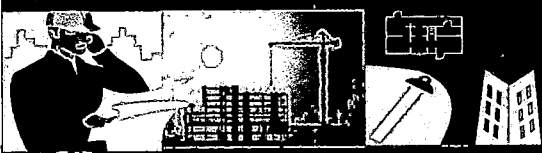


PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 05/16/2023

Location Address: 5730 JOHNSON STREET, HOLLYWOOD, FLORIDA

Lot(s): 12-16 Block(s): 3 Subdivision: HOLLYWOOD BEACH GARDENS CORR

Folio Number(s): 5141 13 02 0190

Zoning Classification: C-3 Land Use Classification: Mixed Use

Existing Property Use: Vacant Sq Ft/Number of Units: First Floor Commercial 4250 SF, 2nd Floor Residential 4250 SF

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: _____

Number of units/rooms: First Floor- 4 Retails Units First Floor Commercial 4250 SF,
2nd Floor-4 Residential Units Sq Ft: 2nd Floor Residential 4250 SF

Value of Improvement: 1,500,000.00 Estimated Date of Completion: December 31, 2025.

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: BAKTIER KHAN, QUDS INVESTMENTS LLC

Address of Property Owner: 6720 JOHNSON ST HOLLYWOOD FL 33024

Telephone: 305-721-0211 Fax: _____ Email Address: bkkfc1@gmail.com

Name of Consultant/Representative/Tenant (circle one): Design-Max Engineering Consultant Inc

Address: 10400 Griffin Road, S-304B, Cooper City, FL Telephone: 754-715-1395

Fax: _____ Email Address: info@design-max.us

Date of Purchase: 11/10/2014 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Baktier Khan Date: 05/16/2023

PRINT NAME: Baktier Khan Date: 05/16/2023

Signature of Consultant/Representative: [Signature] Date: 05/16/2023

PRINT NAME: Maqsood M. Nasir, P.E Date: 05/16/2023

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

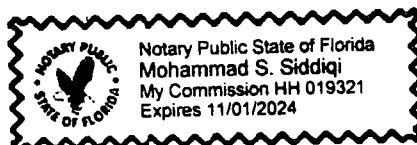
I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 16th day of MAY, 2023

[Signature]
Notary Public

State of Florida

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification KOL



Baktier Khan
Signature of Current Owner

BAKTIER KHAN
Print Name

A. APPLICATION SUBMITTAL

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.

Response: The plat determination letter is attached

2. Ownership & Encumbrance Report (O&E):
 - a. Must indicate search from time of platting or 1953, whichever is earliest.

Response: Please find the revised Ownership & Encumbrance Report on the re-submittal.

3. Alta Survey:
 - a. Shall be based on and dated after O&E. Ensure that O&E report is specifically referenced.**Response: Please find the revised Alta Survey based on the revised Ownership & Encumbrance Report on the re-submittal.**

4. Site Plan:
 - a. Better emphasize the property line. Should carry a heavier line weight for easier distinction.
Response: The property line thickness has increase for better distinction. Please see the revised Site Plan SP-1.

- b. At-grade parking lot should be setback 10' from the front, side, and rear. Side setback is noncompliant.

Response:

- The front parking spaces have 10' setback from the front property line. Please see the dimensions on the site plan SP-1.
- The side setback requirements for the adjacent commercial property is 0 feet. We have proposed 5' side setback.
- The rear setback is 15' for the first floor+10' for the 2nd floor. Total required 25' and provided 25' rear setback.

- c. Show sight triangles and dimensions.

Response: Please see the sight triangle on the revised site plan SP-1.

- d. Concrete pad/slab should be setback a minimum of 3'. Show setbacks on site plan.

Response: Please see the 3' setback for the concrete pads on the revised site plan SP-1.

- e. Concrete sidewalk shall be setback a minimum of 3'. Show setbacks on site plan.

Response: Please see the 3' setback for the concrete sidewalks on the revised site plan SP-1.

- f. Show walkway setbacks and dimensions. Walkways shall be setback a minimum of 3' from the property line.

Response: Please see the 3' setback for the concrete sidewalks/walkways on the revised site plan SP-1.

Response to comments:

Quads Plaza

5730 Johnson Street, Hollywood, Florida

- g. Show and indicate curbing type for at-grade parking.

Response: Please see the curb type of the revised site plan SP-1.

- h. Indicate what the areas hatched in yellow represent.

Response: The yellow hatches represent no parking. Please see the text/ label on the revised site plan SP-1.

- i. Will parking spaces be designated for the apartment units?

Response: No, the residential units will be restricted on their permitted parking spaces during renting process. During non-business hours they can park anywhere.

- j. Make door entry way for commercial unit #1 consistent with commercial unit #4. Show consistency on elevations sheet.

Response: unit#1's door has match with the unit#4's door. Please see the revised floor plan A-1 and elevation on the sheet A-3.

- k. Label proposed elevations correctly. "Proposed Front (South)" should be "Rear."

Response: Elevations label is corrected. Please see the revised sheet A-3.

- l. If fencing is proposed, indicate location, height, and material on the site plan.

Response: No fence has been proposed. Existing fence at the existing adjacent property to remain.

- m. Provide VUA calculation on site plan. Shall not include the required 5' landscape buffer.

Response: VUA calculation is shown on the revised site plan. Please see the sheet SP-1.

5. Site Data:

- a. Total required parking spaces is 25. Proposed project is 7 parking spaces short.

Response: Total first floor building area 4,250 sq. ft. The cumulative retail area on the first floor is 3294 sq. ft. which excludes common area (excluding meter room/it room/maintenance room/mail room/stairs). The parking area calculation excluded the common area from the parking requirements as the common area to be use for the building occupants.

Total parking required 21 and provided 21. See the revised parking calculation and parking layout.

6. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration Website:

<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactApplication1.pdf>

Response: The Broward County School Board an impact fee application is in process. As soon as the letter is available will be forwarded to your attentions.

7. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

Response: Please see the requested documents on the revised site plan SP-1.

Response to comments:

Quads Plaza

5730 Johnson Street, Hollywood, Florida

8. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

The following Civic Association are located within 500 feet project site.

- a. Lawn Acres Civic Association
- b. Driftwood Civic Association
- c. Hollywood Hills Civic Association

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

Response: A proposed development will be presented at the town-hall meeting after TAC approval. Certified mailed written notice will be sent prior to the commission meeting.

9. Additional comments may be forthcoming.

Response: acknowledged.

10. Provide written responses to all comments with next submittal.

Response: acknowledged.

B. ZONING

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Provide location of mechanical equipment.

Response: The mechanical equipment's to be installed at the roof.

2. Roof plan not provided.

Response: Roofing plan to be provided during construction permitting. The roof access will be thru ladder at the both of the upper stairs.

C. ARCHITECTURE AND URBAN DESIGN

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Provide color material legend on elevation sheets.

Response: Please find the materials legends on the elevation sheet A-3 and A-4.

2. Consider making commercial door front entry way more distinguishable.

Response: The door fronts are taller then the fix windows without any transom.

D. SIGNAGE

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. For review, full signage package shall be provided or make note on site plan that signs shall comply with the requirements of the Zoning and Land Development Regulations (ZLDR).

Response: A note is added on the site plan SP-1 regarding the exterior signs.

Response to comments:

Quads Plaza

5730 Johnson Street, Hollywood, Florida

E. LIGHTING

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Note maximum foot-candle level.

Response: The parking lot and all the emergency exit paths shall have minimum 1 foot candle illumination. A note is added on the site plan SP-1

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02). It is mentioned on Sheet 1/8. Please also indicate "EV" in the garage of the site plan.

Response: The future EV charger location is shown on the site plan.

2. Provide green building requirements if applicable. Refer to Building.

Response: All the green building requirements per 151.152 COMMERCIAL GREEN BUILDING PRACTICES. Shall be provided during construction permit.

G. ENGINEERING

Azita Behmardi, City Engineer (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

Stanislav Tsysar, Development Review Engineering Manager (stsysar@hollywoodfl.org) 954-921-3900

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

Revision Procedure:

-Any revisions applied to the plans shall be numbered and bubbled/clouded.

-In an 8.5"x11" revision summary, identify each revision by providing the plan sheet number, revision cloud / bubble number and a narrative describing each change or how a comment is being addressed.

1. ALTA survey provided is not signed and sealed. Please provide signed and sealed survey from licensed Florida land surveyor.

Response: Please find the signed and sealed survey on the re-submittal.

2. Provide survey showing full and centerline right-of-way widths along Johnson Street (both sides). Survey provided shows for a 30' wide centerline along the south side of Johnson Street. Per Broward County Property Appraiser's records, which is consistent with the plat to the north, Hollywood Beach Heights Plat (Plat Book 6, Page 27), the existing full right-of-way width on Johnson Street is 50'. Please verify.

Response: Existing R/W is 30' wide centerline and 60' for the both side. Please see the signed and sealed survey.

3. Upon verification of existing Johnson Street right-of-way width, provide and show on plans for a right-of-way dedication along Johnson Street for an ultimate right-of-way width of 80' as per the Broward County Trafficways Plan. Identify the current property line and the property line after the dedication on plans. All features of the proposed development shall begin from the proposed property line after the right-of-way dedication.

Response: Existing R/W is 30' wide centerline and 60' for the both side. A 10' R-W dedication is shown on the plan. Both side of the property owner dedicates 10 feet each side makes total 80' R/W. Please see the dimensions on the revised site plan SP-1.

Response to comments:

Quads Plaza

5730 Johnson Street, Hollywood, Florida

4. Provide plat determination letter from the Broward County Planning Council.

Response: The plat determination letter is in process. As soon as the letter is available will be forwarded to your attentions.

5. Please provide a site plan for the project including and dimensioning all features of City streets and alleys within full City right-of-way from property line to adjacent property lines. (Swales, sidewalks, gutters along entire property frontage, and any adjacent features such as neighboring driveways etc. both sides of the street within full right-of-way width on Johnson Street).

Response: Please see the revised site plan SP-1.

6. All driveway access shall have visibility triangles at the intersection of the property line and the driveway. Please show on plans all visibility triangles at all driveway accesses. A visibility triangle is an area adjacent to a driveway and the private property line where the driveway intersects a street/alley. If the property line is less than 12 feet from the edge of pavement in the rights-of-way provide a 12'X12' visibility triangle along the property line and driveway within the private property. If the distance is greater than 12 feet provide a 12' (along driveway on private property) X 6' (along property line) visibility triangle. All fences, walls, bushes, hedges, and any other landscaping or plant material, within the view triangle shall provide unobstructed cross visibility at a level between 30 inches and 72 inches above ground level. Please address in plans.

Response: The property line is 10' far from the edge of the street. A 5' sidewalk and 5' park way is between the property line and edge of the street. A 12" x12' sight triangle is shown on the site plan.

7. Please identify the apron radius flares. Flares are to be on both sides of the apron, semi circular in shape and a minimum of 3 feet wide.

Response: please find the apron radius flare dimension on the revised plan SP-1.

8. Please clearly identify material for the parking lot, the driveway and the driveway apron. Sheet SP-1 is calling out parking lot as driveway.

Response: Asphalt driveway and parking lot.

9. Ensure the following material requirements are identified on the plans and show in the associated details to be provided. Asphalt is to be a minimum 6-inch limerock base, tack coat, and 1-inch layer of S-III asphalt. The driveway is to be constructed flush with the existing roadway and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

Response: A note is added on the site plan about the minimum requirements of the driveway. The civil plan will be provide the materials details.

10. On Sheet SP-1, Applicant shows two (1'-3" and 1'-1" wide) strips parallel to the entrance/exit driveway. Please clarify what these are, identify material and if they are raised and above ground features. Provide height and any applicable details as needed.

Response: Both of the 6" raised traffic separator concrete curb to be 1'-3" in wide and 6" above the ground. The curb details will be provide on the civil plan during construction permit.

11. For parking stalls with obstruction on one side, minimum stall width shall be 9.5' and 10.5' with obstruction on both sides.

Response: according to the city's ordinance the minimum parking shall be 8.5', which we have proposed.

Response to comments:

Quads Plaza

5730 Johnson Street, Hollywood, Florida

12. Demonstrate how vehicles will be able to turn around to exit the parking lot if parking is full. Provide vehicular wheel path and maneuverability using AutoTurn. A designated vehicle turnaround space may be provided as an alternate.

Response: The driveway is 24' wider. Vehicle will be easily turn around within the 24' driveway clearance. Vehicular wheel path and maneuverability using Auto Turn will be provided during construction permit.

13. Please dimension all parking stalls and stripped areas.

Response: please see the revised parking orientation and dimensions.

14. Please identify all curbing to be proposed on site.

Response: D—curb to be proposed. See the information on the site plan.

15. Parking lot setback shall be measured from outside of curb to the property lines. A separate dimension shall be provided for the curb width.

Response: Response: Please see the revised site plan and new dimension on the revised sheet SP-1.

16. Please identify new and existing sidewalk, including width and thickness.

Response: Please see the label of the existing and proposed sidewalks with thickness. Existing sidewalks thickness unknown. Driveway crossing sidewalk to be replaced with 6". (v.i.f)

17. Please provide detectable warnings in compliance with FDOT. Provide FDOT standard detectable warning detail in plans.

Response: Detectable warning is shown on the plan. The details plan will be provided during construction permitting plans.

18. Show on plans for existing 5' sidewalk along Johnson Street to be replaced. Sidewalk shall be flush through driveway.

Response: Please see the label of the existing and proposed sidewalks with thickness. Existing sidewalks thickness unknown. Driveway crossing sidewalk to be replaced with 6" thick concrete sidewalk.

19. Please ADA accessible route for all ADA accessible parking stalls. Minimum ADA accessible route width is 5' with ADA compliant pavement marking. Show on site plan how ADA accessibility requirements are being met. ADA accessible route is required between accessibility parking and building access as well as accessible route to the public rights-of-way (Sidewalk) show routes on plans. Show any change in elevation along the route on the plan if the transition is flush identify the transition as flush on the plans, provide ramp slopes as applicable. Please add a note on the site plan and Civil plans stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements.

Response: Please see the pavement marking dimension on the revised plan. The ADA requirements to be full fit. More details will be provided on the construction plans.

20. Please provide a detail for the proposed ADA ramp. Include items such as but not limited to all widths, lengths, slope, and the critical clear width between the two handrails. Identify the ADA turning radius at all landings. All landings shall be minimum of 5'x5'.

Response: please see the dimensions the site plan. Ramp details will be provided during construction permitting plan.

21. All walkways shall be dimensioned with length, width, and thickness.

Response: All the walkway shall be 6" thick and the dimension is shown on the plan.

22. All setbacks shall be provided for all walkways and slabs.

Response: Please see the setback dimension on the revised plan SP-1.

23. Dumpster Enclosures: All dumpsters are to be enclosed. Please design and submit City Standards as per Code

Response to comments:

Quads Plaza

5730 Johnson Street, Hollywood, Florida

50.02 for type of dumpster enclosure being proposed (type A, B or C). Dumpster enclosure gates and doors shall not open into or encroach into the rights-of-way. Dumpster enclosure information can be found on City website at <http://www.hollywoodfl.org/1092/Dumpster-Enclosure-Requirements>.

Response: Dumpster enclosure is not proposed. 4 x 3 CU yard portable container to be use for the waste management.

24. Provide civil plans for the proposed work indicating items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking and signage plans and details Show location of existing water and sewer mains on plans and show how you are planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width pavement mill and resurface is required for adjacent road to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set. <https://hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan>

Response: Civil plan, drainage plan, drainage details to be provided during construction permitting plan.

25. Please provide a pavement marking plan for both on and off-site as applicable. These pavement markings are to comply with the City of Hollywood Standard Details in addition to the Broward County Traffic Engineering Division Standard details. Please provide any applicable details in the plan set. All off-site pavement marking within public right-of-way requires review and approval from Broward County Traffic Engineering.

Response: PGD and pavement marking plans are to be provided during construction permitting plan.

26. Alley is misspelled on the Site Plan.

Response: The spelling is corrected.

27. All roads and alleys adjacent to the property are to be milled and resurfaced. Please make a note on the Site plan and Civil plans provide hatching to show limitations.

Response: disturbed area to be milled and resurface per city's standard details. See the note on the site plan.

Response: disturbed area to be milled and resurface per city's standard details. See the note on the site plan.

28. MOT plans required at the time of City Building Permit review.

Response: A MOT permit to be applied construction permitting phase.

29. All outside agency permits are required at the time of City building permit review.

Response: All the outside agency (Broward County) will be obtain prior to apply for the construction permit to the city.

30. This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.

Response: Acknowledge

More comments may follow upon review of the requested information.

Response to comments:

Quads Plaza

5730 Johnson Street, Hollywood, Florida

H. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3997

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

1. No landscape plan submitted on set.

Response: No landscape plan was requested during pre-application meeting. A complete landscape plans to be provided during construction permitting phase.

2. Satellite images show existing trees/palms. .

Response: there was not any tree existed since the current owner purchased the property. Please see the google street view afor any earlier date.

3. Provide a Tree disposition plan and landscape plan on separate sheets by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate.

Response: Tree disposition plan is not required as there wasn't any tree existed at the property.

4. According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual, Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criteria may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree.

Response: Please see the landscape plan L-1.

5. Provide sight triangles on plans at intersection of driveway and property line – Sec. 155.12 (d)

Response: Please see the sight triangle o the revised sheet SP-1.

6. Native plant requirements; 60% trees, 50% shrubs – Sec. 3.4.

Response: Please see the landscape plan L-1.

7. Label all sides of property weather there are 'Existing Overhead Powerlines' or 'No Overhead Powerlines'. Provide FPL approved trees for planting under powerlines.

Response: Please see the landscape plan L-1.

8. Add note: 'Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.'

Response: there wasn't any tree existed since the current owner purchased the property. Please see the google street view a t any earlier date.

9. Above ground equipment: Where required for screening purposes, hedge shall be planted at equipment height for visual screening.

Response: Please see the landscape plan L-1.

10. All landscaping shall be warranted for 1 year after final inspection.

Response: Please see the note on the landscape plan L-1.

11. Provide site requirements as per C-3 zoning. Sec. 2.4.

Response: Please see the information on the site plan SP-1.

12. Provide note indicating: 100% irrigation coverage shall be provided.

Response: Please see the note on the landscape plan L-1

Additional comments may follow upon further review of requested items and information provided.

A. UTILITIES

Alicia Vereas-Feria, Engineer (averea-feria@hollywoodfl.org) 954-921-3302

1. Submit civil engineering plans indicating existing and proposed drainage, water, sewer and fire services for initial review.

Response: Please find the civil plans on the resubmittal.

2. Show Water and Sewer demand calculations on proposed utilities plans.

Response: please see the water and sewer demand calculation summary at the sheet C-7.

3. Include the City's latest applicable standard water and sewer details. The details are available on the City's website via the following link: <http://www.hollywoodfl.org/1169/Standard-Details-and-Public-Notices>.

Response: A note is provided on the utility plan sheet C-7. All the details to be provided during construction permitting phase.

4. This site resides currently within FEMA Flood Zone X and AH with Base Flood Elevation 10' NAVD88. The proposed Finished Floor Elevations (FFE) requirements shall comply with the greatest of the following three (3) conditions, as applicable.

Response: Proposed building's finished floor elevation is 12.0' NAVD.

5. Section 154.50 of the City's Code of Ordinances requires the minimum FFE for residential shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential use.

Response: Proposed building's finished floor elevation is 12.0' NAVD, which is more than 18" above the crown of the road elevations.

6. Broward County Preliminary 2019 FEMA Flood Maps (as recommended), available online via the following link: <https://bcgis.maps.arcgis.com/apps/View/index.html?appid=ea44837317bd47eaa5373ce3e2f01b6e>; OR

Response: Proposed building's finished floor elevation is 12.0' NAVD, which is 2' above the based flood elevation.

7. Broward County Future Conditions 100-year Flood Map 2060 (in effect as of July 2021), available online via the following link:

<https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacda62575e817380>

Response: Acknowledged.

8. Indicate FFE for all enclosed areas on the ground floor.

Response: Proposed building's finished floor elevation is 12.0' NAVD. Please see the information on the sheet SP-1 and C-1.

9. Sheet SP-1 indicates FFE = 12.00' NAVD88 and Sheet A-3 indicates the finished floor at 11.25' NGVD29. Ensure all elevations reference NAVD88.

Response: Proposed building's finished floor elevation is 12.0' NAVD. Please see the revised elevation on the sheet A-3.

10. Provide perimeter cross sections across all property limits including transition areas meeting adjacent property grades.

Response: proposed grade elevations are shown on the grading plan. The cross sections to be provided during construction permitting phase.

Response to comments:

Quads Plaza

5730 Johnson Street, Hollywood, Florida

11. Note how roof drainage will be collected and connected to the on-site drainage system.

Response: Roof water to be collected thru scrapper and to be collected using yard drain and to be percolated thru the exfiltration trenches to the front yard.

12. Provide preliminary drainage calculations including pre and post development ensuring all stormwater runoff is retained on site.

Response: Please find the calculation on the re-submittal.

13. Submit Erosion Control Plan and details.

Response: Please see the civil sheet C-6.

14. Permit approval from outside agencies will be required.

Response: Acknowledged.

15. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features.

Response: A conceptual landscape plan is provided.

Additional comments may follow upon further review of requested items.

A. FIRE

Chris Clinton, CFPE, Fire Marshal/Division Chief (clinton@hollywoodfl.org) 954-967-4404

Marcy Hofle, Fire Prevention Officer III (mhofle@hollywoodfl.org) 954-967-4404

Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. A complete architectural review will be completed during formal application of architectural plans to the building department.

1. As per NFPA 1 (2018 Ed.) Section 18.2.3.2.1 --- A fire department access road shall extend to within 50 ft. (15 m) of at least one exterior door that can be opened from the outside and that provides access to the interior of the building. --- Show this measurement on the plans.

Response: All the exit doors are out swing door. The fire department access will be thru the 27.5' wider driveway and can be park at the parking lot. Front public right of way is 71' far from the building.

2. In addition to providing code compliant FD access to the commercial spaces as stated above, it appears per the plans submitted that the only way to access the second floor dwelling units is via the emergency stairs on the east and west ends of the structure.

Response: There will be two roof access from the 2nd floor staircase. Beside the two emergency stairs the roof access is another way to get inside the 2nd floor residential units. All each of the bedrooms are having egress windows.

3. Provide a complete FD Access route on the plans which is compliant with NFPA 1 (2018 Ed.) Chapter 18 in its entirety. --- The minimum width for FD access roads is 20' unobstructed as per NFPA 1 (2018 Ed.) Section 18.2.3.5.1.1, and as per NFPA 1 (2018 Ed.) Section 18.2.3.5.1.2, fire department access roads shall have an unobstructed vertical clearance of not less than 13 ft. 6 in. (4.1 m). --- Lastly, as per NFPA 1 (2018 Ed.) Section 18.2.3.5.3.1, the turning radius for fire trucks access: 28'.5" interior radius, 38' centerline of the turning radius, and 45' exterior.

Response: A 27.5' wider driveway has been proposed.

Response to comments:

Quads Plaza

5730 Johnson Street, Hollywood, Florida

4. There is a discrepancy with regard to the construction type proposed. --- Page A-1 states "VI" while page SP-1 states "III (B)." --- Clarify and correct on the plans.

Response: Sheet A-1 is corrected.

5. Ensure that fire wall separations (both horizontally and vertically) are shown on the plans in hours and complies with NFPA 101 (2018 Ed.) Tables 6.1.14.4.1(a) and (b).

Response: All the unit separation will have min. 1 hr. fire rating. Fire rated wall details to be provided during construction permitting phase.

6. Water supply shall meet NFPA 1 (2018 Ed.) Section 18.4.5.3. --- In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., underground@hollywoodfl.org. --- After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building. --- For your convenience, I have attached a sample Fire Flow Calculation letter which can be used as a template.

Response: An existing fire hydrant is available within 5' of the North West corner of the property. New Sprinkler system to be tested per the Broward county ordinances.

7. Provide civil drawings for the underground fire main. Provide such including the location of the fire department connection, DDCV, and size of the fire line from the water supply. --- Check with our water department for city requirements in addition to fire. --- Ensure on the plans that there is a fire hydrant within 100 feet of fire department connections.

Response: a fire department connection is to be the east wall as shown on the plan. Please see the sheet C-7.

8. Provide a note on civil drawing all underground fire main work must be completed by fire protection contractor holding a Class I, II, or V license per FS 633.102.

Response: a note is added on the sheet SP-1.

9. Water supply and any new hydrants shall be in place prior to accumulation of combustible materials per NFPA 1 (2018 Ed.) Section 16.4.3.1.1. --- Provide a note on the plans.

Response: An existing fire hydrant is available within 5' of the North West corner of the property's till the note is provided on the sheet SP-1.

B. ECONOMIC DEVELOPMENT

Raelin Storey, Director (rstorey@hollywoodfl.org) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922

1. What types of users are envisioned for the retail spaces?

Response: CBD store, Cafeteria, offices, mailing services, take out fast food/deli shop, convenient store.

2. How many jobs are anticipated as a result of this project?

Response: 7-10 propositions/ jobs are anticipated as a result of this project.

3. Would've liked to have seen a rendering of the project.

Response: A 3d rendering can be prepared at the last stage of the TAC review process.

JOHNSON ST. 282.33'

N. 57 AVE.

LOCATION SKETCH NOT TO SCALE

LOTS 12, 13, 14, 15 AND 16, BLOCK 3 OF CORRECTED PLAT OF HOLLYWOOD BEACH GARDENS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 10, PAGE(S) 14, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

- 1). Legal description provided by client.
- 2). Right of way information obtained from record plat.
- 3). Only record plat easements are shown.
- 4). In Federal Flood Zone X & AH Elev. 10', Panel 0564 last revised 8-18-14.
- 5). Benchmark used-Broward County BM# 166 Elev. 10.366' NGVD1929.
- 6). Elevations are referenced to NAVD1988 Datum.

First American Title Insurance Company
Policy Number 5011412-023657e
November 20, 2014 at 1:25 pm

Page No: 14-69340

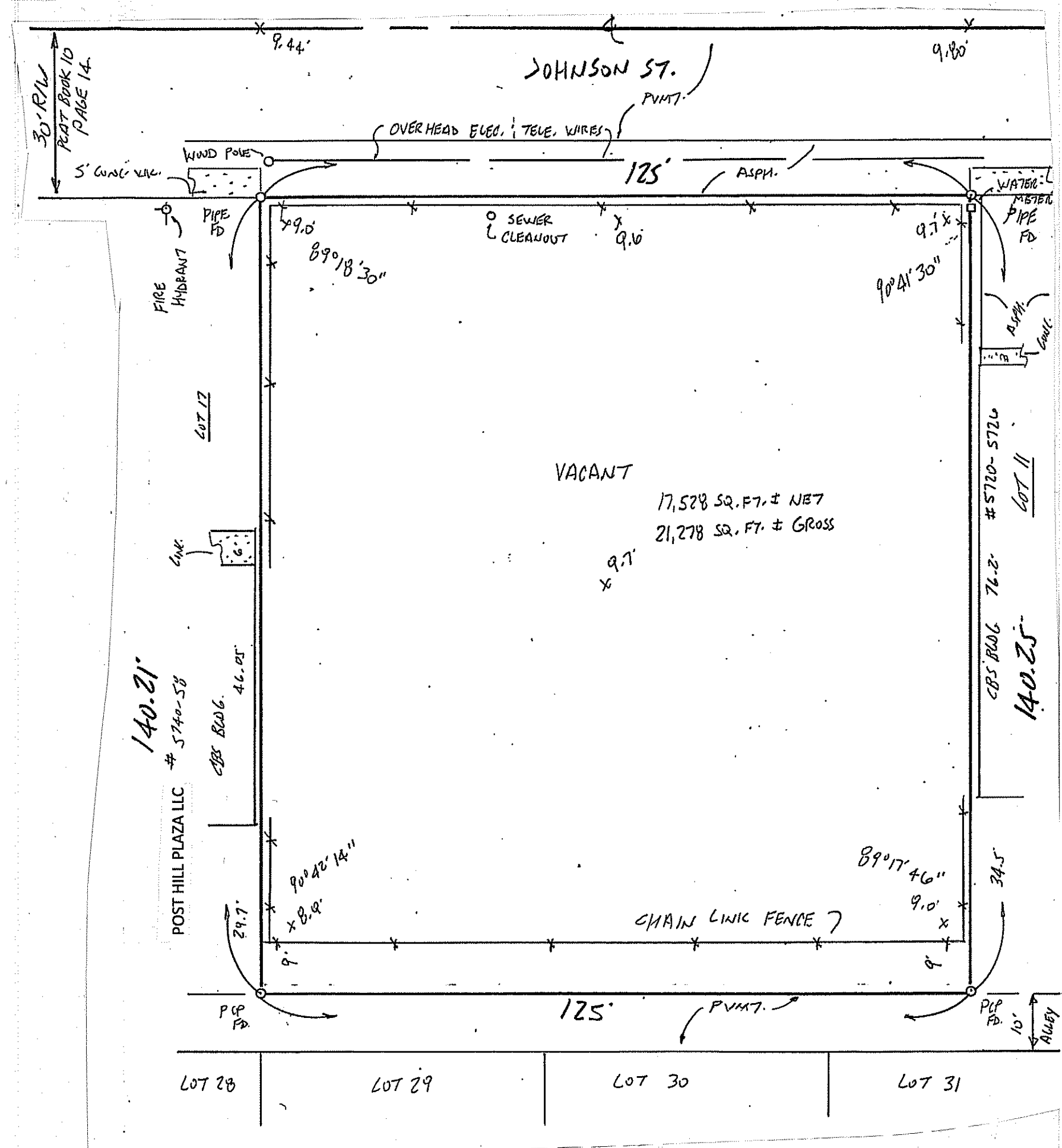
EXCEPTIONS
Schedule if the policy or policies to be issued will contain exceptions to the following matters unless the same are excluded by a provision of Company:
1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the Public Records of any jurisdiction, and whether or not recorded, which are not disclosed by the policy.
2. Any attaching subsequent to the Effective Date but prior to the date the proposed insured acquires full value of record or title, whether or not recorded, which are not disclosed by the policy.
3. If any, interests, interest, or claims of parties in possession of the land not shown by the public records.
4. Any encroachment, encumbrance, violation, variation or other circumstance affecting the Title that would be disclosed by an accurate and complete long view of the land.
5. Any matters which take effect after the Effective Date, including improvements, repairs or renovations performed before, on, or after the Effective Date of Policy, not shown by the public records.
6. Any dispute as to the boundaries caused by a change in the location of any water body within or adjacent to the land covered by Policy, and any adverse claim in all or part of the land that is, as of the Date of Policy, or appears to be previously covered by Policy, and any adverse claim in all or part of the land that is, as of the Date of Policy, or appears to be previously covered by Policy.
7. Taxes or special assessments not shown as taxes in the public records or in the records of the local tax collecting authority, or of said local Policy.
8. Any minerals or mineral rights leased, granted or retained by current or prior owners.
9. Taxes and assessments for the year 2015 and subsequent years, which are not yet due and payable.
10. NOTES FOR STANDARD EXCEPTIONS: Standard Exceptions for parties in possession, for mechanics liens, and for taxes and special assessments are not applicable to this policy and shall be deleted upon receipt of an acceptable title insurance. Possession Affidavit establishing who is in possession of the lands, that there are no liens or encumbrances on the lands covered by the policy, and that the policy is not being issued for the lands covered by the policy, shall be submitted to the insurer. If the policy is not being issued for the lands covered by the policy, there are no unrecorded taxes or assessments that the insured is not aware of, and that the policy is not being issued for the lands covered by the policy, the policy shall be issued for the lands covered by the policy, and the policy shall be issued for the lands covered by the policy.
11. Standard Exceptions for recording of survey may be deleted upon receipt and review of a properly certified Survey of the land covered by the policy. The Survey of the land covered by the policy shall be submitted to the insurer. The Florida Minimum Technical Standards for all land survey dated no more than 60 days prior to closing of escrow may not be acceptable to the Company. Any Survey issued hereunder may be subject to a Special Survey Order for matters disclosed by said survey or book.
12. Note: All of the recording information contained herein for the Public Records of Broward County, Florida, unless otherwise indicated, may be acceptable to the Company. (Public Record Number is a reference to the Official Record Books of said county, unless indicated as recorded).
13. Rescissions, dedications, covenants, conditions, restrictions and other matters shown on the plat of CORRECTIONED RECORDS, and on the plat of CORRECTED RECORDS, as recorded in the Public Book 100, Page(s) 14, but having any adverse effect on the title of the insured, shall be deleted upon receipt and review of a properly certified Survey of the land covered by the policy, and the policy shall be issued for the lands covered by the policy, and the policy shall be issued for the lands covered by the policy.
14. Any and all liens or mortgages, whether or not recorded, which are not disclosed by the policy, shall be deleted upon receipt and review of a properly certified Survey of the land covered by the policy, and the policy shall be issued for the lands covered by the policy, and the policy shall be issued for the lands covered by the policy.
15. Terms and conditions of any existing unrecorded leases, and all rights of lessors and of parties claiming through the lessor(s) under the lease(s).
16. Any lien as provided for by Chapter 106, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer, gas or system supplying the lands described herein.
17. Terms and provisions of all agreements and franchise(s) pertaining to the cost, installation, operation and maintenance of water, sewer, sewerage and electrical facilities.
18. NOTE: Taxes for the year 2014 have been assessed in the gross amount of \$4,343.20, under Folio No: 11-61417-10, and, and are due.

JOSEPH L. MARTIN
P.S.M. # 4368
STATE OF FLORIDA

PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE MUST BE
VERIFIED ON ANY ELECTRONIC COPIES.

0' 10' 30' 50'

GRAPHIC SCALE 1" = 20'

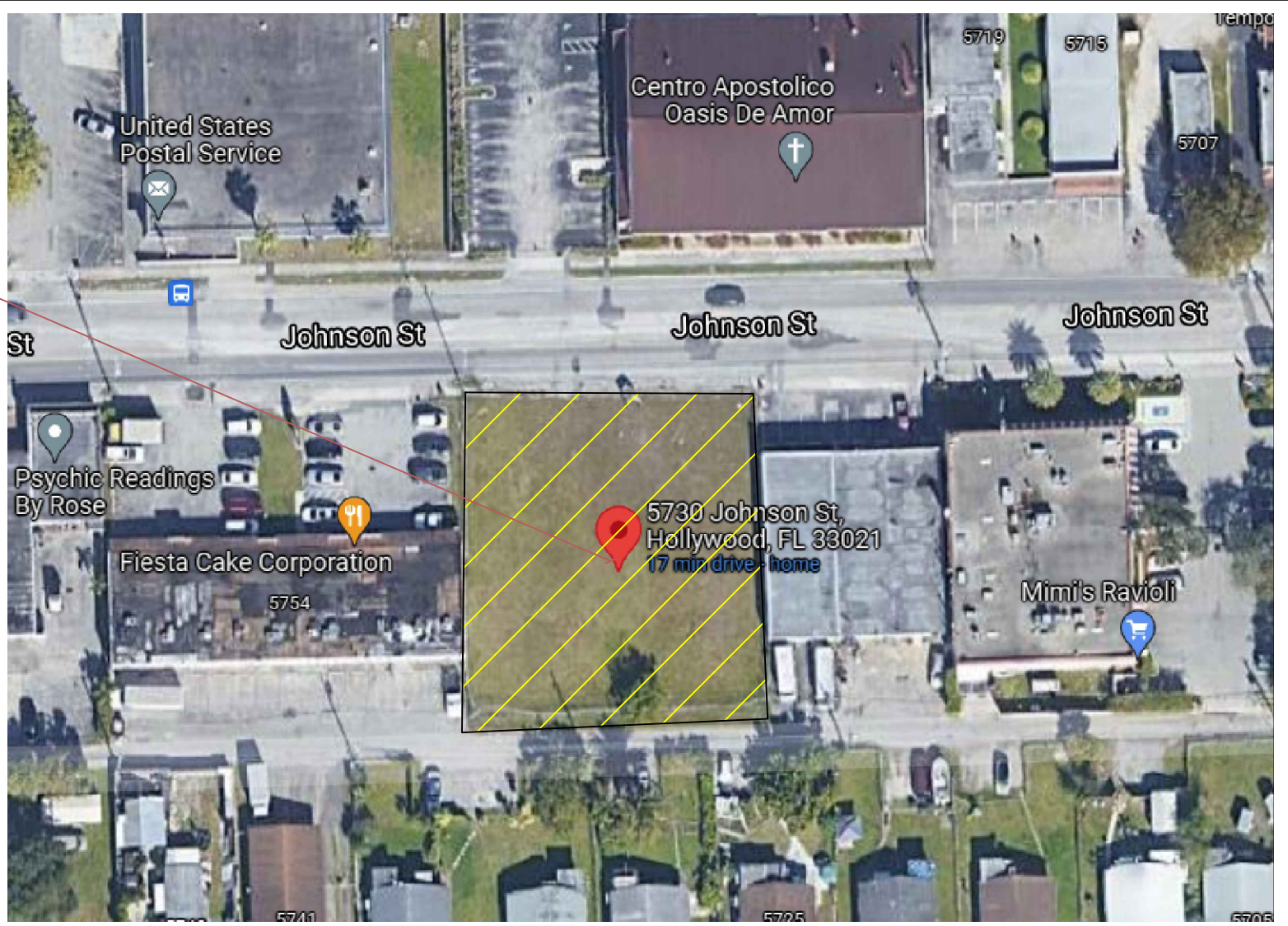


CHABAD AT THE CIVIC CENTER LLC

DRAWING NUMBER

C-0	COVER SHEET SURVEY		
<u>LANDSCAPING:</u>		<u>STRUCTURAL ENGINEERING:</u>	
LP-1	LANDSCAPE PLAN	S-1	FOUNDATION PLAN
LP-2	GENERAL LANDSCAPE PLAN	S-2	FLOOR PLANS
LI-1	IRRIGATION PLAN	S-3	ROOF PLANS
LI-2	IRRIGATION DETAILS	S-4	SECTIONS
		S-5	GENERAL NOTES
<u>CIVIL:</u>			
C-1	DRAINAGE PLAN	<u>MECHANICAL ENGINEERING:</u>	
C-2	DRAINAGE CONSTRUCTION DETAILS	M-1	MECHANICAL 1ST & 2ND FLOOR PLAN
C-3	DRAINAGE CONSTRUCTION DETAILS	M-2	SCHEDULES, NOTES & DETAILS
C-4	PAVING AND GRADING PLAN	M-3	MECHANICAL ROOF PLAN
C-5	PAVING AND GRADING DETAILS		
C-6	EROSION AND SEDIMENT CONTROL PLAN	<u>ELECTRICAL ENGINEERING:</u>	
<u>ARCHITECTURAL:</u>		E-1	1ST & 2ND FLOOR POWER PLANS
SP-1	SITE PLAN	E-2	1ST & 2ND FLOOR LIGHTING PLAN
A-1	FIRST FLOOR PLAN	E-3	ELECTRICAL ROOF PLAN, SCHEDULES
A-2	SECOND FLOOR PLAN	E-4	ELECTRICAL SITE PLAN
A-3	SOUTH AND NORTH ELEVATIONS	E-5	SCHEDULES, NOTES & DETAILS
A-4	EAST AND WEST ELEVATIONS		
		<u>PLUMBING ENGINEERING:</u>	
LS-1	FIRST FLOOR LIFE SAFETY PLAN	P-1	1ST & 2ND FLOOR SANITARY PLAN
LS-2	SECOND FLOOR LIFE SAFETY PLAN	P-2	1ST & 2ND FLOOR WATER PLANS
		P-3	SCHEDULES, NOTES AND DETAILS
		P-4	WATER & SANITARY ISOMETRICS
		P-5	PLUMBING ROOF PLAN
<hr/>			
DRAWING INDEX			
NTS			

PROJECT
LOCATION



AERIAL III (B)EW
NTS

PROPOSED TWO STORY MIXED USE BUILDING

5730 JOHNSON STREET HOLLYWOOD,FL-33021

- PERMITS:** CONTRACTOR SHALL CONTAIN IN THEIR BID AS WELL AS SECURE ALL NECESSARY BUILDING PERMITS, NOT LIMITED, ROOFING, PLUMBING, ELECTRICAL, MECHANICAL, OCCUPANCY AND OTHER PERMITS, AT HIS EXPENSE, SO THAT THE OWNER CAN OBTAIN HIS / HER CERTIFICATE OF OCCUPANCY.
- QUALIFICATION OF CONTRACTOR:** THE GENERAL CONTRACTOR AND ALL SUB - CONTRACTORS SHALL BE LICENSED BY THE STATE OF FLORIDA, AS WELL AS THE COUNTY AND BE INSURED TO MEET THE REQUIREMENTS OF BROWARD COUNTY.
- OWNER SHALL HAVE THE RIGHT OF APPROVAL OR REJECTION OF ALL SUBCONTRACTORS PRIOR TO SIGNING THE CONTRACT. GENERAL CONTRACTOR SHALL SUBMIT A LIST OF ALL PROPOSED SUBCONTRACTORS AND SUPPLIERS TO THE OWNER FOR THIS PURPOSE.
- EXISTING CONDITIONS:** CONTRACTOR BY AND THROUGH SUBMISSION OF HIS BID, AGREES THAT HE SHALL BE HELD RESPONSIBLE FOR HAVING EXAMINED THE SITE, THE PROPOSED PLANS, THE LOCATION OF ALL PROPOSED WORK AND FOR HAVING SATISFIED HIMSELF FROM HIS OWN PERSONAL KNOWLEDGE AND EXPERIENCE OR PROFESSIONAL ADVICE AS TO THE CHARACTER AND LOCATION OF THE SITE, THE NATURE OF EXISTING CONDITIONS, THE LOCATION OF EXISTING UTILITIES AND ANY OTHER CONDITIONS SURROUNDING AND AFFECTING THE WORK, ANY OBSTRUCTIONS, AND ALL OTHER PHYSICAL CHARACTERISTICS OF THE SITE, IN ORDER THAT HE MAY INCLUDE IN HIS PRICE ALL COSTS PERTAINING TO THE WORK AND THEREBY PROVIDE FOR THE SATISFACTORY COMPLETION OF ANY OBJECTS OR OBSTRUCTION WHICH MAY BE ENCOUNTERED IN DOING THE PROPOSED WORK.
- ALL MEASUREMENTS AND DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD, THE DIMENSIONS SHOWN ARE AS ACCURATE AS THE BASE BUILDING DOCUMENTS PERMIT. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE DRAWINGS - USE DIMENSIONS ONLY. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL. IF DIMENSIONS ARE NOT DESIGNATED ON THE PLANS, AT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THEM WITH THE ARCHITECT.
- COMPLY AT ALL TIMES WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, LIFE AND SAFETY CODE (N.F.P.A. 101), AND ALL LOCAL CODES AND ORDINANCES.
- SHOP DRAWINGS:** THE CONTRACTOR SHALL SUBMIT ONE COPY ON REPRODUCIBLE SEPIA AND FOUR (4) HARD COPIES OF ALL REQUIRED SHOP DRAWINGS CALLED FOR ON THE DRAWINGS OR REQUIRED BY BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED SO AS TO CAUSE NO TIME DELAY IN THE CONSTRUCTION SEQUENCE.
- PROTECTION:** THE CONTRACTOR SHALL PROTECT ADJACENT PARTS OF EXISTING BUILDINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION, AND BE LIABLE FOR SAME.
- WORKMANSHIP:** ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE NEW AND ALL WORKMANSHIP SHALL BE FIRST CLASS FOLLOWING THE MANUFACTURER'S SPECIFICATIONS ALONG WITH THE BEST TRADE PRACTICES AND STANDARDS.
- ALL WORK TO BE GUARANTEED AGAINST POOR WORKMANSHIP AND DEFECTS.
- THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT (UNLESS OTHERWISE NOTED) REQUIRED FOR THE COMPLETION OF THE JOB IN ACCORDANCE WITH THESE DRAWINGS.
- CLEAN UP ALL RUBBISH, REFUSE, SCRAP MATERIALS AND DEBRIS CAUSED BY THIS PROJECT AT THE END OF EACH DAY AND INSURE THAT THE SITE OF WORK SHALL PRESENT A NEAT ORDERLY AND WORKMANLIKE APPEARANCE.
- GENERAL CONTRACTOR SHALL PRESENT THE JOB TO THE OWNER FOR ACCEPTANCE, CLEANED AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEEP BROOM CLEAN, CARPETS VACUUMED, FIXTURES WASHED AND ALL LABELS REMOVED.
- STORE MATERIALS IN A SAFE AND APPROVED LOCATION. COMPLY WITH ALL REGULATIONS GOVERNING THE NEIGHBORHOOD AS TO MINIMIZE INTERRUPTIONS AND/ OR INTERFERENCE WITH ANY OF THE SURROUNDING OPERATIONS.
- ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.

GENERAL NOTES

NTS



PROJECT INFORMATION:

ADDRESS:
5730 JOHNSON STREET
HOLLYWOOD,FLORIDA

PROPERTY OWNER:
QUDS INVESTMENTS LLC
6720 JOHNSON ST
HOLLYWOOD FL 33024

FOLIO NUMBER:
5141 13 02 0190

LEGAL DESCRIPTION:
HOLLYWOOD BEACH GARDENS CORR PLAT 10-14 B LOTS 12 TO 16 BLK 3

BUILDING CODES:
FLORIDA BUILDING CODE, 2020 7TH EDITION
NFPA 101 LIFE SAFETY CODE, 2021
NFPA 1 FLORIDA FIRE PREVENTION CODE, 2020 7TH EDITION

PRINCIPLE BUILDING SETBACKS AND SPACING

1)- **BUILDING HEIGHT:** ALLOWED 5 STORIES 60'-0" HEIGHT PROVIDED 2 STORIES 26'-6" T.O. ROOF (30'-0" HEIGHT T.O. TOP OF THE PARAPET)

2)- **LOT FRONTAGE** 125 FEET

3)- **SETBACKS** REQUIRED PROVIDED

(FRONT) (NORTH) 0'-0" 76'-0"
(REAR) (SOUTH) 25'-0" 25'-0"
(SIDE) (EAST) 0'-0" 7'-0"
(SIDE) (WEST) 0'-0" 7'-0"

4)- **BUILDING AREAS:**
FIRST FLOOR (4250 SQ FT)
SECOND FLOOR (4250 SQ FT)
BUILDING (A/C SPACE) (4250+4250 =8,500 SQ FT)

5)- **PARKING CALCULATION:**
COMMERCIAL USE 1 SPACE PER 220 SF (17th 540+540+770)/220 =11.9
(SHOPPING CENTER) = (800/220)
RESIDENTIAL USE 1.5 SPACE PER UNIT 4 APTS * 1.5 = 6
(APARTMENTS)

(PER C-3 ZONING DISTRICT ARTICLE 7)
TOTAL REQUIRED = (6+11.9) = 17.9 SPACES
TOTAL PROVIDED = 18 SPACES (INCLUDING 1 HANDICAP)

1ST FLOOR (COMMERCIAL USE): GROSS AREA 2ND FLOOR APT SIZES:
UNIT -1 770 SQ FT APT#201 920 SQ FT
UNIT -2 540 SQ FT APT#202 835 SQ FT
UNIT -3 540 SQ FT APT#203 700 SQ FT
UNIT -4 770 SQ FT APT#204 760 SQ FT

DENSITY CALCULATION:
ALLOWED: (APTS) = 18 UNITS PER ACRE.

TOTAL LAND =0.4023 ACRE
TOTAL ALLOWABLE UNITS= (18* 0.4023)=7.24 UNITS
PROVIDED = 4 UNITS

PROJECT INFORMATION

NTS

Call 48 hours
before you dig
It's the Law!
Sunshine State One Call of Florida, Inc.

MAQSOOD M. NASIR
LICENCE NUMBER
63916

PROFESSIONAL ENGINEER
SEAL, SIGN AND DATE:

PERMITTING MEETINGS		
NO.	DATE	DESCRIPTION
1	June 20, 2023	TAC MEETING-1
REVISIONS		
△		
△		
△		
△		

GENERAL CONTRACTOR NOTES
THIS SHEET OF DRAWING AND SPECIFICATIONS IS A PART OF THE CONTRACT DOCUMENT, PLEASE VERIFY ALL THE DETAILS WRITTEN ON EACH SHEET IN ORDER TO COMPLETE THE SCOPE OF WORK YOU ARE HIRED TO DO, FAILURE BY THE GENERAL CONTRACTOR TO FOLLOW THE DRAWING PLANS AND ITS SPECIFICATIONS SHALL NOT BE CAUSE FOR ADDITIONAL WORK BY THE ENGINEER.COORDINATION OF THE WORK, AND OF THE SUBCONTRACTORS IS THE RESPONSIBILITYOF THE GENERAL CONTRACTOR.

DESIGN-MAX ENGINEERING
CONSULTANT INC. CA-32192
4791 SW 82ND AVE,#43
DAW (B)E,FLORIDA-33328

QUADS PLAZA
PROP. 2 STORY MIX-USE BUILD.
AT
5730 JOHNSON STREET
HOLLYWOOD,FLORIDA

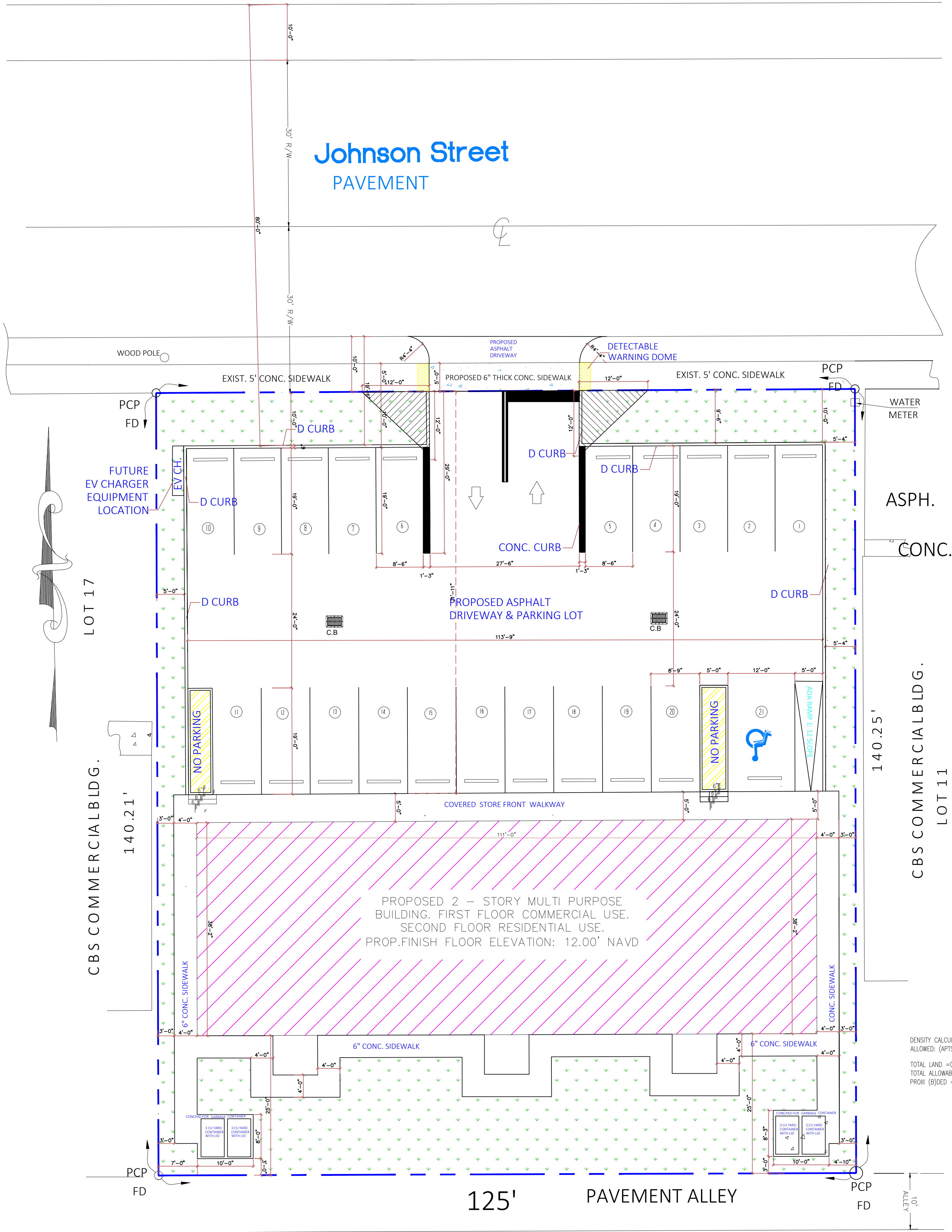
DATE: 09/10/2022
DRAWN BY DM
PROJECT NO. 2022-00129
REVISED BY MN
SHEET NO. **C-0**

PERMITTING MEETINGS		
NO.	DATE	DESCRIPTION
1	June 20, 2023	TAC MEETING-1
REVISIONS		
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GENERAL CONTRACTOR NOTES
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DESIGN-MAX ENGINEERING
CONSULTANT INC. CA-32192
4791 SW 82ND AVE #43
DAW (B) FLORIDA-33328

QUADS PLAZA
PROP. 2 STORY MULTIFUSE BUILD.
AT
5730 JOHNSON STREET
HOLLYWOOD, FLORIDA



- PROPERTY INFORMATION:
- ZONING: C-3 MEDIUM INTENSITY COMMERCIAL DISTRICT.
 - EXISTING : VACANT LAND : 17,528 SQUARE FEET
FLOOD ZONE : X
AH ELEVATION : 10' NGVD
 - PROPOSED USE: FIRST FLOOR -BUSINESS - RETAIL/TAKEOUT
RESTAURANT/OFFICE (B-OCCUPANCY)
SECOND FLOOR-(RESIDENTIAL APARTMENTS)
 - PROPERTY AREA: 17,528 sq.ft. (0.4023 ACRE)
PROPOSED BUILDING AREA: FIRST FLOOR COMMERCIAL (4250 SQ FT)
SECOND FLOOR RESIDENTIAL (4250 SQ FT)
TOTAL OCCUPIED AREA (4250+4250 =8500 SQ FT)
 - FLOOR AREA RATIO: REQUIRED PROVIDED
1 ST FLOOR COMMERCIAL 50% BUILDING (4250 SQ FT) 50%
2ND FLOOR RESIDENTIAL 50% BUILDING (4250 SQ FT) 50%
 - IMPERVIOUS AREA: BUILDING 4250 SQ FT
DRIVEWAY & PARKING 6970 SQ FT
SIDEWALK& OTHERS PAD 2025 SQ FT
TOTAL IMPERIV (B)OUS AREA = 13,245 SQ FT (75.5% OF THE LOT AREA)
 - PERIII (B)OUS AREA = 4,283 SQ FT (24.4% OF THE LOT AREA)
 - CONSTRUCTION TYPE: TYPE III (B) SPRINKLER'D BUILDING

- PRINCIPLE BUILDING SETBACKS AND SPACING
- BUILDING HEIGHT: ALLOWED PROVIDED
5 STORIES 2 STORIES
60'-0" HEIGHT 26'-6" T.O. ROOF
(30'-0" HEIGHT T.O. TOP OF THE PARAPET)
 - LOT FRONTAGE 125 FEET
 - SETBACKS: REQUIRED PROVIDED
(FRONT) (NORTH) 0'-0" 76'-0"
(REAR) (SOUTH) 25'-0" 25'-0"
(SIDE) (EAST) 0'-0" 7'-0"
(SIDE) (WEST) 0'-0" 7'-0"
 - BUILDING AREAS: FIRST FLOOR (4250 SQ FT)
SECOND FLOOR (4250 SQ FT)
BUILDING (A/C SPACE) (4250+4250 =8,500 SQ FT)

- 5)- PARKING CALCULATION: REQUIRED
COMMERCIAL SPACE PER 220 SF 3294/220 =14.9
RESIDENTIAL SPACE PER 100 SF 4250/100 =42.5
TOTAL REQUIRED SPACES = 14.9 + 42.5 = 57.4
TOTAL PROVIDED SPACES = 57.4
TOTAL PROVIDED SPACES (INCLUDING 1 HANDICAP) = 57.4
- | 1ST FLOOR (COMMERCIAL USE): | GROSS AREA | 2ND FLOOR APT SIZES: |
|-----------------------------|------------|----------------------|
| UNIT -1 | 770 SQ FT | APT#201 920 SQ FT |
| UNIT -2 | 540 SQ FT | APT#202 835 SQ FT |
| UNIT -3 | 540 SQ FT | APT#203 700 SQ FT |
| UNIT -4 | 770 SQ FT | APT#204 760 SQ FT |

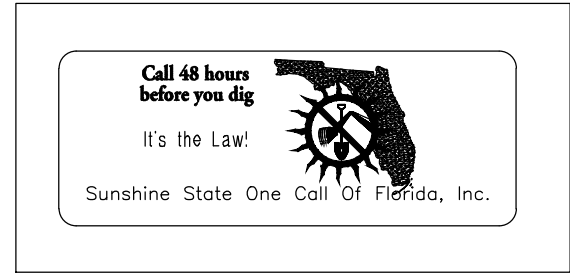
DENSITY CALCULATION:
ALLOWED: (APIS) = 18 UNITS PER ACRE.
TOTAL LAND =0.4023 ACRE.
TOTAL ALLOWABLE UNITS= (18* 0.4023)=7.24 UNITS
PROIII (B)DED = 4 UNITS

VEHICULAR USE AREA (VUA) CALCULATION:
REQUIREMENTS:
LOTS WITH A WIDTH OF MORE THAN 50 FT.: 25% OF THE TOTAL SQUARE FOOTAGE OF THE PAVED VEHICULAR USE AREA SHALL BE LANDSCAPED.
PROPOSED PARKING LOT WITH DRIVEWAY/PAVED VEHICULAR USE AREA = 6,805 SQ FT
LANDSCAPE AREA REQUIRED 25% * 6,805 = 1,701 SQ FT.

PROII (B)DED FRONT GREEN/LANDSCAPE AREA =1,975 SQ FT.
OVERALL GREEN/ LANDSCAPE AREA PROII (B)DED = 4,173 SQ FT.

- NOTES:
- ALL THE SIGNS SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING AND LAND DEVELOPMENT REGULATIONS (ZLDR).
 - THE PARKING LOT AND ALL THE EMERGENCY EXIT PATHS SHALL HAVE MINIMUM 1 FOOT CANDLE ILLUMINATION.
 - ASPHALT DRIVEWAY AND PARKING LOT SHALL BE A MINIMUM 6-INCH UNEROCK BASE, TACK COAT, AND 1-INCH LAYER OF S-III ASPHALT. THE DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAW CUT FOR A CLEAN STRAIGHT EDGE.
 - ALL ROADS AND ALLEYS ADJACENT TO THE PROPERTY ARE TO BE MILLED AND RESURFACED IF DAMAGED DURING CONSTRUCTION.
 - ALL UNDERGROUND FIRE MAIN WORK MUST BE COMPLETED BY FIRE PROTECTION CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE PER FS 633.102.
 - WATER SUPPLY AND ANY NEW HYDRANTS SHALL BE IN PLACE PRIOR TO ACCUMULATION OF COMBUSTIBLE MATERIALS PER NFPA 1 (2018 ED.) SECTION 16.4.3.1.1.

PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"



MAQSOOD M. NASIR
LICENCE NUMBER
63916

PROFESSIONAL ENGINEER
SEAL, SIGN AND DATE:

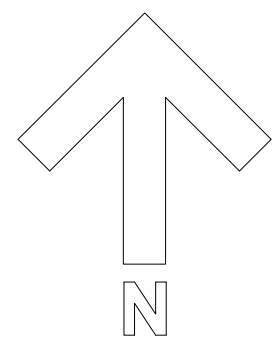
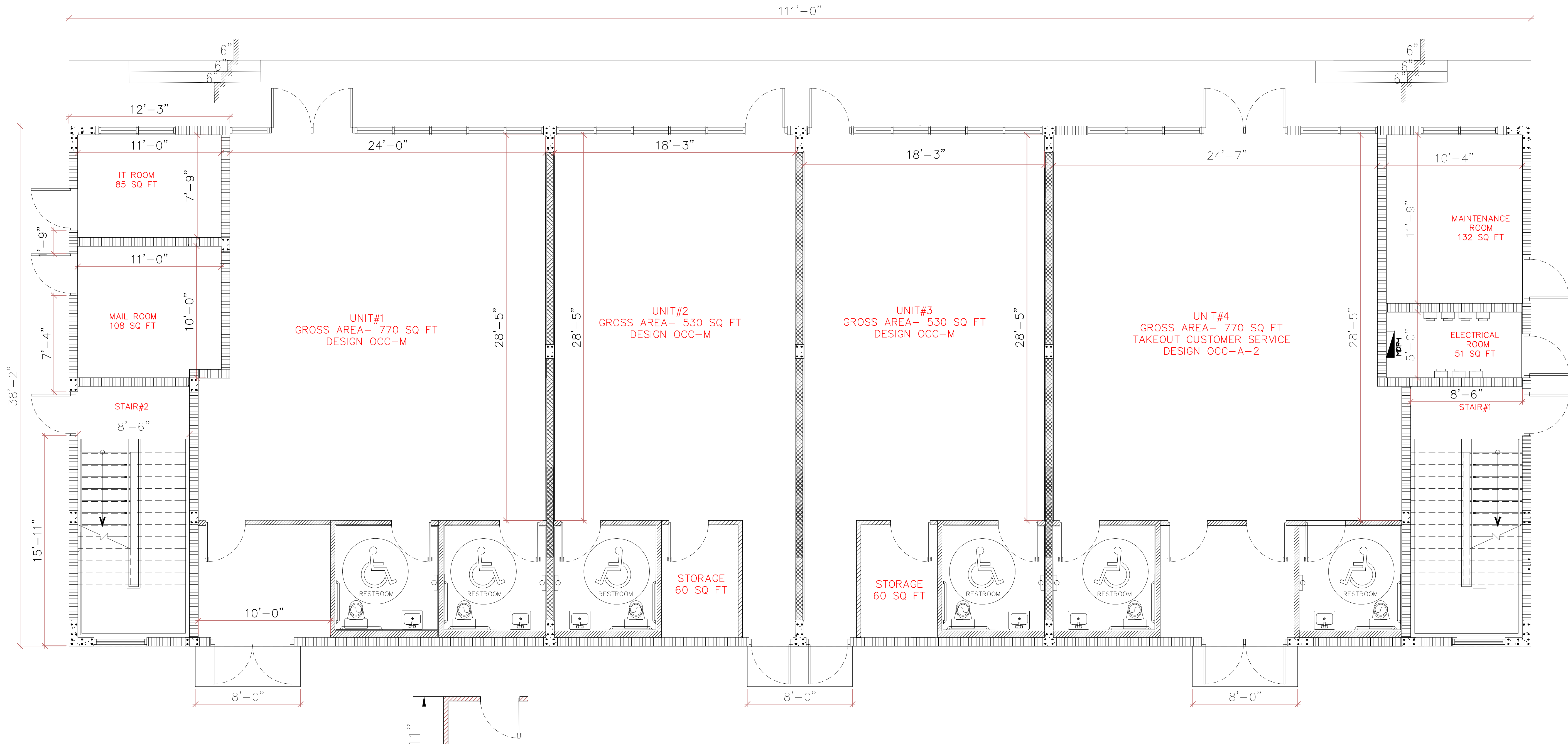
PERMITTING METINGS		
NO.	DATE	DESCRIPTION
1	June 20, 2023	TAG MEETING-1
REVISION		
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GENERAL CONTRACTOR NOTES
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DESIGN-MAX ENGINEERING
CONSULTANT INC. CA-32192
4791 SW 82ND AVE,#43
DAVIE,FLORIDA-33328

QUADS PLAZA
PROP. 2 STORY MULTI-USE BUILD.
AT
5730 JOHNSON STREET
HOLLYWOOD,FLORIDA

DATE: 09/10/2022
DRAWN BY DM
PROJECT NO. 2022-00129
REVISED BY MN
SHEET NO. A-1



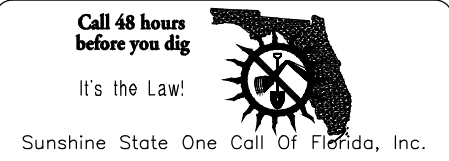
PROPOSED FLOOR PLAN
SCALE: 1/4"= 1'-0"

FBC 2020 - 7TH EDITION
OCCUPANCY -M
TYPE OF CONSTRUCTION = VI

- 8" BLOCK WALL
- 4" PARTITION WALL
- 6" FIRE PARTITION WALL

- BUILDING INSULATION:
- 1. EXTERIOR WALL ASSEMBLY @ CMU WALL: R = 5 (MIN)
 - 2. ROOF ASSEMBLY (CONCRETE SLAB) R = 30 (MIN)

1ST FLOOR (COMMERCIAL USE):	GROSS AREA
UNIT -1	770 SQ FT
UNIT -2	540 SQ FT
UNIT -3	540 SQ FT
UNIT -4	770 SQ FT



MAQSOOD M. NASIR
LICENCE NUMBER
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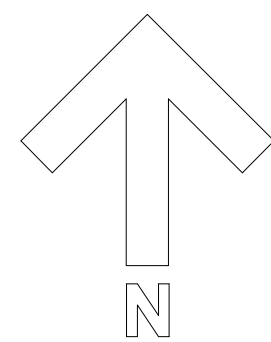
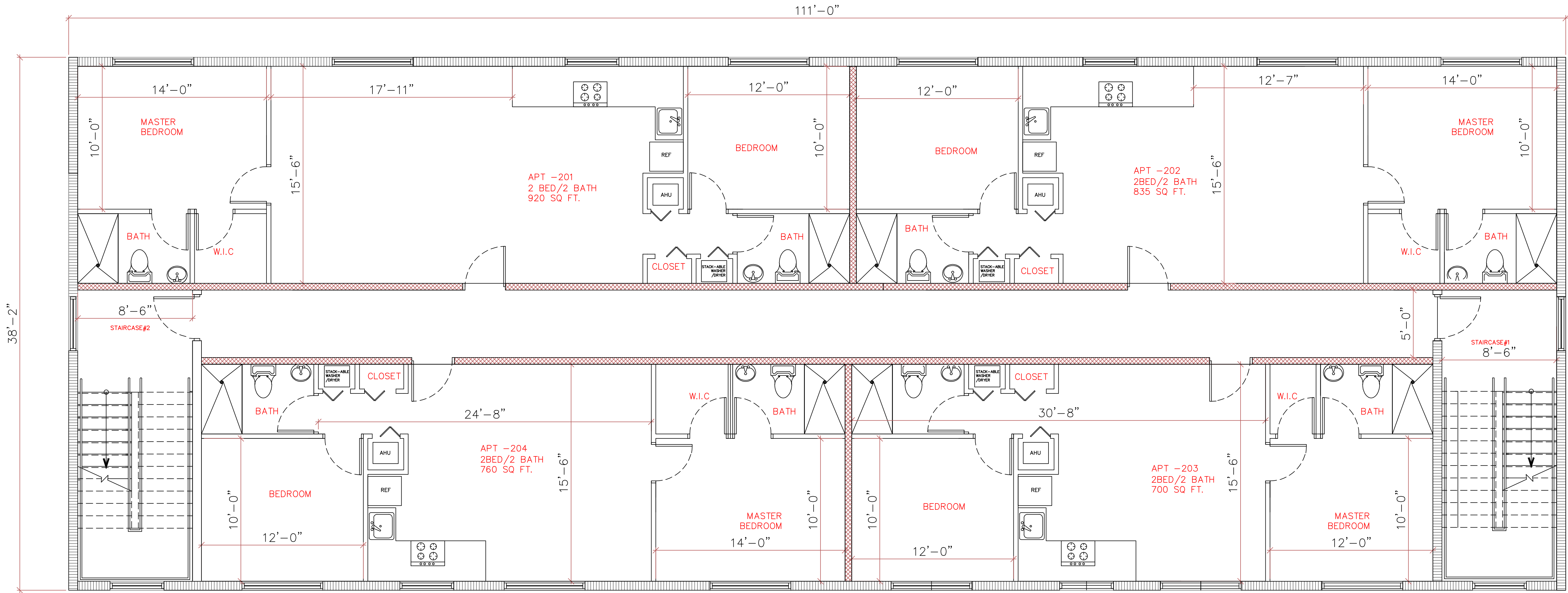
PERMITTING MEETINGS		
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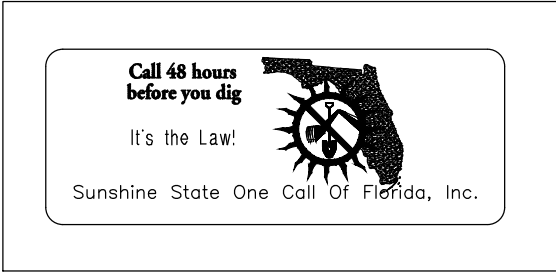
PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"= 1'-0"

FBC 2020 - 7TH EDITION
OCCUPANCY -R-3
TYPE OF CONSTRUCTION = VI

-  8" BLOCK WALL
-  4" PARTITION WALL
-  6" FIRE PARTITION WALL

2ND FLOOR APT SIZES:	
APT#201	920 SQ FT
APT#202	835 SQ FT
APT#203	700 SQ FT
APT#204	760 SQ FT



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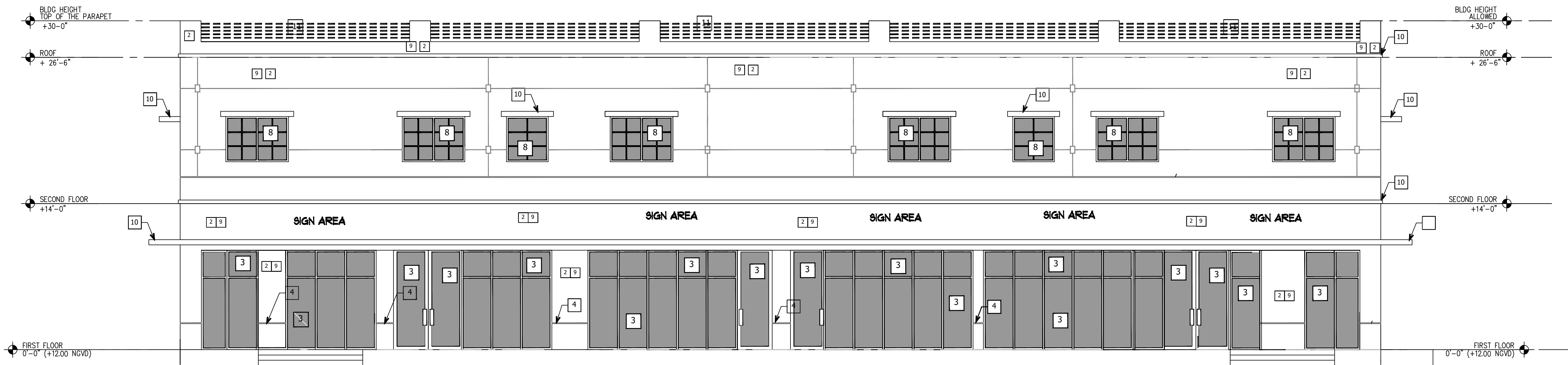
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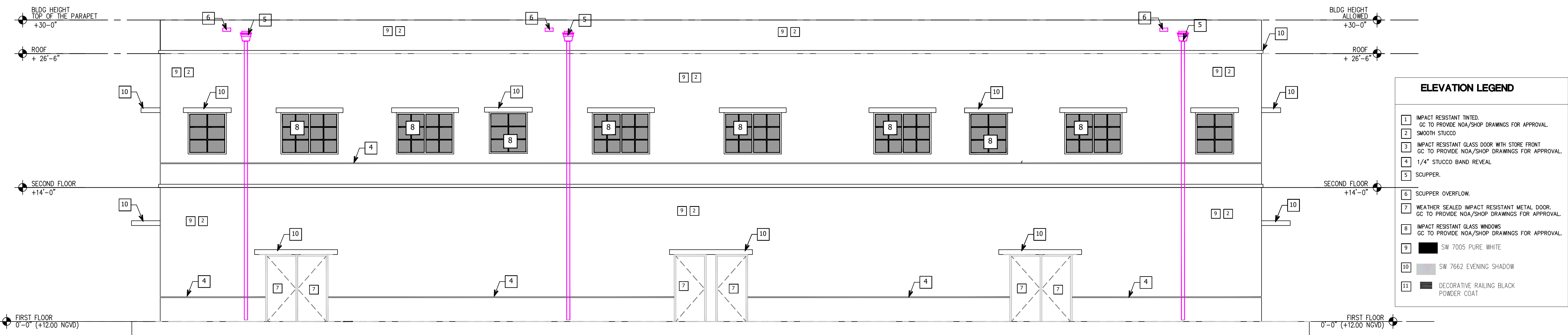
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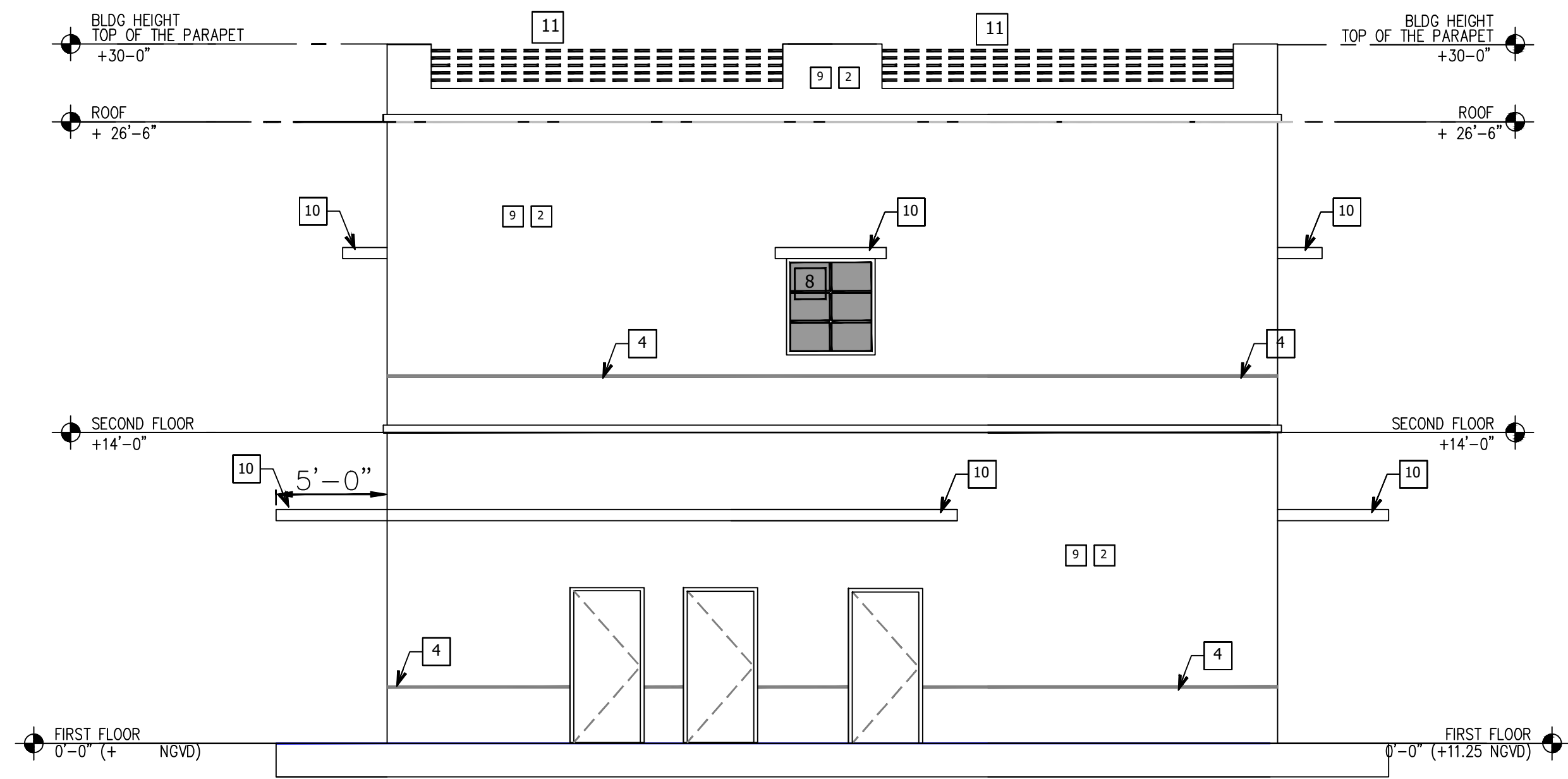


PROPOSED FRONT (SOUTH) ELEVATION



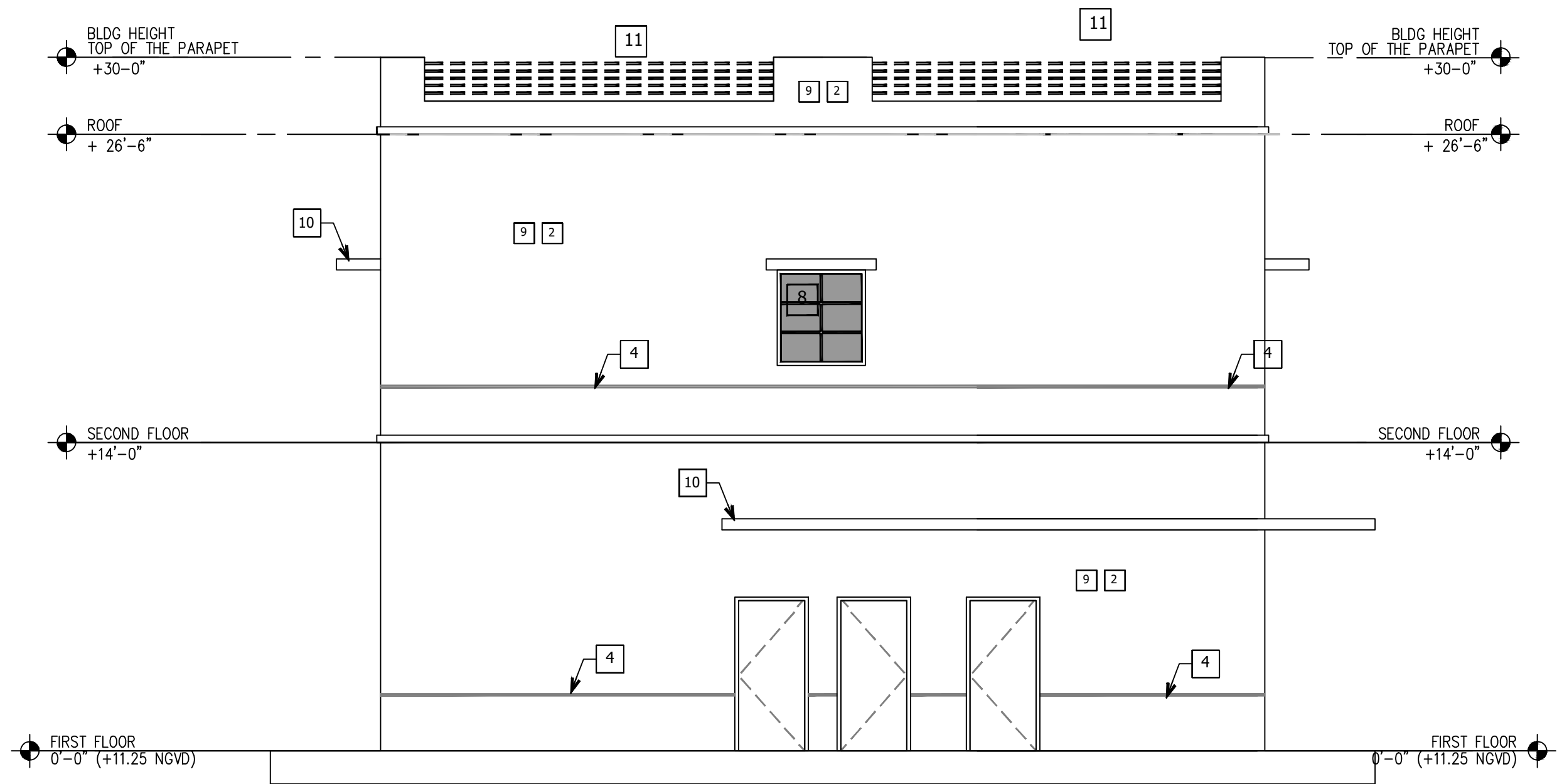
PROPOSED FRONT (NORTH) ELEVATION

SCALE: 3/16"= 1'-0"

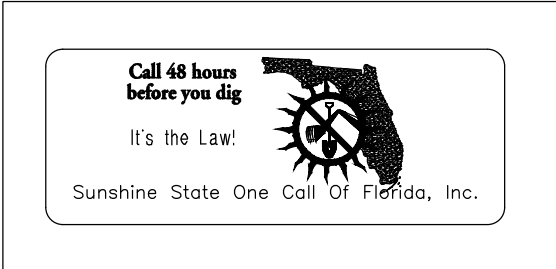


ELEVATION LEGEND	
1	IMPACT RESISTANT TINTED. GC TO PROVIDE NOA/SHOP DRAWINGS FOR APPROVAL.
2	SMOOTH STUCCO
3	IMPACT RESISTANT GLASS DOOR WITH STORE FRONT GC TO PROVIDE NOA/SHOP DRAWINGS FOR APPROVAL.
4	1/4" STUCCO BAND REVEAL
5	SCUPPER.
6	SCUPPER OVERFLOW.
7	WEATHER SEALED IMPACT RESISTANT METAL DOOR. GC TO PROVIDE NOA/SHOP DRAWINGS FOR APPROVAL.
8	IMPACT RESISTANT GLASS WINDOWS GC TO PROVIDE NOA/SHOP DRAWINGS FOR APPROVAL.
9	SW 7005 PURE WHITE
10	SW 7662 EVENING SHADOW
11	DECORATIVE RAILING BLACK POWDER COAT

PROPOSED SIDE (WEST) ELEVATION
SCALE: 3/16" = 1'-0"



PROPOSED SIDE (EAST) ELEVATION
SCALE: 3/16" = 1'-0"



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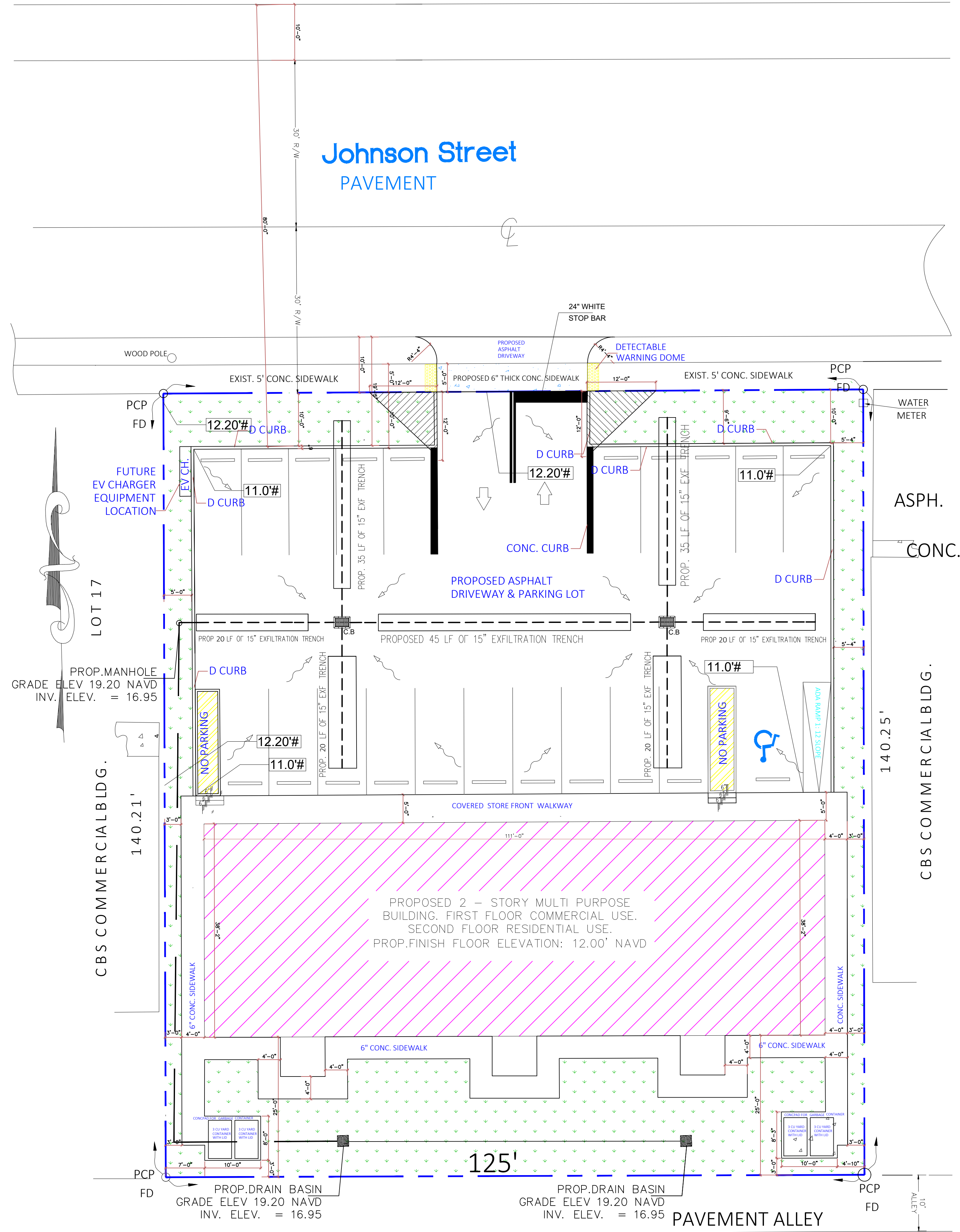
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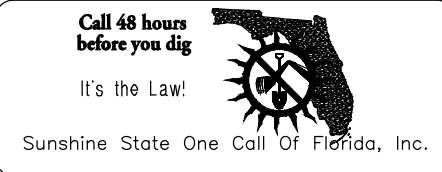


PROPERTY INFORMATION:

1. ZONING: C-3 MEDIUM INTENSITY COMMERCIAL DISTRICT.
2. EXISTING : VACANT LAND : 17,528 SQUARE FEET
FLOOD ZONE : X
AH ELEVATION : 10' NGVD
3. PROPOSED USE: FIRST FLOOR -BUSINESS - RETAIL/TAKEOUT
RESTAURANT/OFFICE (B-OCCUPANCY)
SECOND FLOOR-(RESIDENTIAL APARTMENTS)
4. PROPERTY AREA: 17,528 sq.ft. (0.4023 ACRE)
PROPOSED BUILDING AREA: FIRST FLOOR COMMERCIAL (4250 SQ FT)
SECOND FLOOR RESIDENTIAL (4250 SQ FT)
TOTAL OCCUPIED AREA (4250+4250 =8500 SQ FT)
5. FLOOR AREA RATIO
1ST FLOOR COMMERCIAL 50% BUILDING (4250 SQ FT) 50%
2ND FLOOR RESIDENTIAL 50% BUILDING (4250 SQ FT) 50%
6. IMPERVIOUS AREA
BUILDING 4250 SQ FT
DRIVEWAY & PARKING 6970 SQ FT
SIDEWALK& OTHERS PAD 2025 SQ FT
TOTAL IMPERII (B)OUS AREA = 13,245 SQ FT (75.5% OF THE LOT AREA)
7. PERIII (B)OUS AREA = 4,283 SQ FT (24.4% OF THE LOT AREA)
8. CONSTRUCTION TYPE: TYPE III (B) SPRINKLER'D BUILDING

PROPOSED DRAINAGE PLAN

SCALE: 3/32" = 1'-0"



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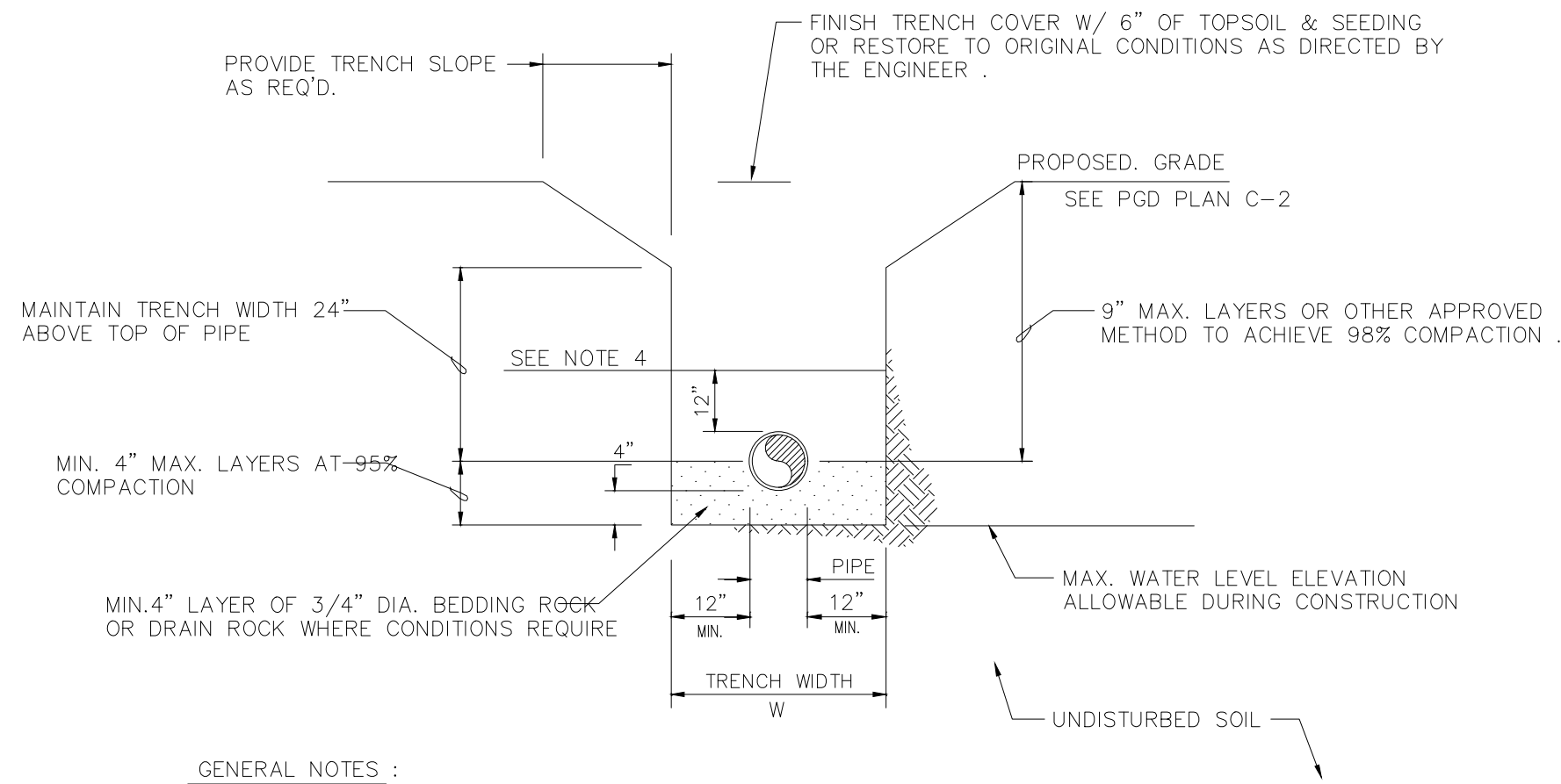
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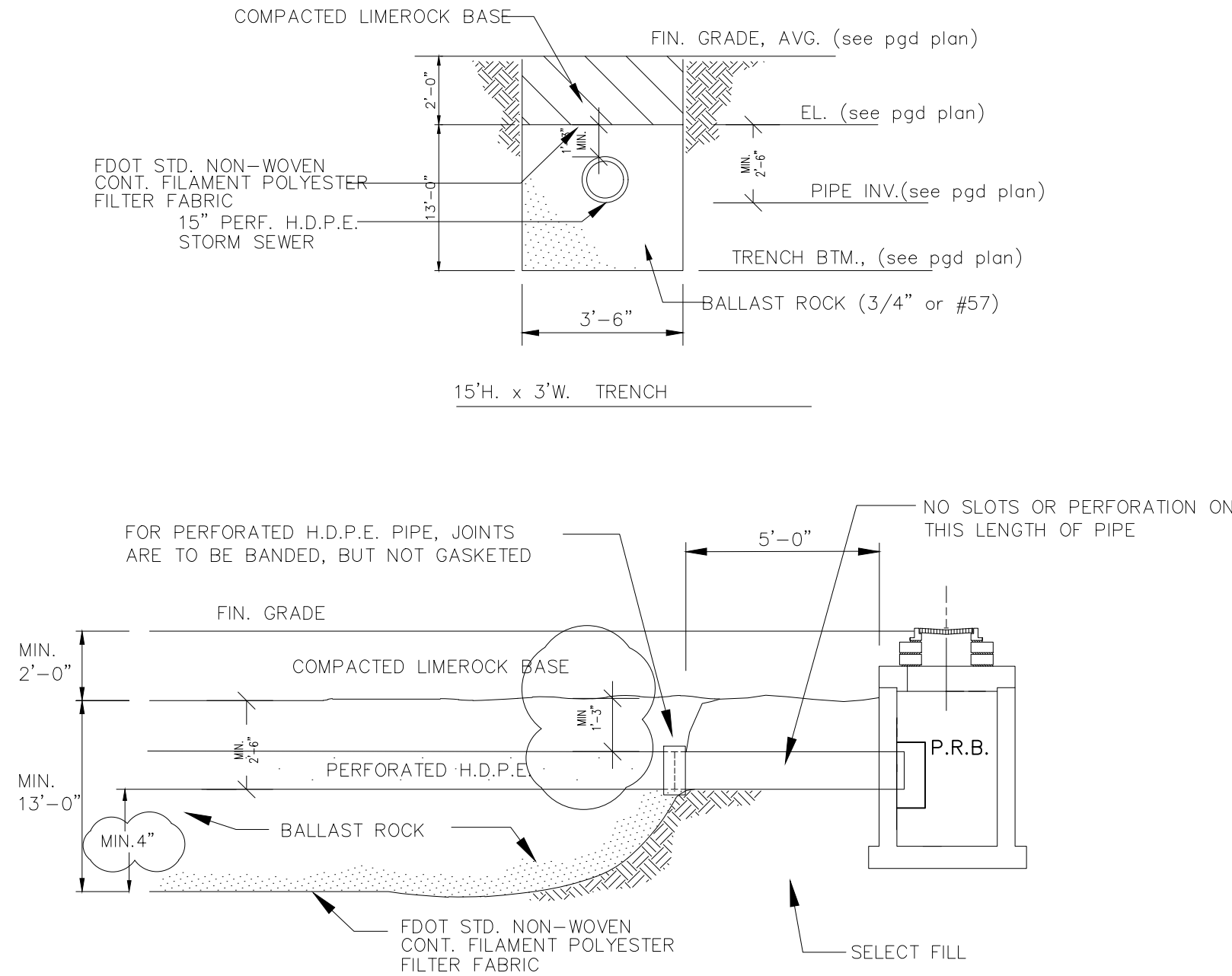
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GENERAL NOTES :

- WHERE SOIL CONDITIONS CAN NOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION .
- SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD .
- COMPACTION PERCENTAGES SHOWN REFER TO AASHTO T-180 .
- MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL (SEE DETAIL) .
- PVC PIPE TO HAVE ROCK BACKFILL TO CENTERLINE OF PIPE (SEE DETAIL) .



EXFILTRATION NOTES:

- PLASTIC FILTER FABRIC (AT EACH SIDE, TOP & BOT.) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR DIRECTED BY THE ENGINEER.
- AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. (BALLAST ROCK - 3/4" or #57)

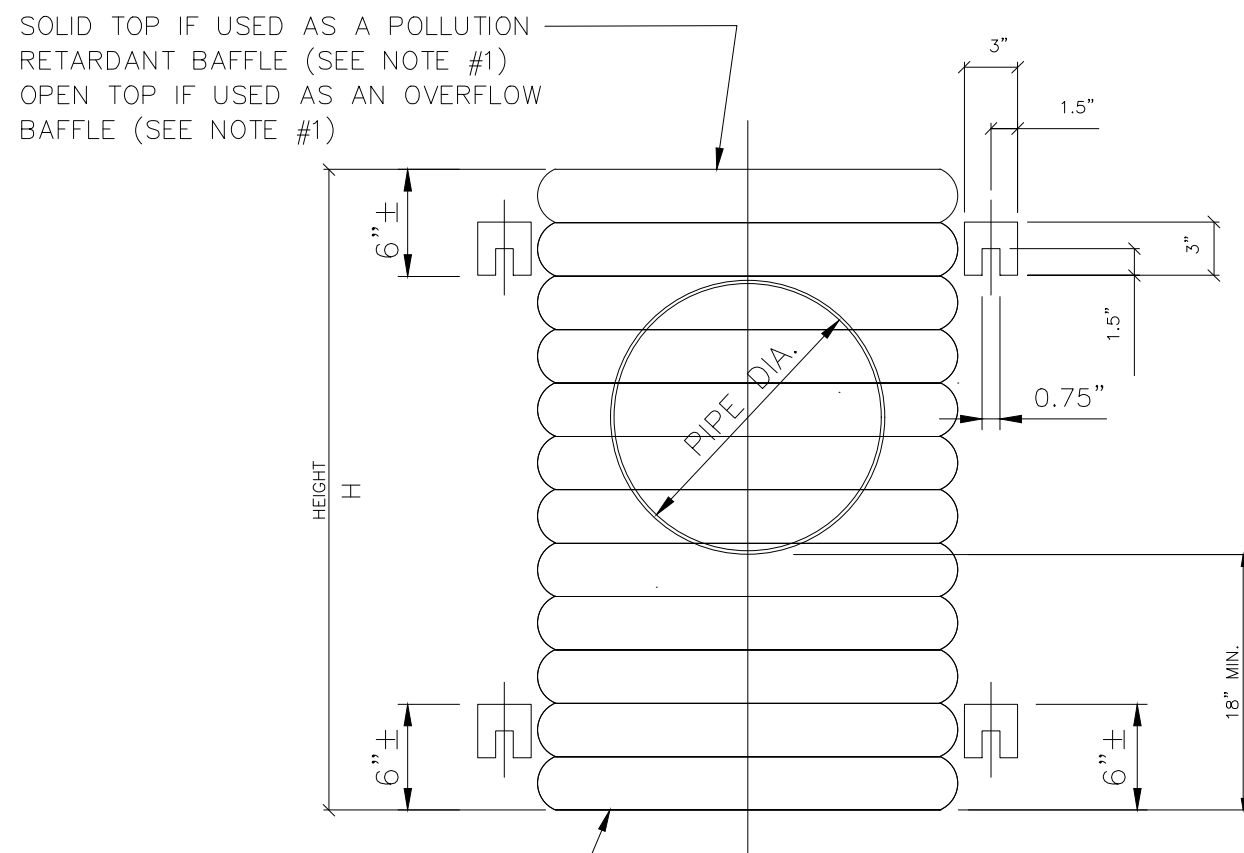
STANDARD DIMENSIONS		
PIPE DIA.	D (INCHES)	T (GAUGE)
10"	15"	16
15"	24"	16
18"	30"	16
24"	36"	16
30"	42"	14
36"	48"	14
42"	54"	14

NOTES:

- ALUMINUM SHEET OF SAME THICKNESS (GAGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING.
- BAFFLE SHALL BE AS MANUFACTURED BY SOUTHERN CULVERT OR ENGINEER'S APPROVED EQUAL.
- NEOPRENE GASKET (3/8"x 2") SHALL BE INSTALLED AT ALL BAFFLES.
- ANCHOR W/ 1/2" GALV. LAG-BOLT IN LEAD SHIELD (TYP.)
- GRATING SHALL BE OFFSET, IF STRUCTURE IS USED AS OVERFLOW

NOTE:

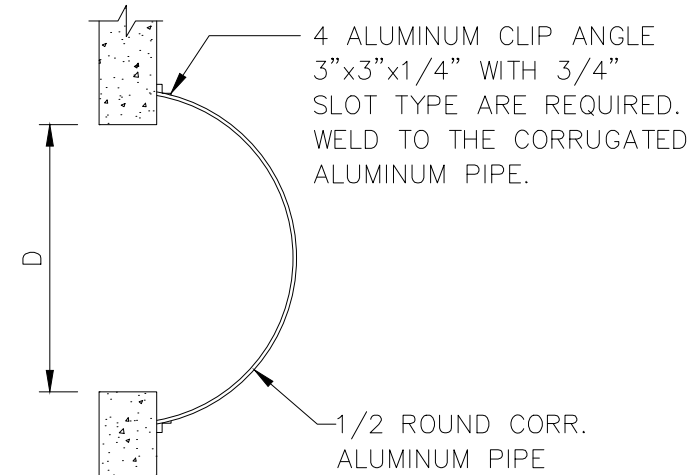
18"MIN. FROM PIPE INVERT TO BOTTOM OF BAFFLE., AND 24"MIN. FROM BOTTOM OF BAFFLE TO BOTTOM OF DRAINAGE STRUCTURE



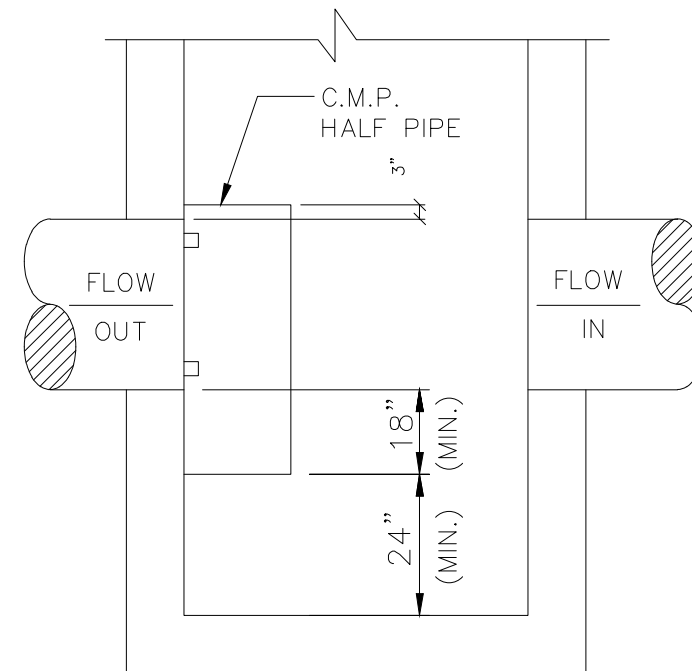
OPEN BOTTOM IF USED AS A POLLUTION RETARDANT BAFFLE

SOLID BOTTOM IF USED AS AN OVERFLOW BAFFLE (SEE NOTE #1)

FRONT VIEW

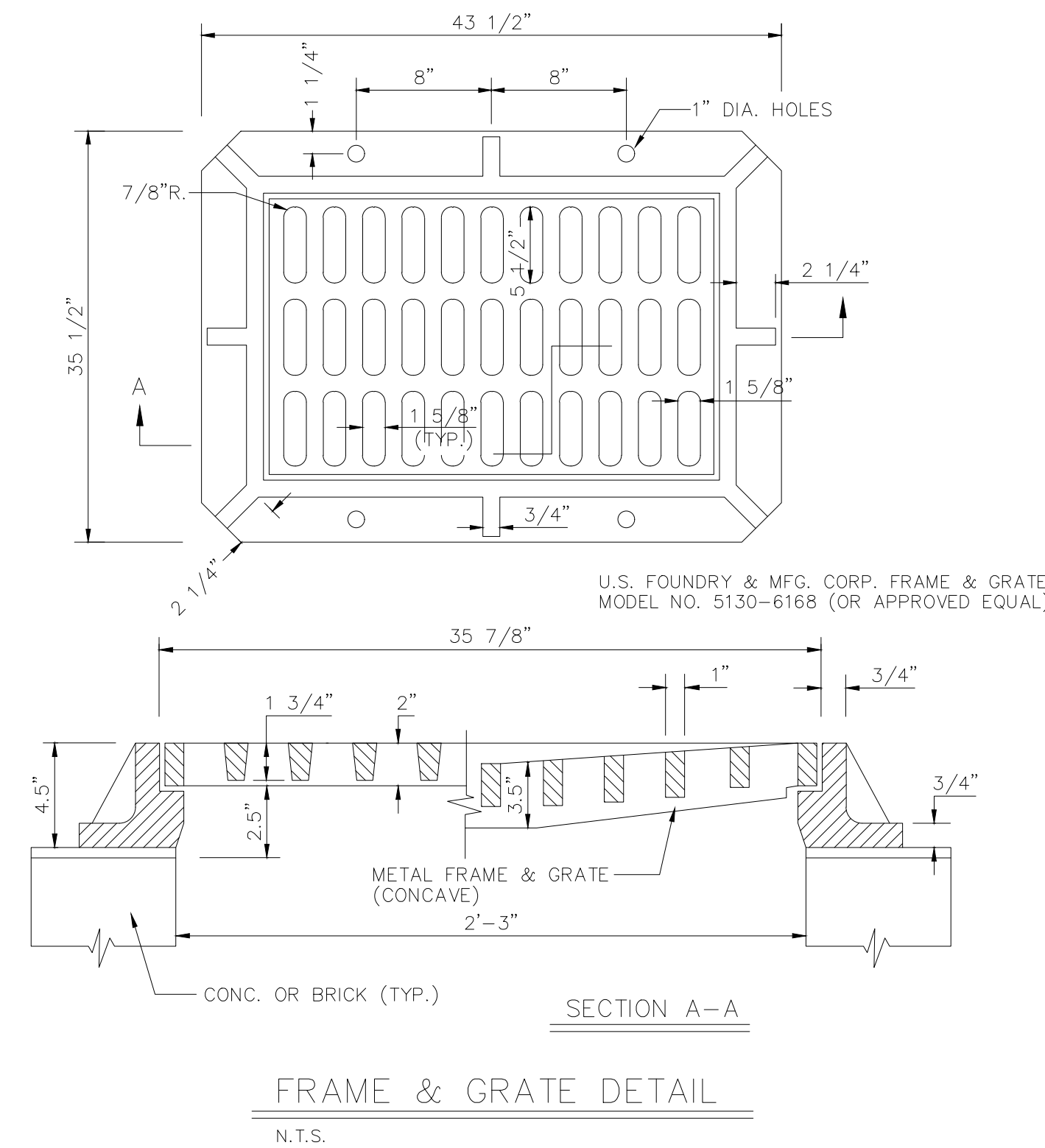


TOP VIEW

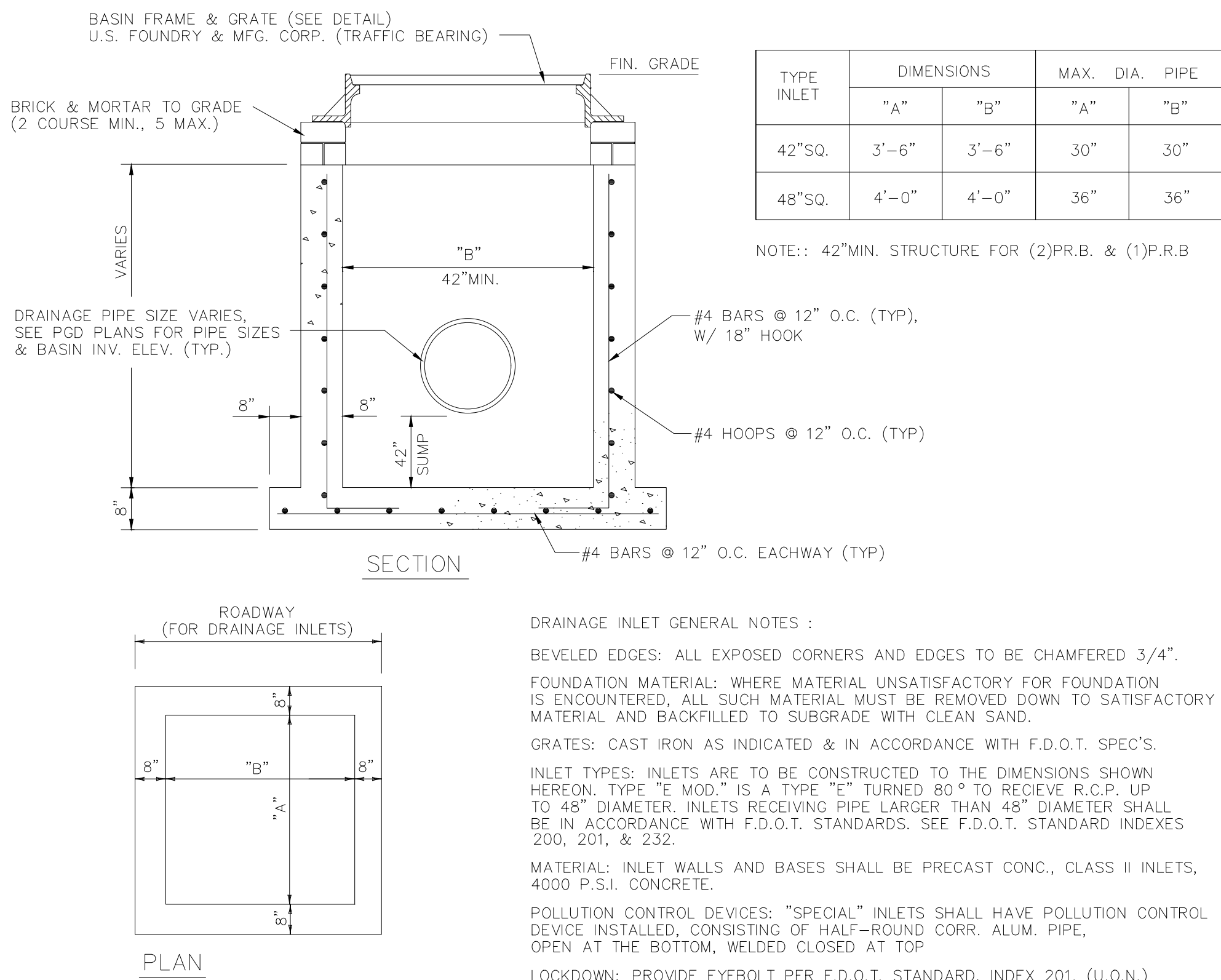


SIDE VIEW

POLLUTION RETARDANT BAFFLE



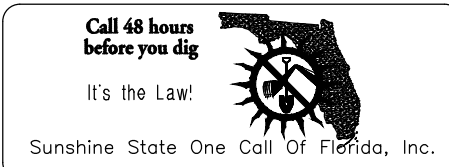
FRAME / GRATE DETAIL



CATCH BASIN DETAIL

SIDEWALK CONSTRUCTION DETAILS

SCALE: SCALE



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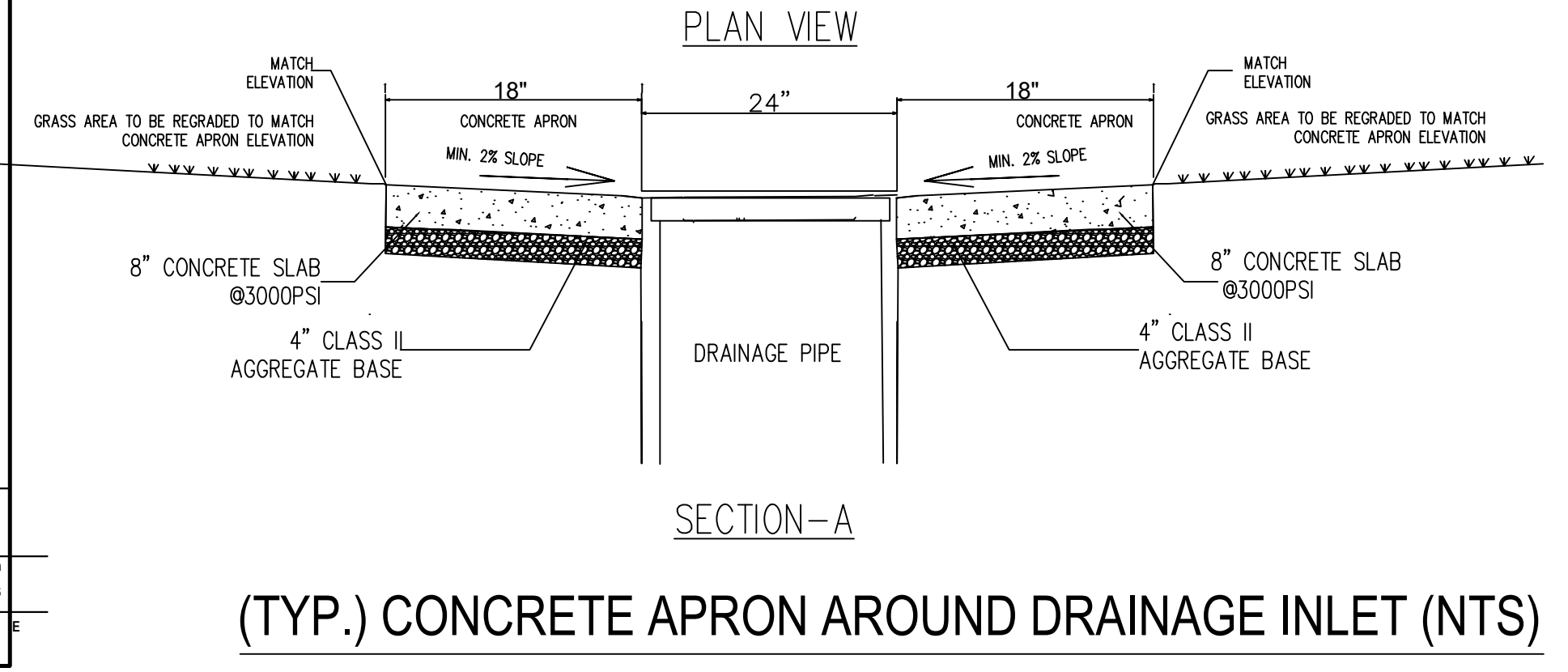
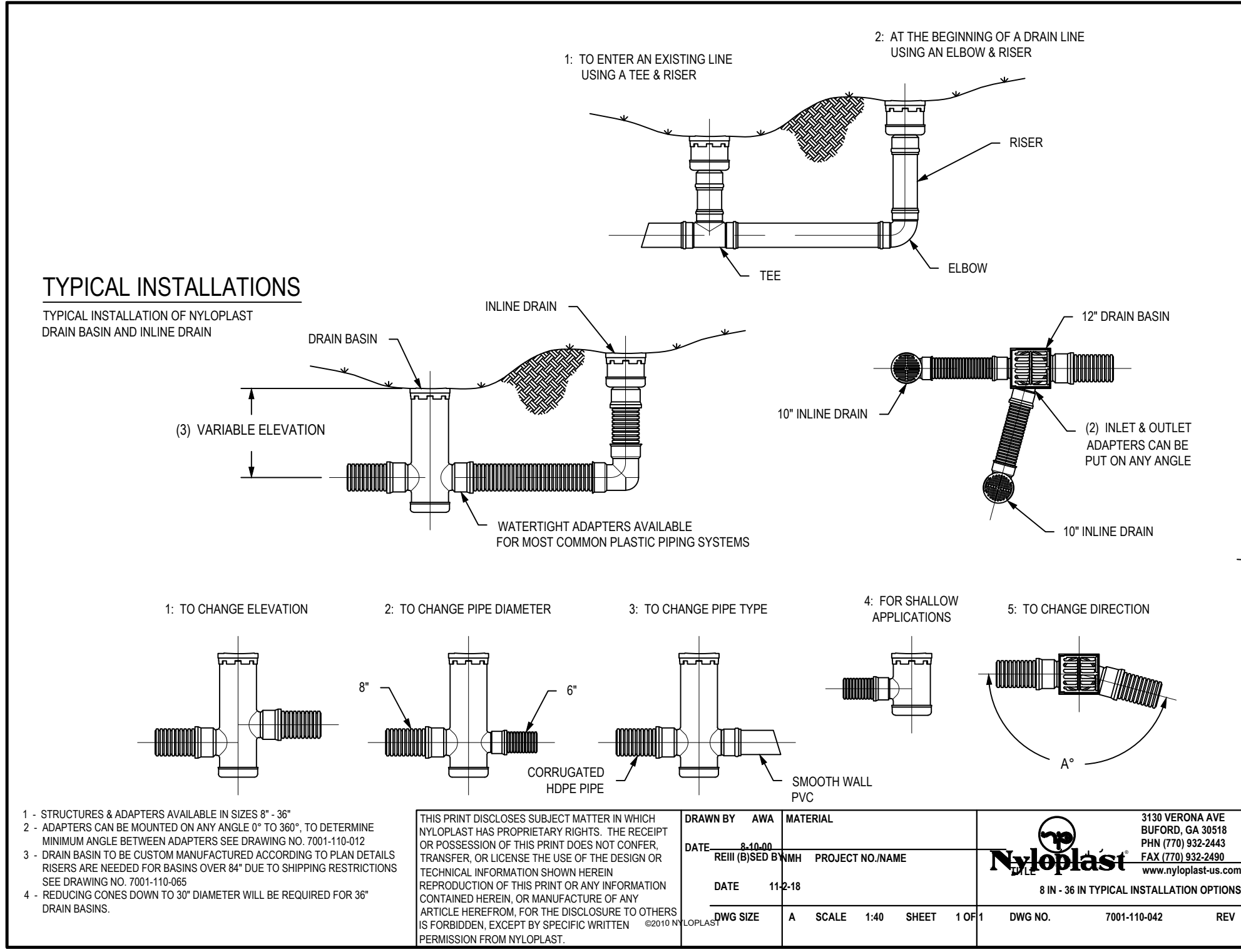
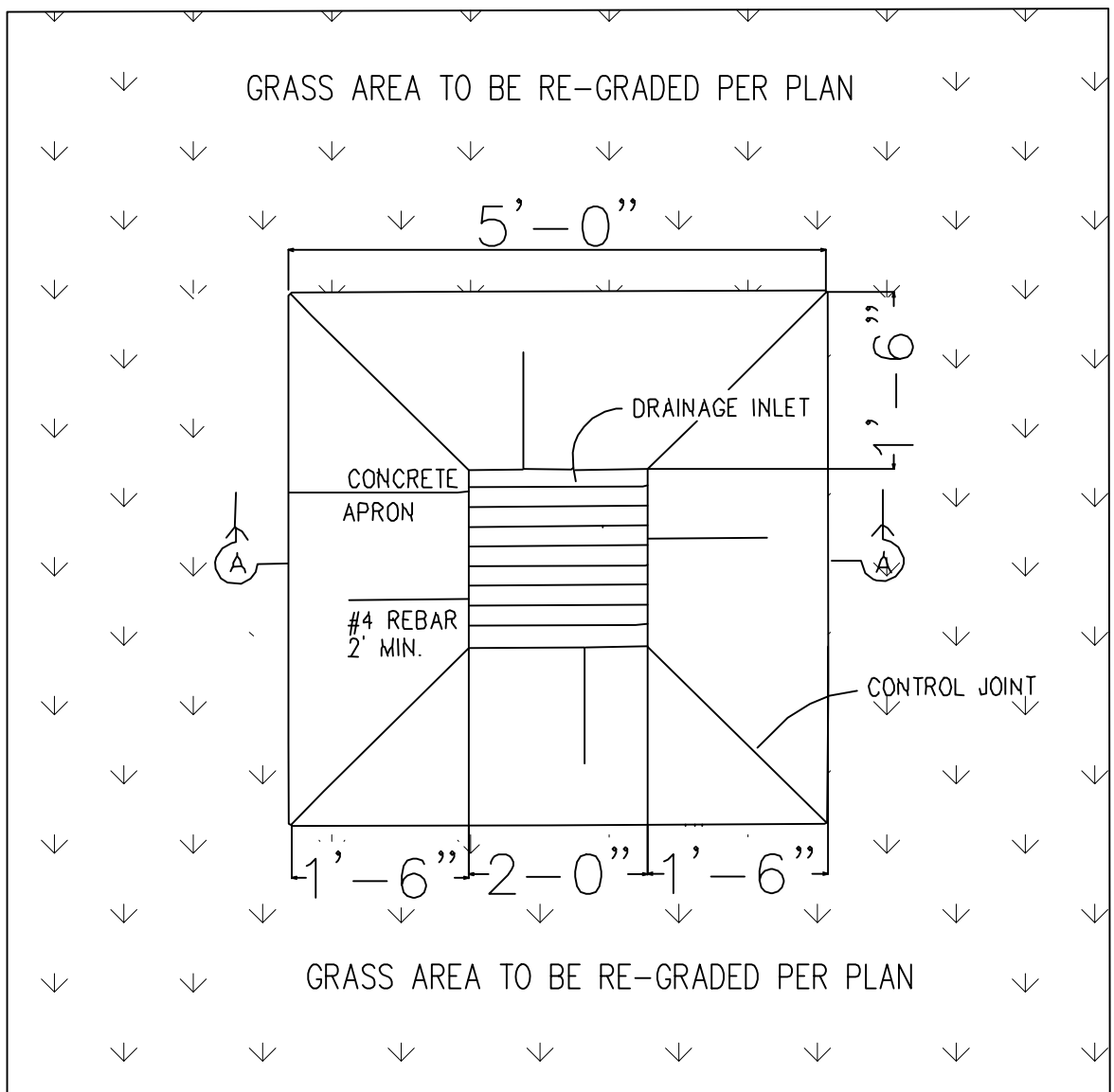
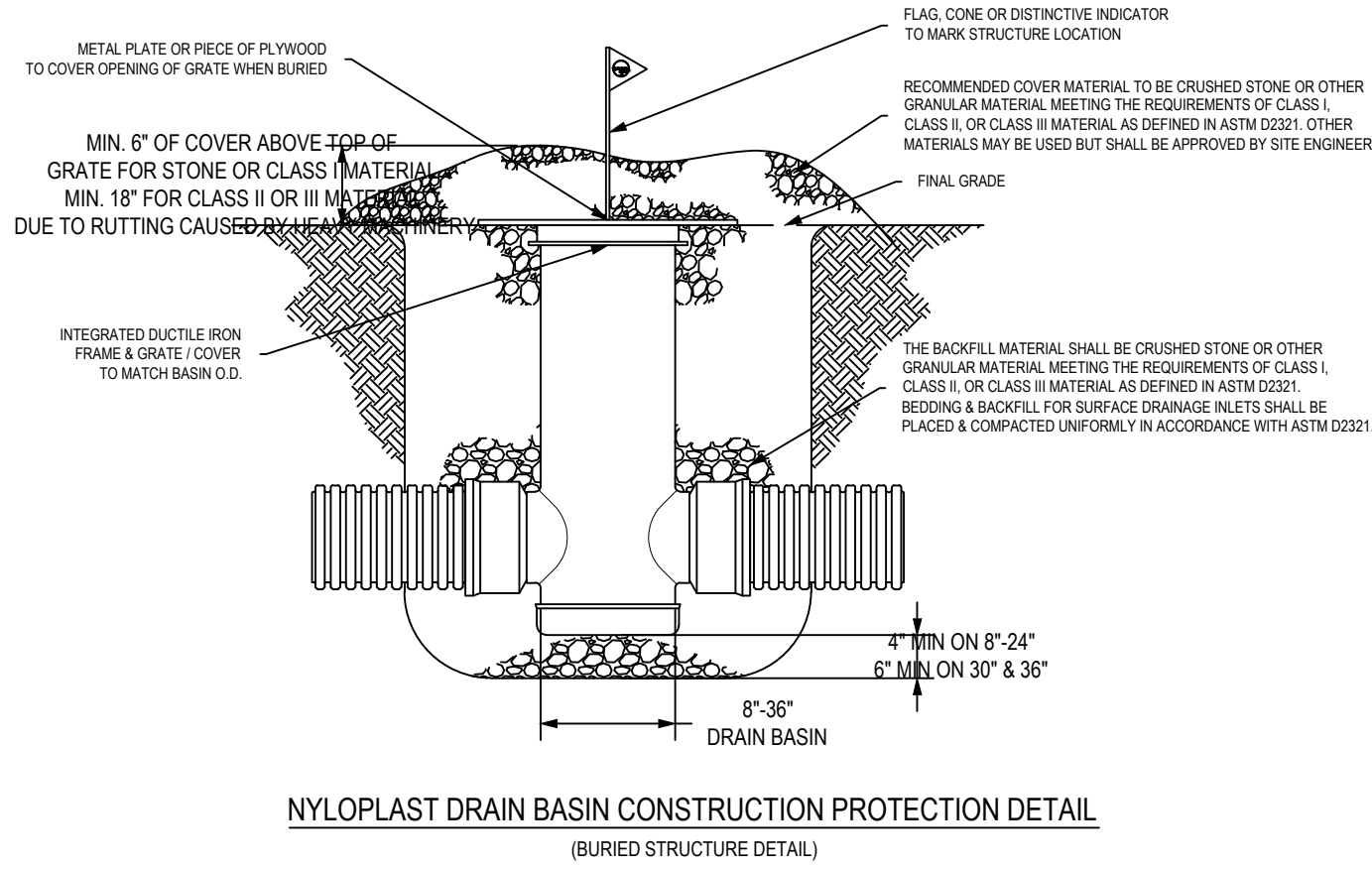
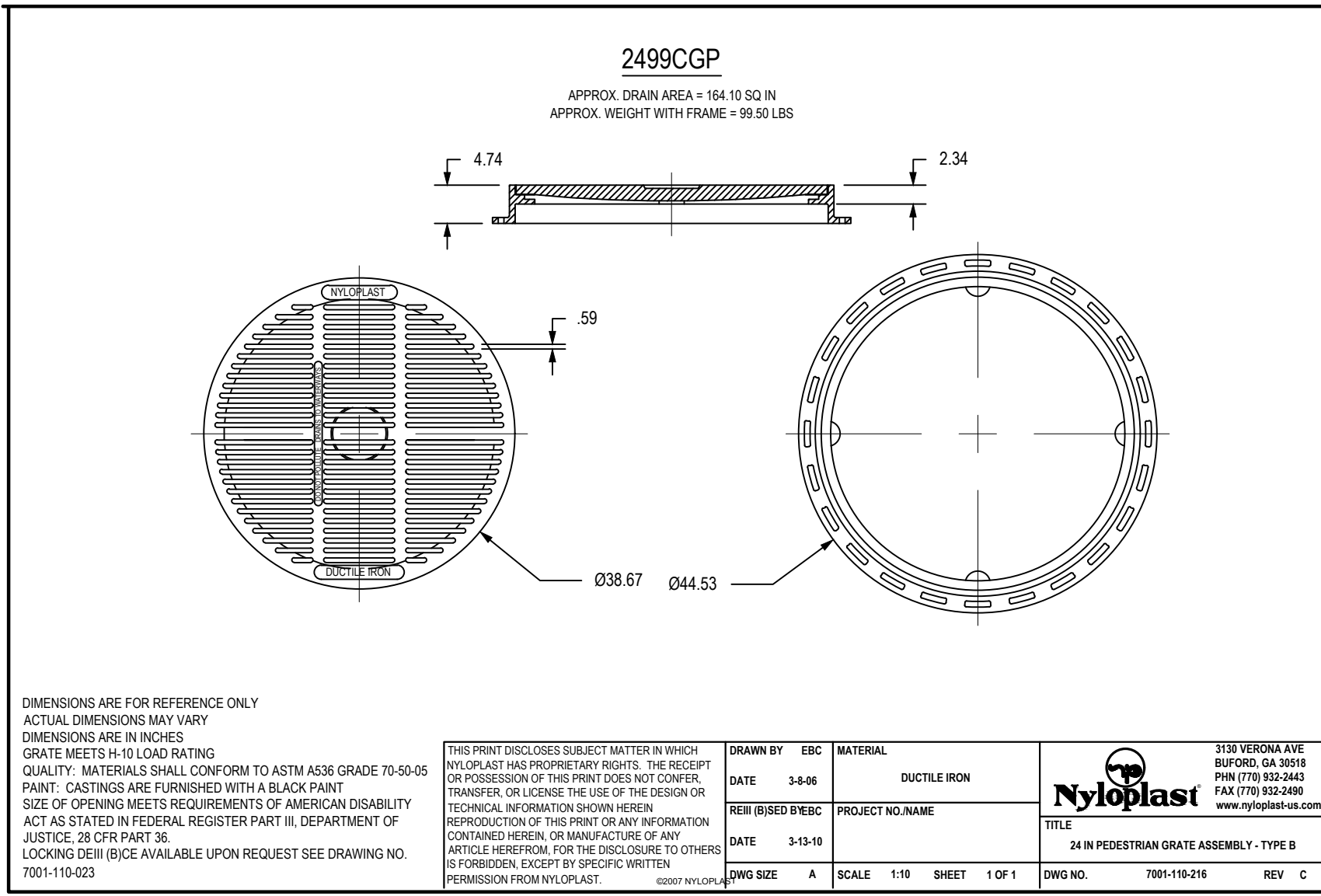
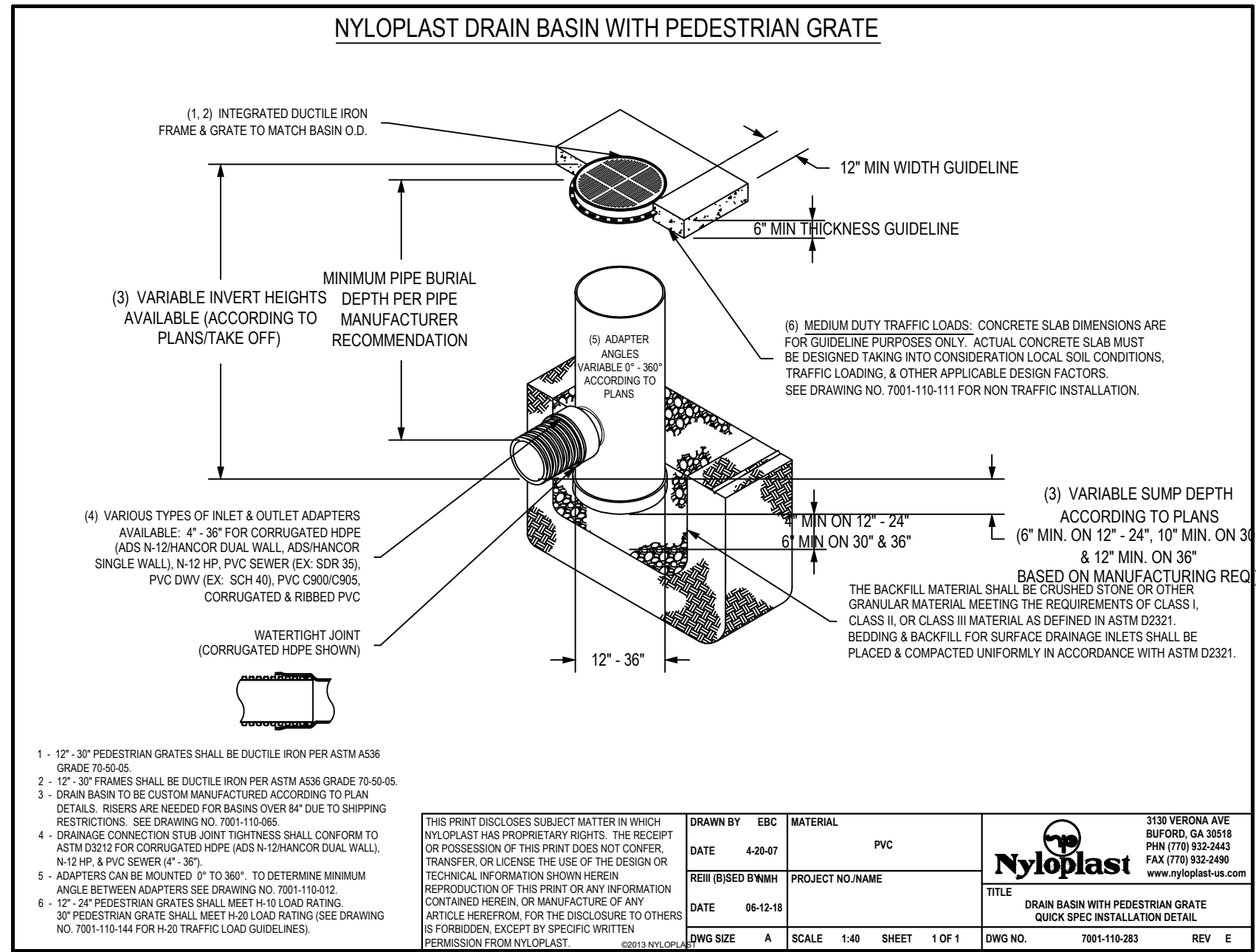
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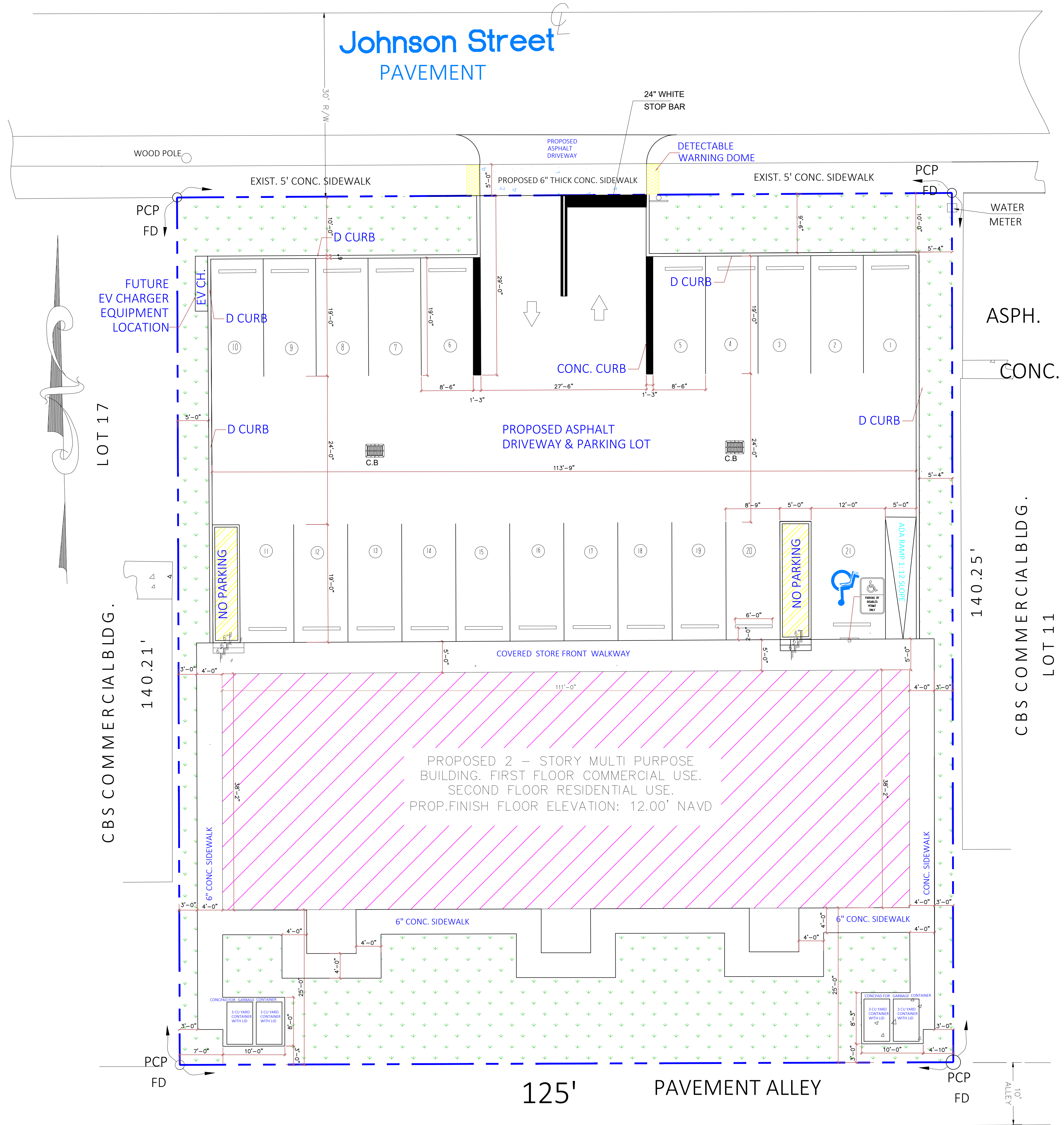
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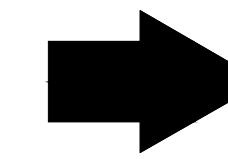


DRAINAGE DETAILS
NOT TO SCALE

Johnson Street
PAVEMENT



LEGEND:



TRAFFIC FLOW



R6-1L ONE WAY



R5-1 DO NOT ENTER SIGN



R1-1 STOP SIGN



PARKING BY DISABLED
PERMIT ONLY



NO PARKING SIGN

PROPOSED PAVING AND GRADING PLAN

SCALE: 1/8" = 1'-0"



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- # ASPHALT RESTORATION DETAIL



ASPHALT CONNECTION DETAIL



NOTES:

THE TOP PORTION OF FTP-26 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOLS AND BORDER

NOTES:

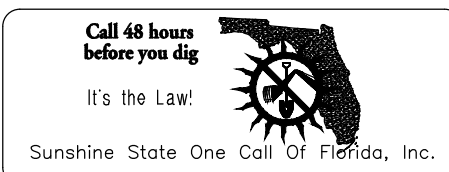
1. DISABLED SIGN WILL BE OF F.D.O.T. (BLUE) COLOR.
2. PAVEMENT BORDER LINES (ONE ON EACH SIDE) OF THE DISABLE SPACE WILL BE OF A BLUE COLOR AT A QUALITY EQUIVALENT TO SUPER STRIPE TRAFFIC PAINT SOLD BY FOX VALLEY SYSTEMS, INC. OF CARY, ILLINOIS, PHONE 1800-323-4770, SHALL BE STRIPED ON THE WEARING SURFACE OF EACH SPACE DESIGNED FOR THE DISABLE PARKING SPACE. ORDINANCE NO. 1550
3. ALL LETTERS IN MIDDLE PORTION OF SIGN ARE 1.5" SERIES AT 1.5" SPACING.
4. ALL LETTERS IN BOTTOM PORTION OF SIGN ARE 1" SERIES AT 1" SPACING.
5. MINIMUM FINE SHALL BE \$250.00 PER ORDINANCE 2149.



NOTE:
THE AISLE IS TO BE FLUSHED WITH
THE SIDEWALK. F.D.O.T HANDICAP RAMP
CR-A PER F.D.O.T INDEX NO.304





- ## GRADING AND DRAINAGE NOTES

1. ALL WORK RELATING TO INSTALLATION, RENOVATION OR MODIFICATION OF WATER, DRAINAGE AND/OR SEWER SERVICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF MIAMI GARDENS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER.
3. ALL NEW WALKWAYS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS: WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN 2% PERCENT AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) OF 1:20 OR 5%.
4. MINIMUM SLOPE ON ALL WALKWAYS WILL BE 1:100 OR 1% TO PROVIDE POSITIVE DRAINAGE. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER PRIOR TO CONTINUING WORK.
5. ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
6. THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT MIGRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC/PRIVATE STREETS AND WORK AREAS. CLEAN BASINS REGULARLY AND AT THE END OF THE PROJECT.
7. WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
8. WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
9. RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED UNLESS OTHERWISE NOTED.
10. WHERE NEW IMPROVEMENTS MEET EXISTING CONDITIONS, MEET LINE AND GRADE OF EXISTING ADJACENT PAVEMENTS, TYPICAL.



MAQSOOD M. NASIR
LICENCE NUMBER
63916

PROFESSIONAL ENGINEER
SEAL, SIGN AND DATE:

PERMITTING MEETINGS		
NO.	DATE	DESCRIPTION
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REVISIONS		
		
		
		
		

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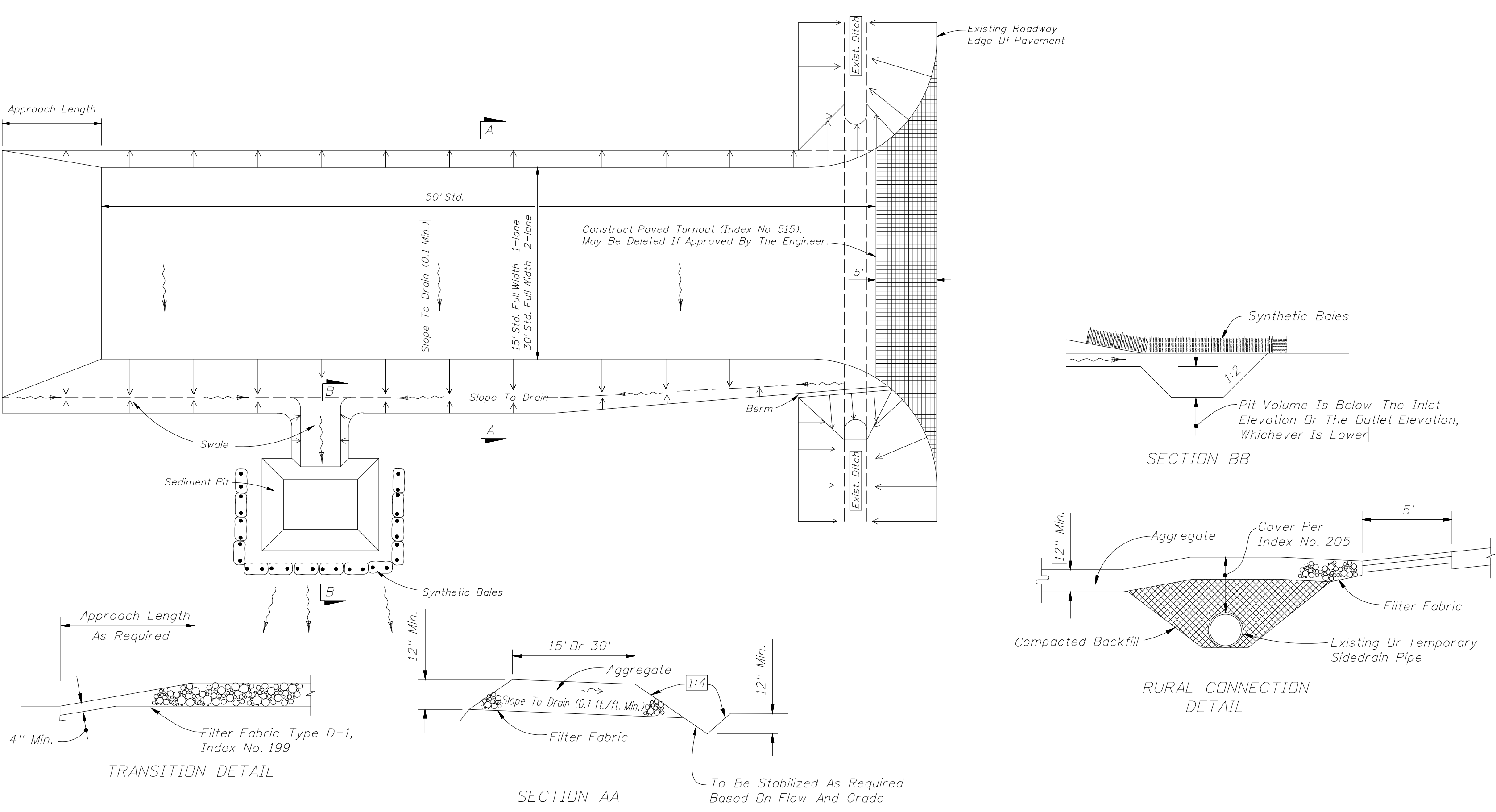
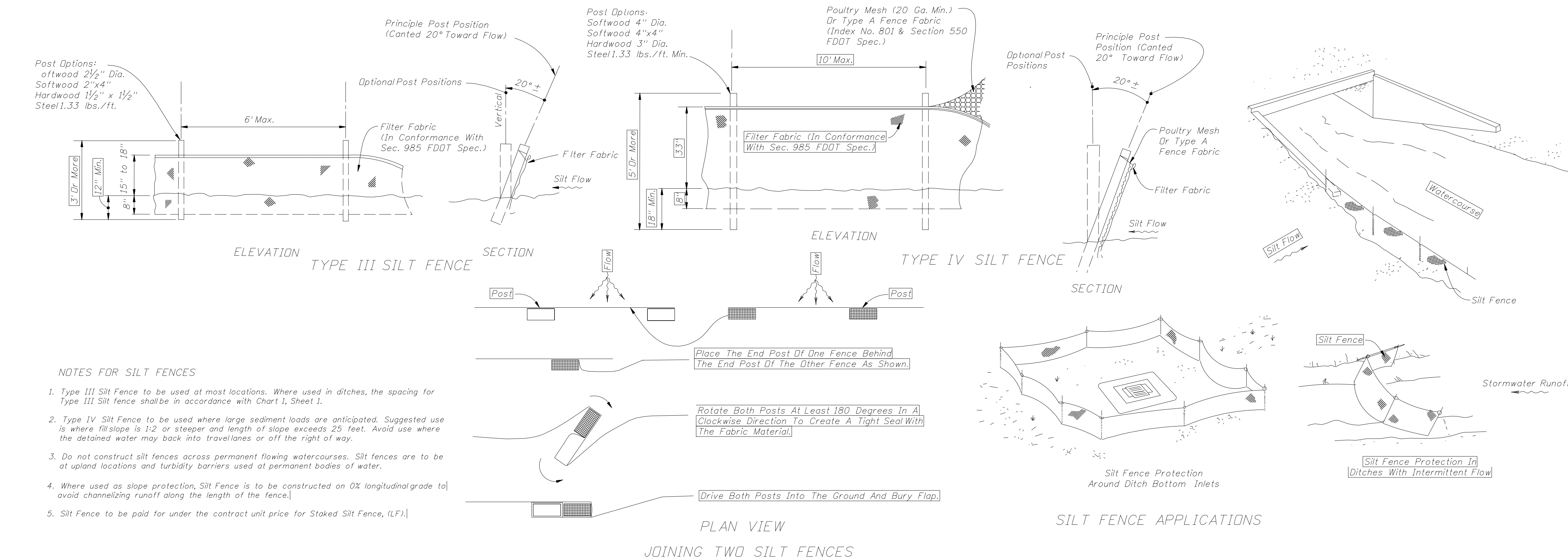
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CONSULTANT INC. CA-32192
4791 SW 82ND AVE, #43
DAHL (B/E, FLORIDA-33328

QUADS PLAZA
PROP. 2 STORY MULTI-USE BUILD.
AT
5730 JOHNSON STREET
HOLLYWOOD, FLORIDA

DATE: 09/10/2022
DRAWN BY DM
PROJECT NO. 2022-00129
REVISED BY MN
SHEET NO. C-5

PAVING AND GRADING DETAILS

SCALE: SCALE



SOIL TRACKING PREVENTION DEVICE

TEMPORARY EROSION AND SEDIMENT CONTROL
SCALE: SCALE

- GENERAL NOTES
1. A Soil Tracking Prevention Device (STPD) shall be constructed at locations designated by the engineer for points of egress from unstabilized areas of the project to public roads where off-site tracking of mud could occur. Traffic from unstabilized areas of the construction project shall be directed thru a STPD. Barriers, flagging, or other positive means shall be used as required to limit and direct vehicular egress across the STPD.
 2. The Contractor may propose an alternative technique to minimize off-site tracking of sediment. The alternative must be reviewed and approved by the Engineer prior to its use.
 3. All materials spilled, dropped, or tracked onto public roads (including the STPD aggregate and construction mud) shall be removed daily, or more frequently if so directed by the Engineer.
 4. Aggregates shall be as described in Section 901 excluding 901-2.3. Aggregates shall be FDOT size #1. If this size is not available, the next available smaller size aggregate may be substituted with the approval of the Engineer. Sizes containing excessive small aggregate will track off the project and are unsuitable.
 5. The sediment pit should provide a retention volume of 3600 cubic feet/acre of surface area draining to the pit. When the STPD is isolated from other drainage areas, the following pit volumes will satisfy this requirement:
 $15' \times 50' = 100 \text{ ft.}^3$ $30' \times 50' = 200 \text{ ft.}^3$
As an option to the sediment pit, the width of the swale bottom can be increased to obtain the volume. When the sediment pit or swale volume has been reduced to one half, it shall be cleaned. When a swale is used, synthetic bales or silt fence shall be placed along the entire length.
 6. The swale ditch draining the STPD shall have a 0.02% minimum and a 1.0% maximum grade along the STPD and to the sediment pit.
 7. Mitered end sections are not required when the sidedrain pipe satisfies the clear zone requirements.
 8. The STPD shall be maintained in a condition that will allow it to perform its function. To prevent off-site tracking, the STPD shall be rinsed (daily when in use) to move accumulated mud downward thru the stone. Additional stabilization of the vehicular route leading to the STPD may be required to limit the mud tracked.
 9. A STPD shall be paid for under the contract unit price for Soil Tracking Prevention Device, EA. The unit price shall constitute full compensation for construction, maintenance, replacement of materials, removal, and restoration of the area utilized for the STPD; including but not limited to excavation, grading, temporary pipe (including MES when required), filter fabric, aggregate, paved turnout (including asphalt and base construction), ditch stabilization, approach route stabilization, sediment removal and disposal, water, rinsing and cleaning of the STPD and cleaning of public roads, grassing and sod. Synthetic Bale or Bale Type Barrier shall be paid for under the contract unit price for Synthetic Bales, LF. Silt fence shall be paid for under the contract unit price for Staked Silt Fence, LF.
 10. The nominal size of a standard STPD is 15' x 50' unless otherwise shown in the plans. If the volume of entering and existing vehicles warrant, a 30' width STPD may be used if approved by the Engineer. When a double width (30') STPD is used, the pay quantity shall be 2 for each location.

Call 48 hours before you dig
It's the Law!
Sunshine State One Call of Florida, Inc.

MAQSOOD M. NASIR
LICENCE NUMBER
63916

PROFESSIONAL ENGINEER
SEAL, SIGN AND DATE:

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QUADS PLAZA
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AT
5730 JOHNSON STREET
HOLLYWOOD, FLORIDA

DATE: 09/10/2022
DRAWN BY DM
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REVISED BY MN
SHEET NO. **C-6**

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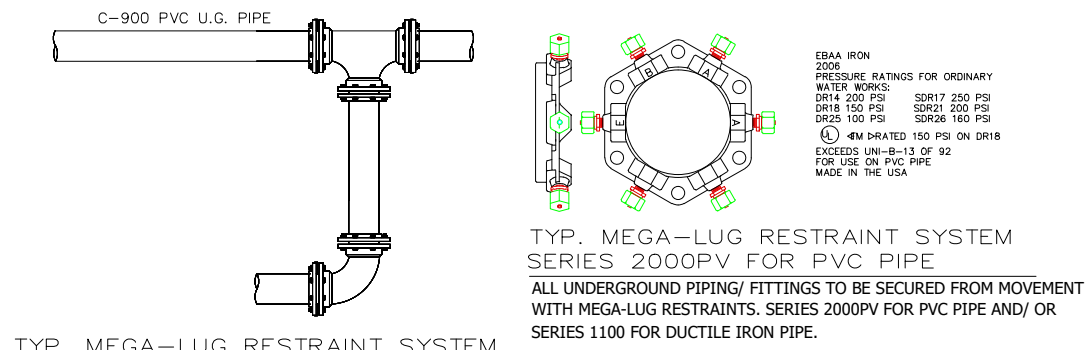
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WATER AND SEWER DEMAND CALCULATION

Size of Dwelling	Average Demand (gpd)	Peak Demand (Ave Demand x 3) (gpd)
Water Demand		
Residential	640	1920
Non-residential	531.25	1593.75
Totals	1171.25	3513.75

GENERAL NOTES

- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE DRAWINGS BUT ARE NOT PURPORTED TO BE ABSOLUTELY CORRECT. THE CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING HIS WORK PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL REPLACE AND/OR REPAIR PAVING, STABILIZED EARTH, DRIVEWAYS, ETC. WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED OR DAMAGED DURING THE CONSTRUCTION TO THE SATISFY CITY REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN A CONFLICT BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS IS DISCOVERED DURING THE COURSE OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO THE CONSTRUCTION OF THE WORK TO PERFORM SUCH TESTS, STUDIES AND SURVEYS AS HE DEEMS NECESSARY TO SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS EXISTING AT THE SITE.
- THE CONTRACTOR SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES TO PERMIT THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN ADVANCE FOR CONSTRUCTION BY CALLING SUNSHINE STATE ONE CALL AT 1-800-432-4770.
- ALL CONCRETE SHALL BE 3,000 PSI UNLESS OTHERWISE INDICATED AND SHALL BE IN CONFORMANCE WITH THE LATEST A.C.I. BUILDING CODE REQUIREMENTS.
- DURING ALL UNDERGROUND CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE APPROPRIATE CLEARANCES FROM ANY PROPOSED OR EXISTING UTILITIES OR STRUCTURES, AS REQUIRED BY THE PLANS, SPECIFICATIONS, UTILITY AUTHORITY, AND ANY GOVERNING AGENCY. THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY IF THE APPROPRIATE CLEARANCE IS NOT AVAILABLE.
- CONTRACTOR SHALL ADJUST ELEVATION OF ALL EXISTING MANHOLE RIMS, CATCH BASIN RIMS, UTILITY VAULT ACCESS RIMS, VALVE BOXES AND METER EQUIPMENT VAULT RIMS TO E FLUSH WITH PROPOSED FINISH GRADE.
- LENGTHS OF PIPES SHOWN ARE APPROXIMATE.
- PLACE RPMs FOR FIRE HYDRANT AND GATE VALVE PER CITY REQUIREMENTS.

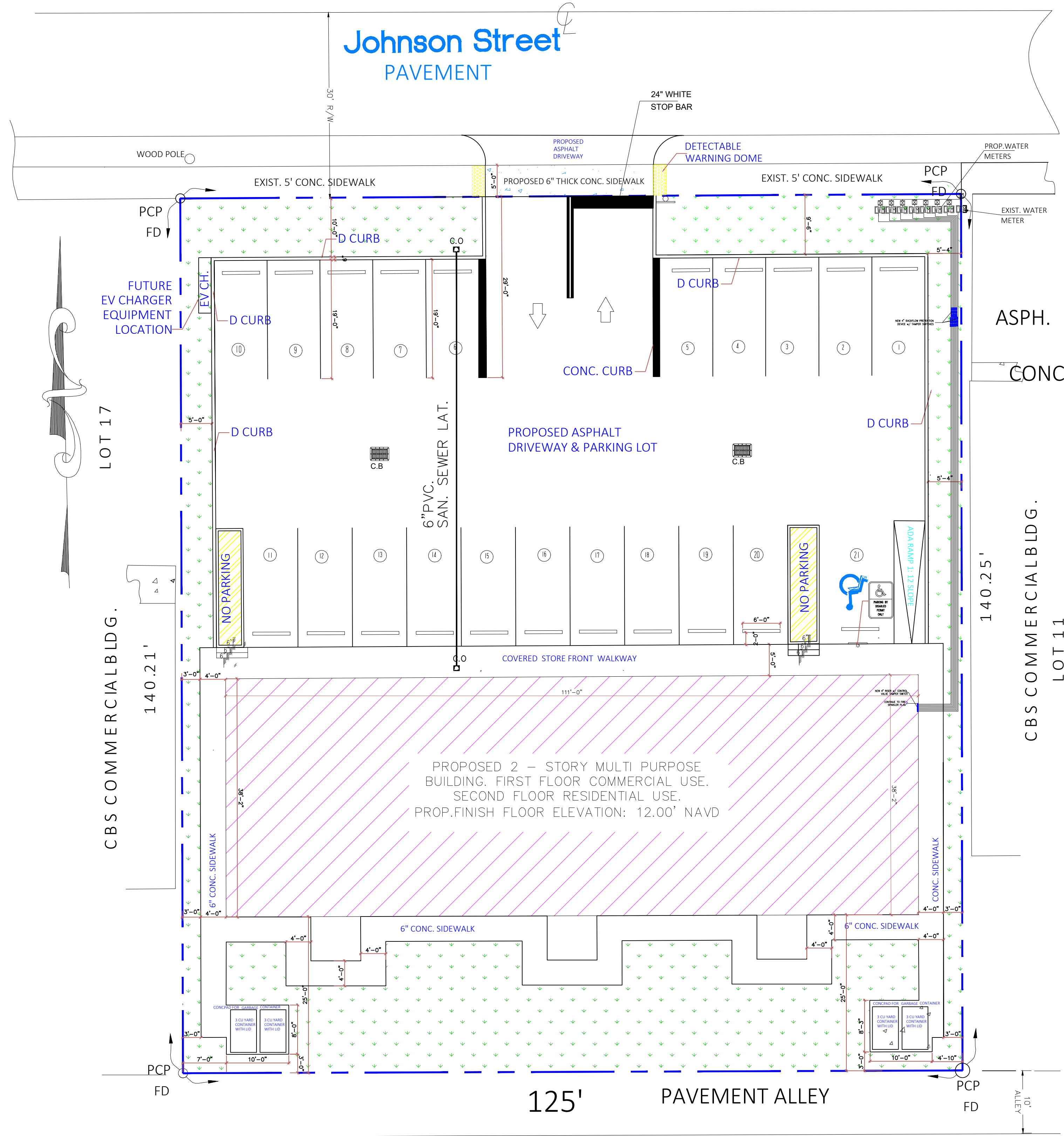


NOTES:
1. THE INITIAL TEST OF THE BACKFLOW PREVENTION ASSEMBLY SHALL BE PERFORMED BY THE DEPARTMENT PRIOR TO SERVICE ACTIVATION.
2. THE DOUBLE CHECK DETECTOR ASSEMBLY SHALL BE ON THE APPROVED LIST OF THE UNIVERSITY OF SOUTHERN CALIFORNIA (U.S.C.).
3. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER OPERATION, MAINTENANCE AND SUBSEQUENT TESTING OF THE DOUBLE CHECK DETECTOR ASSEMBLY BY A CERTIFIED BACKFLOW TECHNICIAN.

Backflow Prevention Device Detail
Not To Scale

NOTE:
WATER AND SEWER CONNECTION SHALL BE COMPLY PER CITY OF HOLLYWOOD'S STANDARD ENGINEERING DETAILS.

WATER CONNECTION DETAILS
SCALE: NTS



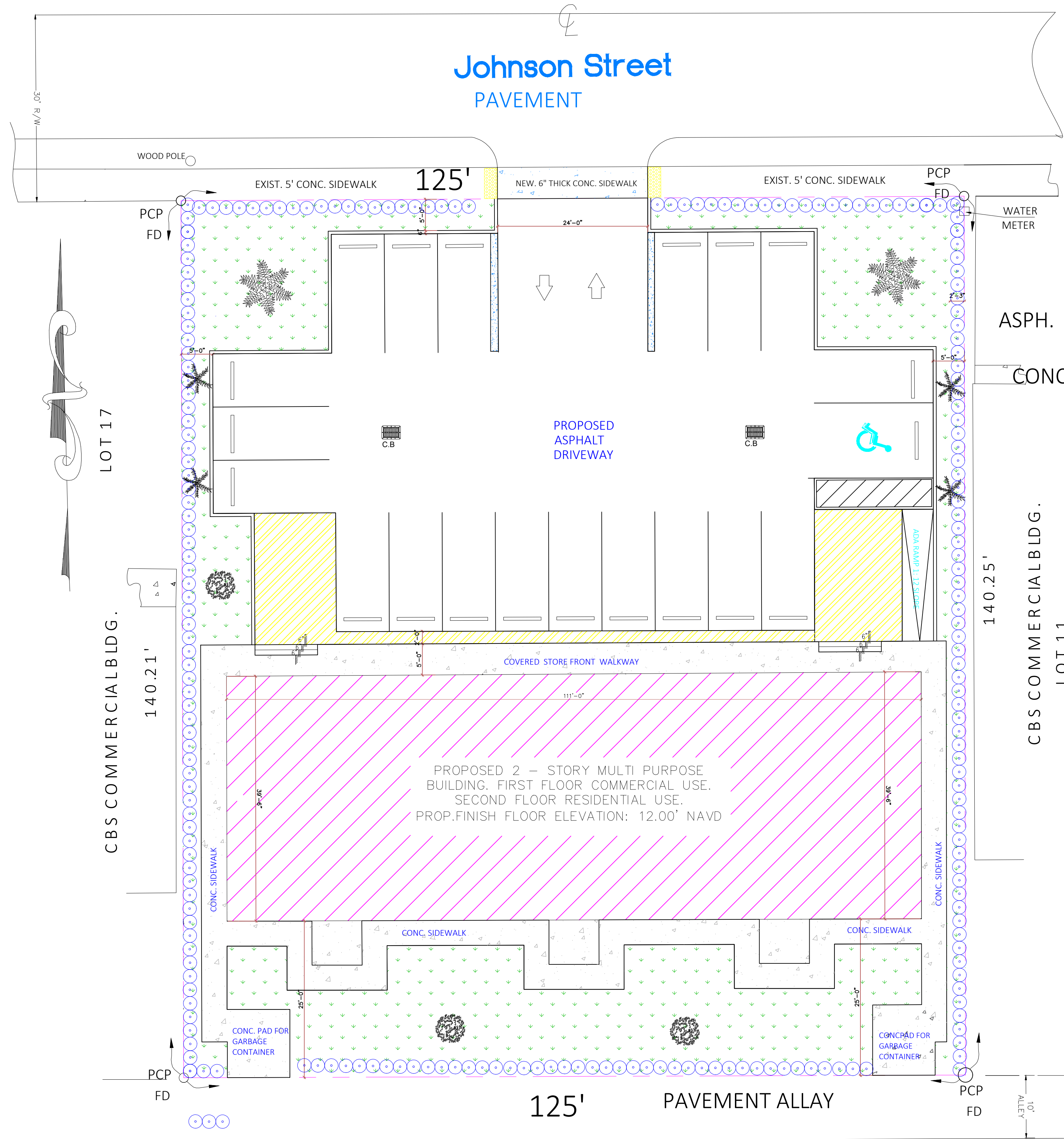
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4791 SW 82ND AVE, #43
DAIRY BE, FLORIDA-33328

QUADS PLAZA
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AT
5730 JOHNSON STREET
HOLLYWOOD, FLORIDA

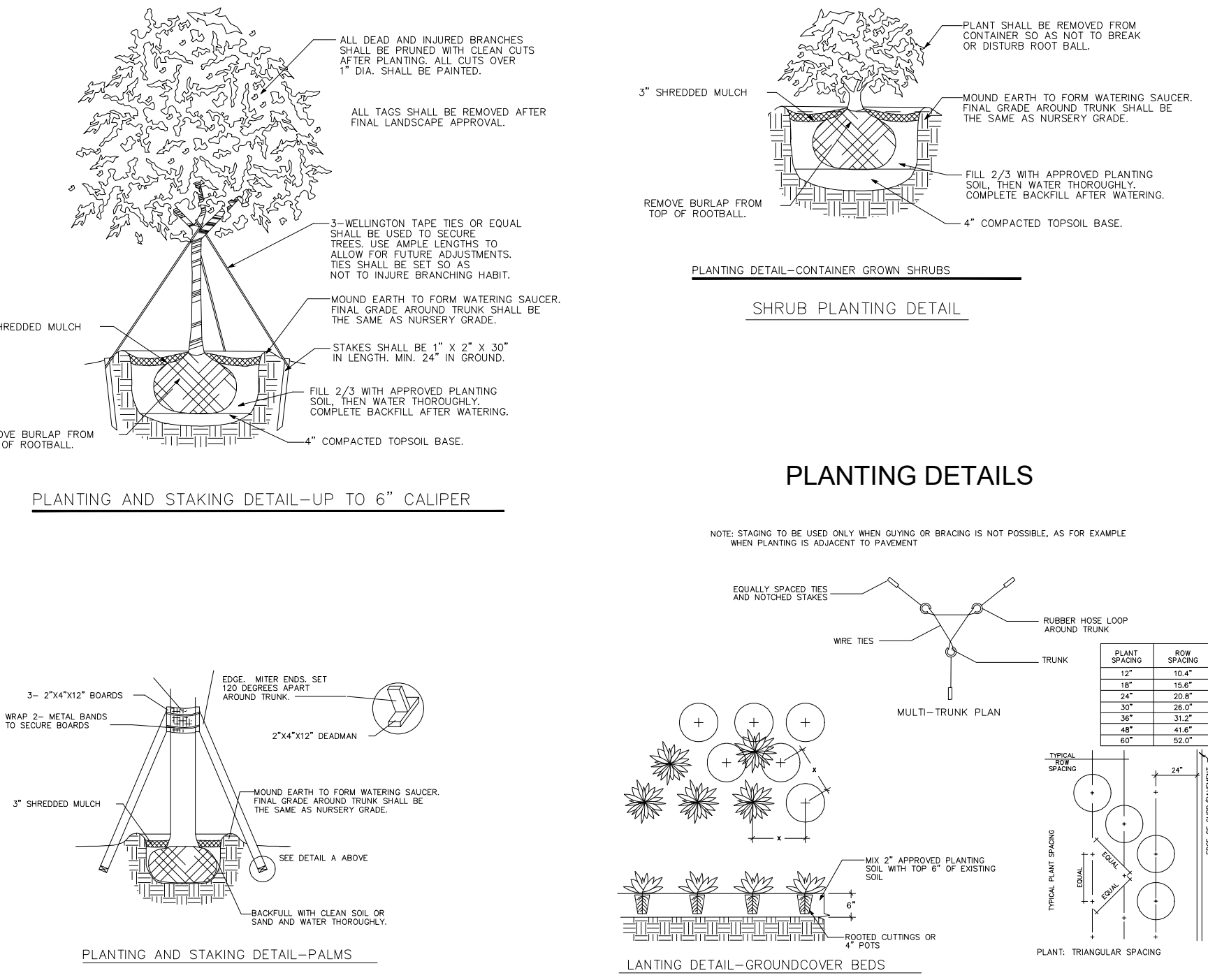
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PLANT LIST			
SYMBOL	BOTANICAL NAME/COMMON NAME	SIZE & SPECIFICATION	QTY
DR	QUERCUS VIRGINIANA PIN OAK	12" HT X 5" SPR 2.5" CAL DBH	03
CC-1	CHRYSOBALANUS ICACO "RED TRIP" -COCOPLUM	24" HT X 24" SPR 24" O.C. SPACING	270
CP	TUSKEGEE CRAPE MYRTLE	10" HT X 6" SPR 6" CT, 5 TRUNKS MIN 1.5" CAL PER TRUNK	02
RP	ROYSTONEA REGIA FLORIDA PALM TREE	12" HT X 6" SPR 2.5" CAL DBH	04
SOD	ST. AUGUSTINE GRASS	SOLID SOD TIGHT JOINS, WEED FREE	45 NEEDED

PLANT LEGEND		
SYMBOL	BOTANICAL NAME/COMMON NAME	LEGEND
DR	QUERCUS VIRGINIANA PIN OAK	
CP	TUSKEGEE CRAPE MYRTLE	
RP	ROYSTONEA REGIA FLORIDA PALM TREE	
CC-1	CHRYSOBALANUS ICACO "RED TRIP" -COCOPLUM	

LANDSCAPE NOTES:
All plant material to be Florida 1 or better.
Sod to be St. Augustine "Floratan", contractor to determine quantity.
All sod and landscape to receive 100 coverage from automatic irrigation system using approved water source with 100 coverage and 50 overlap with rain sensor. Contractor responsible for all conditions and landscape specifications attached to this plan list. Plan and specifications shall be considered Contract Documents.
Mulch, topsoil, and fertilizer to be applied according to specifications.
SPECIFICATIONS:
NOMENCLATURE: All plant material used shall be true to name and size in conformity with the Florida Nurserymen's Grades and Standards, and shall be Florida Grade 1 or better. Plants which do not meet specifications will not be accepted.
PLANT LISTS: Quantities, sizes, and location of plants will be determined by plan and plant lists.
Size of plant shall take precedent over container size. Spacing of ground covers will be determined by plant lists. Quantities shown on plant lists are to be used as a guideline only. Contractor will be responsible for verification of actual quantities called for on plans. Discrepancies should be brought to the attention of the Landscape Architect.
SUBSTITUTIONS: No substitutions shall be accepted without consent of Landscape Architect. Any intended substitutions shall be detailed on the list.
PLANTING SOIL: Topsoil shall be clean, sterile, and free of debris or other foreign material. Trees and palms shall be planted with a min. of 8" topsoil (50 muck, 50 sand) on sides and bottom of root ball. Rooted cuttings shall be planted in beds with a min. of 4" of topsoil worked into the top 6" of existing soil.
FERTILIZER: Marginate fertilizer shall be applied after planting and prior to mulching at the manufacturer's recommended application rates. In addition, agriform tablets (formula 20-10-5) shall also be applied at the manufacturer's recommended rates to all plants larger than 3 gal. size.
MULCH: All trees shall be mulched with 3" of shredded cypress in a 3 foot dia. circle. All shrubs and groundcover beds shall be mulched with 3" of shredded cypress in beds shown on plan or in beds 3' wide for hedges.
PLANTING PROCEDURE: All plants shall be planted at soil levels at which they were previously grown. Shrub and hedge material shall be planted a min. 2' away from walls or other obstructions. Material with a mature size greater than any overhangs shall be planted away from overhangs so as not to impede the natural growth habit. Sabal Palms are to be planted directly in sand. If necessary, excavate through any compacted building subgrade to undisturbed soil and backfill with planting soil.
WATERING: All plant material shall be watered in thoroughly after installation so as to remove all air pockets. B&B material shall be watered every day for a minimum one week period and thereafter as to keep continually moist until final acceptance of the landscape installation. Contractor shall notify owner of other watering requirements after installation.
GUARANTEE: All plant materials shall be guaranteed for 1 year after completion of project. Pans are to be guaranteed for 1 year. Guarantee applies to health, position, and size. Replacement cost will be carried by Contractor.



LANDSCAPE PLAN
SCALE: (3/32" = 1'-0")

DRAINAGE REPORT

For the design of

Quads Plaza at Hollywood

5730 Johnson St

Hollywood, FL 33021

Broward County, Florida

November 20,2023

Maqsood M. Nasir, P.E.
P.E. License# 63916

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2. PROJECT LOCATION.....	1
3. SURFACE WATER MANAGEMENT SYSTEM DESIGN.....	2
4. CONCLUSION / RECOMMENDATION	4

EXHIBITS

- Exhibit 1 Average Yearly Highest Ground Water Level (W.C.2.1)
- Exhibit 2 Average October Ground Water Level (W.C.2.2)
- Exhibit 3 SFWMD- 25 year 3 day rainfall map
- Exhibit 4 SFWMD- 10 year 1 day rainfall map
-

TABLES

- Table-1: French/ Exfiltration Calculation
- Table-2: Tail water table (For Drainage Model Development)
- Table-3: Rating Curve Calculation (For Drainage Model Development)

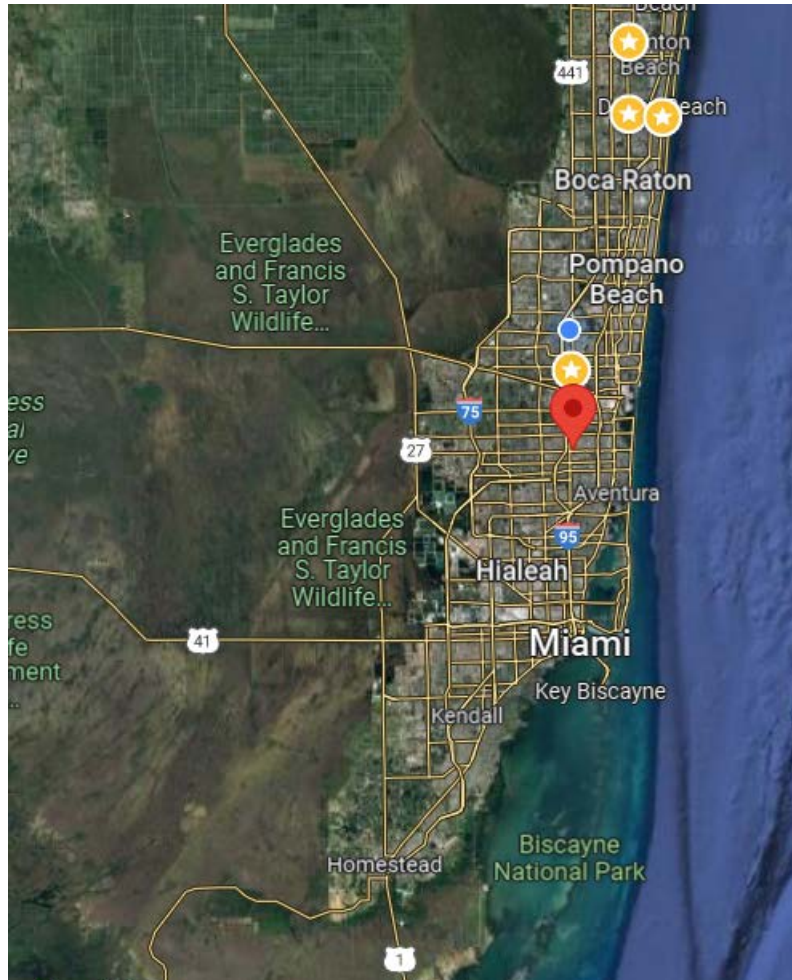
APPENDICES

- Appendix-A: ICPR Model for Proposed Surface Water Management Systems
 - ICPR Network Diagram
 - ICPR Input Data
 - Node Maximum report
- Appendix-B: Geotechnical Report

1.0 INTRODUCTION

The proposed project is located at 5730 Johnson St, Hollywood, FL 33021 Broward County, Florida (see project location map). The property encompasses an area of approximately $0.4026 \pm$ acre. There is one proposed building in the property. Twenty one (21) parking spots are proposed with 195 LF of proposed Exfiltration Trench/ French drain. This property is relatively flat.

2.0 PROJECT LOCATION



3.1 SURFACE WATER MANAGEMENT SYSTEM DESIGN

The proposed surface water management system has been designed based on applicable South Florida Water Management District (SFWMD), Broward County Department

of Environmental Resources Management (DERM). This goal to try to achieve the following criteria.

- During the 10-year, 24-hours design storm event, flooding should not exceed the crown of roadway/parking lot.
- During the 25-year, 72-hours design storm event, no off-site discharge.

3.1 Proposed Drainage System

The proposed drainage system shall consist of baffled catch basins (inlets), with exfiltration trenches/ French drain.

3.2 Wet Season Water Table/ Control Elevation/DHW elevation

The Broward County Public Works Department Design Standard W.C. 2.2 indicates that the average October groundwater level within the project limit 2.25 feet NGVD. The Broward County Public Works Department Design Standard W.C. 2.1 indicates that the average yearly highest groundwater level within the project limit is approximately 3.25 feet NGVD.

3.3 Design Storms

The following critical design storm events have been utilized to analyze and design the proposed stormwater management systems:

- 10 year 24 hour
- 25 year 72 hour

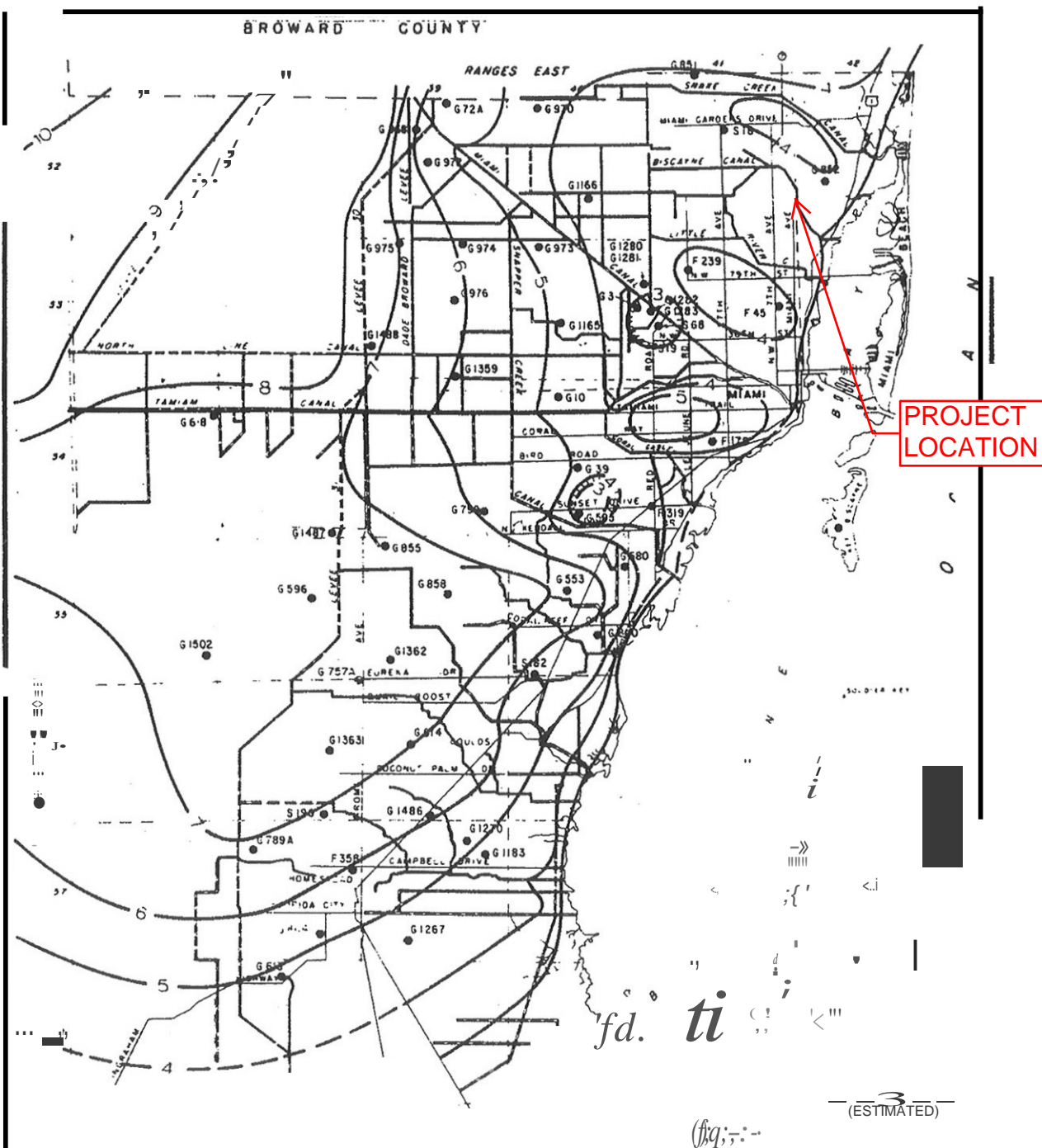
3.4 Variable DHW/ Tailwater for French Drains

According to the SFWMD, and DERM, French drain exfiltration can only be accounted for the first one hour of the rainfall event for stormwater attenuation purposes, when using a constant control or groundwater elevation. However, FDOT District 6 has reached an agreement with the SFWMD to allow for accounting French drain exfiltration throughout the entire rainfall event, only if the control elevation is varied throughout the storm event duration. Below is the approved approach for establishing the variable groundwater elevations for accounting French drain exfiltration throughout the duration of the design storm event, for storm events with duration of 24 and 72 hour.

4.1 **CONCLUSION / RECOMMENDATION**

The drainage analysis indicates that the proposed drainage system can protect the site during design storm event and fulfill the water quality criteria. The modeling report (please refer to attached ICPR storm water model reports in Appendix “A”) indicates that the critical storm event should not cause any potential pounding to surrounding properties.

EXHIBITS



1:40,000
 (ESTIMATED)
 CONTOUR INTERVAL 1.0 FOOT
 (Except as indicated)
 2. DATUM IS MEAN SEA LEVEL.

SCALE IN MILES
 0 1 2 3 4

NOTE: PREPARED FROM U.S. SURVEY DATA

METROPOLITAN DADE COUNTY PUBLIC WORKS DEPARTMENT	APPROVED 4/11/71	REVISED 2/19/75 4/11/71	DESIGN STANDARDS AVERAGE YEARLY HIGHEST GROUND WATER LEVEL 1960-75	W.C. 2.1 SHEET 1 OF 1
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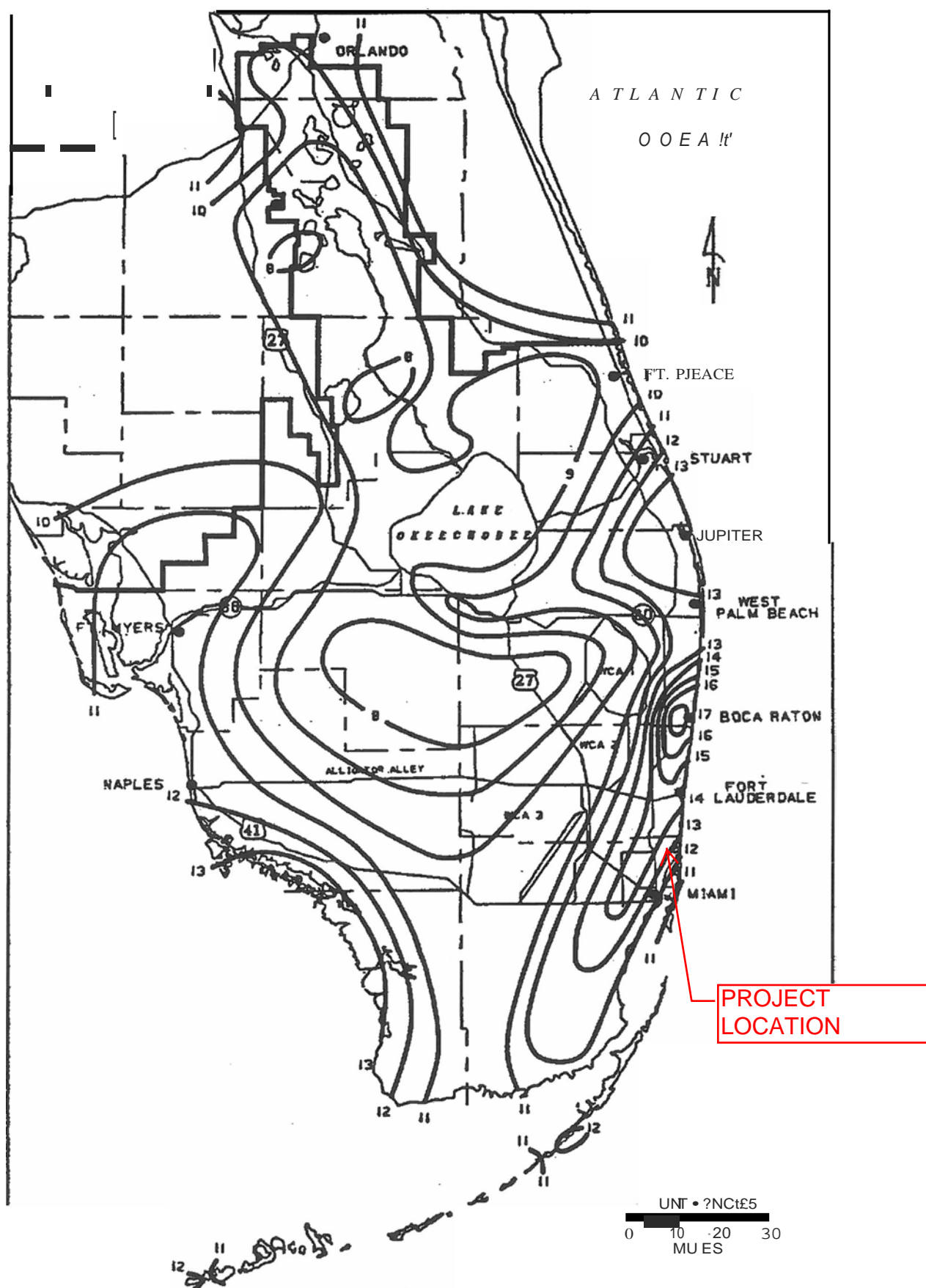


FIGURE C-8. 3-DAY RAINFALL: 25-YEAR RETURN PERIOD

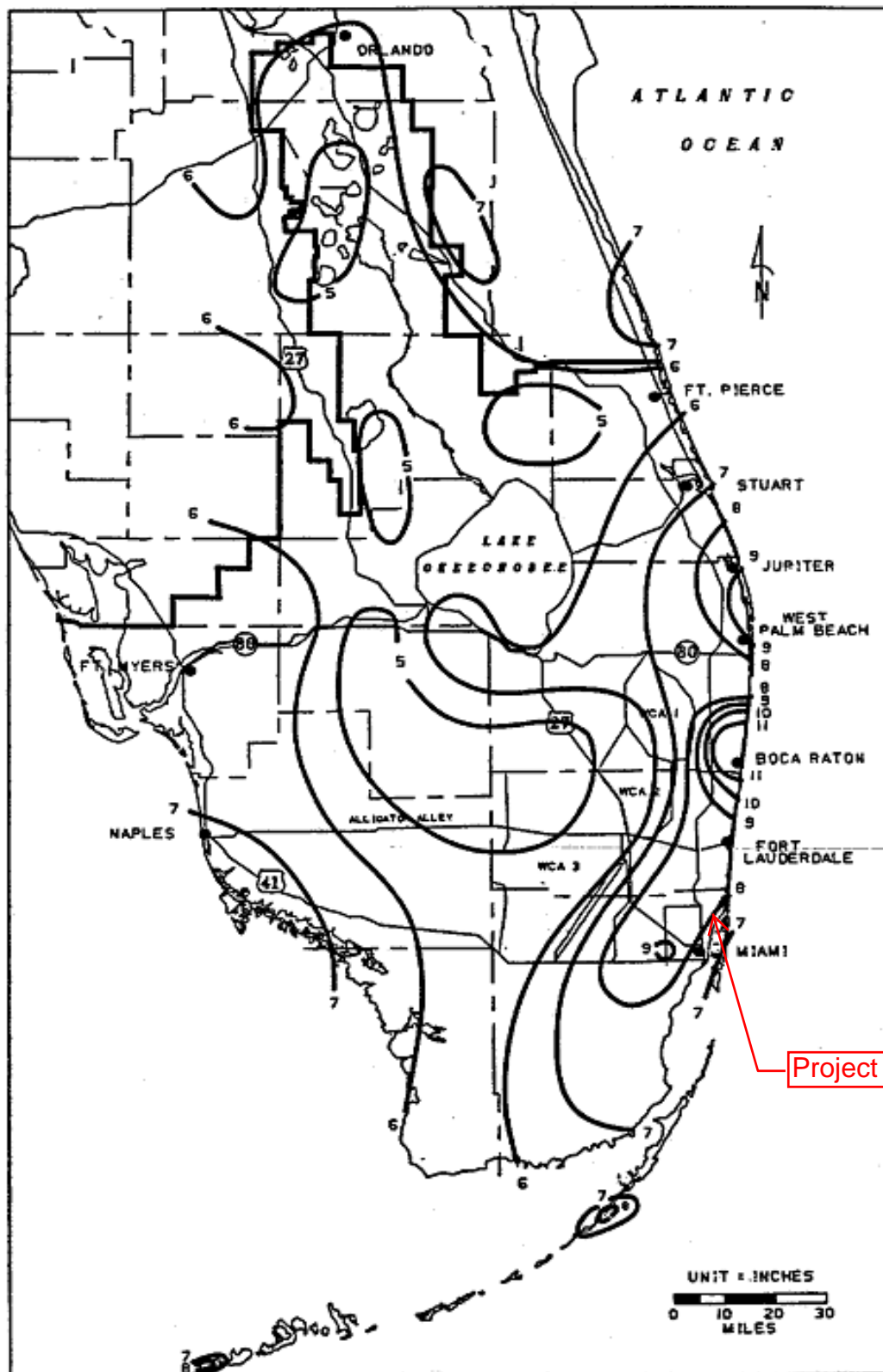
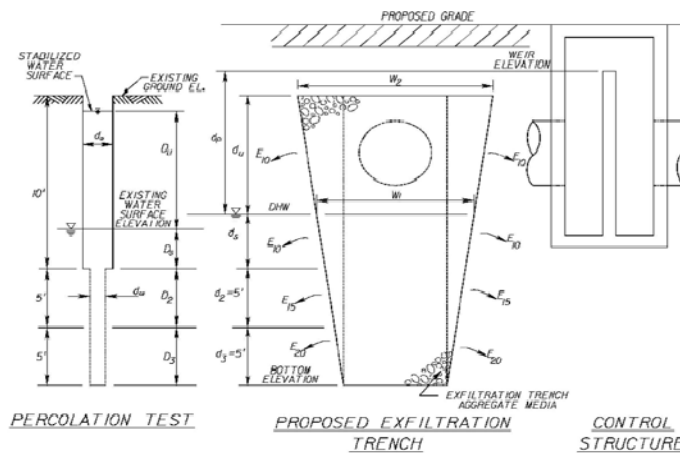
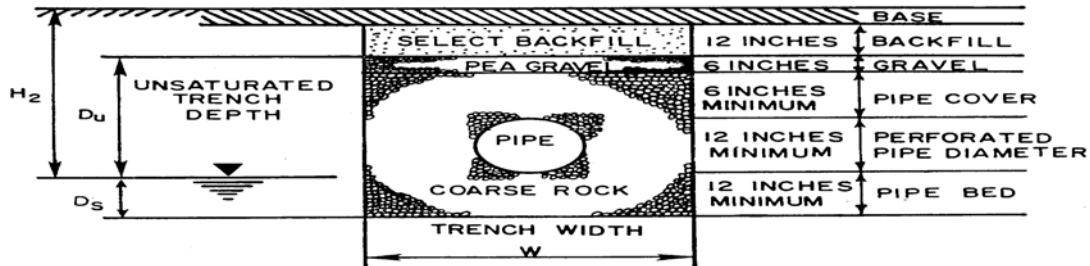


FIGURE C-4. 1-DAY RAINFALL: 10-YEAR RETURN PERIOD

TABLES

EXFILTRATION CALCULATIONS

Proposed lowest inlet elevation / Maximum possible stage / control elevation=	8.75	ft	(Control elevation govern)
Average grade=	9	ft	
Design High Water Elevation =	2.25	NGVD (October Water Table Elevation)	
Top of Trench Elevation =		NGVD	
Pipe Invert Elevation =	3.5	NGVD	
Trench Bottom Elevation =	-6.25	NGVD	
d_u = Unsaturated trench depth =	3.75	ft	



The graphic is only to show the design variables. It does not represent the design.

(Per Equation 3.3-2 of the FDOT-District 6 Exfiltration Trench Reference Manual, January 2008-Ver.1.08 for partially submerged perforated pipe.)

W_1 = Average trench width =	4	ft
D = Diameter of perforated pipe =	1.25	ft
A_s = Available Storage area in perforated pipe =	1.220	ft ²
so S = Storage in trench per LF of trench =	8.110	ft³

The design high water elevation and the control elevation are within the aggregate media.

Therefore, E_t = Total exfiltration rate per foot of trench, cfs/LF

For 15-ft deep exfiltration trench:

$$E_t = 2 k_{10} [d_u (d_p - d_u/2) + d_s d_p] + 2 k_{15} d_p d_2$$

(Per Equation 2.6-2 of the FDOT-District 6 Exfiltration Trench Reference Manual, January 2008-Ver.1.08)

K_{10} = Hydraulic Conductivity at 10 ft depth (P-1)=

K_{15} = Hydraulic Conductivity at 15 ft depth (P-1) =

d_1 depth of trench to 10 ft (from grade) depth, in ft =

d_2 depth of 10-15 foot saturated, typically 5 ft =

d_p = Hydraulic head on Exfiltration trench =

d_u = depth of the unsaturated zone=

d_s = depth of the saturated zone=

E_t = total exfiltration rate per LF of trench (Calculated) =

3.05E-04	cfs/ft ² /ft of head
3.05E-04	cfs/ft ² /ft of head
10.00	ft
2.25	ft

6.5 ft

3.75 ft

8.50 ft

0.0531162 cfs/LF

so E_t = total exfiltration rate per LF of trench (Design) =

0.0531 cfs/LF

(Max. percolation rate 0.1 cfs/FT)

T_t = Time to generate one inch of runoff plus the time of concentration, minutes

$T_{1''} + T_c$

$T_{1''}$ = Time to generate 1" of runoff, minutes

or $(2940 F^{-0.11}) / (308.5C - 60.5 (0.5895 + F^{-0.67}))$

(Per Equation 3.2-3 of the FDOT-District 6 Exfiltration Trench Reference Manual, January 2008-Ver.1.08)

C = Weighted runoff coefficient

Pervious Area (A1)=

0.47 ac

Impervious Area (A2)=

0.29 ac

Total Area (A3)=

0.76 ac

Runoff coefficient Pervious (C1) =

0.25

Runoff coefficient Impervious (C2) =

0.9

$C = [(A1 \times C1) + (A2 \times C2)] / A =$

0.498

$A_{area} = \text{Total Tributary Area} = C \times A3 =$

0.3785 ac

Where F = 5-year storm frequency, $T_{1''} =$

25.29 mins

T_c = Time of concentration or time to reach 1 inlet =

10 mins

so $T_t =$ Time to generate one inch of runoff plus the time of concentration =

35.29 mins

Water Quality Volume(DERM)

Using DERM Equation for Water Quality:

$$L = \frac{V}{(S + 60 E_t T_t)}$$

(Per Equation 3.3-1 of the FDOT-District 6 Exfiltration Trench Reference Manual, January 2008-Ver.1.08)

Where :

V= Required stormwater quality volume, ft³
= 60 C i A T_t

i= Rainfall Intensity, inches per hour

= $\frac{308.5}{48.6F^{-0.11} + T_t(0.5895 + F^{-0.67})}$

= $\frac{308.5}{4.20}$ inches/hr

so, i= rainfall intensity, inches per hour =

4.20 inches/hr

and required stormwater quality volume, $V_{DERM} =$

3363 ft³

0.08 Ac-ft

Required length per DERM, L_t

28 ft

Water Quality Volume(SFWMD)

a) First inch of Run-off volume from the developed project =(Total Area *1")/12 [Ac-ft] 0.06 *Ac-ft*

b) Total runoff of 2.5 times the percentage of impervious area =2.5 x % of impervious*total area [Ac-ft] 0.06 *Ac-ft*

So, the Volume required to be treated , V_{SFWMD} **0.06 *Ac-ft***

So, Water Quality Volume , V_{quality} **0.06 *Ac-ft***
0.76 *Ac-in*

Required length per SFWMD : if D_s > D_u or W > 2H

$$L = \frac{V}{K(2H_2D_u - D_u^2 + 2H_2D_s) + (1.39 \times 10^{-4})WD_u}$$

if D_s < D_u and W < 2H

$$L = \frac{V}{K(2H_2W + 2H_2D_u - D_u^2 + 2H_2D_s) + (1.39 \times 10^{-4})WD_u}$$

Where,

H ₂ = Depth from control elevation to DHW, in ft	6.5	<i>ft</i>
D _u = Depth Unsaturated zone, in ft	3.75	<i>ft</i>
D _s = Depth saturated zone, in ft	8.5	<i>ft</i>
W = Average trench width, in ft	4	<i>ft</i>

Required length per SFWMD, L _{ft}	16	<i>ft</i>
--	----	-----------

Summary					
Regulating Agencies	Provided Exfiltration trench length (FT)	Required quality volume (Ac-ft)	Exfiltration trench length With no Factor of safety (ft)	Factor of safety (F.S.) provided	Provided water quality volume (Ac-ft)
DERM	80	0.08	28	2.87	0.2214
SFWMD		0.06	16	4.87	0.3086

VARIABLE DHW/TAIWATER FOR FRENCH DRAIN SIMULATION

Initial DHW = 2.25
Peak DHW = 3.25

**24-hour
Storm Simulation**

**72-hour
Storm Simulation**

Time (hour)	Variable DHW for 24-hour Storm	Time (hour)	Variable DHW for 72-hour Storm
0	2.250	0	2.250
1	2.260	24	2.357
2	2.280	36	2.435
3	2.310	48	2.514
4	2.340	49	2.522
5	2.370	50	2.529
6	2.410	51	2.538
7	2.450	52	2.547
8	2.490	53	2.560
9	2.550	54	2.575
10	2.610	55	2.594
11	2.690	56	2.615
12	2.790	57	2.640
13	2.860	57.5	2.655
14	2.920	58	2.671
15	2.980	58.5	2.689
16	3.030	59	2.712
17	3.070	59.5	2.749
18	3.110	60	2.997
19	3.150	60.5	3.051
20	3.180	61	3.079
21	3.210	61.5	3.099
22	3.230	62	3.116
23	3.240	62.5	3.129
24	3.250	63	3.140
36	2.250	64	3.162
		65	3.175
		66	3.188
		68	3.215
		70	3.232
		72	3.250
		108	2.250

FRENCH DRAIN
ICPR RATING CURVE CALCULATIONS

K= Top of Trench Elevation = **6** ft NGVD
 Bottom of Trench Elevation = **-6.25** ft NGVD
 Hydraulic Conductivity = **3.05E-04** cfs/ft²/ft of head
 Length of Exfiltration = **80.00** ft

Tailwater/ DHW	Headwater	Conditions	d ₁	d ₂	d _p	d _u	d _s	COND 1 E _t	COND 2 E _t	COND 3 E _t	Allowable Exfiltration Rate	Total Exfiltration
2.25	2.25	COND 1	9.5	2.75	0	0	9.5	0	N/A	N/A	0.000	0.000
2.25	4	COND 1	9.5	2.75	1.75	3.75	4.25	0.01401	N/A	N/A	0.014	1.121
2.25	9.5	COND 3	9.5	2.75	7.25	3.75	4.25	N/A	N/A	0.0188	0.019	1.504
3.25	3.25	COND 1	9.5	2.75	0	2.75	5.25	0.01111	N/A	N/A	0.000	0.000
3.25	10	COND 3	9.5	2.75	6.75	2.75	5.25	N/A	N/A	0.02162	0.022	1.729

Note: Tailwater, Headwater and Total Exfiltration Rate columns will be utilized in ICPR Rating Curve

COND 1 Design High Water Elevation and Control Elevation Within Aggregate Media
 COND 2 Design High Water Elevation and Control Elevation Above the Aggregate Media
 COND 3 Design Water Elevation Within Aggregate Media and Peak Water/Control Elevation Above Aggregate Media

APPENDIX-A

QUADS PLAZA BROWARD,
FLORIDA (PROPOSED
CONDITION) NETWORK
DAIGRAM

Nodes

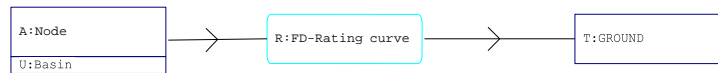
A Stage/Area
V Stage/Volume
T Time/Stage
M Manhole

Basins

O Overland Flow
U SCS Unit CN
S SBUH CN
Y SCS Unit GA
Z SBUH GA

Links

P Pipe
W Weir
C Channel
D Drop Structure
B Bridge
R Rating Curve
H Breach
E Percolation
F Filter
X Exfil Trench



QUADS PLAZA BROWARD,
FLORIDA (PROPOSED
CONDITION) ALL INPUT
DATA

=====
==== Basins =====
=====

Name: Basin	Node: Node	Status: Onsite
Group: BASE	Type: SCS Unit Hydrograph CN	
Unit Hydrograph: Uh256	Peaking Factor: 256.0	
Rainfall File:	Storm Duration(hrs): 0.00	
Rainfall Amount(in): 0.000	Time of Conc(min): 10.00	
Area(ac):0.40260	Time Shift(hrs): 0.00	
Curve Number: 77.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

=====
==== Nodes =====
=====

Name: GROUND	Base Flow(cfs): 0.000	Init Stage(ft): 2.250
Group: BASE		Warn Stage(ft): 4.000
Type: Time/Stage		

Time(hrs)	Stage(ft)
0.00	2.250
360.00	2.250

Name: Node	Base Flow(cfs): 0.000	Init Stage(ft): 2.250
Group: BASE		Warn Stage(ft): 9.000
Type: Stage/Area		

Stage(ft)	Area(ac)
2.250	0.0006
8.500	0.0038
9.000	0.3000
9.500	0.5000

=====
==== Cross Sections =====
=====

Name:	Group: BASE
Encroachment: No	

Station(ft)	Elevation(ft)	Manning's N
-------------	---------------	-------------

=====
==== Operating Tables =====
=====

Name: EXFILTRATION	Group: BASE
Type: Rating Curve	
Function: Family of Tailwater-Headwater-Discharge Relationships	

Tailwater(ft)	Headwater(ft)	Discharge(cfs)
---------------	---------------	----------------

QUADS PLAZA BROWARD,
FLORIDA (PROPOSED
CONDITION) ALL INPUT
DATA

2.250	2.25	0.00
2.250	4.00	1.12
2.250	9.50	1.50
3.250	3.25	0.00
3.250	10.00	1.73

=====
Rating Curves =====
=====

Name: FD-Rating curve From Node: Node Count: 1
Group: BASE To Node: GROUND Flow: Positive

TABLE	ELEV ON(ft)	ELEV OFF(ft)
#1: EXFILTRATION	2.260	2.250
#2:	0.000	0.000
#3:	0.000	0.000
#4:	0.000	0.000

=====
Hydrology Simulations =====
=====

Name: 010 YR 24 HR
Filename: C:\Documents and Settings\mdrahman\Desktop\Misc\N. Miami Project\010 YR 24 HR.R32

Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Fdot-24
Rainfall Amount(in): 8.00

Time(hrs)	Print Inc(min)
36.000	5.00

Name: 025 YR 72 HR
Filename: C:\Documents and Settings\mdrahman\Desktop\Misc\N. Miami Project\025 YR 72 HR.R32

Override Defaults: Yes
Storm Duration(hrs): 72.00
Rainfall File: Sfwmd72
Rainfall Amount(in): 12.00

Time(hrs)	Print Inc(min)
360.000	5.00

=====
Routing Simulations =====
=====

Name: 010 YR 24 HR Hydrology Sim: 010 YR 24 HR
Filename: C:\Documents and Settings\mdrahman\Desktop\Misc\N. Miami Project\010 YR 24 HR.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00	Delta Z Factor: 0.00500
Time Step Optimizer: 10.000	
Start Time(hrs): 0.000	End Time(hrs): 36.00
Min Calc Time(sec): 0.2500	Max Calc Time(sec): 30.0000
Boundary Stages: 24 HR STORM	Boundary Flows:

Time(hrs)	Print Inc(min)
-----	-----

QUADS PLAZA BROWARD,
FLORIDA (PROPOSED
CONDITION) ALL INPUT
DATA

999.000 5.000

Group Run

BASE Yes

Name: 025 YR 72 HR Hydrology Sim: 025 YR 72 HR
Filename: C:\Documents and Settings\mdrahman\Desktop\Misc\N. Miami Project\025 YR 72 HR.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 108.00
Min Calc Time(sec): 0.2500 Max Calc Time(sec): 30.0000
Boundary Stages: 25 Y 72 HR Boundary Flows:

Time(hrs) Print Inc(min)

999.000 5.000

Group Run

BASE Yes

=====
==== Boundary Conditions =====
=====

Name: 24 HR STORM Node: GROUND Type: Stage

Time(hrs)	Stage(ft)
0.000	2.250
1.000	2.260
2.000	2.280
3.000	2.310
4.000	2.340
5.000	2.370
6.000	2.410
7.000	2.450
8.000	2.490
9.000	2.550
10.000	2.610
11.000	2.690
12.000	2.790
13.000	2.860
14.000	2.920
15.000	2.980
16.000	3.030
17.000	3.070
18.000	3.110
19.000	3.150
20.000	3.180
21.000	3.210
22.000	3.230
23.000	3.240
24.000	3.250
36.000	2.250

Name: 25 Y 72 HRNode: GROUNDType: Stage Time(hrs)

Stage(ft)

QUADS PLAZA BROWARD,
FLORIDA (PROPOSED
CONDITION) ALL INPUT
DATA

0.000	2.250
24.000	2.357
36.000	2.435
48.000	2.514
49.000	2.522
50.000	2.529
51.000	2.538
52.000	2.547
53.000	2.560
54.000	2.575
55.000	2.594
56.000	2.615
57.000	2.640
57.500	2.655
58.000	2.671
58.500	2.689
59.000	2.712
59.500	2.749
60.000	2.997
60.500	3.051
61.000	3.079
61.500	3.099
62.000	3.116
62.500	3.129
63.000	3.140
64.000	3.162
65.000	3.175
66.000	3.188
68.000	3.215
70.000	3.232
72.000	3.250
108.000	2.250

Name: 100 Y 72 HR	Node: GROUND	Type: Stage
Time(hrs)	Stage(ft)	
0.000	50.000	
108.000	50.000	

Name: 100 Y 72 HR	Node: Outfall-NW-89-5	Type: Stage
Time(hrs)	Stage(ft)	
0.000	50.000	
108.000	50.000	

Name: 100 Y 72 HR	Node: Outfall-NW-89-4	Type: Stage
Time(hrs)	Stage(ft)	
0.000	50.000	
108.000	50.000	

Name: 100 Y 72 HR	Node: Outfall-NW-89-3	Type: Stage
Time(hrs)	Stage(ft)	
0.000	50.000	
108.000	50.000	

Name: 100 Y 72 HR	Node: Outfall-NW-89-2	Type: Stage
Time(hrs)	Stage(ft)	

QUADS PLAZA BROWARD,
FLORIDA (PROPOSED
CONDITION) ALL INPUT
DATA

0.000	50.000
108.000	50.000

Name: 100 Y 72 HR	Node: Outfall-NW-89-1	Type: Stage
Time(hrs)	Stage(ft)	

0.000	50.000
108.000	50.000

QUADS PLAZA BROWARD,
 FLORIDA (PROPOSED
 CONDITION) NODE MAX-
 REPORT

Name	Group	Simulation	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Surf Area ft2	Max Time Inflow hrs
Node	BASE	010 YR 24 HR	12.05	4.13	9.00	0.0050	113	12.00
Node	BASE	025 YR 72 HR	60.45	8.99	9.00	0.0050	12899	60.00

APPENDIX-B



March 8, 2024

Baktier Khan
Quads Investment, LLC
11121 Southwest 146 Place
Miami, Florida 33186

Via Email Only

Dear Mr. Khan:

Re: Platting requirements for a parcel legally described as Lots 12-16, Block 3, "Corrected Plat Hollywood Beach Gardens," according to the Plat thereof, as recorded in Plat Book 10, Page 14, of the Public Records of Broward County, Florida. This parcel is generally located on the south side of Johnson Street, between North 57 Avenue and North 58 Avenue, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed mixed-use development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. A majority of the lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.40 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

Baktier Khan
March 8, 2024
Page Two

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Dawn Teetsel at your convenience.

Respectfully,

A handwritten signature in blue ink, appearing to read 'BBB', with a stylized flourish extending from the bottom right.

Barbara Blake Boy
Executive Director

BBB:DBT

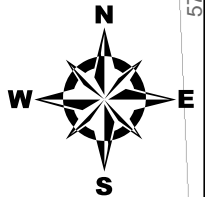
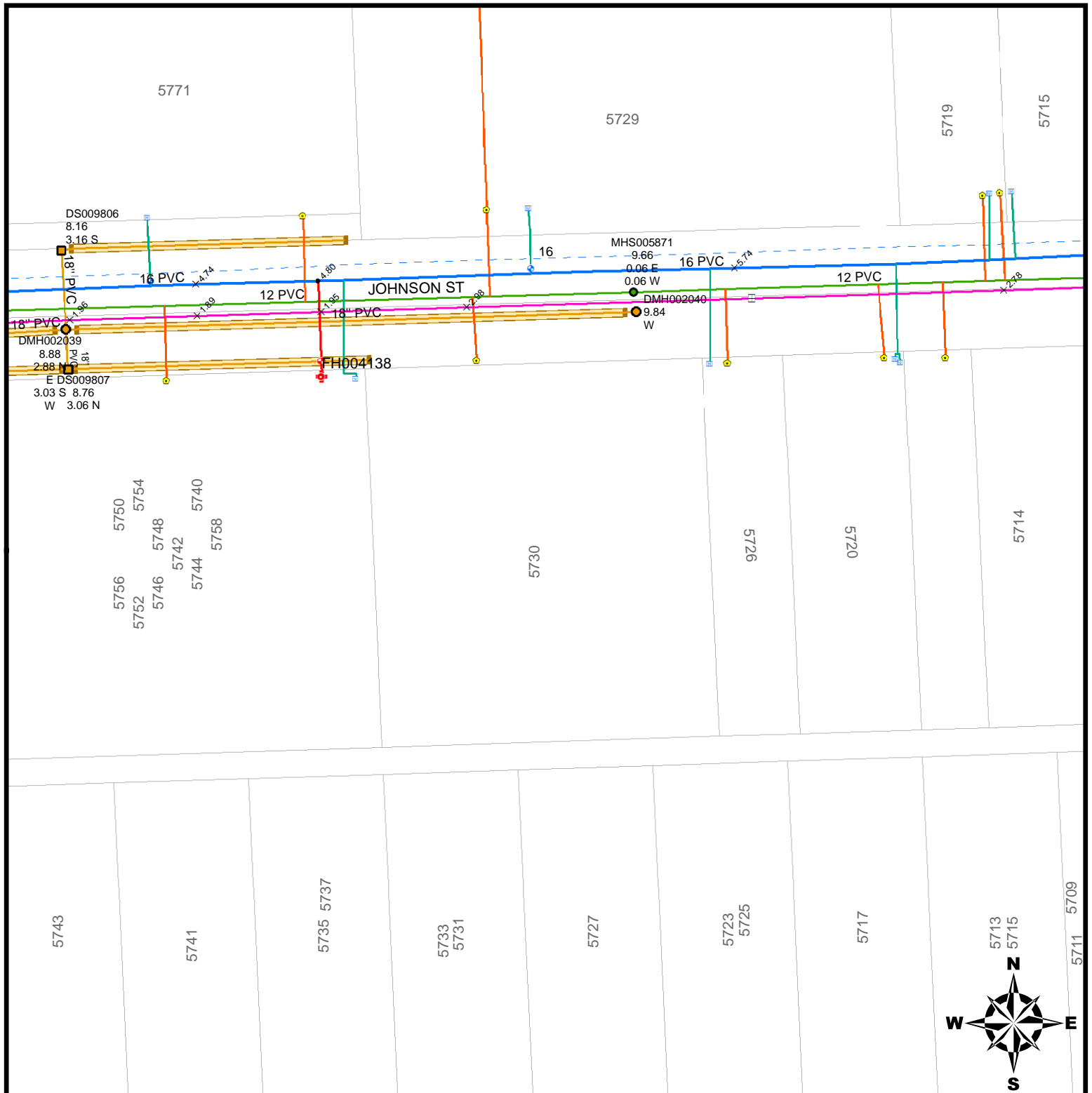
cc/email: George R. Keller, Jr., CPPT, City Manager
City of Hollywood

Andria Wingett, Director, Development Services
City of Hollywood



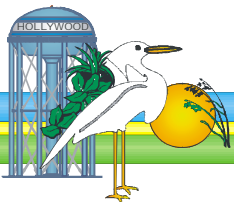


UTILITY ATLAS MAPLET



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Property Id: 514113020190

**Please see map disclaimer



August 29, 2022

