

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 11/24/23

Location Address: 2621-2631 Polk St Hollywood, FL 33020
Lot(s): 4 Block(s): 32 Subdivision: Hollywood 1: Hle Poches
Folio Number(s): 514216023520

Zoning Classification: MC-1 Land Use Classification: Multi Family Residential
Existing Property Use: Single family. Sq Ft/Number of Units: 4098 sq ft / 2

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): Yes. / Pass.

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: 4 story Residential Building.

Number of units/rooms: 72 Sq Ft: 61,535

Value of Improvement: 4,000,000 Estimated Date of Completion: 1/2024

Will Project be Phased? (X) Yes () No If Phased, Estimated Completion of Each Phase
Phase I 1/2024 Phase II 2/2024

Name of Current Property Owner: S & B LLC

Address of Property Owner: 17555 Collins Ave # 1606 Sunny Island FL

Telephone: 917-912-0851 Fax: _____ Email Address: benze1018@gmail.com

Name of Consultant/Representative/Tenant (circle one): Ari Sklar.

Address: 2310 Hollywood Blvd, Hollywood Telephone: 454-925-9292

Fax: _____ Email Address: Ari@sklararchitect.com

Date of Purchase: 10/22/20 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Ben Rasabi

Hollywood FL 33020 Address: 2743 Hollywood Blvd
Email Address: Ben251018@gmail.com

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: BEN RASABY Date: 01/24/23

PRINT NAME: BEN RASABY Date: 01/24/23

Signature of Consultant/Representative: [Signature] Date: _____

PRINT NAME: Asi Skler Date: 1/25/23

Signature of Tenant: N/A Date: _____

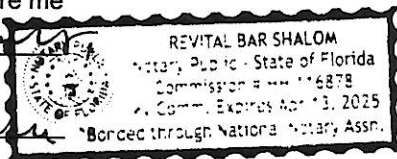
PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 24 day of January
[Signature]
Notary Public



State of Florida

My Commission Expires: 4/13/25 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

BEN RASABY
Signature of Current Owner

BEN RASABY
Print Name



A Civil Engineering Firm
Tel: (786)302-7693 • Email: wilford@zephyrengineeringfl.com

December 13, 2022

New Residential Building
2621-31 Polk Street
Hollywood, FL 33020

PEAK STAGES

| STORM EVENT | PRE-DEVELOPMENT | POST-DEVELOPMENT |
|-------------------------|------------------------|-------------------------|
| 5 Year - 1 Hour | N/A | 7.29' NAVD88 |
| 25 YEAR - 3 DAY | 11.51' NAVD88 | 10.83' NAVD88 |
| 100 YEAR - 3 DAY | 11.84' NAVD88 | 11.33' NAVD88 |

Prepared by:

Wilford Zephyr, P.E., LEED AP, CFM

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Project Name: New Residential Building
Project Address: 2621-31 Polk Street
Hollywood, FL 33020
ZE Project #: 22-66

Date: 12/13/22
Designed by:
Wilford Zephyr, P.E.

| |
|-------------------------|
| Post Development |
|-------------------------|

All Elevations are referenced to NAVD88 vertical datum

Site Data

| | | |
|------------------------|---------|--------|
| Project Area: | 0.94 AC | |
| Pavement Area: | 0.68 AC | |
| Building Area: | 0.05 AC | |
| Grass Area (Pervious): | 0.21 AC | |
| Lake Area: | 0 AC | |
| Total Pervious Area: | 0.21 AC | 22.34% |
| Total Impervious Area: | 0.73 AC | 77.66% |

Design Parameters

| | |
|-----------------------------|----------|
| Water Table Elevation: | 1.00 ft |
| Exist. Crown of Road Elev.: | 10.45 ft |
| Average Finished Grades: | 10.50 ft |
| Prop. Finished Floor Elev.: | 11.90 ft |

C Factor

| | |
|-------------|-----|
| Pervious: | 0.6 |
| Impervious: | 0.9 |

$$\text{C Factor (weighted)} = \frac{0.21 (0.60) + 0.68 (.90)}{0.89} = 0.83$$

Storm Event Information

| | |
|--------------------------|---|
| 3 year, 1 hour event: | 2.5 inches (for retention/detention) |
| 5 year, 1 hour event: | 3.28 inches (for lowest parking lot pavement elevation) |
| 25 year, 24 hour event: | 10.50 inches |
| 25 year, 72 hour event: | 14.27 inches (Perimeter Control Elevation) |
| 100 year, 24 hour event: | 13 inches |
| 100 year, 72 hour event: | 17.67 inches (Finished Floor Elevation) |

Soil Storage (S) & Curve Number (CN)

All Elevations are referenced to NAVD88

Cumulative Water Storage (CWS)

Design Water Table (WT) = 1.00 ft

Average Finished Grade = 10.50 ft

Average Depth to Water Table (DWT) = 9.50 ft

Cumulative Water Storage (CWS) = 6.75 IN

(from table below)

Cumulative Soil Moisture Storage (flatwoods soil)

| DWT | NAS | DAS |
|-------|--------|--------|
| 1.0 ' | 0.60 " | 0.45 " |
| 2.0 ' | 2.50 " | 1.88 " |
| 3.0 ' | 5.40 " | 4.05 " |
| 4.0 ' | 9.00 " | 6.75 " |

DWT=Depth to Water Table

NAS=Natural Available Storage

DAS=Developed Available Storage

Soil Storage (S in inches)

$S = \text{CWS} \times (\text{percentage of total pervious area}) =$

1.51

Curve Number (CN)

$\text{CN} = 1000 / (S + 10) =$ 86.90

Water Quality Retention/Detention Calculations

Water Quality Calculations

- A. For a wet detention system, size system for highest of first inch of runoff over the entire site or 2.5" times the % impervious area
- B. For a dry detention system, size system for 75% of the volume required for a wet detention system.
- C. For a retention system, size system for 50% of the volume required for a wet detention system.

1 IN Over Entire Site

1 IN X 1 ft / 12 IN X = First 1" of runoff

1" X .94 acres = 0.94 acre-inches (0.078 acre-ft)

2.5 INCHES Times Percent Impervious

Total project area - roof area = 0.94 acres - 0.05 acres = 0.89 acres

0.89 acres - 0.21 acres (pervious area) = 0.68 acres

0.68 acres / 0.89 acres X 100% = 76.40% impervious

2.5" X 0.7640 = 1.91" to be treated

1.91" X 0.94 acres = 1.80 acre-inches (0.15 acre-feet)

0.15 acre-ft of storage required for water quality.

**Water quality storage provided in proposed
exfiltration trench system.**

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$$Q = (P - 0.2S)^2 / (P + 0.8S) \quad V = Q \times A \text{ (ft/ 12 in)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches)

A = site area (acre)

V = Runoff Volume (ac-ft)

Finished Floor Elevation

P_{1 day} = 100 year, 24 hour event: 13 (inches)

P_{3 day} = 100 year, 72 hour event: 17.67 (inches)

S = 1.51 (inches)

A = 0.94 (acre)

Q = 15.98 (inches)

V = 1.25 (ac-ft)

Corresponding Stage = 11.33 ft

Set minimum finished floor elevation at 11.90' NAVD88.

Perimeter Control Elevation

P_{1 day} = 25 year, 24 hour event: 10.5 (inches)

P_{3 day} = 25 year, 72 hour event: 14.27 (inches)

S = 1.51 (inches) (see "Soil Storage" sheet

A = 0.94 (acre) for calculating "S")

Q = 12.61 (inches)

V = 0.99 (ac-ft)

Corresponding Stage = 10.83 ft

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$$Q = (P - 0.2S)^2 / (P + 0.8S)$$

$$V = Q \times A \text{ (ft/ 12 in)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches)

A = site area (acre)

V = Runoff Volume (ac-ft)

5 Year - 1 Hour Storm Event

| | | |
|--------------------------|----|---------------|
| P= 5 year, 1 hour event: | | 3.28 (inches) |
| | S= | 1.51 (inches) |
| | A= | 0.94 (acre) |

Q = 1.98 (inches)

V = 0.15 (ac-ft)

Corresponding Stage = 7.29 ft

Stage Storage

All Elevations are referenced to NAVD88

Total Surface Storage Area = 0.61 AC

(0.19 AC)*

(0.68 AC)

(Lin. 9.00'-10.25')

(Lin. from 9.50'-11.90')

| Stage | Surface Storage (Landscape) | Surface Storage (Pavement) | Trench Storage | Total |
|--------------|--|---|---------------------------|--------------|
| 7.00 ' | 0.00 AC-FT | 0.00 AC-FT | 0.00 AC-FT | 0.00 AC-FT |
| 7.50 ' | 0.00 AC-FT | 0.00 AC-FT | 0.26 AC-FT | 0.26 AC-FT |
| 8.00 ' | 0.00 AC-FT | 0.00 AC-FT | 0.26 AC-FT | 0.26 AC-FT |
| 8.50 ' | 0.00 AC-FT | 0.00 AC-FT | 0.26 AC-FT | 0.26 AC-FT |
| 9.00 ' | 0.00 AC-FT | 0.00 AC-FT | 0.26 AC-FT | 0.26 AC-FT |
| 9.50 ' | 0.05 AC-FT | 0.00 AC-FT | 0.26 AC-FT | 0.31 AC-FT |
| 10.00 ' | 0.10 AC-FT | 0.17 AC-FT | 0.26 AC-FT | 0.53 AC-FT |
| 10.50 ' | 0.21 AC-FT | 0.34 AC-FT | 0.26 AC-FT | 0.81 AC-FT |
| 11.00 ' | 0.31 AC-FT | 0.51 AC-FT | 0.26 AC-FT | 1.08 AC-FT |
| 11.50 ' | 0.40 AC-FT | 0.68 AC-FT | 0.26 AC-FT | 1.34 AC-FT |
| 12.00 ' | 0.50 AC-FT | 0.88 AC-FT | 0.26 AC-FT | 1.64 AC-FT |

*total landscape area=0.21 AC. 10% reduction applied (-0.021 AC) due to loss of stormwater storage from tree trunks.

| | |
|---|--|
| Exfiltration Trench Length Calculation | |
|---|--|

All elevations are referenced to NAVD88 vertical datum.

Calculating H₂

Design Water Table (WT) = 1.00 ft
 Lowest Catch Basin Elevation = 9.50 ft
 Bottom of Exfiltration Trench = 2.70 ft
 Top of Exfiltration Trench = 7.70 ft
 EL_{inv.} = N/A

H₂ = 6.80 ft

Calculating Exfiltration Trench Length

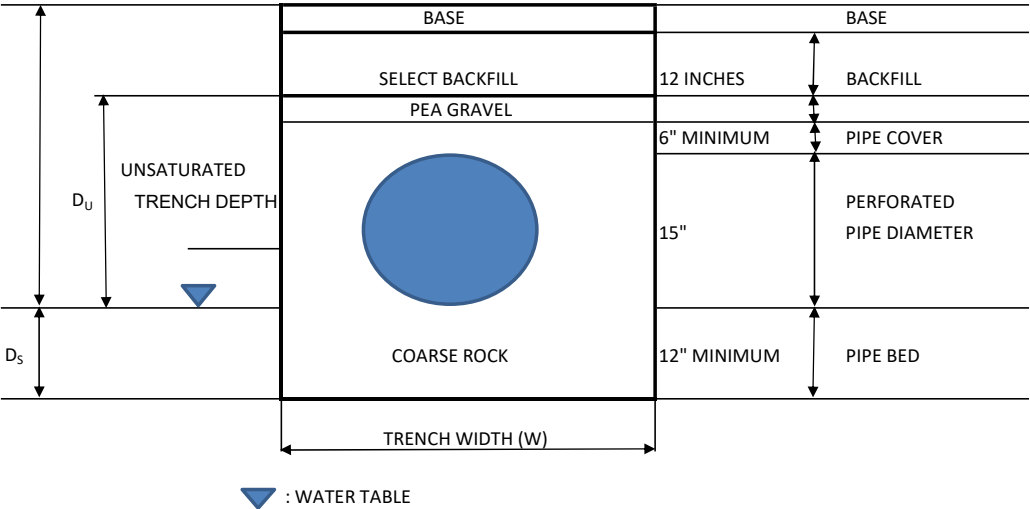
EL_{inv.} = invert elevation of lowest weir/bleeder allowing discharge from trench
 L_R = length of trench required (ft)
 L_P = length of trench provided (ft)
 V_{exft.} = volume in exfiltration trench (ac-in)
 FS = factor of safety
 K =hydraulic conductivity (cfs/ft² - ft head)
 H₂ = head on saturated surface (ft)
 W = trench width (ft)
 D_U = unsaturated trench depth (ft)
 D_S = saturated trench depth

$$L_R = \frac{FS[(\%WQ)(V_{wq}) + V_{add}]}{K[H_2W + 2H_2D_U - D_U^2 + 2H_2D_S] + (1.39 \times 10^{-4})(WD_U)}$$

V_{wq} = 1.8 (0.15 ac-ft)
 V_{add} = 1.28 (0.11 ac-ft)
 %WQ = 0.5
 FS = 2
 K = 0.0001
 H₂ = 6.8
 W = 10
 D_U = 5
 D_S = 0

L_R = 241.55 ' of exfiltration trench required.

L_P = 250' of exfiltration trench provided.



Project Name: New Residential Building
Project Address: 2621-31 Polk Street
Hollywood, FL 33020
ZE Project #: 22-66

Date: 12/13/22
Designed by:
Wilford Zephyr, P.E.

| |
|------------------------|
| Pre Development |
|------------------------|

All Elevations are referenced to NAVD88 vertical datum

Site Data

| | | |
|------------------------|---------|--------|
| Project Area: | 0.94 AC | |
| Pavement Area: | 0.1 AC | |
| Building Area: | 0.11 AC | |
| Grass Area (Pervious): | 0.73 AC | |
| Lake Area: | 0 AC | |
| Total Pervious Area: | 0.73 AC | 77.66% |
| Total Impervious Area: | 0.21 AC | 22.34% |

Design Parameters

| | |
|-----------------------------|----------|
| Water Table Elevation: | 1.00 ft |
| Exist. Crown of Road Elev.: | 10.45 ft |
| Average Finished Grades: | 10.10ft |
| Prop. Finished Floor Elev.: | 12.26 ft |

C Factor

| | |
|-------------|-----|
| Pervious: | 0.6 |
| Impervious: | 0.9 |

C Factor (weighted) = $\frac{0.73 (0.60) + 0.1 (.90)}{0.83} = 0.64$

Storm Event Information

| | |
|--------------------------|---|
| 3 year, 1 hour event: | 2.5 inches (for retention/detention) |
| 5 year, 1 hour event: | 3.28 inches (for lowest parking lot pavement elevation) |
| 25 year, 24 hour event: | 10.50 inches |
| 25 year, 72 hour event: | 14.27 inches (Perimeter Control Elevation) |
| 100 year, 24 hour event: | 13 inches |
| 100 year, 72 hour event: | 17.67 inches (Finished Floor Elevation) |

Soil Storage (S) & Curve Number (CN)

All Elevations are referenced to NAVD88

Cumulative Water Storage (CWS)

Design Water Table (WT) = 1.00 ft

Average Finished Grade = 10.10 ft

Average Depth to Water Table (DWT) = 9.10 ft

Cumulative Water Storage (CWS) = 6.75 IN

(from table below)

Cumulative Soil Moisture Storage (flatwoods soil)

| DWT | NAS | DAS |
|-------|--------|--------|
| 1.0 ' | 0.60 " | 0.45 " |
| 2.0 ' | 2.50 " | 1.88 " |
| 3.0 ' | 5.40 " | 4.05 " |
| 4.0 ' | 9.00 " | 6.75 " |

DWT=Depth to Water Table

NAS=Natural Available Storage

DAS=Developed Available Storage

Soil Storage (S in inches)

$S = CWS \times (\text{percentage of total pervious area}) =$

5.24

Curve Number (CN)

$CN = 1000 / (S + 10) =$ 65.61

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$$Q = (P - 0.2S)^2 / (P + 0.8S) \quad V = Q \times A \text{ (ft/ 12 in)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches)

A = site area (acre)

V = Runoff Volume (ac-ft)

Finished Floor Elevation

P_{1 day} = 100 year, 24 hour event: 13 (inches)

P_{3 day} = 100 year, 72 hour event: 17.67 (inches)

S = 5.24 (inches)

A = 0.94 (acre)

Q = 12.63 (inches)

V = 0.99 (ac-ft)

Corresponding Stage = 11.84 ft

Perimeter Control Elevation

P_{1 day} = 25 year, 24 hour event: 10.5 (inches)

P_{3 day} = 25 year, 72 hour event: 14.27 (inches)

S = 5.24 (inches) (see "Soil Storage" sheet

A = 0.94 (acre) for calculating "S")

Q = 9.47 (inches)

V = 0.74 (ac-ft)

Corresponding Stage = 11.51 ft

Stage Storage

All Elevations are referenced to NAVD88

Total Surface Storage Area = 0.94 AC

| | | | | |
|--------------|-----------------------------------|---------------------------------------|---------------------------|--------------|
| | (0.66 AC)* (Lin. 9.70'-11.40') | (0.10 AC) (Lin. from 9.60'-11.40') | | |
| | Surface Storage | Surface Storage | Trench Storage | |
| Stage | (Landscape) | (Pavement) | | Total |
| 9.50 ' | 0.00 AC-FT | 0.00 AC-FT | 0.00 AC-FT | 0.00 AC-FT |
| 10.00 ' | 0.10 AC-FT | 0.02 AC-FT | 0.00 AC-FT | 0.12 AC-FT |
| 10.50 ' | 0.26 AC-FT | 0.05 AC-FT | 0.00 AC-FT | 0.31 AC-FT |
| 11.00 ' | 0.43 AC-FT | 0.07 AC-FT | 0.00 AC-FT | 0.50 AC-FT |
| 11.50 ' | 0.63 AC-FT | 0.10 AC-FT | 0.00 AC-FT | 0.73 AC-FT |
| 12.00 ' | 0.96 AC-FT | 0.15 AC-FT | 0.00 AC-FT | 1.11 AC-FT |

*total landscape area=0.73 AC. 10% reduction applied (-0.073 AC) due to loss of stormwater storage from tree trunks.

NEW RESIDENTIAL BUILDING

2621-31 POLK STREET

Hollywood, FL

PROJECT RENDERING



PROJECT TEAM

ARCHITECT OF RECORD:



2310 HOLLYWOOD BLVD.
HOLLYWOOD, FL. 33020
www.sklararchitect.com
TEL - (954) 925-9292
FAX - (954) 925-6292

AA 0002849
IB 0000894
NCARB CERTIFIED

CIVIL:

ZE ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693

LANDSCAPE:

ANDRES E. MONTERO, PLA, ASLA
2208 NE 26TH STREET UNIT 1
FORT LAUDERDALE, FL 33305
C: (954) 591-5606
E: EMONTERO@AMLASTUDIO.COM
WWW.AMLASTUDIO.COM

OWNER:

S & B ENT LLC
Mr. BEN RASABI
Address: 17555 COLLINS AVE #1606 SUNNY ISLES
BEACH, FL 33160

SCOPE OF WORK

NEW 4 STORIES RESIDENTIAL BUILDING

APPROX. AREA 89,000 SF.

72 RESIDENTIAL UNITS

81 PARKING SPACES

3 ADA PARKING SPACES

LEGAL DESCRIPTION

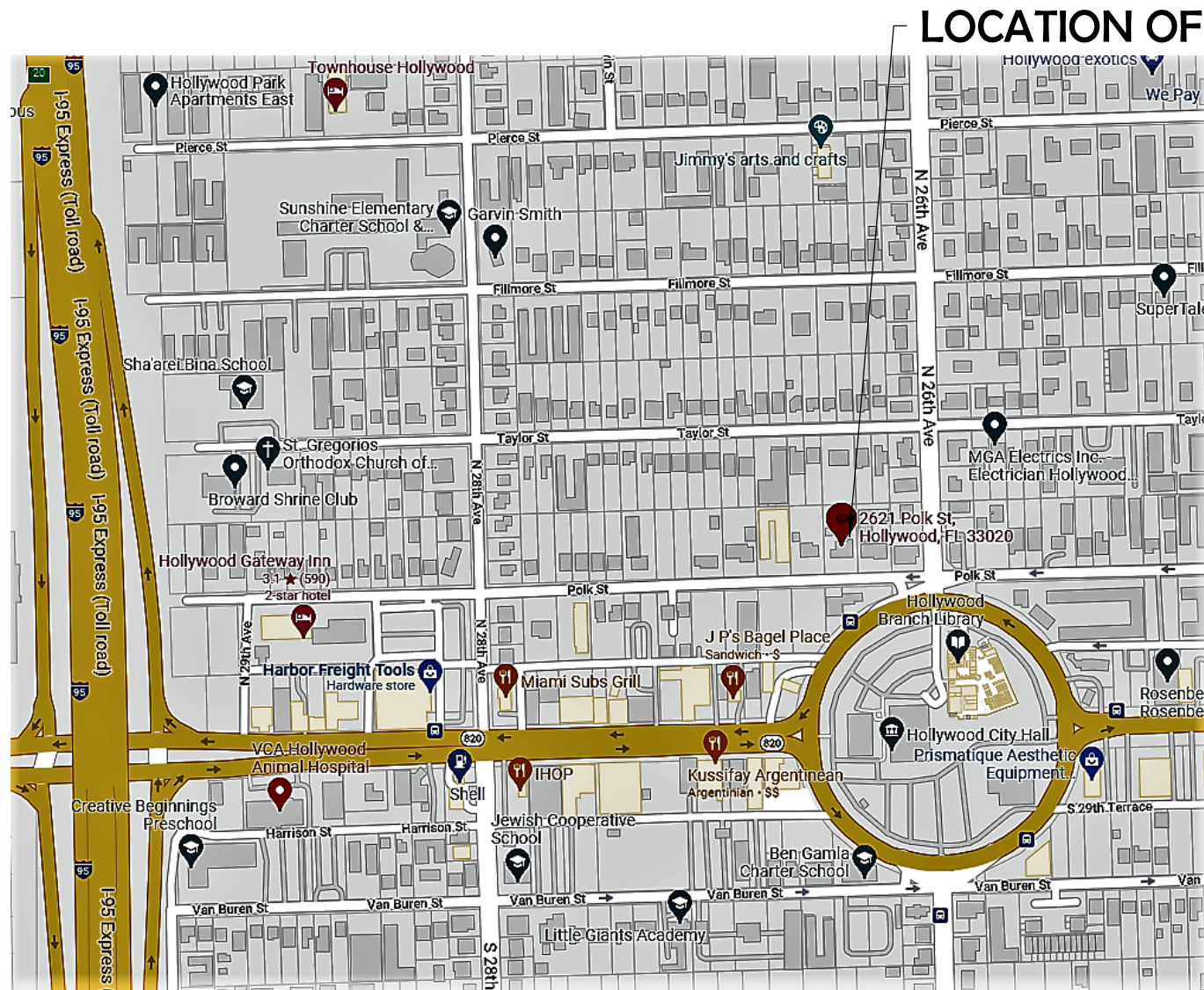
THIS PROPERTY IS DESCRIBED AS:

PROPERTY ID #: 514216023520

ADDRESS: 2621-2631 POLK STREET HOLLYWOOD, 33020

HOLLYWOOD LITTLE RANCHES 1-26 B LOT 4 BLK 32

LOCATION MAP



LOCATION OF WORK

SCALE: N.T.S.



DRAWING INDEX

ARCHITECTURE

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A0.1 POLK STREET PROFILE
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A2.1 GROUND FLOOR PLAN
A2.2 2nd FLOOR PLAN
A2.3 3rd FLOOR PLAN
A2.4 4th FLOOR PLAN
A2.5 ROOF PLAN
A3.0 SOUTH AND NORTH ELEVATIONS
A3.1 EAST AND WEST ELEVATIONS
A4.0 SECTION
A10.0 PRELIMINARY MASSING VIEWS

CIVIL

C1 EROSION & SEDIMENT CONTROL PLAN
C2 PAVING, GRADING & DRAINAGE PLAN
C3 CIVIL DETAILS
C4 PAVEMENT MARKINGS & SIGNAGE PLAN
C5 WATER & SEWER PLAN & DETAILS
C6 UTILITIES DETAILS I
C7 UTILITIES DETAILS II

LANDSCAPE

L1 VEGETATION SURVEY TREE DISPOSITION PLAN
L2 LANDSCAPE PLAN GROUND FLOOR
L3 LANDSCAPE 2ND AND ROOF PLANS
L3 LANDSCAPE DETAILS & GENERAL NOTES

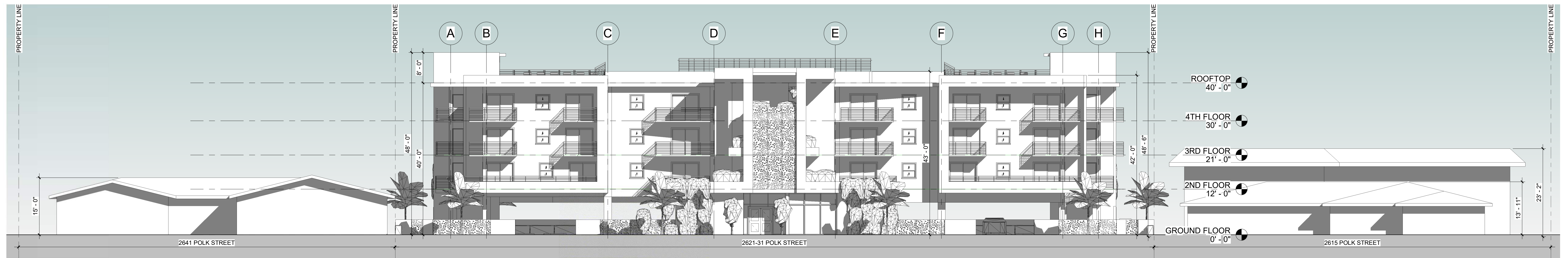
SURVEY

ZONING DATA

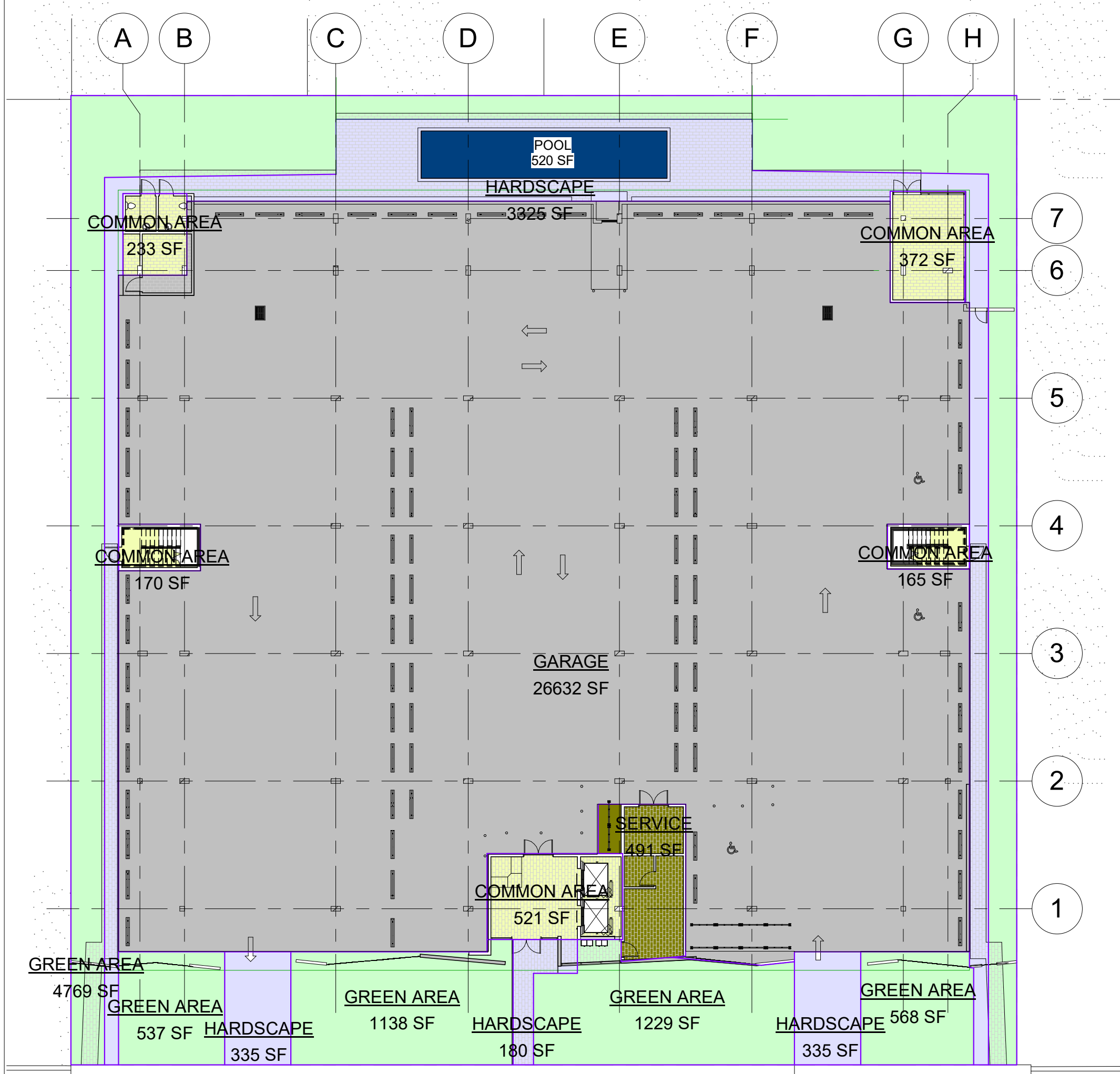
| GENERAL | | |
|--------------------------------|--|--|
| ZONING: | MC-1 | |
| LAND USE: | MULTIFAMILY RESIDENTIAL CORE DEVELOPMENT | |
| BASE FLOOD ELEVATION (B.F.E.): | N/A | |
| REQ'D/ALLOWED | REQUIRED | PROPOSED |
| HEIGHT: | 45 FT MAX. | 45 FT - 4 STORIES |
| LOT SIZE: | 41,026 SF | |
| F.A.R. | 1.5 = 61,539 SF | 61,535 SF |
| OPEN SPACE | | |
| OPEN SPACE | 40% = 16,410 SF | 40.11% = 16,457 SF |
| GREEN SPACE | | 12,721 SF |
| HARDSCAPE SPACE | | 3,216 SF |
| POOL | | 3,216 SF |
| TOTAL OPEN SPACE | | 16,457 SF |
| SETBACKS | | |
| FRONT | 20'-0" | 20'-0" |
| SIDE | 10'-0" | 10'-0" |
| REAR | 20'-0" | 20'-0" |
| MAX. BLDG FOOTPRINT | | |
| | 26,540 FT | 26,540 FT |
| RESIDENTIAL UNITS | | |
| 60 UNITS - 1 BED | MIN 400 SF | MIN 745 SF |
| 12 UNITS - 2 BED | MIN 400 SF | MIN 900 SF |
| AVERAGE UNIT SIZE | MIN 650 SF | 770 SF |
| PARKING | | |
| 60 - 1 BEDROOM UNITS | 1 SP/UN = 55 PARKING SPACES | 81 PARKING SPACES + 3 ADA SPACE 84 PARKING SPACES |
| 12 - 2 BEDROOM UNITS | 1.5 SP/UN = 18 PARKING SPACES | |
| GUEST | 10% = 7.8 = 8 PARKING SPACES | |
| TOTALS | 81 PARKING SPACES | |

NOTES

- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATION
- ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMIT FOR EACH SIGN.

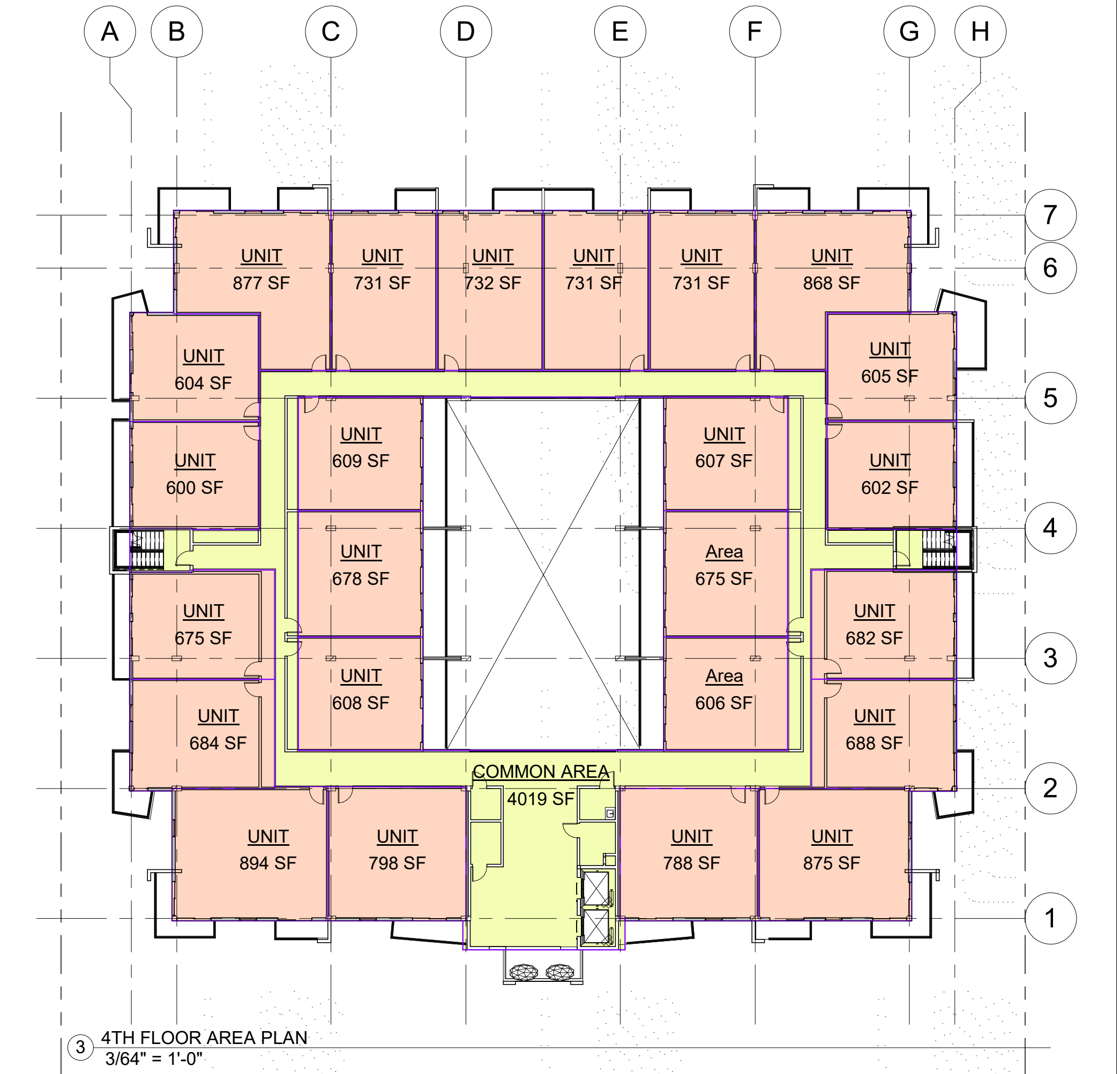
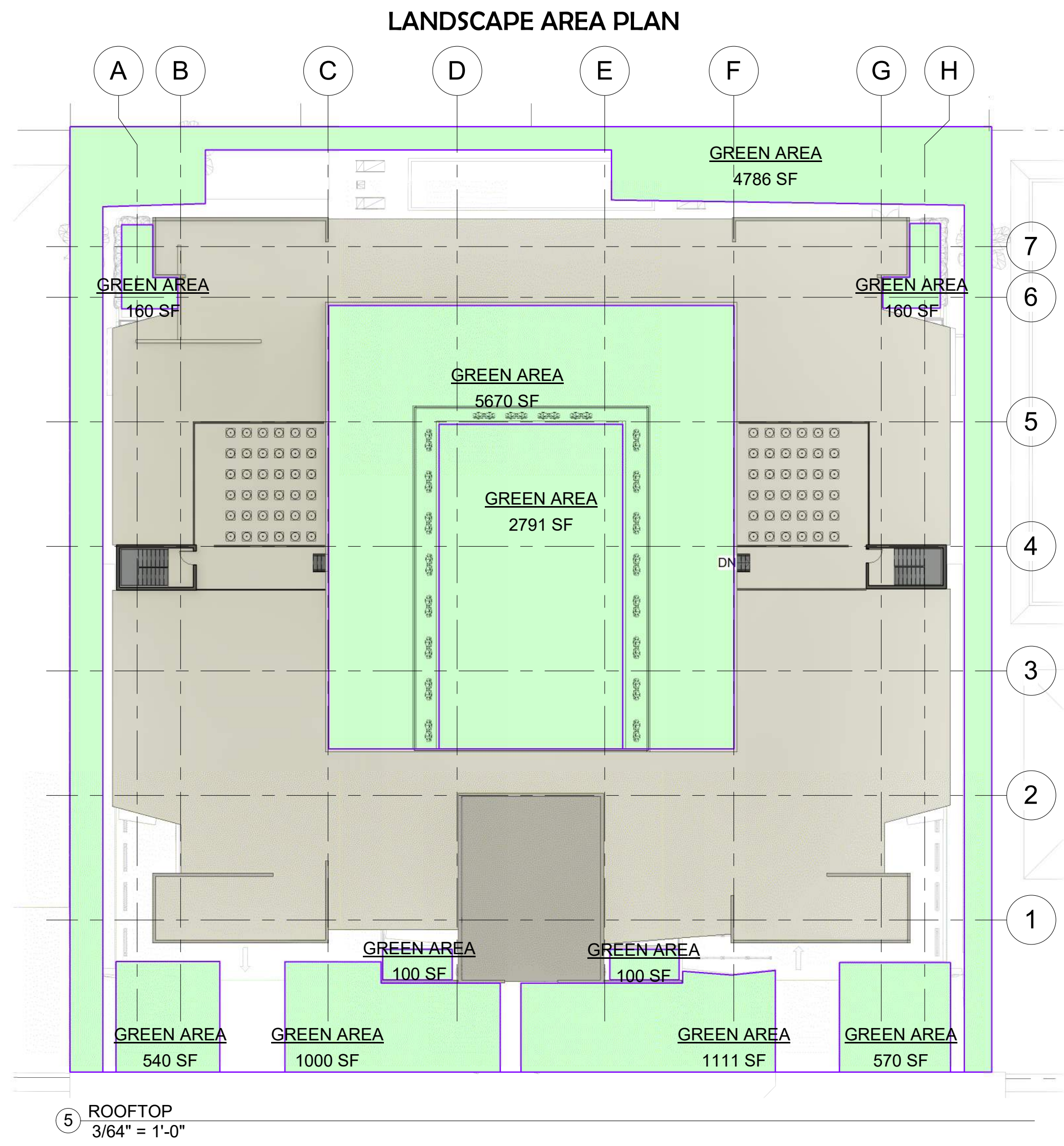
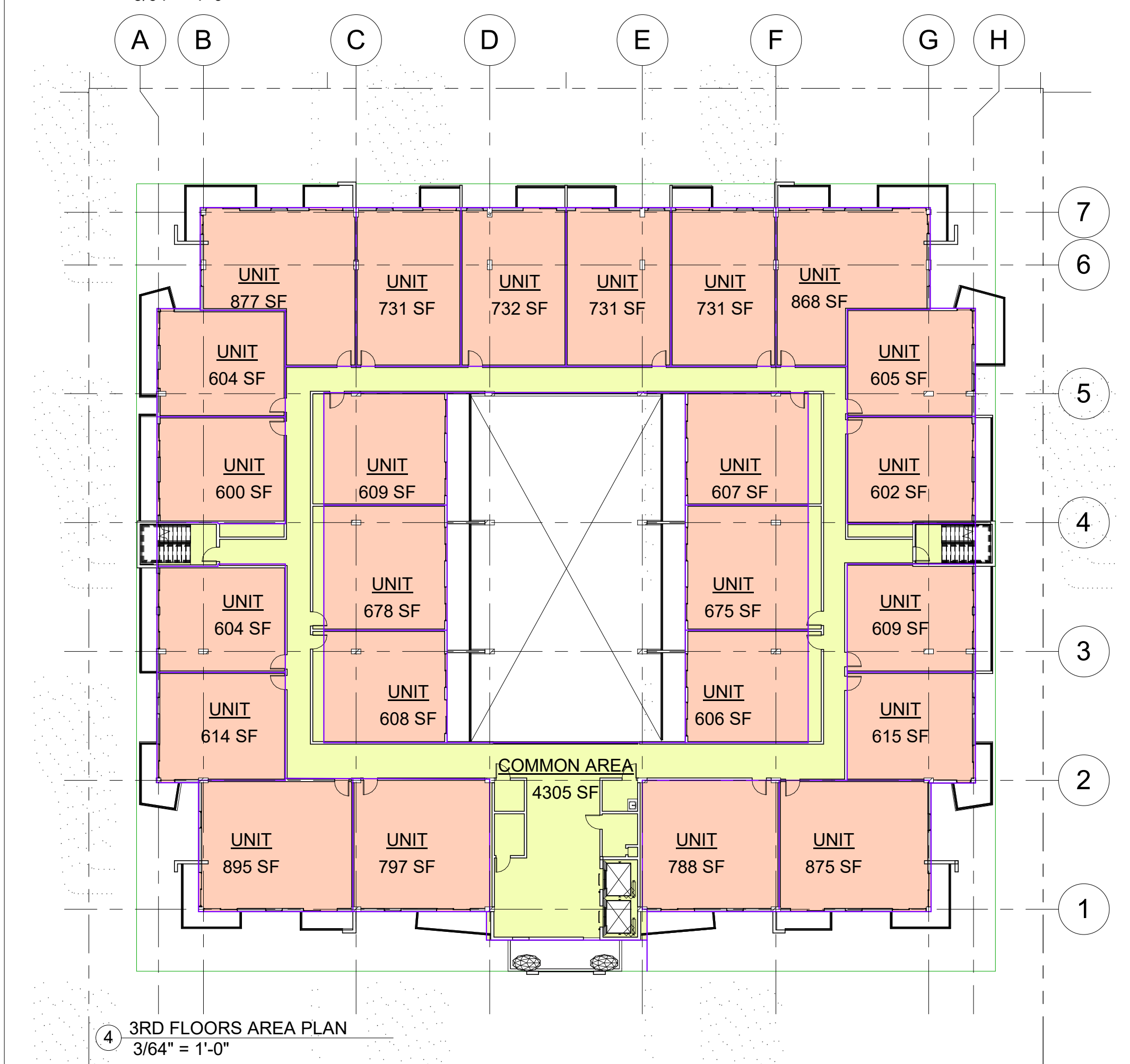
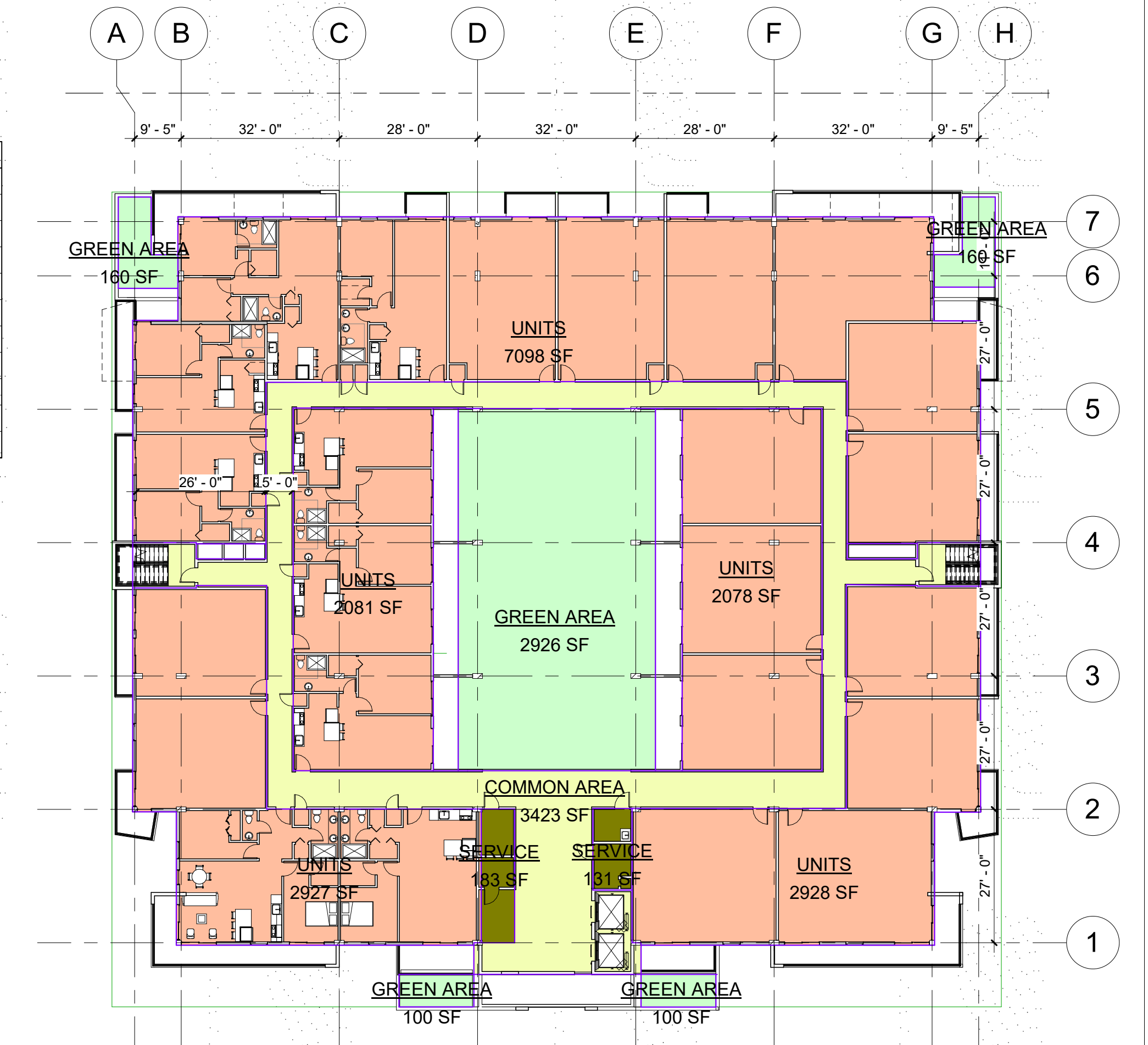


① POLK STREET PLAN
1 : 145

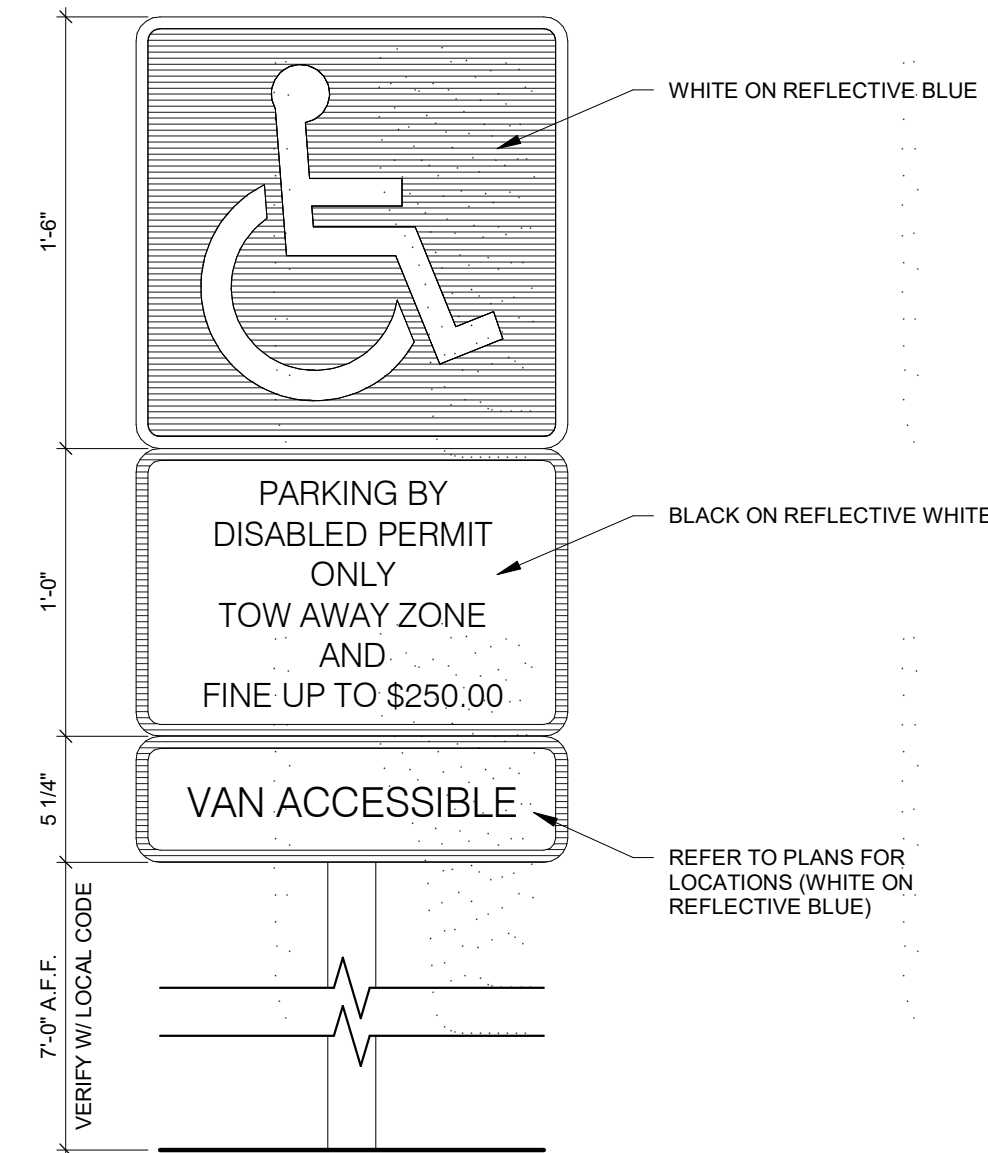


AREA CHART

| LEVEL | SERVICE AREA | COMMON AREA | UNITS | GARAGE | TOTALS | GREEN SPACE | POOL | HARDSCAPE | OPEN AREA |
|--------------|--------------|-------------|-----------|-----------|-----------|-------------|--------|-----------|-----------|
| GROUND FLOOR | 491 SF | 1,461 SF | | 26,632 SF | | 8,236 SF | 520 SF | 4,180 SF | |
| SubTotal | 314 SF | 3,423 SF | 17,112 SF | | 28,584 SF | 3,246 SF | | | |
| 2nd FLOOR | | | | | | | | | |
| SubTotal | 314 SF | 4,305 SF | 16,661 SF | | 21,280 SF | | | | 2,866 SF |
| 3rd FLOOR | | | | | | | | | |
| SubTotal | 314 SF | 4,305 SF | 16,661 SF | | 21,280 SF | | | | 2,866 SF |
| 4th FLOOR | | | | | | | | | |
| SubTotal | | | | | | | | | |
| ROOF | | | | | | | | | |
| TOTALS | 1,325 SF | 1,325 SF | 7,336 SF | 4,296 SF | 91,993 SF | 8,461 SF | 520 SF | 4,180 SF | 5,732 SF |
| F.A.R. | | | 57,770 SF | | | 19,943 SF | | | |

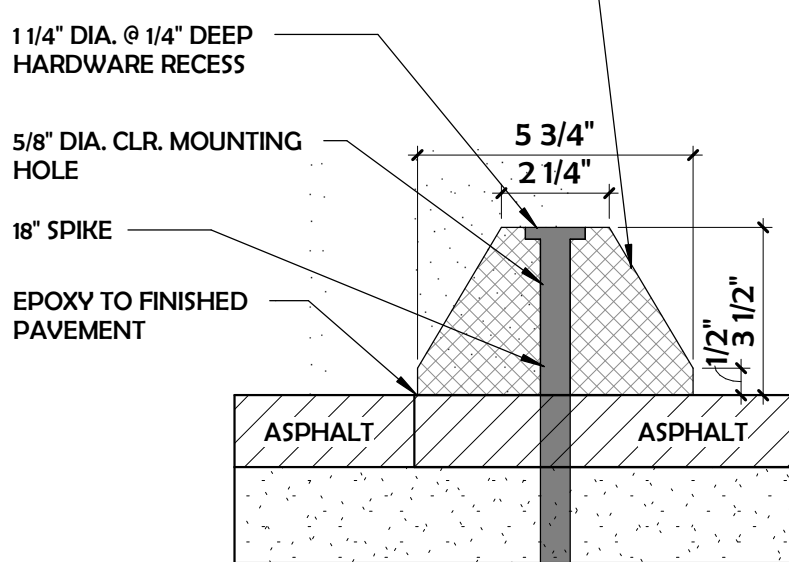


NOTE THAT THE SIGN MUST BE POSTED AND THE BOTTOM OF THE SIGN MUST BE AT LEAST 7'-0" ABOVE GRADE, BUT IT MAY BE ATTACHED TO THE BUILDING WHEN APPROVED.

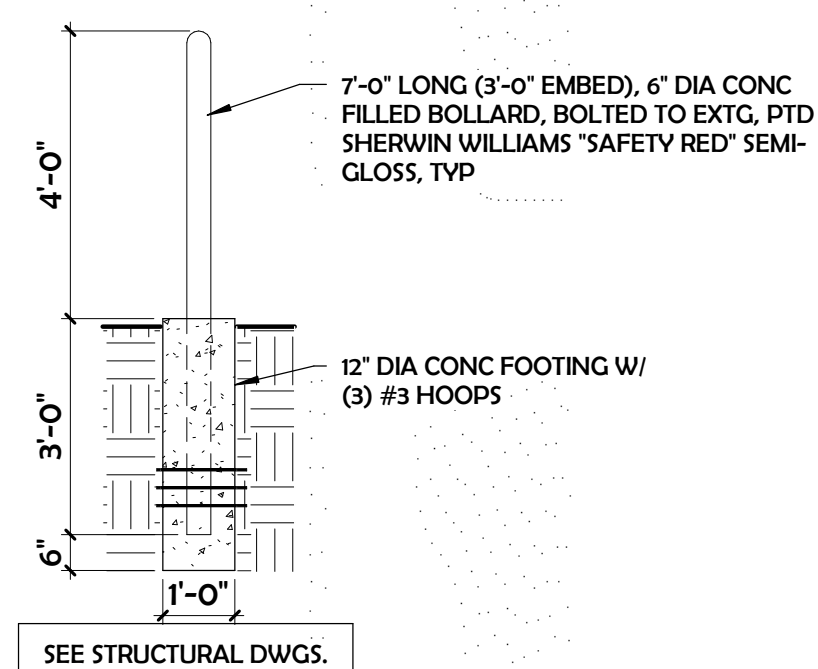


ADA - ACCESSIBLE PARKING SIGNAGE
DETAIL
1 1/2" = 1'-0"

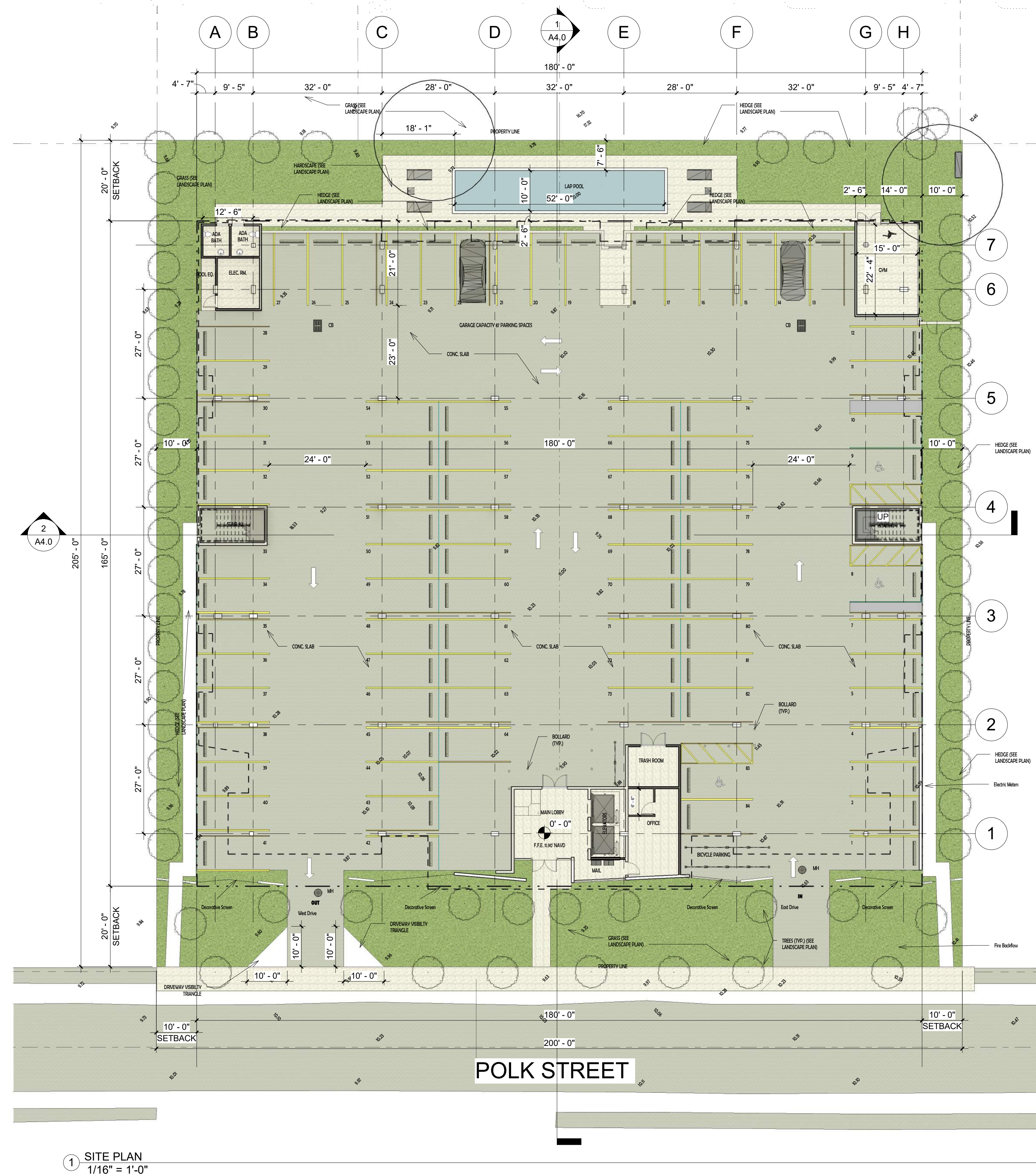
PBA-1 PARKING BLOCK, _____
MANUFACTURED FROM 100% RECYCLED
PLASTIC, WHITE PAINTED FINISH, BY
PAWLING CORPORATION OR
APPROVED EQUAL



4 WHEEL STOP DETAIL
3" = 1'-0"



5 BOLLARD DETAIL
3/8" = 1'-0"



① SITE PLAN
1/16" = 1'-0"

SUSTAINABLE BUILDING PROGRAM

THE BUILDING WILL STRIVE TO ACHIEVE STANDARDS OF USGBC LEED, FLORIDA GREEN BUILDING COALITION:

1.- ALL ENERGY STAR APPLIANCES. ALL PERMANENT APPLIANCES IN THE EMPLOYEE LOUNGE THAT CAN BE ENERGY STAR RATED MUST BE SO RATED TO CLAIM THIS ITEM. (THIS INCLUDES REFRIGERATOR, MICROWAVE, ETC. ITEMS NOT COVERED ARE COUNTERTOP APPLIANCES SUCH AS TOASTERS, MIXERS ETC.) ENERGY STAR APPLIANCES MUST BE VERIFIED BY BUILDING INSPECTOR ON SITE AT FINAL INSPECTION.

2.- RECYCLING. A DEDICATED STORAGE AREA FOR A GARBAGE BIN AND A RECYCLE BIN, SIZED TO FIT BOTH, MUST BE SHOWN ON THE PLANS. DEDICATED STORAGE AREA SHALL BE VERIFIED BY PLANS EXAMINER. PLANS FOR KITCHEN MUST INCLUDE PULL-OUT RECYCLE AND GARBAGE BINS BUILT INTO CABINETS. PULL-OUT BINS BUILT INTO CABINETS SHALL BE VERIFIED BY PLANS EXAMINER AT PERMIT REVIEW AND BY BUILDING INSPECTOR AT FINAL INSPECTION.

3.- ENERGY EFFICIENT (LOW E) WINDOWS. ALL WINDOWS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA AS APPROVED BY THE NFRC (NATIONAL FENESTRATION RATING COUNCIL).

4.- ENERGY EFFICIENT DOORS. ALL DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA.

5.- ENERGY STAR APPROVED ROOFING MATERIALS.

6.- PROGRAMMABLE THERMOSTATS.

7.- DUAL FLUSH TOILETS. THESE TOILETS WHEN FLUSHED USE LESS THAN ONE GALLON TO FLUSH LIQUID AND 1.6 GALLONS OR LESS FOR SOLIDS (USGBC). PLANS SHALL INDICATE DUAL FLUSH TOILET. SYSTEM MUST BE VERIFIED BY PLUMBING INSPECTOR AT FINAL INSPECTION.

8.- AT LEAST 80% OF PLANTS, TREES AND GRASSES PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION). LANDSCAPE PLAN, REVIEWED AND APPROVED BY A LANDSCAPE ARCHITECT, SHALL BE SUBMITTED WITH PERMIT APPLICATION. LANDSCAPING SHALL BE VERIFIED BY INSPECTION PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.

9.- ALL ENERGY-EFFICIENT OUTDOOR LIGHTING. SUGGESTED LIGHTS FOR OUTDOOR SPACES INCLUDE FLUORESCENT BULBS AND FIXTURES WITH ELECTRONIC BALLASTS (MORE EFFICIENT THAN MAGNETIC TYPES), LOW PRESSURE SODIUM OR MERCURY VAPOR, PHOTOVOLTAGE SYSTEMS, LED LIGHTING AND LOW VOLTAGE LANDSCAPE LIGHTS THAT RUN ON A TIMER. ALL ENERGY-EFFICIENT OUTDOOR LIGHTING SHALL BE VERIFIED BY ELECTRICAL INSPECTOR AT FINAL INSPECTION.

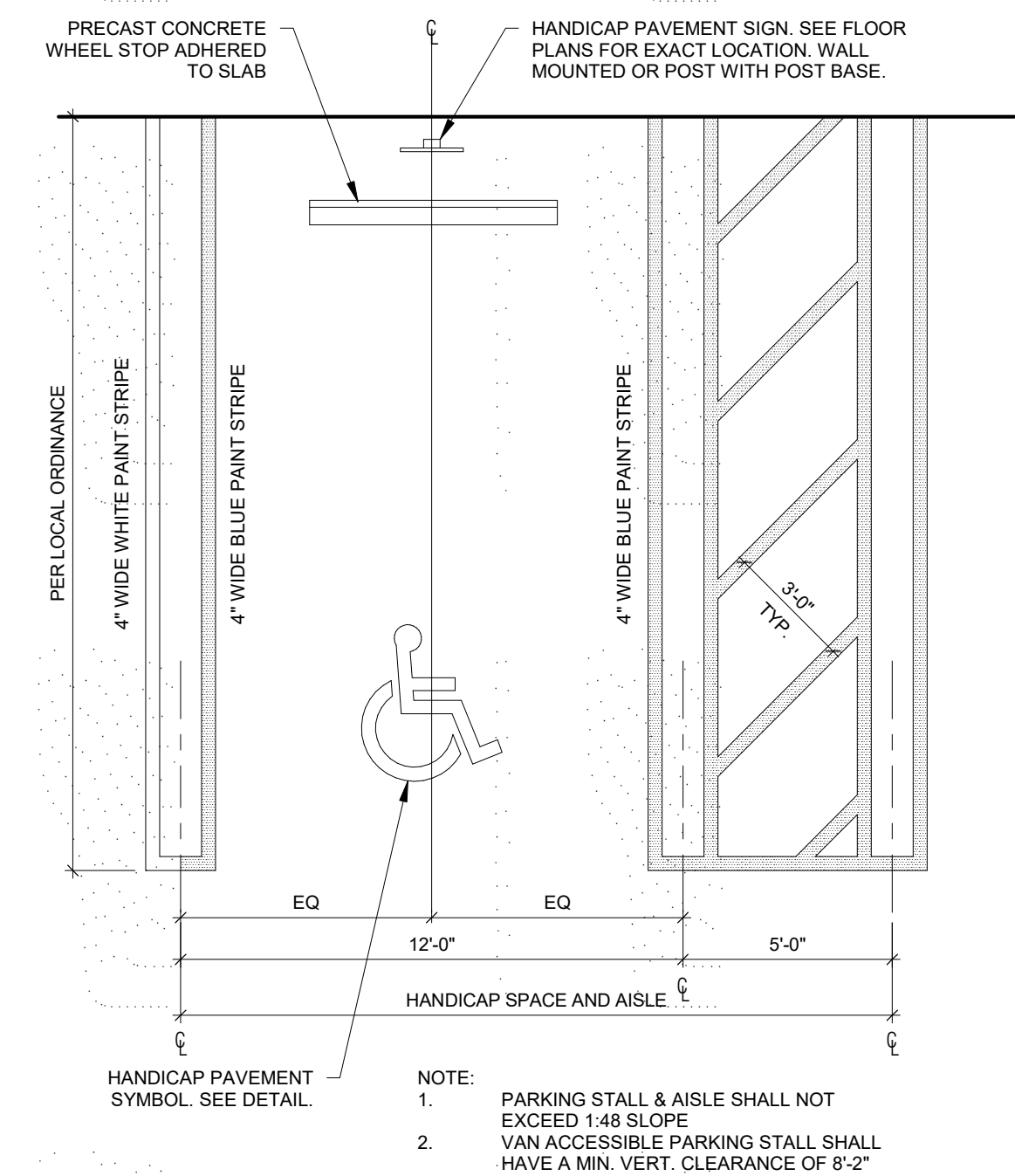
10.- ENERGY PERFORMANCE AT LEAST 10% MORE EFFICIENT THEN STANDARD ESTABLISHED BY ASHRAE (LATEST EDITION).
CALCULATIONS SHALL BE SUBMITTED WITH PERMIT APPLICATION

11.- ALL HOT WATER PIPES INSULATED. ALL HOT WATER PIPES SHALL HAVE A MINIMUM OF ONE-HALF INCH INSULATION, INCLUDING BURIED PIPES. (CPVC IS NOT A SUITABLE REPLACEMENT FOR INSULATION.) ALL HOT WATER PIPES INSULATED SHALL BE SHOWN ON PLANS AND VERIFIED BY PLUMBING INSPECTOR ON SITE AT FINAL INSPECTION.

12.- MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTI-MICROBIAL AGENT. MERV OF AT LEAST 8 SHALL BE VERIFIED BY MECHANICAL INSPECTOR ON SITE AT FINAL INSPECTION

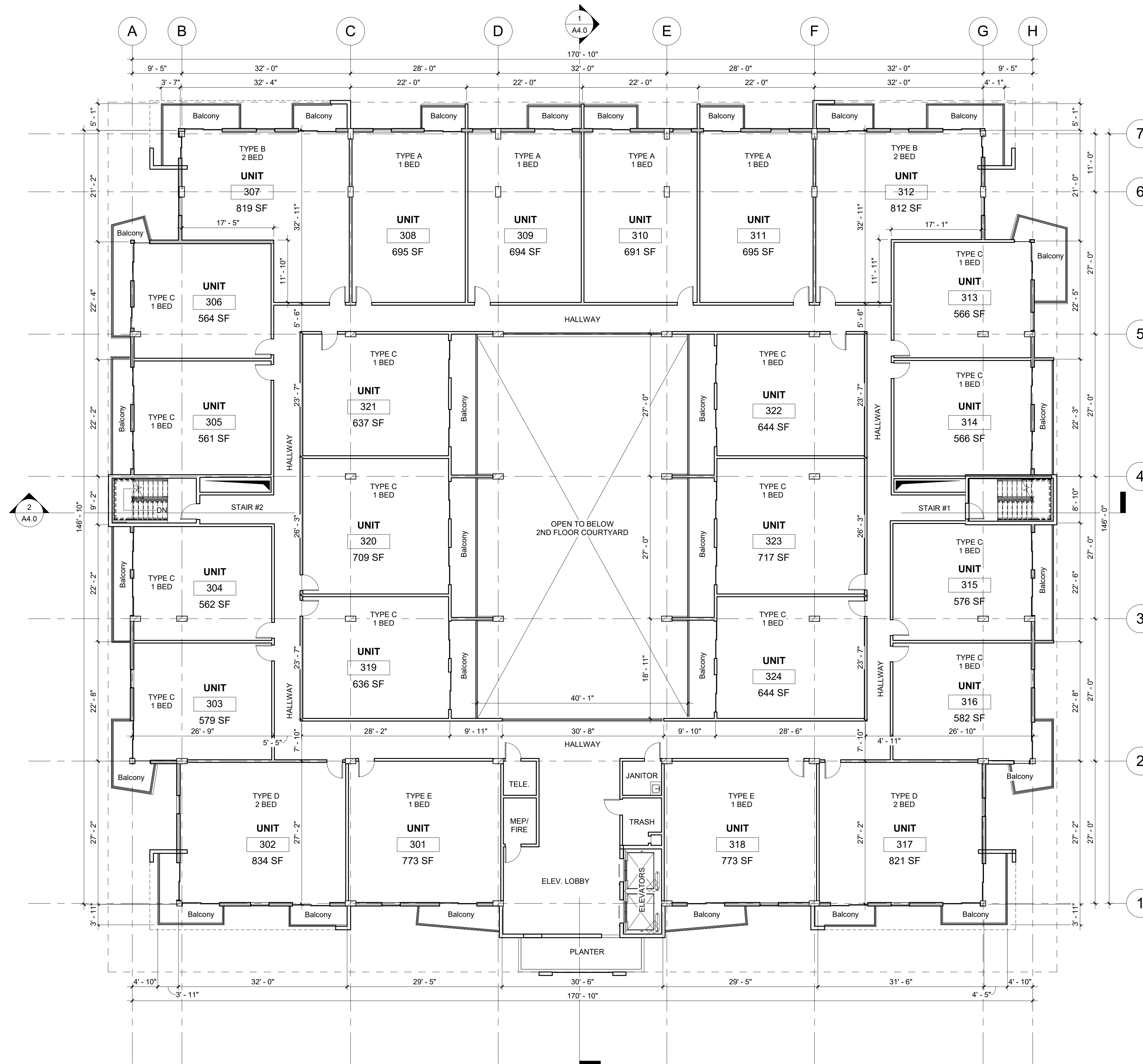
13- TANKLESS WATER HEATER IN LIEU OF A STANDARD TANK WATER HEATER. DOCUMENTATION OF ENERGY SAVINGS MUST BE PROVIDED. PRODUCT APPROVALS SHOULD BE PROVIDED WITH PLANS AND SHALL INDICATE TOTAL ENERGY DEMAND. TANKLESS WATER HEATER SHALL BE SHOWN ON PLANS AND SHALL PASS ALL REQUIRED INSPECTIONS.

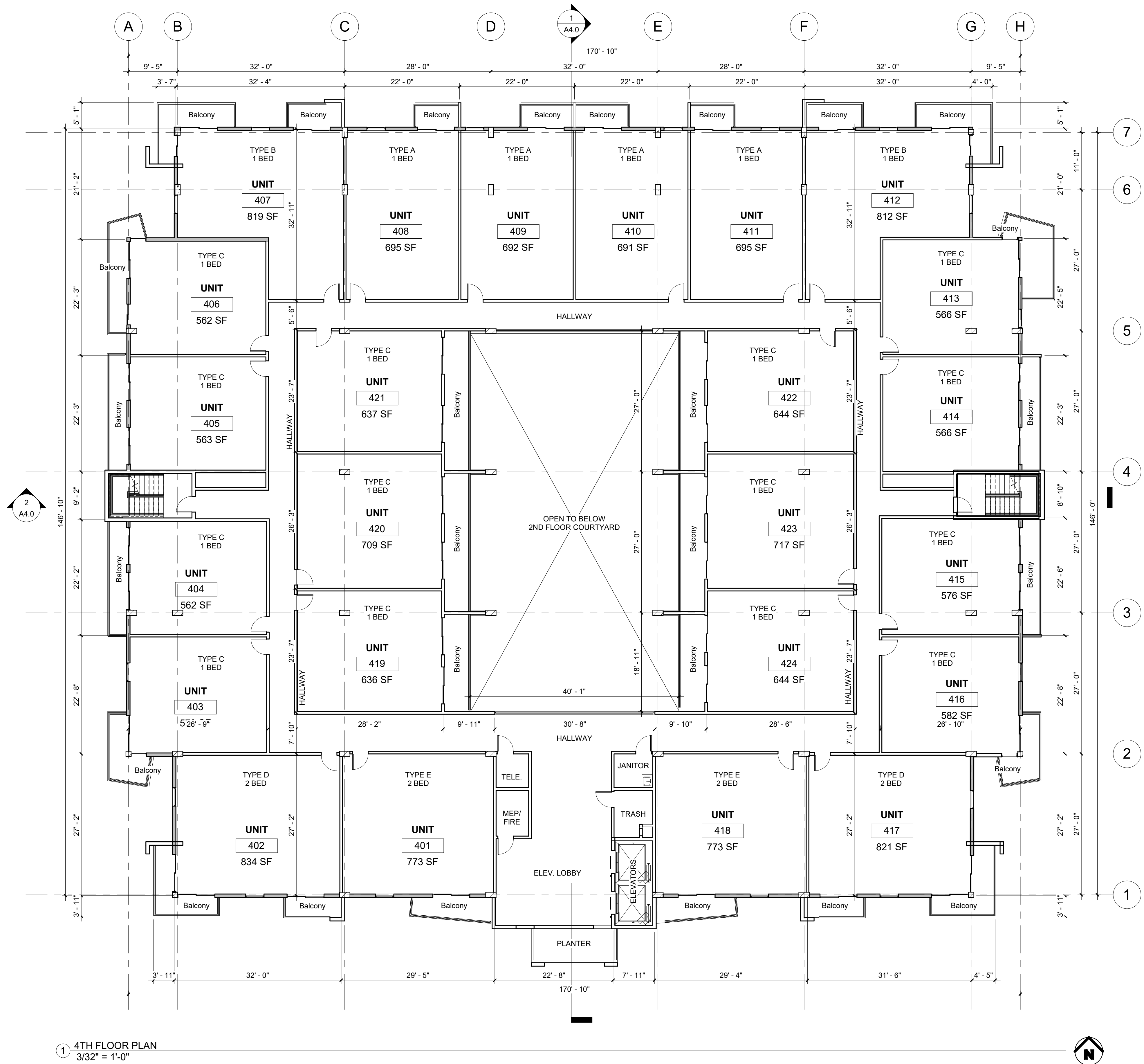
14.- ELECTRIC VEHICLE-CHARGING-STATION INFRASTRUCTURE.

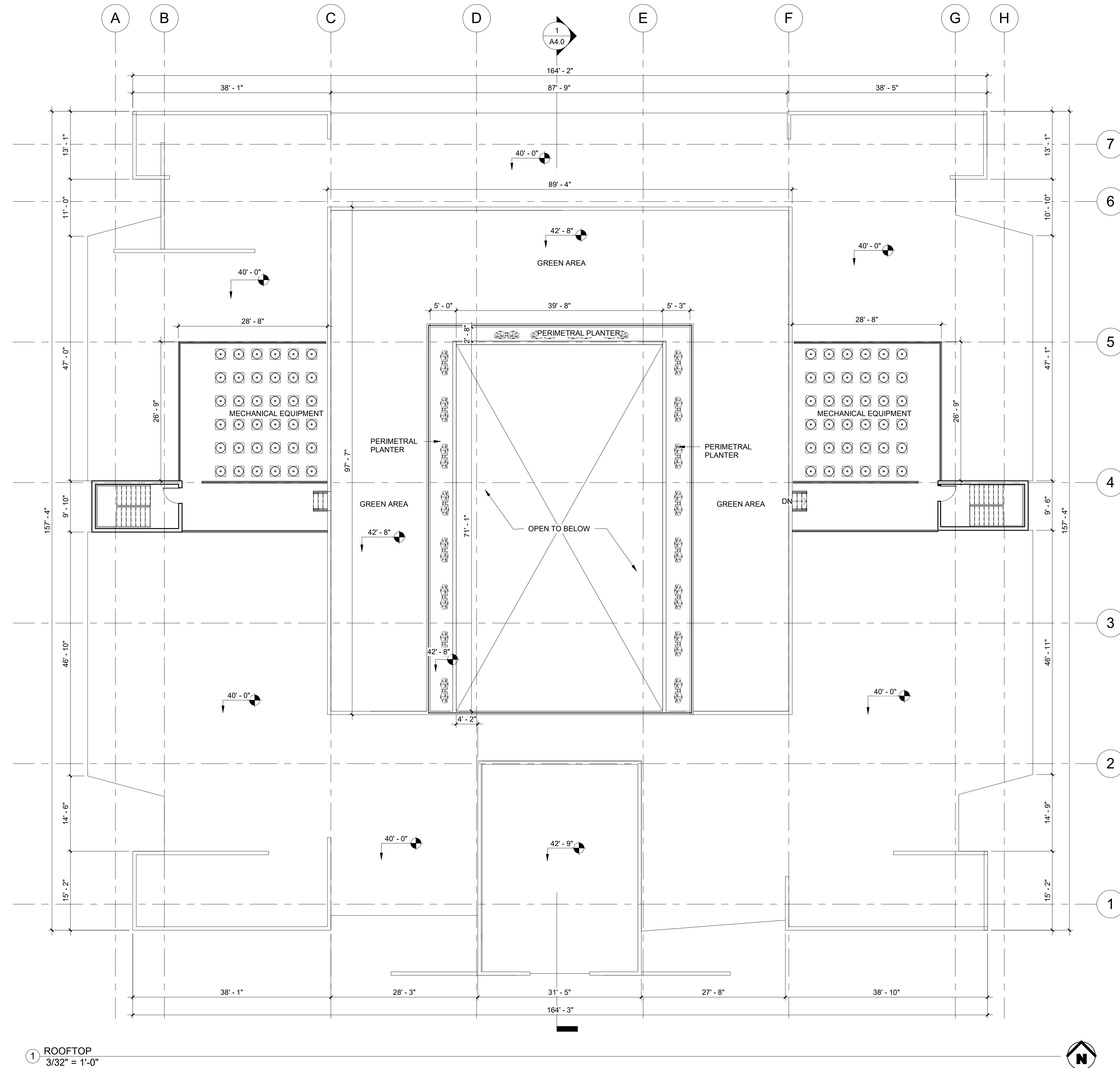


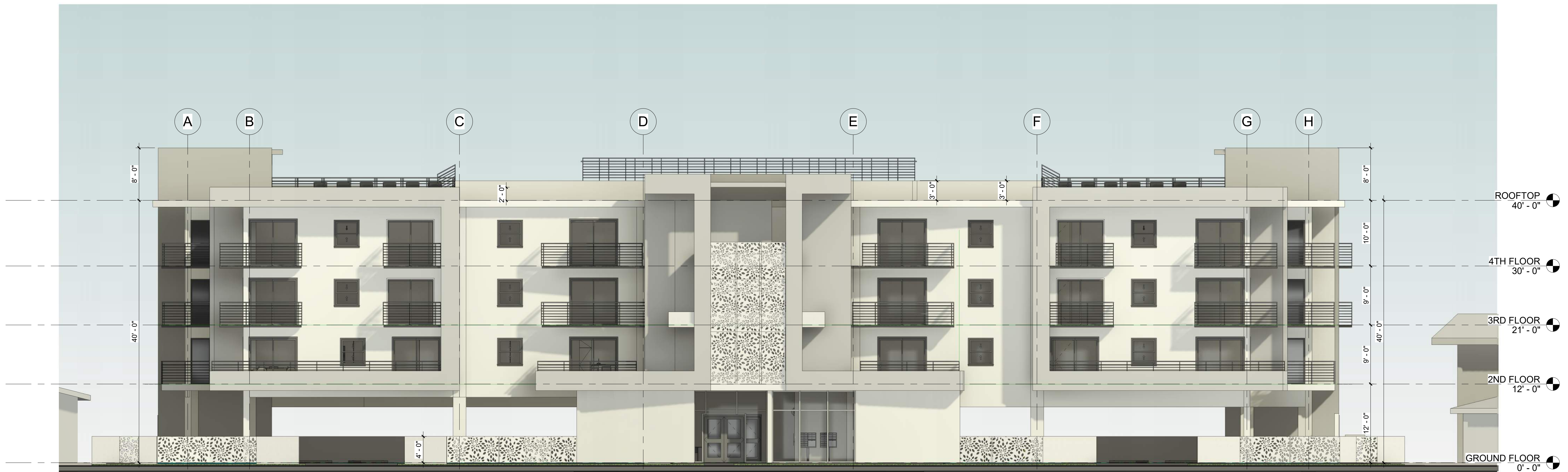
② ADA - ACCESSIBLE STALL STRIPING
1/4" = 1'-0"







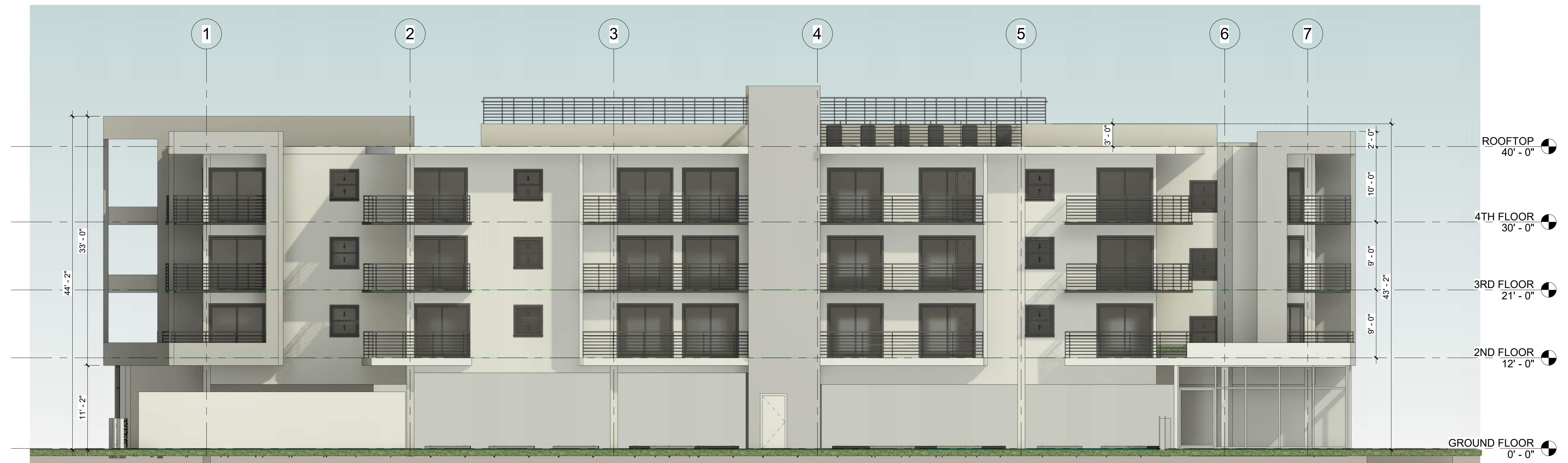




① South
1/8" = 1'-0"



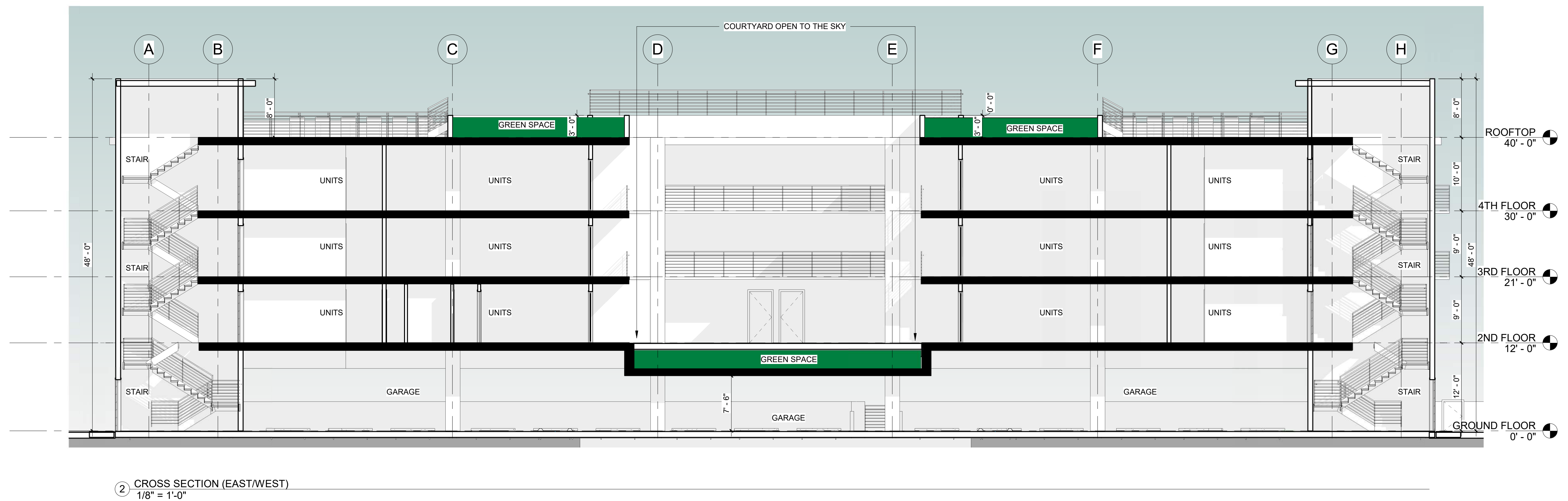
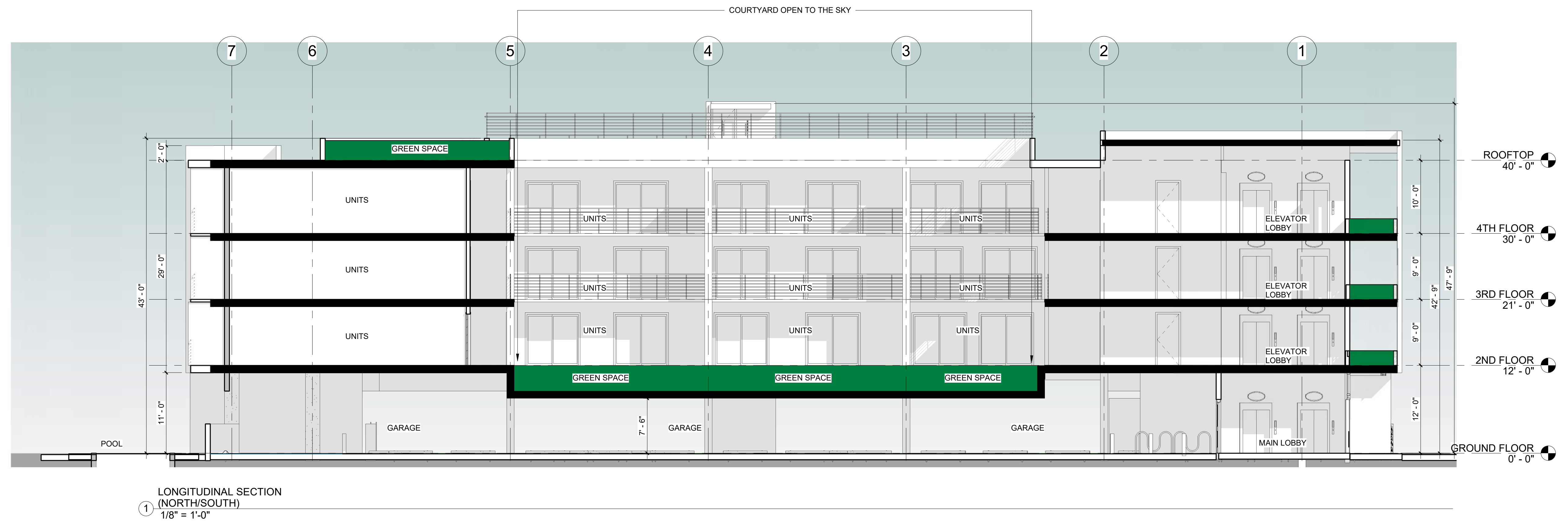
② North
1/8" = 1'-0"



① East
1/8" = 1'-0"



② West
1/8" = 1'-0"





SOUTH EAST VIEW



AERIAL



SOUTH WEST VIEW



SOUTH VIEW



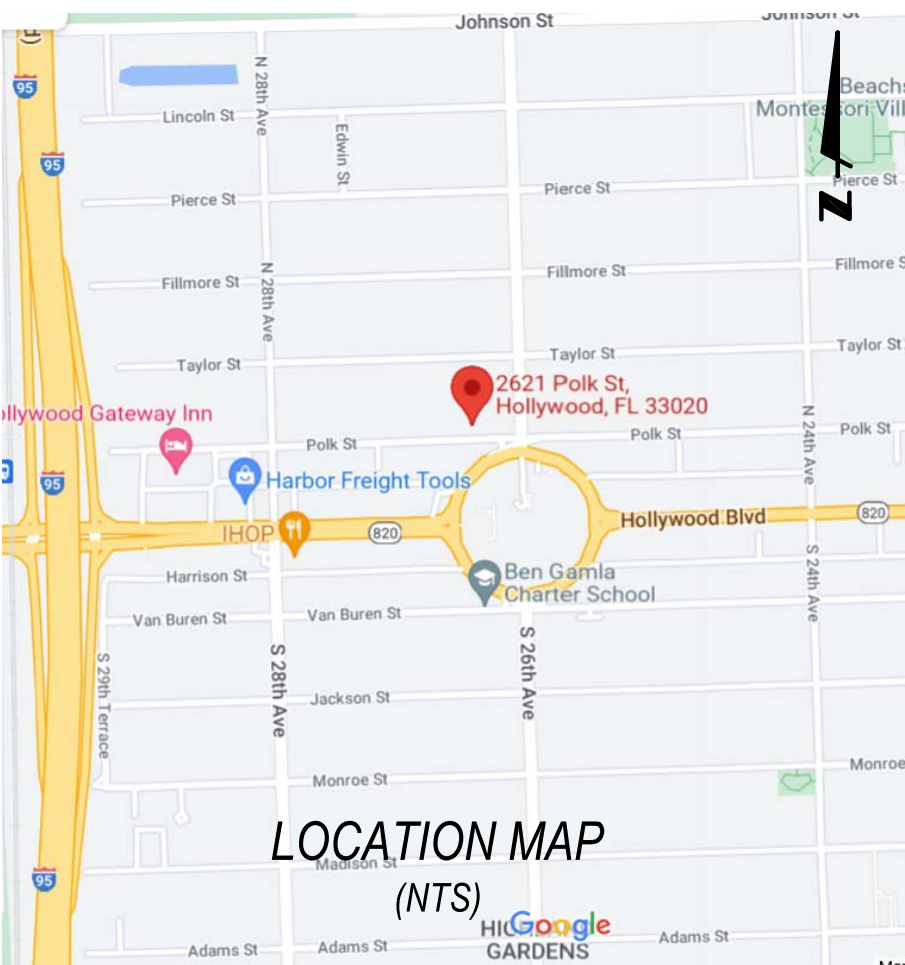
NORTH WEST VIEW



INTERIOR COURTYARD VIEW



NORTH EAST VIEW

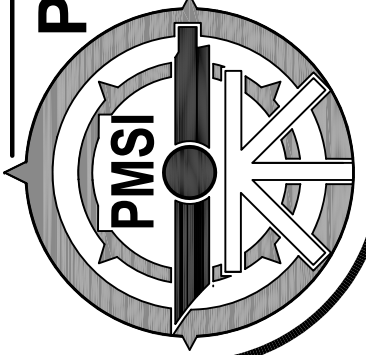


TITLE REVIEW:
A REVIEW OF THE OWNERSHIP AND ENCUMBRANCE REPORT BY
FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NUMBER
7223-6325204, EFFECTIVE JANUARY 26, 2023, WAS REVIEWED BY THIS
OFFICE.
ALL ENCUMBRANCES AND MATTERS AFFECTING THE PROPERTY
HAVE BEEN ADDRESSED HEREON (NO SURVEY MATTERS LISTED)

ALTA / NSPS LAND TITLE SURVEY




PRINCIPAL MERIDIAN
SURVEYING, Inc.
LICENSED BUSINESS No. 8261
4546 CAMBRIDGE STREET
WEST PALM BEACH, FL 33415
OFFICE 561-478-7764




| DATE | CD | FIELD | PURPOSE | BOUNDARY SURVEY | MS | TREE TABLE | 22-0204 | JOB# |
|----------|-------|-------|---------|-----------------|----|------------|---------|------|
| 09-10-22 | CD | | | | | | | |
| 06-11-22 | CD | | | | | | | |
| | DRAFT | | | | | | | |

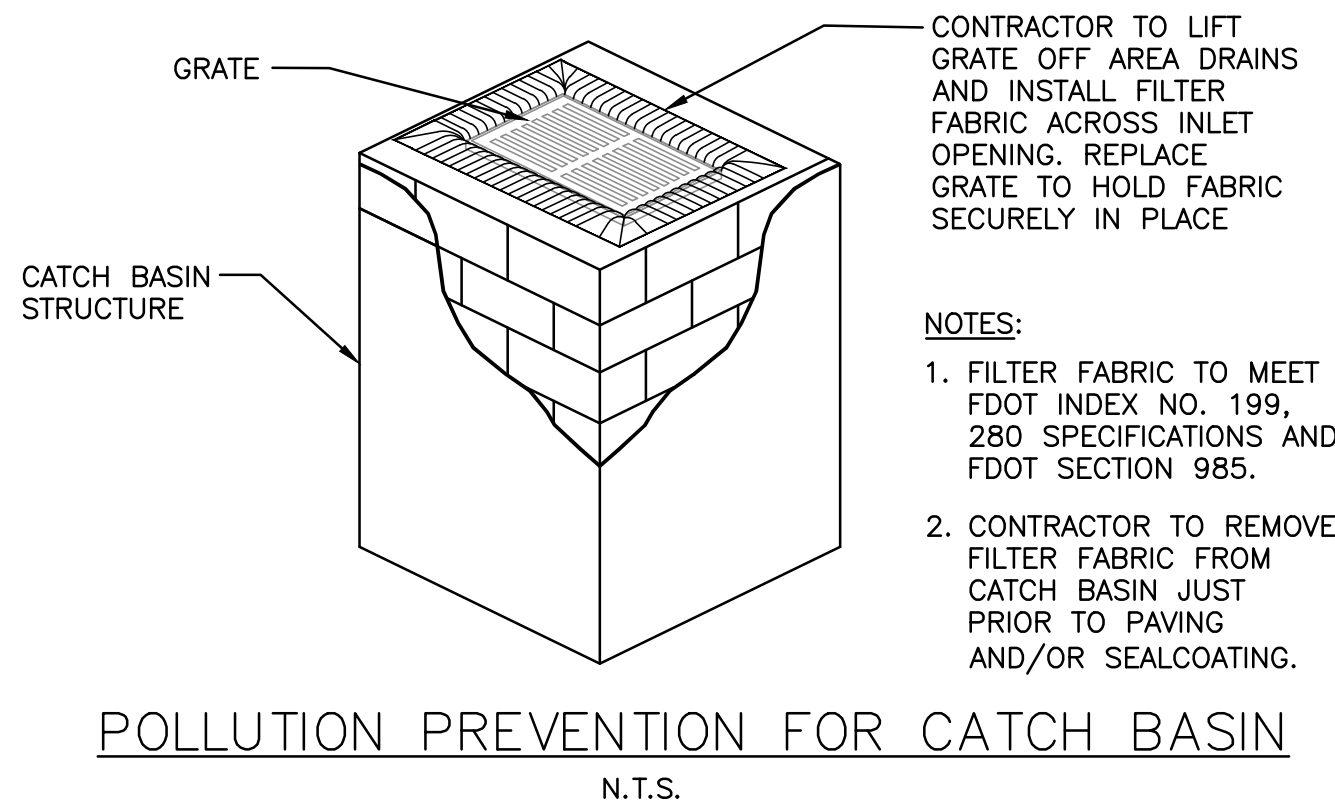
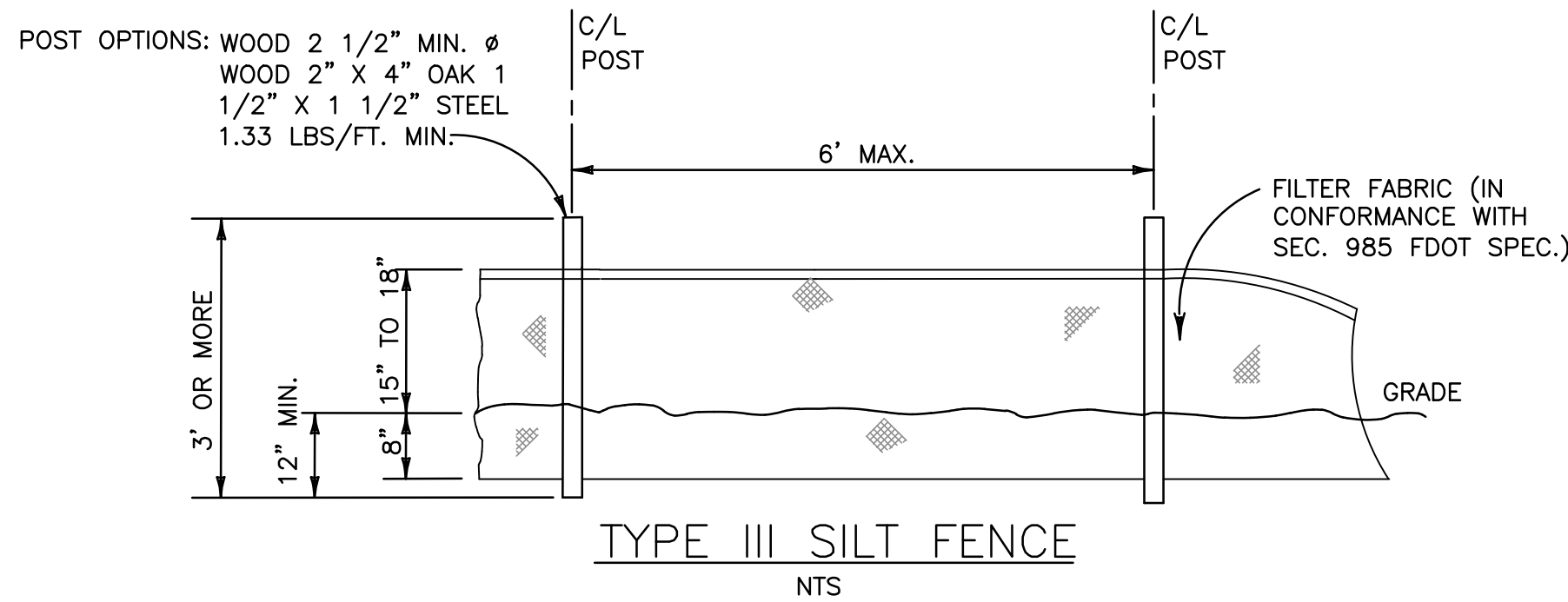
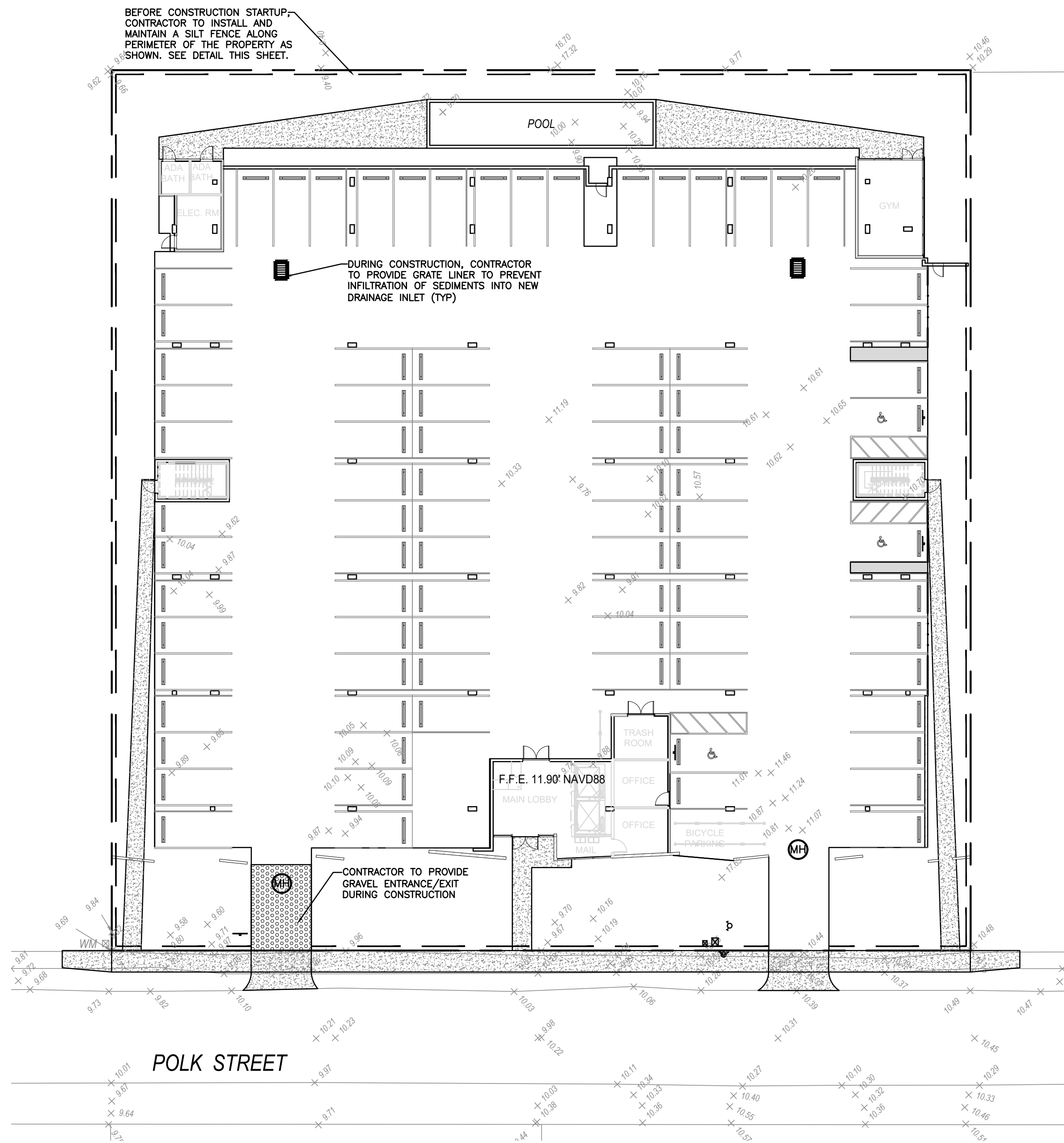
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1,2,3,4, 5, 7(a),8,9,11(a),14,16,17, AND 18 OF TABLE 'A' THEREOF.

SIGNED:  _____

DOUG WALKER
PROFESSIONAL LAND SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 7211

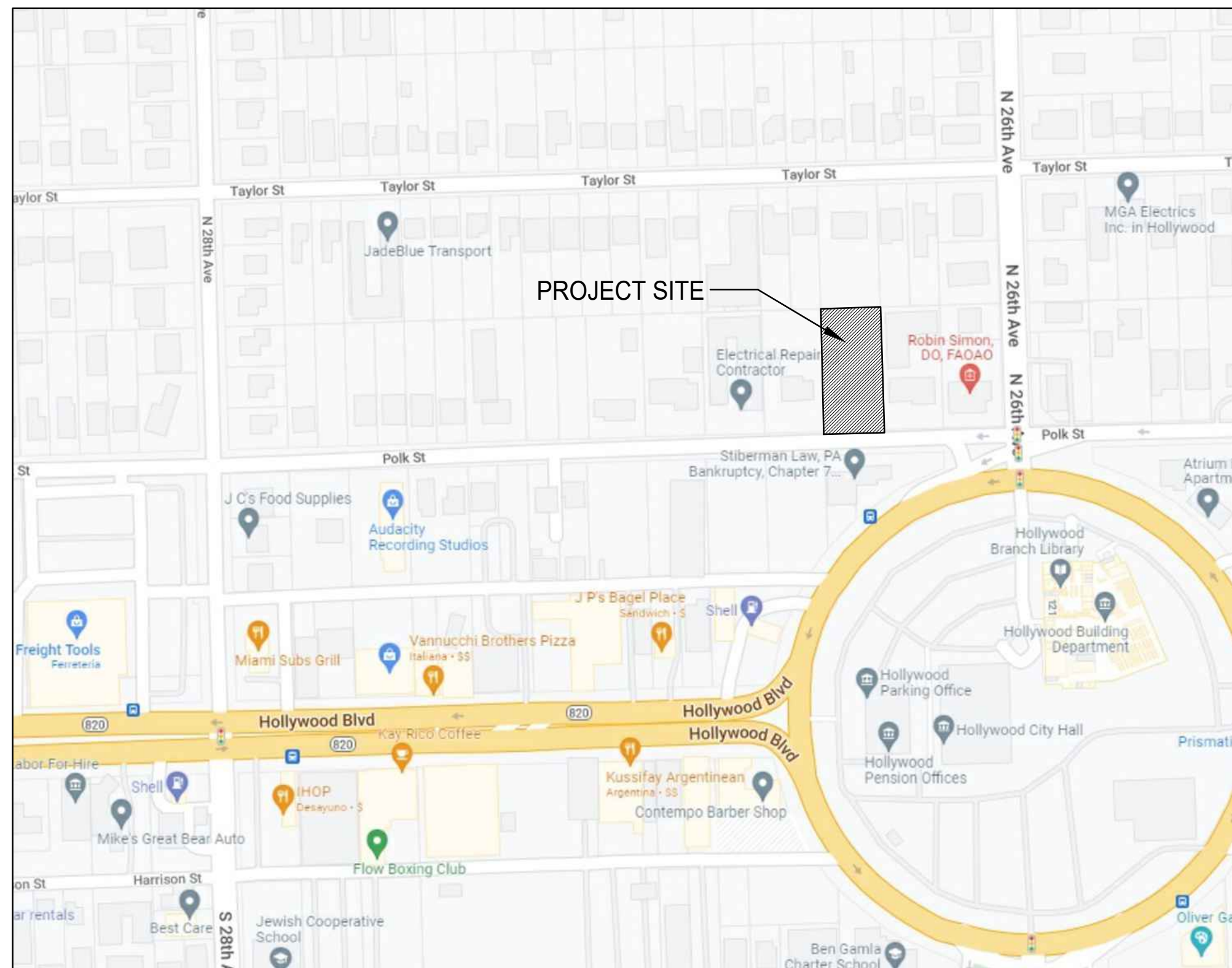


DATE: 02-09-23



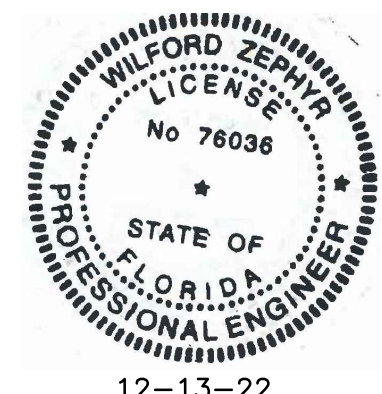
LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT



BMP NOTES:

- ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
- CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
- THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

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EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=20'

12-13-22

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |

ZEPHYR ENGINEERING

ZE

NEW RESIDENTIAL BUILDING

2621-31 POLK STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 7/26/22

SCALE: 1"=20'

SHEET NO.:

C1

1 OF 7

PROJECT NO.: 22-66

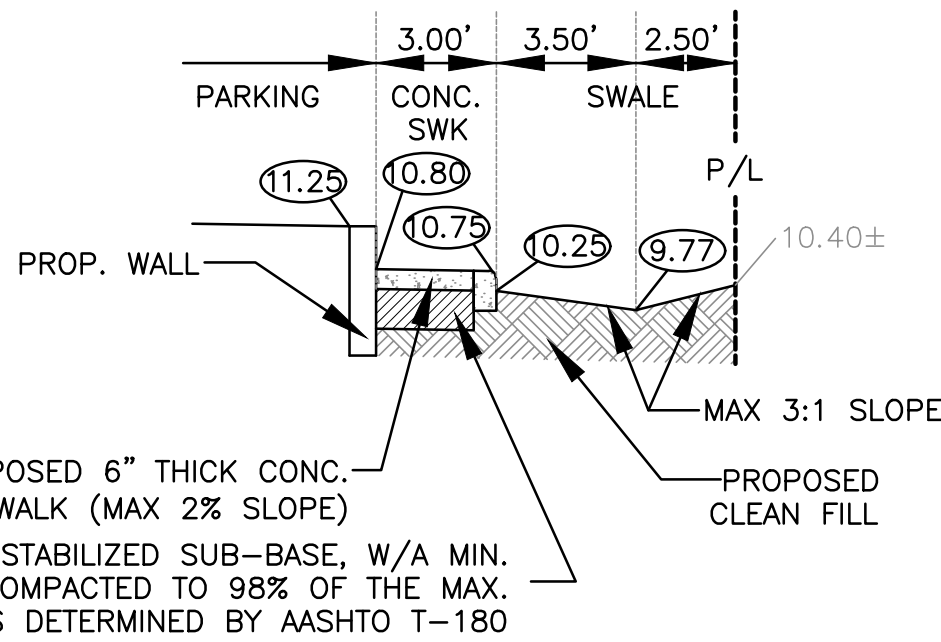
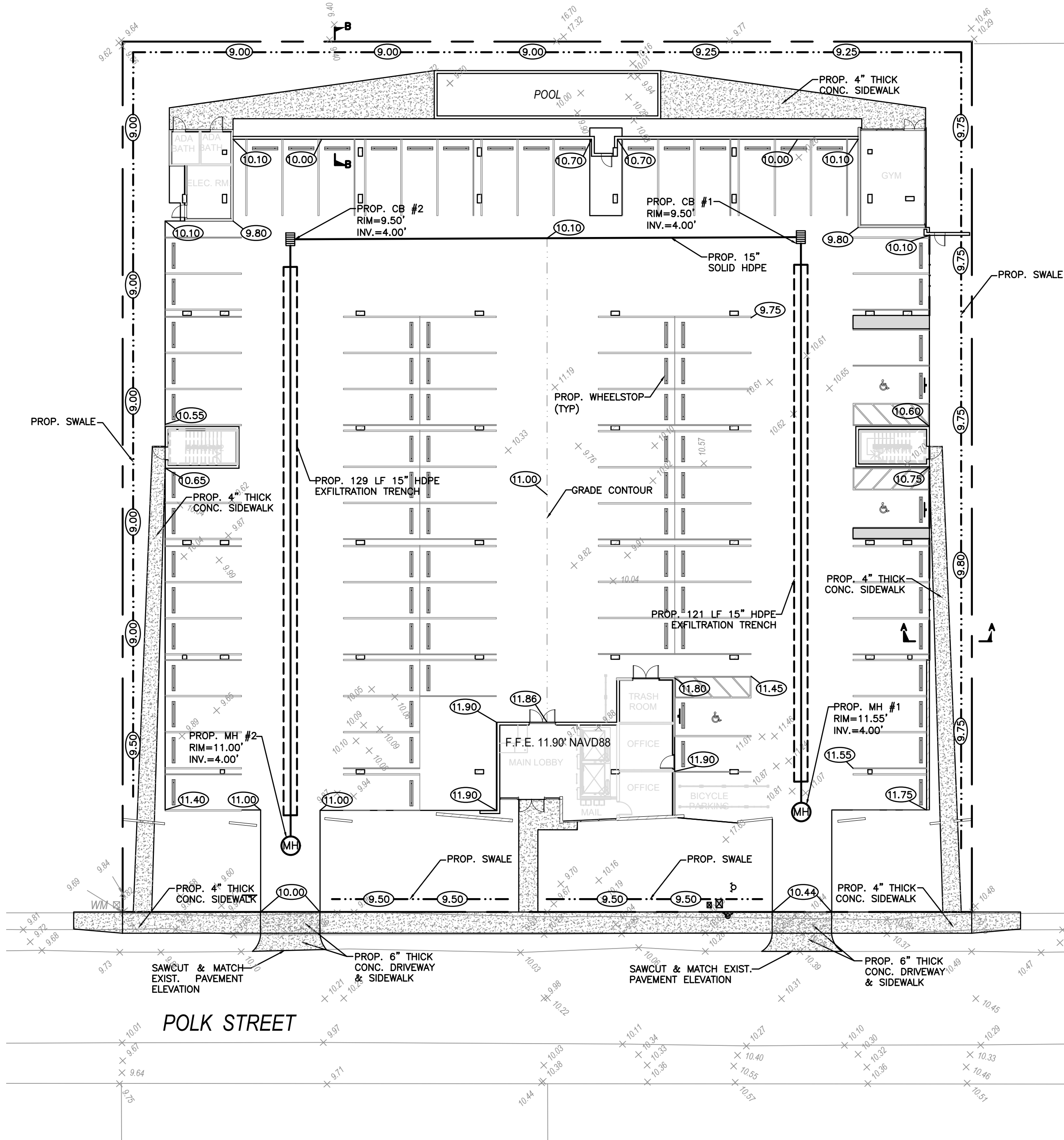
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA#: 31158

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

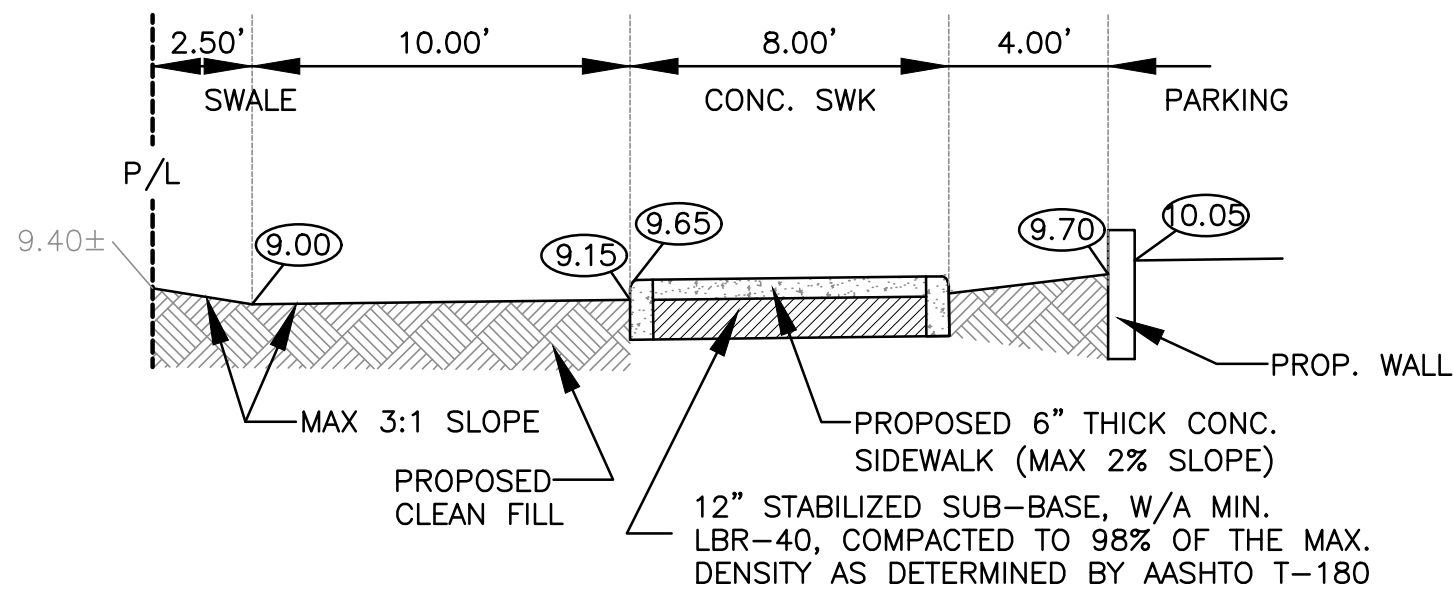
WATER TABLE ELEVATION=1.5' NAVD88 (PER BROWARD COUNTY FUTURE WATER TABLE MAP)

NOTES:

- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
- 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
- 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
- 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
- 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
- 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
- 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.



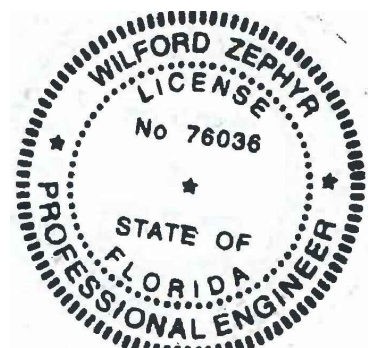
SECTION A-A
N.T.S.



SECTION B-B
N.T.S.

LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

12-13-22

PAVING, GRADING & DRAINAGE PLAN

SCALE: 1"=20'

REVISIONS

| NO. | DATE | DESCRIPTION |
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ZEPHYR ENGINEERING

ZE

NEW RESIDENTIAL BUILDING
2621-31 POLK STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 7/26/22

SCALE: 1"=20'

SHEET NO.:

C2

2 OF 7

PROJECT NO.: 22-66

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA#: 31158

GENERAL CONDITION NOTES :

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:
FLORIDA POWER & LIGHT CO., CONSTRUCTION
BELLSOUTH
COMCAST
TECO
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -
RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
PVC = POLYVINYLCHLORIDE PIPE
POMP = PERFORATED CMP, FDOT SECTION 945
DIP = DUCTILE IRON PIPE
HDPE = HIGH DENSITY POLYETHYLENE PIPE.

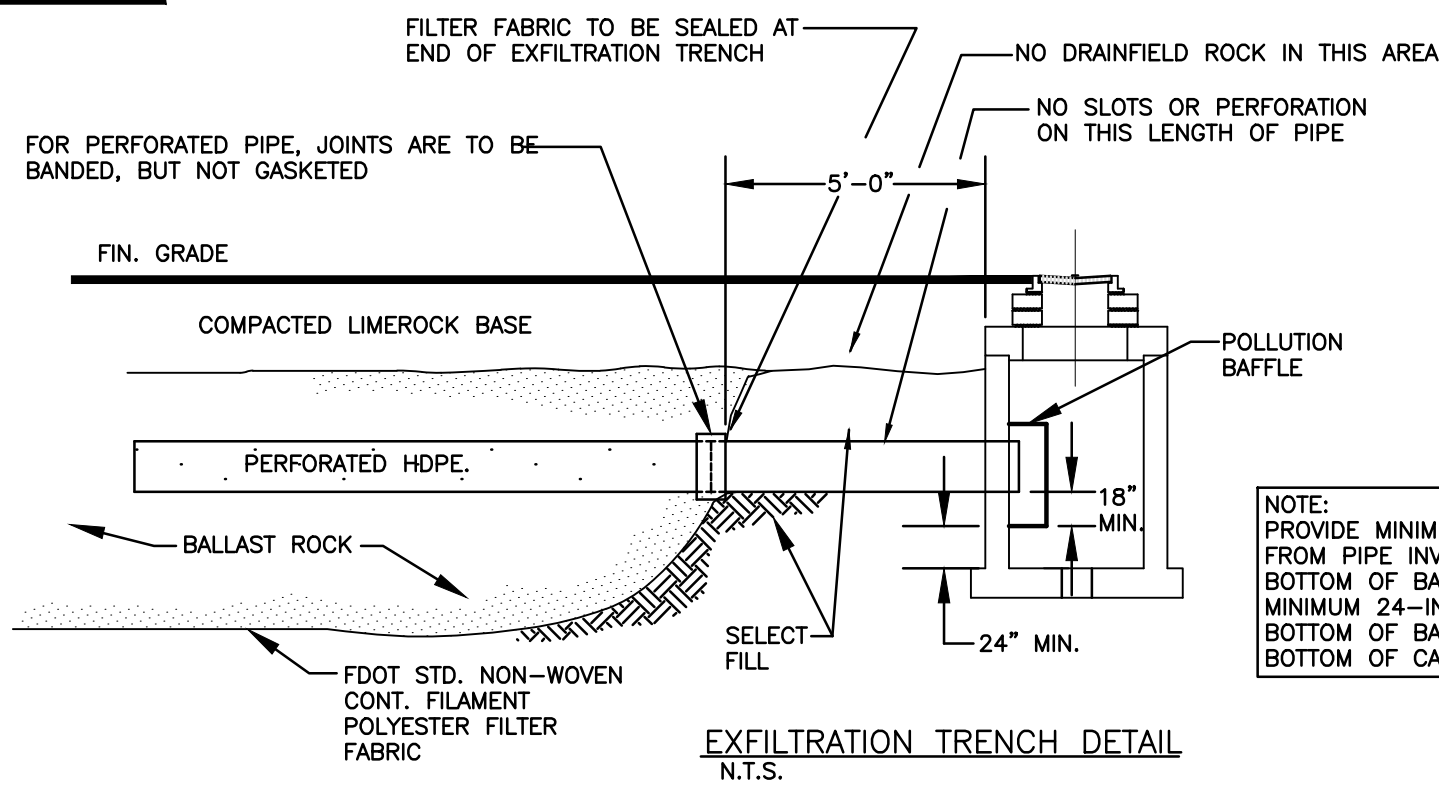
15. ASPHALT -
BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1.
PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE - 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE - 0.02 TO 0.08 GALS./S.Y.

DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

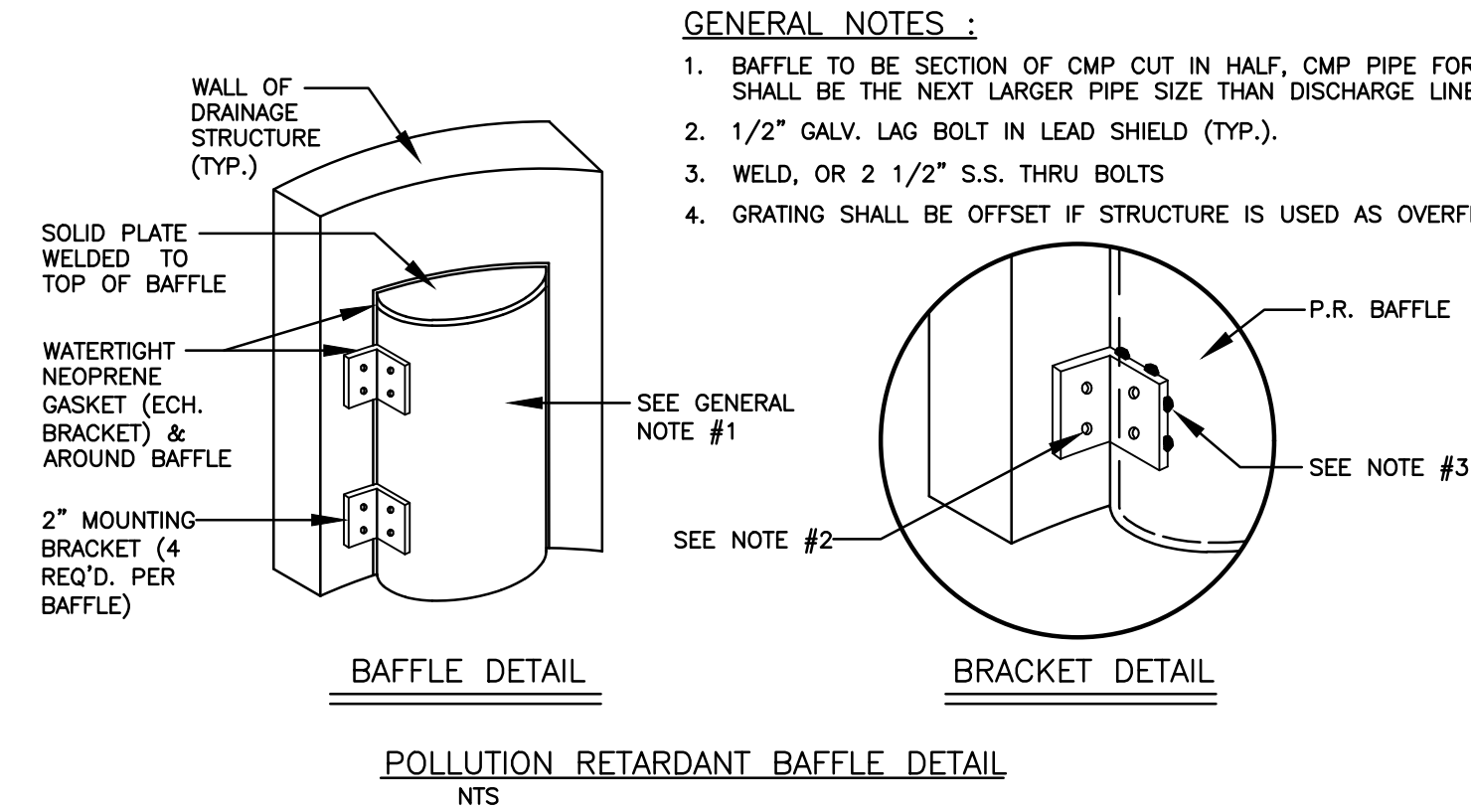
PAVEMENT MARKING & SIGNING STANDARD NOTES :

1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
3. STOP BARS SHALL BE 24" WHITE.
4. ALL SITE PAVEMENT MARKINGS SHALL BE PAINT. (UNLESS INDICATED OTHERWISE)
5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.

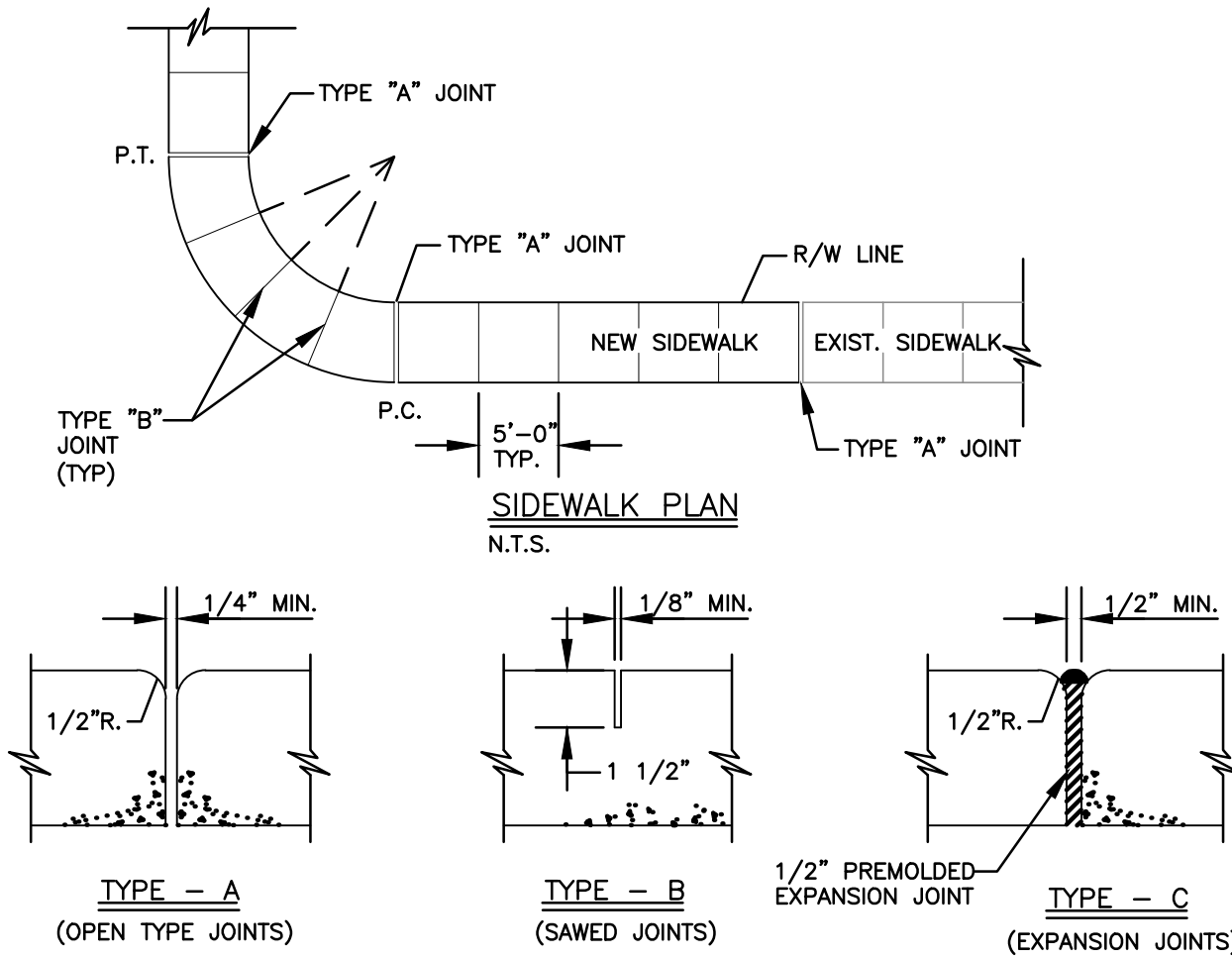
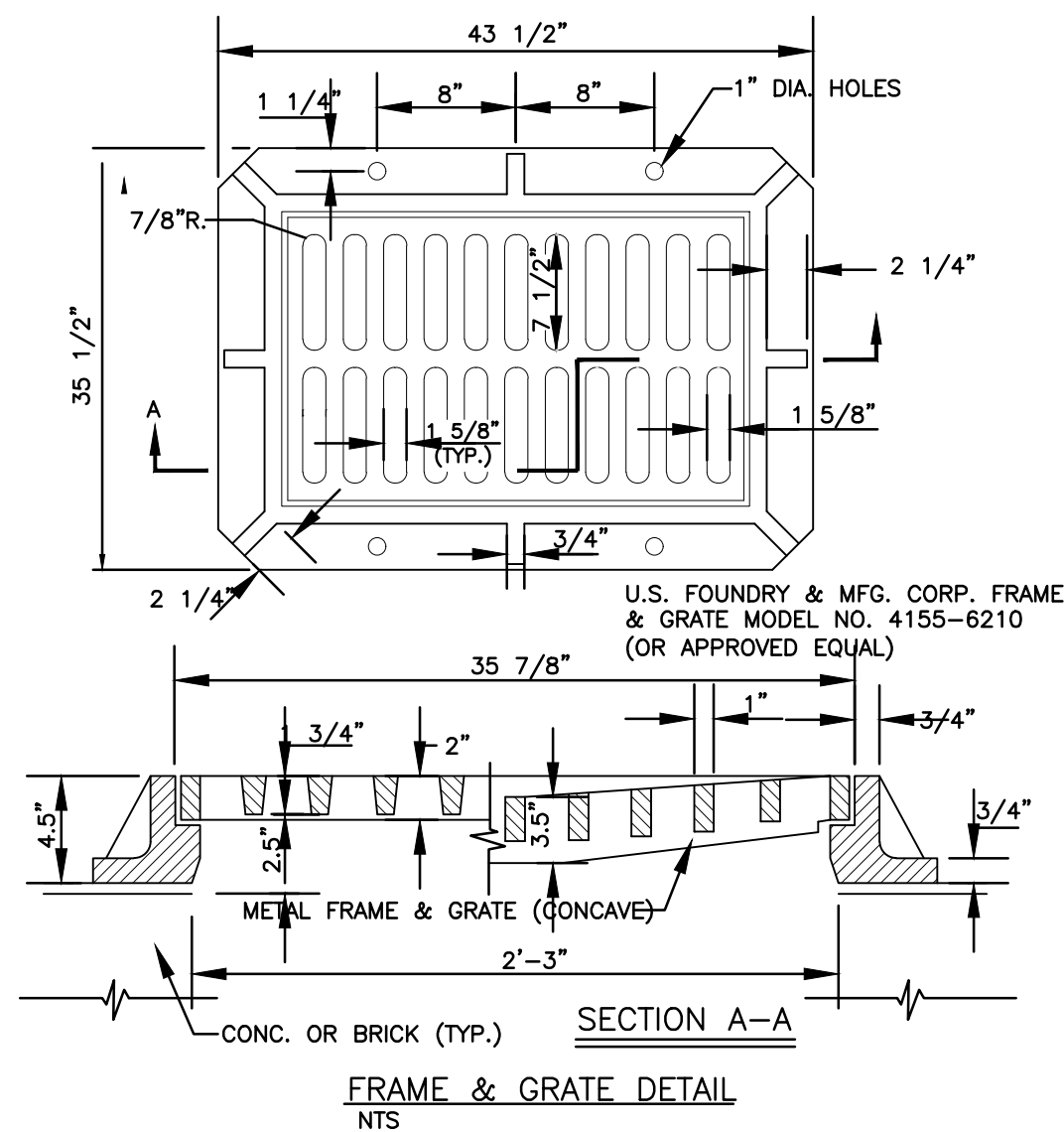
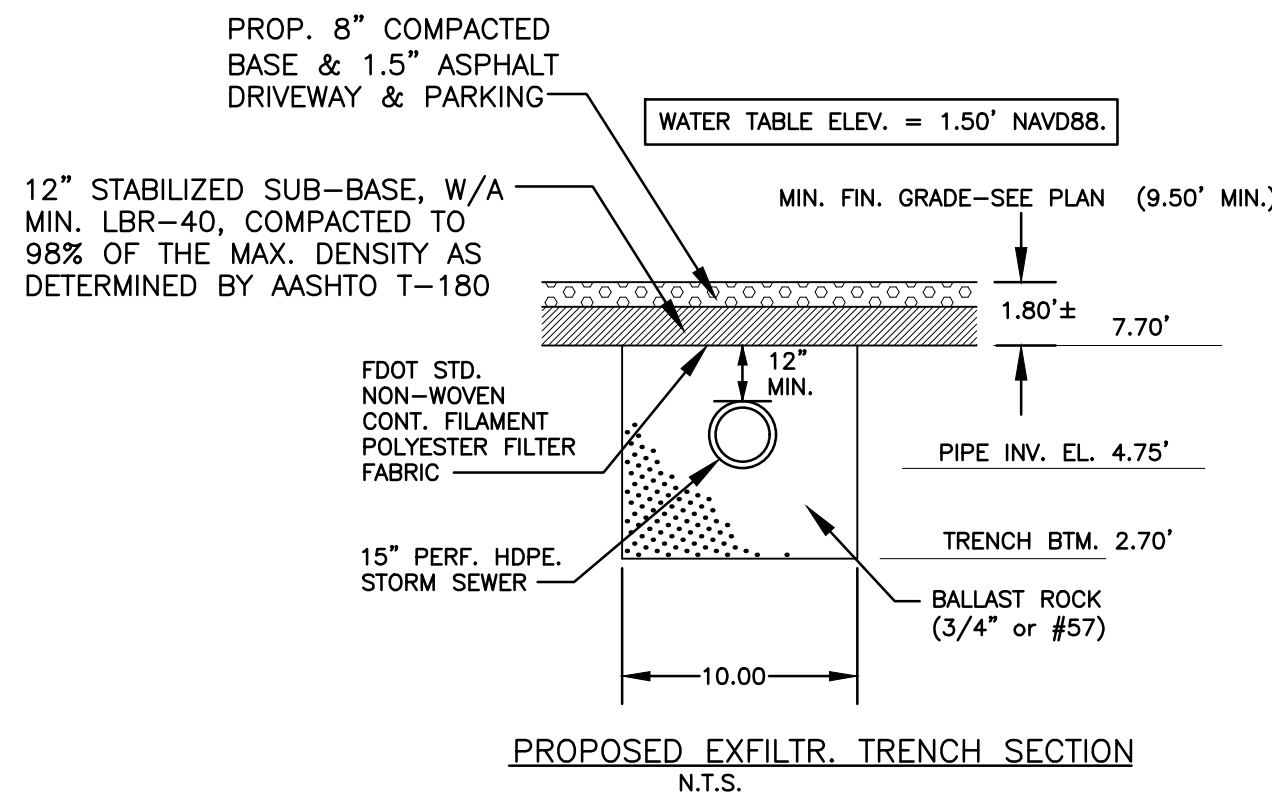
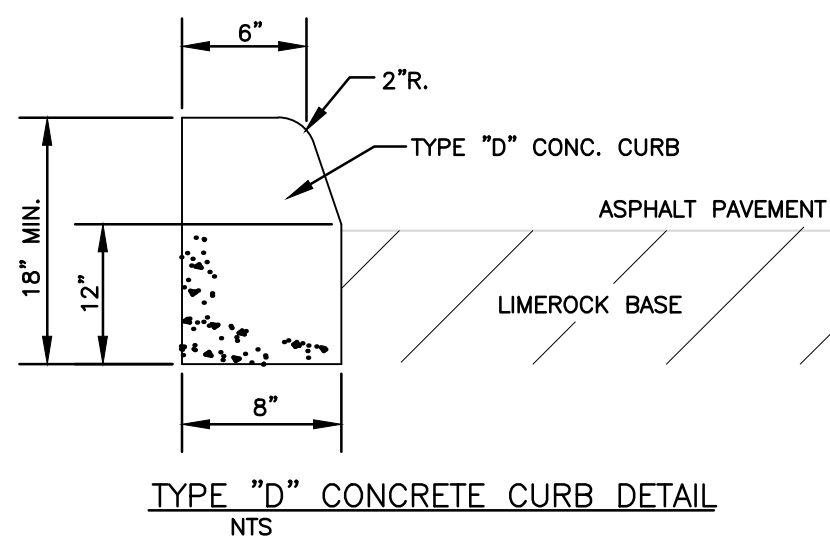
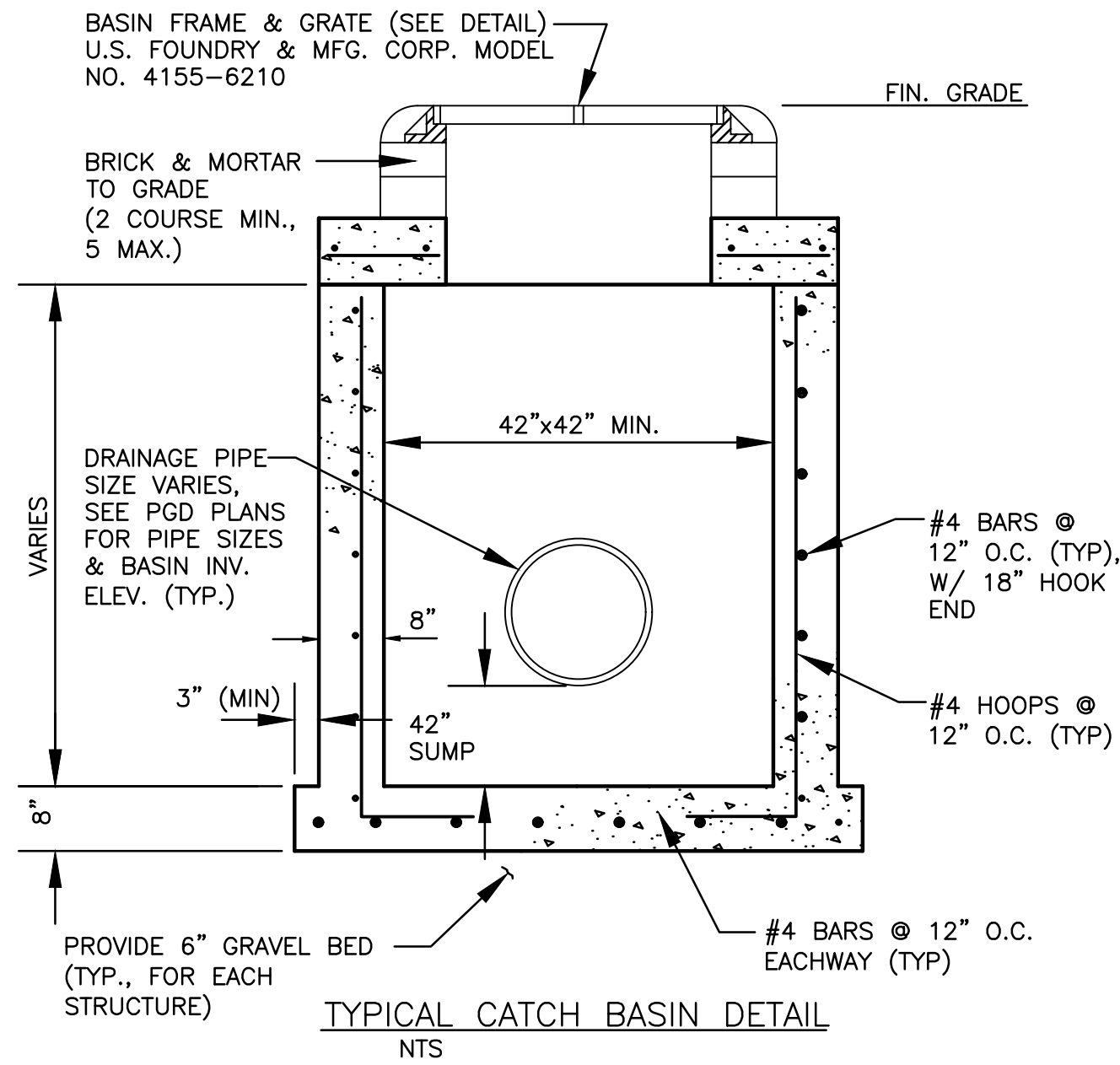
ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



NOTE:
PROVIDE MINIMUM 18-INCHES FROM PIPE INVERT TO BOTTOM OF BAFFLE. PROVIDE MINIMUM 24-INCHES FROM BOTTOM OF BAFFLE TO BOTTOM OF CATCH BASIN



POLLUTION RETARDANT BAFFLE DETAIL
NTS



TYPICAL SIDEWALK THICKNESS (T)

| LOCATION : | T" |
|-------------------|----|
| PEDESTRIAN AREAS | 4" |
| DRIVEWAYS & OTHER | 6" |

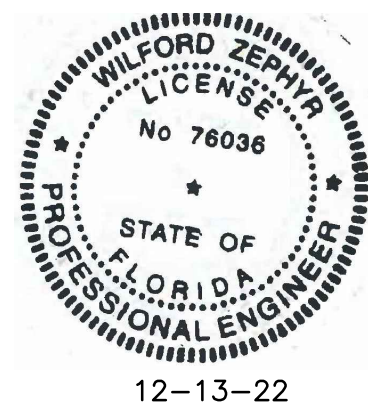
- NOTES:
1. EXPANSION JOINTS EVERY 50' O.C.
 2. CONC. MIN. 2500 PSI, NO STEEL IN SIDEWALK
 3. 8" THK. SIDEWALK ACROSS DRIVEWAYS

SIDEWALK JOINTS N.T.S.

| TYPE | LOCATION : |
|------|---|
| "A" | P.C. & P.T. OF CURVES & TIE-IN JUNCTION OF EXIST. TO NEW SIDEWALKS. |
| "B" | 5'-0" O.C. ON SIDEWALKS. |
| "C" | * WHERE SIDEWALK ABUTS CONC. CURBS & DRIVEWAYS OR SIMILAR STRUCTURES. EXPANSION JOINTS EVERY 50' O.C. |

* INSTALLED AT THE DISCRETION OF THE ENGINEER

SIDEWALK DETAIL N.T.S.



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CIVIL DETAILS

SCALE: N.T.S.

REVISIONS

| NO. | DATE | DESCRIPTION |
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ZEPHYR ENGINEERING

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CA#: 31158

ZE

NEW RESIDENTIAL BUILDING

2621-31 POLK STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 7/26/22

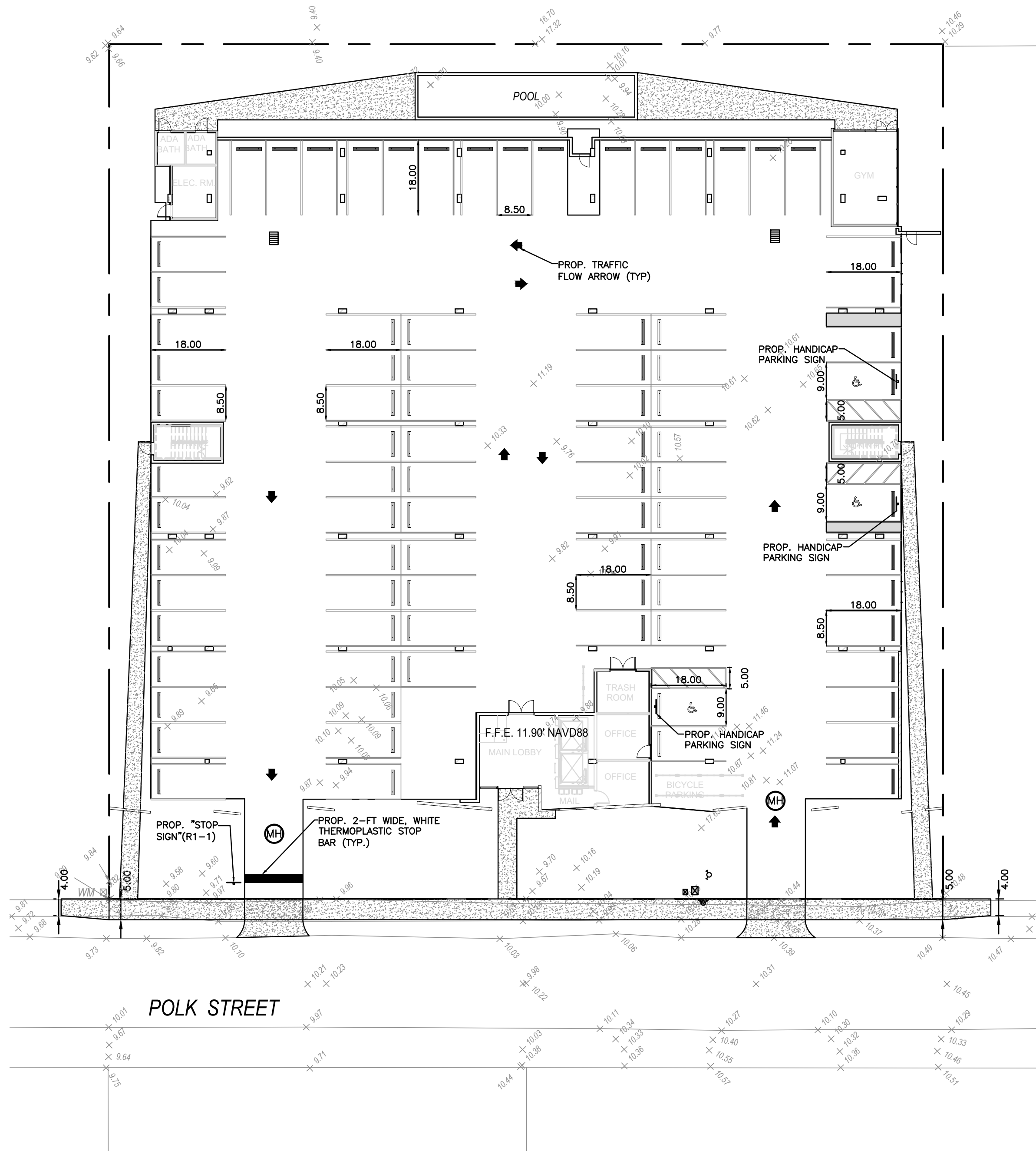
SCALE: N.T.S.

SHEET NO.:

C3

3 OF 7

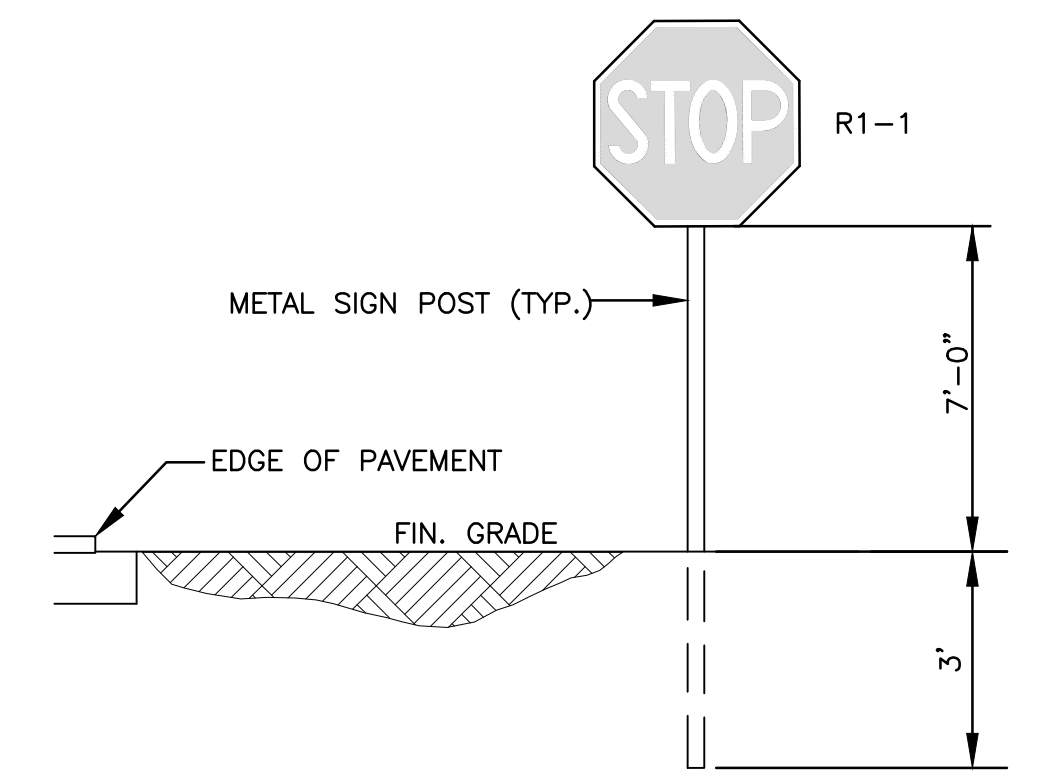
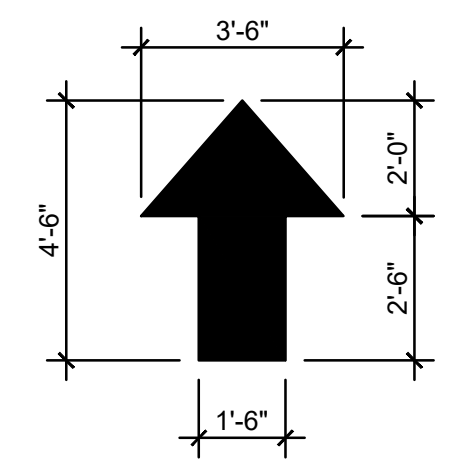
PROJECT NO.: 22-66



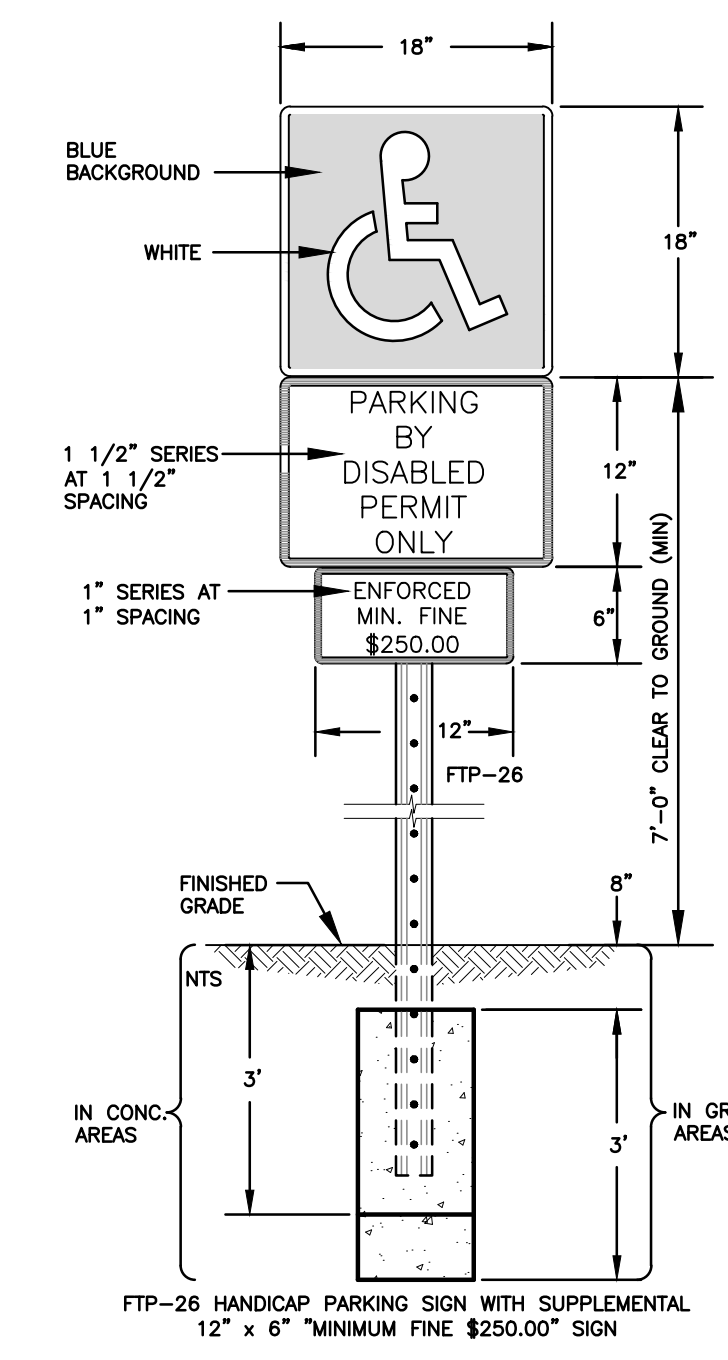
TRAFFIC CONTROL ARROWS: DIRECTIONAL ARROWS PAINTED ON CONCRETE - SEE LOCATIONS THIS SHEET.

PAINT FOR ARROWS: PROVIDE A MINIMUM OF 2-COATS OF D.O.T. APPROVED PAINT - UTILIZE "YELLOW" COLORED PAINT ON CONCRETE.

TRAFFIC CONTROL ARROWS DETAILS
NTS

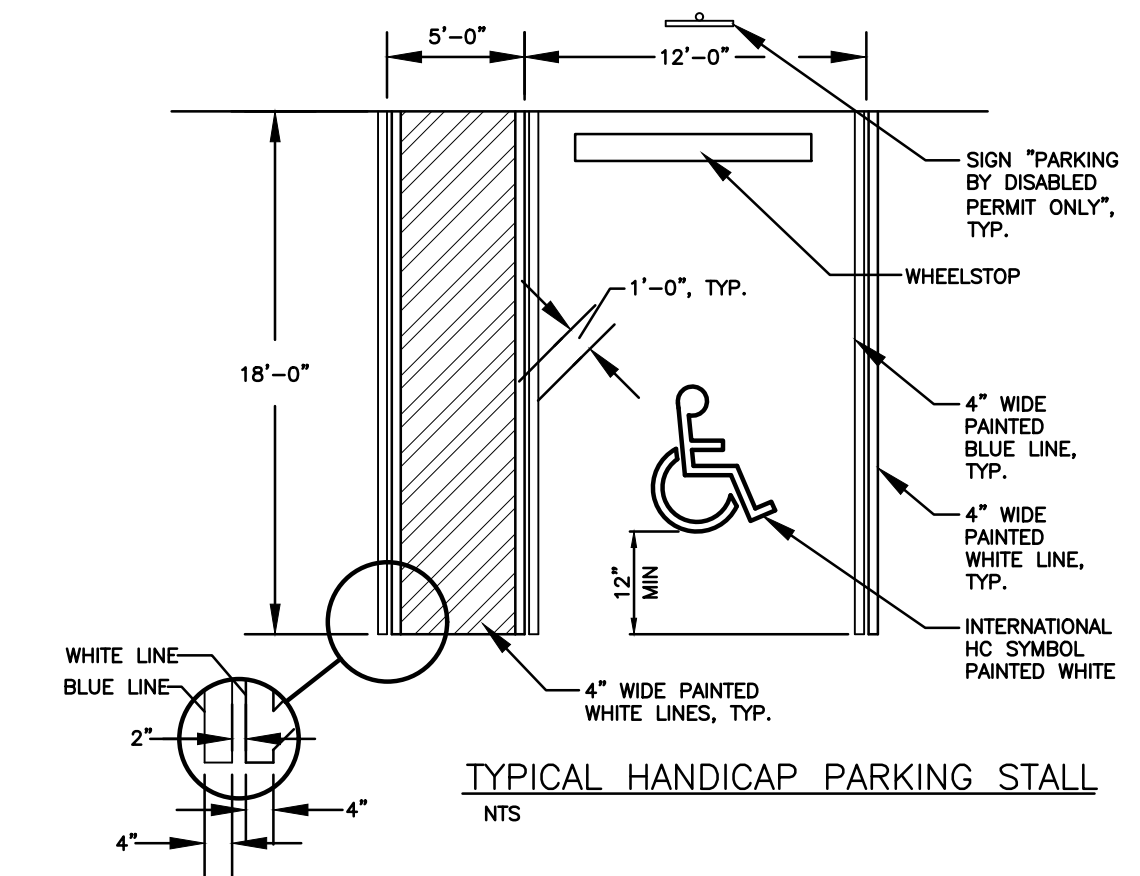


TYPICAL SIGN INSTALLATION DETAIL
NTS



NOTES:
1. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
2. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP PARKING STALL, WHERE APPLICABLE.

HANDICAP PARKING SIGN DETAIL



TYPICAL HANDICAP PARKING STALL
NTS

LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT



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PAVEMENT MARKINGS & SIGNAGE PLAN

SCALE: 1"=20'

| REVISIONS | |
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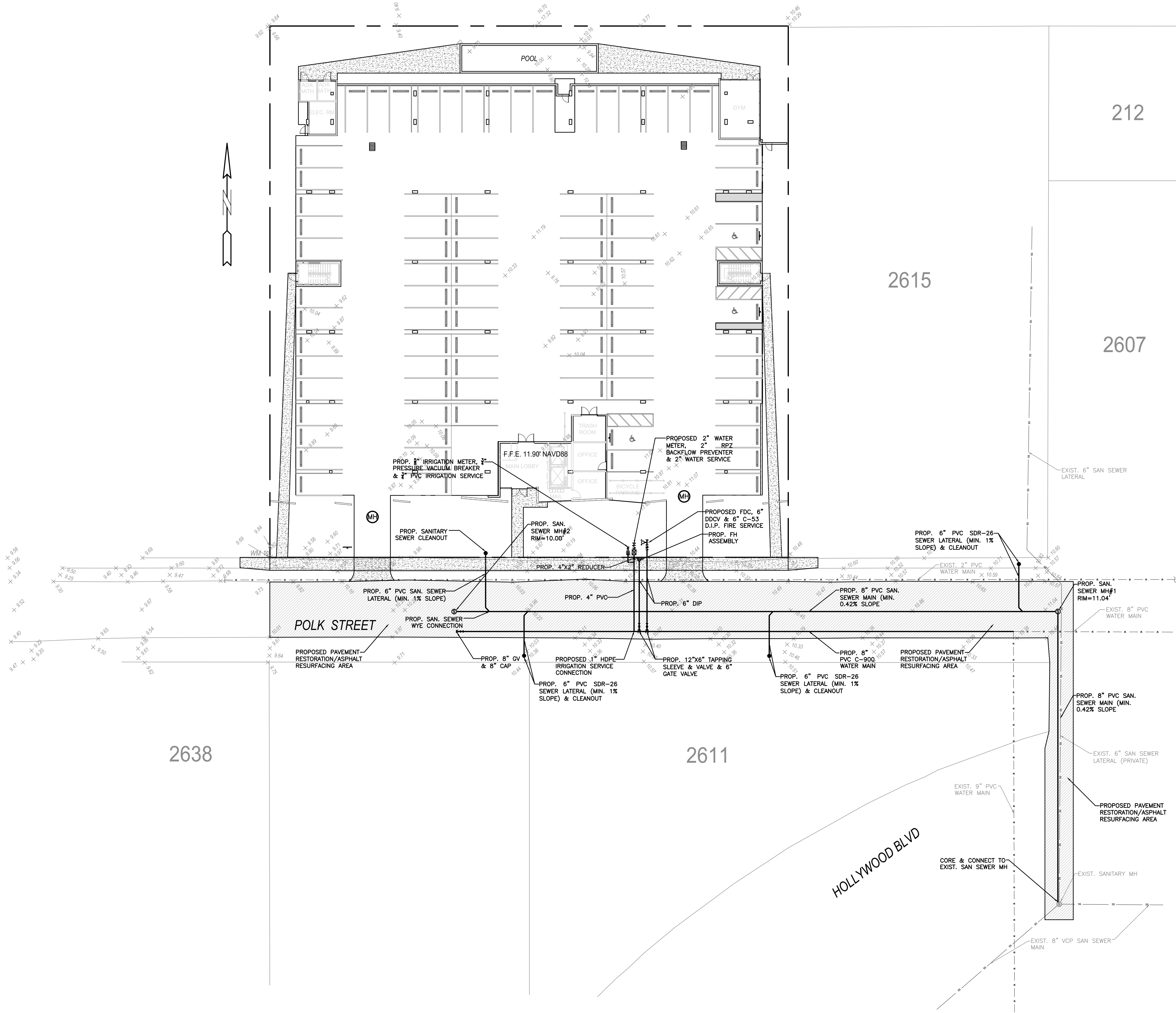
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ZE

NEW RESIDENTIAL BUILDING
2621-31 POLK STREET
HOLLYWOOD, FL 33020

P.E.#: 78036
DATE: 7/26/22
SCALE: 1"=20'
SHEET NO.:
C4
4 OF 7
PROJECT NO.: 22-66

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT

REVISIONS

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ZE

NEW RESIDENTIAL BUILDING

2621-31 POLK STREET
HOLLYWOOD, FL 33020

NOTE:
UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED
BY A CONTRACTOR HOLDING A CLASS I, II, OR V
LICENSE AS DEFINED BY FLORIDA STATUTE 633.102.

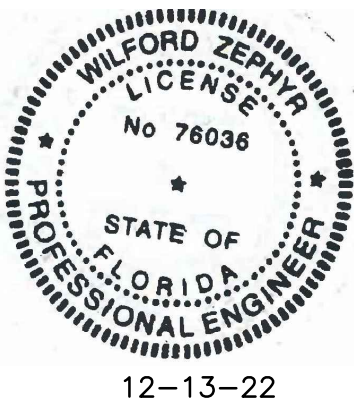
WATER & SEWER DEMAND CALCULATIONS:

PROJECT INFO:
• 72 RESIDENTIAL UNITS

WATER DEMAND
(72 RESIDENTIAL UNITS)X(141 GPD/UNIT)=10,152 GPD

WASTEWATER DEMAND
(72 RESIDENTIAL UNITS)X(100 GPD/UNIT)=7,200 GPD

(PER BROWARD COUNTY WATER & WASTEWATER ENGINEERING
DIVISION'S GUIDELINE FOR DETERMINING ABILITY TO PROVIDE
POTABLE WATER & WASTEWATER SERVICE AND EQUIVALENT
RESIDENTIAL UNIT FACTORS PUBLICATIONS)



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WATER & SEWER PLAN & DETAILS

SCALE: 1"=20'

P.E.#:76036

DATE: 7/26/22

SCALE: 1"=20'

SHEET NO.:

C5

5 OF 7

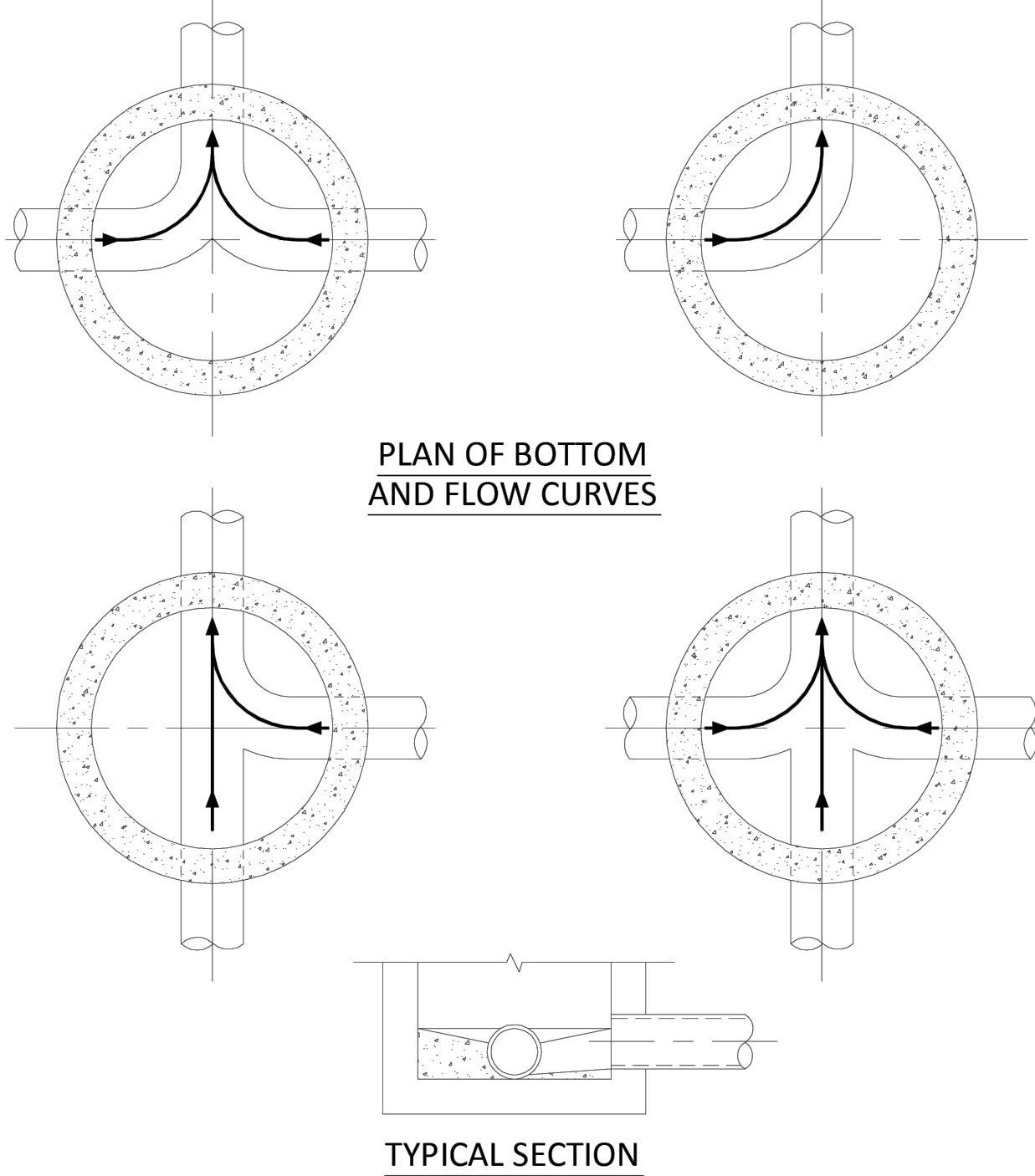
PROJECT NO.: 22-66

SEWER NOTES:

1. THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 36".
2. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
4. LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
5. LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
6. FORCE MAINS SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:
$$L = \frac{S \times D \times \sqrt{P}}{148,000}$$


WHERE:
L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR
D = PIPE DIAMETER IN INCHES
S = LENGTH OF LINES IN LINEAL FEET
P = AVERAGE TEST PRESSURE IN PSI
7. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
8. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

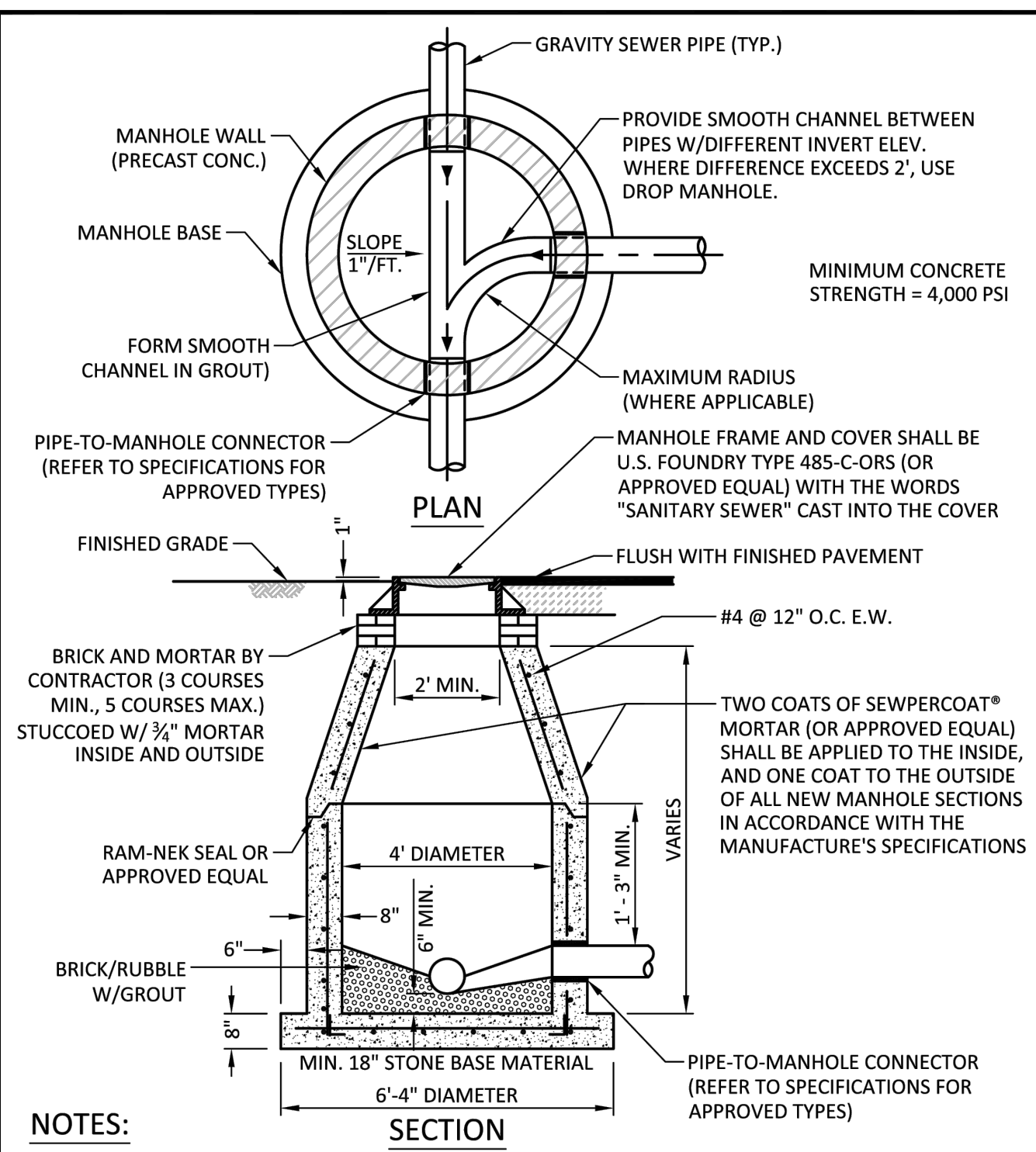
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|  | ISSUED: 03/01/1994 | DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL | REVISED: 06/08/2014 |
| | DRAWN: EAM | SANITARY SEWER MAIN CONSTRUCTION NOTES | DRAWING NO. |
| | APPROVED: XXX | | S-01 |



NOTES:


1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING SMOOTH FLOWS.
3. CHANNELS FOR FUTURE CONNECTIONS (STUBS) SHALL BE CONSTRUCTED FILLED WITH SAND & COVERED WITH 1" OF MORTAR.
4. WHEN FLOW LINE DEFLECTS MORE THAN 45°, A DROP OF 0.10' IS REQUIRED.

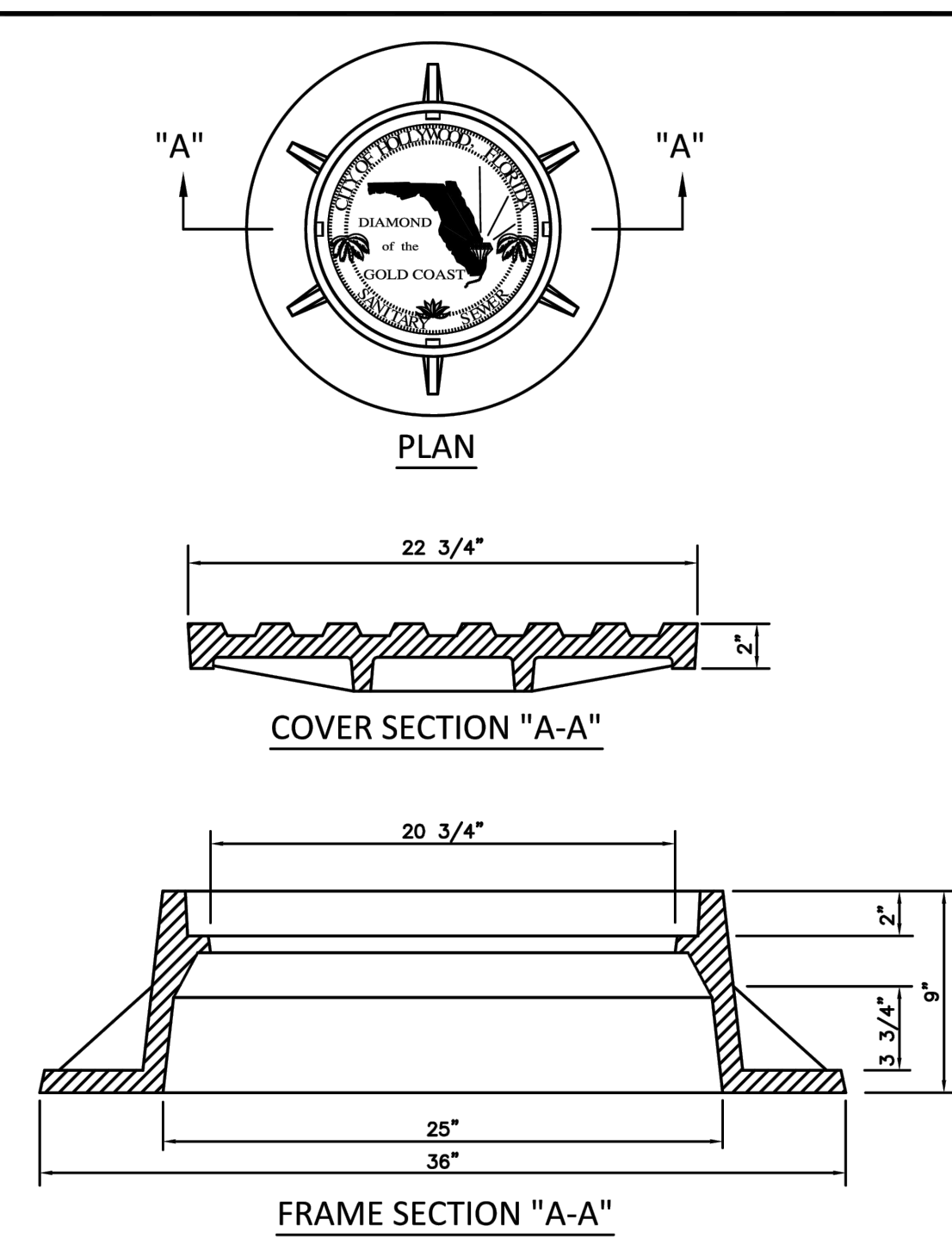
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|  | ISSUED: 03/01/1994 | DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL | REVISED: 06/08/2014 |
| | DRAWN: EAM | MANHOLE FLOW PATTERNS | DRAWING NO. |
| | APPROVED: XXX | | S-02 |



NOTES:


1. SHOP DRAWINGS SHOWING ALL DIMENSIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
2. THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION TO A MINIMUM OF 3' ABOVE SLAB BASE.
3. NO CONSTRUCTION JOINTS ARE ALLOWED BELOW ELEVATION +2.00 NAVD. ABOVE ELEVATION +2.00 NAVD CONSTRUCTION JOINTS ARE ALLOWED, IF ADEQUATE JOINTS WITH KEY-WAYS AND WATER STOPS ARE PROVIDED. SUBMIT SHOP DRAWINGS OF JOINT DETAILS TO THE ENGINEER FOR APPROVAL.

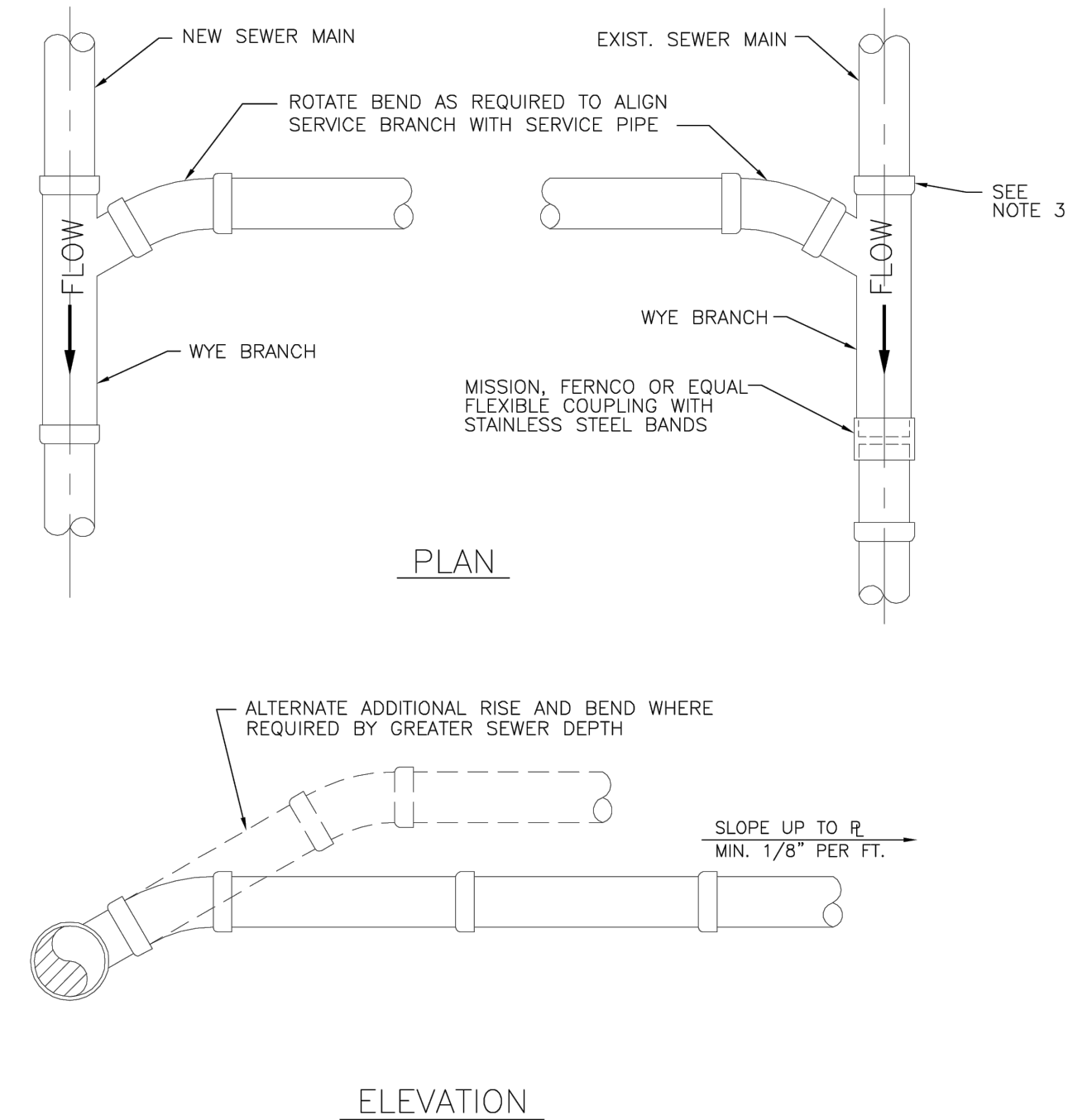
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|  | ISSUED: 03/01/1994 | DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL | REVISED: 07/18/2018 |
| | DRAWN: EAM | STANDARD PRECAST MANHOLE | DRAWING NO. |
| | APPROVED: XXX | | S-03 |



NOTES:


1. LETTERS ON COVER TO BE 3/8" HIGH, 1/4" TO 5/16" THICK AND FLUSH WITH TOP OF COVER.
2. ALL BEARING SURFACES TO BE MACHINED.
3. MINIMUM WEIGHTS: COVER - 160 LBS., TOTAL - 400 LBS.
4. MANHOLE FRAME AND COVER SHALL BE U.S. FOUNDRY 485-C-ORS TYPE EL, WITH THE WORDS "SANITARY SEWER" CAST INTO THE COVER.

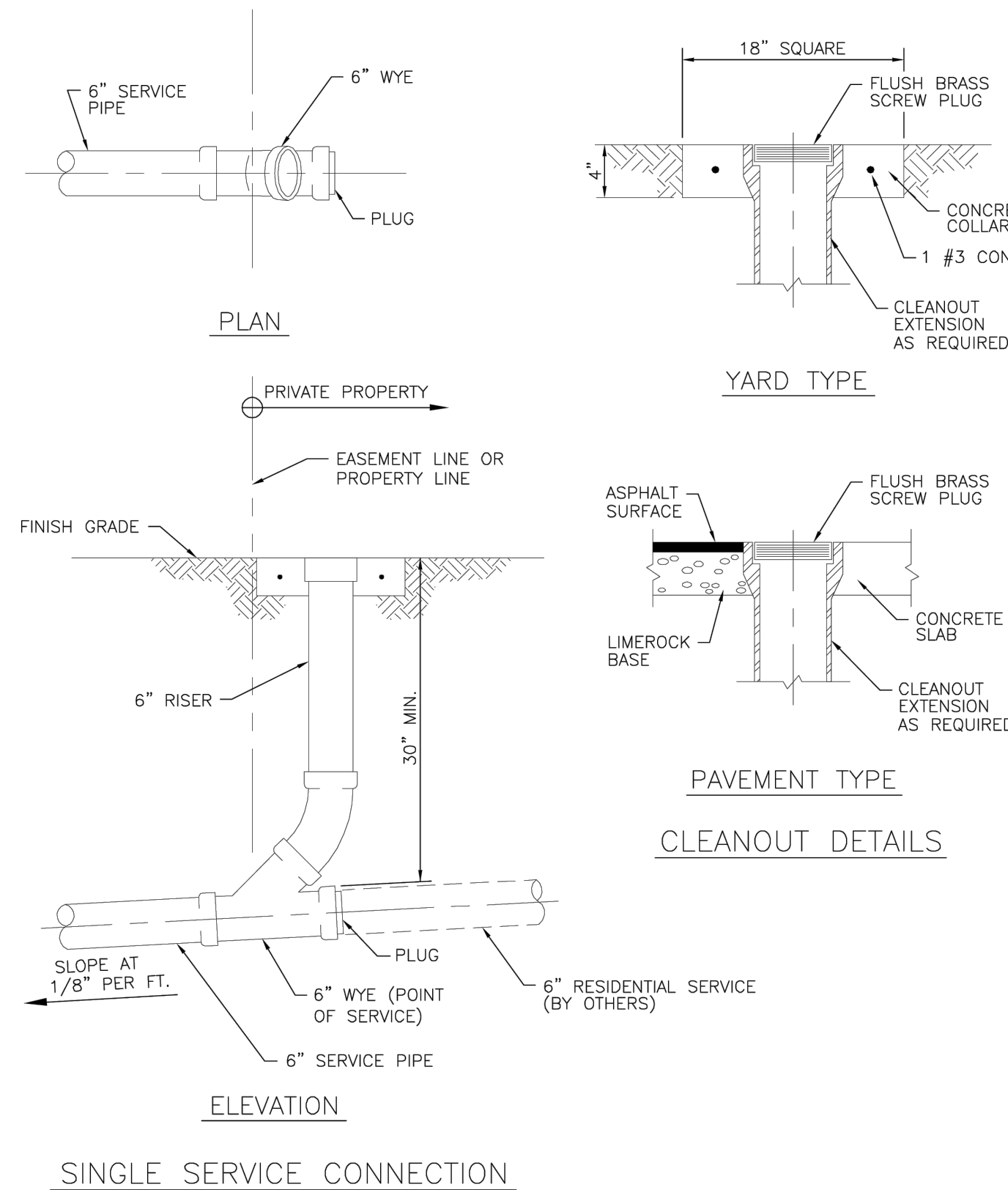
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|  | ISSUED: 03/01/1994 | DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL | REVISED: 06/08/2014 |
| | DRAWN: EAM | MANHOLE FRAME AND COVER CITY OF HOLLYWOOD | DRAWING NO. |
| | APPROVED: XXX | | S-06.1 |




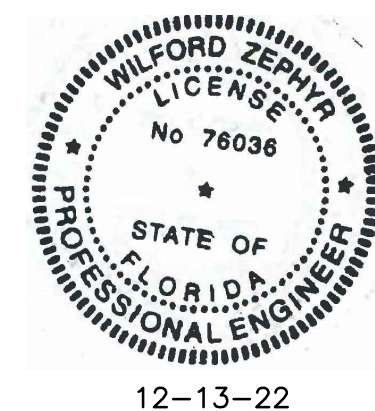
NOTES:

1. SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.
2. USE RISER CONNECTIONS WHERE INVERT OF SEWER IS GREATER THAN 7'-0" DEEP.
3. WHERE BELL OF WYE AND SPIGOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.

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|  | ISSUED: 03/01/1994 | DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL | REVISED: 06/08/2014 |
| | DRAWN: EAM | WYE BRANCH CONNECTION | DRAWING NO. |
| | APPROVED: XXX | | S-09 |



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|  | ISSUED: 03/01/1994 | DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL | REVISED: 06/08/2014 |
| | DRAWN: EAM | SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE | DRAWING NO. |
| | APPROVED: XXX | | S-12 |



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UTILITIES DETAILS II

SCALE: N.T.S.

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wzephyr@gmail.com
CA #: 31158

ZE

NEW RESIDENTIAL BUILDING

2621-31 POLK STREET
HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 7/26/22

SCALE: N.T.S.

SHEET NO.:

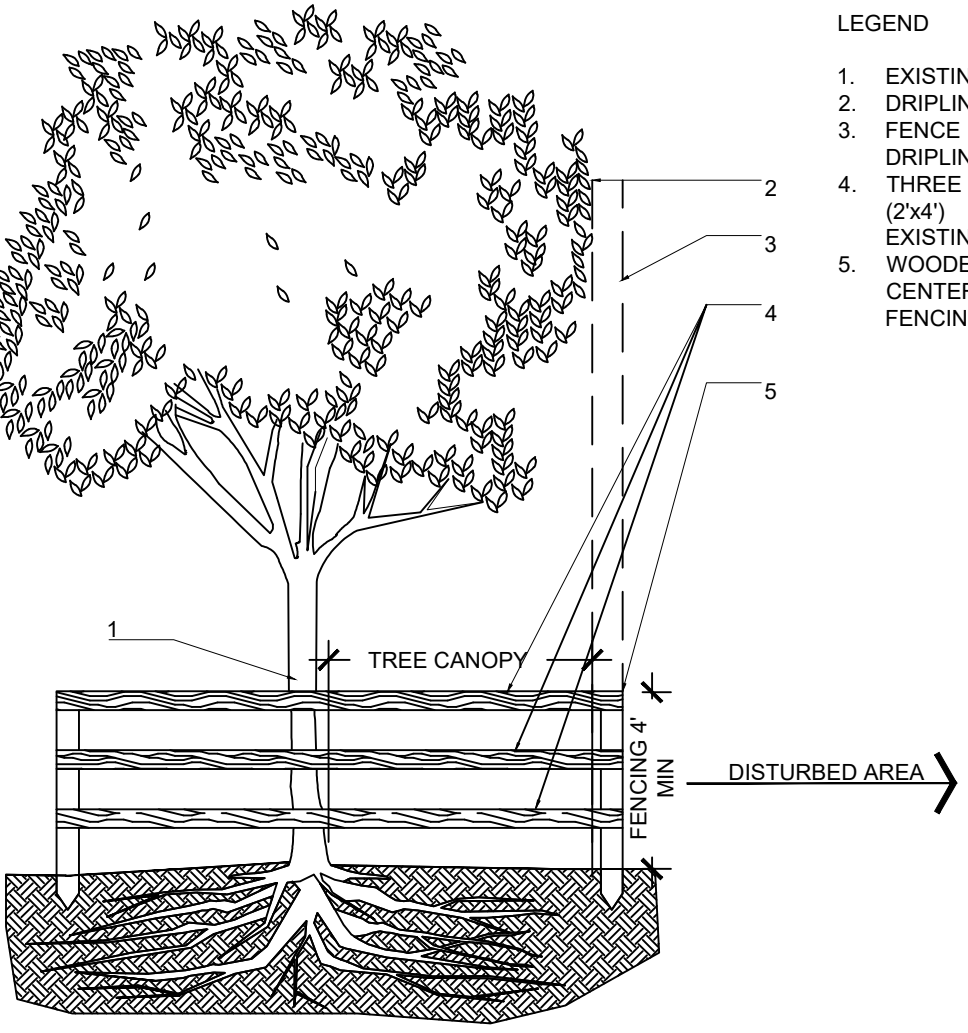
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7 OF 7

PROJECT NO.: 22-66

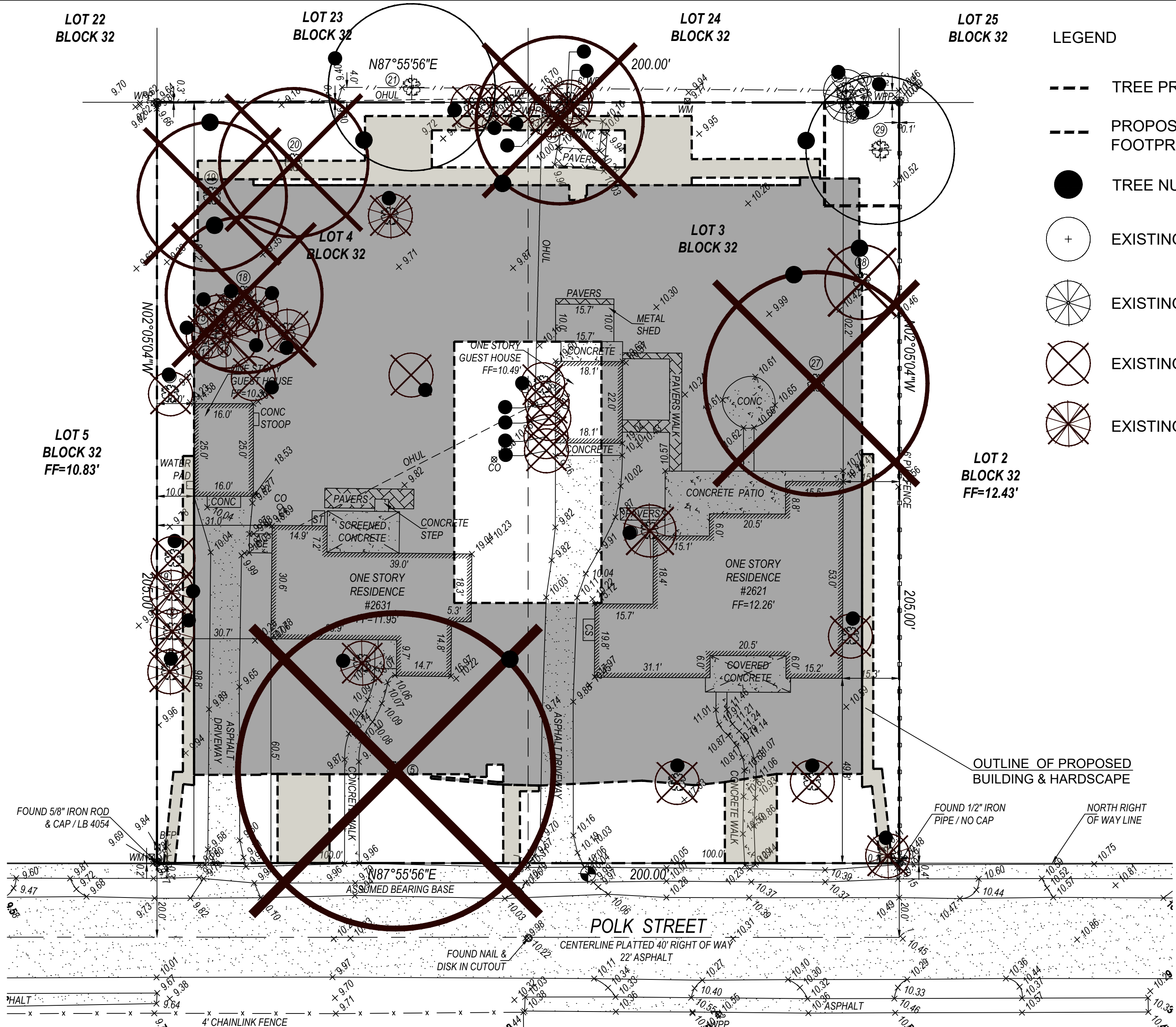


| TREE # | BOTANICAL NAME | COMMON NAME | DBH (IN.) | HEIGHT (FT.) | SPR. (FT.) | CRZ/TPZ (FT.) | CONDITION | STATUS |
|--------|--------------------------|--------------------------|----------------|--------------|------------|---------------|----------------------------------|--------|
| 1 | Sabal palmetto | Sabal Palm | no CT | 10' | 8' | 3' | Good | REMOVE |
| 2 | Bursera simaruba | Gumbo Limbo | 4'-5" | 18' | 10' | 5' | Fair | REMOVE |
| 3 | Quercus virginiana | Live Oak | | | | | Dead | REMOVE |
| 4 | Quercus virginiana | Live Oak | | | | | Dead | REMOVE |
| 5 | Bucida buceras | Black Olive | 38" | 55' | 50' | 25' | Good | REMOVE |
| 6 | Adonidia merillii | Christmas Palm | 6" | 15' | 8' | 3' | Fair | REMOVE |
| 7 | Dyopsis lutescens | Areca Palm | ~18" | 15' | 6' | 3' | Good | REMOVE |
| 8 | Dyopsis lutescens | Areca Palm | ~30" | 18' | 8' | 3' | Good | REMOVE |
| 9 | Dyopsis lutescens | Areca Palm | ~30" | 18' | 10' | 3' | Good | REMOVE |
| 10 | Ficus benjamina | Weeping Fig | 7" | 25' | 8' | 4' | Poor | REMOVE |
| 11 | Schinus terebinthifolius | Brazilian Pepper tree | 12" | 25' | 15' | N/A | Poor - Prohibited Species | REMOVE |
| 12 | Adonidia merillii | Christmas Palm | 6'-6"-5'-5" | 25' | 10' | 3' | Fair | REMOVE |
| 13 | Sabal palmetto | Sabal Palm | 12" | 30' | 8' | 3' | Fair - *with remnant roots | REMOVE |
| 14 | Adonidia merillii | Christmas Palm | 6'-6"-5'-5"-5" | 30' | 10' | 3' | Fair | REMOVE |
| 15 | Schefflera actinophylla | Umbrella Tree | 37" | 40' | 30' | 3' | Moderate - Prohibited Species | REMOVE |
| 16 | Adonidia merillii | Christmas Palm | 5" | 30' | 8' | 3' | Fair | REMOVE |
| 17 | Sabal palmetto | Sabal Palm | 13" | 28' | 10' | 3' | Moderate | REMOVE |
| 18 | Mangifera indica | Mango | 30" | 50' | 45' | 24' | Fair | REMOVE |
| 19 | Aleutites moluccanus | Candlenut Tree | 25" | 55' | 50' | 20' | Fair | REMOVE |
| 20 | Coccoloba uvifera | Seagrape Tree | 52" | 45' | 30' | 18' | Moderate | REMOVE |
| 21 | Ficus Aurea | Strangler Fig | ~80 | 35' | 45' | 25' | Moderate - Outside Property line | REMAIN |
| 22 | Aleutites moluccanus | Candlenut Tree | 7" | 30' | 10' | 5' | Poor | REMOVE |
| 23 | Aleutites moluccanus | Candlenut Tree | 9" | 40' | 15' | 7' | Poor | REMOVE |
| 24 | Aleutites moluccanus | Candlenut Tree | 10" | 30' | 12' | 7' | Poor | REMOVE |
| 25 | Adonidia merillii | Christmas Palm | 5.5" | 20' | 6' | 3' | Fair | REMOVE |
| 26 | Sabal palmetto | Sabal Palm | no CT | 12' | 8' | 3' | Good | REMOVE |
| 27 | Mangifera indica | Mango | ~40" | 55' | 55' | 28' | Fair - *at 3' | REMOVE |
| 28 | Plumeria | Frangipani "Pink Yellow" | 12" | 18' | 15' | 5' | Fair | REMOVE |
| 29 | Quercus virginiana | Live Oak | 40" | 50' | 40' | 30' | Fair | REMAIN |
| 30 | Aleutites moluccanus | Candlenut Tree | 10" | 28' | 18' | 8' | Poor - Outside Property line | REMAIN |
| 31 | Aleutites moluccanus | Candlenut Tree | 10" | 28' | 18' | 8' | Poor - Outside Property line | REMAIN |
| 32 | Sabal palmetto | Sabal Palm | no CT | 6' | 8' | 3' | Fair - Outside Property line | REMAIN |
| 33 | Sabal palmetto | Sabal Palm | ~10" | 28' | 8' | 3' | Moderate | REMOVE |
| 34 | Ficus Aurea | Strangler Fig | ~30" | 35' | 25' | 15' | Moderate | REMOVE |
| 35 | Sabal palmetto | Sabal Palm | ~12" | 30' | 8' | 3' | Moderate | REMOVE |
| 36 | Schefflera actinophylla | Umbrella Tree | 19" | 30' | 20' | 3' | Moderate - Prohibited Species | REMOVE |
| 37 | Bursera simaruba | Gumbo Limbo | 5'-5" | 15' | 8' | 5' | Moderate | REMOVE |
| 38 | Aleutites moluccanus | Candlenut Tree | 3" | 10' | 6' | 2' | Poor | REMOVE |
| 39 | Bursera simaruba | Gumbo Limbo | 3'-1'-1'-1" | 15' | 10' | 4' | Poor | REMOVE |
| 40 | Aleutites moluccanus | Candlenut Tree | 4'-4" | 15' | 10' | 5' | Poor | REMOVE |
| 41 | Ficus benjamina | Weeping Fig | 10" | 12' | 10' | 5' | Poor | REMOVE |
| 42 | Persea americana | Avocado | 17.5" | 20' | 5' | 10' | Poor - Severe Decay | REMOVE |
| 43 | Persea americana | Avocado | 19" | 20' | 10' | 10' | Poor - Severe Decay | REMOVE |



- NOTES:
- ALL EXPOSED ROOTS WITHIN ROOT PROTECTION ZONE SHALL BE HAND PRUNED TO HAVE A SMOOTH, CLEAN CUT WITHOUT TEARING OR SPLITTING.
 - BARRIER TO FORM A CONTINUOUS CIRCLE AROUND THE TREE OR GROUP OF TREES.
 - CONTRACTOR TO INSTALL PROTECTIVE FENCE BARRIER AROUND ALL EXISTING TREES TO REMAIN - AT THE START OF THE PROJECT - FENCE TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT.
 - CONTRACTOR SHALL TAKE EXTRA CARE DURING EARTHWORK AND UTILITY OPERATIONS TO PROTECT ALL EXISTING TREES - AND SHALL BE RESPONSIBLE TO REPLACE ANY TREES DAMAGED DURING CONSTRUCTION.

1 EXISTING TREE PROTECTION FENCE d-Protection fence 1.dwg
SECTION SCALE: N.T.S



- LEGEND
- TREE PROTECTION FENCE
 - PROPOSED BUILDING & HARDSCAPE FOOTPRINT
 - TREE NUMBER
 - + EXISTING TREE TO REMAIN
 - / EXISTING PALM TO REMAIN
 - X EXISTING TREE TO BE REMOVED
 - / X EXISTING PALM TO BE REMOVED

- NOTES:
- THE APPROXIMATE LOCATION, SIZE AND CONDITIONS OF THE EXISTING TREES/PALMS WITHIN THE PROJECT LIMITS HAS BEEN COLLECTED FROM A SITE VISIT BY THE LANDSCAPE ARCHITECT, THE EXISTING PROPERTY SURVEY PREPARED BY:
PRINCIPAL MERIDIAN SURVEYING, INC.
WEST PALM BEACH, FL 33415
Ph:561.478.7764
AND ARBORIST REPORT PREPARED BY:
ALISON WALKER
FL. CERTIFIED ARBORIST ISA FL-9317A
info@treage.com
C: 786.525.7883
 - EXISTING TREES TO REMAIN TO BE PROTECTED DURING CONSTRUCTION - SEE EXISTING TREE PROTECTION FENCE DETAIL # 1- SHEET L-01
 - CONTRACTOR SHALL OBTAIN A TREE REMOVAL PERMIT PRIOR TO THE REMOVAL OF TREES/PALMS PROPOSED TO BE REMOVED.
 - CONTRACTOR TO REMOVE ALL EXISTING SHRUBS AND GROUNDCOVERS UNLESS NOTED IN LANDSCAPE PLAN AS EXISTING TO REMAIN.

GRAPHIC SCALE
NORTH 0' 25' 40' 60'

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Rev: 1
Date: 1/19/23
Description: 1/23
2/23
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6/23

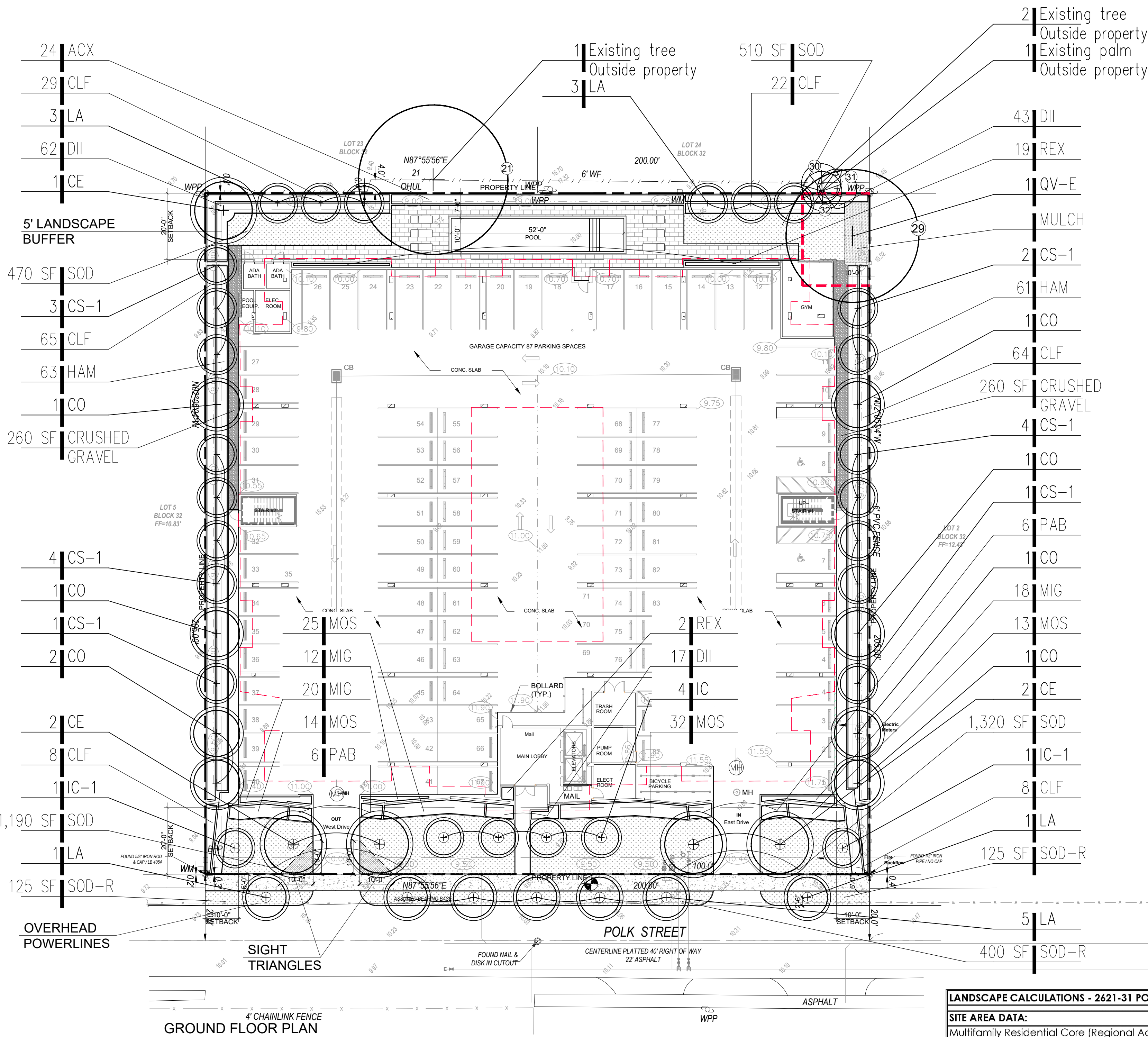
Sheet Title:
PROPERTY SURVEY &
TREE DISPOSITION
PLAN

Project Name:
RESIDENTIAL
BUILDING
2621-2631 POLK STREET
HOLLYWOOD, FL 33020

Project Name:
RESIDENTIAL
BUILDING
2621-2631 POLK STREET
HOLLYWOOD, FL 33020

DATE: JANUARY 19, 2023
Scale: 1" = 20'-0"
Drawn By: AEM/MEP/GPM
Approved By: AEM
Project No: 202232

Sheet Number:
L-01



LEGEND

--- TREE PROTECTION FENCE

(X) TREE NUMBER

NOTES:

- IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.
- ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES/PALMS THAT ARE PLANTED WITHIN FIVE (5) FEET OF UNDERGROUND UTILITIES, UTILITY EASEMENTS, SIDEWALKS AND DRIVEWAYS. SEE DETAIL #4 ON SHEET L-03.
- REQUIRED SCREENING HEDGES SHALL BE PLANTED AND MAINTAINED TO FORM A CONTINUOUS VISUAL SCREEN.
- 3" OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN ALL LANDSCAPE AREAS COVERED BY TREES, SHRUBS AND GROUNDCOVERS.
- PROVIDE A CIRCLE OF ORGANIC MULCH AROUND TREES/PALMS OF NOT LESS THAN 12" FROM THE TRUNK OF THE TREE/PALM
- WITHIN VISIBILITY TRIANGLES, LANDSCAPE SHALL BE MAINTAIN TO PROVIDE CLEAR VISIBILITY WITHOUT OBSTRUCTION FROM AN AREA BETWEEN TWO (2) FEET AND SIX (6) FEET ABOVE AVERAGE ELEVATION OF THE INTERSECTION.

LANDSCAPE CALCULATIONS - 2621-31 POLK ST., HOLLYWOOD

| SITE AREA DATA: | | |
|---|----------|----------|
| Multifamily Residential Core (Regional Activity Center) | MC-1 | |
| SF | | ACRES |
| NET LOT AREA | 41,000 | 0.94 |
| | REQUIRED | PROVIDED |
| PROJECT DATA: | | |
| MIN. OPEN SPACE (40%) | 40% | 41% |
| GENERAL LANDSCAPE REQUIREMENTS | | |
| PERIMETER LANDSCAPE - STREET TREE (200 Lf of street frontage) | | |
| 200 Lf of street frontage at 1 tree per 30 Lf = | 7 | 7 |
| Five Foot landscape buffer - 1 tree per 20 Lf = | 31 | 31 |
| V.U.A LANDSCAPE | | |
| V.U.A terminal landscape island- 1 tree each | N/A | N/A |
| OPEN SPACE LANDSCAPE | | |
| 1 tree per 1,000 sf of pervious area | 8 | 10 |
| NATIVE TREES | 60% | 66% |
| NATIVE SHRUBS | 50% | 75% |

| QT | code | species | common name | drought tolerance | native | specifications | container size | spacing |
|------------------------------|-------|-------------------------------|---------------------------|-------------------|--------|---|----------------|----------|
| TREES | | | | | | | | |
| 5 | CE | Conocarpus erectus | Green Buttonwood | High | yes | 14' ht. Std. 3" DBH x 7' Sprd. 6' CT | FG | as shown |
| 15 | CS-1 | Conocarpus erectus "sericeus" | Silver Buttonwood | High | yes | 14' ht. Std. 3" DBH x 6' Sprd. 6' CT | FG | as shown |
| 6 | CS-2 | Conocarpus erectus "sericeus" | Silver Buttonwood | High | yes | 12' ht. Std. 2" DBH x 4' Sprd. 4' CT | FG | as shown |
| 8 | CO | Coccoloba diversifolia | Pigeon Plum | High | yes | 14' ht. Std. 3" DBH x 6' Sprd. 6' CT | FG | as shown |
| 6 | IC-1 | Ilex cassine | Dahoon Holly | High | yes | 14' ht. Std. 3" DBH x 6' Sprd. 6' CT | FG | as shown |
| 7 | IC-2 | Ilex cassine | Dahoon Holly | High | yes | 12' ht. Std. 2.5" DBH x 5' Sprd. 4' CT | FG | as shown |
| 13 | LA | Lagerstroemia 'Natchez' | Crape Myrtle 'Natchez' | High | no | 14' ht. Std. 3.5" DBH. 6' Sprd. 6.5' CT | FG | as shown |
| EXISTING TREES | | | | | | | | |
| 1 | QV-E | Quercus virginiana | Live Oak | | | EXISTING TREES #29 | | |
| PALMS | | | | | | | | |
| 10 | VMX | Veitchia montgomeryana | Montgomery Palm | Medium | no | 14" O.A. height/single trunk | FG | as shown |
| SHRUBS, GROUNDCOVERS & VINES | | | | | | | | |
| 24 | ACX | Acoelarrhaphe wrightii | Pavotris Palm | Medium | yes | 8'ht O.A. Clump | FG | 42" O.C |
| 98 | CAP | Capparis cynophallophora | Jamaican Coper | High | yes | 18" ht x 18" spr. | 3 Gal. | 24" O.C. |
| 121 | CHR | Chrysobalanus icaco 'Red Tip' | Red Tip Cocoplum | Medium | yes | 30" O.A. | 7 Gal. | 30" O.C. |
| 196 | CLF | Clusia flava | Small Leaf Clusia | High | yes | 30" Ht. | 7 Gal. | 30" O.C. |
| 404 | DII | Dietes iridioides | African Iris | Medium | no | 18" O.A./ Full Clump | 1 Gal. | 24" O.C. |
| 124 | HAM | Hamelia nodosa | Dwarf Firebush | Medium | yes | 30" ht x 24" spr. | 7 Gal. | 36" O.C. |
| 50 | MIG | Microsorium scolopendria | Wart Fern | Medium | no | 12" O.A. | 3 Gal. | 18" O.C. |
| 84 | MOS | Mostera deliciosa | Swiss Cheese Plant | Low | no | 16" O.A. | 3 Gal. | 30" O.C. |
| 102 | MUH | Muhlenbergia capillaris | Pink Muhly Grass | High | yes | 30" O.A./ Full Clump | 3 Gal. | 30" O.C. |
| 30 | LOR | Loropetalum chinense | Chinese Fringe Flower | High | no | 30" ht x 24" spr. | 7 Gal. | 30" O.C. |
| 12 | PAB | Pandanus baptilistii 'Aureus' | Variegated Dwarf Pandanus | High | no | 24" HT, 24" Spr. | 7 gal. | 36" O.C. |
| 60 | POD | Podocarpus macrophyllus | Podocarpus | High | no | 5' Ht.x 30" spr. | 15 Gal. | 30" O.C. |
| 59 | PSY | Psychotria nervosa | Wild Coffee | Medium | yes | 18" O.A. | 3 Gal. | 24" O.C. |
| 38 | REX | Rhapis excelsa | Lady Palm | Medium | no | 30" O.A. Clump, Full | 7 Gal. | 36" O.C. |
| 80 | RUS | Russelia equisetiformis | Firecracker Bush | Medium | no | 24" O.A./1.25ft HT | 3 Gal. | 30" O.C. |
| 235 | TRA | Trachelospermum asiaticum | Asiatic Jasmine | High | no | 10" O.A. Full | 1 Gal. | 15" O.C. |
| 85 | TRF | Tripsacum floridanum | Dwarf Fakahatchee Grass | Medium | yes | 24" O.A./ Full Clump | 3 Gal. | 30" O.C. |
| SOD | | | | | | | | |
| 3490 | SOD | Stenotaphrum secundatum | St. Augustine Grass | | yes | | | |
| 650 | SOD-R | Stenotaphrum secundatum | St. Augustine Grass | | yes | Slaggered Panels | | |
| 1454 | ART | Artificial turf | | | | | | |

TREE MITIGATION TABLE - LIST OF TREES TO BE MITIGATED

| TREE # | BOTANICAL NAME | COMMON NAME | DBH |
|--------------------------------|----------------------|--------------------------|----------|
| 2 | Bursera simaruba | Gumbo Limbo | 4"+5" |
| 5 | Bucida buceras | Black Olive | 38" |
| 10 | Ficus benjamina | Weeping Fig | 7" |
| 18 | Mangifera indica | Mango | 30" |
| 19 | Aleurites moluccanus | Candlenut Tree | 12.5" |
| 20 | Coccoloba uvifera | Seagrape Tree | 52" |
| 21 | Ficus Aurea | Strangler Fig | 80" |
| 22 | Aleurites moluccanus | Candlenut Tree | 3.5" |
| 23 | Aleurites moluccanus | Candlenut Tree | 4.5" |
| 24 | Aleurites moluccanus | Candlenut Tree | 5" |
| 27 | Mangifera indica | Mango | 40" |
| 28 | Plumeria | Frangipani "Pink Yellow" | 12" |
| 34 | Ficus Aurea | Strangler Fig | 30" |
| 37 | Bursera simaruba | Gumbo Limbo | 5"+5" |
| 38 | Persea americana | Avocado | 21" |
| 39 | Bursera simaruba | Gumbo Limbo | 3"+1"+1" |
| 40 | Aleurites molocannus | Candlenut Tree | 4" |
| 41 | Ficus benjamina | Weeping Fig | 10" |
| 42 | Persea americana | Avocado | 17.5" |
| 43 | Persea americana | Avocado | 19" |
| Total tree DBH to be mitigated | | | 410" DBH |

PALMS TO MITIGATE

| | | | |
|---|------------------|----------------|-------------------|
| 6 | Adonia merrillii | Christmas Palm | |
| 7 | Dypsis lutescens | Areca Palm | |
| 8 | Dypsis lutescens | Areca Palm | |
| 9 | Dypsis lutescens | Areca Palm | |
| 12 | Adonia merrillii | Christmas Palm | |
| 13 | Sabal palmetto | Sabal Palm | |
| 14 | Adonia merrillii | Christmas Palm | |
| 16 | Adonia merrillii | Christmas Palm | |
| 17 | Sabal palmetto | Sabal Palm | |
| 25 | Adonia merrillii | Christmas Palm | |
| 26 | Sabal palmetto | Sabal Palm | |
| 33 | Sabal palmetto | Sabal Palm | |
| 35 | Sabal palmetto | Sabal Palm | |
| Total Palms to be mitigated | | | 13 PALMS |
| TOTAL NUMBER OF REPLACEMENT TREES REQUIRED FOR MITIGATION | | | 410" DBH+13 PALMS |

NEW TREES & PALMS TO MITIGATE

| | | | |
|--|-------------------------------|-------------------|--|
| 6 | Ilex cassine | Dahoon Holly | 14' ht. Std. 3" DBH x 6' Sprd. 6' CT |
| 3 | Ilex cassine | Dahoon Holly | 12' ht. Std. 2.5" DBH x 5' Sprd. 4' CT |
| 6 | Conocarpus erectus "sericeus" | Silver Buttonwood | 14' ht. Std. 3" DBH x 6' Sprd. 6' CT |
| 10 | Veitchia montgomeryana | Montgomery Palm | 14" O.A. Heavy/Straight trunk |
| Total new tree DBH & palms to mitigate removed trees | | | 43.5" DBH+10 PALMS |

MITIGATION SHORTFALL 183 TREES+ (366.5/2) TREES + 3 PALMS

Note: Tree mitigation shortfall to be addressed by a monetary contribution to the city's tree trust fund by the property owner, 186 trees (183 trees + 3 Palms) @ \$350 each = \$65,100

GRAPHIC SCALE
NORTH 0' 20' 40' 60'

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Project No: 202232

Sheet Number:
L-02



LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN
2008 NE 24 TH STREET, #1
FORT LAUDERDALE, FLORIDA 33306 USA
TEL: 954.933.8259
www.andresstudio.com
L202600586

By:

Description:

Rev:

Date:

Sheet Title:

LANDSCAPE PLAN
BUILDING
GROUND FLOOR

Project Name:

RESIDENTIAL
BUILDING
2621-2631 POLK STREET
HOLLYWOOD, FL 33020

Project Name:

STATE OF FLORIDA
REGISTRATION: LA686973

SEAL / SIGNATURE

Date:

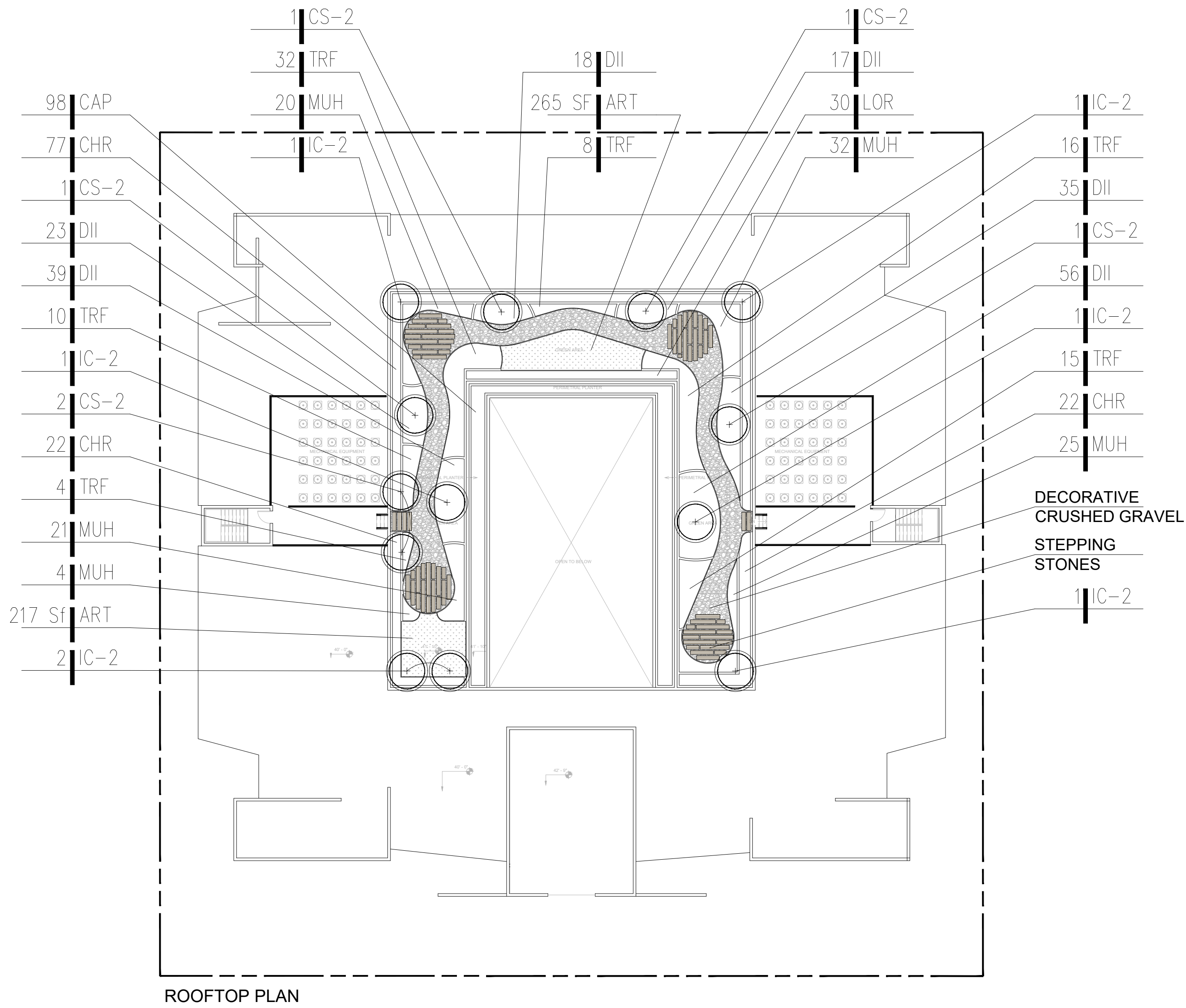
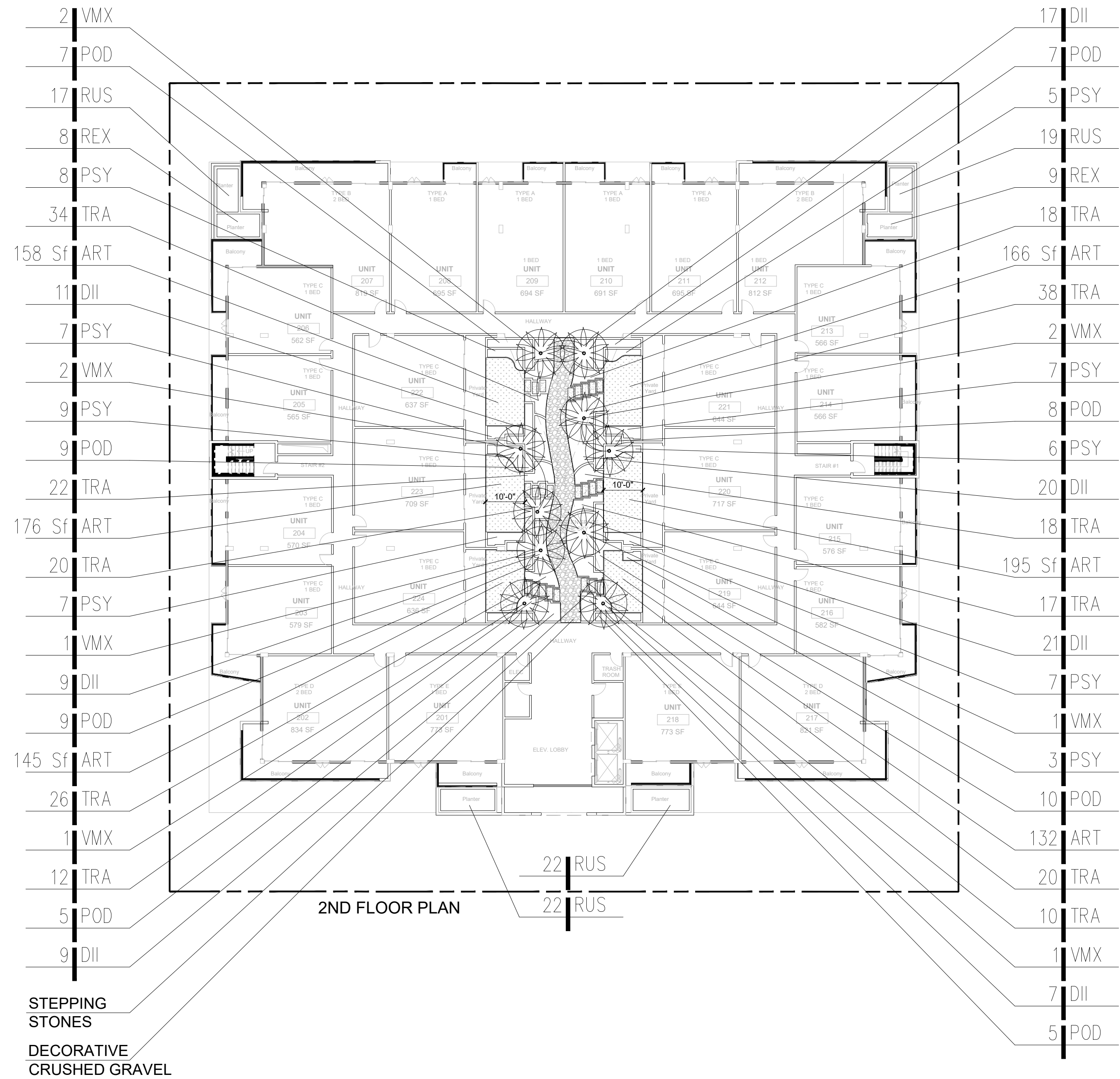
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NOTES:
SEE PLANT LIST ON SHEET L-02



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|-----|------|-------------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |

Sheet Title:
**LANDSCAPE PLAN
2ND FLOOR &
ROOFTOP PLAN**

Project Name:
**RESIDENTIAL
BUILDING**
2621-2631 POLK STREET
HOLLYWOOD, FL 33020

ANDRES MONTERO, P.L.A. AS/IA
STATE OF FLORIDA
REGISTRATION LAG686973
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Date: DECEMBER 19, 2022
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Project No: 202232

Sheet Number:
L-03

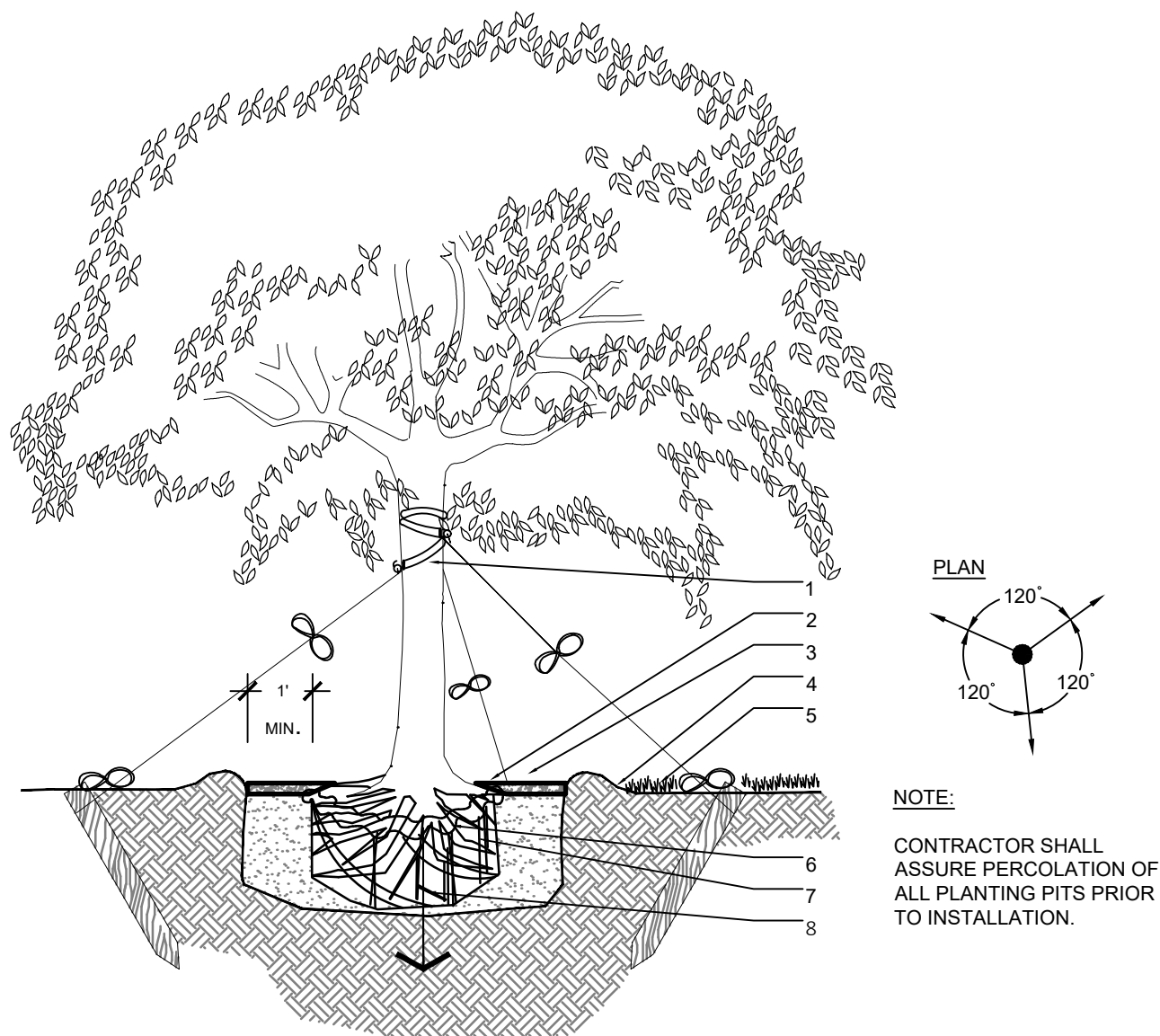
GRAPHIC SCALE
NORTH 0' 20' 40' 60'

**Sunshine State
One Call**

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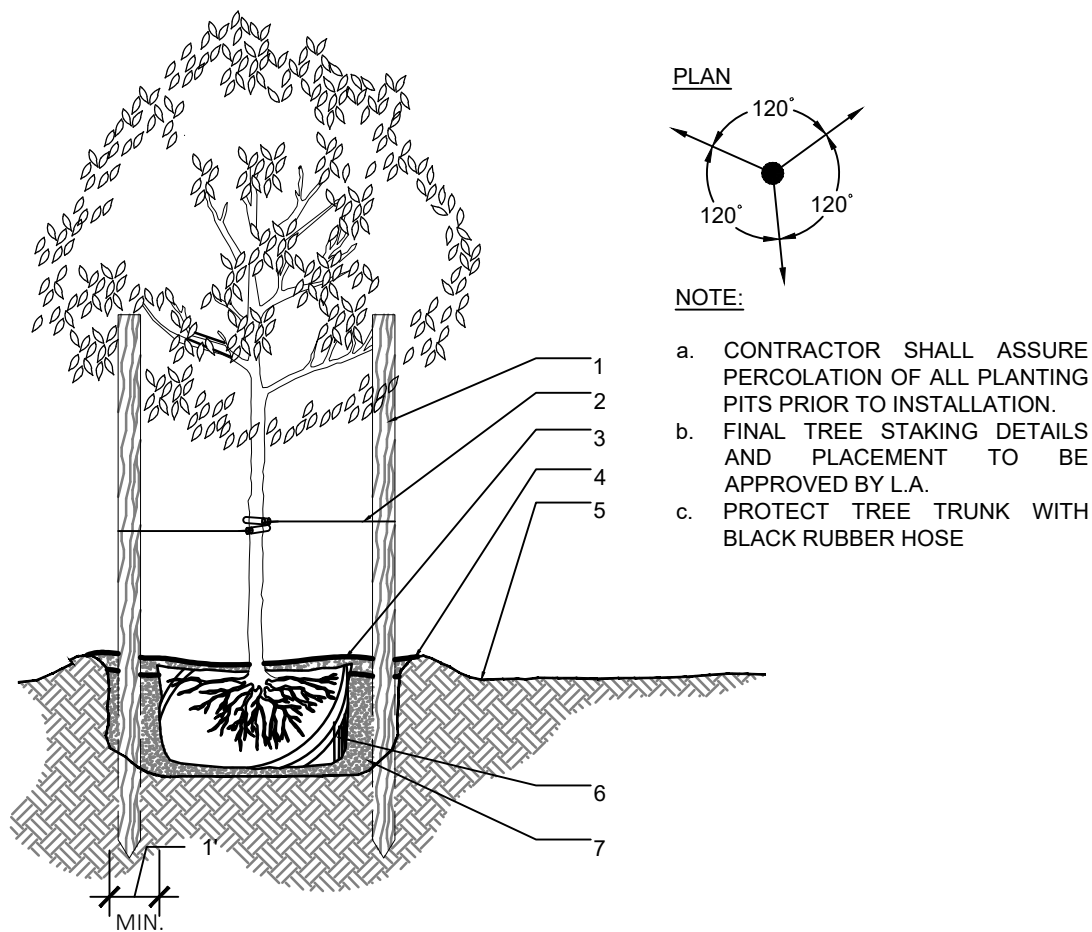
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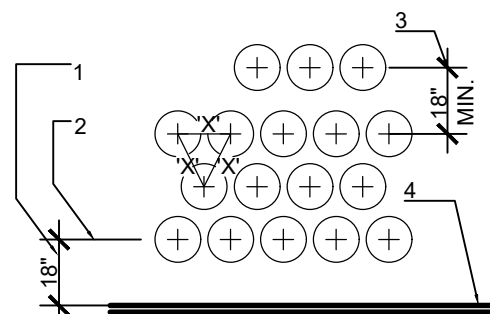
- LEGEND
- 2" NYLON STRAPPING W/RUBBER HOSE-WRAPPED 360 AROUND TRUNK BEFORE TYING- WRAP @ LATERAL BRANCH
 - 3" MULCH AS SPECIFIED MIN. 24" FROM TRUNK
 - SOIL BERM TO HOLD WATER
 - 2"x4"x3" STAKES BURIED 1" BELOW FINISHED GRADE
 - FINISHED GRADE - SOD CONDITION (SEE GRADING PLAN)
 - B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 - PREPARED PLANTING SOIL AS SPECIFIED
 - AUGER PER SPECS FOR PERCOLATION

2 LARGE TREE
SECTION
d-Large tree.dwg
SCALE: N.T.S



- LEGEND
- THREE 2"x4"x8" STAKES SPACE EVENLY AROUND TREE PAINTED BROWN.
 - #10 GALVE WIRE.
 - 3" MINIMUM OF MULCH.
 - SOIL BERM TO HOLD WATER.
 - FINISHED GRADE (SEE GRADING PLAN).
 - B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
 - PREPARED PLANTING SOIL AS SPECIFIED.

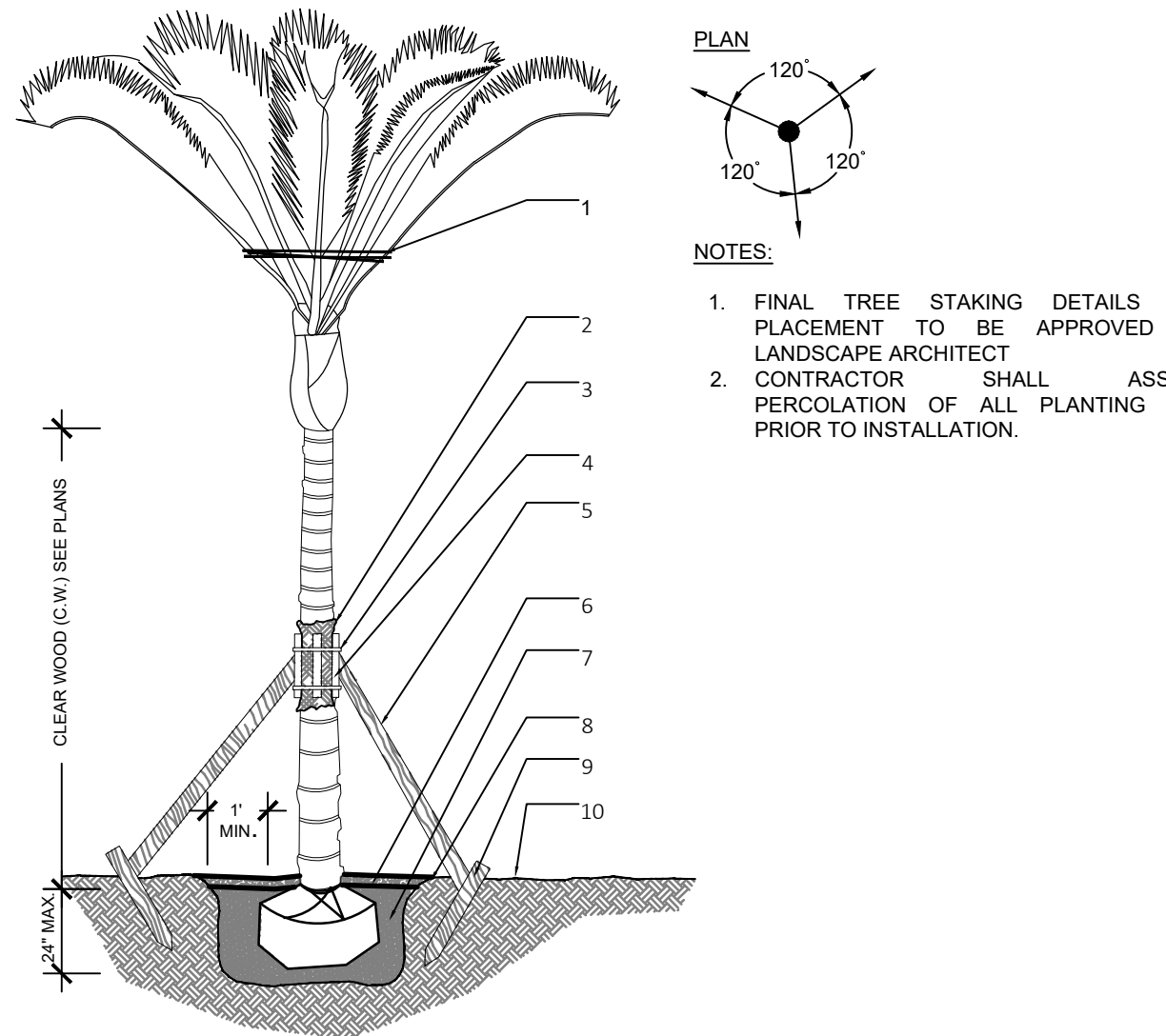
5 SMALL TREE
SECTION
d-Small tree.dwg
SCALE: N.T.S



- LEGEND
- SETBACK FOR SHRUBS PLANTED 24" O.C. OR GREATER.
 - SETBACK FOR GROUNDCOVER AND ANNUALS
 - PROVIDE MIN. 18" SPACINGS BETWEEN DIFFERENT PLANT TYPES.
 - CURB OR EDGE OF PAVEMENT.

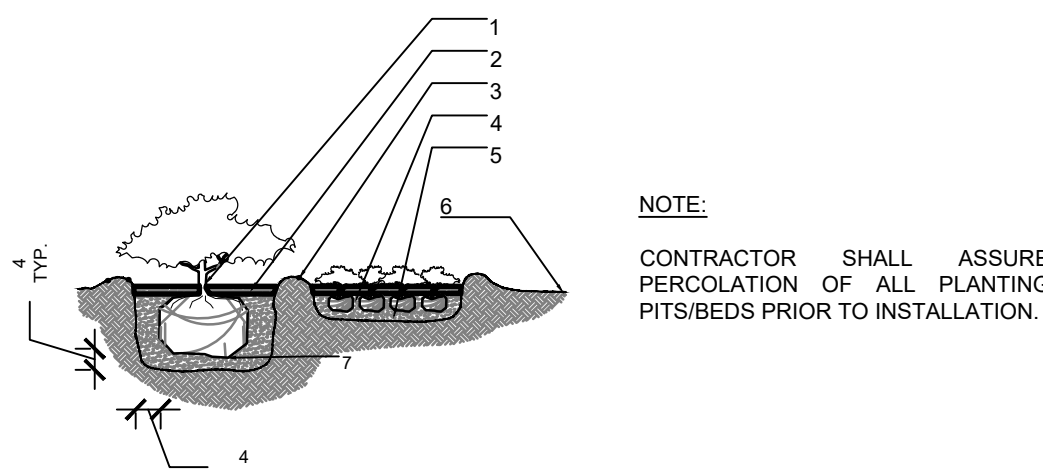
NOTE:
ALL SHRUBS AND GROUNDCOVER MASSES
TO USE TRIANGULAR SPACING EXCEPT
WHERE NOTED REFER TO PLANT LIST FOR
INDIVIDUAL PLANT SPACING "X".

8 TYPICAL PLANT SPACING
SECTION
d-Typical spacing.DWG
SCALE: N.T.S



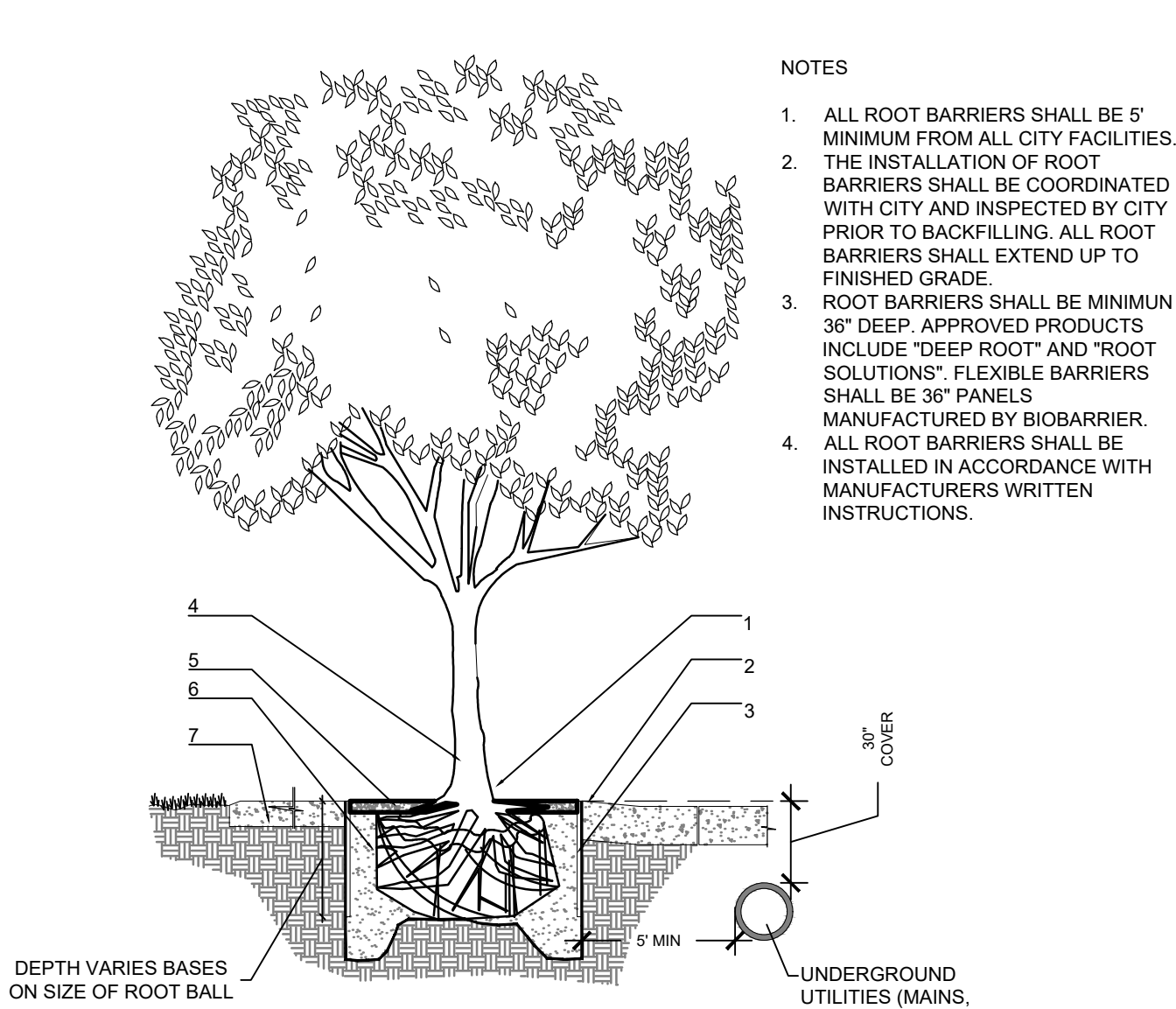
- LEGEND
- PRUNE AND TIE FRONDS WITH HEMP TWINE.
 - TWO LAYERS OF BURLAP TO PROTECT TRUNK.
 - TWO STEEL BANDS TO SECURE BATTONS.
 - THREE 2" X 4" X 18" WOOD BATTONS.
 - 3-2" X 4" LUMBER POLE BRACES. NAIL (DRILL AND NAIL IF NECESSARY) TO BATTONS & 2" X 4" STAKES. FLAG AT MIDPOINT.
 - 3" MIN. MULCH- SEE SPECIFICATIONS.
 - PREPARED PLANTING SOIL AS SPECIFIED. PALMS SHALL BE PLANTED WITH THE TOP OF ROOTBALL AT FINISHED GRADE.
 - BERM SOIL TO HOLD WATER.
 - 2" X 4" X 3" WOOD STAKES.
 - FINISH GRADE

3 SMALL PALM
SECTION
d-Small palm.DWG
SCALE: N.T.S



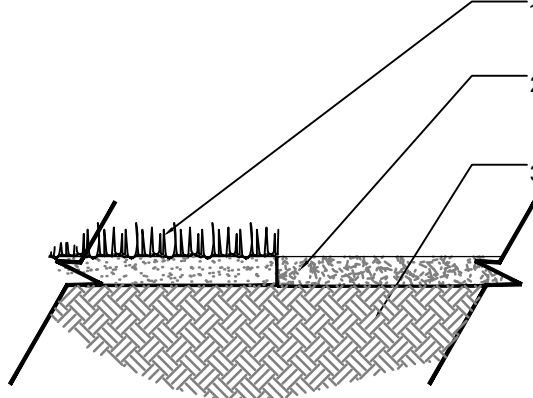
- LEGEND
- PLANT MATERIAL SHALL BE PLANTED 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOT BALL.
 - 3" MINIMUM OF MULCH
 - SOIL BERM TO HOLD WATER
 - MINIMUM DEPTH OF 12" PLANTING SOIL FOR GROUNDCOVER BED
 - EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
 - FINISHED GRADE (SEE GRADING PLAN)
 - PREPARED PLANTING SOIL AS SPECIFIED.
- NOTE: WHEN GROUNDCOVERS AND SHRUBS USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL & PLANT MATERIAL, UNLESS NOTED OTHERWISE.

6 SHRUBS & GROUNDCOVERS
SECTION
d-Shrubs and groundcovers.DWG
SCALE: N.T.S



- LEGEND
- SET ROOT-TRUNK COLLAR FLUSH 1" ABOVE FINISHED GRADE.
 - SIDEWALK OR PAVERS
 - 18" ROOT BARRIER. EXTEND A MINIMUM 6' IN BOTH DIRECTION FROM THE CENTERLINE OF THE TREES.
 - CENTER TREE IN PLANTER OPENING.
 - MULCH.
 - BACKFILL WITH TOPSOIL, OR AMENDED TOPSOIL.
 - CONCRETE SIDEWALK.

4 ROOT BARRIER INSTALLATION
SECTION
d-2006-Root barrier.dwg
SCALE: N.T.S



- LEGEND
- SOD (PROVIDE CLEAN, SMOOTH EDGE BETWEEN SOD AND MULCHED AREAS).
 - 3" DECORATIVE MULCH. (SEE SPECIFICATIONS)
 - PLANTING SOIL (FINE RAKED AND FREE OF WEEDS AND OTHER DELETERIOUS MATERIALS. SEE SPECIFICATIONS)
- NOTE:
ALL MULCH SHALL BE FREE OF FIRE ANTS AND DEBRIS ONLY
ENVIRONMENTAL FRIENDLY MULCH SHALL BE APPROVED.

7 MULCH
SECTION
d-Mulch.DWG
SCALE: N.T.S

- GENERAL NOTES
- Before construction begins, the Landscape Contractor is responsible for locating all underground utilities and must avoid damaging any services during construction. If any damage occurs by fault of the Contractor, the necessary repairs must take place at the Landscape Contractor's expense and under the supervision of the Owner's representative.
 - All proposed trees and plant materials shall be graded as Nursery Grade Florida No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and standards for Nursery Plants", most current edition. All planting shall be done in accordance with the Florida Nurserymen's and Grower's Association approved practices.
 - In addition to these requirements the Landscape Contractor shall comply with all local landscape codes and requirements as part of this base bid and contract in order to satisfy the review and approval of the governing agency.
 - All screening hedges shall be planted and maintained in a way that they form a continuous visual screen. Screening hedges at VUA to be maintained at a minimum height of thirty (30) inches.
 - All planting beds shall be excavated to a minimum depth of twenty-four (24") inches and backfilled with a suitable soil. All plant material shall be planted in planting soil that is delivered to the site in a loose, clean and friable condition. The planting soil shall be the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and top soil. It shall provide a good pliable and thoroughly mixed medium with adequate aeration, drainage and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
 - All trees/palms and shrubs shall be fertilized with "Agriform" 20-10-5 planting tablets as per the manufacturers specifications at the time of installation and prior completion of pit backfilling also in conjunction with note #5. Tablets to be placed uniformly around the root mass at a depth that is between the middle and bottom of root mass at an application rate of: One (1) - 21 gram tablet for 1 gal container, two (2)- tablets for 3 gal container, three (3)- tablets for 5 gal container, four (4)-tablets for 7 gal container, three (3)-tablets for each 1/2 inch of tree caliper, and seven (7) tablets for palms. Ground Cover areas shall receive fertilization with "Ozmocote" time release fertilizer as per manufacturer's specification.
 - All plant beds shall receive a 3" layer of organic mulch, which is to be watered-in after installation. Mulch should be at least six (6) inches away from any portion of a structure or tree trunk and three (3) inches away from the base of shrubs. Only environmental friendly mulch shall be approved, Cypress mulch shall not be accepted.
 - All plant material shall be thoroughly watered in at the time of planting and until landscape material is established. No dry material shall be permitted.
 - The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant key, the plan shall prevail.
 - Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
 - All tree and shrub locations shall be approved by Landscape Architect prior to planting.
 - The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
 - The Landscape Contractor shall be responsible for examining fully both the site and bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure by the Landscape Contractor to report such condition or for errors on the part of the Landscape Contractor at the time of bidding.
 - The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
 - Plant material shall be bid as specified unless unavailable, at which time the Landscape Architect shall be notified in writing of intended changes.
 - All questions concerning the plan set and/or specifications shall be directed to the Landscape Architect.
 - There shall be no additions, deletions or substitutions without written approval of the Landscape Architect.
 - The Landscape Contractor shall guarantee, in writing, plant survivability. Trees and palms for twelve (12) months, shrubs and groundcovers for ninety (90) days and sod for sixty (60) days from final acceptance by the Owner or Owner's representative.
 - All dimensions to be field-checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Landscape Architect.
 - All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by the Landscape Contractor at no additional cost.
 - Existing sod shall be removed as necessary to accommodate new plantings
 - All existing trees on site shall be protected from damage during construction - See existing tree protection fence detail.
 - Any existing landscape and hardscape areas that are unnecessarily disturbed during the landscape installation shall be restored to original conditions by the Landscape Contractor.
 - The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.
 - All landscape areas to have a positive drainage away from buildings and structures. Finished grade of landscape areas to be at or below the grade of adjacent sidewalks, slabs or VUA
 - All shade and medium trees installed within 5' of a public infrastructure shall utilize a root barrier system.

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Sheet Title:
**LANDSCAPE DETAILS
& GENERAL NOTES**

Project Name:
**RESIDENTIAL
BUILDING**
2621-2631 POLK STREET
HOLLYWOOD, FL 33020

SEAL / SIGNATURE

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Date: JANUARY 19, 2023
Scale: 1" = 20'-0"
Drawn By: AEM/MEP/GPM
Approved By: AEM
Project No: 202232

Sheet Number:
L-04

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