	1534	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 307PER CDO BK/PG: 4145/5
514101AA0360	RADKEVICH,MARINARADKEVICH FAM TR ETAL	5790 STIRLING RD #308	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 308PER CDO BK/PG: 4145/5
514101AA0370	HAIM,EYAL	1721 NW 6 AVE	FORT LAUDERDALE	FL	33311		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 309PER CDO BK/PG: 4145/5
514101AA0380	CAFIERO,MONICA EST	5790 STIRLING ROAD UNIT 310	HOLLYWOOD	FL	33021	1551	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 310PER CDO BK/PG: 4145/5
514101AA0390	VELASQUEZ,ASHLEY S	5790 STIRLING RD #311	HOLLYWOOD	FL	33021	1551	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 311PER CDO BK/PG: 4145/5
514101AA0400	CHEN,ZMIRAHAYOON,ORIT	330 W 56 ST APT 24L	NEW YORK	NY	10019		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 312PER CDO BK/PG: 4145/5
514101AA0410	KRAIEM,GALIT	1830 NW 72 WAY	PEMBROKE PINES	FL	33024		STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 313PER CDO BK/PG: 4145/5
514101AA0420	KADOSH,TOMER	4945 SW 33 AVE	FORT LAUDERDALE	FL	33312	7937	STERLING FIFTY-SIXCONDOMINIUM ONEUNIT 314PER CDO BK/PG: 4145/5
514101AB0010	SHIREL INC	10414 SW 54 ST	COOPER CITY	FL	33328	5601	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 101PER CDO BK/PG: 4255/728
514101AB0020	DORICE,LITA	4100 N 58 AVE #102	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 102PER CDO BK/PG: 4255/728
514101AB0030	ATTIAS,RELLY	5406 JACKWOOD ST	HOUSTON	TX	77096	1231	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 103PER CDO BK/PG: 4255/728
514101AB0040	SILVERTON,JUDITH	4100 N 58 AVE UNIT 104	HOLLYWOOD	FL	33021	1531	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 104PER CDO BK/PG: 4255/728
514101AB0050	KARAIN,SAHAR SEHAM H/ECARIN,OR	4100 N 58 AVE #105	HOLLYWOOD	FL	33021	1531	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 105PER CDO BK/PG: 4255/728
514101AB0060	PRIZANT,YONITPRIZANT,YULI	5282 SW 33 WAY	FORT LAUDERDALE	FL	33312		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 106PER CDO BK/PG: 4255/728
514101AB0070	BENSON,MORRISMORRIS BENSON REV TR	4100 N 58 AVE #107	HOLLYWOOD	FL	33021	1525	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 107PER CDO BK/PG: 4255/728
514101AB0080	MAYA,LUZ M	4100 N 58 AVE #108	HOLLYWOOD	FL	33021	1525	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 108PER CDO BK/PG: 4255/728
514101AB0090	GONZALEZ,SONIA	4100 N 58 AVE APT 109	HOLLYWOOD	FL	33021	1525	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 109PER CDO BK/PG: 4255/728
514101AB0100	BENSON,MICHAL & ITZHAK	4100 N 58 AVE #110	HOLLYWOOD	FL	33021	1525	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 110PER CDO BK/PG: 4255/728
514101AB0110	CAVALIE,JAVIERCAVALIE-KOLKER,TATYANA	2821 N 38 AVE	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 111PER CDO BK/PG: 4255/728
514101AB0120	AMARAL,ALBERTO A	4100 N 58 AVE UNIT 112	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 112PER CDO BK/PG: 4255/728
514101AB0130	AMSELLEM,MORDECHAI	4100 N 58 AVE #113	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 113PER CDO BK/PG: 4255/728
514101AB0140	PERETS,SHLOMO H/EPERETS,DANIELLA	4100 N 58 AVE #114	HOLLYWOOD	FL	33021	1525	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 114PER CDO BK/PG: 4255/728
514101AB0150	DRUMMOND,ANNETTE	4100 N 58 AVE	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 201PER CDO BK/PG: 4255/728
514101AB0160	DIAZ,MIGUEL	4100 N 58 AVE #202	HOLLYWOOD	FL	33021	1526	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 202PER CDO BK/PG: 4255/728
514101AB0170	SONART REAL ESTATEINVESTMENTS LLC	2640 HOLLYWOOD BLVD #212	HOLLYWOOD	FL	33020		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 203PER CDO BK/PG: 4255/728
514101AB0180	SONART REAL ESTATEINVESTMENTS LLC	2640 HOLLYWOOD BLVD #212	HOLLYWOOD	FL	33020		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 204PER CDO BK/PG: 4255/728
514101AB0190	AUGUSTIN,ROSE GERLANDE H/EAUGUSTIN,ROSE G	4100 N 58TH AVE APT 205	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 205PER CDO BK/PG: 4255/728
514101AB0200	GENKIN,VALENTINA H/EGENKIN,MICHAEL	4100 N 58 AVE #206	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 206PER CDO BK/PG: 4255/728
514101AB0210	GIGI,AVNER	7322 NW 18 CT	PEMBROKE PINES	FL	33024		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 207PER CDO BK/PG: 4255/728
514101AB0220	MEGIDISH,MOSHEMEGIDISH,CAREN	4100 N 58 AVE #208	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 208PER CDO BK/PG: 4255/728
514101AB0230	LEAL,GLADYS	4100 N 58 AVE #209	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 209PER CDO BK/PG: 4255/728
514101AB0240	KOLKER,TATYANA	3952 FARRAGUT ST	HOLLYWOOD	FL	33021	3014	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 210PER CDO BK/PG: 4255/728

514101AB0250	RODRIGUEZ,ISMENIA	1125 N 46 AVE	HOLLYWOOD	FL	33021	5320	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 211PER CDO BK/PG: 4255/728
514101AB0260	CAVALIE,JAVIER M	2821 N 38 AVE	HOLLYWOOD	FL	33021	3002	STERLING FIFTY-SIXCONDOUNIT 212PER CDO BK/PG: 4255/728
514101AB0270	SHARKAWI,NAGI SSHARKAWI,SAMIRA N	4100 N 58 AVE #213	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 213PER CDO BK/PG: 4255/728
514101AB0280	GRIMSLEY,MARK JARRETT	4100 N 58 AVE #214	HOLLYWOOD	FL	33021	1538	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 214PER CDO BK/PG: 4255/728
514101AB0290	POPLAWSKI,CYNTHIA	4100 N 58 AVE APT 301	HOLLYWOOD	FL	33021	1538	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 301PER CDO BK/PG: 4255/728
514101AB0300	DMC EXCLUSIVES OF NY LLC	108-29 65 AVE	FOREST HILLS	NY	11375		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 302PER CDO BK/PG: 4255/728
514101AB0310	MESHULAM,CHANANMESHOLAM,NIZA	2200 PARK LN #314	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 303PER CDO BK/PG: 4255/728
514101AB0320	LUCKY A ANGEL LLC	150-66 77 AVE	FLUSHING	NY	11367		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 304PER CDO BK/PG: 4255/728
514101AB0330	FILINOV,ROMAN	4100 N 58 AVE APT 305	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 305PER CDO BK/PG: 4255/728
514101AB0340	PENIAS,ELI H/EPENIAS,AVIVA	4100 N 58 AVE APT 306	HOLLYWOOD	FL	33021	1538	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 306PER CDO BK/PG: 4255/728
514101AB0350	MAHLAB,ELIRAN	7351 184 ST	FRESH MEADOWS	NY	11366	1712	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 307PER CDO BK/PG: 4255/728
514101AB0360	HE,CONNIE XIAOXIA	4100 N 58 AVE #308	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 308PER CDO BK/PG: 4255/728
514101AB0370	MESIKA,BEN	4100 N 58 AVE UNIT 309	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 309PER CDO BK/PG: 4255/728
514101AB0380	AGAM,NATHANIEL	4100 N 58 AVE # 310	HOLLYWOOD	FL	33021	1533	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 310PER CDO BK/PG: 4255/728
514101AB0390	BAILEY,JOSHUA DESMONDARCE,ANGLEA CYNTHIA EVAGELIA J GANAS REV TRGANAS,EVAGELIA JULIE TRSTEE	4100 N 58 AVENUE #311 2812 N 46 AVE #G268	HOLLYWOOD	FL	33021	2957	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 311PER CDO BK/PG: 4255/728 STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 312PER CDO BK/PG: 4255/728
514101AB0410	SOLOMON,ALON & ILANA H/EDAYAN,DANIEL	4100 N 58 AVE #313	HOLLYWOOD	FL	33021		STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 313PER CDO BK/PG: 4255/728
514101AB0420	MONTEZ LEE,DEVEREN	4100 N 58 AVE #314	HOLLYWOOD	FL	33021	1552	STERLING FIFTY-SIXCONDOMINIUM THREEUNIT 314PER CDO BK/PG: 4255/728
514101AC0010	SAUNDERS,PAUL	3600 N 56 AVE #101	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 101 BLDG 1PER CDO BK/PG: 41272/130
514101AC0020	OALA 2 CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180		LAKEWOOD AT EMERALD HILLS CONDOUNIT 102 BLDG 1PER CDO BK/PG: 41272/130
514101AC0030	PRIZANT REALTY LLC	5282 SW 33 WAY	FORT LAUDERDALE	FL	33312	7913	LAKEWOOD AT EMERALD HILLS CONDOUNIT 103 BLDG 1PER CDO BK/PG: 41272/130
514101AC0040	PHIL GLASSMAN REV LIV TR%PPG MANAGEMENT	126 S FEDERAL HWY #5-201	DANIA BEACH	FL	33004		LAKEWOOD AT EMERALD HILLS CONDOUNIT 104 BLDG 1PER CDO BK/PG: 41272/130
514101AC0050	MEIR,DORIT GAL ORMEIR,UZI	3650 N 36 AVE #22	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 105 BLDG 1PER CDO BK/PG: 41272/130
514101AC0060	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496	3834	LAKEWOOD AT EMERALD HILLS CONDOUNIT 106 BLDG 1PER CDO BK/PG: 41272/130
514101AC0070	SPH INTERNATIONAL CONSULTING LLC	5851 SW 36 TER	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDOUNIT 107 BLDG 1PER CDO BK/PG: 41272/130
514101AC0080	E A INVESTOR LLC	5642 PARK RD	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDOUNIT 108 BLDG 1PER CDO BK/PG: 41272/130
514101AC0090	NOEMI POYASTRO REV TRPOYASTRO,NOEMI TRSTEE	3800 S OCEAN DR #1212A	HOLLYWOOD	FL	33019		LAKEWOOD AT EMERALD HILLS CONDOUNIT 109 BLDG 1PER CDO BK/PG: 41272/130
514101AC0100	GLOBES GROUP LLC	19111 COLLINS AVE APT 2006	SUNNY ISLES BEACH	FL	33160	2382	LAKEWOOD AT EMERALD HILLS CONDOUNIT 110 BLDG 1PER CDO BK/PG: 41272/130
514101AC0110	MCCLAIN,DAVID T	644 NW 2 AVE	FORT LAUDERDALE	FL	33311		LAKEWOOD AT EMERALD HILLS CONDOUNIT 111 BLDG 1PER CDO BK/PG: 41272/130
514101AC0120	EVANS,MICHAEL R JR	1548 SW 19TH AVE PH	DEERFIELD BEACH	FL	33442	6131	LAKEWOOD AT EMERALD HILLS CONDOUNIT 112 BLDG 1PER CDO BK/PG: 41272/130
514101AC0130	MEYER FLORIDA INVESTMENT LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 113 BLDG 1PER CDO BK/PG: 41272/130
514101AC0140	HENRY,JEAN	3600 N 56 AVE #114	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 114 BLDG 1PER CDO BK/PG: 41272/130
514101AC0150	STEINBERG,ESTHER	3035 LYNDHURST J	DEERFIELD BEACH	FL	33442	2266	LAKEWOOD AT EMERALD HILLS CONDOUNIT 115 BLDG 1PER CDO BK/PG: 41272/130
514101AC0160	MASSRE,JACKMASSRE,TAYLOR	19700 NE 24 AVE	MIAMI	FL	33180		LAKEWOOD AT EMERALD HILLS CONDOUNIT 116 BLDG 1PER CDO BK/PG: 41272/130
514101AC0170	BOKEELIA INVESTMENT III LLC	6470 SHADY PINE LN	BOKEELIA	FL	33922		LAKEWOOD AT EMERALD HILLS CONDOUNIT 201 BLDG 2PER CDO BK/PG: 41272/130
514101AC0180	E A INVESTOR LLC	5642 PARK RD	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDOUNIT 202 BLDG 2PER CDO BK/PG: 41272/130
514101AC0190	JOHNSON,LEONARD D JR &JOHNSON,MARY W	995 NORMANDY STATION RD	TAYLORSVILLE	KY	40071	9779	LAKEWOOD AT EMERALD HILLS CONDOUNIT 203 BLDG 2PER CDO BK/PG: 41272/130
514101AC0200	BAN,EVAWEISS,DVIR	PO BOX 17405	PLANTATION	FL	33318		LAKEWOOD AT EMERALD HILLS CONDOUNIT 204 BLDG 2PER CDO BK/PG: 41272/130
514101AC0210	CRAZY GYPSY LLC	2701 GRIFFIN RD	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDOUNIT 205 BLDG 2PER CDO BK/PG: 41272/130
514101AC0220	CALDERON,ABELARDO CLAVIJO	3610 N 56 AVE #206	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 206 BLDG 2PER CDO BK/PG: 41272/130
514101AC0230	BASILE,CARMELA	87 VILLA DR	WARMINSTER	PA	18974		LAKEWOOD AT EMERALD HILLS CONDOUNIT 207 BLDG 2PER CDO BK/PG: 41272/130
514101AC0240	NOSIKOVSKY,MILANA	18101 COLLINS AVE APT 1201	SUNNY ISLES BEACH	FL	33160	3197	LAKEWOOD AT EMERALD HILLS CONDOUNIT 208 BLDG 2PER CDO BK/PG: 41272/130
514101AC0250	WEISS,DVIR	PO BOX 17405	PLANTATION	FL	33318		LAKEWOOD AT EMERALD HILLS CONDOUNIT 209 BLDG 2PER CDO BK/PG: 41272/130
514101AC0260	WEISS,MORDECHAIWEISS,GUY	PO BOX 17405	PLANTATION	FL	33318		LAKEWOOD AT EMERALD HILLS CONDOUNIT 210 BLDG 2PER CDO BK/PG: 41272/130
514101AC0270	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33301		LAKEWOOD AT EMERALD HILLS CONDOUNIT 211 BLDG 2PER CDO BK/PG: 41272/130
514101AC0280	SANMARTIN,DAVID	3610 N 56 AVE #212-2	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 212 BLDG 2PER CDO BK/PG: 41272/130
514101AC0290	NOSIKOVSKY,MILANA	18101 COLLINS AVE APT 1201	SUNNY ISLES BEACH	FL	33160	3197	LAKEWOOD AT EMERALD HILLS CONDOUNIT 213 BLDG 2PER CDO BK/PG: 41272/130
514101AC0300	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 214 BLDG 2PER CDO BK/PG: 41272/130
514101AC0310	UPTOWN PROPERTIES LLC	958 HARBOR VW S	HOLLYWOOD	FL	33019		LAKEWOOD AT EMERALD HILLS CONDOUNIT 215 BLDG 2PER CDO BK/PG: 41272/130
514101AC0320	E A INVESTOR LLC	5642 PARK RD	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDOUNIT 216 BLDG 2PER CDO BK/PG: 41272/130
514101AC0330	NEW YORK INVESTMENTS FL CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180		LAKEWOOD AT EMERALD HILLS CONDOUNIT 217 BLDG 2PER CDO BK/PG: 41272/130

514101AC0340	BOLARES LLC	3375 N COUNTRY CLUB DR #506	MIAMI	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 218 BLDG 2PER CDO BK/PG: 41272/130
514101AC0350	GASPAROTTI,ANA T ROUCOGASPAROTTI,LEONARDO FABIAN	3610 N 56 AVE #219	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 219 BLDG 2PER CDO BK/PG: 41272/130
514101AC0360	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 220 BLDG 2PER CDO BK/PG: 41272/130
514101AC0370	OALA 2 CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 221 BLDG 2PER CDO BK/PG: 41272/130
514101AC0380	GILBOA,YARON	18971NE 20 CT	MIAMI	FL	33179	LAKEWOOD AT EMERALD HILLS CONDOUNIT 222 BLDG 2PER CDO BK/PG: 41272/130
514101AC0390	WILLIAMS,BEULAHWILLIAMS,ABDON ETAL	6413 63 PL	RIVERDALE	MD	20737	LAKEWOOD AT EMERALD HILLS CONDOUNIT 223 BLDG 2PER CDO BK/PG: 41272/130
514101AC0400	VERANO,ERNESTO	1250 S MIAMI AVE #1814	MIAMI	FL	33130	LAKEWOOD AT EMERALD HILLS CONDOUNIT 224 BLDG 2PER CDO BK/PG: 41272/130
514101AC0410	LAKEWOOD 225 LLC	19380 COLLINS AVE #1426	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDOUNIT 225 BLDG 2PER CDO BK/PG: 41272/130
514101AC0420	MORAD,BEN	5315 SW 33 AVE	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 226 BLDG 2PER CDO BK/PG: 41272/130
514101AC0430	ADS OF HOLLYWOOD LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 227 BLDG 2PER CDO BK/PG: 41272/130
514101AC0440	GHORR FL INVESTMENTS LLC% SIDOW INC	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDOUNIT 228 BLDG 2PER CDO BK/PG: 41272/130
514101AC0450	NOIMAN,HANNAH	544 ALBERMARIE RD	CEDARHURST	NY	11516	LAKEWOOD AT EMERALD HILLS CONDOUNIT 229 BLDG 2PER CDO BK/PG: 41272/130
514101AC0460	NYYN LLC	216	*NIRIT	IL	44805	LAKEWOOD AT EMERALD HILLS CONDOUNIT 230 BLDG 2PER CDO BK/PG: 41272/130
514101AC0470	RULI & STASI LLC	14102 SW 273 LN	HOMESTEAD	FL	33032	LAKEWOOD AT EMERALD HILLS CONDOUNIT 231 BLDG 2PER CDO BK/PG: 41272/130
514101AC0480	CALAY,RICHARD	3610 N 56 AVE #232	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 232 BLDG 2PER CDO BK/PG: 41272/130
514101AC0490	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 233 BLDG 2PER CDO BK/PG: 41272/130
514101AC0500	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDOUNIT 234 BLDG 2PER CDO BK/PG: 41272/130
514101AC0510	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDOUNIT 235 BLDG 2PER CDO BK/PG: 41272/130
514101AC0520	BEN-YEHUDA,GUY	3350 NE 192 ST APT 5Q	MIAMI	FL	33180 2421	LAKEWOOD AT EMERALD HILLS CONDOUNIT 236 BLDG 2PER CDO BK/PG: 41272/130
514101AC0530	TEPPER,DAVIDKORIK,SILVANA	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 301 BLDG 3PER CDO BK/PG: 41272/130
514101AC0540	MOSERI PROPERTY LLC	251 174 ST SUITE 716	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDOUNIT 302 BLDG 3PER CDO BK/PG: 41272/130
514101AC0550	SMD TUSCANY LLC	445 W 40 ST #402276	MIAMI BEACH	FL	33140	LAKEWOOD AT EMERALD HILLS CONDOUNIT 303 BLDG 3PER CDO BK/PG: 41272/130
514101AC0560	LEAV 311 LLC	840 S SOUTHLAKE DR	HOLLYWOOD	FL	33019	LAKEWOOD AT EMERALD HILLS CONDOUNIT 304 BLDG 3PER CDO BK/PG: 41272/130
514101AC0570	MASSRE,TAYLOR GABAY	19700 NE 24 AVE	MIAMI	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 305 BLDG 3PER CDO BK/PG: 41272/130
514101AC0580	MASSRE,JACK & TAYLOR	19700 NE 24 AVE	MIAMI	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 306 BLDG 3PER CDO BK/PG: 41272/130
514101AC0590	SPH INTERNATIONALCONSULTING LLC	5851 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 307 BLDG 3PER CDO BK/PG: 41272/130
514101AC0600	ZOHAN 18 LLC	3007 W COMMERCIAL BLVD #105	FORT LAUDERDALE	FL	33309	LAKEWOOD AT EMERALD HILLS CONDOUNIT 308 BLDG 3PER CDO BK/PG: 41272/130
514101AC0610	LOCKE,JULIE	1421 EUCLID ST NW APT 503	WASHINGTON	DC	20009 5999	LAKEWOOD AT EMERALD HILLS CONDOUNIT 309 BLDG 3PER CDO BK/PG: 41272/130
514101AC0620	BORA BORA REALTY TRPERPETUAL TRS SVCS LLC TRS	12525 ORANGE DR STE 708	DAVIE	FL	33330	LAKEWOOD AT EMERALD HILLS CONDOUNIT 310 BLDG 3PER CDO BK/PG: 41272/130
514101AC0630	LEAV 311 LLC	3630 N 56 AVE #311	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 311 BLDG 3PER CDO BK/PG: 41272/130
514101AC0640	RBSE PROPERTIES LLC	3301 NE 183 ST UNIT 401	AVENTURA	FL	33160	LAKEWOOD AT EMERALD HILLS CONDOUNIT 312 BLDG 3PER CDO BK/PG: 41272/130
514101AC0650	JB 2009 LLC	6240 MIRAMAR PKWY	MIRAMAR	FL	33023	LAKEWOOD AT EMERALD HILLS CONDOUNIT 313 BLDG 3PER CDO BK/PG: 41272/130
514101AC0660	GLOBES GROUP LLC	19111 COLLINS AVE #2006	SUNNY ISLES BEACH	FL	33160 2382	LAKEWOOD AT EMERALD HILLS CONDOUNIT 314 BLDG 3PER CDO BK/PG: 41272/130
514101AC0670	LAKEWOOD 315 LLC	19380 COLLINS AVE #1426	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDOUNIT 315 BLDG 3PER CDO BK/PG: 41272/130
514101AC0680	GLOBES GROUP LLC	19111 COLLINS AVE APT 2006	SUNNY ISLES BEACH	FL	33160 2382	LAKEWOOD AT EMERALD HILLS CONDOUNIT 316 BLDG 3PER CDO BK/PG: 41272/130
514101AC0690	ZECHARIA,HERZEL	3630 N 56 AVE #317	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 317 BLDG 3PER CDO BK/PG: 41272/130
514101AC0700	NITO GLOBAL LLC	12555 ORANGE DR #226	DAVIE	FL	33330	LAKEWOOD AT EMERALD HILLS CONDOUNIT 318 BLDG 3PER CDO BK/PG: 41272/130
514101AC0710	TINFLOL LLC	1792 BELL TOWER LN #204	WESTON	FL	33326	LAKEWOOD AT EMERALD HILLS CONDOUNIT 319 BLDG 3PER CDO BK/PG: 41272/130
514101AC0720	NG,KENG CHUENG	7879 S SILVERADO CIR	COOPER CITY	FL	33024	LAKEWOOD AT EMERALD HILLS CONDOUNIT 320 BLDG 3PER CDO BK/PG: 41272/130
514101AC0730	POKROVSKAIA,KSENIA	1594 WEEPING WILLOW WAY	HOLLYWOOD	FL	33019	LAKEWOOD AT EMERALD HILLS CONDOUNIT 321 BLDG 3PER CDO BK/PG: 41272/130
514101AC0740	LEAV 311 LLC	3630 N 56 AVE #322	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 322 BLDG 3PER CDO BK/PG: 41272/130
514101AC0750	CELL PROPERTIES LLC	1835 NE MIAMI GARDENS DR #180	NORTH MIAMI BEACH	FL	33179	LAKEWOOD AT EMERALD HILLS CONDOUNIT 323 BLDG 3PER CDO BK/PG: 41272/130
514101AC0760	SARGIN,OLIVERASARGIN,DUSKO	1120 CHERRYPALM LN	HOLLYWOOD	FL	33019	LAKEWOOD AT EMERALD HILLS CONDOUNIT 324 BLDG 3PER CDO BK/PG: 41272/130
514101AC0770	WEISS,YAAKOV	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDOUNIT 401 BLDG 4PER CDO BK/PG: 41272/130
514101AC0780	BEMASAN CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 402 BLDG 4PER CDO BK/PG: 41272/130
514101AC0790	ZOHAN 18 LLC	3007 W COMMERCIAL BLVD #105	FORT LAUDERDALE	FL	33309	LAKEWOOD AT EMERALD HILLS CONDOUNIT 403 BLDG 4PER CDO BK/PG: 41272/130
514101AC0800	MASSRE,JONATHAN	3640 N 56 AVE UNIT 404	HOLLYWOOD	FL	33021 1485	LAKEWOOD AT EMERALD HILLS CONDOUNIT 404 BLDG 4PER CDO BK/PG: 41272/130
514101AC0810	BENMELEH,FORTUNA & BENMELEH,MORRIS	4685 GREENWAY DR	HOLLYWOOD	FL	33021 2144	LAKEWOOD AT EMERALD HILLS CONDOUNIT 405 BLDG 4PER CDO BK/PG: 41272/130
514101AC0820	TRINIDAD,HELENE & RODRIGUEZ-TRINIDA,KRISTINE	3640 N 56 AVE #406	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 406 BLDG 4PER CDO BK/PG: 41272/130
514101AC0830	LEVY,EYAL	5130 N HILLS DR	HOLLYWOOD	FL	33021 1622	LAKEWOOD AT EMERALD HILLS CONDOUNIT 407 BLDG 4PER CDO BK/PG: 41272/130
514101AC0840	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 408 BLDG 4PER CDO BK/PG: 41272/130

514101AC0850	LEVY,EYAL & RIVKA	5130 N HILLS DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 409 BLDG 4PER CDO BK/PG: 41272/130
514101AC0860	RBSE PROPERTIES LLC	3301 NE 183 ST UNIT 401	AVENTURA	FL	33160	LAKEWOOD AT EMERALD HILLS CONDOUNIT 410 BLDG 4PER CDO BK/PG: 41272/130
514101AC0870	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 411 BLDG 4PER CDO BK/PG: 41272/130
514101AC0880	ZOHAN 18 LLC	3007 W COMMERCIAL BLVD #105	FORT LAUDERDALE	FL	33309	LAKEWOOD AT EMERALD HILLS CONDOUNIT 412 BLDG 4PER CDO BK/PG: 41272/130
514101AC0890	GLOBES GROUP LLC	19111 COLLINS AVE #2006	SUNNY ISLES BEACH	FL	33160 2382	LAKEWOOD AT EMERALD HILLS CONDOUNIT 413 BLDG 4PER CDO BK/PG: 41272/130
514101AC0900	GGRB LLC	6692 NW 107 CT	DORAL	FL	33178	LAKEWOOD AT EMERALD HILLS CONDOUNIT 414 BLDG 4PER CDO BK/PG: 41272/130
514101AC0910	JHG REAL PROPERTIES LLC	13017 BIG BEAR BLUFF	BOYTON BEACH	FL	33473	LAKEWOOD AT EMERALD HILLS CONDOUNIT 415 BLDG 4PER CDO BK/PG: 41272/130
514101AC0920	MEIR,UZI & DORIT GAL OR	3650 N 36 AVE #22	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 416 BLDG 4PER CDO BK/PG: 41272/130
514101AC0930	KGD HOLDINGS LLC	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDOUNIT 417 BLDG 4PER CDO BK/PG: 41272/130
514101AC0940	LGM REAL ESTATE HOLDINGS LLC%SIDOW MGT	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDOUNIT 418 BLDG 4PER CDO BK/PG: 41272/130
514101AC0950	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZAN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 419 BLDG 4PER CDO BK/PG: 41272/130
514101AC0960	LEVY,EYALLEVY,RIVKA	5130 N HILLS DR	HOLLYWOOD	FL	33021 1622	LAKEWOOD AT EMERALD HILLS CONDOUNIT 420 BLDG 4PER CDO BK/PG: 41272/130
514101AC0970	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496 3834	LAKEWOOD AT EMERALD HILLS CONDOUNIT 421 BLDG 4PER CDO BK/PG: 41272/130
514101AC0980	GOURARIE,SARAKORIK,SILVANA	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 422 BLDG 4PER CDO BK/PG: 41272/130
514101AC0990	BLANCA NUBIA LIV TRVITERI,BLANCA NUBIA TRSTEE	618 N 46 AVE	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 423 BLDG 4PER CDO BK/PG: 41272/130
514101AC1000	TEPPER,DAVIDKORIK,SILVANA	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 424 BLDG 4PER CDO BK/PG: 41272/130
514101AC1010	GARFINKEL FAMILY PARTNERS LTD	13017 BIG BEAR BLUFF	BOYNTON BEACH	FL	33473 3303	LAKEWOOD AT EMERALD HILLS CONDOUNIT 501 BLDG 5PER CDO BK/PG: 41272/130
514101AC1020	JED REAL PROPERTIES LLC	13017 BIG BEAR BLUFF	BOYNTON BEACH	FL	33473 3303	LAKEWOOD AT EMERALD HILLS CONDOUNIT 502 BLDG 5PER CDO BK/PG: 41272/130
514101AC1030	GROSS,LEON	3832 MAPLE AVE	BROOKLYN	NY	11224 1314	LAKEWOOD AT EMERALD HILLS CONDOUNIT 503 BLDG 5PER CDO BK/PG: 41272/130
514101AC1040	WEISS,DVIR	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDOUNIT 504 BLDG 5PER CDO BK/PG: 41272/130
514101AC1050	ZOHAN 18 LLC	3007 W COMMERCIAL BLVD STE 105	FORT LAUDERDALE	FL	33309	LAKEWOOD AT EMERALD HILLS CONDOUNIT 505 BLDG 5PER CDO BK/PG: 41272/130
514101AC1060	LE CLAIRE,ROBERT F	3650 N 56 AVE #506	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 506 BLDG 5PER CDO BK/PG: 41272/130
514101AC1070	SPH INTERNATIONAL CONSULTING LLC	5851 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 507 BLDG 5PER CDO BK/PG: 41272/130
514101AC1080	AGRONOR LLC	3475 SHERIDAN ST STE 215C	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 508 BLDG 5PER CDO BK/PG: 41272/130
514101AC1090	TENUBU,WINSTON O	10466 SW 12 MNR	PEMBROKE PINES	FL	33025	LAKEWOOD AT EMERALD HILLS CONDOUNIT 509 BLDG 5PER CDO BK/PG: 41272/130
514101AC1100	GLOBES GROUP LLC	19111 COLLINS AVE UNIT 2006	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDOUNIT 510 BLDG 5PER CDO BK/PG: 41272/130
514101AC1110	SEVEN PAR LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 511 BLDG 5PER CDO BK/PG: 41272/130
514101AC1120	EARNEST,NELLI S	17555 COLLINS AVE #607	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDOUNIT 512 BLDG 5PER CDO BK/PG: 41272/130
514101AC1130	LAKEWOOD 513 LLC	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDOUNIT 513 BLDG 5PER CDO BK/PG: 41272/130
514101AC1140	HENDEL,HAGAY	3521 N 54 AVE	HOLLYWOOD	FL	33021 2337	LAKEWOOD AT EMERALD HILLS CONDOUNIT 514 BLDG 5PER CDO BK/PG: 41272/130
514101AC1150	TANDARICA INVESTMENTS CORP	20900 NE 30 AVE STE 200-27	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 515 BLDG 5PER CDO BK/PG: 41272/130
514101AC1160	PANBECA CORP	20200 W DIXIE HWY STE 907	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 516 BLDG 5PER CDO BK/PG: 41272/130
514101AC1170	GLOBES GROUP LLC	19111 COLLINS AVE UNIT 2006	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDOUNIT 517 BLDG 5PER CDO BK/PG: 41272/130
514101AC1180	HJG REAL PROPERTIES LLC	13017 BIG BEAR BLUFF	BOYNTON BEACH	FL	33473	LAKEWOOD AT EMERALD HILLS CONDOUNIT 518 BLDG 5PER CDO BK/PG: 41272/130
514101AC1190	MB ONE LLC	5100 VAN BUREN ST	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 519 BLDG 5PER CDO BK/PG: 41272/130
514101AC1200	MEIR,UZI & DORIT GAL OR	3650 N 36 AVE #22	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 520 BLDG 5PER CDO BK/PG: 41272/130
514101AC1210	SALPIETRO,SALVATORE	1931 CORDOVA RD #1155	FORT LAUDERDALE	FL	33316 2157	LAKEWOOD AT EMERALD HILLS CONDOUNIT 521 BLDG 5PER CDO BK/PG: 41272/130
514101AC1220	TEPPER,DAVIDTEPPER,DOV & KORIK,SILVAN	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 522 BLDG 5PER CDO BK/PG: 41272/130
514101AC1230	MK HADAR INVESTMENT LLC%OMER SHAHAR	1380 NE MIAMI GARDENS DR #205A	NORTH MIAMI BEACH	FL	33179	LAKEWOOD AT EMERALD HILLS CONDOUNIT 523 BLDG 5PER CDO BK/PG: 41272/130
514101AC1240	BEMASAN CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 524 BLDG 5PER CDO BK/PG: 41272/130
514101AC1250	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496 3834	LAKEWOOD AT EMERALD HILLS CONDOUNIT 601 BLDG 6PER CDO BK/PG: 41272/130
514101AC1260	EDENVEST LLC% JACOB K OHAYON	1835 NE MIAMI GARDENS DR	N MIAMI BEACH	FL	33179 5035	LAKEWOOD AT EMERALD HILLS CONDOUNIT 602 BLDG 6PER CDO BK/PG: 41272/130
514101AC1270	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496 3834	LAKEWOOD AT EMERALD HILLS CONDOUNIT 603 BLDG 6PER CDO BK/PG: 41272/130
514101AC1280	GABAY,TAYLORMASSRE,JACK	19700 NE 24 AVE	MIAMI	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 604 BLDG 6PER CDO BK/PG: 41272/130
514101AC1290	BRAVO LP PROPERTY MANAGEMENT LLC	935 NEWBRIDGE RD	NORTH BELLMORE	NY	11710	LAKEWOOD AT EMERALD HILLS CONDOUNIT 605 BLDG 6PER CDO BK/PG: 41272/130
514101AC1300	MOSERI PROPERTY LLC	251 174 ST #716	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDOUNIT 606 BLDG 6PER CDO BK/PG: 41272/130
514101AC1310	MOSERI PROPERTY LLC	251 174 ST #716	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDOUNIT 607 BLDG 6PER CDO BK/PG: 41272/130
514101AC1320	COHAVA LLC	3999 SHERIDAN ST 2 FLOOR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 608 BLDG 6PER CDO BK/PG: 41272/130
514101AC1330	MB ONE LLC	5100 VAN BUREN ST	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 609 BLDG 6PER CDO BK/PG: 41272/130
514101AC1340	BIEGUN,LILIANA M KRASMASKY DEBIEGUN,MARIO	21388 MARINA COVE CIR APT 17G	AVENTURA	FL	33180 3564	LAKEWOOD AT EMERALD HILLS CONDOUNIT 610 BLDG 6PER CDO BK/PG: 41272/130
514101AC1350	WEISS,MORDECHAIWEISS,GUY	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDOUNIT 611 BLDG 6PER CDO BK/PG: 41272/130

514101AC1360	HVZ INVESTMENTS	19380 COLLINS AVE PH 19	SUNNY ISLES BEACH	FL	33160	2456	LAKEWOOD AT EMERALD HILLS CONDOUNIT 612 BLDG 6PER CDO BK/PG: 41272/130
514101AC1370	MB ONE LLC	5100 VAN BUREN ST	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 613 BLDG 6PER CDO BK/PG: 41272/130
514101AC1380	M A FLORIDA INVESTMENT LLC	4730 SARAZEN AVE	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 614 BLDG 6PER CDO BK/PG: 41272/130
514101AC1390	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496	3834	LAKEWOOD AT EMERALD HILLS CONDOUNIT 615 BLDG 6PER CDO BK/PG: 41272/130
514101AC1400	OALA 4 CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180		LAKEWOOD AT EMERALD HILLS CONDOUNIT 616 BLDG 6PER CDO BK/PG: 41272/130
514101AC1410	ARIAS, WASHINGTON ARIAS, IVETTE	12945 STONEBROOK DR	DAVIE	FL	33330		LAKEWOOD AT EMERALD HILLS CONDOUNIT 617 BLDG 6PER CDO BK/PG: 41272/130
514101AC1420	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 618 BLDG 6PER CDO BK/PG: 41272/130
514101AC1430	BORAS LLC	6692 NW 107 CT	DORAL	FL	33178		LAKEWOOD AT EMERALD HILLS CONDOUNIT 619 BLDG 6PER CDO BK/PG: 41272/130
514101AC1440	OLIVIA CR CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180		LAKEWOOD AT EMERALD HILLS CONDOUNIT 620 BLDG 6PER CDO BK/PG: 41272/130
514101AC1450	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 621 BLDG 6PER CDO BK/PG: 41272/130
514101AC1460	ADS OF HOLLYWOOD LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDOUNIT 622 BLDG 6PER CDO BK/PG: 41272/130
514101AC1470	BLANCA NUBIA LIV TRVITERI, BLANCA NUBIA TRSTEE	618 N 46 AVE	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 623 BLDG 6PER CDO BK/PG: 41272/130
514101AC1480	HJG REAL PROPERTIES LLC	13017 BIG BEAR BLUFF	BOYNTON BEACH	FL	33473		LAKEWOOD AT EMERALD HILLS CONDOUNIT 624 BLDG 6PER CDO BK/PG: 41272/130
514101AC1490	MASSRE, RALPH	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301	1485	LAKEWOOD AT EMERALD HILLS CONDOUNIT 701 BLDG 7PER CDO BK/PG: 41272/130
514101AC1500	CARRERA PROPERTIES LLC	3540 N 53 AVE	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 702 BLDG 7PER CDO BK/PG: 41272/130
514101AC1510	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496	3834	LAKEWOOD AT EMERALD HILLS CONDOUNIT 703 BLDG 7PER CDO BK/PG: 41272/130
514101AC1520	1722 INVESTMENTS INC	2208 BAY DR #7	MIAMI BEACH	FL	33141		LAKEWOOD AT EMERALD HILLS CONDOUNIT 704 BLDG 7PER CDO BK/PG: 41272/130
514101AC1530	ROALOA LLC UNIT #A707	3564 AVALON PARK E BLVD STE 1	ORLANDO	FL	32828		LAKEWOOD AT EMERALD HILLS CONDOUNIT 705 BLDG 7PER CDO BK/PG: 41272/130
514101AC1540	ADS OF HOLLYWOOD LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDOUNIT 706 BLDG 7PER CDO BK/PG: 41272/130
514101AC1550	COHAHA LLC	3999 SHERIDAN ST 2 FLOOR	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 707 BLDG 7PER CDO BK/PG: 41272/130
514101AC1560	1722 INVESTMENTS INC	2208 BAY DR #7	MIAMI BEACH	FL	33141		LAKEWOOD AT EMERALD HILLS CONDOUNIT 708 BLDG 7PER CDO BK/PG: 41272/130
514101AC1570	MASSRE, JACK & TAYLOR	19700 NE 24 AVE	AVENTURA	FL	33180		LAKEWOOD AT EMERALD HILLS CONDOUNIT 709 BLDG 7PER CDO BK/PG: 41272/130
514101AC1580	TEPPER, DAVID KORIK, SILVANA	5830 SW 36 TER	FORT LAUDERDALE	FL	33312		LAKEWOOD AT EMERALD HILLS CONDOUNIT 710 BLDG 7PER CDO BK/PG: 41272/130
514101AC1590	GLOBES GROUP LLC	19111 COLLINS AVE APT 2006	SUNNY ISLES BEACH	FL	33160	2382	LAKEWOOD AT EMERALD HILLS CONDOUNIT 711 BLDG 7PER CDO BK/PG: 41272/130
514101AC1600	LEON, ERIKA	3670 N 56 AVE #712	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 712 BLDG 7PER CDO BK/PG: 41272/130
514101AC1610	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	2346	LAKEWOOD AT EMERALD HILLS CONDOUNIT 713 BLDG 7PER CDO BK/PG: 41272/130
514101AC1620	RADICE, GIANMARCO	1835 E HALLANDALE BCH BLVD #1937	HALLANDALE BEACH	FL	33009	4619	LAKEWOOD AT EMERALD HILLS CONDOUNIT 714 BLDG 7PER CDO BK/PG: 41272/130
514101AC1630	3670 N 56 AVENUE LLC	3396 NW 151 TER	MIAMI GARDENS	FL	33054		LAKEWOOD AT EMERALD HILLS CONDOUNIT 715 BLDG 7PER CDO BK/PG: 41272/130
514101AC1640	SUAZO, GISELA H/EOTERO, JESUS E	3670 N 56 AVE #716-7	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 716 BLDG 7PER CDO BK/PG: 41272/130
514101AC1650	SRD REALTY LLC	1835 E HALLANDALE BCH BLVD #298	HALLANDALE BEACH	FL	33009		LAKEWOOD AT EMERALD HILLS CONDOUNIT 717 BLDG 7PER CDO BK/PG: 41272/130
514101AC1660	JASMA LLC	19370 COLLINS AVE #716	SUNNY ISLES BEACH	FL	33160		LAKEWOOD AT EMERALD HILLS CONDOUNIT 718 BLDG 7PER CDO BK/PG: 41272/130
514101AC1670	PANICOL LLC	6692 NW 107 CT	DORAL	FL	33178		LAKEWOOD AT EMERALD HILLS CONDOUNIT 719 BLDG 7PER CDO BK/PG: 41272/130
514101AC1680	MASSRE, RALPH MASSRE, ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301	1485	LAKEWOOD AT EMERALD HILLS CONDOUNIT 720 BLDG 7PER CDO BK/PG: 41272/130
514101AC1690	JAM AT THE LAKES LLC	15557 NW 82 PL	MIAMI LAKES	FL	33016		LAKEWOOD AT EMERALD HILLS CONDOUNIT 721 BLDG 7PER CDO BK/PG: 41272/130
514101AC1700	WELLNESS LIASONS LLC	3520 E TREE TOPS CT	DAVIE	FL	33328		LAKEWOOD AT EMERALD HILLS CONDOUNIT 722 BLDG 7PER CDO BK/PG: 41272/130
514101AC1710	ANEMAR LLC	6815 PARK STRAND DR	APOLLO BEACH	FL	33572		LAKEWOOD AT EMERALD HILLS CONDOUNIT 723 BLDG 7PER CDO BK/PG: 41272/130
514101AC1720	GLOBES GROUP LLC	19111 COLLINS AVE APT 2006	SUNNY ISLES BEACH	FL	33160	2382	LAKEWOOD AT EMERALD HILLS CONDOUNIT 724 BLDG 7PER CDO BK/PG: 41272/130
514101AC1730	PERGRUN 1992 CORP	1835 NE MIAMI GARDENS DR #173	NORTH MIAMI BEACH	FL	33179		LAKEWOOD AT EMERALD HILLS CONDOUNIT 725 BLDG 7PER CDO BK/PG: 41272/130
514101AC1740	AGOSTINI, SIMONA	1835 E HALLANDALE BCH BLVD #298	HALLANDALE BEACH	FL	33009		LAKEWOOD AT EMERALD HILLS CONDOUNIT 726 BLDG 7PER CDO BK/PG: 41272/130
514101AC1750	1722 INVESTMENTS INC	17385 PONTE CHIASSO DR	BOCA RATON	FL	33496	3834	LAKEWOOD AT EMERALD HILLS CONDOUNIT 727 BLDG 7PER CDO BK/PG: 41272/130
514101AC1760	BEMASAN CORP	20200 W DIXIE HWY #907	AVENTURA	FL	33180		LAKEWOOD AT EMERALD HILLS CONDOUNIT 728 BLDG 7PER CDO BK/PG: 41272/130
514101AC1770	1722 INVESTMENTS INC	2208 BAY DR UNIT 7	MIAMI BEACH	FL	33141		LAKEWOOD AT EMERALD HILLS CONDOUNIT 729 BLDG 7PER CDO BK/PG: 41272/130
514101AC1780	JOHN, JUSTA	19491 NE 19 PL	MIAMI	FL	33179		LAKEWOOD AT EMERALD HILLS CONDOUNIT 730 BLDG 7PER CDO BK/PG: 41272/130
514101AC1790	LAKEWOOD 731 LLC	19380 COLLINS AVE #1426	SUNNY ISLES BEACH	FL	33160		LAKEWOOD AT EMERALD HILLS CONDOUNIT 731 BLDG 7PER CDO BK/PG: 41272/130
514101AC1800	GLOBES GROUP LLC	19111 COLLINS AVE #2006	SUNNY ISLES BEACH	FL	33160		LAKEWOOD AT EMERALD HILLS CONDOUNIT 732 BLDG 7PER CDO BK/PG: 41272/130
514101AC1810	MASSRE, JACK GABAY, TAYLOR	19700 NE 24 AVE	MIAMI	FL	33180		LAKEWOOD AT EMERALD HILLS CONDOUNIT 801 BLDG 8PER CDO BK/PG: 41272/130
514101AC1820	MASSRE, RALPH	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301	1485	LAKEWOOD AT EMERALD HILLS CONDOUNIT 802 BLDG 8PER CDO BK/PG: 41272/130
514101AC1830	STEVEN TCHIRA REAL ESTATE INVESTMENT HOLDINGS LLC	3328 NE 169 ST	NORTH MIAMI BEACH	FL	33160		LAKEWOOD AT EMERALD HILLS CONDOUNIT 803 BLDG 8PER CDO BK/PG: 41272/130
514101AC1840	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 804 BLDG 8PER CDO BK/PG: 41272/130
514101AC1850	HADAR PROPERTIES LLC	1040 SEMINOLE DR APT 858	FORT LAUDERDALE	FL	33304	3235	LAKEWOOD AT EMERALD HILLS CONDOUNIT 805 BLDG 8PER CDO BK/PG: 41272/130
514101AC1860	AOD PROPERTIES LLC	3690 N 56 AVE #926-9	HOLLYWOOD	FL	33021		LAKEWOOD AT EMERALD HILLS CONDOUNIT 806 BLDG 8PER CDO BK/PG: 41272/130

514101AC1870	WELLNESS LIASONS LLC	3520 E TREE TOPS CT	DAVIE	FL	33328	LAKEWOOD AT EMERALD HILLS CONDOUNIT 807 BLDG 8PER CDO BK/PG: 41272/130
514101AC1880	AOD PROPERTIES LLC	3690 N 56 AVE #926-9	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 808 BLDG 8PER CDO BK/PG: 41272/130
514101AC1890	G & R SOLUTIONS I LLC	2407 ARTHUR ST APT REAR	HOLLYWOOD	FL	33020	LAKEWOOD AT EMERALD HILLS CONDOUNIT 809 BLDG 8PER CDO BK/PG: 41272/130
514101AC1900	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDOUNIT 810 BLDG 8PER CDO BK/PG: 41272/130
514101AC1910	ADS OF HOLLYWOOD LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 811 BLDG 8PER CDO BK/PG: 41272/130
514101AC1920	MEIR,UZIMEIR,DORIT G	3650 N 36 AVE APT 22	HOLLYWOOD	FL	33021 2556	LAKEWOOD AT EMERALD HILLS CONDOUNIT 812 BLDG 8PER CDO BK/PG: 41272/130
514101AC1930	NJG FLORIDA PROPERTIES LLC	500 E 83 ST UNIT 2-C	NEW YORK	NY	10028	LAKEWOOD AT EMERALD HILLS CONDOUNIT 813 BLDG 8PER CDO BK/PG: 41272/130
514101AC1940	SAFE P.O. LLC	10201 COLLINS AVE UNIT 1202	SOUTH BAL HARBOUF	FL	33154	LAKEWOOD AT EMERALD HILLS CONDOUNIT 814 BLDG 8PER CDO BK/PG: 41272/130
514101AC1950	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDOUNIT 815 BLDG 8PER CDO BK/PG: 41272/130
514101AC1960	POKROVSKAIA,KSENIA	1594 WEEPING WILLOW WAY	HOLLYWOOD	FL	33019	LAKEWOOD AT EMERALD HILLS CONDOUNIT 816 BLDG 8PER CDO BK/PG: 41272/130
514101AC1970	COHEN,AVRAHAM	3680 N 56 AVE # 817-8	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 817 BLDG 8PER CDO BK/PG: 41272/130
514101AC1980	CARRERA PROPERTIES LLC	3540 N 53 AVE	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 818 BLDG 8PER CDO BK/PG: 41272/130
514101AC1990	PINEDA,IVAN J	5851 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 819 BLDG 8PER CDO BK/PG: 41272/130
514101AC2000	ATIKA INVESTMENTS LLC	5830 SW 36 TER	DANIA BEACH	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 820 BLDG 8PER CDO BK/PG: 41272/130
514101AC2010	WATKINS,TOYIA	2031 NW 99 TER	PEMBROKE PINES	FL	33024	LAKEWOOD AT EMERALD HILLS CONDOUNIT 821 BLDG 8PER CDO BK/PG: 41272/130
514101AC2020	BASTIDAS,JACQUELINE	3680 N 56 AVE APT 822	HOLLYWOOD	FL	33021 2277	LAKEWOOD AT EMERALD HILLS CONDOUNIT 822 BLDG 8PER CDO BK/PG: 41272/130
514101AC2030	UZIEL,DAVIDUZIEL,ESTHER	ARDOF 5	*AKKO	IL	24403	LAKEWOOD AT EMERALD HILLS CONDOUNIT 823 BLDG 8PER CDO BK/PG: 41272/130
514101AC2040	MASSRE,RALPH	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDOUNIT 824 BLDG 8PER CDO BK/PG: 41272/130
514101AC2050	FERNANDEZ,MARIA TERESA &HOYOS,OSCAR	3334 77TH ST APT 4H	JACKSON HEIGHTS	NY	11372 1216	LAKEWOOD AT EMERALD HILLS CONDOUNIT 825 BLDG 8PER CDO BK/PG: 41272/130
514101AC2060	LAKEWOOD 826-8 LLC	5830 SW 36 TER	DAVIE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 826 BLDG 8PER CDO BK/PG: 41272/130
514101AC2070	VICTOR,JODIE	3705 W PICO BLVD	LOS ANGELES	CA	90019 3451	LAKEWOOD AT EMERALD HILLS CONDOUNIT 827 BLDG 8PER CDO BK/PG: 41272/130
514101AC2080	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZAN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 828 BLDG 8PER CDO BK/PG: 41272/130
514101AC2090	MOE'S CELLS LLC	3701 N 47 AVE	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 829 BLDG 8PER CDO BK/PG: 41272/130
514101AC2100	PINEDA,IVAN	5851 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 830 BLDG 8PER CDO BK/PG: 41272/130
514101AC2110	R LUTHER FURR REV TRFURR,R LUTHER TRSTEE	819 N NORTHLAKE DR	HOLLYWOOD	FL	33019	LAKEWOOD AT EMERALD HILLS CONDOUNIT 831 BLDG 8PER CDO BK/PG: 41272/130
514101AC2120	SAINT BON,JOEL	3680 N 56 AVE #832	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 832 BLDG 8PER CDO BK/PG: 41272/130
514101AC2130	KOSHKKA LLC	PO BOX 17405	FORT LAUDERDALE	FL	33318	LAKEWOOD AT EMERALD HILLS CONDOUNIT 833 BLDG 8PER CDO BK/PG: 41272/130
514101AC2140	STEN PROJECTS LLC	703 WATERFORD WAY #805	MIAMI	FL	33126	LAKEWOOD AT EMERALD HILLS CONDOUNIT 834 BLDG 8PER CDO BK/PG: 41272/130
514101AC2150	MASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDOUNIT 835 BLDG 8PER CDO BK/PG: 41272/130
514101AC2160	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021 2346	LAKEWOOD AT EMERALD HILLS CONDOUNIT 836 BLDG 8PER CDO BK/PG: 41272/130
514101AC2170	RBSE PROPERTIES LLC	3301 NE 183 ST #401	AVENTURA	FL	33160	LAKEWOOD AT EMERALD HILLS CONDOUNIT 901 BLDG 9PER CDO BK/PG: 41272/130
514101AC2180	BEN,ELAD	10465 CANTERBURY CT	DAVIE	FL	33328	LAKEWOOD AT EMERALD HILLS CONDOUNIT 902 BLDG 9PER CDO BK/PG: 41272/130
514101AC2190	NG,YELITZA	16419 OAKVIEW DR	WESTLAKE	FL	33470 2246	LAKEWOOD AT EMERALD HILLS CONDOUNIT 903 BLDG 9PER CDO BK/PG: 41272/130
514101AC2200	PAGODA UNO LLC	2625 WESTON RD STE D	WESTON	FL	33331	LAKEWOOD AT EMERALD HILLS CONDOUNIT 904 BLDG 9PER CDO BK/PG: 41272/130
514101AC2210	HARRAR,DIBORA	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 905 BLDG 9PER CDO BK/PG: 41272/130
514101AC2220	YOL TWICE LLC	4485 FICUS ST	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 906 BLDG 9PER CDO BK/PG: 41272/130
514101AC2230	AGKW GROUP LLC	18545 SW 47 CT	MIRAMAR	FL	33029	LAKEWOOD AT EMERALD HILLS CONDOUNIT 907 BLDG 9PER CDO BK/PG: 41272/130
514101AC2240	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 908 BLDG 9PER CDO BK/PG: 41272/130
514101AC2250	CARRERA PROPERTIES LLC	3540 N 53 AVE	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 909 BLDG 9PER CDO BK/PG: 41272/130
514101AC2260	HARRAR,JOSEPH	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 910 BLDG 9PER CDO BK/PG: 41272/130
514101AC2270	DE MAGRISIO,RAQUEL BAZANRAQUEL MAGRISIO REV TR	3690 N 56 AVE #911	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 911 BLDG 9PER CDO BK/PG: 41272/130
514101AC2280	AGHIA SOPHIA LLC% SERBER & ASSOCIATES P A	2875 NE 191ST ST STE 901	MIAMI	FL	33180 2842	LAKEWOOD AT EMERALD HILLS CONDOUNIT 912 BLDG 9PER CDO BK/PG: 41272/130
514101AC2290	ATIKA INVESTMENTS LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 913 BLDG 9PER CDO BK/PG: 41272/130
514101AC2300	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDOUNIT 914 BLDG 9PER CDO BK/PG: 41272/130
514101AC2310	AGHIA SOPHIA LLC%SERBER & ASSOCIATES PA	2875 NE 191ST ST STE 901	MIAMI	FL	33180 2842	LAKEWOOD AT EMERALD HILLS CONDOUNIT 915 BLDG 9PER CDO BK/PG: 41272/130
514101AC2320	MIZ BEACH LLC	4201 COLLINS AVE #2103	MIAMI BEACH	FL	33140	LAKEWOOD AT EMERALD HILLS CONDOUNIT 916 BLDG 9PER CDO BK/PG: 41272/130
514101AC2330	M A FLORIDA INVESTMENT LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 917 BLDG 9PER CDO BK/PG: 41272/130
514101AC2340	101 HOLDINGS LLC	PO BOX 17405	FORT LAUDERDALE	FL	33318	LAKEWOOD AT EMERALD HILLS CONDOUNIT 918 BLDG 9PER CDO BK/PG: 41272/130
514101AC2350	KORLICAR,MOSHE	10681 NW 18 CT	PLANTATION	FL	33322	LAKEWOOD AT EMERALD HILLS CONDOUNIT 919 BLDG 9PER CDO BK/PG: 41272/130
514101AC2360	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZAN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 920 BLDG 9PER CDO BK/PG: 41272/130
514101AC2370	BARRERA,MILAGROS DE JESUSBARRERA,CARMEN MARIA ROSA	2813 NW 83 TER	COOPER CITY	FL	33024	LAKEWOOD AT EMERALD HILLS CONDOUNIT 921 BLDG 9PER CDO BK/PG: 41272/130

514101AC2380	M A FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 922 BLDG 9PER CDO BK/PG: 41272/130
514101AC2390	POKROVSKAIA,KSENIA	1594 WEEPING WILLOW WAY #923-9	HOLLYWOOD	FL	33019	LAKEWOOD AT EMERALD HILLS CONDOUNIT 923 BLDG 9PER CDO BK/PG: 41272/130
514101AC2400	AGRONOR LLC	3475 SHERIDAN ST STE 215C	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 924 BLDG 9PER CDO BK/PG: 41272/130
514101AC2410	PINEDA,IVAN	5851 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 925 BLDG 9PER CDO BK/PG: 41272/130
514101AC2420	MENAHAM,AMY	3690 N 56 AVE #926-9	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 926 BLDG 9PER CDO BK/PG: 41272/130
514101AC2430	ADS OF HOLLYWOOD LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 927 BLDG 9PER CDO BK/PG: 41272/130
514101AC2440	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDOUNIT 928 BLDG 9PER CDO BK/PG: 41272/130
514101AC2450	BEDEAU,WILFRED E	3961 NW 207 DR	MIAMI	FL	33055	LAKEWOOD AT EMERALD HILLS CONDOUNIT 929 BLDG 9PER CDO BK/PG: 41272/130
514101AC2460	GROSS,LEON	3832 MAPLE AVE	BROOKLYN	NY	11224	LAKEWOOD AT EMERALD HILLS CONDOUNIT 930 BLDG 9PER CDO BK/PG: 41272/130
514101AC2470	MEIR,DORIT GMEIR,UZI	3650 N 36 AVE APT 22	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 931 BLDG 9PER CDO BK/PG: 41272/130
514101AC2480	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDOUNIT 932 BLDG 9PER CDO BK/PG: 41272/130
514101AC2490	ARGOT LLC	2875 NE 191 ST #801	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 933 BLDG 9PER CDO BK/PG: 41272/130
514101AC2500	FRANYO,GYULA	3690 N 56 AVE #934	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 934 BLDG 9PER CDO BK/PG: 41272/130
514101AC2510	PINEDA,IVAN	5851 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 935 BLDG 9PER CDO BK/PG: 41272/130
514101AC2520	LAKEWOOD 936 LLC	19380 COLLINS AVE #1426	SUNNY ISLES BEACH	FL	33160	LAKEWOOD AT EMERALD HILLS CONDOUNIT 936 BLDG 9PER CDO BK/PG: 41272/130
514101AC2530	G CUATRO LLC	150 S PINE ISLAND RD #300	PLANTATION	FL	33324	LAKEWOOD AT EMERALD HILLS CONDOUNIT 937 BLDG 9PER CDO BK/PG: 41272/130
514101AC2540	KORLICAR,MOSHE	10681 NW 18 CT	PLANTATION	FL	33322	LAKEWOOD AT EMERALD HILLS CONDOUNIT 938 BLDG 9PER CDO BK/PG: 41272/130
514101AC2550	GAVRA,ITZHAKGAVRA,ZACHI	20900 NE 30 AVE #514	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 939 BLDG 9PER CDO BK/PG: 41272/130
514101AC2560	940 INVESTMENT LLC	76 ISLE OF VENICE DR #G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDOUNIT 940 BLDG 9PER CDO BK/PG: 41272/130
514101AC2570	CHANG,KENNETH & MARBELIA NG	9700 STIRLING RD STE 109	HOLLYWOOD	FL	33024 8011	LAKEWOOD AT EMERALD HILLS CONDOUNIT 941 BLDG 9PER CDO BK/PG: 41272/130
514101AC2580	ENCORE REALTY TRENCORE MANAGEMENT LLC TRSTEE	12525 ORANGE DR #708	DAVIE	FL	33330	LAKEWOOD AT EMERALD HILLS CONDOUNIT 942 BLDG 9PER CDO BK/PG: 41272/130
514101AC2590	COPE BROTHERS LLC	1172 S DIXIE HWY	CORAL GABLES	FL	33146 2918	LAKEWOOD AT EMERALD HILLS CONDOUNIT 943 BLDG 9PER CDO BK/PG: 41272/130
514101AC2600	MASSRE,JACKMASSRE,TAYLOR	19700 NE 24 AVE	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 944 BLDG 9PER CDO BK/PG: 41272/130
514101AC2610	PERACH,ATAR	20900 NE 30 AVE STE 510	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 945 BLDG 9PER CDO BK/PG: 41272/130
514101AC2620	WEISS,DVIRBAN,EVA	PO BOX 17405	PLANTATION	FL	33318 7405	LAKEWOOD AT EMERALD HILLS CONDOUNIT 946 BLDG 9PER CDO BK/PG: 41272/130
514101AC2630	GONZALEZ FUENTES,MARTHA C	3690 N 56 AVE #947	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 947 BLDG 9PER CDO BK/PG: 41272/130
514101AC2640	CELL PROPERTIES LLC	1835 NE MIAMI GARDENS DR #180	NORTH MIAMI BEACH	FL	33179	LAKEWOOD AT EMERALD HILLS CONDOUNIT 948 BLDG 9PER CDO BK/PG: 41272/130
514101AC2650	KORIK,SILVANA	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1001 BLDG 10PER CDO BK/PG: 41272/130
514101AC2660	SANCHEZ,DIONISIO A	1121 NW 18 PL	MIAMI	FL	33125	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1002 BLDG 10PER CDO BK/PG: 41272/130
514101AC2670	ZECHARIA,HERZEL%SIDOW INC	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1003 BLDG 10PER CDO BK/PG: 41272/130
514101AC2680	EJL INVESTMENTS LLC	5130 N HILLS DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1004 BLDG 10PER CDO BK/PG: 41272/130
514101AC2690	SUNAK,YAAKOV & ESTHER% SIDOW INC	PO BOX 17405	PLANTATION	FL	33318	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1005 BLDG 10PER CDO BK/PG: 41272/130
514101AC2700	ADS OF HOLLYWOOD LLC	5830 SW 36 TER	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1006 BLDG 10PER CDO BK/PG: 41272/130
514101AC2710	DIVERSIFIED RE HOLDINGS LLC	2425 E COMMERCIAL BLVD #402	FORT LAUDERDALE	FL	33308	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1007 BLDG 10PER CDO BK/PG: 41272/130
514101AC2720	WINDMILL REAL TRPERPETUAL TRS SERVICES	2701 GRIFFIN RD	FORT LAUDERDALE	FL	33312	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1008 BLDG 10PER CDO BK/PG: 41272/130
514101AC2730	MASSRE,RALPH	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1009 BLDG 10PER CDO BK/PG: 41272/130
514101AC2740	LEVY,MOSHE	3700 N 56 AVE #1010	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1010 BLDG 10PER CDO BK/PG: 41272/130
514101AC2750	MEYER FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1011 BLDG 10PER CDO BK/PG: 41272/130
514101AC2760	CELL PROPERTIES LLC	1835 NE MIAMI GARDENS DR #180	NORTH MIAMI BEACH	FL	33179	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1012 BLDG 10PER CDO BK/PG: 41272/130
514101AC2770	DIE NUDEL LLC	2875 NE 191 ST SUITE 801	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1013 BLDG 10PER CDO BK/PG: 41272/130
514101AC2780	MA FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1014 BLDG 10PER CDO BK/PG: 41272/130
514101AC2790	COHAVA LLC	3999 SHERIDAN ST FLOOR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1015 BLDG 10PER CDO BK/PG: 41272/130
514101AC2800	BAN,EVAWEISS,DVIR	9801 COLLINS AVE APT 17Q	BAL HARBOUR	FL	33154 1823	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1016 BLDG 10PER CDO BK/PG: 41272/130
514101AC2810	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1017 BLDG 10PER CDO BK/PG: 41272/130
514101AC2820	M SFL INVESTMENTS LLC	PO BOX 292534	FORT LAUDERDALE	FL	33329	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1018 BLDG 10PER CDO BK/PG: 41272/130
514101AC2830	HARRAR,DIBORA	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1019 BLDG 10PER CDO BK/PG: 41272/130
514101AC2840	MA FLORIDA INVESTMENTS LLC	4730 SARAZEN DR	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1020 BLDG 10PER CDO BK/PG: 41272/130
514101AC2850	JOSE FERNANDO BERMUDEZ REV TRBERMUDEZ,JOSE FERNANDO TRSTEE	1800 N 32 CT	HOLLYWOOD	FL	33021	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1021 BLDG 10PER CDO BK/PG: 41272/130
514101AC2860	LAKEWOOD EMERALD HILLS CONDO INC% BROUGH CHADROW & LEVINE PA	2149 N COMMERCE PKWY	WESTON	FL	33326	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1022 BLDG 10PER CDO BK/PG: 41272/130
514101AC2870	GABAY,TAYLORMASSRE,JACK	19700 NE 24 AVE	AVENTURA	FL	33180	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1023 BLDG 10PER CDO BK/PG: 41272/130
514101AC2880	MASSRE,RALPH	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301 1485	LAKEWOOD AT EMERALD HILLS CONDOUNIT 1024 BLDG 10PER CDO BK/PG: 41272/130

514101AC2890	MASSRE,RALPHMASSRE,ROSIE	76 ISLE OF VENICE DR APT G	FORT LAUDERDALE	FL	33301		LAKESWOOD AT EMERALD HILLS CONDOUNIT 1025 BLDG 10PER CDO BK/PG: 41272/130
514101AC2900	ROTHSCHILD,KENNETH	3591 SIMMS STREET	HOLLYWOOD	FL	33021	3103	LAKESWOOD AT EMERALD HILLS CONDOUNIT 1026 BLDG 10PER CDO BK/PG: 41272/130
514101AC2910	FARAGE,DORA E	3700 N 56 AVE #1027	HOLLYWOOD	FL	33021		LAKESWOOD AT EMERALD HILLS CONDOUNIT 1027 BLDG 10PER CDO BK/PG: 41272/130
514101AC2920	GROMOV,ALEXANDRE	110 PROMENADE CIR APT 406	*THORNHILL ON	CA	L4J 7	W8	LAKESWOOD AT EMERALD HILLS CONDOUNIT 1028 BLDG 10PER CDO BK/PG: 41272/130
514101AC2930	HENDEL,HAGAY	3521 N 54 AVE	HOLLYWOOD	FL	33021	2337	LAKESWOOD AT EMERALD HILLS CONDOUNIT 1029 BLDG 10PER CDO BK/PG: 41272/130
514101AC2940	PEZ PROPERTIES LLC	5323 SW 34 WAY	FORT LAUDERDALE	FL	33312	5537	LAKESWOOD AT EMERALD HILLS CONDOUNIT 1030 BLDG 10PER CDO BK/PG: 41272/130
514101AC2950	GROSS,LEON	3832 MAPLE AVE	BROOKLYN	NY	11224		LAKESWOOD AT EMERALD HILLS CONDOUNIT 1031 BLDG 10PER CDO BK/PG: 41272/130
514101AC2960	LAKESWOOD 1032 LLC	19380 COLLINS AVE #1426	SUNNY ISLES BEACH	FL	33160		LAKESWOOD AT EMERALD HILLS CONDOUNIT 1032 BLDG 10PER CDO BK/PG: 41272/130
514101AC2970	SUNAK,ESTHERSUNAK,YAAKOV	PO BOX 17405	PLANTATION	FL	33318		LAKESWOOD AT EMERALD HILLS CONDOUNIT 1033 BLDG 10PER CDO BK/PG: 41272/130
514101AC2980	FOURBUSINESS LLC	2625 WESTON RD #D	WESTON	FL	33331		LAKESWOOD AT EMERALD HILLS CONDOUNIT 1034 BLDG 10PER CDO BK/PG: 41272/130
514101AC2990	SPIELMAN,MEIRSPIELMAN,SARA ESTHER	4997 NW 67 AVE	LAUDERHILL	FL	33319		LAKESWOOD AT EMERALD HILLS CONDOUNIT 1035 BLDG 10PER CDO BK/PG: 41272/130
514101AC3000	STEINBERG,ESTHER CITY OF HOLLYWOOD DEPT. OF PLANNING & DEVELOPMENT SERVICES PO BOX 229045 HOLLYWOOD FL 33022-9045	3035 LYNDBURST J	DEERFIELD BEACH	FL	33442	2266	LAKESWOOD AT EMERALD HILLS CONDOUNIT 1036 BLDG 10PER CDO BK/PG: 41272/130

CITY OF HOLLYWOOD
NOTICE
OF
PUBLIC HEARING
PETITION: 24-220P-67
LOCATION: On lot 206 between 84th
and 27th
Approximately north Hollywood Blvd. & 27th St.
TIME AND DATE: 5:00pm 8/19/2023
FOR INFORMATION ONLY: The public hearing is held
in front of the Board of Public Works, 1st Floor
CITY HALL, 8155 Wilshire Blvd., Los Angeles, CA 90047
NOTED: 8/15/2023 BY: C/09

**CITY OF HOLLYWOOD
NOTICE
OF
PUBLIC HEARING**

PETITION: 24-ZJDP-67

LOCATION: City Hall 2681 Hollywood Blvd,
Room 219

Virtually: www.hollywoodfl.org/calendar

TIME AND DATE: 5:00pm 9/23/2025

FOR INFORMATION CALL THE CITY OF HOLLYWOOD
OFFICE OF PLANNING AT 954-925-5871, OPTION 2

POSTED: 8/25/2025 **BY:** Cityfla

**CITY OF HOLLYWOOD
NOTICE
OF**

PUBLIC HEARING

PETITION: 24-ZJDP-67

LOCATION: City Hall 2600 Hollywood Blvd,
Room 219

Virtually: www.hollywoodfl.org/calendar

TIME AND DATE: 5:00pm 9/09/2025

FOR INFORMATION CALL THE CITY OF HOLLYWOOD
OFFICE OF PLANNING AT (954) 963-4111, OPTION 3

POSTED 8/25/2025 **BY** Cufro

**CITY OF HOLLYWOOD
NOTICE
OF
PUBLIC HEARING**
PETITION: 24-ZJOP-67
**LOCATION: City Hall 1600 Hollywood Blvd,
Room 208**
Virtually: www.hollywood-ca.org/calendar
TIME AND DATE: 5:00pm, 8/25/2025
FOR INFORMATION CALL THE CITY OF HOLLYWOOD
OFFICE OF PLANNING AT 310-361-3671, OPTION 2
POSTED 8/25/2025 BY: Cates