

ATTACHMENT A

Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development Board

Date of Application: 10/15/2018

Location Address: 1625 Hollywood BLVD, Hollywood, FL 33019

Lot(s): 5 and 6 Block(s): 73 Subdivision: Hollywood

Folio Number(s): 5142 15 02 3640

Zoning Classification: LT Land Use Classification: Residential Single Family

Existing Property Use: Residential Sq Ft/Number of Units: Total 2570 S.F/ (2 units)

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: Three new Townhouses, with three story each unit.
Residential multi family.

Number of units/rooms: 3 Units (4 Room/ Unit) Sq Ft: 3384 S.F/ Unit

Value of Improvement: 1 267 250 USD Estimated Date of Completion: 6/2020

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: MAZOL REALTY OF QUEENS INC

Address of Property Owner: 11930 80 Rd Jamaica NY 11415

Telephone: 917-589-0741 Fax: _____ Email Address: zaylov@yahoo.com

Name of Consultant/Representative/Tenant (circle one): Joseph B. Kaller

Address: 2417 Hollywood BLVD, Hollywood, FL 33020 Telephone: 954-920-5746

Fax: 954-926-2841 Email Address: joseph@kallerarchitects.com

Date of Purchase: 6/13/18 Is there an option to purchase the Property? Yes () No (x)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Fuzayla Mazol Date: 9.6.18.

PRINT NAME: MAZOL FUZAYLOV Date: 9.6.18

Signature of Consultant/Representative: Joseph B. Kaller Date: 9-6-18

PRINT NAME: JOSEPH B. KALLER Date: 9-6-18

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

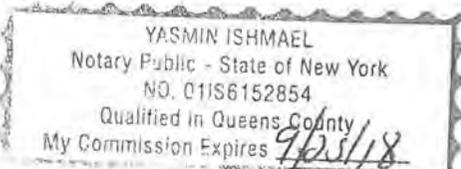
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for HISTORIC PRESERVATION BOARD to my property, which is hereby made by me or I am hereby authorizing JOSEPH B. KALLER to be my legal representative before the MAZOL FUZAYLOV (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 6 day of September 2018

Fuzayla Mazol
Signature of Current Owner

Yasmin Ishmael
Notary Public
State of Florida



MAZOL FUZAYLOV
Print Name

My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____

1625 HOLLYWOOD BLVD TOWNHOUSES

1625 HOLLYWOOD BLVD, HOLLYWOOD, FL 33019

PROJECT INFORMATION:

THREE NEW TOWNHOUSES, WITH THREE STORY EACH UNIT. RESIDENTIAL MULTI FAMILY.

LEGAL DESCRIPTION:

LOT 5 AND 6, BLOCK 73, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



KallerArchitecture

CERTIFICATE OF APPROPRIATENESS FOR DEMOLITION CRITERIA STATEMENT FOR THE HISTORIC PRESERVATION BOARD.

The City Commission and the Board shall consider the following criteria in evaluating applications for a Certificate of Appropriateness for Demolition of Buildings, Structures, Improvement or Sites:

CRITERION 1: The building, structure, improvement, or site is designated on either a National, State or Local level as a Historic Preservation District or an Architectural Landmark or Site.

ANALYSIS: The Site is located in the Historic Lakes District in the City of Hollywood. Unlike the majority of the Lakes District that is zoned Single Family Residential, this Site is located in the Lakes Transitional (LT) Zoning District. It is a small Zoning District that is sandwiched between the Single Family Lakes Homes and the much denser, taller and mixed use downtown area.

The homes were built in 1964. It was a single family home with a detached garage that was turned into two units at some point. The style of Architecture is that of Mediterranean Revival with some Architectural Elements seemingly oversized and exaggerated. It is not an Architectural Landmark, but a copy of a style prevalent throughout the Lakes and more commonly built in the 1910's through 1930's.

CRITERION 2: The building, structure, improvement, or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty or expense.

ANALYSIS: The Building's Structure is in poor condition according to the Feasibility Study done by a Structural Engineer. The Structure also does not meet the Building Code requirements necessary to protect life and property from the devastating hurricanes that Florida has unfortunately grown accustomed to. From foundation to roof, these issues of a lack of Structural Integrity exists.

There is also the issue of the Base Flood Elevation Plus One Foot which is required for new construction. The Floor Elevations of either structure does not meet this requirement, making repairs or reproduction very challenging.

CRITERION 3: The building, structure, improvement or site is one of the last remaining examples of its kind in the neighborhood, the county or the region.

ANALYSIS: The Building is not one of the last remaining examples of its type. There are many Mediterranean Revival Buildings in the District which represent this style of Architecture more accurately and tastefully. Examples where the proportion and scale of all the elements work together on all facades.

CRITERION 4: The building, structure, improvement or site contributes significantly to the Historic Character of a Historically Designated District.

ANALYSIS: The Building style consists of some elements that can be found on other Historic Homes throughout the Lakes District, but these are also elements that are out of proportion for the existing volume. There is a large octagonal window that seem out of place and pipe roof vents that are located too close to the roof tile. The building is clearly a copy of a predominant style of Architectural located in the Lakes, but the year it was built is a giveaway regarding the authenticity of the style.

CRITERION 5: Retention of the building, structure, improvement or site promotes the general welfare of the City by providing an opportunity for study of local history, architecture and design or by developing an understanding of the importance and value of a particular culture and heritage.

ANALYSIS: The retention of the Building would neither add value or minus value to or from the Historic Heritage of the City of Hollywood. With regards to General Welfare, that is where it's value may be harmful, as it does not meet any of the State, Federal or Local Codes and could in fact cause harm to life and property, of the occupants and/or adjacent neighbors during a severe weather event.

In regards to having an opportunity to study for local history and Architecture, there are much better examples throughout the District.

CRITERION 6: There are definite plans for reuse of the property if the proposed demolition is carried out, and those plans will adversely affect the historic character of the Historic District.

ANALYSIS: Should the demolition appropriateness be approved, the Plans for the Site are Three, Three Story Townhomes. These townhomes would represent a true transition, in the Lakes Transition District from Single Family to the denser, taller, faster paced Downtown. The Styles will be modern. None of the Historic Styles will be copied, but instead the rhythm, scale and presence on the street is respected and emulated. The Florida Vernacular Style is honored by using composite siding as a sculptural element up high and morphing into traditional siding as it lowers to the entry door.

CRITERION 7: The Unsafe Structures Board has ordered the demolition of a structure or the feasibility study determines that the retention of the building would deny the Owner of all economically viable uses of the Property.

ANALYSIS: A Feasibility Study has been done by a Structural Engineer based on observation and inspection of both structures on Site. The Study seems to indicate that the retention of the Buildings would deny the Owner all economically viable uses of the Property.

CRITERION 8: The information listed in the Historic Properties Database (a listing of historic and non-historic properties), as a guideline in determining whether a certification of Appropriateness for Demolition should be issued.

ANALYSIS: The information listed in the Historic Properties Database has been considered in determining whether a Certification of Appropriateness for Demolition should be considered.

COLOR PHOTOGRAPHS OF SUBJECT SITE
AND ADJACENT PROPERTIES

1647 HOLLYWOOD BLVD, HOLLYWOOD, FL 33019 (WEST OF THE SITE).



1635 HOLLYWOOD BLVD, HOLLYWOOD, FL 33019 (WEST OF THE SITE).



1631 HOLLYWOOD BLVD, HOLLYWOOD, FL 33019 (WEST OF THE SITE).



1625 HOLLYWOOD BLVD, HOLLYWOOD, FL 33019 (SUBJECT SITE).



1619 HOLLYWOOD BLVD, HOLLYWOOD, FL 33019 (EAST OF THE SITE).



1603 HOLLYWOOD BLVD, HOLLYWOOD, FL 33019 (EAST OF THE SITE).



1600 HOLLYWOOD BLVD, HOLLYWOOD, FL 33019 (SOUTH OF THE SITE).



1600 HOLLYWOOD BLVD, HOLLYWOOD, FL 33019 (SOUTH OF THE SITE).



NAME OF OWNER *M. Sterling*
 ADDRESS *1625 Hollywood Blvd.*
 LEGAL DESCRIPTION *Lot 6 - BK 73 - Town* COST *\$200.00*
 DESCRIPTION OF CONST. *of Blvd.*

ARCHITECT:

PERMIT TYPE	NO.	DATE	TO WHOM	EXT. or OUT.
BLDG.				
ROOF				
ELECTRICAL				
PLUMBING				
GAS				
SEPTIC, SEWER				
A/C DUCTS	<i>725</i>	<i>4-9-70</i>	<i>John A/C</i>	<i>1 Ton A/C</i>
SCREEN ENCL.				
POOL				
DRIVEWAY				
FENCE				

Permit Search Results

[Search](#) > Properties located at/on/near '...1625...'

5 permits were found for
1625 HOLLYWOOD BLVD

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		P10-100906	REPAIRS-PLUMBING	7/8/2010	7/8/2010
Details		E0003694	SERVICE CHANGE		10/31/2000
Details		B9505994	RE-ROOF- METAL,TILE,WOOD SHINGLE OR SHAKE		10/31/1995
Details		B9505990	RE-ROOF- METAL,TILE,WOOD SHINGLE OR SHAKE		10/31/1995
Details		E9202009	REPAIRS-ELECTRICAL		7/20/1992

140-LV
305-KV
401-BV
360-TT
1.58/98

HTG TYPE-CNV HTG AMT-\$120,000

51-42-15-02-3620 BLK-0073 LOT-0003 01-SINGLE FAMILY
 URSO GUISEPPE A/M PGB 292
 URSO GABRIELLA HOLLYWOOD
 1635 HOLLYWOOD BLVD MILL CD-0553
 HOLLYWOOD FL 33020-6809 LAND SUMMARY
 HOLLYWOOD BLVD 4312.00-FF
 HOLLYWOOD 1-21 B LOT 3 BLK 73

YEAR BLT-1955 INTERIOR-50
 STORIES - 1 EXT WALL-33
 BEDROOMS- 2 ROOF TYP-08
 BATHS - 2 ROOF MAT-06
 IMPRVMT-001 ELECTRIC-05
 LIV- 1357 FLOORING-12
 ADJ- 1465 PLUMBING-11
 FOUNDATION-STEM WALL

\$88,000 \$92,110-AT
 WD 01/97 \$92,110-MT
 PRIOR: \$42,040-LV
 QC 01/90 \$50,070-IV
 \$50,068-BV
 \$92,110-TT
 \$2,496.12/98

51-42-15-02-3630 BLK-0073 LOT-0004 01-SINGLE FAMILY
 SANTORO PIETRO A/M PGB 292
 SANTORO FABRIZIO HOLLYWOOD
 1631 HOLLYWOOD BLVD MILL CD-0553
 HOLLYWOOD FL 33020-6809 LAND SUMMARY
 HOLLYWOOD BLVD 4312.00-FF
 HOLLYWOOD 1-21 B LOT 4 BLK 73

EX-HOMESTEAD

YEAR BLT-1955 INTERIOR-30
 STORIES - 1 EXT WALL-33
 BEDROOMS- 2 ROOF TYP-07
 BATHS - 2 ROOF MAT-06
 IMPRVMT-001 ELECTRIC-05
 LIV- 1350 FLOORING-12
 ADJ- 1422 PLUMBING-11
 FOUNDATION-STEM WALL

\$88,000 \$67,800-AT
 WD 01/97 \$67,800-MT
 PRIOR: \$42,040-LV
 QC 01/90 \$25,760-IV
 \$25,756-BV
 \$42,800-TT
 \$1,191.70/98

5,570-AT
0,560-MT
1,160-LV
9,400-IV
9,392-BV
1,570-TT
10.92/98

51-42-15-02-3640 BLK-0073 LOT-0005 08-MULTI-FAM 1-9 UNITS
 SIEGEL HERMAN & JOYCE A/M PGB 292 TILE 6 X 6
 1029 HARRISON ST HOLLYWOOD TILE 11 X 10
 HOLLYWOOD FL 33019-1624 MILL CD-0553
 LAND SUMMARY
 PHONE 3(954)921-1598 8624.00-FF
 HOLLYWOOD BLVD
 HOLLYWOOD 1-21 B LOT 5,6 BLK 73

YEAR BLT-1943 INTERIOR-50
 UNITS - 2 EXT WALL-33
 BEDROOMS- 3 ROOF TYP-08
 BATHS - 2 ROOF MAT-06
 IMPRVMT-102 ELECTRIC-05
 LIV- 2351 FLOORING-12
 ADJ- 2404 PLUMBING-11
 FOUNDATION-STEM WALL

\$68,000 \$125,130-AT
 AM 05/80 \$125,130-MT
 PRIOR: \$86,240-LV
 \$17,667 \$58,890-IV
 \$553-KV
 \$58,534-BV
 \$125,130-TT
 \$5,429.12/98

L09

BROWARD, FL.

Nationwide 1-800-345-7334

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Real Estate Solutions

FOLIO NUMBER	STATE LAND USE	EXEMPTIONS	STRUCTURAL	SALE PRICE	ASSESSED TTL-AT
OWNERS NAME	AERIAL MAP PAGE NUMBER	IMPROVEMENT	RATING <td>TYPE DATE <td>MARKET TTL-MT</td> </td>	TYPE DATE <td>MARKET TTL-MT</td>	MARKET TTL-MT
MAILING ADDRESS	MUNICIPALITY EXTRA FEATURES	DATA <td>INFO <td>BOOK-PAGE <td>LAND VALUE-LV</td> </td></td>	INFO <td>BOOK-PAGE <td>LAND VALUE-LV</td> </td>	BOOK-PAGE <td>LAND VALUE-LV</td>	LAND VALUE-LV
*PROPERTY LOCATION	MILLAGE CODE	LIVING AREA			IMPRV VALUE-IV
LEGAL DESCRIPTION	TOTAL LOT SIZE	ADJUST AREA			AGRIC VALUE-AV
					OTHER VALUE-OB
					TOTAL TAXABLE-TT
					TOTAL TAXES/YR

1999
Reserved
 SED TTL-AT
 NET TTL-MT
 D VALUE-LV
 V VALUE-IV
 R VALUE-AV
 ER VALUE-OB
 TAXABLE-TT
 AL TAXES/YR

... 02 HOLLYWOOD BLK 48 95 01-21 B

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION FOR INSURANCE COMPANY USE

A1. Building Owner's Name Mazol of Queens	Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1625 Hollywood Boulevard	Company NAIC Number:
City Hollywood	State Florida
	ZIP Code 33019
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lots 5 and 6, Block 73, HOLLYWOOD (1/21B)	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>	
A5. Latitude/Longitude: Lat. <u>26°00'42.91"</u> Long. <u>080°08'23.53"</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.	
A7. Building Diagram Number <u>1A</u>	
A8. For a building with a crawlspace or enclosure(s):	
a) Square footage of crawlspace or enclosure(s) _____ N/A sq ft	
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>	
c) Total net area of flood openings in A8.b _____ N/A sq in	
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
A9. For a building with an attached garage:	
a) Square footage of attached garage <u>220.00</u> sq ft	
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>	
c) Total net area of flood openings in A9.b _____ N/A sq in	
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number Hollywood 125113		B2. County Name Broward		B3. State Florida	
B4. Map/Panel Number 12011C 0569	B5. Suffix H	B6. FIRM Index Date 08-18-2014	B7. FIRM Panel Effective/ Revised Date 08-18-2014	B8. Flood Zone(s) X	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) N/A

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9:
 FIS Profile FIRM Community Determined Other/Source: _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other/Source: _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
 Designation Date: _____ CBRS OPA

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1625 Hollywood Boulevard			Policy Number:
City Hollywood	State Florida	ZIP Code 33019	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: Nail & disc Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|--|------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) _____ | 5.90 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor _____ | 6.11 | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) _____ | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) _____ | 6.11 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) _____ | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) _____ | 5.60 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) _____ | 5.80 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support _____ | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name Mikki H. Ulrich	License Number 5853	Place Seal Here	
Title Professional Surveyor and Mapper			
Company Name Deni Land Surveyors, Inc.			
Address 1991 NW 35th Avenue			
City Coconut Creek	State Florida		ZIP Code 33066
Signature 	Date 10-10-2018	Telephone (954) 973-7966	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

A5. Latitude/Longitude are per Google Earth

C2. Benchmark utilized is City of Hollywood benchmark; X cut in center of sidewalk @ NW corner of 16th Avenue and Hollywood Boulevard, elevation = +4.39' NAVD

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1625 Hollywood Boulevard			Policy Number:
City Hollywood	State Florida	ZIP Code 33019	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name			
Address	City	State	ZIP Code
Signature	Date	Telephone	

Comments

Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1625 Hollywood Boulevard			Policy Number:	
City Hollywood	State Florida	ZIP Code 33019	Company NAIC Number	

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____

G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name	Title
Community Name	Telephone
Signature	Date

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1625 Hollywood Boulevard			
City Hollywood	State Florida	ZIP Code 33019	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption Front View

Clear Photo One

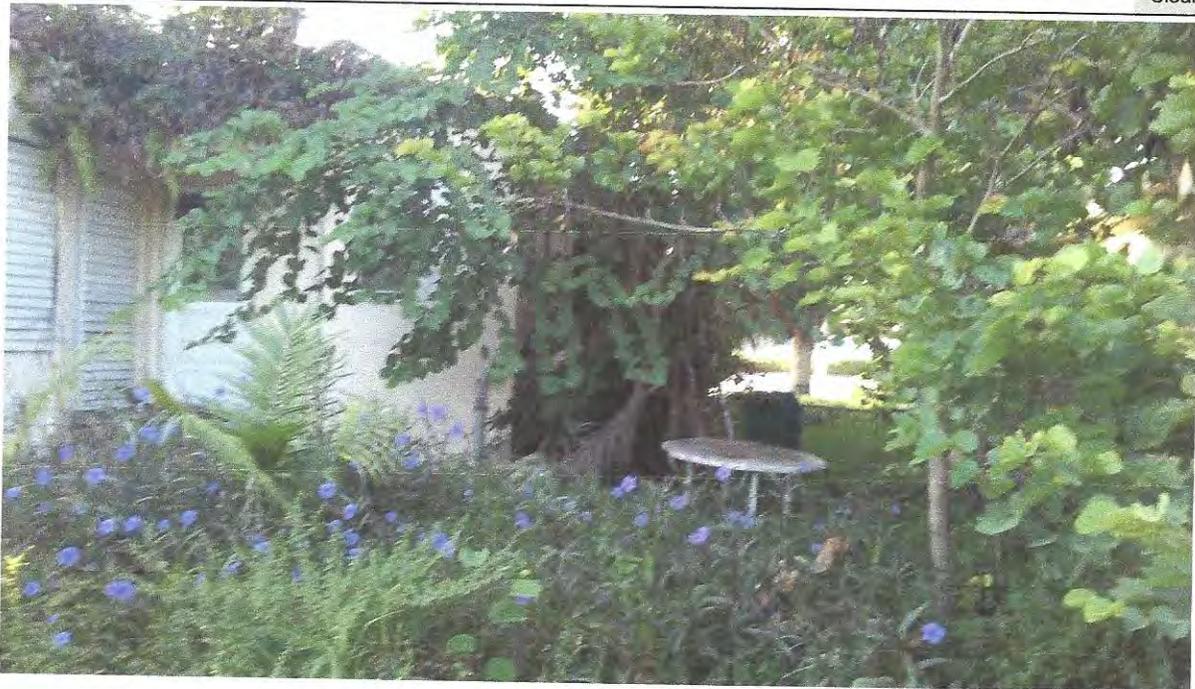


Photo Two

Photo Two Caption Side View

Clear Photo Two

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1625 Hollywood Boulevard			Policy Number:
City Hollywood	State Florida	ZIP Code 33019	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo Three

Photo Three Caption Side View

Clear Photo Three



Photo Four

Photo Four Caption Rear View

Clear Photo Four

October 3, 2018

Total Pages: 17

**CITY OF HOLLYWOOD
PLANNING & ZONING DEPARTMENT**

2600 Hollywood Blvd.
Hollywood, FL 33020

RE: SFR STRUCTURAL EVALUATION

Single Family Residence Inspection Report
1625 Hollywood Blvd.
Hollywood, FL 33019
Folio: 5142 15 02 3640

To whom it may concern,

This report is prepared for the specific scope of evaluating the current building condition for repairs and the impact on the existing building's structural system. The descriptions that follow are our determinations from visual field observations. The methodology for this investigation was primarily visual and aided by measuring the building components observed. We find that the information obtained through this method is sufficient to conclude the findings mentioned. At this time we do not require any additional investigations such as soil testing or any destructive investigations in order to conclude our findings.

Although there are hidden conditions of this project that have not been explored and are not identified such as attic or crawl space, this does not hinder the principal conclusion stated in this report.

Building Construction and Descriptions:

- The Main Building is single family residence construction system is spread-footing shallow foundation with CMU stem wall and 2x10 wood rafter floor framing.
- The Guest House is conc. slab on grade with tile and laminate flooring finish.
- The Main and Guest House are both exterior walls are 8" CMU masonry construction with concrete tie-beam and apparently no vertical steel reinforcement.
- The Main Building has solid wood over subflooring T&G flooring.
- The Main building has mid-span foundation stem wall(s) located at center of the building from south to north as well as west to east directions supporting the floor framing.
- The roof system is gable-end style framed in-place framed wood construction using 2x6 spaced at 24" o/c with T&G wood sheathing and Conc. Tile Roofing on both the main building and guest house.
- The roof ridge beam is single 3x8 with toe nailing.



- The roof framing appears to lack metal strapping.
- The ceiling is plaster finish throughout.
- The interior wall partitions are partial load-bearing at interior with 2x4 wood framing and plaster finish.
- There is a lower floor level at the garage, front porch and the rear family room area. The guest house floor level is approximately 4" above grade at exterior and much lower than the main building finish floor elevation.
- Windows and doors are not considered for this report except for the presence of termite damage.
- Ground and grade conditions appear to be stable.

Our findings related to this scope are as follows:

- The shallow spread footing condition of the main building foundation is considered to be stable at this time.
- The concrete slab on grade at the guest house is considered
- The existing CMU walls have no solid concrete vertical reinforcement. The exterior condition of the walls shows areas of past repairs as well as areas in need of fine and medium crack repairs. The concrete tie-beams are in stable condition. Interior water infiltrations windows, walls and roof have produced damage at wall and floor surface conditions. Treatment of mold and other damage conditions are required at both buildings.
- The existing wood floor framing show failure and loss of alignment at east and south areas of the main house. Floor framing members show mold and moisture damage from conditions from some time in the past. Bathroom, closet and bedroom wall, flooring and all fixtures and plumbing works all require replacing.
- The exterior windows are aluminum awning as well as steel casement and decorative type. Both systems are past their life expectancy and repairs of these are not feasible and are required to be replaced.
- The fire place is in fair condition. A fire flue cap is required.
- The roof system shows failures at several areas with roof framing damage. There are small trees growing from the roof overhang areas at the north side of the main house. This indicates presence of roots having penetrated at the level of roof sheathing and the presence of damage. Other areas of roof sheathing damage are also notes at both buildings.
- The ceilings show severe damage at several areas.
- There is evidence of termite damage caused at some time in the past at the main house.
- There are a couple of large palm trees, one extremely large queen palm tree, a large pepper tree and extremely large avocado tree grown up onto the main building exterior walls at the south and west walls that are causing stress and foundation damage. These tree root systems are a cause of displacement of the soil



at the foundation and at the time of their decay will cause foundation settlement, wall damage and building alignment damage.

- The plumbing system is cast iron at the crawl space and is in process of deterioration and may be a cause of water damage if remain in-place.
- Electrical system is cloth wiring and a potential hazard for damage including areas at the crawl space where the structural members of the floor framing have failed and have displaced electrical wiring or wiring connection in that area and must be considered. Damaged wall and ceiling areas with water infiltration require electrical wiring and equipment replacement.
- There is no central air conditioning in the buildings at this time and no moisture control has been in-place for several months (time unknown) of abandonment with water infiltration thru wall, windows and roof damages while lacking ventilation and any moisture control. This condition has produced damages in the form of mold and other related material damaged including at both buildings as well as the garage of the main building.

Our conclusion at this time includes:

- Our conclusion at this time is that the current structural and building condition of the buildings are of a degree of deterioration due to water infiltration and the adverse effects that the oversized trees pose by having grown up against the building such that the repairs and the rehabilitation of the components and systems of the building are of a considerable value. This considerable value is considered to be such that a substantial improvement condition is present to where the buildings both must be brought into compliance with alteration level III where all conditions of the buildings will be required to meet the complete FBC code requirements. I therefore find that the rehabilitation efforts of this residential property is not feasible for the above mentioned details.

If after reading this report you have any questions, please contact me at your earliest convenience. I would be glad to clarify or provide any additional information as much as I am able to.

Sincerely,

FRANK A. AGUIRRE, PE
FL. REG. # 35457

Encl.: Annex "A" - Inspection Images

ANNEX "A"
INSPECTION IMAGES



CEILING COLLAPSE AT GARAGE



CEILING COLLAPSE



WATER INFILTRATION AT ROOF DAMAGE



CRAWL SPACE CAST IRON PIPING



CRAWL SPACE ELECTRIC CONDUIT COLLAPSE



ELECTRICAL PANEL CLOTH WIRING



EXTERIOR CMU WALL CRACKS
(water infiltration areas)



EXTERIOR CMU WALL CRACKS
(water infiltration areas)



FLOOR FRAMING COLLAPSE AT BEDROOM



FLOOR FRAMING COLLAPSE AT SHOWER



FLOOR FRAMING COLLAPSE AT BATHROOM

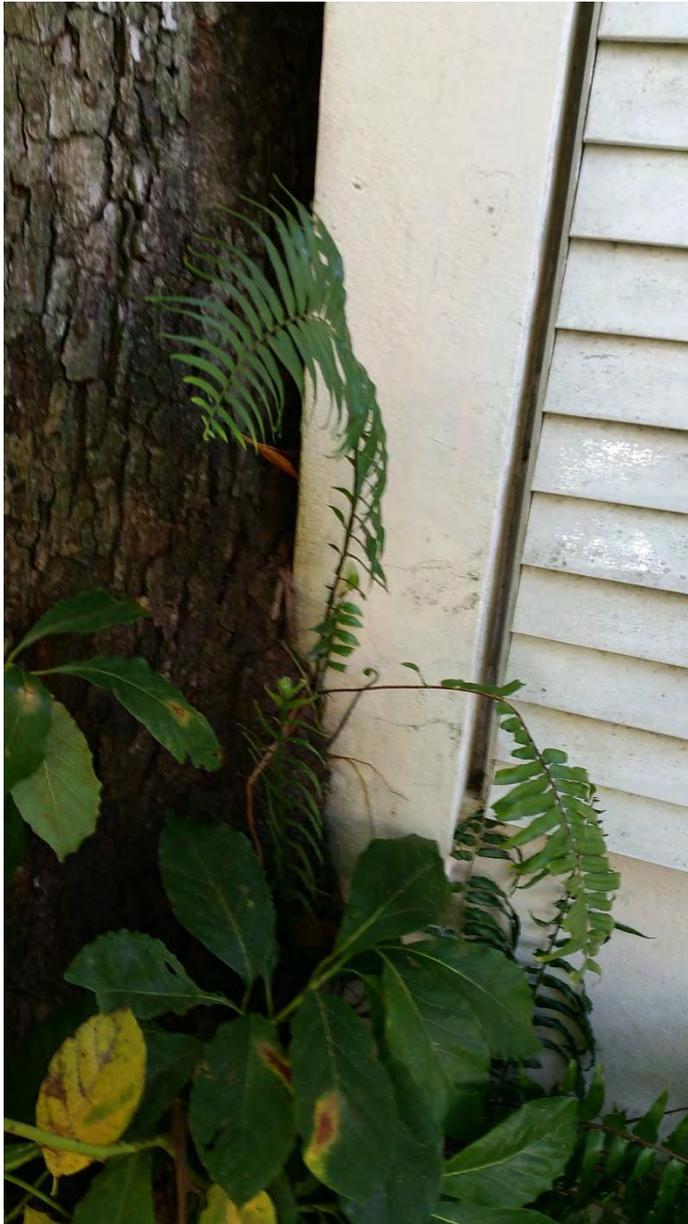


CEILING COLLAPSE AND ROOF SHEATHING DAMAGE





TERMITE DAMAGE



MULTY TREE AT WEST SIDE OF MAIN BUILDING



MULTY TREE AT WEST SIDE OF MAIN BUILDING



LARGE TREES AT MAIN BUILDING



GUEST HOUSE AND BACK OF MAIN BUILDING



BLOCK WALL DAMAGE AND WATER INFILTRATION



INTERIOR WATER INFILTRATION



INTERIOR WATER INFILTRATION



WINDOW STEEL FRAME AND PUTTY GLAZING



KallerArchitecture
GENERAL CRITERIA STATEMENT
TOWNHOMES AT
1625 Hollywood Boulevard
Hollywood, FL 33019

1. **Architectural and Design Components.** Architecture refers to the Architectural elements of exterior building surfaces. Architectural Details should be commensurate with the building mass. The use of traditional materials for new Architectural Details is recommended. Design of the Building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

The Architectural style of the Townhomes at 1625 Hollywood Boulevard is Modern. The Mass has clean lines and sharp edges. Composite wood slats and siding define each unit and define each entry. The composite wood forms an almost sculptural element above the main entry and then melts into the wall at the entry door as siding. This wood, while distinct and graphic, also provides a warm familiar element to the homes. The wood element is also used as a privacy screen between each unit. Metal canopies above the third-floor balconies almost provides a commercial element to the building. A nod to its location just adjacent to Downtown Hollywood. Materials will be durable and easily maintained.

2. **Compatibility.** The relationship between existing Architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

The Townhomes are located with the Historic Lakes District in the Lakes Transitional Area adjacent to Downtown Hollywood. The density and height allowance have increased a bit and therefore allowed to straddle both zones, the Historic Single Family and the Commercial mixed use, multifamily core of the city. These are single-story, Ranch Style Single Family Homes on either side of the site. These homes were built in the 1950s. The multifamily, multilevel Townhomes contrast the adjacent Single-Family Buildings and tie more to the Educational and Religious Buildings on the other side of Hollywood Boulevard.

Compatible Architectural details are in the composite wood siding borrowed from the Florida Vernacular Historic Homes throughout the district. The balconies and canopies mimic the concrete eyebrows seen in the Art Modern Homes.

3. **Scale/Massing.** Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage and setting of the structure in context with adjacent buildings. Architectural details included, but are not limited to, banding, molding and fenestration.

The Project's scale relates to the Church, School, and Townhomes across Hollywood Boulevard and along Harrison Street. It is a perfect transition scale moving from the maximum two-story Single-Family Lakes district to the high rise, high density, commercial hub of the City of Hollywood. The Building still maintains that sense of neighborhood, with the front doors facing the street, front stoops, and garden paths from the sidewalk; but the increase in density and height definitely allows that transition feel.

The Architectural details also transition. Wood siding morphs into a distinct wood sculpture which ties into the Downtown Arts district and Arts Park at Young's Circle.

4. **Landscaping.** Landscaped area should contain a variety of native and other compatible plant types and forms and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

Landscaping will be designed as per the Landscape Code that governs the Lake Transitional District in the City of Hollywood. Drought tolerant native plants make up the design of the gardens. The plantings will vary in height, texture, and color. Concrete paver hardscape will also play a part in the look and feel of the garden. An internal courtyard will provide a private outdoor respite in the city, a place to gather and relax.

1625 HOLLYWOOD BLVD TOWNHOUSES

1625 HOLLYWOOD BLVD, HOLLYWOOD, FL 33019

PROPOSED PAINT CHIPS AND MATERIALS

All exterior walls



**Benjamin Moore
Timid White OC-39**

All exterior impact resistant Windows & Doors // Tinted glass and bronze frames



All the decorative elements attached to the walls and geometric surfaces of the main façade // Composite Wood



Metal Canopy // Metal color



Exterior Guardrails // Metal structure and wooden handrails



Exterior pavement in the front // Concrete



Exterior pavement in the Patio and Parking // Concrete slabs



Perimeter Fence// Wood fence



Historic Preservation Submission FOR :

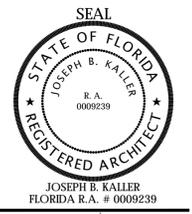
TOWNHOUSES AT

1625 HOLLYWOOD BLVD

HOLLYWOOD, FL 33019



JOSEPH B. KALLER + ASSOCIATES
 ALL # 20000212
 2417 HOLLYWOOD BLVD. HOLLYWOOD, FLORIDA 33020
 (954) 920-5746 phone - (954) 920-2841 fax
 joseph@kallerarchitects.com



PROJECT TITLE
 1625 HLLWD BLVD TOWNHOUSES
 1625 HOLLYWOOD BOULEVARD
 HOLLYWOOD, FL 33019

SHEET TITLE
 COVER SHEET

REVISIONS		
No.	DATE	DESCRIPTION
1	10-25-18	HISTORIC P.B
2	10-31-18	HISTORIC P.B

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 18127
 DATE: 10-15-18
 DRAWN BY: ML
 CHECKED BY: JBK

SHEET

T-1.0

SITE DATA

LEGAL DESCRIPTION:
 LOT 5 and 6 BLOCK 73, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESS
 1625 HOLLYWOOD BLVD. HOLLYWOOD, FL 33019

SITE INFORMATION/ BUILDING SUMMARY

SITE INFORMATION:

- 1)- ZONING: LAKES TRANSITION DISTRICT (LT)
- 2)- LAND USE DESIGNATION: RESIDENTIAL SINGLE FAMILY
- 3)- NET LOT AREA: 9,689.00 S.F. (0.22 ACRES)

4)- FAR:	ALLOWED	PROVIDED
	1.25 (12,111.25 SF)	1.03 (9,980 S.F.)

5)- PARKING	REQUIRED	PROVIDED
	1 PER UNIT	2 PER UNIT

6)- SETBACKS	REQUIRED	PROVIDED
(a) FRONT (HOLLYWOOD)	20'-0"	20'-0"
(b) SIDE INTERIOR (EAST)	10'-0"	10'-0"
(c) SIDE INTERIOR (WEST)	10'-0"	10'-0"
(d) REAR (ALLEY)	20'-0"	20'-0"

7)- PERVIOUS AREA	REQUIRED	PROVIDED
	2906.7 S.F. (30%)	3972 S.F. (40.9%)

BUILDING SUMMARY:

1)- BUILDING HEIGHT:	ALLOWED	PROVIDED
	3 STORIES 35'-0"	3 STORIES 33'-0"

2)- BUILDING AREAS:	ALLOWED	PROVIDED
FIRST FLOOR (INCL. GARAGES)	3 458 S.F.	3 458 S.F.
SECOND FLOOR	3 969 S.F.	3 969 S.F.
THIRD FLOOR	2 390 S.F.	2 390 S.F.
ROOF STAIR ENCLOSURE	311 AC	311 AC
TOTAL	10 138 S.F.	10 138 S.F.

3)- UNIT AREA:	INTERIOR
FIRST FLOOR	846 S.F.
SECOND FLOOR	1 323 S.F.
THIRD FLOOR	800 S.F.
ROOF STAIR ENCLOSURE	104 S.F.
TOTAL	3 073 S.F.
GARAGE	311 S.F.
TOTAL	3 384 S.F.

GREEN BUILDING PRACTICES

FROM CITY OF HOLLYWOOD ORDINANCE #0-2011-06

- (1) CENTRAL AIR CONDITIONER OF 18 SEER OR HIGHER
- (2) RADIANT BARRIER - ENERGY STAR QUALIFIED
- (4) ENERGY EFFICIENT LOW E WINDOWS - ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA
- (5) ENERGY EFFICIENT DOORS - ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA
- (8) PROGRAMMABLE THERMOSTATS
- (14) DUAL FLUSH TOILETS
- (17) ALL ENERGY EFFICIENT OUTDOOR LIGHTING (SHIELDED)
- (18) ENERGY PERFORMANCE AT LEAST 10% MORE EFFICIENT THAN STANDARD ESTABLISHED BY ASHRAE
- (20) ALL HOT WATER PIPES INSULATED
- (21) MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTIMICROBIAL AGENT.

ADDITIONAL PRACTICES

1. ICYNENE SOY BASED CLOSED CELL SPRAY INSULATION
2. COOL ROOF

RENDERING



AERIAL VIEW



1625 HOLLYWOOD BLVD
 HOLLYWOOD, FL 33019



LOCATION MAP



1625 HOLLYWOOD BLVD
 HOLLYWOOD, FL 33019



PROJECT DATA

CODES:

FLORIDA BUILDING CODE, 2017 6TH ED
 FLORIDA FIRE PREVENTION CODE, 2017 6TH ED
 NFPA 101, LIFE SAFETY CODE, 2012 5TH ED

LEVEL OF ALTERATION:

NEW CONSTRUCTION

JURISDICTION:

- CITY OF HOLLYWOOD
- BROWARD COUNTY
- STATE OF FLORIDA

DRAWING INDEX

T-1.0	COVER SHEET	A-1.0	FIRST FLOOR PLAN
SVY	SURVEY	A-2.0	SECOND FLOOR PLAN
SP-D	EXISTING SITE PLAN DEMOLITION	A-3.0	THIRD FLOOR PLAN
SP-1.0	PROPOSED SITE PLAN	A-4.0	ROOF PLAN
C-1.0	RETENTION PLAN - WATER AND SEWER PLAN	A-4.1	ROOF PLAN
C-1.1	SECTION AND DETAILS	A-5.0	EXTERIOR ELEVATION
C-1.2	WATER AND SEWER NOTES	A-5.1	EXTERIOR ELEVATIONS
EC-1.0	EROSION CONTROL PLAN	A-6.0	STREET PROFILE
LP-1	LANDSCAPE PLAN		
LE-1	EXISTING CONDITIONS PLAN		

PROJECT TEAM

OWNER:

MAZOL REALTY OF QUEENS INC
 ADDRESS:
 11930 80 RD JAMAICA NY 11415

ARCHITECT:

JOSEPH B. KALLER AND ASSOCIATES, P.A.
 CONTACT: MR. JOSEPH B. KALLER
 ADDRESS: 2417 HOLLYWOOD BLVD HOLLYWOOD, FL 33020
 PHONE: (954) 920-5746
 FAX: (954) 926-2841
 EMAIL: joseph@kallerarchitects.com

CIVIL:

CONTACT: MR. CHARLES O. BUCKALEW
 CONSULTING ENGINEERING SERVICES, INC.
 ADDRESS: 801 S. OCEAN DRIVE, SUITE 201, HOLLYWOOD FLORIDA 33019
 PHONE: (954) 558-1189
 FAX: N/A
 EMAIL: CBUCK76670@AOL.COM

LANDSCAPE ARCHITECT:

TONNING AND ASSOCIATES, INC.
 CONTACT: MR. WAYNE TONNING
 ADDRESS: 4855 NW 92 TERRACE CORAL SPRINGS, FLORIDA 33067
 PHONE: (561) 414-8269
 FAX: N/A
 EMAIL: WTONNING@TONNINGANDASSOCIATES.COM

SKETCH OF ALTA/ACSM LAND TITLE SURVEY

LEGAL DESCRIPTION:

Lots 5 and 6, Block 73, HOLLYWOOD, according to the plat thereof, as recorded in Plat Book 1, Page 21 of the Public Records of Broward County, Florida.

Property address:
1625 Hollywood Boulevard
Hollywood, FL

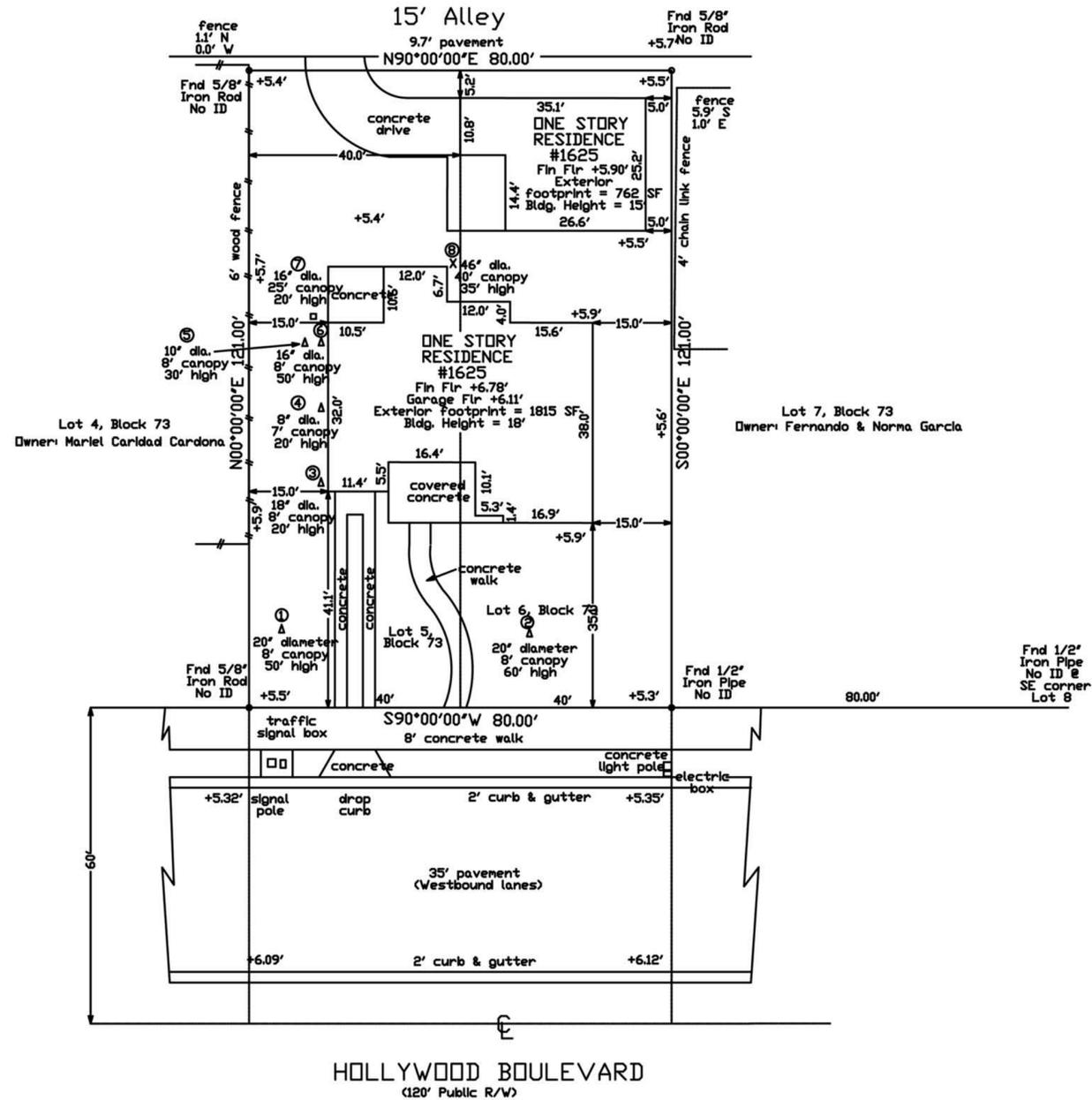
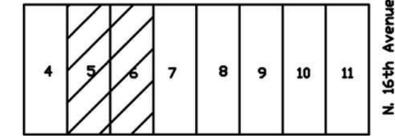
TITLE EXCEPTIONS:

- First American Title Insurance Company
Title Commitment #1062-4030935
Schedule B-1J
- Defects, liens, encumbrances, adverse claims or other matters. Not a survey matter.
 - Any rights, interests or claims of parties in possession of the land not shown in the public records. Not a survey matter.
 - Any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete survey of the land. None found.
 - Any lien for services, labor, or materials in connection with improvements, repairs or renovations provided before, on, or after Date of Policy, not shown in the public records. Not a survey matter.
 - Any dispute as to the boundaries caused by a change in the location of any water body within or adjacent to the land prior to Date of Policy, and any adverse claim to all or part of the land that is, at Date of Policy, or was previously under water. None found.
 - Taxes or special assessments not shown as liens in the public records or in the records of the local tax collecting authority, at Date of Policy. Not a survey matter.
 - Any minerals or mineral rights leased, granted or retained by the current or prior owners. Not a survey matter.
 - Taxes and assessments for the year 2018 and subsequent years, which are not yet due and payable. Not a survey matter.
 - Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of HOLLYWOOD, as recorded in Plat Book 1, Page(s) 21, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). Shown hereon.
 - Ordinance No. 87-36 as recorded in Book 14654, Page 893. Affects this property, not a survey matter.
 - Ordinance No. 0-89-36 as recorded in Book 44909, Page 1492. Does not affect this property.

NOTES:

- Property lies in Flood Zone X, Map #12011C0569 H.
- Property Zoned LT (Lakes Transition)
- There is no observable evidence of cemeteries/burial grounds on the subject property.
- Property contains 9,680 square feet, 0.22 acres +/-.
- There is no observable evidence of current earth moving work, building construction or building additions.
- To our knowledge there are no proposed changes in street right-of-way lines. There is no observable evidence of recent street or sidewalk construction or repairs.
- Visible indicators of utilities are shown hereon.
- There are no wetlands on the property.
- The certification shown hereon to the extent relating to the existence of easements and/or rights-of-way of record is based on the Title Commitment issued by VFG National Title Insurance Company dated 5/18/2018 @ 1:50 P.M.

- LEGEND:
- Δ = CENTRAL ANGLE (DELTA)
 - A = ARC LENGTH
 - A/C = AIR CONDITIONER
 - BCR = BROWARD COUNTY RECORDS
 - BM = BENCHMARK
 - CL = CENTERLINE
 - (C) = CALCULATED
 - (D) = DEED
 - FND = FOUND
 - FPL = FLORIDA POWER & LIGHT
 - H = HANDICAP PARKING SPACE
 - D/S = OFFSET
 - (P) = PLAT
 - PB = PLAT BOOK
 - P.C. = POINT OF CURVATURE
 - PG = PAGE
 - PGB = POINT OF BEGINNING
 - PDC = POINT OF COMMENCEMENT
 - R = RADIUS
 - R/W = RIGHT-OF-WAY
 - SF = SQUARE FEET



- Tree Legend:
- ① Canary Date Palm
 - ② Canary Date Palm
 - ③ Sabal Palm
 - ④ Queen Palm
 - ⑤ Chinese Fan Palm
 - ⑥ Foxtail Palm
 - ⑦ Ficus Benjamin
 - ⑧ Avocado

I hereby certify to Mazol of Queens, FM Home Loans, LLC, its successor and/or assigns, First American Title Insurance Company and Michael R. Kadoch, P.A.

This is to certify that this map or plat and survey on which it is based, were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established by ALTA and NSPS and includes Items 1, 2, 3, 4, 6(a), 7, 8, 11(a), 13, 14, 16, 17, 18 and 19 of Table A. Field work was completed on October 4, 2018.

Mikki H. Ulrich
Professional Surveyor and Mapper #5853
State of Florida

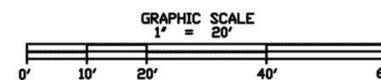
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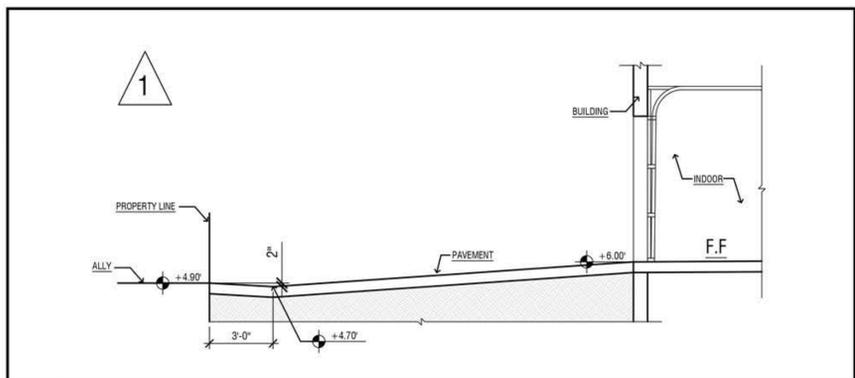
Benchmark:
X cut in centerline of sidewalk @ NW corner 16th Avenue & Hollywood Blvd.
elevation = +4.39' NAVD

- NOTES:
- THIS SURVEY REFLECTS ALL EASEMENTS AND RIGHTS-OF-WAY AS SHOWN ON THE ABOVE RECORDED PLAT. THE SUBJECT PROPERTY HAS NOT BEEN ABSTRACTED BY THE UNDERSIGNED FOR OTHER EASEMENTS OR RIGHT-OF-WAY.
 - BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF HOLLYWOOD BLVD. N 90°00'00" E (ASSUMED MERIDIAN).
 - ELEVATION SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
 - SUBSURFACE FEATURES NOT LOCATED.
 - OWNERSHIP OF FENCES/WALLS NOT DETERMINED.

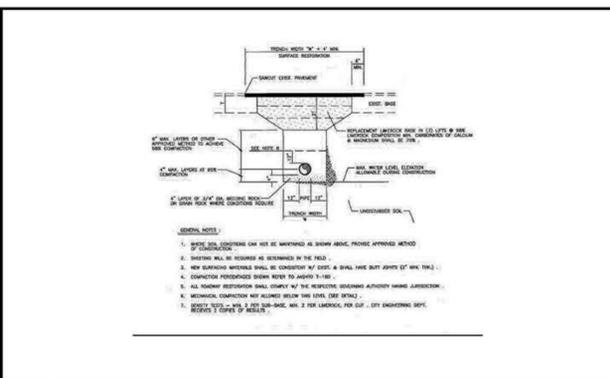
REVISIONS	DATE	FOR: MAZOL	DATE: 10/3/2018	NO. 1810001	F.B. 121-75

DENI LAND SURVEYORS, INC. LB #7281
1991 NW 35th AVENUE, COCONUT CREEK, FL 33066 (954)973-7966
LAND SURVEYS • SUBDIVISIONS • CONSTRUCTION SURVEYS

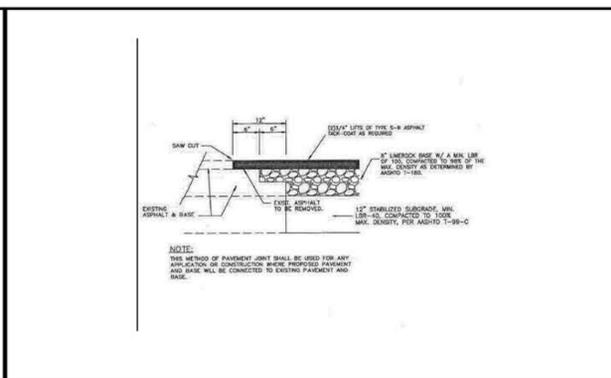




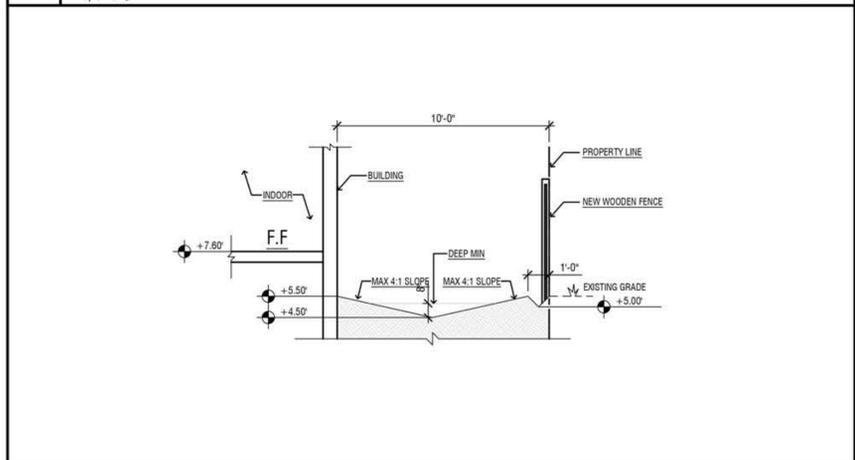
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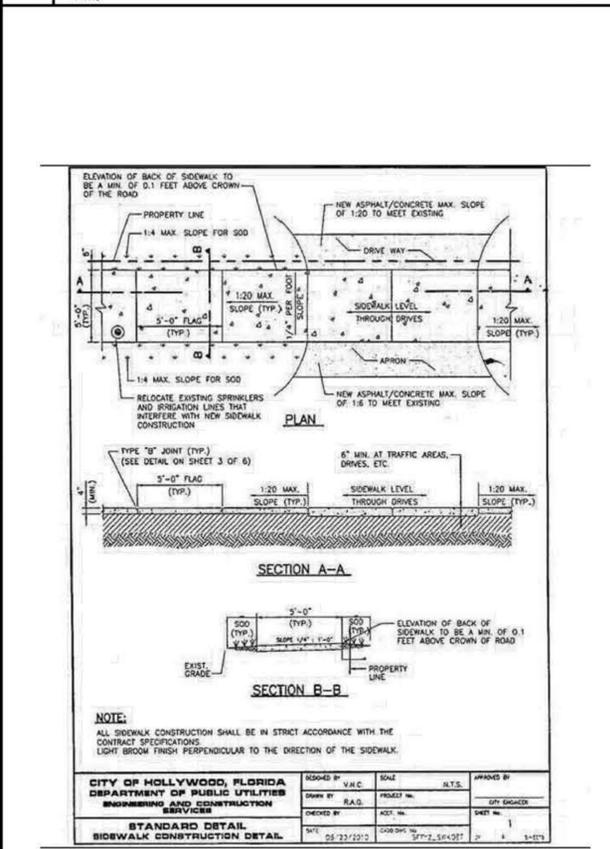
5 DETAIL
N.T.S.



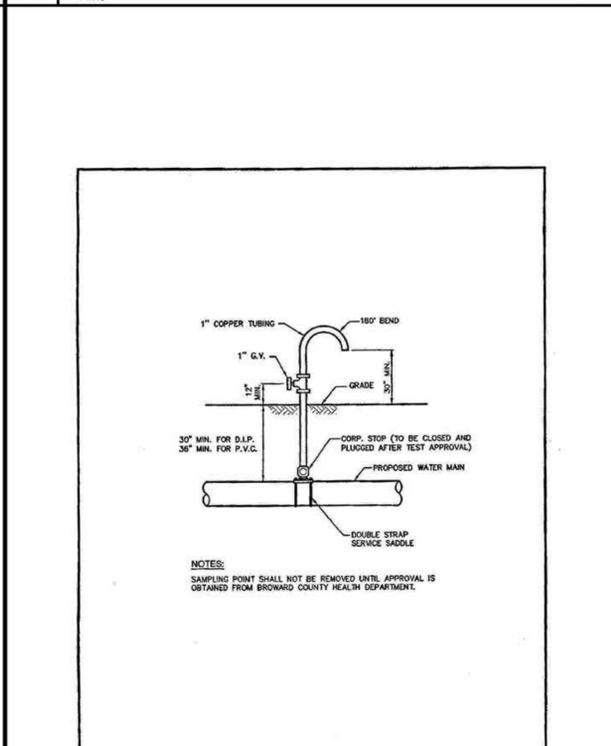
7 DETAIL
N.T.S.



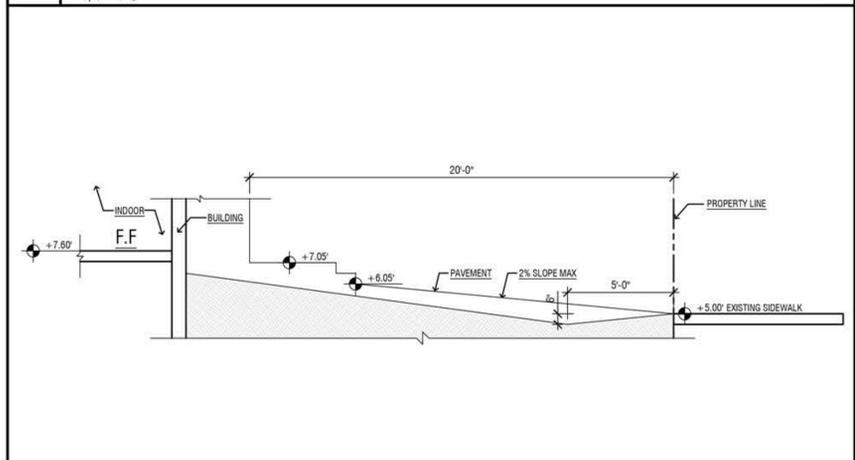
2 SECTION
1/4" = 1'-0"



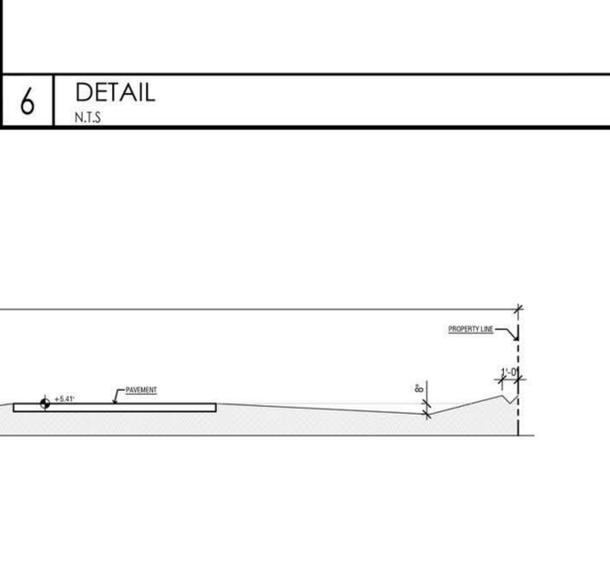
6 DETAIL
N.T.S.



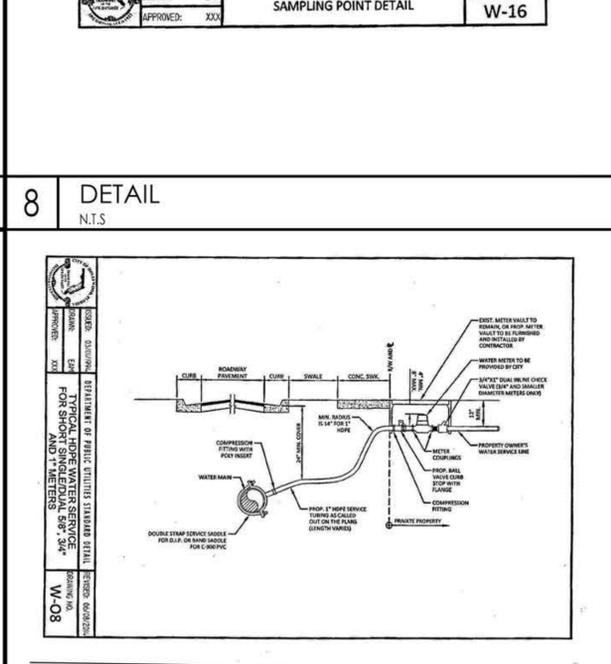
8 DETAIL
N.T.S.



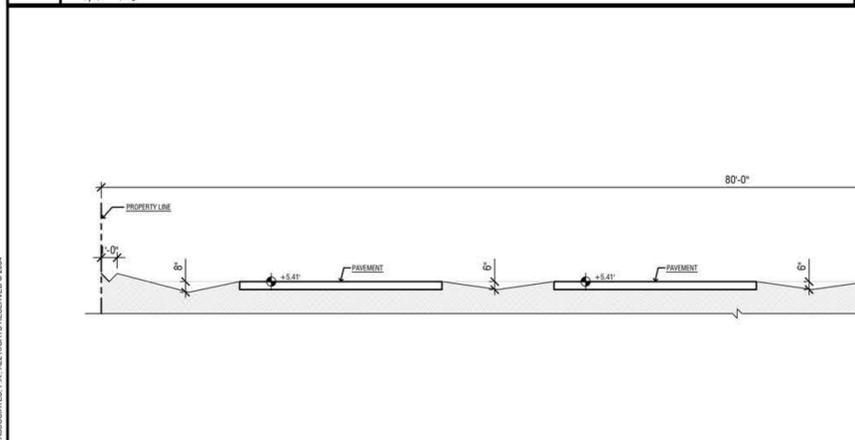
3 SECTION
1/4" = 1'-0"



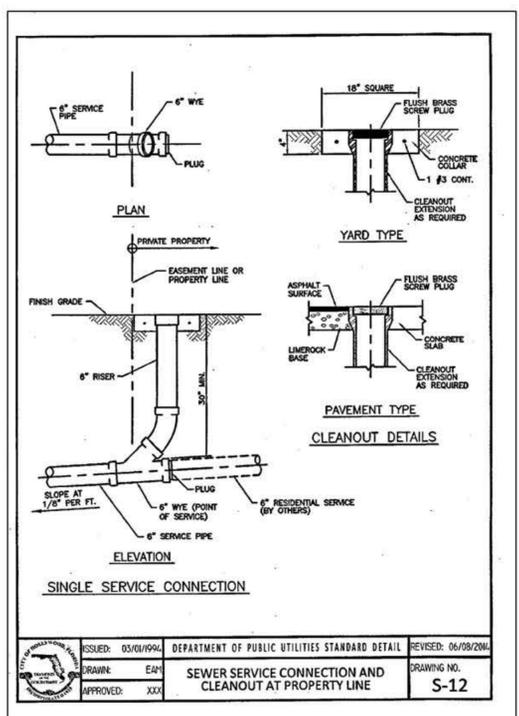
9 DETAIL
N.T.S.



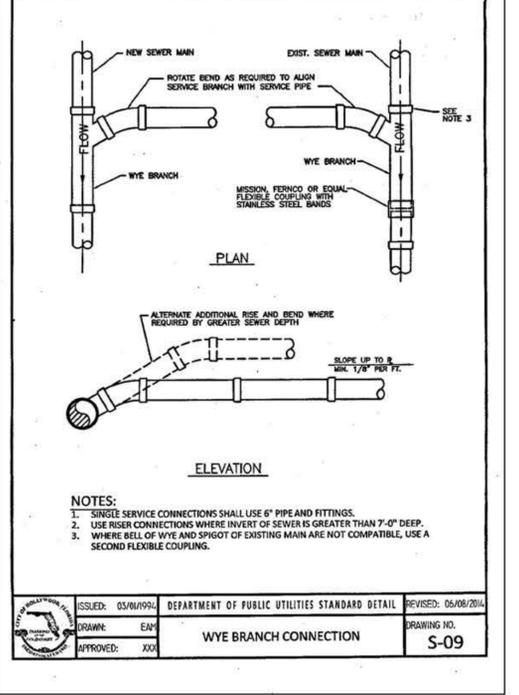
10 DETAIL
N.T.S.



4 SECTION
3/16" = 1'-0"



SINGLE SERVICE CONNECTION



WYE BRANCH CONNECTION

Kaller

JOSEPH B. KALLER + ASSOCIATES

2117 Hollywood Blvd., Hollywood, Florida 33020
(954) 920-5746 phone - (954) 920-2841 fax
www.jbcaller.com

SEAL

STATE OF FLORIDA

JOSEPH B. KALLER

R.A. 0009239

REGISTERED ARCHITECT

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

1625 HLLWD BLVD TOWNHOUSES

1625 HOLLYWOOD BOULEVARD
HOLLYWOOD, FL 33019

SHEET TITLE

SECTIONS
DETAILS

No.	DATE	DESCRIPTION
1	10-25-18	HISTORIC P.B.
2	10-31-18	HISTORIC P.B.

No.	DATE	DESCRIPTION
1	10-25-18	HISTORIC P.B.
2	10-31-18	HISTORIC P.B.

PROJECT No.: 18127

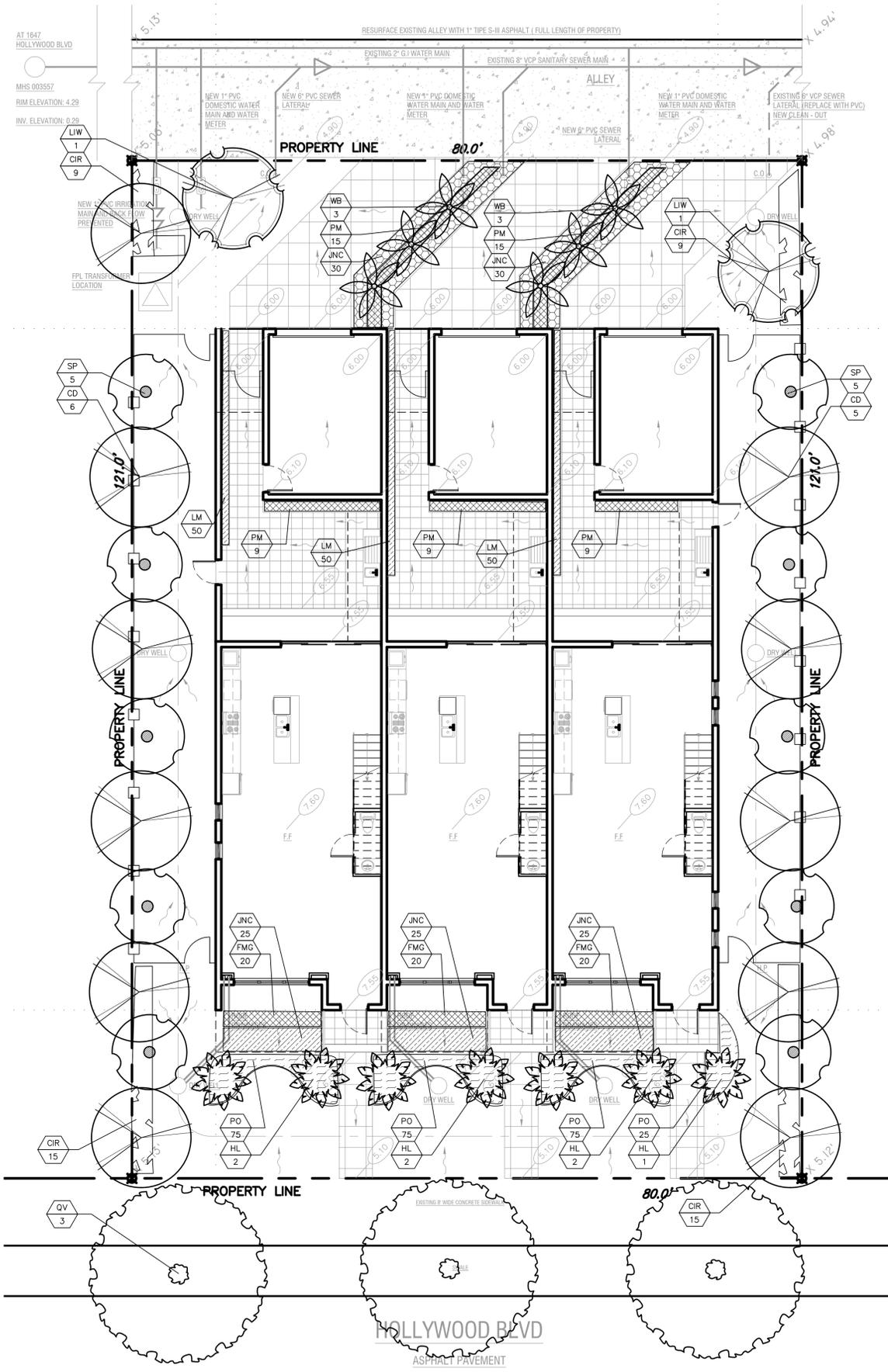
DATE: 10-15-18

DRAWN BY: ML

CHECKED BY: JBK

SHEET

C-1.1



GENERAL LANDSCAPE REQUIREMENTS	
Requirements	Proposed
1 One (1) street tree per 30 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	3 Trees (80 Linear Feet / 30 = 3 Trees Required)
2 Residential Uses shall provide a five (5) foot landscape buffer within required setback areas with one (1) tree for every 20 linear feet of required buffer area.	12 Trees (242 Linear Feet / 20 = 12 Trees Required)
3 When abutting or across an alley from a residential zoning district a perimeter landscape buffer shall be included within the required setback area with one (1) tree for every 20 linear feet of required buffer area.	1 Tree + 6 Palms (80 Linear Feet / 20 = 3 Trees Required)
4 Terminal islands shall be installed at each end of all rows of parking spaces and landscape islands shall be provided no further apart than every 10 parking spaces. Each island shall contain a minimum of one 190 square feet of pervious area or shall measure the same length and width as the adjacent parking.	Not Applicable
5 A five (5) foot landscape buffer including a landscape element of at least 42 inches in height shall be provided along the perimeter. The landscape buffer may be included within required setback areas.	Not Applicable
6 Lots with a width of 50 feet or less: 15 percent of the total square footage of the paved vehicular use area shall be landscaped.	Not Applicable
7 Lots with a width of more than 50 feet: 25 percent of the total square footage of the paved vehicular use area shall be landscaped. Note: Percentage calculation excludes required perimeter landscaped setback area.	Not Applicable
8 All pervious areas shall be landscaped with grass, ground cover and/or shrubbery or covered by another sustainable surface or material as permitted and determined by the City Manager or designee. Required landscape open space shall not be used for parking.	Planted with Shrubs/groundcovers.
9 A minimum of one (1) tree per 1,000 square feet of pervious area of property; this is in addition to tree requirement for parking lots and paved vehicular use areas.	17 Palms (3650 SF / 1000 = 4 Trees Required=12 Palms)
10 MC-1, DH-1 Districts: A minimum of 40 percent of the total site area shall be landscaped open space including landscaped open space located at grade or at higher elevations such as on pool decks, parking decks, roof decks, etc.	Not Applicable
11 LT District: A minimum of 30 percent of the total site area shall be landscaped open space including landscaped open space located at grade or at higher elevations such as on pool decks, parking decks, roof decks, etc.	Not Applicable
12 DH-1, PH-1, ND-1, ND-2, PS-1, PS-2 District: A minimum of 20 percent of the total site area shall be landscaped open space including landscaped open space located at grade or at higher elevations such as on pool decks, parking decks, roof decks, etc.	Not Applicable
13 Projects containing four (4) or more units on a single site shall comply with Design Guidelines for Landscaping.	Not Applicable
14 If within a Historic Preservation District, the landscape shall comply with the Historic Preservation Guidelines.	Applicable
15 For corner lots, a sight distance triangle shall be provided. See the City of Hollywood Landscape Manual for illustration diagram.	Not Applicable
16 Provide 100 percent irrigation coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances and the Regulations of the South Florida Water Management District or apply variances principles. (See the City of Hollywood Landscape Manual).	Irrigation will be provided at permit.

PROPOSED PLANT LIST

TREES / PALMS

Code	Drought	QTY.	Botanical Name / Common Name	Specifications
CD (N)	V	11	Coccoloba diversifolia / Pigeon Plum	B&B Field Grown, 2 1/2" cal, 12-14' OA
HL	V	7	Hyophorbe lagenicallis / Bottle Palm	B&B Field Grown, 8' Clear Trunk
WB	V	6	Wodyetia bifurcata / Foxtail Palm	B&B Field Grown, 8' Clear Trunk 12-14'
QV (N)	V	3	Quercus virginiana / Live Oak	B&B Field Grown, 2 1/2" cal, 12-14' OA
SP (N)	V	10	Sabal palmetto / Sabal Palm	B&B Field Grown, 8' Clear Trunk
LW	V	2	Laegerstroemia indica / White Crape Myrtle	B&B Field Grown, 2 1/2" cal, Standard, 12-14' OA

ACCENTS / SHRUBS / GROUND COVERS

CIR (N)	V	48	Chrysobalanus icaco / Red Tip Cocoplum	24" OA, 2' OC
FMG	V	60	Ficus macrocarpa / Green Island Ficus	18" OA, 24" OC
JNC (N)	V	135	Juniperus conferta / Shore Juniper	24" OA, 2' OC
LM	V	150	Liriope muscari / Liriope	12" OA, 12" OC
PO	V	250	Peperomia obtusifolia / Peperomia	12" OC
PM	V	57	Podocarpus macrophyllus / Podocarpus	24" OA, 2' OC

MISCELLANEOUS

(N)	Florida Native Plant Species	M	Moderate Drought Tolerance
L	Low Drought Tolerance	V	Very Drought Tolerant

MITIGATION

EXISTING CONDITIONS

TOTAL DBH to be removed = 154"
TOTAL Palms to be removed = 6

REQUIRED: Quantity 77 Trees at 2" DBH

PROVIDED TREES: 0" of DBH at 2" DBH Trees
PROVIDED PALMS: 0 Palm

DEFICIENT CALCULATIONS : 154" DBH

154" DBH at 2" DBH/Tree Required = 77 Trees Deficient
77 Trees at \$ 350 per tree = \$ 26,950 Fee to City of Hollywood Tree Preservation Fund.

Due to limited green space onsite, owner will pay to the City of Hollywood Tree Preservation Fund a fee of \$ 350 per 2" DBH tree deficient for mitigation, or plant equivalent on Public property at City of Hollywood discretion.

NOTES:
GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Plants and Grades and Standards for Florida Nursery Trees. All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 50% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

Each lot shall supply, install, and maintain an individual irrigation system for that individual lot.

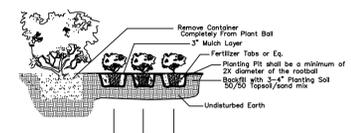
It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

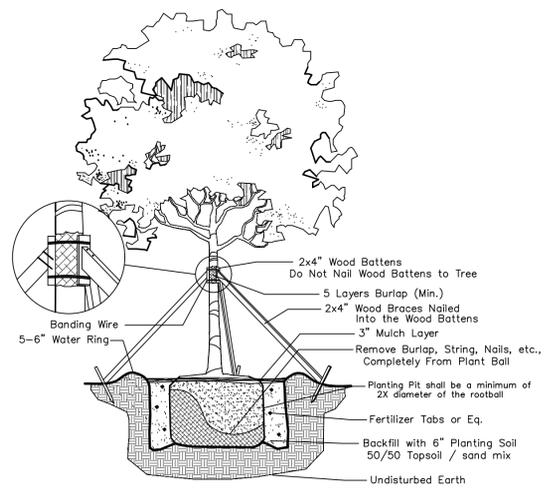
Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Wayne K. Tinning, RLA.

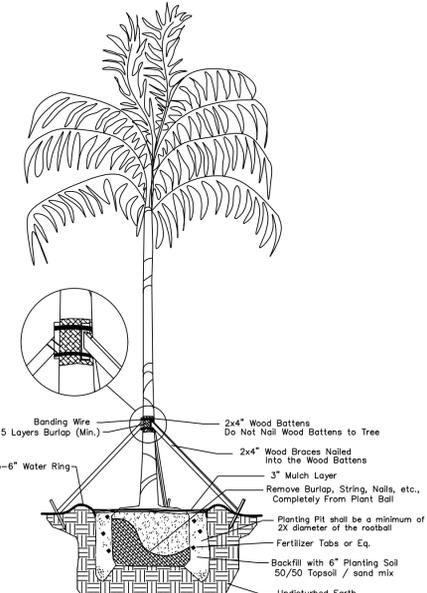
The plan takes precedence over the plant list.



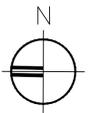
Shrub & Ground Cover Planting Detail



Large Tree Planting Detail



Palm Planting Detail



LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



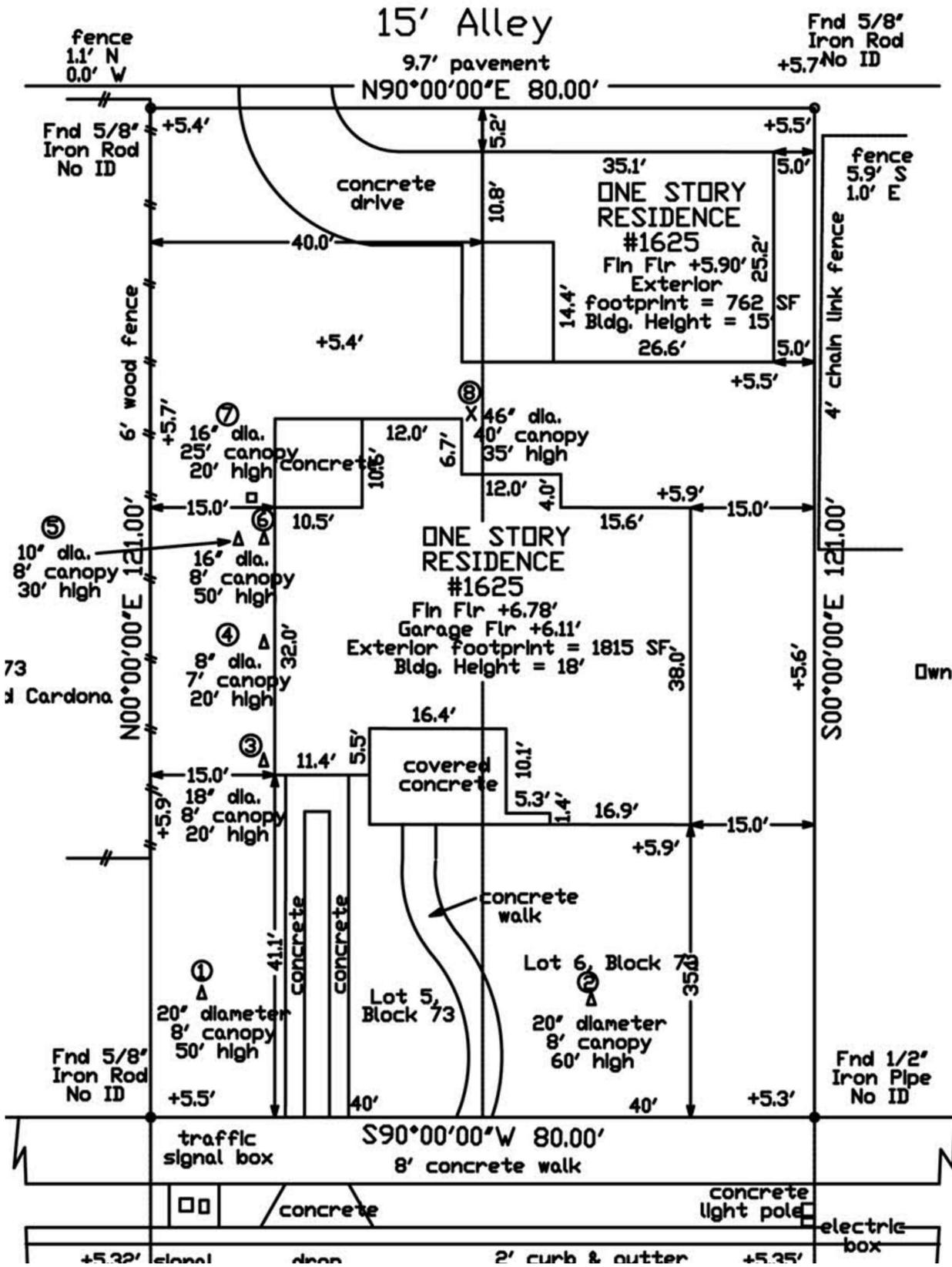
DRWG. TITLE : LANDSCAPE PLAN GROUND FLOOR
PROJECT : 1625 HOLLYWOOD TOWNHOMES
1625 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA
CLIENT : KALLER ARCHITECTS

PROJECT NO. 18-131
DRAWN BY WKT
DESIGNED BY WKT
CHECKED BY WKT
DATE : 10-01-18
DWG. NO. LP-1
SHT. NO. 1 of 1
REVISIONS :
10-31-18
11-01-18



SEAL
WAYNE K. TONNING, RLA
FLA #666709

Email: wktinning@tonningandassociates.com



1625 HOLLYWOOD BOULEVARD - Hollywood, Florida

Tree #	Type	DBH	Height	Canopy	Disposition			Mitigation	
					Remove	Remain	Relocate	Condition	Condition
1	Date Palm	20"	50'	500 SF	x			Fair/Good	
2	Date Palm	20"	60'	500 SF	x			Fair/Good	
3	Sabal Palm	18"	20'	100 SF	x			Fair/Good	
4	Green Buttonwood	8"	20'	500 SF	x			Fair/Good	
5	Sabal Palm	10"	30'	100 SF	x			Fair/Good	
6	Royal Palm	16"	50'	750 SF	x			Fair/Good	
7	Sabal Palm	16"	20'	100 SF	x			Fair/Good	
8	Mahogany	46"	35'	1000 SF	x			Fair/Good	

MITIGATION
EXISTING CONDITIONS
TOTAL DBH to be removed = 154"
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REQUIRED: Quantity 77 Trees at 2" DBH
PROVIDED TREES: 0" of DBH at 2" DBH Trees
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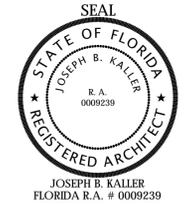
EXISTING CONDITIONS PLAN
PROJECT : 1625 HOLLYWOOD TOWNHOMES
1625 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA
CLIENT : KALLER ARCHITECTS



PROJECT NO. 18-131
DRAWN BY WKT
DESIGNED BY WKT
CHECKED BY WKT
DATE : 10-01-18
DWG. NO. LE-1
SHT. NO. 1 of 1
REVISIONS :
10-31-18



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 2417 Hollywood Blvd., Hollywood, Florida 33020
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 joseph@kallerarchitects.com



PROJECT TITLE
 1625 HILLWOOD BLVD TOWNHOUSES
 1625 HOLLYWOOD BOULEVARD
 HOLLYWOOD, FL 33019

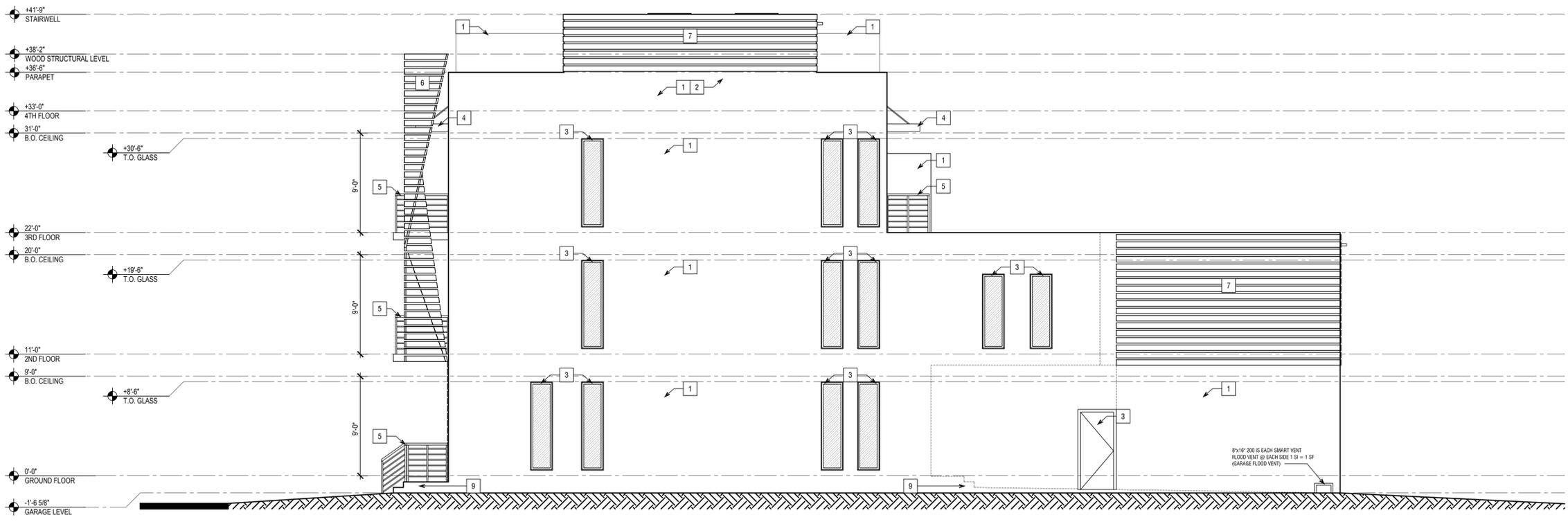
SHEET TITLE
 EAST ELEVATION
 WEST ELEVATION
 KEY NOTES

REVISIONS		
No.	DATE	DESCRIPTION
1	10-25-18	HISTORIC P.B
2	10-31-18	HISTORIC P.B

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PROJECT No.: 18127
 DATE: 10-15-18
 DRAWN BY: ML
 CHECKED BY: JBK

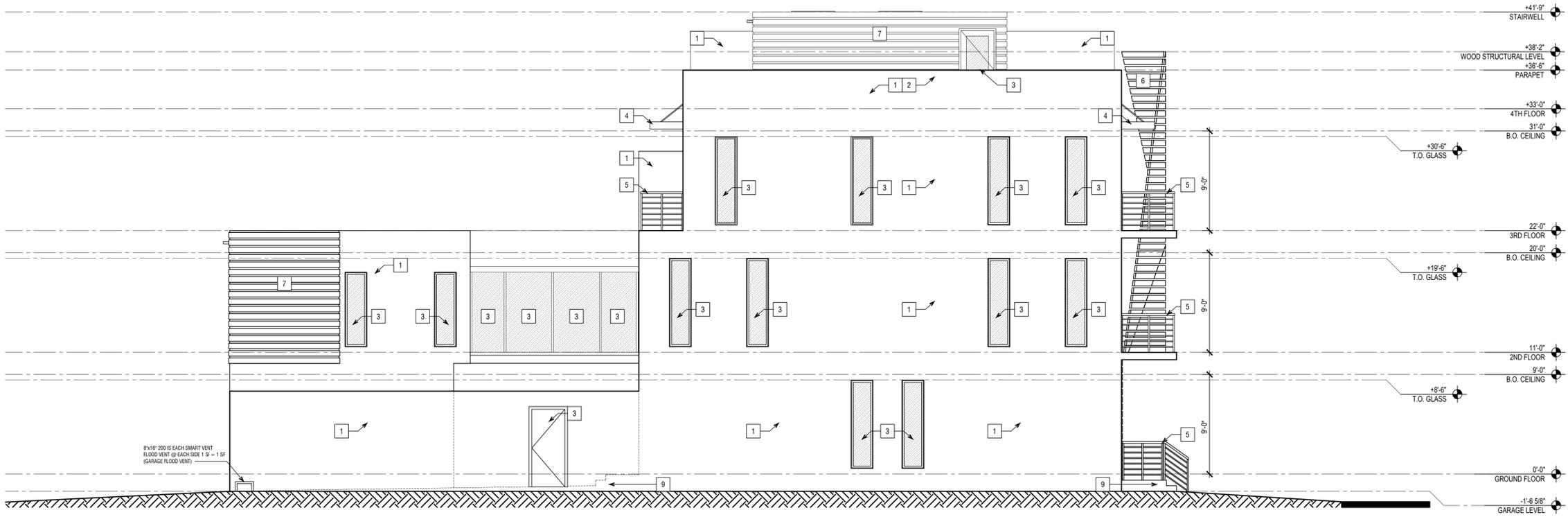
SHEET
A-5.1



1 EAST ELEVATION
 3/16" = 1'-0"

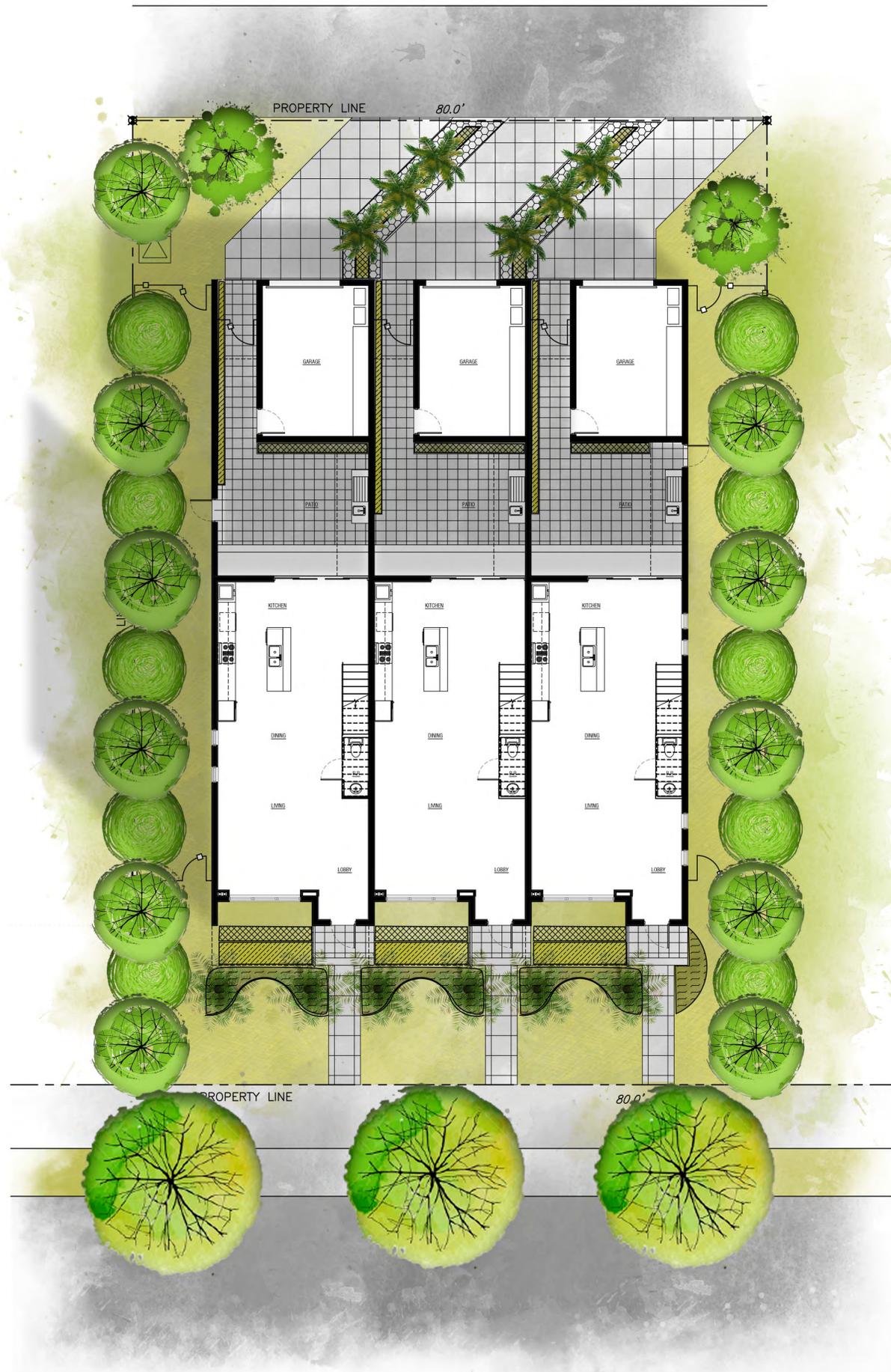
- 1 SMOOTH STUCCO FINISH - COLOR SELECTION BY OWNER
- 2 3'-6" PARAPET
- 3 CONTRACTOR TO PROVIDE NOAS & PRE-ENGINEERED SHOP DWGS FOR ALL EXTERIOR IMPACT RESISTANT WINDOWS & DOORS FOR ARCHITECT REVIEW/APPROVAL PRIOR TO FABRICATION.
- 4 CONTRACTOR TO PROVIDE NOAS & PRE-ENGINEERED SHOP DWGS FOR METAL CANOPIED FOR ARCHITECT REVIEW/APPROVAL PRIOR TO FABRICATION.
- 5 42" (MIN) HIGH EXTERIOR GUARD-RAIL A.F.F. CONTRACTOR SHALL PROVIDE PRE-ENG'd SHOP DWGS FOR ARCHITECT REVIEW/APPROVAL PRIOR TO FABRICATION
- 6 COMPOSITE WOOD AND STRUCTURAL METAL FRAME.
- 7 COMPOSITE WOOD ATTACH AT WALL
- 8 WOOD FENCE (6' HIGH)
- 9 CONCRETE STEPS
- 10 GARAGE DOOR FINISH IS GRAY AND MAIN ENTRY DOOR, G.C TO PROVIDE SHOP DWGS FOR APPROVAL.
- 11 WOOD GATE (6'-10" HIGH)

2 KEY NOTES
 N.T.S



3 WEST ELEVATION
 3/16" = 1'-0"

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BIKE ROUTE
ENDS

15
MPH

NO PARKING
8:00 AM - 6:00 PM