

Dolphin

HOTEL



- 315 MCKINLEY STREET -

MEETING DATES

FRE APPLICATION - OCTOBER 16, 2015
 P.A.C.O - NOVEMBER 9, 2015
 PRELIMINARY T.A.C. MEETING - DECEMBER 1, 2015
 FINAL T.A.C. MEETING - JANUARY 25, 2016



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SEAL

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PROJECT TITLE
DOLPHIN HOTEL
315 MCKINLEY STREET
HOLLYWOOD FLORIDA 33020

SHEET TITLE
TITLE PAGE
FINAL TAC

REVISIONS

No.	DATE	DESCRIPTION
1	12-10-15	PRELIM. TAC

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PROJECT No.: 14165
 DATE: 11-10-15
 DRAWN BY: THS
 CHECKED BY: JMK

SHEET

T-1

1 OF 1

PROJECT DATA

CODES:
 FLORIDA BUILDING CODE, 5TH EDITION 2014
 5TH EDITION FLORIDA FIRE PREVENTION CODE WITH NFPA 1 AND 101, 2012 REFERENCES
 NFPA 13, 2010 EDITION NFPA 14, 2010 EDITION NFPA 20, 2010 EDITION NFPA 24, 2010 EDITION
 BROWARD FIRE AMENDMENTS 2015

JURISDICTION:

CITY OF HOLLYWOOD
 BROWARD COUNTY
 STATE OF FLORIDA

PROJECT TEAM

ARCHITECT
 JOSEPH B. KALLER AND ASSOCIATES, P.A.
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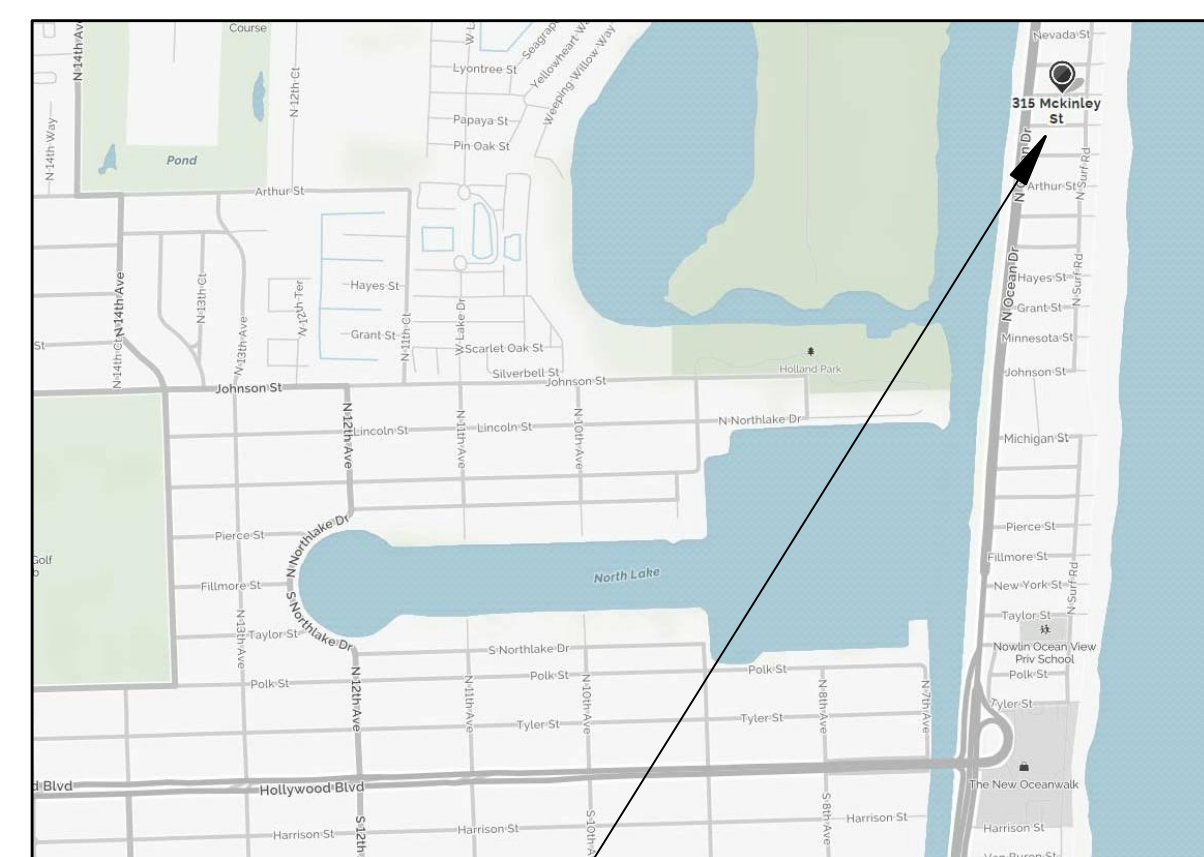
OWNER
 315 MNM PARTNERS LLC
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 DAVIE, FL 33314
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DRAWING INDEX

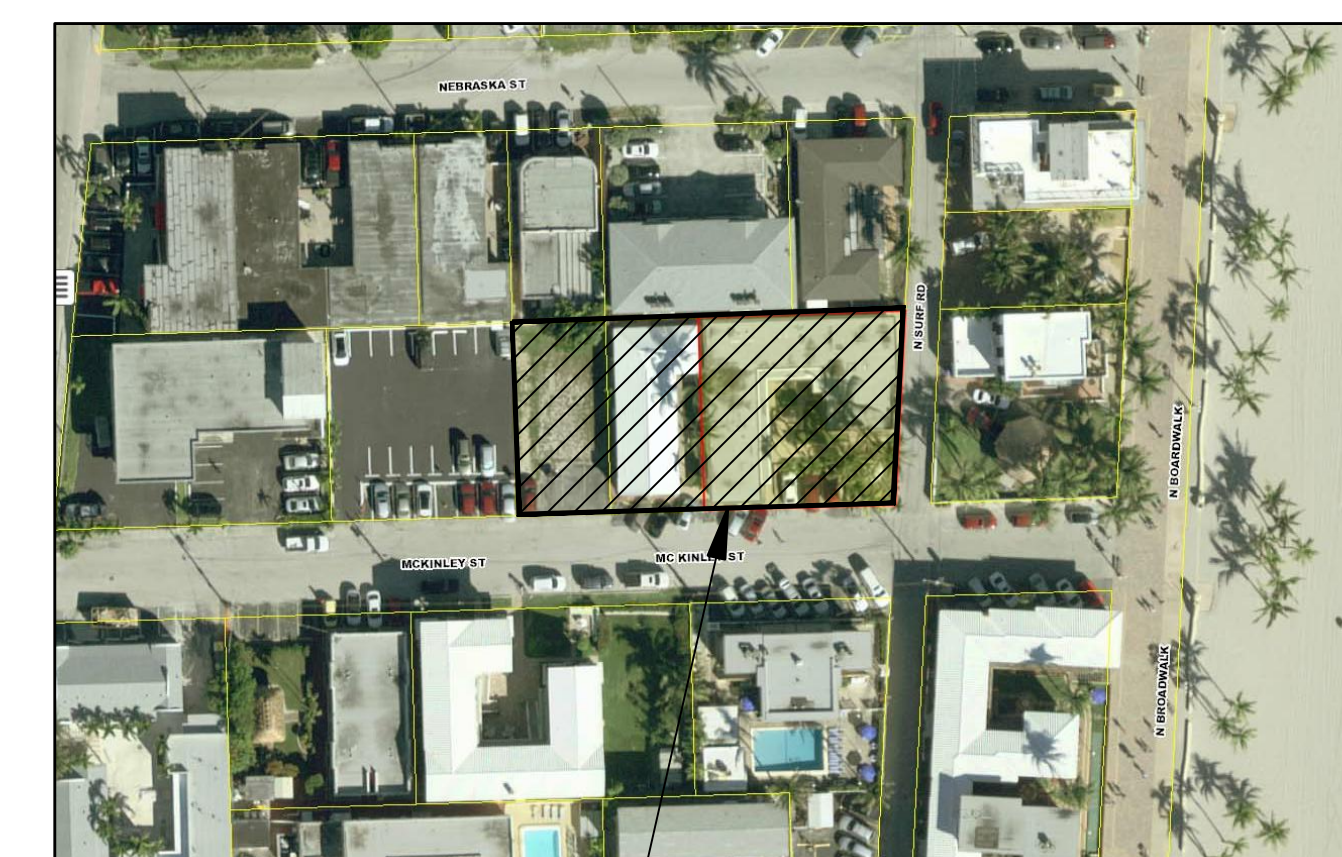
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|--|---|
| T-1 COVER SHEET | A-1 FIRST FLOOR PLAN |
| SURVEY | A-2 SECOND FLOOR PLAN |
| | A-3 THIRD FLOOR PLAN |
| | A-4 FOURTH FLOOR PLAN |
| 9P-0 BUILDING DATA | A-5 ROOF PLAN |
| 9P-1 SITE PLAN AND SITE DATA | A-6 BUILDING ELEVATION |
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| 9P-3 SIGNAGE DETAILS | A-8 BUILDING ELEVATION |
| | A-9 BUILDING ELEVATION |
| C-1 PAVING AND DRAINAGE/ WATER AND SEWER | A-10 ACTIVE USES AND TRANSPARENCY |
| C-2 CONSTRUCTION DETAILS | A-11 CONTEXTUAL STREET ELEVATIONS |
| C-3 CONSTRUCTION DETAILS | A-12 FLOOR PLAN SETBACK DIAGRAM |
| C-4 EROSION CONTROL PLAN | A-13 SUITE AND ROOM BLOW-UP FLOOR PLAN |
| LP-1 LANDSCAPE PLAN AND DETAILS | A-14 ELEVATIONS ALLOWABLE WALL OPENINGS |
| LP-2 LANDSCAPE PLAN AND DETAILS | |
| FP-1 FLOOD PROOFING PLAN | |

LOCATION MAP

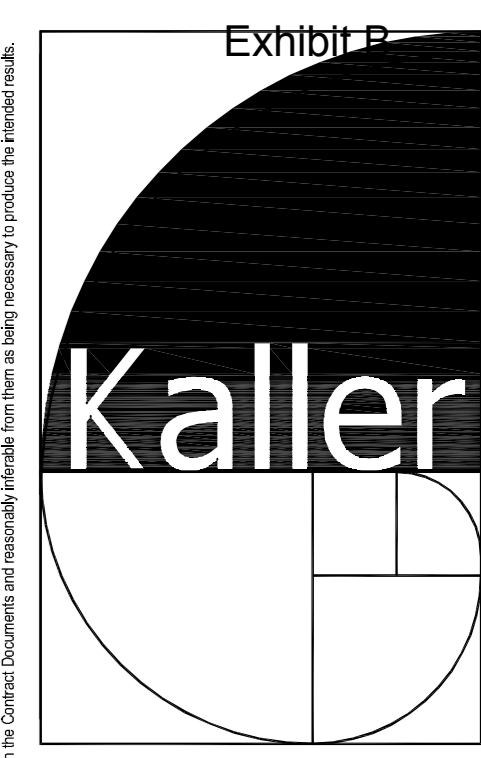


NORTH

AERIAL



NORTH



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 DOLPHIN HOTEL
 315 MCKINLEY STREET
 HOLLYWOOD FLORIDA 33020

SHEET TITLE
 SITE PLAN AND DATA

REVISIONS

No.	DATE	DESCRIPTION
1	12-10-15	PRELIM TAC
2	1-19-16	FINAL TAC

PROJECT No.: 14165
 DATE: 11-10-15
 DRAWN BY: TMS
 CHECKED BY: JBK

SHEET
SP-1
 2 OF 4

SITE DATA

LEGAL DESCRIPTION
 LOTS 5, 6, 7 AND 8, IN BLOCK 10 OF "HOLLYWOOD BEACH FIRST ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESSES
 315 MCKINLEY STREET
 HOLLYWOOD, FL 33019

SITE INFORMATION
 EXISTING ZONING: BEACH RESORT COMMERCIAL DISTRICT - BRT-25-C
 LAND USE DESIGNATION: GENERAL BUSINESS
 NET LOT AREA: 13,672.0 SQUARE FEET
 GROSS LOT AREA: 17,671.0 SQUARE FEET (0.40 AC)
 DENSITY: ALLOWED 50 ROOMS PER GROSS AC 67.5 ROOMS PER GROSS AC
 0.40 X 50 = 20 ROOMS (REQUESTING AN ADDITIONAL 7 HOTEL ROOMS FROM THE HOTEL DENSITY POOL BASED ON HAVING A LOT GREATER THAN OR EQUAL TO 17,000 SF)

PARKING:

	REQUIRED	PROVIDED
UNITS	1 PER ROOM = 27 SPACES	27 SPACES
RETAIL AND OFFICES	1 PER 1,000 SF = 2 SPACES	15 SPACES
TOTAL	= 29 SPACES	42 SPACES

LOADING:

	REQUIRED	PROVIDED
UNITS	1 PER 50 - 100 ROOMS = 0 SPACES	0 SPACES
RETAIL	1 PER +10,000 SF = 0 SPACES	0 SPACES

A SMALLER LOADING AREA HAS BEEN PROVIDED

SETBACKS:

	REQUIRED		PROVIDED	
	BASE	TOWER	BASE	TOWER
(a) SURF ROAD (EAST)	10'-0"	15'-0"	10'-0"	15'-0"
(b) INTERIOR (NORTH)	5'-0"	15'-0"	5'-0"	15'-0"
(c) CROSS STREET (SOUTH)	20'-0"	25'-0"	5'-0" RETAIL	25'-0"
(d) INTERIOR (WEST)	5'-0"	15'-0"	5'-0"	15'-0"

* CROSS STREET BUILDING BASE SETBACKS MAY BE A MINIMUM OF 10'-0" FOR UP TO 40% OF THE SITE FRONTAGE.
 ** CROSS STREET, A1A AND SURF ROAD BUILDING TOWER SETBACKS MAY MATCH BUILDING BASE SETBACKS FOR UP TO 40% OF THE SITE FRONTAGE.

PERVIOUS AREA: FIRST FLOOR - 2101 S.F. (15.4%)
IMPERVIOUS AREA: FIRST FLOOR - 11571 S.F. (84.6%)

LANDSCAPED AREAS:

1ST FLOOR	2101 S.F.
2ND FLOOR	233 S.F.
3RD FLOOR	427 S.F.
4TH FLOOR	0 S.F.
ROOF	417 S.F.
ROOF	3178 S.F.

BUILDING SUMMARY

	ALLOWED	PROVIDED
BUILDING HEIGHT:	50'-0"	50'-0"

BUILDING AREAS:

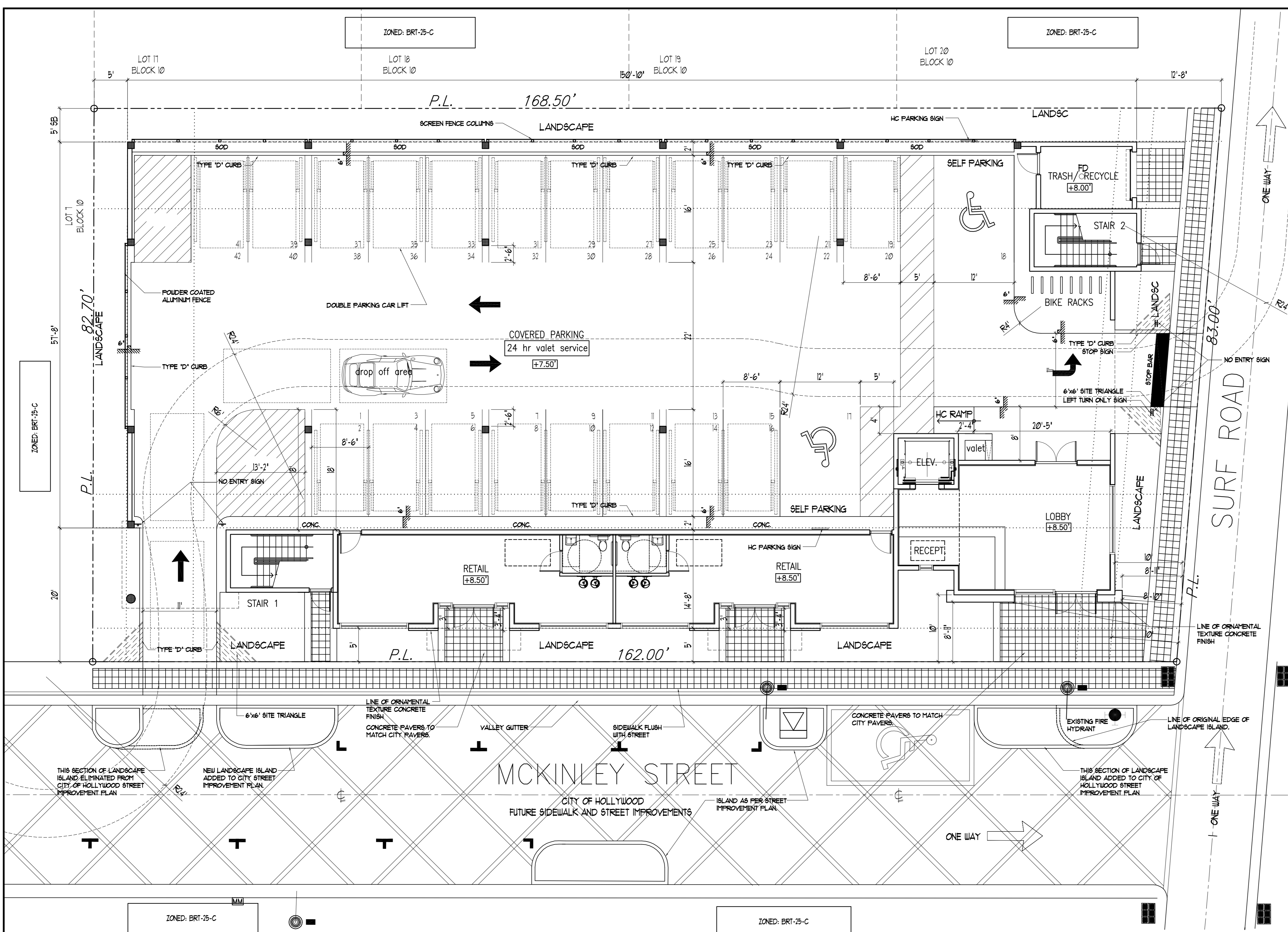
	INTERIOR	COVERED TERRACES/ BALCONIES	GROSS
FIRST FLOOR	2297 S.F.		
SECOND FLOOR	7119 S.F.	2272 S.F.	
THIRD FLOOR	5064 S.F.	2465 S.F.	
FOURTH FLOOR	5064 S.F.	1950 S.F.	
FIFTH FLOOR	446 S.F.	5163 S.F.	
TOTAL	19,990 S.F.	11,850 S.F.	21,840 S.F.

VARIANCES:

	REQUIRED	PROVIDED
PARKING	29 SPACES	42 VALET PARKING SPACES PARKING LIFTS
RETAIL ACTIVE LINER	15'-0" DEEP	14'-9" DEEP
ROOM ACCESS	CLOSED CORRIDOR	OPEN TERRACE
LOBBY ENTRY DOOR RECESS	3'-0"	0'-0"



1 SITE PLAN
 SCALE: 1/8" = 1'-0"



LEGEND:

- [Symbol] SIDE WALK PAVERS TO MATCH CITY OF HOLLYWOOD RIGHT OF WAY IMPROVEMENTS
- [Symbol] LINE OF REQUIRE SETBACK
- [Symbol] LINE OF ROOF/ CANOPY OR BALCONY ABOVE
- [Symbol] BALCONY/ ROOF DECK AREAS
- [Symbol] POOL DECK AREAS
- [Symbol] POWDER COATED ALUMINUM FENCE
- [Symbol] DESIGNATED LOADING ZONE

GREEN BUILDING PRACTICES FROM CITY OF HOLLYWOOD ORDINANCE #2-2011-026

- RADIANT BARRIER
 - ROOF - SEALOFLEX COOL ROOF - REFLECT WHITE
 - WALLS - AL-FOIL REFLECTIVE
- WINDOWS AND GLAZING
 - LOW E, TINTED DOUBLE GLAZING- U FACTOR 0.56, SHGC 0.25
- DOORS
 - INSULATED AND FIRE RATED
- ENERGY STAR ROOFING
 - SEALOFLEX COOL ROOF - REFLECTO WHITE
- PROGRAMMABLE THERMOSTATS
- OCCUPANCY SENSORS
 - DUAL FLUSH TOILETS
 - 80% OF PLANT MATERIAL NATIVE
 - ENERGY EFFICIENT OUTDOOR LIGHTING
 - INSULATED PIPING
 - RECYCLING AREA
 - ENERGY STAR APPLIANCES
 - ONE LOW FLOW SHOWER HEAD
- POOL SOLAR WATER HEATING SYSTEM
- PERVIOUS PAVEMENT
- 80% OF PLANTS AND TREES PER SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS
- ENERGY EFFICIENT OUTDOOR LIGHTING
- ENERGY EFFICIENCY 10% BETTER THAN STANDARD ESTABLISHED BY ASHRAE
- TANKLESS WATER HEATERS
- 20 MERV 8 AC FILTERS

ADDITIONAL PRACTICES

- 8" REINFORCED CONCRETE ROOF STRUCTURE
- ICYNENE SOY BASED CLOSED CELL SPRAY INSULATION
- ELECTRICAL AND MECHANICAL ROOMS OUTSIDE OF AIR-CONDITIONED SPACES
- DEEP OVERHANGS AT ROOF AND BALCONY LEVELS

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C ZONING DISTRICT.

NOTE: BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.

NOTE: ALL MACHINE ROOMS, ELECTRICAL, MECHANICAL AND OTHER EQUIPMENT WILL BE ABOVE THE REQUIRED FEMA BASE FLOOD 9'0" NAVD.

FEMA NOTE: THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

SITE LIGHTING NOTE: SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.

FIRE ALARM NOTE: A FIRE ALARM SYSTEM IS REQUIRED AS PER FF.P.C. 2014 NFPA 101 SECTION 28.3.4

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

TURTLE LIGHTING ORDINANCE PROJECT SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPTER 108 LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION OF THE CITY OF HOLLYWOOD CODE OF ORDINANCE.

NOTE: STACKED CARS WILL BE DESIGNED AROUND NFPA 1, CH. 1.

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PROJECT No.: 14165
DATE: 11-10-15
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CHECKED BY: JBK



1. TURTLE FRIENDLY TINTED IMPACT RESISTANT STOREFRONT DOORS.
2. TURTLE FRIENDLY TINTED IMPACT RESISTANT SLIDING GLASS DOORS
3. ARCHITECTURAL LASER CUT COPPER METAL PANEL
4. POWDER COATED BACK LIT TURTLE FRIENDLY REVERSE CHANNEL LETTER SIGNAGE
5. TURTLE FRIENDLY TINTED IMPACT RESISTANT WINDOWS
6. SMOOTH STUCCO WALL FINISH
7. 1" WIDE VERTICAL/ HORIZONTAL STUCCO SCORING
8. REFUSE/ RECYCLING ENCLOSURE
9. CONCRETE EYEBROW
10. 42" MIN. HIGH POWDER COATED ALUMINUM/ TEMPERED GLASS GUARD RAILING
11. ORNAMENTAL SEALED TEXTURED RAW CONCRETE FINISH
12. IMPACT RESISTANT ROLL-UP DOOR
13. IMPACT RESISTANT HOLLOW METAL DOOR
14. CYLINDRICAL CONCRETE COLUMNS
15. COMPOSITE WOOD TRELLIS
16. 42" MIN. HIGH HORIZONTAL PICKET GUARD RAILING
17. NOT USED
18. FIXED VENTILATION LOUVRES WITH FUSABLE LINKS
19. POWDER COATED ALUMINUM FENCE
20. POWDER COATED ALUMINUM BALCONY SCREEN DIVIDER
21. DECORATIVE 'COPPER' BOX

1 **SOUTH ELEVATION**
SCALE: 3/16" = 1'-0"



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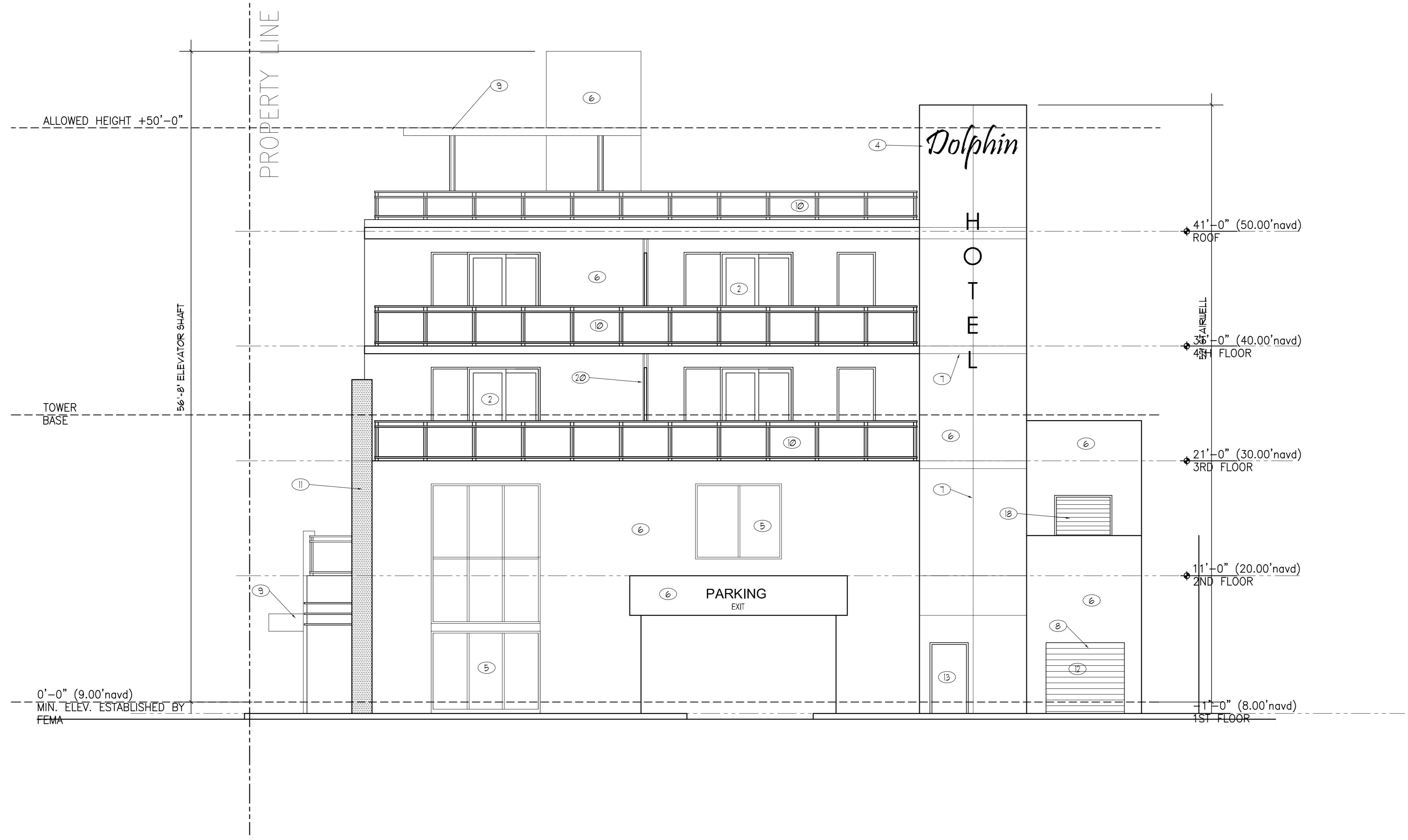
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SHEET

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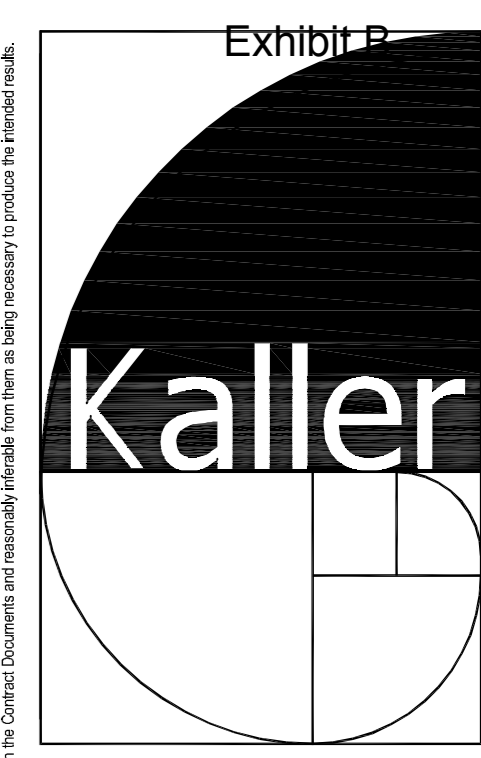


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EAST ELEVATION
SCALE: 3/16" = 1'-0"

1

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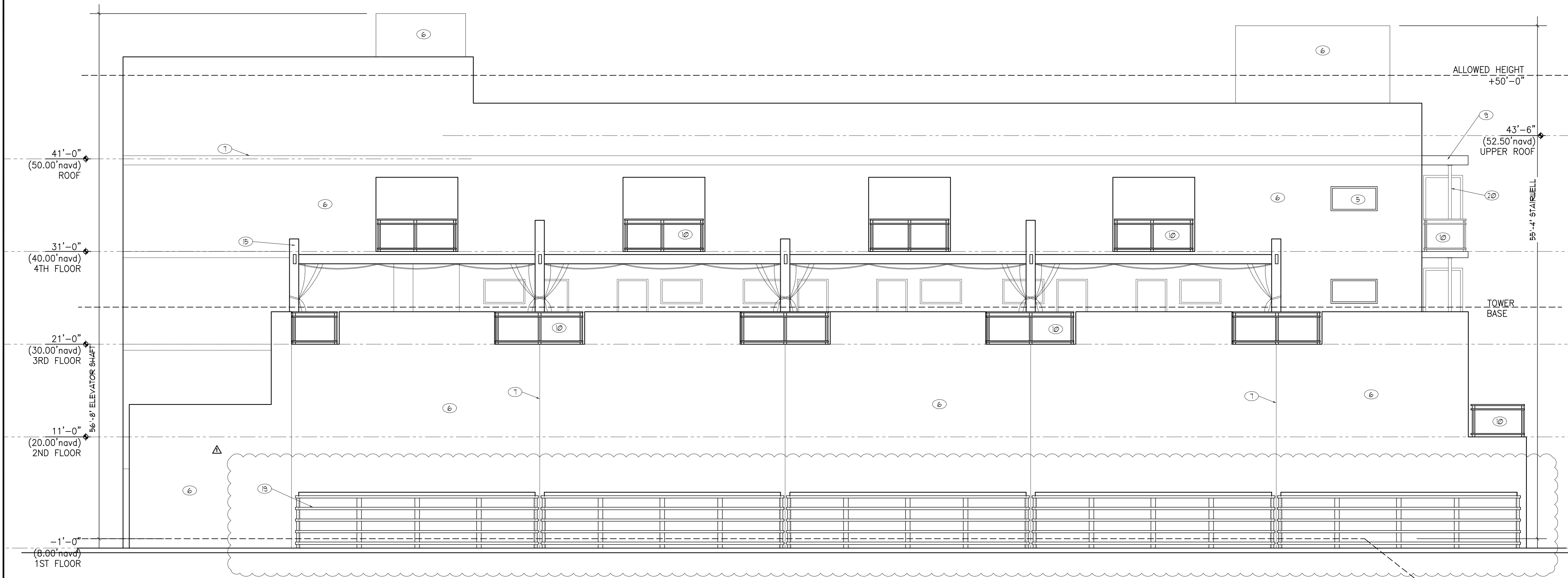
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SHEET
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1 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

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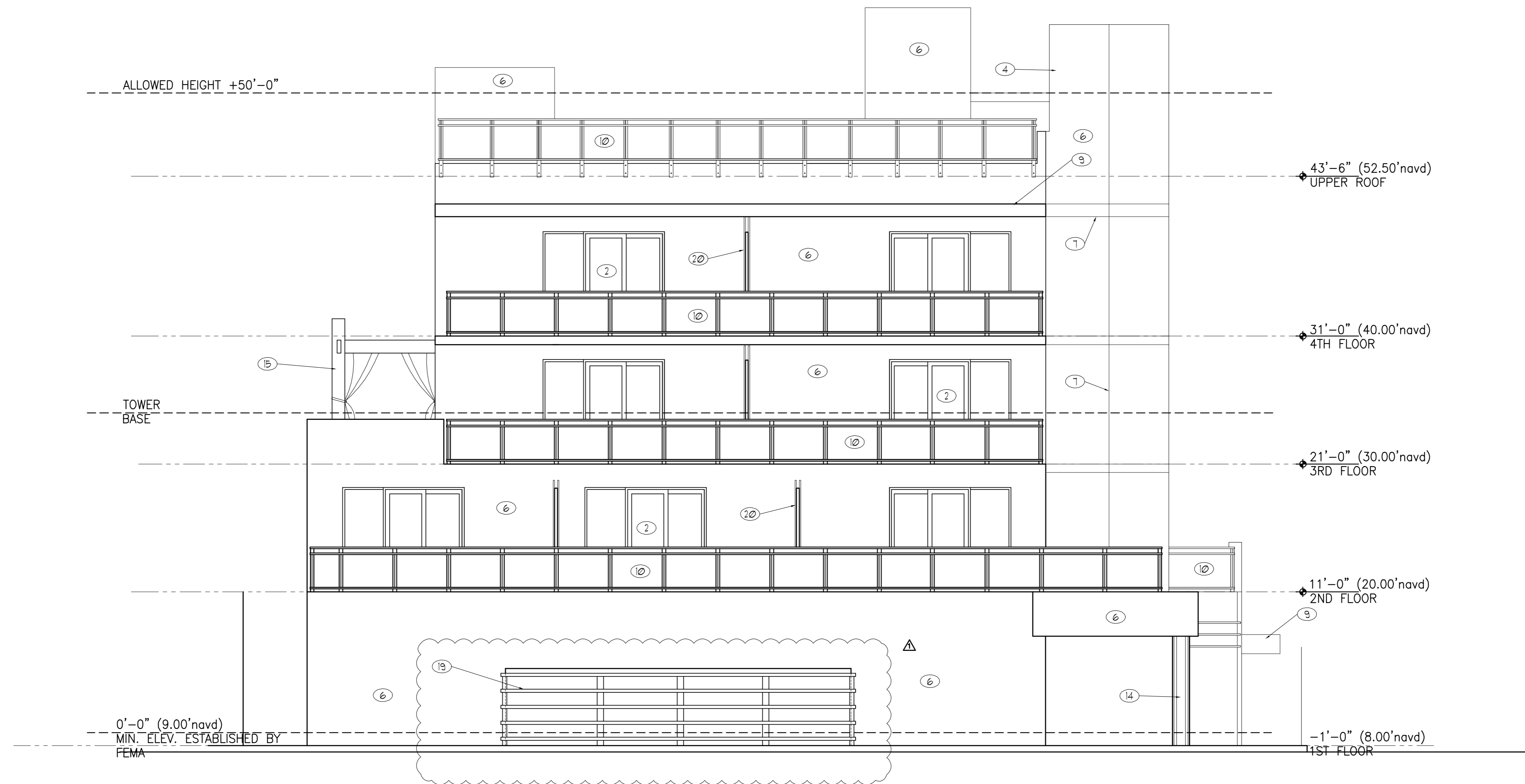
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ALLOWED HEIGHT +50'-0"

43'-6" (52.50'navd)
 UPPER ROOF

31'-0" (40.00'navd)
 4TH FLOOR

21'-0" (30.00'navd)
 3RD FLOOR

11'-0" (20.00'navd)
 2ND FLOOR

-1'-0" (8.00'navd)
 1ST FLOOR

TOWER
 BASE

0'-0" (9.00'navd)
 MIN. ELEV. ESTABLISHED BY
 FEMA