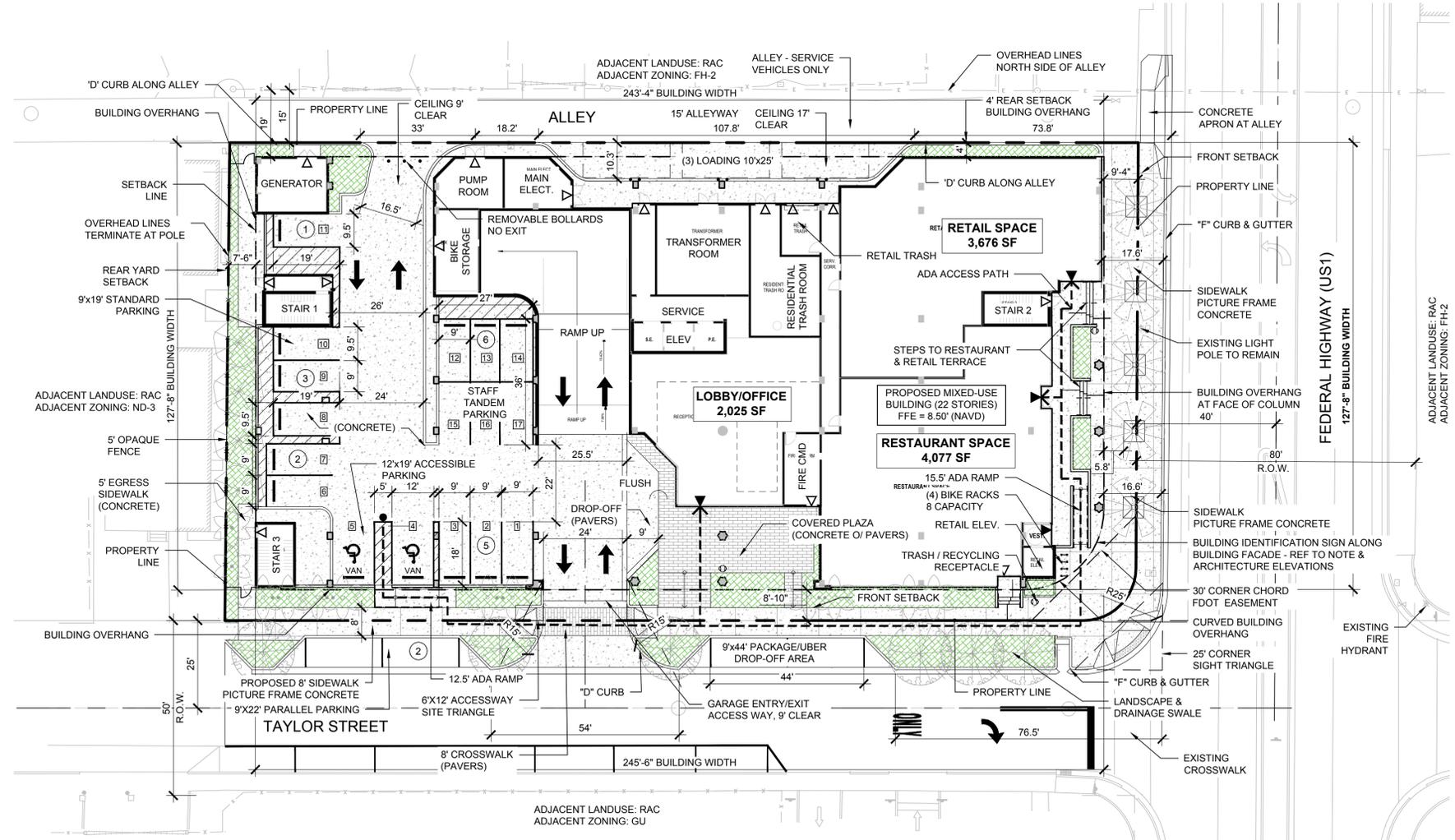


REVISIONS		
NO.	DESCRIPTION	DATE
TAC - P&Z		09/13/2023
FINAL TAC - P&Z		11/15/2023
FINAL TAC-RESUBMITTAL		11/30/2023

SITE DATA PROPOSED			
PROJECT ADDRESS		410 N. Federal Hwy, Hollywood, FL 33020	
FOLIO No.		5142-15-01-8240	
1. ZONING	PD		
2. EXISTING LAND USE	RAC		
3. LAND AREA		NET SITE AREA	35,576 SF 0.816 AC
		TAYLOR ST. R/W	13,272 SF
		US 1 FEDERAL HWY R/W	2,024 SF
		SERVICE ALLEY R/W	
		GROSS LOT AREA	50,872 SF 1.17 AC
		REQUIRED	PREVIOUSLY APPROVED
4. DENSITY		115 DU/AC	212 DU/AC
		134 UNITS	248 UNITS
5. BUILDING HEIGHT		51'-11"	224'-0"
6. NUMBER OF STORIES		17	22
7. UNIT SIZE MINIMUM		525 SF	492 S.F.
8. UNIT SIZE AVERAGE		891.5 SF	915 SF
8.A TOTAL FLOOR AREA OF RECREATION USE WITHIN BUILDING			9,321 SF (INTERIOR)
8.B TOTAL BUILDING SQ. FOOTAGE			508,570 SF
9. PARKING - SEE BELOW			
		STUDIO (32) @1	32
		1 BED UNIT (122) @1	122
		2 BED UNIT (64) @1.5	96
		3 BED UNIT (30) @1.5	45
		GUESTS @1 SP/5 UNITS	50
		TOTAL UNITS (248)	345
		TOTAL UNIT PARKING	345
		RESTAURANT: 4,077 SF	60% OF GROSS FLOOR AREA, 1 PER 60 SF OF RESULT
		RESTAURANT	41
		RETAIL: 3,676 SF	@ 250 SF/SPACE
		RETAIL	15
		FIRST FLOOR LOBBY/OFFICE: 2,025 SF	NO PARKING REQUIRED
		FIRST FLOOR LOBBY/OFFICE	N/A
		ADDITIONAL PARKING	N/A
		HANDICAP (12'x9')	9 (INCLUDED*)
			7 (INCLUDED)
			9 (INCLUDED*)
			* INCLUDING 2 VAN ACCESSIBLE SPACES
		TANDEM	N/A
		TOTAL PARKING	401
		LOADING BAYS (10'x25')	3
10. SET BACK REQUIREMENTS			
		MINIMUM SET BACK	
		EXTERNAL (SOUTH SIDE - TAYLOR ST)	BASE < 25' 2'-29" 8'-10"
		TOWER	53', 47' at Balcony
		REAR YARD (15' ALLEY)	BASE 0' 0'-12" 4'
		TOWER	11'-6", -10" at Balcony
		EXTERNAL (EAST SIDE - US 1)	BASE < 25' 10'-0" 9'-4"
		TOWER	10-1.5", 3'-1" at Balcony
		SIDE YARD (WEST SIDE)	BASE 0' 0' 7'-6"
		TOWER	7'-6"
11. PERVIOUS AREA			1,220 SF - 3.4%
12. IMPERVIOUS AREA			34,336 SF - 96%
13. PUBLIC OPEN SPACE			3,025.57 SF - 8.5%
COVERED PUBLIC OPEN SPACE			5,801 SF - 16.3%
			3,915.62 SF - 11.00%
		TOTAL AREAS	11,012 SF - 30.9%
			6,841.19 SF - 19.50%

- AMENDMENTS OR VARIANCES:
- INCREASE DENSITY FROM 134 UNITS TO 248 UNITS. (AN INCREASE FROM 115 UNITS PER ACRE TO 212 UNITS PER ACRE)
 - AN INCREASED BUILDING HEIGHT FROM 176'-5" TO 224'-0"
 - A VARIANCE FROM THE REQUIRED 25' EXTERNAL SETBACKS WILL BE REQUESTED.

- NOTES:
- CHANGES TO THE DESIGN, INCLUDING BUT NOT LIMITED TO MASSING, MATERIALS, TEXTURE, OR EXTERIOR FINISHING, SHALL REQUIRE PLANNING REVIEW AND, DEPENDING ON THE SCOPE OF THE CHANGE, MAY BE SUBJECT TO BOARD/COMMISSION APPROVAL. ANY FIELD CHANGES THAT HAVE NOT BEEN REVIEWED BY THE PLANNING DIVISION MAY RESULT IN REMOVAL AND MAY BE SUBJECT TO REMOVAL IF NOT APPROVED.
 - ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.
 - THE MAXIMUM LIGHT LEVEL ALONG THE NORTHERN AND AND WESTERN PROPERTY LINES IS TO BE 0.5 FOOT-CANDLE.
 - ADA ACCESSIBLE ROUTES ARE REQUIRED BETWEEN ACCESSIBILITY PARKING AND BUILDING ACCESS AS WELL AS AN ACCESSIBLE ROUTE TO THE PUBLIC RIGHTS-OF-WAY. ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.
 - ALL EXPOSED MEP FIXTURES AND EQUIPMENT TO BE PROPERLY SCREENED FROM PUBLIC VIEW WITH LANDSCAPING.
 - THE PROJECT IS PURSUING A NATIONAL GREEN BUILDING STANDARD (NGBS) CERTIFICATION, AND SHALL BE IN COMPLIANCE WITH GREEN BUILDING ORDINANCE (O-2011-06).



PRELIMINARY PLAN NOT FOR CONSTRUCTION
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 RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 06/30/2023
 DESIGNED BY: CP
 DRAWN BY: CP, RP
 CHECKED BY: KS, PW
 BID-CONTRACT:

PAUL H. WEINBERG, PLA
 FLORIDA REG. NO. LA666804
 (FOR THE FIRM)

CLIENT

1817 TAYLOR DEVELOPMENT LLC

PROJECT

STAR TOWER HOLLYWOOD

410 N. FEDERAL HWY HOLLYWOOD, FL 33020

SHEET TITLE

SITE PLAN

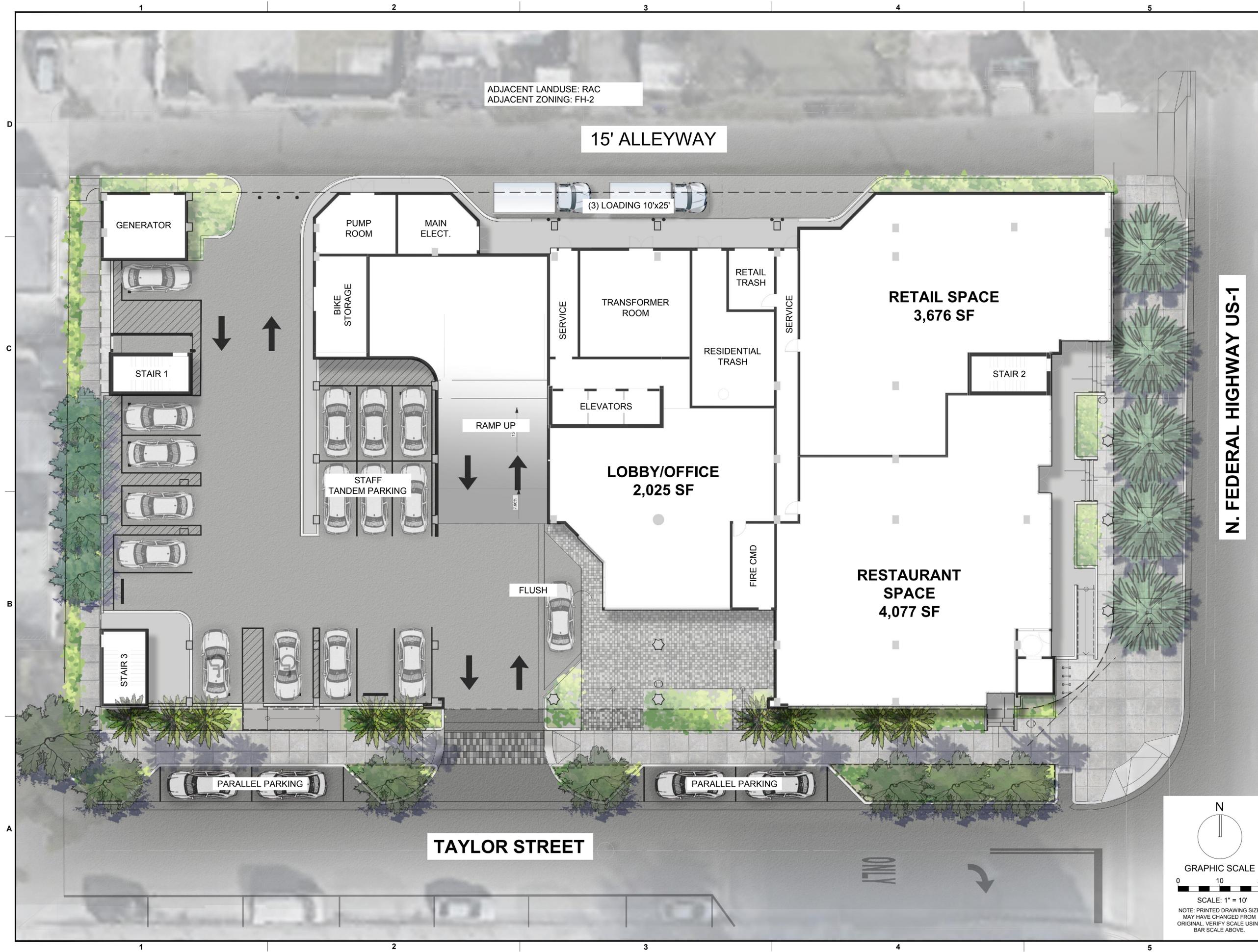
SHEET NUMBER **SP-101**

PROJECT NUMBER **13778.00**

STATUS: PRELIMINARY

Drawing name: K113778.00 - Star Tower Hollywood - 1817 Taylor Street Development LLC Landscape Architecture CA013778.00-SP-101.dwg

Plotted by: cphillips On: 11/20/24 8:47 AM



ADJACENT LANDUSE: RAC
ADJACENT ZONING: FH-2

15' ALLEYWAY

(3) LOADING 10'x25'

GENERATOR

PUMP ROOM

MAIN ELECT.

BIKE STORAGE

TRANSFORMER ROOM

RETAIL TRASH

RETAIL SPACE
3,676 SF

STAIR 1

ELEVATORS

RESIDENTIAL TRASH

STAIR 2

RAMP UP

LOBBY/OFFICE
2,025 SF

STAFF
TANDEM PARKING

FLUSH

FIRE CMD

RESTAURANT
SPACE
4,077 SF

STAIR 3

PARALLEL PARKING

PARALLEL PARKING

TAYLOR STREET

N. FEDERAL HIGHWAY US-1

KEITH
301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7923
Florida Surveyor and Mapper Business License: LB6680
Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE
TAC - P&Z		09/13/2023
FINAL TAC - P&Z		11/15/2023
FINAL TAC-RESUBMITTAL		11/30/2023

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
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AND ARE SUBJECT TO REVISIONS MADE
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RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS FROM
ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.

ISSUE DATE: 06/30/2023
DESIGNED BY: CP
DRAWN BY: CP, RP
CHECKED BY: KS, PW
BID-CONTRACT:

This item has been
digitally signed and
sealed by Paul H.
Weinberg, on the
date below using
Digital Signature.

Printed copies
of this document
are not considered
signed and sealed
and the signature
must be verified on any
electronic copies.

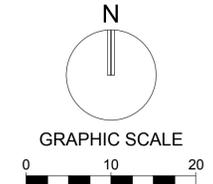
PAUL H. WEINBERG, PLA
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

CLIENT
**1817 TAYLOR
DEVELOPMENT LLC**

PROJECT
**STAR TOWER
HOLLYWOOD**
410 N. FEDERAL HWY
HOLLYWOOD, FL
33020

SHEET TITLE
ILLUSTRATIVE PLAN

SHEET NUMBER **SP-102**
PROJECT NUMBER **13778.00**

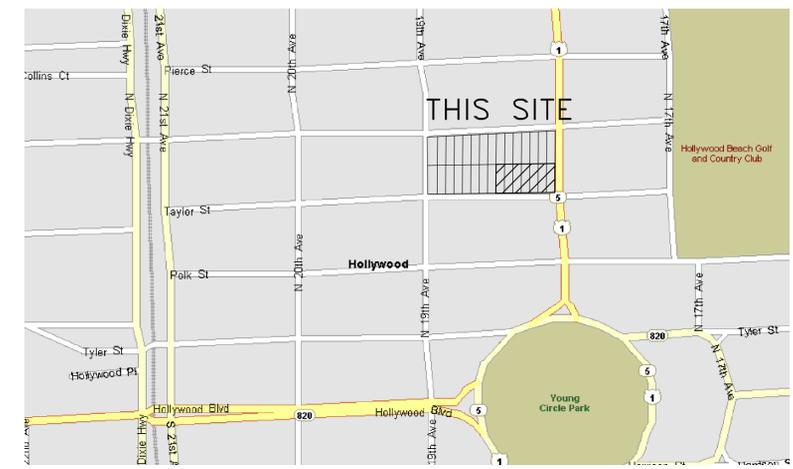
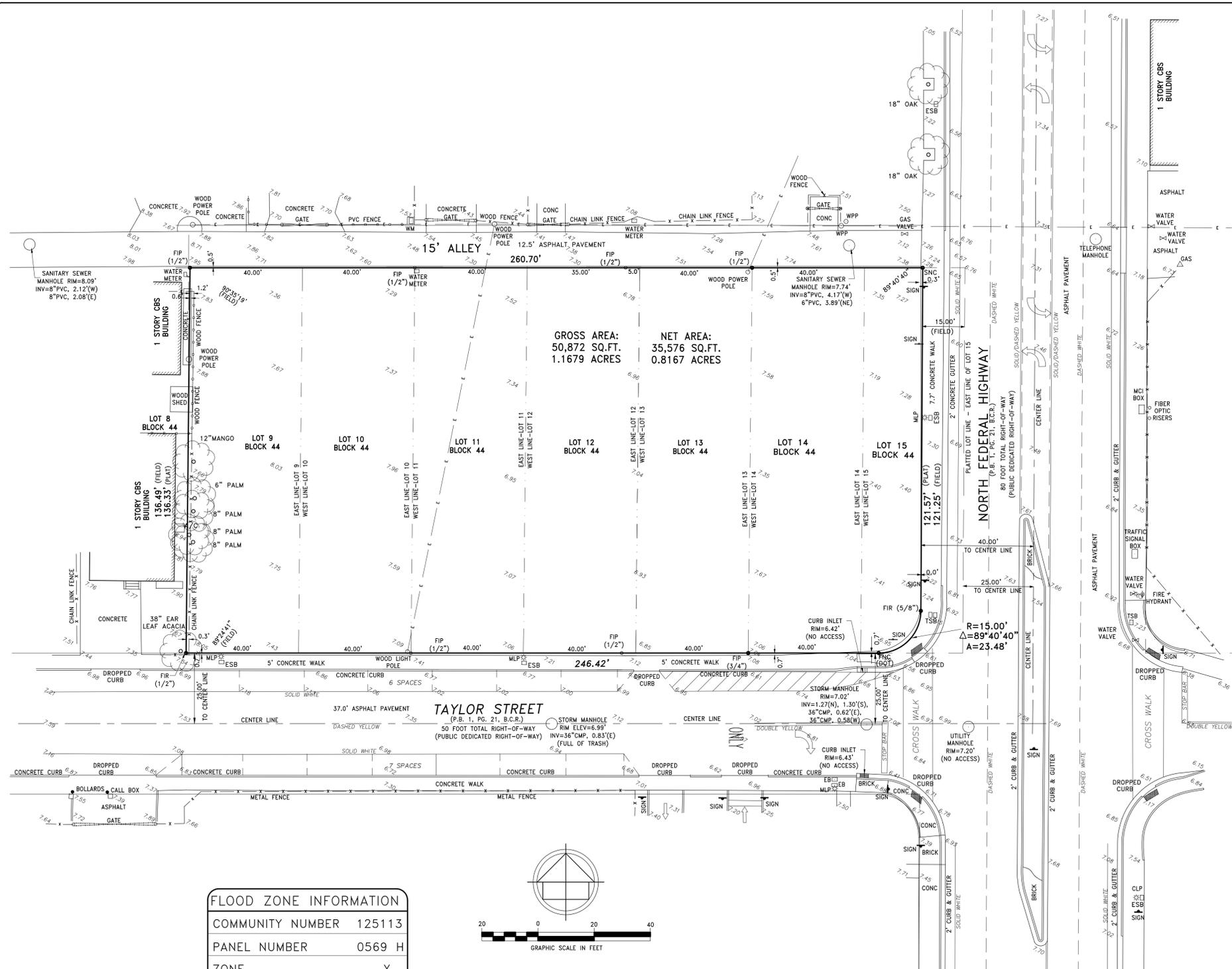


SCALE: 1" = 10'
NOTE: PRINTED DRAWING SIZE
MAY HAVE CHANGED FROM
ORIGINAL. VERIFY SCALE USING
BAR SCALE ABOVE.

Plotted by: cphillips On 11/30/2023 1:42 PM

Drawing name: K13778.00 - Star Tower Hollywood - 1817 Taylor Street Development LLC Landscape Architecture CA013778.00-LC-101.dwg

STATUS: PRELIMINARY



LOCATION MAP (NTS)

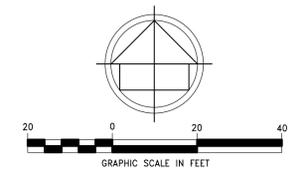
GROSS AREA:
50,872 SQ.FT.
1.1679 ACRES

NET AREA:
35,576 SQ.FT.
0.8167 ACRES

TAYLOR STREET
(P.B. 1, PG. 21, B.C.R.)
50 FOOT TOTAL RIGHT-OF-WAY
(PUBLIC DEDICATED RIGHT-OF-WAY)

NORTH FEDERAL HIGHWAY
(P.B. 1, PG. 21, B.C.R.)
80 FOOT TOTAL RIGHT-OF-WAY
(PUBLIC DEDICATED RIGHT-OF-WAY)

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0569 H
ZONE	X
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	08/18/14



LEGEND

- | | | | |
|--------|---------------------------|--------|--|
| BCR | BROWARD COUNTY RECORDS | SIR | SET IRON ROD & CAP #6448 |
| CKD | CHECKED BY | FND | FOUND NAIL & DISC |
| DWN | DRAWN BY | ALTA | AMERICAN LAND TITLE ASSOCIATION |
| FB/PG | FIELD BOOK AND PAGE | ACSM | AMERICAN CONGRESS ON SURVEYING & MAPPING |
| FIP | FOUND IRON PIPE | CB | CATCH BASIN |
| FIR | FOUND IRON ROD | B.C.R. | BROWARD COUNTY RECORDS |
| ORB | OFFICIAL RECORDS BOOK | -X- | WOOD/CHAIN LINK FENCE |
| PB | PLAT BOOK | WPP | WOOD POWER POLE |
| PG | PAGE | CLP | CONCRETE LIGHT POLE |
| SQ.FT. | SQUARE FEET | MLP | METAL LIGHT POLE |
| △ | CENTRAL ANGLE | CPP | CONCRETE POWER POLE |
| R | RADIUS | ESB | ELECTRIC SERVICE BOX |
| A | ARC DISTANCE | -E- | OVERHEAD UTILITY LINES |
| -///- | NON VEHICULAR ACCESS LINE | UNK | UNKNOWN TREE TYPE |

LAND DESCRIPTION:
LOTS 9, 10, 11, 12, 13, 14 AND 15 LESS THE EAST 15.00 FEET AND THAT PART INCLUDED IN THE EXTERNAL AREA FORMED BY A 15.00 FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF SAID LOT 15 AND TANGENT TO A LINE WHICH IS 15.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID LOT 15, BLOCK 44, OF "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTES :

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON THE OWNERSHIP & ENCUMBRANCES REPORTS, LISTED HEREON, ISSUED BY ATTORNEYS' TITLE FUND SERVICES, LLC.
 - (FUND FILE NO.: 10-2014-109061)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014.
 - (FUND FILE NO.: 10-2014-109062)-EFFECTIVE DATE FROM JULY 30, 2010 TO NOVEMBER 8, 2013.
 - (FUND FILE NO.: 10-2014-109063)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014.
 THERE ARE NO PLOTTABLE ENCUMBRANCES
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- BENCHMARK DESCRIPTION : CITY OF HOLLYWOOD BENCHMARK @ TAYLOR STREET & 18TH AVENUE. ELEVATION = 9.55'(NGVD29) - 8.04'(NAVD88)
- NET AREA (TO R/O/W LINES & PROPERTY LINES) = 35,576 SQ.FT. (0.8167 ACRES)
GROSS AREA (TO CENTERLINE OF R/O/W) = 50,872 SQ.FT. (1.1679 ACRES)

SURVEYOR'S CERTIFICATION

THAT (A) THIS SURVEY WAS PREPARED UNDER MY SUPERVISION; (B) THE LEGAL DESCRIPTION OF THE PROPERTY AS SET FORTH HEREIN, AND THE LOCATION OF ALL IMPROVEMENTS, FENCES, EASEMENTS, ROADWAYS, RIGHTS OF WAY AND SETBACK LINES WHICH ARE EITHER VISIBLE OR OF RECORD IN BROWARD COUNTY, FLORIDA (ACCORDING TO OWNERSHIP AND ENCUMBRANCES REPORTS; FUND FILE NUMBER: 10-2014-109061, FROM JULY 30, 2010 TO OCTOBER 6, 2014. (FUND FILE NO.: 10-2014-109062)-EFFECTIVE DATE FROM JULY 30, 2010 TO NOVEMBER 8, 2013, AND (FUND FILE NO.: 10-2014-109063)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014.), ARE ACCURATELY REFLECTED HEREON; AND (C) THIS SURVEY ACCURATELY DEPICTS THE STATE OF FACTS AS THEY APPEAR ON THE GROUND. THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ("ALTA"), THE AMERICAN CONGRESS ON SURVEYING AND MAPPING ("ACSM") AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS ("NSPS") IN 2011, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 11 (A), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT:

THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS"

DATED: 07/03/23 FOR THE FIRM BY: *Richard E. Cousins*
RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION No. 4188.

COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :
JED EQUITIES, LLC

ALTA/ACSM LAND TITLE SURVEY
TAYLOR STREET & NORTH FEDERAL HIGHWAY,
HOLLYWOOD, FL

REVISIONS	DATE	FB/PG	DWN	CKD
UPDATED SURVEY	09/30/13	SKETCH	JD	REC
UPDATED ALTA/ACSM LAND TITLE SURVEY	10/08/14	SKETCH	JD	REC
ADDITIONAL LOCATION	11/17/14	SKETCH	JD	REC
ADDITIONAL ELEVATIONS AND INVERT INFORMATION	09/19/15	SKETCH	JD	REC
ADDED CERTIFICATIONS	03/29/22	-----	AC	REC
UPDATE SURVEY	06/29/22	SKETCH	JD	REC

REVISIONS	DATE	FB/PG	DWN	CKD
UPDATED SURVEY	07/03/23	SKETCH	JD	REC

PROJECT NUMBER : 4816-04
SCALE : 1" = 20'
SHEET 1 OF 1 SHEET

STAR TOWER HOLLYWOOD TECHNICAL ADVISORY COMMITTEE

LANDSCAPE DRAWINGS

JULY 3RD, 2023



INDEX OF SHEETS	
SHEET IDENTIFICATION	SHEET TITLE
LANDSCAPE	
CVR-000	COVER SHEET
LD-101	TREE DISPOSITION PLAN
LH-001	GENERAL NOTES, LEGEND, & SCHEDULE
LH-101	HARDSCAPE PLAN
LH-501	HARDSCAPE DETAILS
LP-001	PLANTING NOTES
LP-101	PLANTING PLAN
LP-501	PLANTING DETAILS
LI-101	IRRIGATION PLAN
LI-501	IRRIGATION DETAILS
LL-101	EXTERIOR LIGHTING & PHOTOMETRICS PLAN

TAC SUBMITTAL - 07/03/2023
FINAL TAC - PR2 - 09/13/2023
FINAL TAC - PR2 - 11/16/2023
FINAL TAC - PR2 - 11/16/2023

TECHNICAL ADVISORY SUBMITTAL:
JULY 3RD, 2023

TECHNICAL ADVISORY REVIEW:
JULY 17TH, 2023

FINAL TAC - PLANNING & ZONING
RESUBMITTAL:
NOVEMBER 30TH, 2023

410 N. FEDERAL HIGHWAY, HOLLYWOOD
BROWARD COUNTY, FLORIDA 33020

PREPARED FOR:
1817 TAYLOR DEVELOPMENT LLC.



PROJECT No. 13778.00
JULY 3RD, 2023

PAUL H. WEINBERG, R.L.A.
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

THESE PLANS MAY HAVE BEEN
REDUCED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.





301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7923
Florida Surveyor and Mapper Business License: LB6860
Florida Landscape Architecture Business License: LC26000457

REVISIONS

NO.	DESCRIPTION	DATE
TAC - P&Z		09/13/2023
FINAL TAC - P&Z		11/15/2023
FINAL TAC-RESUBMITTAL		11/30/2023

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**

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ISSUE DATE: 06/30/2023

DESIGNED BY: CP

DRAWN BY: CP, RP

CHECKED BY: KS, PW

BID-CONTRACT:

This item has been digitally signed and sealed by Paul H. Weinberg, on the date below using a Digital Signature.



Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

PAUL H. WEINBERG, PLA
FLORIDA REG. NO. LA666804
(FOR THE FIRM)

CLIENT

1817 TAYLOR DEVELOPMENT LLC

PROJECT

STAR TOWER HOLLYWOOD
410 N. FEDERAL HWY HOLLYWOOD, FL 33020

SHEET TITLE

HARDSCAPE PLAN

SHEET NUMBER **LH-101**

PROJECT NUMBER **13778.00**

QUICK REFERENCE MATERIALS SCHEDULE

CONCRETE

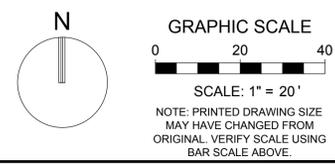
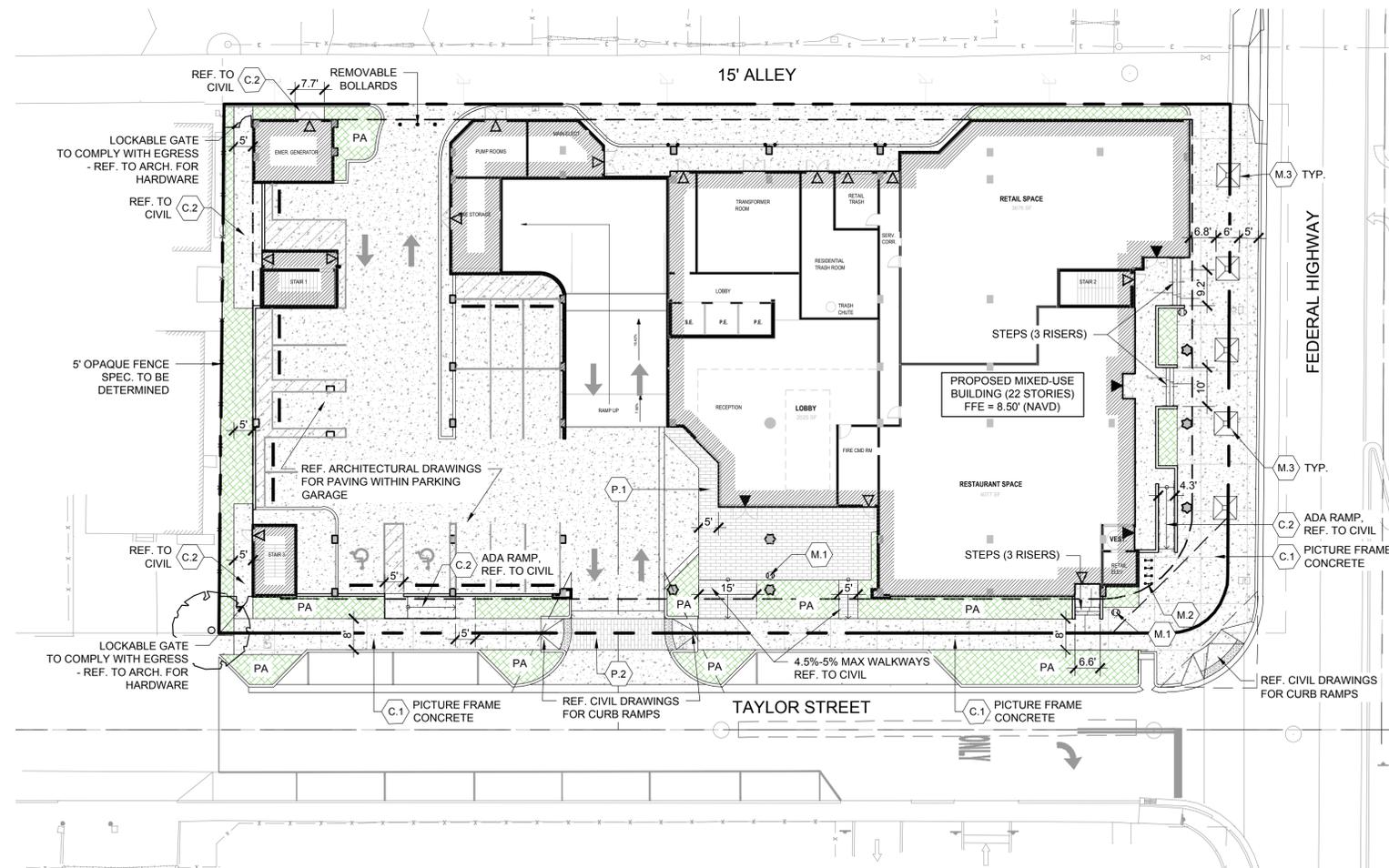
KEY	DESCRIPTION / MODEL	COLOR
C.1	CONCRETE SIDEWALKS - HAND TOOLED PICTURE FRAME JOINTS	STANDARD GREY
C.2	CONCRETE - FINISH TO BE DETERMINED	STANDARD GREY

PRECAST CONCRETE PAVERS

P.1	PRECAST CONCRETE PAVERS - PLANK PAVERS	TO BE DETERMINED
P.2	STAMPED ASPHALT - STREETBRICK XL - 8"x8" PAVER (PATTERNED)	PEWTER AND GRANITE

MISCELLANEOUS

M.1	LITTER RECEPTACLE - DISPATCH LITTER RECEPTACLES - 45 GALLON, SINGLE-STREAM, ONE 45 GALLON LINER	TITANIUM
M.2	BIKE RACKS - BRHS-101 BIKE RACK	ALUMINUM TEXTURE
M.3	TREE GRATE - OBLIO 6'X6' HEEL PROOF - 71.88"x71.88"x1.25"	ALUMINUM TEXTURE



Plotted by: cphillips On 11/30/2023 1:43 PM

Drawing name: K:\13778.00 - Star Tower Hollywood - 1817 Taylor Street Development.LLandscape Architect\CA\13778.00-LH-101.dwg

STATUS: PRELIMINARY

NO.	DESCRIPTION	DATE
TAC - P&Z		09/13/2023
FINAL TAC - P&Z		11/15/2023
FINAL TAC-RESUBMITTAL		11/30/2023

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ISSUE DATE: **09/30/2023**
 DESIGNED BY: **X&R**
 DRAWN BY: **CPX/R**
 CHECKED BY: **KS/X&R**
 BID-CONTRACT:

This item has been digitally signed and sealed by Paul H. Weinberg, on the date below using a Digital Signature.
 REGISTRATION NO. LA 6666804
 STATE OF FLORIDA
 Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

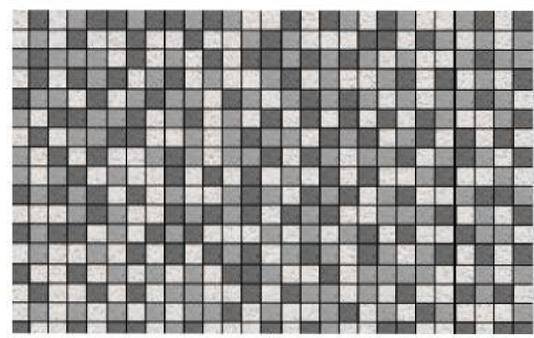
THOMAS WEINBERG, P.E.
FLORIDA REGISTERED PROFESSIONAL ENGINEER
LA 6666804
(FOR THE FIRM)

CLIENT
1817 TAYLOR DEVELOPMENT LLC

PROJECT
STAR TOWER HOLLYWOOD
410 N. FEDERAL HWY HOLLYWOOD, FL 33020

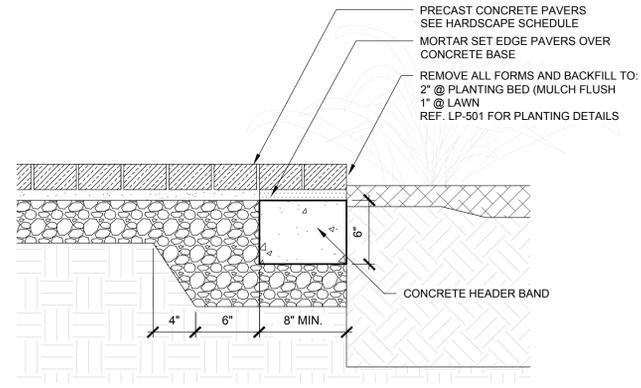
SHEET TITLE
HARDSCAPE DETAILS

SHEET NUMBER **LH-501**
 PROJECT NUMBER **13778.00**

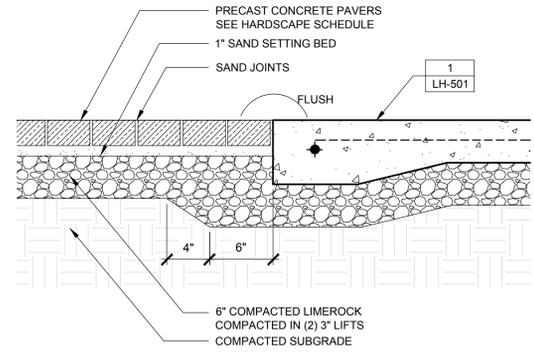


Shellstone Pavers		
Manufacturer:	Old Castle- Belgard	
Model:	Oceanside Shellstone Pavers	
Size:	8" x 8" paver	
Color:	White	
	Pewter	
	Charcoal	
Finish Edge:	Standard	
Application Area:	Application Area	Y/N
	Pedestrian Sidewalks -	N
	Crosswalks -	N
	Intersection Corners -	Y
	Public Open Spaces -	Y
On-Street Parking -	N	
Transit Stops	N	

3 (P.1) PAVING PATTERN
 PLAN ENLARGEMENT SCALE: 1"=1'-0"



2 PRECAST PAVERS AT LANDSCAPE
 SECTION SCALE: 1"=1'-0"



1 PRECAST PAVERS AT CONCRETE
 SECTION SCALE: 1-1/2"=1'-0"



BRHS-101 Bike Rack	
Manufacturer:	Victor Stanley
Model:	BRHS-101 Bike Rack
Material:	Tubular Steel
Color:	Black
Website:	https://victorstanley.com/product/brhs-101/

5 (M.2) BIKE RACK
 SPECIFICATION - IMAGES NOT TO SCALE



Ohio Tree Grate	
Manufacturer:	Iron Age Designs
Model:	Ohio 6' x 6' Heel Proof
Size:	71.88" x 71.88" x 1.35"
Material:	Cast Iron
ADA Compliant:	Yes
Website:	Website: https://www.ironagedesigns.com/product/tree-grates-ohio/#spec

6 (M.3) TREE GRATE
 SPECIFICATION - IMAGES NOT TO SCALE



Dispatch Litter Receptacle	
Manufacturer:	Forms + Surfaces
Model:	Dispatch Litter Receptacles
Size/Specification:	45 Gallon, single-stream, one 45 gallon liner
Material:	Powdercoat aluminum
Color:	Black
Website:	https://www.forms-surfaces.com/dispatch-litter-recycling-receptacle

4 (M.1) TRASH RECEPTACLE
 SPECIFICATION - IMAGES NOT TO SCALE

REVISIONS

NO.	DESCRIPTION	DATE
TAC - P&Z		09/13/2023
FINAL TAC - P&Z		11/15/2023
FINAL TAC-RESUBMITTAL		11/30/2023

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**

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ISSUE DATE: 06/30/2023

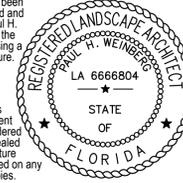
DESIGNED BY: CP

DRAWN BY: CP, RP

CHECKED BY: KS, PW

BID-CONTRACT:

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PAUL H. WEINBERG, PLA
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

CLIENT

1817 TAYLOR DEVELOPMENT LLC

PROJECT
STAR TOWER HOLLYWOOD

410 N. FEDERAL HWY HOLLYWOOD, FL 33020

SHEET TITLE

PLANTING PLAN

SHEET NUMBER **LP-101**

PROJECT NUMBER **13778.00**

STAR TOWER LANDSCAPE REQUIREMENTS

PROJECT INFORMATION:		
ZONING DESIGNATION	PD	RAC
GROSS SITE AREA	50,872 SF	1.17 AC
NET SITE AREA	35,576 SF	.82 AC
PERIMETER & STREET TREES*		
North Boundary - (FH-2)	NA	0 TREES
West Boundary - (FH-2)	NA	0 TREES
East Boundary - (Federal Hwy ROW) 1 Street tree per 30'	5 TREES	5 TREES*
South Boundary - (Taylor Street) 1 Street tree per 30' / 20 trees =	9 TREES	6 TREES
VEHICULAR USE AREA LANDSCAPING		
25% of 708 sf	177 SF	177 SF
OPEN SPACE - TREE REQUIREMENT		
1 tree per 1,000 sf of pervious area	1,815 SF	2 TREES
1,815 SF / 1,000 sf =		0 TREES
NATIVE TREE REQUIREMENT		
60% of required trees to be native	8 TREES	10 TREES
50% to be low maintenance & drought tolerant	7 TREES	10 TREES
SHRUB REQUIREMENT		
10 Shrubs required per required tree	140 SHRUBS	547 SHRUBS
50% of required shrubs to be native	70 SHRUBS	318 SHRUBS (58%)
50% to be low maintenance & drought tolerant	70 SHRUBS	537 SHRUBS (98%)

TREE MITIGATION TABLE	
1	Total Palms to be removed
16	Total DBH to be removed

TREE REPLACEMENT TABLE	
Total inches required	Total inches provided
+ 16" (required for mitigation)	0" (provided for mitigation)*
Mitigation Deficiencies = 16" / 2 = 8 (2" TREES)	
8 TREES x \$350.00 = \$2,800	

TREE TRUST FUND CALCULATIONS			
	QTY:	Cost Per Tree	Subtotal Owed
Street Tree Deficiencies	3	\$350	\$1,050
Open Space Deficiencies	2	\$350	\$700
Mitigation Deficiencies	8	\$350	\$2,800
*Mitigation calculated at 1 Tree required per 2" DBH			
Total amount to be paid into Tree Trust Fund			\$4,550

PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	DBH/CAL	NATIVE	REMARKS
TREES							
CS	4	CONOCARPUS ERECTUS 'SERICEUS'	12' HT	5" SPR	2" DBH	N**	
QV	6	SILVER BUTTWOOD QUERCUS VIRGINIANA LIVE OAK	12' HT	6" SPR	2.5" DBH	N**	
PALMS							
BN	5	BISMARCKIA NOBILIS BISMARCK PALM	15' CT			**	
VM2	5	VEITCHIA ARECINA MONTGOMERY PALM	12' CT			**	DOUBLES
VM	2	VEITCHIA ARECINA MONTGOMERY PALM	12' CT			**	
SHRUBS							
ALO	3	ALCANTAREA IMPERIALIS IMPERIAL BROMELIAD	2' HT			**	
CHI	97	CHRYSOLABANUS ICACO COCOPLUM	24" HT	24" SPR	24" O.C.	N**	
DIO	2	DIOON EDULE MEXICAN FAN PALM	30" HT	36" SPR		**	
MOD	4	MONSTERA DELICIOSA SPLIT-LEAF PHILODENDRON	3'	3' SPR		**	SHADE GROWN
PRC	6	PHILODENDRON X 'ROJO CONGO' ROJO CONGO	24" HT	24" SPR	36" O.C.	*	
RHE	3	RHAPIS EXCELSA LADY PALM	3' HT	3' SPR		**	
VINE							
FIP	11	FICUS PUMILA CREEPING FIG	3-4' HT			**	ATTACH TO WALL, SHADE GROWN
SHRUB AREAS							
IRV	34	IRIS VIRGINICA BLUE FLAG IRIS	18" HT	18" SPR	24" OC	N**	
JAV	72	JASMINUM VOLUBILE WAX JASMINE	10" HT	16" SPR	24" O.C.	**	
MIS	74	MICROSORUM SCOLOPEBDRUM WART FERN	12" HT	14" SPR	18" O.C.	**	SHADE GROWN
PBM	79	PHILODENDRON X 'BURLE MARX' BURLE MARX	18" HT	18" SPR	24" O.C.	**	
PSN	20	PSYCHOTRIA NERVOSA WILD COFFEE	24" HT X 24" SPRD	N**	30" OC	N**	
TRF	28	TRIPSACUM FLORIDANUM DWARF FAKAHATCHEE	24" HT	24" SPR	36" O.C.	N**	
ZAM	188	ZAMIA PUMILA COONTIE	15" HT	18" SPR	18" O.C.	N**	
GROUND COVERS							
ARA	158	ARACHIS GLABRATA PERENNIAL PEANUT	4" HT	12" SPR	12" O.C.		

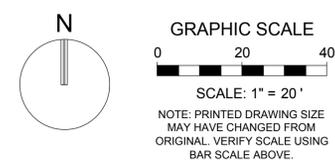
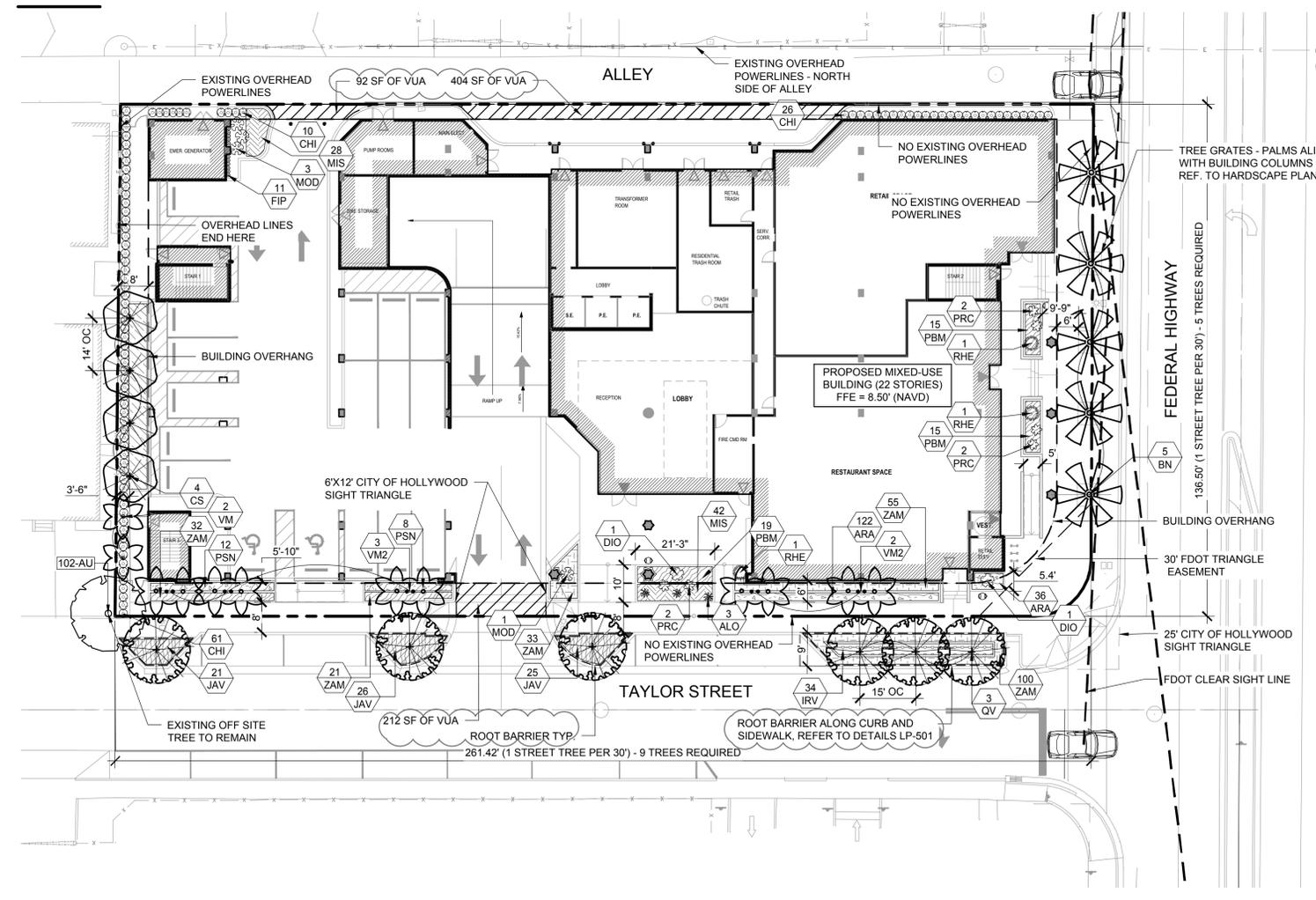
N DENOTES NATIVE SPECIES
** DENOTES HIGH DROUGHT TOLERANT SPECIES
* DENOTES MODERATE DROUGHT TOLERANT SPECIES

NOTES:

- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
- ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
- ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
- PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
- ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
- NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
- ALL CATEGORY 1 INVASIVE/EXOTIC TREES TO BE REMOVED PER LOCAL ORDINANCE.

ADDITIONAL CITY OF HOLLYWOOD NOTES:

- NO TREE REMOVAL OR PLANTING ALLOWED UNTIL SUB-PERMITS ARE FULLY APPROVED BY CITY.
- NO LANDSCAPE SUBSTITUTIONS SHALL BE MADE WITHOUT THE CITY OF HOLLYWOOD APPROVAL.
- NO CYPRESS MULCH IS TO BE USED ON SITE. PROVIDE EUCALYPTUS OR MELALEUCA MULCH IN 3" CONSISTENT LATER IN ALL PLANTING BEDS. REFER TO NOTE T.4 ON SHEET LP-001.
- ALL ABOVE GROUND UTILITY EQUIPMENT SHALL BE SCREEN WITH PLANTING AT EQUIPMENT HEIGHT AT MINIMUM 36" HEIGHT. SIMILAR OR CONFLICTING NOTES MAY OCCUR ON SHEET LP-001. NOTED HEREIN AS CITY OF HOLLYWOOD REQUIREMENTS ARE TO PREVAIL.



REVISIONS

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FINAL TAC - P&Z		11/15/2023
FINAL TAC-RESUBMITTAL		11/30/2023

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DRAWN BY: CP, RP

CHECKED BY: KS, PW

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FLORIDA REG. NO. LA6666804
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CLIENT

1817 TAYLOR DEVELOPMENT LLC

PROJECT

STAR TOWER HOLLYWOOD

410 N. FEDERAL HWY HOLLYWOOD, FL 33020

SHEET TITLE

IRRIGATION DETAILS

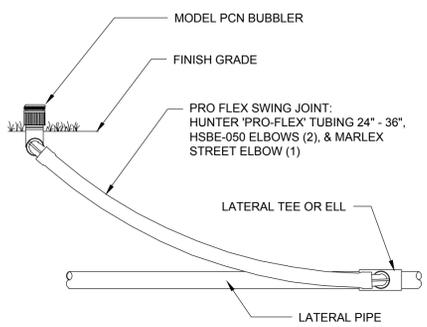
SHEET NUMBER LI-501

PROJECT NUMBER 13778.00

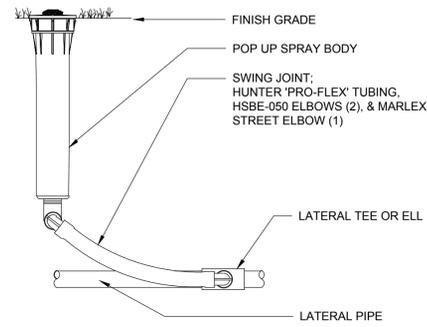
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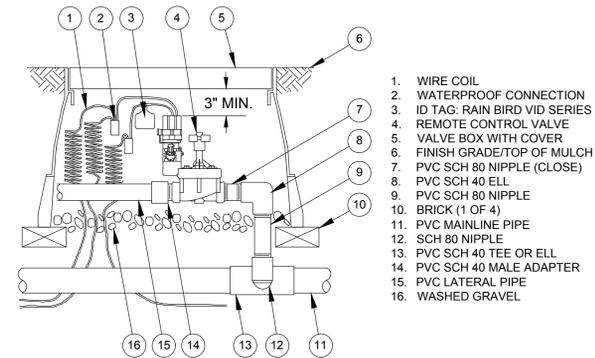
STATUS: PRELIMINARY



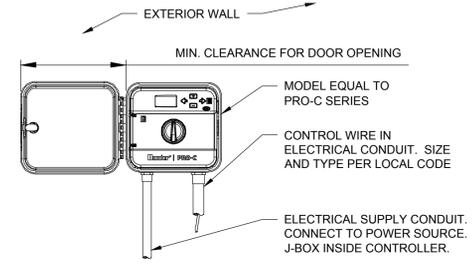
06 HUNTER IRRIGATION DETAIL PCN BUBBLER
SECTION NOT TO SCALE



03 HUNTER IRRIGATION DETAIL 6" POP-UP SPRAY HEAD
SECTION NOT TO SCALE



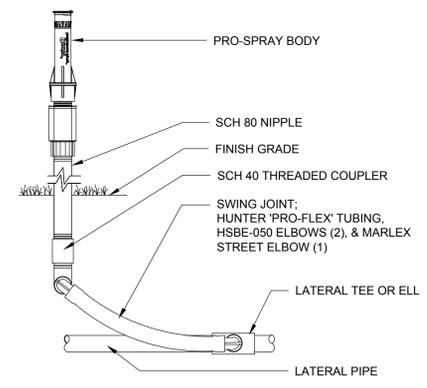
05 ELECTRIC ZONE VALVE/BOX
PLAN NOT TO SCALE



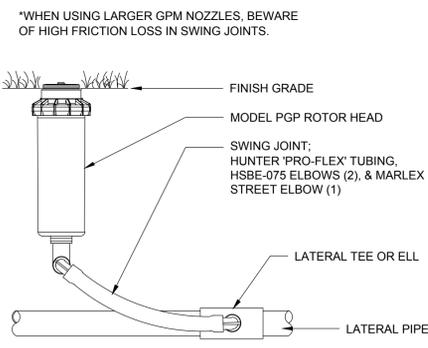
02 HUNTER IRRIGATION DETAIL PROC-C CONTROLLER
SECTION NOT TO SCALE

IRRIGATION NOTES:

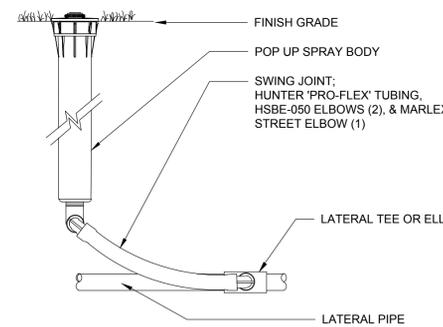
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL REQUIRED TO MAKE THE SYSTEM FUNCTION PROPERLY. ALL IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND ALSO STATE AND/OR LOCAL CODES.
- IRRIGATION PLANS ARE SCHEMATIC AND DRAWN FOR GRAPHIC CLARITY. ALL PIPING BELOW PAVEMENT SHALL BE SLEEVED. LAYOUT OF IRRIGATION SYSTEM SHALL BE COORDINATED WITH CORRESPONDING LANDSCAPE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LOCAL UNDERGROUND UTILITY PROVIDERS TO VERIFY LOCATIONS. THE CONTRACTOR IS ENCOURAGED TO VISIT THE SITE PRIOR TO INSTALLATION AND BECOME FAMILIAR WITH EXISTING CONDITIONS.
- VALVE LOCATIONS ARE SCHEMATIC ONLY AND WILL BE ADJUSTED FOR SITE CONDITIONS. EACH VALVE SHALL BE INSTALLED IN AN AMETEK OR CARSON VALVE BOX. THE FLOW ADJUSTMENT FEATURE WILL BE USED TO BALANCE PRESSURE THROUGHOUT THE SYSTEM.
- PIPING SHALL BE SIZED TO MINIMIZE FRICTION LOSS AND MAINTAIN FLOW VELOCITY BELOW 5 FPS.
- THE IRRIGATION CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS. PROPER GROUNDING EQUIPMENT AND SURGE PROTECTION SHALL BE PROVIDED. A RAIN SENSOR SHALL BE INSTALLED TO OVER-RIDE THE CONTROLLER.
- ALL HEADS ON RISERS SHALL BE SET AT THE HEIGHT OF ADJACENT PLANT MATERIAL.
- SPRINKLER LOCATIONS ADJACENT TO PAVEMENT, STRUCTURES, FENCES, ETC. SHALL BE OFFSET AS FOLLOWS: 12" MIN FOR POP-UP MIST HEADS, 18" FOR SHRUB RISERS, 18" FOR ROTOR HEADS, AND TYPICALLY 5 FEET FOR ROTORS ALONG UNCURBED ROADWAYS.
- ALL SLEEVING SHALL BE SCH 40 PVC TO SIZE INDICATED ON PLAN, OR IF NOT INDICATED, A MIN. OF 2 PIPE SIZES LARGER THAN SUPPLY LINE CONTAINED. ALL SLEEVES SHALL BE INSTALLED A MIN. OF 24" BELOW FINISH GRADE.
- CONTROL WIRES SHALL BE UL APPROVED PE IRRIGATION CONTROL WIRE. USE 14 GAGE CONTROL WIRE AND 12 GAGE GROUND WIRE. WIRE SHALL BE BUNDLED AND ATTACHED TO THE MAIN LINE IN TRENCH OR THROUGH WIRE SLEEVES AT PAVEMENT CROSSINGS 24" BELOW FIN. GRADE. ALL SPLICES SHALL BE MADE WITH WATERPROOF DIRECT-BURIAL SPLICE KITS AND CONTAINED IN VALVE BOXES. TWO EXTRA CONTROL WIRES SHALL BE INSTALLED TO THE FURTHEST VALVES IN EACH DIRECTION FROM THE CONTROLLER.
- PIPING IN NARROW PLANTING AREAS, PARKING ISLANDS AND PLANTERS SHALL BE SET TO ONE SIDE TO ALLOW ROOM FOR ROOT BALLS. PIPE AS INDICATED ON PLAN IS SCHEMATIC AND SHOULD BE ADJUSTED FOR FIELD CONDITIONS.
- ALL GLUE JOINTS SHALL BE CLEANED, SANDED, AND TREATED WITH A COLORED HIGH ETCH PRIMER AND JOINED USING A SOLVENT CONFORMING WITH ASTM D2564.
- SYSTEM PIPE SIZE 3/4" SHALL BE CLASS 200 PVC; SYSTEM PIPE SIZE 1" OR GREATER SHALL BE CLASS 160 PVC. SYSTEM MAIN WILL BE SCH. 40 PVC TO SIZE INDICATED ON PLAN. ALL FITTINGS WILL BE SOLVENT WELD SCH 40 PVC. MAIN LINE SHALL HAVE 24" MINIMUM COVER; ALL OTHER PIPING WILL HAVE 12" MIN. COVER. ALL BACKFILL FOR PIPE TRENCHES SHALL BE CLEAN AND FREE OF FOREIGN DEBRIS AND SHARP OBJECTS; BACKFILLED TRENCHES SHALL BE PROPERLY COMPACTED. ALL MAIN LINES WILL BE INSTALLED A MIN. OF 3' FROM ANY TREE OR PALM.
- WATERING TIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED.
- IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE WITH 100% OVERLAP MIN. PROVIDE BUBBLERS FOR ALL NEW AND RELOCATED TREES AND PALMS.
- RUST CONTROL SYSTEM TO BE INSTALLED WITH PUMP STATION (IF FROM WELL).
- THE IRRIGATION SYSTEM IN THE RIGHT-OF-WAY IS TO INCORPORATE LOW TRAJECTORY SPRAY HEADS TO MINIMIZE OVERSPRAY.
- AS-BUILT DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR AND GIVEN TO THE OWNER PRIOR TO FINAL ACCEPTANCE. THE SITE SHALL BE LEFT IN A NEAT AND PRESENTABLE CONDITION SATISFACTORY TO THE OWNER PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.



07 HUNTER IRRIGATION DETAIL SPRAY HEAD ON RISER
SECTION NOT TO SCALE



04 HUNTER IRRIGATION DETAIL PGP ROTOR HEAD
SECTION NOT TO SCALE



01 HUNTER IRRIGATION DETAIL 12" POP-UP SPRAY HEAD
SECTION NOT TO SCALE



301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7923
Florida Surveyor and Mapper Business License: LB6860
Florida Landscape Architecture Business License: LC26000457

REVISIONS

NO.	DESCRIPTION	DATE
TAC - P&Z		09/13/2023
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FINAL TAC-RESUBMITTAL		11/30/2023

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DRAWN BY: CP, RP

CHECKED BY: KS, PW

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FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

CLIENT

1817 TAYLOR DEVELOPMENT LLC

PROJECT

STAR TOWER HOLLYWOOD

410 N. FEDERAL HWY HOLLYWOOD, FL 33020

SHEET TITLE

EXTERIOR LIGHTING & PHOTOMETRICS PLAN

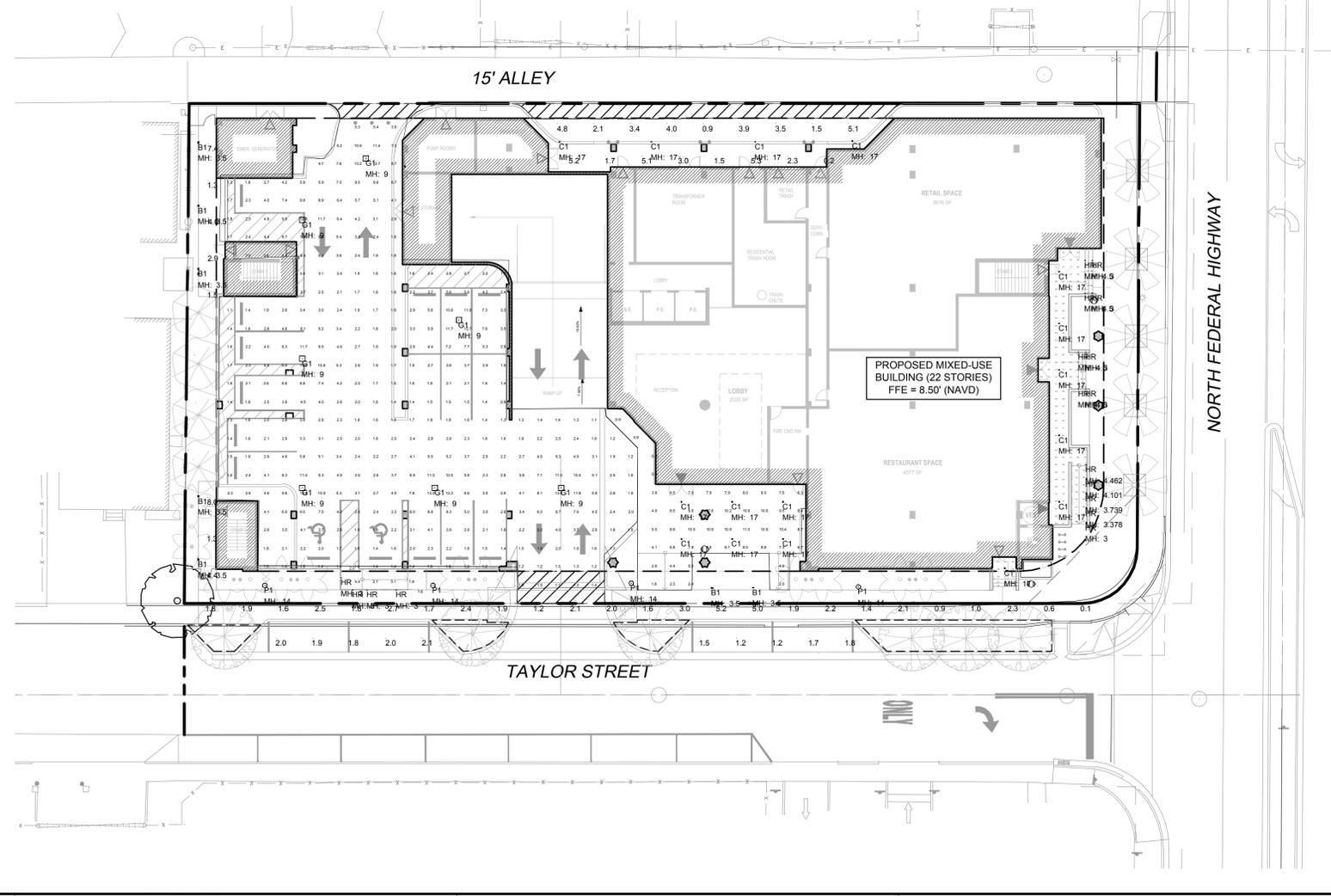
SHEET NUMBER LL-101

PROJECT NUMBER 13778.00

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EASTERN RAMP_Planar	8.62	10.9	6.4	1.35	1.70
EASTERN TERRACE_Top	7.47	13.9	4.2	1.78	3.31
ENTRY PLAZA	6.86	11.0	0.9	7.62	12.22
GARAGE L1	3.89	13.8	0.9	4.32	15.33
LANDING_Top_1	6.49	6.7	6.0	1.08	1.12
LOADING	3.24	5.1	0.9	3.60	5.67
LOADING PEDESTRIAN AREA	3.04	5.3	0.2	15.20	26.50
NORTHWEST EGRESS	3.42	7.4	1.3	2.63	5.69
SHOUTWEST EGRESS	4.57	8.0	1.3	3.52	6.15
SIDEWALK	2.04	5.2	0.1	20.40	52.00
SOUTH WEST GARAGE RAMP	2.60	4.4	1.6	1.63	2.75
NORTH EASTERN STAIR	0.51	15.1	4.9	1.94	3.08

Luminaire Schedule						
Symbol	Qty	Label	Description	Lum. Watts	Total Watts	LLF
	7	B1	LANDSCAPE FORMS BW101-T4-30K-LV1	8.0059	56.041	0.900
	16	C1	CONTECH CY3S330K12D1WVF-P	19.7	315.2	1.000
	7	G1	BEGHELLI BS400LEDHTHOWT30120-277V	60	420	1.000
	17	HR	WAGNER LULR0030KA3	2.89	49.13	1.000

- NOTES:
- THE MAXIMUM LIGHT LEVEL ALONG THE NORTHERN AND AND WESTERN PROPERTY LINES IS TO BE 0.5 FOOT-CANDLE.
 - SITE LIGHTING IDENTIFIED HERE IS FOR FIXTURE SPECIFICATION AND LOCATION ONLY. ELECTRICAL ENGINEER TO PROVIDE ALL ELECTRICAL REQUIREMENTS INCLUDING CIRCUITRY.



Plotted by: cphillips On 11/30/2023 1:48 PM

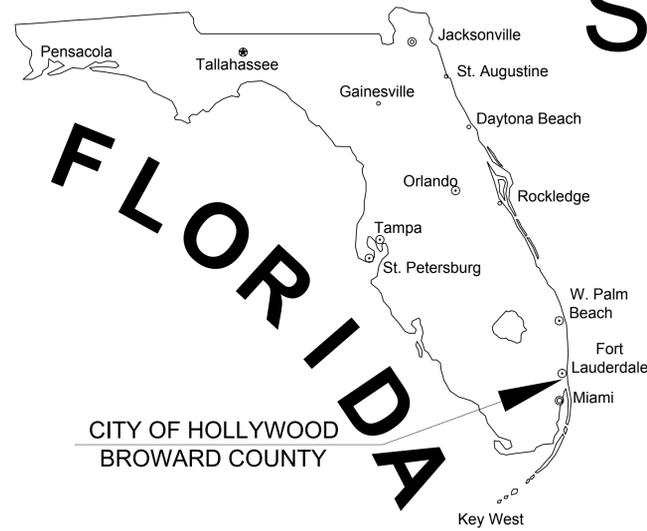
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STATUS: PRELIMINARY

STAR TOWER HOLLYWOOD

TAC SUBMITTAL #1: 07/03/2023
TAC MEETING #1: 07/17/2023

TAC SUBMITTAL #2: 09/13/2023
TAC MEETING #2: 10/02/2023



410 NORTH FEDERAL HIGHWAY
CITY OF HOLLYWOOD
BROWARD COUNTY, FLORIDA

RELATIONSHIP BETWEEN
NGVD 1929 AND NAVD 1988

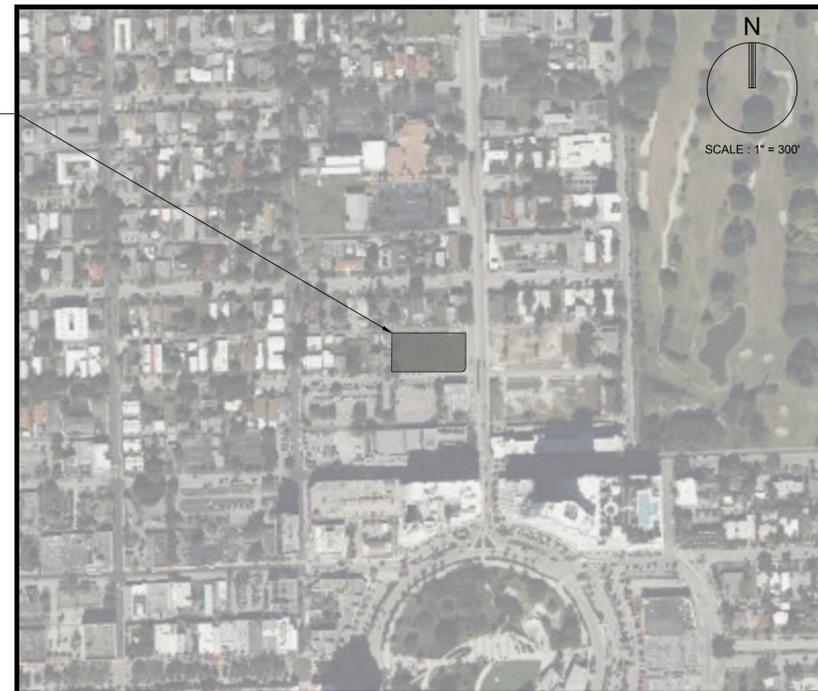
DATUM	DIFFERENCE	ELEV.
NGVD 1929	+1.51 FEET	9.55'
NAVD 1988	-1.51 FEET	8.04

ALL ELEVATIONS SHOWN ON THESE PLANS ARE
BASED ON NAVD 1988 DATUM

LAND DESCRIPTION:

LOTS 9, 10, 11, 12, 13, 14 AND 15 LESS THE EAST 15.00 FEET AND THAT PART INCLUDED IN THE EXTERNAL AREA FORMED BY A 15.00 FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF SAID LOT 15 AND TANGENT TO A LINE WHICH IS 15.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID LOT 15, BLOCK 44, OF "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SITE LOCATION



LOCATION MAP

SECTION 15, TOWNSHIP 51S, RANGE 42E
FOLIO #5142-15-01-8240

FEMA FLOOD ZONE:

THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X,
AS SHOWN ON F.I.R.M. NUM. 12011C0569H, BEARING A
MAP EFFECTIVE DATE OF 08/18/2014.

THESE PLANS MAY HAVE BEEN
REDUCED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.



INDEX OF SHEETS	
SHEET IDENTIFICATION	SHEET TITLE
GI-000	COVER SHEET
GI-001	LEGEND AND ABBREVIATIONS
GI-002	GENERAL CONSTRUCTION NOTES
GI-003	CONSTRUCTION SPECIFICATIONS
SP-101	SITE PLAN
SP-102	VEHICLE TRUCK TURN PLAN
CG-101	EROSION CONTROL PLAN
CG-501	EROSION CONTROL DETAILS
CD-101	DEMOLITION PLAN
CP-101	PAVING, GRADING, AND DRAINAGE PLAN
CP-301 - CP-302	CROSS SECTIONS
CP-501 - CP-504	PAVING, GRADING, AND DRAINAGE DETAILS
CU-101	WATER AND SEWER PLAN
CU-501 - CU-503	WATER AND SEWER DETAILS
CM-101	PAVEMENT MARKING AND SIGNAGE PLAN
CM-501 - CM-502	PAVEMENT MARKING AND SIGNAGE DETAILS

PREPARED FOR: BC ARCHITECTS
CLIENT: BC ARCHITECTS
ADDRESS: 75 VALENCIA AVENUE, STE.1000
CORAL GABLES, FL 33134



PROJECT No. 13778.00
11/16/2023

THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

Drawings name: K13778.00_Site - Tower Hollywood.rvt 11/17/2023 11:17:10 AM D:\Projects\13778.00\13778.00_GI-000.dwg Layout Name: GI-000-GEN Plotted on: Nov 27, 2023 6:13pm

REVISIONS		
NO.	DESCRIPTION	DATE

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ISSUE DATE:	11/29/2023
DESIGNED BY:	VAC
DRAWN BY:	VAC
CHECKED BY:	CM

BID-CONTRACT:
 This item has been electronically signed and sealed by Thomas F. Donahue, P.E. on the date below using a Digital Signature.
 THOMAS F. DONAHUE, P.E.
 LICENSE No. 60529
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
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THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)

CLIENT
1817 TAYLOR DEVELOPMENT LLC

PROJECT
STAR TOWER HOLLYWOOD

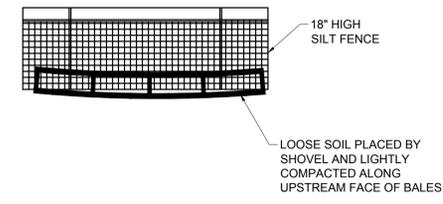
SHEET TITLE
EROSION CONTROL DETAILS

SHEET NUMBER **CG-501**
 PROJECT NUMBER **13778.00**

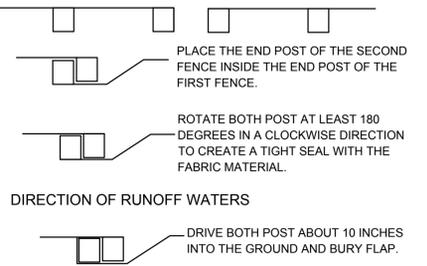
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Drawing name: K:\13778.00 - Star Tower Hollywood - 1817 Taylor Street Development.LLC\Engineering\Cadd\13778.00 CG-501.dwg

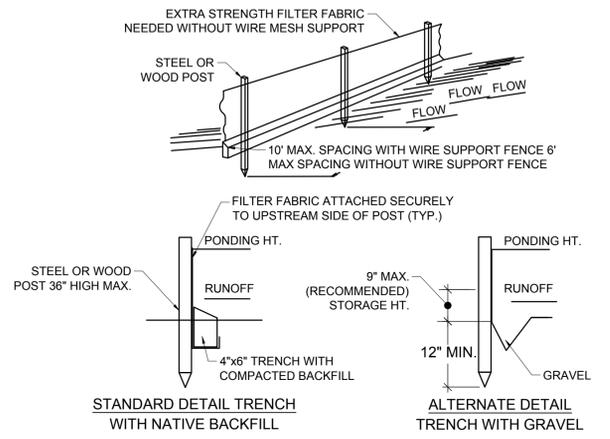
STATUS: PRELIMINARY



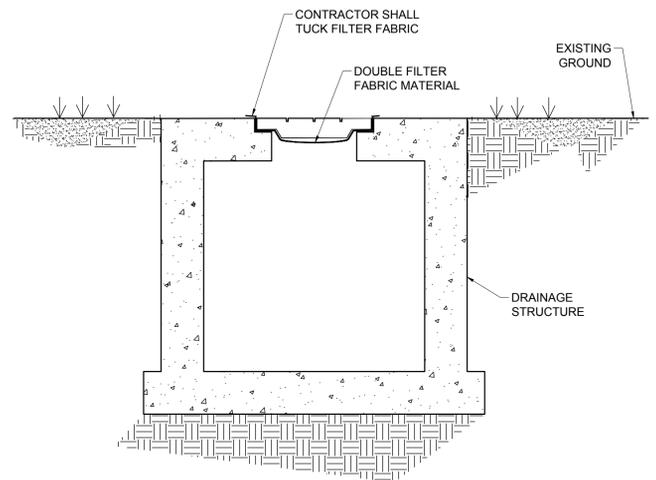
- NOTES:**
- DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING COURSES. SILT FENCES ARE TO BE PLACED AT UPLAND LOCATIONS.
 - BALES TO BE STAKED AT THE DIRECTION OF THE ENGINEER, CITY, BCPD, NSID OR SFWMD.
 - WHERE THE SILT FENCE IS USED AS SLOPE PROTECTION, IT IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.



- NOTES:**
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



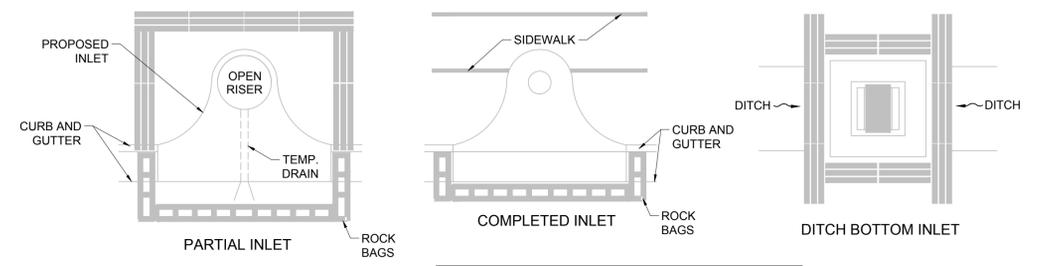
SILT FENCE



INLET / MANHOLE PROTECTION DETAIL

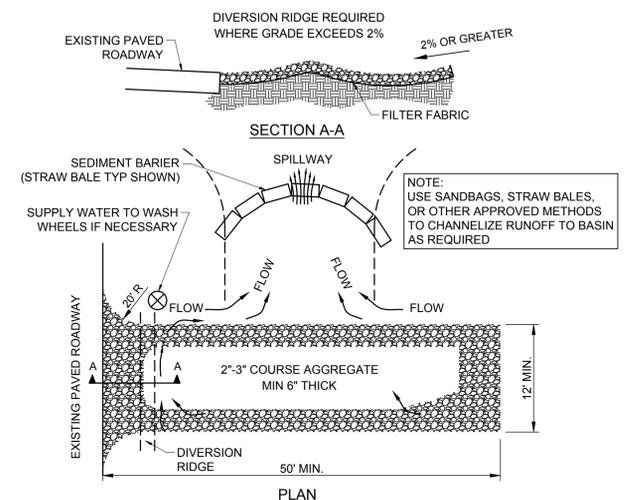
ATTACHING TWO SILT FENCES

BALES BACKED BY SILT FENCE



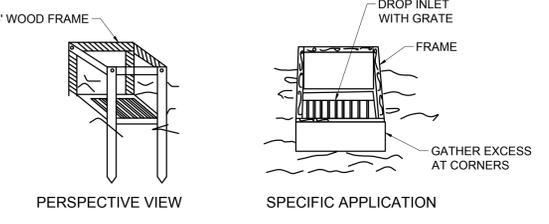
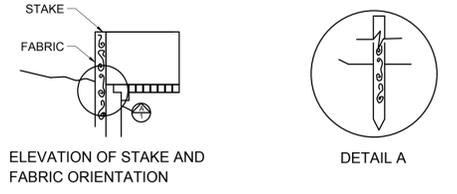
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

- NOTE:**
- ANCHOR BALES WITH 2 STAKES PER BALE.
 - WHEN USED IN CONJUNCTION WITH A SILT FENCE, BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.



- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE



THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 5%) WHERE THE INLET SHEET OR OVERLAND FLOWS (NOT EXCEEDING 1 C.F.S.) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS

**FILTER FABRIC
 DROP INLET SEDIMENT FILTER**

EROSION CONTROL GENERAL NOTES

- SILT FENCE AND TURBIDITY BARRIERS MUST REMAIN IN PLACE AND BE MAINTAINED AT ALL LOCATIONS SHOWN IN THE DRAWING UNTIL CONSTRUCTION IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN.
- CONTRACTOR SHALL SUBMIT SCHEDULE FOR THE INSTALLATION, INSPECTION AND MAINTENANCE THE EROSION CONTROLS FEATURES AS SHOWN IN THE DRAWINGS OR AS DIRECTED BY THE DESIGN ENGINEER. THE SCHEDULE SHALL SPECIFICALLY INDICATE THE SEQUENCE OF CLEARING, EARTH WORK OPERATIONS, AND WHEN THE EROSION CONTROL FEATURE WILL BE INSTALLED, INSPECTED, AND MAINTAINED. IT SHALL ALSO INCLUDE METHODS TO PREVENT POLLUTION OF STREAM, LAKES, TIDAL WATERS, CANALS, AND IMPOUNDMENTS, ESTABLISHED.

00 EROSION CONTROL DETAILS
 NOT TO SCALE



301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7923
Florida Surveyor and Mapper Business License: LB6860
Florida Landscape Architecture Business License: LC26000457

REVISIONS

NO.	DESCRIPTION	DATE
TAC - P&Z		09/13/2023
FINAL TAC - P&Z		11/15/2023
FINAL TAC-RESUBMITTAL		11/30/2023

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS.

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: XX/XX/20

DESIGNED BY: XXX

DRAWN BY: XXX

CHECKED BY: XXX

BID-CONTRACT:

This item has been electronically signed and sealed by Thomas F. Donahue, P.E. on the date below using a Digital Signature.



Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

11/30/2023

THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

CLIENT

1817 TAYLOR DEVELOPMENT LLC

PROJECT

STAR TOWER HOLLYWOOD
410 N. FEDERAL HWY HOLLYWOOD, FL 33020

SHEET TITLE

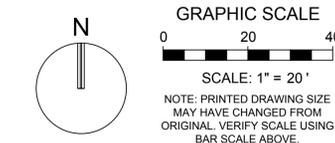
PAVING, GRADING AND DRAINAGE PLAN

SHEET NUMBER

CP-101

PROJECT NUMBER

13778.00



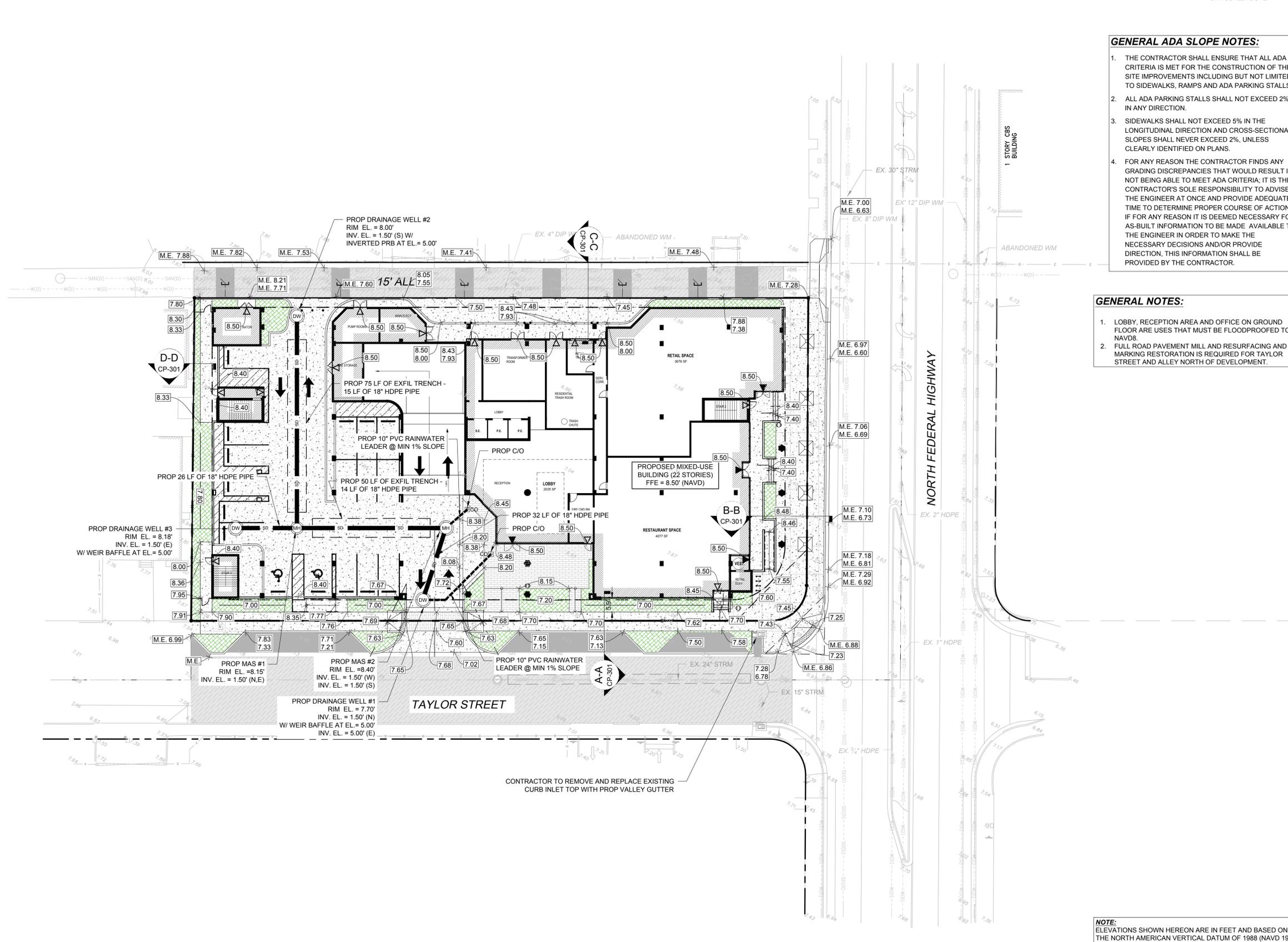
GENERAL ADA SLOPE NOTES:

1. THE CONTRACTOR SHALL ENSURE THAT ALL ADA CRITERIA IS MET FOR THE CONSTRUCTION OF THE SITE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO SIDEWALKS, RAMPS AND ADA PARKING STALLS.
2. ALL ADA PARKING STALLS SHALL NOT EXCEED 2% IN ANY DIRECTION.
3. SIDEWALKS SHALL NOT EXCEED 5% IN THE LONGITUDINAL DIRECTION AND CROSS-SECTIONAL SLOPES SHALL NEVER EXCEED 2%, UNLESS CLEARLY IDENTIFIED ON PLANS.
4. FOR ANY REASON THE CONTRACTOR FINDS ANY GRADING DISCREPANCIES THAT WOULD RESULT IN NOT BEING ABLE TO MEET ADA CRITERIA, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ADVISE THE ENGINEER AT ONCE AND PROVIDE ADEQUATE TIME TO DETERMINE PROPER COURSE OF ACTION. IF FOR ANY REASON IT IS DEEMED NECESSARY FOR AS-BUILT INFORMATION TO BE MADE AVAILABLE TO THE ENGINEER IN ORDER TO MAKE THE NECESSARY DECISIONS AND/OR PROVIDE DIRECTION, THIS INFORMATION SHALL BE PROVIDED BY THE CONTRACTOR.

GENERAL NOTES:

1. LOBBY, RECEPTION AREA AND OFFICE ON GROUND FLOOR ARE USES THAT MUST BE FLOODPROOFED TO 11' NAVDS.
2. FULL ROAD PAVEMENT MILL AND RESURFACING AND MARKING RESTORATION IS REQUIRED FOR TAYLOR STREET AND ALLEY NORTH OF DEVELOPMENT.

NOTE:
ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).



Plotted by: cmorelles On 11/30/2023 3:46 PM

Drawing name: K:\13778.00 - Star Tower Hollywood - 1817 Taylor Street Development.LLC\Engineering\Cadd\13778.00 CP-101.dwg

STATUS: PRELIMINARY

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
 NOT FOR CONSTRUCTION**
 THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 11/29/2023
 DESIGNED BY: VAC
 DRAWN BY: VAC
 CHECKED BY: CM

BID-CONTRACT:
 This item has been electronically signed and sealed by Thomas F. Donahue, P.E. on the date below using a Digital Signature.
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE No. 60529
 11/30/2023

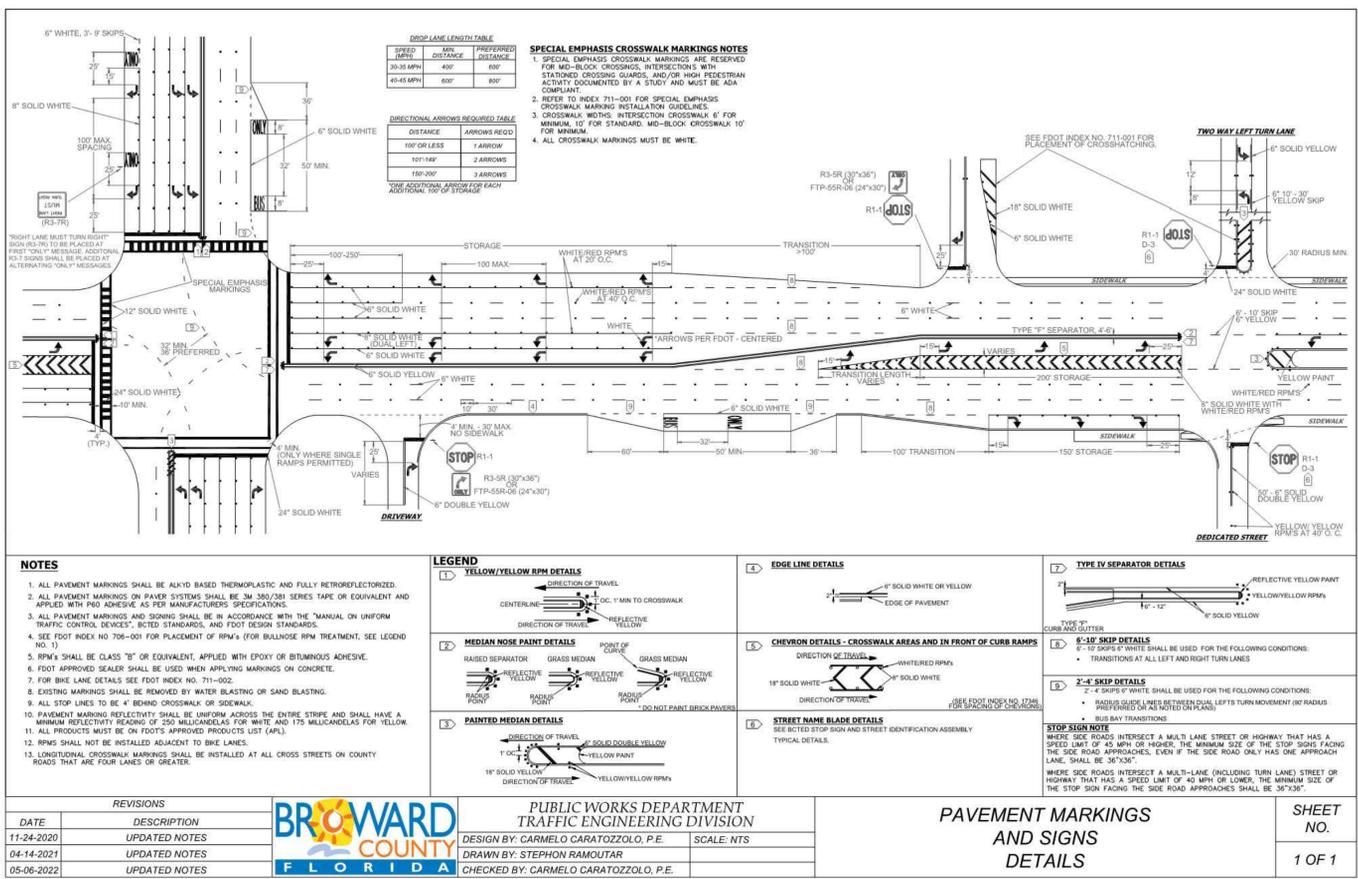
THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)

CLIENT
1817 TAYLOR DEVELOPMENT LLC

PROJECT
STAR TOWER HOLLYWOOD

SHEET TITLE
PAVEMENT MARKING AND SIGNAGE DETAILS

SHEET NUMBER **CM-501**
 PROJECT NUMBER **13778.00**



REVISIONS
 DATE DESCRIPTION
 11-24-2020 UPDATED NOTES
 04-14-2021 UPDATED NOTES
 05-06-2022 UPDATED NOTES



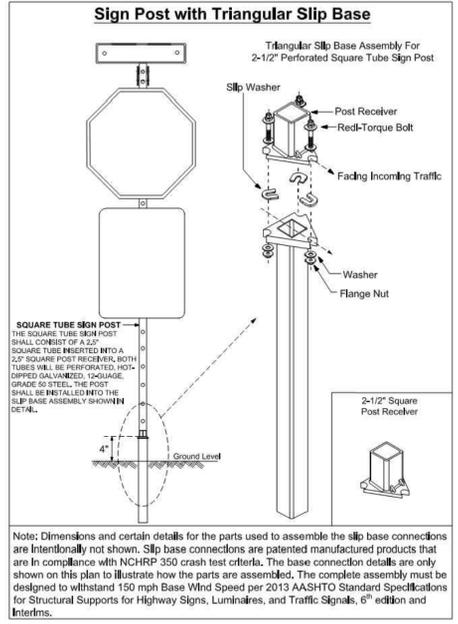
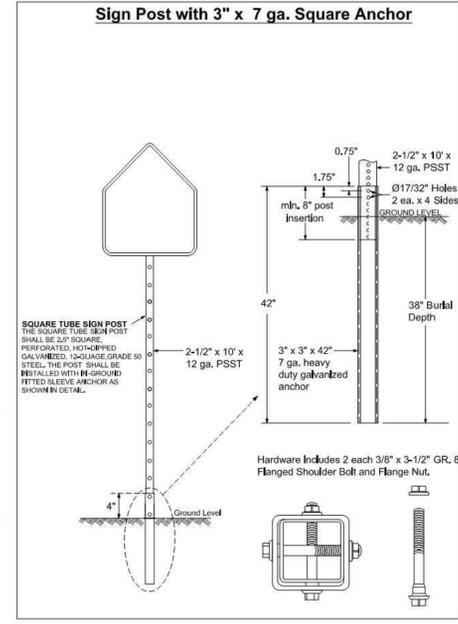
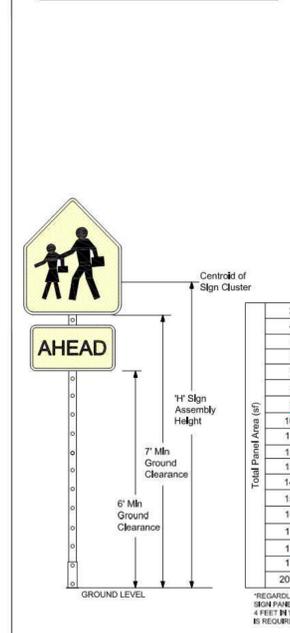
**PUBLIC WORKS DEPARTMENT
 TRAFFIC ENGINEERING DIVISION**
 DESIGN BY: CARMELO CARATTOZZOLO, P.E.
 DRAWN BY: STEPHON RAMOUTAR
 CHECKED BY: CARMELO CARATTOZZOLO, P.E.

**PAVEMENT MARKINGS
 AND SIGNS
 DETAILS**

SHEET NO.
 1 OF 1

GUIDE TO USE THIS STANDARD:

- Calculate the Total Panel Area and the centroid 'C' for an individual sign or a sign cluster.
- Determine the height 'H' from the groundline for the individual sign or the cluster.
- Consult the Post Size Table and find the intersection point.
- Design the post and the foundation according to the required Post Size and Assembly Details.



REVISIONS
 DATE DESCRIPTION
 03-21-2017 UPDATED POST SIZE
 11-24-2020 ADDED POST SIZE NOTE
 02-05-2021 UPDATED POST BASE HEIGHT



**PUBLIC WORKS DEPARTMENT
 TRAFFIC ENGINEERING DIVISION**
 DESIGN BY: YVES D'AMOU, P.E.
 DRAWN BY: STEPHON RAMOUTAR
 CHECKED BY: ANDREW SEBO, P.E., PTOE

**GROUND SIGN ASSEMBLY
 DETAILS**

SHEET NO.
 1 OF 1

