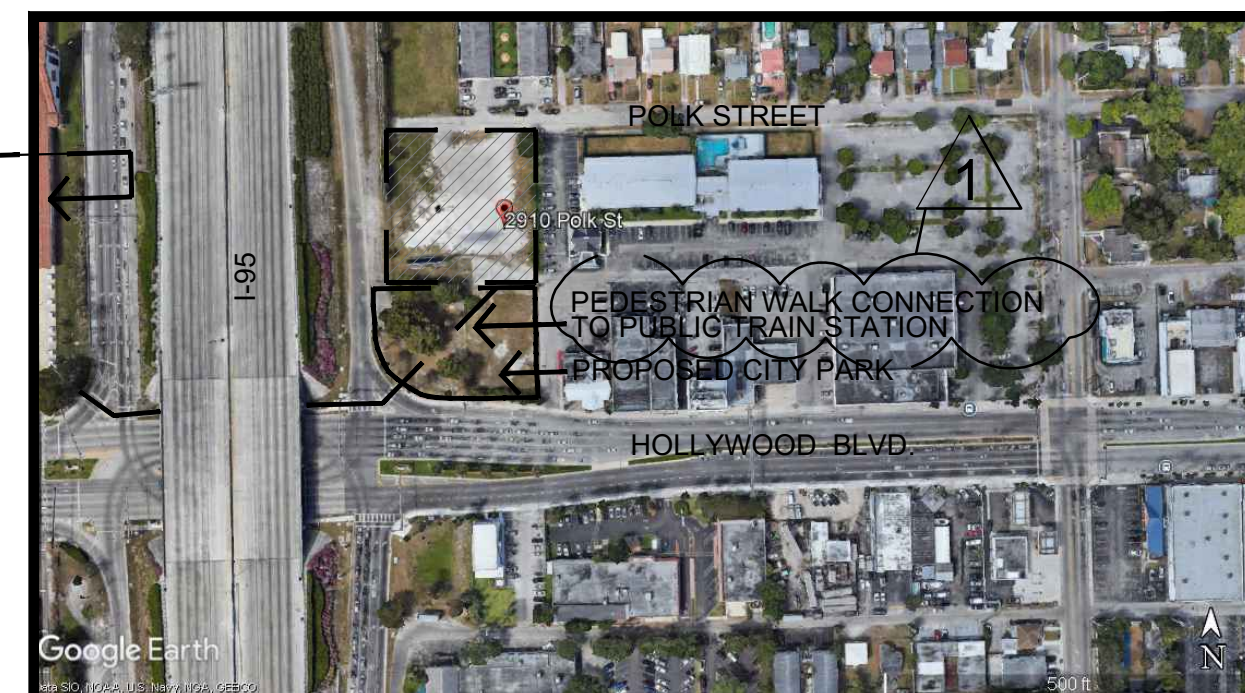
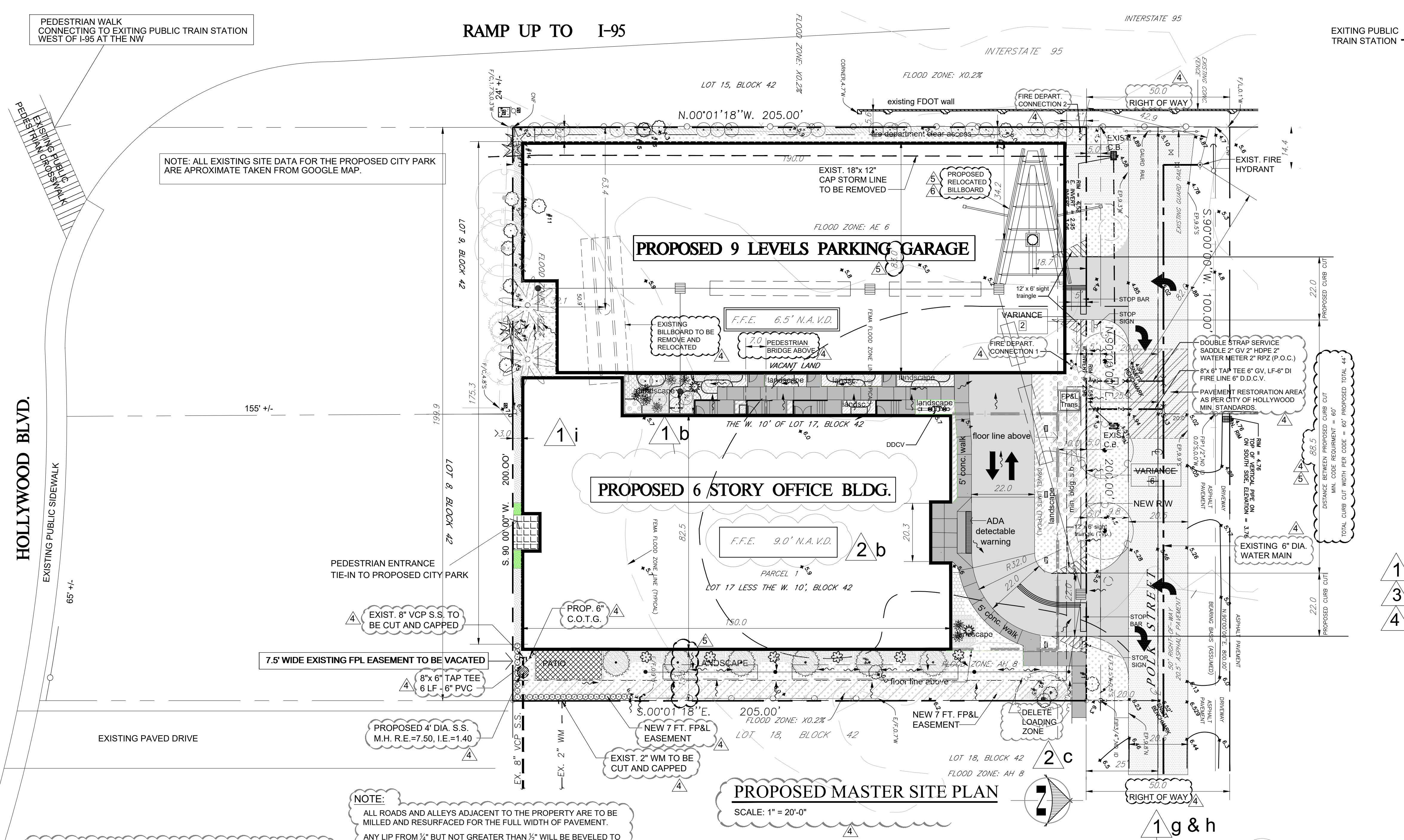


ATTACHMENT A
Application Package



LOCATION PLAN

N.T.S. NOTE: PEDESTRIAN WALK CONNECTION TO PUBLIC TRANSPORTATION.

LEGEND :

- EXISTING ASPHALT PAVEMENT
- PROPOSED 22' CONCRETE DRIVE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CAFETERIA CONCRETE PATIO
- PROPOSED CONCRETE COLUMN
- PROPOSED SWALE

SITE DATA : ZONING CHANGE FROM TC-1 TO RC-1

EXISTING ZONING	TC-1 (TRANSITIONAL CORRIDOR)
PROPOSED ZONING	RC-1 (RETAIL CORE)
FLOOD ZONE	AH & AE
SITE GROSS AREA	67,500 S.F. = 1.55 ACRES
NET SITE AREA	40,000 S.F. = 0.92 ACRES
LOT DIMENSIONS	WIDTH 200.00' DEPTH 200.00'
CURRENT LAND USE	VACANT
PROPOSED LAND USE	OFFICE
MAXIMUM LOT COVERAGE:	N/A
RESIDENTIAL DENSITY:	N/A
MAXIMUM FLOOR AREA RATIO:	4.0000 X 2.75 = 110,000. S.F.
MINIMUM OPEN SPACE REQUIRED:	
OPEN SPACE PROVIDED:	7,746 S.F. +/- (19.92%)
TOTAL PERVIOUS AREA PROVIDED:	7,746 S.F. +/- (19.92%)
TOTAL IMPERVIOUS AREA PROVIDED:	32,354 S.F. +/- (80.08%)
15,536 SF GARAGE + 12,650 SF OFFICE + 230 S.F. PATIO + 2,238 SF DRIVEWAY & + 1,700 SF WALKWAYS	

ALLOWED PER HOLLYWOOD ZONING:

MAX. BLDG. FOOTPRINT:	15,536 + 12,650 = 28,186 S.F.	OFFICE BLDG. 12,650 S.F. +/-	PROVIDED:
		PARKING GARAGE 15,536 S.F. +/-	
		TOTAL 28,186 S.F. +/-	

PROPOSED BUILDING CONSTRUCTION TYPE:

OFFICE BUILDING TYPE I B (2221) Table 601 F.B.C. 8th EDITION	ALLOWED:	PROVIDED:
PARKING BUILDING TYPE I B (2221) Table 601 F.B.C. 8th EDITION	75 FT.	75 FT.
	7	6

BUILDING SETBACKS:

MIN. PRIMARY FRONTAGE (NORTH):	10.00 FT.	10.00 FT.
MIN. SECONDARY FRONTAGE SETBACK (WEST):	5.00 FT.	5.00 FT.
MIN. SIDE GROUND SETBACK (EAST):	5.00 FT.	15.00 FT.
MIN. REAR GROUND SETBACK (SOUTH):	00.00 FT.	3.00 FT.

MAX. OFFICE AREA ALLOWED: SITE AREA x FAR (200 FT. x 200 FT.) x 2.75 = 110,000 S.F.

PROVIDED FLOOR AREA OF OFFICE BLDG.:

RESTROOMS	92,000 S.F. +/- GROSS
POWER EQUIPMENT & METER ROOMS	2,500 S.F. +/-
	1,500 S.F. +/-

PARKING PER ARTICLE 4.6 OF HOLLYWOOD LAND DEVELOPMENT REGULATIONS:

OFFICE 2.5 SPACES PER 1,000 S.F. MIN.	Minimum:	Maximum:
(2.5 x 92,000 / 1,000)	230	
OFFICE 5 SPACES PER 1,000 S.F. MAX.		460
(5 x 92,000 / 1,000)		

PARKING PROVIDED:

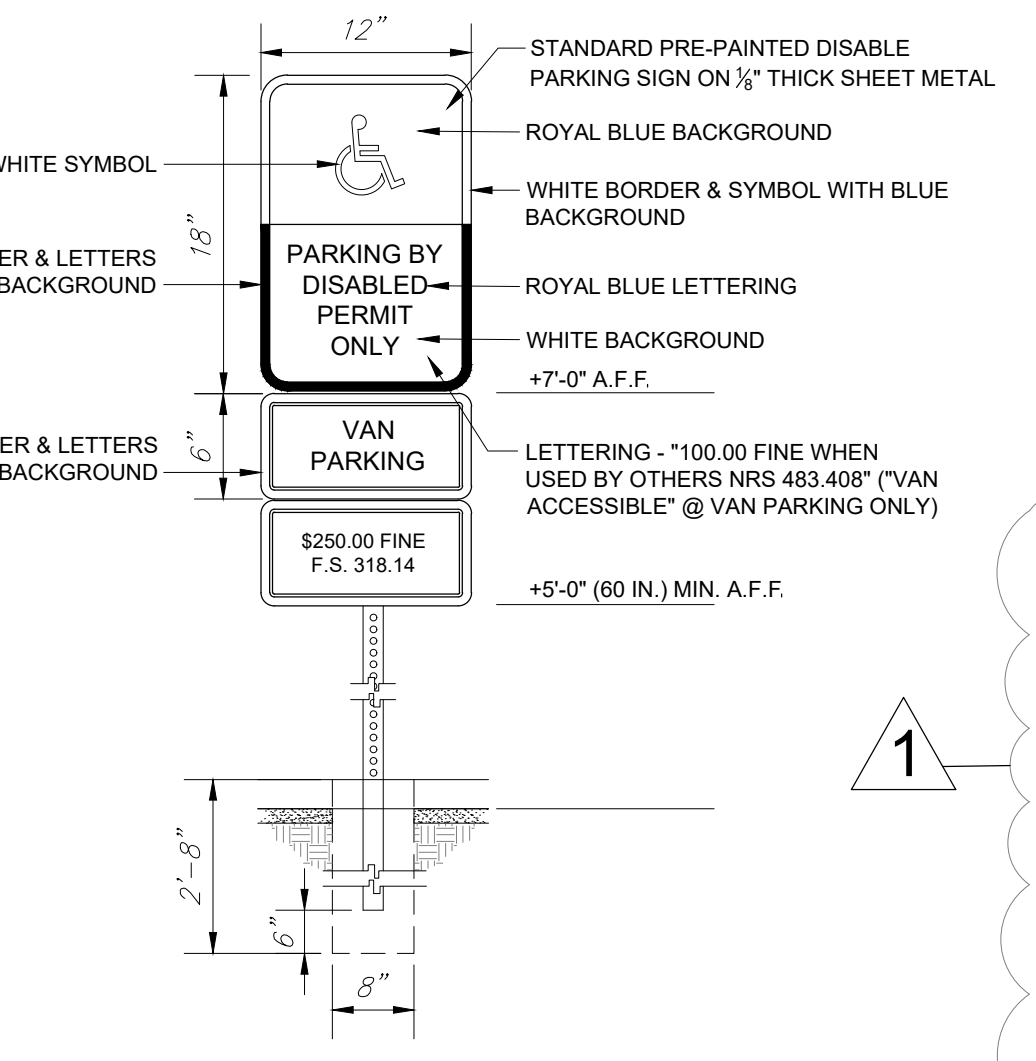
FLOOR	STANDARD	CHARGING STATION	HANDICAP (including van parking)
1ST FLOOR	12	3	8
2ND FLOOR	32	0	0
3RD FLOOR	35	0	0
4TH FLOOR	35	0	0
5TH FLOOR	35	0	0
6TH FLOOR	35	0	0
7TH FLOOR	35	0	0
8TH FLOOR	35	0	0
9th LEVEL	30	0	0
TOTAL	284	3	8

FOR 301-400 SPACES PROVIDED - 8 HC SPACES REQUIRED

LIGHTING: 0.5 MAX LUMENS AT ALL PROPERTY LINES

APPLIED FOR REZONING EXISTING TC-1 TO RC-1 ZONING

NOTE:
ALL ROADS AND ALLEYS ADJACENT TO THE PROPERTY ARE TO BE MILLED AND RESURFACED FOR THE FULL WIDTH OF PAVEMENT.
ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.
CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE 5 INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW (OUTSIDE OF THE PROPERTY LINES) WILL BE A MINIMUM OF 6 INCHES THICK, 3,000PSI WITH NO METAL OR FIBER MESH AND WILL BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY WILL MAINTAIN CONTROL LOCATED EVERY 250 SQ. FT. AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAW CUT FOR A CLEAN STRAIGHT EDGE.



ACCESSIBLE PARKING SIGN
N.T.S.

PROPOSED MASTER SITE PLAN
SCALE: 1" = 20'-0"

VARIANCE REQUEST

VARIANCE 2 REQUESTING: 5 FT. FRONT SETBACK WHERE 10 FT. IS REQUIRED ALONG THE NORTH PROPERTY LINE FROM THE NEW RIGHT OF WAY LINE AT THE GARAGE FRONTAGE LINE

VARIANCE 6 REQUESTING: DELETE REQUIRED SIDEWALK ALONG THE NORTH PROPERTY LINE

NOTE:
ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL
ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.
ALL SIGNS WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.

EXTERNAL LIGHTING

PARKING	3.5 foot candles
WALKING SURFACES	3.0 foot candles
RECREATIONAL AREAS	2-3 foot candles
BUILDING ENTRYWAYS	5.0 foot candles
PROPERTY LINE	0.5 foot candles

MAIL DELIVERY TO CENTRAL MAIL ROOM AT THE MAIN LOBBY

CONSTRUCTION TO COMPLY WITH FLORIDA FIRE PREVENTION CODE (8TH EDITION) NFPA 1 (2021 ED.) NFPA 101 (2021 ED.)

NOTE:
LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.

SCOPE OF WORK

PROPOSED SIX STORY OFFICE BUILDING AND NINE LEVEL PARKING GARAGE ON AN EXISTING VACANT LOT

LEGAL DESCRIPTION

PARCEL 1
LOT SEVENTEEN (17) LESS THE WEST TEN (10) FEET THEREOF, BLOCK FOURTY-TWO (42), HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE AMENDED PLAT THEREOF, RECORDED IN PLAT BOOK 1, AT PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. SUBJECT TO AN EASEMENT GRANTING 7.5 FEET OF SAID LOT.

PARCEL 2
ALL OF LOT SIXTEEN (16) AND THE WEST TEN (10) FEET OF LOT SEVENTEEN (17), IN BLOCK FOURTY-TWO (42), HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE AMENDED PLAT THEREOF, RECORDED IN PLAT BOOK 1, AT PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTE: ALL EXISTING SITE PLAN DATA TAKEN FROM A SURVEY BY ATLANTIC COAST SURVEYING INC., 13798 NW 4TH STREET, SUITE 306, SUNRISE, FL 33325. JOB # 42161

FLOOD ZONE INFORMATION

COMMUNITY NUMBER	125113 0568H
PANEL NUMBER	0145 H
	AH-8 A-E9
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	08/18/14

NOTE: ALL EXISTING SITE DATA TAKEN FROM SURVEY PREPARED BY OTHERS

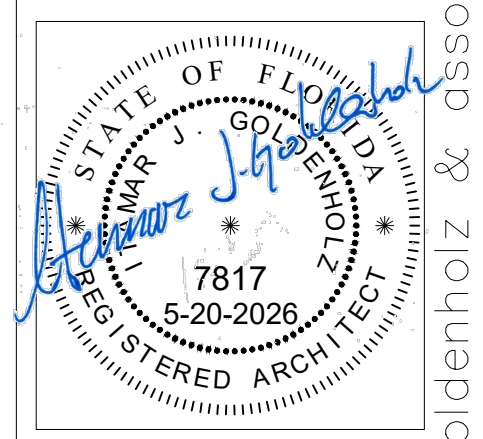
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POLK OFFICE BUILDING
2910 POLK STREET
HOLLYWOOD, FLORIDA 33020

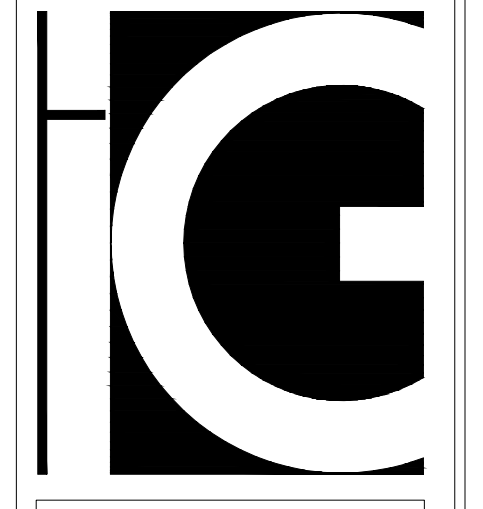
SITE PLAN

SHEET TITLE: SITE PLAN

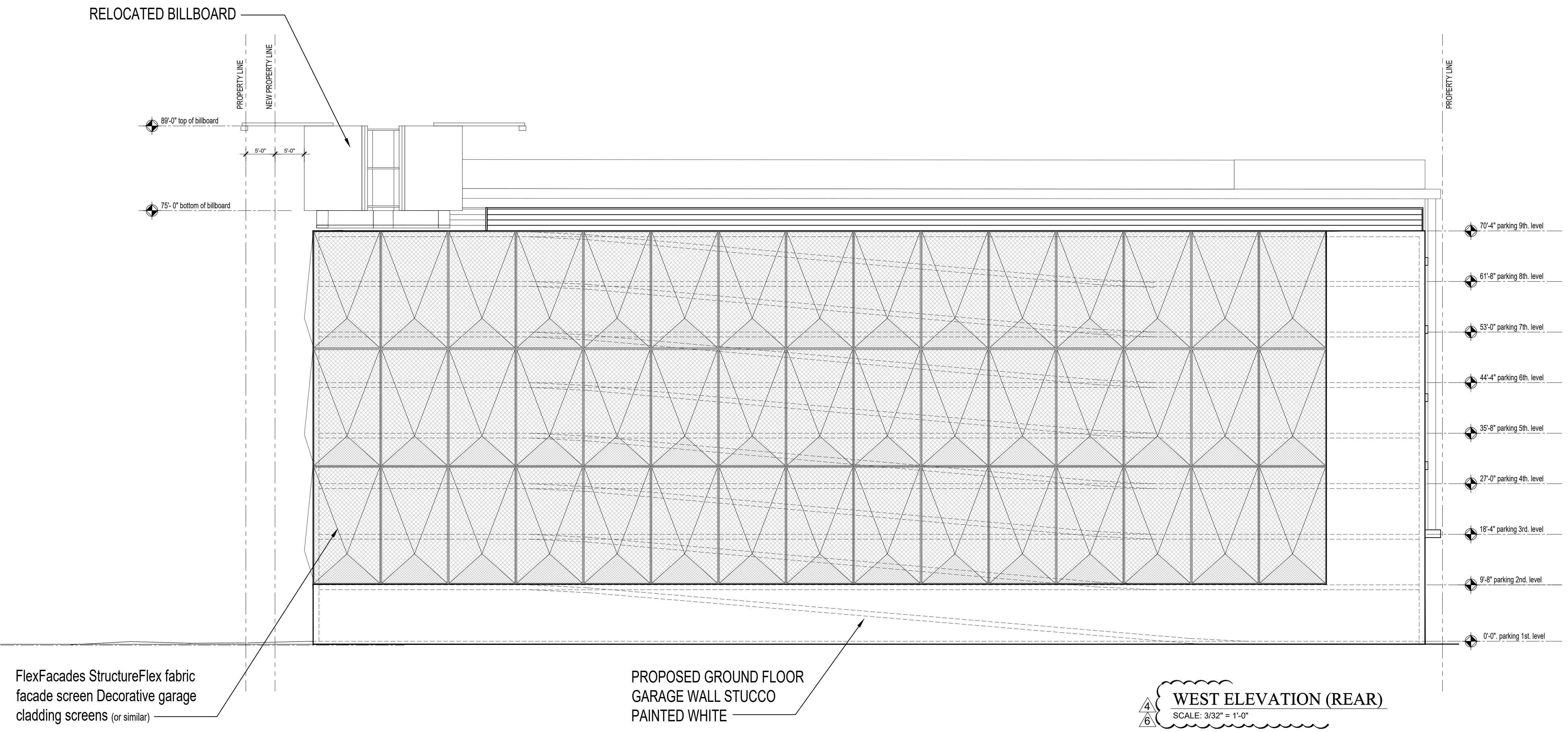
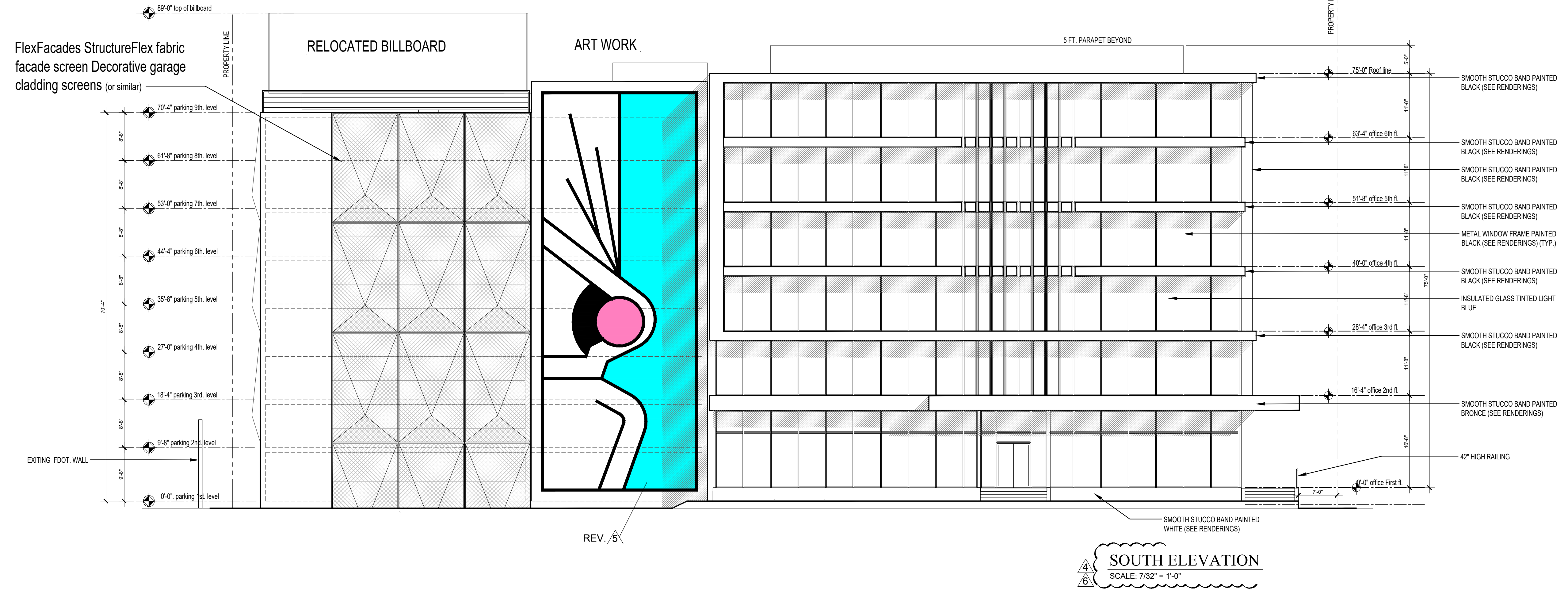
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8-05-2024
4-30-2025 REV. 1
6-23-2025 REV. 2
9- 8-2025 REV. 3
1-26-2026 REV. 4
4- 7-2026 REV. 5
5-12-2026 REV. 6



ITAMAR GOLDENHOLZ
FL. LIC. AR0007817



SP-1
p.n. 22036



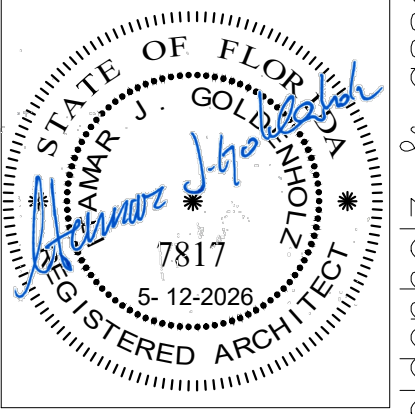
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POLK OFFICE BUILDING
 2910 POLK STREET
 HOLLYWOOD, FLORIDA 33020

OFFICE BUILDING ELEVATIONS

4-4-2024	TAC
7-18-24 4 STORY OFFICE	
2-18-2024	
12-23-2024	
1-15-2025	
3-7-2025	
3-12-2025	
3-18-2025	
3-20-2025	
3-25-2025	
4-9-2025	
4-18-2025	
4-30-2025	REV. 1

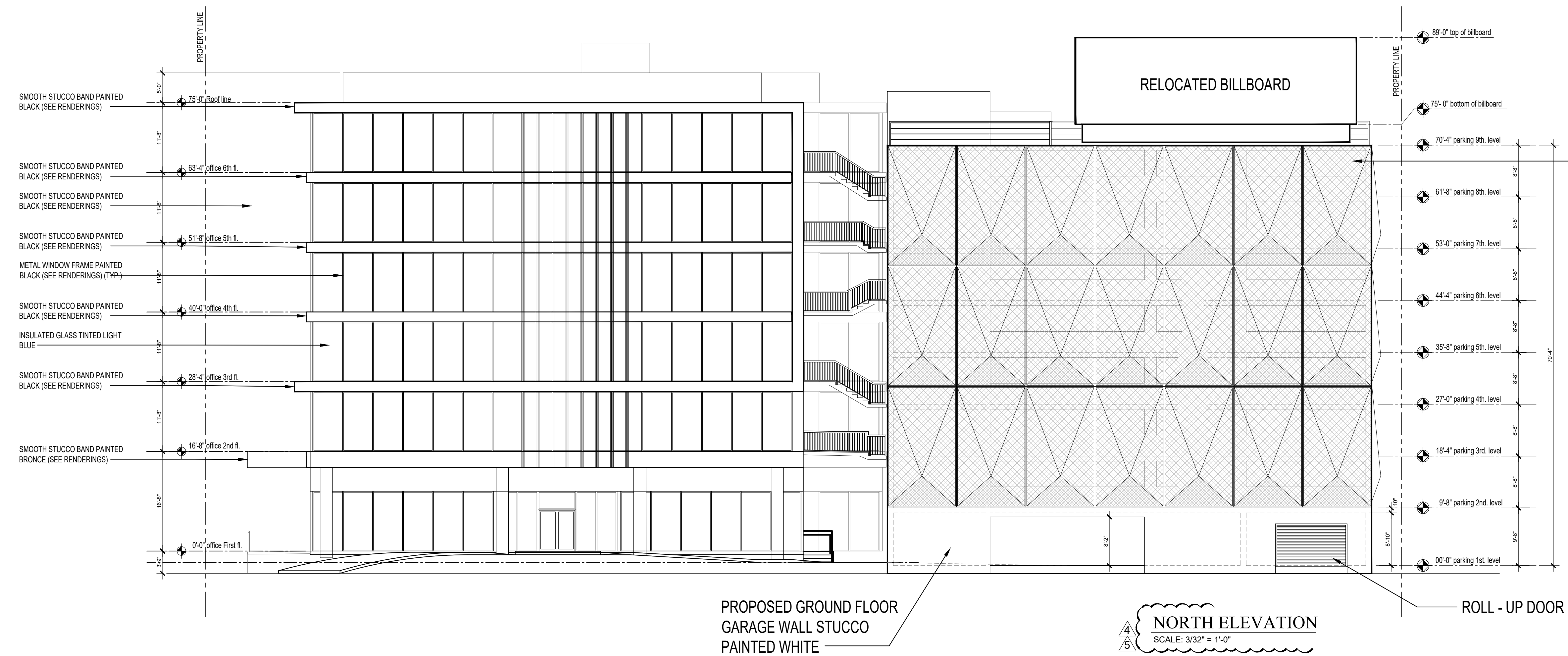
2-04-2026 REV. 4
 4-17-2026 REV. 5
 5-12-2026 REV. 6



ITAMAR GOLDENHOLZ
 FL. LIC. AR0007817

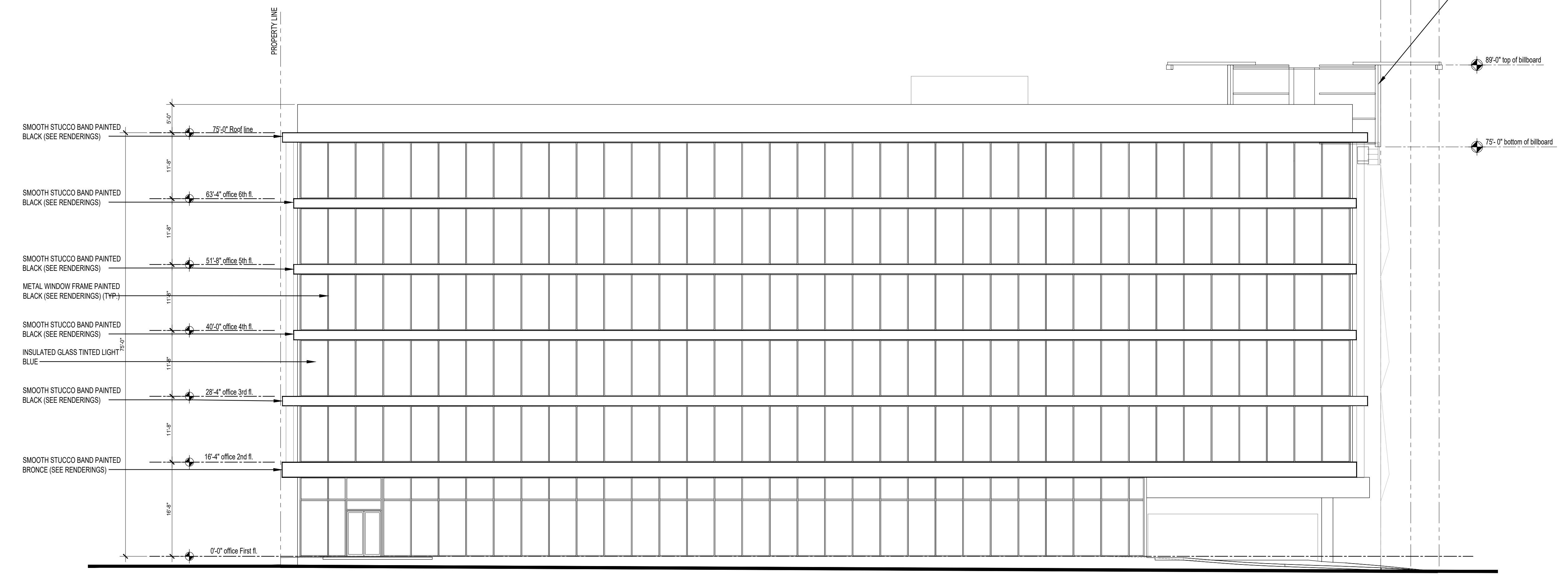


goldenholz & associates architects planners p.a. 3122 n. pine island road, sunrise, florida 33351 (954) 742-0797 fax (954) 742-3093



FlexFacades StructureFlex fabric facade screen Decorative garage cladding screens (or similar)

NORTH ELEVATION
SCALE: 3/32" = 1'-0"



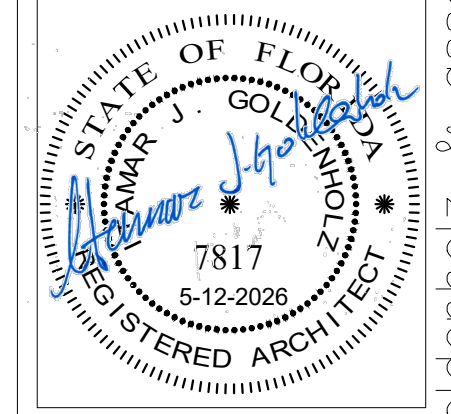
EAST ELEVATION
SCALE: 3/32" = 1'-0"

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POLK OFFICE BUILDING
2910 POLK STREET
HOLLYWOOD, FLORIDA 33020

OFFICE BUILDING ELEVATIONS

4-4-2024
7-18-24 4 STORY OFFICE
2-18-2024
12-23-2024
1-15-2025 TAC
3-7-2025
3-12-2025
3-18-2025
3-20-2025 CITY PARK
3-25-2025 CITY PARK
4-30-2025 REV. 4
2-04-2026 REV. 4
5-12-2026 REV. 5



ITAMAR GOLDENHOLZ
FL. LIC. AR0007817



goldenholz & associates architects planners p.a. 3122 n. pine island road, sunrise, florida 33351 (954) 742-0797 fax (954) 742-3093

30
55

68-44334

I N D E N T U R E

OFF REC 3642 PAGE 265

0-68-13

This indenture made this 21st day of December, 1967, between Cone & Stella Atti

party of the first part, hereinafter referred to as the grantor; and the City of Hollywood, Florida, a municipal corporation under the laws of the State of Florida, party of the second part, hereinafter described as the grantee.

WHEREAS, the grantor is the Owner in fee simple of Lot 16, Block 42, Hollywood Little Ranches Amended, a subdivision of Broward County, Florida according to the plat thereof recorded in Plat Book No. 1, Page 26, of the public records of Broward County, Florida.

WHEREAS, the party of the second part, the grantee herein, is a Municipality authorized under its charter to provide for the general welfare of the people of the City of Hollywood, Florida and in order to provide for the general welfare it is deemed necessary that an easement for perpetual use of the public for alley purposes, public utilities, and storm drainage be obtained across the following described parcel of said lot:

Beginning at the Southwest Corner of Lot 16, Block 42, Hollywood Little Ranches Amended run northerly a distance of 205 feet to the Northwest corner of said Lot 16, thence Easterly along the North line of said Lot 16 a distance of 12.0 feet to a point, thence Southerly on and along a line parallel to the West line of said Lot 16, a distance of 185 feet to a point; thence Southeasterly along a radial return concave to the Northeast, with a central angle of 90°00'00" and a radius of 20.0 feet, an arc distance of 31.416 feet to a point on the South line of said Lot 16, thence Westerly along said south line a distance of 32.0 feet to the point of beginning.

WHEREAS, the grantor has agreed, in consideration of One Dollar (\$1.00) and other considerations paid by the grantee, receipt of which by the grantor is hereby acknowledged, to grant to the grantee an easement across the following described parcel of said lot.

Beginning at the Southwest Corner of Lot 16, Block 42, Hollywood Little Ranches Amended run northerly a distance of 205 feet to the Northwest corner of said Lot 16, thence Easterly along the North line of said Lot 16 a distance of 12.0 feet to a point, thence Southerly on and along a line parallel to the West line of said Lot 16, a distance of 185 feet to a point; thence Southeasterly along a radial return concave to the Northeast, with a central angle of 90°00'00" and a radius of 20.0 feet, an arc distance of 31.416 feet to a point on the South line of said Lot 16, thence Westerly along said south line a distance of 32.0 feet to the point of beginning.

68 APR 12 PM 3:14

BROWARD COUNTY

STATE OF FLORIDA
DOCUMENTARY STAMP TAX
APR 12 '68
COMPTROLLER
PB. 190119
030

-1-

CANCELLED
STATE OF FLORIDA
DOCUMENTARY
SUR TA
\$55

H. 25

NOW, THEREFORE, this indenture Witnesseth: That in consideration of the sum of One Dollar (\$1.00) and other valuable consideration, paid by the grantee to the grantor, the grantor by these presents does grant unto the grantee, its successors and assigns full and free right and authority to use said easement in the area aforesaid to wit: along and in the following described parcel of Lot 16, Block 42, Hollywood Little Ranches Amended, a subdivision of Broward County, Florida.

Beginning at the Southwest Corner of Lot 16, Block 42, Hollywood Little Ranches Amended run Northerly a distance of 205 feet to the Northwest corner of said Lot 16, thence Easterly along the North line of said Lot 16 a distance of 12.0 feet to a point, thence Southerly on and along a line parallel to the West line of said Lot 16, a distance of 185 feet to a point; thence Southeasterly along a radial return concave to the Northeast, with a central angle of 90°00'00" and a radius of 20.0 feet, an arc distance of 31.416 feet to a point on the South line of said Lot 16, thence Westerly along said south line a distance of 32.0 feet to the point of beginning.

APPENDIX NO. 1: The grantee agrees that the grantor of said agreement shall have the right to build or construct any structure (permitted by the present zoning of the property) adjacent to the east line of said easement but not in said easement; and further agrees that the grantor shall not be required by the grantee to set back from the east easement line. This agreement shall not alter or waive any zoning or building requirements which apply to the remainder of the total parcel known as Lot 16, Block 42, of Hollywood Little Ranches Amended.

In the event the necessity for the use of said easement in said area shall cease to exist, then this agreement shall terminate and end.

In Witness Whereof the grantor has hereunto set his hand and seal the day and year first above written.

[Signature] (L.S.)
[Signature]

WITNESSES:

[Signature]
[Signature]

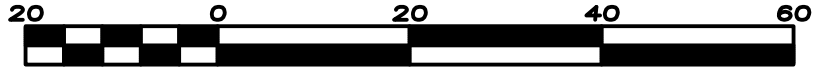


ATLANTIC COAST
SURVEYING

PROJECT# 42161SL1

SKETCH AND LEGAL DESCRIPTION

SHEET 1 OF 1



Scale 1" = 20'

LEGAL DESCRIPTION (5' RIGHT OF WAY DEDICATION)

THE SOUTH 5 FEET OF LOT 9, BLOCK FOURTY-ONE (41), HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE AMENDED PLAT THEREOF, RECORDED IN PLAT BOOK 1, AT PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LOT 16, BLOCK 41

N.90°00'00"E. 100.00'

LOT 10, BLOCK 41

N.00°01'18"W. 200.00'

LOT 9, BLOCK 41 LESS THE S. 5'

S.00°01'18"E. 200.00'

LOT 8, BLOCK 41

N. 28TH AVENUE

N.90°00'00"E. 100.00'

THE S. 5' OF LOT 9, BLOCK 41

S.90°00'00"W. 100.00'

5' RIGHT-OF-WAY DEDICATION

BLOCK CORNER

N.90°00'00"E. 800.00'
BEARING BASIS (ASSUMED)

20.0'

20.0'

40' RIGHT-OF-WAY

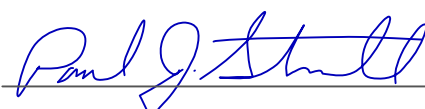
POLK STREET

LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	N.00°01'18"W.	5.00'
L2	S.00°01'18"E.	5.00'

NOTES

1. BASIS OF BEARINGS AS INDICATED ON SKETCH.
2. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
3. THE LEGAL DESCRIPTION AND SKETCH DOES NOT CONSTITUTE A LAND SURVEY ATLANTIC COAST SURVEYING, INC.
4. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR


 PROFESSIONAL LAND SURVEYOR FLORIDA CERTIFICATION NO. 5241
 13798 NW 4TH STREET, SUITE 306 SUNRISE, FL 33325
 P.954.587.2100 E: info@acsiweb.net



ATLANTIC COAST
SURVEYING

PROJECT# 42161SL2

SKETCH AND LEGAL DESCRIPTION

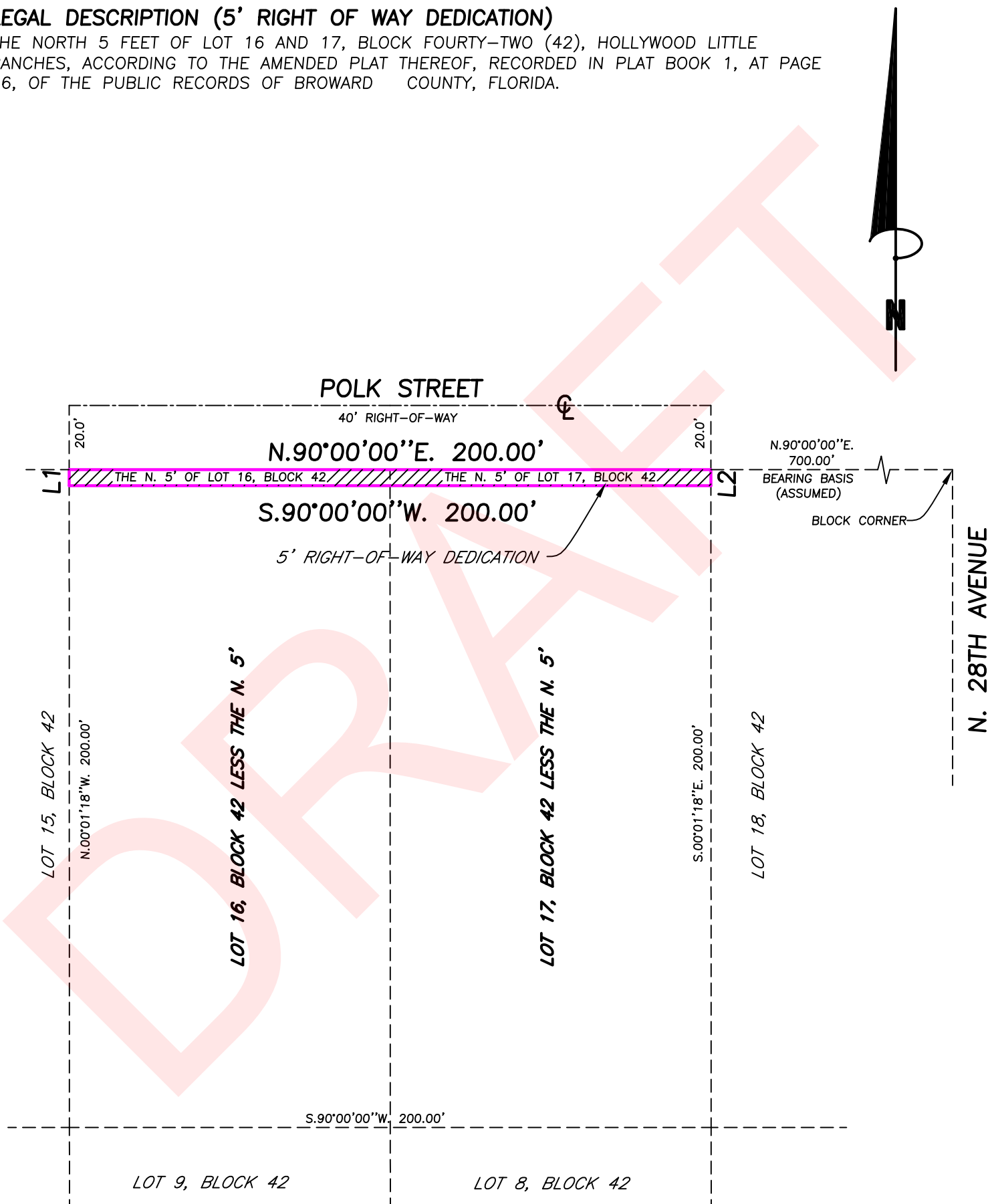
SHEET 1 OF 1



Scale 1" = 40'

LEGAL DESCRIPTION (5' RIGHT OF WAY DEDICATION)

THE NORTH 5 FEET OF LOT 16 AND 17, BLOCK FOURTY-TWO (42), HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE AMENDED PLAT THEREOF, RECORDED IN PLAT BOOK 1, AT PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



LINE TABLE

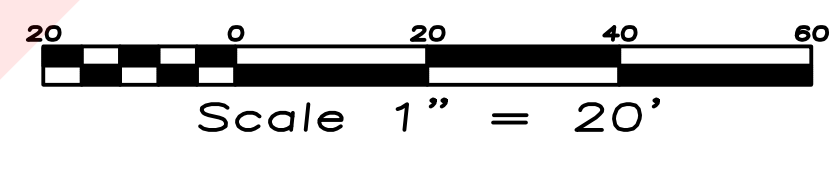
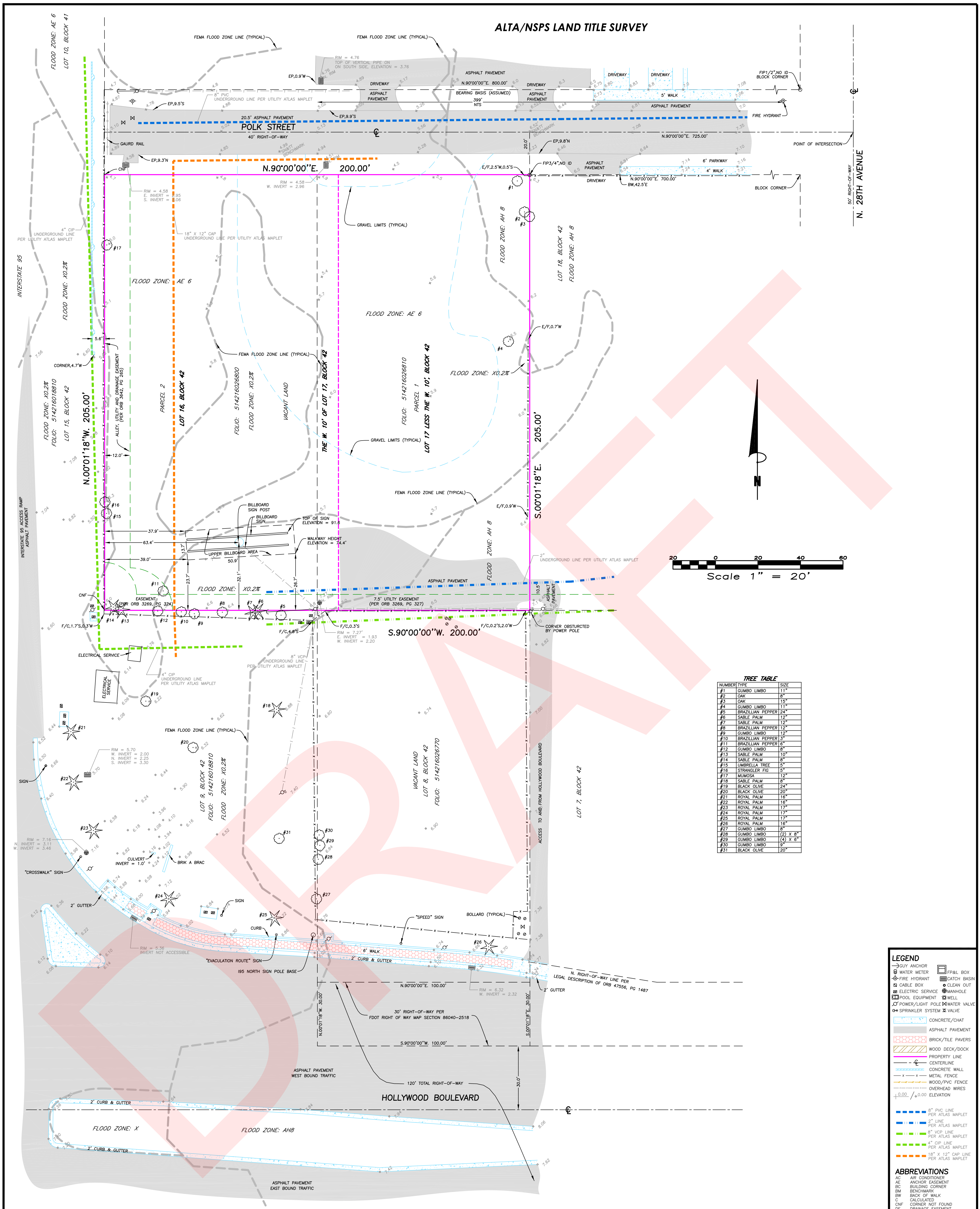
NUMBER	DIRECTION	DISTANCE
L1	N.00°01'18"W.	5.00'
L2	S.00°01'18"E.	5.00'

NOTES

1. BASIS OF BEARINGS AS INDICATED ON SKETCH.
2. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
3. THE LEGAL DESCRIPTION AND SKETCH DOES NOT CONSTITUTE A LAND SURVEY ATLANTIC COAST SURVEYING, INC.
4. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR

PROFESSIONAL LAND SURVEYOR FLORIDA CERTIFICATION NO. 5241
13798 NW 4TH STREET, SUITE 306 SUNRISE, FL 33325
P.954.587.2100 E: info@acsiweb.net

ALTA/NSPS LAND TITLE SURVEY



TREE TABLE

NUMBER	TYPE	SIZE
#1	GUMBO LIMBO	11"
#2	OAK	8"
#3	OAK	15"
#4	GUMBO LIMBO	11"
#5	BRAZILIAN PEPPER	24"
#6	SABLE PALM	12"
#7	SABLE PALM	12"
#8	BRAZILIAN PEPPER	12"
#9	GUMBO LIMBO	12"
#10	BRAZILIAN PEPPER	3"
#11	BRAZILIAN PEPPER	6"
#12	GUMBO LIMBO	8"
#13	SABLE PALM	10"
#14	SABLE PALM	8"
#15	UMBRELLA TREE	5"
#16	STRANGLER FIG	5"
#17	MUNSKA	12"
#18	SABLE PALM	8"
#19	BLACK OLIVE	24"
#20	BLACK OLIVE	20"
#21	ROYAL PALM	16"
#22	ROYAL PALM	16"
#23	ROYAL PALM	17"
#24	ROYAL PALM	17"
#25	ROYAL PALM	17"
#26	ROYAL PALM	16"
#27	GUMBO LIMBO	6"
#28	GUMBO LIMBO	(2) X 8"
#29	GUMBO LIMBO	(2) X 8"
#30	GUMBO LIMBO	9"
#31	BLACK OLIVE	20"

LEGEND

- GUY ANCHOR
- WATER METER
- FIRE HYDRANT
- CABLE BOX
- ELECTRIC SERVICE
- POOL EQUIPMENT
- POWER/LIGHT POLE
- SPRINKLER SYSTEM
- CONCRETE/CHAT
- ASPHALT PAVEMENT
- BRICK/TILE PAVERS
- WOOD DECK/DOCK
- PROPERTY LINE
- CENTERLINE
- CONCRETE WALL
- METAL FENCE
- WOOD/PVC FENCE
- OVERHEAD WIRES
- 0.00 / 0.00 ELEVATION
- 8" PVC LINE PER ATLAS MAPLET
- 2" LINE PER ATLAS MAPLET
- 8" VCP LINE PER ATLAS MAPLET
- 4" CIP LINE PER ATLAS MAPLET
- 18" X 12" CAP LINE PER ATLAS MAPLET

ABBREVIATIONS

- AC ANCHOR
- AE ANCHOR EASEMENT
- BC BUILDING CORNER
- BM BENCHMARK
- BW BACK OF WALK
- CA CALCULATED
- CNF CORNER NOT FOUND
- DR DRAINAGE EASEMENT
- EW EDGE OF WATER
- F/C FENCE/CORNER
- FF FLOOR
- F/I FENCE/IRON PIPE
- FR FOUND IRON ROD
- FN FOUND NAIL & DISC
- FN&F FOUND NAIL & F&B
- FP&L FLORIDA POWER & LIGHT
- GAR GARAGE
- GEN GENERATOR
- INSTR INSTRUMENT
- MON MONUMENT
- ORB OFFICIAL RECORD BOOK
- MEAS MEASUREMENT
- NTS NOT TO SCALE
- PC POINT OF COMMENCEMENT
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRC POINT OF REVERSE CURVE
- PERM PERMANENT REFERENCE MONUMENT
- PT POINT OF TANGENCY
- REC RECORD
- RD RADIAL
- RW RIGHT-OF-WAY
- SN&B SET NAIL & DISC 5495
- SP SCREENED PORCH
- ST&B SET 1/2" PIN & CAP 5495
- UTL UTILITY EASEMENT

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

TABLE A

4. GROSS LAND AREA = 67,000 SQUARE FEET MORE OR LESS (1.500 ACRES MORE OR LESS). NET LAND AREA = 61,500 SQUARE FEET MORE OR LESS (1.412 ACRES MORE OR LESS). LAND AREA TAKEN TO CENTER OF POLK STREET RIGHT-OF-WAY.

16. NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

SURVEY NOTE:
Underground utility lines shown are based solely on City documentation (UTILITY ATLAS MAPLET), have not been field verified and are for informational purposes only. Locations are approximate only and shall not be interpreted as accurate, precise, or complete.

LEGAL DESCRIPTION

PARCEL 1
LOT SEVENTEEN (17) LESS THE WEST TEN (10) FEET THEREOF, BLOCK FOURTY-TWO (42), HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE AMENDED PLAT THEREOF, RECORDED IN PLAT BOOK 1, AT PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA, SUBJECT TO AN EASEMENT ACROSS 7.5 FEET OF SAID LOT.

PARCEL 2
ALL OF LOT SIXTEEN (16) AND THE WEST TEN (10) FEET OF LOT SEVENTEEN (17), IN BLOCK FOURTY-TWO (42), HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE AMENDED PLAT THEREOF, RECORDED IN PLAT BOOK 1, AT PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFIED TO:
BRO 23 DEVELOPMENT LLC & NAHARI, AVHU

PROPERTY ADDRESS
2910 POLK STREET
HOLLYWOOD, FL 33020

BOUNDARY SURVEY
INVOICE # 4216112
SURVEY DATE 04/30/26

FLOOD ZONE AHB / AEB / X0.2%

MAP DATE 07/21/24
MAP NUMBER 125113 058J

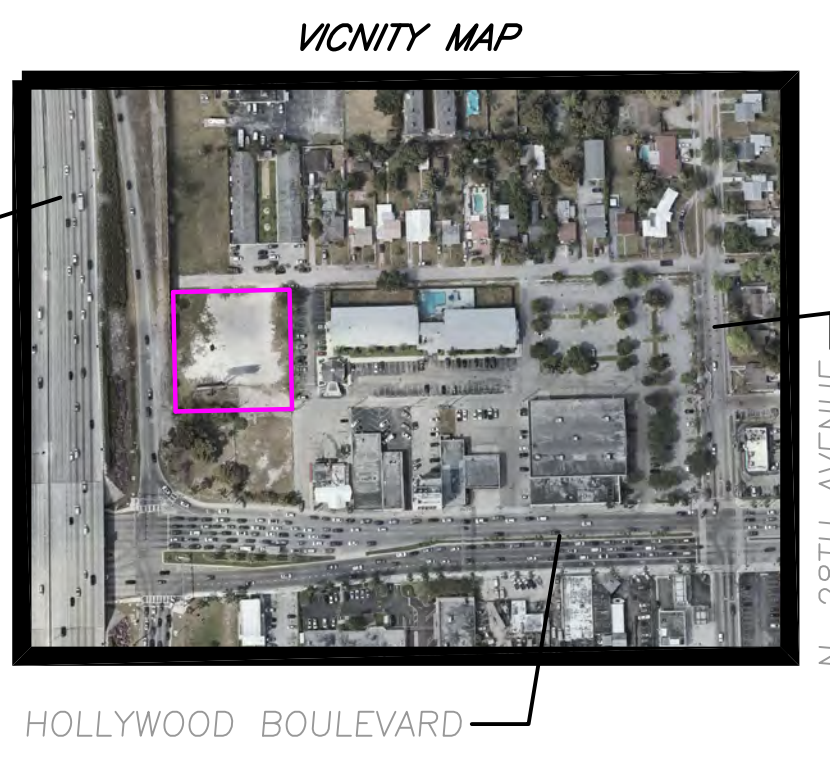
TITLE REVIEW
SCHEDULE B, PART II EXCEPTIONS

Issuing Agent: Perlow Korman Corot & Bensionm PLLC
Commitment Number: 13079239
Issuing Office File Number: 26-Nahari
Commitment Date: 04/10/2026 at: 8:00 AM

- Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this form. (NOT A SURVEY MATTER)
- Taxes and assessments for the year 2026 and subsequent years, which are not yet due and payable. (NOT A SURVEY MATTER)
- Standard Exceptions:
 - Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the land. (NOT A SURVEY MATTER)
 - Rights or claims of parties in possession not shown by the public records. (NOT A SURVEY MATTER)
 - Any lien, or right to a lien, for services, labor, or materials heretofore or hereafter furnished, imposed by law and not shown by the public records. (NOT A SURVEY MATTER)
 - Any lien provided by County Ordinance or by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas system supplying the insured land. (NOT A SURVEY MATTER)
 - Rights of tenants occupying all or part of the insured land under unrecorded leases or rental agreements. (NOT A SURVEY MATTER)
 - Easement in favor of the City of Hollywood, Florida, recorded in Official Records Book 3269, Page 324, of the Public Records of Broward County, Florida. (AS SHOWN ON SURVEY)
 - Easement in favor of the City of Hollywood, Florida, recorded in Official Records Book 3269, Page 327, of the Public Records of Broward County, Florida. (AS SHOWN ON SURVEY)
 - Easement in favor of the City of Hollywood, Florida, recorded in Official Records Book 3642, Page 265, of the Public Records of Broward County, Florida. (AS SHOWN ON SURVEY)

SURVEYOR'S NOTES

1. BASIS OF BEARINGS ASSUMED UNLESS OTHERWISE INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT OR PROPERTY APPRAISER WEBSITE.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
6. FLOOR ELEVATION OBTAINED FROM MAIN ENTRY WAY OF STRUCTURE UNLESS OTHERWISE INDICATED ON SKETCH.
7. FENCE TIES ARE TO THE CENTER-LINE OF FENCE, WALL TIES ARE TO THE FACE OF WALL.
8. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL, LOCATION OF THE IMPROVEMENTS OVER CLEARLY ILLUSTRATIONS.
9. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
10. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7" WIDE UNLESS OTHERWISE NOTED.
11. EXISTING CORNERS FOUND OFFSETS WITNESS PROPERTY CORNERS
12. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
13. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THAN THOSE SHOWN HEREON.



SURVEYOR'S CERTIFICATE
This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2026 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6, 7A, 8, 14, 16, of Table A thereof. The field work was completed on April 30, 2026.
Date of Plot or Map: May, 05, 2026.

ATLANTIC COAST SURVEYING

R. J. Stull
PROFESSIONAL LAND SURVEYOR
FLORIDA CERTIFICATION NO. 5241
13798 NW 4th Street, Suite 306
Sunrise, FL 33322
P: 954.587.2100 E: info@acswet.net

May 11, 2026.

City of Hollywood
Department of Development Services
Planning Division
2600 Hollywood Boulevard.
Hollywood, FL 33020

File Number: **25-DP-13**

Recap from TC-1 to RC-1

PLANNING and ZONING & URBAN DESIGN:

Change of zoning designation from TC-1 to RC-1

1. Omit Variance # 1 – Requesting 5 ft. side setback where a 10 ft. is required on TC-1, RC-1 complies with the 5 ft. at the west side of the property.
2. Omit Variance # 3 – Requesting the 3 ft. rear setback along the south side of the property line. Per RC-1 the required setback is 0.0 ft. We are keeping the 3 ft. setback at the south side of the property.
3. Omit Variance # 4 – Requesting 6 levels of office building. RC-1 allows 7 stories and 75 ft. roof line. We are maintaining the proposed 6 stories building.
4. Omit Variance # 5 – Requesting an increase in of F.A.R. (1.5) (60,000 sq. ft. to 92,000 sq. ft.) RC-1 F.A.R. (2.75) = 112,750 SQ. FT., the 92,000 sq. ft. is within the F.A.R. of RC-1

We are keeping the following variances.

Variance # 2 requesting: 5 ft. front setback where 10 ft. is required along the north property line from the new right of way line at the garage frontage line.

Variance # 6 requesting: Delete required sidewalk along the north property line.

Hector Torres – Project Manager



An independence engineering company

4101 Ravenswood Road, Suite 113

Fort Lauderdale, Florida 33312

Phone: 954-986-9899

E-mail: Jandrade@independence.engineering

JOB NAME: 2910 POLK STREET

JOB NO: 136-002

JOB LOCATION: 2910 POLK STREET, HOLLYWOOD, FL 33351

DESIGNED BY: A.R.

DATE: 5/27/2025

CHECKED BY: N.E.S.

DATE: 1/28/2026

SUBJECT: STORM DRAINAGE CALCULATIONS

SHEET: OF

PRE-SITE CHARACTERISTICS AND AREAS

BUILDING AREA/ROOF	0.00	SF	0.00%
IMPERVIOUS PAVED AREAS	3,206.00	SF	7.82%
POOL	0.00	SF	0.00%
PERVIOUS SITE AREA	37,794.00	SF	92.18%
TOTAL SITE AREA	41,000.00	SF	100.00%

RUNOFF COEFFICIENTS

IMPERVIOUS AREAS	0.90	
PERVIOUS AREAS	0.35	
Wet season water table elev.	0.50	NAVD
Average finished grade in pervious area	6.00	FT NGVD
Compacted water storage	8.18	Inches

DESIGN STORM FREQUENCY FOR WATER QUALITY

10 YEAR STORM RUNOFF, 2.5 x % IMPERVIOUS OR FIRST INCH WHICHEVER IS GREATER

First inch runoff (Total site area x (1/12))	<u>3,416.67</u>	CF
Site area for water quality (Total site - Bldg+Pool)	41,000.00	SF
Impervious area for water quality	3,206.00	SF
2.5 Inches x % Impervious	<u>667.92</u>	CF
2.5" x Pervious site area/Total area	2.30	Inches
10 year 24 hour storm rainfall	8.50	Inches
Soil storage (percent pervious x soil storage)	7.54	Inches. Avg. depth to WT = 5.50 FT

Runoff = $\frac{(P-0.2 \times S)^2}{(P+0.8 \times S)}$ Where P =

8.50 inches for 10 year 24 hour storm rainfall

Runoff = 3.36 inches

Volume = A x R/12 11,493.77 CF



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JOB NO: 136-002

JOB LOCATION: 2910 POLK STREET, HOLLYWOOD, FL 33351

DESIGNED BY: A.R.

DATE: 5/27/2025

CHECKED BY: N.E.S.

DATE: 1/28/2026

SUBJECT: STORM DRAINAGE CALCULATIONS

SHEET: OF

PRO-SITE CHARACTERISTICS AND AREAS

BUILDING AREA/ROOF	27,819.00 SF	67.85%
IMPERVIOUS PAVED AREAS	4,198.00 SF	10.24%
POOL	0.00 SF	0.00%
PERVIOUS SITE AREA	8,983.00 SF	21.91%
TOTAL SITE AREA	41,000.00 SF	100.00%

RUNOFF COEFFICIENTS

IMPERVIOUS AREAS	0.90	
PERVIOUS AREAS	0.35	
Wet season water table elev.	2.00	NGVD
Average finished grade in pervious area	6.50	FT NGVD
Compacted water storage	8.18	Inches

DESIGN STORM FREQUENCY FOR WATER QUALITY

10 YEAR STORM RUNOFF, 2.5 x % IMPERVIOUS OR FIRST INCH WHICHEVER IS GREATER

First inch runoff (Total site area x (1/12))	<u>3,416.67</u>	CF
Site area for water quality (Total site - Bldg+Pool)	13,181.00	SF
Impervious area for water quality	4,198.00	SF
2.5 Inches x % Impervious	<u>2,720.42</u>	CF
2.5" x Pervious site area/Total area	0.55	Inches
10 year 24 hour storm rainfall	8.50	Inches
Soil storage (p)	1.79	Inches. Avg. depth to WT = 4.50 FT

Runoff = $\frac{(P-0.2 \times S)^2}{(P+0.8 \times S)}$ Where P =

8.50 inches for 10 year 24 hour storm rainfall

Runoff = 6.67 inches

Volume = A x R/12 = 22,798.34 CF



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JOB NAME: 2910 POLK STREET

JOB NO: 136-002

JOB LOCATION: 2910 POLK STREET, HOLLYWOOD, FL 33351

DESIGNED BY: A.R.

DATE: 5/27/2025

CHECKED BY: N.E.S.

DATE: 1/28/2026

SUBJECT: STORM DRAINAGE CALCULATIONS

SHEET: OF

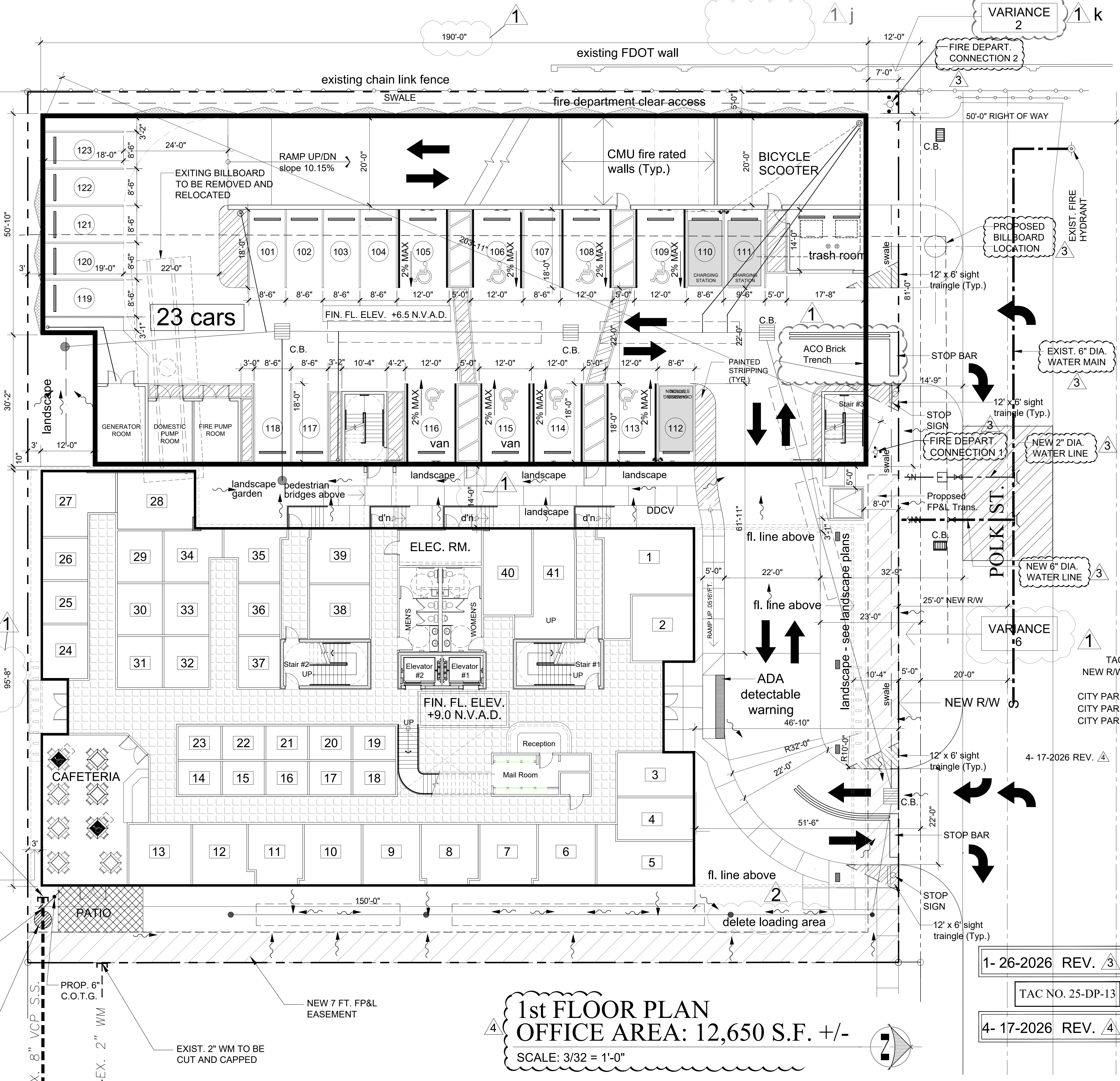
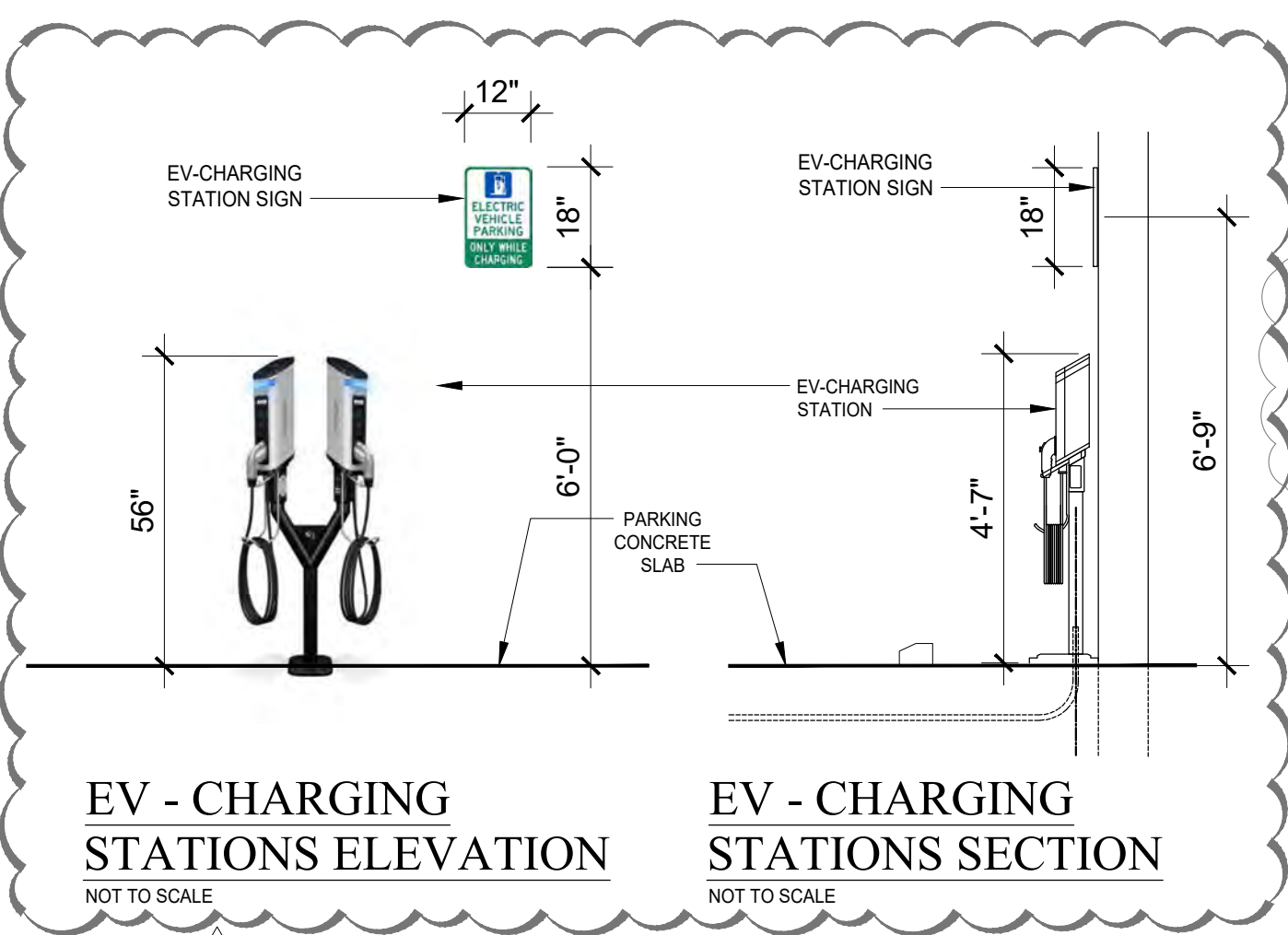
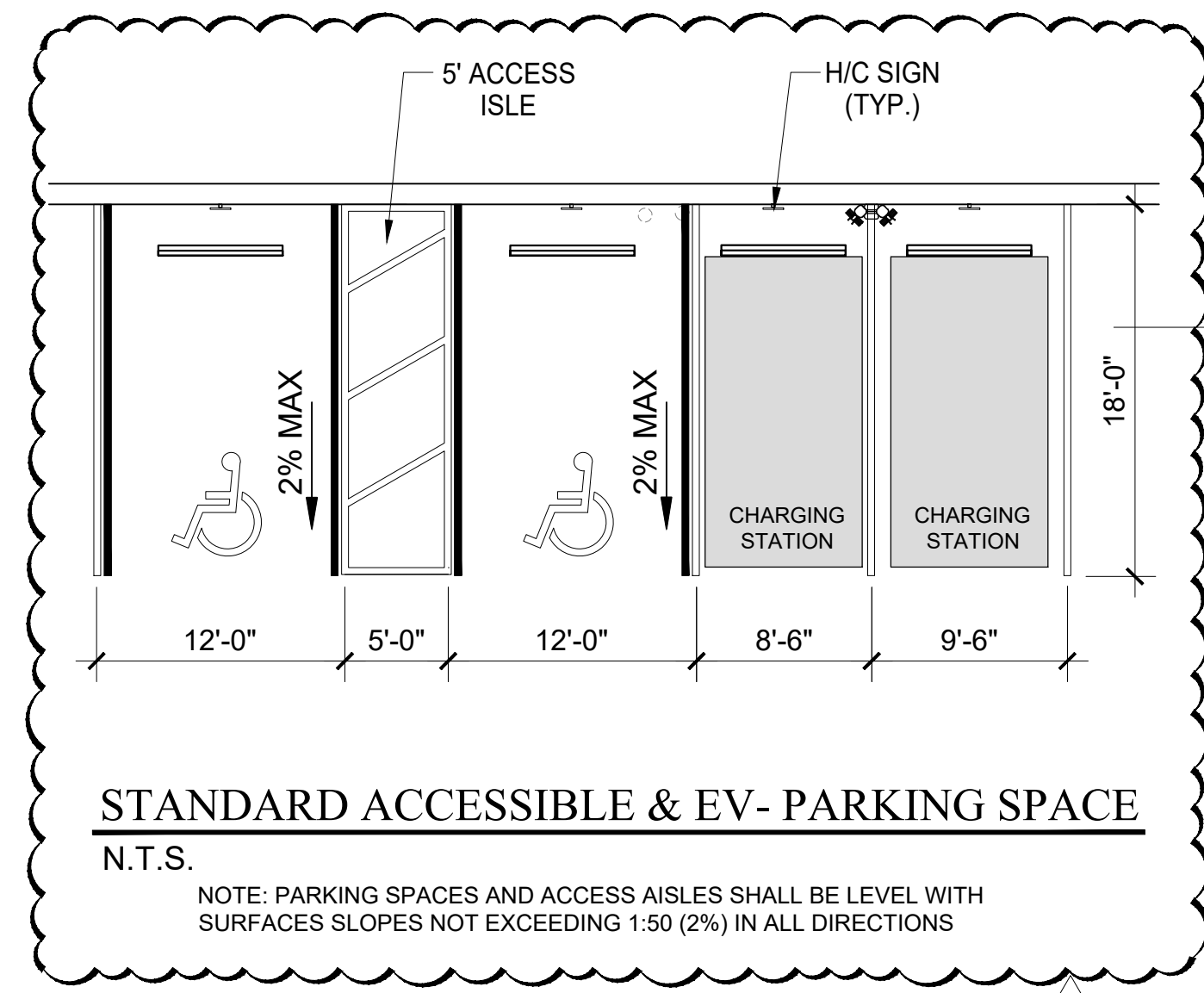
22,798.34 CF OF STORAGE REQUIRED WILL BE PROVIDED IN ONSITE EXFILTRATION TRENCH

DESIGN STORM PEAK AND AVERAGE DAY TRENCH CALCULATIONS

$$L = \frac{V}{K(HW + 2HxDu - Du x Du + 2HDs) + 1.39 x 10^{-4} x W x du}$$

Volume =	6.28 AC-INCH
A = Drainage Area	0.94 AC
W = Trench Width	5.00 FT
K = Hydraulic Conductivity	0.000795 cfs/ft ² per ft of head
H = Depth to water table	3.00 FT
Du = Non Saturated trench depth	2.00 FT
Ds = Saturated trench depth	2.00 FT

Trench Required	214.96 LF
Trench Provided	215 LF

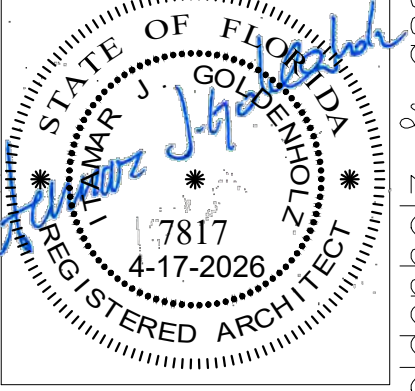


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POLK OFFICE BUILDING
2910 POLK STREET
HOLLYWOOD, FLORIDA 33020

FIRST FLOOR PLAN

- 4-4-2024
- 7-18-24 4 STORY OFFICE
- 9-19-2024
- 11-27-2024
- 1-15-2025
- 3-4-2025
- 3-12-2025
- 3-20-2025
- 3-25-2025
- 3-31-2025
- 4-30-2025 REV. ⚠
- 6-23-2025 REV. ⚠
- 9-9-2025 REV. ⚠
- 4-17-2026 REV. ⚠

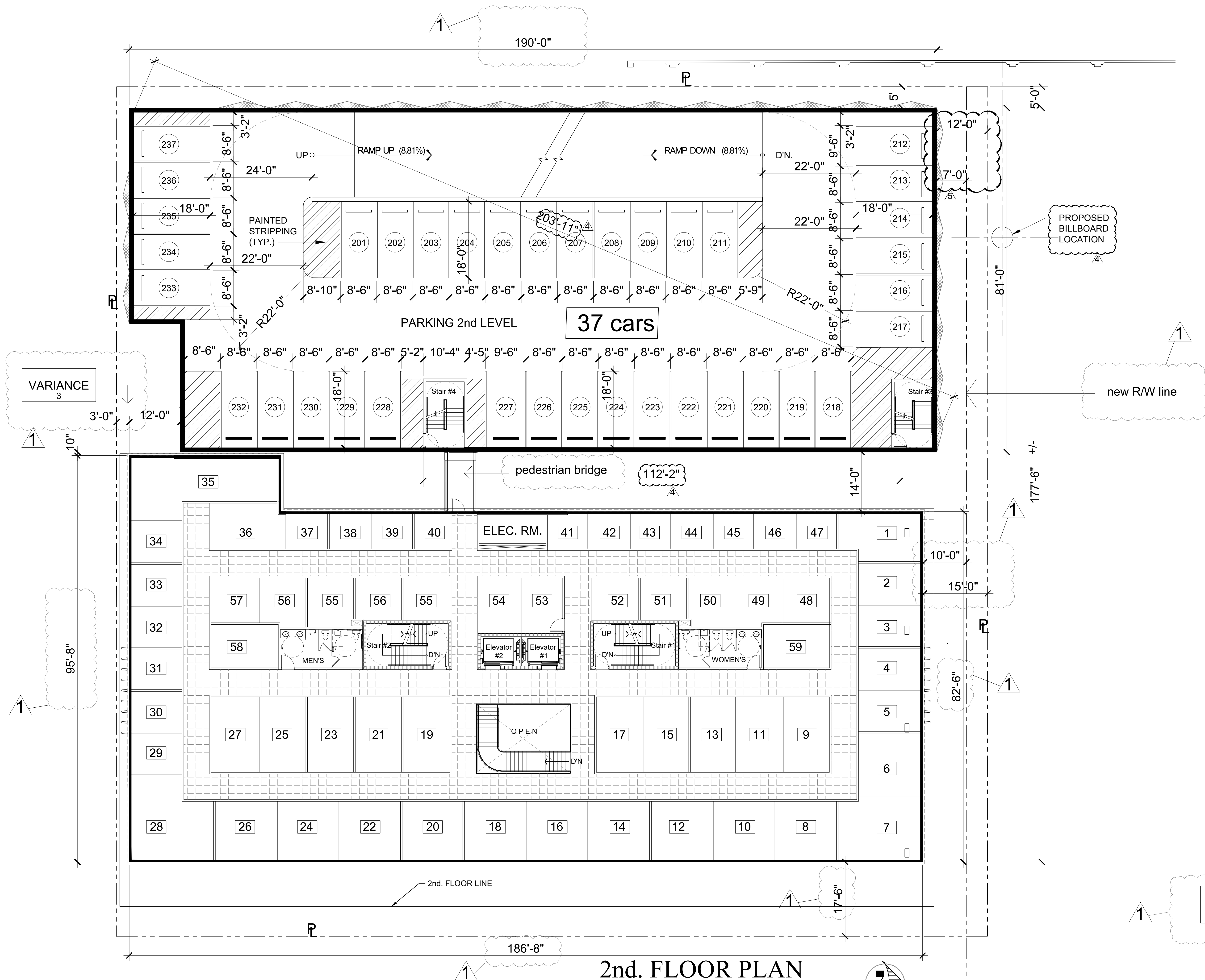


ITAMAR GOLDENHOLZ
FL. LIC. AR0007817



A-1
p.n. 22036

goldenholz & associates architects planners p.a. 3122 n. pine island road, sunrise, florida 33351 (954) 742-0797 fax (954) 742-3093



2nd. FLOOR PLAN

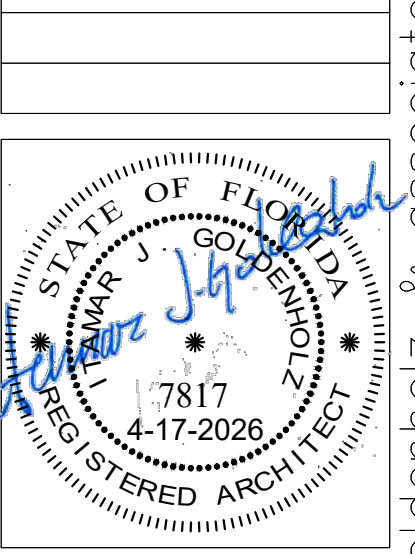
SCALE: 3/32 = 1'-0"

15,870 s.f. +/-

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POLK OFFICE BUILDING
 2910 POLK STREET
 HOLLYWOOD, FLORIDA 33020

11-27-2024
2-6-2025
2-12-2025
3-12-2025
3-17-2025
3-20-2025
3-25-2025
3-31-2025
4-30-2025 REV. A
4-17-2026 REV. B



ITAMAR GOLDENHOLZ
 FL. LIC. AR0007817

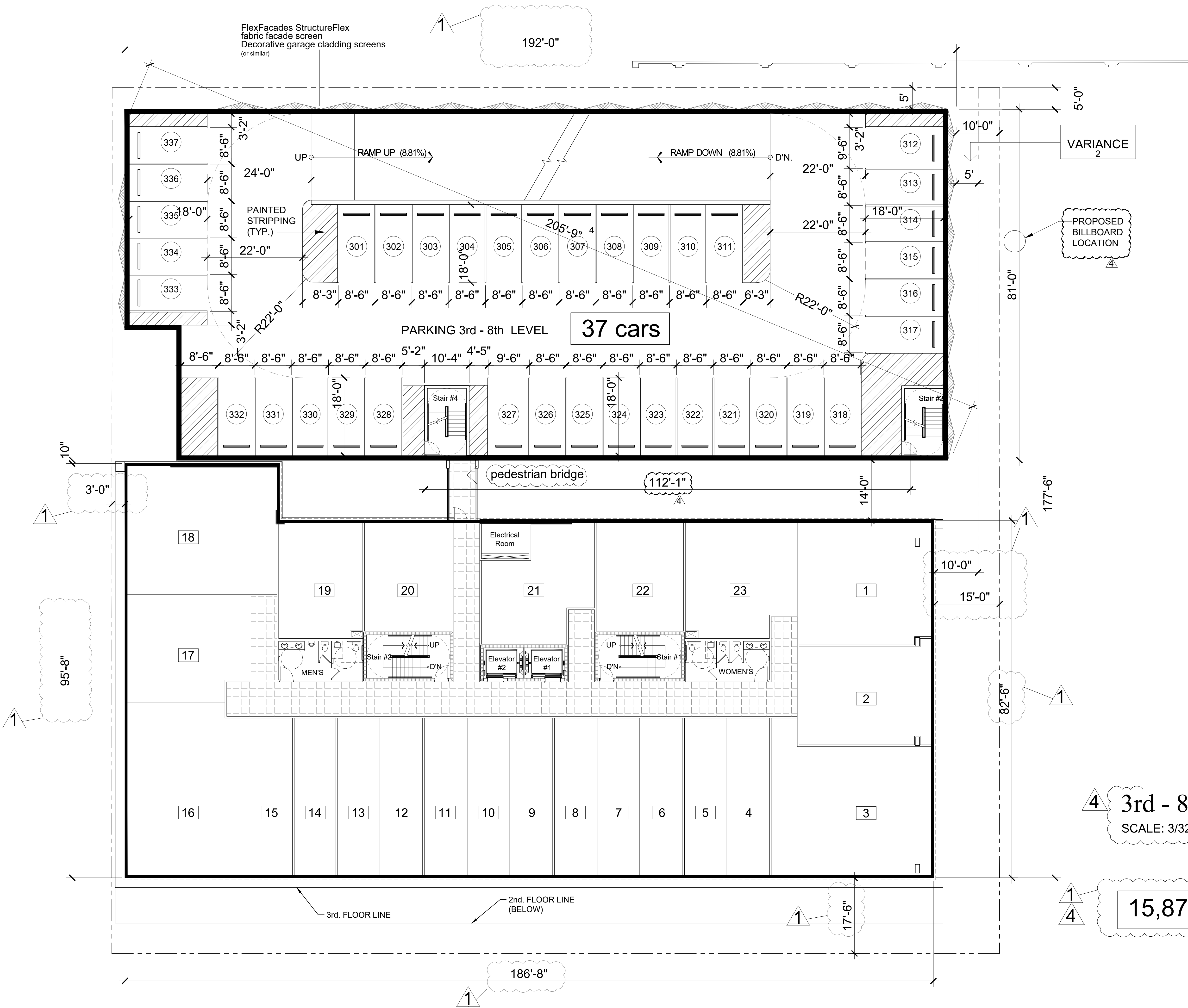


A-2

p.n. 22036

TAC NO. 25-DP-13

goldenholz & associates architects planners p.a. 3122 n. pine island road, sunrise, florida 33351 (954) 742-0797 fax (954) 742-3093



VARIANCE
2

PROPOSED
BILLBOARD
LOCATION

4 3rd - 8th. FLOOR PLAN
SCALE: 3/32 = 1'-0"

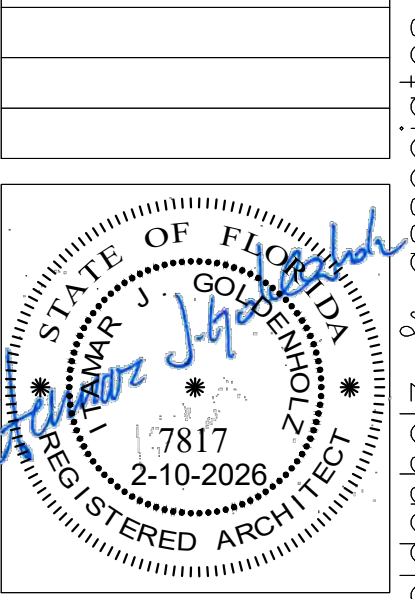
15,870 s.f. +/-

TAC NO. 25-DP-13

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POLK OFFICE BUILDING
2910 POLK STREET
HOLLYWOOD, FLORIDA 33020

11-27-2024
2-6-2025
2-12-2025
3-12-2025
3-17-2025
3-20-2025
3-25-2025
4-30-2025 REV. 1
2-10-2026 REV. 4

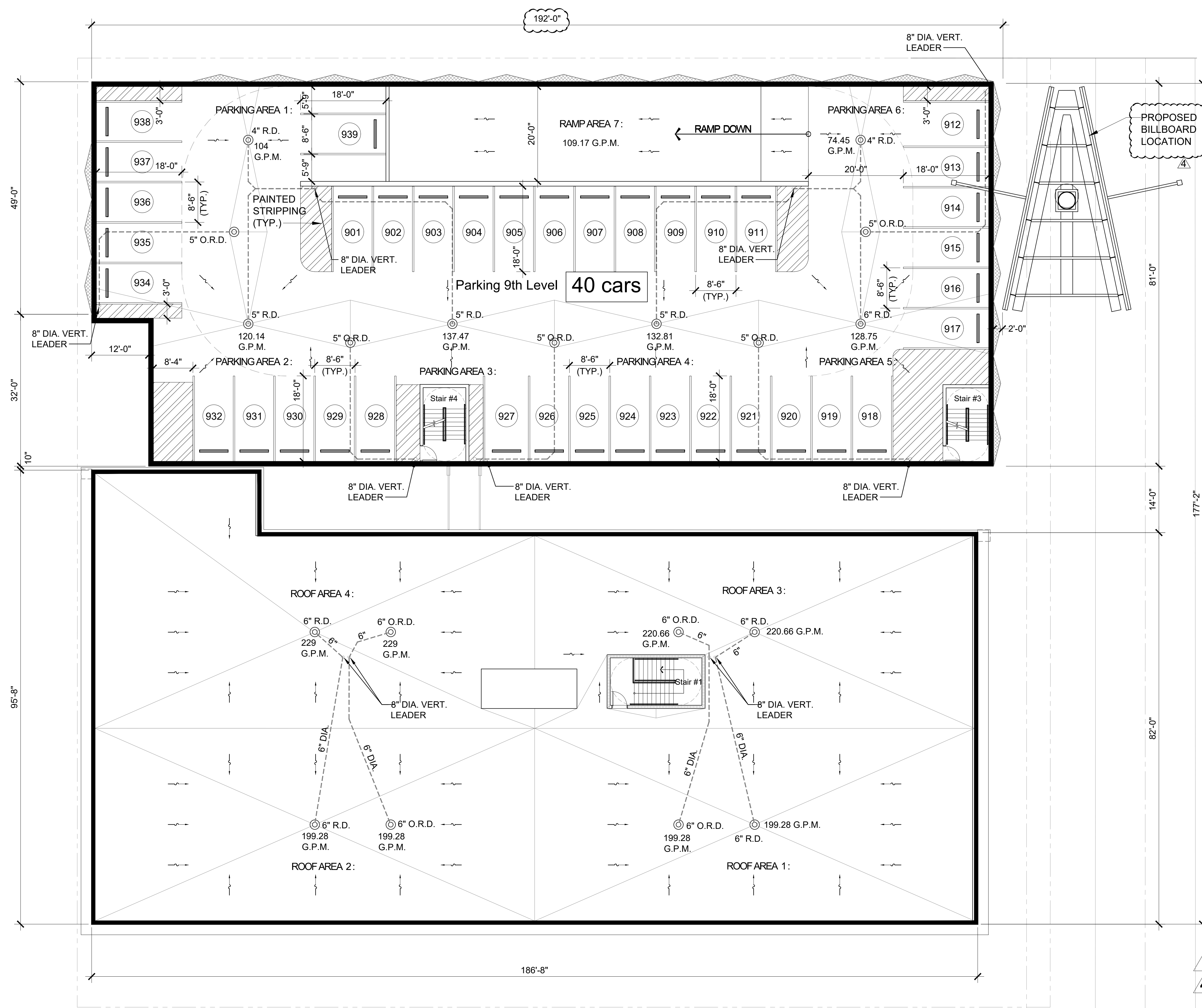


ITAMAR GOLDENHOLZ
FL. LIC. AR0007817



goldenholz & associates architects planners p.a. 3122 n. pine island road, sunrise, florida 33351 (954) 742-0797 fax (954) 742-3093

CITY PARK
CITY PARK



PARKING BUILDING:

PARKING ROOF AREA 1:	= 1,708.00 S.F.
PERIMETER = 141.00 L.F. x 4'-6" x 5'	= 318.00
GPM = .0104 x 4.75' x 2,107.00	= 104.08 G.P.M.
PARKING ROOF AREA 2:	= 2,203.00 S.F.
PERIMETER = 102.00 L.F. x 4'-6" x 5'	= 229.50
GPM = .0104 x 4.75' x 2,432.00	= 120.14 G.P.M.
PARKING ROOF AREA 3:	= 2,495.00 S.F.
PERIMETER = 98.00 L.F. x 4'-6" x 5'	= 193.50
STAIR = 42.00 L.F. x 4'-6" x 5'	= 94.45
GPM = .0104 x 4.75' x 2,782.95	= 137.47 G.P.M.
PARKING ROOF AREA 4:	= 2,495.00 S.F.
PERIMETER = 86.00 L.F. x 4'-6" x 5'	= 193.50
GPM = .0104 x 4.75' x 2,888.50	= 132.81 G.P.M.
PARKING ROOF AREA 5:	= 2,442.00 S.F.
PERIMETER = 73.00 L.F. x 4'-6" x 5'	= 154.25
GPM = .0104 x 4.75' x 2,606.25	= 128.75 G.P.M.
PARKING ROOF AREA 6:	= 1,327.00 S.F.
PERIMETER = 80.00 L.F. x 4'-6" x 5'	= 180.00
GPM = .0104 x 4.75' x 1,507.00	= 74.45 G.P.M.
PARKING RAMP AREA 7:	= 1,767.00 S.F.
PERIMETER = 197.00 L.F. x 4'-6" x 5'	= 443.25
GPM = .0104 x 4.75' x 2,210.25	= 109.17 G.P.M.

OFFICE BUILDING:

ROOF AREA 1:	= 3,761.00 S.F.
PERIMETER = 133.00 L.F. x 5'-0" x 5'	= 332.00
GPM = .0104 x 4.75' x 4,093.00	= 202.19 G.P.M.
ROOF AREA 2:	= 3,761.00 S.F.
PERIMETER = 133.00 L.F. x 5'-0" x 5'	= 332.00
GPM = .0104 x 4.75' x 4,093.00	= 202.19 G.P.M.
ROOF AREA 3:	= 3,761.00 S.F.
PERIMETER = 133.00 L.F. x 5'-0" x 5'	= 332.00
STAIR = 94.00 L.F. x 10'-0" x 5'	= 52.00
ELEV. = 26.00 L.F. x 4'-0" x 5'	= 4,466.94 S.F.
GPM = .0104 x 4.75' x 4,466.94	= 220.66 G.P.M.
ROOF AREA 4:	= 4,214.00 S.F.
PERIMETER = 160.00 L.F. x 4'-6" x 5'	= 390.00
ELEV. = 31.00 L.F. x 4'-0" x 5'	= 62.00
GPM = .0104 x 4.75' x 4,636.00	= 229.00 G.P.M.

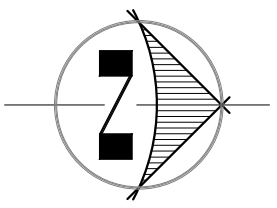
4 Garage Bldg. 15,169 s.f. +/-

1/4 Office Bldg. 15,870 s.f. +/-

TAC NO. 25-DP-13

9 level garage = 40cars

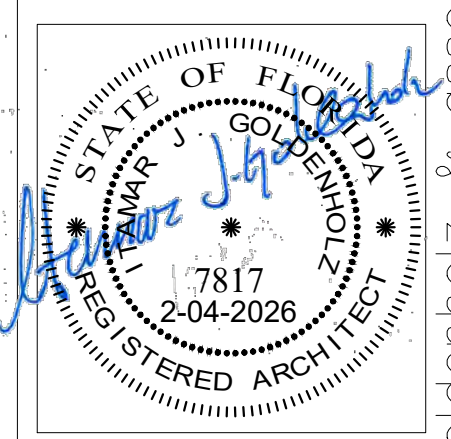
ROOF FLOOR PLAN
SCALE: 3/32 = 1'-0"



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POLK OFFICE BUILDING
2910 POLK STREET
HOLLYWOOD, FLORIDA 33020

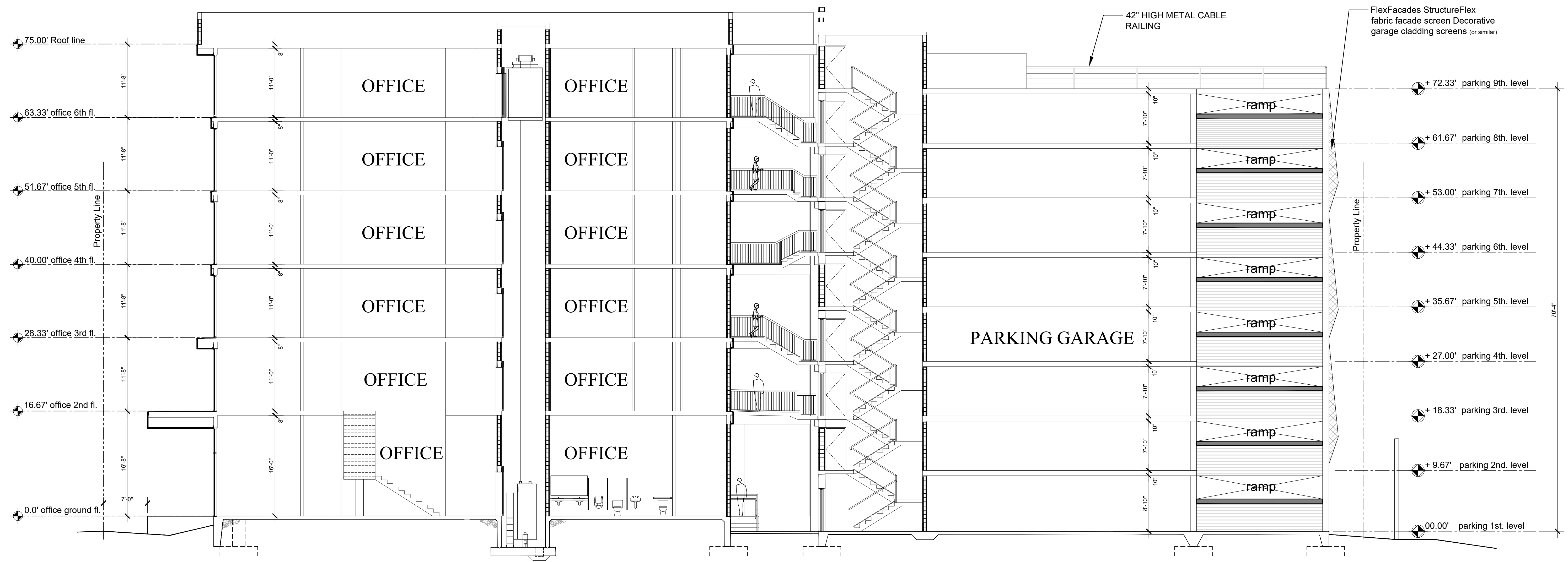
- 11-27-2024
- 2-6-2025
- 2-12-2025
- 3-12-2025
- 3-17-2025
- 3-20-2025
- 3-25-2025
- 4-30-2025 REV. 1
- 8-30-2025 REV. 2
- 9-26-2025 REV. 3
- 2- 4-2026 REV. 4



ITAMAR GOLDENHOLZ
FL. LIC. AR0007817



goldenholz & associates architects planners p.a. 3122 n. pine island road, sunrise, florida 33351 (954) 742-0797 fax (954) 742-3093

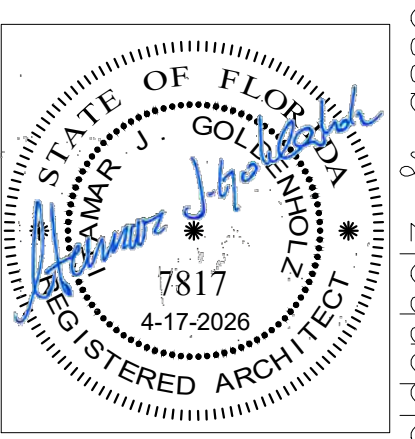


BUILDING CROSS SECTION
SCALE: 1/8" = 1'-0"

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POLK OFFICE BUILDING
2910 POLK STREET
HOLLYWOOD, FLORIDA 33020

3-7-2025	
3-12-2025	
3-18-2025	
3-20-2025	CITY PARK
3-25-2025	CITY PARK
4-9-2025	CITY PARK
4-18-2025	CITY PARK
4-30-2025	REV. A
6--2025	REV. B
2-10-2026	REV. C
4-17-2026	REV. D



ITAMAR GOLDENHOLZ
FL. LIC. AR0007817



goldenholz & associates architects planners p.a. 3122 n. pine island road, sunrise, florida 33351 (954) 742-0797 fax (954) 742-3093



FDOT - AS BUILT
PROPOSED POLK OFFICE BUILDINGS
2910 POLK STREET, HOLLYWOOD, FLORIDA

22036 4.22.2026

DRAINAGE STRUCTURE TABULATION				
STR. No.	DESCRIPTION	RIM OR GRATE ELEV.	PIPE INV. ELEV.	PIPE DIAM.
C-1	15" NYLOPLAST FIELD DRAIN	5.80	3.00 N	15"
C-2	TYPE "D" INLET	6.00	2.00 S,E&W, (2.00 N-PRB)	15"
C-3	TYPE "D" INLET	6.00	(2.00 N&S-PRB)	15"
C-4	TYPE "D" INLET	5.60	2.00 W, (2.00 S&E-PRB)	15"
C-5	ACO BRICK TRENCH DRAIN	4.75	2.50 W&S	4"
C-6	15" NYLOPLAST FIELD DRAIN	6.00	3.00 S	15"
C-7	TYPE "D" INLET	5.30	2.50 E, (2.00 W-PRB)	15"
C-8	15" NYLOPLAST FIELD DRAIN	6.00	2.75 S&E	15"
C-9	24" NYLOPLAST FIELD DRAIN	6.00	2.25 N, (2.00 S-PRB)	15"
C-10	24" NYLOPLAST FIELD DRAIN	5.90	(2.00 N&S-PRB)	15"
C-11	24" NYLOPLAST FIELD DRAIN	6.00	(2.00 N-PRB)	15"

LEGEND

R.E. RIM ELEVATION
 G.E. GRATE ELEVATION
 I.E. INVERT ELEVATION
 F.F.E. FINISHED FLOOR ELEVATION

→ DIRECTION OF OVERLAND FLOW

••••• EXISTING ELEVATIONS
 (x.xx) PROPOSED ELEVATION
 (x.xx) PROPOSED CONCRETE ELEVATION

W EXISTING WATER METER
 W PROPOSED WATER METER

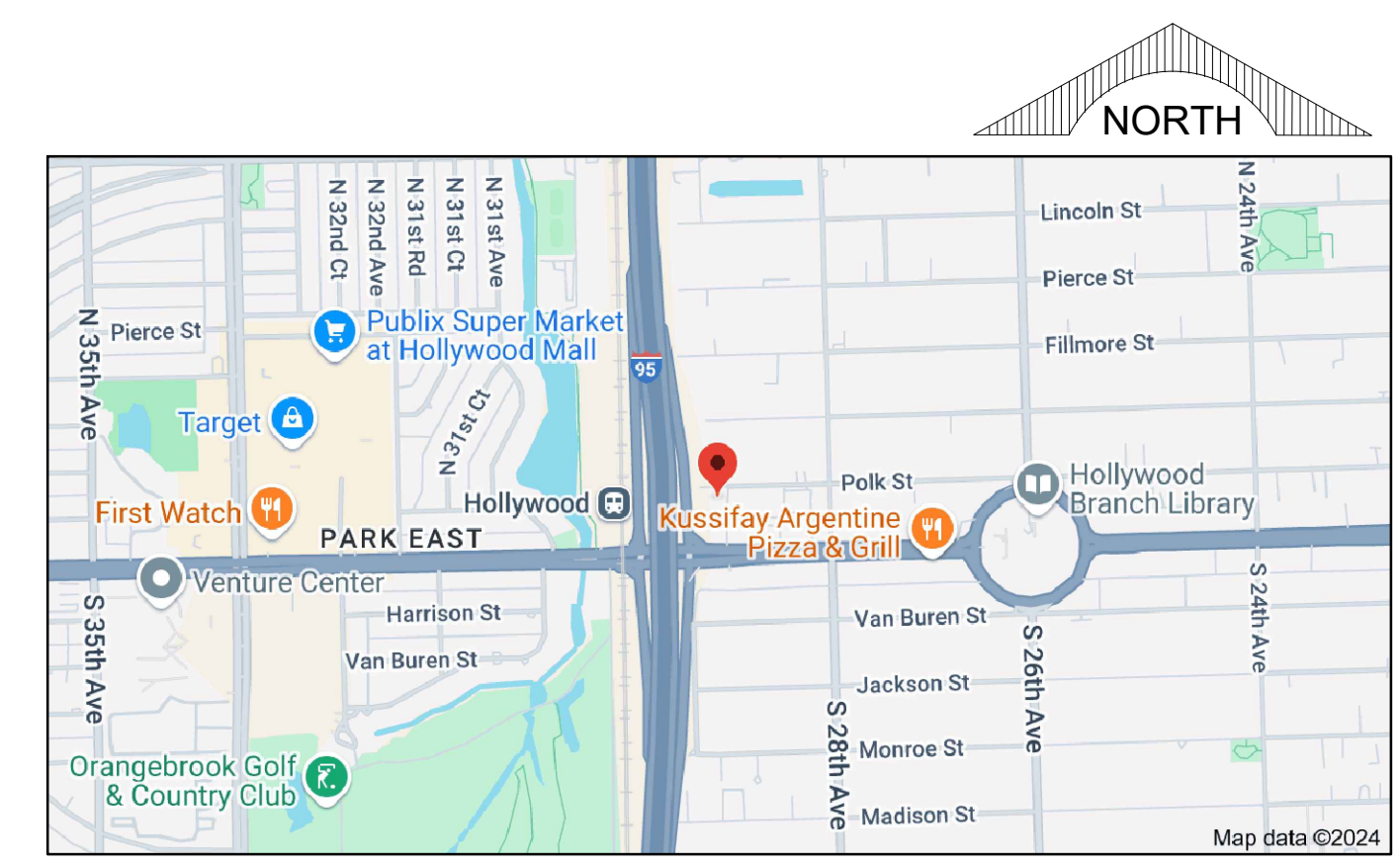
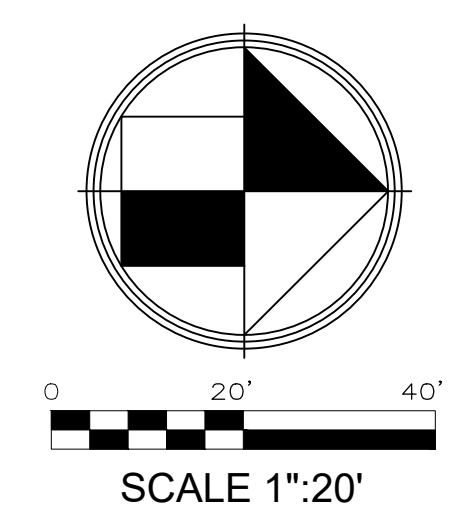
--- PROPERTY LINE

○ DRAINAGE STRUCTURE NUMBER

▨ PAVEMENT RESTORATION
 ▨ MILL AND RESURFACE

WATER AND SEWER DEMAND
 62,000/1,000 SF GROSS AREA x 42 GPD/UNIT=2,604 GPD

FIRE NOTES:
 1. UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II OR V LICENSE AS PER fs 633.102
 2. PER NFPA 1, 12.3.2.1 A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.



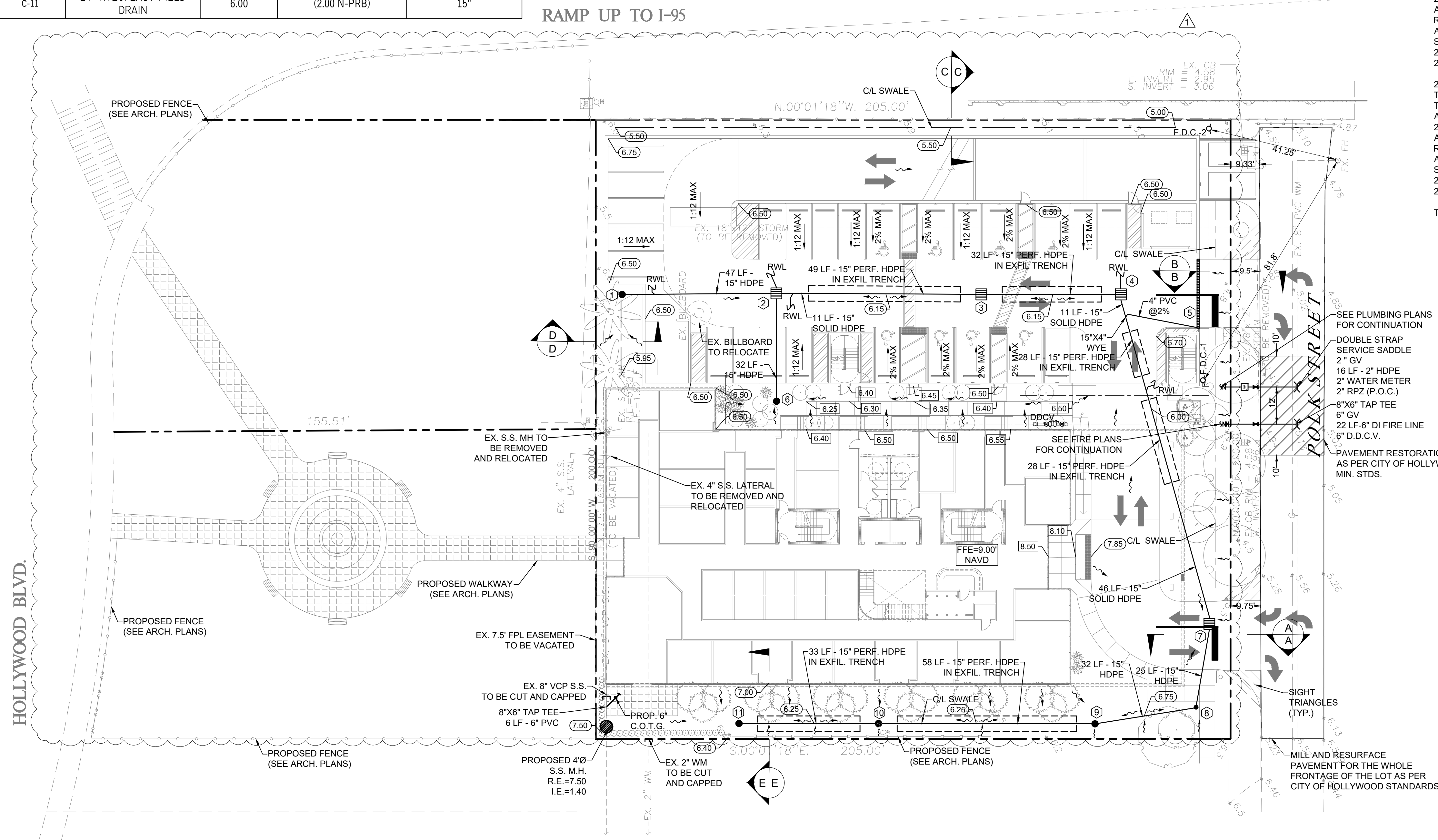
FIRE FLOW CALCULATION:
 CODE: F.F.P.C. 2021 EDITION & NFPA 220

1) BUILDING TYPE: 1B
 TYPE OF OCCUPANCY: OFFICE BUILDING
 THE TOTAL AREA OF THE THREE LARGEST SUCCESSIVE FLOORS IS 44,390 SQ. FT., AND AS PER NFPA 1 (2021 ED.) TABLE 18.4.5.2.1, THE FIRE FLOW REQUIRED IS 2,250 GPM FOR A DURATION OF 2 HOURS.
 AS PER NFPA 1 (2021 ED.) SECTION 18.4.5.3.2, THE REQUIRED FLOW SHALL BE REDUCED BY 75 PERCENT WHEN THE BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM. THE RESULTING FIRE FLOW SHALL NOT BE LESS THAN 1000 GPM.
 2,250 GPM X 75% = 1687.5 GPM (FLOW CREDIT)
 2,250 GPM - 1687.5 GPM = 562.5 GPM

2) BUILDING TYPE: 1B
 TYPE OF OCCUPANCY: GARAGE
 THE TOTAL AREA OF THE THREE LARGEST SUCCESSIVE FLOORS IS 45,507 SQ. FT., AND AS PER NFPA 1 (2021 ED.) TABLE 18.4.5.2.1, THE FIRE FLOW REQUIRED IS 2,250 GPM FOR A DURATION OF 2 HOURS.
 AS PER NFPA 1 (2021 ED.) SECTION 18.4.5.3.2, THE REQUIRED FLOW SHALL BE REDUCED BY 75 PERCENT WHEN THE BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM. THE RESULTING FIRE FLOW SHALL NOT BE LESS THAN 1000 GPM.
 2,250 GPM X 75% = 1687.5 GPM (FLOW CREDIT)
 2,250 GPM - 1687.5 GPM = 562.5 GPM

TOTAL FIRE FLOW REQUIRED = 562.5 GPM + 562.5 GPM = 1125 GPM

- NOTES:**
- EXISTING CONDITIONS ARE TAKEN FROM A PLAN ENTITLED "SKETCH OF SURVEY", PREPARED BY ATLANTIC COAST SURVEYING INC. OF SUNRISE, FLORIDA, DATED NOVEMBER 6, 2024.
 - NO GEOTECHNICAL INVESTIGATION WAS DONE IN THE PREPARATION OF THIS PLAN.
 - FOR SITE DIMENSIONS AND MINIMUM SETBACKS, REFER TO THE ARCHITECTURAL SITE PLAN.
 - ALL FIELD DRAINS SHALL HAVE A PEDESTRIAN RATED TOP.
 - F.F.E. PROVIDED BY OTHERS.
- NOTE:**
 ALL EXISTING AND PROPOSED GRADES REFER TO 1988 NAVD DATUM
- NOTE:**
 ALL STREETS & ALLEYS ADJACENT TO SITE TO BE MILLED & RESURFACED. (FULL WIDTH OF ROAD AT STREET OR ALLEY AND FULL LENGTH OF PROPERTY.)
- NOTE:**
 SWALES TO BE RESTORED IN THE ROW AS PER CITY OF HOLLYWOOD DETAILS C-32 AND C-33. (SEE SHEET C-4B)
- NOTE:**
 PROPOSED LANDSCAPING SHALL NOT OBSTRUCT ONSITE STORMWATER RUNOFF RETENTION
- NOTE:**
 ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.
- NOTE:**
 ENSURE THE MATERIAL REQUIREMENTS ALIGN WITH CITY OF HOLLYWOOD CODE BELOW AND ADD THE APPLICABLE NOTES TO THE CIVIL PLANS:
 A. CONCRETE CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE 5-INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW (OUTSIDE OF THE PROPERTY LINES) WILL BE A MINIMUM OF 6 INCHES THICK, 3,000 PSI, WITH NO METAL OR FIBER MESH AND WILL BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY WILL MAINTAIN CONTROL JOINTS LOCATED EVERY 250 SQ. FT. AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.
 B. PAVEMENT DRIVEWAYS REQUIRE A MINIMUM 2 3/8" INCH PAVERS PLACED OVER A 1-1/2" INCH SAND BASE AND COMPACTED SUBBASE. IN ADDITION TO A MINIMUM 6-INCH EDGE RESTRAINT (CONCRETE BORDER) IS REQUIRED AROUND PERIMETER TO INTERLOCK PAVERS. THE DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.
 C. ASPHALT: ASPHALT DRIVEWAY IS REQUIRED TO BE A MINIMUM 6-INCH LIME ROCK BASE, TACK COAT, AND 1-INCH LAYER OF S-III ASPHALT. THE DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.



TAC CMNTS 06.16.25

REV	DATE	DESCRIPTION
1	06.16.25	TAC CMNTS

CLIENT: **GOLDENHOLZ AND ASSOCIATES**
 3122 NORTH PINES ISLAND
 SUNRISE, FL

PROJECT: **2910 POLK STREET**
 HOLLYWOOD
 FLORIDA

TASK: **CIVIL ENGINEERING PLAN**

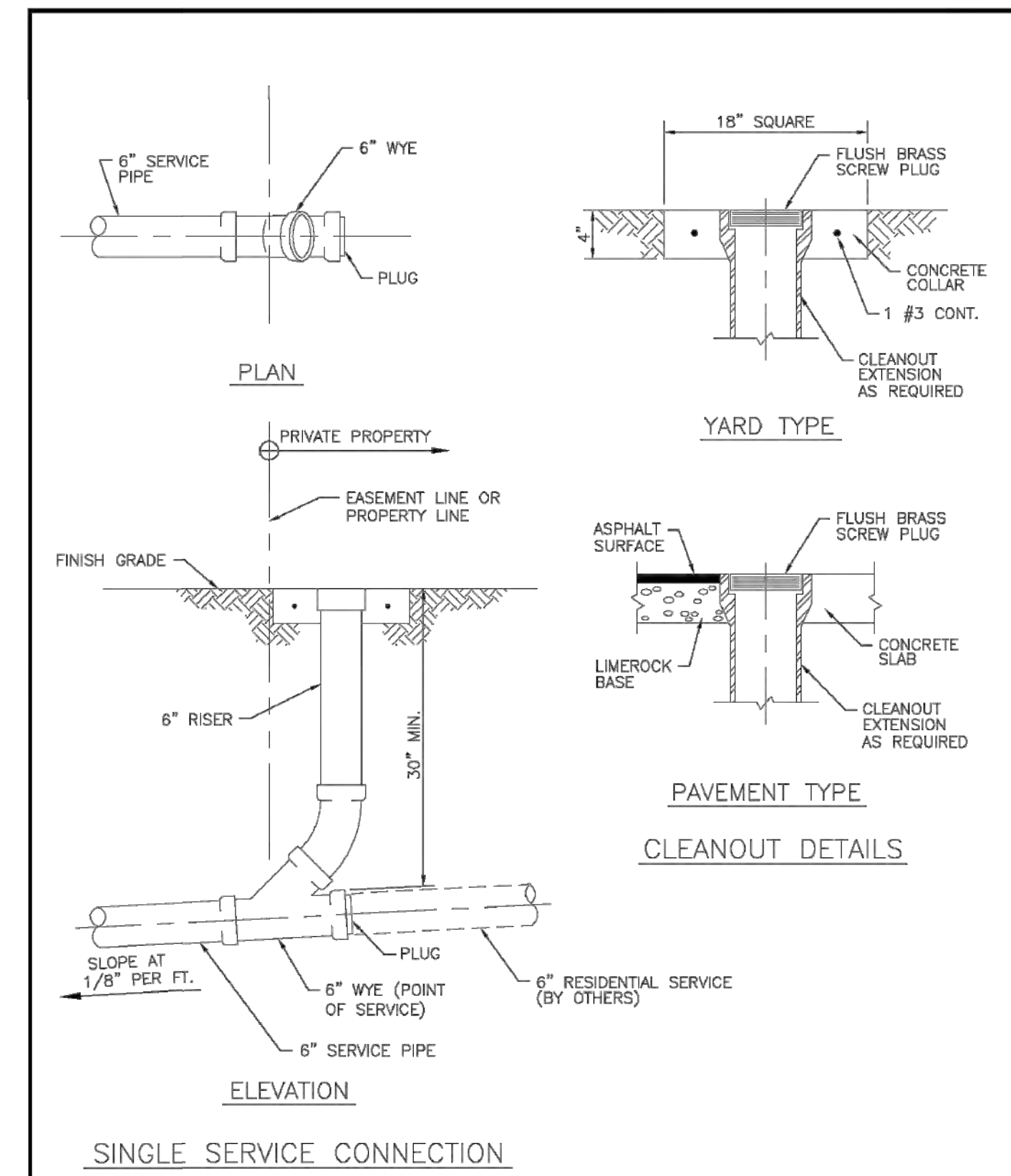
GGB Engineering
 CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
 • CONSTRUCTION MANAGERS
 FLORIDA REGISTRATION NO. 34516
 4101 RAVENSWOOD ROAD, SUITE 113 FORT LAUDERDALE, FLORIDA 33312
 PHONE: (954) 986-6665 FAX: (954) 986-6665
 AN INDEPENDENCE ENGINEERING COMPANY

DATE: 02/06/2026 SCALE: 1"=20'
 DESIGNED BY: N.E.S. DRAWN BY: J.A.

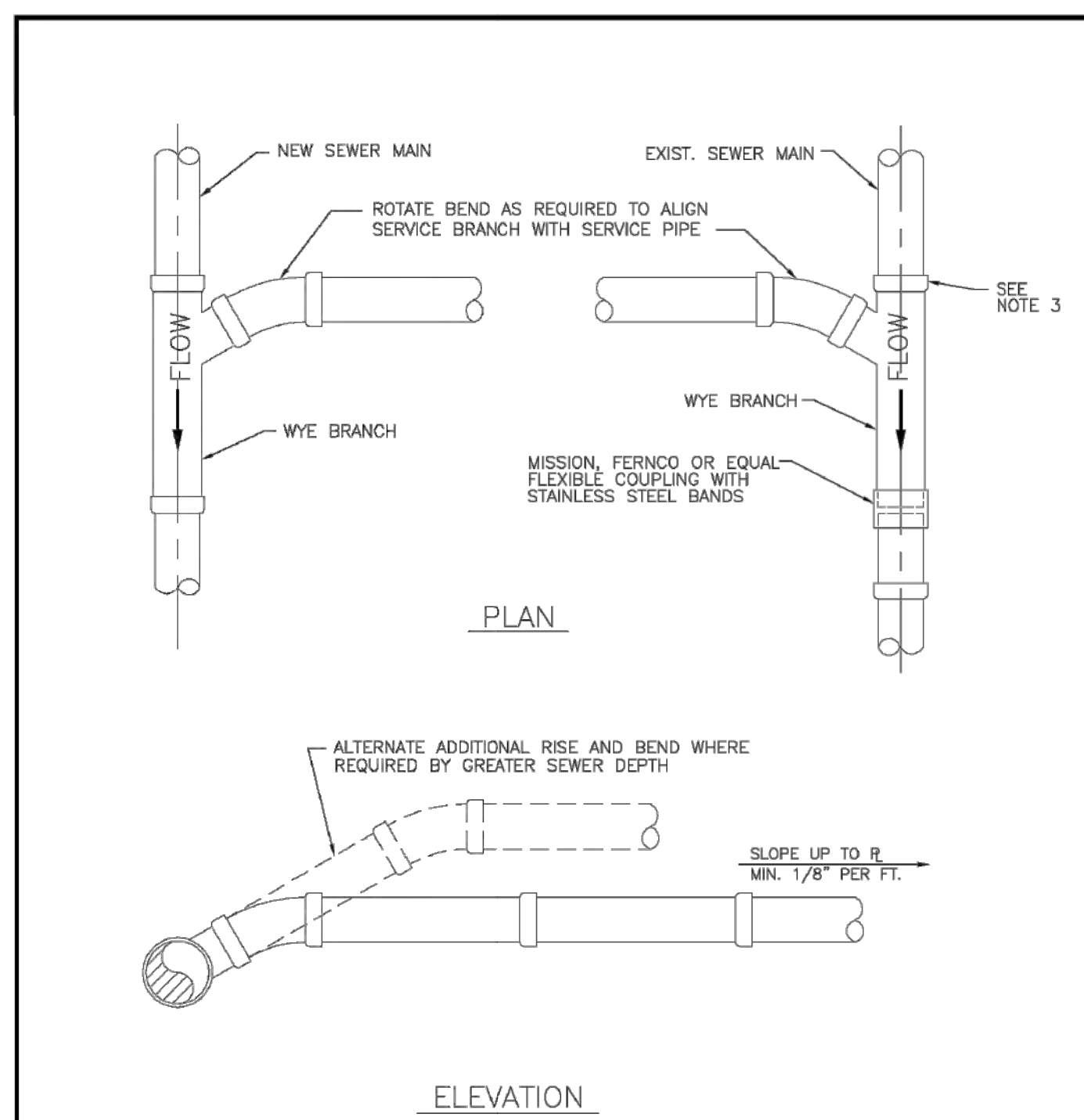
PROJECT No. 24-0330
 SHEET C-1

Neil E. Sander
 No. 90098
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

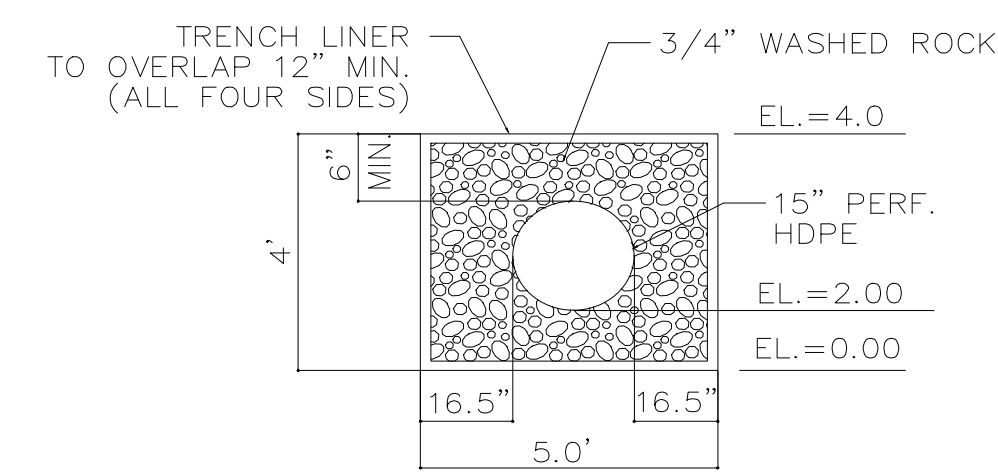
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	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO. S-12
	APPROVED: XXX		



	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	WYE BRANCH CONNECTION	DRAWING NO. S-09
	APPROVED: XXX		



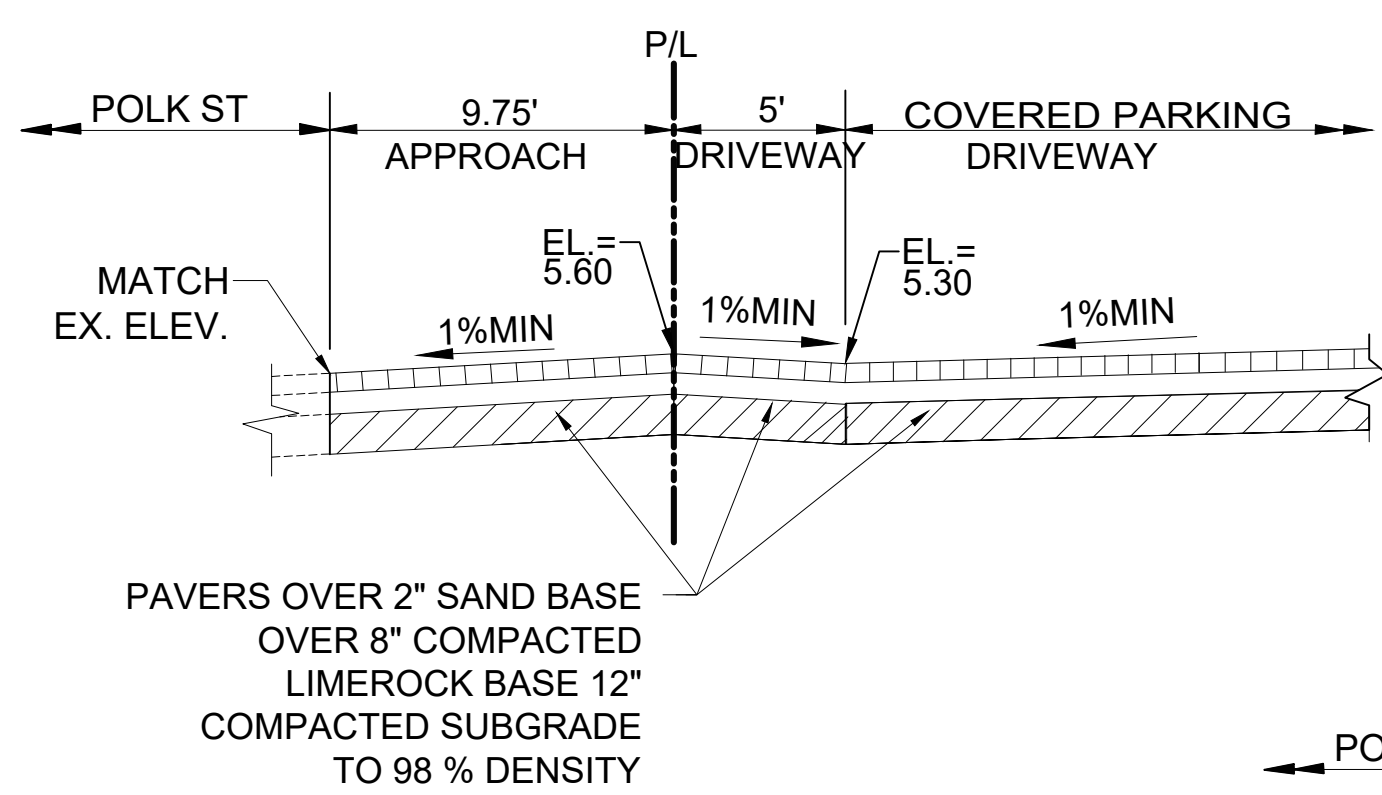
EXFILTRATION TRENCH DETAIL

GENERAL NOTES:

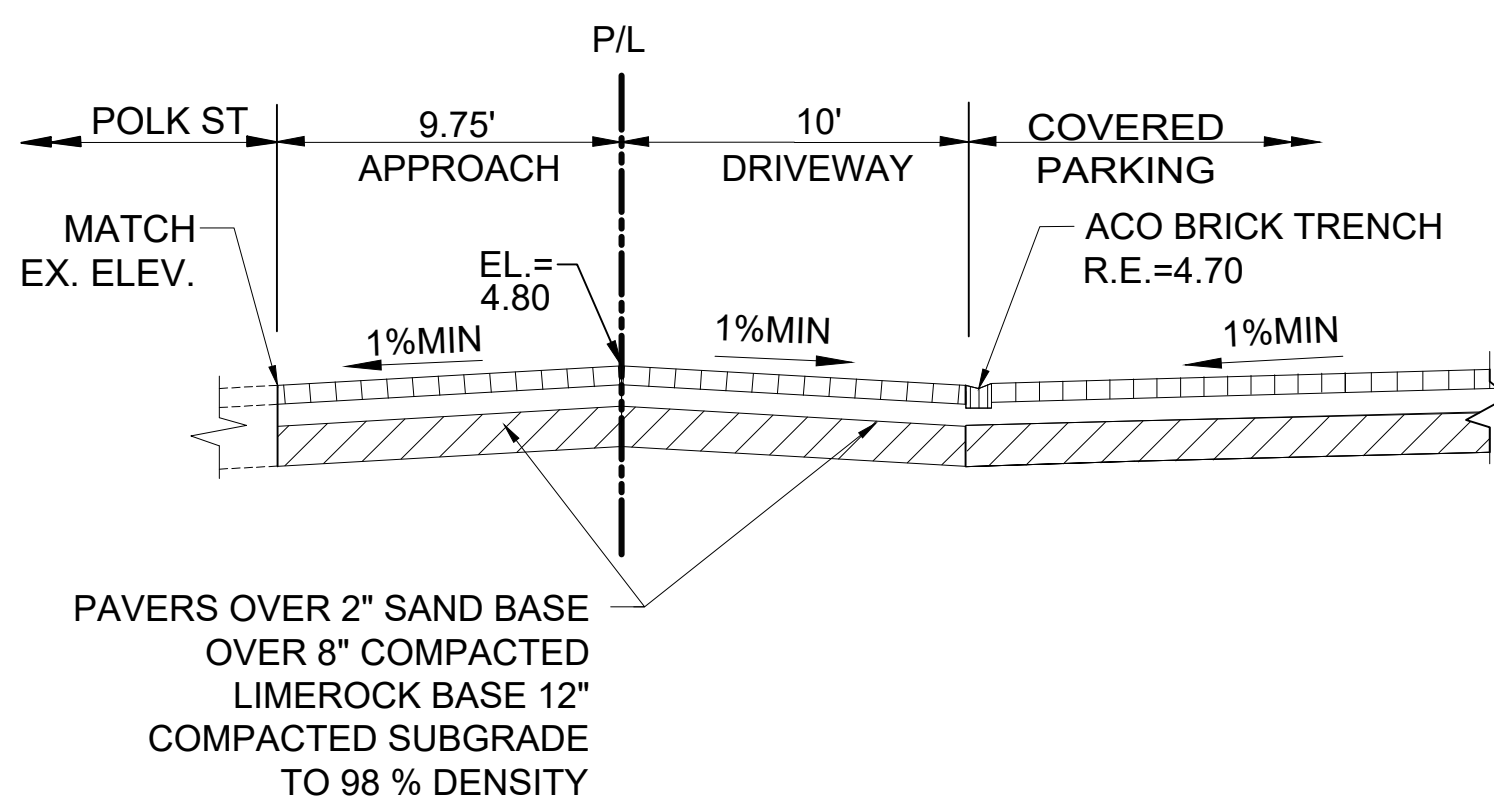
1. Cross Slopes and Grades:
 - A. Sidewalk, ramp, and landing slopes (i.e. 0.02, 0.05, and 1:22) shown in this index are maximums. With approval of the Engineer, provide the minimum feasible slope where the requirements cannot be met.
 - B. Landings must have cross-slopes less than or equal to 0.02 in any direction. Ramp slopes are not required to exceed 1:22 (4.5% max).
 - C. Maximum longitudinal slope along each side of the curb ramp. Ramp slopes are not required to exceed 1:22 (4.5% max).
2. Joints permitted at the location of Slope Breaks. Otherwise locate joints in accordance with Index S22-005. No joints are permitted within the ramp portion of the Curb Ramp.
3. Curb, Curb and Sill, and/or Sidewalk.
 - A. Refer to Index S22-003 for concrete thickness and sidewalk details.
 - B. Remove any existing curb, curb and gutter, or sidewalk to the nearest joint beyond the curb transition or to the extent that no remaining section is less than 5 feet long.
 - C. Width of Curb Ramps is 4'-0" minimum. Match sidewalk or Shared Use Path with adjacent sidewalks.
4. Curb Ramp Alpha-Identification.
 - A. Sidewalk curb ramp alpha-identifications (e.g. CR-1) are provided for reference purposes in the Plans.
 - B. Alpha-identifications CR-1 and CR-2 are intentionally omitted.
5. Detectable Warnings:
 - A. Install detectable warnings in accordance with Specification S27.
 - B. Place detectable warnings across the full width of the ramp or landing, to a minimum depth of 2 feet measured perpendicular to the curb line and no greater than 3 feet from the back of the curb or edge of pavement.
 - C. If detectable warnings are shown in the Plans on slopes greater than 3%, slope the transition slopes with the concrete or the ramp; otherwise, the truncated domes are not required to be aligned.

CURB RAMP NOMENCLATURE

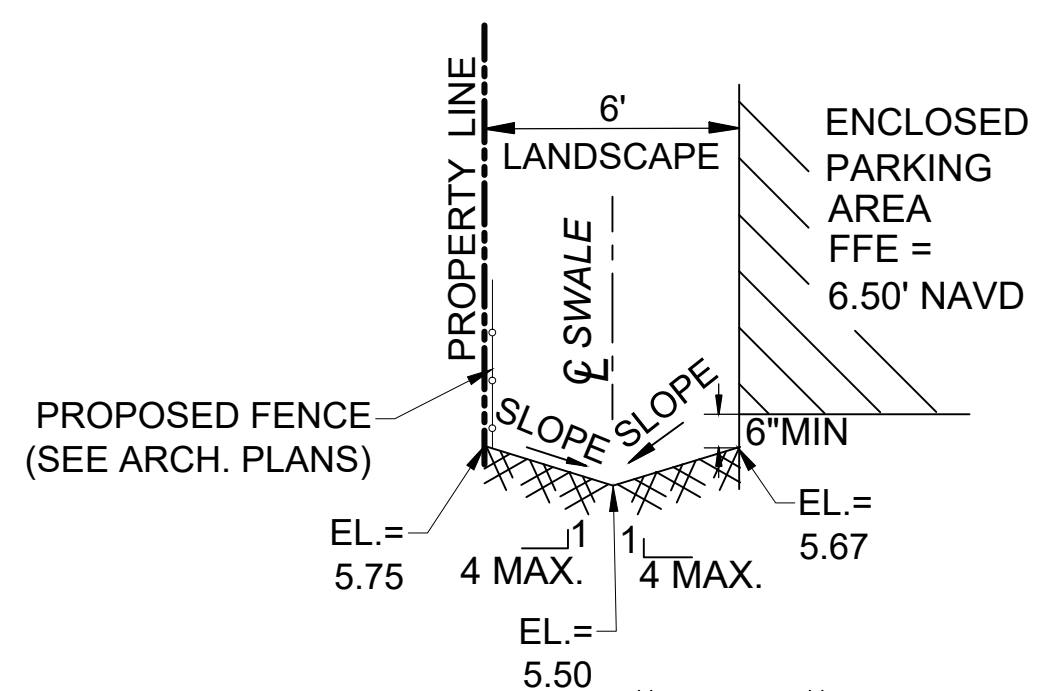
LAST REVISION: 11/01/21	DESCRIPTION:	FDDOT	FY 2025-26 STANDARD PLANS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMP	INDEX S22-002	SHEET 1 of 7
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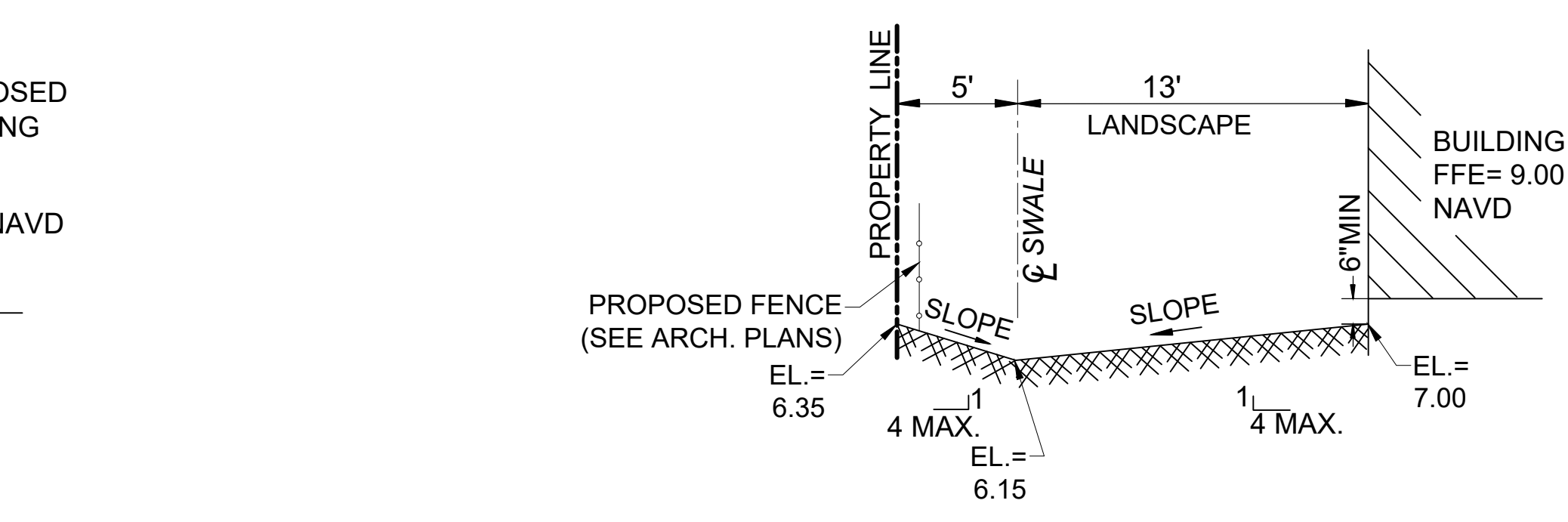
SECTION "A-A"



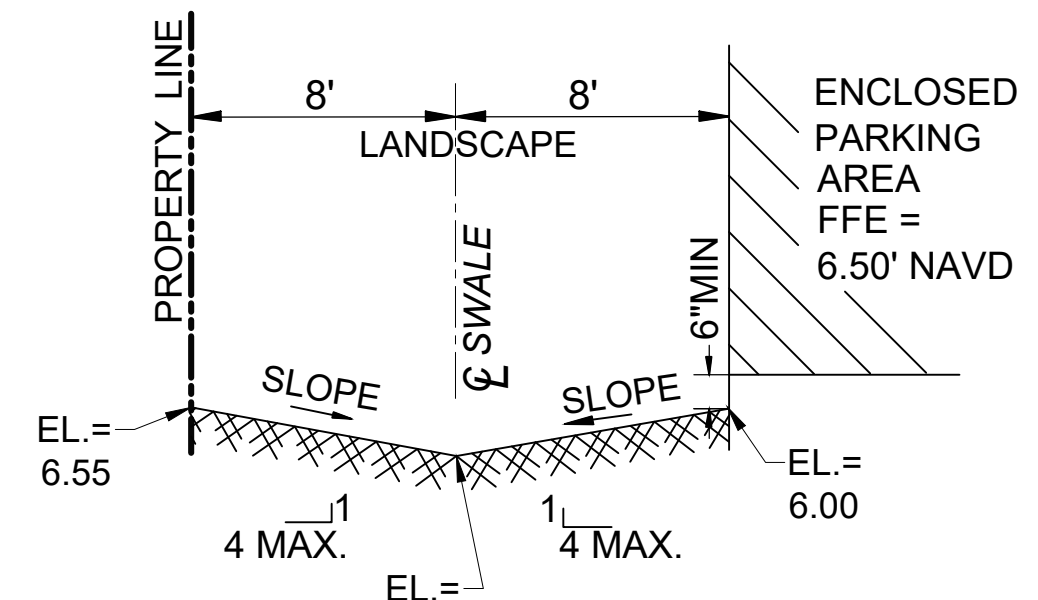
SECTION "B-B"



SECTION "C-C"



SECTION "E-E"



SECTION "D-D"

REV	DATE	DESCRIPTION
1	06.16.25	TAC COMMENTS

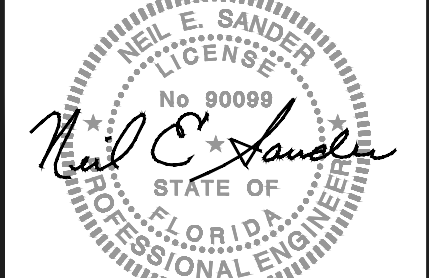
CLIENT:
GOLDENHOLZ AND ASSOCIATES
 3122 NORTH PINES ISLAND
 SUNRISE, FL

PROJECT:
 2910 POLK STREET
 HOLLYWOOD
 FLORIDA

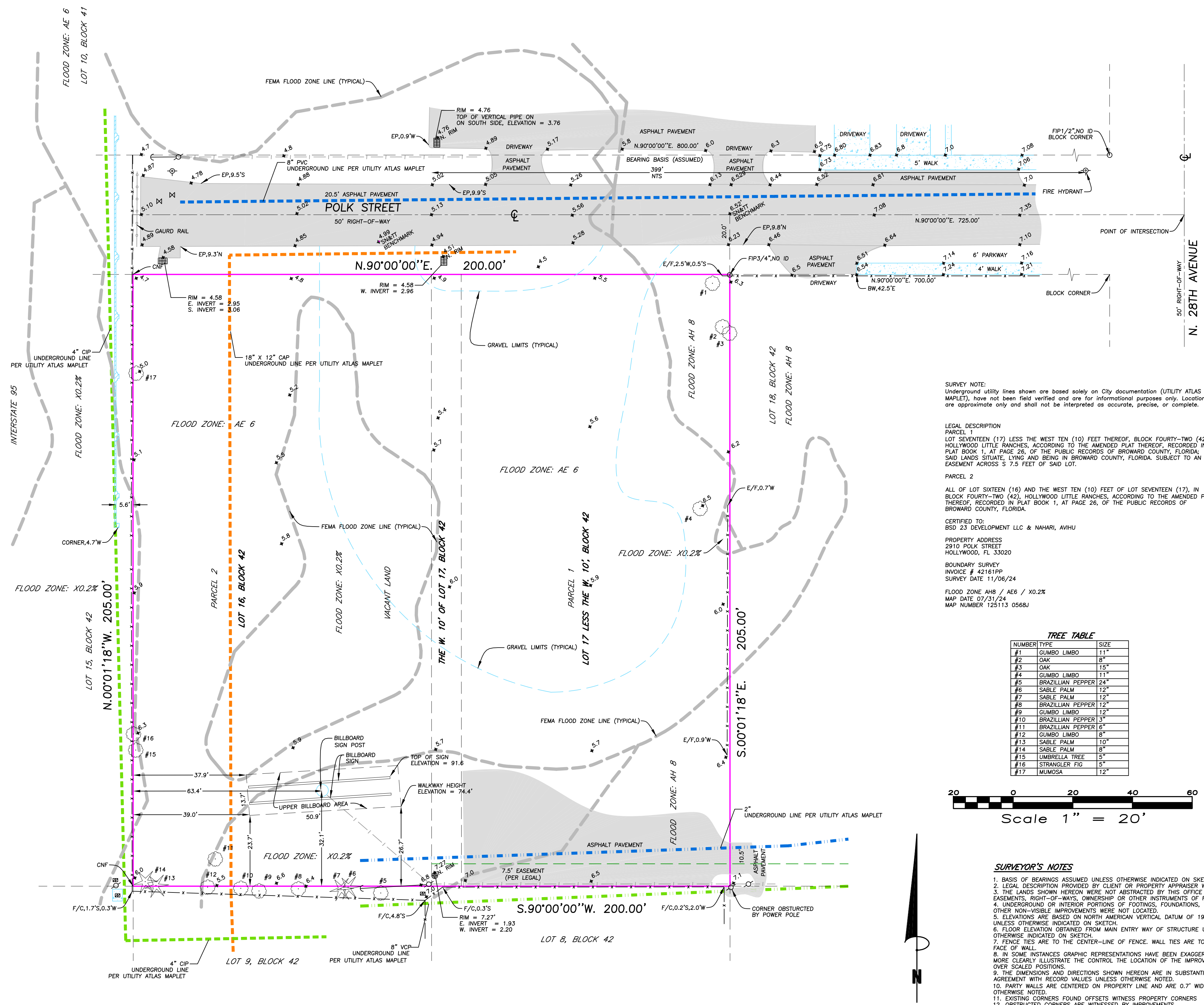
TASK:
 CONSTRUCTION DETAILS

GGB Engineering
 CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
 • CONSTRUCTION MANAGERS
 FLORIDA REGISTRATION NO. 34516
 4101 RAVENSWOOD ROAD, SUITE 113 FORT LAUDERDALE, FLORIDA 33312
 PHONE: (954) 986-6655 FAX: (954) 986-6659
 AN INDEPENDENCE ENGINEERING COMPANY

DATE: 02/06/2026	SCALE: N.T.S.
DESIGNED BY: N.E.S.	DRAWN BY: J.A.
PROJECT No. 24-0330	
SHEET C-4A	



This document has been digitally signed and sealed by Neil E. Sander, P.E. On the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



SURVEY NOTE:
 Underground utility lines shown are based solely on City documentation (UTILITY ATLAS MAPLET), have not been field verified and are for informational purposes only. Locations are approximate only and shall not be interpreted as accurate, precise, or complete.

LEGAL DESCRIPTION
 PARCEL 1
 LOT SEVENTEEN (17) LESS THE WEST TEN (10) FEET THEREOF, BLOCK FOURTY-TWO (42), HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE AMENDED PLAT THEREOF, RECORDED IN PLAT BOOK 1, AT PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. SUBJECT TO AN EASEMENT ACROSS S 7.5 FEET OF SAID LOT.

PARCEL 2
 ALL OF LOT SIXTEEN (16) AND THE WEST TEN (10) FEET OF LOT SEVENTEEN (17), IN BLOCK FOURTY-TWO (42), HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE AMENDED PLAT THEREOF, RECORDED IN PLAT BOOK 1, AT PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFIED TO:
 BSD 23 DEVELOPMENT LLC & NAHARI, AVIHU

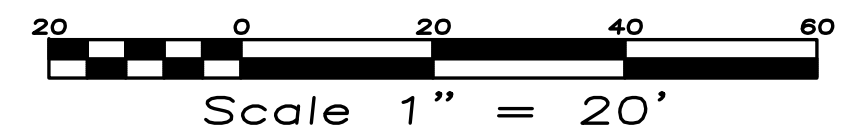
PROPERTY ADDRESS
 2910 POLK STREET
 HOLLYWOOD, FL 33020

BOUNDARY SURVEY
 INVOICE # 42161PP
 SURVEY DATE 11/06/24

FLOOD ZONE AHB / AE6 / X0.2%
 MAP DATE 07/31/24
 MAP NUMBER 125113 056BJ

TREE TABLE

NUMBER	TYPE	SIZE
#1	GUMBO LIMBO	11"
#2	OAK	8"
#3	OAK	15"
#4	GUMBO LIMBO	11"
#5	BRAZILIAN PEPPER	24"
#6	SABLE PALM	12"
#7	SABLE PALM	12"
#8	BRAZILIAN PEPPER	12"
#9	GUMBO LIMBO	12"
#10	BRAZILIAN PEPPER	3"
#11	BRAZILIAN PEPPER	6"
#12	GUMBO LIMBO	8"
#13	SABLE PALM	10"
#14	SABLE PALM	8"
#15	UMBRELLA TREE	5"
#16	STRANGLER FIG	5"
#17	MUMOSA	12"



SURVEYOR'S NOTES

1. BASIS OF BEARINGS ASSUMED UNLESS OTHERWISE INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT OR PROPERTY APPRAISER WEBSITE.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE INDICATED ON SKETCH.
6. FLOOR ELEVATION OBTAINED FROM MAIN ENTRY WAY OF STRUCTURE UNLESS OTHERWISE INDICATED ON SKETCH.
7. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
8. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL OF THE IMPROVEMENTS OVER SCALED POSITIONS.
9. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
10. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7" WIDE UNLESS OTHERWISE NOTED.
11. EXISTING CORNERS FOUND OFFSETS WITNESS PROPERTY CORNERS
12. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
13. NO ATTEMPT WAS MADE TO LOCATE, WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THEN THOSE SHOWN HEREON.

- LEGEND**
- GUY ANCHOR
 - WATER METER
 - FIRE HYDRANT
 - CABLE BOX
 - ELECTRIC SERVICE
 - POOL EQUIPMENT
 - POWER/LIGHT POLE
 - SPRINKLER SYSTEM
 - CONTROL VALVE
 - FP&L BOX
 - CATCH BASIN
 - CLEAN OUT
 - MANHOLE
 - WELL
 - WATER VALVE

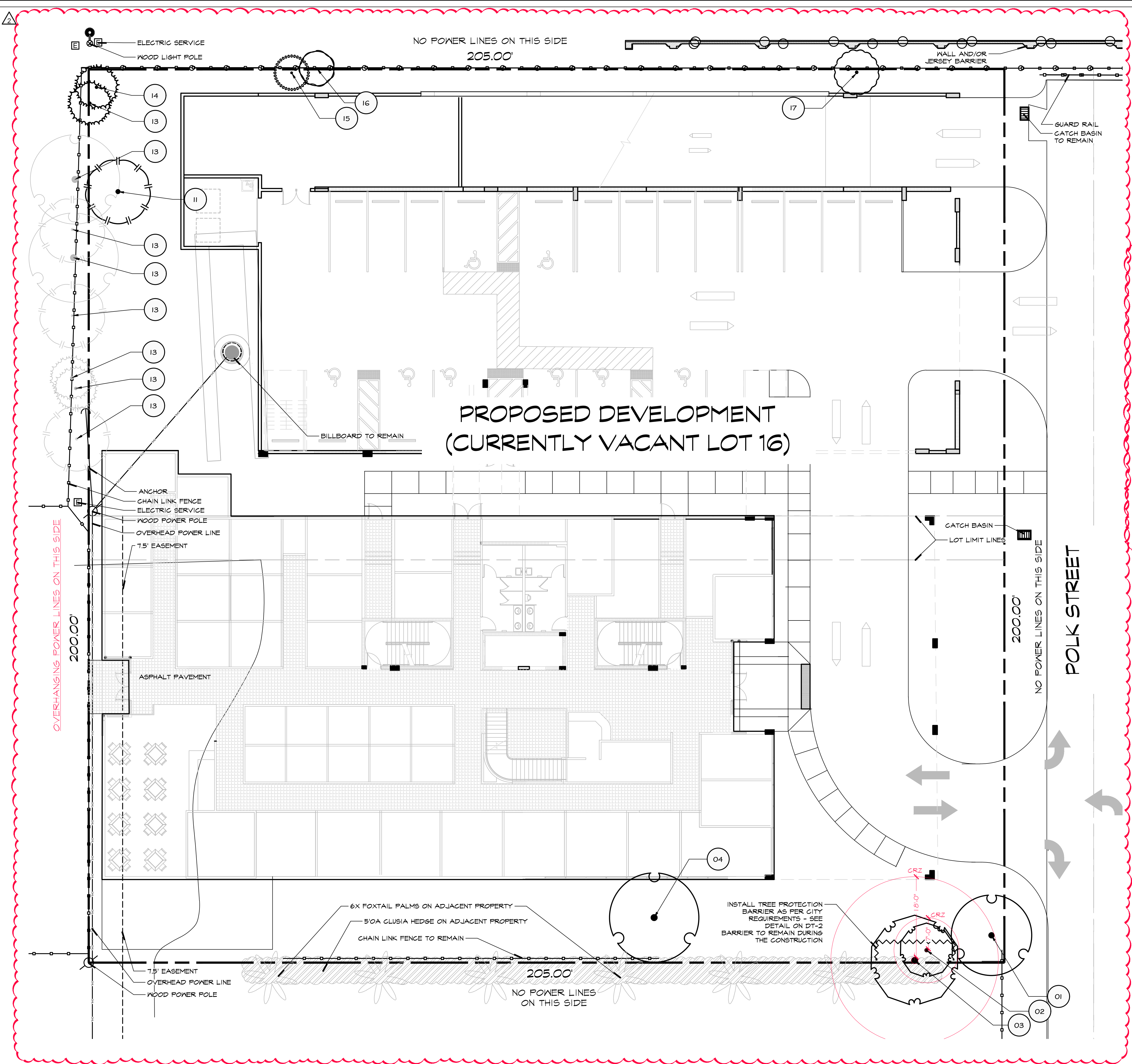
- CONCRETE/CHAT
- ASPHALT PAVEMENT
- BRICK/TILE PAVERS
- WOOD DECK/DOCK
- PROPERTY LINE
- CENTERLINE
- CONCRETE WALL
- METAL FENCE
- WOOD/PVC FENCE
- OVERHEAD WIRES
- ELEVATION
- 8" PVC LINE PER ATLAS MAPLET
- 2" LINE PER ATLAS MAPLET
- 8" VCP LINE PER ATLAS MAPLET
- 4" CIP LINE PER ATLAS MAPLET
- 18" X 12" CAP LINE PER ATLAS MAPLET

- ABBREVIATIONS**
- AC AIR CONDITIONER
 - AE ANCHOR EASEMENT
 - BC BUILDING CORNER
 - BM BENCHMARK
 - BW BACK OF WALK
 - C CALCULATED
 - CNF CORNER NOT FOUND
 - DE DRAINAGE EASEMENT
 - E/F END/FENCE
 - EP EDGE OF PAVEMENT
 - EW EDGE OF WATER
 - F/C FENCE/CORNER
 - FF FINISH FLOOR
 - F/L FENCE/LINE
 - FIP FOUND IRON PIPE
 - FIR FOUND IRON ROD
 - FN FOUND NAIL
 - FN&D FOUND NAIL & DISC
 - FN&T FOUND NAIL & TAB
 - FP&L FLORIDA POWER & LIGHT
 - GAR GARAGE
 - GEN GENERATOR
 - INSTR INSTRUMENT
 - OP OPEN PORCH
 - ORB OFFICIAL RECORD BOOK
 - M MEASURED
 - NTS NOT TO SCALE
 - PB PLAT BOOK
 - PC POINT OF CURVATURE
 - POB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - PG PAGE
 - PRC POINT OF REVERSE CURVE
 - PRM PERMANENT REFERENCE MONUMENT
 - PT POINT OF TANGENCY
 - R RECORD
 - RAD RADIAL
 - RW RIGHT-OF-WAY
 - S&D SET NAIL & DISC 5495
 - SP SCREENED PORCH
 - SP&C SET 1/2" PIN & CAP 5495
 - UE UTILITY EASEMENT

ATLANTIC COAST SURVEYING

Paul J. Stowell

PAUL J. STOWELL
 PROFESSIONAL LAND SURVEYOR
 FLORIDA CERTIFICATION NO. 5241
 ATLANTIC COAST SURVEYING, INC.
 13798 NW 4th Street, Suite 306
 Sunrise, FL 33325
 P: 954.587.2100 E: info@acsiweb.net



TREES #5, #6, #7, #8, #9, #10, AND #12 ON SURVEY ARE OUT OF PROPERTY LINE

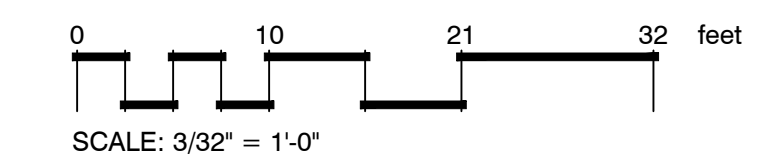
Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.

REMOVED TOT. OF 38" HARDWOOD DBH.....	38"1/2 x \$350=\$6,650
MITIGATION DBH PROVIDED.....	4"1/2 x \$350=\$700
MITIGATION PALMS	38 x \$350=\$13,300
TOTAL MITIGATION CALCULATIONS	\$6,650 - \$14,000=-\$7,350

NO MITIGATION TO BE PAID TO THE CITY TREE FUND

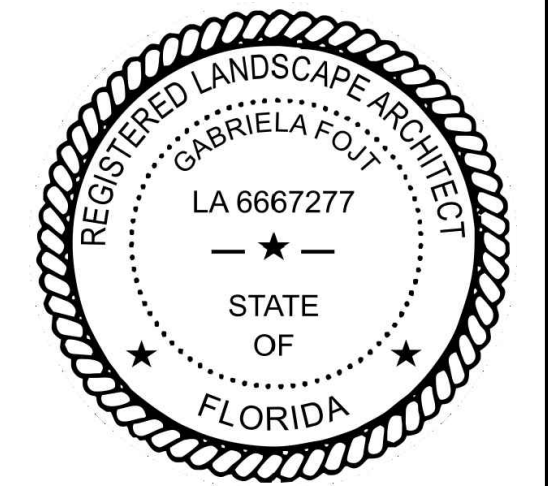
SEE DT-2 FOR EXISTING TREES LIST

A GENERAL LAYOUT
scale 3/32"=1'-0"

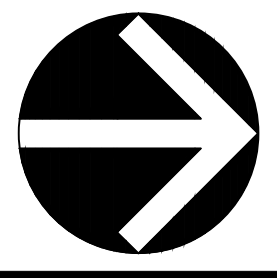


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IT'S THE LAW

NOTE:
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The Mirror of Paradise
Gabriela Fojt
LA 6667277
ISA FL-10207A
2300 E Oakland Park Blvd
Suite 208
Fort Lauderdale
FL 33306
c (954) 478 3064
www.florida-landscape.com
gabriela@themirrorofparadise.com



SCALE	3/32"=1'-0"
DESIGNED BY	GF
DRAWN BY	KM,GF
CHECKED BY	GF
CAD DWG.	
DATE	12.26.2024
REVISIONS	
per City comments	05.28.2025
per City comments	09.26.2025

2910 POLK STREET
HOLLYWOOD
FL 33020

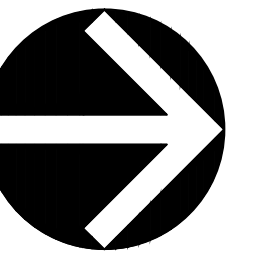
REMOVAL PLAN



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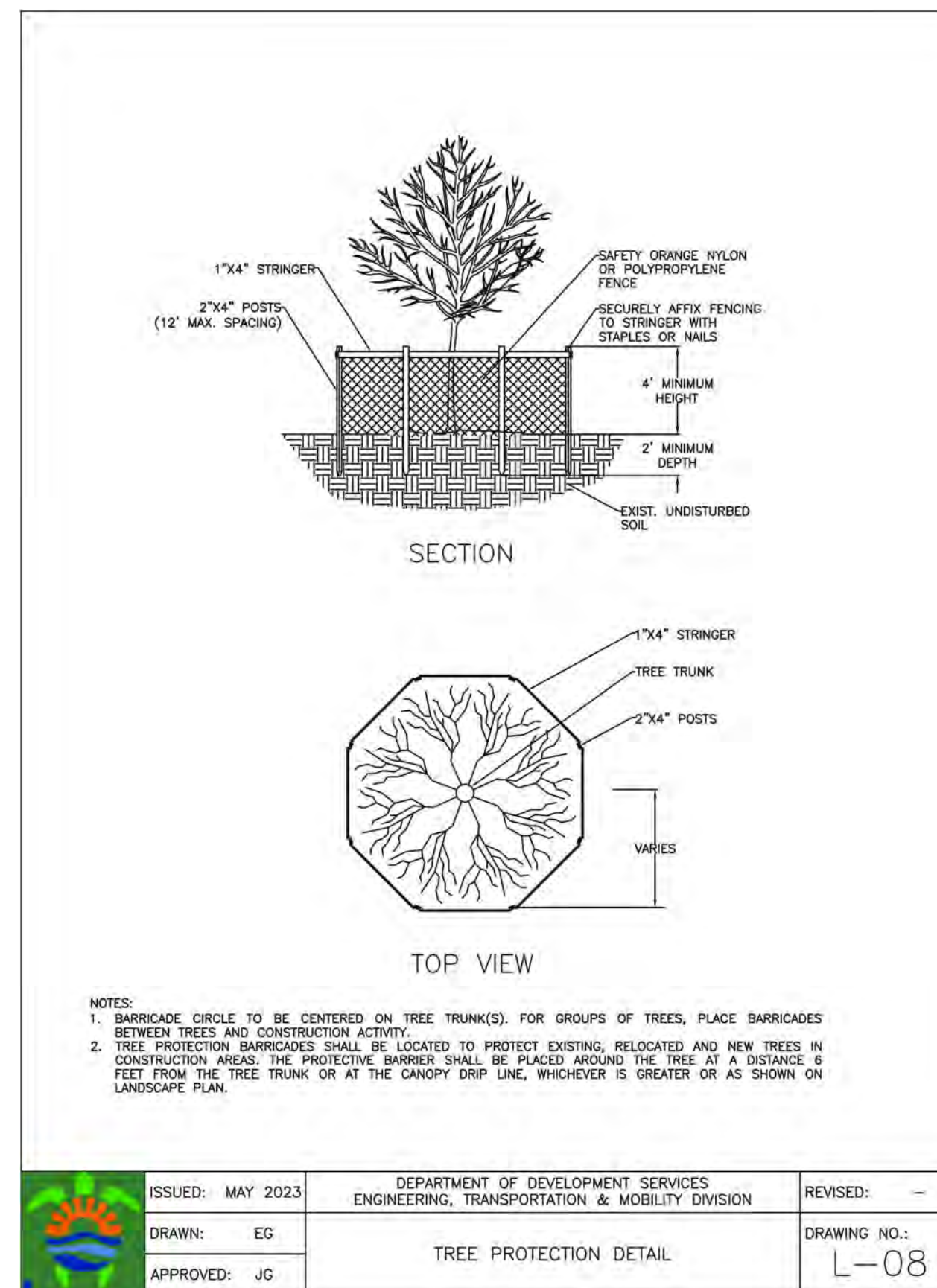
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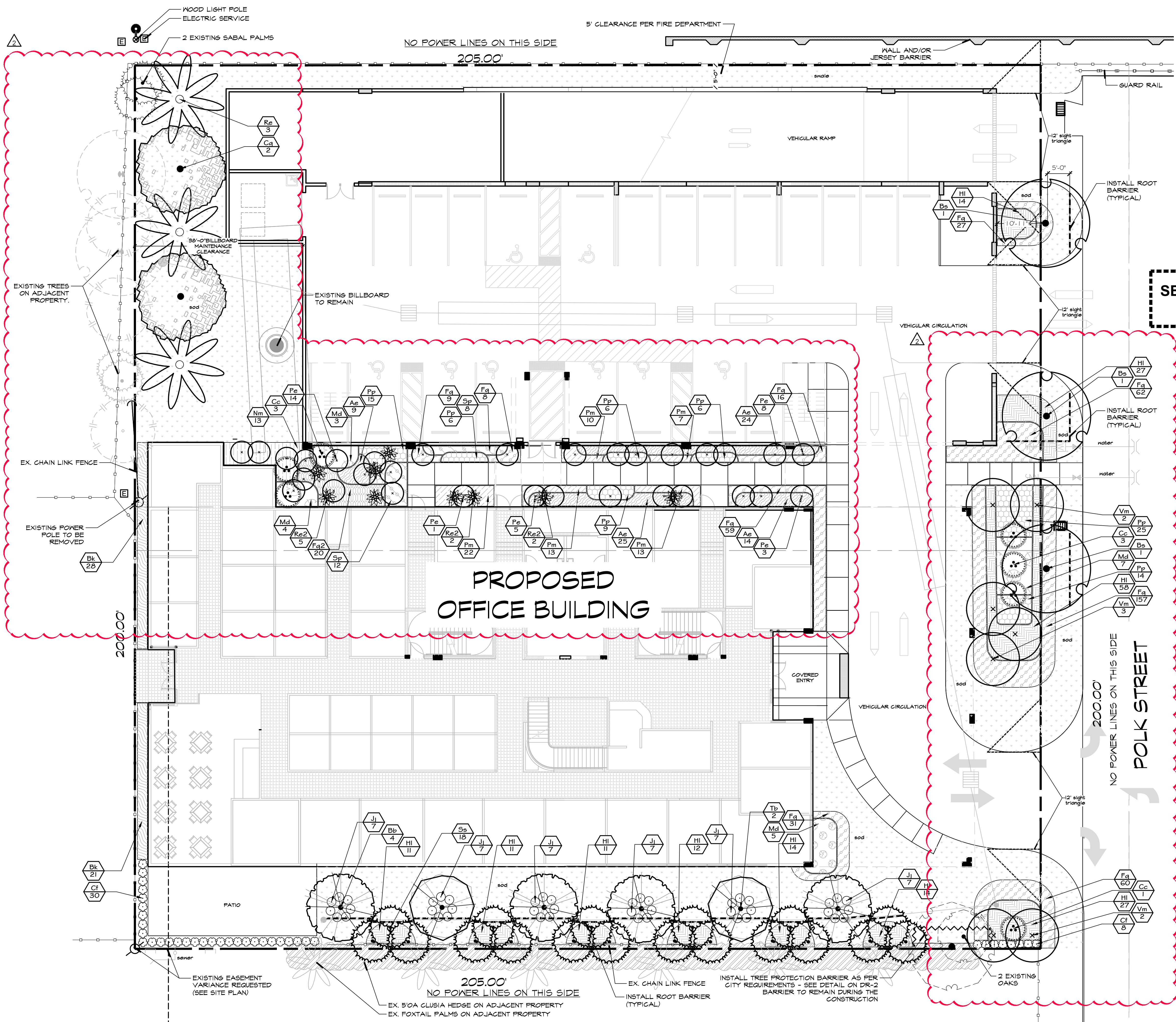
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT/CT	CANOPY	CRZ	CONDITION	NOTES	ACTION
TREES										
	01	Bursera simaruba	Gumbo Limbo	11.5"	20x18'	18'		Good		REMOVE
	02	Quercus virginiana	Southern Live Oak	7"	20x12'	12'	7' radius	Poor	co-canopy	TO REMAIN
	03	Quercus virginiana	Southern Live Oak	18"	20x20'	20'	18' radius	Fair	co-canopy	TO REMAIN
	04	Bursera simaruba	Gumbo Limbo	11"	20x15'	20'		Poor	multiple trunk scars	REMOVE
	11	Schinus terebinthifolia	Brazilian Pepper Tree	N/A	N/A	N/A		N/A	INVASIVE	REMOVE
	13	Sabal palmetto	Cabbage Palmetto	N/A	6' CT	10'		Fair	NOT QUALIFYING AS TREE	TO REMAIN
	14	Sabal palmetto	Cabbage Palmetto	N/A	4' CT	10'		Fair	NOT QUALIFYING AS TREE	TO REMAIN
	15	Schefflera actinophylla	Schefflera	N/A	8' OA	8'		N/A	INVASIVE	REMOVE
	16	Ficus aurea	Ficus	3"+3.5"	8' OA	8'		Poor	VOLUNTEER	REMOVE
	17	Lysiloma latisiliquum	False Tamarind	9"	20x20'	10'		Very poor	heavy leaning, almost no canopy, rot	REMOVE



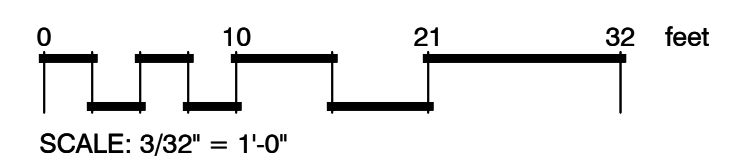
2910 POLK STREET
HOLLYWOOD
FL 33020

EXISTING TREES LIST, TREE PROTECTION DETAIL



SEE LP-2 FOR PLANTING SCHEDULE & CODE CHART

A GENERAL LAYOUT
scale 3/32" = 1'-0"



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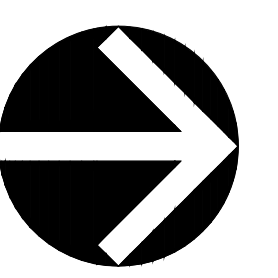
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2910 POLK STREET
HOLLYWOOD
FL 33020

LANDSCAPE PLAN

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
TREES								
	Bb	4	Bauhinia x blakeana	Hong Kong Orchid Tree	12' OA 2" dbh	AS SHOWN	NO	HIGH
	Bs	3	Bursera simaruba	Gumbo Limbo	14'-16' OA, 4" dbh	AS SHOWN	YES	HIGH
	Cg	2	Caesalpinia granadillo	Bridal Veil Tree	12' OA, 2" dbh, std, matched	AS SHOWN	NO	HIGH
	Pe	31	Ptychosperma elegans	Alexander Palm	8'-18' CT, singl, staggered	AS SHOWN	NO	HIGH
	Re	3	Roystonea elata	Florida Royal Palm	10' GW, matched	AS SHOWN	YES	HIGH
	Ss	18	Sabal palmetto	Cabbage Palmetto	8' CT	AS SHOWN	YES	HIGH
	Tb	2	Tabebuia bahamensis	Bahama Tabebuia	12' OA, 2" dbh, std, matched	AS SHOWN	NO	HIGH
	Vm	7	Veitchia montgomeryana	Montgomery Palm	8'-20' CT, staggered	AS SHOWN	NO	HIGH
EXISTING TREES & PALMS								
	eQv	2	Quercus virginiana	Southern Live Oak	See DT-1 & 2	EXISTING	YES	HIGH
	eSp	2	Sabal palmetto	Cabbage Palmetto	See DT-1 & 2	EXISTING	YES	HIGH
SHRUBS								
	Cc	7	Chamaedorea cataractarum	Cascade Palm	6'-7' OA, full	AS SHOWN	NO	MODERATE
	Cf	38	Clusia guttifera	Small leaf Clusia	4'-5' OA, ffb	24" OC	NO	HIGH
	Jj	42	Jasminum volubile	Wax Jasmine	3 gal, full	24" OC	NO	HIGH
	Re2	9	Rhapis excelsa	Lady Palm	4'-5' OA	AS SHOWN	NO	MODERATE
SHRUB AREAS								
	Ae	72	Aspidistra elatior	Cast Iron Plant	1 gal, full	24" OC	NO	MODERATE
	Bk	49	Bougainvillea x 'Barbara Karst'	Barbara Karst Bougainvillea	3 gal, ffb	24" OC	NO	HIGH
	Fg2	20	Farfugium japonicum giganteum	Giant Leopard Plant	3 gal, full	30" OC	NO	LOW
	Fg	429	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	3 gal, full	18" OC	NO	HIGH
	Hl	199	Hymenocallis latifolia	Spider Lily	3 gal, full	24" OC	NO	HIGH
	Md	19	Monstera deliciosa	Split-leaf Philodendron	3 gal	48" OC	NO	MODERATE
	Nm	13	Nephrolepis biserrata	Macho Fern	1 gal	36" OC	YES	MODERATE
	Pp	81	Philodendron x 'Prince of Orange'	Prince of Orange Philodendron	3 gal	24" OC	NO	MODERATE
	Pm	65	Pilea microphylla	Rockweed	1 gal	18" OC	NO	LOW
	Sp	20	Spathoglottis plicata	Ground Orchid	3 gal, full	24" OC	NO	LOW
GROUND COVERS								
	So	7,554 sf	Stenotaphrum secundatum	St. Augustine Grass	sod			

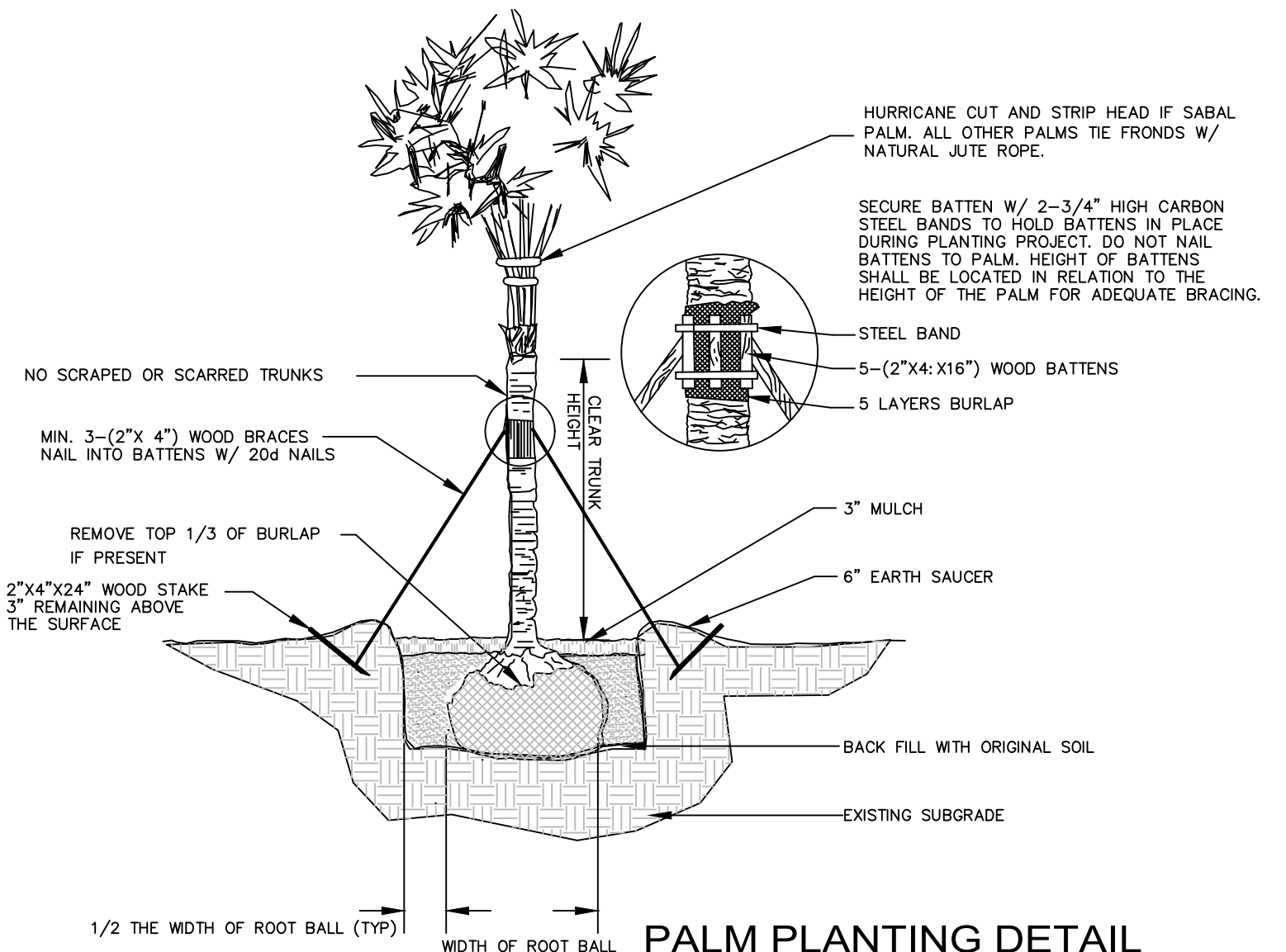
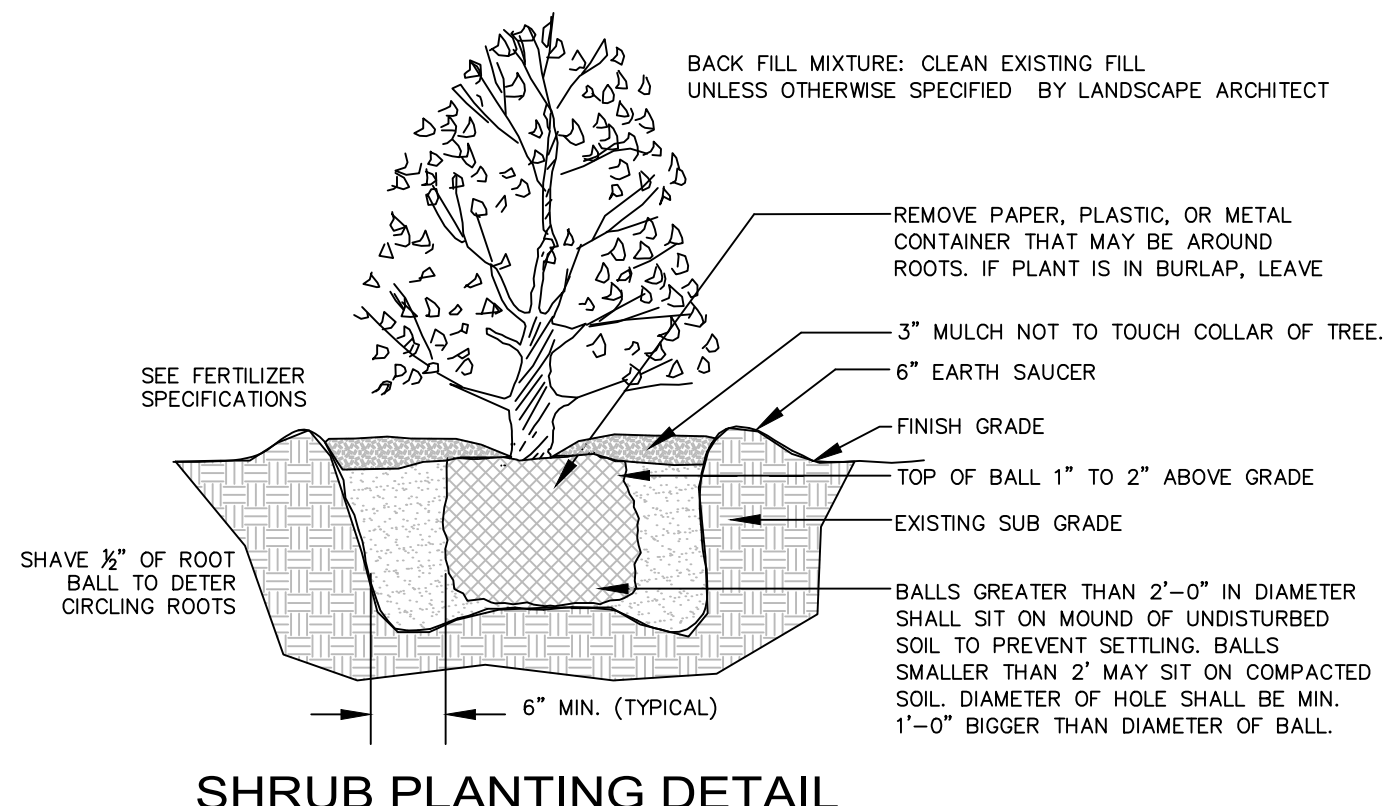
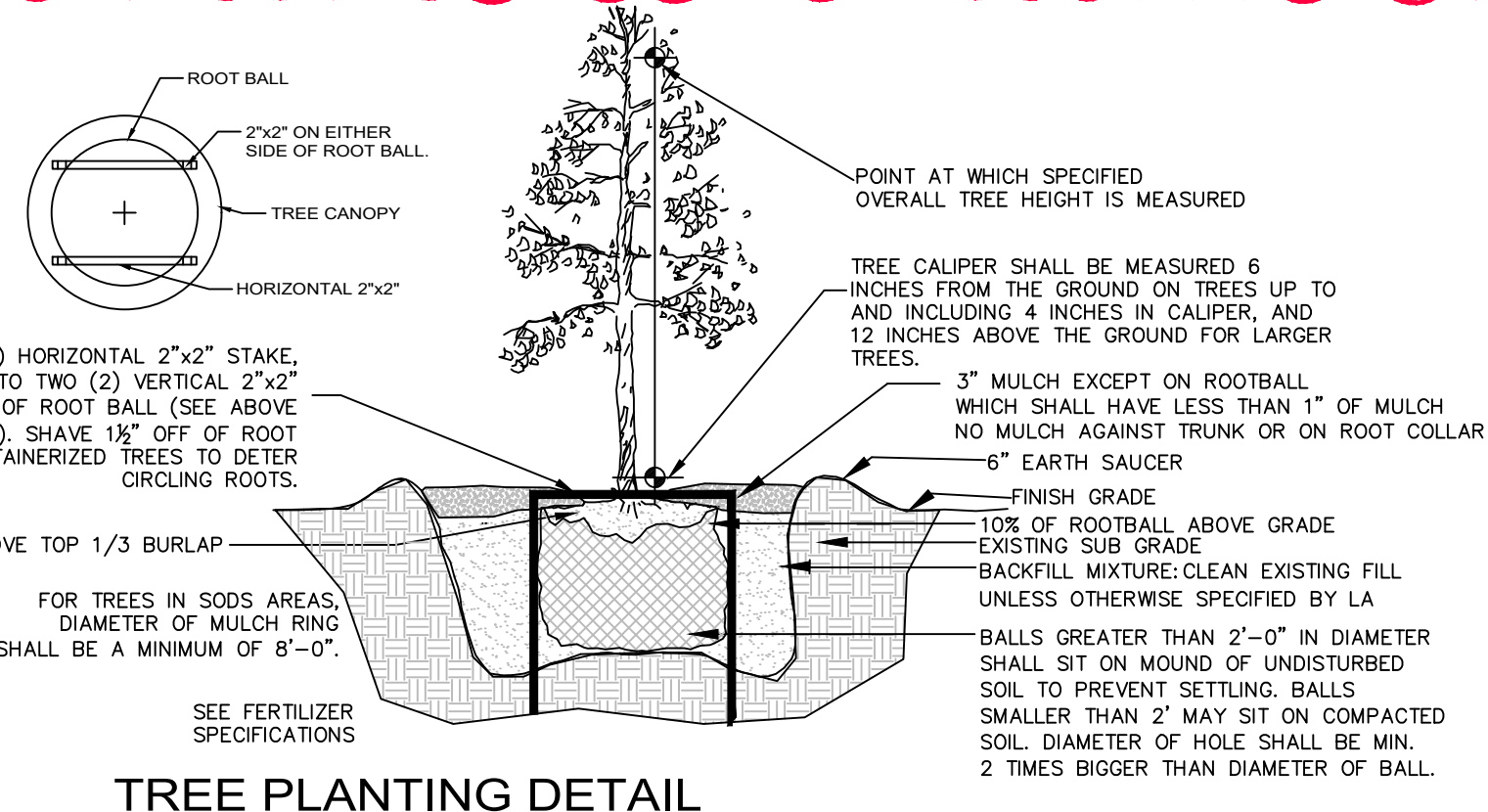
NOTES:

- SOD AS INDICATED.
- MULCH ALL BEDS AS INDICATED ON DETAIL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.
- PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.

CODE REQUIREMENT TC-1

Code requirement	Required	Existing	Proposed	Provided
Perimeter landscape Street tree - one 12' oa tree/each 30 lf of street frontage (200.00'/30=6.6)	7 trees	2 Oaks	3 Gumbo Limbo, 6 Montgomery palms (3:1=2 trees)	7 provided
Residential buffer	N/A			N/A
Open space 1 tree per 1000sf of pervious site area (8,913 sq.ft./1,000=8.9) min. 25% lot space as open/landscape (40,990sqft x.25=10,247sqft)	9 trees		4 Honk Kong Orchid trees, 15 Sabals (3:1=5 trees)	9 provided
60% of required trees to be native (16x.6=9.6) No more than 50% of trees to be palms (3:1 count) (16x.5=8)	Min. 10 native trees Max. 8 trees as palms	2 Oaks	3 Gumbo Limbo, 15 Sabals (3:1=5 trees) 15 Sabals (3:1=5 trees), 6 Montgomery palms (3:1=2 trees)	10 provided 7 provided
Mitigation trees			3 Sabal palms, 3 Royal palms, 1 Montgomery, 2 Bridalveil 31 Ptychosperma	4" dbh and 38 palms

(* ADJACENT LOT DONATED TO THE CITY AS PARK COMPENSATES LANDSCAPED AREA



JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids. The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting. At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud. Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4". Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material. Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves. 10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

IRRIGATION

Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by owner and Landscape Architect.

MATERIALS LIST:

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade. Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass. Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head. Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval. Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis. Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations. All shall comply with the State of Florida fertilizer laws.

CLEANUP:

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

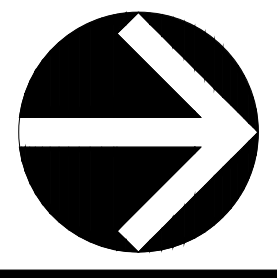
Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.



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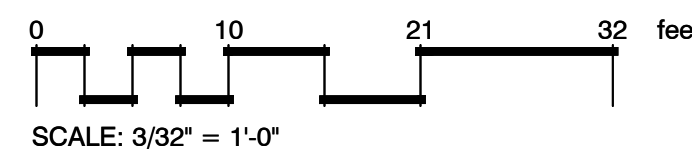


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2910 POLK STREET
HOLLYWOOD
FL 33020
PLANT SCHEDULE, CODE CHART, NOTES & DETAILS

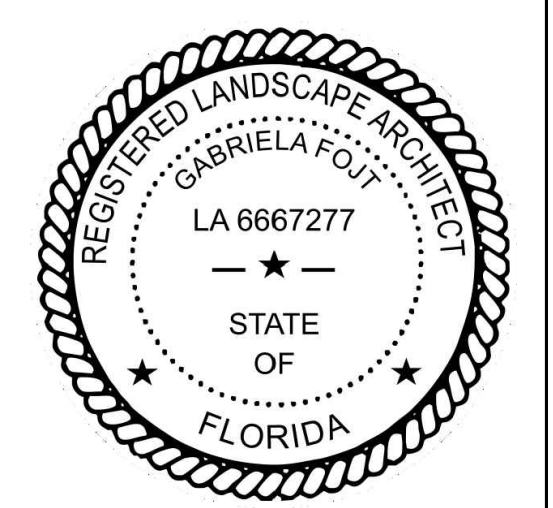


A GENERAL LAYOUT
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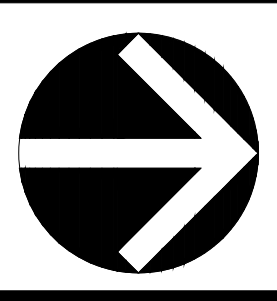
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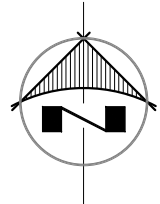
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FL 33020

COLORED LANDSCAPE PLAN



LOCATION MAP



INDEX OF DRAWINGS:

ARCHITECTURAL:

- T-1 TITLE SHEET AND INDEX OF DRAWINGS
- SP-1 MASTER SITE PLAN
- A-1 FIRST FLOOR PLAN
- A-2 SECOND FLOOR PLAN
- A-3 THIRD THRU SIX FLOOR PLAN
- A-7 ROOF PLAN
- A-8 SOUTH & WEST BUILDING ELEVATIONS
- A-9 NORTH & EAST BUILDING ELEVATIONS
- A-10 BUILDING COLOR N.E & S.W. COLORED RENDERINGS
- A-11 EXTERIOR COLOR ELEVATIONS
- A-12 BUILDING CROSS SECTION

SURVEY:

- SURVEY

CIVIL:

- C-1 PAVING & GRADING PLAN
- C-2 PAVEMENT MARKING PLAN
- C-3 GENERAL NOTES
- C-4 CONSTRUCTION DETAILS
- C-4 A CONSTRUCTION DETAILS
- C-4 B STANDARD DETAILS
- C-5 EROSION & SEDIMENT CONTROL PLAN
- C-6 STORMWATER POLLUTION PREVENTION DETAILS & NOTES
- C-7 STORMWATER POLLUTION PREVENTION DETAILS & NOTES

LANDSCAPE:

- LP-1 LANDSCAPE PLAN
- LP-2 PLANT SCHEDULE, CODE CHART, NOTES & DETAILS
- LP-3 COLORED SITE PLAN
- DT-1 REMOVAL PLAN
- DT-2 EXISTING TREES LIST, TREE PROTECTION DETAIL

POLK OFFICE BUILDING
2910 POLK STREET
HOLLYWOOD, FLORIDA

PACO MEETING: 4- 3-2023
TAC MEETING: 2-18-2025
TAC MEETING: 6-16-2025
TAC MEETING: 2-10-2026

2
3

TAC NO. 25-DP-13

CIVIL ENGINEER
 GGB ENGINEERING INC.
 2699 STIRLING ROAD, SUITE C-202
 FORT LAUDERDALE, FL 33312
 TEL. (954)986-9899
 Email: ricardo@ggbeng.com

SURVEYOR
 ATLANTIC COAST SURVEYING INC.
 13798 NW 4TH STREET, SUITE 306
 SUNRISE, FL 33325
 TEL. (954) 587-2100
 Email: INFO@SCSIWEB.NET

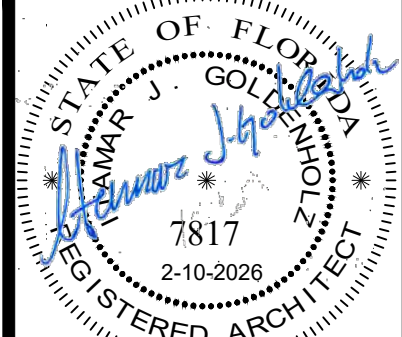
LANDSCAPE ARCHITECT
 THE MIRROR OF PARADISE
 GABRIELA FOJT, LA 6667277
 2700 E. OAKLAND PARK BLVD. SUITE C
 FORT LAUDERDALE, FL 33306
 TEL. (954) 581-1110
 Email: gabriela@themirrorofparadise.com

GOLDENHOLZ & ASSOCIATES ARCHITECTS & PLANNERS P.A.

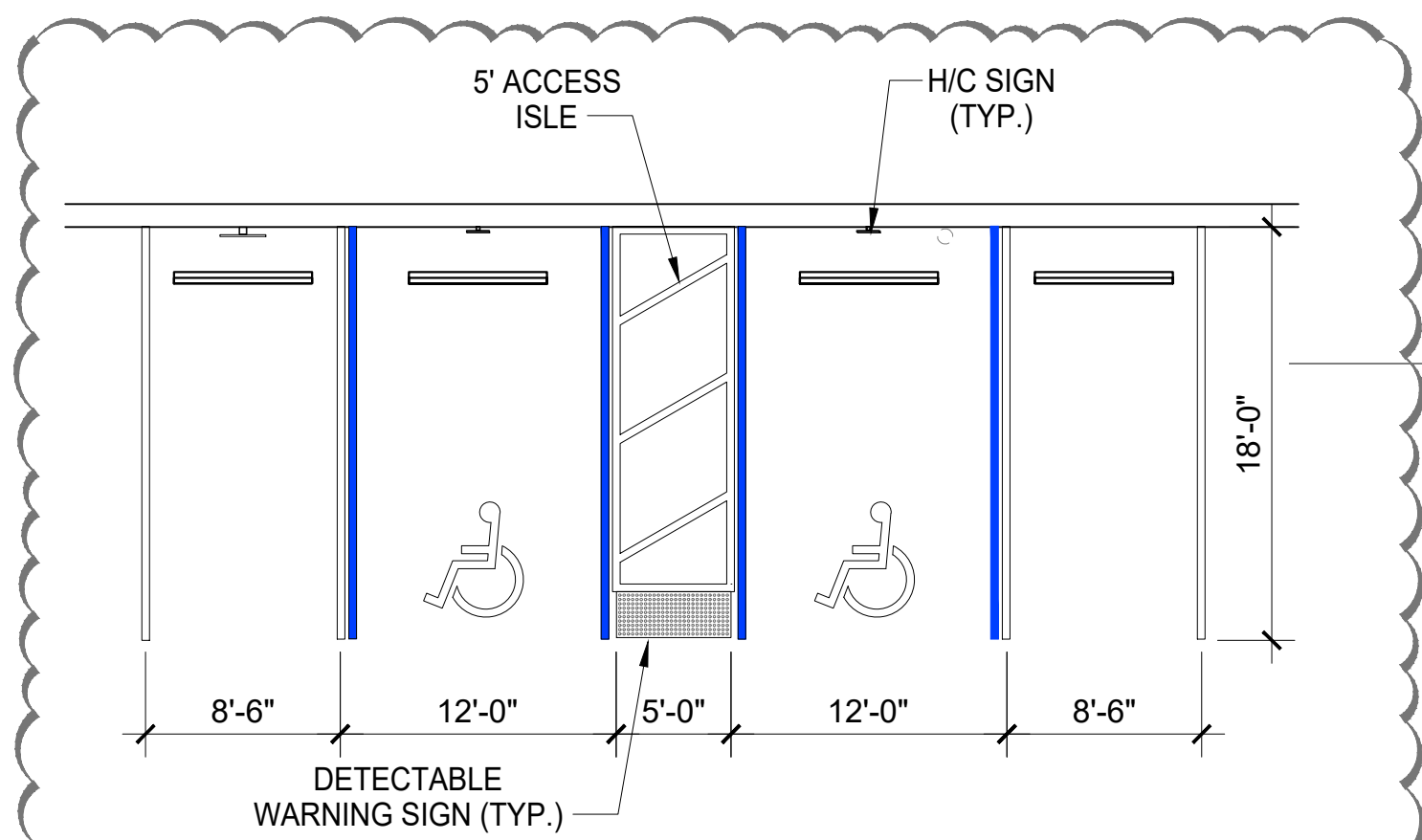
3122 NORTH PINE ISLAND ROAD, SUNRISE, FLORIDA 33351 TEL. (954) 742-0797 FAX (954) 742-3093

Email: Itamar@goldenholz.com

ITAMAR J GOLDENHOLZ
FL LIC. AR0007817

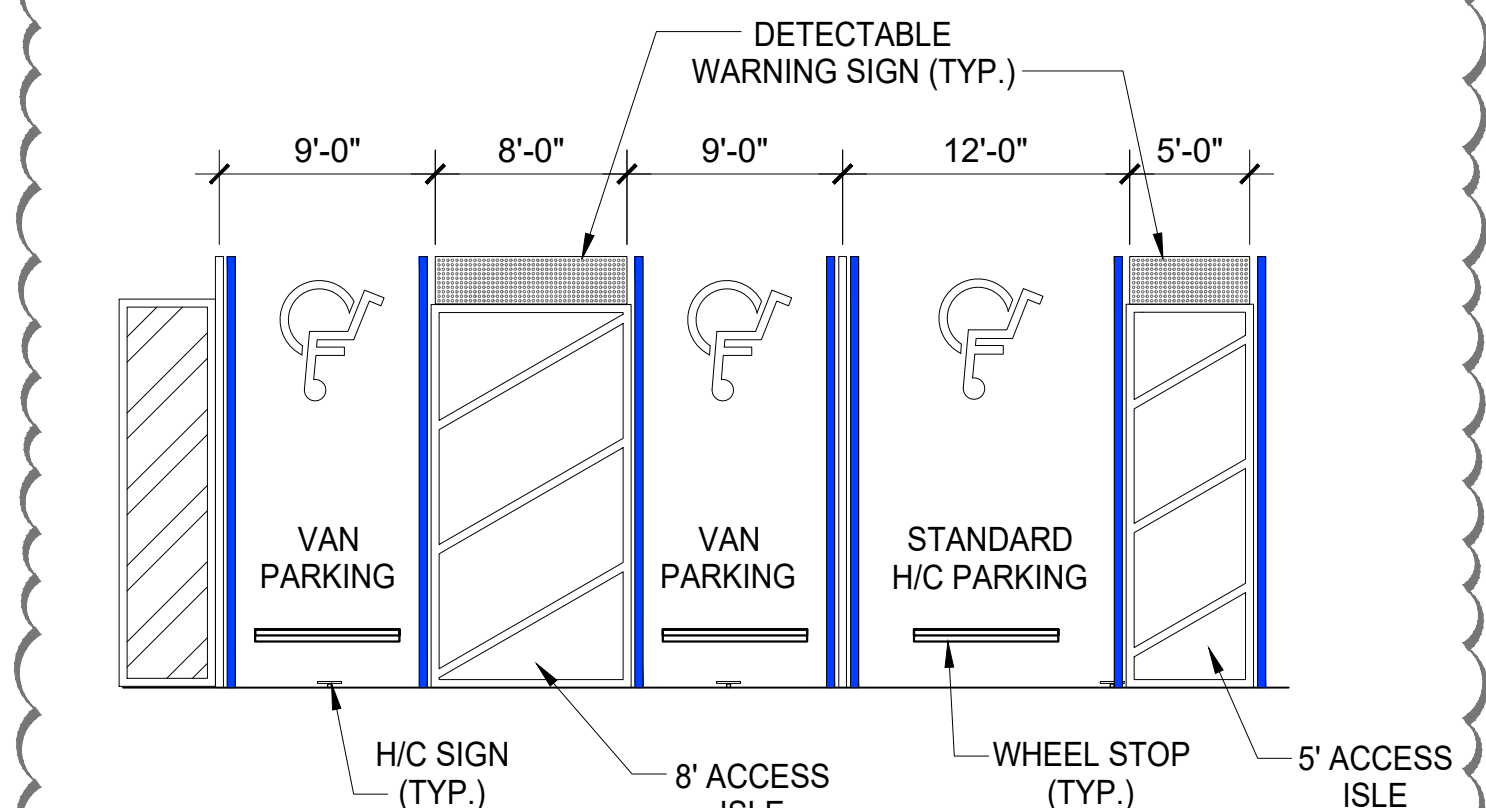


DATE: 1-15-2025 TAC
4-30-2025 TAC REV.
10-17-2025 TAC REV.
2-10-2026 TAC REV.
PROJECT No. 22036
SHEET NO. T-1



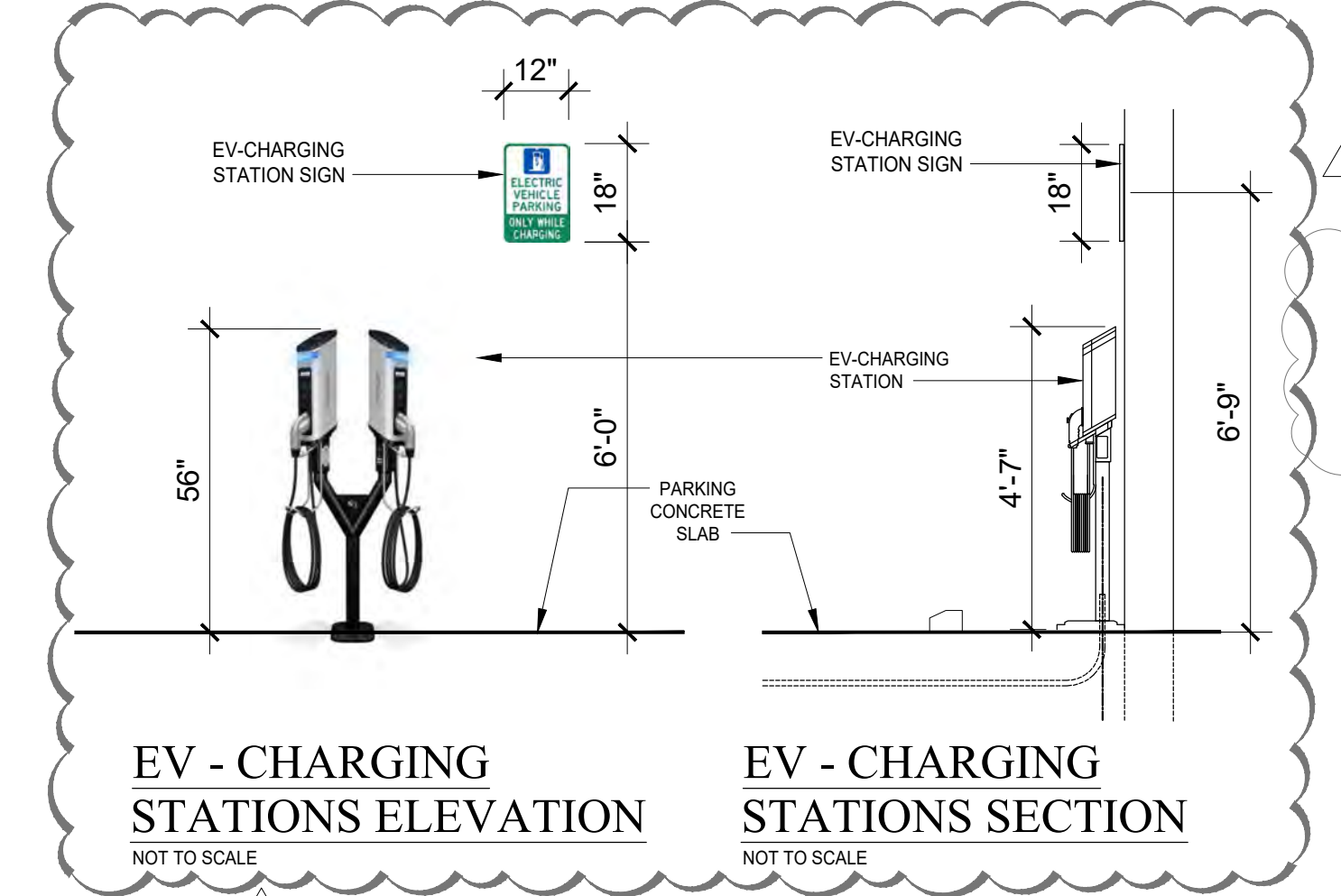
STANDARD ACCESSIBLE & EV- PARKING SPACE

N.T.S.
NOTE: PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACES SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS



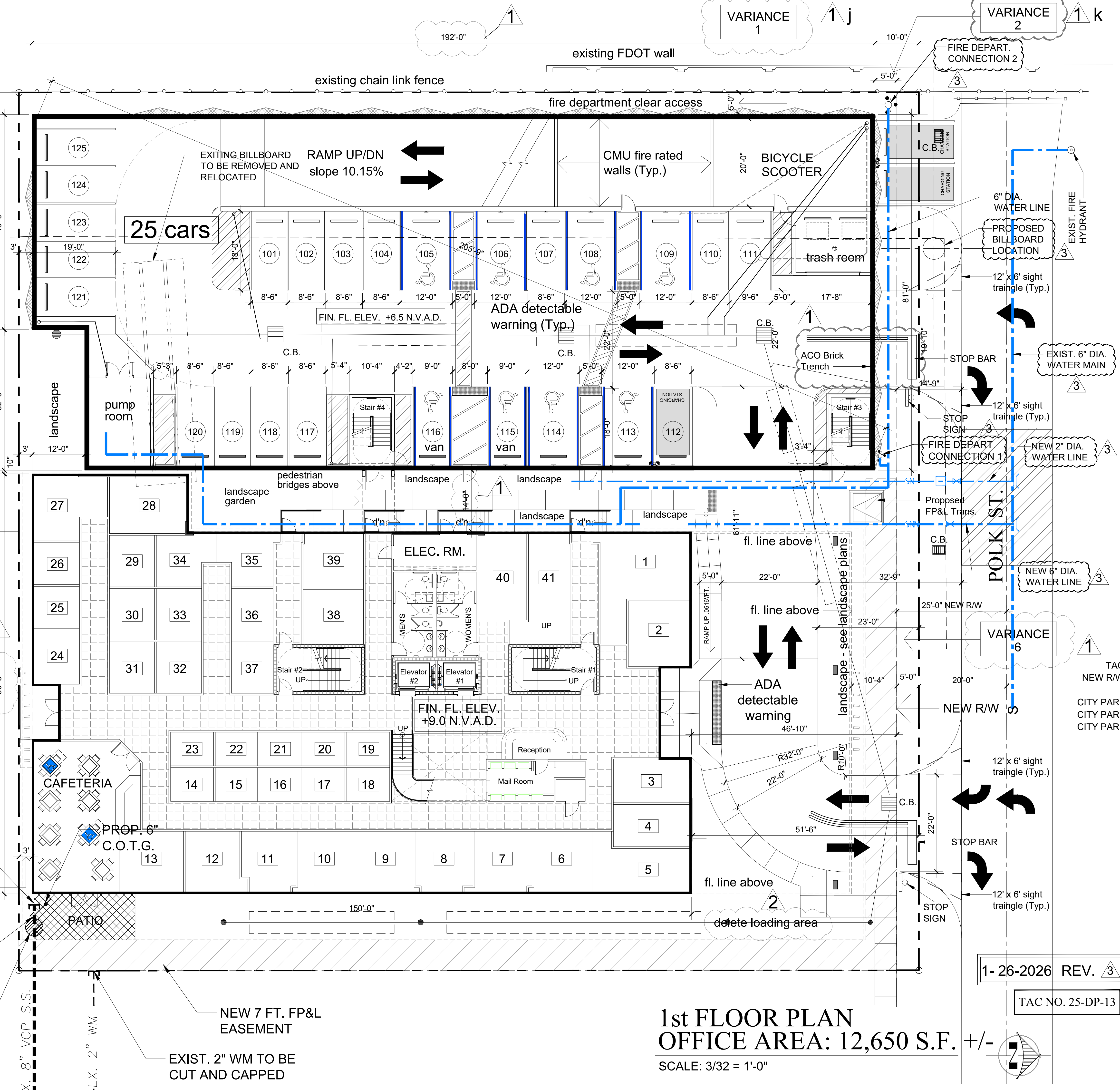
VAN & STANDARD ACCESSIBLE PARKING SPACE

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NOTE: PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACES SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS



EV - CHARGING STATIONS ELEVATION
EV - CHARGING STATIONS SECTION

NOT TO SCALE



1st FLOOR PLAN
OFFICE AREA: 12,650 S.F. +/-
SCALE: 3/32 = 1'-0"

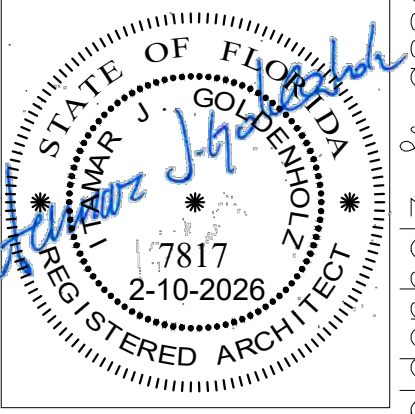
1-26-2026 REV. 3

TAC NO. 25-DP-13

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POLK OFFICE BUILDING
2910 POLK STREET
HOLLYWOOD, FLORIDA 33020

- 4-4-2024
- 7-18-24 4 STORY OFFICE
- 9-19-2024
- 11-27-2024
- 1-15-2025
- 3-4-2025
- 3-12-2025
- 3-20-2025
- 3-25-2025
- 3-31-2025
- 4-30-2025 REV. 1
- 6-23-2025 REV. 2
- 9-9-2025 REV. 3

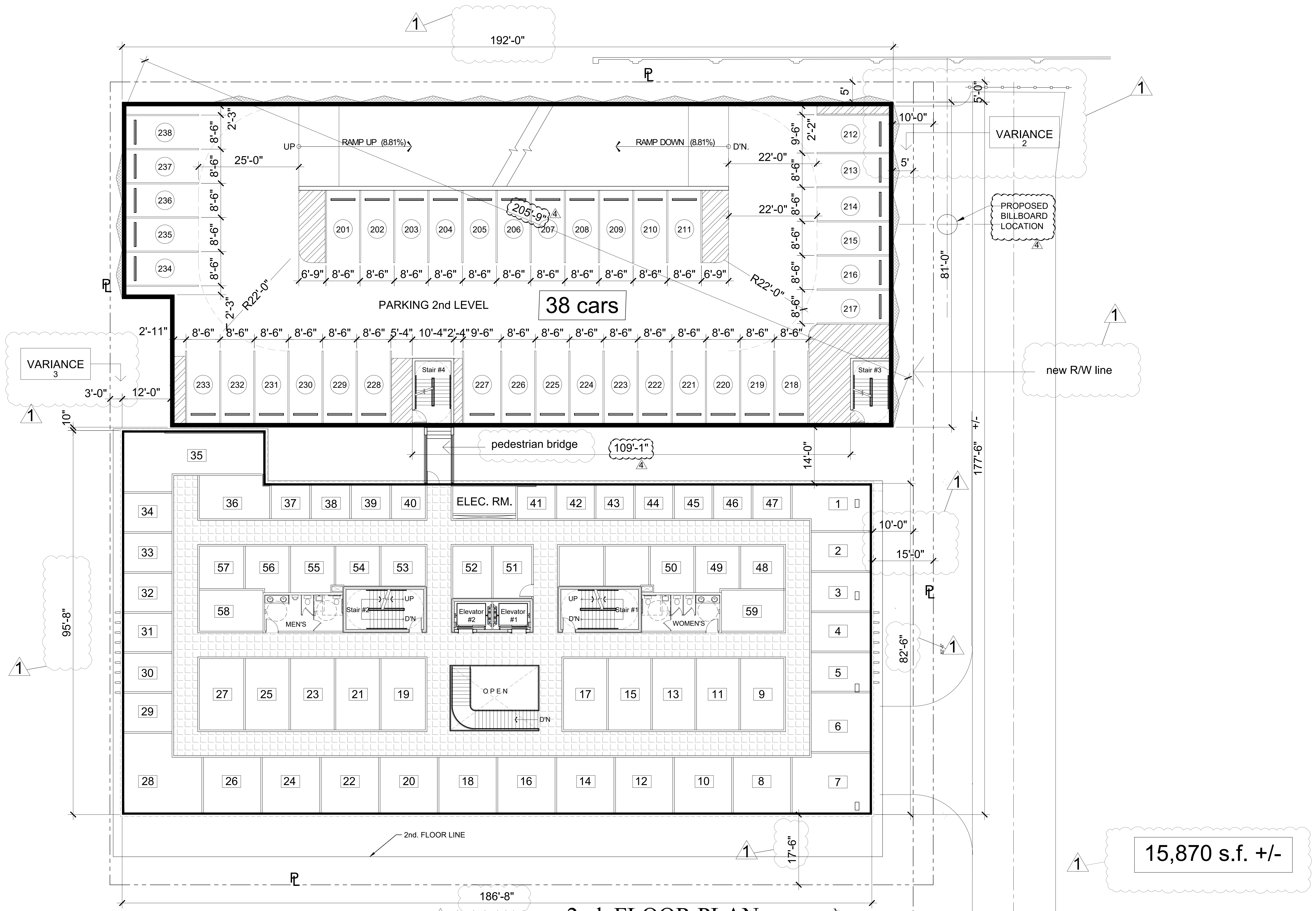


ITAMAR GOLDENHOLZ
FL. LIC. AR0007817



A-1
p.n. 22036

goldenholz & associates architects planners p.a. 3122 n. pine island road, sunrise, florida 33351 (954) 742-0797 fax (954) 742-3093



2nd. FLOOR PLAN

SCALE: 3/32 = 1'-0"

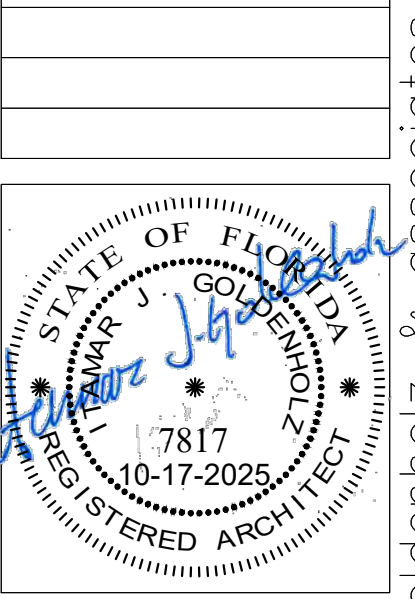
15,870 s.f. +/-

TAC NO. 25-DP-13

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POLK OFFICE BUILDING
 2910 POLK STREET
 HOLLYWOOD, FLORIDA 33020

11-27-2024
2-6-2025
2-12-2025
3-12-2025
3-17-2025
3-20-2025
3-25-2025
3-31-2025
4-30-2025 REV. A



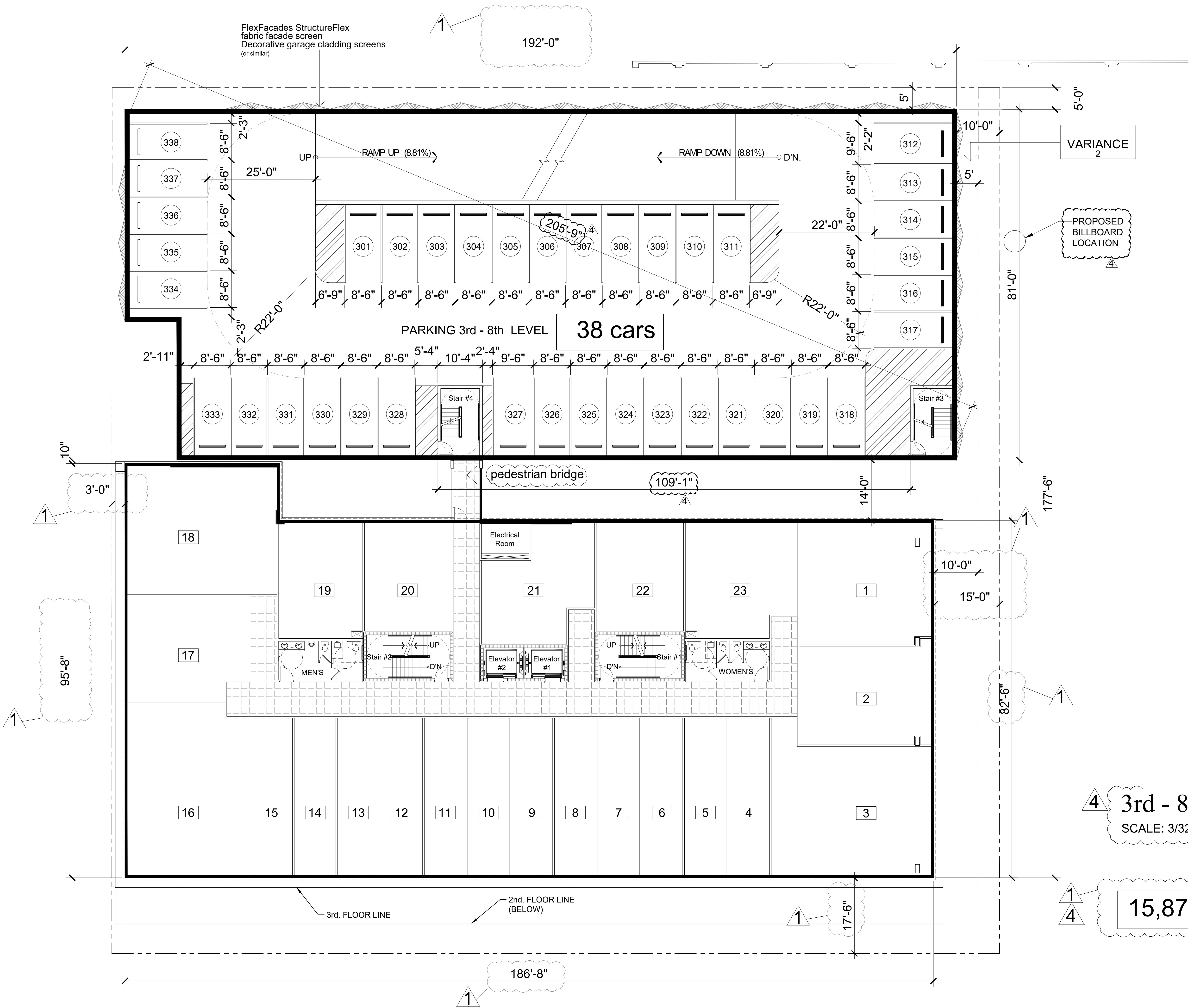
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 FL. LIC. AR0007817



A-2

p.n. 22036

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VARIANCE
2

PROPOSED
BILLBOARD
LOCATION

4 3rd - 8th. FLOOR PLAN
SCALE: 3/32 = 1'-0"

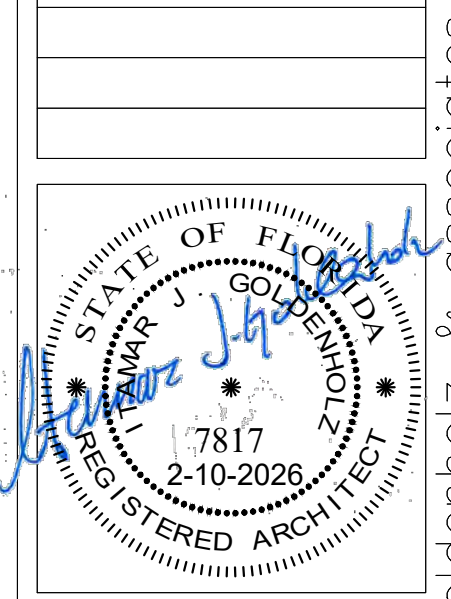
15,870 s.f. +/-

TAC NO. 25-DP-13

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POLK OFFICE BUILDING
2910 POLK STREET
HOLLYWOOD, FLORIDA 33020

11-27-2024
2-6-2025
2-12-2025
3-12-2025
3-17-2025
3-20-2025
3-25-2025
4-30-2025 REV. 1
2-10-2026 REV. 4

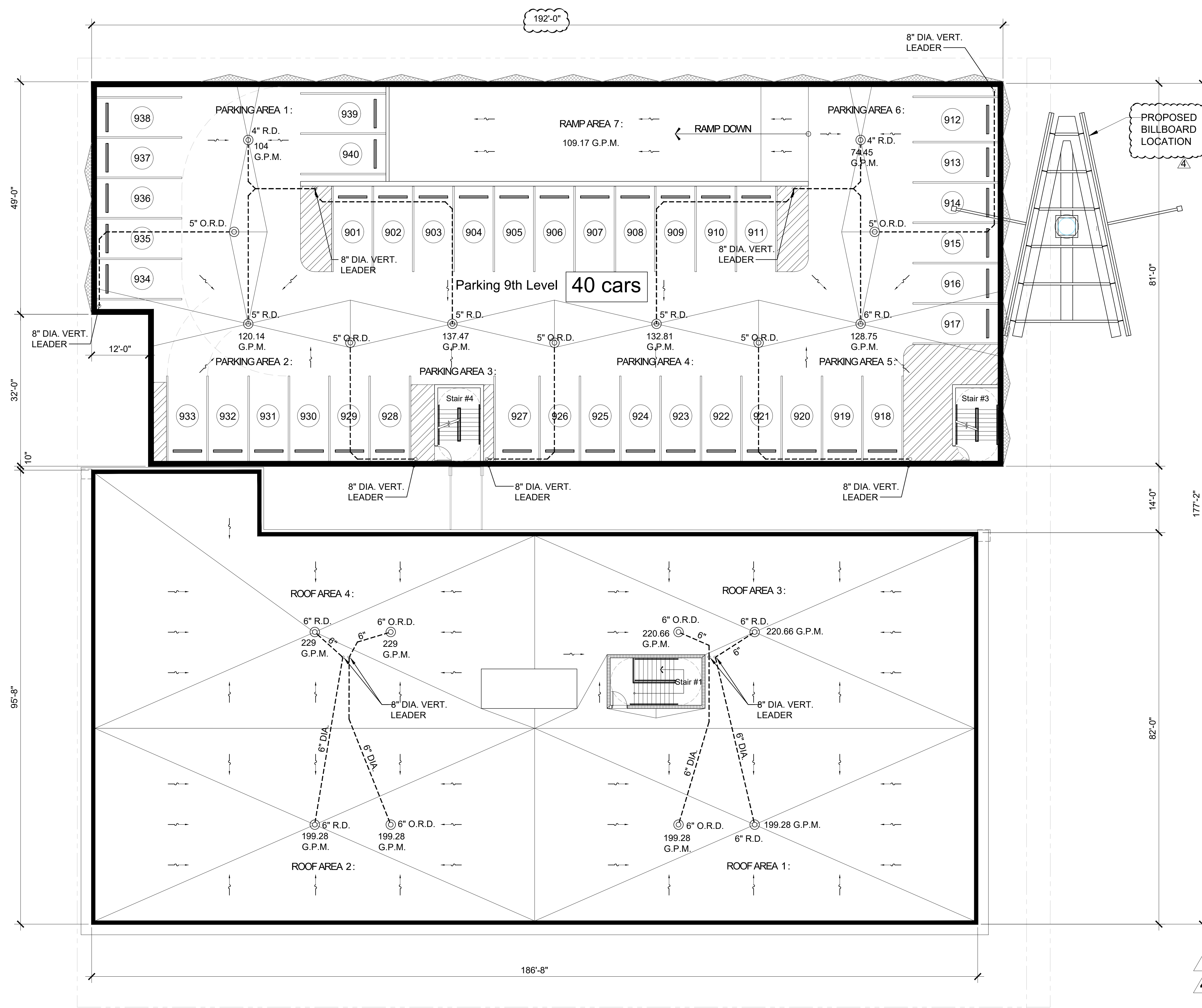


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CITY PARK
CITY PARK



PARKING BUILDING:

PARKING ROOF AREA 1:	= 1,708.00 S.F.
PERIMETER = 141.00 L.F. x 4'-6" x 5'	= 318.00
G.P.M. = .0104 x 4.75' x 2,107.00	= 104.08 G.P.M.
PARKING ROOF AREA 2:	= 2,203.00 S.F.
PERIMETER = 102.00 L.F. x 4'-6" x 5'	= 229.50
G.P.M. = .0104 x 4.75' x 2,432.00	= 120.14 G.P.M.
PARKING ROOF AREA 3:	= 2,495.00 S.F.
PERIMETER = 98.00 L.F. x 4'-6" x 5'	= 193.50
STAIR = 42.00 L.F. x 4'-6" x 5'	= 94.45
G.P.M. = .0104 x 4.75' x 2,782.95	= 137.47 G.P.M.
PARKING ROOF AREA 4:	= 2,495.00 S.F.
PERIMETER = 86.00 L.F. x 4'-6" x 5'	= 193.50
G.P.M. = .0104 x 4.75' x 2,888.50	= 132.81 G.P.M.
PARKING ROOF AREA 5:	= 2,442.00 S.F.
PERIMETER = 73.00 L.F. x 4'-6" x 5'	= 154.25
G.P.M. = .0104 x 4.75' x 2,606.25	= 128.75 G.P.M.
PARKING ROOF AREA 6:	= 1,327.00 S.F.
PERIMETER = 80.00 L.F. x 4'-6" x 5'	= 180.00
G.P.M. = .0104 x 4.75' x 1,507.00	= 74.45 G.P.M.
PARKING RAMP AREA 7:	= 1,767.00 S.F.
PERIMETER = 197.00 L.F. x 4'-6" x 5'	= 443.25
G.P.M. = .0104 x 4.75' x 2,210.25	= 109.17 G.P.M.

OFFICE BUILDING:

ROOF AREA 1:	= 3,761.00 S.F.
PERIMETER = 133.00 L.F. x 5'-0" x 5'	= 332.00
G.P.M. = .0104 x 4.75' x 4,093.00	= 202.19 G.P.M.
ROOF AREA 2:	= 3,761.00 S.F.
PERIMETER = 133.00 L.F. x 5'-0" x 5'	= 332.00
G.P.M. = .0104 x 4.75' x 4,093.00	= 202.19 G.P.M.
ROOF AREA 3:	= 3,761.00 S.F.
PERIMETER = 133.00 L.F. x 5'-0" x 5'	= 332.00
ELEV. = 26.00 L.F. x 4'-0" x 5'	= 52.00
G.P.M. = .0104 x 4.75' x 4,466.94	= 220.66 G.P.M.
ROOF AREA 4:	= 4,214.00 S.F.
PERIMETER = 160.00 L.F. x 4'-6" x 5'	= 390.00
ELEV. = 31.00 L.F. x 4'-0" x 5'	= 62.00
G.P.M. = .0104 x 4.75' x 4,636.00	= 229.00 G.P.M.

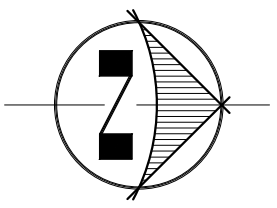
4 Garage Bldg. 15,169 s.f. +/-

1/4 Office Bldg. 15,870 s.f. +/-

TAC NO. 25-DP-13

9 level garage = 40cars

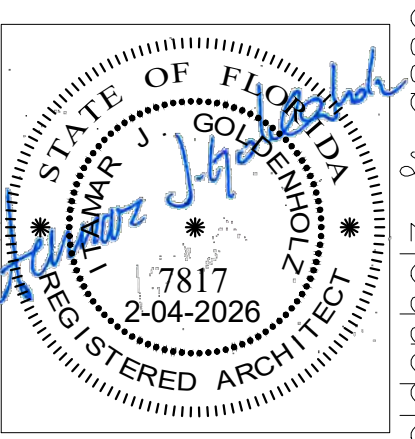
ROOF FLOOR PLAN
SCALE: 3/32 = 1'-0"



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POLK OFFICE BUILDING
2910 POLK STREET
HOLLYWOOD, FLORIDA 33020

- 11-27-2024
- 2-6-2025
- 2-12-2025
- 3-12-2025
- 3-17-2025
- 3-20-2025
- 3-25-2025
- 4-30-2025 REV. 1
- 8-30-2025 REV. 2
- 9-26-2025 REV. 3
- 2-4-2026 REV. 4



ITAMAR GOLDENHOLZ
FL. LIC. AR0007817



goldenholz & associates architects planners p.a. 3122 n. pine island road, sunrise, florida 33351 (954) 742-0797 fax (954) 742-3093

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NORTH EAST VIEW
REV.



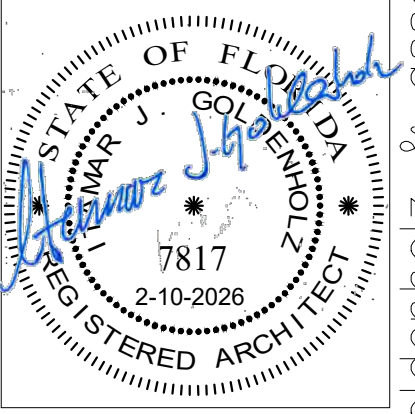
SOUTH WEST VIEW
REV.
REV.

TAC NO. 25-DP-13

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POLK OFFICE BUILDING
 2910 POLK STREET
 HOLLYWOOD, FLORIDA 33020
OFFICE Building West & South Rendering

5-12-2025
4-30-2025 REV.
2-10-2026 REV.



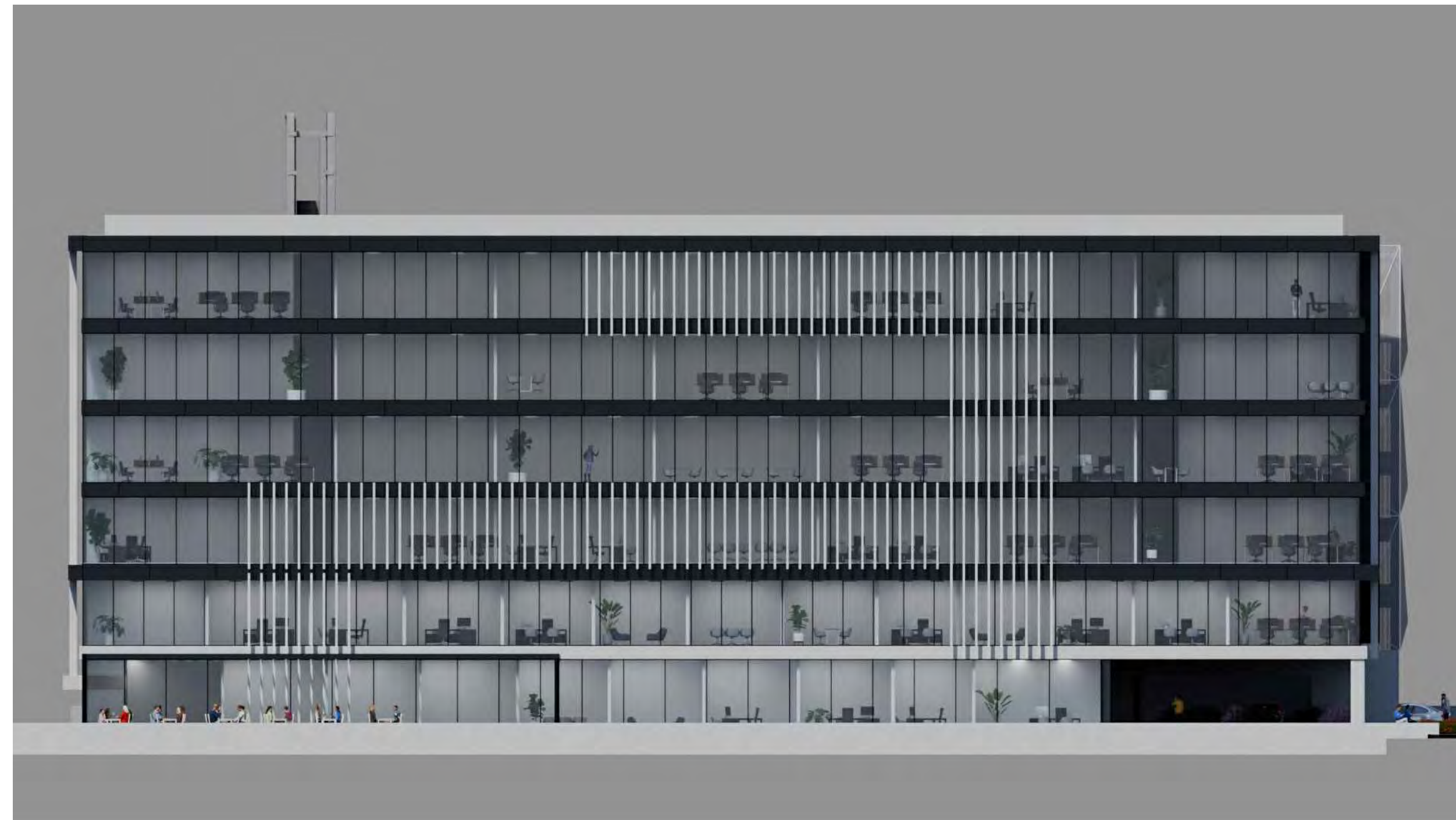
ITAMAR GOLDENHOLZ
FL. LIC. AR0007817



A-10

p.n. 22036

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EAST ELEVATION

SCALE: 1/16" = 1'-0"
REV. 1



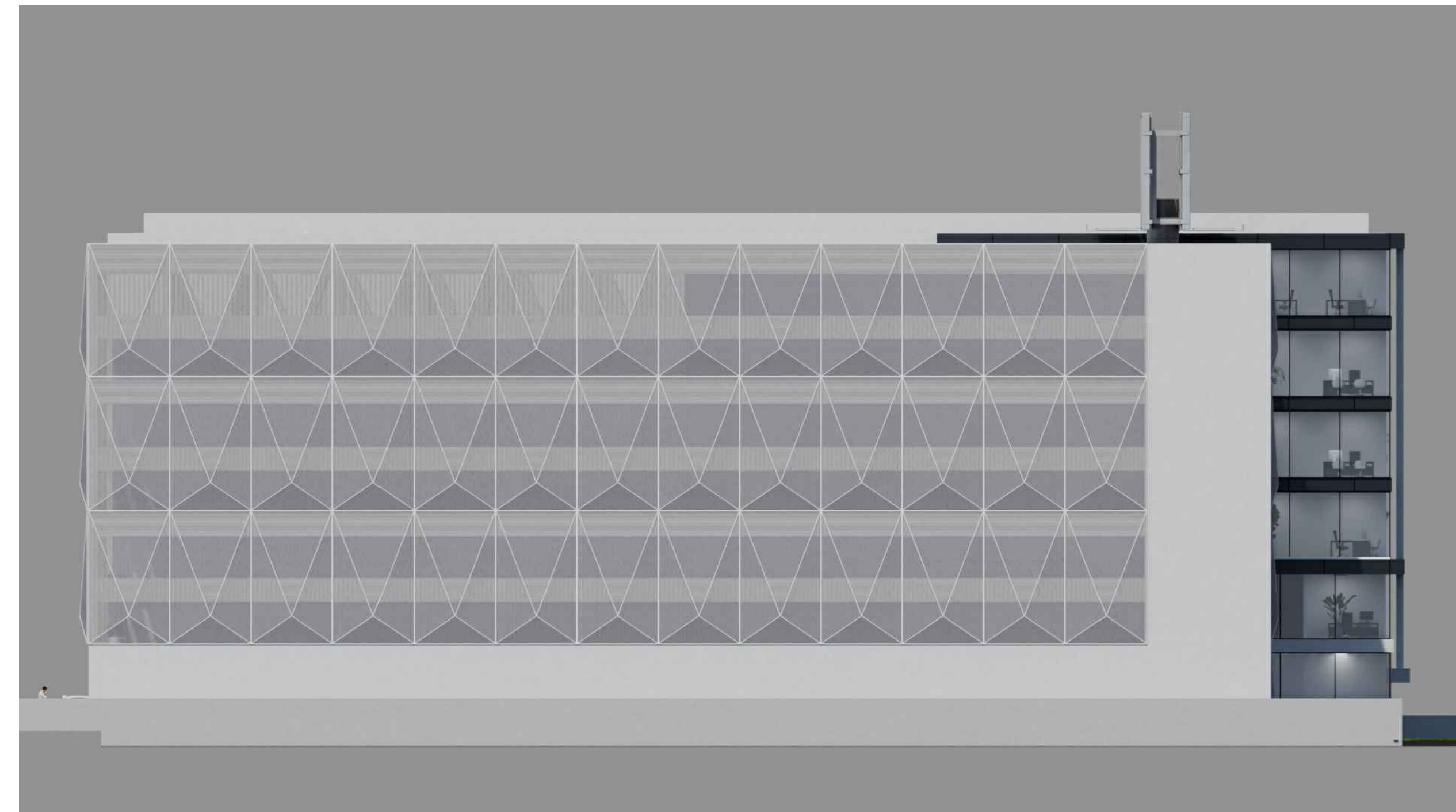
NORTH ELEVATION

SCALE: 1/16" = 1'-0"
REV. 1



SOUTH ELEVATION

SCALE: 1/16" = 1'-0"
REV. 1



WEST ELEVATION

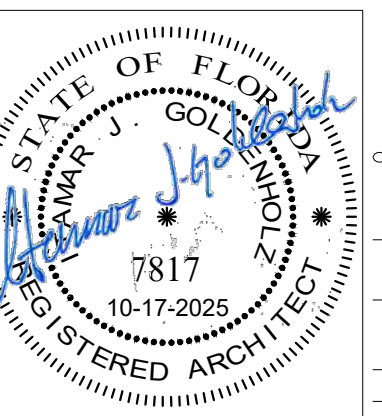
SCALE: 1/16" = 1'-0"
REV. 1

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POLK OFFICE BUILDING
2910 POLK STREET
HOLLYWOOD, FLORIDA 33020

BUILDING COLOR ELEVATIONS

4-30-2025 REV. 1



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FL. LIC. AR0007817

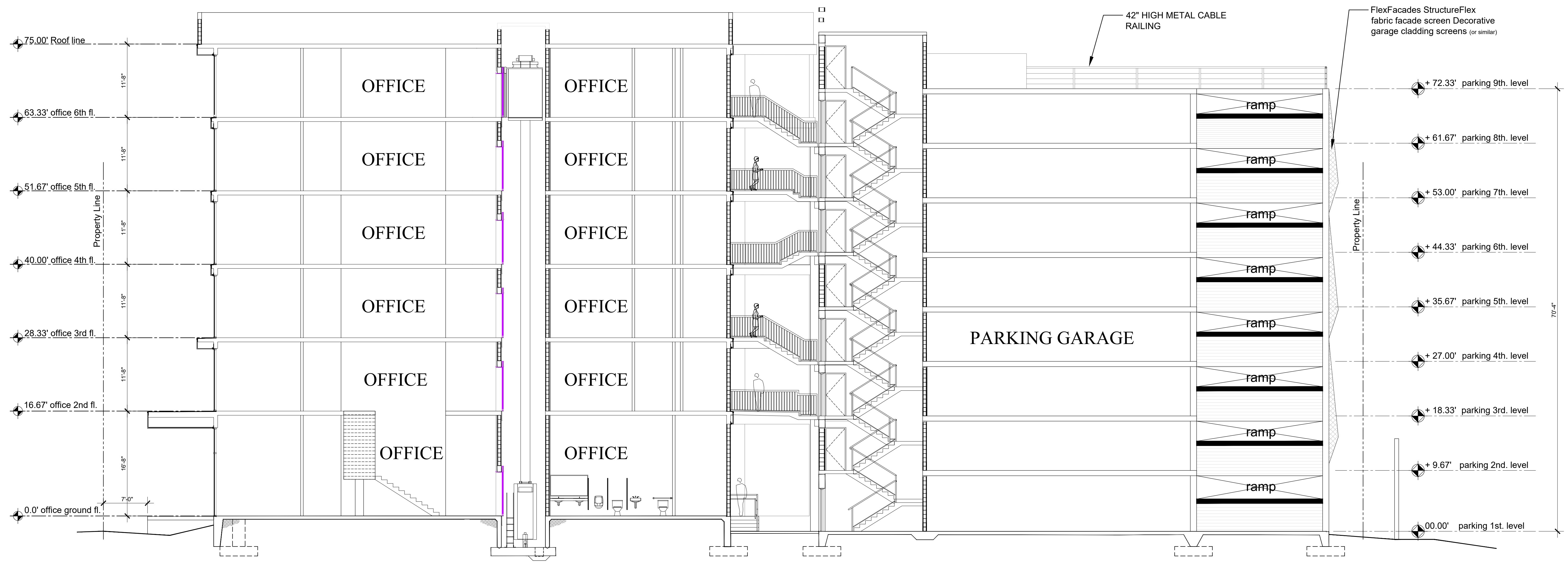


A-11

p.n. 22036

TAC NO. 25-DP-13

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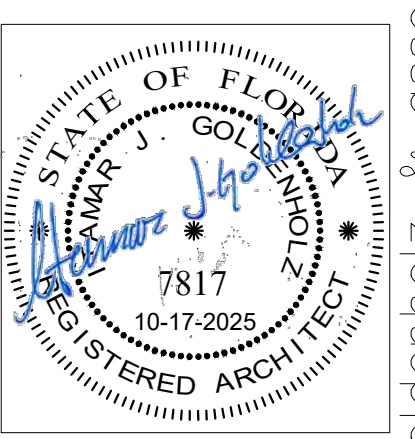


BUILDING CROSS SECTION
SCALE: 1/8" = 1'-0"

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2910 POLK STREET
HOLLYWOOD, FLORIDA 33020

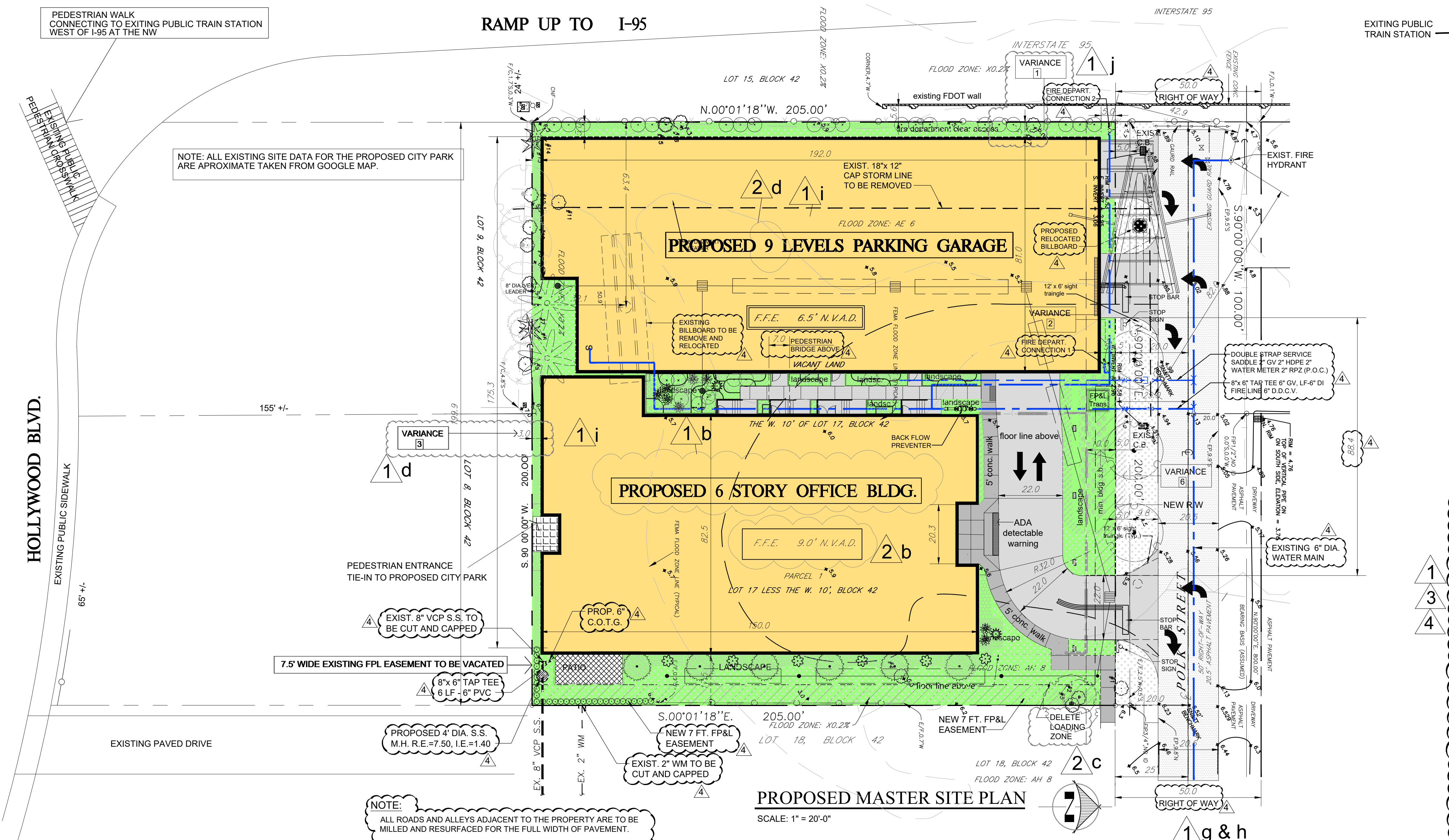
3-7-2025	
3-12-2025	
3-18-2025	
3-20-2025	CITY PARK
3-25-2025	CITY PARK
4-9-2025	CITY PARK
4-18-2025	CITY PARK
4-30-2025	REV. ⚠
6- -2025	REV. ⚠
2-10-2026	REV. ⚠



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LOCATION PLAN

N.T.S. NOTE: PEDESTRIAN WALK CONNECTION TO PUBLIC TRANSPORTATION.

LEGEND :

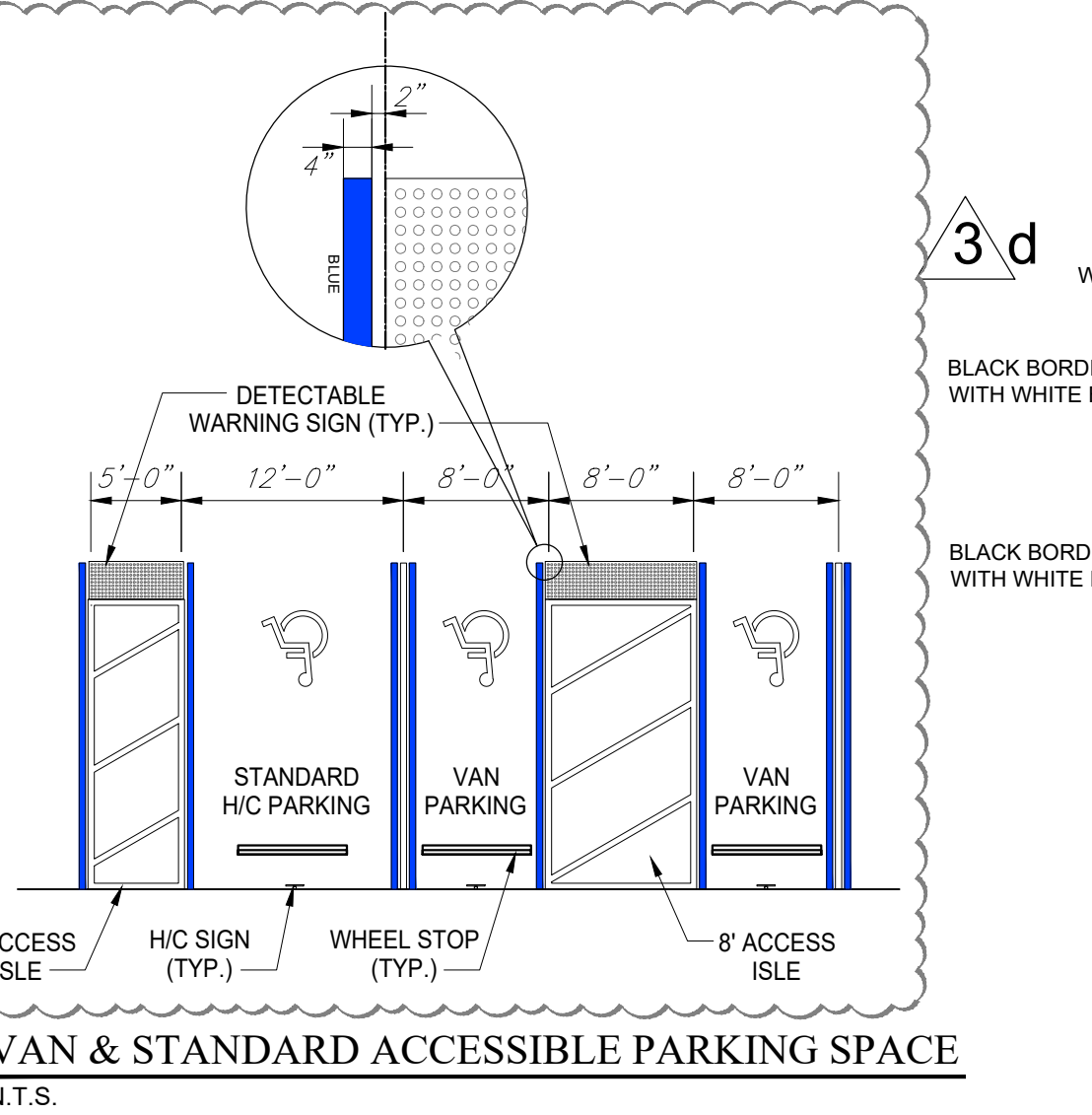
- EXISTING ASPHALT PAVEMENT
- PROPOSED 22" CONCRETE DRIVE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CAFETERIA CONCRETE PATIO
- PROPOSED CONCRETE COLUMN

SITE DATA : ZONING CHANGE FROM TC-1 TO RC-1

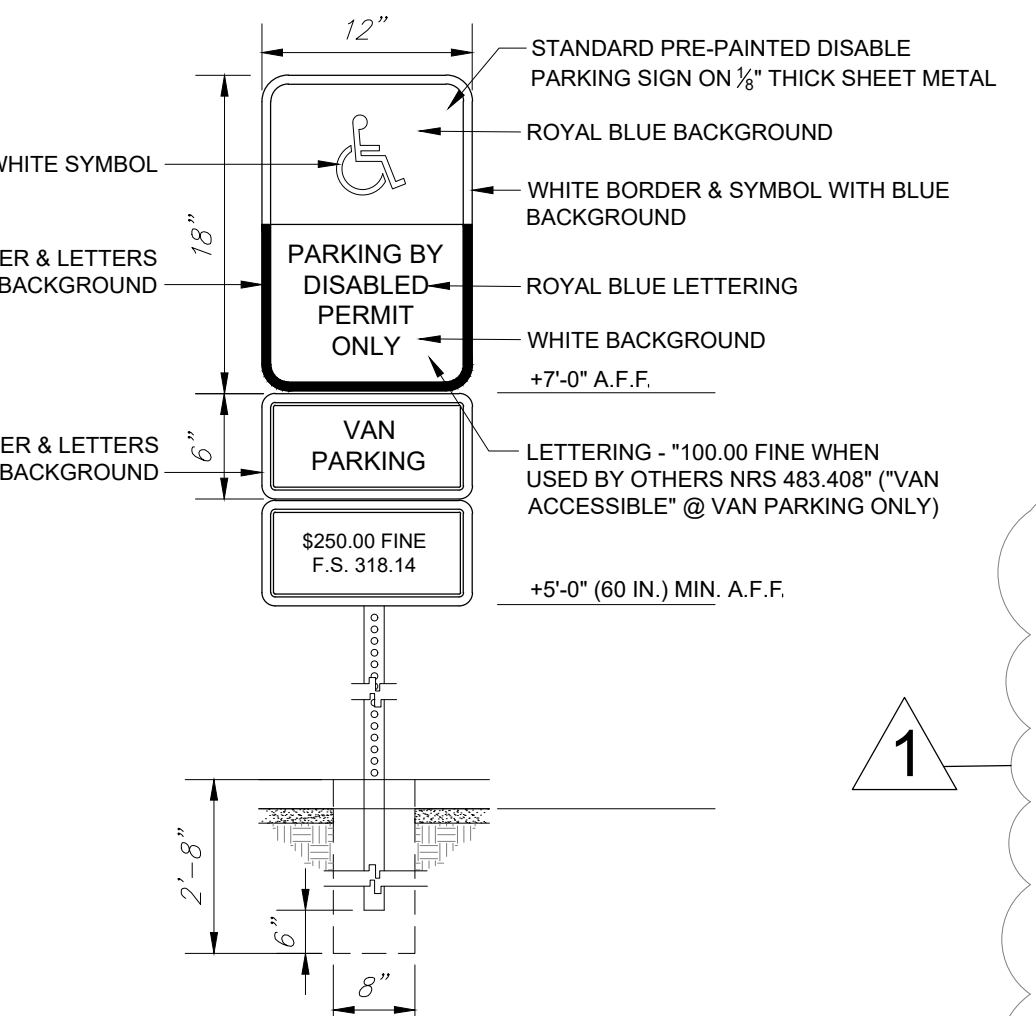
EXISTING ZONING	TC-1 (TRANSITIONAL CORRIDOR)
PROPOSED ZONING	RC-1 (RETAIL CORE)
FLOOD ZONE	AH & AE
SITE GROSS AREA	67,500 S.F. = 1.55 ACRES
NET SITE AREA	40,000 S.F. = 0.92 ACRES
LOT DIMENSIONS	WIDTH 200.00' DEPTH 200.00'
CURRENT LAND USE	VACANT
PROPOSED LAND USE	OFFICE
MAXIMUM LOT COVERAGE:	N/A
RESIDENTIAL DENSITY:	N/A
MAXIMUM FLOOR AREA RATIO:	2.75
MINIMUM OPEN SPACE REQUIRED:	40,000 X 2.75 = 110,000 S.F.
OPEN SPACE PROVIDED:	7,983 S.F. +/- (19.96%)
TOTAL PERVIOUS AREA PROVIDED:	7,983 S.F. +/- (19.96%)
TOTAL IMPERVIOUS AREA PROVIDED:	32,017 S.F. +/- (80.04%)
15,169 SF GARAGE + 12,650 SF OFFICE + 260 SF PATIO + 2,238 SF DRIVEWAY & + 1,700 SF WALKWAYS	
ALLOWED PER HOLLYWOOD ZONING:	PROVIDED:
MAX. BLDG. FOOTPRINT: 15,169 + 12,650 = 27,819 S.F.	OFFICE BLDG. 12,650 S.F. +/-
	PARKING GARAGE 15,169 S.F. +/-
	TOTAL 27,819 S.F. +/-
PROPOSED BUILDING CONSTRUCTION TYPE	OFFICE BUILDING TYPE I B (2221) Table 601 F.B.C. 8th EDITION
	(PARKING BUILDING TYPE I B (2221) Table 601 F.B.C. 8th EDITION)
MAXIMUM BUILDING HEIGHT	ALLOWED: 75 FT. PROVIDED: 75 FT.
MAXIMUM HEIGHT - STORIES	ALLOWED: 6 PROVIDED: 6
BUILDING SETBACKS:	REQUIRED: PROVIDED:
MIN. PRIMARY FRONTAGE (NORTH):	10.00 FT. 10.00 FT.
MIN. SECONDARY FRONTAGE SETBACK (EAST):	5.00 FT. 17.50 FT.
MIN. SIDE GROUND SETBACK (WEST):	5.00 FT. 5.00 FT.
MIN. REAR GROUND SETBACK (SOUTH):	00.00 FT. 3.00 FT.
MAX. OFFICE AREA ALLOWED	SITE AREA x FAR (200 FT. x 200 FT.) x 2.75 = 110,000 S.F.
PROVIDED FLOOR AREA OF OFFICE BLDG.	RESTROOMS 92,000 S.F. +/- GROSS
	POWER EQUIPMENT & METER ROOMS 2,500 S.F. +/-
	1,500 S.F. +/-
PARKING PER ARTICLE 4.6 OF HOLLYWOOD LAND DEVELOPMENT REGULATIONS:	Minimum: Maximum:
OFFICE 2.5 SPACES PER 1,000 S.F. MIN.	(2.5 x 92,000 / 1,000) 230
OFFICE 5 SPACES PER 1,000 S.F. MAX.	(5 x 92,000 / 1,000) 460
PARKING PROVIDED	STANDARD CHARGING STATION HANDICAP (including van parking)
1ST FLOOR	17 3 8
2ND FLOOR	38 0 0
3RD FLOOR	38 0 0
4TH FLOOR	38 0 0
5TH FLOOR	38 0 0
6TH FLOOR	38 0 0
7TH FLOOR	38 0 0
8TH FLOOR	38 0 0
9th LEVEL	40 0 0
	323 + 3 + 8 = 334 TOTAL
	FOR 301-400 SPACES PROVIDED - 8 HC SPACES REQUIRED
	LIGHTING: 0.5 MAX LUMENS AT ALL PROPERTY LINES

APPLIED FOR REZONING EXISTING TC-1 TO RC-1 ZONING

NOTE:
ALL ROADS AND ALLEYS ADJACENT TO THE PROPERTY ARE TO BE MILLED AND RESURFACED FOR THE FULL WIDTH OF PAVEMENT.
ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.
CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE 5 INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW (OUTSIDE OF THE PROPERTY LINES) WILL BE A MINIMUM OF 6 INCHES THICK, 3,000PSI WITH NO METAL OR FIBER MESH AND WILL BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY WILL MAINTAIN CONTROL LOCATED EVERY 250 SQ. FT. AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAW CUT FOR A CLEAN STRAIGHT EDGE.



VAN & STANDARD ACCESSIBLE PARKING SPACE
N.T.S.
NOTE: PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACES SLOPES NOT EXCEEDING 1.50% (2%) IN ALL DIRECTIONS



ACCESSIBLE PARKING SIGN
N.T.S.

VARIANCE REQUEST

- VARIANCE 1 REQUESTING: 5 FT. SIDE SETBACK WHERE 10 FT. IS REQUIRED ALONG THE WEST PROPERTY LINE (PROVIDING FIRE DEPARTMENT ACCESS)
- VARIANCE 2 REQUESTING: 5 FT. FRONT SETBACK WHERE 10 FT. IS REQUIRED ALONG THE NORTH PROPERTY LINE FROM THE NEW RIGHT OF WAY LINE AT THE GARAGE FRONTAGE LINE
- VARIANCE 3 REQUESTING: 3 FT. REAR SETBACK WHERE 10 FT. IS REQUIRED ALONG THE SOUTH PROPERTY LINE AT THE PROPOSED FUTURE CITY PARK
- VARIANCE 4 REQUESTING: 6 LEVELS OF OFFICE BUILDING, 9 LEVELS OF GARAGE STRUCTURE WITH MAX. BUILDING HT. - 70 FEET ABOVE FIN. FIRST FL.
- VARIANCE 5 REQUESTING: INCREASED F.A.R. FROM MAX. ALLOWABLE 1.6 PROVIDING FOR A MAX. OFFICE BUILDING AREA OF 31,583 S.F. TO ALLOW 226 F.A.R. FOR A PROPOSED BUILDING AREA OF 92,000 S.F.
- VARIANCE 6 REQUESTING: DELETE REQUIRED SIDEWALK ALONG THE NORTH PROPERTY LINE

NOTE:
ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL
ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.
ALL SIGNS WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.
EXTERNAL LIGHTING
PARKING 3.5 foot candles
WALKING SURFACES 3.0 foot candles
RECREATIONAL AREAS 2-3 foot candles
BUILDING ENTRYWAYS 5.0 foot candles
PROPERTY LINE 0.5 foot candles
MAIL DELIVERY TO CENTRAL MAIL ROOM AT THE MAIN LOBBY
CONSTRUCTION TO COMPLY WITH FLORIDA FIRE PREVENTION CODE (8TH EDITION) NFPA 1 (2021 ED.) NFPA 101 (2021 ED.)

NOTE:
LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.

SCOPE OF WORK
PROPOSED SIX STORY OFFICE BUILDING AND NINE LEVEL PARKING GARAGE ON AN EXISTING VACANT LOT

LEGAL DESCRIPTION
PARCEL 1
LOT SEVENTEEN (17) LESS THE WEST TEN (10) FEET THEREOF, BLOCK FOURTY-TWO (42), HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE AMENDED PLAT THEREOF, RECORDED IN PLAT BOOK 1, AT PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. SUBJECT TO AN EASEMENT CROSS 7.5 FEET OF SAID LOT.
PARCEL 2
ALL OF LOT SIXTEEN (16) AND THE WEST TEN (10) FEET OF LOT SEVENTEEN (17), IN BLOCK FOURTY-TWO (42), HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE AMENDED PLAT THEREOF, RECORDED IN PLAT BOOK 1, AT PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
NOTE: ALL EXISTING SITE PLAN DATA TAKEN FROM A SURVEY BY ATLANTIC COAST SURVEYING INC., 13798 NW 4TH STREET, SUITE 306, SUNRISE, FL 33325. JOB # 42161

FLOOD ZONE INFORMATION
COMMUNITY NUMBER 125113 0568H
PANEL NUMBER 0145 H
AH-8 A-E9
BASE FLOOD ELEVATION N/A
EFFECTIVE DATE 08/18/14
NOTE: ALL EXISTING SITE DATA TAKEN FROM SURVEY PREPARED BY OTHERS
TAC NO. 25-DP-13

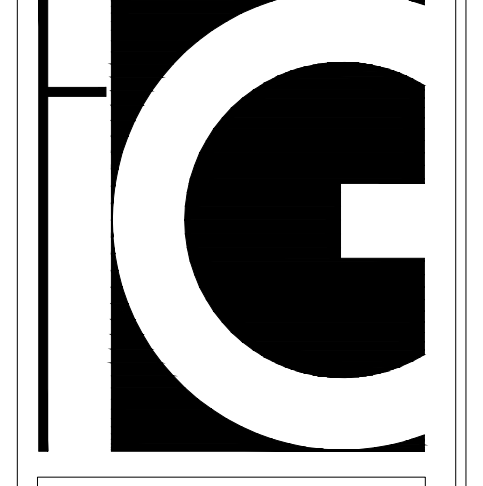
GOLDENHOLZ ASSOC. ARCHITECT PLANNERS P.A. HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE IDEAS, DESIGNS AND PLANS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN PERMISSION FROM THIS OFFICE. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AT JOB SITE AND NOTIFY THIS OFFICE OF ANY DISCREPANCY IN THE DRAWINGS OR SCHEDULE BEFORE BEGINNING WORK. OUR APPROVAL IN WRITING BEFORE PROCEEDING WITH WORK.

POLK OFFICE BUILDING
2910 POLK STREET
HOLLYWOOD, FLORIDA 33020
SHEET TITLE: **SITE PLAN**

- 4-04-2024
- 8-05-2024
- 4-30-2025 REV. 1
- 6-23-2025 REV. 2
- 9- 8-2025 REV. 3
- 1-26-2026 REV. 4



ITAMAR GOLDENHOLZ
FL. LIC. AR0007817



p.n. 22036

GENERAL NOTES:

- THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTOR IS DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECS), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
- LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE UTILITY OWNER.
- CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY ECS AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
- THE CONTRACTOR SHALL NOTIFY ECS IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM GENERAL NOTES DRAWING NO. G-00
 APPROVED: XXX

GENERAL NOTES (CONTINUED):

- CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
- CONTRACTOR SHALL HAIL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
- CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
- CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
- THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
- SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
- ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECS FIELD ENGINEER.
- THE CONTRACTOR SHALL NOT ENCRoACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED BY ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
- MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
- CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FOOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
- NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECS FIELD ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
- IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECS.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
 DRAWN: EAM GENERAL NOTES (CONTINUED) DRAWING NO. G-00.1
 APPROVED: XXX


GENERAL NOTES (CONTINUED):

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
- WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
- UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
- ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
- ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTling OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
- EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
- TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
- CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
- CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
- CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
 DRAWN: EAM GENERAL NOTES (CONTINUED) DRAWING NO. G-00.2
 APPROVED: XXX

GENERAL NOTES (CONTINUED):

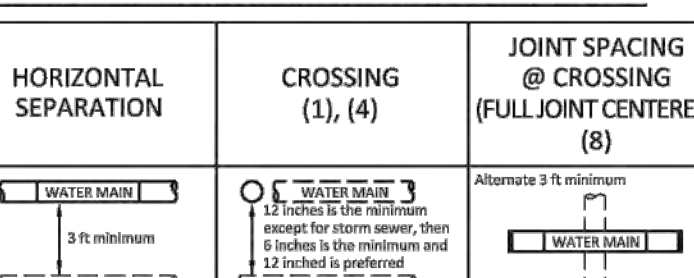
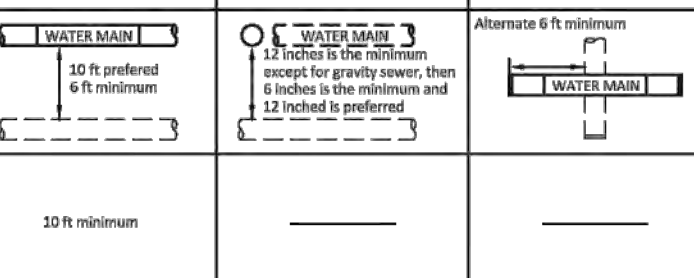
- THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).



- WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
- ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
- A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECS SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILT SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
 - PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
 - THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
 - PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
 - ALL CAD FILE MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"

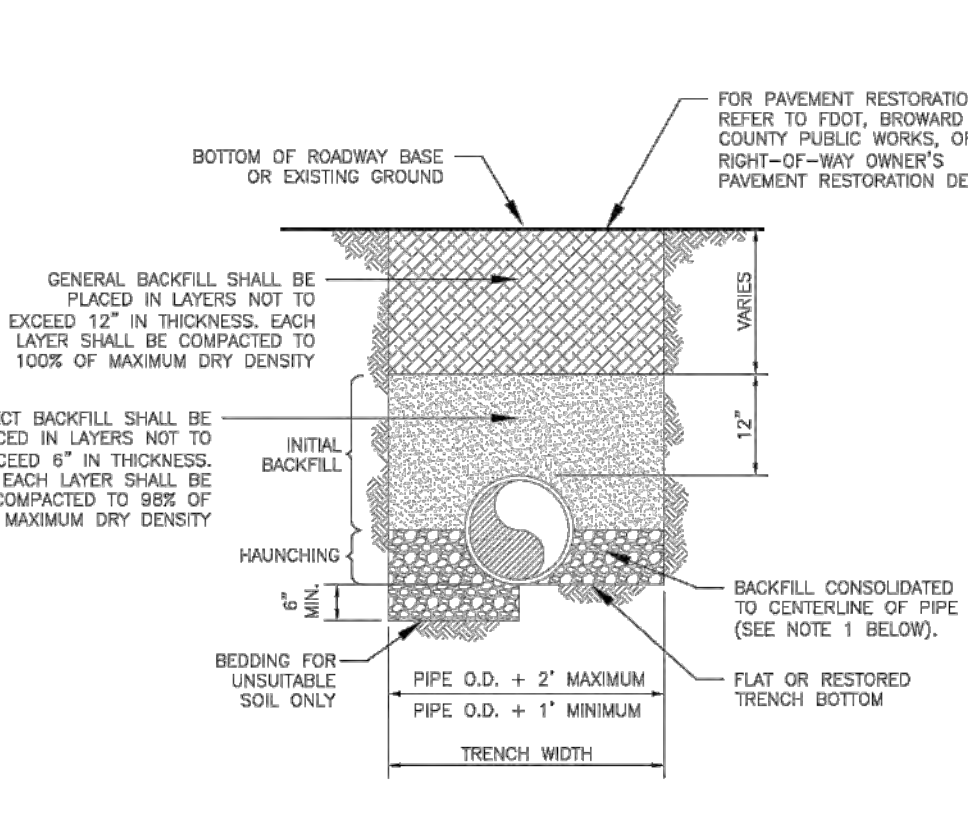
ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
 DRAWN: EAM GENERAL NOTES (CONTINUED) DRAWING NO. G-00.3
 APPROVED: XXX

WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)	3 ft minimum	 <small>24" MIN. TO 6" DIA. WATER MAIN 12" MIN. TO 18" DIA. WATER MAIN 6" MIN. TO 4" DIA. WATER MAIN 3" MIN. TO 2" DIA. WATER MAIN</small>	Alternate 8 ft minimum
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER	10 ft preferred 6 ft minimum	 <small>24" MIN. TO 6" DIA. WATER MAIN 12" MIN. TO 18" DIA. WATER MAIN 6" MIN. TO 4" DIA. WATER MAIN 3" MIN. TO 2" DIA. WATER MAIN</small>	Alternate 6 ft minimum
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum		

- WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
- RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-501, F.A.C.
- 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
- 3 FT. VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
- A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATION, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
 DRAWN: EAM SEPARATION REQUIREMENTS OF F.D.E.P. DRAWING NO. G-01.1
 APPROVED: XXX



GENERAL BACKFILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN THICKNESS. EACH LAYER SHALL BE COMPACTED TO 100% OF MAXIMUM DRY DENSITY.

SELECT BACKFILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 4" IN THICKNESS. EACH LAYER SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY.

BACKFILL CONSOLIDATED TO CENTERLINE OF PIPE (SEE NOTE 1 BELOW).

FLAT OR RESTORED TRENCH BOTTOM

PIPE O.D. + 2" MAXIMUM

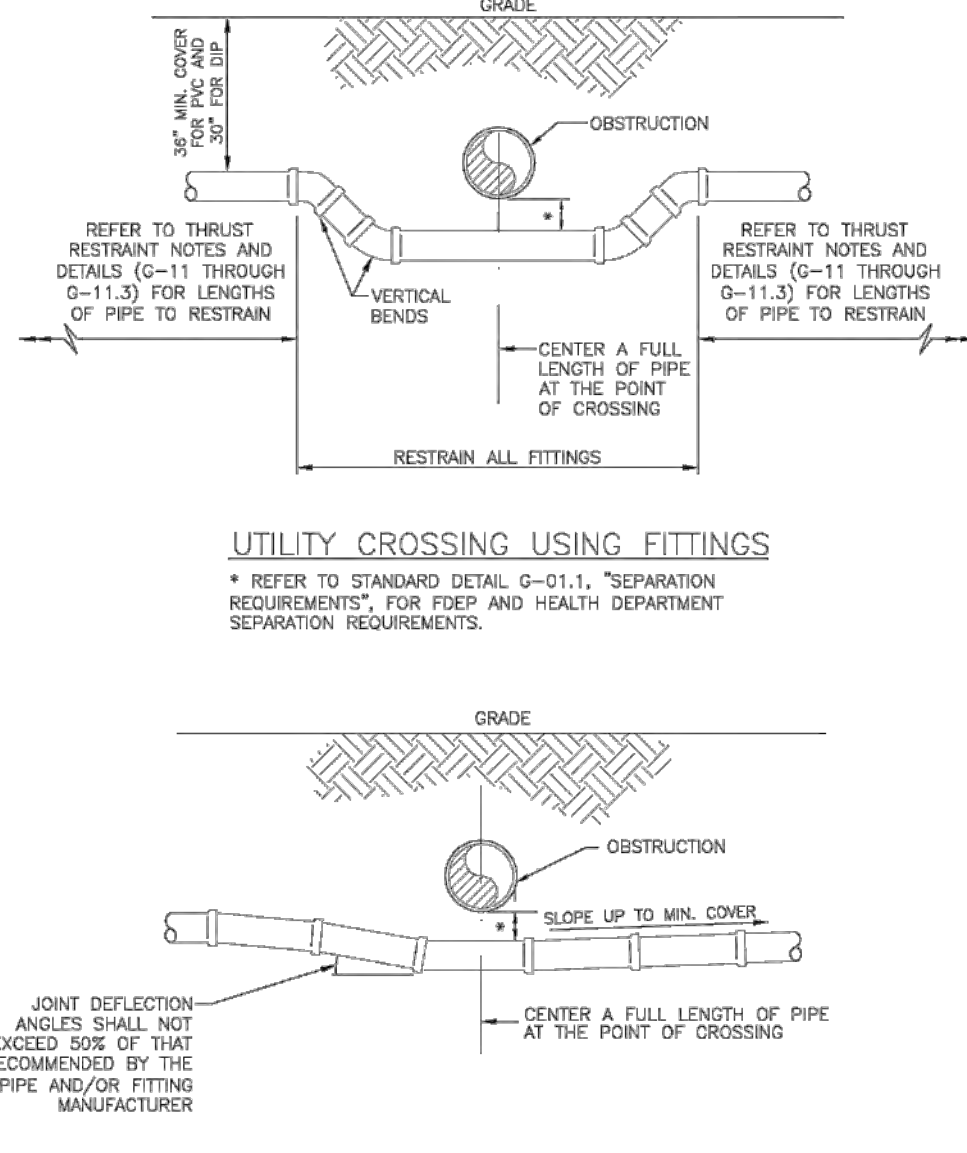
PIPE O.D. + 1" MINIMUM

TRENCH WIDTH

NOTES:

- WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRANKLED LAMEROCK), CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIAL.
- ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, EXCAVATION AND BACKFILL FOR UTILITIES.
- DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
- BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-8.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM PIPE LAYING CONDITION TYPICAL SECTION (D.I.P.) DRAWING NO. G-02
 APPROVED: XXX



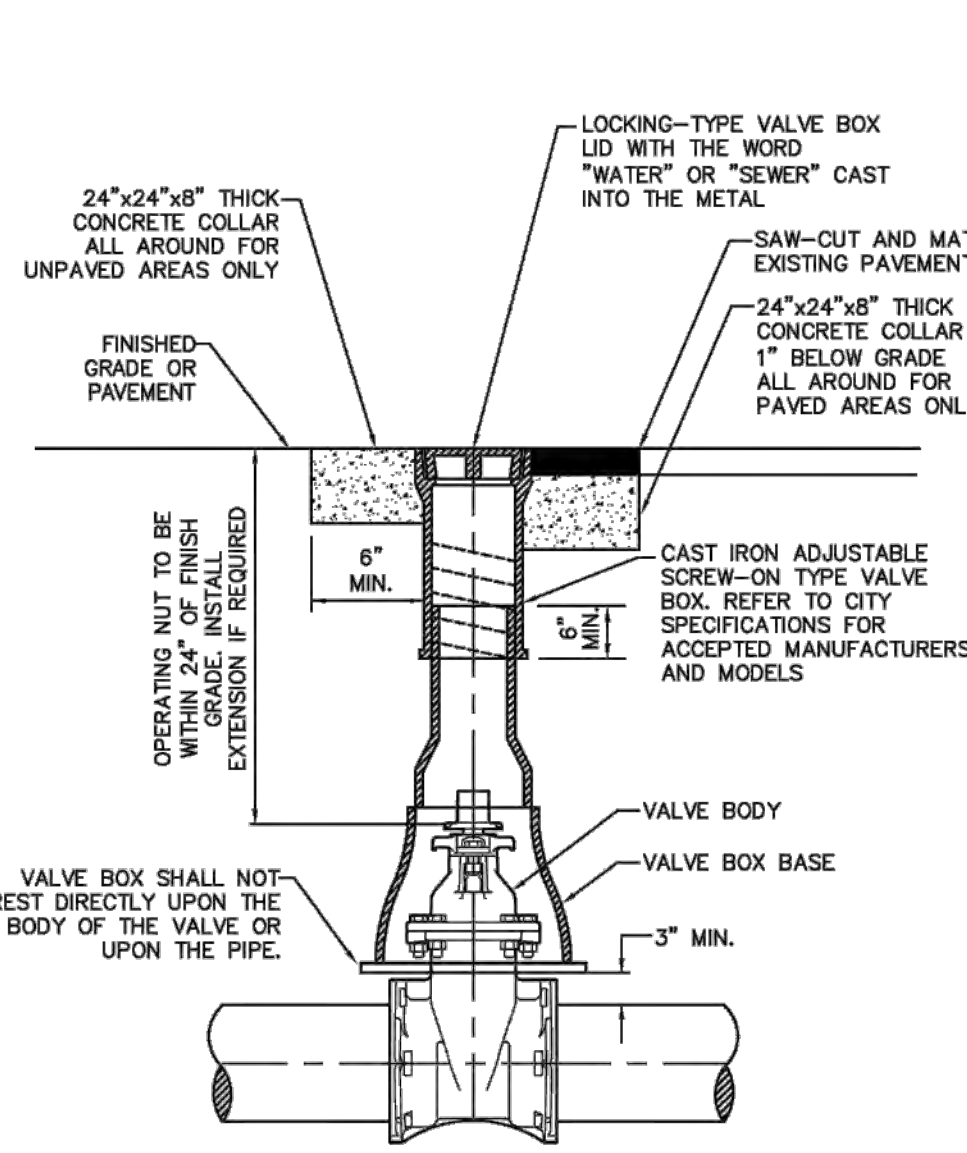
UTILITY CROSSING USING FITTINGS

* REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.

UTILITY CROSSING USING JOINT DEFLECTIONS

* REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM UTILITY CROSSING DETAIL DRAWING NO. G-04
 APPROVED: XXX



24"x24"x8" THICK CONCRETE COLLAR ALL AROUND FOR UNPAVED AREAS ONLY

FINISHED GRADE OR PAVEMENT

OPERATING NUT TO BE INSTALLED WITH EXTENSION IF REQUIRED

LOCKING-TYPE VALVE BOX LID WITH THE WORD "WATER" OR "SEWER" CAST INTO THE METAL

SAW-CUT AND MATCH EXISTING PAVEMENT

24"x24"x8" THICK CONCRETE COLLAR 1" BELOW GRADE ALL AROUND FOR PAVED AREAS ONLY

CAST IRON ADJUSTABLE SCREW-ON TYPE VALVE BOX. REFER TO CITY SPECIFICATIONS FOR ACCEPTED MANUFACTURERS AND MODELS

VALVE BODY

VALVE BOX BASE

3" MIN.

VALVE BOX SHALL NOT REST DIRECTLY UPON THE BODY OF THE VALVE OR UPON THE PIPE.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM TYPICAL VALVE BOX SETTING DRAWING NO. G-05
 APPROVED: XXX

REV	DATE	DESCRIPTION
1	06/16/25	TAC COMMENTS

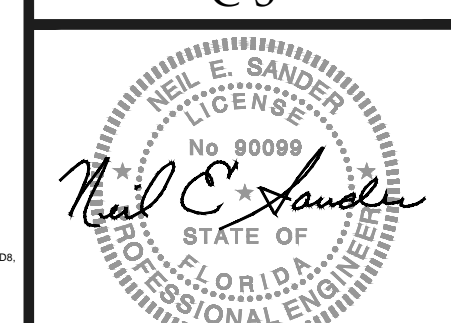
CLIENT: **GOLDENHOLZ AND ASSOCIATES**
 3122 NORTH PINES ISLAND
 SUNRISE, FL

PROJECT: **2910 POLK STREET HOLLYWOOD FLORIDA**
 TASK: **GENERAL NOTES AND CONSTRUCTION DETAILS**

GGB Engineering
 CIVIL AND FORENSIC ENGINEERS & LAND PLANNERS
 *CONSTRUCTION MANAGERS
 4101 RAVENSWOOD ROAD, SUITE 113 FORT LAUDERDALE, FLORIDA 33312
 FORT LAUDERDALE, FLORIDA 33312 PHONE: (954) 996-9889
 AN INDEPENDENCE ENGINEERING COMPANY

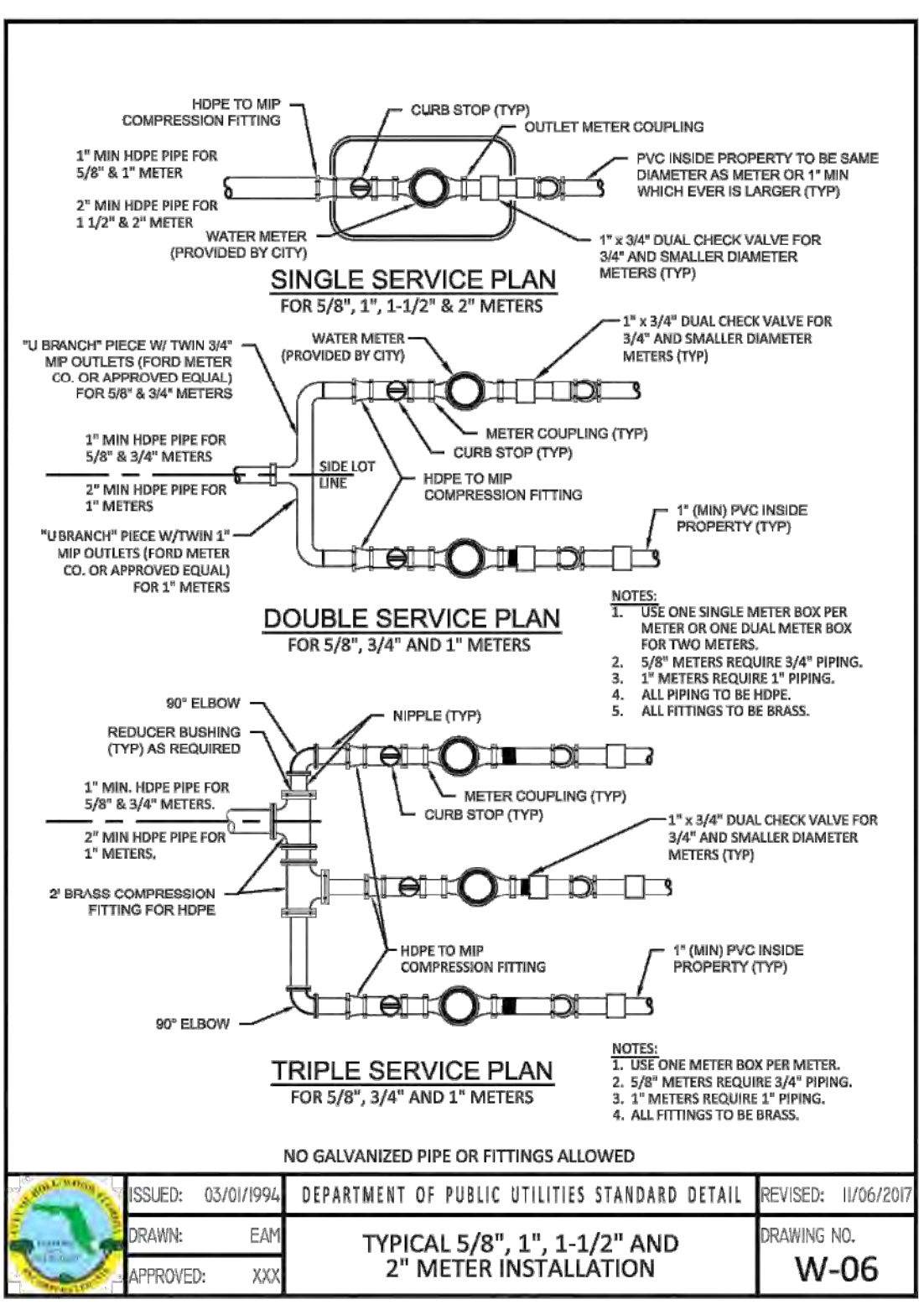
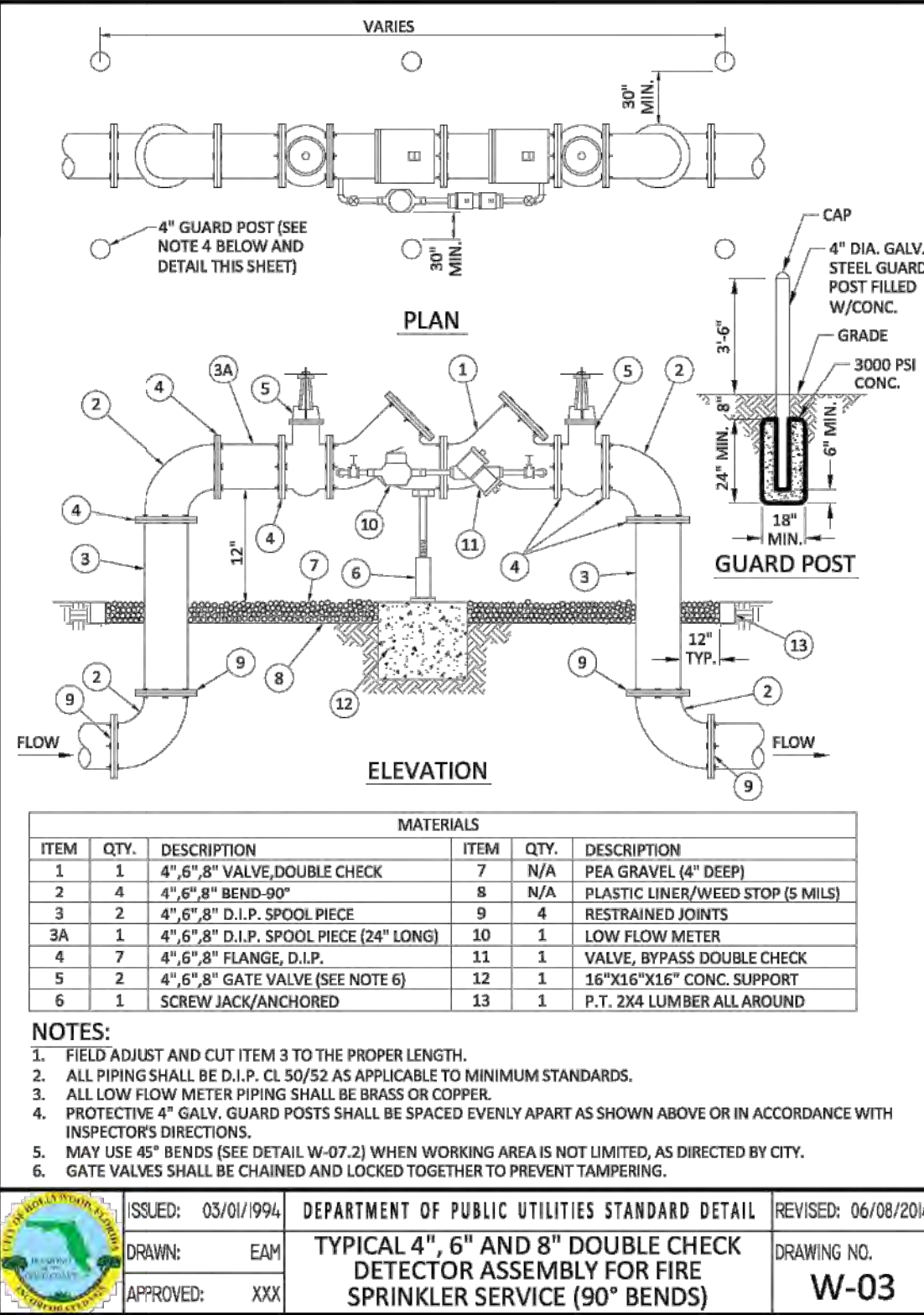
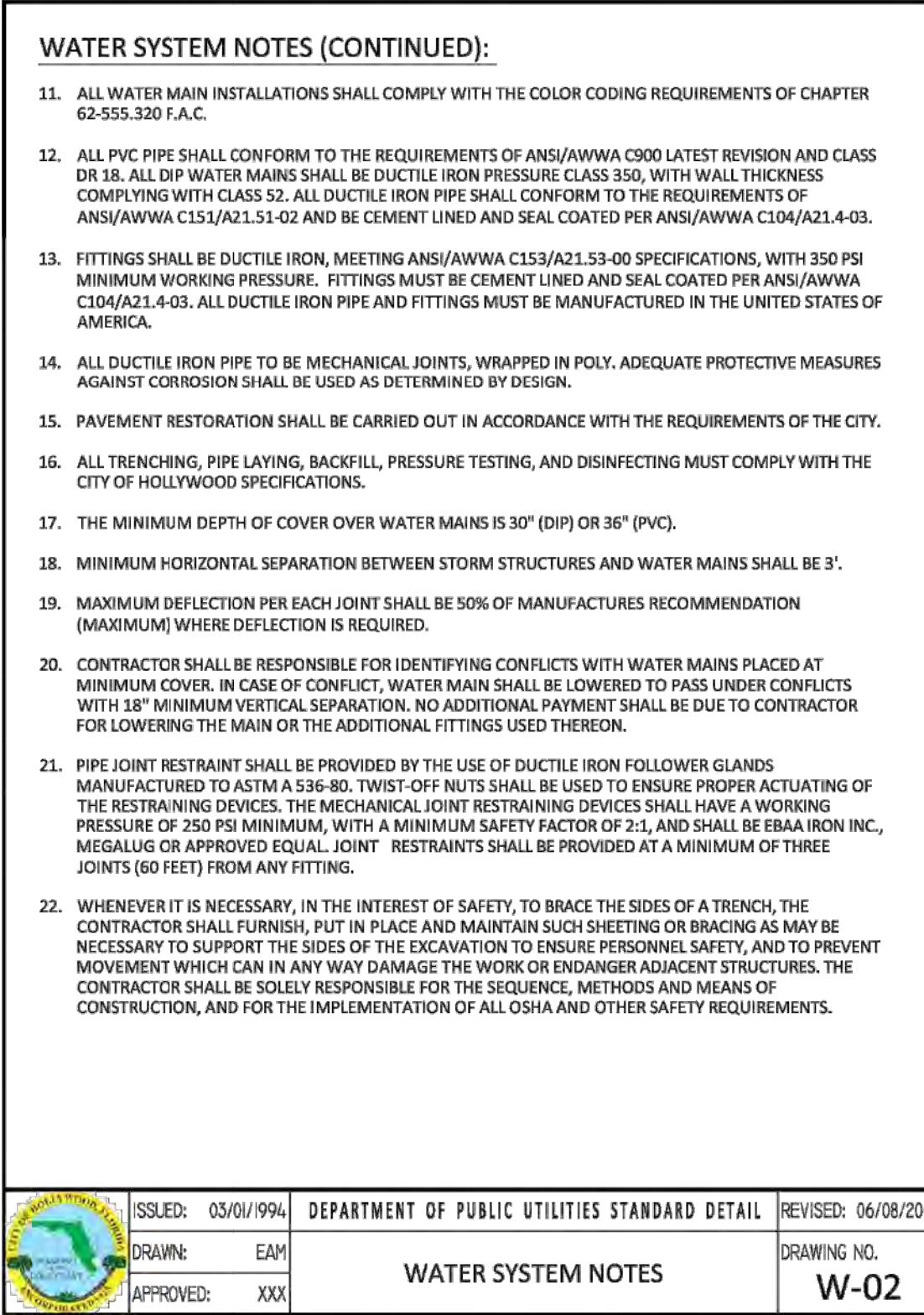
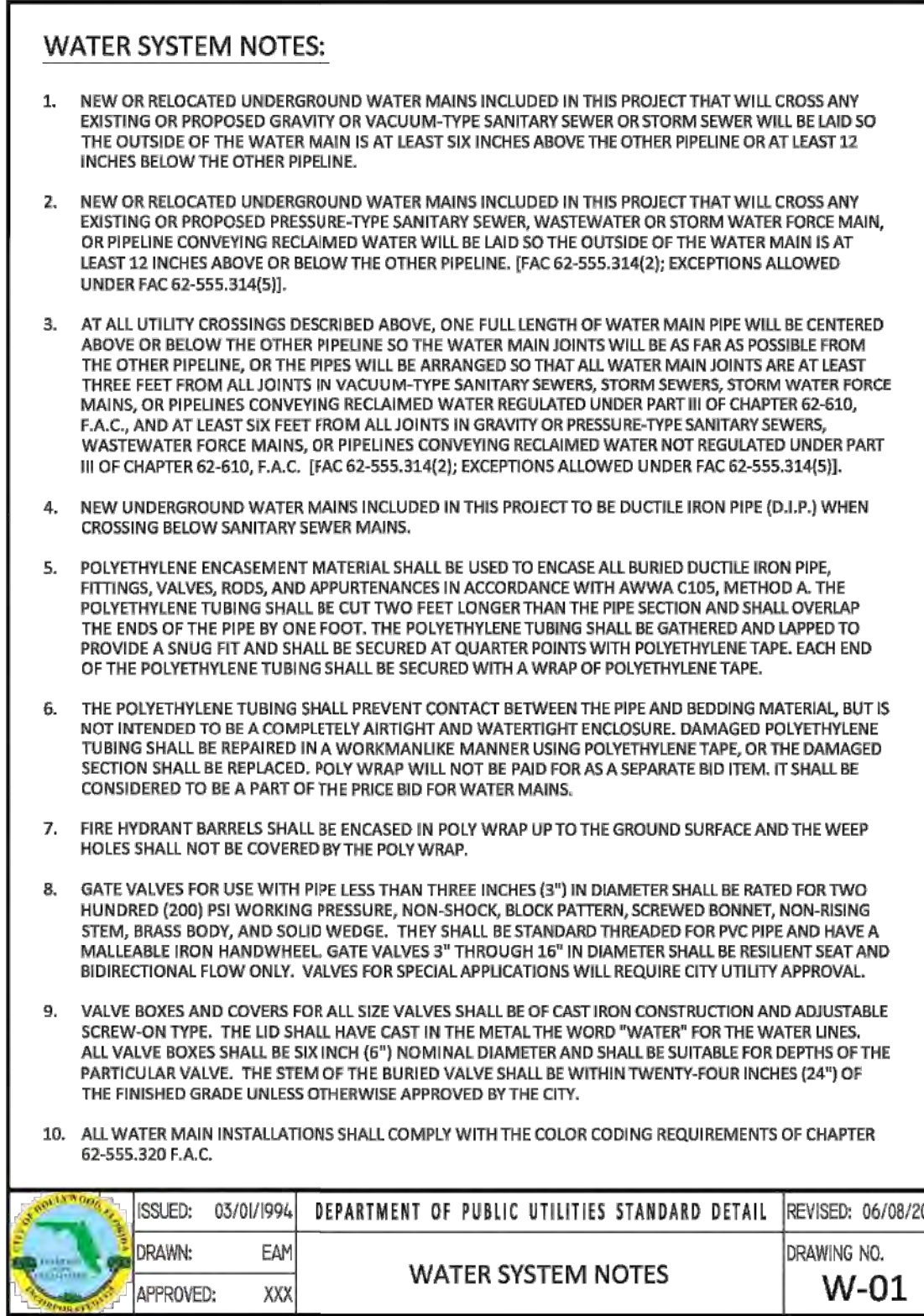
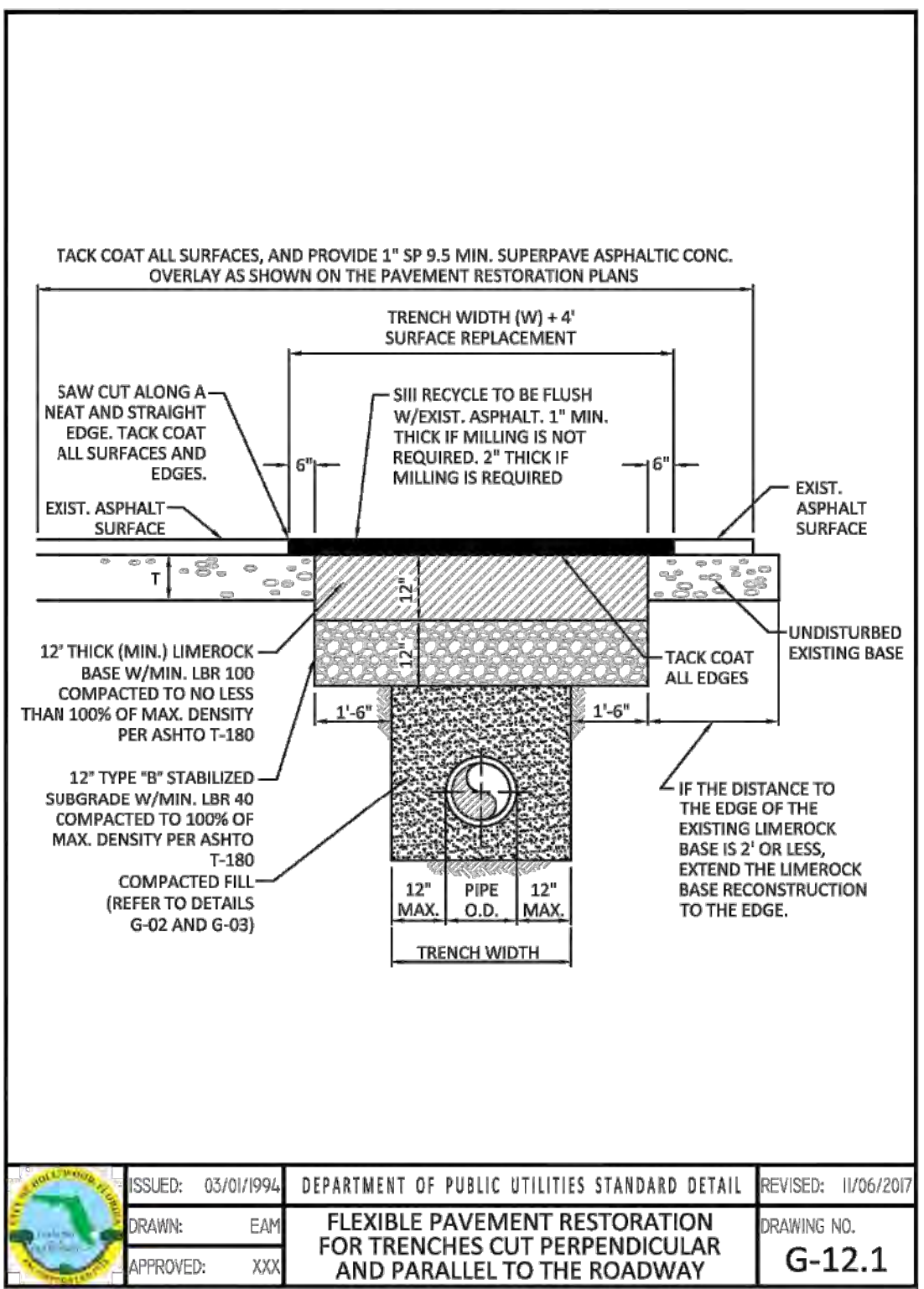
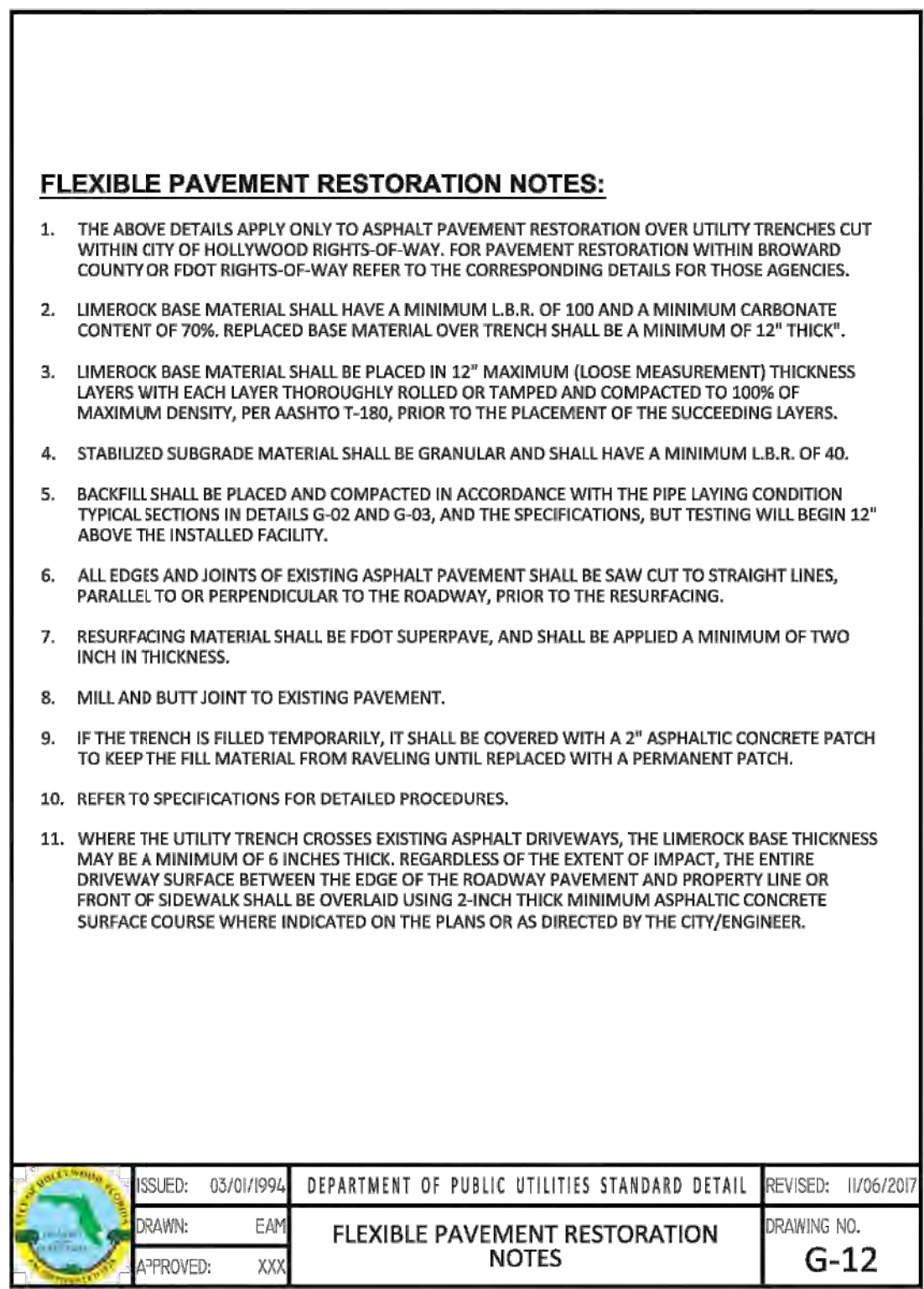
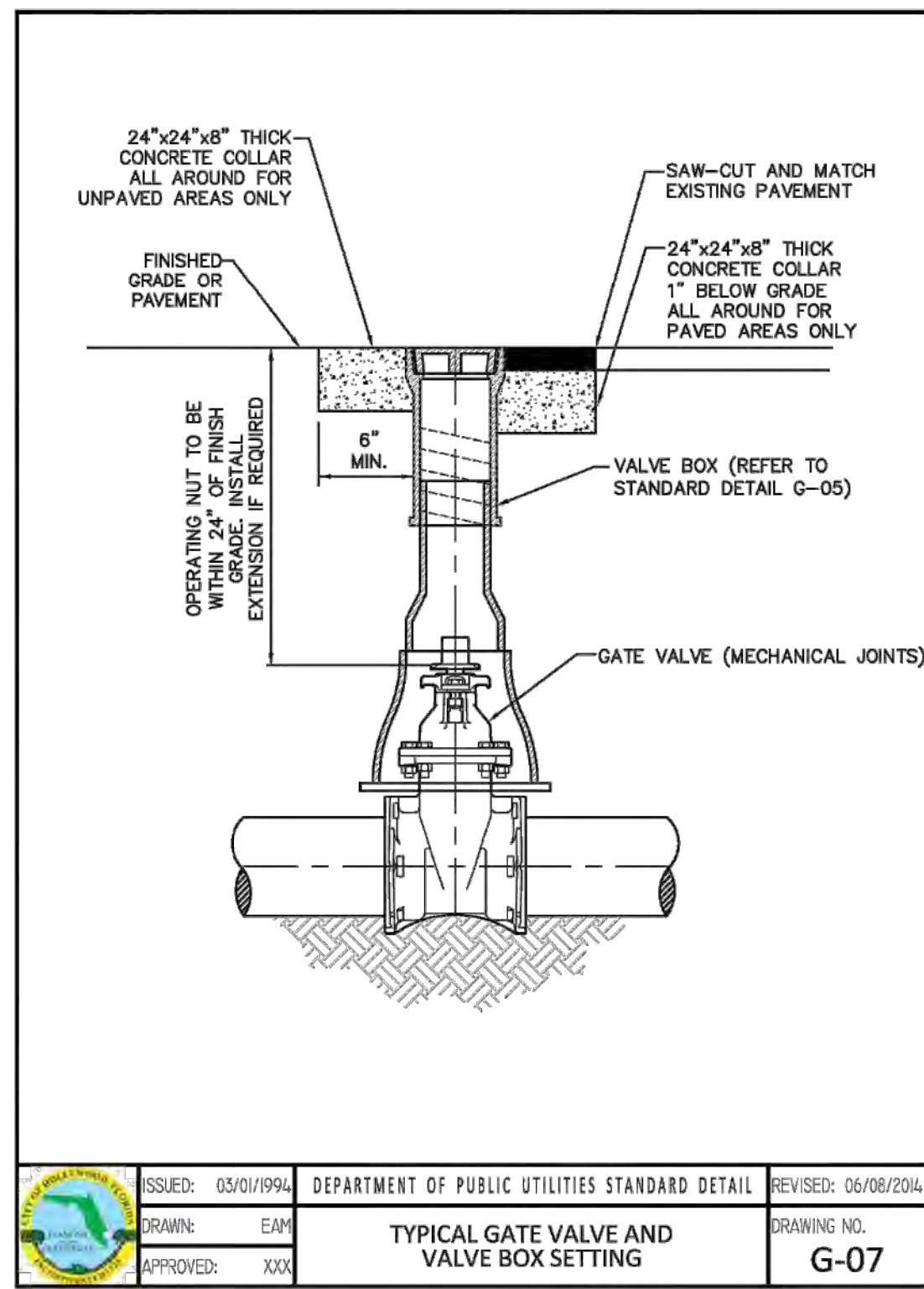
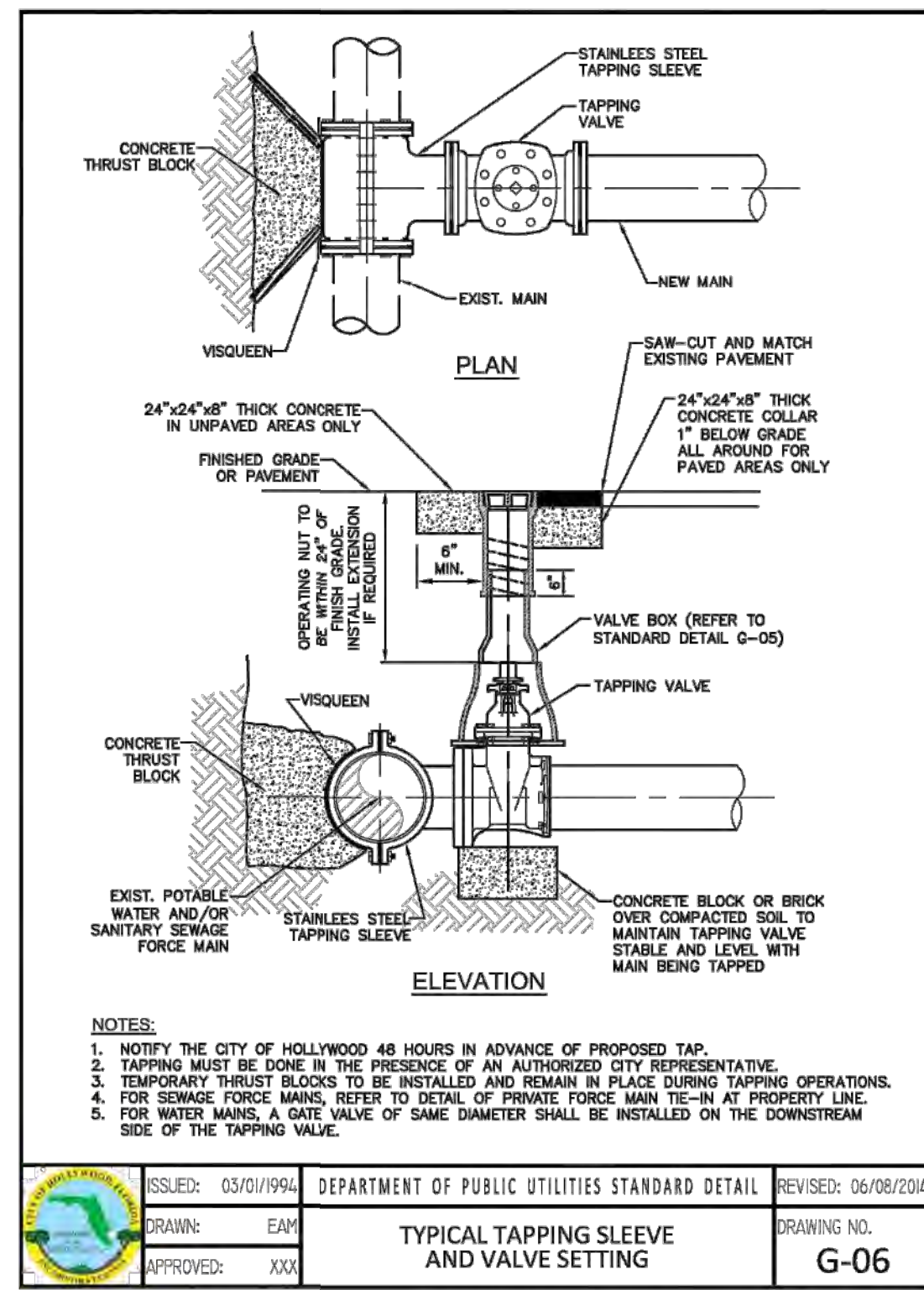
DATE: 02/06/2026 SCALE: N.T.S.
 DESIGNED BY: N.E.S. DRAWN BY: J.A.

PROJECT No. 24-0330
 SHEET C-3



Neil E Sandler

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CLIENT: GOLDENHOLZ AND ASSOCIATES
3122 NORTH PINES ISLAND SUNRISE, FL

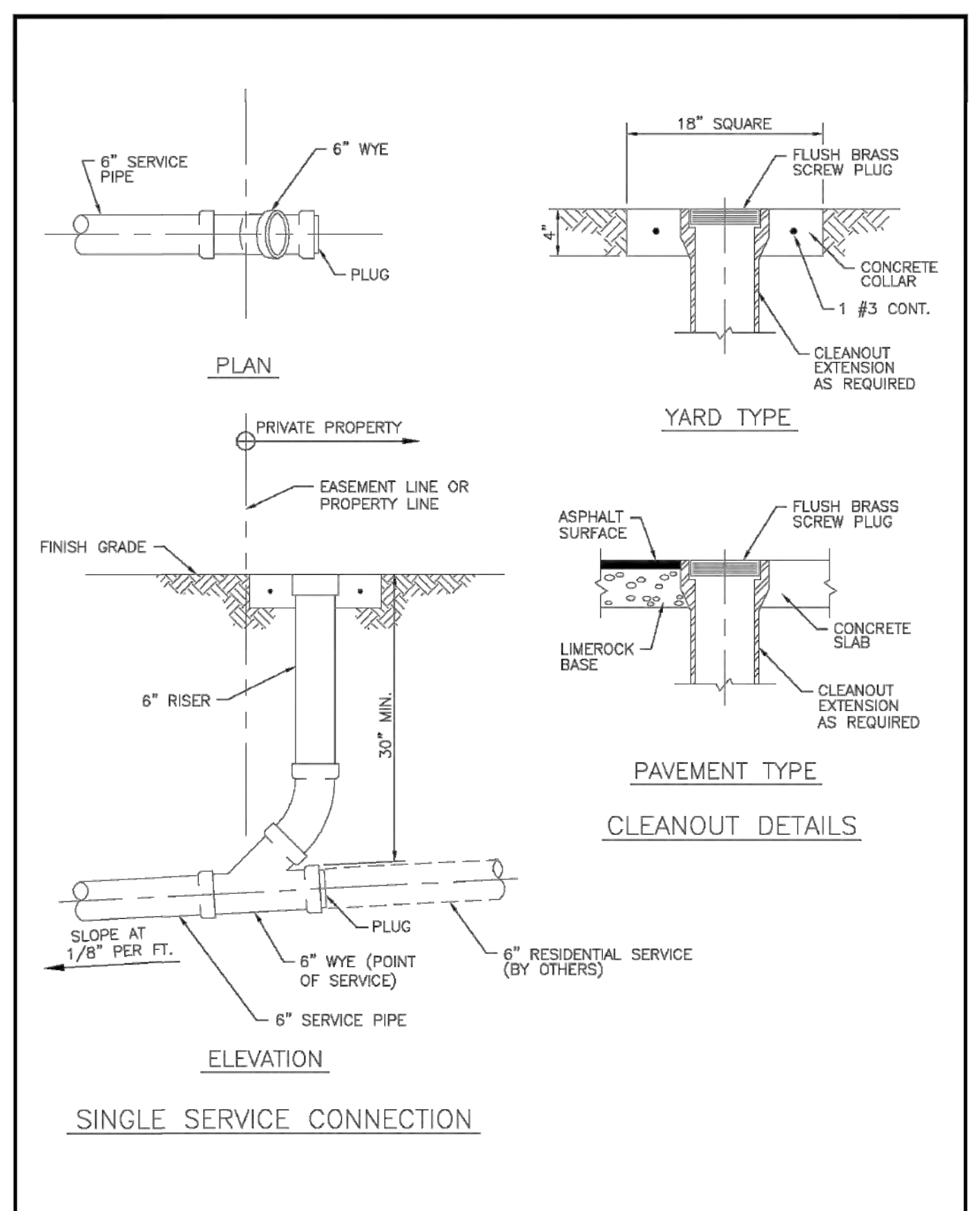
PROJECT: 2910 POLK STREET HOLLYWOOD FLORIDA
TASK: CONSTRUCTION DETAILS

DATE: 02/06/2026
SCALE: N.T.S.
DESIGNED BY: N.E.S.
DRAWN BY: J.A.

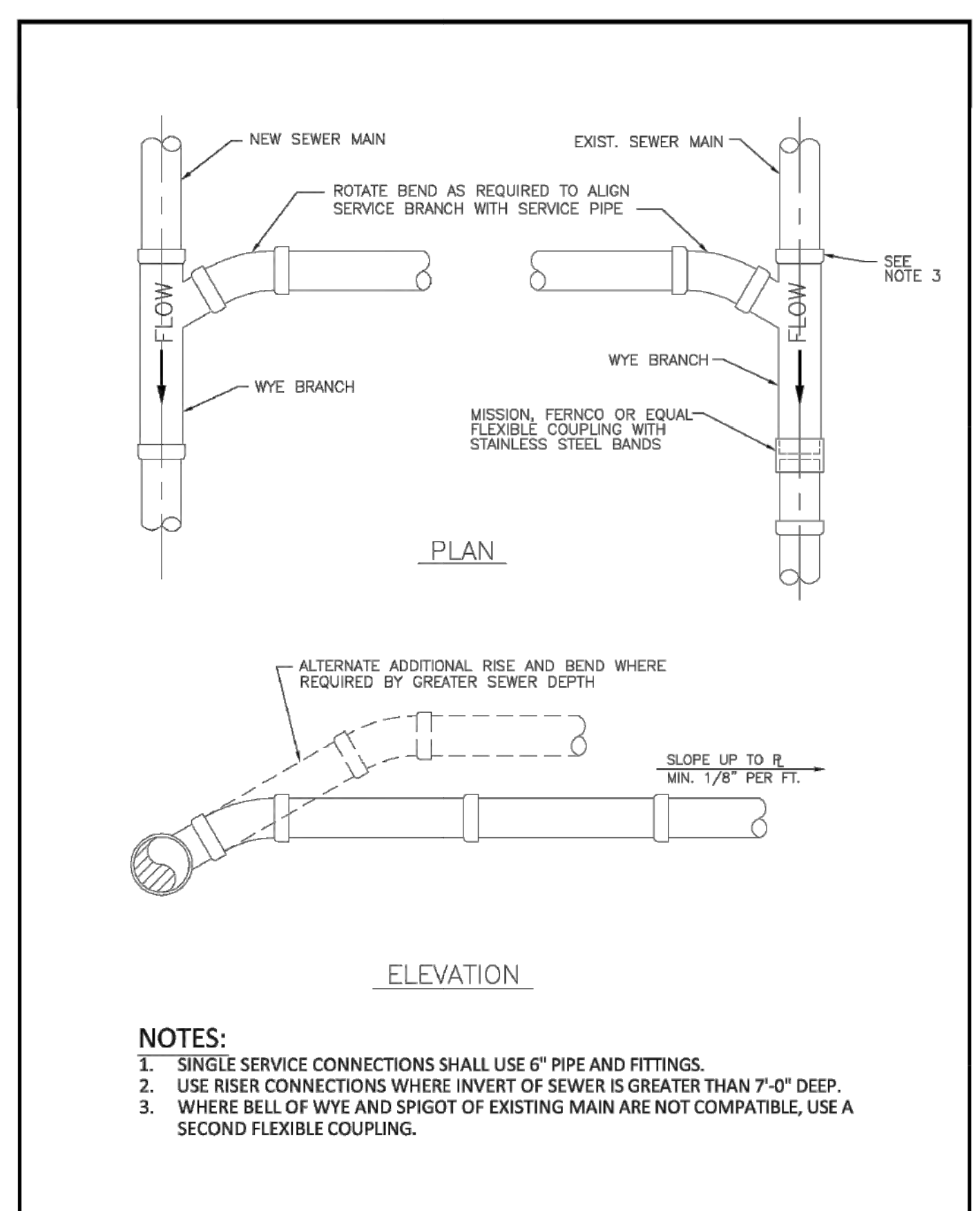
PROJECT No. 24-0330
SHEET C-4

Neil E. Sander
Professional Engineer
No. 00098
STATE OF FLORIDA

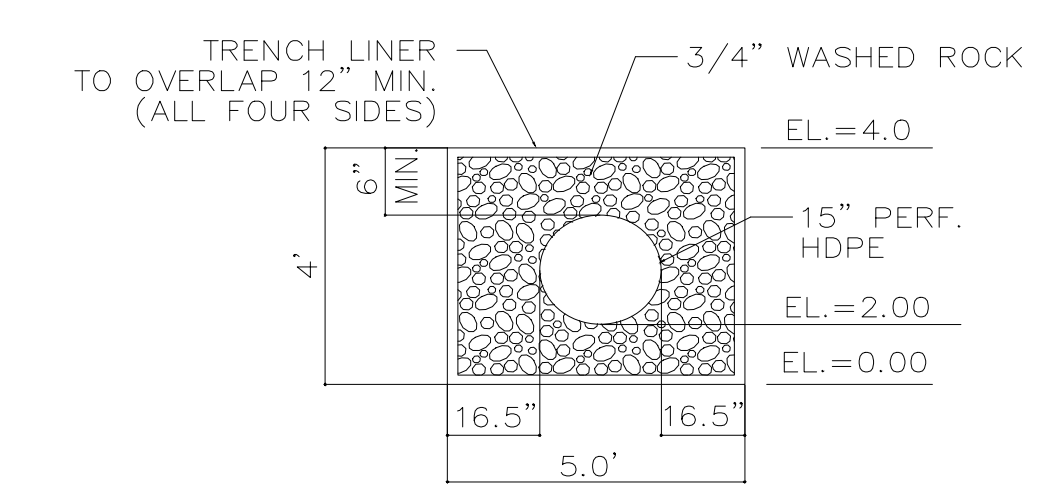
02/06/2026
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ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO. S-12
APPROVED: XXX		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WYE BRANCH CONNECTION	DRAWING NO. S-09
APPROVED: XXX		



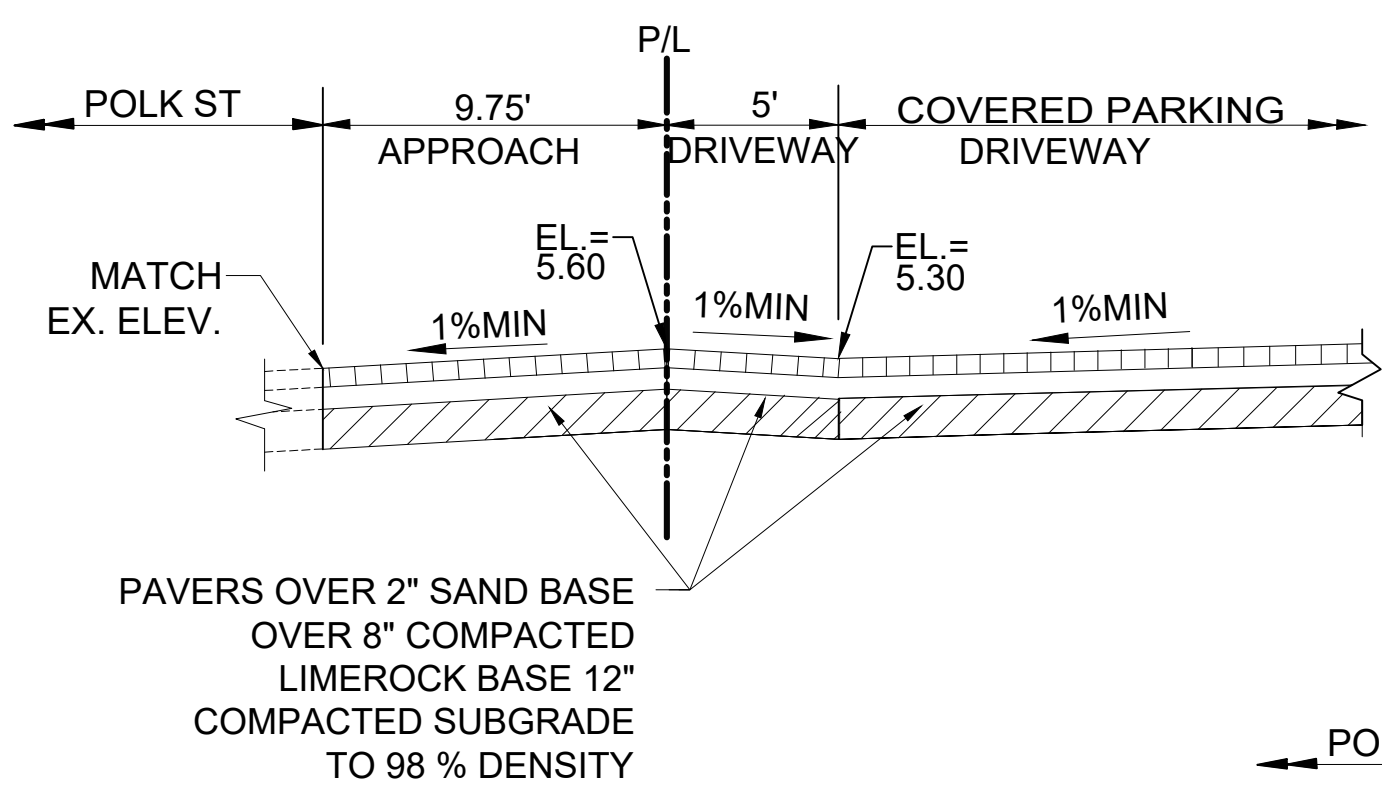
EXFILTRATION TRENCH DETAIL

GENERAL NOTES:

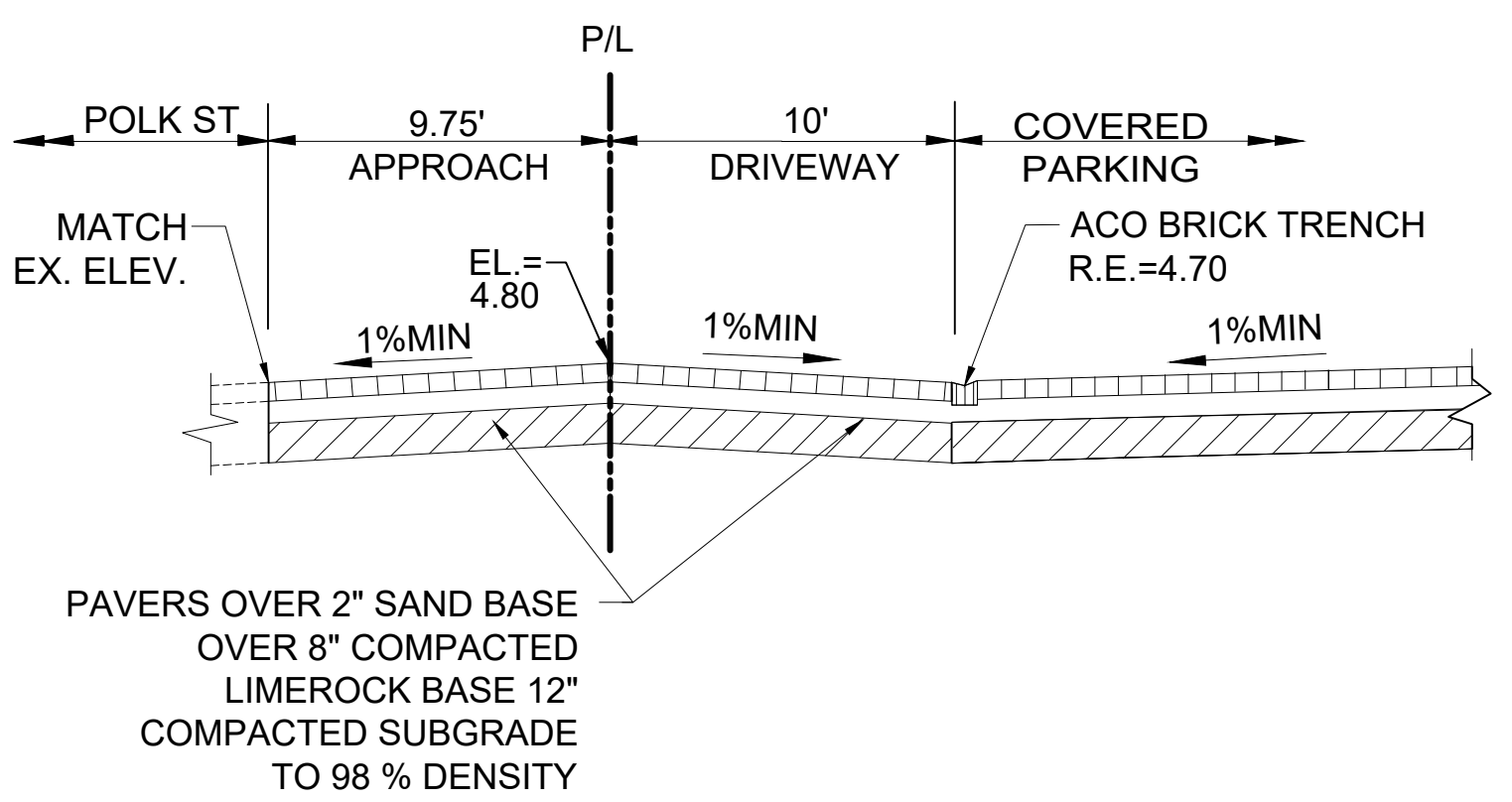
1. Cross Slopes and Grades:
 - A. Sidewalk, ramp, and landing slopes (i.e. 0.02, 0.05, and 1:22) shown in this index are maximums. With approval of the Engineer, provide the minimum feasible slope where the requirements cannot be met.
 - B. Landings must have cross-slopes less than or equal to 0.02 in any direction. Ramp slopes are not required to exceed 1:22 in any direction.
 - C. Maximum longitudinal slope along each side of the curb ramp. Ramp slopes are not required to exceed 1:22 in any direction.
2. Joints permitted at the location of Slope Breaks. Otherwise locate joints in accordance with Index S22-005. No joints are permitted within the ramp portion of the Curb Ramp.
3. Curb, Curb and Sill, and/or Sidewalk:
 - A. Refer to Index S22-003 for concrete thickness and sidewalk details.
 - B. Remove any existing curb, curb and gutter, or sidewalk to the nearest joint beyond the curb transition or to the extent that no remaining section is less than 5 feet long.
 - C. Width of Curb Ramps is 4'-0" minimum. Match sidewalk or Shared Use Path with all shows in the Plans.
4. Curb Ramp Alpha-Identification:
 - A. Sidewalk curb ramp alpha-identifications (e.g. CR-1) are provided for reference purposes in the Plans.
 - B. Alpha-identifications CR-1 and CR-2 are intentionally omitted.
5. Detectable Warnings:
 - A. Install detectable warnings in accordance with Specification S27.
 - B. Place detectable warnings across the full width of the ramp or landing, to a minimum depth of 2 feet measured perpendicular to the curb line and no greater than 3 feet from the back of the curb or edge of pavement.
 - C. If detectable warnings are shown in the Plans on slopes greater than 3%, slope the transitioning slopes with the concrete or the ramp; otherwise, the truncated domes are not required to be aligned.

CURB RAMP NOMENCLATURE

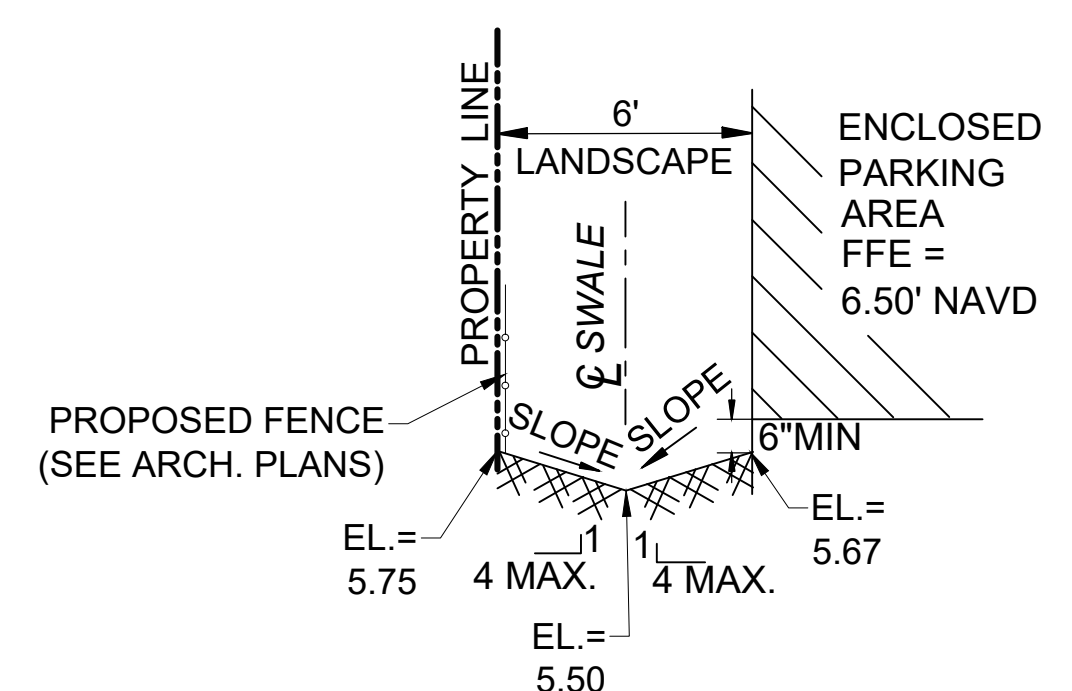
LAST REVISION: 11/01/21	DESCRIPTION:	FDDOT	FY 2025-26 STANDARD PLANS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMP	INDEX S22-002	SHEET 1 of 7
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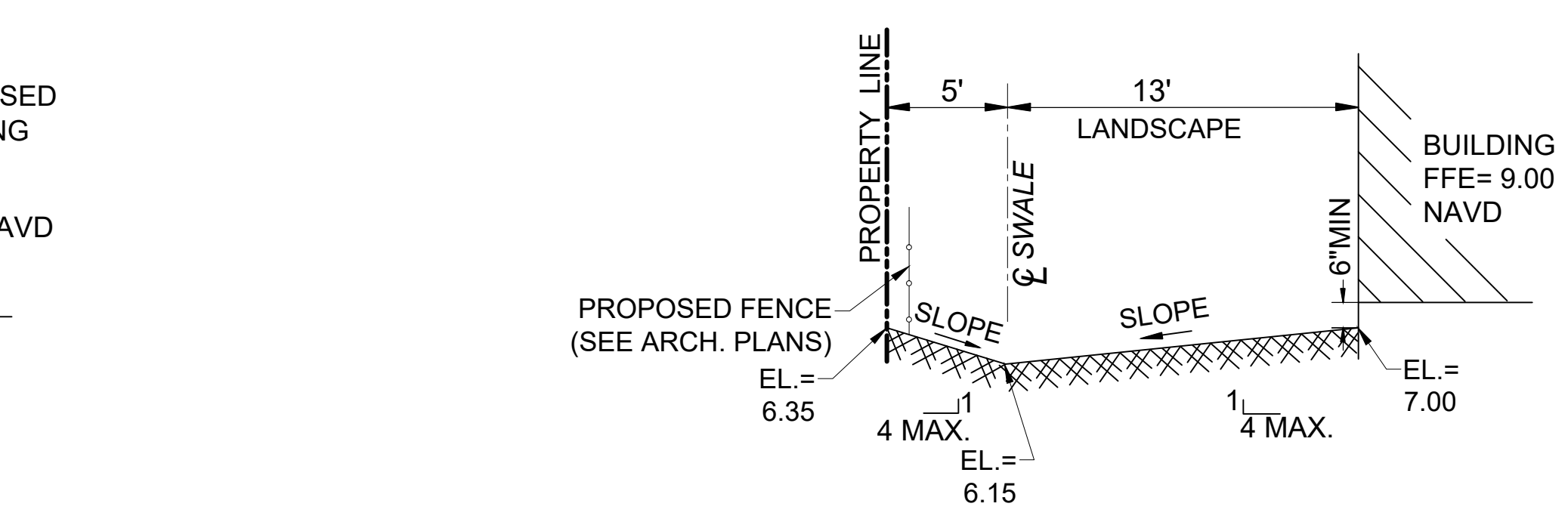
SECTION "A-A"



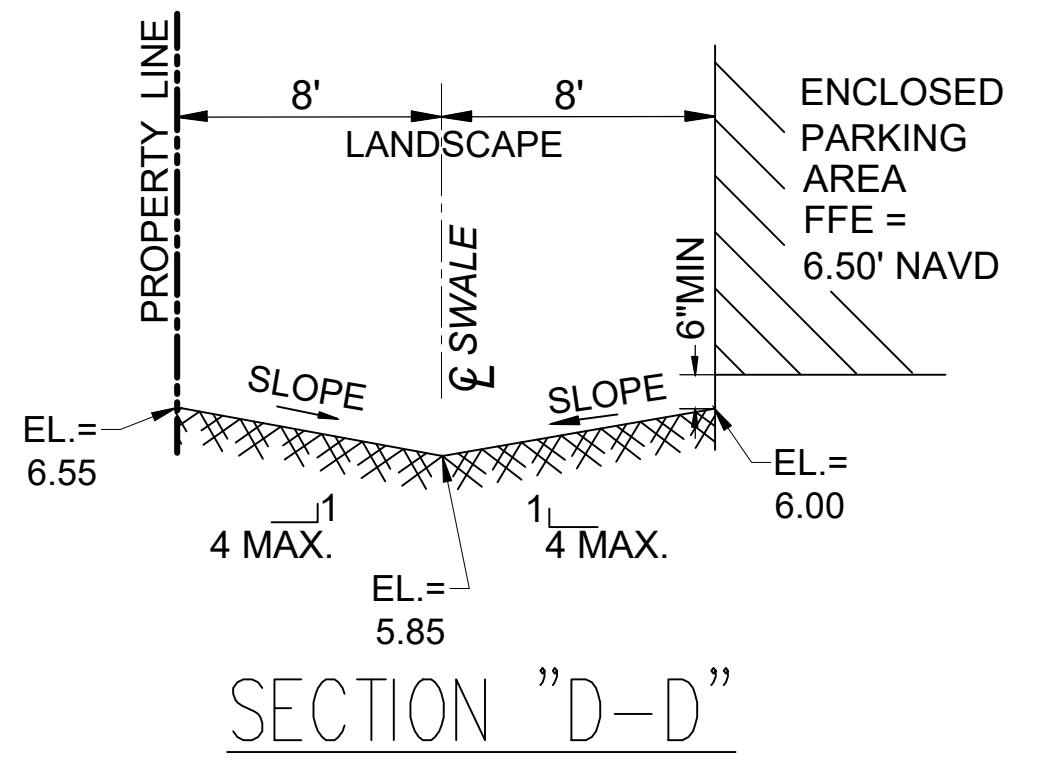
SECTION "B-B"



SECTION "C-C"



SECTION "E-E"



SECTION "D-D"

REV	DATE	DESCRIPTION
1	06.16.25	TAC COMMENTS

CUSTOMER:
GOLDENHOLZ AND ASSOCIATES
 3122 NORTH PINES ISLAND
 SUNRISE, FL

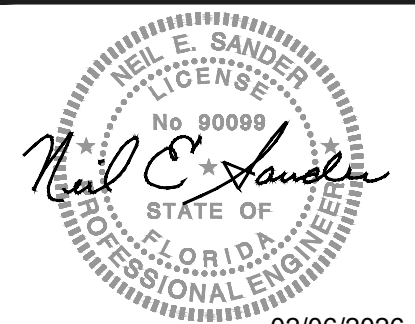
PROJECT:
 2910 POLK STREET
 HOLLYWOOD
 FLORIDA

TASK:
 CONSTRUCTION DETAILS

GGB Engineering
 CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
 • CONSTRUCTION MANAGERS
 FLORIDA REGISTRATION NO. 34516
 4101 RAVENSWOOD ROAD, SUITE 113 FORT LAUDERDALE, FLORIDA 33312
 PHONE: (954) 986-6655 FAX: (954) 986-6659
 AN INDEPENDENCE ENGINEERING COMPANY

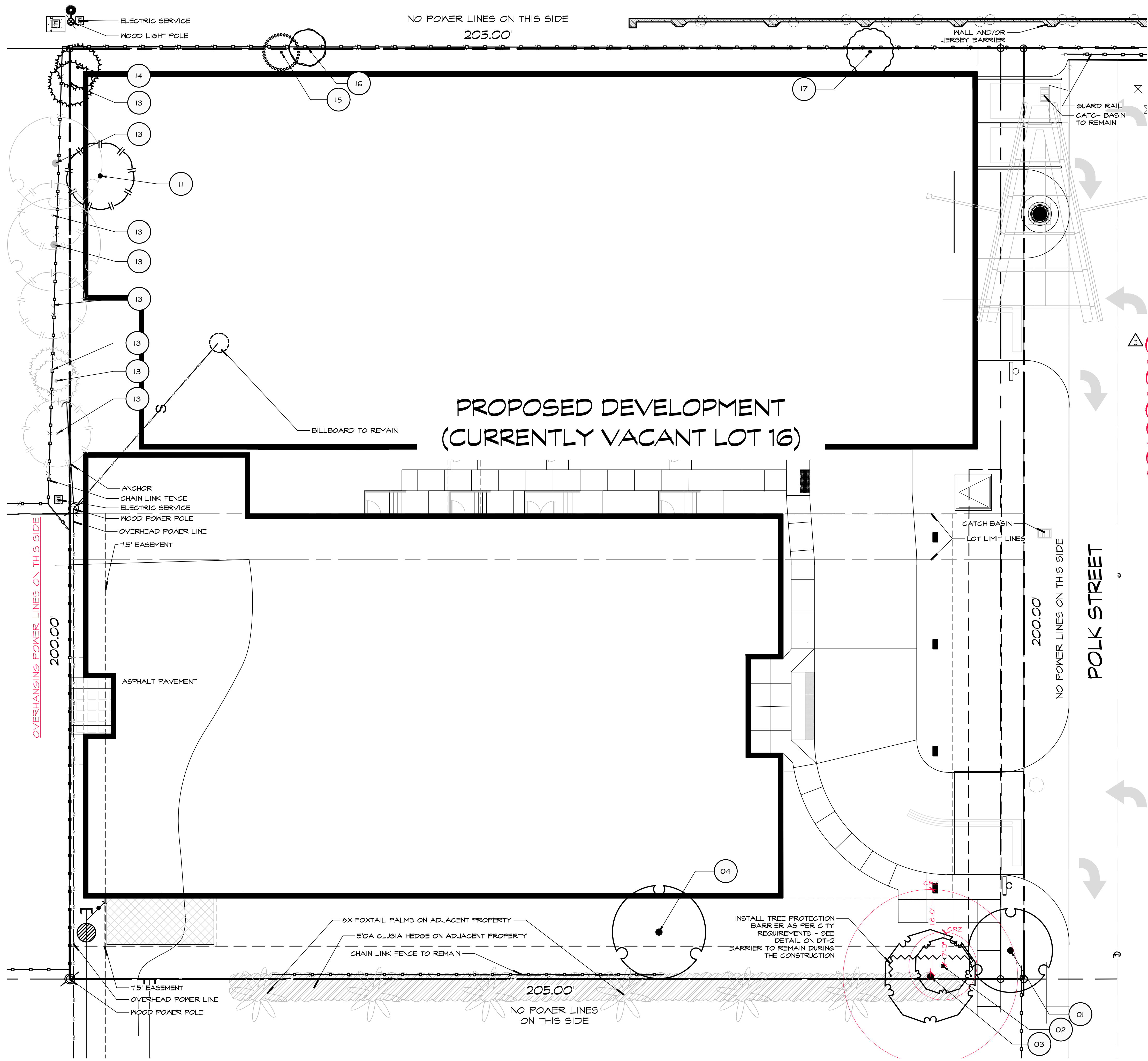
DATE: 02/06/2026
 SCALE: N.T.S.
 DESIGNED BY: N.E.S.
 DRAWN BY: J.A.

PROJECT No. 24-0330
 SHEET C-4A



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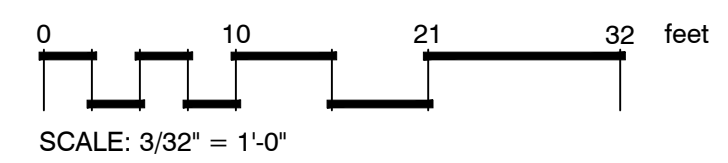
TREES #5, #6, #7, #8, #9, #10, AND #12 ON SURVEY ARE OUT OF PROPERTY LINE

Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.

TOT. OF 38" HARDWOOD DBH38"/2=19
 MITIGATION PALMS17
MITIGATION CALCULATION
 19 x & 250 = \$ 4,750.00-\$5,950= - \$ 1,200.00
NO MITIGATION TO BE PAID TO THE CITY TREE FUND

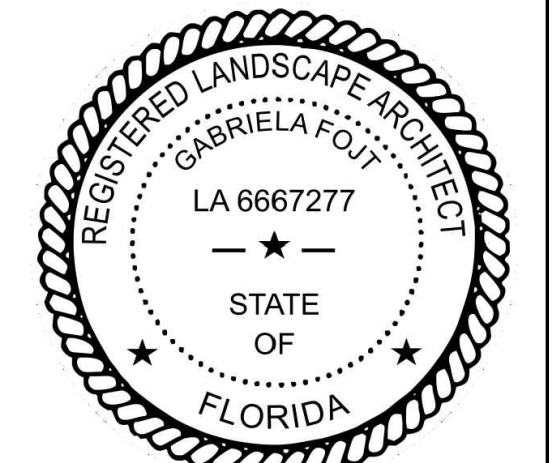
SEE DT-2 FOR EXISTING TREES LIST

A GENERAL LAYOUT
 scale 3/32"=1'-0"



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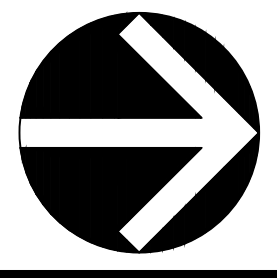
NOTE:
 INDICATED UTILITIES ARE APPROXIMATE.
 CONTRACTOR IS RESPONSIBLE FOR VERIFICATION
 OF ALL UTILITIES ON SITE PRIOR TO
 COMMENCEMENT OF ANY WORK.
 LANDSCAPE ARCHITECT ASSUMES NO LIABILITY
 FOR UTILITY DAMAGE.



Gabriel a Fojt
 Digitally signed by Gabriela Fojt
 Date: 2026.02.05 18:53:38 -05'00'

The Mirror of Paradise
 Gabriela Fojt
 LA 6667277
 ISA FL-10207A

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 Suite 208
 Fort Lauderdale
 FL 33306
 c (954) 478 3064
 www.florida-landscape.com
 gabriela@themirrorofparadise.com



SCALE	3/32"=1'-0"
DESIGNED BY	GF
DRAWN BY	KM,GF
CHECKED BY	GF
CAD DWG.	
DATE	12.26.2024
REVISIONS	
per City comments	1 05.28.2025
per City comments	2 09.26.2025
per City comments	3 02.05.2026

2910 POLK STREET
 HOLLYWOOD
 FL 33020

REMOVAL PLAN

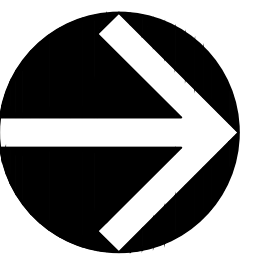


Gabriela Fojt
Digitally signed by Gabriela Fojt
Date: 2026.02.05 18:54:00 -05'00'

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ISA FL-10207A

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Fort Lauderdale
FL 33306
c (954) 478 3064
www.florida-landscape.com
gabriela@themirrorofparadise.com



SCALE AS NOTED

DESIGNED BY GF

DRAWN BY KM,GF

CHECKED BY GF

CAD DWG.

DATE 12.26.2024

REVISIONS

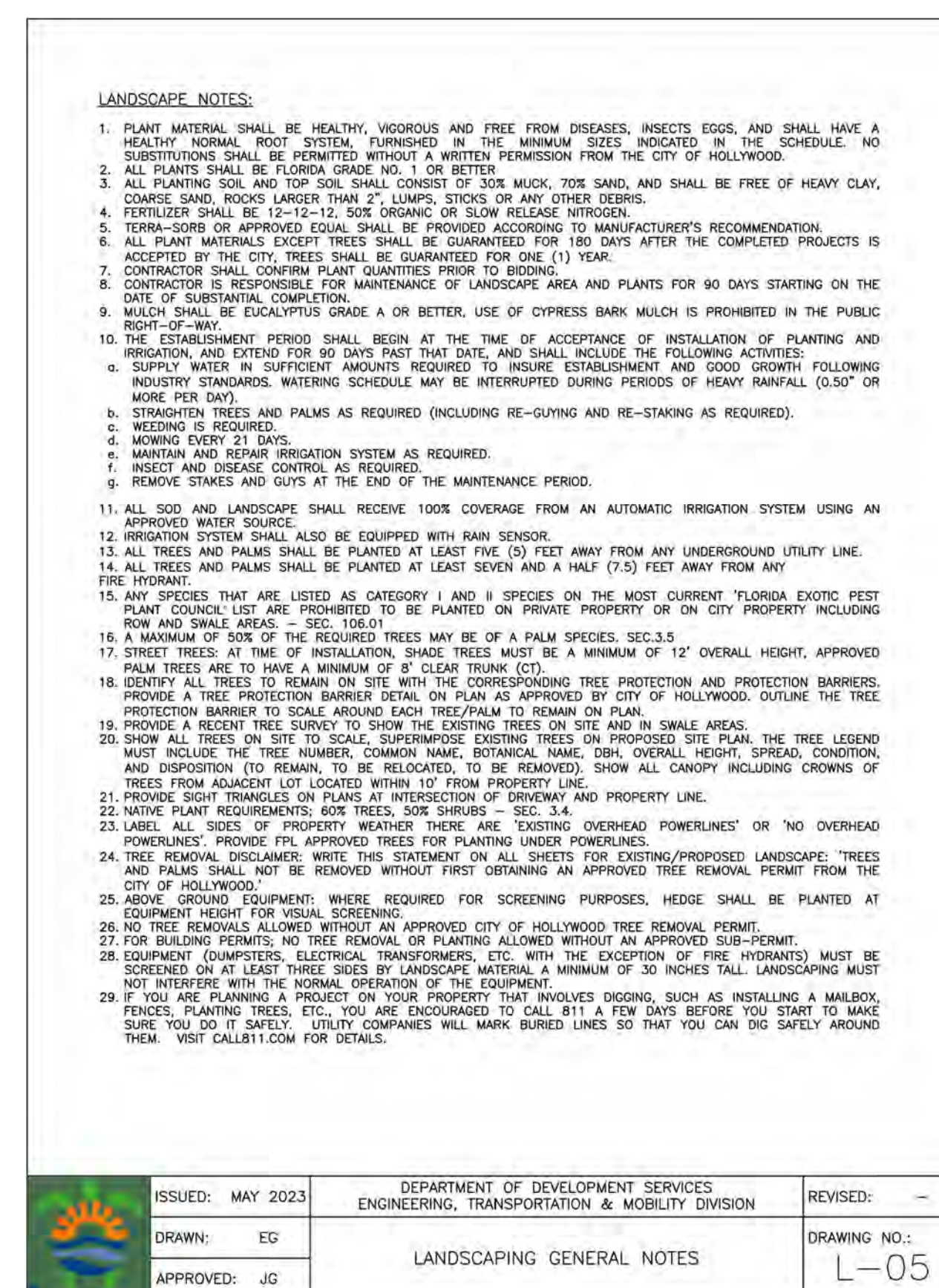
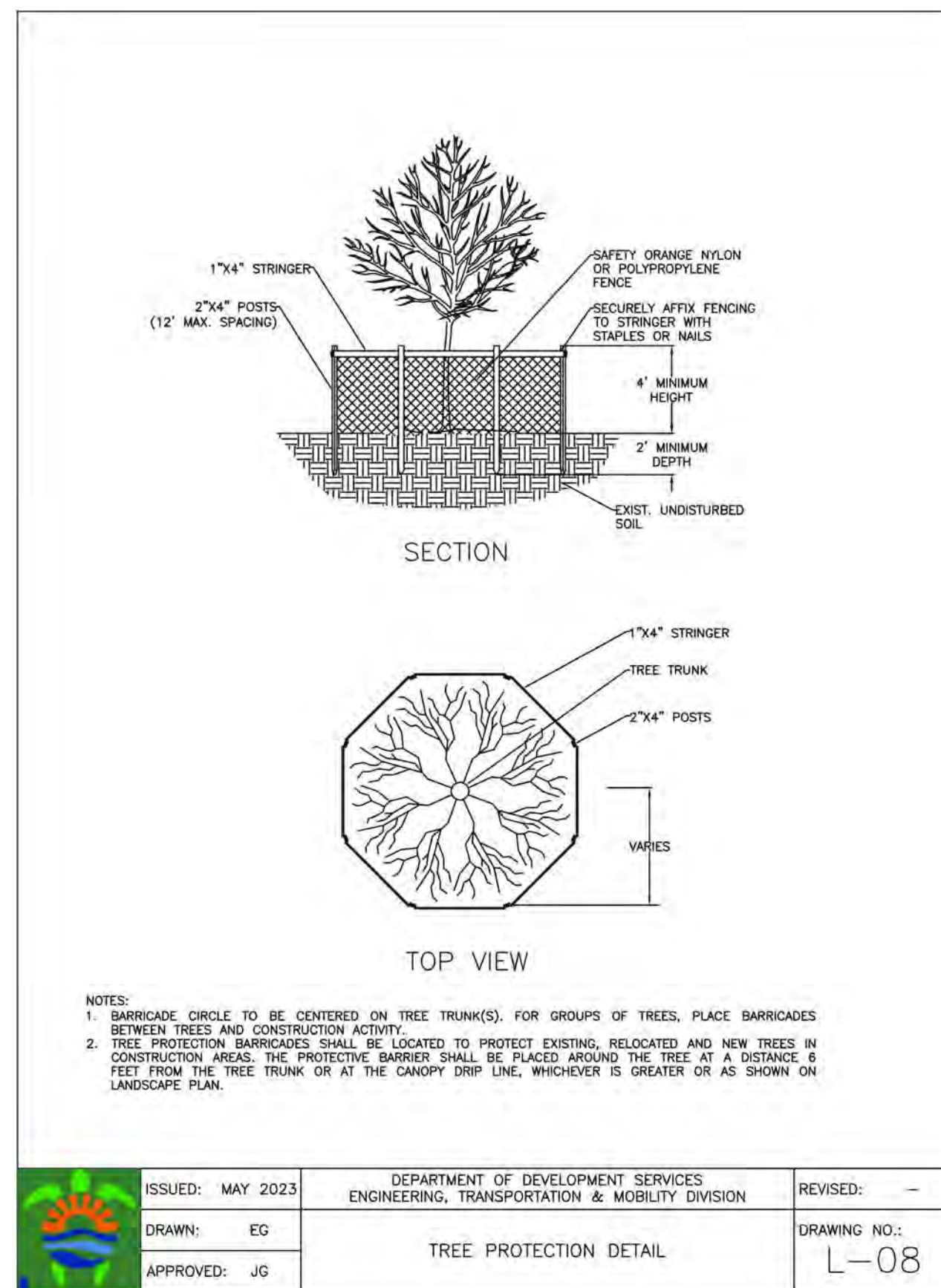
per City comments 1 05.28.2025

per City comments 2 09.26.2025

per City comments 3 02.05.2026

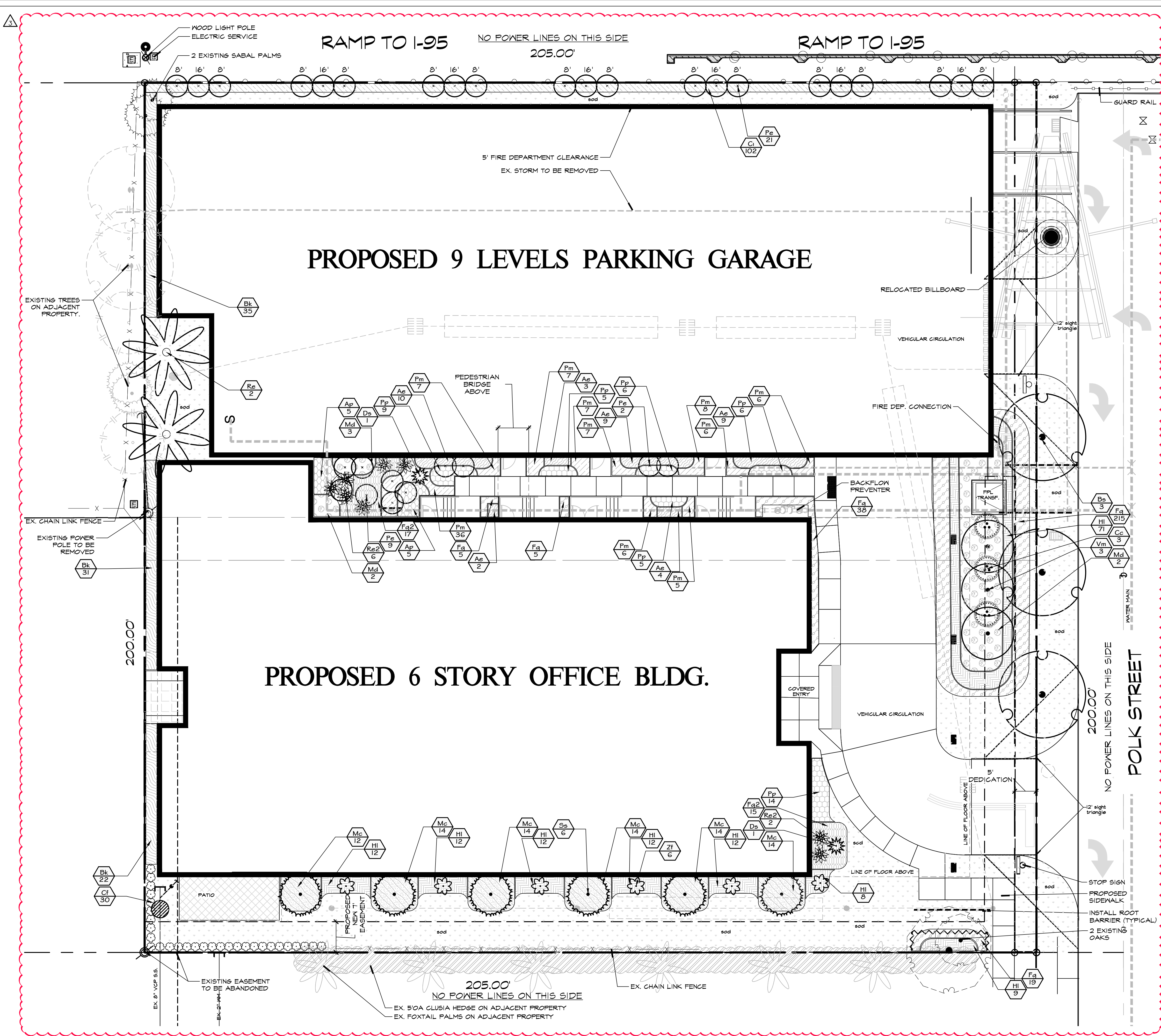
EXISTING TREES LIST

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT/CT	CANOPY	CONDITION	NOTES	ACTION
	01	Bursera simaruba	Gumbo Limbo	11.5"	20x18'	18'	Good		REMOVE
	02	Quercus virginiana	Southern Live Oak	7"	20x12'	12'	Poor	co-canopy	TO REMAIN
	03	Quercus virginiana	Southern Live Oak	18"	20x20'	20'	Fair	co-canopy	TO REMAIN
	04	Bursera simaruba	Gumbo Limbo	11"	20x15'	20'	Poor	multiple trunk scars	REMOVE
	11	Schinus terebinthifolia	Brazilian Pepper Tree	N/A	N/A	N/A	N/A	INVASIVE	REMOVE
	13	Sabal palmetto	Cabbage Palmetto	N/A	6' CT	10'	Fair	NOT QUALIFYING AS TREE	TO REMAIN
	14	Sabal palmetto	Cabbage Palmetto	N/A	4' CT	10'	Fair	NOT QUALIFYING AS TREE	TO REMAIN
	15	Schefflera actinophylla	Schefflera	N/A	8' OA	8'	N/A	INVASIVE	REMOVE
	16	Ficus aurea	Ficus	3'+3.5"	8' OA	8'	Poor	VOLUNTEER	REMOVE
	17	Lysiloma latisiliquum	False Tamarind	9"	20x20'	10'	Very poor	heavy leaning, almost no canopy, rot	REMOVE

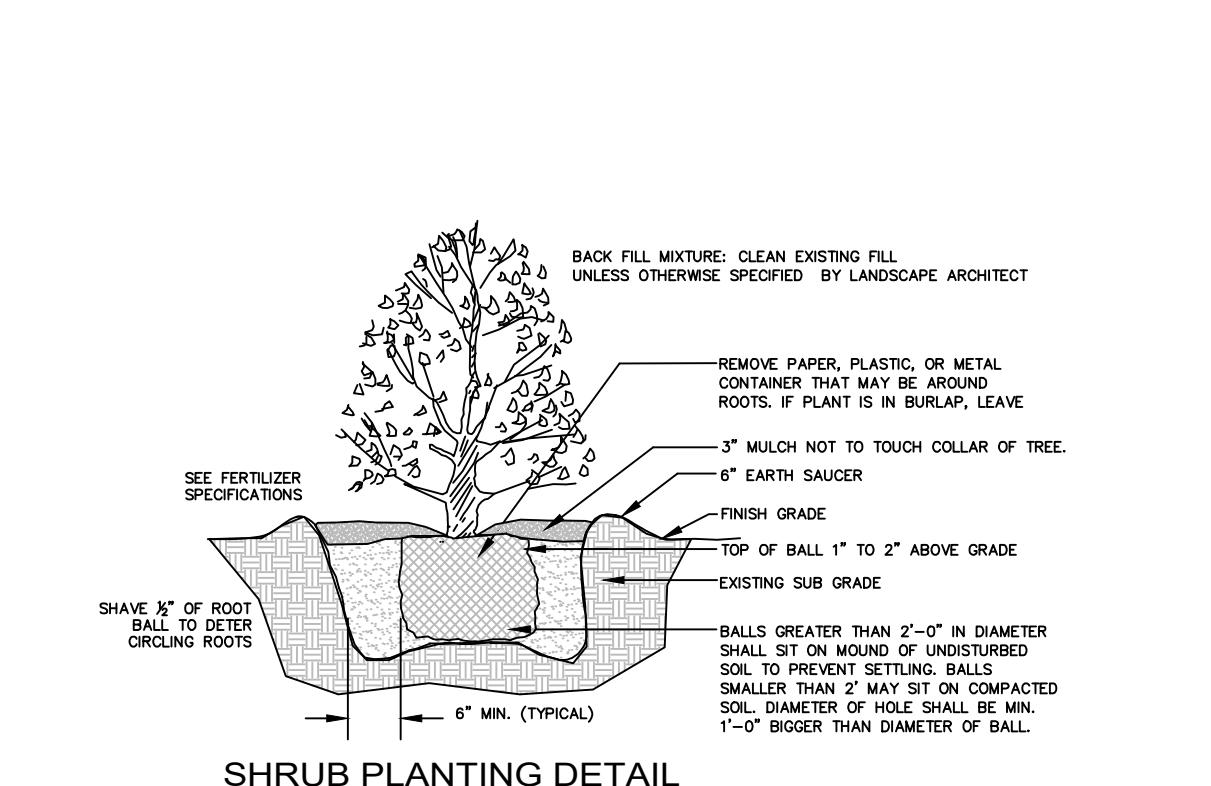
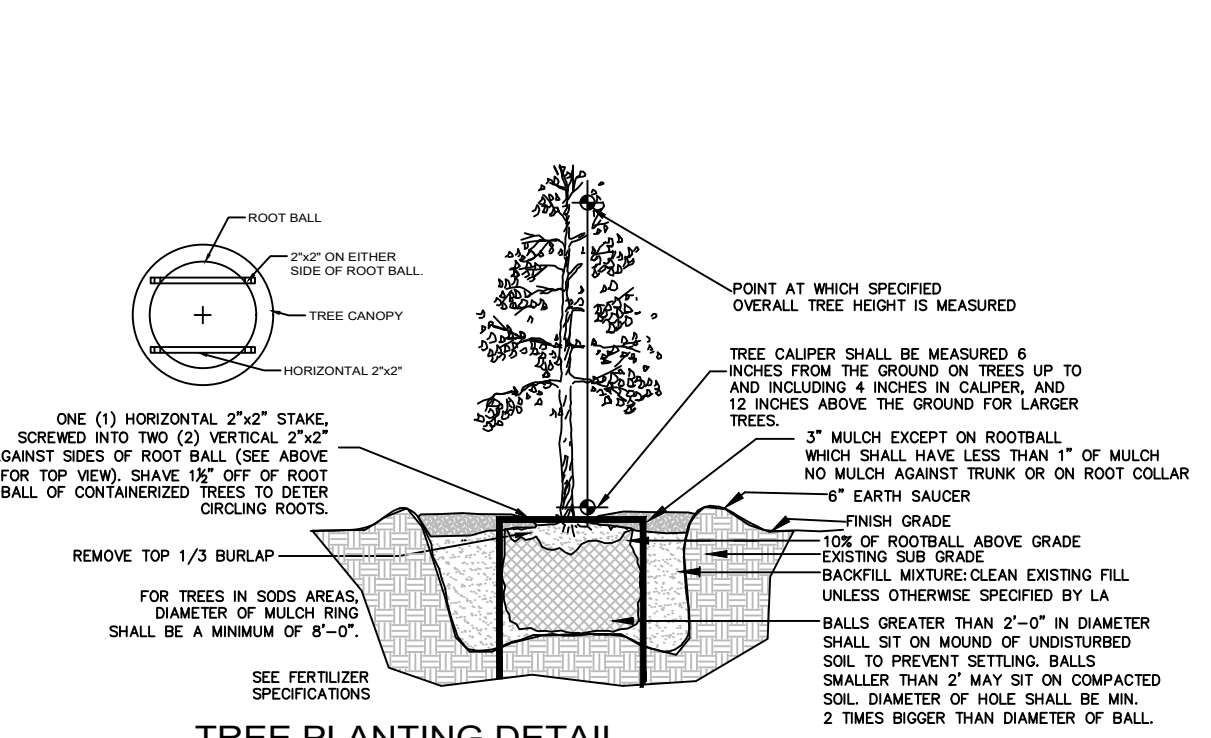
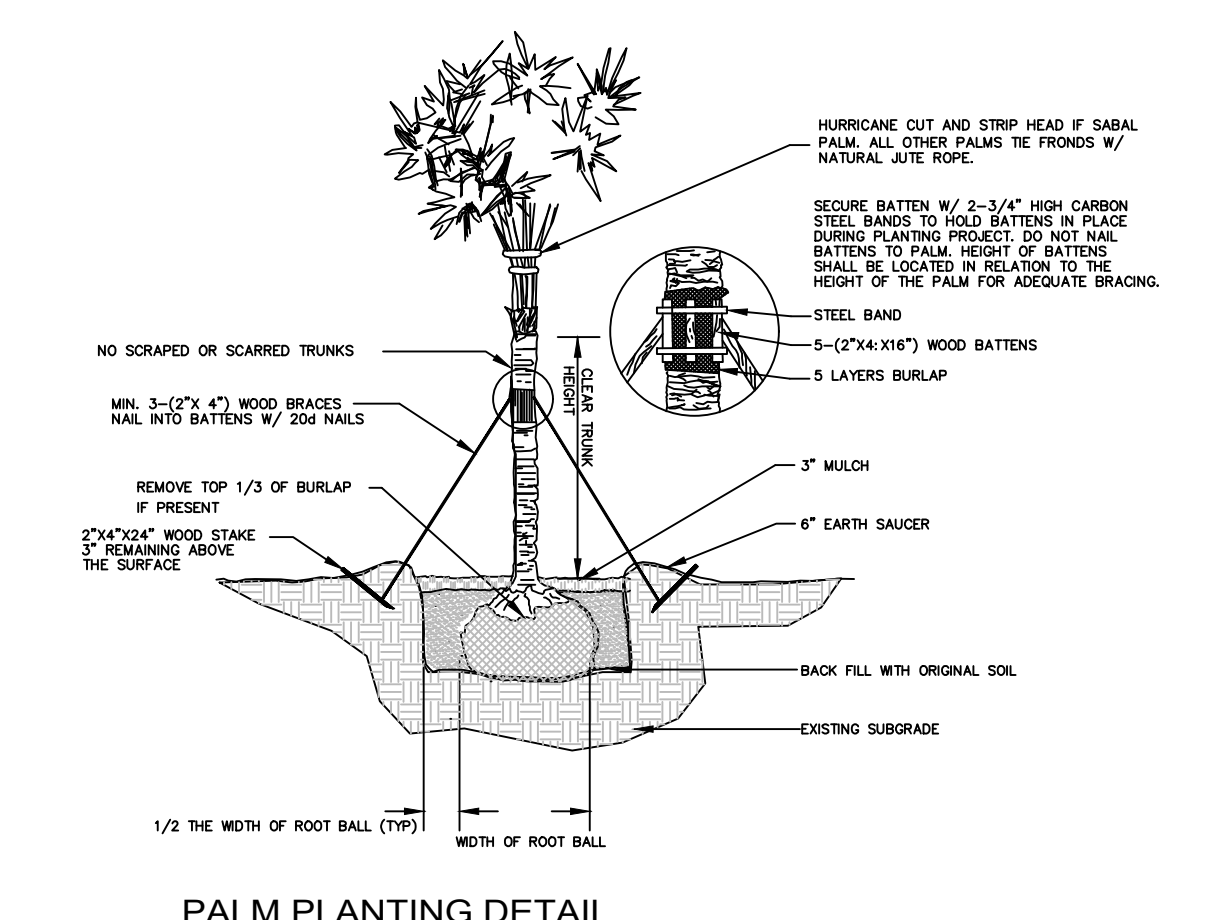


2910 POLK STREET
HOLLYWOOD
FL 33020

EXISTING TREES LIST, TREE PROTECTION DETAIL



SEE LP-2 FOR PLANTING SCHEDULE & CODE CHART



A GENERAL LAYOUT
scale 3/32" = 1'-0"

0 10 21 32 feet

SCALE: 3/32" = 1'-0"

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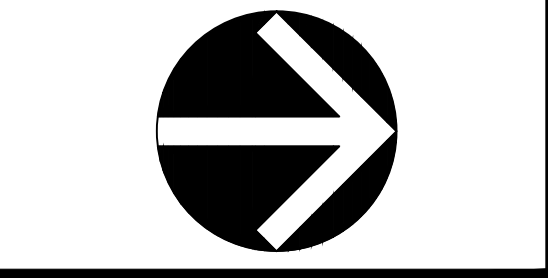
NOTE:
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Digitally signed by Gabriela Fojt
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CAD DWG.	
DATE	12.26.2024
REVISIONS	
per City comments	05.28.2025
per City comments	09.26.2025
per City comments	02.05.2026

2910 POLK STREET
HOLLYWOOD
FL 33020

LANDSCAPE PLAN

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
TREES								
	Bs	3	Bursera simaruba	Gumbo Limbo	14'-16' OA, 4" dbh	AS SHOWN	YES	HIGH
	Pe	32	Ptychosperma elegans	Alexander Palm	8'-16' CT, sngl, staggered	AS SHOWN	NO	HIGH
	Re	2	Roystonea elata	Florida Royal Palm	10' GW, matched	AS SHOWN	YES	HIGH
	Ss	6	Sabal palmetto	Cabbage Palmetto	8' CT	AS SHOWN	YES	HIGH
	Vm	6	Veitchia montgomeryana	Montgomery Palm	8'-20' CT, staggered	AS SHOWN	NO	HIGH
EXISTING TREES & PALMS								
	eQv	2	Quercus virginiana	Southern Live Oak	See DT-1 & 2	EXISTING	YES	HIGH
	eSp	2	Sabal palmetto	Cabbage Palmetto	See DT-1 & 2	EXISTING	YES	HIGH
SHRUBS								
	Cc	3	Chamaedorea cataractarum	Cascade Palm	6'-7' OA, full	AS SHOWN	NO	MODERATE
	Cf	30	Clusia guttifer	Small leaf Clusia	4'-5' OA, ftb	24" OC	NO	HIGH
	Ds	2	Dioon spinulosum	Giant Dioon	7 gal	AS SHOWN	NO	MODERATE
	Re2	8	Rhapis excelsa	Lady Palm	4'-5' OA	AS SHOWN	NO	MODERATE
	Zf	6	Zamia furfuracea	Cardboard Palm	7 gal, full	AS SHOWN	NO	HIGH
SHRUB AREAS								
	Ap	10	Alpinia purpurata	Red Ginger	3 gal, full	36" OC	NO	LOW
	Ae	37	Aspidistra elatior	Cast Iron Plant	1 gal, full	24" OC	NO	MODERATE
	Bk	88	Bougainvillea x 'Barbara Karst'	Barbara Karst Bougainvillea	3 gal, ftb	24" OC	NO	HIGH
	Ci	102	Chrysobalanus icaco	Coco Plum	3 gal, ftb	24" OC	YES	HIGH
	Fg2	32	Farfugium japonicum giganteum	Giant Leopard Plant	3 gal, full	30" OC	NO	LOW
	Fg	282	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	3 gal, full	18" OC	NO	HIGH
	Hl	148	Hymenocallis latifolia	Spider Lily	3 gal, full	24" OC	NO	HIGH
	Md	7	Monstera deliciosa	Split-leaf Philodendron	3 gal	48" OC	NO	MODERATE
	Mc	82	Muhlenbergia capillaris	Pink Muhly Grass	3 gal	30" OC	YES	HIGH
	Pp	45	Philodendron x 'Prince of Orange'	Prince of Orange Philodendron	3 gal	24" OC	NO	MODERATE
	Pm	95	Pilea microphylla	Rockweed	1 gal	18" OC	NO	LOW
GROUND COVERS								
	So	5,130 sf	Stenotaphrum secundatum	St. Augustine Grass	sod			

- NOTES:
- SOD, MULCH, AND ROOT BARRIER AS INDICATED.
 - MULCH ALL BEDS AS INDICATED ON DETAIL.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.
 - PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.

JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids. The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting. At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud. Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4". Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material. Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves. 10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

IRRIGATION

Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by owner and Landscape Architect.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade. Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass. Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head. Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval. Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis. Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations. All shall comply with the State of Florida fertilizer laws.

CLEANUP:

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.

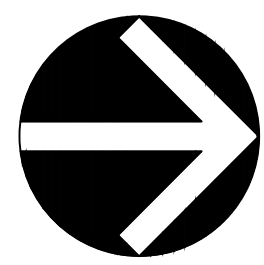


Gabriela Fojt
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The Mirror of Paradise

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SCALE	AS NOTED
DESIGNED BY	GF
DRAWN BY	KM,GF
CHECKED BY	GF
CAD DWG.	
DATE	12.26.2024
REVISIONS	
per City comments	05.28.2025
per City comments	09.26.2025
per City comments	02.05.2026

CODE REQUIREMENT TC-1

Code requirement	Required	Existing	Proposed	Provided
Perimeter landscape Street tree - one 12'oa tree/each 30 ft of street frontage (200.00'/30=6.6)	7 trees	2 Oaks	3 Gumbo Limbo, 3 Montgomery palms (3:1=1 tree), 3 Alexander (3:1=1 tree)	7 provided
Residential buffer	N/A			N/A
Open space 1 tree per 1000sf of pervious site area (8,094 sq.ft/1,000=8) min. 25% lot space as open/landscape (40,990 sf x.25=10,247 sf)	8 trees Min. 25%		2 Royal palms (1:1=2 trees), 6 Sabals (3:1=2 trees), 29 Alexanders (3:1=9 2/3 trees)	(+1)8 provided 20 %provided (**)
60% of required trees to be native (15x.6=9) No more than 50% of trees to be palms (3:1 count) (15x.5=7.5)	Min. 9 native trees Max. 8 trees as palms	2 Oaks	3 Gumbo Limbo, 6 Sabals (3:1=2 trees), 2 Royal palms 6 Sabals (3:1=2 trees), 3 Montgomery (3:1=1 tree), 2 Royal, 32 Alexander (3:1=10 2/3 trees)	9 provided (+1)8 provided (see **)

(*) ADJACENT LOT DONATED TO THE CITY AS PARK COMPENSATES LANDSCAPED AREA
(**) REDUCED PLANTING AREA AND EASEMENTS DON'T ALLOW PLANTING MORE TREES THAN PALMS

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HOLLYWOOD
FL 33020

PLANT SCHEDULE, CODE CHART, NOTES & DETAILS