

# PARK ROAD COMMERCIAL

## City of Hollywood, Broward County, Florida SITE PLAN

### OWNER:

CITY OF HOLLYWOOD  
2600 HOLLYWOOD BLVD  
HOLLYWOOD, FL. 33020  
(954) 921-3620

### ARCHITECT:

ARCHITECTURAL ALLIANCE LADSCAPE  
PETE EBERSOLE  
612 SW 4TH AVENUE  
FORT LAUDERDALE, FL. 33315  
(954) 764-8858  
pebersole@archall.net

### LANDSCAPE ARCHITECT:

EDSA  
XIAOYUAN DU  
1512 EAST BROWARD BOULEVARD  
SUITE 110  
FORT LAUDERDALE, FL 33301  
(954) 524-3330  
xdu@edsaplan.com

### CIVIL ENGINEER:

SUN-TECH ENGINEERING, INC.  
CLIFFORD LOUTAN, P.E.  
4577 NOB HILL ROAD, SUITE 102  
SUNRISE, FL 33351  
(954)777-3123  
cloutan@suntecheng.com

### SURVEYOR:

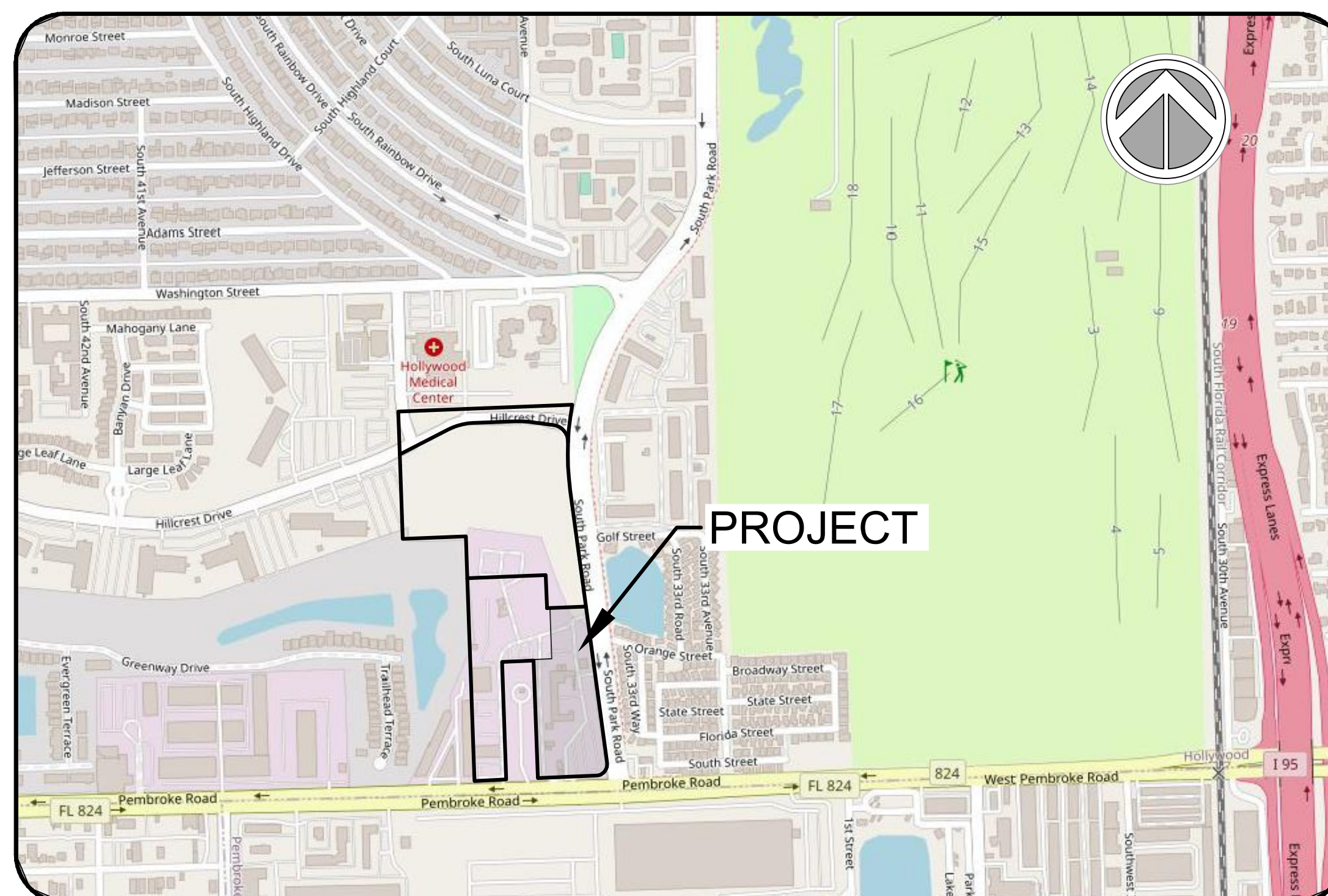
PULICE LAND SURVEYORS, INC.  
5381 NOB HILL ROAD.  
SUNRISE, FLORIDA 33351  
(954) 572-1777  
surveys@pulicelandsurveyors.com

### LEGAL DESCRIPTION:


BLOCKS 1, 2, 9, & 10 AND PORTIONS OF BLOCKS 3 & 8 AND THE RIGHTS-OF-WAY ADJACENT THERETO, "HOLLYWOOD GOLF HEIGHTS", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 13, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND PORTIONS OF THE NORTHWEST 1/4 OF SECTION 20, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID NORTHWEST 1/4 OF SECTION 20; THENCE NORTH 02°01'27" WEST ON THE WEST LINE OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20 FOR 50.00 FEET TO A POINT ON A LINE 50 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF SAID NORTHWEST 1/4 OF SECTION 20 AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 02°01'27" WEST ON SAID WEST LINE 1,297.02 FEET TO THE NORTHWEST CORNER OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20; THENCE SOUTH 87°40'46" WEST ON THE SOUTH LINE OF THE NORTHWEST 1/4 OF SAID NORTHWEST 1/4 OF SECTION 20 FOR 334.55 FEET TO THE SOUTHWEST CORNER OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20; THENCE NORTH 02°00'44" WEST ON THE WEST LINE OF SAID EAST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20 FOR 674.59 FEET TO THE NORTHWEST CORNER OF SAID EAST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20; THENCE NORTH 87°45'54" EAST ON THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTH 1/2 OF SAID NORTHWEST 1/4 OF SECTION 20 FOR 922.43 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH PARK ROAD, BEING THE ARC OF A CIRCULAR CURVE CONCAVE EASTERLY, FROM WHICH A RADIAL LINE BEARS SOUTH 79°35'07" EAST; THENCE SOUTHERLY ON SAID WESTERLY RIGHT-OF-WAY LINE ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1,440.00 FEET, A CENTRAL ANGLE OF 18°08'31", FOR AN ARC DISTANCE OF 455.12 FEET TO A POINT OF TANGENCY; THENCE SOUTH 07°41'39" EAST ON SAID WESTERLY RIGHT-OF-WAY LINE 1,456.73 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 60.00 FEET, A CENTRAL ANGLE OF 95°11'49", FOR AN ARC DISTANCE OF 99.69 FEET TO A POINT OF TANGENCY ON THE AFOREMENTIONED PARALLEL LINE; THENCE SOUTH 87°30'19" WEST ON SAID PARALLEL LINE 310.27 FEET TO A POINT ON THE WEST LINE OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20; THENCE NORTH 32°02'13" WEST ALONG SAID WEST LINE 623.10 FEET TO THE NORTHWEST CORNER OF SAID EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 20; THENCE SOUTH 87°36'04" WEST ON THE NORTH LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20 FOR 167.34 FEET TO THE NORTHEAST CORNER OF THE WEST 1/4 OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20; THENCE SOUTH 02°01'52" EAST ALONG THE EAST LINE OF SAID WEST 1/4 FOR 623.38 FEET TO A POINT ON SAID PARALLEL LINE; THENCE SOUTH 87°30'19" WEST ON SAID PARALLEL LINE 168.31 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAINING 1,340,527 SQUARE FEET (30.7743 ACRES), MORE OR LESS.



SECTION 20, TOWNSHIP 51, RANGE 42  
LOCATION MAP  
N.T.S.



**STE Sun-Tech Engineering, Inc.**  
Engineers - Planners - Surveyors

4577 Nob Hill Road, Suite 102  
Sunrise, FL 33351  
www.suntecheng.com

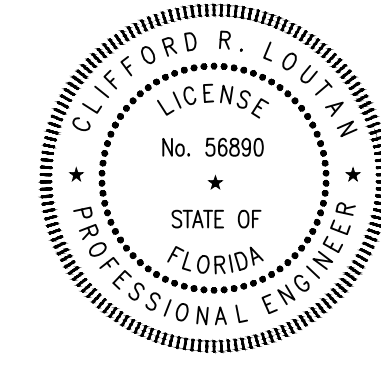
Certificate of Auth. #7097/LB 7019  
Phone (954) 777-3123  
Fax (954) 777-3114

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A.02	RESTAURANT FLOOR PLAN
A.03	RESTAURANT ROOF PLAN
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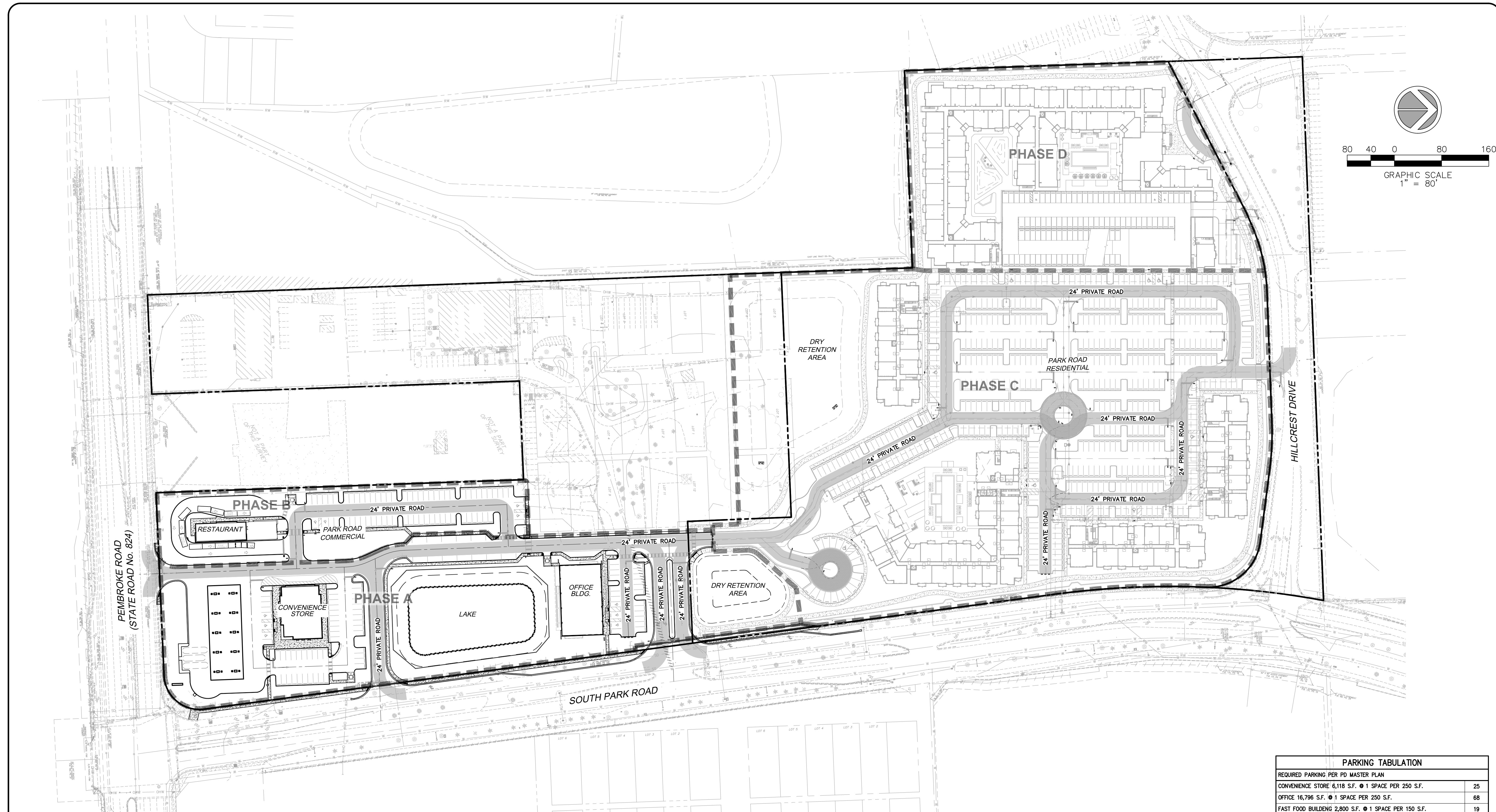
Always call 811 two full business days before you dig



PROJECT NO. 20-4027  
DESIGN DATE: DEC. 2023



Date: September 25, 2024  
This item has been digitally signed and sealed by CLIFFORD R. LOUTAN, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



NO.	DATE	DESCRIPTION

**PARK ROAD COMMERCIAL**  
 CITY OF HOLLYWOOD FLORIDA  
**SITE PLAN**  
**OVERALL PLAN**

DATE: 8/22/24  
 SCALE: 1"=80'  
 DESIGNED BY: M.G.  
 DRAWN BY: A.V.  
 JOB #: 20-4027

DATE: September 25, 2024  
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FILE: K:\PROJECTS\20-xxx\20-4027.dwg 4027sp-comm-ov.dwg  
 PLOT DATE: 9/25/2024 10:27 AM BY: Andy Venneman  
 LAYOUT: [SP-0]

- NOTES:**
- ALL UTILITIES AND STORM WATER REQUIREMENTS WILL BE APPLICABLE GOVERNMENTAL REGULATIONS IS REQUIRED.
  - WATER AND SEWER PROVIDED BY CITY OF HOLLYWOOD.
  - ALL RESIDENTIAL DEVELOPMENTS THAT ANTICIPATE PHASED DEVELOPMENT SHALL INCLUDE ALL PROPOSED AMENITIES IN TOTAL. ANY UP FORM 1/2", BUT NOT GREATER THAN 1/2" WILL BEVELED TO MEET ADA REQUIREMENTS.
  - ALL SIGNAGE SHALL BE IN COMPLIANCE W/THE ZONING AND LAND DEVELOPMENT REGULATIONS.
  - MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 ALLOWANCE)

APPLICABLE CODE REFERENCES	
ADDRESS	1600 S. PARK ROAD HOLLYWOOD, FL 33021
JURISDICTION	CITY OF HOLLYWOOD
EXISTING ZONING	GU (GOVERNMENT USE)
PROPOSED ZONING	PD
EXISTING LAND USE	UTIL (UTILITIES)
PROPOSED LAND USE	GENERAL BUSINESS HIGH (50) RESIDENTIAL
BUILDING HEIGHT	100' MAX. ALLOWED CONVENIENCE STORE: 26' OFFICE BUILDING: 39' RESTAURANT: 24'
GROSS SITE AREA	270,769 S.F. = 6.22 AC.
NET SITE AREA	270,769 S.F. = 6.22 AC.

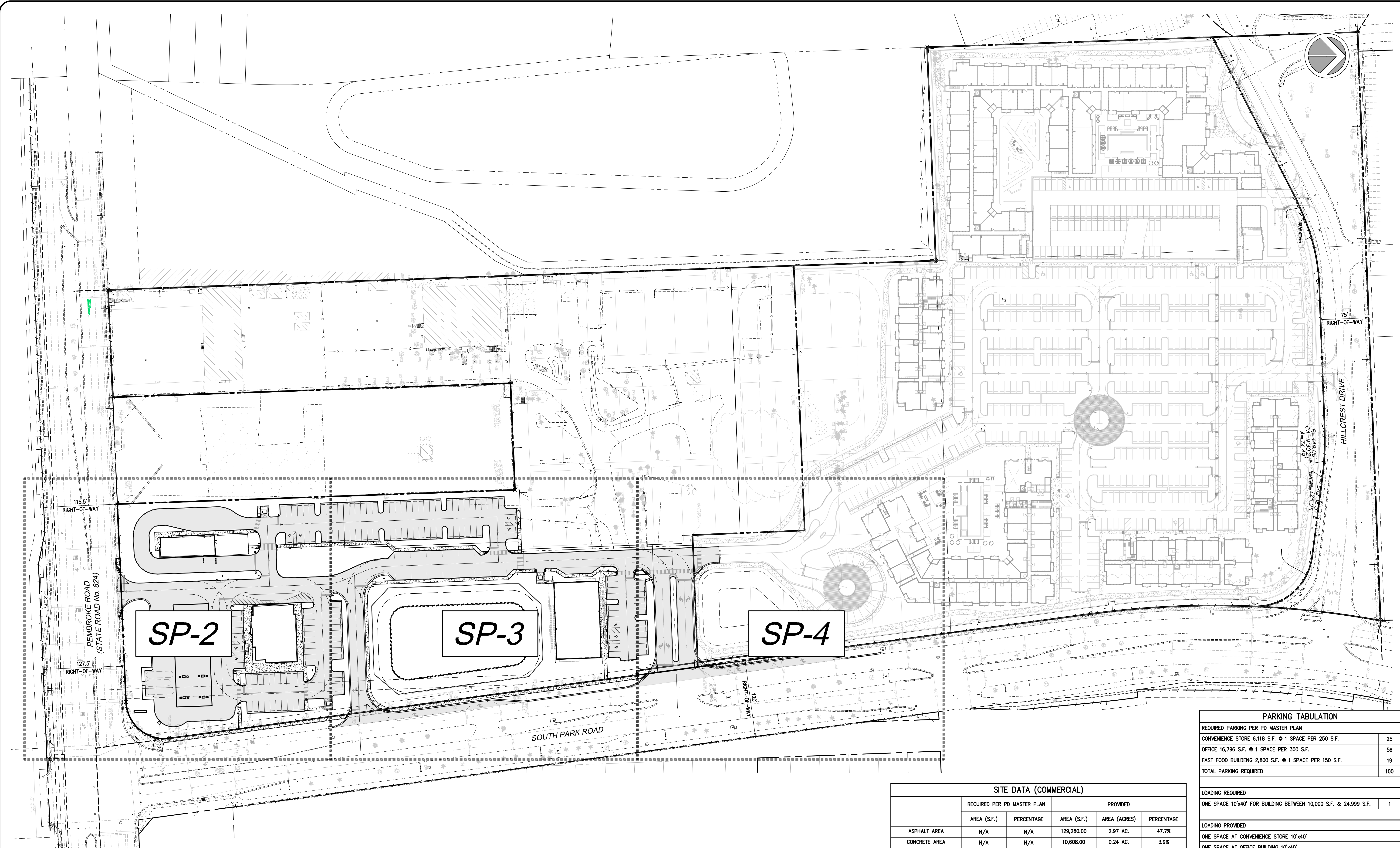
SETBACKS		
	REQUIRED PER PD MASTER PLAN	PROVIDED
NORTH (REAR)	15'	149.78'
SOUTH (FRONT)	15'	62.98'
EAST (SIDE)	15'	34.53'
WEST (SIDE)	15'	53.69'
INTERNAL STREET TO R/W	20'	13.07'

PER PD MASTER PLAN SHOULD SETBACKS ON THE PROPOSED SITE PLAN BE LESS, THE LESS RESTRICTIVE SETBACK WILL APPLY.

SITE DATA (COMMERCIAL)					
	REQUIRED PER PD MASTER PLAN		PROVIDED		
	AREA (S.F.)	PERCENTAGE	AREA (S.F.)	AREA (ACRES)	PERCENTAGE
ASPHALT AREA	N/A	N/A	129,280.00	2.97 AC.	47.7%
CONCRETE AREA	N/A	N/A	10,608.00	0.24 AC.	3.9%
BUILDINGS	67,692	25%	17,249.00	0.40 AC.	6.4%
SIDEWALK	N/A	N/A	11,544.00	0.27 AC.	4.3%
LAKE	N/A	N/A	22,149.00	0.51 AC.	8.2%
LANDSCAPE AREA	67,692	25%	79,939.00	1.84 AC.	29.5%
TOTAL NET AREA			270,769.00	6.22 AC.	100.0%
OPEN SPACE (LANDSCAPE & LAKE AREA)	67,692	25%	102,088.00	2.34 AC.	37.7%
VEHICULAR USE AREA (LANDSCAPING (VUA) = 129,280 X 0.25)	32,320	25%	44,321.22		34.28%

PERVIOUS CALCULATIONS			
	PERVIOUS	IMPERVIOUS	
	AREA (S.F.)	AREA (ACRES)	PERCENTAGE
PERVIOUS	79,939.00	1.84 AC.	29.5%
IMPERVIOUS	190,830.00	4.38 AC.	70.5%

PARKING TABULATION	
REQUIRED PARKING PER PD MASTER PLAN	
CONVENIENCE STORE 6,118 S.F. @ 1 SPACE PER 250 S.F.	25
OFFICE 16,796 S.F. @ 1 SPACE PER 250 S.F.	68
FAST FOOD BUILDING 2,800 S.F. @ 1 SPACE PER 150 S.F.	19
FAST FOOD PATIO 1,697 S.F. @ 1 SPACE PER 60 S.F.	29
TOTAL PARKING REQUIRED	141
LOADING REQUIRED	
ONE SPACE 10'x40' FOR BUILDING BETWEEN 10,000 S.F. & 24,999 S.F.	1
LOADING PROVIDED	
ONE SPACE AT CONVENIENCE STORE 10'x40'	
ONE SPACE AT OFFICE BUILDING 10'x40'	2
TOTAL PROVIDED	
TOTAL PARKING PROVIDED	
9'x19' - 90 DEGREE PARKING	129
10'x25' - PARALLEL PARKING	12
9'x19' - EV PARKING	6
12'x19' - HANDICAP PARKING	9
9'x19' - HANDICAP PARKING (VAN ACCESSIBLE)	1
TOTAL PARKING PROVIDED	157
TOTAL HANDICAP SPACES REQUIRED	
FOR PARKING PROVIDED BETWEEN 151 - 200 SPACES	7



FILE: K:\PROJECTS\20-xxx\20-4027\dwg\4027sp-comm.dwg  
 PLOT DATE: 9/25/2024 10:28 AM BY: Andy Venneman  
 LAYOUT: [SP-1]

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  - MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 ALLOWANCE)
  - ALL SIGNS WHICH ARE ELECTRONICALLY ILLUMINATED BY NEON OR OTHER MEANS SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH PLAN.
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IMPERVIOUS	190,830.00	4.38 AC.	70.5%

PARKING TABULATION	
REQUIRED PARKING PER PD MASTER PLAN	
CONVENIENCE STORE 6,118 S.F. @ 1 SPACE PER 250 S.F.	25
OFFICE 16,796 S.F. @ 1 SPACE PER 300 S.F.	56
FAST FOOD BUILDING 2,800 S.F. @ 1 SPACE PER 150 S.F.	19
TOTAL PARKING REQUIRED	100

LOADING REQUIRED	
ONE SPACE 10'x40' FOR BUILDING BETWEEN 10,000 S.F. & 24,999 S.F.	1
LOADING PROVIDED	
ONE SPACE AT CONVENIENCE STORE 10'x40'	
ONE SPACE AT OFFICE BUILDING 10'x40'	
TOTAL PROVIDED	2

TOTAL PARKING PROVIDED	
9'x19' - 90 DEGREE PARKING (DOES NOT INCLUDE CITY PARCEL)	79
10'x25' - PARALLEL PARKING	12
9'x19' - EV PARKING	6
12'x19' - HANDICAP PARKING (DOES NOT INCLUDE CITY PARCEL)	7
9'x19' - HANDICAP PARKING (VAN ACCESSIBLE)	1
TOTAL PARKING PROVIDED	105
TOTAL PARKING PROVIDED CITY PARCEL	52
TOTAL PARKING THIS SITE PLAN	157

TOTAL HANDICAP SPACES REQUIRED	
FOR PARKING PROVIDED BETWEEN 100 - 105 SPACES	6

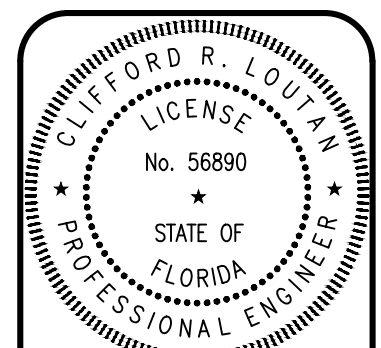
4577 Nob Hill Road, Suite 102  
 Sunrise, FL 33351  
 www.suntecheng.com  
 Certificate of Auth. #7057LB 7019  
 Phone (954) 777-3123  
 Fax (954) 777-3114



REVISIONS	
NO.	DESCRIPTION

PARK ROAD COMMERCIAL  
 FLORIDA  
 CITY OF HOLLYWOOD  
 SITE PLAN KEY MAP

DATE: 8/22/24  
 SCALE: N.T.S.  
 DESIGNED BY: M.G.  
 DRAWN BY: I.A.B.  
 JOB #: 20-4027

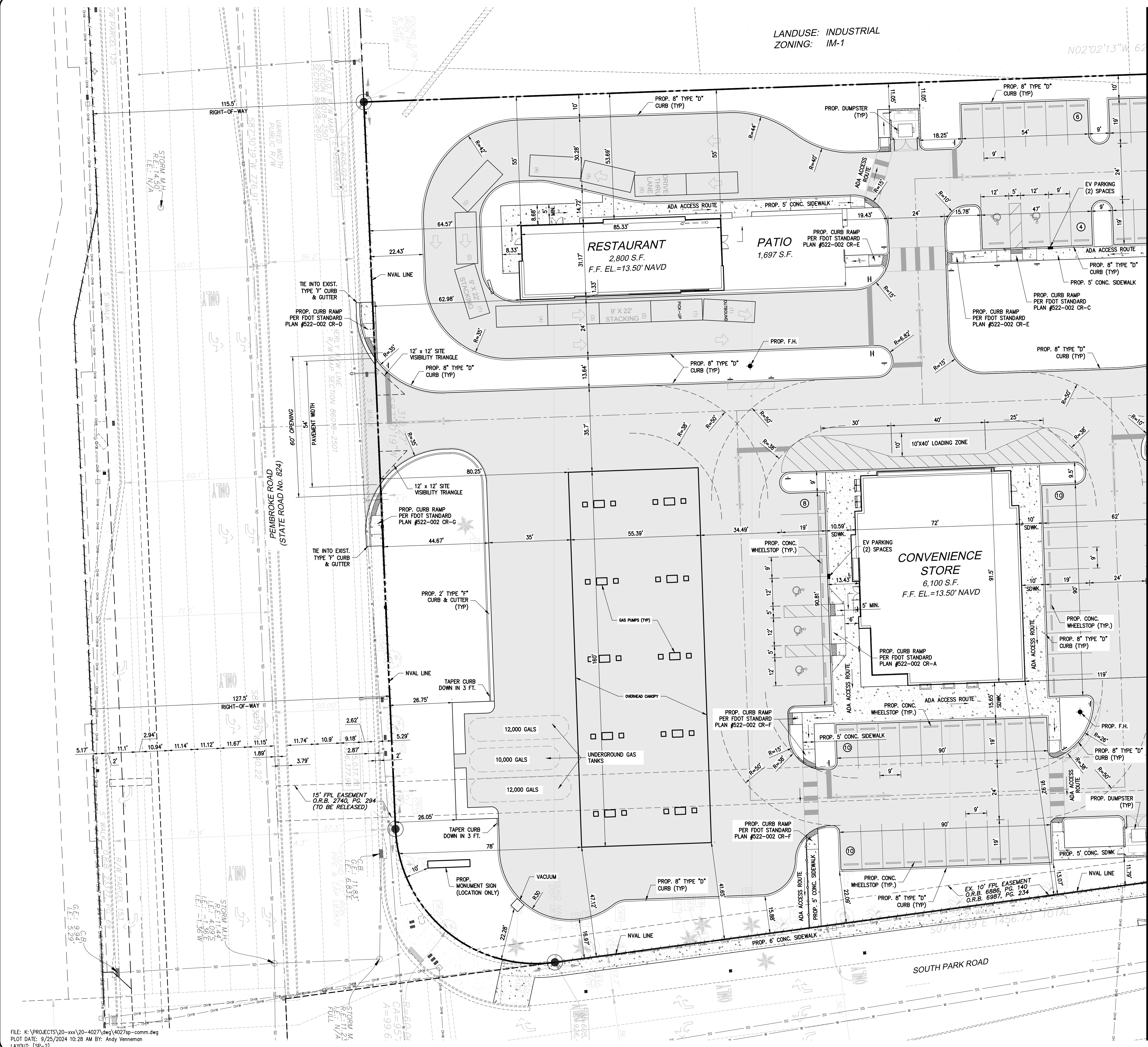
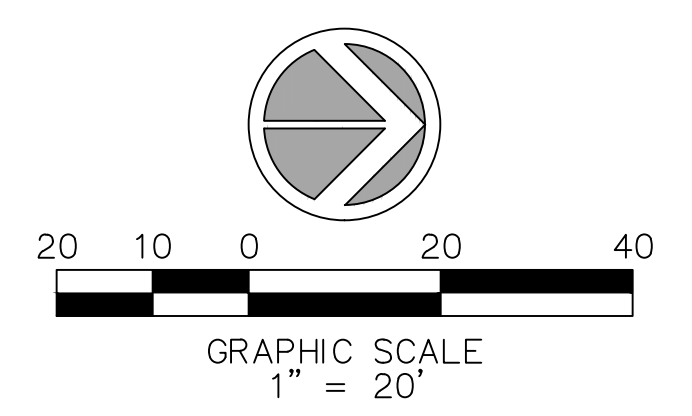


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SHEET No.  
 SP-1

LANDUSE: INDUSTRIAL  
ZONING: IM-1

N02°02'13"W, 61'



MATCH LINE FOR CONTINUATION SEE SHEET SP-3

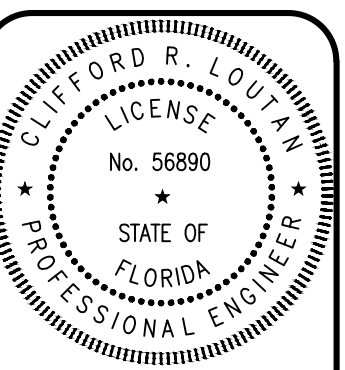
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NO.	DATE	DESCRIPTION

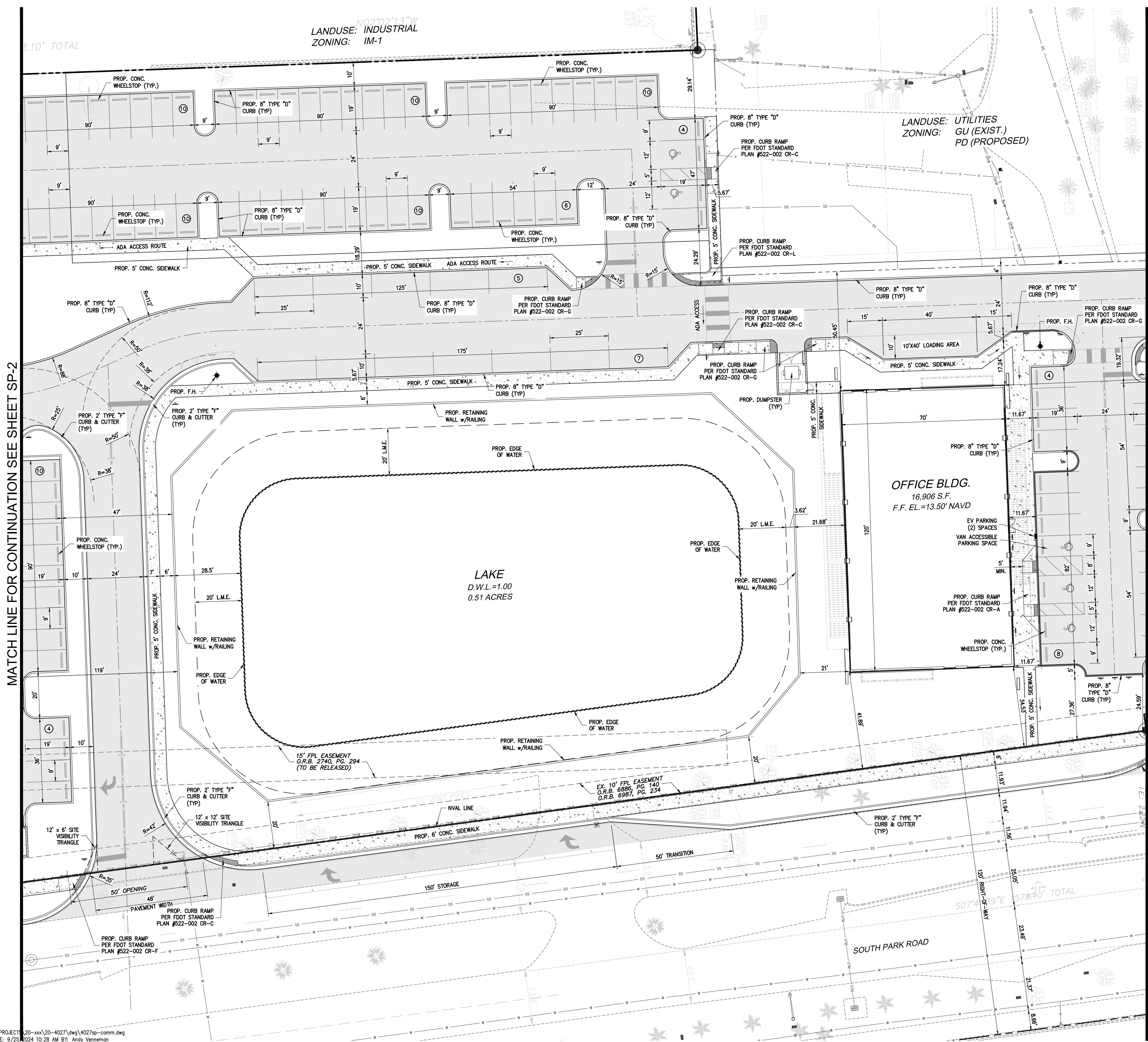
**PARK ROAD COMMERCIAL**  
FLORIDA  
CITY OF HOLLYWOOD  
**SITE PLAN**

DATE: 8/22/24  
SCALE: 1" = 20'  
DESIGNED BY: M.G.  
DRAWN BY: I.A.B.  
JOB #: 20-4027



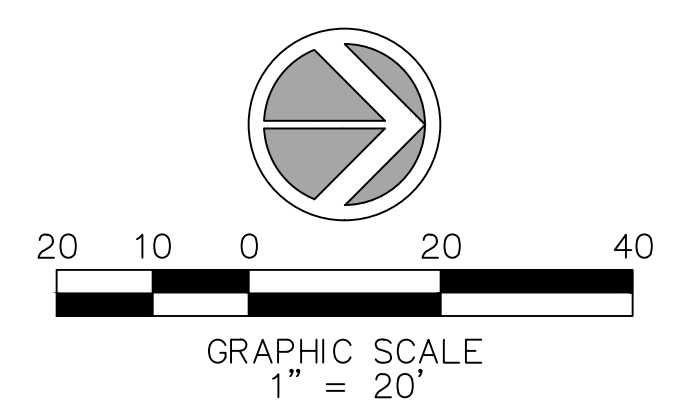
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SHEET No.  
SP-2



MATCH LINE FOR CONTINUATION SEE SHEET SP-2

MATCH LINE FOR CONTINUATION SEE SHEET SP-4



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Sunrise, FL 33351  
www.suntech.com  
Certificate of Auth. #7057LB 7019  
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**STE Sun-Tech Engineering, Inc.**  
Engineers - Planners - Surveyors

NO.	DATE	DESCRIPTION

**PARK ROAD COMMERCIAL**  
FLORIDA  
CITY OF HOLLYWOOD

**SITE PLAN**

DATE: 8/22/24  
SCALE: 1" = 20'  
DESIGNED BY: M.G.  
DRAWN BY: I.A.B  
JOB #: 20-4027

CLIFFORD R. LOUTAN  
LICENSE  
No. 56890  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

Date: September 25, 2024  
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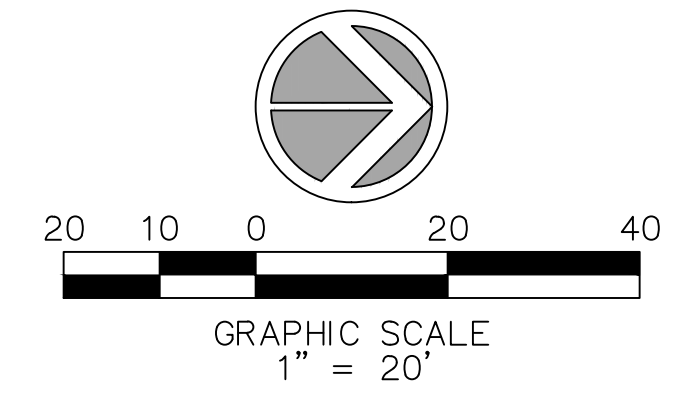
SHEET No.  
SP-3

MATCH LINE FOR CONTINUATION SEE SHEET SP-3

LANDUSE: UTILITIES  
ZONING: GU (EXIST.)  
PD (PROPOSED)

LANDUSE: UTILITIES  
ZONING: GU (EXIST.)  
PD (PROPOSED)

DRY RETENTION  
AREA  
BOTTOM EL. = 2.00



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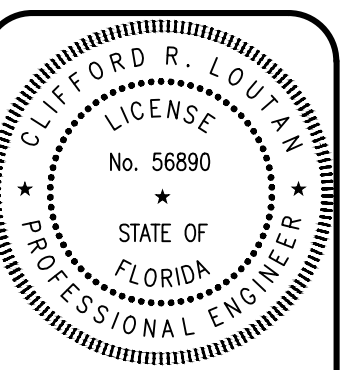
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Engineering, Inc.  
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NO.	DATE	DESCRIPTION

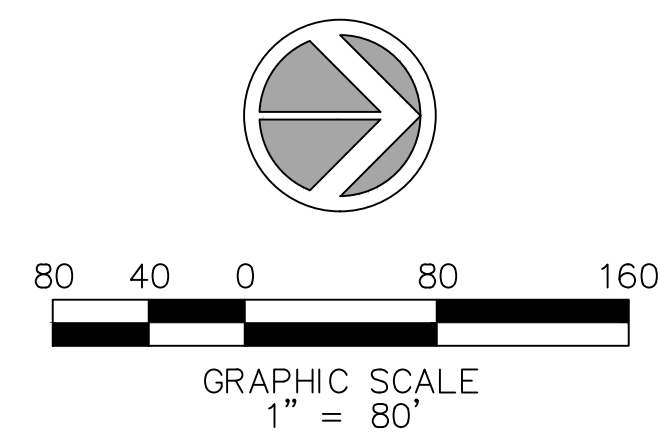
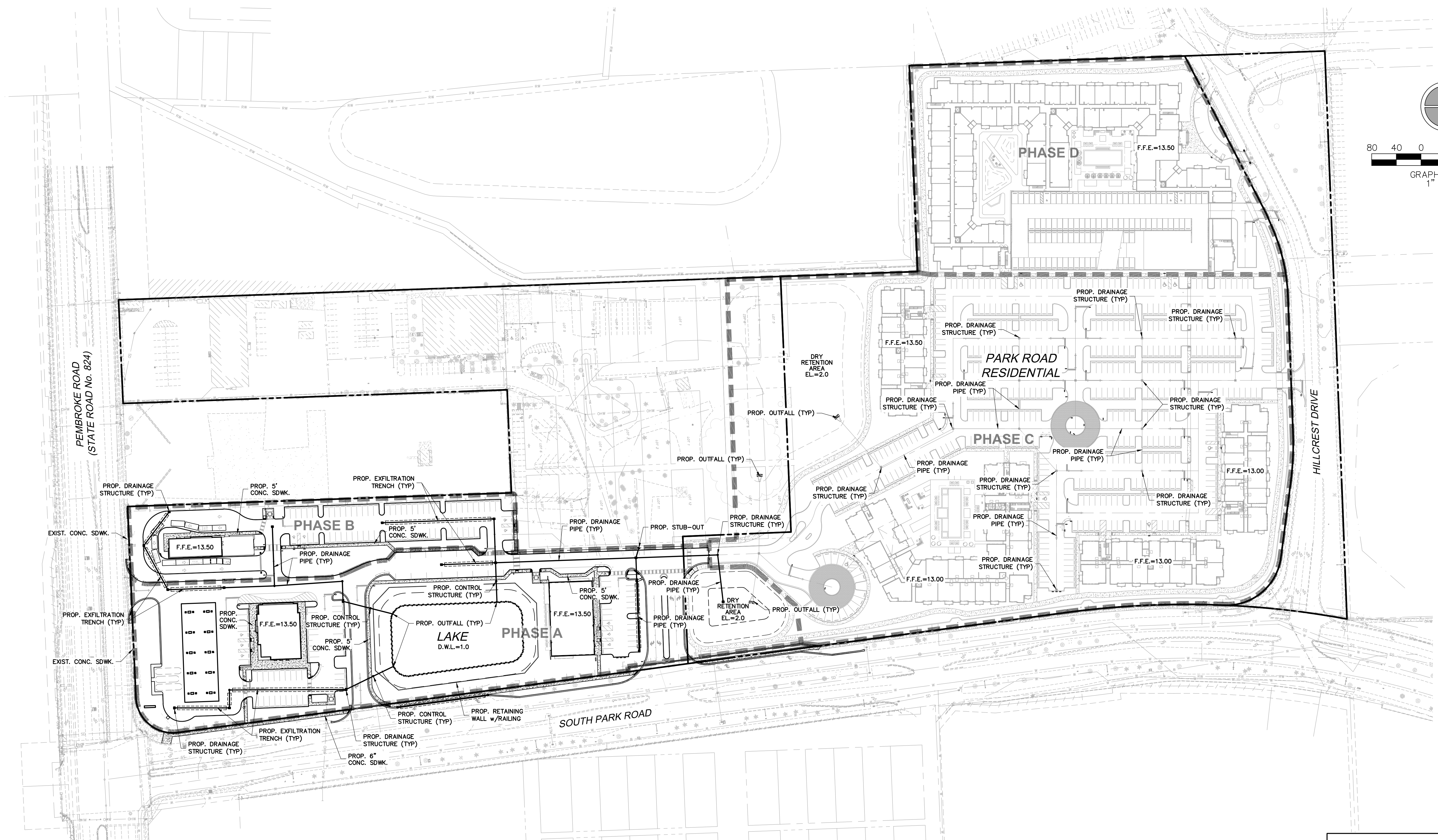
**PARK ROAD COMMERCIAL**  
FLORIDA  
CITY OF HOLLYWOOD  
**SITE PLAN**

DATE: 8/22/24  
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DRAWN BY: I.A.B  
JOB #: 20-4027



Date: September 25, 2024  
This item has been digitally signed and sealed by CLIFFORD R. LOUTAN, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

SHEET No.  
**SP-4**



NO.	DATE	DESCRIPTION

**PARK ROAD COMMERCIAL**  
 CITY OF HOLLYWOOD FLORIDA  
**PAVING & DRAINAGE OVERALL PLAN**

DATE: 8/22/24  
 SCALE: 1"=80'  
 DESIGNED BY: M.G.  
 DRAWN BY: A.V.  
 JOB #: 20-4027

Date: September 25, 2024  
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**PAVING & DRAINAGE LEGEND**

—	PROPERTY LINE
---	RIGHT-OF-WAY LINE
R.E.	RIM ELEVATION
G.E.	GRATE ELEVATION
I.E.	INVERT ELEVATION
→	DIRECTION OF FLOW
150' @ 0.5%	PAVEMENT SLOPE
P.R.B.	POLLUTION RETARDANT BASIN
F.F.= 10.00	FINISHED FLOOR ELEVATION
---	EXISTING OR FUTURE UTILITIES
○	CATCH BASIN
○	STRUCTURE DESIGNATION
■	LENGTH, SIZE OF STORM DRAIN
▨	EXISTING GRADE
▩	PROPOSED GRADE
▧	D.I.P. PIPE
■	DRAINAGE STRUCTURE w/PIPE
▨	DRAINAGE STRUCTURE w/EXFILTRATOR TRENCH

**NOTE:**  
 ALL ELEVATIONS IN N.A.V.D. 88.  
 CONVERSION FACTOR FROM N.G.V.D. 29 TO N.A.V.D. 88 IS (-)1.58 (11.00 N.G.V.D. = 9.42 N.A.V.D.)



$R = 100.00'$   
 $\Delta = 1.57'$   
 $\theta = 1.73^\circ$   
 $L = 31.42'$   
 $E = 100.00'$   
 $S = 1.57'$

- NOTE:**
- ALL ELEVATIONS IN N.A.V.D. 88.
  - CONVERSION FACTOR FROM N.G.V.D. 29 TO N.A.V.D. 88 IS (-)1.58 (11.00 N.G.V.D. = 9.42 N.A.V.D.)
  - ANY LIP FROM 1/2" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.
  - ADJACENT CITY ROADWAY WILL BE MILLED AND RESURFACED AS SHOWN.
  - ALL DRIVEWAY CONNECTIONS TO EXISTING ROADWAYS ARE ASPHALT WITH A MINIMUM 8" LIMEROCK BASE AND 1 1/2" TYPE SP 9.5 ASPHALTIC CONCRETE OVER PRIME COAT (DBL. COURSE) DRIVEWAY TO BE CONSTRUCTED FLUSH WITH EXISTING ROADWAY AND EXISTING ASPHALT TO BE SAWCUT FOR A CLEAN STRAIGHT EDGE.
  - ALL ROOF DRAINS WILL BE TIED DIRECTLY INTO DRAINAGE STRUCTURES.
  - SWALES TO BE RESTORED ALONG RIGHT-OF-WAY ADJACENT TO THE PROPERTY IN ACCORDANCE WITH CITY DETAIL.

**PAVING & DRAINAGE LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY LINE
R.E.	RIM ELEVATION
G.E.	GRATE ELEVATION
I.E.	INVERT ELEVATION
	DIRECTION OF FLOW
150' @ 0.5%	PAVEMENT SLOPE
P.R.B.	POLLUTION RETARDANT BASIN
F.F. = 10.00	FINISHED FLOOR ELEVATION
	EXISTING OR FUTURE UTILITIES
	STRUCTURE DESIGNATION
	LENGTH, SIZE OF STORM DRAIN
	EXISTING GRADE
	PROPOSED GRADE
	D.I.P. PIPE
	CONCRETE
	PAVEMENT
	MILL AND RESURFACE LIMITS

FILE: K:\PROJECTS\20-xxx\20-4027.dwg 40274-comm.dwg  
 PLOT DATE: 9/25/2024 10:29 AM BY: Andy Venneman  
 LAYOUT: [PD-1]

4577 Nob Hill Road, Suite 102  
 Sunrise, FL 33351  
 www.suntech.com

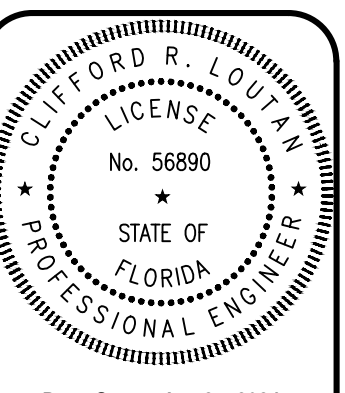


**REVISIONS**

NO.	DATE	DESCRIPTION

**PARK ROAD COMMERCIAL**  
 FLORIDA  
**PAVING, GRADING & DRAINAGE KEY MAP**  
 CITY OF HOLLYWOOD

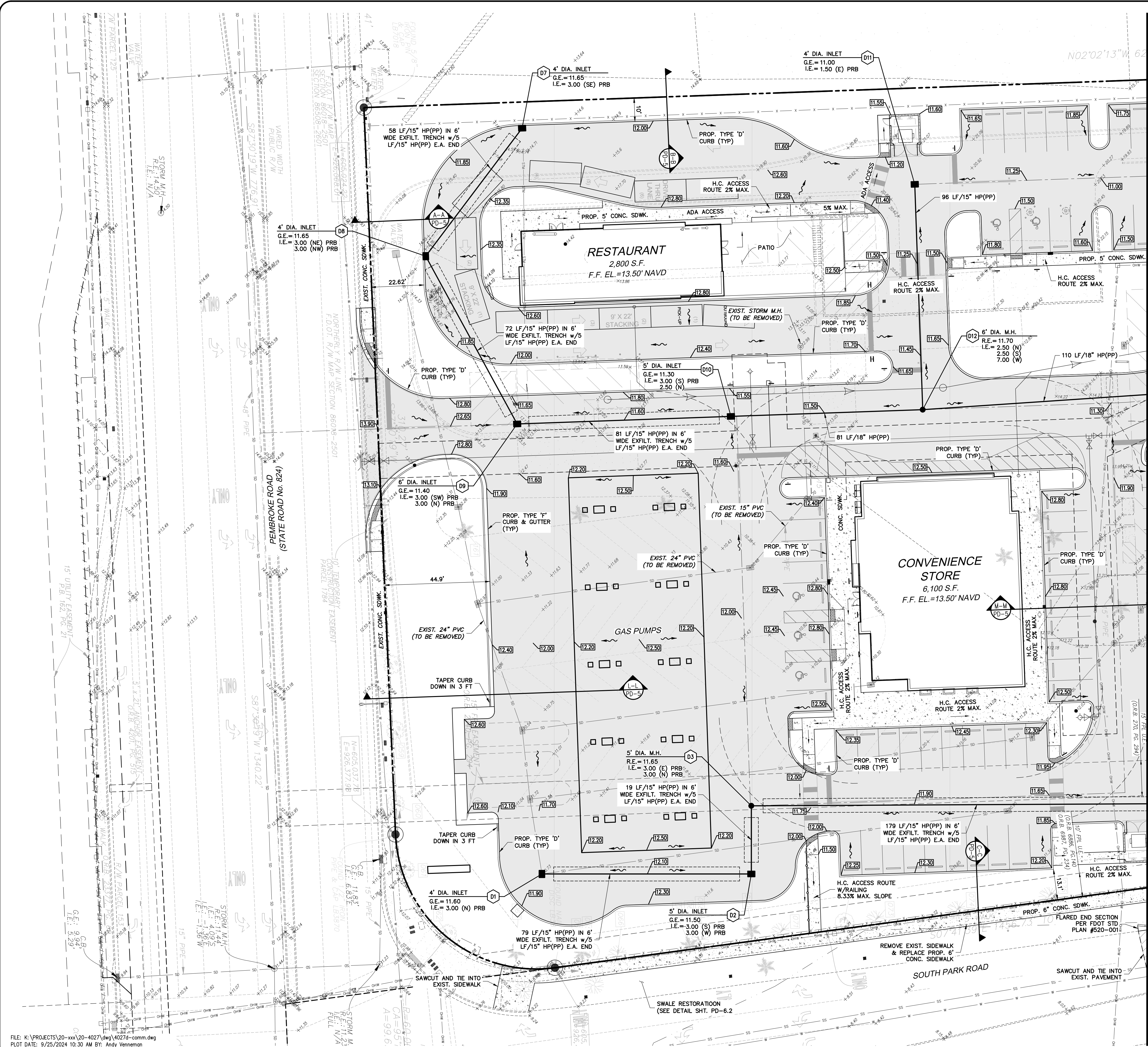
DATE: 8/22/24  
 SCALE: N.T.S.  
 DESIGNED BY: M.G.  
 DRAWN BY: I.A.B.  
 JOB #: 20-4027



Date: September 25, 2024  
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SHEET No.  
**PD-1**





MATCH LINE FOR CONTINUATION SEE SHEET PD-3

ALL ELEVATIONS REFER TO NAVD 88 VERTICAL DATUM

PAVING & DRAINAGE LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY LINE
R.E.	RIM ELEVATION
G.E.	GRATE ELEVATION
I.E.	INVERT ELEVATION
	DIRECTION OF FLOW
150' @ 0.5%	PAVEMENT SLOPE
P.R.B.	POLLUTION RETARDANT BASIN
F.F. = 10.00	FINISHED FLOOR ELEVATION
	EXISTING OR FUTURE UTILITIES
	CATCH BASIN
	STRUCTURE DESIGNATION
	100 LF / 15" LENGTH, SIZE OF STORM DRAIN
	REMOVE EXIST. SIDEWALK & REPLACE PROP. 6" CONC. SIDEWALK
	PROPOSED GRADE
	D.I.P. PIPE
	CONCRETE
	PAVEMENT
	MILL AND RESURFACE LIMITS

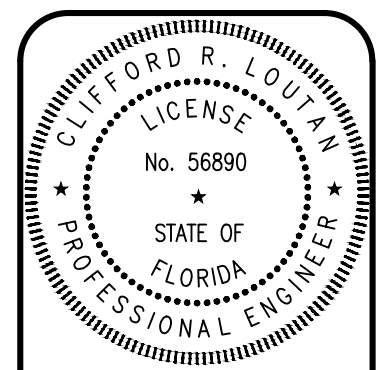
4577 Nob Hill Road, Suite 102  
 Sunrise, FL 33351  
 www.suntecheng.com  
 Certificate of Auth. #7057LB 7019  
 Phone (954) 777-3123  
 Fax (954) 777-3114



NO.	DATE	DESCRIPTION

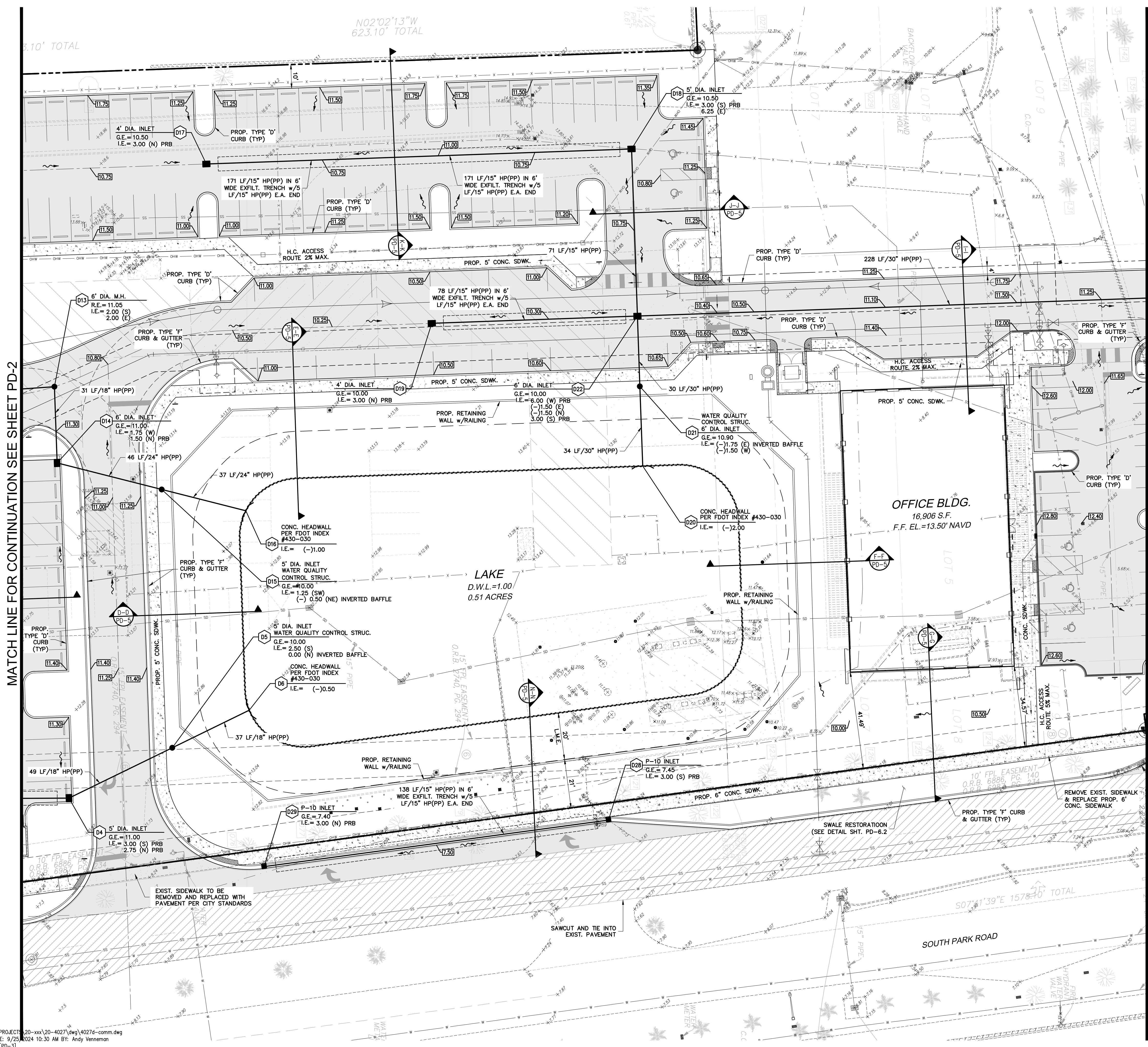
**PARK ROAD COMMERCIAL**  
 FLORIDA  
**PAVING, GRADING & DRAINAGE PLAN**  
 CITY OF HOLLYWOOD

DATE: 8/22/24  
 SCALE: 1"=20'  
 DESIGNED BY: M.G.  
 DRAWN BY: I.A.B.  
 JOB #: 20-4027



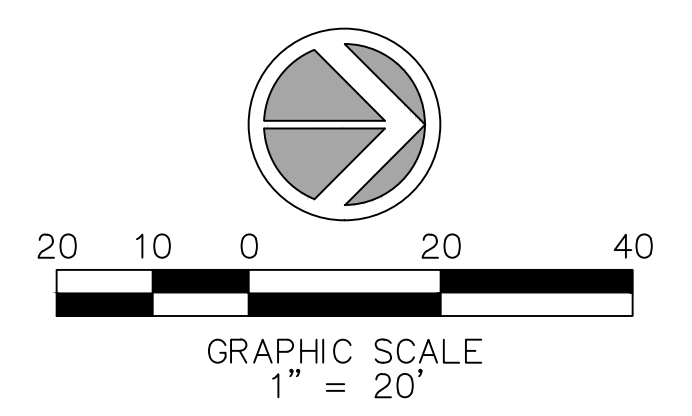
Date: September 25, 2024  
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SHEET No.  
 PD-2



MATCH LINE FOR CONTINUATION SEE SHEET PD-2

MATCH LINE FOR CONTINUATION SEE SHEET PD-4



ALL ELEVATIONS REFER TO NAVD 88 VERTICAL DATUM

PAVING & DRAINAGE LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	RIM ELEVATION
	GRATE ELEVATION
	INVERT ELEVATION
	DIRECTION OF FLOW
	PAVEMENT SLOPE
	POLLUTION RETARDANT BASIN
	FINISHED FLOOR ELEVATION
	EXISTING OR FUTURE UTILITIES
	STRUCTURE DESIGNATION
	LENGTH, SIZE OF STORM DRAIN
	EXISTING GRADE
	PROPOSED GRADE
	D.I.P. PIPE
	CONCRETE
	PAVEMENT
	MILL AND RESURFACE LIMITS

4577 Nob Hill Road, Suite 102  
 Sunrise, FL 33351  
 www.suntech.com  
**STE Sun-Tech**  
 Engineering, Inc.  
 Engineers-Planners-Surveyors

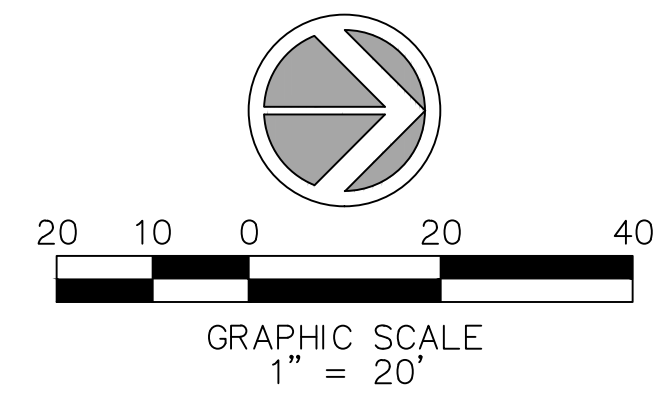
REVISIONS	
NO.	DESCRIPTION

**PARK ROAD COMMERCIAL**  
 FLORIDA  
**PAVING, GRADING & DRAINAGE PLAN**  
 CITY OF HOLLYWOOD

DATE: 8/22/24  
 SCALE: 1"=20'  
 DESIGNED BY: M.G.  
 DRAWN BY: I.A.B.  
 JOB #: 20-4027

Date: September 25, 2024  
 This item has been digitally signed and sealed by CLIFFORD R. LOUTAN, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

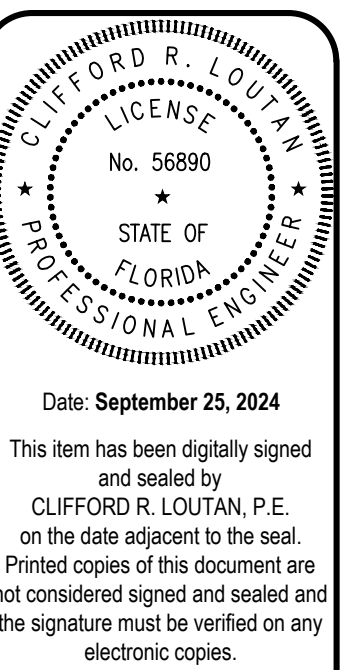
SHEET No.  
**PD-3**



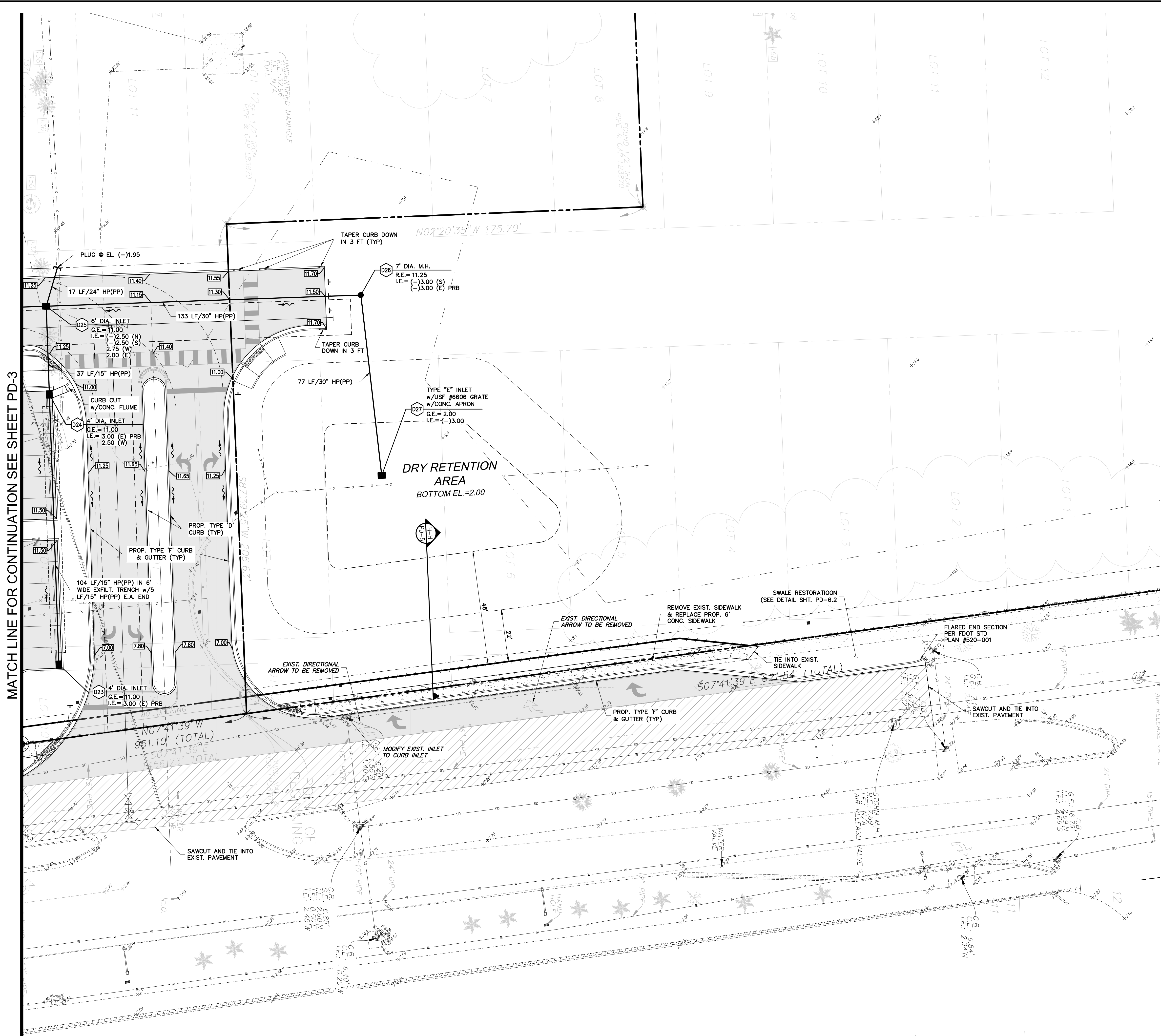
NO.	DATE	DESCRIPTION

**PARK ROAD COMMERCIAL**  
 FLORIDA  
**PAVING, GRADING & DRAINAGE PLAN**

DATE: 8/22/24  
 SCALE: 1"=20'  
 DESIGNED BY: M.G.  
 DRAWN BY: I.A.B  
 JOB #: 20-4027

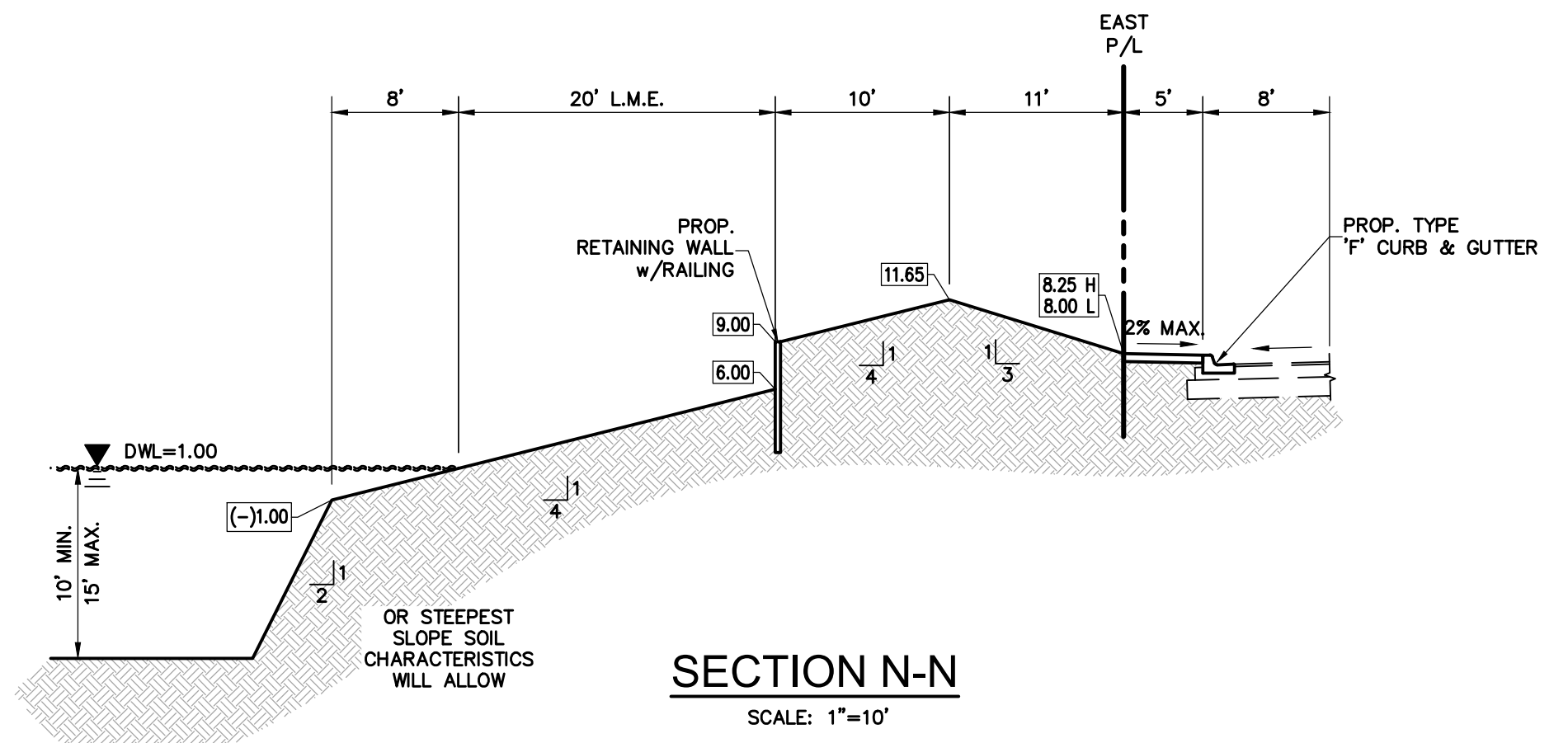
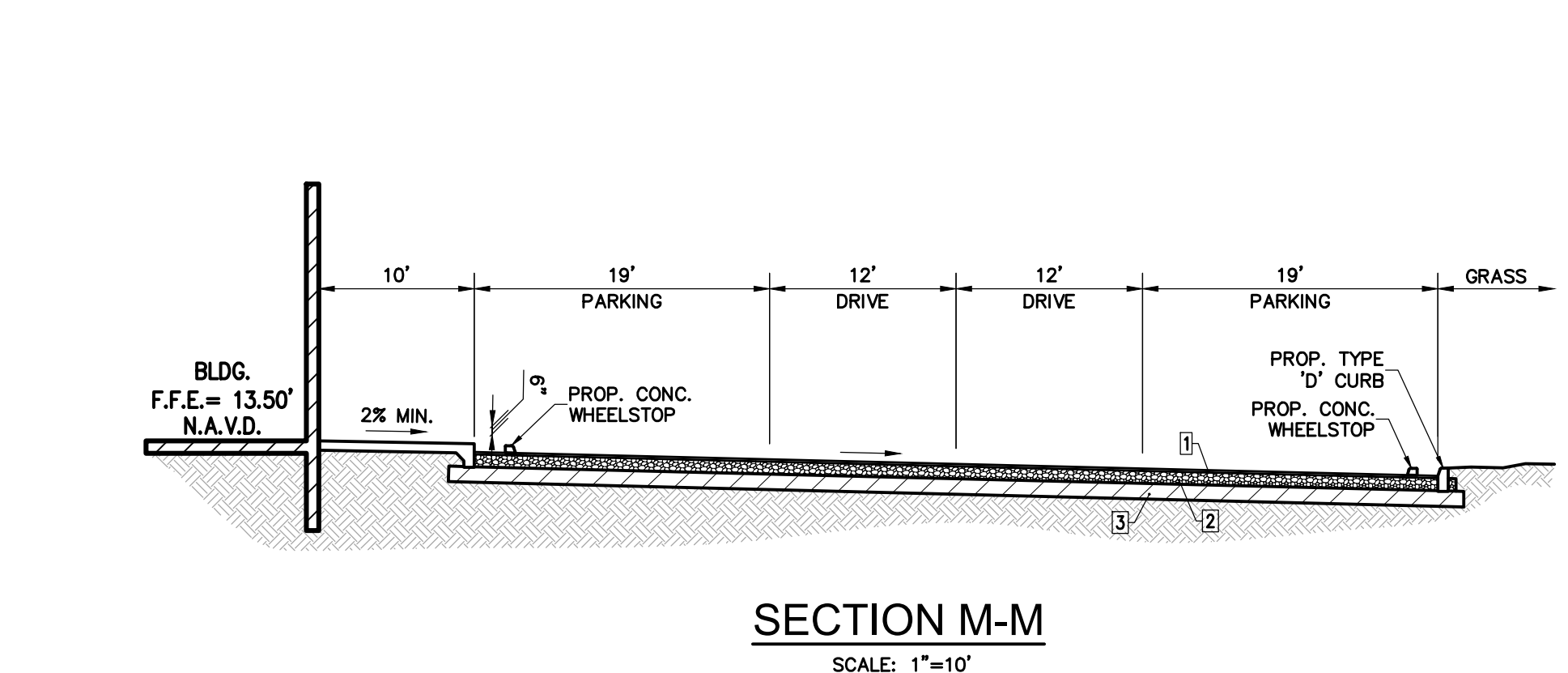
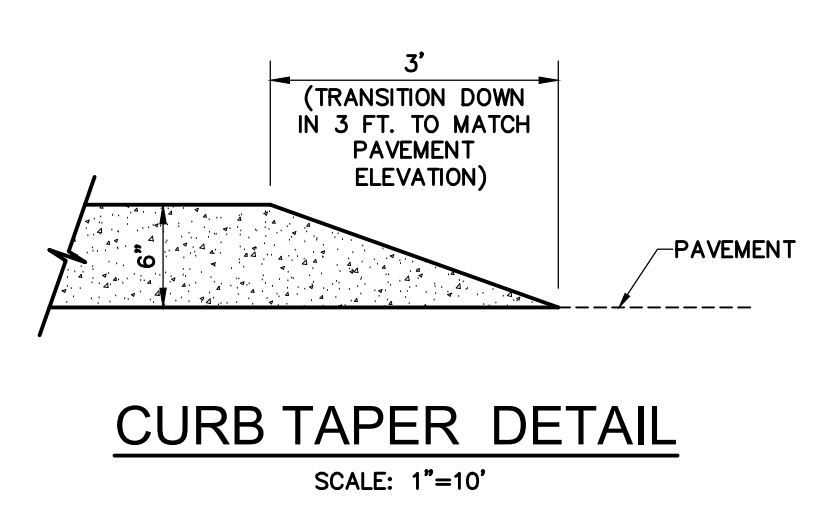
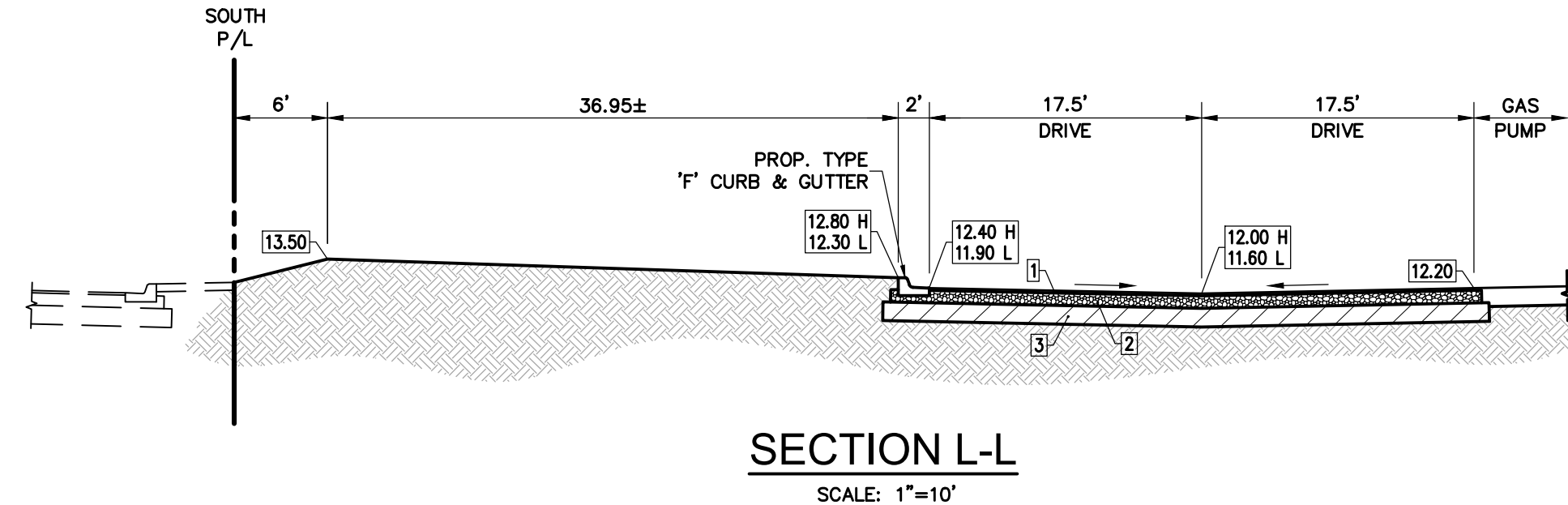
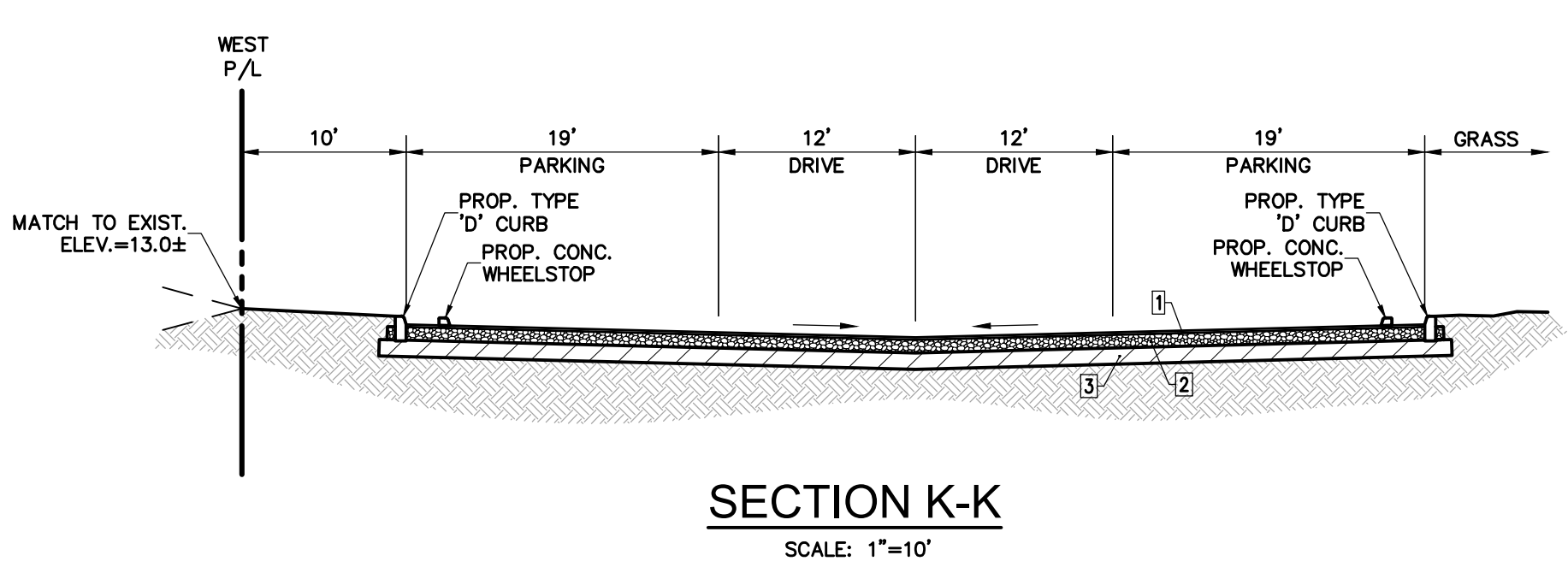
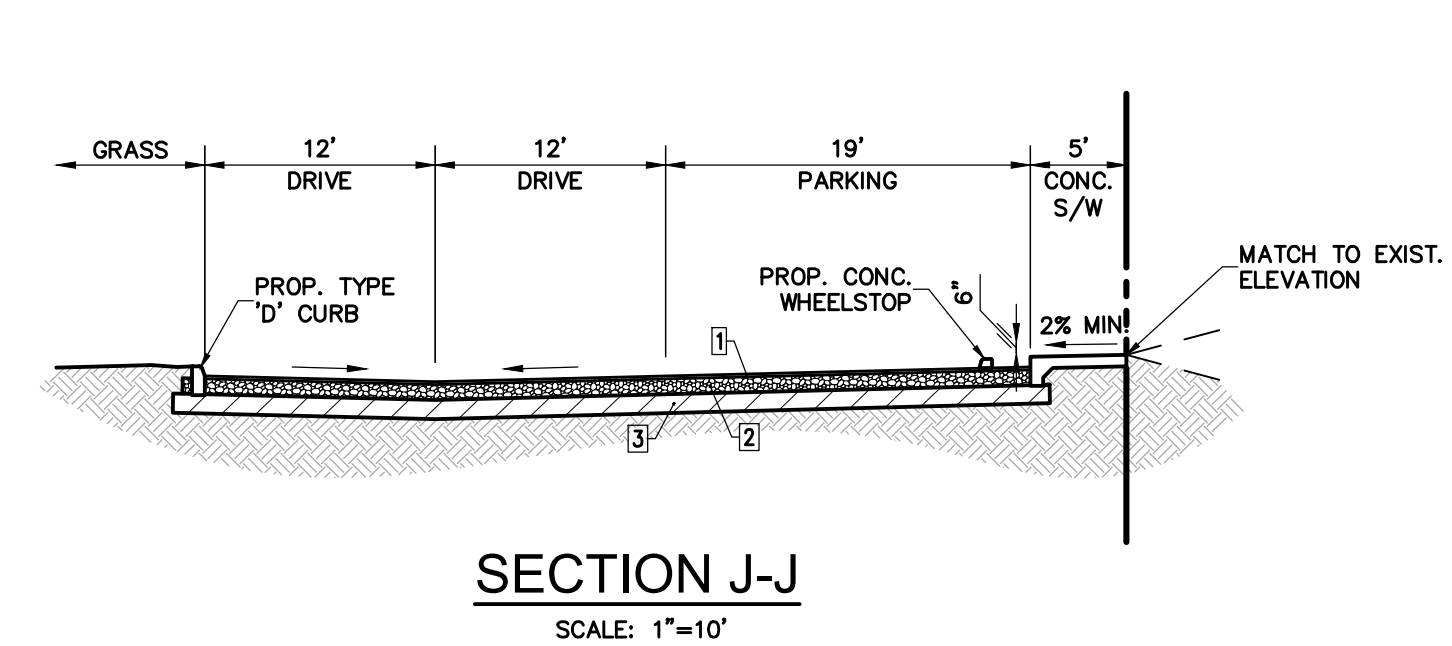
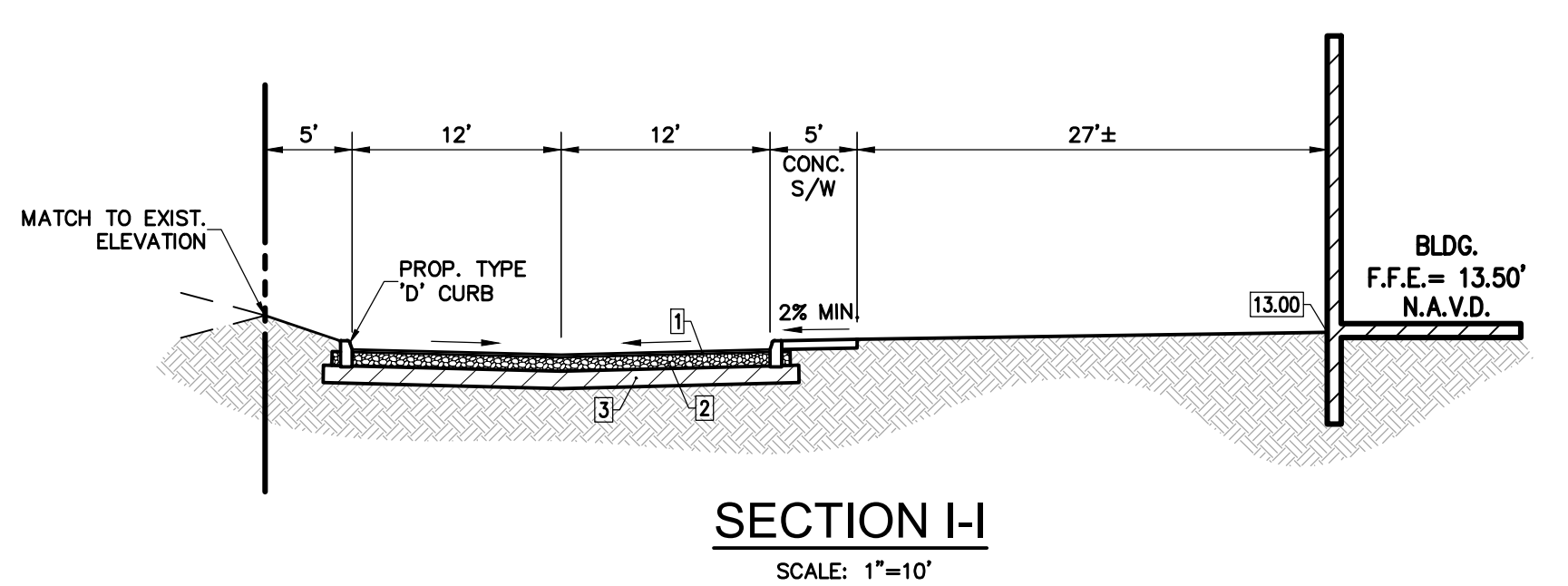
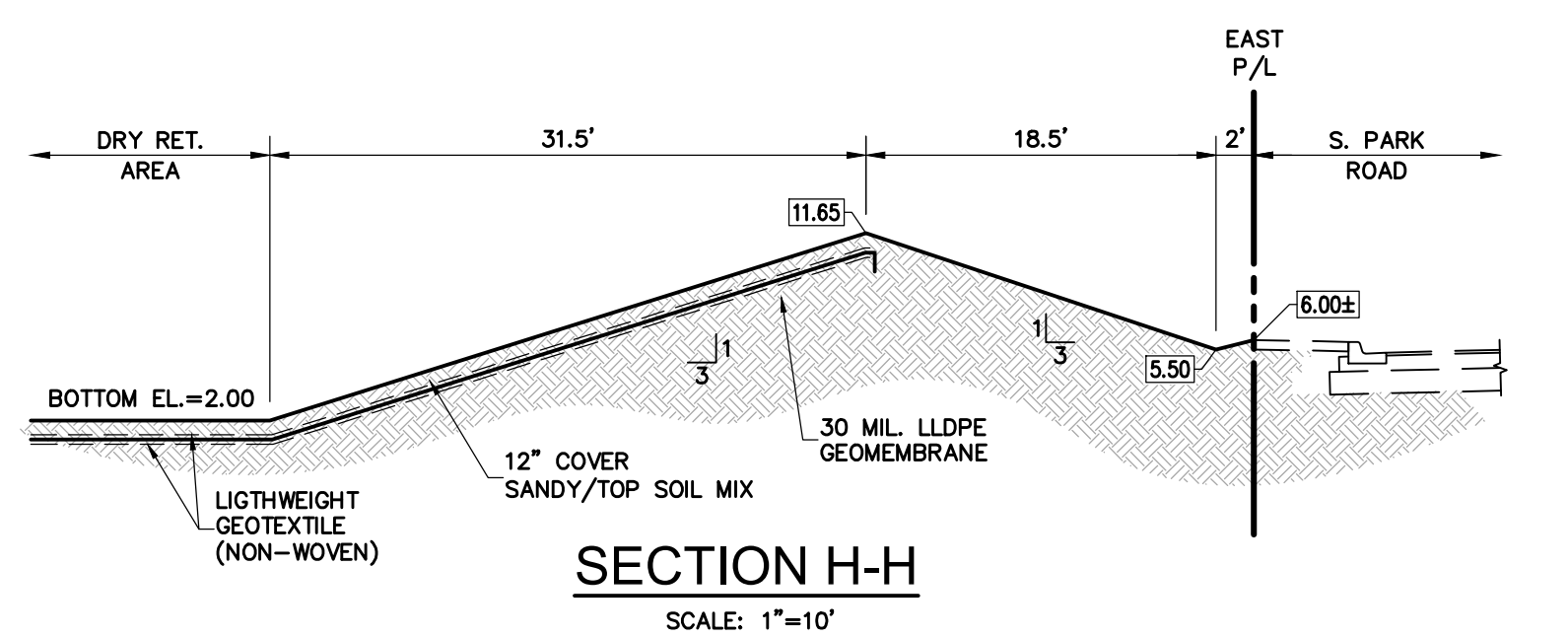
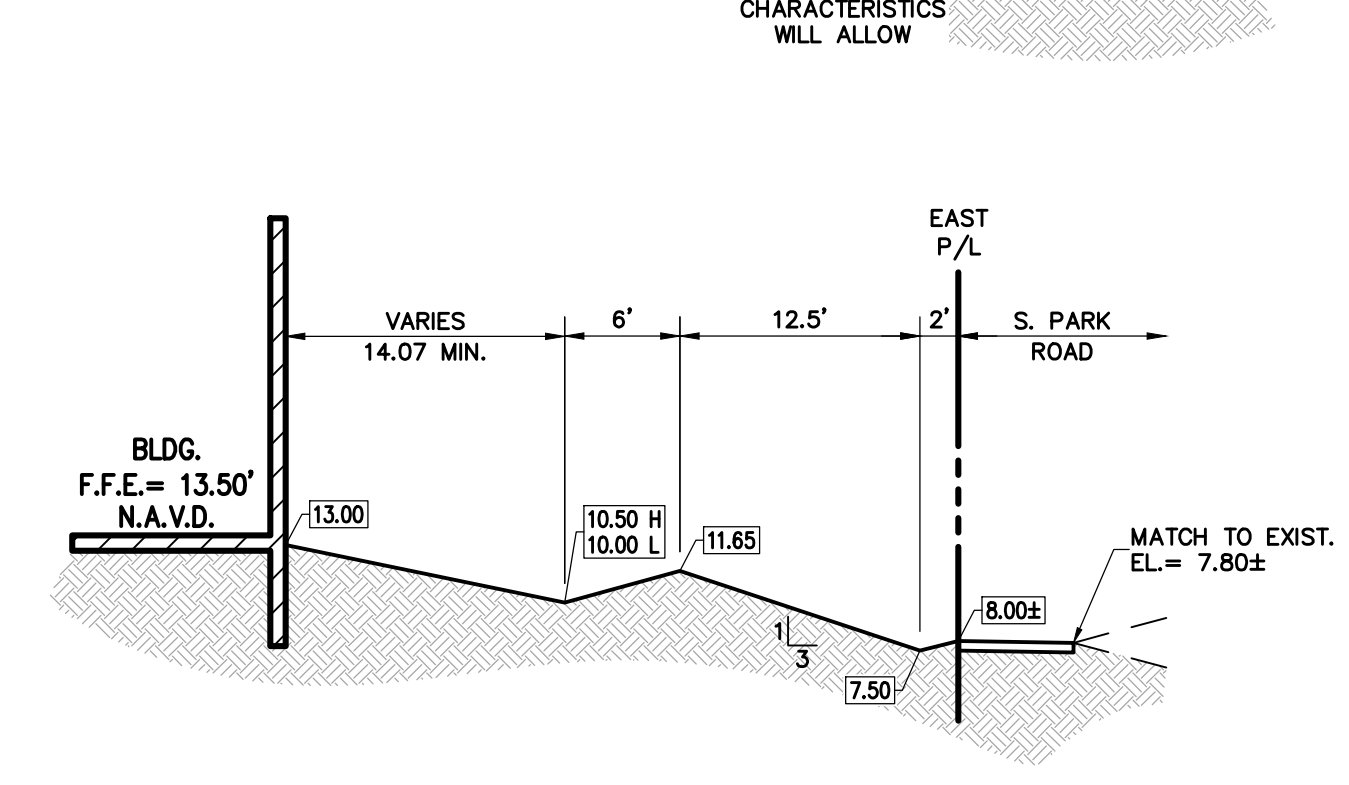
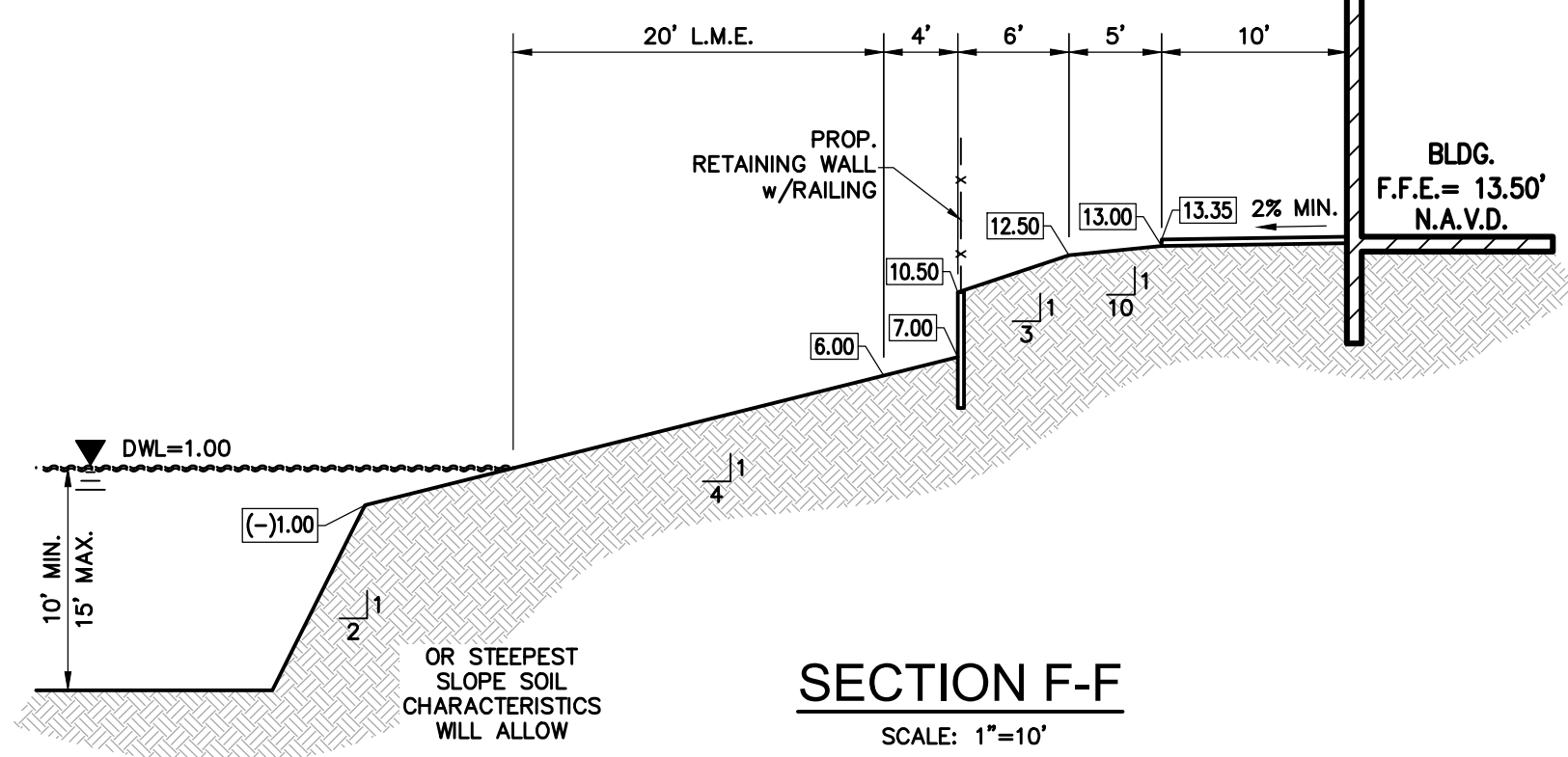
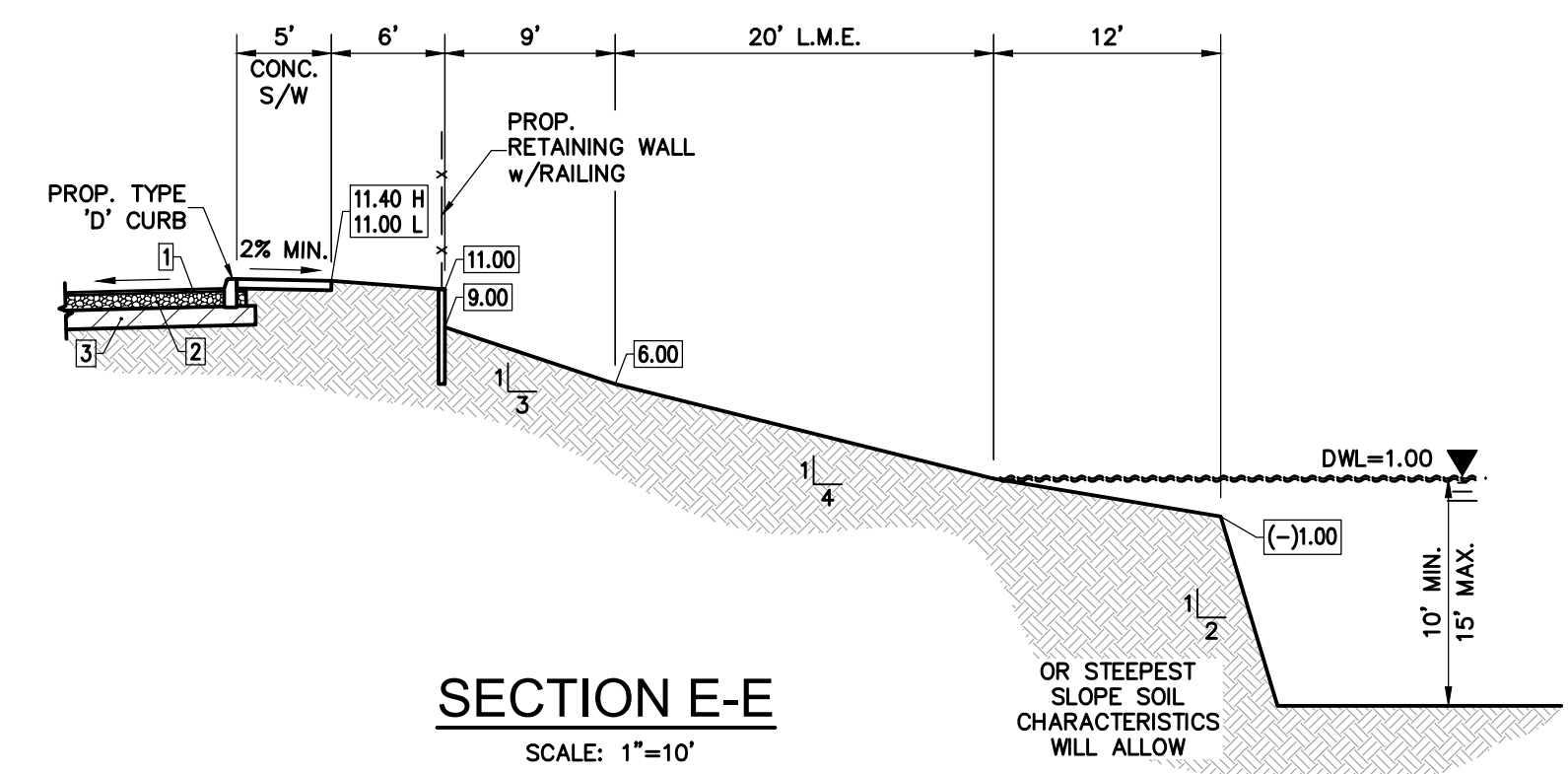
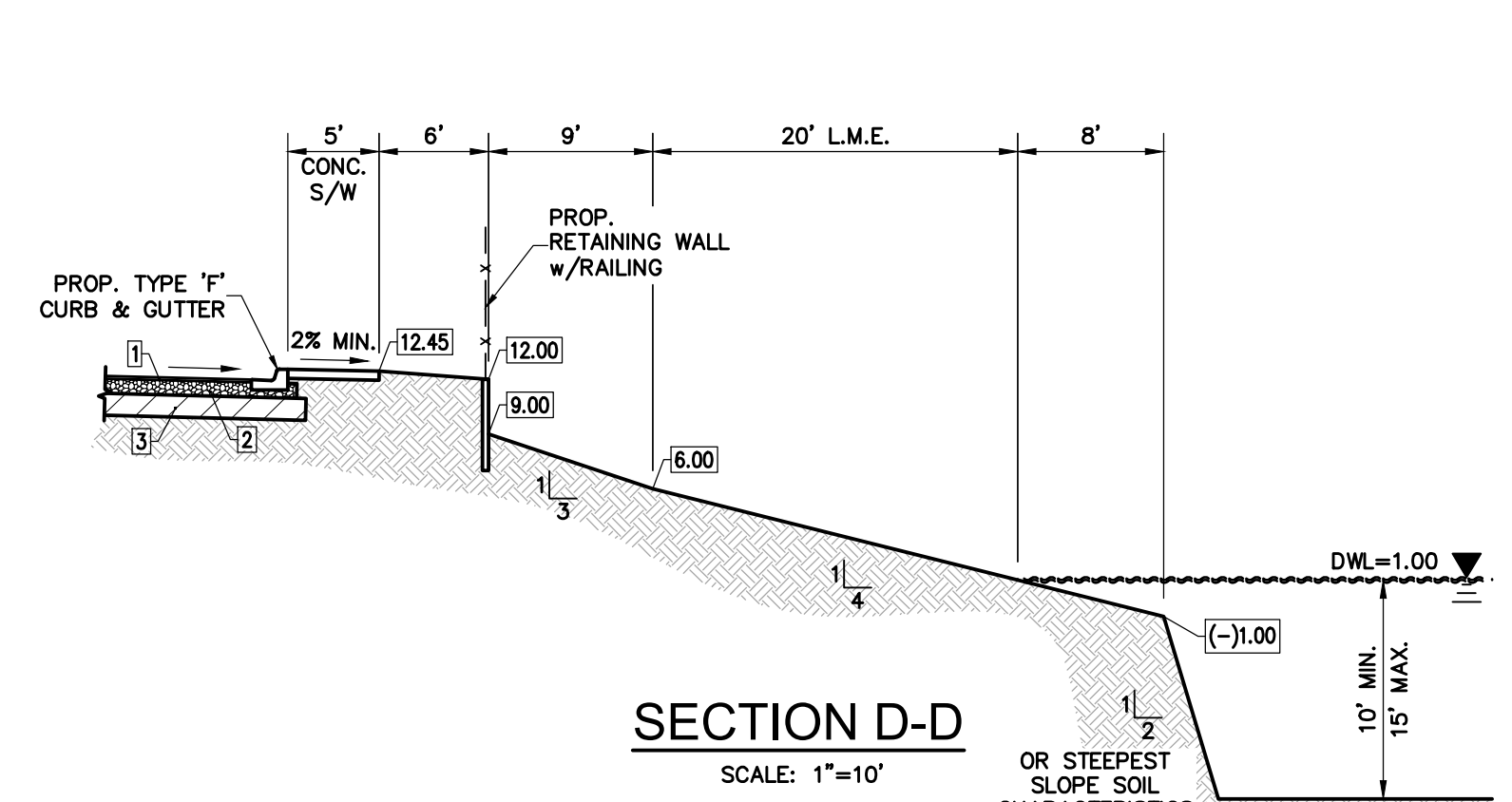
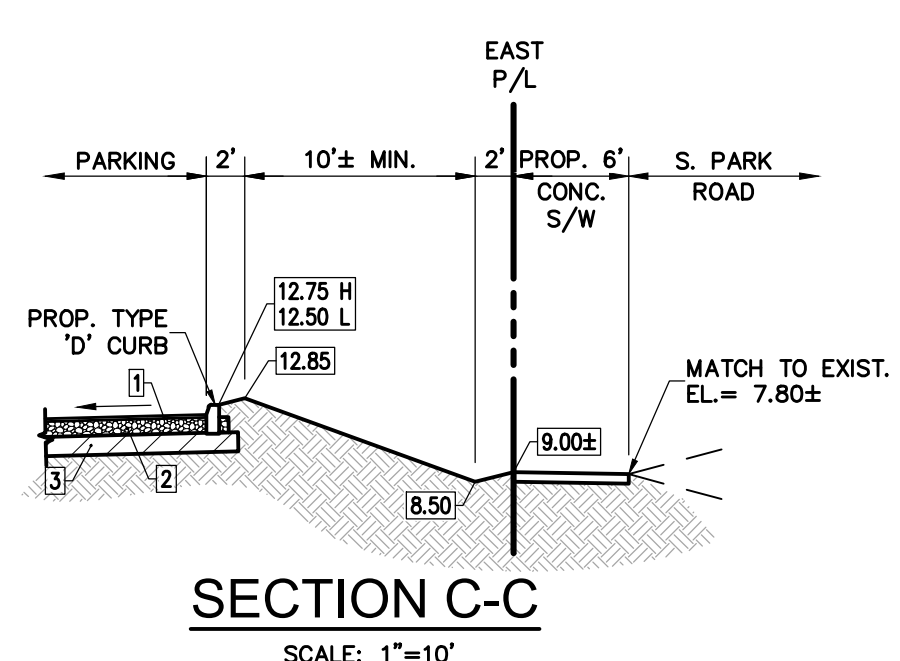
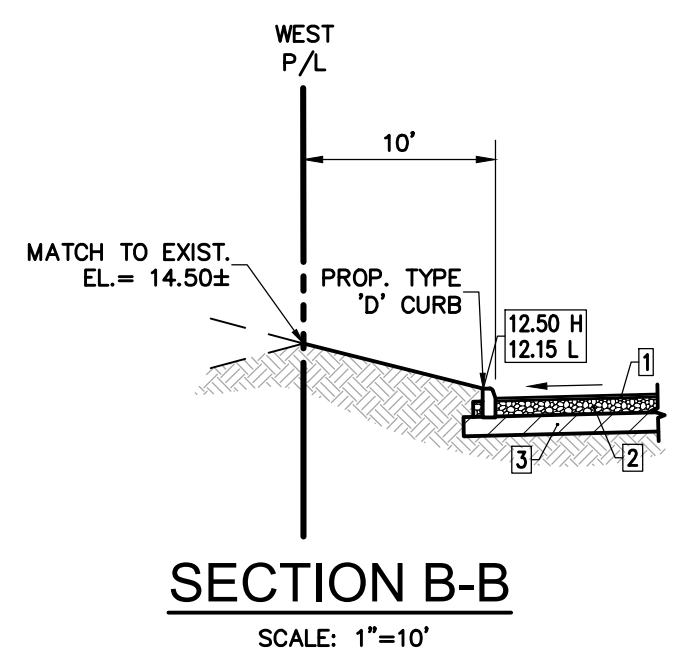
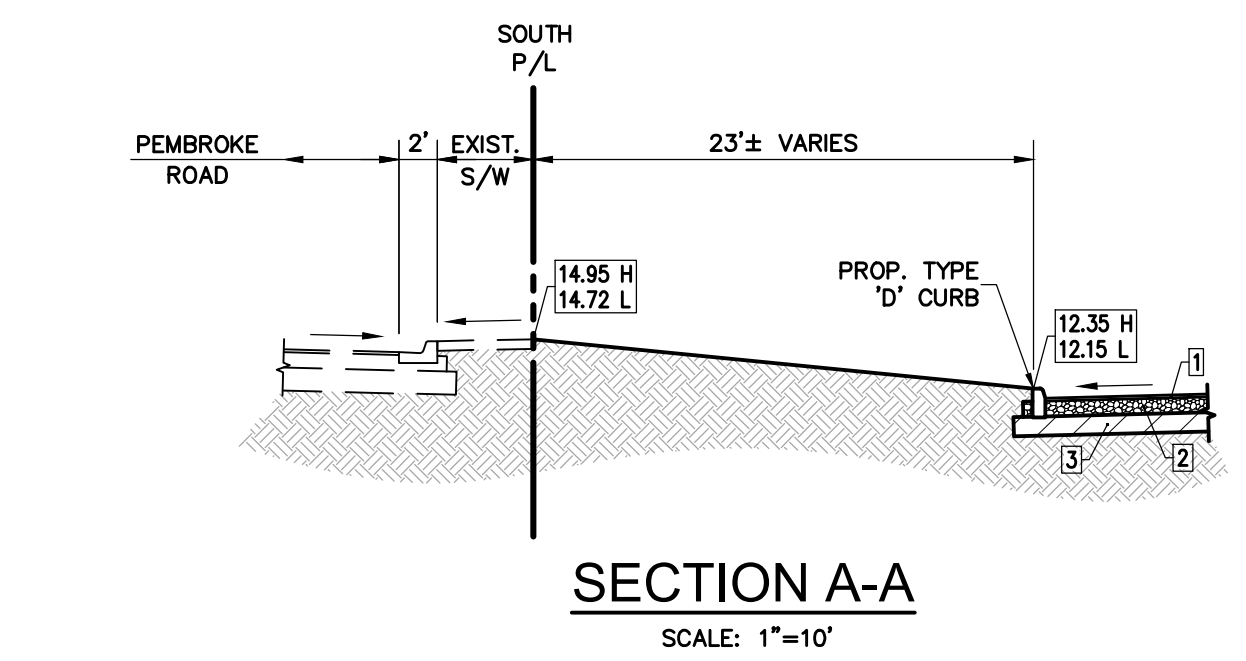


MATCH LINE FOR CONTINUATION SEE SHEET PD-3



ALL ELEVATIONS REFER TO NAVD 88 VERTICAL DATUM

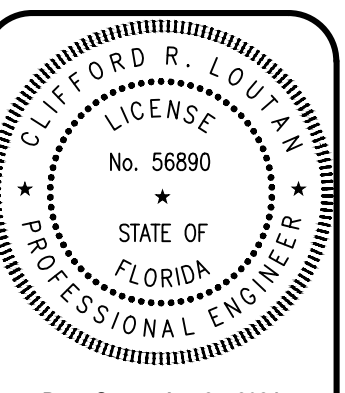
PAVING & DRAINAGE LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY LINE
R.E.	RIM ELEVATION
G.E.	GRATE ELEVATION
I.E.	INVERT ELEVATION
	DIRECTION OF FLOW
150' @ 0.5%	PAVEMENT SLOPE
P.R.B.	POLLUTION RETARDANT BASIN
F.F.= 10.00	FINISHED FLOOR ELEVATION
	EXISTING OR FUTURE UTILITIES
	CATCH BASIN
	STRUCTURE DESIGNATION
	LENGTH, SIZE OF STORM DRAIN
	EXISTING GRADE
	PROPOSED GRADE
	D.I.P. PIPE
	CONCRETE
	PAVEMENT
	MILL AND RESURFACE LIMITS



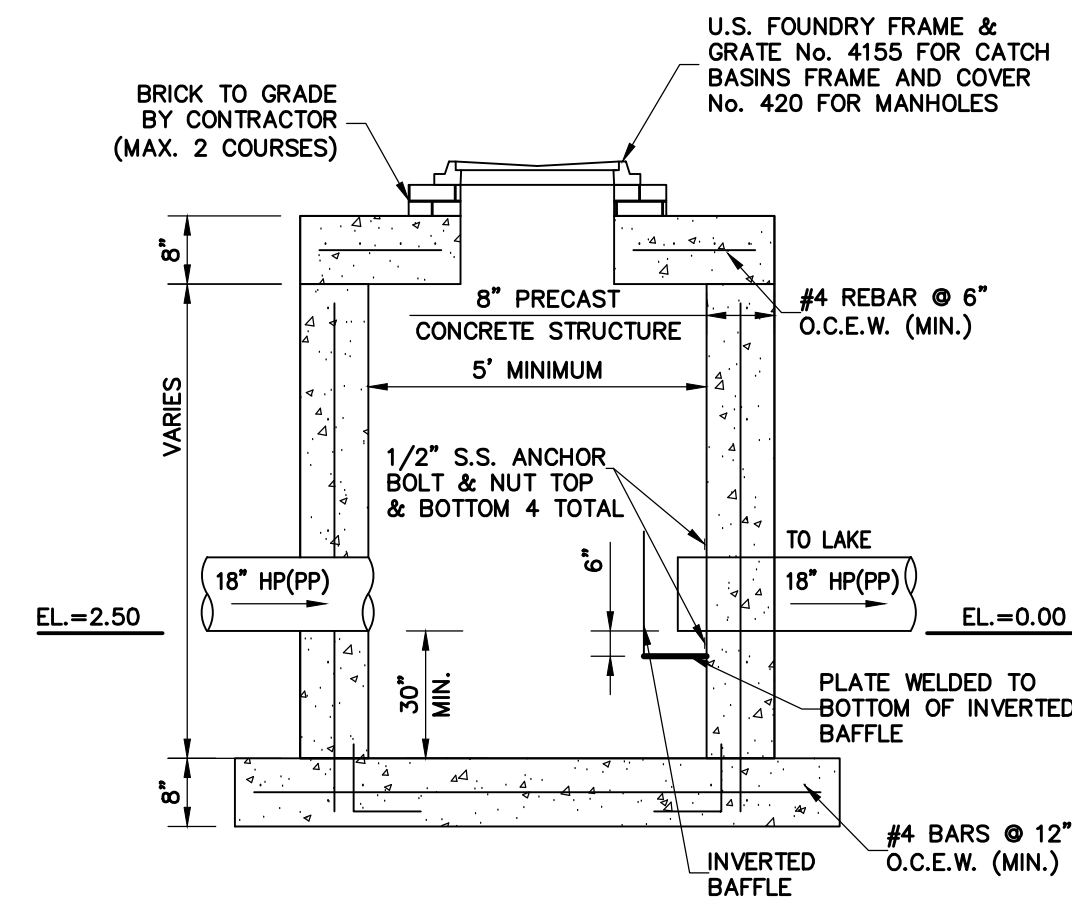
- ON-SITE PAVEMENT NOTES:**
- 1 1/2" THICK ASPHALT, TWO LIFTS, 3/4" TYPE S-3 ASPHALT.
  - THE BASE COURSE SHALL BE LIMEROCK (70% CALCIUM) 8" THICK PRIMED COMPACTED IN ACCORDANCE W/AASHTO SPECIFICATION T-180 TO 98% DENSITY, MIN. LBR 100.
  - 12" STABILIZED SUBGRADE MIN. DRY DENSITY 115 PCF COMPACTED TO 98% AASHTO T-180 METHOD "C" MIN. LBR TO BE 40.

NO.	DATE	DESCRIPTION

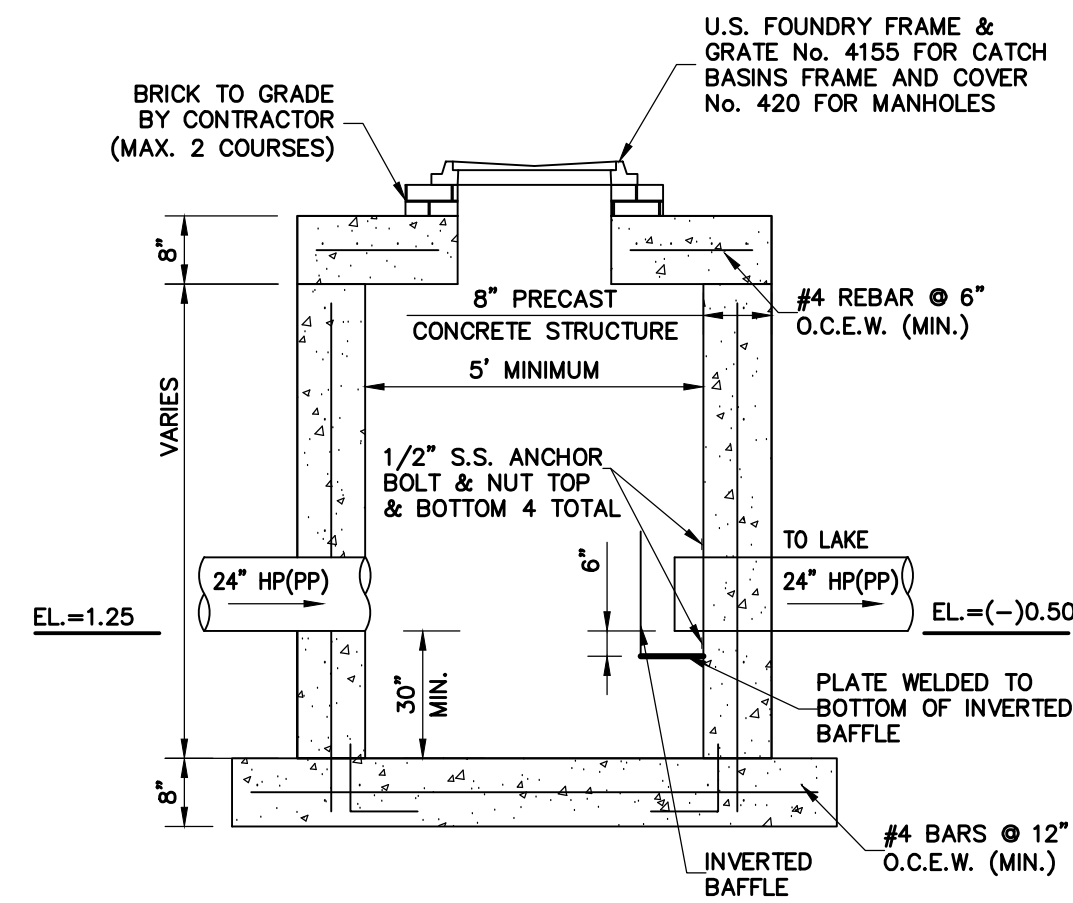
DATE: 8/22/24  
 SCALE: 1" = 10'  
 DESIGNED BY: M.G.  
 DRAWN BY: I.A.B.  
 JOB #: 20-4027



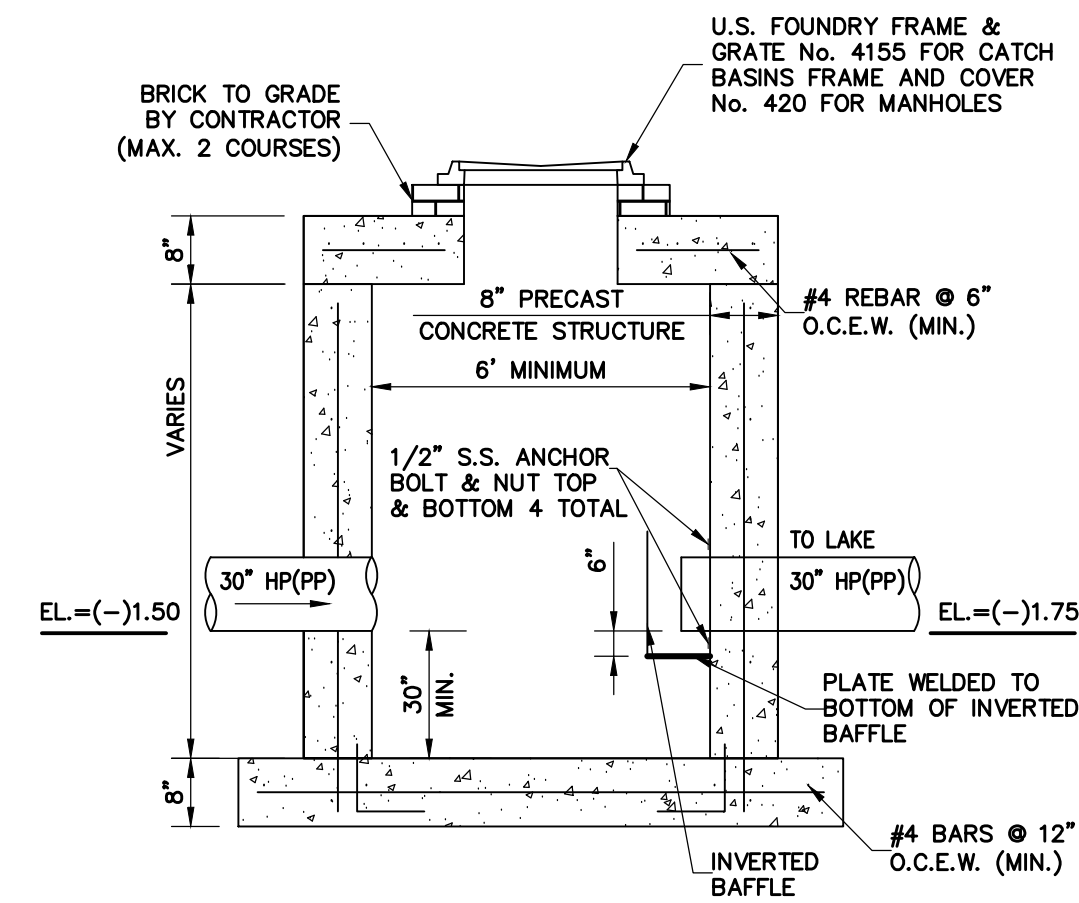
Date: September 25, 2024



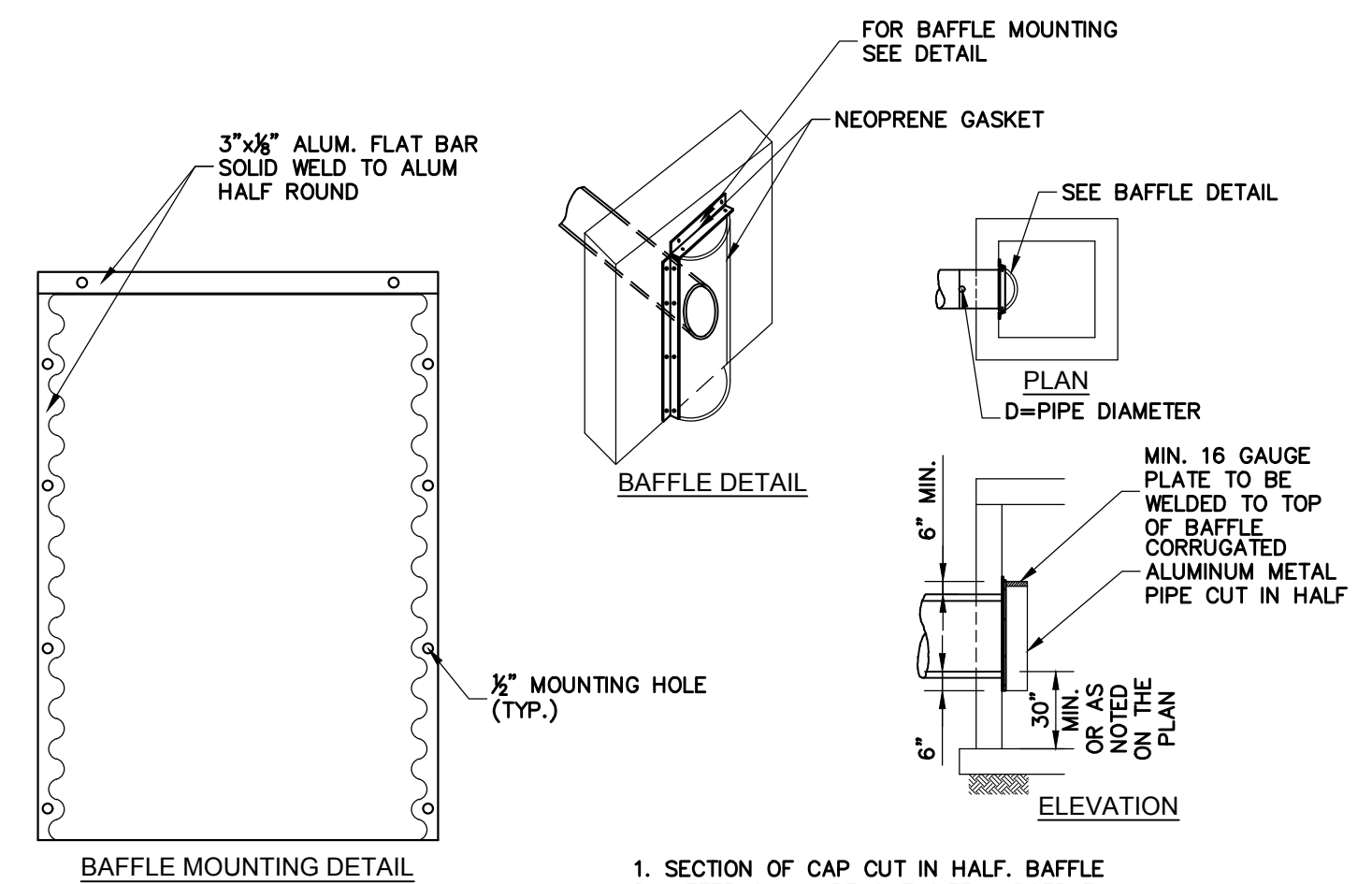
**CONTROL STRUCTURE  
STRUCTURE D5**  
N.T.S.



**CONTROL STRUCTURE  
STRUCTURE D15**  
N.T.S.



**CONTROL STRUCTURE  
STRUCTURE D21**  
N.T.S.

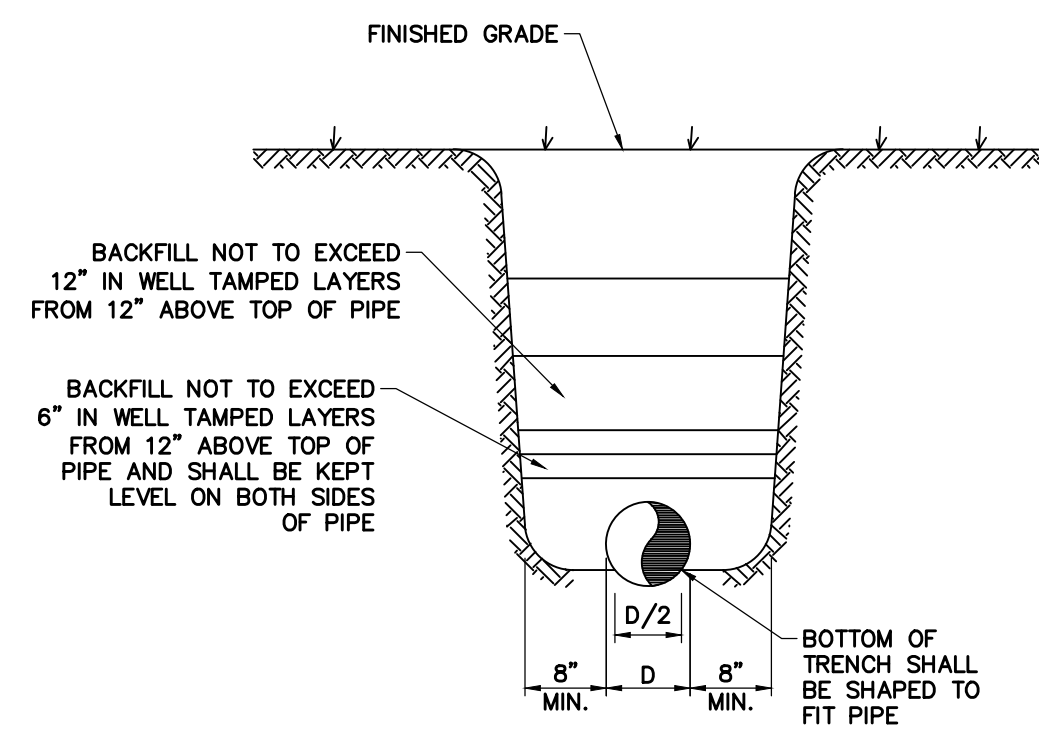


**POLLUTION RETARDANT BASIN**

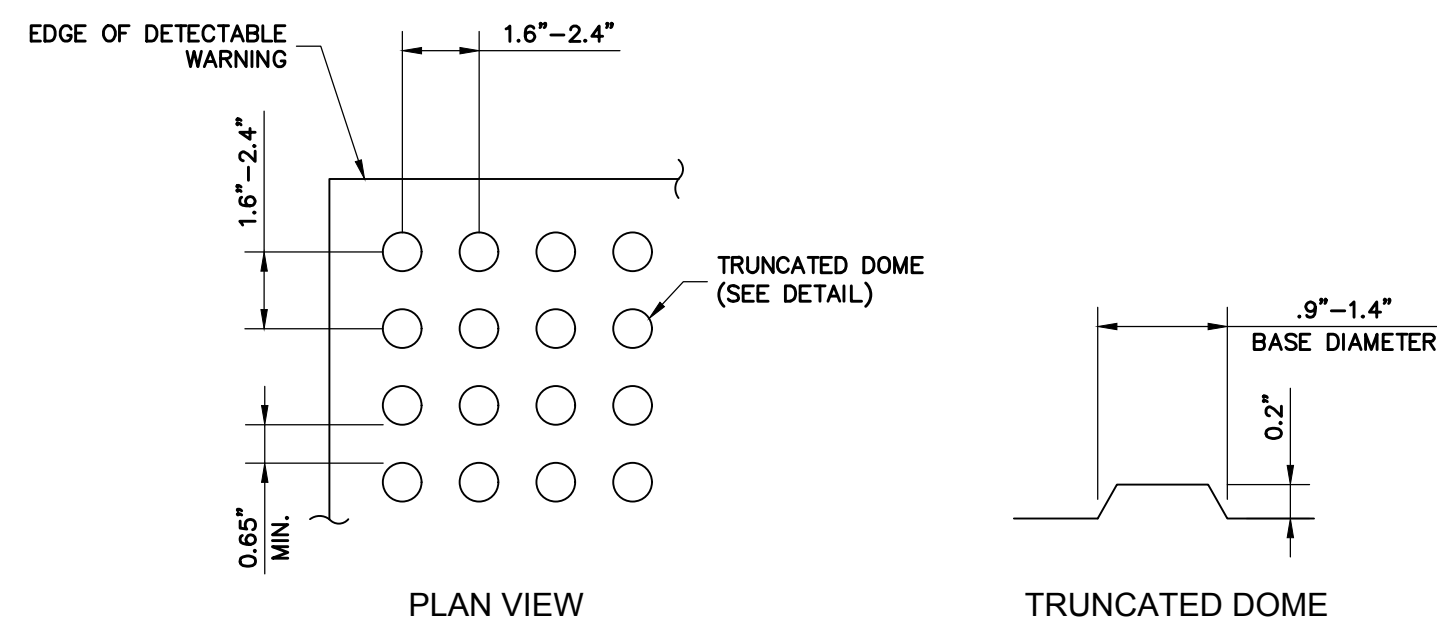
(ALL STRUCTURES SEE PLAN FOR BAFFLE LOCATION)

**NOTE:**

INVERTED BAFFLE: PLATE TO BE WELDED TO BOTTOM OF BAFFLE. TOP OF BAFFLE TO BE OPEN AND SET AT ELEVATION AS SHOWN ON CONTROL STRUCTURE DETAILS

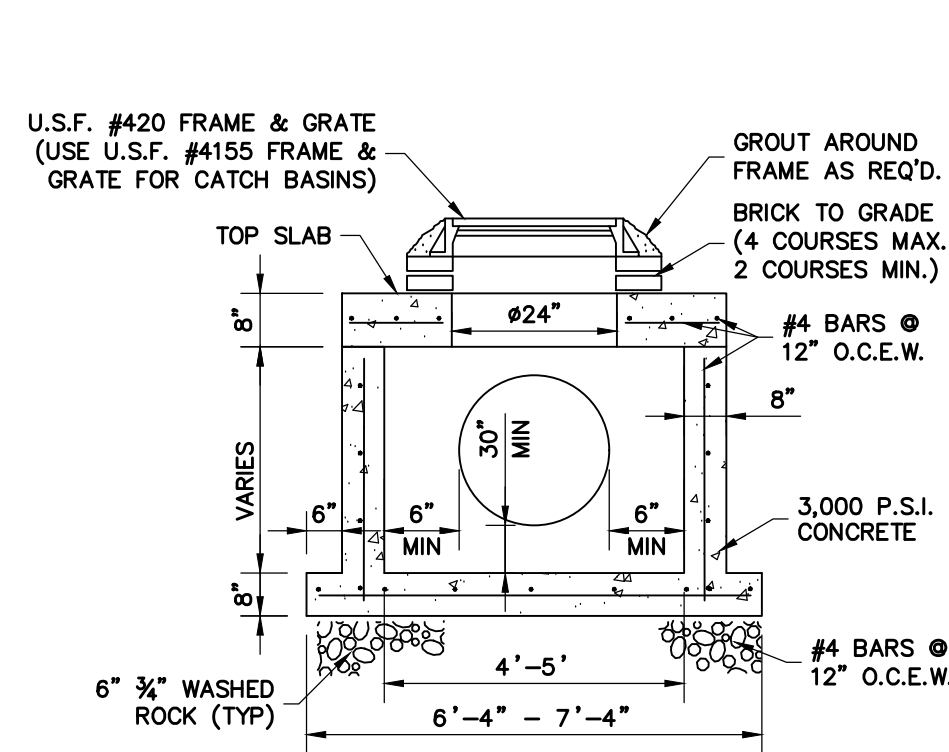


**PIPE BEDDING DETAIL**  
N.T.S.

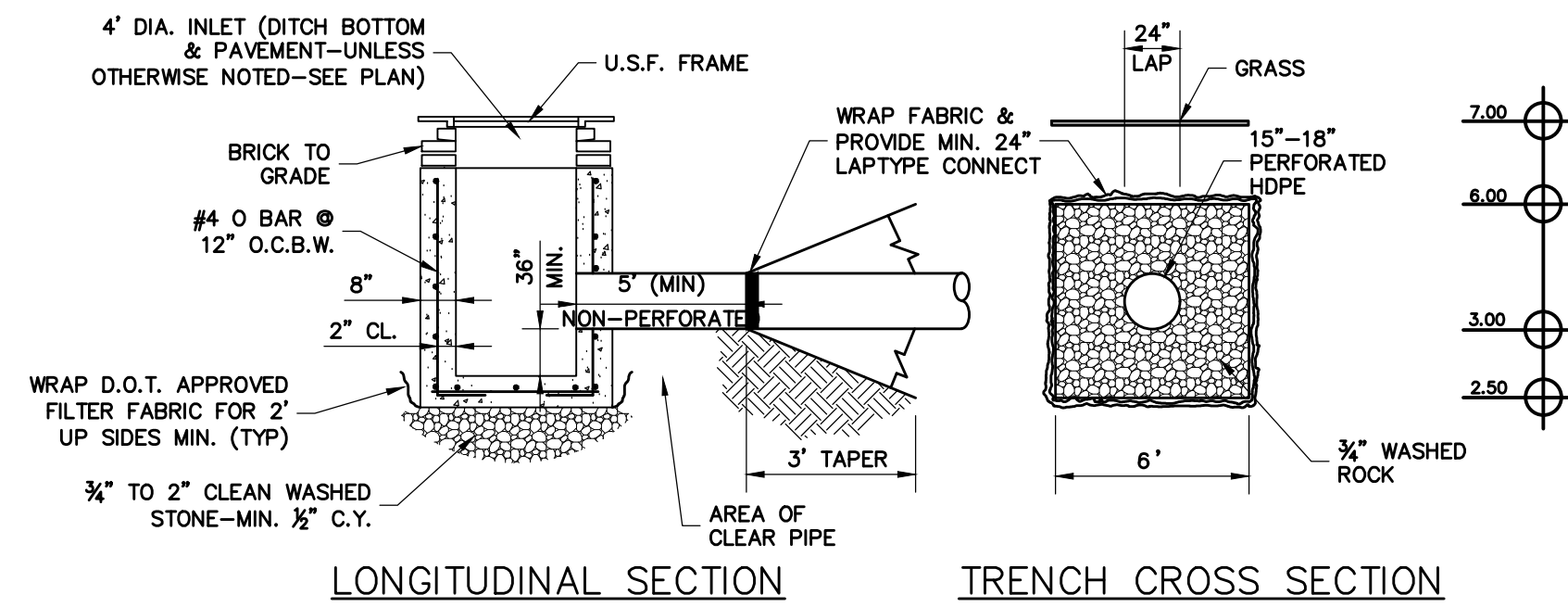


All Sidewalk Ramps Shall Have Detectable Warning Surfaces That Extend The Full Width Of The Ramp And In The Direction Of Travel 24 Inches (610 mm) From The Back Of Curb.

**CURB RAMP DETECTABLE WARNING**  
N.T.S.



**4'-5' DIAM. CATCH BASIN OR MANHOLE**  
N.T.S.



NOTE:  
COMPACT TRENCH BACKFILL AND SOIL WITHIN MIN. 5' OFF TRENCH TO MIN. 95% OF MAX. DRY DENSITY PER ASTM D-1557.

**EXFILTRATION TRENCH DETAIL**  
N.T.S.

4577 Nob Hill Road, Suite 102  
Sunrise, FL 33351  
www.suntecheng.com  
Certificate of Auth. #7097LB 7019  
Phone (954) 777-3123  
Fax (954) 777-3114



REVISIONS	
NO.	DESCRIPTION

**PARK ROAD COMMERCIAL**  
 FLORIDA  
**PAVING, GRADING & DRAINAGE DETAILS**  
 CITY OF HOLLYWOOD

DATE: 8/22/24  
 SCALE: N.T.S.  
 DESIGNED BY: M.G.  
 DRAWN BY: I.A.B.  
 JOB #: 20-4027

