

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- City Commission
- Historic Preservation Board
- Planning and Development Board

Date of Application: 6/2/2017

Location Address: NE corner of SW 25th Avenue and SW 39th Avenue
 Lot(s): N/A Block(s): N/A Subdivision: Port 95 Commerce Park
 Folio Number(s): 5042 29 40 0045
 Zoning Classification: IM-3 Land Use Classification: Industrial
 Existing Property Use: Vacant Sq Ft/Number of Units: 102,635 sf
 Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.
 Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

- Economic Roundtable
- City Commission
- Technical Advisory Committee
- Planning and Development
- Historic Preservation Board

Explanation of Request: Construction of a new manufacturing facility for Sintavia.

Number of units/rooms: N/A Sq Ft: 52,125 sf
 Value of Improvement: 8,500,000. Estimated Date of Completion: 12/2018
 Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Brian Neff c/o Apogee Investment Partners, LLC
 Address of Property Owner: 3060 SW 2nd Avenue, Fort Lauderdale, FL 33316
 Telephone: 954 889-0601 Fax: _____ Email Address: bneff@sintavia.com
 Name of Consultant/Representative/Tenant (circle one): Doug Snyder c/o FSMY Architects/Planners
 Address: 888 S Andrews Ave., Ft. Lauderdale, FL 33316 Telephone: 954 764-6575
 Fax: 954 764-8622 Email Address: dsnyder@fsmyarch.com
 Date of Purchase: 12/2016 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: None

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:  Date: 6/2/2017

PRINT NAME: Brian Neff Date: 6/2/2017

Signature of Consultant/Representative:  Date: 6/2/2017

PRINT NAME: Doug Snyder Date: 6/2/2017

Signature of Tenant: N/A Date: _____

PRINT NAME: N/A Date: _____

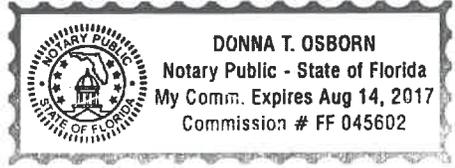
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Approval _____ to my property, which is hereby made by me or I am hereby authorizing Doug Snyder to be my legal representative before the TAC & Planning / Development (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 2nd day of June 2017



Notary Public
State of Florida





Signature of Current Owner

Brian Neff

Print Name

My Commission Expires: 8/14/17 (Check One) Personally known to me; OR Produced Identification _____



DESIGNED	DRAWN	CHECKED
NC	NC	DS

REVISIONS

DATE:	COMM:
05-02-2017	16066

SINTAVIA

SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

COVER SHEET

TAC Submittal

_G-001

PORT 95 FACILITY- SINTAVIA

INDEX

SHEET NUMBER	SHEET NAME
_G-001	COVER SHEET
S	SURVEY
CIVIL	
C-1	CONCEPTUAL CIVIL ENGINEERING PLAN
C-2	SITE DETAILS
ARCHITECTURAL	
A-101	SITE PLAN
A-101.1	PARKING CALCULATIONS
A-102	LEVEL- 01
A-103	LEVEL-02 OFFICES
A-104	LEVEL-02- MANUFACTURING
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-401	PHOTOMETRIC SITE PLAN
A-900	EXTERIOR RENDERINGS

INDEX

SHEET NUMBER	SHEET NAME
LANDSCAPING	
L-100	TREE DISPOSITION
L-200	LANDSCAPE PLAN
L-300	DETAILS

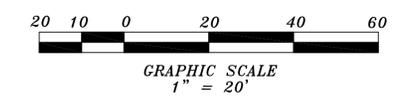
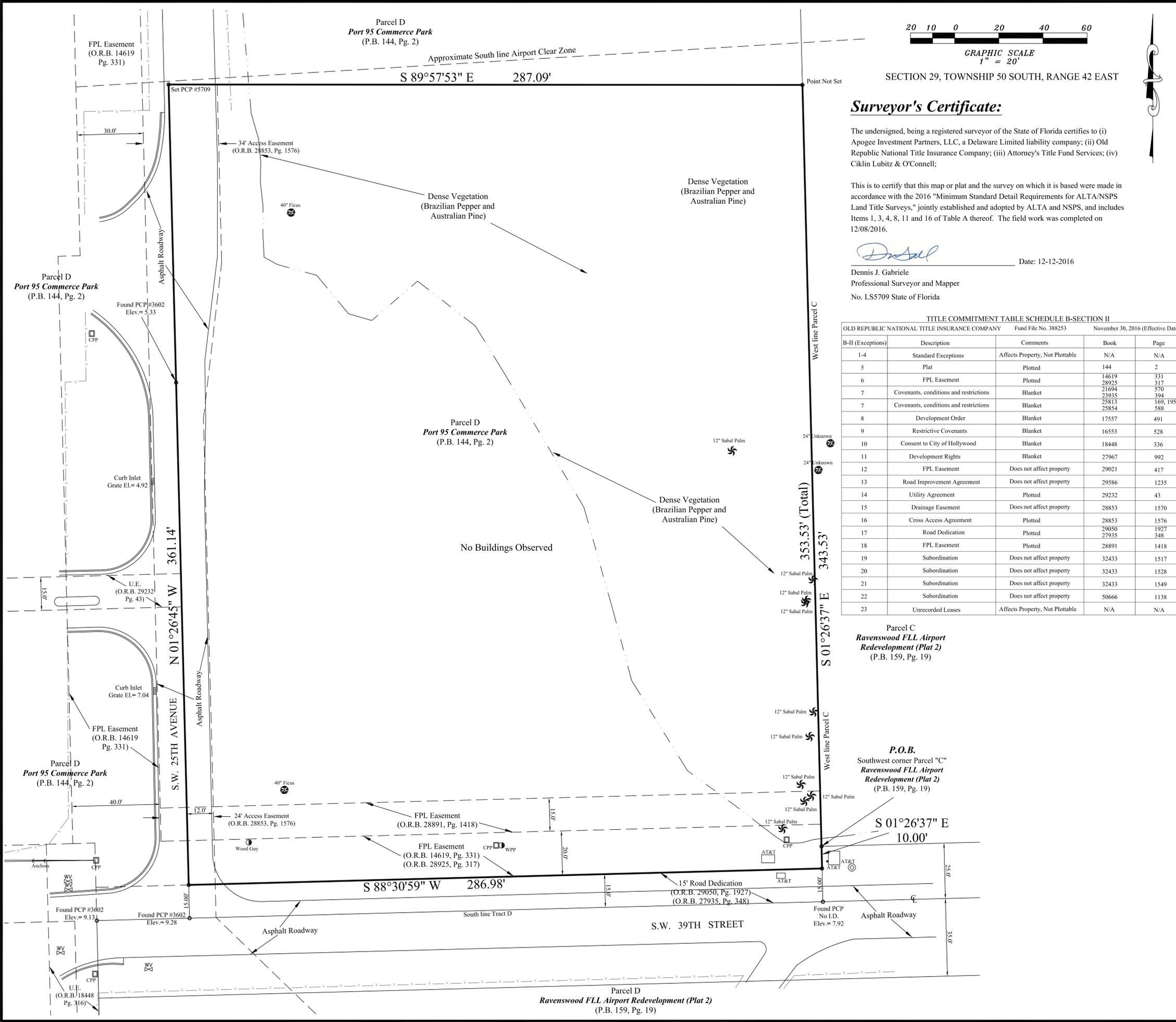
BARRANCO-RLA
Landscape Architect
888 South Andrews Ave. Suite 300
Fort Lauderdale, 33316
954.224.0432

MUE ENGINEERS, INC.
Structural Engineers
3440 NE 12th Avenue
Oakland Park, FL 33334
954.324.4730

KAMM CONSULTING
Mechanical Engineers
1407 W. Newport Center Dr.
Deerfield Beach, Florida 33442
954.949.2200

FLYNN ENGINEERING SERVICES, P.A.
Civil Engineers
241 Commercial Blvd.
Lauderdale ByThe Sea, Florida 33308
954.522.1004

FSMY ARCHITECTS
888 South Andrews Avenue
Suite 300
Fort Lauderdale, FL 33316
954.764.6575



SECTION 29, TOWNSHIP 50 SOUTH, RANGE 42 EAST

Surveyor's Certificate:

The undersigned, being a registered surveyor of the State of Florida certifies to (i) Apogee Investment Partners, LLC, a Delaware Limited liability company; (ii) Old Republic National Title Insurance Company; (iii) Attorney's Title Fund Services; (iv) Clikin Lubitz & O'Connell;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 8, 11 and 16 of Table A thereof. The field work was completed on 12/08/2016.

D. J. Gabriele
 Dennis J. Gabriele
 Professional Surveyor and Mapper
 No. LS5709 State of Florida

TITLE COMMITMENT TABLE SCHEDULE B-SECTION II

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY	Fund File No. 388253	November 30, 2016 (Effective Date)	Book	Page
B-II (Exceptions)	Description	Comments	Book	Page
1-4	Standard Exceptions	Affects Property, Not Plottable	N/A	N/A
5	Plat	Plotted	144	2
6	FPL Easement	Plotted	14619 28925	331 317
7	Covenants, conditions and restrictions	Blanket	21694 23935	570 394
7	Covenants, conditions and restrictions	Blanket	25813 25854	169, 195 588
8	Development Order	Blanket	17557	491
9	Restrictive Covenants	Blanket	16553	528
10	Consent to City of Hollywood	Blanket	18448	336
11	Development Rights	Blanket	27967	992
12	FPL Easement	Does not affect property	29021	417
13	Road Improvement Agreement	Does not affect property	29586	1235
14	Utility Agreement	Plotted	29232	43
15	Drainage Easement	Does not affect property	28853	1570
16	Cross Access Agreement	Plotted	28853	1576
17	Road Dedication	Plotted	29050 27935	1927 348
18	FPL Easement	Plotted	28891	1418
19	Subordination	Does not affect property	32433	1517
20	Subordination	Does not affect property	32433	1528
21	Subordination	Does not affect property	32433	1549
22	Subordination	Does not affect property	50666	1138
23	Unrecorded Leases	Affects Property, Not Plottable	N/A	N/A

LEGEND:

- TREE
- PALM TREE
- ANCHOR
- EXISTING ELEVATION
- WOOD POWER POLE (WPP)
- WATER VALVE
- CONCRETE POWER POLE (CPP)
- PERMANENT CONTROL POINT
- CENTERLINE
- B.C.R. BROWARD COUNTY RECORDS
- O.R.B. OFFICIAL RECORDS BOOK
- P.B. PLAT BOOK

SURVEYOR'S NOTES:

THE BEARINGS SHOWN HEREON ARE REFERENCED TO THE WEST LINE PARCEL C, **RAVENSWOOD FLL AIRPORT REDEVELOPMENT (PLAT 2)**, PLAT BOOK 159, PAGE 19. SAID LINE BEARS NORTH 01°26'37" WEST.

BENCHMARK REFERENCE: ELEVATIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS REFERENCED TO THE FFRN NETWORK.

ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.

NO ATTEMPT WAS MADE TO LOCATE ANY UNDERGROUND UTILITIES EXCEPT AS SHOWN.

NO ATTEMPT WAS MADE TO DELINEATE ANY WETLANDS.

DIG SURVEYING HAS REVIEWED OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY'S TITLE COMMITMENT FUND FILE NO. 388253. ALL EXCEPTIONS LISTED IN SCHEDULE B-2 HAVE BEEN REVIEWED AND DEPICTED WHERE POSSIBLE.

THERE IS NO OBSERVED EVIDENCE OF SITE USE FOR CEMETERY OR FAMILY BURIAL SITES.

THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

THE PROPERTY SHOWN HEREON LIES IN FLOOD ZONE AH, BASE ELEVATION OF 6.0', FEMA MAP NO. 12011C0558H, COMMUNITY NO. 125113, CITY OF HOLLYWOOD, WITH A DATE OF AUGUST 18, 2014.

LEGAL DESCRIPTION:

A portion of Parcel D, **Port 95 Commerce Park**, according to the plat thereof, as recorded in Plat Book 144, Page 2, of the Public Records of Broward County, Florida, being more particularly described as follows:

Beginning at the Southwest corner Parcel C, **RAVENSWOOD FLL AIRPORT REDEVELOPMENT (PLAT 2)**, Plat Book 159, Page 19, of the Public Records of Broward County, Florida;

Thence, South 01°26'37" East, along the Southerly projection of the West line of said Parcel C, a distance of 10.00 feet to a point 15.00 feet North of the centerline of SW 39th Street as shown on said **RAVENSWOOD FLL AIRPORT REDEVELOPMENT (PLAT 2)**;

Thence, South 88°30'59" West, along the Westerly projection of said centerline, a distance of 286.98 feet;

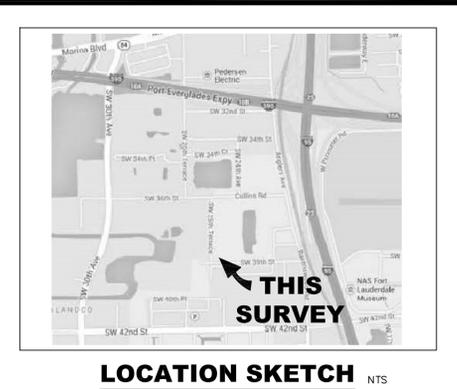
Thence, North 01°26'45" West, a distance of 361.14 feet;

Thence, South 89°57'53" East, a distance of 287.09 feet to a point on the West line of said Parcel C;

Thence, South 01°26'37" East, along said West line, a distance of 343.53 feet to the **Point of Beginning**.

Said lands lying and being in the City of Hollywood, Broward County, Florida, and containing 102,550.13 net square feet (2.354 acres) more or less.

Said lands lying and being in the City of Hollywood, Broward County, Florida, and containing 102,550.13 net square feet (2.354 acres) more or less.



No.	DESCRIPTION	BY	DATE	CK'D
3	Update Survey to Current ALTA	MRK	12/11/16	DJG
2	Address City Comments	MRK	10/1/14	DJG
1	ADD ALTA CERTIFICATION	MRK	8/5/14	DJG

REVISIONS

PORT 95 COMMERCE PARK A PORTION OF PARCEL D BOUNDARY SURVEY ALTA/NSPS LAND TITLE SURVEY

DJG Surveying and Mapping, Inc.

6750 NW 9TH COURT • MARGATE, FLORIDA 33063
 PHONE: 954-675-7244 • EMAIL: ADMIN@DJGSURVEY.COM
 www.djgsurvey.com

LB# 7682

JOB NO. 14-0214

DRAWN BY: MRK

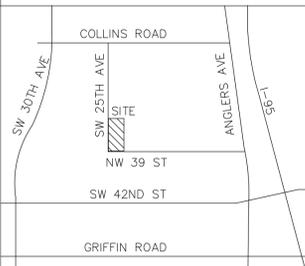
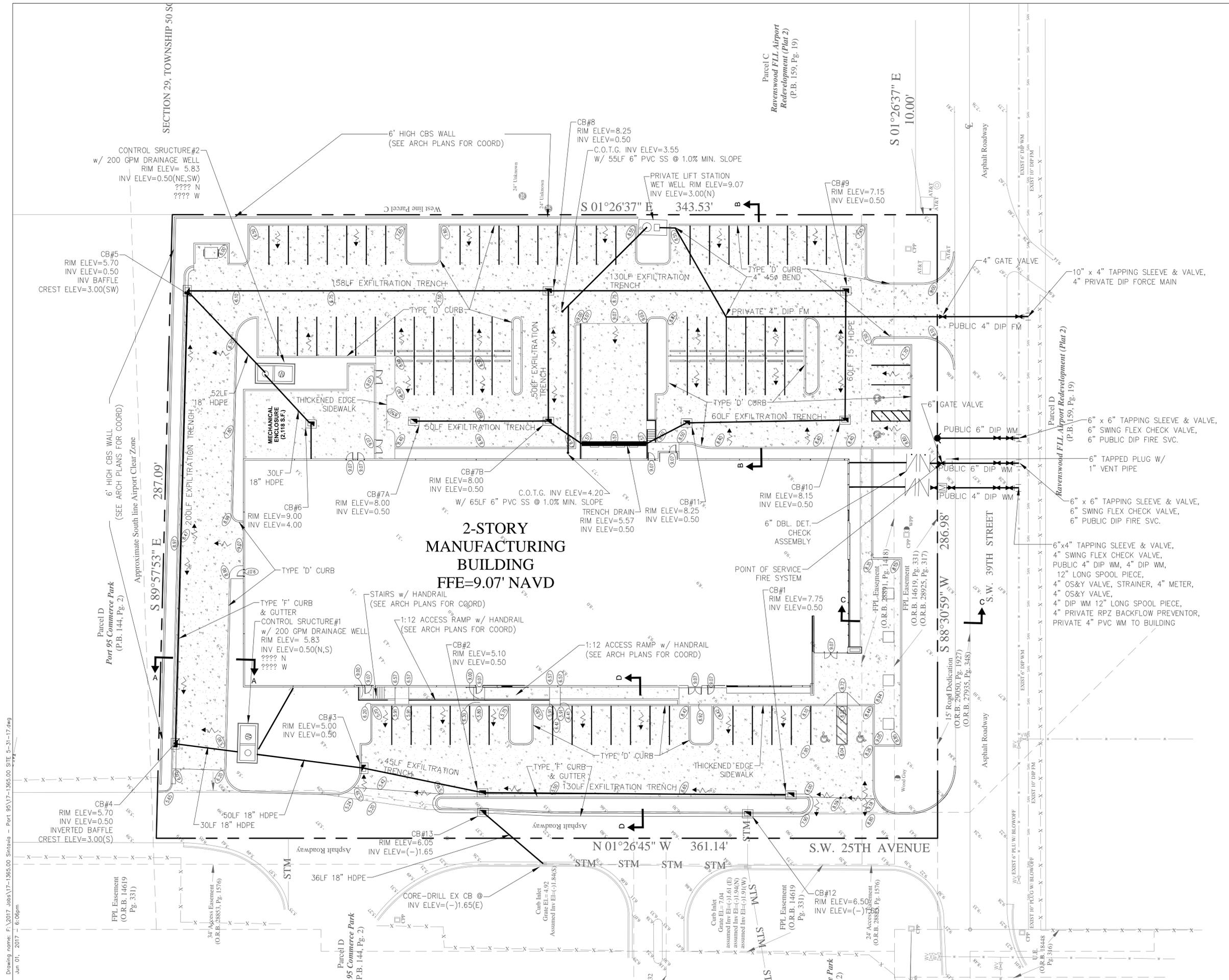
CHECKED BY: DJG

SCALE: 1" = 20'

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

D. J. Gabriele

12/12/2016
 DENNIS J. GABRIELE
 Professional Surveyor and Mapper
 NO. LS 5709
 State of Florida



LOCATION MAP
NTS

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
3. THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
5. ALL SIDEWALKS SHALL BE SLOPED AWAY FROM BUILDINGS.
6. MAXIMUM GRASS SLOPES SHALL NOT EXCEED 4:1.
7. CONTRACTOR SHALL COORDINATE GRADING PLAN WITH LANDSCAPE ARCHITECT.
8. SEE ARCHITECTURAL SITE PLAN FOR SITE DATA BREAKDOWN.
9. ALL UTILITIES INCLUDING TELEPHONE, ELECTRICAL, CABLE, ETC. MUST BE INSTALLED UNDERGROUND.
10. SURVEY INFORMATION BASED ON SURVEY PROVIDED BY DJG SURVEYING & MAPPING, INC., DATED DECEMBER 2016.
11. ELEVATIONS SHOWN ARE NAVD88

LEGEND:

- PROPOSED ELEVATION (NGVD)
- EXISTING ELEVATION (NGVD)
- PROPOSED CATCH BASIN
- PROPOSED PLUG
- TEE
- WATER METER
- DOUBLE DETECTOR CHECK VALVE/WAFER CHECK VALVE ON DOWNSTREAM SIDE
- REDUCED PRESSURE BACKFLOW PREVENTOR
- DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
- PROPOSED MANHOLE
- WATER MAIN
- SANITARY FORCE MAIN
- VALVE
- FIRE HYDRANT
- SIAMESE CONNECTION
- CLEANOUT
- EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- EXIST. WATER MAIN
- EXIST. UTILITY LINE TO BE REMOVED



VERTICAL DATUM CONVERSION
GRADING SHOWN UTILIZES N.A.V.D. 88

N.G.V.D. 29
N.A.V.D. 88

N.A.V.D. 88 = N.G.V.D. 29 - 1.5'
N.G.V.D. 29 = N.A.V.D. 88 + 1.5'

FES
FLYNN ENGINEERING SERVICES, P.A.
CIVIL ENGINEERS

241 COMMERCIAL BLVD.
LAUDERDALE BY THE SEA, FL 33308
PHONE: (954) 522-1004
FAX: (954) 522-7630
www.flynnengineering.com
EB# 6578

Sheet Title
**CONCEPTUAL CIVIL
ENGINEERING PLAN**

Job Title
SINTAVIA
HOLLYWOOD, FLORIDA



Revisions

NO.	DATE	DESCRIPTION

Phase:
DRC DOCUMENTS

SEAL

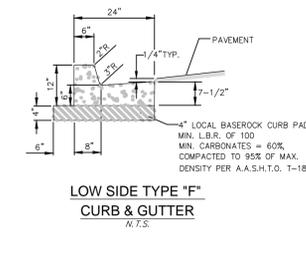
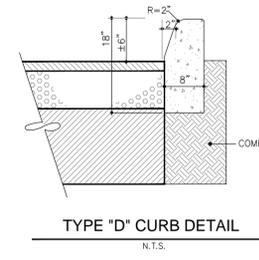
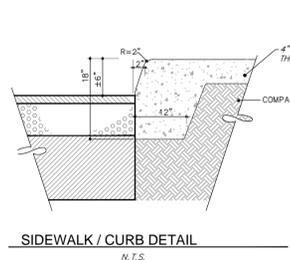
Scale:	Date:
1"=20'	05/18/17
Job No.	Plot Date
17-1365.00	06/05/17
Drawn by:	Sheet No.
FES	C1
Proj. Mgr.	
FES	
Appr. by:	
JMF	1 of 4

Drawing name: F:\2017_jobs\17-1365.00_Sintavia - Part 95\17-1365.00_SITE_5-31-17.dwg
 Jun 01, 2017 - 6:06pm

SUMMARY OF DRAINAGE STRUCTURES

STRUCTURE #	TYPE	"A"	"B"	"C"	"D"	"E"	"F"	"G"	"H"	U.S.F. # OR EQUAL FRAME	U.S.F. # OR EQUAL GRATE
CB#	"J"	4'-0" ø	8"	#4 @ 12" CCEW	#4 @ 12" CCEW	6'-4" ø	5'-4" ø	#4 @ 6" CCEW	4155	6209 CAST IRON	
CB# 2,4,5	"C"	24"	37"	#4 @ 12" CCEW	#4 @ 12" CCEW	46"	59"	#4 @ 6" CCEW	4155	6210 STEEL	
CB# 1,6,8	"J"	4'-0" ø	8"	#4 @ 12" CCEW	#4 @ 12" CCEW	6'-4" ø	5'-4" ø	#4 @ 8" CCEW	420	TYPE "C"	
CB# 3	"J"	36"	54"	#4 @ 12" CCEW	#4 @ 12" CCEW	52"	70"	#4 @ 6" CCEW	420	6290 CAST IRON	
CB#	"J"	6'-0" ø	8"	#5 @ 6" CCEW	#5 @ 6" CCEW	8'-4" ø	7'-4" ø	#5 @ 6" CCEW	4155	6209 CAST IRON	
CB#	"C"	42"	72"	#5 @ 6" CCEW	#5 @ 6" CCEW	66"X96"	58"X88"	#6 @ 6" CCEW	440	TYPE "C"	
MH#	"J"	5'-0" ø	8"	#5 @ 12" CCEW	#5 @ 12" CCEW	7'-4" ø	6'-4" ø	#5 @ 8" CCEW	420	TYPE "C"	
MH#	"J"	6'-0" ø	8"	#5 @ 6" CCEW	#5 @ 6" CCEW	8'-4" ø	7'-4" ø	#5 @ 6" CCEW	420	TYPE "C"	
MH#	"J"	7'-0" ø	8"	#5 @ 6" CCEW	#5 @ 6" CCEW	9'-4" ø	8'-4" ø	#5 @ 6" CCEW	420	TYPE "C"	
CB# 0,7,9	"C"	24"	37"	#4 @ 12" CCEW	#4 @ 12" CCEW	46"	59"	#4 @ 6" CCEW	5115	6220 CAST IRON	
YD#											

NOTE: ALL DRAINAGE STRUCTURES SHALL HAVE A 2" SUMP

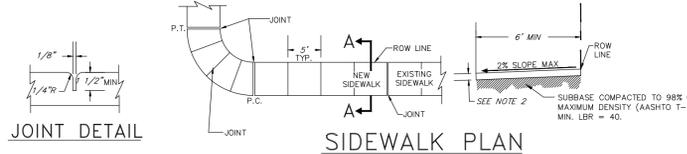
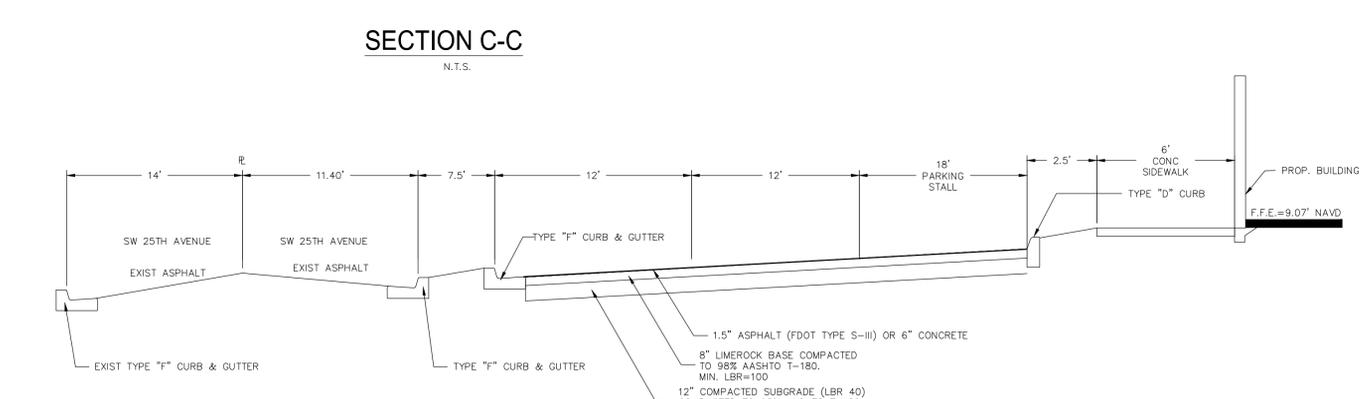
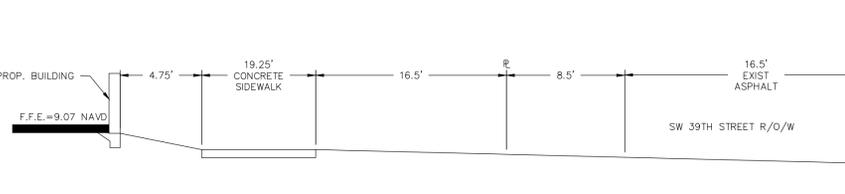
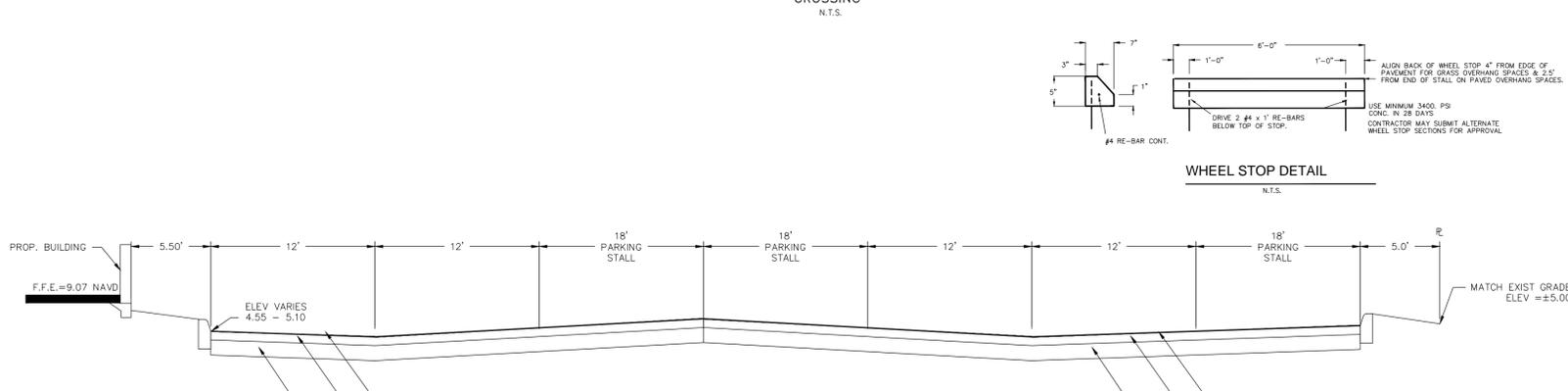
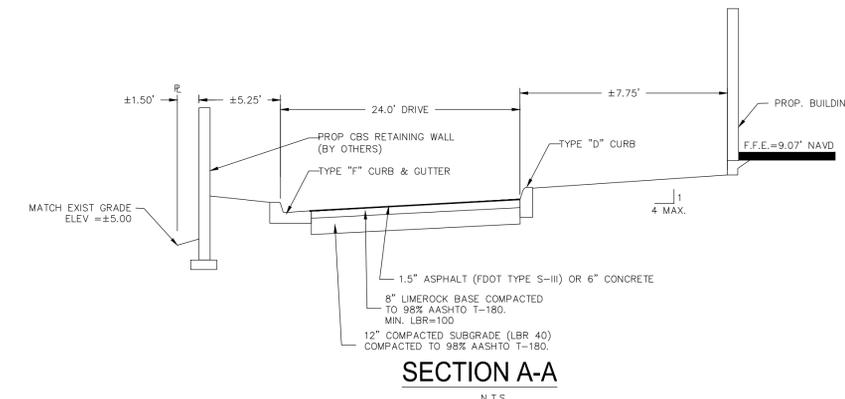
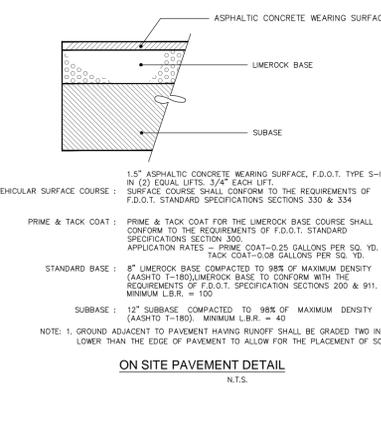
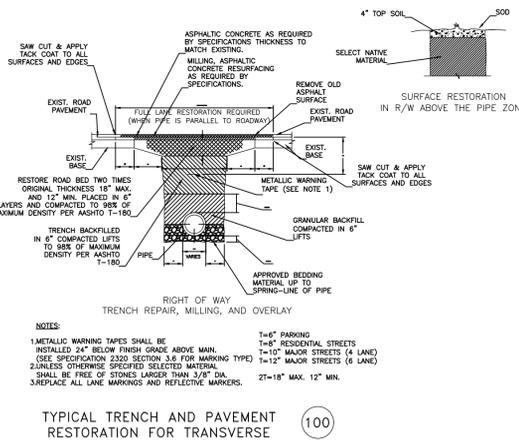
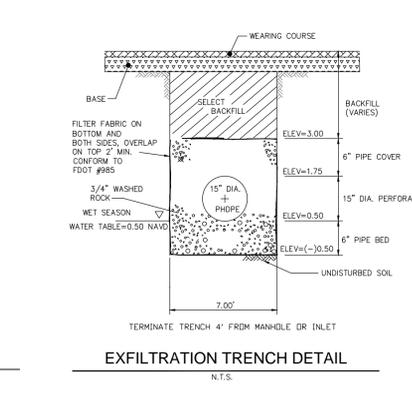
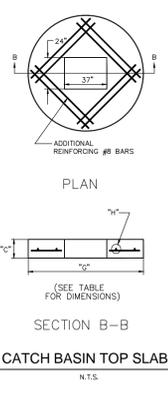
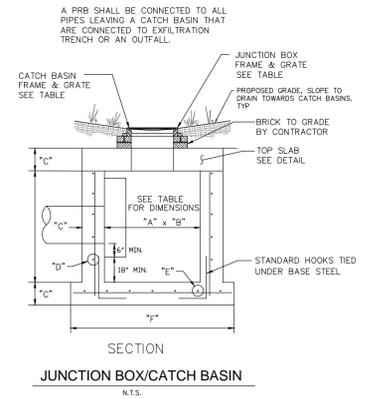
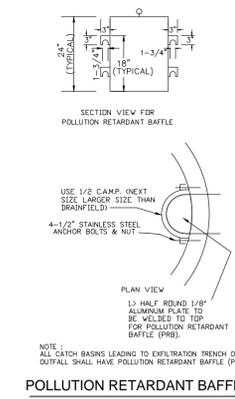


SPACING OF REQUIRED ROADWAY, PARKING AREA AND UTILITY TRENCH TESTS

F.B.V.	DENSITY	L.B.R.	THICKNESS
MAX. SPACING	MAX. SPACING	MAX. SPACING	MAX. SPACING
LN. FEET	50 FEET	LN. FEET	50 FEET
LN. FEET	200	LN. FEET	10,000
LN. FEET	10,000	LN. FEET	300
LN. FEET	10,000	LN. FEET	10,000

ALL TESTING SHALL BE TAKEN IN A STAGED SAMPLING PATTERN FROM A POINT 12" FROM THE LEFT EDGE OF THE ITEM TESTED TO THE CENTER, TO A POINT 12" INSIDE THE RIGHT EDGE.

COMPACTION TEST SCHEDULE
N.T.S.



CONCRETE PAVEMENT & SIDEWALK JOINTS

TABLE OF SIDEWALK JOINTS	LOCATION
P.C. AND P.T. CURVES	JUNCTION OF EXISTING AND NEW SIDEWALKS
5'-0" CENTER TO CENTER ON SIDEWALKS	
15' CENTER TO CENTER MAX. FOR CONCRETE PAVEMENT UNLESS OTHERWISE INDICATED.	

- PROVIDE 1/8" CONTRACTION JOINTS AT 5' C.C. WITH A MINIMUM DEPTH 1 1/2", EDGED WITH A 1/4" RADIUS DEEP WITHIN THE FOLLOWING TIME PERIODS: JOINTS AT NOT MORE THAN 30' INTERVALS - WITHIN 12 HOURS AFTER FINISHING. REMAINING JOINTS WITHIN 96 HOURS AFTER FINISHING.
- PROVIDE 6" THICK CONCRETE FOR ALL SIDEWALKS LOCATED IN RIGHT OF WAY AND 4" THICK CONCRETE FOR ALL SIDEWALKS LOCATED ON-SITE.
- NO REINFORCEMENTS SHALL BE USED IN THE SIDEWALKS.
- CONCRETE TO BE 3,000 PSI IN 28 DAYS.
- CURE ALL CONCRETE WITH CLEAN SAND, PLASTIC MEMBRANE OR OTHER APPROVED METHOD.
- CONCRETE PAVEMENT FOUNDATION SHALL BE COMPACTED TO A FIRM, EVEN SURFACE, TRUE TO GRADE AND CROSS SECTION, AND SHALL BE MOIST AT THE TIME CONCRETE IS PLACED
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL CONSTRUCTION CODES AND STANDARDS

NOTE: CONCRETE TO BE CLASS-1 3000 P.S.I.

CONCRETE PAVEMENT & SIDEWALK DETAIL
N.T.S.

NOTE: ELEVATIONS SHOWN ON THIS PLAN ARE IN NAVD 88.

Sheet Title
SITE DETAILS

Job Title
SINTAVIA
HOLLYWOOD, FLORIDA

Phase:
DRC DOCUMENTS

Revisions

Scale:	Date
N.T.S.	01/04/16
Job No. 17-1365.00	Plot Date 6/5/17
Drawn by FES	Sheet No. C2
Proj. Mgr. FES	
Appr. by JMF	2 of 4

LEGAL DESCRIPTION

A portion of Parcel D, **Port 95 Commerce Park**, according to the plat thereof, as recorded in Plat Book 144, Page 2, of the Public Records of Broward County, Florida, being more particularly described as follows:
Beginning at the Southwest corner Parcel C, **RAVENSWOOD FLL AIRPORT REDEVELOPMENT (PLAT 2)**, Plat Book 159, Page 19, of the Public Records of Broward County, Florida;
Thence, South 01°26'37" East, along the Southerly projection of the West line of said Parcel C, a distance of 10.00 feet to a point 15.00 feet North of the centerline of SW 39th Street as shown on said **RAVENSWOOD FLL AIRPORT REDEVELOPMENT (PLAT 2)**;
Thence, South 88°30'59" West, along the Westerly projection of said centerline, a distance of 286.98 feet;
Thence, North 01°26'45" West, a distance of 361.14 feet;
Thence, South 89°57'53" East, a distance of 287.09 feet to a point on the West line of said Parcel C;
Thence, South 01°26'37" East, along said West line, a distance of 343.53 feet to the **Point of Beginning**.
Said lands lying and being in the City of Hollywood, Broward County, Florida, and containing 102,550.13 net square feet (2.35 acres) more or less.

SITE PLAN DATA TABLE

A. LAND USE DESIGNATION		INDUSTRIAL
B. ZONING DESIGNATION		IM-3
C. WATER/WASTE WATER SERVICE PROVIDED BY		CITY OF HOLLYWOOD
D. SITE AREA		102,635 SF (2.35 ACRES)
E. BUILDING FOOTPRINT COVERAGE		31,329SF (30.52%)
BUILDING ENCLOSURE	29,211 SF	
TOTAL COVERAGE	2,118 SF	31,329 SF
LEVEL 01		
OFFICE FLOOR AREA	5,527 SF	
MANUFACTURING FLOOR AREA	23,684 SF	
TOTAL	29,211 SF	
LEVEL 02		
OFFICE FLOOR AREA	8,333 SF	
MANUFACTURING FLOOR AREA	14,581 SF	
TOTAL	22,914 SF	
TOTAL BUILDING SQUARE FOOTAGE		52,125 SF
G. BUILDING HEIGHT		
REQUIRED	100'-0"	PROVIDED
TOTAL BUILDING HEIGHT	42'-0"	42'-0"
H. STRUCTURE LENGTH		285'-8"
I. SETBACKS		
SETBACK	REQUIRED	PROVIDED
FRONT YARD (SOUTH)	15'-0"	35'-2"
SIDE YARD (EAST)	0'-0"	65'-9"
SIDE YARD (WEST)	0'-0"	127'-1"
REAR YARD (NORTH)	0'-0"	36'-0" TO 38'-10"
J. OPEN SPACE		
REQUIRED (66,038.83 SF X 10%)	6,603 SF (9.9%)	
PROVIDED	12,418 SF (18.3%)	
K. VUA		
LANDSCAPE 20% OF VUA x 825 SF	REQUIRED	PROVIDED
	10,268 SF	10,716 SF
L. LANDSCAPE AREA		
REQUIRED (102,635 SF X 5%)	5,131 SF (5%)	
PROVIDED	17,374 SF	

PARKING DATA

OFFICE AREA:		
LEVEL 01:	4,516 SF	
LEVEL 02:	6,401 SF	
TOTAL =	10,917 SF	
PARKING REQUIRED:	28 SPACES	
10,917 SF / 400 = 27.29		
WAREHOUSE AREA:		
LEVEL 01:	13,934 SF	
LEVEL 02- OFFICES:	1,239 SF	
LEVEL 02- MANUFACTURING:	11,400 SF	
TOTAL =	26,573 SF	
PARKING REQUIRED:	27 SPACES	
26,573 SF / 1,000 = 26.57		
MANUFACTURING AREA:		
LEVEL 01:	10,760 SF	
LEVEL 02:	2,908 SF	
TOTAL =	12,908 SF	
PARKING REQUIRED:	32 SPACES	
12,908 SF / 400 = 32.27		
TOTAL PARKING REQUIRED:	87 SPACES	
TOTAL PARKING PROVIDED:	87 SPACES (4 HC INCLUDED)	
LOADING REQUIREMENTS:		
Area of Building (SF)	REQUIRED	PROVIDED
25,000 - 59,999	2	2

* SEE SHEET A-101.1 FOR GRAPHIC REPRESENTATION



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NC	NC	DS

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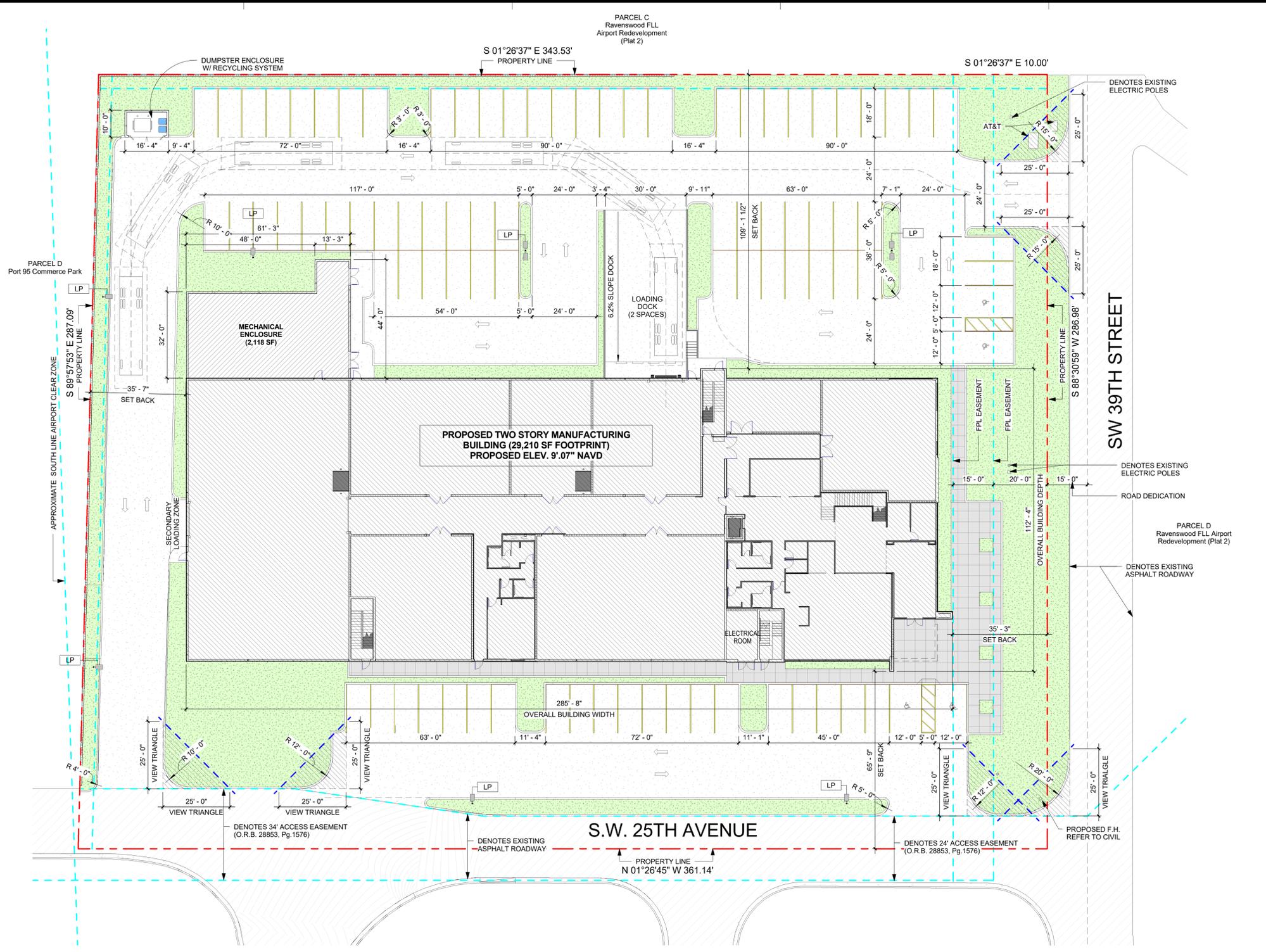
SINTAVIA

SW 25TH AVE AND SW 39TH STREET, HOLLYWOOD FLORIDA

SITE PLAN

TAC Submittal

A-101



1 SITE PLAN
A-101
1" = 20'-0"

NORTH EAST VIEW



SOUTH WEST VIEW



SOUTH EAST VIEW



LOCATION MAP



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SINTAVIA

SW 25TH AVE AND SW 39TH STREET,
 HOLLYWOOD FLORIDA

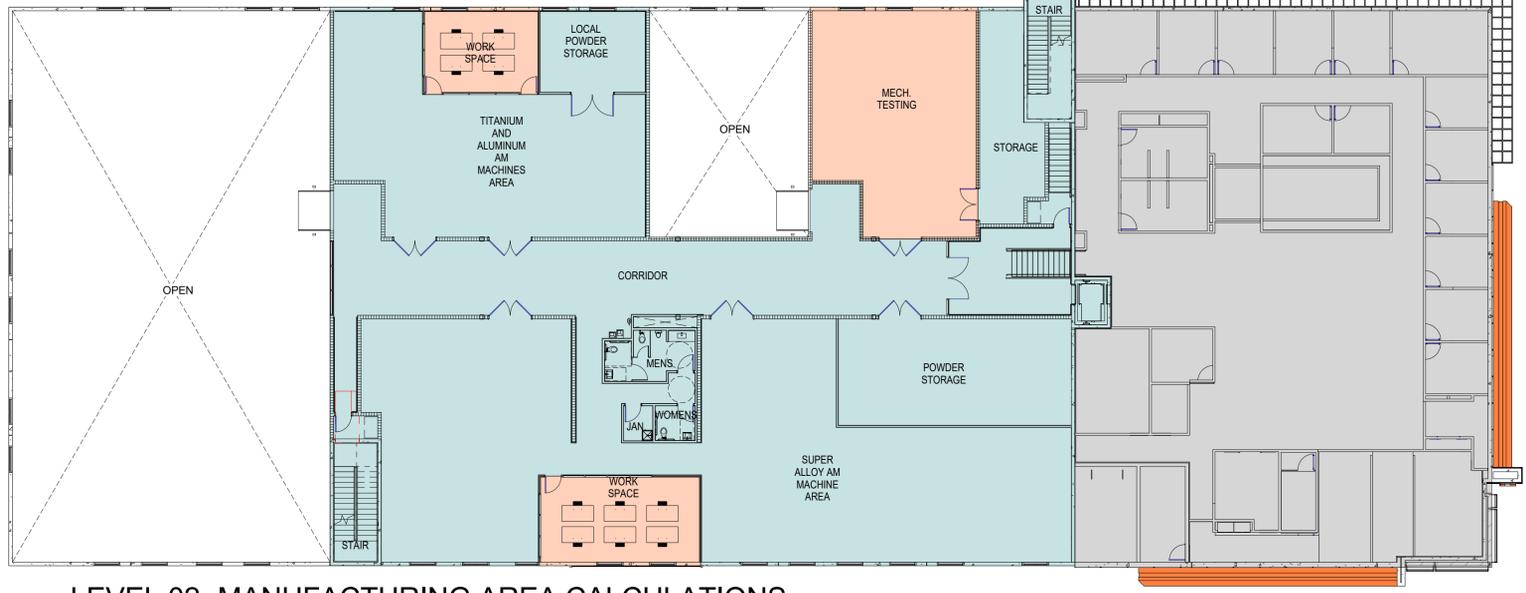
PARKING CALCULATIONS
 TAC Submittal

A-101.1

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LEVEL 02- MANUFACTURING

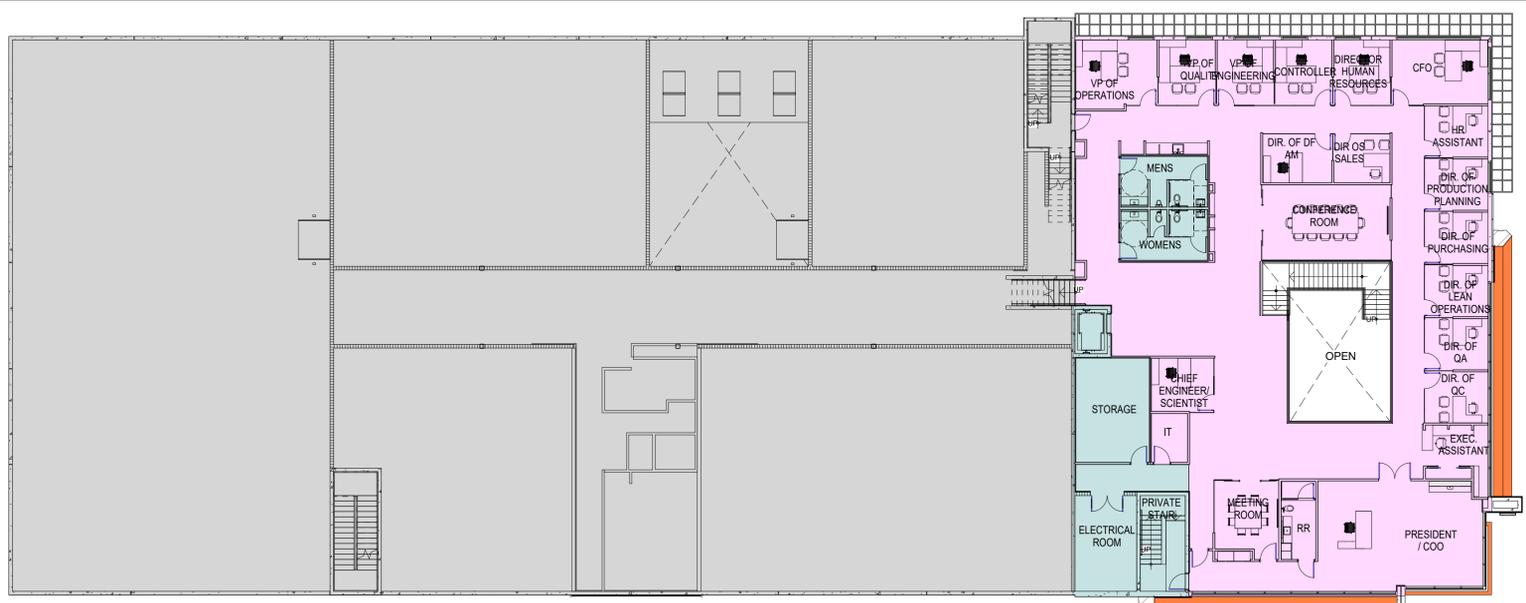
MANUFACTURING AREA:	2,148 SF
WAREHOUSE AREA:	11,400 SF
TOTAL GROSS SF=	13,548 SF



LEVEL 02- MANUFACTURING AREA CALCULATIONS

LEVEL 02- OFFICES

OFFICE AREA:	6,401 SF
WAREHOUSE AREA:	1,239 SF
TOTAL GROSS SF=	7,640 SF



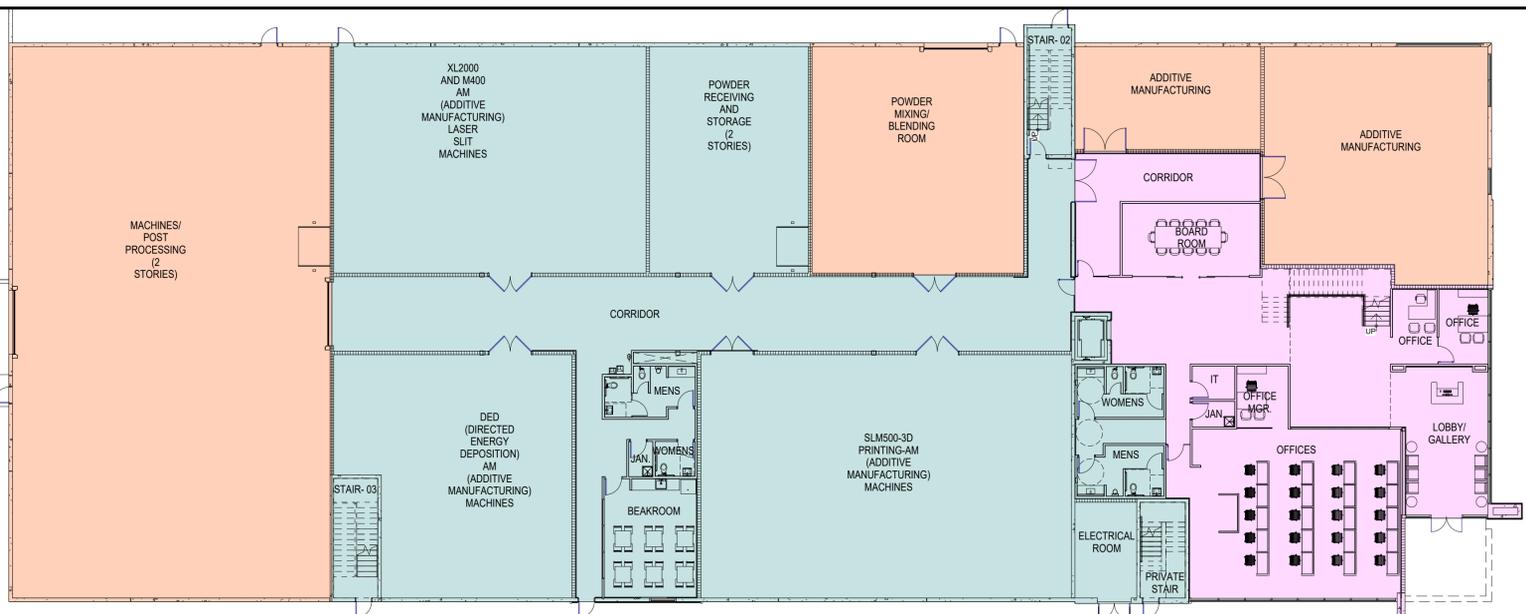
LEVEL 02- OFFICE AREA CALCULATIONS

PARKING CALCULATIONS

OFFICE AREA:		
LEVEL 01:	4,516 SF	
LEVEL 02:	6,401 SF	
TOTAL =	10,917 SF	
PARKING REQUIRED:	10,917 SF / 400 = 27.29	28 SPACES
WAREHOUSE AREA:		
LEVEL 01:	13,934 SF	
LEVEL 02- OFFICES:	1,239 SF	
LEVEL 02- MANUFACTURING:	11,400 SF	
TOTAL =	26,573 SF	
PARKING REQUIRED:	26,573 SF / 1,000 = 26.57	27 SPACES
MANUFACTURING AREA:		
LEVEL 01:	10,760 SF	
LEVEL 02:	2,908 SF	
TOTAL=	12,908 SF	
PARKING REQUIRED:	12,908 SF / 400 = 32.27	32 SPACES
TOTAL PARKING REQUIRED:		87 SPACES
TOTAL PARKING PROVIDED:		87 SPACES (4 HC INCLUDED)
LOADING REQUIREMENTS:		
Area of Building (SF)	25,000 - 59,999	REQUIRED 2 PROVIDED 2

LEVEL- 01

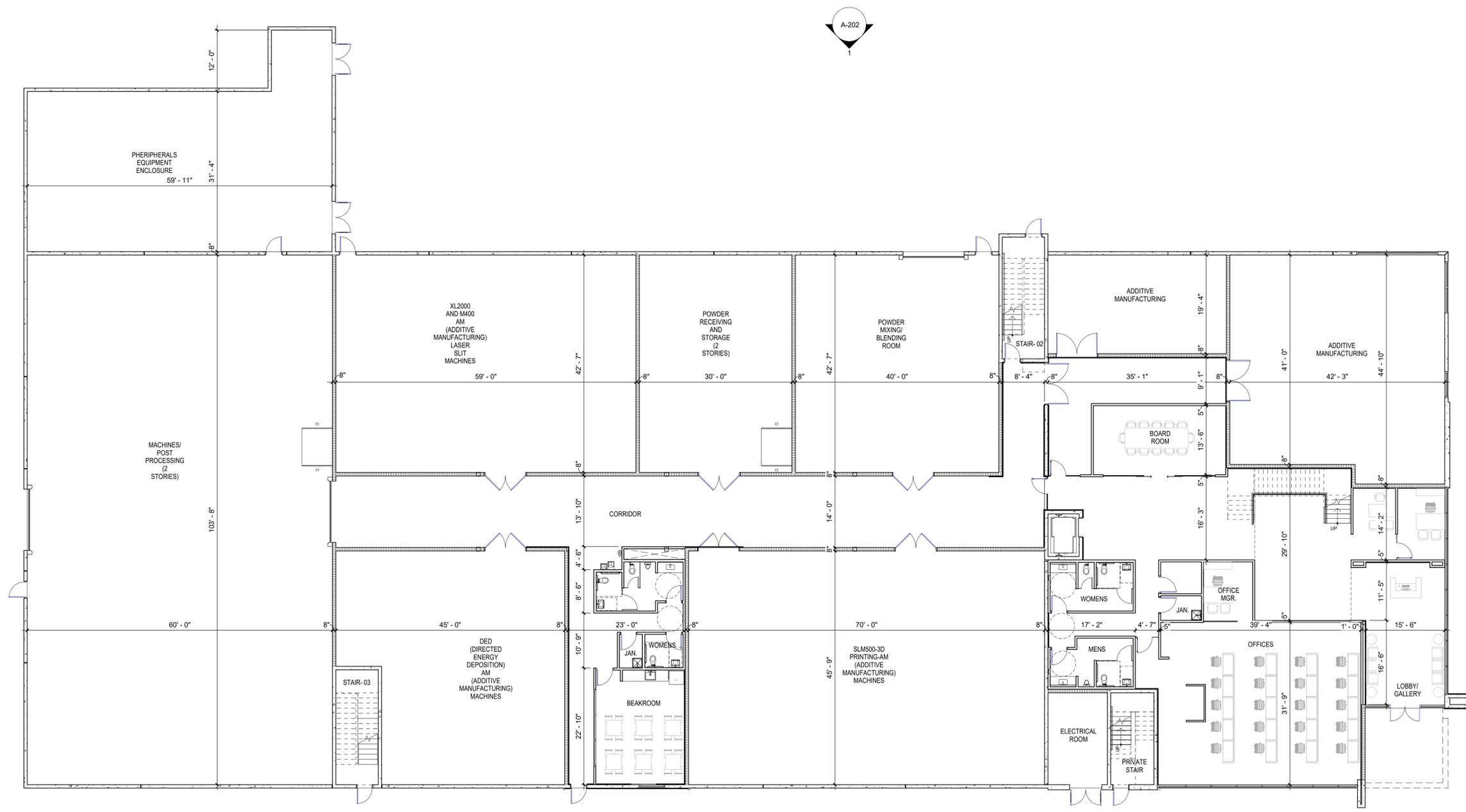
OFFICE AREA:	4,516 SF
MANUFACTURING AREA:	10,760 SF
WAREHOUSE AREA:	13,934 SF
TOTAL GROSS SF=	29,210 SF



LEVEL- 01 AREA CALCULATIONS



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1
A-102
LEVEL- 01
3/32" = 1'-0"

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SINTAVIA

SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

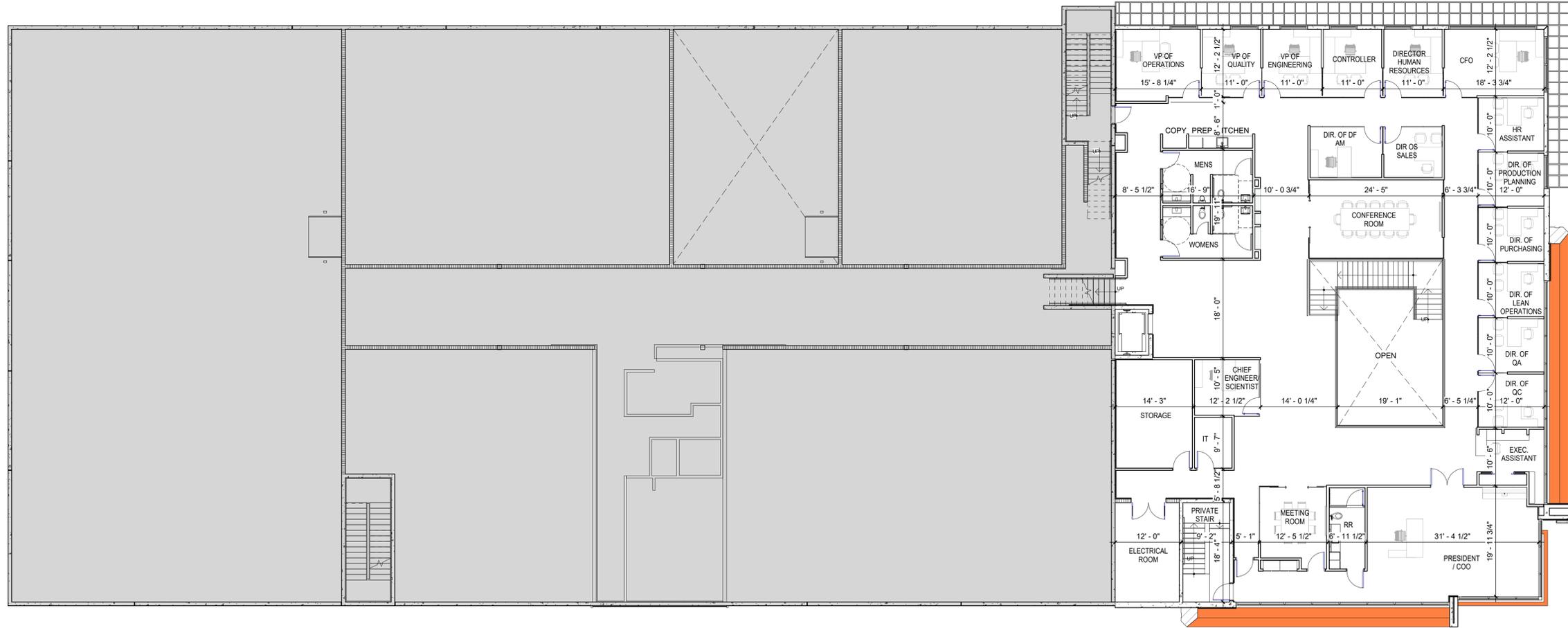
LEVEL- 01
TAC Submittal

A-102

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N.C	N.C.	D.S.



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SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

LEVEL-02 OFFICES

TAC Submittal

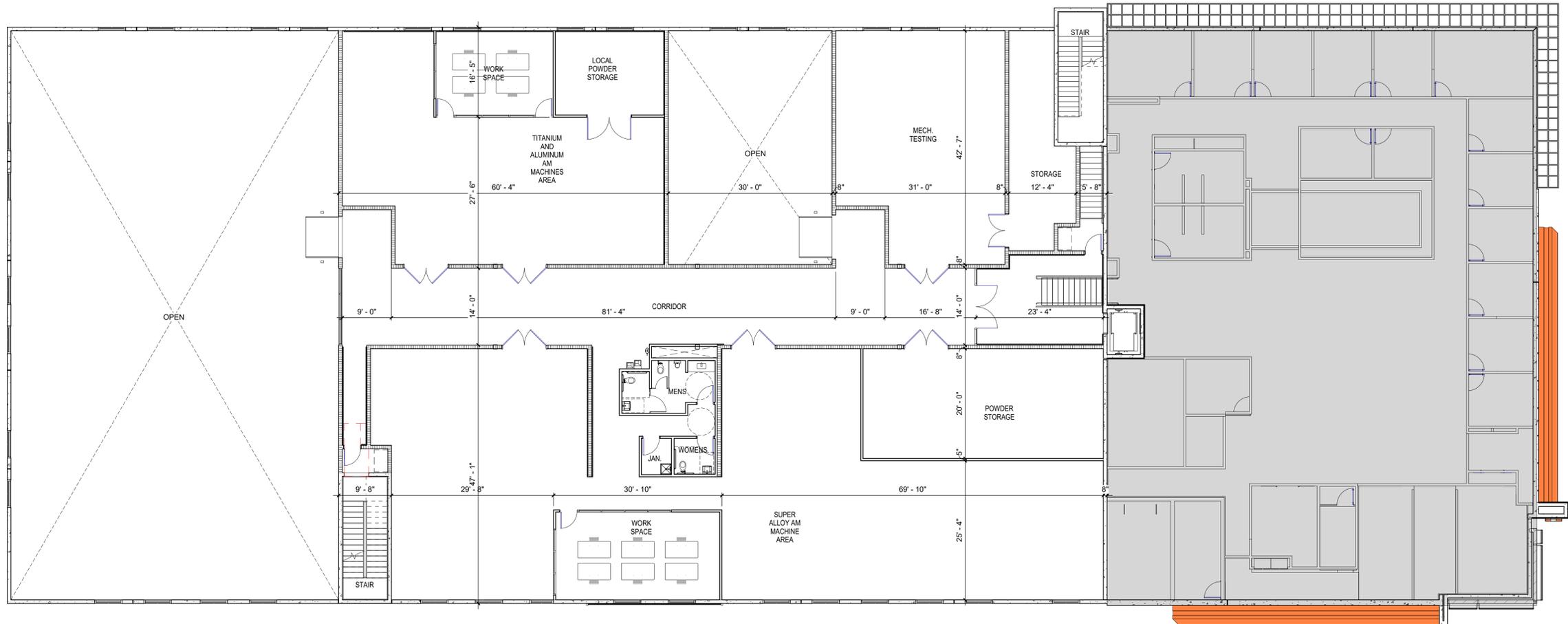
A-103

1 LEVEL 02- OFFICES
A-103 3/32" = 1'-0"

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SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

LEVEL 02- MANUFACTURING

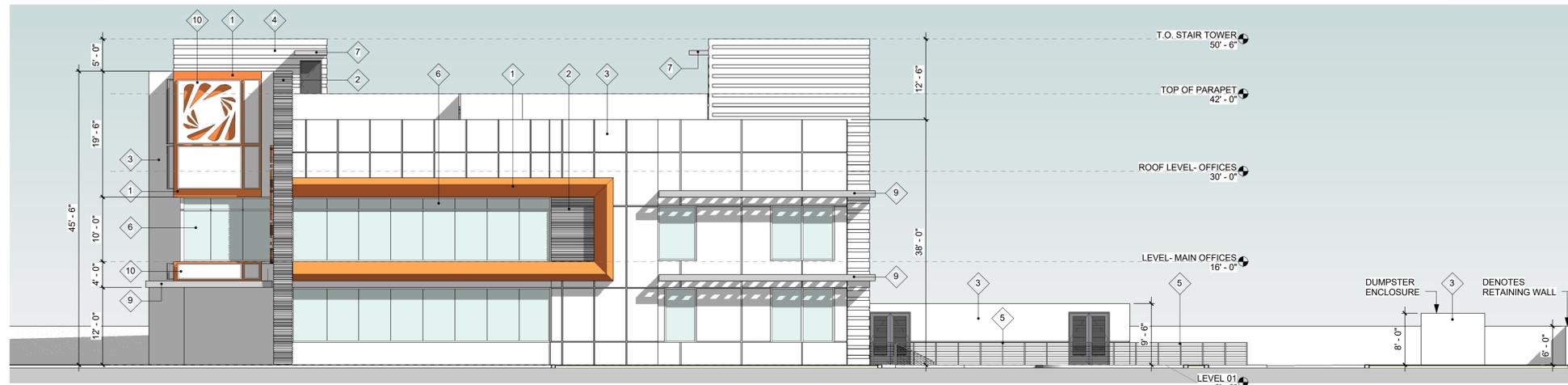
TAC Submittal

A-104

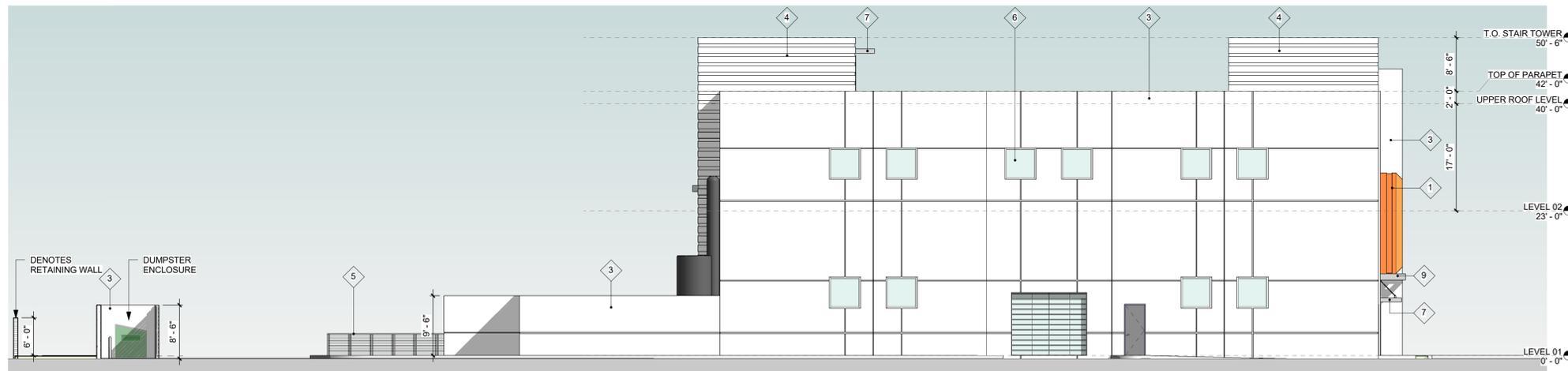
1
A-104
LEVEL 02- MANUFACTURING
3/32" = 1'-0"



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2 SOUTH ELEVATION
A-201 3/32" = 1'-0"



1 NORTH ELEVATION
A-201 3/32" = 1'-0"

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SINTAVIA

ALUMINUM METAL CLADDING



ARCH. LOUVERED SUNSHADES



ALUCOBOND ALUM. PANEL



SOUTH-WEST CORNER



BUILDING ELEVATION MATERIAL

- 1 GEOMETRIC SHAPE BAND- ALUCPBOND ALUM. PANELS (ORANGE)
- 2 CORRUGATED ALUMINUM METAL CLADDING
- 3 PRECAST CONCRETE PANEL SMOOTH FINISH (WHITE)
- 4 REVEALS PRECAST CONCRETE PANEL SMOOTH FINISH (WHITE)
- 5 ALUMINUM GUARDRAIL
- 6 LARGE MISSILE IMPACT CLEAR OPTIWHITE STOREFRONT GLAZING SYSTEM WITH GREY ANODIZED ALUMINUM FRAME
- 7 ABOVE DOOR ALUMINUM CANOPY
- 8 ILLUMINATED SIGN
- 9 ARCHITECTURAL LOUVERED SUNSHADES
- 10 LASER CUT ALUMINUM PANEL (BACK LID)

SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

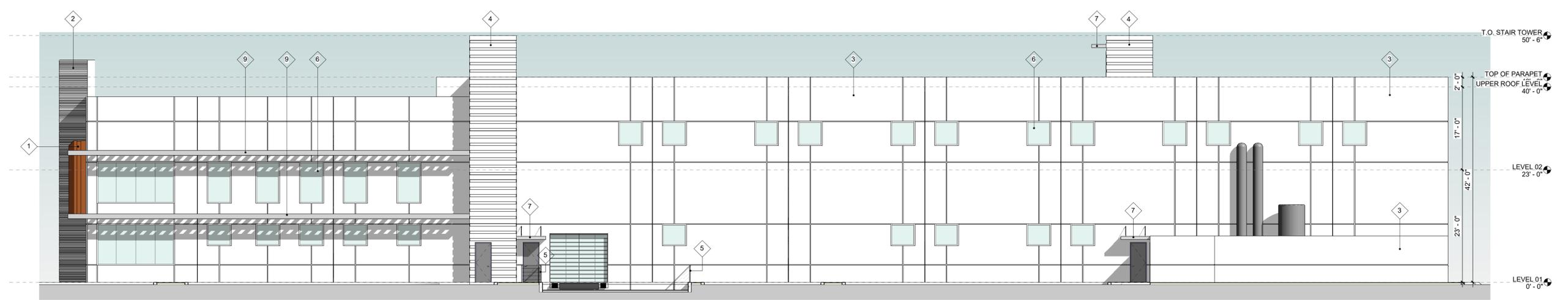
EXTERIOR ELEVATIONS

TAC Submittal

A-201



DESIGNED	DRAWN	CHECKED
NC	NC	Checker



1 WEST ELEVATION
A-202
3/32" = 1'-0"



2 EAST ELEVATION
A-202
3/32" = 1'-0"

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DATE:	COMM:
05-02-2017	16066

SINTAVIA

SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

EXTERIOR ELEVATIONS

TAC Submittal

A-202

ALUMINUM METAL CLADDING	ARCH. LOUVERED SUNSHADES	ALUCOBOND ALUM. PANEL	SOUTH - EAST CORNER	BUILDING ELEVATION MATERIAL
				<ul style="list-style-type: none"> 1 GEOMETRIC SHAPE BAND- ALUCOBOND ALUM. PANELS (ORANGE) 2 CORRUGATED ALUMINUM METAL CLADDING 3 PRECAST CONCRETE PANEL SMOOTH FINISH (WHITE) 4 REVEALS PRECAST CONCRETE PANEL SMOOTH FINISH (WHITE) 5 ALUMINUM GUARDRAIL 6 LARGE MISSILE IMPACT CLEAR OPTIWHITE STOREFRONT GLAZING SYSTEM WITH GREY ANODIZED ALUMINUM FRAME 7 ABOVE DOOR ALUMINUM CANOPY 8 ILLUMINATED SIGN 9 ARCHITECTURAL LOUVERED SUNSHADES 10 LASER CUT ALUMINUM PANEL (BACK LID)

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SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

PHOTOMETRIC SITE PLAN

TAC Submittal

A-401

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Luminaire Schedule						
Symbol	Qty	Label	Description	LLF	Lum. Lumens	
SA	2	SA	(2) VNTLEDL032315MNUIN510XXBZHO / MTD AT 25' AFG	0.900	27356	
SB	1	SB	VNTLEDL032314SNUIN510XXBZHO / MTD AT 25' AFG	0.900	25822	
SC	4	SC	VNTLEDL032313MNUIN510XXBZHO / MTD AT 25' AFG	0.900	25843	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AREAS	Illuminance	Fc	2.88	6.4	1.0	2.88	6.40

PHOTOMETRIC SITE PLAN



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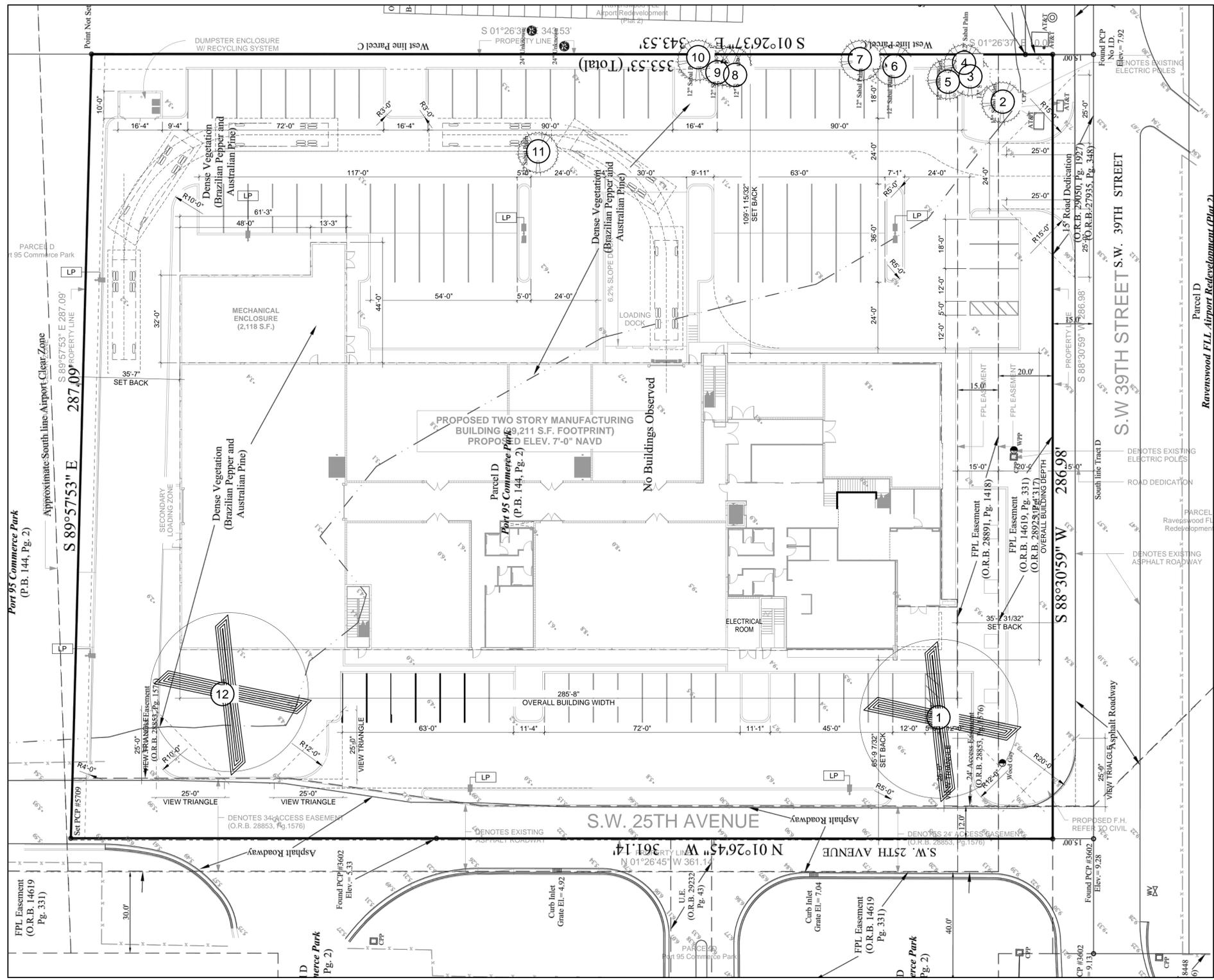
SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

EXTERIOR RENDERINGS

TAC Submittal

A-900

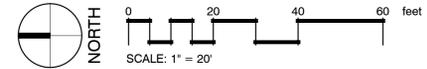
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LANDSCAPE GENERAL NOTES

CODE	Botanical Name	Common Name	DBH	Size	Condition	STATUS	Comments
1	Ficus aurea	Strangler Fig	40	60' x 50'	40%	Remove	Hatrack adjacent powerlines
2	Sabal palmetto	Sabal Palm	12	10 ct	85%	Transplant	
3	Sabal palmetto	Sabal Palm	12	10 ct	85%	Transplant	
4	Sabal palmetto	Sabal Palm	12	12 ct	85%	Transplant	
5	Sabal palmetto	Sabal Palm	12	8 ct	85%	Transplant	
6	Sabal palmetto	Sabal Palm	12	12 ct	85%	Transplant	
7	Sabal palmetto	Sabal Palm	12	15 ct	85%	Transplant	
8	Sabal palmetto	Sabal Palm	12	10 ct	85%	Transplant	
9	Sabal palmetto	Sabal Palm	12	8 ct	85%	Transplant	
10	Sabal palmetto	Sabal Palm	12	6 ct	85%	Transplant	
11	Sabal palmetto	Sabal Palm	12	12 ct	85%	Transplant	
12	Ficus aurea	Strangler Fig	40	60' x 50'	40%	Remove	

Sabal Palms to be transplanted in buffer area. See Sheet L-200 for proposed location.



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Designer Author Checker



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SINTAVIA

SW 25TH AVE AND SW 39TH STREET, HOLLYWOOD FLORIDA

TREE DISPOSITION PLAN

TAC Submittal

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CALIFER	PLANTED SIZE	MATURE SIZE	DROUGHT	NATIVE	
BS	6	Bursera simaruba / Gumbo Limbo	F6	4" Cal	15' STD	60' x 40'	HIGH	NATIVE	
CA	7	Clusia rosea / Autograph Tree	F6	2.5" Cal	14' STD	30' x 30'	HIGH	NATIVE	
CD	11	Coccoloba diversifolia / Pigeon Plum	F6	3" Cal	15' STD	40' x 20'	HIGH	NATIVE	
CB	3	Conocarpus erectus 'Sericeus' / Silver Buttonwood	F6	3" Cal	10' STD	25' x 25'	HIGH	NATIVE	
CS	11	Cordia sebestena / Orange Belger Tree	F6	3" Cal	12' OA	20' x 15'	HIGH	NATIVE	
KF	12	Krugiodendron terremum / Black Ironwood	F6	2.5" Cal	14' STD	25' x 15'	HIGH	NATIVE	
LI	5	Lagerstroemia indica / Grape Myrtle	F6	3" Cal	15' OA	25' x 25'	HIGH	FI Friendly	
TR	8	Trinax radiata / Florida Thatch Palm	F6	3" Cal	6' CT	20' x 15'	HIGH	NATIVE	
⑩	10	TRANSPLANTED SABAL PALMS SEE L-100							
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTE	MATURE	DROUGHT	NATIVE	
BAC	4	Bambusa chungii / Tropical Blue Bamboo	15 gal	MPP	15' OA	MPP	NO	MED	
HL	4	Hypohorbe lagenicaulis / Bottle Palm	25 gal	8" OA		15' x 15'	HIGH	FL FRIENDLY	
SHRUB AREAS	QTY	BOTANICAL NAME / COMMON NAME	CONT	CONT HGT X W	NOTE	MATURE HGT X W	DROUGHT	NATIVE	SPACING
CH	3,100 sf	Chrysobalanus icaco 'Horizontalis' / Cocoplum	3 gal	24" x 24"	FULL	20' x 20'	MED	NATIVE	30' o.c.
CA2	910 sf	Clusia rosea / Clusia Hedge	15 gal	5' x 4'	BUSH	Maintained hedge 6'-8'	HIGH	NATIVE	48' o.c.
MS	1,300 sf	Microsorium scolopendrum / Mart Fern	3 gal	18" x 18" FULL	FULL	3' x 3'	MED	FL-FRIENDLY	30' o.c.
FN	2,320 sf	Psychotria nervosa / Nilla Coffee	3 gal	24" x 24"	FULL	Maintained @ 5'	HIGH	NATIVE	30' o.c.
SB	100 sf	Spartina bakeri / Sand Cord Grass	1 gal	12" x 12"	FULL	24" x 24"	HIGH	NATIVE	18" o.c.
TD	1,001 sf	Tripsacum dactyloides nana / Dwarf Fakahatchee	3 gal	24" x 24"	FULL	3' x 3'	HIGH	NATIVE	36" o.c.
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HGT X W	NOTE	MATURE	DROUGHT	NATIVE	SPACING
SOD	8,175 sf	Stenotaphrum secundatum / St. Augustine Grass	flat						
TM	1,069	Trachelospermum asiaticum 'Minima' / Minima Jasmine	1 gal	8" x 4"	Maintained as Ground Cover 6"	Maintained on trellis	HIGH	FL-FRIENDLY	18" o.c.

LANDSCAPE PLAN DATA TABLE

District	IM-3		
SITE AREA	102,635 sqft	2.35 acres	
Building	31,329 sqft		
Permeable	18926 sqft		
Permitter/buffer	Requirements	Required	Proposed
Street tree	1 tree per 50'		
SW 39 Street	287' / 1 tree per 50'	6	6
SW 25th Ave	361' / 1 tree per 50'	7.2	8
BUFFER	Requirements	Required	Proposed
	5% of lot depth	15' max	16'-0"
	1 tree per 50'	13	14
VUA	Requirements	Required	Proposed
	25% of VUA shall be landscaped	10,268 sqft	10,716 sqft
	41,075 sqft		
Open Space	Requirements	Required	Proposed
	1 tree per 1000 sqft	19	19
	TOTAL TREES REQ	46	55
Native Plant	Requirements	Required	Proposed
Trees	60%	28	50 (89%)
Shrubs	50%	4904 sqft	7431 sqft
Palms	Palms on site not included in tree qty. if more than 20% or required trees than all other trees must be native.	N/a	
Species	41-60 trees	5 species	7 species

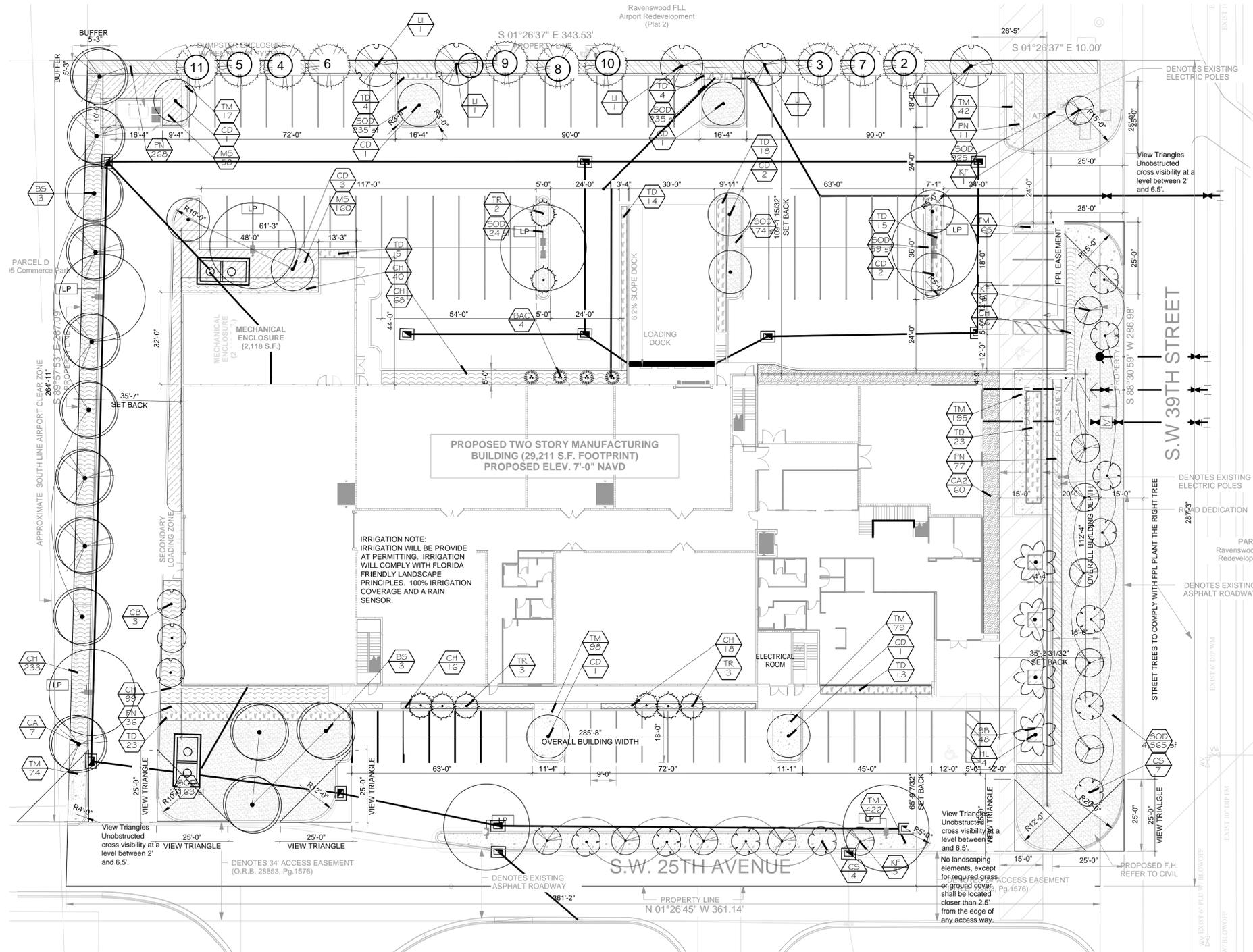
LANDSCAPE GENERAL NOTES

Plant material shall not be planted in the root balls of any tree.

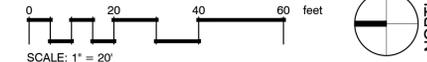
Sod shall be planted with individual pieces touching at time of planting. Rows of sod must be staggered to offset the adjacent row. Prior to installation of sod, all rocks and foreign matter shall be removed from the soil surface, and raked to provide a flat, smooth surface on which to lay the sod.

Each tree must have a circle of organic mulch no less than 12 inches beyond its trunk. The use of Cypress mulch is prohibited by the City of Hollywood. The use of shredded Melaleuca or Eucalyptus mulch is recommended.

Root barrier to be utilized around sewer and water utilities within 10' of proposed trees.



PROPOSED LANDSCAPE PLAN
1" = 20'-0"



FSM
ARCHITECTS • PLANNERS
FALKANGER SNYDER MARTINEAU & YATES

888 SOUTH ANDREWS AVE. SUITE 300
FORT LAUDERDALE, FLORIDA 33316
PH: (954) 764-6575 FAX: (954) 764-8622

JEFF FALKANGER, DOUG SNYDER
LARRY MARTINEAU, JIRO YATES

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CA # AAC000447

SINTAVIA

DESIGNED	DRAWN	CHECKED
Designer	Author	Checker

B.R.L.A.
888 s. andrews avenue, suite 300
Fort Lauderdale, FL 33316
office: 954.667.7814
LA# 6666983

REVISIONS

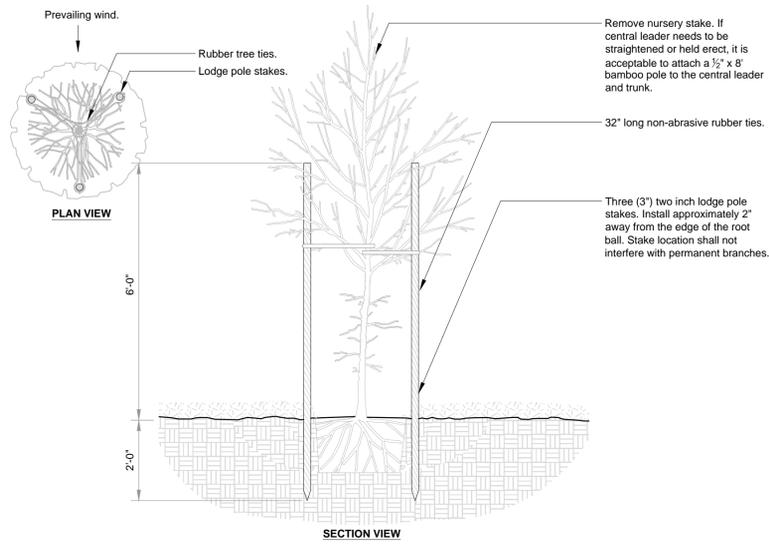
DATE	COMM.
05-02-2017	16066

SINTAVIA

SW 25TH AVE AND SW 39TH STREET,
HOLLYWOOD FLORIDA

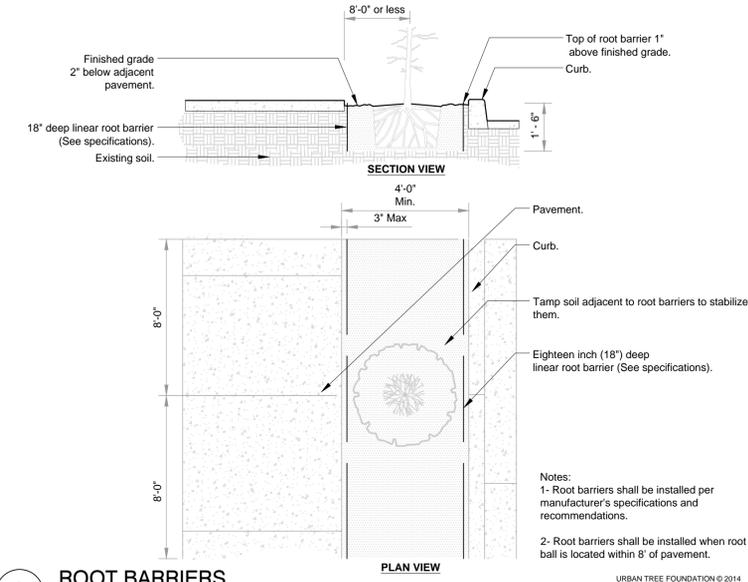
PROPOSED LANDSCAPE PLAN

TAC Submittal



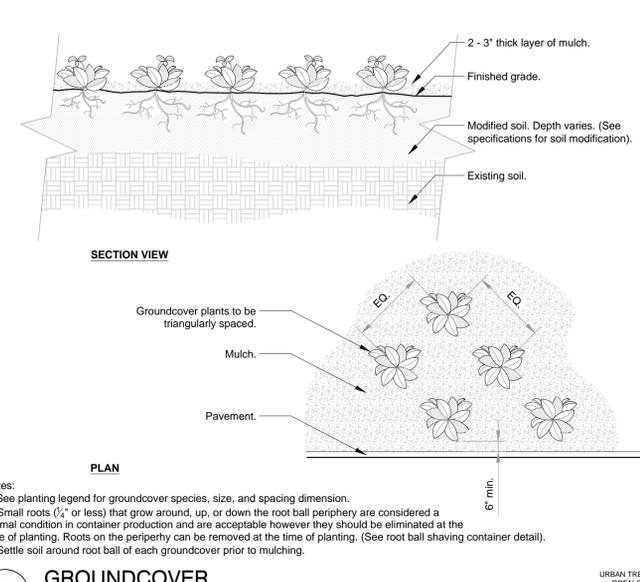
1 TREE STAKING - LODGE POLES (3)
1/2" = 1'-0"

URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE
FX-PL-FX-TREE-26



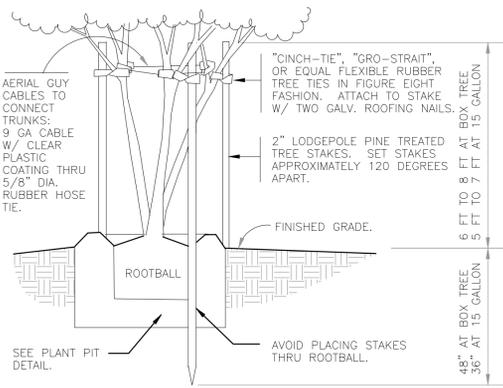
3 ROOT BARRIERS
3/8" = 1'-0"

URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE
FX-PL-FX-SOIL-05



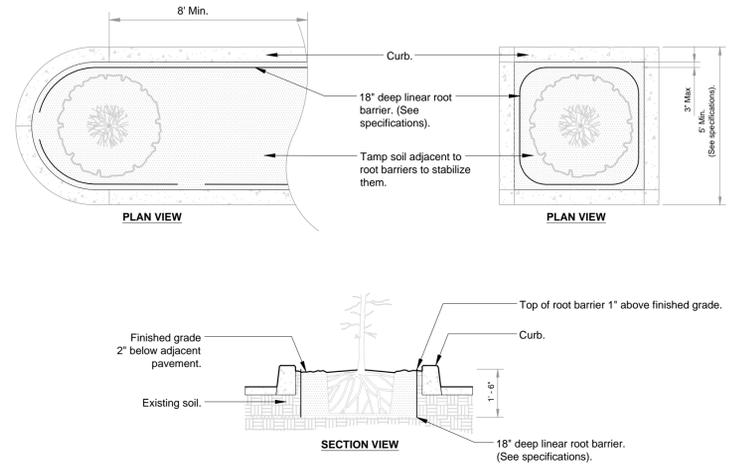
6 GROUNDCOVER
3/4" = 1'-0"

URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE
FX-PL-FX-GROU-01



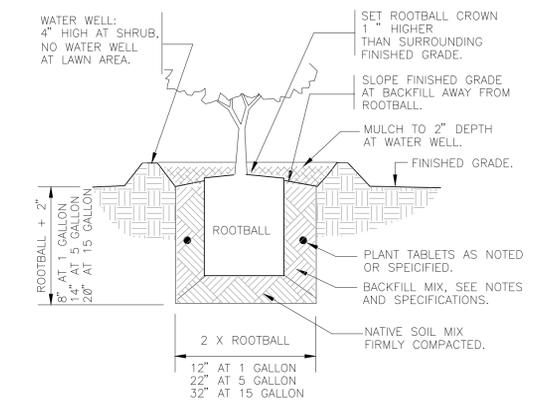
2 TREE PLANTING MULTI-STAKE
1" = 1'-0"

FX-PL-FX-TREE-15



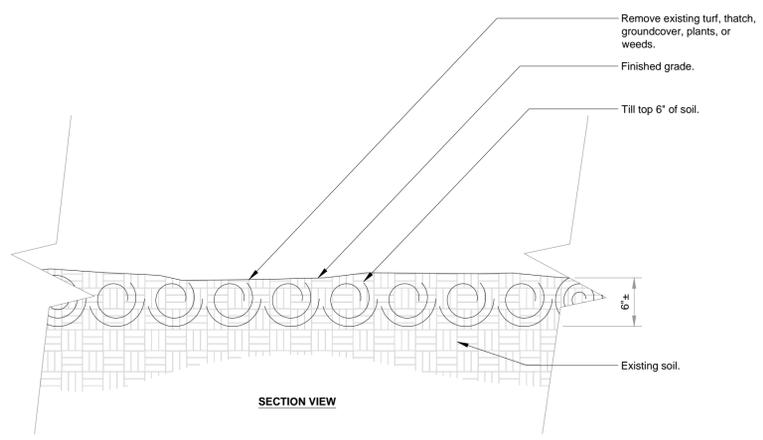
4 ROOT BARRIERS - PARKING LOT ISLANDS
3/8" = 1'-0"

URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE
FX-PL-FX-SOIL-07



7 SHRUB PLANTING
1" = 1'-0"

FX-PL-FX-SHRB-07



5 EXISTING SOIL - MINOR MODIFICATION
3/4" = 1'-0"

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