

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans
(i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR
FORMS, CHECKLISTS, &
MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- | | | |
|---|---|--|
| ☐ Technical Advisory Committee | ☐ Art in Public Places Committee | ☐ Variance |
| ☐ Planning and Development Board | ☐ Historic Preservation Board | ☐ Special Exception |
| ☐ City Commission | ☐ Administrative Approval | |

PROPERTY INFORMATION

Location Address: _____

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): _____

Zoning Classification: _____ Land Use Classification: _____

Existing Property Use: _____ Sq Ft/Number of Units: _____

Is the request the result of a violation notice? ☐ Yes ☐ No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

DEVELOPMENT PROPOSAL

Explanation of Request: _____

Phased Project: Yes ☐ No ☐ Number of Phases: _____

Project	Proposal	
Units/rooms (# of units)	# UNITS:	#Rooms
Proposed Non-Residential Uses		S.F.)
Open Space (% and SQ.FT.)	Required %:	(Area: S.F.)
Parking (# of spaces)	PARK. SPACES:	(#)
Height (# of stories)	(# STORIES)	(FT.)
Gross Floor Area (SQ. FT)	Gross Area	(FT.)

Name of Current Property Owner: _____

Address of Property Owner: _____

Telephone: _____ Email Address: _____

Applicant _____ Consultant ☐ Representative ☐ Tenant ☐

Address: _____ Telephone: _____

Email Address: _____

Email Address #2: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes ☐ No ☐

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

Signature of Current Owner

Notary Public

Print Name

State of Florida

My Commission Expires: _____ (Check One) ☐ Personally known to me; OR ☐ Produced Identification _____

**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
INTEROFFICE MEMORANDUM**

DATE: November 3, 2024 **FILE NO.:** EN-25-007

TO: Cameron Palmer
Planning and Urban Design Division

FROM: Clarissa Ip / Adam Licht / Heidi Henderson
Engineering, Transportation and Mobility Division

SUBJECT: Final TAC Review
TAC File 23-DP-86b
South Park Road & Hillcrest Drive
Multifamily Development, 620 Units

COMMENTS:

Revision Procedure:

-Any revisions applied to the plans shall be numbered and bubbled/clouded.

-In an 8.5"x11" revision summary, identify each revision by providing the plan sheet number, revision cloud / bubble number and a narrative describing each change or how a comment is being addressed.

Final TAC review in BOLD.

- 1) The Park Road Commercial and Park Road Residential projects are in two separate files with one TAC application. Please provide plan and narrative on how the project is anticipated to be developed and built. Plan should show proposed development will be unified as one, separated into parcels and if it will be phased. Combined or separate TAC applications should be submitted accordingly.

*****Comment addressed. Project is phased. Applicant submitted a phasing plan SP-0.***

- 2) Please provide plan to show if proposed development will be unified as one, separated into parcels and if it will be phased. Combined or separate TAC applications should be submitted accordingly. If phased development is proposed, please provide following:

- a. The development plan shall show all proposed phase lines which shall

be drawn so that the full circulation, required parking to support such phase, landscaping, and full utility service through the site is provided at all times.

**** Comment partially addressed. Sheets PD-0 shows project will be in 4 Phase A, B, C, D; please provide a note that states all phases proposed can stand on its own without dependency on previous or subsequent phases. It appears applicant in Phase C is connection utilities to Phase A. This makes Phase C dependent on Phase A. Clarify how this situation addresses the comment. Additionally, all Phases require A as this creates entry to the site and access to the other phases. ****

RESPONSE (12/30/24): Note has been added to sheets SP-0, PD-0 and WS-0 Concerning construction of infrastructure.

- b. All phase lines shall be drawn so that it is clearly delineated that each phase can stand on its own without the necessity of additional phases to provide for the health, safety and welfare of the public.

****Comment partially addressed. Please see above. ****

RESPONSE (12/30/24): See response to 2a above

- c. Please add note on plans: All residential developments that anticipate phased development shall include all proposed amenities in the first phase of the development. Such amenities must receive Certificates of Occupancy or final inspections being conducted upon such amenities, prior to Certificates of Occupancy being issued on any residential structure.

****Comment addressed. A note has been added to SP-0.****

- d. A backbone master plan for the entire project's utility and access needs is required along with the phasing plan.

****Comment addressed. Sheets WS1 and PD1 were provided.****

- 3) The south project limits for the residential development does not coincide with the existing property lines.

****Comment not addressed applicant shows structures that cross city parcel (i.e. sidewalk adjacent to the dry retention area.)****

RESPONSE (12/30/24): Property lines for the commercial has been revised per the plat and there are no longer structures that cross city parcel.

- 4) Platting will be required. Platting process is through Engineering, Transportation and Mobility Division, a separate submittal with application and supporting documents will be required. Application is available via City website at www.hollywoodfl.org/DocumentCenter/View/19697/Plat-Subdivision-Regulations-Application-2021-2022-003.

****Comment pending. Applicant confirmed a plat application has been submitted to the city.****

- 5) Provide O & E report with all applicable easement documents.

****Comment Not Addressed: no O&E was found within the submittal package. ****

RESPONSE (12/30/24): O&E and title report included with prior responses and uploaded to the City's file system.

- 6) Provide Unity of Title / cross access agreements as applicable.

****To be addressed.**

RESPONSE (12/30/24): the City is the fee owner of the property. Unity of Title is not required. Cross access agreements will be recorded at time of construction completion.

- 7) Provide the FDOT Pre-application letter.

****Comment partially addressed. Add setback dimension from Park Road to the driveway on SR-824 on SP-0.****

RESPONSE (12/30/24): Distance from west EOP of Park Road to the east EOP of driveway onto Pembroke road has been added to sheet SP-0

- 8) Provide a signed and sealed ALTA and Topographic survey.

****Comment not addressed. ALTA survey not signed, sealed, and dated.****

RESPONSE (12/30/24): ALTA survey is signed, sealed, dated, and third party validated.

- 9) Please list all variances being requested on the cover sheet and clearly call them out on the plan. (i.e. setbacks to walkways, curb cuts etc.).

****Comment addressed. Applicant confirmed that there are no variances being requested.****

- 10) This is a large development that extends from Hillcrest Drive to Pembroke Road. However, the applicant has provided a site plan that only shown the commercial site of this development not the residential development. Please provide a total site plan covering the full proposed development of these parcels from Hillcrest Drive to Pembroke Road. Ensure the details requested in the below comment (#11) are addressed on all site plans.

****Comment addressed. Overall site plan was submitted, SP-0.****

- 11) Provide an overall site plan with the following information:

- a. Existing right-of-way width dimension and show limits of the rights-of-way on all streets/alleys adjacent to the site. (i.e swales, sidewalk curbs, curb, including dimensions.)

****Comment not addressed. Please provide dimensions of the items listed on A0-105, SP-0 and PD-0 for both sides of the ROW and**

including dimensions from the property line to the centerline on each ROW.

RESPONSE (12/30/24): Sheet A0-105 has been eliminated from the submittal set. ROW for Park Road and Pembroke Road Provided on SP-0 and PD-0

- b. Include and show all surrounding elements of the site on plans, as applicable, i.e. adjacent alley, road, properties, limits of rights-of-way on both sides of adjacent streets or alleys including any curb cuts, edge of pavement, swale, sidewalks etc.

****Comment partially addressed. Survey is shown on the civil plans.**

RESPONSE (12/30/24): overall surrounding elements shown of site plan and civil plans per discussion with staff.

Show all items on A0-105.**

RESPONSE (12/30/24): Sheet A0-105 has been eliminated from the submittal set.

- c. All features of City streets and alleys within full City right-of-way on both sides from property line to adjacent property lines.

****Comment partially addressed. Survey is shown on the civil plans. Show all items on A0-105.****

RESPONSE (12/30/24): Sheet A0-105 has been eliminated from the submittal set.

- 12) On architectural site plan, include items such as but not limited to project and site data, zoning and land use information, parking calculation (including ADA accessible and ADA van accessible) and loading zone information.

****Comment partially addressed. Ensure items are shown on the Civil and architectural plans to ensure cohesive plans are being provided for review.****

RESPONSE (12/30/24): Sheet A0-105 has been eliminated from the submittal set.

- 13) Add the setbacks with a setback label and dimension to A0-105.

****Comment not addressed. Dimensions shown on A0-105 are not consistent with the dimensions on SP-0.****

RESPONSE (12/30/24): Sheet A0-105 has been eliminated from the submittal set.

- 14) Please provide the total number of stalls per row of parking (i.e. circled numbers) to A0-105 and number each parking stall on plans.

****Comment not addressed.****

RESPONSE (12/30/24): Sheet A0-105 has been eliminated from the submittal set.

- 15) On Sheet A0-105, table headings are blurry and not legible. Also, text for survey information on South Parking Road are doubled, please correct.

****Comment not addressed. Tables have been removed from plan. Please address the above comment.****

RESPONSE (12/30/24): Sheet A0-105 has been eliminated from the submittal set.

- 16) Revise the sheet name label as it appears to be gray and not white as the others.

****Comment not addressed. A0-105 is still gray.****

RESPONSE (12/30/24): Sheet A0-105 has been eliminated from the submittal set.

- 17) Show the NVAL, when available, on the site plan and civil plan sheets.

****Comment partially addressed. Show the NVAL and all openings on all civil plan sheets (i.e. entrance on Hillcrest Drive.)**

Provide a copy of the plat confirming the proposed openings and easements to remain. **

RESPONSE (12/30/24): NVAL show on the plans as well as the opening labeled in accordance with the plat submitted to Broward County.

- 18) Provide a setback table.

****Comment addressed. Tables shown on SP-0 and SP-1.****

- 19) Add the South setback to A0-105.

****Comment not addressed.****

RESPONSE (12/30/24): Sheet A0-105 has been eliminated from the submittal set.

- 20) There are multiple existing easements onsite. Please call out on the plans which easements will remain and will be abandoned. Identify the page and book number for each easement on each applicable sheet and the owner of said easement. A separate sheet is recommended to show if easements will remain or abandoned. Vacation may be required if easements were not established by plat, easement vacation is a separate application and process.

****Comment pending. This will be discussed with the EOR.****

RESPONSE (12/30/24): the only easements to be released is the FPL easement that crosses the canopy on the gas station which is part of the commercial site plan. There are no easements that will be released on the residential portion. All easements will remain.

- 21) For the parking garage, please fully dimension all parking stalls (depth for all stalls) and drive aisles/ramps on plans. Including the vehicle turn around stalls (standard parking stall requirements of 8.5'x19' applied), pedestrian areas, and non-vehicular areas. A typical length dimension may be used for each group of parking; however, the width of each parking space is required in the garage. The width should be the clear width of the parking space (i.e. face of column to face of column and show the striping on each side of the column).

****Comment partially addressed. Fully dimension the parking garage per the comment.****

RESPONSE (12/30/24): parking garage has been fully dimensioned per the comment above. Refer to sheets A2-301 a - BUILDING TYPE III FLOOR PLAN -LEVEL 1 -SECTOR A thru A2-306 b - BUILDING TYPE III FLOOR PLAN -ROOF LEVEL -SECTOR B

- 22) Revise the ADA symbols on the parking garage plan sheets to be per the city's Accessible Parking Space Details.

****Comment partially addressed. There are some ADA symbols missing in the parking garage.****

RESPONSE (12/30/24): all ADA signs have been added to the garage plans. Refer to sheets A2-301 a - BUILDING TYPE III FLOOR PLAN -LEVEL 1 -SECTOR A thru A2-305 b - BUILDING TYPE III FLOOR PLAN -LEVEL 5 -SECTOR B

- 23) For the parking garage, for parking stalls with obstruction on one side, minimum stall width shall be 9.5' and 10.5' with obstruction on both sides. Please revise the design as required.

****Comment partially addressed. Dimension the width of each space.****

RESPONSE (12/30/24): all parking stalls have been dimensioned. Parking stalls with obstructions on one and both sides have 10.5' width. All parking stalls have been dimensioned. Refer to sheets A2-301 a - BUILDING TYPE III FLOOR PLAN -LEVEL 1 -SECTOR A thru A2-305 b - BUILDING TYPE III FLOOR PLAN -LEVEL 5 -SECTOR B

- 24) For the parking garage, a 3-foot column setback is required from the edge of the parking space to the face of the column. Please dimension the setback at each column.

****Comment partially addressed. Confirmation with structural calculations will be required at the time of building permit for design with no building columns.****

RESPONSE (12/30/24): acknowledged.

- 25) Clarify the 'Void' area on A2-301b.

****Comment addressed. Plans revised.****

26) Label and dimension all walls inside the parking garage and provide a legend and hatching for walls, columns, nonvehicular access areas, turn around areas, etc.

****Comment not addressed. Address the comment and label all materials.****

RESPONSE (12/30/24): all materials and hatches have been addressed. Refer to sheet A0-002 Materials and abbreviations legend.

27) Identify the turn around space on A2-305b and hatch accordingly.

****Comment not addressed. Remove the hatching in the turn around space. Add wheel stops and 'No Parking'.****

RESPONSE (12/30/24): The hatching in the turnaround space has been removed. Wheel stops and No parking note has been provided. Refer to sheets A2-301 a - BUILDING TYPE III FLOOR PLAN -LEVEL 1 -SECTOR A and A2-305 b - BUILDING TYPE III FLOOR PLAN -LEVEL 5 -SECTOR B

28) Clarify the scale of the building on the A2 plan sheets as it appears to vary from the parking garage scale.

****Comment not addressed. The scale still appears to differ from the parking garage to the rooms. Clarify / label on A2-306 a, b that the parking is open at this level since the linework is shown.****

RESPONSE (12/30/24): the scale has been revised in all plans and is correct. The garage is a long structure that is located north to south in the site and the building type III is one structure that had been divided into 2 sheets to provide a better visual scale.

Dimension the leasing/clubhouse, bike storage, BOH, stairs, etc. shown on the parking garage plans, A2-301a – A2-305b.

Parking is shown on A2-306 a, b which are roof plans.

29) One van ADA space is required per every 6 ADA spaces. Please identify which spaces will be designated as a van ADA parking space and include this information on the parking table on SP- 1.

****Comment partially addressed. Two ADA van spaces are shown on the civil plans. This will be discussed with the EOR.****

30) It appears that there are 525 plus 14 garage parking spaces on sheets SP-3 through SP-6, 6 parking spaces on SP-8, and 499 spaces in the parking garage; however, the parking table indicates that there are a total of 1,056 spaces. Please confirm the proposed number of parking spaces. Please provide the parking count on an overall plan to verify the parking count.

****Comment partially addressed. This will be discussed with the EOR.****

RESPONSE (12/30/24): see updated site parking calculations

31) Confirm if bicycle spaces are proposed. If so, please show the concrete pad(s) and rack(s), add information to the parking table, provide details for the concrete pad and rack.

****Comment partially addressed. Parking Table on SP-0 indicates 53 spaces provided. Provide which sheets these are shown.****

RESPONSE (12/30/24): Bicycle spaces have been provided inside of each building at ground floor. Refer to sheets A2-101 - BUILDING TYPE I FLOOR PLAN LEVEL 1 & 2, A2-201 - BUILDING TYPE II FLOOR PLAN LEVEL 1 & 2, A2-301 a - BUILDING TYPE III FLOOR PLAN -LEVEL 1 and A2-401 - BUILDING TYPE IV FLOOR PLAN - LEVEL 1

32) Add details, dimensions, and elevations of the garage areas shown on SP-6. There is linework shown in the garage which indicates they car would enter from the South, but it is the opposite. Please clarify.

****Comment not addressed. This will be discussed with the EOR.****

RESPONSE (12/30/24): the garage access is from the north. Refer to sheet BUILDING TYPE III FLOOR PLAN -LEVEL 1

33) Show, callout, and dimension the parking garage entrance(s) and confirm the circulation on the site plan sheets.

****Comment not addressed. Label and dimension the entrance to the garage on SP-8. Fully dimension and show all materials on SP-7 and SP-8 to clarify the use of this area.****

RESPONSE (12/30/24): 24' wide parking garage entrance added to the site plan on sheet SP-8

34) Provide elevations of the parking garage and garage parking.

****Comment addressed. The elevation is provided on A4-301.****

35) Label the vertical clearances for the parking garage entrance and garage parking on the plan sheets.

****Comment not addressed. Address comment and dimension the opening on A-301.****

RESPONSE (12/30/24): vertical clearances for the parking garage entrance and garage parking has been labeled in all plan sheets. Refer to sheets A2-301 a - BUILDING TYPE III FLOOR PLAN -LEVEL 1 -SECTOR A thru A2-305 b - BUILDING TYPE III FLOOR PLAN -LEVEL 5 -SECTOR B

36) The approve comments are applicable both the parking garage and the detached parking garage at the center of the site. Additionally, it appears the parking garages are tandem spaces? Please clarify are these stalls assigned to specific units etc. Please clarify in plans and provide detail sheets for the detached garages.

****Comment addressed. Design has been revised.****

37) Detached garages: each garage requires a minimum clear space of 10.5 feet wide X 19 feet long. Please show how this clear space is being provided or be maintained.

****Comment addressed. Design has been revised.****

38) Label the guest parking spaces.

****Comment addressed for TAC. Applicant confirmed that they will be indicated on the plans for the building permit.****

39) Confirm if there are EV parking spaces. If so, add them to the parking table and provide details and dimensions. Clearly label them on the plan.

****Comment pending. This will be discussed with the EOR.****

RESPONSE (12/24/30): project will be “EV Ready” with final designs to be provided at time of building permitting. See FS366.94.

40) Provide Autoturn routings for the loading trucks and garbage trucks. Provide a truck legend to show the type of trucks used with their dimensions on the same plan.

****Comment partially addressed. The following areas appear to be in conflict:**

a. **AT-01: North entrance on Hillcrest Drive, SE corner of the roundabout.**

RESPONSE (12/30/24): AT01 revised to eliminate conflict.

b. **AT-02: The two bean shaped areas North of the parking roundabout.**

RESPONSE (12/30/24): entrance has been revised to eliminate conflict

c. **AT-03: The two bean shaped areas North of the parking roundabout, pickup for the Office is angled.**

RESPONSE (12/30/24): entrance has been revised to eliminate the conflict

41) Dimension the back out areas and provide an Autoturn for a large vehicle / truck to confirm that the back out distance is sufficient. Provide the truck in the legend.

****Comment not addressed. Response letter refers to AT-04; however, it appears that it was not submitted.****

RESPONSE (12/30/24): AT-02 has been revised to show how the loading truck will back out of the loading area.

42) Label the driveway radii at the entrances to the ROW.

****Comment addressed. Radii labeled on SP-6.****

43) The dumpster on the plans appear to vary from the details provided on A.14. Please clarify the additional walls shown to the left of the dumpster on the plan

sheets. The detail shows a door to the right of the dumpster. Please clarify. Confirm if a sidewalk is proposed adjacent to the dumpster leading to the door shown.

****Comment not addressed. Label the trash rooms on SP. There appears to still have discrepancies with the details provided on A1-102 and SP-5 sheets (i.e. Bldg #4, show linework for Bldg #3, bin linework is missing Bldg #1, show and label Bldg #5 on SP-7.**

There is not much information for Bldg #5. Address comment #33.

There is not a trash room detail provided for Bldg #5 or #6. Address how Bldg #5, Bldg #6, and the pool areas garbage will be maintained.

There is a trash pickup shown on SP-5, label / confirm this is for Bldg#5.

Bldg #6 on A2-301a shows a trash room. However, there is no detail. Please clarify on plans.

Dimension the trash rooms on the SP and architectural plan sheets and A1-102.

Label the building numbers and amenities on SP-0 and amenities on SP-1.**

RESPONSE (12/30/24): A trash management plan has been provided for all buildings. Refer to sheet A1-102 - TRASH MANAGEMENT PLAN, where all the trash rooms have a blow up for better labeling and dimensioning. Also, each bldg. type has been clarified as to what bldg. number represents in the site plan. i.e Building type I is building #2, Building type II are buildings #1 and #4, building Type III is building #5 and building type IV is building #3. Trash rooms labeled on site plan sheets and dimensions of the trash rooms labeled on the site plan sheets.

- 44) Please show, label, and dimension the dumpster locations and identify the type of doors to be used for the dumpster enclosure. Call out in plans.

****Comment partially addressed. Number the trash rooms and buildings on the architectural plan sheets to be consistent with the details provided on A1-102. Provide page numbers of the architectural plan sheets that show the trash rooms in the response letter.**

RESPONSE (12/24/30): All trash rooms enlarged on sheet A1-102 - TRASH MANAGEMENT PLAN, have been identified with the building that they belong to for clarification and better understanding.

Show, label, and number the trash rooms on SP-0. Numbers shall be consistent with the architectural plans.

RESPONSE (12/30/24): Trash rooms labeled on sheet SP-0

SP-5 shows fence linework at two places at the NW corner of the sheet. Please confirm and revise as applicable.**

RESPONSE (12/30/24): Linework removed

- 45) Provide additional detail for the trash roll out areas and confirm if the curb continues through what appears to be a ramp.

****Comment partially addressed. Trash roll out areas are shown for Bldgs 2-4. Address comment #44.****

RESPONSE (12/30/24): please see A1-102 for trash detail and related civil sheet.

- 46) Show, label, and dimension the loading area on the site plan sheets and add the loading spaces to the parking table. Loading spaces shall be minimum 10'x25' with minimum 14' vertical clearance.

****Comment partially addressed. Label these locations on AT-03.****

RESPONSE (12/30/24): Loading areas labeled on sheets AT-01, AT-02 and AT-03

- 47) All driveway access shall have visibility triangles at the intersection of the property line and the driveway. Please show on plans all visibility triangles at all driveway accesses. A visibility triangle is an area adjacent to a driveway and the private property line where the driveway intersects a street/alley. If the property line is less than 12 feet from the edge of pavement in the rights-of-way provide a 12'X12' visibility triangle along the property line and driveway within the private property. If the distance is greater than 12 feet provide a 12' (along driveway on private property) X 6' (along property line) visibility triangle. Add a note to the plans indicating all fences, walls, bushes, hedges, and any other landscaping or plant material, within the view triangle shall provide unobstructed cross visibility at a level between 30 inches and 72 inches above ground level. Please address this in the plans including the dimension from the edge of pavement to the property line and add the dimensions the visibility triangles.

****Comment partially addressed. Show and label at the circular entrance and exit on Hillcrest Drive.**

Shift the triangles at the entrance/exit on S. Park Road out of the asphalt.**

RESPONSE (12/30/24): Sight triangles shifted.

- 48) Fully dimension the ROW (i.e. centerline to new property line, full width of the ROW, new sidewalk, swale). There is some information on the referenced survey; however, the line weight is very light. Please adjust the line weight on the civil plans for clarification.

****Comment partially addressed. Include the dimensions from the centerline to the property lines on both sides of the ROW.****

RESPONSE (12/30/24): Dimensions added.

- 49) Dimension the buildings on the architectural plans and confirm they are consistent with the dimensions of the buildings on the civil site plan sheets.

****Comment not addressed. Dimension the buildings on A0-105 and SP sheets.****

RESPONSE (12/30/24): sheet A0-105 has been eliminated from the submittal set.

50) Dimension all sidewalks on the civil site plan sheets excluding the curb.

****Comment partially addressed. Dimension all sidewalks along with the current labels.****

RESPONSE (12/30/24): All sidewalks are dimensioned.

51) All walkways within the property are required to be a minimum of 3 feet setback from the side property lines, please ensure this is provided and call out the required setback on the plans.

****Comment partially addressed. Provide dimensions from the property line to the retaining wall / sidewalk along the site. Separate the width of the retaining wall in the setback dimensions.**

RESPONSE (12/30/24): Dimensions from property line to retaining wall and retaining wall to sidewalk added.

Provide a detail of the retaining wall with dimensions of the retaining wall (height and width) including the footer and the proximity of the footer to the property line.**

RESPONSE (12/30/24): Design of retaining wall will be provided at time of permit. The footer will not encroach into the easement areas and this is graphically shown on the sections of the PGD plans. Also noted added to plans indicating such.

52) On the Circulation + Land Use Diagram (no sheet number shown on page), include location of pedestrian crossing.

****Comment partially addressed. There is double hatch for the sidewalk and asphalt driveways. Clearly show the sidewalk through the driveways.**

RESPONSE (12/30/24): Sidewalk added across entrances on Park Road and Hillcrest

Provide an ADA sidewalk connection and crosswalk near the parking roundabout connecting the West to the East.

RESPONSE (12/30/24): Sidewalk provided.

Provide an ADA sidewalk connection from the entrance to Hillcrest Drive on the East side of the entrance. **

RESPONSE (12/30/24): A sidewalk connection cannot be provided at this location due to the retaining walls required and the grade differential

53) Demonstrate and dimension the sidewalk clear space in front of the door swings

to the front of the sidewalk for all buildings to confirm that it meets ADA standards.

****Comment addressed on SP sheets.****

54) Identify the type of curb and dimension the curb on and offsite.

****Comment partially addressed. Label the type of curb at the entrance from S. Park Drive. SP-2: revise the curb linework entering into the property to the North.****

RESPONSE (12/30/24): Curbs have been labeled at the entrance to S. Park Drive.

55) Add the sidewalk dimension to the sidewalk in front of the amenity building next to the roundabout and access road.

****Comment not addressed. Provide dimension. ****

RESPONSE (12/30/24): sidewalk dimensioned in front of the amenity building.

56) Label the access road (i.e. street name) on the site and civil plan sheets.

****Comment addressed. Hillcrest Drive is labeled on the plans.****

RESPONSE (12/30/24): Hillcrest Drive now labeled on the plans.

57) Dimension the curb cuts at the new property line.

****Comment partially addressed. Dimension the drive lanes and curb cut at the entrance on S. Park Road.**

RESPONSE (12/30/24): drive lanes and curb cut at entrance on S. Park Road dimensioned

Dimension the Northern circular drive entrance on Hillcrest Drive.**

RESPONSE (12/30/24): north circular drive entrance on Hillcrest Drive now dimensioned

58) Provide cross-sections at each property line and for the driveways. Add dimensions on the PGD plans adjacent to where the cross sections are labeled to confirm the correct dimensions are shown.

****Comment partially addressed. Add dimensions on PD and architectural sheets in the area of the sections.**

Show the footer of the retaining wall.

RESPONSE (12/30/24): Footer now shown on the retaining wall on the PGD sections. Sections at property lines dimensioned to match the appropriate section

A-A, C-C, E-E, H-H, I-I: linework shows a fence, callout says railing. Please clarify on plans.

RESPONSE (12/30/24): It will be a railing installed on top of the retaining wall and this is labeled

B-B, C-C, H-H: Show new sidewalk in ROW.**

RESPONSE (12/30/24): New 6' sidewalk now indicated in sections.

- 59) Show and callout all proposed curbing on and offsite. Identify any areas where a 3-foot nose down curb is applicable and call out the beginning and end of the transition and provide a detail.

****Comment partially addressed. Clarify how the flared ends of the entrances tie back into existing conditions. Label on SP sheets, provide detail(s) in the plan set.****

RESPONSE (12/30/24): see flared end section detail on sheet PD9.1

- 60) Show, label, and dimension a new sidewalk around the site.

****Comment partially addressed. Ensure hatch is bold along entire frontage and add dimensions.****

RESPONSE (12/30/24): hatching has been bolded.

- 61) Please clearly call out on the plans for swales to be restored along the ROW where applicable. This should be restored with grass to the City of Hollywood Typical Swale Grading Detail and Turf Restoration Detail, please include details in the plan set.

****Comment addressed.****

- 62) Show and label detectable warnings in the ROW. Please include a standard FDOT detail in the plans for the detectable warnings. (Provide detectable warnings at all driveway crossings both within the ROW and within the site itself.)

****Comment partially addressed. Label detectable warnings and provide applicable FDOT detectable warning strip detail(s).**

RESPONSE (12/30/24): detectable warning labeled and detail provided on sheet PD-9

Provide applicable FDOT curb ramp details.**

RESPONSE (12/30/24): FDOT ramp details provided on sheet PD9.1

- 63) Provide ADA accessible routes between ADA accessible parking and building access and accessible route to the public rights-of-way. Please add a note on the site plan and the Paving, Grading, and Drainage (PGD) Plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference state, the transition is flush. Show the accessible routes on site plan and PGD.

****Comment partially addressed. Label flush conditions and add the note to A0-105.**

RESPONSE (12/30/24): sheet A0-105 has been eliminated from the submittal set.

Add elevations and dimensions to PD sheets at the building entrances to confirm that the 2% slopes are not exceeded.**

RESPONSE (12/30/24): grading added where appropriate. Final slopes to be finalized at time of building permit.

64) Please identify the location of the ADA signage, please consider wall mounting

Address on sheets A2-301a – A2-305b.**

RESPONSE (12/30/24): ADA sign has been provided as painted sign in each space provided inside the garage.

65) Please identify and dimension all Back of House areas, as well as mail/package room locations.

****Comment partially addressed. Dimension the leasing/clubhouse, fitness area, bike storage, BOH, stairs, etc. shown on the parking garage plans, A2-301a – A2-305b.****

RESPONSE (12/30/24): All requested dimensions have been shown on plans. Refer to all architectural plan sheets.

66) Provide a legend and hatching for all materials on the site plan and PGD plan.

****Comment partially addressed. Add to A0-105.**

RESPONSE (12/30/24): sheet A0-105 has been eliminated from the submittal set

Hatch offsite milling and resurfacing and pavement restoration on A0-105, SP, and PD sheets.**

RESPONSE (12/24/30): limits of milling and resurfacing has been added to SP and PD sheets

67) Use a legend and hatching to identify existing and proposed materials on the civil plan sheets.

****Comment addressed.****

68) On the Site Plan and PGD Plan, please call out all materials for the walkways, drive aisles and vehicular parking areas. Ensure the material requirements align with City of Hollywood Code:

a. Concrete:

Concrete driveways on private property will be 5-inch thick, 3,000 PSI with fiber mesh while the portion of the driveway located within the ROW

(Outside of the property lines) will be a minimum of 6 inches thick, 3,000 psi, with no metal or fiber mesh and will be constructed flush with the existing roadway and sidewalk. The entire driveway will maintain control joints located every 250 sq.ft and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

b. Pavers:

Paver driveways require a minimum 2 3/8th inch pavers placed over a 1-1/2 inch sand base and compacted subbase. In addition to a Minimum 6-inch edge restraint (concrete border) is required around perimeter to interlock pavers. The driveway is to be constructed flush with the existing roadway and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

c. Asphalt:

Asphalt driveway is required to be a minimum 6-inch limerock base, tack coat, and 1- inch layer of S-III asphalt. The driveway is to be constructed flush with the existing roadway and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

****Comment partially addressed. Include the applicable notes to the civil plans either on PD sheet(s) or PD-9 where applicable.****

RESPONSE (12/30/24): Notes have been added to sheet PD-9

- 69) All roads and streets adjacent to the project site will require asphalt pavement mill and resurfacing. Please add a note on the Site plan and PGD Plan, provide hatching to show limits and add dimensions from the property line to the end of the milling and resurfacing to show the extent(s).

****Comment not addressed.****

RESPONSE (12/30/24): Limits of mill and resurfacing has been added to the PGD plans (PD-1 shows an overview).

- 70) Show the pavement restoration and details required for the water and sewer connections within City rights-of-way. Full road width pavement mill and resurface is required for adjacent road to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set.

Comment Partially addressed: Restoration of pavement within rights of way are indicated on the Water and Sewer plans. However, the restoration shall be full lane width. For example, on sheet WS-8 the applicant shows a proposed tapping that will extend into the middle, of Hillcrest Drive, this will require the entire road width of Hillcrest Drive to be restored. Please square off the restoration and extend to adjacent EOP.**

RESPONSE (12/30/24): pavement restoration limits has been revised.

- 71) Provide civil plans for the proposed work indicating items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation,

sight visibility triangle, vehicular turning radii, pavement marking, and signage plans and details. Show location of existing water and sewer mains on plans and show how you are planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width pavement mill and resurface is required for adjacent road to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set.

****Comment partially addressed. Address comments and resubmit.****

RESPONSE (12/30/24): See updated plans.

- 72) Please provide a pavement marking plan for both on and off-site. These pavement markings are to comply with the City of Hollywood Standard Details in addition to the Broward County Traffic Engineering Division Standard details. Please provide any applicable details in the plan set. Ensure pavement markings across plan sets are identical.

****Comment partially addressed. Provide offsite PMS plans.****

RESPONSE (12/30/24): civil sheets are at a 1"=20 scale and the limited amount of off site improvements required, both on site and off site PMS is indicated on the PMS plans

- 73) Show the directional arrows on the site plan including the one-way for the entrance on Hillcrest Drive.

****Comment addressed.****

- 74) Provide civil engineering plans showing the required offsite demolition in the ROW for the proposed improvements.

****Comment partially addressed. Submit a civil cover sheet and demolition plan.****

RESPONSE (12/30/24): per discussion with staff, the only demolition to take place within the right of way is sidewalk which will be replaced with new sidewalk. This is labeled on the PGD plans

- 75) Provide civil engineering plans showing the required offsite restoration in the ROW for the proposed improvements.

****Comment addressed on civil plans.****

- 76) Please include the latest standard City of Hollywood details in the plan set. Applicant is using old standards. <https://www.hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan> include all applicable details.

****Comment addressed for TAC; details shown in civil plans.****

77) BCTED approval will be required for all pavement markings being restored in the ROW. Please provide a plan showing the proposed pavement markings to be restored.

****Comment not addressed. Provide offsite PMS plans.****

RESPONSE (12/30/24): BCTED approval to be provided at the time of the City Building Permit.

78) For utilities work within City rights-of-way, ROW permit will be required at the time of permit.

****Comment to be addressed at the time of the City ROW Permit. Applicant acknowledges the requirement.****

79) MOT plans required at the time of City Building Permit review.

****Comment to be addressed at the time of the City Building Permit. Applicant acknowledges the requirement.****

80) All outside agency permits are required at the time of City building permit review.

****Comment to be addressed at the time of the City Building Permit. Applicant acknowledges the requirement.****

81) This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.

****Comment to be addressed at the time of the City Building Permit. Applicant acknowledges the requirement.****

82) Traffic impact analysis is required. (Traffic study methodology has been received and under review.) Traffic analysis should include site access locations, trips generated by the project and all committed trips of future projects, trip distribution and impact to the roadway network. Provide a review of existing and future multimodal transportation impacts and needs. Include a review of existing and future transportation related improvements and amenities such as street and pedestrian lighting, bus shelter, bike facility and/or sidewalks. Traffic study reviews are done on a cost recovery basis by a City's traffic engineering consultant.

Review overall development pedestrian connectivity between uses/parcels. This requires review with architectural plans building access locations and traffic study for pedestrian connectivity and vehicular traffic circulation.

Traffic study reviews are done on a cost recovery basis by a City's traffic

engineering consultant. Please see information below.

*Resolution R-2015-209.

A minimum payment can be made to begin the review upon receipt of the study. Payments can be made online via link at <https://apps.hollywoodfl.org/PaymentCenter/EngineeringPayment.aspx>.

Here is information to be inputted when an online payment is

made. Application Type = Others Permit # = Site Address

Notes = Traffic Review Cost Recovery Fee

****Comment pending. Traffic study is under review.****

- 83) Traffic engineer review of the parking around the roundabout will be required. Applicant calls this circular area as a drop off, however there is no designated area for an idle car. As designed, parked cars would be blocked in as cars drop off patrons. Concerns with pick up/drop off affecting access to adjacent parking stalls.

****Comment pending. Please provide response on how this comment is being addressed.****

RESPONSE: adequate vehicular movements and storage have been provided. Southern roundabout has 48' of paving for vehicle movements, and north roundabout is one-way with 14' of vehicle movement. If a vehicle is idling, it will be in a parking space. Additional guest parking is provided throughout the site (see SP sheets for the "G" label and

- 84) BCTED approval will be required for all pavement markings being restored in the ROW. Please provide a plan showing the proposed pavement markings to be restored.

****To be provided.****

RESPONSE (12/30/24): BTCED approval to be provided at time of building permit.

- 85) More comments may follow upon review of the requested information.

New Comment. November 3, 2024:

- 86) Be sure site plan complies with plat requirements for any dedication requirements.

RESPONSE (12/30/24): per pre-app with BC, plans are consistent.

cc: Joan Shen, P.E., PhD, Assistant City Engineer
Rick Mitinger, P.E., Transportation Engineer
File

November 4, 2024

Park Road Developments, LLC
515 East Las Olas Blvd,
Fort Lauderdale, Florida 33020

FILE NUMBER: 23-JDP-86b

SUBJECT: Final Site Plan review for a 620-unit residential development as part
of a Rezoning process for a future Planned Development (Park Road LUPA)

SITE DATA

Owner:	City of Hollywood
Applicant:	Park Road Developments, LLC
Address/Location:	Generally located on the north-west corner of South Park Road and Pembroke Road, south of Hillcrest Drive
Gross Size of Property	N/A
Net Size of Property:	15.45 acres
Land Use:	Utilities (UTL) & Open Space and Recreational
Zoning:	Government Use (GU)
Existing Use of Land:	City's Public Works Department, Outdoor storage, and Vacant Open Space
Year Built:	Not Applicable (Broward County Property Appraiser)
Proposed Land Use:	High (50) Residential (HRES)
Proposed Zoning:	Planned Development (PD)

ADJACENT LAND USE

North:	High (50) Residential (HRES), Community Facility (COMFAC)
South:	Utilities (UTL), Pembroke Park
East:	General Business (GBUS) and Medium (16) Residential
West:	Industrial (IND) & Open Space and Recreation

ADJACENT ZONING

North:	Hospital District (HD) & Multiple Family District (RM-25)
South:	Government Use (GU), Pembroke Park
East:	Multiple Family District (RM-25) & Trailer Park District (TD) & Low Intensity Industrial and Manufacturing District (IM-1)
West:	Planned Unit Development (PUD) & Low Intensity Industrial and Manufacturing District (IM-1) & Office District (O-1)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED)

A. APPLICATION SUBMITTAL

Cameron Palmer, Principal Planner (cpalmer@hollywoodfl.org) 954-921-3471

1. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.

NOT SATISFIED: This will be included as a condition of approval.

RESPONSE (12/30/24): platting is required. Plat application has been submitted to Broward County and the City.

2. Ownership & Encumbrance Report (O&E):

NEW COMMENT: Indicate it was searched from the time of platting or 1953

RESPONSE (12/30/24): confirming search went back to at least 1953 and complies with ALTA requirements for marketable title.

- a. Must be dated within 30 days of submittal packet.
- b. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.

RESPONSE (12/30/24): all easements are shown and depicted.

3. Alta Survey:

- a. Shall be based on and dated after O&E. Ensure that O&E report is specifically referenced.
- b. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.

4. Site Plan & Cover Sheet

Per the PTAC submittal checklist the following items were either missing from the Cover Sheet/Site Plan or require revisions. (Refer to TAC Submittal Checklist: <http://hollywoodfl.org/ArchiveCenter/ViewFile/Item/454> and [Guide to TAC Submittal Checklist.](#))

- a) Provide the dates for PACO, PTAC, FTAC, and Sign off submission on the resubmission

RESPONSE (12/30/24): cover letter included with this resubmission to document the approvals timeline.

5. **NEW COMMENT:** Please provide a Land Use overlay plan, this plan should note the locations of the storm water management features that are part of ongoing discussions with regards to the the dedication of these lands into City ownership. Provide a calculation for the remaining residential lands to ensure compliance with LUPA requested density.

RESPONSE (12/30/24): the land to be dedicated remains undefined. Applicant and staff agreed that a dedication and/or easement will be provided post-construction, as a final survey is typically required as part of any conveyance/easement. Further, the density would be retained by the overall project and not assigned.

6. **NEW COMMENT:** Pursuant to the request for a PD rezoning, the Applicant shall submit a Master Development Plan for all land within the Planned Development District. The updated Master Development Plan shall address: all requirements for Master Development Plans as enumerated in Section 4.15. F.3 of the City of Hollywood Zoning and Land Development Regulations, and include;

- a. Certified boundary survey;

RESPONSE (12/30/24): survey has been submitted numerous times, including the ALTA and plat.

- b. General schematic representation of the land uses with densities, intensities, along with a table of computation which depicts parking, building height and site coverage;

RESPONSE (12/30/24): required information is included in the PD overlay and site plan cover sheets for the respective commercial and residential site plans.

- c. Approximate delineation of internal circulation, with hierarchical classification of streets;

RESPONSE (12/30/24): please see PD circulation plan, which shows the circulation (vehicular and pedestrian) for the entire project.

- d. Points of connection of the local streets to the trafficways, including general indication of the necessary improvements to the trafficways to accommodate the local trips generated by the Planned Development (Road Hierarchy Diagram);

RESPONSE: (12/30/24): please see PD circulation plan, which shows the points of connections to the existing street network. The only off-site improvement is related to FDOT's request to add queueing distance on eastbound Pembroke Road turning north onto Park Road.

- e. General location and size of any community facility included within the Planned Development such as parks, schools, fire stations, community center, etc.;

RESPONSE (12/30/24): location of community facilities are clearly noted on the civil and landscape plans, with additional detailing included in the architectural plans. Note that public parks, schools, fire stations, police stations, etc., are not being dedicated as part of this project.

- f. Indication of existing vegetation and all other natural features within the Planned Development together with general plans for the conservation or mitigation thereof;

RESPONSE (12/30/24): due to the site's brownfield designated and required environmental remediation measures, conservation efforts are limited to the site perimeter (where feasible). On-site conservation is not physically possible, as environmental remediation will require the majority of site to undergo active soil management efforts.

- g. Schematic depiction of existing and proposed surface water management elements, including wetlands, retention facilities, drainage easement and swales; and

RESPONSE (12/30/24): existing water management systems are shown as the background on the PGD plans within the respective commercial and residential site plans. Note the majority of the site does not have any surface water management. SWM license application for the entire site is currently submitted and being reviewed by Broward County concurrent with the brownfield remediation efforts.

- h. Schematic depiction of the water distribution and wastewater collection facilities and drainage system, including easements.

RESPONSE (12/30/24): please see the water and sewer plans within the respective commercial and residential site plan applications.

- i. Pedestrian Circulation Diagram

RESPONSE (12/30/24): please see circulation exhibit that is part of the PD plan.

j. Open Space Diagram

RESPONSE (12/30/24): open space diagram is depicted in the PD plan. Detailed calculations of the respective landscape areas are included in the landscape submittals in the respective commercial and residential site plan applications.

B. **ZONING**

Cameron Palmer, Principal Planner (cpalmer@hollywoodfl.org) 954-921-3471

NEW COMMENT: PD Master Plan document not located; kindly submit the Master Plan document.

RESPONSE (12/30/24): updated PD narrative included with this response to comments.

1. Staff notes that a Planned Development (PD) Master Plan has not been submitted as part of this submittal. The PD Master Plan document is required to provide zoning standards for:
 - a. Parking and loading provision rates and standards
 - b. Landscaping & VUA requirements
 - c. Open space and pedestrian connectivity requirements
 - d. Architectural standards for building elevations, encroachments, screening requirements, etc.
 - e. Urban Design standards for building location and site configuration
 - f. Permitted Uses, Development Intensity, and thresholds for the PD
 - g. Signage requirements
 - h. Utilities and stormwater requirements
 - i. Phasing plan
 - j. Road structure and hierarchy (private and public)

This site plan request (that seek to establish the uses anticipated through the concurrent PD rezoning request) are to be reviewed against the regulations and standards set out in the applicant's proposed PD Master Plan. Without the master plan staff can only provide high level comments.

COMMENT NOT ADDRESSED: PD Master Plan document not located; kindly submit the Master Plan document that provides the zoning parameters of the PD, if the zoning parameters match those in the existing ZLDRs this must be outlined in the Master Plan document. Please note, the PD Master Plan document is a written narrative and will have supporting plans.

RESPONSE (12/30/24): updated PD narrative included with this response to comments.

2. Update comprehensive site plan zoning statistics table to include land use areas (SF), heights, setbacks, and bicycle parking. Demonstrate compliance with PD master plan.

PARTIALLY ADDRESSED: PD Master Plan document not located; kindly submit the Master Plan document that reflects the zoning parameters for the PD.

RESPONSE (12/30/24): updated PD narrative included with this response to comments.

3. Demonstrate compliance with parking & loading requirements and standards of the PD master plan.

PARTIALLY ADDRESSED: PD Master Plan document not located; kindly submit the Master Plan document that reflects the zoning parameters for the PD.

RESPONSE (12/30/24): updated PD narrative included with this response to comments.

4. Demonstrate compliance with landscaping and VUA landscaping requirements of the PD master plan.

PARTIALLY ADDRESSED: PD Master Plan document not located; kindly submit the Master Plan document that reflects the zoning parameters for the PD.

RESPONSE (12/30/24): updated PD narrative included with this response to comments.

5. Demonstrate compliance with open space requirements of the PD master plan.

PARTIALLY ADDRESSED: PD Master Plan document not located; kindly submit the Master Plan document that reflects the zoning parameters for the PD.

RESPONSE (12/30/24): updated PD narrative included with this response to comments.

6. Demonstrate compliance with urban design and architectural façade standards of the PD master plan.

COMMENT NOT ADDRESSED:

APPLICANT RESPONSE: architectural detailing included in site plan submittal. Proposed PD master plan does not contain specific architectural standards but provides a general sense of architectural expression.

PDs are required to have Design Guidelines within the PD Master Plan document, these guidelines must speak to architectural treatments, public realm improvements, and standards to guide the design elements of future development in a cohesive manner.

RESPONSE (12/30/24): updated PD narrative included with this response to comments, which includes a description of the architectural style, expression, and design intent.

7. Demonstrate phasing plan if sites will be developed as independent site plans, coordinate with PD master plan.

COMMENT NOT ADDRESSED: Are all residential blocks being developed at the same time? Please provide a Phasing Plan

RESPONSE (12/30/24): the internal phasing of the residential will be market driven, but it is most likely that the surfaced parked portion of the plan will be developed first.

8. Clarify Parking table headers on sheet A0-105.
9. Demonstrate that tandem spaces are only being counted for 2-bedroom units (unless valet services are proposed).
10. Denote guest parking on site plan.

COMMENT NOT ADDRESSED:

APPLICANT RESPONSE: guest parking will be designated at time of building permit. Guest parking is provided (see data tables). The location and configuration of guest parking is established as part of the Site Plan review process. Please provide.

RESPONSE (12/30/24): please see civil SP sheets for guest labels (denoted by a "G") and A2-301a. Final

placement of guest parking spaces may be revised at time of building permitting.

11. Please dimension individual and parallel typical space, ensure compliance with 4.6(C)(3)(g)
12. Demonstrate compliance with the minimum required width of parking spaces which are adjacent to a wall or other solid obstruction shall be 10.5 ft.
13. No column shall be within 3 ft. of the entrance to a parking space.
14. Demonstrate how loading and trash pick up will function.

COMMENT PARTIALLY ADDRESSED: Please provide truck maneuvering diagram to demonstrate feasibility.

RESPONSE (12/30/24): autoturn exhibits are included in the civil set (specifically AT-03).

15. Screening treatment is required for parkade facades. Demonstrate compliance with screening requirements of PD master plan.
16. Provide screening between surface parking and the right of way, standards to be outlined in the PD master plan.
17. Work with the City Landscape Architect to ensure all relevant landscape regulations are satisfied. Pursuant to Article 9, SS9.3: 1 tree per 1,000 sq. ft. of pervious area of property
 - a. Please note: All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the South Florida Building Code, the Florida State Statutes, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these Regulations.

C. ARCHITECTURE AND URBAN DESIGN

Cameron Palmer, Principal Planner (cpalmer@hollywoodfl.org) 954-921-3471

NEW COMMENT: Please provide key map on all elevations to denote which building is being presented.

RESPONSE (12/30/24): key plan added to the respective sheets with a leader to denote the specific building and location.

1. Identify the location of any rooftop equipment on the roof plan, including screening for such equipment.
2. If canopies or structures are proposed over any surface level parking spaces, provide a detail for the canopy / structure, and label the location on the site plan.
3. Identify internal circulation street types (private vs public roads) and the required standards as per the PD master plan.

COMMENT PARTIALLY ADDRESSED: Circulation needs to be provided as a separate sheet as part of the Master Plan document. Please provide:

- 1) Pedestrian Circulation diagram, depicting multi use paths, sidewalks, transit stops, and other multi modal transportation elements (if available)
- 2) Road Hierarchy Plan

RESPONSE (12/30/24): PD master includes one exhibit showing the required information. Road hierarchy, sidewalks, and trail systems are clearly depicted in the exhibit. Transit stops were not requested as part

of the plat review. Bicycle parking is internalized into the residential buildings.

4. Staff recommends that the proposed “trail” should be a widened Multi-Use Path (MUP) for cycling and pedestrian activity with a minimum width of 15’

COMMENT PARTIALLY ADDRESSED: Dimension 8’ path width on Site Plans

RESPONSE (12/30/24): 8’ dimension is called out on the civil plans, specifically on the PD detail sheets (PD-2 through PD-8).

5. Staff recommends connecting the trail/MUP to the southern retention pond within the Commercial area.

COMMENT PARTIALLY ADDRESSED: Connection not clear, please illustrate a feasible pedestrian connection on the PD Master Plan Circulation Diagram.

RESPONSE (12/30/24): the connection is clearly shown on the SP-0 sheet (and detailed throughout the civil set), which shows the concrete sidewalk, crosswalks, and connections between the respective uses. Applicant does not understand how to more clearly document the proposed condition.

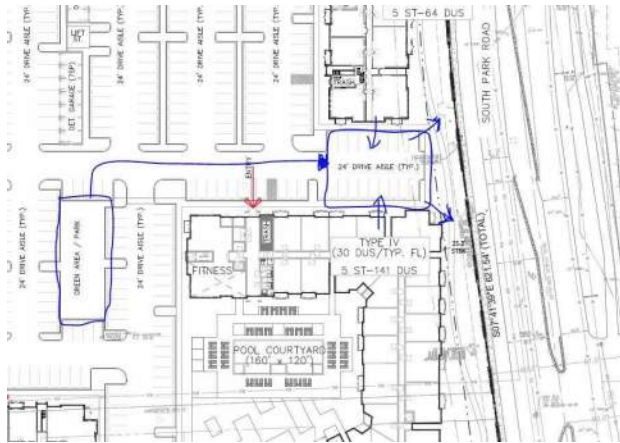
6. Improve pedestrian connectivity within surface parking areas by creating direct pedestrian movement routes through the alignment of drive aisles, example provided below:



COMMENT PARTIALLY ADDRESSED: Connection not clear, please illustrate a feasible pedestrian connection on the PD Master Plan Circulation Diagram. Include the pedestrian sidewalks in the aligned traffic islands on the Site Plan.

RESPONSE (12/30/24): sidewalk and walkway linkages are shown the PD circulation exhibit. Sidewalk and walkway pathways are fully detailed in the civil set to document the requested connections. The level of detailed being requested by staff belongs in the civil set, not the PD exhibit.

7. Staff recommends the relocation of the proposed open space and green area within the parking area as the current proposed location does not provide for optimum usability. Please relocate the green/park areas in a manner that creates meaningful recreational facilities to future residents and the public with adequate connections to other pedestrian and cycling facilities, including the premier multi use trail. See mark-up below:



COMMENT PARTIALLY ADDRESSED: As the green space has been removed with the latest submission, please provide a list of “on-site amenities” through the PD Master Plan Open Space Diagram.

RESPONSE (12/30/24): additional space was added between the landscape islands to increase the planting plan throughout the surface parking area. The illustrative plan in the PD document shows the proposed open space.

8. Provide enhanced gateway feature or architectural treatment – standards to be outlined in PD Master Plan – at the northeast corner of the site at the intersection of Hillcrest Drive & South Park Road. It may be beneficial to coordinate this design exercise with the location of potential public art as part of the Arts in Public Places Ordinance (if applicable).

COMMENT NOT ADDRESSED: Please denote the locations for gateway features, this should be done at the Hillcrest Drive intersection with Park Road and at every access point. Gateway features may be included as a condition for approval.

RESPONSE (12/30/24): entrance features will be submitted at time of building permitting. The intent is to have entrance features generally consistent with the architectural monumentation installed for the Hillcrest Community. For the feature on Pembroke Road, the intent is to have a feature generally consistent with the City’s recent monumentation plans to ensure a uniform aesthetic while still accommodating tenant signage.

9. The city's art in public places ordinances require new developments of 20,000 square feet or more to contribute art, payment, or a combination of payment and art prior to the issuing of building permits. Please choose one of the following commitments below:

- In-lieu Public Art Fee: 1% of the cost of the proposed development project, as an "in lieu" public art fee, with a minimum payment of \$5,000.00.
- Placement of Artwork on Site: Placement of Artwork on the site of the development project, with a minimum value of 1% of the cost of the proposed development project, which shall not be less than \$5,000.00.
- Combination of In-lieu Public Art Fee and Placement of Artwork on Site: Placement of Artwork on the site of the development project when valued and combined with a payment of a public art fee, totals 1% of the cost of the proposed development project, which shall not be less than \$5,000.00.

10. All renderings shall reflect actual proposed landscape material. Work with the City’s Landscape Architect to ensure species proposed are appropriate.

D. SIGNAGE

Cameron Palmer, Principal Planner (cpalmer@hollywoodfl.org) 954-921-3471

1. For review, full signage package shall be provided.

RESPONSE (12/30/24): full signage package will be submitted at time of building permit. Logo, colors, type, etc., is not known at this time.

2. Include note on Site Plan indicating all signage shall be in compliance with the Zoning and Land Development Regulations.

RESPONSE (12/30/24): comment previously added. See note #5 on SP-1.

3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

RESPONSE (12/30/24): noted.

E. LIGHTING

Cameron Palmer, Principal Planner (cpalmer@hollywoodfl.org) 954-921-3471

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 allowed).

RESPONSE (12/30/24): comment previously added. See note #6 on SP-1.

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Cameron Palmer, Principal Planner (cpalmer@hollywoodfl.org) 954-921-3471

1. As per the City of Hollywood's green building ordinance in Chapter 151, the project will require a third party green building certification since this project has more than 20,000 square feet of total floor area. USGBC's LEED certification or Florida Green Building Coalition certification are the minimum standards. Include which third party certification program this project has chosen in a note on the site plan and provide green registration documentation with next submittal.

RESPONSE (12/30/24): see response on prior TAC's, which included the requested list of items. Project will comply with City requirements. Note included on SP-1, note #9.

2. Submittal shall indicate compliance with Green Building Ordinance (O-2011-06). Include a list with proposed green building practices. Include a list with a minimum of ten (10) green building practices.

RESPONSE (12/30/24): see response on prior TAC's. Project will comply with requirements

3. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces.

RESPONSE (12/30/24): project is intended to be EV ready with location and power design to be completed at time of building permitting if desired by Applicant.

4. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved.

RESPONSE (12/30/24): note #9 on SP1 is included for reference. Final certification level to meet or exceed City requirements, with such documentation being provided at time of building permit.

G. ENGINEERING

Azita Behmardi, City Engineer (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

1. Comments to be provided under a separate memorandum.

RESPONSE (12/30/24): noted.

H. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3900

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

1. Tree #90, Carrotwood, is a Cat 1 Florida Invasive species, add note on list. No mitigation required.

RESPONSE (12/30/24) Note has been added to the tree mitigation list, see Sheet L1-1-01.

2. Revise mitigation table, as per list 25 trees are being proposed for removal (not 23). Adjust mitigation as needed. Inches being removed is not matching, list shows 372". List trees/palms being proposed towards mitigation. Mitigation requirements are in addition to site requirements.

RESPONSE (12/30/24): The tree mitigation chart has been updated, see Sheet L1-1-01.

3. All trees to meet site and mitigation requirements shall be 12' ht, 2" dbh minimum. See plant list and adjust as necessary, smaller trees shall not be counted. Provide chart with breakdown of trees to meet requirements and those to meet mitigation.

RESPONSE (12/30/24): The tree mitigation chart and calculations breakdown have been updated, see Sheet L1-1-01.

4. Show and label all existing trees/palms in swale areas, including those on S. Park Rd.. Provide on disposition list. Show and label those to remain on Landscape plan with corresponding tree number from disposition list.

RESPONSE (12/30/24): All the existing trees/palms have been shown and labeled, see Sheet L1-2-01, L1-2-02, L1-2-03, L1-2-04, L1-2-05. All the trees/ palms on site are to be removed.

5. Show and label Root Barriers for proposed trees behind sidewalks and those in the swale areas.

RESPONSE (12/30/24): Root barriers have been added and labeled on tree plans, refer to Sheet L5-1-01, L5-1-02, L5-1-03, L5-1-04, L5-1-05.

6. Provide sight triangles on plans at intersection of driveway and property line – Sec. 155.12 (d)

RESPONSE (12/30/24): The sight triangles have been added to related sheets, specifically the civil sheets.

I. UTILITIES

Alicia Vereia-Feria, Floodplain Development Review Administrator (averea-feria@hollywoodfl.org) 954-921-3302

1. Sheets SP-1 thru SP-6: Revise "Access Road" label to "Hillcrest Dr".

RESPONSE: Access Road has now been labeled Hillcrest Drive.

[COMMENT ADDRESSED.]

2. Submit civil engineering plans for initial review. Provide a Paving, Grading, and Drainage Plan showing existing and proposed site elevations, grading and drainage.

RESPONSE: : See Attached Civil Plans.

[COMMENT ADDRESSED.]

3. Provide Utilities Plan indicating existing and proposed water and sewer connections and fire service.
RESPONSE: : See attached Civil Plans.

[COMMENT ADDRESSED.]

4. Include water and sewer demand calculations on Utilities Plan.

RESPONSE: : Water and sewer demand calculations are provided on sheet WS1.

[COMMENT ADDRESSED.]

5. Provide the City's latest applicable standard Water and Sewer details. The details are available on the City's website via the following link: <http://www.hollywoodfl.org/1169/Standard-Details-and-Public-Notices>

RESPONSE: : City Water and sewer details are provided.

[COMMENT ADDRESSED.]

6. The proposed Finished Floor Elevations (FFE) = 13.50' NAVD88 within FEMA Flood Zones X and AH with BFE = 10' NAVD88. Proposed FFE is greater than Broward County Future Conditions 100-Year 2060 Map.

RESPONSE: Correct the FF is greater than the Broward County Future Map and the post 100 year calculation is less than the pre 100 year as per pre application meeting held with the county.

[COMMENT PARTIALLY ADDRESSED. Proposed FFE = 13.00' for Buildings 1, 2 and 3 and FFE = 13.50' NAVD88 for Buildings 4 and 5 are acceptable for Residential buildings. Please provide FFE for Parking Garage.]

RESPONSE (12/30/24): Finish floor of the Parking Garage is set at 13.50.

7. Indicate FFE for all enclosed areas on the ground floor.

RESPONSE: : Finish floor elevations are noted on the plans.

[COMMENT ADDRESSED.]

8. Add note indicating the bottom elevation of the electrical, plumbing and/or mechanical equipment shall be elevated to match the proposed FFE.

RESPONSE: : Note has been added to sheet PD0.

[COMMENT ADDRESSED.]

9. Provide perimeter cross-sections across all property limits including transition areas meeting adjacent property grades.

RESPONSE: : See PGD detail sheets for cross sections at all property lines.

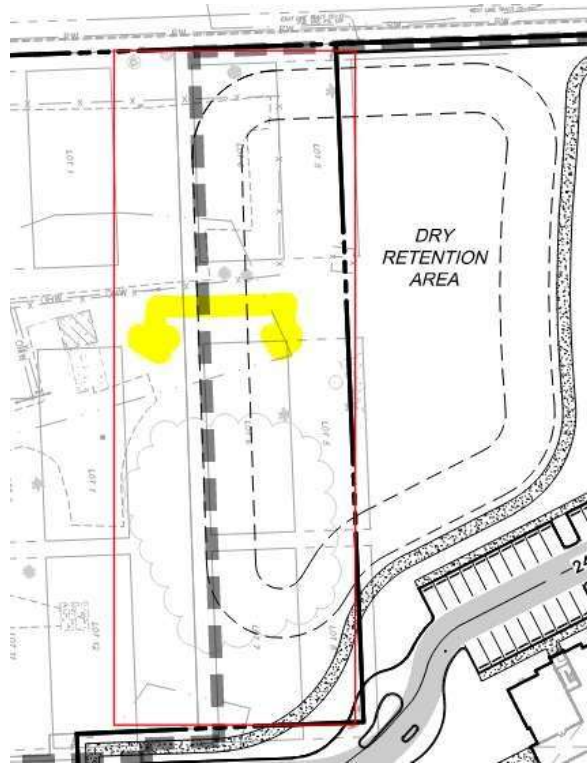
[COMMENT PARTIALLY ADDRESSED.]

- a. Clarify why Section C-C of the Residential Phase C and Section H-H of Commercial Phase A indicate different bottom (2.00' -vs- 2.50') and top of slope (11.65' -vs- 10') elevations for the dry retention area. Dimensions to existing property line differ. Elevations at back of sidewalk vary from 6' to 7.25'.

RESPONSE: Sections now match.

- b. Provide additional cross section for south side of dry retention area shown.

RESPONSE (12/30/24): Section has been added on the south side of the dry retention area on PD-7 with section cut F-F on PD-9.



10. Provide preliminary drainage calculations including pre and post development ensuring all stormwater is retained onsite.

RESPONSE: : See attached Drainage Calculations.

[COMMENT ADDRESSED.]

11. Note how roof drainage will be collected and connected to the on-site drainage system.

RESPONSE: : Note has been added to sheet PD0 indicating all roof drainage will tie into proposed drainage via rain water leaders.

[COMMENT ADDRESSED.]

12. Submit Erosion Control Plan.

RESPONSE: : Will be submitted a time of final engineering as it is not a requirement of site plan approval.

[COMMENT NOT ADDRESSED. Please submit for TAC Sign-off since this will relate to phasing of access and traffic flow. Additionally, since this site is greater than 1 acres, and NPDES CGP permit will be required.]

RESPONSE (12/30/24): please see SWP-1 and SWP-2. Final configuration of the SWP will be included with the building permit submittal, along with the NPDES permit.

NPDES – Over 1 acre

The construction activity on this site is regulated and required to obtain the NPDES Construction Generic Permit (CGP) from DEP. Failure to obtain permit coverage and/or maintain job site erosion and sedimentation control in accordance with permit conditions and applicable regulations may result in fines up to \$27,500.00 per day.

Prior to issuance of building permit a Stormwater Pollution Prevention Plan (SWPPP) shall be required and CGP Notice of Intent (NOI) must be submitted to DEP. SWPPP must be maintained at the job site at all times until the project is terminated and Notice of

Termination (NOT) filed with DEP. The SWPPP shall contain detailed descriptions of structures, procedures, contact names and/or control measures designed to reduce sediment and stormwater runoff.

Construction sites and operations shall be required to maintain during and after all construction, development, excavation, dewatering, and/or alteration operations, structural and non-structural Best Management Practices (BMP's) with the intent to reduce pollutants and sediment in stormwater runoff.

For additional information regarding NPDES regulations please contact:

Florida Department of Environmental Protection
2600 Blair Stone Road, MS #2500
Tallahassee, FL 32399-2400
(850) 245-7522

Visit DEP's Web site at: www.dep.state.fl.us/water/stormwater/npdes

13. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features. Proposed landscaping shall not obstruct onsite stormwater runoff retention.

RESPONSE: : Noted.

[COMMENT PARTIALLY ADDRESSED.]

RESPONSE (12/30/24): plans are coordinated.

14. Permit approval from outside agencies will be required.

RESPONSE: noted.

[COMMENT TO BE ADDRESSED DURING PERMITTING PROCESS.]

J. BUILDING

*Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490
Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335*

1. The proposed 5 story multi-family structure(s) are Threshold Buildings by definition. A Threshold Inspection Plan, prepared by Florida Registered Professional Engineer, is required at time of building permit application for each structure.

RESPONSE (12/30/24): noted. Threshold inspection plan will be provided at time of building permit.

2. Indicate on the plans whether or not the structure(s) will be protected by a Fire Sprinkler System.
RESPONSE (12/30/24): all residential structures will be protected by fire sprinkler system.

3. Provide a declaratory statement of compliance on the plans to the 2023 Florida Building Codes, 8th Edition, the 2020 National Electrical Code and the 2023 Florida Fire Prevention Code.

RESPONSE (12/30/24): note added to the floor plans, starting on sheet A2-101. Project will comply with all applicable codes that are mandated at time of permit.

K. FIRE

Chris Clinton, Deputy Fire Marshal / Deputy Division Chief (jcastano@hollywoodfl.org) 954-967-4404

1 - Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. --- A complete architectural review will be completed during formal application of architectural plans to the building department.

RESPONSE (12/30/24): noted.

2 - Water supply for each new residential building shall meet the requirements of NFPA 1 (2021 Ed.) Section 18.4.5.3. --- To determine the minimum fire flow required for firefighting purposes, a Hydrant Flow Test will need to be scheduled through our Underground Utilities Department via email. --- underground@hollywoodfl.org After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building.

For your convenience, I have attached a sample Fire Flow Calculation letter which can be used as a template.

RESPONSE (12/30/24): fire flow letter/test request has been submitted.

3 - Show egress from all rooftops.

RESPONSE (12/30/24): roof exits show on A2-103, A2-203, A2-306a, A2-306b, A2-406. Final detailing of roof access points will be determined at time of building permit submission.

4 - Show the construction types for each residential structure as indicated in NFPA 1 (2021 Ed.) Tables A.12.2 and A.12.2.1.

RESPONSE (12/30/24): all buildings are Type I-B. Final fire rating and design will be confirmed at time of building permitting and the applicable code.

L. PUBLIC WORKS

*Annalie Holmes, Assistant Public Works Director (klassiter@hollywoodfl.org) 954-967-4207
Daniel Millien, Environmental Services Manager (dmilien@hollywoodfl.org) 954-967-4526*

1. No comments received; Planning Staff will follow up with Public Works.

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Applicant is required to submit a Park Impact Fee application.

RESPONSE (12/30/24): impact fee application submitted.

N. COMMUNITY DEVELOPMENT

Liliana Beltran, Housing Inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No comments received. Planning Staff will follow up with Community Development.

O. ECONOMIC DEVELOPMENT

*Raelin Storey, Director (rstorey@hollywoodfl.org) 954-924-2922
Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922*

1. Application is substantially compliant

P. POLICE DEPARTMENT

*Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371
Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371*

1. Application is substantially compliant.

CPTED Strategies

Provide clear border definition of controlled spaces. Examples of border definition may include buildings, fences, landscaping, signs, lighting, to express ownership and define public, semi-public, and private space, natural territorial reinforcement occurs. Also, clearly mark the public paths, so it will make private areas harder for non-

employees to access.

External Lighting

Parking lots, vehicle roadways, pedestrian walkways and building entryways should have “adequate” levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination: -Parking Lots	3-5	foot candles
-Walking Surfaces	3	foot candles
-Recreational Areas	2-3	foot candles
-Building Entryways	5	foot candles

- These levels may be subject to reduction in specific circumstances where after-hours use is restricted.
- All entrance/exit ways should be well-lit and well-defined.
- Fully illuminate the exterior of the property and grounds at night.
- A system of lighting fixture identification should be developed.
- The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.
- Light fixtures should be protected against casual vandalism by means of vandal resistant materials and design.
- Lighting should be uniformly spread to reduce contrast between shadows and illuminated areas.
- Exterior lighting should be controlled by automatic devices (preferably by photocell).
- Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.
- Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.
- Light fixtures below 10’ in grade should be designed to make access to internal parts difficult (i.e., security screws, locked access panels).
- If exterior lights are not being used at night, exterior motions-detection lighting should be installed to detect the presence of intruders.

Natural Surveillance

- Use a single, clearly identifiable, point of entry/exit.
- Public entrances should be clearly defined by walkways and signage.
- Maintain clear visibility throughout the interior/exterior of the property.

- *Assign parking spaces to each resident; Locate spaces next to the resident's unit, but not marked with their unit number. This makes unauthorized parking easier to identify and less likely to occur.*
- *Windows and exterior doors should be free of obstructions, so employees can exercise natural surveillance of corridors, hallways, points of entry/exit. Loading areas, (drop off/pick up), should be clearly visible and should not enable hiding places.*
- *Public restrooms should be located close to the entrance to be easily observed.*
- *Ensure that all Police/Fire emergency entries/exits are clearly marked and clear of obstruction.*

Natural Access Control

- *Site entrances should be easily securable.*
- *Entrances to parking areas should be controlled by a fence or gate.*
- *Delivery entrances should be separate, well-marked and monitored.*
- *If deliveries are made, they should be made during the daytime hours.*
- *Install a "peephole" on exterior doors to allow employees to verify deliveries.*
- *Employee parking should be close to the building.*
- *Common building entrances should have locks that automatically lock when the door closes.*
- *Residents should have keycard access to their buildings, along with the amenities, including parking.*
- *Keep all office and staff rooms locked when not in use.*
- *Dumpsters should be enclosed, secured and visible.*
- *Place electrical equipment away from walls or low buildings to avoid climbing opportunities.*
- *Roof Top should be kept locked and have keycard access for those entering with authorized personnel only.*
- *Pool area should have life saving devices easily accessible*
- *Trash Chute should remain locked when not in use*
- *Lobby should remain locked when not in use*
- *Parking garage should be accessible to residents only via keycard type access. Guests can be given access by resident.*
- *Stairwells should not have any open areas under the stairs that could be hiding spots*
- *Elevators should have glass so there is visibility inside and outside of the elevator*
- *Leasing/Clubhouse should remain locked when not in use*

- CCTV provides surveillance that can detect criminal activity and record the footage, which can be useful in an investigation. Conspicuous CCTV is another type of deterrent to a criminal. There are some difficulties in monitoring parking facilities because of shadows, spaces between parked vehicles; and columns, ramps, and walls in parking garages; that is why lighting is also essential in these areas.
- Check all CCTV systems and ensure that they provide a clearly visible facial picture.

Landscaping:

- Keep landscaping trimmed and well maintained.
- Plant height appropriate shrubbery along walkways so as to not obstruct visibility or allow individuals to hide behind.
- Plants/Shrubbery should not be more than 2ft in height.
- Tree canopies should not be lower than 6ft in height.

Building(s) Perimeter Doors

- Exterior doors not used as designated entry points, should be locked to prevent entry from the exterior.
- Ideally, exterior doors should be equipped with electronic propped door alarms, which
annunciate either locally and/or at the security office.
- Perimeter doors should be designed for "heavy duty" (ANSI Grade III) applications.

General locations

- Mechanical, electrical, HVAC, or other equipment located outside the building should be surrounded by a protective enclosure. Ex. Dumpster Enclosures.

Non-Pedestrian Building Entry Points

- Sturdy fencing should enclose locations where gas and electric utilities enter buildings.
- Locations where gas and electric utilities enter buildings should be well lit.
- Electrical service disconnects and gas valves should be equipped with locking devices.

Fencing

- *(If used) Wrought iron fencing provides for natural surveillance within and onto the property. Ex. Parking lot and to establish a defined border definition of the entire property.*

Signage

- *Ensure proper signage is posted throughout all areas of the property.*
- *Pool should have signage whether or not a lifeguard is on duty*
- *Pool should have hours of operation posted*
- *Pool should have rules and regulations posted*
- *Amenity area should have hours of operation posted*
- *Amenity area should have rules and regulations posted*
- *Fitness area should have hours of operations posted*
- *Fitness area should have rules and regulations posted*
- *Lobby should have hours of operation posted*
- *Leasing/Clubhouse should have hours of operation posted*

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

N/A

R. PARKING

Jovan Douglas, Division Director, Parking (jdouglas@hollywoodfl.org) 954-921-3548

1. No comments received; Planning Staff will follow up with Parking.

The Technical Advisory Committee does not find this application substantially compliant with all applicable regulations, therefore the Applicant must resubmit for TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.

Sincerely,

Cameron Palmer
Principal Planner – Supervisor
Development Planning

cc: Park Road Developments, LLC via email emetz@metzreg.com & pedro.gassant@hklaw.com

Transaction Identification Data, for which the Company assumes no liability as set forth in Commitment Condition 5.e.:

Issuing Agent: Leopold Korn, P.A.
Issuing Office: 18851 NE 29th Avenue, Suite 410,
Aventura, FL 33180
Issuing Office's ALTA® Registry ID:
Loan ID Number:
Commitment Number: 11640100
Issuing Office File Number: L200261
Property Address: 1600 S Park Road
Hollywood, FL 33021 FL
Revision Number: Rev A, 06/13/2014, sw

SCHEDULE A

I:\work\REAL\Park Road Development\City of Hollywood\Title\Commitment\CMT-4.docx

1. Commitment Date: 06/07/2024 at 8:00 AM
2. Policy to be issued:
 - A. 2021 ALTA Owner's Policy with Florida Modifications
Proposed Insured: Park Road Development, LLC, a Florida limited liability compan
Proposed Amount of Insurance: \$3,240,000.00
The estate or interest to be insured: Fee
 - B. 2021 ALTA Loan Policy with Florida Modifications
Proposed Insured: Lender with contractual obligations under a loan agreement with the proposed purchaser
Proposed Amount of Insurance: \$10,000.00
The estate or interest to be insured: Fee
3. The estate or interest in the Land at the Commitment Date is: *(Identify each estate or interest covered, i.e., fee, leasehold, etc.)*

Fee Simple
4. The Title is, at the Commitment Date, vested in: *(Identify vesting for each estate or interest identified in Item 3 above)*

City of Hollywood, a municipal corporation, pursuant to Instruments recorded in Deed Book 462, Page 101; Official Records Book 2697, Page 340; Official Records Book 3657, Page 35; and Official Records Book 7693, Page 149
5. The Land is described as follows in Exhibit "A" attached hereto and made part hereof.

Countersigned:

By: 

Authorized Officer or Agent

C170B09

ALTA Commitment for Title Insurance (7-1-21) w-FL Mod

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SCHEDULE B, PART I Requirements

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
 - A. Duly executed Warranty Deed from City of Hollywood, a municipal corporation, Grantor, to Park Road Development, LLC, a Florida limited liability company, Grantee, conveying the land described on Schedule A hereof.

TOGETHER with acceptable proof of authority of person(s) executing documents on behalf of the City of Hollywood. Together with a resolution of the grantor attached to the deed authorizing conveyance of the land described in Schedule A to the Proposed Insured herein.

NOTE: Section 270.11, Florida Statutes provides that all deeds from any local government automatically reserves interests in phosphates, minerals, metals and petroleum.

In the event that it is desired to release the automatic reservation and/or the right of entry, this Commitment will be subject to such further requirements and/or exceptions as the Company may then deem necessary.

- B. Duly executed Mortgage from Park Road Development, LLC, a Florida limited liability company, Mortgagor, to Proposed Lender, Mortgagee, encumbering the land described on Exhibit A hereof.

The Company will require the following as to Park Road Development, LLC, a Florida limited liability company: ("LLC"):

- i. Proof that the LLC was in existence in its state of organization at the time it acquired title and that the LLC is currently in good standing.
- ii. Present for review a true and complete copy of the articles of organization and operating agreement of the LLC and any amendments thereto.
- iii. Record an affidavit from the person executing the proposed mortgage on behalf of the LLC certifying: (a) the name and state of organization of the LLC; (b) whether the LLC is member managed or manager-managed; (c) the identity of the member or manager and the person authorized to execute the mortgage; and (d) neither the LLC nor any member signing the mortgage have filed bankruptcy since the LLC acquired title.
- iv. If the member or manager of the LLC is also a business entity, present proof of the entity's good standing and the appropriate entity documents to establish signing authority.

SCHEDULE B, PART I Requirements

If the proposed mortgage will be executed by anyone other than a member or manager, those portions of the operating agreement or other documentation evidencing the authority of the signatory must be attached as an exhibit to the affidavit.

5. An Affidavit in form acceptable to Chicago Title Insurance Company ("Company") and executed by or on behalf of the current record owner(s) of the subject property stating that: (A) there are no parties in possession of the subject property other than said current record owner(s); (B) there are no encumbrances upon the subject property other than as may be set forth in this Commitment; (C) there are no unrecorded assessments which are due and payable and; (D) there have been no improvements made to or upon the subject property within the last ninety (90) day period for which there remain any outstanding and unpaid bills for labor, materials or supplies for which a lien or liens may be claimed must be furnished to the Company, or, in lieu thereof, an exception to those matters set forth in said Affidavit which are inconsistent with or deviate from the foregoing requirements will appear in the policy or policies to be issued pursuant to this Commitment.
6. Satisfactory survey, in conformity with the minimum technical standards for land surveys, certified to the Company, and/or its agent, dated no more than 90 days prior to the closing of the subject transaction, disclosing the nature and extent of any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title to the Land. Additional requirements and/or exceptions will be made for any such matters disclosed.
7. Proof of payment of any outstanding assessments in favor of Broward County, Florida, any special taxing district and any municipality. NOTE: If this requirement is not satisfied the following exception will appear on Schedule B:

Any outstanding assessments in favor of Broward County, Florida, any special taxing district and any municipality.
8. Proof of payment of service charges for water, sewer, waste and gas, if any, through the date of closing. NOTE: If this requirement is not met the following exception will appear on Schedule B:

Any lien provided for by Florida Statutes in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer, waste or gas system supplying the insured land or service facilities.
9. The Proposed Policy Amount(s) must be disclosed to the Company, and subject to approval by the Company, entered as the Proposed Policy Amount. An owner's policy should reflect the purchase price or full value of the Land. A loan policy should reflect the loan amount or value of the property as collateral. Proposed Policy Amount(s) will be revised and premiums charged consistent therewith when the final amounts are approved.
10. For each policy to be issued as identified in Schedule A, Item 2, the Company shall not be liable under this Commitment until it receives a designation for a Proposed Insured, acceptable to the Company. As provided in Commitment Condition 4, the Company may amend this Commitment to add, among other things, additional exceptions or requirements after the designation of the Proposed Insured.
11. The search did not disclose any open mortgages or deeds of trust of record, therefore the Company reserves the right to require further evidence to confirm that the property is unencumbered, and further reserves the right to make additional requirements or add additional items or exceptions upon receipt of the requested evidence.
12. Issuing agent must obtain from the Company or perform themselves a title update three (3) business days prior to closing, to verify that no adverse matters or defects appear in the public records.

SCHEDULE B, PART I Requirements

NOTE: Effective July 1, 2023, the Conveyances to Foreign Entities Act in sections 692.201 - 692.205, Florida Statutes (the "Act"), limits and regulates the purchase, sale and ownership of Florida real property by certain buyers who are associated with "foreign countries of concern," specifically the People's Republic of China, the Russian Federation, the Islamic Republic of Iran, the Democratic People's Republic of Korea, the Republic of Cuba, the Venezuelan regime of Nicolás Maduro and the Syrian Arab Republic. In connection with the purchase of real property, the Act requires each buyer to provide an affidavit confirming the purchaser is in compliance with the Act. Any loss or damage resulting from a violation of the Act is excluded from coverage under the terms of the Policy.

NOTE: Starting January 1, 2024, section 695.26 (1)(c), F.S., provides that no instrument conveying, assigning, encumbering or otherwise disposing of an interest in real property which is executed or acknowledged in Florida shall be recorded by the clerk of court unless the post office address of each witness is legibly printed, typed or stamped upon the instrument. If an instrument containing one or more witnesses is recorded, the witnesses' addresses, as well as their names, should appear below their signatures. A business address may be used.

SCHEDULE B, PART II Exceptions

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this form.
2. Taxes and assessments for the year 2024 and subsequent years, which are not yet due and payable.
3. Standard Exceptions:
 - A. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
 - B. Rights or claims of parties in possession not shown by the public records.
 - C. Any lien, or right to a lien, for services, labor, or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.
 - D. Taxes or assessments which are not shown as existing liens in the public records.
4. Any claim that any portion of the insured land is sovereign lands of the State of Florida, including submerged, filled or artificially exposed lands accreted to such land.
5. Any lien provided by County Ordinance or by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas system supplying the insured land.
6. Easement in favor of Florida Power & Light Company, filed January 22, 1964, recorded in Official Records Book 2740, Page 294, of the Public Records of Broward County, Florida.
7. Easement in favor of Florida Power & Light Company, filed January 26, 1977, recorded in Official Records Book 6886, Page 140, of the Public Records of Broward County, Florida.
8. Easement in favor of Florida Power & Light Company, filed April 15, 1977, recorded in Official Records Book 6987, Page 234, of the Public Records of Broward County, Florida.
9. Resolution R-94-483 by the City Commission of the City of Hollywood, to execute/grant easement to Broward County, filed December 6, 1994, recorded in Official Records Book 22899, Page 697, of the Public Records of Broward County, Florida.
10. Ordinance No. 2007-37 by Broward County, adopting amendment, re: Land Use Plan, filed December 26, 2007, recorded in Official Records Book 44936, Page 1402, of the Public Records of Broward County, Florida.

SCHEDULE B, PART II Exceptions

11. Existing unrecorded leases and all rights thereunder of the lessees and of any person or tenant claiming by, through or under the lessees.
12. Reservations in favor of City of Hollywood, Florida, of an undivided 3/4 interest in and to all phosphates, minerals and metals, together with an undivided one-half interest in and to all petroleum, in, on or under the surface of the insured land, as contained in that certain Deed, recorded _____, 2022, under Instrument Number _____, of the Public Records of Broward County, Florida, created pursuant to Section 270.11, Florida Statutes.

[Policy preparer note: fill in the blank lines with the recording information of the deed of conveyance from The City of Hollywood, Florida.]

For 2023 Tax Year Parcel/ID #
514220-00-0040, No Taxes Due
514220-00-0140, No Taxes Due
514220-00-0150, No Taxes Due
514220-00-0170, No Taxes Due
514220-04-0010, No Taxes Due

NOTE: Exception 1 above shall be deemed deleted as of the time the settlement funds or proceeds of the loan to be secured by the insured mortgage, as applicable, are disbursed by the Company or its authorized agent. Neither the Company nor its agent shall, however, be under any duty to disburse any sum except upon a determination that no such adverse intervening matters have appeared of record or occurred.

NOTES ON STANDARD EXCEPTIONS:

Item 3A will be deleted from the policy(ies) upon receipt of an accurate survey of the Land acceptable to the Company. Exception will be made for any encroachment, setback line violation, overlap, boundary line dispute or other adverse matter disclosed by the survey.

Items 3B, 3C, and 3D will be deleted from the policy(ies) upon receipt of an affidavit acceptable to the Company, affirming that, except as disclosed therein (i) no parties in possession of the Land exist other than the record owner(s); (ii) no improvements have been made to the Land within 90 days prior to closing which have not have been paid for in full; and (iii) no unpaid taxes or assessments are against the Land which are not shown as existing liens in the public records. Exception will be made for matters disclosed in the affidavit.

NOTE: All recording references in this form shall refer to the public records of Broward County, Florida, unless otherwise noted.

NOTE: In accordance with Florida Statutes section 627.4131, please be advised that the insured hereunder may present inquiries, obtain information about coverage, or receive assistance in resolving complaints, by contacting Chicago Title Insurance Company, 13800 NW 14th Street, Sunrise, FL 33323; Telephone 954-217-1744.

Searched By: suzanne.wilson@fnf.com 954.308.3064

EXHIBIT "A"**PARCEL 1 and 2:**

PARCEL A: The East 1/2 of the SE 1/4 of the NW 1/4 of the NW 1/4 of Section 20, Township 51 South, Range 42 East;

PARCEL B; The SW 1/4 of the NE 1/4 of the NW 1/4, and the NW 1/4 of the SE 1/4 of the NW 1/4 of Section 20, Township 51 South, Range 42 East, excepting therefrom that portion lying East of the following described line:

Beginning at a point on the West boundary line of the East 1/4 of the NW 1/4 of Section 20, Township 51 South, Range 42 East, 506.64 feet North of the center of the SE 1/4 of the NW 1/4 of said Section 20, thence Northerly to a point 11.0 feet, more or less, North of the North boundary of the SE 1/4 of NW 1/4 of Section 20 and 17.54 feet West of the East boundary of the West 1/2 of NE 1/4 of NW 1/4 of Section 20, thence Northerly 153.88 feet on a curve to the right having a datum of;

1=2° - 17' - 34" R
R = 3845' D = 1° 30'
T = 76.90 Arc - 153.88'

Continuing on the tangent 46.07' to a point of curve, thence Northerly 177.93 feet on a curve to the left having a datum of:

1 = 6° - 19' - 27" L
R = 1612' D = 30 - 30'
T = 89.05' Arc - 177.93'

Thence northerly on the tangent 12.78' to a point of curve. Thence Northerly 198.07 feet on a curve to the right having a datum of:

1 = 9° - 41' - 30"
R = 1171' D = 5° - 00' - 00"
T = 99.28' Arc 198.07'

Thence Northerly on the tangent line 77.0 feet more or less to the North boundary of the South 1/2 of the NE 1/4 of NW 1/4 of said Section 20.

EXCEPTING THEREFROM Lot 2 in Block 1 of HOLLYWOOD GOLF HEIGHTS, according to the Plat thereof, recorded in Plat Book 11, page 13 of the Public Records of Broward County, Florida.

PARCEL C: That portion of the NE 1/4 of the SE 1/4 of the NW 1/4 of Section 20, Township 51 South, Range 42 East, more particularly described as follows:

Starting at a property corner which is the center of the SE 1/4 of the NW 1/4 of said Section 20 as the point of beginning; thence northerly on and along the West line of the NE 1/4 of the SE 1/4 of the NW 1/4 a distance of 506.6 feet; thence Southerly on a straight line to meet the South line of the NE 1/4 of the SE 1/4 of the NW 1/4 of said Section 20 at a point 50.22 feet East of the point of beginning; thence Westerly on and along the South line of the NE 1/4 of the SE 1/4 of the NW 1/4 of said Section 20, a distance of 50.22 to the point of beginning.

PARCEL 3:

C170B09

ALTA Commitment for Title Insurance (7-1-21) w-FL Mod

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Exhibit "A"

Lot #2 in Block 1 of HOLLYWOOD GOLF HEIGHTS, a subdivision of land in Broward County, Florida, according to a plat of said subdivision recorded in the office of the Clerk of Circuit Court in and for said county in Plat Book 11, page 13.

PARCEL 4:

The East One-half (E1/2) of the Southwest quarter (SW 1/4) of the Southeast quarter (SE 1/4) of the Northwest quarter (NW 1/4), less the East 30 feet thereof, and the West one-half (W 1/2) of the Southeast quarter (SE) of the Southeast quarter (SE 1/4) of the Northwest quarter (NW 1/4), less the West 30 feet thereof, all in Section 20, Township -51 South, Range 42 East, said lands situate, lying and being in Broward County, Florida.

PARCEL 5:

The west quarter (W 1/4) of the southwest quarter (SW 1/4) of the southeast quarter (SE 1/4) of the northwest quarter (NW 1/4) of Section 20, Township 51 South Range 42 East, said land being situated in Broward County, Florida, the said parcel being two and one-half (2 1/2) acres, more or less, together with the improvements located thereon.

LEGAL DESCRIPTION:

BLOCKS 1, 2, 9, & 10 AND PORTIONS OF BLOCKS 3 & 8 AND THE RIGHTS-OF-WAY ADJACENT THERETO, "HOLLYWOOD GOLF HEIGHTS", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 13, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND PORTIONS OF THE NORTHWEST 1/4 OF SECTION 20, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID NORTHWEST 1/4 OF SECTION 20; THENCE NORTH 02°01'27" WEST ON THE WEST LINE OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20 FOR 50.00 FEET TO A POINT ON A LINE 50 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF SAID NORTHWEST 1/4 OF SECTION 20 AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 02°01'27" WEST ON SAID WEST LINE 1,297.02 FEET TO THE NORTHWEST CORNER OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20; THENCE SOUTH 87°40'46" WEST ON THE SOUTH LINE OF THE NORTHWEST 1/4 OF SAID NORTHWEST 1/4 OF SECTION 20 FOR 334.55 FEET TO THE SOUTHWEST CORNER OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20; THENCE NORTH 02°00'44" WEST ON THE WEST LINE OF SAID EAST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20 FOR 674.59 FEET TO THE NORTHWEST CORNER OF SAID EAST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20; THENCE NORTH 87°45'54" EAST ON THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTH 1/2 OF SAID NORTHWEST 1/4 OF SECTION 20 FOR 922.43 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH PARK ROAD, BEING THE ARC OF A CIRCULAR CURVE CONCAVE EASTERLY, FROM WHICH A RADIAL LINE BEARS SOUTH 79°35'07" EAST; THENCE SOUTHERLY ON SAID WESTERLY RIGHT-OF-WAY LINE ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1,440.00 FEET, A CENTRAL ANGLE OF 18°06'31", FOR AN ARC DISTANCE OF 455.12 FEET TO A POINT OF TANGENCY; THENCE SOUTH 07°41'39" EAST ON SAID WESTERLY RIGHT-OF-WAY LINE 1,456.73 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 60.00 FEET, A CENTRAL ANGLE OF 95°11'49", FOR AN ARC DISTANCE OF 99.69 FEET TO A POINT OF TANGENCY ON THE AFOREMENTIONED PARALLEL LINE; THENCE SOUTH 87°30'19" WEST ON SAID PARALLEL LINE 310.27 FEET TO A POINT ON THE WEST LINE OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20; THENCE NORTH 02°02'13" WEST ALONG SAID WEST LINE 623.10 FEET TO THE NORTHWEST CORNER OF SAID EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20; THENCE SOUTH 87°36'04" WEST ON THE NORTH LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20 FOR 167.34 FEET TO THE NORTHEAST CORNER OF THE WEST 1/4 OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20; THENCE SOUTH 02°01'52" EAST ALONG THE EAST LINE OF SAID WEST 1/4 FOR 623.38 FEET TO A POINT ON SAID PARALLEL LINE; THENCE SOUTH 87°30'19" WEST ON SAID PARALLEL LINE 168.31 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAINING 1,340,527 SQUARE FEET (30.7743 ACRES), MORE OR LESS.

NOTES:

- THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK: 1142; ELEVATION: 10.40 FEET.
- FLOOD ZONE: AE/AH/X; BASE FLOOD ELEVATION: 10'/10'/NONE; PANEL: 12011C0568H/12011C0731H; COMMUNITY: 125113; MAP DATE: 08/18/14.
- THIS SITE LIES IN SECTION 20, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
- STATE PLANE COORDINATES ARE BASED ON FIELD OBSERVATIONS AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1990 ADJUSTMENT, FL-E ZONE. GRID BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF THE NW 1/4 OF SECTION 20-51-42 BEING S87°30'19"W.
- REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07". THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07".
- THIS SITE CONTAINS 199 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (196 REGULAR & 3 DISABLED).
- THIS SURVEY WAS PREPARED WITH BENEFIT OF COMMITMENT FOR TITLE INSURANCE, COMMITMENT NO.: 11640100, PREPARED BY CHICAGO TITLE INSURANCE COMPANY; COMMITMENT DATE: 06/07/2024 AT: 8:00 AM; REV A - 06/13/2024. THE FOLLOWING ITEMS ARE SCHEDULE B-SECTION II EXCEPTIONS TO SAID COMMITMENT:
 - ITEMS 1, 2, 3, 4 & 5-NOT ADDRESSED.
 - ITEM 6-EASEMENT IN FAVOR OF FLORIDA POWER & LIGHT COMPANY IN O.R.B. 2740, PAGE 294, APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 7-EASEMENT IN FAVOR OF FLORIDA POWER & LIGHT COMPANY IN O.R.B. 6886, PAGE 140, APPLIES TO THIS SITE AS DEPICTED HEREON. REVISED IN ITEM 8.
 - ITEM 8-EASEMENT IN FAVOR OF FLORIDA POWER & LIGHT COMPANY IN O.R.B. 6987, PAGE 234, APPLIES TO THIS SITE AS DEPICTED HEREON. REVISION OF ITEM 7.
 - ITEM 9-RESOLUTION R-94-483 IN O.R.B. 22899, PAGE 697, APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 10-ORDINANCE NO. 2007-37 IN O.R.B. 44936, PAGE 1402, MAY AFFECT THIS SITE. EXHIBIT "A" (MAP) IS NOT AVAILABLE FOR REVIEW IN THIS DOCUMENT.
 - ITEM 11-NOT ADDRESSED.
 - ITEM 12- RESERVATIONS IN DEED IN INSTRUMENT NUMBER _____, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY RECORDS.
- THE FLOOD ZONE DESIGNATION LINES DEPICTED HEREON ARE PLACED IN APPROXIMATE LOCATIONS, AS SCALED FROM THE IMAGE ON THE FEMA.ORG WEBSITE.
- THE LEGAL DESCRIPTION CONTAINED IN THE ABOVE REFERENCED TITLE COMMITMENT DOES NOT PRECISELY DESCRIBE THE SURVEYED PROPERTY AND HAS BEEN REPLACED BY THE LEGAL DESCRIPTION SHOWN HEREON.

LEGEND

O.R.B. OFFICIAL RECORDS BOOK
P.B. PLAT BOOK
PG. PAGE
R= RADIUS
CA= CENTRAL ANGLE
A= ARC LENGTH

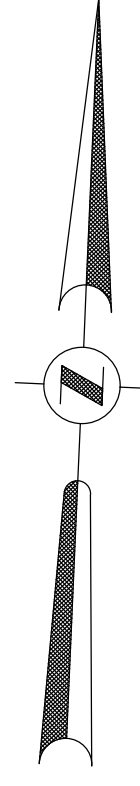
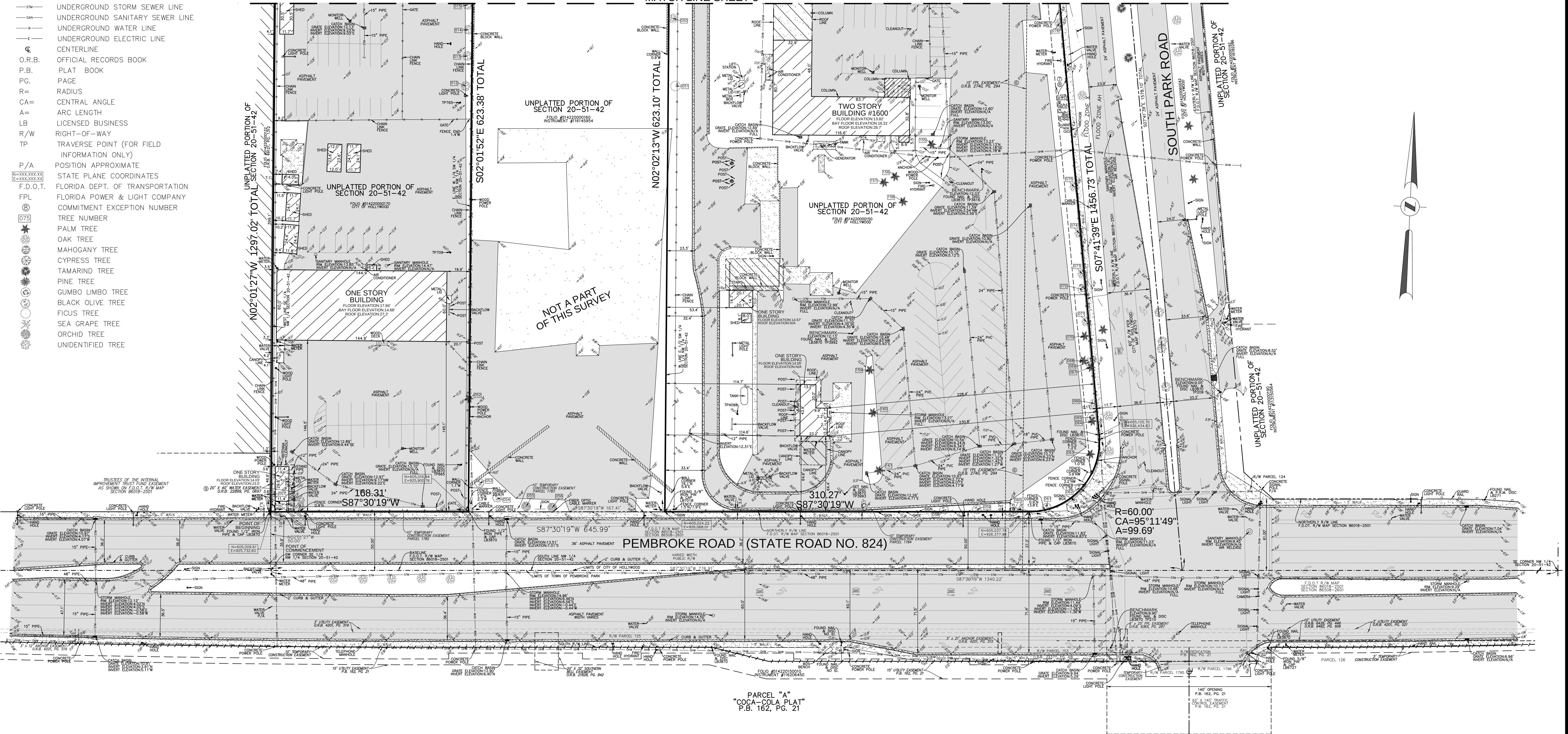
TREE TABLE

Tree Number	Botanical Name	Common Name	DBH (inches)	Canopy (feet)	Height (feet)	Tree Number	Botanical Name	Common Name	DBH (inches)	Canopy (feet)	Height (feet)
1	Cocos nucifera	COCONUT PALM	9"	20'	30'	107	Unidentified	UNIDENTIFIED TREE	8"	15'	16'
2	Cocos nucifera	COCONUT PALM	9"	20'	30'	108	Quercus virginiana	LIVE OAK	18"	20'	30'
3	Cocos nucifera	COCONUT PALM	9"	20'	35'	111	Sabal palmetto	CABBAGE PALM	10"	12'	30'
4	Unidentified	UNIDENTIFIED TREE	7"	25'	25'	113	Quercus virginiana	LIVE OAK	18"	30'	35'
5	Sabal palmetto	CABBAGE PALM	8"	10'	30'	114	Unidentified	UNIDENTIFIED TREE	6"	12'	14'
6	Sabal palmetto	CABBAGE PALM	15"	14'	25'	115	Quercus virginiana	LIVE OAK	24"	40'	40'
7	Sabal palmetto	CABBAGE PALM	18"	14'	25'	116	Quercus virginiana	LIVE OAK	24"	40'	40'
8	Unidentified	UNIDENTIFIED PINE	30"	30'	50'	121	Quercus virginiana	LIVE OAK	15"	40'	30'
9	Lysiloma latissiliquum	WILD TAMARIND	10"	20'	25'	122	Quercus virginiana	LIVE OAK	15"	40'	30'
10	Lysiloma latissiliquum	WILD TAMARIND	12"	25'	20'	123	Quercus virginiana	LIVE OAK	24"	40'	30'
11	Bursera simaruba	GUMBO LIMBO	15"	20'	30'	124	Quercus virginiana	LIVE OAK	24"	40'	30'
12	Unidentified	UNIDENTIFIED TREE	6"	14'	16'	125	Quercus virginiana	LIVE OAK	24"	40'	30'
13	Unidentified	UNIDENTIFIED TREE	10"	14'	16'	126	Quercus virginiana	LIVE OAK	24"	40'	30'
14	Unidentified	UNIDENTIFIED TREE	12"	16'	12'	127	Sabal palmetto	CABBAGE PALM	12"	12'	25'
15	Unidentified	UNIDENTIFIED TREE	10"	14'	16'	128	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
16	Unidentified	UNIDENTIFIED TREE	10"	14'	16'	129	Unidentified	UNIDENTIFIED PINE	12"	20'	40'
17	Unidentified	UNIDENTIFIED TREE	15"	14'	16'	130	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
18	Unidentified	UNIDENTIFIED TREE	10"	14'	16'	131	Unidentified	UNIDENTIFIED PINE	12"	20'	40'
19	Unidentified	UNIDENTIFIED TREE	12"	16'	16'	132	Unidentified	UNIDENTIFIED PINE	18"	20'	40'
20	Unidentified	UNIDENTIFIED TREE	12"	14'	16'	133	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
21	Unidentified	UNIDENTIFIED PALM	5"	15'	10'	134	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
22	Unidentified	UNIDENTIFIED PALM x 3	3"	12'	20'	135	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
23	Unidentified	UNIDENTIFIED PALM x 4	3"	12'	20'	136	Unidentified	UNIDENTIFIED PINE	12"	20'	40'
24	Unidentified	UNIDENTIFIED PALM x 5	3"	12'	20'	137	Unidentified	UNIDENTIFIED PINE	12"	20'	40'
25	Unidentified	UNIDENTIFIED PALM x 4	3"	12'	20'	138	Unidentified	UNIDENTIFIED PINE	12"	20'	40'
26	Unidentified	UNIDENTIFIED PALM x 3	6"	16'	18'	139	Unidentified	UNIDENTIFIED PINE	12"	20'	40'
27	Unidentified	UNIDENTIFIED PALM x 3	6"	16'	18'	140	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
28	Unidentified	UNIDENTIFIED PALM	10'	6'	6'	141	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
29	Unidentified	UNIDENTIFIED PALM	10"	6'	6'	142	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
30	Unidentified	UNIDENTIFIED TREE	12"	14'	16'	143	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
31	Unidentified	UNIDENTIFIED TREE	18"	20'	20'	144	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
32	Unidentified	UNIDENTIFIED TREE	12"	20'	20'	145	Unidentified	UNIDENTIFIED PINE	12"	20'	40'
33	Unidentified	UNIDENTIFIED TREE	12"	20'	20'	146	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
34	Unidentified	UNIDENTIFIED TREE	12"	20'	20'	147	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
35	Quercus virginiana	LIVE OAK	24"	40'	50'	148	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
36	Unidentified	UNIDENTIFIED TREE	15"	20'	20'	149	Unidentified	UNIDENTIFIED PINE	15"	20'	40'
37	Unidentified	UNIDENTIFIED TREE	10"	20'	30'	150	Bursera simaruba	GUMBO LIMBO	10"	16'	20'
38	Sabal palmetto	CABBAGE PALM	12"	12'	40'	151	Cupressaceae	CYPRESS	12"	20'	40'
39	Sabal palmetto	CABBAGE PALM	12"	12'	40'	152	Cupressaceae	CYPRESS	12"	20'	40'
40	Sabal palmetto	CABBAGE PALM	12"	12'	40'	153	Cupressaceae	CYPRESS	12"	20'	40'
41	Unidentified	UNIDENTIFIED TREE	12"	20'	25'	154	Cupressaceae	CYPRESS	12"	20'	30'
42	Unidentified	UNIDENTIFIED TREE	12"	20'	25'	155	Sabal palmetto	CABBAGE PALM	18"	16'	40'
43	Unidentified	UNIDENTIFIED TREE	12"	20'	25'	156	Cocos nucifera	COCONUT PALM	10"	20'	35'
44	Unidentified	UNIDENTIFIED TREE	12"	20'	30'	157	Sabal palmetto	CABBAGE PALM	12"	16'	30'
45	Quercus virginiana	LIVE OAK	8"	20'	30'	158	Sabal palmetto	CABBAGE PALM	12"	16'	30'
46	Quercus virginiana	LIVE OAK	8"	20'	35'	159	Sabal palmetto	CABBAGE PALM	10"	16'	30'
47	Quercus virginiana	LIVE OAK	10"	20'	35'	160	Sabal palmetto	CABBAGE PALM	10"	16'	30'
48	Quercus virginiana	LIVE OAK	6"	20'	25'	161	Sabal palmetto	CABBAGE PALM	10"	16'	30'
49	Quercus virginiana	LIVE OAK	8"	20'	30'	162	Mangifera indica	MANGO	12"	20'	20'
50	Quercus virginiana	LIVE OAK	12"	20'	30'	163	Sabal palmetto	CABBAGE PALM	12"	14'	30'
51	Ficus aurea	FICUS	72"	60'	50'	164	Sabal palmetto	CABBAGE PALM	10"	14'	40'
52	Sabal palmetto	CABBAGE PALM	15"	14'	25'	165	Sabal palmetto	CABBAGE PALM	10"	14'	30'
53	Bucida buceras	BLACK OLIVE	12"	20'	30'	166	Cocos nucifera	COCONUT PALM	10"	14'	20'
54	Bucida buceras	BLACK OLIVE	12"	20'	30'	167	Unidentified	UNIDENTIFIED PALM	15"	14'	30'
55	Bauhinia variegata	FLORIDA ORCHID	12"	20'	30'	168	Raystanea regia	ROYAL PALM	18"	16'	35'
56	Bauhinia variegata	FLORIDA ORCHID	12"	20'	20'	169	Raystanea regia	ROYAL PALM	18"	16'	35'
57	Quercus virginiana	LIVE OAK	18"	25'	35'	170	Raystanea regia	ROYAL PALM	15"	16'	20'
58	Bucida buceras	BLACK OLIVE	18"	35'	40'	171	Raystanea regia	ROYAL PALM	12"	16'	20'
59	Bucida buceras	BLACK OLIVE	18"	35'	40'	172	Raystanea regia	ROYAL PALM	12"	16'	20'
60	Bucida buceras	BLACK OLIVE	24"	35'	40'	173	Raystanea regia	ROYAL PALM	15"	16'	35'
61	Bucida buceras	BLACK OLIVE	15"	35'	30'	174	Raystanea regia	ROYAL PALM	18"	18'	35'
62	Bucida buceras	BLACK OLIVE	15"	35'	30'	175	Raystanea regia	ROYAL PALM	18"	18'	35'
63	Sabal palmetto	CABBAGE PALM	15"	14'	30'	176	Raystanea regia	ROYAL PALM	18"	18'	35'
64	Sabal palmetto	CABBAGE PALM	18"	20'	25'	177	Raystanea regia	ROYAL PALM	18"	18'	35'
65	Bursera simaruba	GUMBO LIMBO	12"	20'	30'	178	Raystanea regia	ROYAL PALM	18"	18'	35'
66	Quercus virginiana	LIVE OAK	15"	30'	30'	179	Cocos nucifera	COCONUT PALM	18"	10'	25'
67	Sabal palmetto	CABBAGE PALM	15"	20'	30'	180	Cocos nucifera	COCONUT PALM	18"	10'	25'
68	Sabal palmetto	CABBAGE PALM	15"	20'	30'	181	Raystanea regia	ROYAL PALM	18"	16'	35'
69	Quercus virginiana	LIVE OAK	24"	40'	50'	182	Raystanea regia	ROYAL PALM	8"	12'	20'
70	Sabal palmetto	CABBAGE PALM	15"	20'	30'	183	Raystanea regia	ROYAL PALM	18"	16'	35'
71	Quercus virginiana	LIVE OAK	15"	40'	40'	184	Cocos nucifera	COCONUT PALM	10"	14'	20'
72	Bursera simaruba	GUMBO LIMBO	12"	16'	25'	185	Raystanea regia	ROYAL PALM	18"	16'	35'
73	Quercus virginiana	LIVE OAK	24"	40'	40'	186	Raystanea regia	ROYAL PALM	12"	12'	20'
74	Quercus virginiana	LIVE OAK	24"	40'	40'	187	Sabal palmetto	CABBAGE PALM	15"	12'	16'
75	Quercus virginiana	LIVE OAK	24"	40'	40'	188	Ficus aurea	FICUS	18"	30'	25'
76	Quercus virginiana	LIVE OAK	24"	40'	30'	189	Cocos nucifera	COCONUT PALM	10"	12'	30'
77	Quercus virginiana	LIVE OAK	24"	40'	30'	190	Cocos nucifera	COCONUT PALM	10"	14'	30'
78	Quercus virginiana	LIVE OAK	24"	40'	30'	191	Cocos nucifera	COCONUT PALM	15"	14'	40'
79	Quercus virginiana	LIVE OAK	36"	40'	40'	192	Cocos nucifera	COCONUT PALM	15"	14'	20'
80	Bursera simaruba	GUMBO LIMBO	15"	25'	30'	193	Bursera simaruba	GUMBO LIMBO	48"	40'	40'
81	Unidentified	UNIDENTIFIED PINE	18"	30'	50'	194	Unidentified	UNIDENTIFIED TREE	18"	40'	40'
82	Unidentified	UNIDENTIFIED PINE	24"	30'	50'	195	Cupressaceae	CYPRESS	10"	20'	30'
83	Unidentified	UNIDENTIFIED PINE	24"	30'	50'	196	Cupressaceae	CYPRESS	10"	20'	30'
84	Unidentified	UNIDENTIFIED PINE	36"	30'	50'	197	Cupressaceae	CYPRESS	12"	20'	30'
85	Unidentified	UNIDENTIFIED TREE	12"	20'	30'	198	Cupressaceae	CYPRESS	8"	14'	20'
86	Unidentified	UNIDENTIFIED PINE	18"	20'	40'	199	Cupressaceae	CYPRESS	12"	14'	20'
87	Unidentified	UNIDENTIFIED PINE	12"	20'	40'	200	Swietenia Mahagoni	MAHOGANY	18"	20'	40'
88	Unidentified	UNIDENTIFIED PINE	24"	20'	40'	201	Swietenia Mahagoni	MAHOGANY	24"	40'	40'
89	Unidentified	UNIDENTIFIED PINE	18"	20'	40'	202	Swietenia Mahagoni	MAHOGANY	24"	40'	40'
90	Unidentified	UNIDENTIFIED TREE	12"	20'	25'	203	Unidentified	UNIDENTIFIED PINE	10"	25'	40'
91	Sabal palmetto	CABBAGE PALM	10"	12'	25'	204	Unidentified	UNIDENTIFIED PINE	10"	25'	40'
92	Coccoloba uvifera	SEAGRAPE	24"	30'	35'	205	Quercus virginiana	LIVE OAK	14"	40'	40'
93	Quercus virginiana	LIVE OAK	36"	40'	50'	206	Quercus virginiana	LIVE OAK	14"	40'	40'
94	Swietenia Mahagoni	MAHOGANY	24"	30'	35'	207	Sabal palmetto	CABBAGE PALM	10"	14'	25'
95	Swietenia Mahagoni	MAHOGANY	24"	30'	35'	208	Sabal palmetto	CABBAGE PALM	10"	14'	25'
96	Swietenia Mahagoni	MAHOGANY	24"	30'	35'	209	Sabal palmetto	CABBAGE PALM	10"	14'	25'
97	Unidentified	UNIDENTIFIED TREE	8"	16'	16'	210	Quercus virginiana	LIVE OAK	24"	40'	40'
98	Quercus virginiana	LIVE OAK	18"	25'	35'	211	Sabal palmetto	CABBAGE PALM	10"	14'	25'
99	Quercus virginiana	LIVE OAK	36"	40'	50'						
100	Sabal palmetto	CABBAGE PALM	10"	14'	25'						
101	Sabal palmetto	CABBAGE PALM	10"	14'	25'						
102	Ficus aurea	FICUS	60"	40'	40'						
103	Ficus aurea	FICUS	60"	40'	40'						
104	Ficus aurea	FICUS	36"	25'	35'						
105	Ficus aurea	FICUS	60"	40'	40'						
106	Unidentified	UNIDENTIFIED TREE	8"	15'	16'						

LEGEND

- CONCRETE
- ASPHALT PAVEMENT
- ELEVATION
- OVERHEAD WIRES
- UNDERGROUND STORM SEWER LINE
- UNDERGROUND SANITARY SEWER LINE
- UNDERGROUND WATER LINE
- UNDERGROUND ELECTRIC LINE
- CENTERLINE
- O.R.B. OFFICIAL RECORDS BOOK
- P.B. PLAT BOOK
- P.G. PAGE
- R= RADIUS
- CA= CENTRAL ANGLE
- A= ARC LENGTH
- LB LICENSED BUSINESS
- R/W RIGHT-OF-WAY
- TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
- P/A POSITION APPROXIMATE
- N=XXXXXX.XX STATE PLANE COORDINATES
- E=XXXXXX.XX FLORIDA DEPT. OF TRANSPORTATION
- FPL FLORIDA POWER & LIGHT COMPANY
- COMMITMENT EXCEPTION NUMBER
- 075 TREE NUMBER
- PALM TREE
- OAK TREE
- MAHOGANY TREE
- CYPRESS TREE
- TAMARIND TREE
- PINE TREE
- GUMBO LIMBO TREE
- BLACK OLIVE TREE
- FICUS TREE
- SEA GRAPE TREE
- ORCHID TREE
- UNIDENTIFIED TREE

MATCH LINE SHEET 3

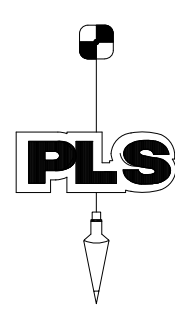


SHEET 2 OF 5

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 THROUGH 5 INCLUSIVE

PARK ROAD REDEVELOPMENT
PEMBROKE ROAD & SOUTH PARK ROAD
HOLLYWOOD, BROWARD COUNTY
FLORIDA 33021

BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY

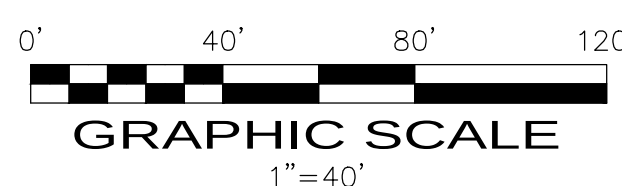


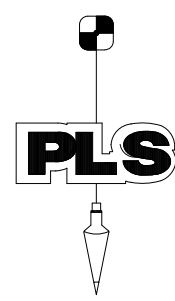
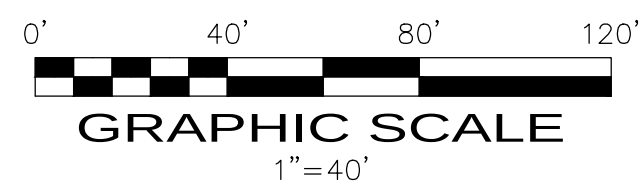
POLICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@policeandsurveyors.com
WEBSITE: www.policeandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: B.E.
CHECKED BY: J.F.P.

SCALE: 1" = 40'
SURVEY DATE: 3/20/24

FILE: PARK ROAD DEVELOPMENT, LLC
ORDER NO.: 73027





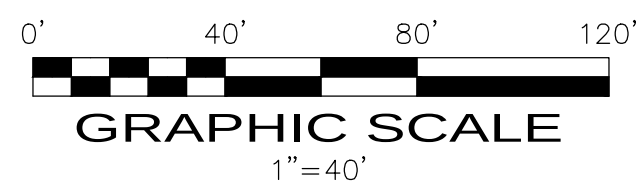
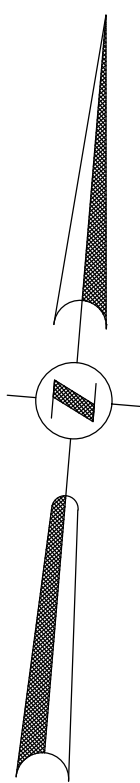
FILE: PARK ROAD DEVELOPMENT, LLC
ORDER NO.: 73027

MATCH LINE SHEET 5

MATCH LINE SHEET 3

LEGEND

- | | |
|--|---|
| | CONCRETE |
| | ASPHALT PAVEMENT |
| | ELEVATION |
| | OVERHEAD WIRES |
| | UNDERGROUND STORM SEWER LINE |
| | UNDERGROUND SANITARY SEWER LINE |
| | UNDERGROUND WATER LINE |
| | UNDERGROUND ELECTRIC LINE |
| | CENTERLINE |
| | OFFICIAL RECORDS BOOK |
| | PLAT BOOK |
| | PAGE |
| | RADIUS |
| | CENTRAL ANGLE |
| | ARC LENGTH |
| | LICENSED BUSINESS |
| | RIGHT-OF-WAY |
| | TRAVERSE POINT (FOR FIELD INFORMATION ONLY) |
| | POSITION APPROXIMATE |
| | STATE PLANE COORDINATES |
| | FLORIDA DEPT. OF TRANSPORTATION |
| | FLORIDA POWER & LIGHT COMPANY |
| | COMMITMENT EXCEPTION NUMBER |
| | TREE NUMBER |
| | PALM TREE |
| | OAK TREE |
| | MAHOGANY TREE |
| | CYPRESS TREE |
| | TAMARIND TREE |
| | PINE TREE |
| | GUMBO LIMBO TREE |
| | BLACK OLIVE TREE |
| | FICUS TREE |
| | SEA GRAPE TREE |
| | ORCHID TREE |
| | UNIDENTIFIED TREE |

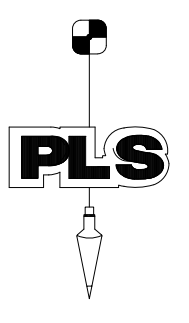


SHEET 4 OF 5

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 THROUGH 5 INCLUSIVE

PARK ROAD REDEVELOPMENT
PEMBROKE ROAD & SOUTH PARK ROAD
HOLLYWOOD, BROWARD COUNTY
FLORIDA 33021

BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY



POLICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@policeandsurveyors.com
WEBSITE: www.policeandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: B.E.
CHECKED BY: J.F.P.

SCALE: 1" = 40'
SURVEY DATE: 3/20/24

FILE: PARK ROAD DEVELOPMENT, LLC
ORDER NO.: 73027

Holland & Knight

701 Brickell Avenue, Suite 3300 | Miami, FL 33131 | T 305.374.8500 | F 305.789.7799
Holland & Knight LLP | www.hklaw.com

Pedro Gassant
+1 305-789-7430
Pedro.Gassant@hklaw.com

June 11, 2024 (via email)

Cameron Palmer, Principal Planner
Division of Planning and Urban Design
City of Hollywood
2600 Hollywood Blvd. Rm 315
Hollywood, FL 33020

Re: Community Meeting for Land Use Amendment, Rezoning and Master
Development Plan Approval for Park Road Development

Dear Mr. Palmer

On behalf of Park Road Development, LLC ("Developer"), please accept this summary of the community meeting regarding the proposed land use amendment, rezoning and proposed master development plan for a mixed-used project comprising 100,000 square feet of government office space, 45,000 square feet of general office space, 35,000 square feet of general retail space, and 630 residential units proposed at 1600 S. Park Road in Hollywood, FL. The community meeting regarding this project was held on June 10, 2024 and was focused specifically on the Land Use amendment and the rezoning to Planned Development.

Attached hereto as Attachment 1 is the notice which was sent regarding this community meeting. Attached hereto as Attachment 2 is the list of organizations and property owners invited to attend the June 10, 2024, community meeting, as well as the certification regarding the invitees. In addition, we have attached Attachment 3, which is the presentation made by the Applicant and its representatives. Attachment 4 is a list of those who attended the meeting.

The attendees raised a number of questions/comments regarding the project. Attachment 5 to this letter is a list of questions/comments raised and responses provided.

Respectfully submitted,



Atlanta | Austin | Birmingham | Boston | Century City | Charlotte | Chattanooga | Chicago | Dallas | Denver | Fort Lauderdale
Houston | Jacksonville | Los Angeles | Miami | Nashville | New York | Orange County | Orlando | Philadelphia | Portland | Richmond
San Francisco | Stamford | Tallahassee | Tampa | Tysons | Washington, D.C. | West Palm Beach

Algiers | Bogotá | London | Mexico City | Monterrey

Pedro Gassant, Esq.

cc: Mr. Louis Birdman (via email w/encl.)
Mr. Eric Metz (via email w/encl.)

#503876019_v1

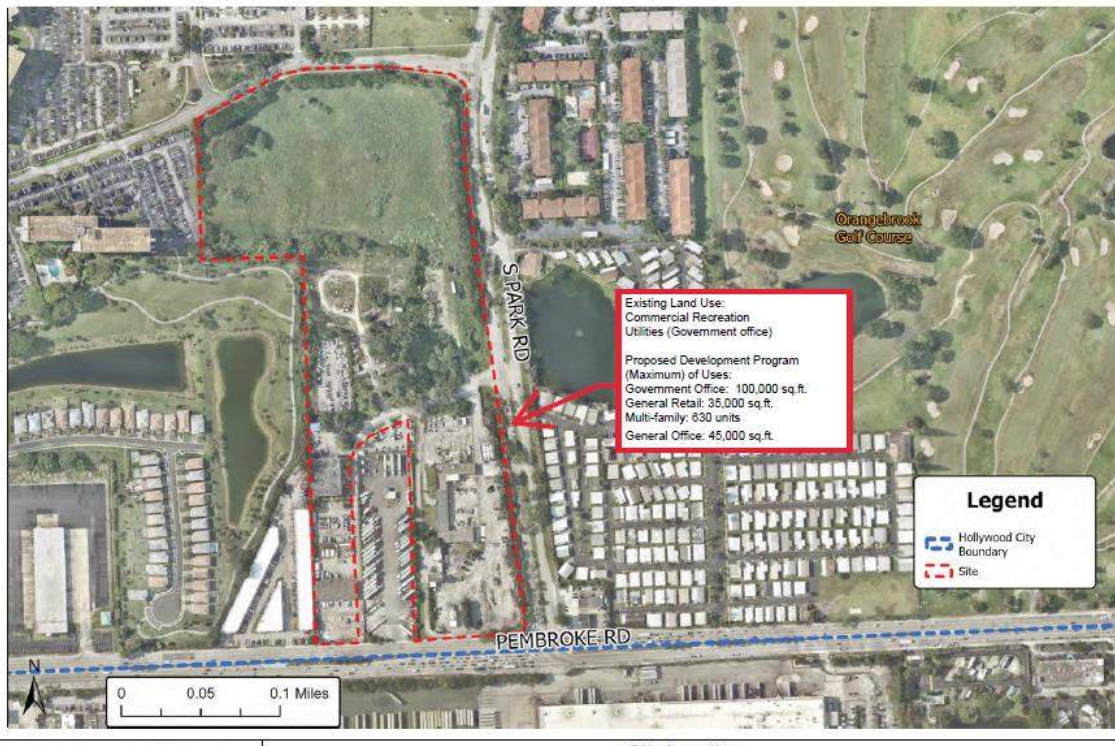
ATTACHMENT 1

Community Meeting Invitation

Park Road Development, LLC (the “Applicant”) are inviting you to attend a community meeting to discuss an application submitted by the Applicant for a Land Use Amendment for the Subject Property (described below) and an application submitted by the Applicant to the City of Hollywood for Planned Development Master Plan approval. This meeting is being held to discuss the land use designation and zoning proposed for the property identified in the location map below, which contemplates a development that will comprise a horizontal mixed-use development of residential, commercial and office space. All interested parties are encouraged to participate in this meeting. Representatives of the Applicants and the project team will be available during the meeting to present the proposed plan and address questions.

Subject Property Location Map

***Address: 1600 S. Park Road
Hollywood, FL 33020***



COMMUNITY MEETING DETAILS

Meeting Date & Time: June 10, 2024, 6:00 PM

Meeting Location: 2600 Hollywood Blvd, Hollywood, FL 33020 Room 219

PROJECT SUMMARY

This development proposes a horizontal mixed-use development of 145,000 square feet of office, 35,000 square feet of commercial and 630 multifamily residential units.

1600 S Park Rd Postings



Sign 1



Sign 2



Sign 3



Sign 4



Sign 5



Sign 6



ATTACHMENT 2

CERTIFICATION LETTER

City of Hollywood

Date: June 10, 2024

Applicant: Park Road Development, LLC

Legal Description: Lot 2 Block 1 and portion of Block 3 of Hollywood Golf Heights Plat as recorded in Plat Book 11 Page 13 of the Public Records of Broward County, Florida and un-platted portions of land in Section 20 Township 51 Range 42.

Address or General Location: 1600 S. Park Road

This letter certifies that the attached list of property owners within 500 feet from each property line of the subject site was prepared using the latest tax folio rolls supply by the Broward County Property Appraisers Office as of May 25, 2024, and Planning Department.

This letter also certifies that the attached public hearing notification was sent to the persons on the list of property owners. The notice was mailed May 25, 2024, for the June 10, 2024, community meeting.

Finally, this letter certifies that the site was posted with 10 public notice signs that meet the City of Hollywood notification regulations. The signs were posted May 25, 2024.

Thank You,

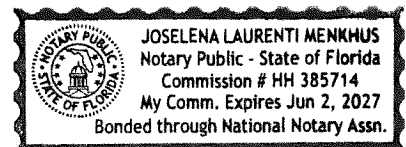


Eric Metz

Sworn and subscribed before me this 11 day of ^{by means of physical presence} June, 2024. He is personally known to me.



Signature of Notary



FOLIO_NUMB	NAME
514219183620	REPSOLE LLC
514219183630	TRAVEL WORLD WIDE INC
514219183640	FOLEY,PETER & SUSAN
514219183650	MAKHMUDOV,TALEKH TALEKHOVICH
514219183660	AMEN,FELIPE MOISES ARTEAGATUMBACO,ROXANA
514219183670	KORDOS,MICHAEL G &ALCANTARA-KORDOS,MARIA A
514219183680	GRIMM,STAR V & PAUL J. III
514219183690	MARROCCO,CHERILYNMARROCCO,MICHAEL
514219183700	FURDUI,VEACESLAV
514219183710	ATTAR COHEN,ESTHER DENISERODRIGUEZ GAMBARO,MARTIN ANDRES
514219183720	CARSELLO,CHRISTINA M
514219183730	SINGH,SUNIL
514219183740	ZAMUDIO,KATHERINE PAOLA
514219183750	TAN,FREDERICK HUNG LIANHYDE,MARK DENNIS
514219183760	CHAPARRO MONTANEZ,IVAN A
514219183770	LE,NGA THI H/ELE,MONG MY THI
514219183790	MOKROPOULO,EDOUARDVERENITCH,VIKTORYIA
514219183800	GALAN,ERIK & OLGA
514219183810	SABINO,STEFANO H & VIOLET S C
514219183820	BELMONTI,BRIAN J & MINDY L
514219183830	VERA,JAIME LUIS
514219183840	POE,CAPRIE
514219183850	DE LA ROTTA SOTO,JORGE ENRIQUEBOTERO MEJIA,MONIQUE
514219183860	COLE-ECCLES,DENISE
514219183870	ROMERO,CHRISTOPHER JROSA,BEZAYDA E
514219183880	PATEL,AVANI H/EPATEL,MANDAKINI A
514219183890	CERDA,RUBEN D ORTIZECHAVARRIA,CAROLINA Y

514219184970	PARKVIEW AT HILLCREST HOA INC
514219185030	PARKVIEW AT HILLCREST HOA INC
514219185070	PARKVIEW AT HILLCREST HOA INC
514219185080	PARKVIEW AT HILLCREST HOA INC
514219185130	PARKVIEW AT HILLCREST HOA INC
514219185280	HILLCREST COMMUNITY DEVELOPMENTDISTRICT %SPECIAL DISTRICT SVCS
514219270072	HARWIN-TOBIN 3701 LLC
514220000040	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220000050	BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS
514220000080	BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS
514220000110	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514220000122	PEMBROKE FIVE Y LLC
514220000140	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220000150	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220000160	SCOZAK REALTY INC
514220000170	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220000190	THETIKA INVESTMENTS LLC
514220000220	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514220000230	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514220000240	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY

514220000360	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514220000420	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514220000460	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514220000560	BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS
514220000590	BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS
514220040010	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220040020	ORANGEBROOK MOBILE HOME ESTATES%MR STEVEN ADLER
514220040030	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220060010	SOUTH BROWARD HOSPITAL DISTRICTATTN: PROPERTY MANAGEMENT
514220060011	AW MEMORIAL SOUTH LLC%IAW FLORIDA MOB MEMBER LLC
514220060012	439 9TH STREET ASSOCIATES LLCFMC 3702 WASHINGTON LP
514220060013	SOUTH BROWARD HOSPITAL DISTRICTATTN: PROPERTY MANAGEMENT
514220060014	SOUTH BROWARD HOSPITAL DISTRICTATTN: PROPERTY MANAGEMENT
514220060021	SOUTH BROWARD HOSPITAL DISTRICTATTN: PROPERTY MANAGEMENT
514220060030	AUTOMATIC INVESTMENTS SOUTH INC
514220060040	WINDSOR HOLLYWOOD LLC% MAXX PROPERTIES
514220060041	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220060042	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220060043	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV

514220060050	WINDSOR HOLLYWOOD LLC
514220140010	WINDSOR HOLLYWOOD LLC
514220140011	PUBLIC LAND % CITY OF HOLLYWOODOFFICE OF BUSINESS & INTL TRADE
514220150010	COCA-COLA BEVERAGES FLORIDA LLC
514220150020	PUBLIC LAND% TOWN OF PEMBROKE PARK
514220160010	PEMBROKE COMMERCE CTR ASSN INC%PROLOGIS
514220160014	SPRINT COMMUNICATIONS CO LP
514220160016	FF LANDLORD #3 LLC% DONNIE POWELL
514220160023	PUBLIC LAND% TOWN OF PEMBROKE PARK
514220210010	DOSTALY,KERVIENS & CARMEN Z
514220210020	GOLOSHCHAPOV,DMYTROHOLOSHCHAPOVA,MARYNA
514220210030	PARKVIEW AT HILLCREST HOA INC
514220220010	CPI ORANGEBROOK OWNER LLC
514220AB0010	KLEIN,DONALD
514220AB0020	PICKETT,DINAHDINAH PICKETT REV TR
514220AB0030	DE LA TORRE,ALEXANDRA
514220AB0040	WAGNER,ANGELAWAGNER,DAN
514220AB0050	PERDOMO,MYRIAM
514220AB0060	ABRAHAMOFF,COLBY J
514220AB0070	KAUPAS,PATRICIA
514220AB0080	MEDEIROS,DAVID A H/EMARQUES,ADRIANA GONCALVES
514220AB0090	SANDOVAL,CINDY
514220AB0100	HERD,CLAUDIA H/EWEIL,MICHAEL A
514220AB0110	CAMPOS,ALVARO
514220AB0130	WOJACK,ALFRED H/EWOJACK,GENEVIEVE

514220AB0140	TASHO,ANASTAS
514220AB0150	RUGG,MAURA
514220AB0160	MAGGIO,MARITZA
514220AB0170	FLORES,MARICRUZ H/EROMERO,JOSE
514220AB0180	REYNOLDS-SAAD,BARBARASAAD,SABET M
514220AB0190	RAINWATER,CHERYL D
514220AB0200	PEREIRA,NICHOLAS LORENZO
514220AB0210	MARTOS,LUCAS
514220AB0220	KORNER,BEBE MARCELLOKORNER,ANTONIO SORIN
514220AB0230	MARTI,GLORIA
514220AB0240	LEBEDEVA,VALENTINA
514220AB0250	HENRIQUEZ,CASANDRA RCASANDRA R HENRIQUEZ REV TR
514220AB0260	HURTIG,JILL & STEVEN
514220AB0270	SILAGHI,STELA
514220AB0280	HELLNER,HANNAHELLNER,SYLTA MARIE
514220AB0290	MONTEALEGRE,ANGELICA
514220AB0300	NINCEVIC,ANTE TONI & MIMOZA
514220AB0310	MUKHA,MARIA H/EMUKHA,VITALY H/E ETAL
514220AB0320	TREVISAN,ALAN
514220AB0330	OLIVERI,DEBRA
514220AB0340	MARTINEZ,INGRID H/EMARTI,GLORIA
514220AB0350	PEREZ,JUAN OROPESA
514220AB0360	SERBANESCU,GEORGE MIHAI H/ESERBANESCU,ARUNA
514220AB0370	SOUCY,PHYLLIS
514220AB0380	SUISSA,ABRAHAM & RACHEL
514220AB0390	BURKE,GERARD A & MONIQUE
514220AB0400	ALBERTINI,HERIBERTO L
514220AB0410	AFANADOR,ESTELA

514220AB0420	FEDERELLA,MICHELLE
514220AB0430	EVERING,DAVID J
514220AB0440	NATALE,PAUL
514220AB0450	BROWN,SAMANTHA
514220AB0460	MARTINEZ,DAYANA
514220AB0470	DINARI,HARRIET
514220AB0480	WILLIAMS,MICHAEL LEE H/ECARVAJAL ANGULO,KATRIN
514220AB0490	IDELER,MARKKIRSCH,CASEY
514220AB0500	PENA,JESUS AUGUSTOPENA,JESUS & PENA,REBECA
514220AB0510	MORRELL LIV TRMORRELL,M & MORRELL,R TRS
514220AB0520	TORO,JOHN DIYANG,XIAO JIAN
514220AB0530	DEFORTE,WILLIAM
514220AB0540	HOCHMAN,ANNSTREITER,NANCY & BLUMENTHAL,SUE
514220AB0550	PARISI,RAMON P & ELIANA Y
514220AB0560	WORTMAN,HAINERICH & MARCELLE
514220AB0570	GONZALEZ RIVERO,HERMELINDARIVERO,ANDRES
514220AB0580	ORIAS,NATALIA
514220AB0590	PAGAN,HARRY & BARBARA J
514220AB0600	ARCHAMBAULT,JEANRICHER,CHANTAL
514220AB0610	GOENNENWEIN-SIMON,LISETTE
514220AB0620	HINDS,YVETTE
514220AB0630	KRUPNYAK,LILIANA S
514220AB0640	PERLSTEIN,HARRY LOUIS
514220AB0650	IUHASZ,ADALBERT
514220AB0660	RESTO,TRIANA M
514220AB0670	CAVIC,GORDANA
514220AB0680	LAWSON,MARGARET ANN H/ELAWSON,DAONALD L
514220AB0690	BAEZ,RAFAEL & DULCE M

514220AB0700	WEPNER,CHARLESWEPNER,LINDA
514220AB0710	HERNANDEZ,MARGARITA
514220AB0720	BURGOS RIOS,ALVARO
514220AB0730	GUZMAN,LUISA FERNANDA
514220AB0740	ARTHUZO,FREDERICO F
514220AB0750	SCHWARTZ,CAROL
514220AB0760	OLTMANN,PHYLLIS
514220AB0770	BIANCHINO,MARIA
514220AB0780	LAWRENCE A ZUCKER LIV TRZUCKER,L & HENRY,J TRUSTEES
514220AB0790	PINEDA MARCOS,LIESSER ARMANDO
514220AB0800	OLIVA,KIM MIRIAM
514220AB0810	OROZCO-CARVAJAL,ILSEN H/ECARVAJAL,LUCY
514220AB0820	CLEMENT,DANIELTREMBLAY,LOUISE
514220AB0830	LIAN,JIE
514220AB0840	DELVA,FRANCE M & JEAN CLAUDE
514220AB0850	ROMERO,SANDRA L
514220AB0860	HEIDARI,ELHAM H/EHEIDARI,KARAMAT
514220AB0870	GANDERO,CHRISTOPHER GEORGE
514220AB0880	ROMAN,JOSE P
514220AB0890	RON-VIVAS,SORAYA
514220AB0900	GALVIS,LUIS FELIPE
514220AB0910	CANNIZZARO,WILLIAM M
514220AB0920	LUGO,SARA
514220AB0930	AJOKU,YURI
514220AB0940	STANGER,RHODA H/ESTANGER,CARY B
514220AB0950	LUZAN,ANDREIVORONINA,MARIIA
514220AB0960	KOROTAEV,KONSTANTIN & ELENA
514220AB0970	PUIU,ELISABETA H/EGARBA,R

514220AB0980	URALOVA,YULYA
514220AB0990	REINGOLD,DOUGLASS JAY
514220AB1000	MARSET,ELIZABETH
514220AB1010	LOVAS,WILLIAM
514220AB1020	PAGHETE,ALEXANDRE
514220AB1030	ARONSKY,SHARON
514220AB1040	ODZE,NEIL
514220AB1050	FEIGEN-NOVAK,JACQUELINE
514220AB1060	NADELMAN,ADRIANA
514220AB1070	VARASTEANU,EUGEN & LILIANA
514220AB1080	LAWSON,DONALD LDONALD L LAWSON REV TR
514220AB1090	FLORES,GLADYS P
514220AB1100	OBRAZTSOV,ALEKSANDRAOBRAZTSOV,EVGENY
514220AB1110	ROY,GINETTE
514220AB1120	DE OCA,LEOBEL MONTES
514220AB1130	PACCILLI,JENNIFER LPACCILLI,CHRISTOPHER J
514220AB1140	GARCIA,FRANCISCO XKUDELINA,NATALIA
514220AB1150	FERRARA,DEBRA
514220AB1160	FERRARA,CARMELA
514220AB1170	MONTALVO,JEDIDIAH
514220AB1180	GIGLIO,LAURA ANN & MICHAEL
514220AB1190	ELLEN SUE MASON REV TRMASON,ELLEN SUE TRS
514220AB1200	MARINAY,MAGALY & JOSE VICTOR
514220AB1210	LUBARDA,GORDANA
514220AB1220	JOSEPH,BILIENE
514220AB1230	HEARN,SARA
514220AB1240	LIMARDO,LORI
514220AB1250	KAWA,ORSULA

514220AB1260	KORNER,MARCELLO & MINONDA
514220AB1270	RICHELIEU,JESSYCA M
514220AB1280	BERTRAND,DANIELLEBERTRAND,VANESSA
514220AB1290	NAVARRETE,AMED JESUS
514220AB1300	STEELE,CLAUDIA TARAZONA
514220AB1310	SHELKOVNIKOVA,NIKA
514220AB1320	KRAMER,LAURA
514220AB1330	SPEISMAN,CINDY & PAUL
514220AB1340	BEDOYA,CESARCARRERO,GUSTAVO
514220AB1350	DUGGAN,LISA Y
514220AB1360	WILSON,JAMES BARUE
514220AB1370	MENDOZA,ANNIE M H/EMENDOZA,LUIS A & MENDOZA,MARIBEL
514220AB1380	ZAPATA,MARIA ELENA H/ECORZO,PAOLA ALEJANDRA
514220AB1390	MIRONOVA,OLESYA S
514220AB1400	SPEAKMAN,DOUG J
514220AB1410	FRANKLIN,DORIS
514220AB1420	VIAU,CAROLINE
514220AB1430	GARVIN,GINA S
514220AB1440	PELI,GENNIFER VIVIAN H/EPETERS,JULIANA
514220AB1450	ARGUELLES,ANA TERESA
514220AB1460	CURRO,ROBERTROBERT CURRO REV TR ETAL
514220AB1470	DASCALU,LUMINITA
514220AB1480	HALL-JENNINGS,LORENEJENNINGS,THOMAS C III
514220AB1490	SAPADIN,RANDALLCOPPOLA-SAPADIN,PHYLLIS
514220AB1500	SHAFIR,MARIA & SEMYON
514220AB1510	KAPLAN,MICHAEL
514220AB1520	VOSKRESENSKAYA,TATYANAVOSKRESENSKY,SERGEY
514220AB1530	HALSTEAD,BARRONE

514220AB1540	SHAWN URMAN 2021 IRREV TR
514220AB1550	LEMME,ANTHONY ALEXANDER
514220AB1560	MASSIAH,SHELLONA A
514220AB1570	ADLER,HELENE
514220AB1580	FEIJOO,YOLVI
514220AB1590	OSADCHYY,OLEG H/EOSADCHA,ANASTASIIA
514220AB1600	CHEN,JESSICA CHING YEE
514220AB1610	RUBINOV,MICHAEL H/EDAVYDOVA,YELENA
514220AB1620	PEREZ,EFRAIN
514220AB1630	HUSSAIN,SELIMA
514220AB1640	HENRY,SUSAN
514220AB1650	LAWRENCE H BARTELTSEN LIV TRWILLIAM J HEVERT LIV TR
514220AB1660	KARDYS FAM LIV TRKARDYS,JACK C & DIANE R TRS
514220AB1670	SANTANIELLO,ANDREANA TERESACARRASQUERO,JOSE VICENTE
514220AB1680	JORGE,JULIANLUMPKIN,MASKIM
514220AB1690	SPECTOR,JAMES & CARLA
514220AB1700	VETAN,IONEL & MARIA
514220AB1710	GLANTZIS,GEORGE E
514220AB1720	PEREZPALMA,YURI & MONICA
514220AB1730	FOX,KENNETH R
514220AB1740	SOKHO,SERGEY
514220AB1750	BRANDFON,VIRGINIA
514220AB1760	SZABO,STEVEN
514220AB1770	BROWN,CLARA
514220AB1780	VEHBIU,MIRJANHALILI,IRIS
514220AB1790	ROY,MAURICELAMONTAGNE,LOUISE
514220AB1800	ANIDJAR,IANANIDJAR,JANNINE ETAL
514220AB1810	ADA ARMAS REV TR

514220AB1820	PATTON,ANNA
514220AB1830	HENRIQUEZ,JOHNHENRIQUEZ,KAREN
514220AB1840	REVILLA NEGRETE,FRANCISCO JAVIER
514220AB1850	LATORRE,LUIS
514220AB1860	SYRIANI,RENATA
514220AB1870	GARCIA,JORGE & ANGIE
514220AB1880	PIKER,VALERY H/EPIKER,ERIC
514220AB1890	SIMU,ADAMITA D & LYDIA J
514220AB1900	FREEMAN,MALINDA EST
514220AB1910	BOUCHER,THOMAS DWAYNE JR
514220AB1920	TIGER,EDWARD M
514220AB1930	LEVY,ROSAROSA LEVY LIV TR
514220AB1940	FLYNN,JOHN G
514220AB1950	LEWIS,DIONNE
514220AB1960	ROCK,SONDRA
514220AB1970	ORTIZ,ANALYSIA C H/EORTIZ,ANGEL G & ANNABELLA F
514220AB1980	PELOBELLO,AILENE A & RUSSELL S
514220AB1990	HERMOZA,JORGE LUISCRUZ HERMOZA,MIRIAM
514220AB2000	SAROCHAR,LILIANA
514220AB2010	LISS,SARA
514220AB2020	KITZIS,INNA
514220AB2030	MEHTA,SARAYU H/EMEHTA,PRAKASH K
514220AB2040	PERALTA HARASIUNK,MANUELA M H/EPERALTA,ANA LUCIA ETAL
514220AB2050	MENGARI,VALERIA
514220AB2060	GOLDSTEIN,DEBORAHGOLDSTEIN,ELIZABETH
514220AB2070	SOKOLOV,EVGENY
514220AB2080	ALTHOFF,WILLIAM H/EALTHOFF,ELIZABETH
514220AB2090	MIRANDA,LEONARDO H/EBARRIENTOS,L ETAL

514220AB2100	GOLDEN-JOHNSTON,DEBORAH
514220AB2110	ALPERT,SONDRA
514220AB2120	ALPERT,RICHARD
514220AB2130	KRAMER,MARILYN H/EKRAMER,DEANNA
514220AB2140	EDWARDS,SABRINA
514220AB2150	DE LEON,JORGE G
514220AB2160	LECLERC,DENISTHERIAULT,CHANTALE
514220AB2170	KIRMAZ,ALEKSANDR & NATALYA
514220AB2180	MURRAY,LINUS JR
514220AB2190	HANGA,OVIDIU DAN &PAIU,VIRGINIA RALUCA
514220AB2200	HEARN,SARA
514220AB2210	LAVIETES,BARBARA A
514220AB2220	POLITO,CONNY E
514220AB2230	THERRIEN,MICHELMICHEL THERRIEN REV TR
514220AB2240	TORRES,MONICA
514220AB2250	WILKENS,FREDERICK RFREDERICK R WILKENS 2008 REV TR
514220AB2260	ANNA JAKSA TRJAKSA,ANNA TRS
514220AB2270	WEINBERGER,LEOPOLD
514220AB2280	ALEXE,ILEANA
514220AB2290	HASKELL,EVAN C
514220AB2300	CHOLETTE,SYLVIE
514220AB2310	MORRISSETTE,JEAN CLAUDE
514220AB2320	PARKER,STANLEY LSTANLEY L PARKER LIV TR
514220AB2330	FAIFER,CLAUDINE H/EMUSKAT,LEONORE PERLA
514220AB2340	STEVENS,PATRICIAWARD,CAROLINE & CORBIN,JOHN T
514220AB2350	OJEDA,JORGE REMONQUINTERO,ANAYVIS
514220AB2360	PIERRE,EDDY PIERRE
514220AC0010	ZUNIGA,MADELINE

514220AC0020	SHUSTER,MEREDITH
514220AC0030	VENA,DEBORAH
514220AC0040	RUTH PRINE REV TR
514220AC0050	ATLAS,CAROL ACAROL A ATLAS REV TR
514220AC0060	TUST,JOHN M & ARLEN CJOHN & ARLEN TUST LIV TR
514220AC0070	VIDAL,RODOLFO & IRIS JANE
514220AC0080	POWELL,RONALD
514220AC0090	ALVAREZ,RICHARD & FATIMA
514220AC0100	ROTH,MARK S & FRANCES SROTH FAM REV TR
514220AC0110	SOROKA,BEATRIZ S H/ESOROKA,RICARDO S
514220AC0120	FUNDORA,JUAN MANUEL H/ERODRIGUEZ,MARCIA
514220AC0130	VILLALBA,JOSE MIGUELFRANCO PEREZ,ANA CECILIA
514220AC0140	PORTALES,JOSE D
514220AC0150	MOSQUERA DE URGUIA,FLORA ELIGIA
514220AC0160	FERNANDER,MAUDMAUD FERNANDER TR ETAL
514220AC0170	MANGINELLI,JOHN MJOHN M MANGINELLI REV TR
514220AC0180	ABAKUMOVA,OLGA V
514220AC0190	IMPOSIMATO,FELIX
514220AC0200	MELGAREJO,EDNA
514220AC0210	COLDEN,VONCEIA
514220AC0220	QUISPE,EDWIN WILFREDOVEREAU VEGA,SANDRA CECILIA
514220AC0230	LEW,MARIO H/EDOLGIN LEW,LISA S
514220AC0240	LUZON,CAROL ANNWARREN,ROXANNA R
514220AC0250	BALTAZAR,NORMA I & RAMON E
514220AC0260	SEID,NORMA
514220AC0270	CHAMIZO,ORLANDO
514220AC0280	ORTEGA,LENIN JOSEWATSON,MARINA VLADIMIROVNA
514220AC0290	MORDIA,TERENCE G

514220AC0300	VARGAS,JUAN & EMMA
514220AC0310	SABANOVIC,FADIL & SENADA
514220AC0320	HERNANDEZ,MILAGROS
514220AC0330	BROWNSTEIN,JUDY
514220AC0340	BLOOMQUIST,WAYNE & ROSANNABLOOMQUIST,BRADEN
514220AC0350	DIAZ,NORA C
514220AC0360	VILORIO,JANET
514220AC0370	PAQUET,GILBERT & GILBERTE
514220AC0380	LEVINE,FREDRIC NFREDRIC N LEVINE REV TR
514220AC0390	KAUFF,ANN H/ESTROMFELD,LINDA
514220AC0400	CHARITON,ELLEN
514220AC0410	PARNIS,SYLVIA
514220AC0420	GABBOLA,ENRICO FRANK
514220AC0430	PRILUTSKY,SIMON
514220AC0440	MASTAN,CLAUDIU S &MASTAN,LUMINITA L
514220AC0450	RADER,JUDITH
514220AC0460	MOQUETE,JOSE D
514220AC0470	MORIYAMA,TAKESHI & TAMIE T
514220AC0480	MAIS-COLLINS,NESRENE M
514220AC0490	TOPANA,OVIDIU
514220AC0500	ELGAMAL,FOUAD RAFIC MOHAMEDELHOSARY,TOMADER AHMED MOHAMED
514220AC0510	MINTZ,CHIFRE DIK
514220AC0520	VAISMAN,JOANNAESKENAZI,JOSE
514220AC0530	STERLING,BARBARA
514220AC0540	FIELDS,NANCY
514220AC0550	PARRA,AMANDA
514220AC0560	SALPINO,ANTHONY OVALLETUTTI-SALPINO FAMILY REV TR
514220AC0570	GAVRILIU,MINODORA MARIA

514220AC0580	HUNTLEY,PETER & AUBRY,DIANEHUNTLEY,JASON & HUNTLEY,NATHALIE
514220AC0590	PHYLLIS B & SAUL S FEDER REV TR
514220AC0600	BARBU,LIDIA & VASILEVASILE & LIDIA BARBU REV TR
514220AC0610	BORSIC,ALADAR A & ANA L
514220AC0620	YANAI,TSUYOSHI
514220AC0630	BARCENAS,BARBARA & STEIN,LUISLUIS STEIN & B BARCENAS IRREV TR
514220AC0640	ARAGUNDI,LOLALOLA ARAGUNDI REV LIV TR
514220AC0650	MIRANDA,ANTONIO RMIRANDA,MARISVEL
514220AC0660	HUTCHINSON,RAQUEL H/EHUTCHINSON,THOMAS
514220AC0670	BARR,FLORENCE
514220AC0680	STEINER,DIANE
514220AC0690	MATEOS,MARTHA
514220AC0700	ILJAZI,MEMEDI
514220AC0710	POLLOCK,LINDA
514220AC0720	FIGUEROA,HELLENPUELLES,JORGE
514220AC0730	JOSEPH,KENNARD
514220AC0740	WILLIAM & JUDITH MOCKLER TRMOCKLER,RYAN MICHAEL TRSTEE ETAL
514220AC0750	CASTELLANOS,ELIDA
514220AC0760	HUDSON,MARIA
514220AC0770	BUIS,JUSTIN R
514220AC0780	DAVID,STEVEN
514220AC0790	NIKOLIC,DRAGOLJUB
514220AC0800	COLEBROOKE,KENNETH S
514220AC0810	PEREZ,JOHN JOSEPH & NINA
514220AC0820	CLARK-SAVIO,SUSAN R
514220AC0830	ZAPATEIRO,MARCELA
514220AC0840	CARDONA,BLANCA I
514220AC0850	GORDON,LEOVERTURE & DONALIE C H

514220AC0860	MARTIN,CARLOS C
514220AC0870	LAPIN,IDA H/ELAPIN KIRSCHBAUM,REGINA
514220AC0880	PHILLIPS,MARIA LUISA
514220AC0890	GATICA ORDENES,ALDO ELIASD'AGOSTINI LOPEZ,MAGALY G DEL C
514220AC0900	VILLAGRA,CLAUDIO H/ECONCINO,AIDA
514220AC0910	RACCIATTI,ELIZABETHELIZABETH L RACCIATTI IRREV TR
514220AC0920	FOGEL,LAURA J
514220AC0930	ARISTIZABAL,MARGARITAMARGARITA ARISTIZABAL LIV TR
514220AC0940	LAVINE,HILDA A H/EALONSO,JOHN CARL
514220AC0950	THERLONGE,JOSEPHTHERLONGE,MARIE
514220AC0960	CAPELLA,CARLOS J ALVARADO
514220AC0970	PELAY,MARIA L
514220AC0980	DE LA VIEZ,WILLIAM
514220AC0990	PIOTROVSKY,WALENTYNA
514220AC1000	CARDENAS,ISABEL
514220AC1010	BERMAN,DMITRY
514220AC1020	DOHERTY,BRIAN PDOHERTY,GLORIA O
514220AC1030	MADERA,MARITZA J
514220AC1040	HERNANDEZ,JAIME MADAMES,OMAR I
514220AC1050	VINOKUROVA,KRISTINA
514220AC1060	BUTTERWORTH,WILLIAM G
514220AC1070	SUAREZ,MANUEL E
514220AC1080	WINICK,RANDALL WARDLAVERGNE WINICK TR
514220AC1090	ARSHAVSKY,MIKHAILBELENITSKY,VICTORIA
514220AC1100	GOLDSMAN,EVA S H/EGOLDSMAN,GENE
514220AC1110	DELGROSSO,LISA
514220AC1120	HOLTZMAN,LYNN NIKI H/EHOLTZMAN-DAVIS,MELISSA ETAL
514220AC1130	TREGLIA,LOUIS J

514220AC1140	MELAMETH,JACQUES
514220AC1150	SOUCY,GENEVIEVE
514220AC1160	DENNERY,SIMONE
514220AC1170	RUBIN,BRUCERUBIN,ROSLYN
514220AC1180	BUECHNER,IRENEBUECHNER,KLAUS M
514220AC1190	BELLAMY,WILMA
514220AC1200	BRUNETTO,SHARON YVETTEBRUNETTO,MARIA TERESA
514220AC1210	HART,JANET
514220AC1220	TIMMONS,GERALD EGODERT,RICHARD J
514220AC1230	GLASSER,MORTON P
514220AC1240	NOVAK,MARGARET H
514220AC1250	MEHU,NAAMA
514220AC1260	CACHON,ANA K
514220AC1270	MANTER,DANIEL AMANTER,MARLENE
514220AC1280	KROTOWSKI,HARRY
514220AC1290	QUINTERO,JAIR0 &CARDENAS,MARTHA L
514220AC1300	ORTIZ,AIDA H/EORTIZ,LEONOR
514220AC1310	RAYMOND,LAURAVILLATORO,CLAUDIA
514220AC1320	FRALICK,MARGUERITELEE,JADA SHELBY
514220AC1330	NEWMAN,MICHAEL & KIMBERLY
514220AC1340	KAGAN,LEONIDSTRELTSOVA,SVETLANA
514220AC1350	DE ROSA,JOYCEJOYCE DE ROSA REV TR
514220AC1360	BROWN,SUZANNE R H/ESAULICH,MICHAEL
514220AC1370	NEWMAN,KIMBERLY & MICHAEL
514220AC1380	NOVAK,KARL E
514220AC1390	HARTENSTINE,NEIL
514220AC1400	WILLIAMS,LUCY O
514220AC1410	MELO,RAMONA

514220AC1420	BIJOU,JEAN ROBERT
514220AC1430	OSPINA,GUSTAVO ADOLFO
514220AC1440	GOLYAND,ALLA H/EGOLYAND,STANLEY
514220AC1450	MACKENZIE,MARK EDWARDVELEZ,CARLOS
514220AC1460	WHITNER,WILLIAM J
514220AC1470	ANNICHARICO,STEVEN
514220AC1480	BENDECK,MARIA DEL CARMEN
514220AC1490	RITCHIE,KENNETH W
514220AC1500	DAYAN,EVELYN
514220AC1510	GIACALONE,ANGELOTURNER,ELLIS EDWARD
514220AC1520	GAGNON,JEAN
514220AC1530	JOFRE,JORGE MANUEL
514220AC1540	ALESHIN,LARISA
514220AC1550	ASHWAL,EVA
514220AC1560	DIAZ,MIRTA K
514220AC1570	FERNANDEZ,NELLY
514220AC1580	GONZALEZ SALAZAR,MARTHA NELLY
514220AC1590	SAVLOFF,ALEJANDRO H/EJULIA P SAVLOFF REV LIV TR ETAL
514220AC1600	WALSH,RYAN JOSEPHWALSH,RUTH
514220AC1610	GOLTSIN,ARNOLD & RAISA
514220AC1620	SCHEINER,HERBERT
514220AC1630	KIM,HYUNG HEUMLEE,SUNG HEE & KIM,JENNIFER H
514220AD0010	TORRES,MARIA
514220AD0020	ASAN,MARTHA
514220AD0030	MITCHELL,EDWARD
514220AD0040	THOMAS,EARL
514220AD0050	SHARABY,MARGARET
514220AD0060	NUNEZ,JOSE BFRIAS DE NUNEZ,YOSMERY C

514220AD0070	DANEK,PATRICIA HELENA
514220AD0080	CONNERY,MARY ANNE
514220AD0090	RIVERA,ROSARIO
514220AD0100	ZUK,CHRISTOPHERCHRISTOPHER J ZUK REV LIV TR
514220AD0110	MILLER,DONALD
514220AD0120	EFROS,MARIE I
514220AD0130	BENOWIAT,DENISE
514220AD0140	MENDOZA,BIENVENIDA LMENDOZA,LUIS R
514220AD0150	SPAZIANI,PLACIDO ENRICO
514220AD0160	RAMIREZ,IVAN G
514220AD0170	PALTA,WILDER
514220AD0180	GARCIA,JOSE & JOSEPHINE
514220AD0190	MANDELSTEIN,BARBARA JBARBARA J MANDELSTEIN TR
514220AD0200	BOSCAN,CARLOS ABOSCAN,DEISY M
514220AD0210	GURST,LYNNE
514220AD0220	AZLOR,SUSANA
514220AD0230	ROBINSON,DUDLEY W II & JUDITH A
514220AD0240	KATUSA,NIKOLA H/EKATUSA,NIRIS
514220AD0250	BROOKS,CARL ABROOKS,LEE A
514220AD0260	GABRIEL,MARTHA
514220AD0270	GARCIA,HENRY
514220AD0280	SOBEL,SHERRIE H/EPRESS,JULIE
514220AD0290	ZELLIN,ROSEMARIE EST
514220AD0300	WOJACK,GENEVIEVEGENEVIEVE WOJACK FAM TR
514220AD0310	MARTIN,NUBIA
514220AD0320	ARANGO,ESTHER COSORIO,MARIANA ETAL
514220AD0330	VENANCIO,LUCIA
514220AD0340	DONA,IRMA GABRIELALAYNE,JEFFREY SCOTT

514220AD0350	BLAIR,BUNDI B & SYLVIA R
514220AD0360	CAIRO,MARCIA M
514220AD0370	FERGUSON,CALVIN
514220AD0380	ARNOLD,JACQUELINEMARYON B ARNOLD TR
514220AD0390	GOLDSTEIN,ELIAS H/EGOLDSTEIN,RUBEN ALEJANDRO
514220AD0400	KALLASTU,SIRJE
514220AD0410	HUNTER,RICHARD
514220AD0420	LAWRENCE,WILLIAM J JRWARREN,DENNIS E
514220AD0430	CICCARIELLO,SALVATORE
514220AD0440	WEISZ,MARILYN
514220AD0450	VORONINA,NATALIAVORONIN,VADIM
514220AD0460	JADOO,GAJENDRA H/EPADIA,CHANU
514220AD0470	GUTMAN,ALEJANDRO A
514220AD0480	DEPAROLESA,MARIA
514220AD0490	SAMA,SUNITA A
514220AD0500	SHAW,BETTY
514220AD0510	MOLINA,MARIO R & RUBEY F
514220AD0520	MOHAMED,KHALEEF
514220AD0530	NAVARRERA LEON,EDUARDO
514220AD0540	PASCUAL,CRISTOBALINA E
514220AD0550	ORMSTON,ANDREA J H/EORMSTON,ROBERT ELLIOT
514220AD0560	HARROW,DREW
514220AD0570	LOFTUS,JULIA
514220AD0580	ZOMARO,CATALINA H/EZOMARO,CLAUDIA V ETAL
514220AD0590	HERNANDEZ,CLARA
514220AD0600	BROOKS,LORRAINE
514220AD0610	PATRICIA PROTZMANN TRPROTZMANN,PATRICIA TRSTEE
514220AD0620	FERREIRA,SERGIO AUREOFERREIRA,MARCIA E

514220AD0630	RODRIGUEZ,NORMA H/EBERG,WILLIAM & BERG,KAREN
514220AD0640	CHALFIN,SUSAN M
514220AD0650	ZVEREVA,RAISA ROMANOVNAZVEREV,VASILY
514220AD0660	PRESS,IRA MIRA M PRESS LIV TR
514220AD0670	MAERZ,PETER J & BAER,ALYSSAMAERZ & BAER FAMILY REV TR
514220AD0680	PERVAN,VERA F
514220AD0690	VERGEL,DANIA O & JUAN A
514220AD0700	RUTHERFORD,JUNE FRANCES
514220AD0710	WAGNER,GERRI A
514220AD0720	POLLARD,SUSAN JPOLLARD,RICHARD A
514220AD0730	CHISLOV,SERGEY & ELENA
514220AD0740	PONOMAREVA,EKATERINA H/EPONOMAREVA,ELENA
514220AD0750	GALINDO,IRIS MARLENE
514220AD0760	ZAPATA,ELSY
514220AD0770	DOMINGUEZ,BERNA
514220AD0780	GREER,NARVELL & KATHERINA
514220AD0790	ROMERO,LIGIA
514220AD0800	SALTOS,ERWIN FABIANSALTOS,GLADYS ESTHER
514220AD0810	BRYAN,YVONNE
514220AD0820	SCHAMACH,ROBERT J
514220AD0830	MORGAN,SUSAN
514220AD0840	JOHNSON,HELEN A
514220AD0850	SOLTE,SARA LYNN
514220AD0860	OLKINITSKY,JOSEF & VERA
514220AD0870	CHEN,YANGLUCE,DAVID
514220AD0880	MAK,BING
514220AD0890	FRANCO,ALTAGRACIA & NICANOR
514220AD0900	MARLIN,KEVIN

514220AD0910	MIZRAHI,SHULAMIT H/EMIZRAHI,DAVID & MIZRAHI,A
514220AD0920	ORTEGA-CUBAS,MARIACUBAS,LUIS C
514220AD0930	CADENA,INES J
514220AD0940	BLANCO,BEATRIZ
514220AD0950	RUBAJA,EDUARDO
514220AD0960	LI,XIN
514220AD0970	KARLIN,GABRIELROSEN,ANDREA & KARLIN,MICHAEL A
514220AD0980	GARCIA,SONIA
514220AD0990	KLAGGE,JANET ZETTLER
514220AD1000	GONZALES,YANENT
514220AD1010	GINSBERG,MARC A
514220AD1020	BUCHMAN,DAVID EST
514220AD1030	DESROSIERS,NICOLELEMAIRE,YVAN
514220AD1040	WRIGHT,ELLEN
514220AD1050	CASTRILLON,SEBASTIAN
514220AD1060	CIOBOTARU,ALEXANDRU H/ECURUMI,VERONICA
514220AD1070	KRAMER,F S
514220AD1080	FISHMAN,ELIA H/EFISHMAN,DANIEL
514220AD1090	VEGA VASQUEZ,IVAN H/EGONZALES VILCHEZ,MIRIAM CAROLINA
514220AD1100	GREGORI,NINEL
514220AD1110	SEIDNER,ARLENE
514220AD1120	RIVERA,ANTONIO A
514220AD1130	RODRIGUEZ,IRMA A
514220AD1140	DEPAOLA,ONA
514220AD1150	JAFFE,ALLISON
514220AD1160	ABOUSAEEEDI,HOSSEIN
514220AD1170	SALPINO,THERESA
514220AD1180	LORUSSO,RAUL ARTURO

514220AD1190	DOWNS,COSTEN & OLGA
514220AD1200	RAYMONDO,DANADANA RAYMONDO REV TR
514220AD1210	FREEHLING,THOMAS A
514220AD1220	HOLMES,YVONNE V
514220AD1230	JIMENEZ,ROBERTSANCHEZ,JORGE S
514220AD1240	CORBITT,DONNA M
514220AD1250	TORRES,LEONARD H/EVILLA HINCAPIE,GLORIA PATRICIA
514220AD1260	EIBESCHITZ,RANDEE
514220AD1270	REYES,MONICA B
514220AD1280	FOSTER,SCOTT S
514220AD1290	WEISS,JOAN S
514220AD1300	EFFRON,CANDACE W
514220AD1310	STIVARIUS,JANE
514220AD1320	DINUNZIO,MARY LDINUNZIO,LOUISE
514220AD1330	SANDERS-HELBIG,CORINNESANDERS,ANN & HELBIG,CLAUDE
514220AD1340	DE PASQUALE,CONCETTA H/EDE PASQUALE,DANE ETAL
514220AD1350	DANA RAYMONDO REV LIV TRRAYMONDO,DANA TRSTEE
514220AD1360	CRESPO,LAURA
514220AD1370	SHEINKIN,JOHANNA
514220AD1380	WEINBERG,CAROLYN
514220AD1390	DELPRETE,CARL JDELPRETE,ANGELA
514220AD1400	SHUMKLER,IZABELLA
514220AD1410	PICCOLO,ANITA H/EORLOWSKY,SCOTT
514220AD1420	LI,HONG
514220AD1430	DEMSKI,OLEG
514220AD1440	HERNANDEZ,LESLIE VIRGINIAREYNA LEDEZMA,ARELYS M
514220AD1450	BALLICA,MURAT & LUCILLE
514220AD1460	SEIFERTH,FLORENCE MARIA

514220AD1470	PETROPOULOS,CONSTANTIN & DOROTHY
514220AD1480	PEREZ,HECTOR F
514220AD1490	ZALUT,STEPHEN
514220AD1500	RAMOS,JOSE AGARCIA,MIRIAM R
514220AD1510	ABRAHAM,CECELIA K
514220AD1520	CICERO,ELIZABETH
514220AD1530	BEAUPRE,DAVID PBEAUPRE,MAUREEN WINSLOW
514220AD1540	GERARDO,SHARON LEE & ADRIAN P
514220AD1550	SANDLER,PEDRO
514220AD1560	CANCEL,THEODOREASTACIO-CANCEL,JOSIE
514220AD1570	NOCCO,MARYELLENNOCCO,LAUREN
514220AD1580	PRUS,EDUARDO FABIAN
514220AD1590	SHIELS,BRIAN H
514220AD1600	DOBRY,SARA
514220AD1610	ACOSTA,MIRTA GUIOMAR
514220AD1620	FLOYD,GREGORY JAMES
514220AD1630	RIVERA,BRUNILDAWRIGHT,ERNEST III
514220AD1640	FIELD,CHERYLL A
514220AD1650	GOLDBERG,SUE H/EGOLDBERG,SCOTT & BEHRENS,JILL
514220AD1660	BARRERA,ANDREW
514220AD1670	PRIGMORE,LESLEY & SHARON
514220AD1680	WOLDER,BARRY E
514220AD1690	WEISSMAN,CAROLINE M H/EJOEL & CAROLINE WEISSMAN REV TR
514220AD1700	VASQUEZ,MARIA TERESALEVINE,PATRICIA & LEVINE,JEFFREY
514220AD1710	DAIGNEAULT,GUYLAMOTHE,LORRAINE
514220AD1720	GOZLAN,MALI
514220AD1730	HIBBERT,GALE
514220AD1740	FREDERICK,GABRIELA M

514220AD1750	HASIMI,KRISANTHI
514220AD1760	CONRAD,LARRY D
514220AD1770	BERRY,MARIAWILLIAMSON,TOMAS EDUARDO
514220AD1780	RODRIGUEZ,ANGELA
514220AD1790	MEDEIROS,ROMANA
514220AD1800	ORDONEZ,ALVARO
514220AD1810	ARDEN,FERN
514220AD1820	BECK,MARY E
514220AD1830	MELOTTI,JOANNE E
514220AD1840	DAVIS,FRANCIS G JR & ANGELA CITY OF HOLLYWOOD DEPT. OF PLANNING & DEVELOPMENT SERVICES PO BOX 229045 HOLLYWOOD FL 33022-9045

ADDRESS_LI	CITY	STATE	ZIP	ZIP4
8 THE GREEN STE A	DOVER	DE	19901	
3701 GREENWAY DR	HOLLYWOOD	FL	33021	
3695 GREENWAY DR	HOLLYWOOD	FL	33021	
3685 GREENWAY DR	HOLLYWOOD	FL	33021	
1504 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1518 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1526 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1548 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1576 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1596 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1612 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1636 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1654 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1668 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1682 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1694 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1685 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1675 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1665 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1645 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1625 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1605 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1595 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1573 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1541 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1515 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1503 TRAILHEAD TER	HOLLYWOOD	FL	33021	

4600 HIILLCREST DR	HOLLYWOOD	FL	33021	
4600 HIILLCREST DR	HOLLYWOOD	FL	33021	
4600 HIILLCREST DR	HOLLYWOOD	FL	33021	
4600 HIILLCREST DR	HOLLYWOOD	FL	33021	
4600 HIILLCREST DR	HOLLYWOOD	FL	33021	
8785 SW 165 AVE #200	MIAMI	FL	33193	
1101 BEN TOBIN DR	HOLLYWOOD	FL	33021	
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301	1801
115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301	1801
3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421
696 NE 125 ST	NORTH MIAMI	FL	33161	
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
2550 MIAMI RD	FORT LAUDERDALE	FL	33316	3974
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
4151 SW 131 AVE	DAVIE	FL	33330	
3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421

3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421
115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301	1801
115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301	1801
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
12629 NEW BRITTANY BLVD #16	FORT MYERS	FL	33907	
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
3111 STIRLING RD	FORT LAUDERDALE	FL	33312	6566
2001 ROSS AVE, STE 3400	DALLAS	TX	75201	
4045 SHERIDAN AVE STE 221	MIAMI BEACH	FL	33140	
3111 STIRLING RD	FORT LAUDERDALE	FL	33312	6566
3111 STIRLING RD	FORT LAUDERDALE	FL	33312	6566
3111 STIRLING RD	FORT LAUDERDALE	FL	33312	6566
315 N FEDERAL HWY	HOLLYWOOD	FL	33020	4616
2 MANHATTANVILLE RD STE 401	PURCHASE	NY	10577	2118
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807

2 MANHATTANVILLE RD STE 401	PURCHASE	NY	10577	2118
2 MANHATTANVILLE RD STE 401	PURCHASE	NY	10577	2118
2600 HOLLYWOOD BLVD #212	HOLLYWOOD	FL	33020	4807
10117 PRINCESS PALM AVE STE 100	TAMPA	FL	33610	8303
3150 SW 52 AVE	PEMBROKE PARK	FL	33023	5413
1800 WAZEE ST #500	DENVER	CO	80202	
PO BOX 12913	SHAWNEE MISSION	KS	66282	2913
17800 NW MIAMI CT	MIAMI	FL	33160	
3150 SW 52 AVE	PEMBROKE PARK	FL	33023	5413
1695 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1705 TRAILHEAD TER	HOLLYWOOD	FL	33021	
4600 HILLCREST DR	HOLLYWOOD	FL	33021	
12629 NEW BRITTANY BLVD #16	FORT MYERS	FL	33907	
3800 HILLCREST DR #101	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #102	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #103	HOLLYWOOD	FL	33021	
8220 N NEW ENGLAND AVENUE	NILES	IL	60714	
3800 HILLCREST DRIVE #106	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #108	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #110	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #112	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR UNIT 114	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #116	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #117	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 119	HOLLYWOOD	FL	33021	7937

3800 HILLCREST DR APT 120	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #121	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR APT 122	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 123	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #201	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #202	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #203	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR # 204	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #206	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 208	HOLLYWOOD	FL	33021	7937
2576 WILBURN TER	NORTH PORT	FL	34288	
3800 HILLCREST DR #211	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #212	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 214	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 215	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 216	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 217	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #218	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #219	HOLLYWOOD	FL	33021	7937
32 HARVEST POINTE LN	CUTCHOGUE	NY	11935	2345
3800 HILLCREST DR #221	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR APT 222	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DRIVE #223	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #301	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 302	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 303	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR UNIT 304	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #305	HOLLYWOOD	FL	33021	7937

3800 HILLCREST DR #306	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #307	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR # 308	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #309	HOLLYWOOD	FL	33021	7976
3800 HILLCREST DR #310	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #311	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #312	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #314	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #315	HOLLYWOOD	FL	33021	
16 REGENCY CT	MONROE TWP	NJ	08831	2548
3800 HILLCREST DR UNIT 317	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #318	HOLLYWOOD	FL	33021	
33 JAMES ST	NEW CITY	NY	10956	
3800 HILLCREST DR #320	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DRIVE #321	HOLLYWOOD	FL	33021	
4225 WINE COUNTRY CT	NAPA	CA	94558	
3800 HILLCREST DR APT 323	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #401	HOLLYWOOD	FL	33021	7976
2873 DICKSON	*MONTREAL QC	CA	H1N 2	J6
600 THREE ISLANDS BLVD #204	HALLANDALE BEACH	FL	33009	
3800 HILLCREST DR #404	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 405	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR APT 406	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR APT 407	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #408	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #409	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #410	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #411	HOLLYWOOD	FL	33021	7937

200 PARK RD #B7	BAYONNE	NJ	07002	
3800 HILLCREST DR #414	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #415	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 416	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 417	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR APT 418	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #419	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR # 420	HOLLYWOOD	FL	33021	7937
1054 SOUTH RIMWOOD DR	ANAHEIM	CA	92807	
3800 HILLCREST DR #422	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #423	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #501	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #502	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #503	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #504	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #505	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #506	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #507	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #508	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 509	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR # 510	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 511	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #512	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #514	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #515	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #516	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #517	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 518	HOLLYWOOD	FL	33021	7938

3800 HILLCREST DR #519	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #520	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #521	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #522	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR UNIT 523	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 601	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #602	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #603	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR UNIT 604	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT. 605	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #606	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #607	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #608	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #609	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #610	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #611	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #612	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR UNIT 614	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #615	HOLLYWOOD	FL	33021	7938
149 E INLET DR	PALM BEACH	FL	33480	
3800 HILLCREST DR #617	HOLLYWOOD	FL	33021	
12 BOTANY LN	STONY BROOK	NY	11790	
3800 HILLCREST DR #619	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #620	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR # 621	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 622	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #623	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #701	HOLLYWOOD	FL	33021	7938

3800 HILLCREST DR # 702	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #703	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #704	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 705	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #706	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #707	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #708	HOLLYWOOD	FL	33021	
24 SALT CREEK AVE	*RICHMOND HILL ON CA		L4S 1	R2
3800 HILLCREST DRIVE #710	HOLLYWOOD	FL	33021	
3800 HILLCREST DR 711	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #712	HOLLYWOOD	FL	33021	7976
3800 HILLCREST DR #714	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #715	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #716	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 717	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #718	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #719	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #720	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #721	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #722	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #723	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #801	HOLLYWOOD	FL	33021	7938
5110 N BRANCH AVE	TAMPA	FL	33603	
99 HILLSIDE AVE APT 12J	NEW YORK	NY	10040	2721
3800 HILLCREST DR #804	HOLLYWOOD	FL	33021	
1955 NW 112 AVE	CORAL SPRINGS	FL	33071	
3800 HILLCREST DR #806	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR UNIT 807	HOLLYWOOD	FL	33021	

3800 HILLCREST DR UNIT 809	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #810	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 811	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR UNIT 812	HOLLYWOOD	FL	33021	7938
PO BOX 816682	HOLLYWOOD	FL	33081	
3800 HILLCREST DR #815	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #816-8	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 819	HOLLYWOOD	FL	33021	7938
170 AVENUE C APT 17B	NEW YORK	NY	10009	4263
3800 HILLCREST DR #821	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DRIVE #822	HOLLYWOOD	FL	33021	
63 CARRIAGE PL	EDISON	NJ	08820	
3800 HILLCREST DR #901	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #902	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR #903	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 904	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 905	HOLLYWOOD	FL	33021	
2525 BATCHELDER ST #6B	BROOKLYN	NY	11235	
3800 HILLCREST DR #907	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR #910	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR #911	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #912	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #914	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #915	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 916	HOLLYWOOD	FL	33021	7939
847 RANG TOUT DE JOIE	*WOBURN QC	CA	G0Y 1	R0
3800 HILLCREST DR #920	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #921	HOLLYWOOD	FL	33021	7939

3800 HILLCREST DR #922	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #923	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1001	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1002	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR # 1003	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1004	HOLLYWOOD	FL	33021	7976
3800 HILLCREST DR #1005	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1006	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR #1007	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1010	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1011	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR APT 1012	HOLLYWOOD	FL	33021	7939
3800 HILLSCREST DR #1014	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR #1015	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1016	HOLLYWOOD	FL	33021	7976
3800 HILLCREST DR #1019	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1020	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1021	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR UNIT 1022	HOLLYWOOD	FL	33021	7940
424 91 ST	SURFSIDE	FL	33154	3127
3800 HILLCREST DR UNIT 1101	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1102	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR #1103	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1104	HOLLYWOOD	FL	33021	7940
136 SEAMAN AVE	ROCKVILLE CENTRE NY		11570	
3800 HILLCREST DR #1106	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1107	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR APT 1110	HOLLYWOOD	FL	33021	7940

3800 HILLCREST DR #1111	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR UNIT 1112	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR # 1114	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR #1115	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR #1116	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1119	HOLLYWOOD	FL	33021	
95 RUE DE CHAMBORD	*LEVIS QC	CA	G6J 2	B1
3800 HILLCREST DR APT 1121	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR APT 1122	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR APT 1123	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR UNIT 201	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 1202	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR UNIT 1203	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR #1204	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR #1205	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1207	HOLLYWOOD	FL	33021	
5881 PTE TREMBLE RD	PEARL BEACH	MI	48001	
24 5 AVE STE 827	NEW YORK	NY	10011	
3800 HILLCREST DR #1211	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1212	HOLLYWOOD	FL	33021	
309 MAJOR MCKENZIE RD E 317	*RICHMOND HILL ON	CA	L4C 9	V5
899 RUE BERGERON	*SAINTE-THERESE Q	CA	J7E 4	W5
3800 HILLCREST DR #1216	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 1219	HOLLYWOOD	FL	33021	7940
5709 SW 19 ST	WEST PARK	FL	33023	
3800 HILLCREST DR # 1222	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR #1223	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #102	HOLLYWOOD	FL	33021	

4001 HILLCREST DR # 106	HOLLYWOOD	FL	33021	
4001 HILLCREST DR # 108	HOLLYWOOD	FL	33021	
385 REEDYVILLE RD	SPENCER	WV	25276	8691
4001 HILLCREST DR #112	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #114	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #115	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR #117	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #201	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR # 202	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #203	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #206	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #208	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #209	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR #210	HOLLYWOOD	FL	33021	
4001 HILLCREST DR APT 211	HOLLYWOOD	FL	33021	
4001 HILLCREST DR # 212	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #214	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #215	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #216	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #217	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR #301	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR APT 302	HOLLYWOOD	FL	33021	7924
6522 PEACEHAVEN DR	CHARLOTTE	NC	28214	
4001 HILLCREST DR #305	HOLLYWOOD	FL	33021	
4001 HILLCREST DR # 306	HOLLYWOOD	FL	33021	
4001 HILLCREST DR UNIT 307	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #308	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR # 309	HOLLYWOOD	FL	33021	

4001 HILLCREST DR # 310	HOLLYWOOD	FL	33021	
1580 6 ST	WEST BABYLON	NY	11704	
4001 HILLCREST DR APT 312	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR #314	HOLLYWOOD	FL	33021	
14716-30A AVE	*SURREY BC	CA	V4P 3	E6
4001 HILLCREST DR APT 316	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #317	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR #401	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR #402-4	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #403	HOLLYWOOD	FL	33021	7960
4001 HILLCREST DR #405	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR UNIT 406	HOLLYWOOD	FL	33021	7924
3000 BRONX PARK E APT GR K	BRONX	NY	10467	
4001 HILLCREST DR #408-26	HOLLYWOOD	FL	33021	7960
4001 HILLCREST DR APT 409	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR #410	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #411	HOLLYWOOD	FL	33021	
4001 HILLCREST DR APT 412	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR #414	HOLLYWOOD	FL	33021	
1833 S OCEAN DR #1001	HALLANDALE BEACH	FL	33009	
4001 HILLCREST DR #416	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR #417	HOLLYWOOD	FL	33021	
3241 N 36 ST	HOLLYWOOD	FL	33021	2633
4001 HILLCREST DR #502-4	HOLLYWOOD	FL	33021	7960
4001 HILLCREST DR #503	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #505	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR UNIT 506	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR #507-26	HOLLYWOOD	FL	33021	7960

1754 JACQUES LEMAISTRE AVE	*MONTREAL QC	CA	H2M 2	C6
4001 HILLCREST DR UNIT 509	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR #510	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #511	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR #512	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR #514	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #515	HOLLYWOOD	FL	33021	
4001 HILLCREST DR UNIT 517	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #601	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DRIVE #602	HOLLYWOOD	FL	33021	
4001 HILLCREST DR UNIT 603	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #605	HOLLYWOOD	FL	33021	
11291 PATRICK CT	FRANKFORT	IL	60423	
4001 HILLCREST DR UNIT 607	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR #608	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #609	HOLLYWOOD	FL	33021	
34 SIMPSON RD	BRIARCLIFF MANOR	NY	10510	
4001 HILLCREST DR #611	HOLLYWOOD	FL	33021	
4001 HILLCREST DR UNIT 612	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #614	HOLLYWOOD	FL	33021	
4001 HILLCREST DR # 615	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #616	HOLLYWOOD	FL	33021	
4001 HILLCREST DR APT 617	HOLLYWOOD	FL	33021	7925
21 DREYER AVE	STATEN ISLAND	NY	10314	
4001 HILLCREST DR #702	HOLLYWOOD	FL	33021	7925
61-33 160 ST	FRESH MEADOWS	NY	11365	
4001 HILLCREST DR #705	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #706	HOLLYWOOD	FL	33021	7926

4001 HILLCREST DR #707	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #708	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #709	HOLLYWOOD	FL	33021	
PETEN 317 LAS COUDES	*SANTIAGO	CL	7591	100
4001 HILLCREST DR APT 711	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #712	HOLLYWOOD	FL	33021	7926
20075 NE 21 AVE	MIAMI	FL	33179	2823
10276 HIDDEN SPRINGS CT	BOCA RATON	FL	33498	
4001 HILLCREST DR APT 717	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #801-3	HOLLYWOOD	FL	33021	
4001 HILLCREST DR UNIT 804	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #805	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #806	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #807	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #808	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #809	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #810	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #811	HOLLYWOOD	FL	33021	
83-20 98 ST #4J	WOODHAVEN	NY	11421	
4001 HILLCREST DR UNIT 814	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #815	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #816	HOLLYWOOD	FL	33021	
4001 HILLCREST DR UNIT 817	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #901-3	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #902	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR UNIT 905	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR APT 906	HOLLYWOOD	FL	33021	7926
14 MULBERRY LN # 14	AVON	CT	06001	4525

4001 HILLCREST DR #908	HOLLYWOOD	FL	33021	7926
89 CHEMIN DU LAC A L'OURS	*ST-HIPPOLYTE QC	CA	J8A 3	J2
4001 HILLCREST DR #910	HOLLYWOOD	FL	33021	
16 SAMANTHAS WAY	PITTSFORD	NY	14534	
1 OLD MILL DR SUITE GPH4	*TORONTO ON	CA	M6S 0	A1
4001 HILLCREST DR UNIT 914	HOLLYWOOD	FL	33021	
4001 HILLCREST DR UNIT 915	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #916	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #917	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1001	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1002	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1005	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1006	HOLLYWOOD	FL	33021	7977
4001 HILLCREST DR #1007	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1008	HOLLYWOOD	FL	33021	7927
9136 LIMETREE LN	PEMBROKE PINES	FL	33024	4608
4001 HILLCREST DR #1010	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1011	HOLLYWOOD	FL	33020	
4001 HILLCREST DR #1012	HOLLYWOOD	FL	33021	
4001 HILLSCREST DR #1014	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1015	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR APT 1016	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1017	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1101	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1102	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR UNIT 1105	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1106	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1107	HOLLYWOOD	FL	33021	7927

4001 HILLCREST DR #1108	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1109	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR APT 1110	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1111	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1112	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1114	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1115	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR UNIT 1116	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR UNIT 1117	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #PH1-3	HOLLYWOOD	FL	33021	
350 PRINCE ARTHUR WEST UNIT 250	*MONTREAL QC	CA	H2X 3	R4
4001 HILLCREST DR #PH5	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1206	HOLLYWOOD	FL	33021	7960
4001 HILLCREST DR #1207	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1208	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1209	HOLLYWOOD	FL	33021	
4001 HILLCREST DR PH 1210	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #PH11	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #PH12	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR PH14-16	HOLLYWOOD	FL	33021	7960
4001 HILLCREST DR #1215	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1217	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #102	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #104	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #106	HOLLYWOOD	FL	33021	
2 LEWARD LANE	BRONX	NY	10464	
3850 WASHINGTON ST # 110	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 112	HOLLYWOOD	FL	33021	

3850 WASHINGTON ST #114	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #115	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #116	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #117	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #201	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST # 202	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #203	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #204	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #206	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #208	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 209	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #210	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #211	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #212	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 214	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #215	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #216	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST # 217	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST UNIT 301	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #302	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #303	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST 304	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 305	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #306	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #307	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #308	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #309	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #310	HOLLYWOOD	FL	33021	

3850 WASHINGTON ST #311	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST # 312	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #314	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #315	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #316	HOLLYWOOD	FL	33021	7300
3850 WASHINGTON ST #317	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #401	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #402	HOLLYWOOD	FL	33021	
204-80 BERLIOZ	*VERDUN QC	CA	H3E 1	N9
3850 WASHINGTON ST #404	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #405	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #406	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #407	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #408	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #409	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST APT 410	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #411	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST # 412	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #414	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #415	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #416	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST UNIT 417	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #501	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #502	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #503	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #504	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #505	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #506	HOLLYWOOD	FL	33021	

3850 WASHINGTON ST #507	HOLLYWOOD	FL	33021	
8 ROBBIE CT	MORGANVILLE	NJ	07751	
2840 LONG WAY	EASTON	PA	18040	
3850 WASHINGTON ST #510	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #511	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST UNIT #512	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #514	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #515	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #516	HOLLYWOOD	FL	33021	
202 DIAMOND SPRING DR	MONROE	NJ	08821	
3850 WASHINGTON ST # 601	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #602	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #603	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST UNIT 604	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #605	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 606	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST APT 607	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #608	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST APT 609	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #610	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST UNIT 611	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #612	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 614	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 615	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #616	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #617	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST APT 701	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #702	HOLLYWOOD	FL	33021	7355

3850 WASHINGTON ST APT 703	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #704	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #705	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #706	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #707	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #708	HOLLYWOOD	FL	33021	
317 SUNNYSIDE AVE	*OTTAWA ON	CA	K1S 0	R9
3850 WASHINGTON ST #710	HOLLYWOOD	FL	33021	7355
18 PARKLAND LN	ACTON	MA	01720	3401
3850 WASHINGTON ST #712	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #714	HOLLYWOOD	FL	33021	7355
210 SANTA MONICA BLVD APT 407	SANTA MONICA	CA	90401	2278
3850 WASHINGTON ST #716	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #717	HOLLYWOOD	FL	33021	7355
4920 MONROE ST	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #802	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST # 803	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #804	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #805	HOLLYWOOD	FL	33021	
1419 CECILIA AVE	CORAL GABLES	FL	33114	
3850 WASHINGTON ST #807	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #808	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #809	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #810	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #811	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #812	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #814	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #815	HOLLYWOOD	FL	33021	7356

3850 WASHINGTON ST #816	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #817	HOLLYWOOD	FL	33021	7356
PO BOX 220197	HOLLYWOOD	FL	33022	0197
3850 WASHINGTON ST #902	HOLLYWOOD	FL	33021	7300
3850 WASHINGTON ST #903	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #904	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #905	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #906	HOLLYWOOD	FL	33021	
3129 S OCEAN DR #107	HALLANDALE BEACH	FL	33009	
3850 WASHINGTON ST #908	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #909	HOLLYWOOD	FL	33021	7300
3850 WASHINGTON ST #910	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #911	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST APT 912	HOLLYWOOD	FL	33021	7356
1637 RUE GRATTON	*LAVAL QC	CA	H7W 2	X7
3850 WASHINGTON ST UNIT 915	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #817	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #917	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1001	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST APT 1002	HOLLYWOOD	FL	33021	7356
59 SCHOOLSIDE DR	SCOTT TOWNSHIP	PA	18433	
3850 WASHINGTON ST #1004	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 1005	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1006	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #1007	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #1008	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1009	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST # 1010	HOLLYWOOD	FL	33021	

3850 WASHINGTON ST #1011	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1012	HOLLYWOOD	FL	33021	7357
1345 SW 4 CT	FORT LAUDERDALE	FL	33312	
3850 WASHINGTON ST #1015	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1016	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1017	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #1101	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1102	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #1103	HOLLYWOOD	FL	33021	
120 DEHAVEN DR #428	YONKERS	NY	10703	
2250 BRIGHAM ST #1B	BROOKLYN	NY	11229	6121
3850 WASHINGTON STREET #1106	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1107	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1108	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1109	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #1110	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #1111	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST # 1112	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 1114	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #1115	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 1116	HOLLYWOOD	FL	33021	
2953 CARLYLE RD	WANTAGH	NY	11793	
3850 WASHINGTON ST #1201	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #PH-2	HOLLYWOOD	FL	33021	7300
3685 RUE LABELLE	*SAINT HUBERT QC	CA	J3Y 8	A2
3850 WASHINGTON ST #1204	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #1205	HOLLYWOOD	FL	33021	7357
5765 PARKSTONE CROSSING DR	JACKSONVILLE	FL	32258	

3850 WASHINGTON ST #1207	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST # PH-8	HOLLYWOOD	FL	33021	7300
3850 WASHINGTON ST APT. 1209	HOLLYWOOD	FL	33021	
3850 WASHINGTOIN ST #PH10	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #PH11	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #PH12	HOLLYWOOD	FL	33021	
15 W 84 ST	NEW YORK	NY	10024	
3850 WASHINGTON ST #PH15	HOLLYWOOD	FL	33021	7300
3850 WASHINGTON ST #PH-16	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #PH17	HOLLYWOOD	FL	33021	7357

LEGAL

HILLCREST COUNTRY CLUB SOUTH183-125 BLOT 362AKA:
PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BLOT 363AKA:
PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BLOT 364AKA:
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PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BLOT 388AKA:
PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BLOT 389AKA:
PARKVIEW AT HILLCREST

HILLCREST COUNTRY CLUB SOUTH183-125 BTR RAKA:
 PARKVIEW AT HILLCREST
 HILLCREST COUNTRY CLUB SOUTH183-125 BTR OS-6AKA:
 PARKVIEW AT HILLCREST
 HILLCREST COUNTRY CLUB SOUTH183-125 BTR OS-10AKA:
 PARKVIEW AT HILLCREST
 HILLCREST COUNTRY CLUB SOUTH183-125 BTR OS-11AKA:
 PARKVIEW AT HILLCREST
 HILLCREST COUNTRY CLUB SOUTH183-125 BTR OS-16AKA:
 PARKVIEW AT HILLCREST
 HILLCREST COUNTRY CLUB SOUTH183-125 BTR W-6AKA:
 PARKVIEW AT HILLCREST
 HILLWOOD SEC THREE 69-10 BPOR BLK 9 DESC AS BEG NE
 COR BLK9,S 95.47,SW ALG CUR 151.84,SWLY111.23,N
 242.63,ELY 190 TO POBLESS N 30 FOR RD
 20-51-42SW1/4 OF NE1/4 OF NW1/4 LYINGW OF RD R/W & E1/2
 OF SE1/4 OFNW1/4 OF NW1/4
 20-51-42N 35 OF W1/2 OF E1/2 OF SW1/4SEC 20 AND N 35 OF
 NE1/4 OFNW1/4 OF SW 1/4 SEC 20
 20-51-42N 35 OF NE1/4 OF NE1/4 OF SW1/4SEC 20
 20-51-42S 15 OF N 50 OF N 50 OF NW1/4OF NE1/4 OF SW1/4 AND
 THE S 15OF N 50 OF NE1/4 OF NW1/4 OFSW1/4 SEC
 20AKA:PARCEL 159
 20-51-42COMM AT SE COR OF SW1/4 OF NW1/4NLY 50 TO
 POB,CONT NLY 653.5,SW 51.20,SW 102,SW 146,SE 8.76,SW 446
 TO PT ON N/R/W/L OFPEMBROKE RD,E 340 TO POB
 20-51-42NW1/4 OF SE1/4 OF NW1/4 LESSLOT 2 BLK 1
 HOLLYWOOD GOLF HTS &LESS PT LOT 11 BLK 3
 HOLLYWOODGOLF HTS LYING THEREIN & LESSRD R/W & PT OF
 NE1/4 OF SE1/4OF NW1/4 LYING W OF RD R/W ASDISC IN OR
 1553/55
 20-51-42E1/2 OF SW1/4 OF SE1/4 OF NW1/4LESS S 50 FOR RD &
 W1/2 OF SE1/4OF SE1/4 OF NW1/4 LESS PT LYINGE OF E/L S 34
 AVE & LESS S 50FOR RD R/W
 20-51-42E1/2 OF W1/2 OF SW1/4 OF SE1/4OF NW1/4 LESS S 50
 FOR RD
 20-51-42W1/2 OF W1/2 OF SW1/4 OF SE1/4OF NW1/4 LESS S 50
 FOR RD
 20-51-42N 160 OF S 210 OF W1/2 OF SE1/4OF SE1/4 OF NW1/4
 LYING E OF E/LS 34 AVE LESS E 30 & LESS PAR124 DESC IN OR
 20378/78 FOR R/W
 20-51-42S 15 OF N 50 OF NE1/4 OF NE1/4OF SW1/4 SEC
 20AKA:PARCEL NO.163
 20-51-42PART OF SW1/4 SEC 20 DESC AS:COMM SW COR SEC
 20,N 2671.52,NE494.57,SE 50 TO POB,NE 507.45,SE7.98,WLY
 7.39,WLY 500.08 TO POBAND PART OF SW1/4 SEC 20 DESC
 ASCOMM SW COR SEC 20,N 2671.52,NE17.30,SE 40.25 TO
 POB,SW 24.05,N 17.02,NE 17.02,NE 17.08 TO POBAKA:PARCEL
 123.1R
 20-51-42PART OF SW1/4 SEC 20 DESC AS:COMM AT SW COR
 SEC 20,N 2671.52,NE 1002.02,S 50 TO POB,S 7.98,ELY 492.67,NE
 613.44,NLY 11.43,N4.13,SW 1104.60 TO POBAKA:PARCEL NO 125

20-51-42PART OF NE1/4 OF SW1/4 AND THENW1/4 OF SE1/4 SEC 20 DESC AS:COMM AT FOUND R R SPIKE IN SWCOR SEC 20,N 2671.52,NE 2132.72SE 50 TO POB,SE 1.89,SLY 13.68,NE 54.43,ELY 400.11,ELY 400.11,SW 855.87 TO POBAKA:PARCEL NO 126

20-51-42 PART OF NE1/4 OF NE 1/4OF SW 1/4 SEC 20 DESC AS:COMM NWCOR OF SW 1/4 SEC 20,NE 2106.62,SE 50 TO POB,NE 26.10,SE 1.89,SLY 13.68,SW 26.12,NLY 11.43,NW4.13 TO POBAKA: PARCEL NO.138

20-51-42 POR OF S/2 SEC 20 DESCAS:COMM AT NW COR OF SW 1/4 SEC20,NE 1710.15,SE 65.62 TO POB,NE333.73,SW 10.66,SE 4.46,SW277.65,NW 50 TO POB

MEEKINS BAMMAN PLAT 163-4 BPOR PARCEL A DESC AS:COMM AT NECOR PAR A,WLY 7.39,WLY 89.55 TOPOB,S 12,WLY 9.23,NWLY 14.28,ELY1.88 TO POB

MEEKINS BAMMAN PLAT 163-4 BPOR PARCEL A DESC AS:COMM AT NECOR PAR A,WLY 7.39,WLY 91.43 TOPOB,SWLY 14.28,WLY 13.54,N 12,ELY 21.10 TO POB

HOLLYWOOD GOLF HEIGHTS 11-13 BLOT 2 BLK 1

HOLLYWOOD GOLF HEIGHTS 11-13 BLOT 11 LYING E OF RD R/W BLK 3

HOLLYWOOD GOLF HEIGHTS 11-13 BLOT 11 LYING W OF RD R/W BLK 3

ORANGEBROOK HILLS 68-29 BBLK A LESS N 411

ORANGEBROOK HILLS 68-29 BN 191.53 OF TRACT A

ORANGEBROOK HILLS 68-29 BPART OF BLK A DESC'D AS,COMM ATSE COR BLK A,NLY ALG E/L 296.68TO POB,WLY PARA WITH N/L 126.55,NLY PARA WITH W/L 155.89,ELY126.52 TO PT ON E/L,SLY ALG SAMEFOR 155.89 TO POB

ORANGEBROOK HILLS 68-29 BTHE N 411 LESS N 191.53 & LESSE 126.55 OF BLK A

ORANGEBROOK HILLS 68-29 BPOR BLK A DESC AS E 126.55OF S 63.58 OF N 411 OF SAID TR

ORANGEBROOK HILLS 68-29 BBLK B LESS E 96.08

ORANGEBROOK HILLS 68-29 BBLK B E 96.08 & BLK CFKA: ALVARADO TOWERS CONDO

ORANGEBROOK HILLS 68-29 BALL BLK D,LESS BEG AT SW COR OFBLK D,E 53.30,NELY 649.11,CONTNELY 100.29 TO PT ON N/L BLK D,WLY 390.59,WLY & SLY ARC DIST39.05,SLY 617.81 TO POBAKA:PART OF REFERENCE #56 PROPERTY

ORANGEBROOK HILLS 68-29 BPT OF BLK D DESC AS,COMM ATSW COR BLK D,NLY 229.43 TO POB,NELY ARC DIST 305.12 TO P/R/C,NLY & WLY 177.39 TO P/C/C,WLYARC DIST 59.81,SWLY ARC DIST39.05,SLY 388.38 TO POB AKA PAR5 OF OR 7022/817

ORANGEBROOK HILLS 68-29 BPOR BLK D DESC AS:BEG SW COR BLKD,N 299.43 ALG W/L,NELY 305.12TO PI ON CUR,NWLY 177.39,WLY59.81,E 390.59,SWLY 749.40,W53.30 TO POBAKA:PARK ROAD R/W PARCEL 1 (REV)

20-51-42POR NW1/4 OF SEC 20 DESC AS:COMM NE COR OF NW1/4 OF SAIDSEC,W 710,S 672.64 M/L ALGS 35 AVE CENTER LINE,E 25 TO POBE 10,E 53.40,SLY 333.74,N 109.19NLY 128.02,N 94.99 TO POB

ORANGEBROOK HILLS 68-29 BALL BLK EAKA:PART OF
REFERENCE #56 PROPERTY
PARK LANE PLAZA 131-16 BPARCEL A
PARK LANE PLAZA 131-16 BR/W PER PLAT FOR PERPETUAL
USE OF PUBLIC
COCA-COLA PLAT 162-21 BPARCEL A

COCA-COLA PLAT 162-21 BR/W DEDICATED PER PLAT 162-21 B
MEEKINS BAMMAN PLAT 163-4 BPARCEL A LESS PORS DESC
IN OR'S 30082/782;30398/527,30398/533 & 30398/539 & LESS OR
31079/1378 & LESS POR IN OR 32249/508, LESS OR 34367/679 &
OR 36083/759

MEEKINS BAMMAN PLAT 163-4 BA POR OF PAR A DESC AS: BEG
AT NE COR SAID PAR A: S 358.92, W 29.85 TO P/C, NWLY AN ARC
DIST OF 55.70; WLY & NLY AN ARC DIST OF 60.90 TO P/T; N
234.76, NW 13.78 TO P/C; NELY AN ARC DIST 20.48, ELY AN ARC
DIST 91.43; ELY AN ARC DIST OF 7.43 TO POBLESS PT DESC'D IN
OR 31079/946

MEEKINS BAMMAN PLAT 163-4 BPORTION PARCEL A DESC
AS: COMM AT NE COR OF PAR A, WLY 7.43, NWLY 127.24, S 12 TO
POB, CONT S 99.87, SE 41.19, SE 41.45, SE 69.40, SELY 54.18, SE
17.01, W 176.68, N 317.49 ELY 140.07 TO POB

MEEKINS BAMMAN PLAT 163-4 BRIGHT OF WAYS DEDICATED
PER PLAT 163-4 B

HILLCREST COUNTRY CLUB SOUTH RE PLAT 3 183-365 BLOT
1 CAKA: PARKVIEW AT HILLCREST

HILLCREST COUNTRY CLUB SOUTH RE PLAT 3 183-365 BLOT
2 CAKA: PARKVIEW AT HILLCREST

HILLCREST COUNTRY CLUB SOUTH RE PLAT 3 183-365 BPARCEL
CAKA: PARKVIEW AT HILLCREST

ORANGEBROOK ESTATES 183-510 BPARCEL A

HILLCREST EAST NO.25 CONDO UNIT 101 PER CDO BK/PG:
6230/28

HILLCREST EAST NO.25 CONDO UNIT 102 PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDO UNIT 103 PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDO UNIT 104 PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDO UNIT 106 PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDO UNIT 108 PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDO UNIT 110 PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDO UNIT 112 PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDO UNIT 114 PER CDO BK/PG:
6230/28

HILLCREST EAST NO.25 CONDO UNIT 116 & 118 PER CDO BK/PG:
6230/28

HILLCREST EAST NO.25 CONDO UNIT 117 PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDO UNIT 119 PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 603PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 604PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 605PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 606PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 607PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 608PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 609PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 610PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 611PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 612PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 614PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 615PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 616PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 617PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 618PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 619PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 620PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 621PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 622PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 623PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 701PER CDO BK/PG:
6230/28

HILLCREST EAST NO.25 CONDOUNIT 702PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 703PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 704PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 705PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 706PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 707PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 708PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 709PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 710PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 711PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 712PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 714PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 715PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 716PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 717PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 718PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 719PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 720PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 721PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 722PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 723PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 801PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 802PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 803PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 804PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 805PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 806 & 808PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 807PER CDO BK/PG:
6230/28

HILLCREST EAST NO.25 CONDOUNIT 809PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 810PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 811PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 812PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 814PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 815 & 817PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 816 & 818PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 819PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 820PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 821PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 822PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 823PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 901PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 902PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 903PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 904PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 905PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 906 & 908PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 907 & 909PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 910PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 911PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 912PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 914PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 915 & 917PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 916 & 918PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 919PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 920PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 921PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 922PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 923PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1001PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1002PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1003PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1004PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1005PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1006 & 1008PER CDO
BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 1007 & 1009PER CDO
BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 1010PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1011PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1012PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1014PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1015 & 1017PER CDO
BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 1016 & 1018PER CDO
BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 1019PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1020PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1022PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1023PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1101PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1102PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1103PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1104PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1105PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1106 & 1108PER CDO
BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 1107 & 1109PER CDO
BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 1110PER CDO BK/PG:
6230/28

HILLCREST EAST NO.25 CONDOUNIT 1111PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1112PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1114PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1115 & 1117PER CDO
BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 1116 & 1118PER CDO
BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 1119PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1120PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1121PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1122PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1123PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1201PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1202PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1203PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1204 & 1206PER CDO
BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 1205PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1207 & 1209PER CDO
BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 1208PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1210PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1211PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1212PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1214PER CDO BK/PG:
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HILLCREST EAST NO.25 CONDOUNIT 1215 & 1217PER CDO
BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 1216 & 1218PER CDO
BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 1219 & 1221PER CDO
BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 1220PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1222PER CDO BK/PG:
6230/28
HILLCREST EAST NO.25 CONDOUNIT 1223PER CDO BK/PG:
6230/28
HILLCREST EAST NO.26 CONDOUNIT 102/104PER CDO BK/PG:
8444/17

HILLCREST EAST NO.26 CONDOUNIT 106PER CDO BK/PG:
8444/17
HILLCREST EAST NO.26 CONDOUNIT 108PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 110PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 112PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 114/116PER CDO BK/PG:
8444/17
HILLCREST EAST NO.26 CONDOUNIT 115PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 117PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 201PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 202/204PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 203PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 206PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 208PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 209PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 210PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 211PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 212PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 214PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 215PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 216PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 217PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 301PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 302/304PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 303PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 305PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 306PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 307PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 308PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 309PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 310PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 311PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 312PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 314PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 315PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 316PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 317PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 401PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 402/404PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 403PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 405PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 407PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 408PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 409PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 410PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 411PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 412PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 414PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 415PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 416PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 417PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 501PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 502/504PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 503PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 505PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 506PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 507PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 508PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 509PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 510PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 511PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 512PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 514/516PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 515PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 517PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 601PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 602/604PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 603PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 605PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 606PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 607PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 609PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 617PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 702/704PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 703PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 705PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 706PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 707PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 708PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 709PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 710PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 711PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 712PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 714/716PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 715PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 717PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 801/803PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 802/804PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 805PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 806PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 807PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 808PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 809PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 810PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 811PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 812PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 815PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 816PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 817PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 901/903PER CDO BK/PG:
8444/17
HILLCREST EAST NO.26 CONDOUNIT 902/904PER CDO BK/PG:
8444/17
HILLCREST EAST NO.26 CONDOUNIT 905PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 906PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 907PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 908PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 909PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 910PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 911PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 912PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 914PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 915PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 916PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 917PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 1001/1003PER CDO BK/PG:
8444/17
HILLCREST EAST NO.26 CONDOUNIT 1002/1004PER CDO BK/PG:
8444/17
HILLCREST EAST NO.26 CONDOUNIT 1005PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 1006PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 1007PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 1008PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 1009PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 1010PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 1011PER CDO BK/PG:
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HILLCREST EAST NO.26 CONDOUNIT 1012PER CDO BK/PG:
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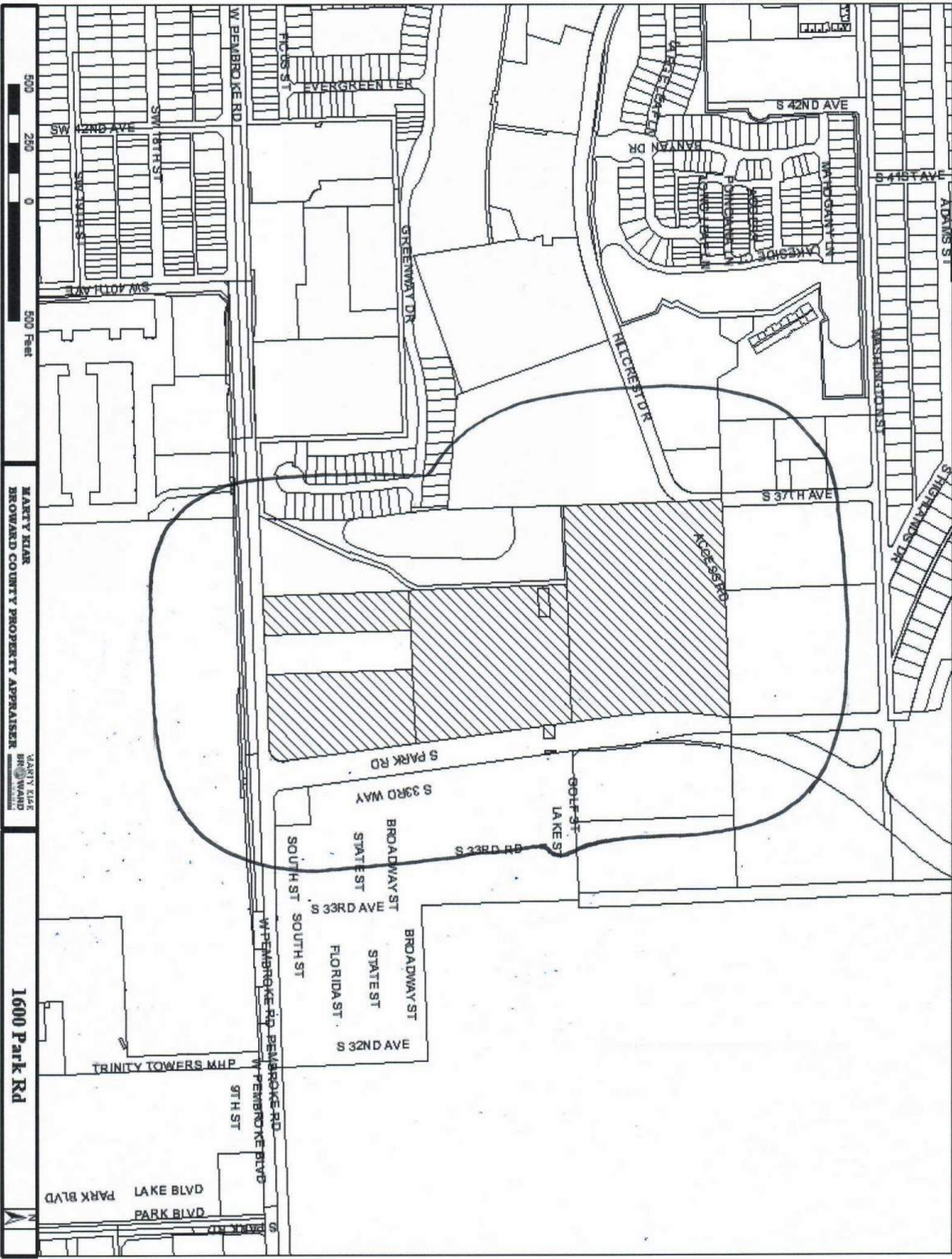
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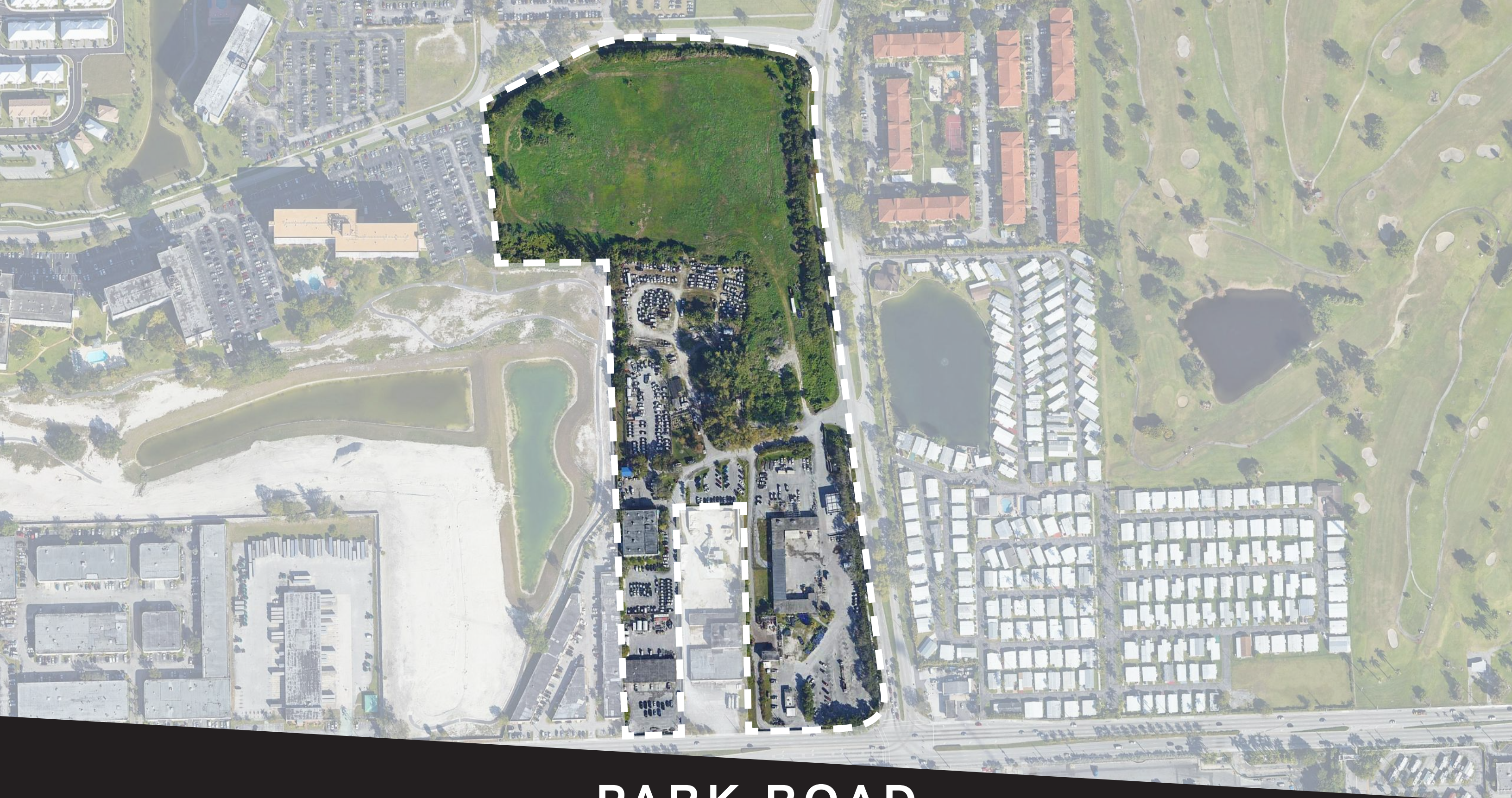
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MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER

1600 Park Rd

ATTACHMENT 3



PARK ROAD

PEDRO GASSANT, LOUIS BIRDMAN & ERIC METZ
HOLLAND & KNIGHT AND REPRESENTATIVES OF PARK ROAD DEVELOPMENT, LLC

PARK ROAD | SITE

LOCATION - CITY OF HOLLYWOOD



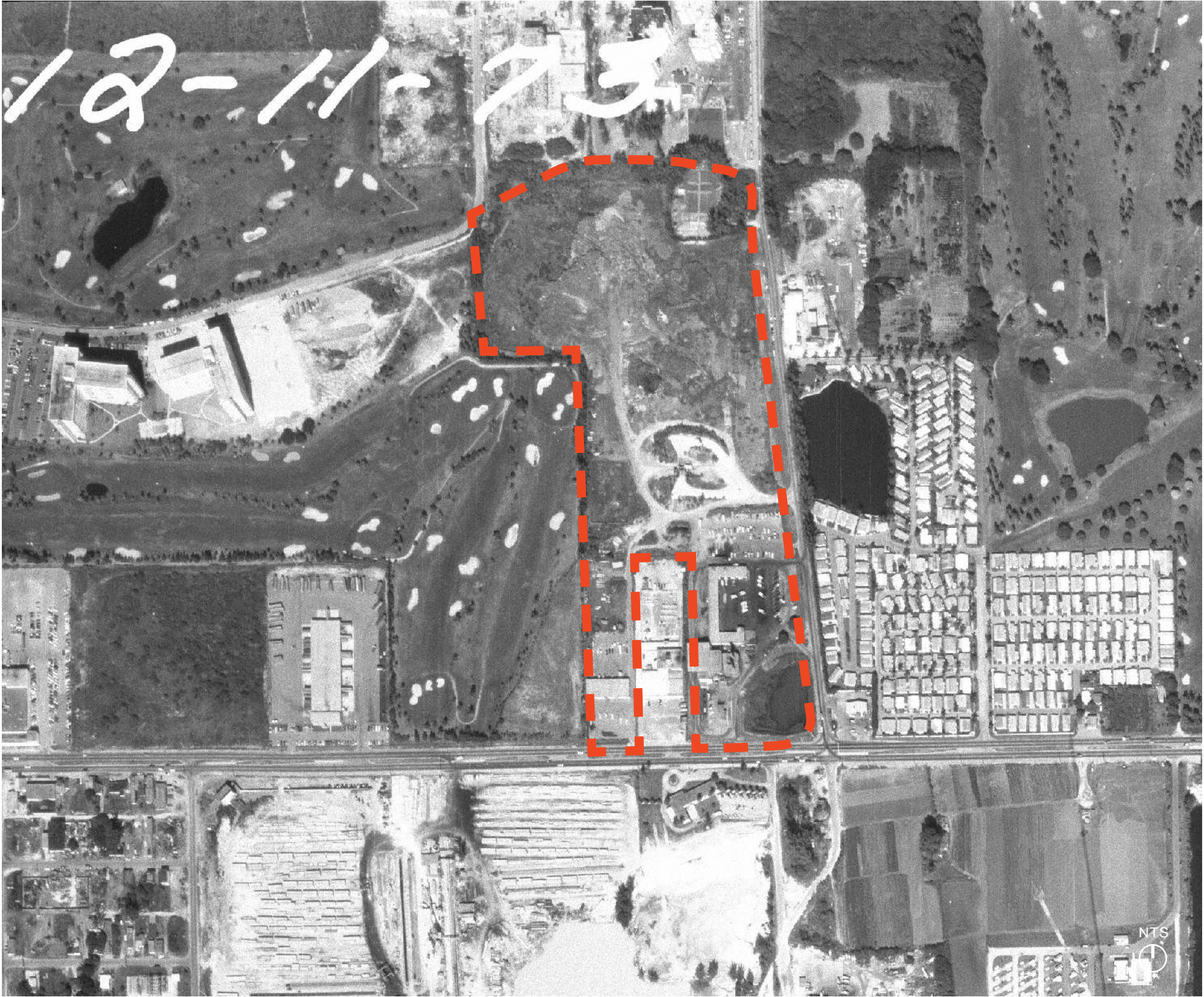
PARK ROAD | 1958



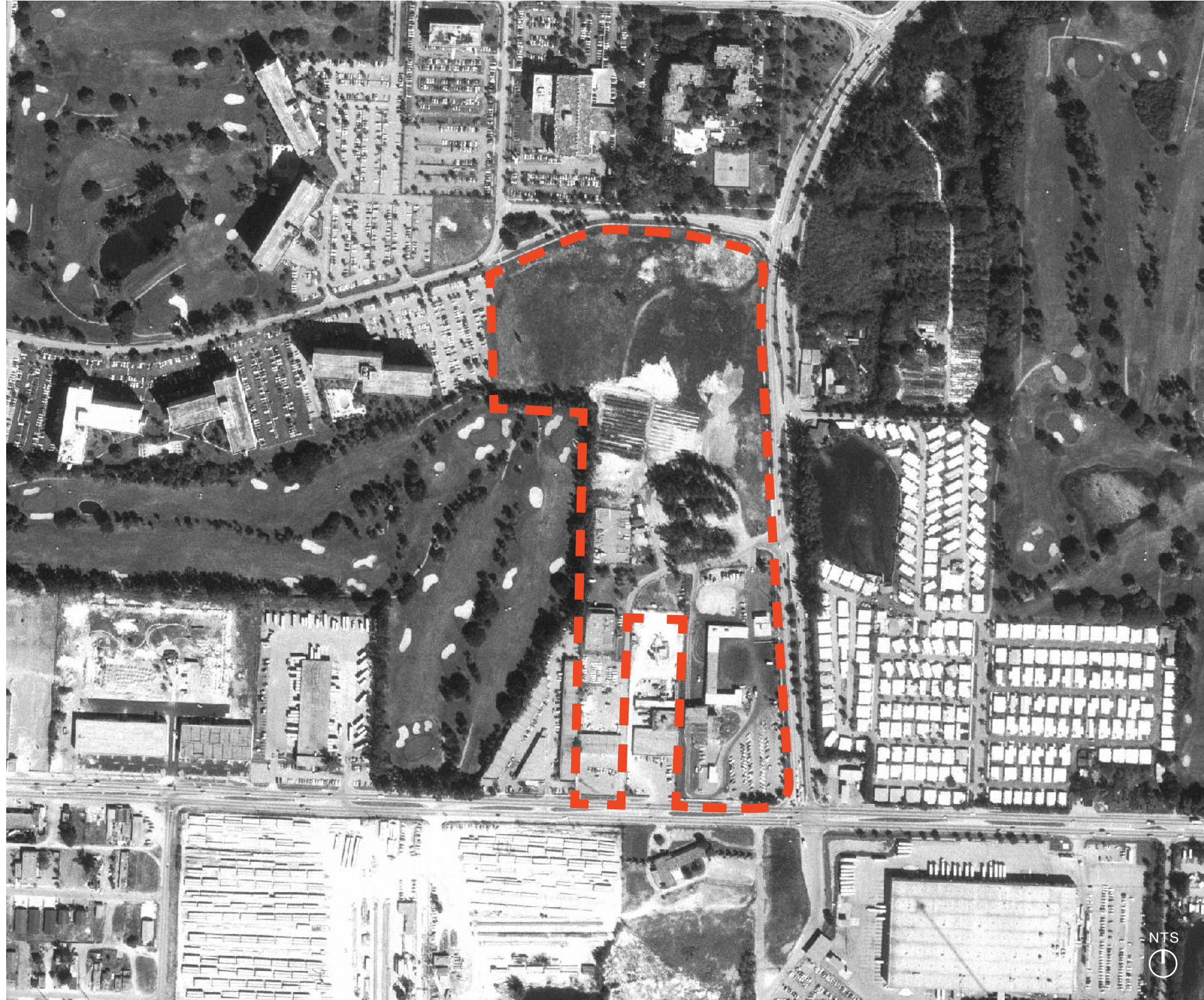
PARK ROAD | 1968



PARK ROAD | 1973



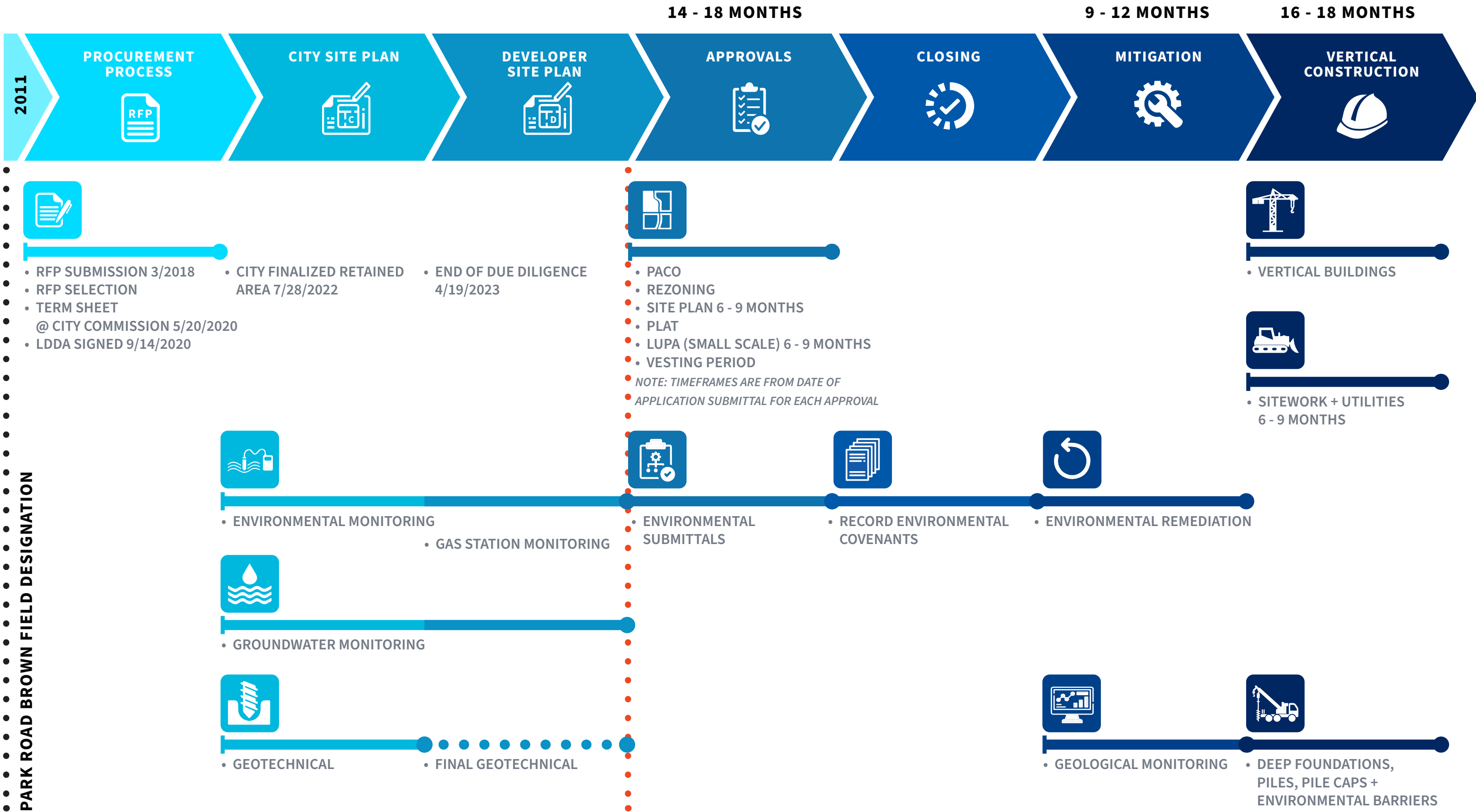
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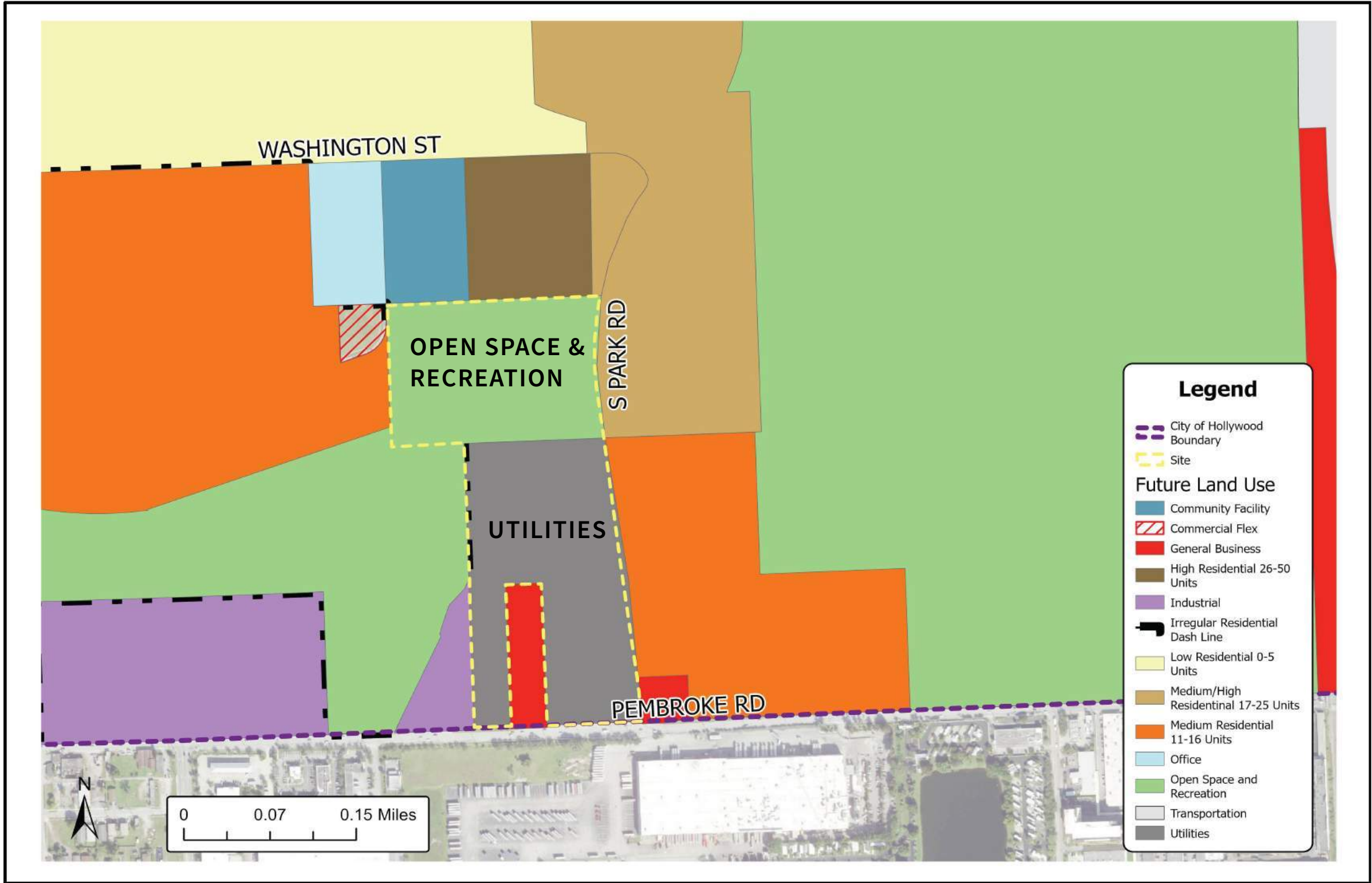
PARK ROAD | 2021



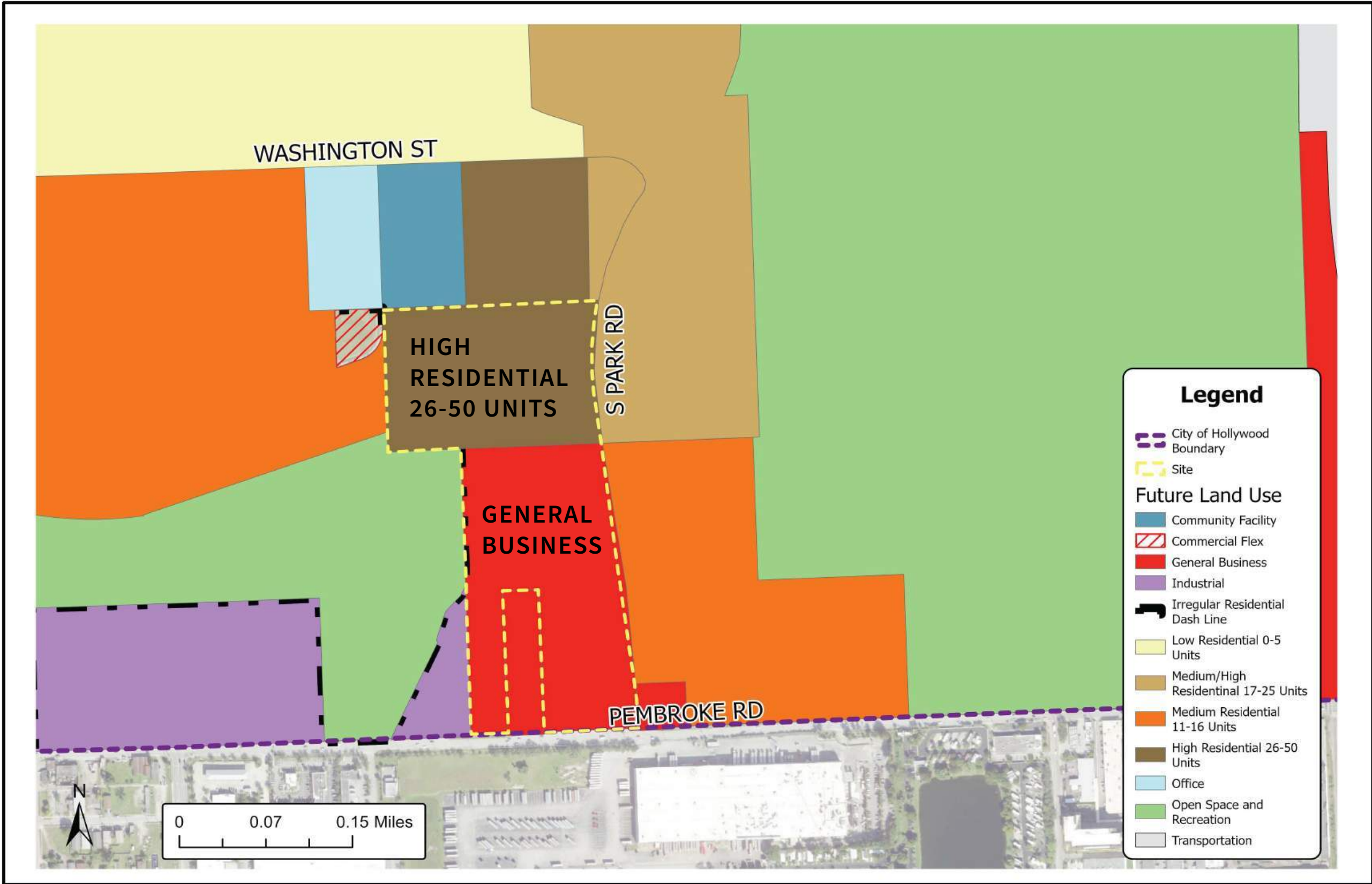
PARK ROAD | PROJECT HISTORY



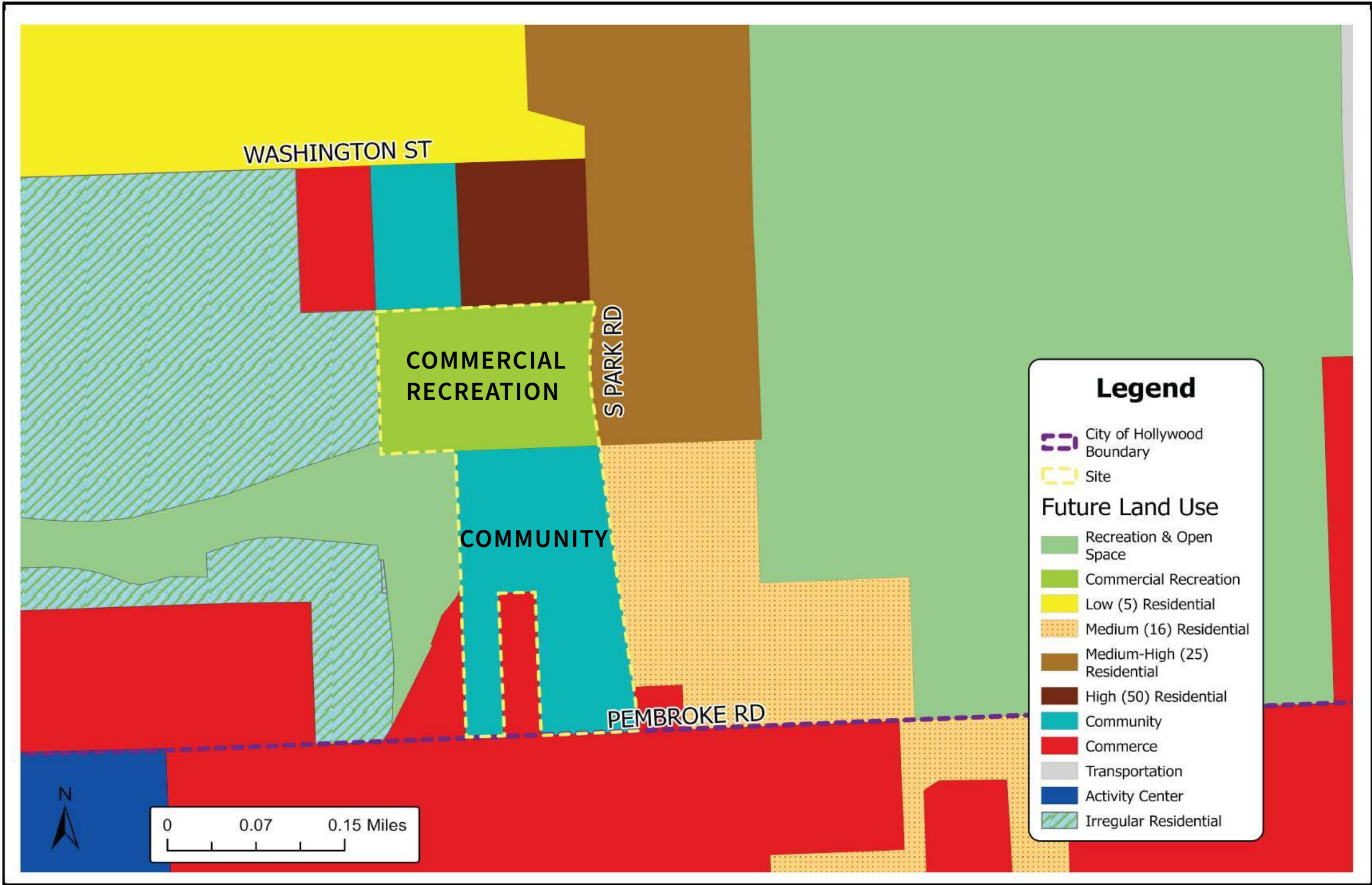
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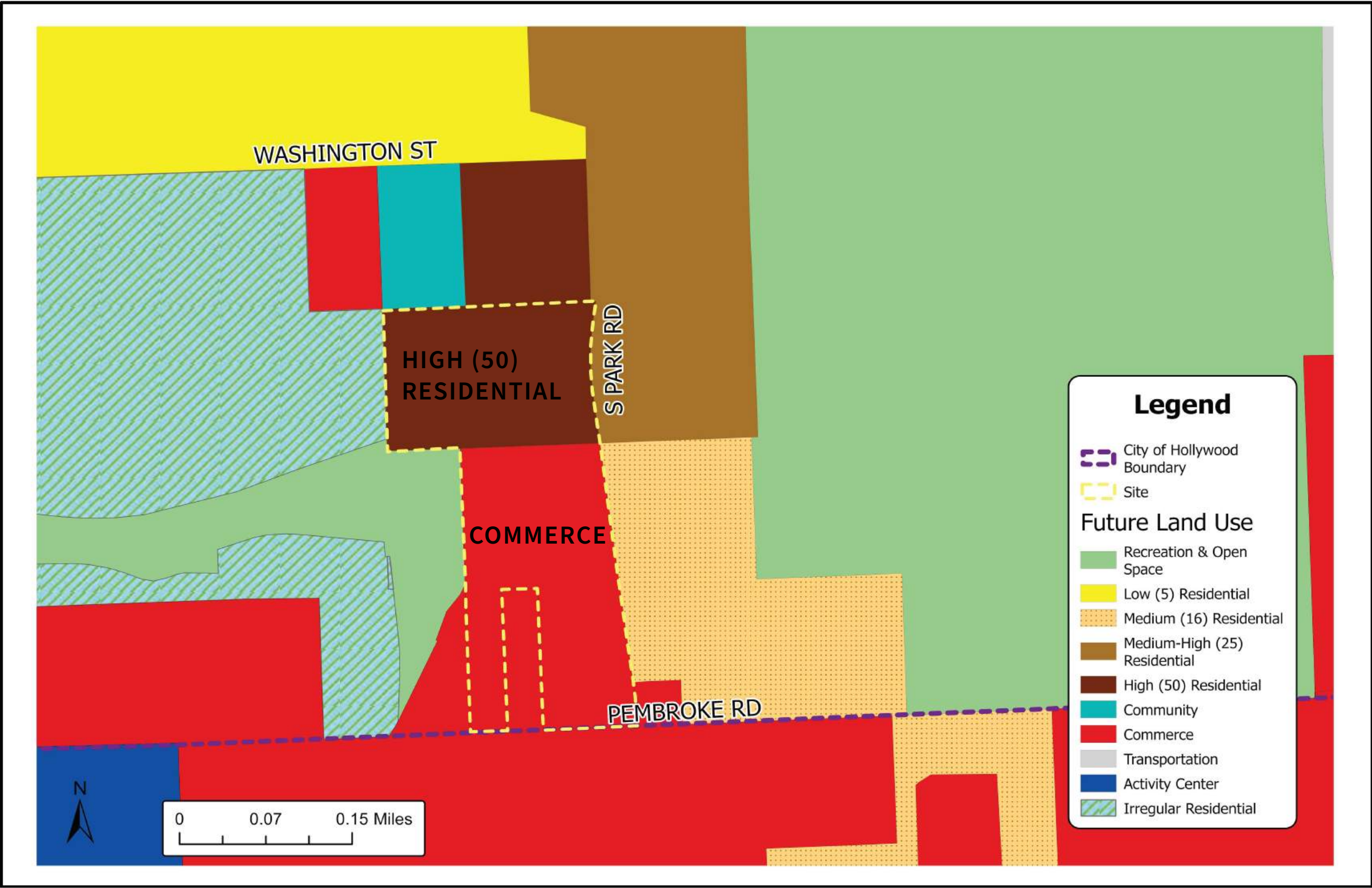
PARK ROAD | PROPOSED CITY LAND USE



PARK ROAD | EXISTING COUNTY LAND USE



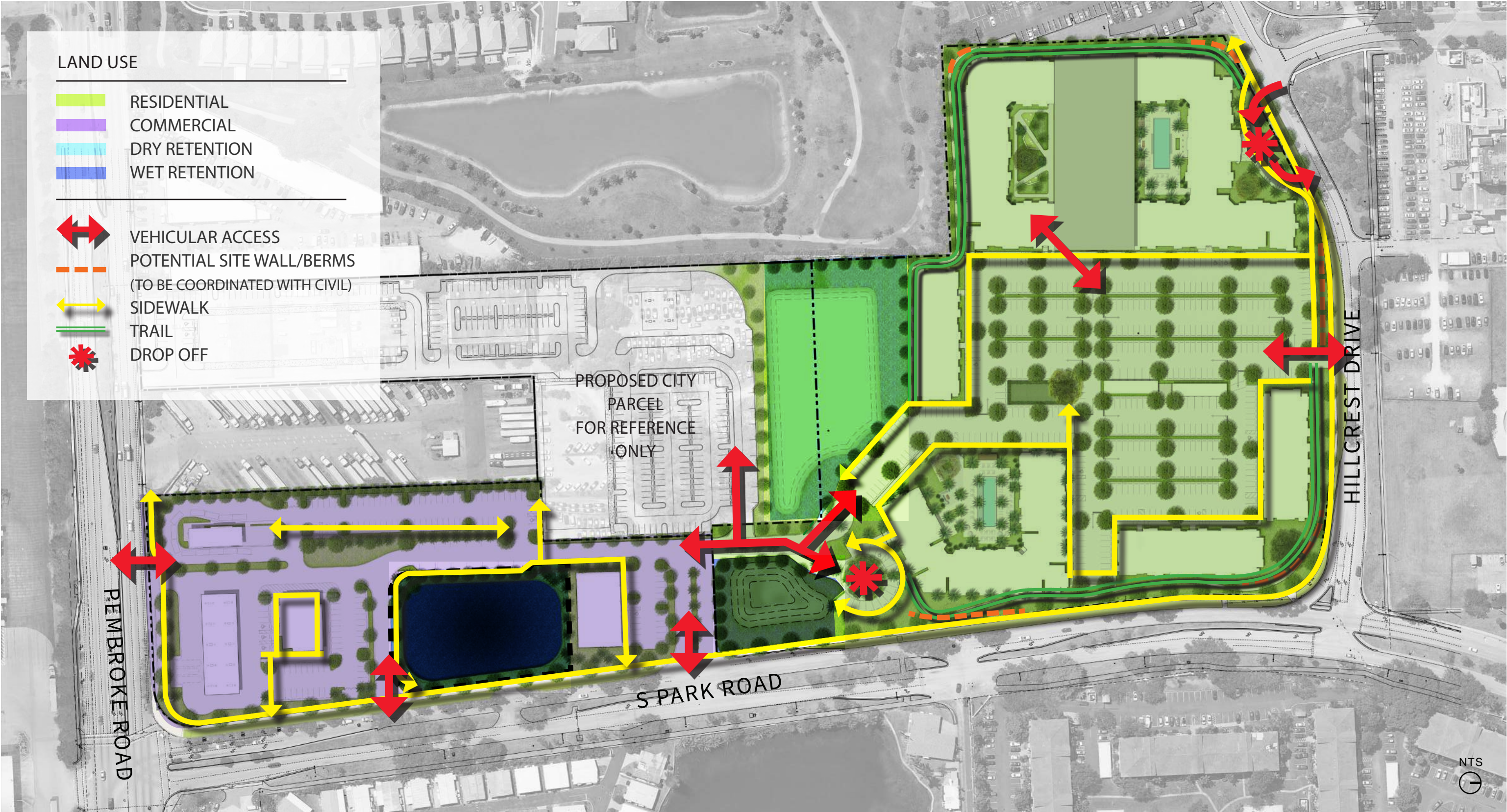
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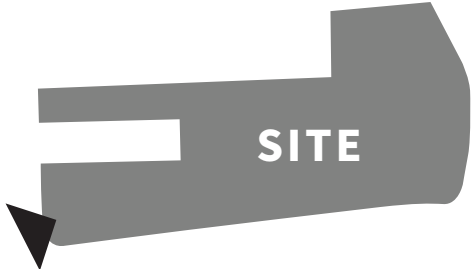
PARK ROAD | CONCEPTUAL SITE PLAN



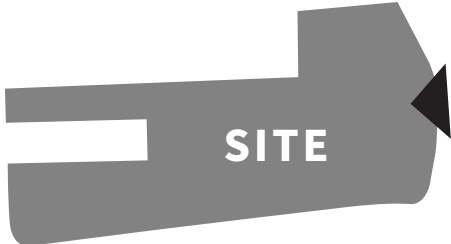
PARK ROAD | CIRCULATION & LAND USE DIAGRAM



PARK ROAD | CONCEPTUAL RENDERING

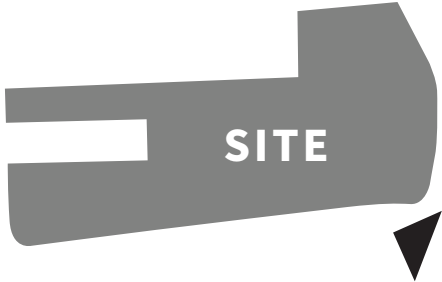


PARK ROAD | CONCEPTUAL RENDERING



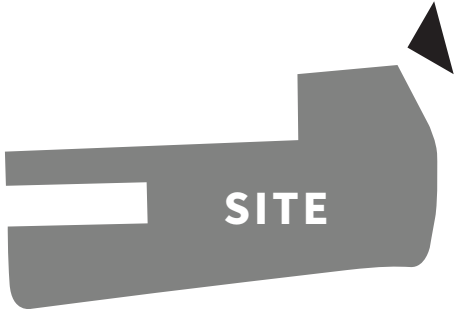
PARK ROAD | CONCEPTUAL RENDERING

VIEW FROM SOUTH PARK ROAD



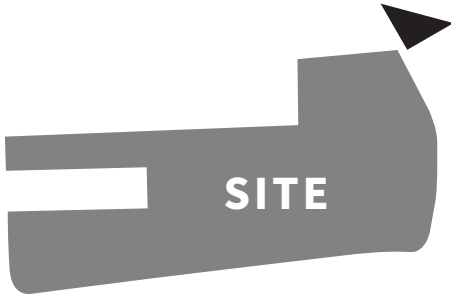
PARK ROAD | CONCEPTUAL RENDERING

VIEW FROM HILLCREST DRIVE AND SOUTH PARK ROAD INTERSECTION



PARK ROAD | CONCEPTUAL RENDERING

VIEW FROM HILLCREST DRIVE



PARK ROAD | CONCEPTUAL RENDERING

COMMERCIAL - RESTAURANT



PARK ROAD | CONCEPTUAL RENDERING

COMMERCIAL - CONVENIENCE STORE



PARK ROAD | CONCEPTUAL RENDERING

COMMERCIAL - OFFICE BUILDING



PARK ROAD | BENEFITS

ENVIRONMENTAL



REMEDIATED BROWNFIELD SITE
WITH ALL COSTS PAID FOR BY
DEVELOPER, NOT THE CITY



REVAMPED STREETScape ALONG
PARK ROAD, HILLCREST DRIVE,
AND PEMBROKE ROAD



STORMWATER RETENTION
OPPORTUNITIES

COMMUNITY



SIDEWALKS, LANDSCAPING,
AND NEW CONNECTIVITY FOR
THE ENTIRE COMMUNITY



ADDITIONAL MEDICAL / DOCTOR
SERVICES WITH MEDICAL
OFFICE BUILDING



NEW RETAIL AMENITIES
FOR THE LOCAL AREA

ECONOMIC



INCREASED TAX BASE



ENABLE THE CITY TO INCREASE
PUBLIC WORKS' SERVICES TO
BENEFIT THE ENTIRE CITY



NEW HOUSING OPPORTUNITIES
IN A DEVELOPED COMMUNITY

Holland & Knight

PEDRO GASSANT, ESQ.
PARTNER | HOLLAND & KNIGHT LLP
305-789-7430
PEDRO.GASSANT@HKLAW.COM

ATTACHMENT 4

NAME	PHONE NUMBER	EMAIL
ABBEY	305 389 6360	abbeykessner@gmail.com
LANIETES	954-981-4735	amybvietes@gmail.com
Golden-Johnston	786 271 1550	deborahgolden@me.com
Johnston	786 972-9007	adonjohnston@gmail.com
SEBASTIAN	954 817 5293	SEBASTIAN@SANDY.COM
DWAYNE DICKERSON	561-405-7336	ddickerson@miskelbackman.com
Michaël Frshavsky	847 997-3641	—
Ruth Walsh	954-670-3390	rwalsh4411@gmail.com
Patricia Antican	771 294 6319	ann2can@bellsouth.net
Cat Uden	954 261 5438	cuden33019@gmail.com
Helen Chernin	954 218-2002	helenandred@gmail.com
Janet Richards	(954) 932-1052	janetrichards3@gmail.com
Kim Newman	352 422 2326	Kimberlyfla1@yahoo.com
Wilke Newman	352 422 5912	Newmanwp1@yahoo.com
Reuber	786-299-7802	Reuber R 23@hotmail.com
Ken WATKINS	305-614-3100	WATKINS@CITICOM

ATTACHMENT 5

COMMUNITY MEETING CITY OF HOLLYWOOD

PARK ROAD DEVELOPMENT (Land Use Amendment, Re-Zoning)

June 10, 2024 at 6:00 p.m.

City Hall, Hollywood Fl,
26000 Hollywood Blvd
Hollywood, Fl, 33020

Key Subject Areas of Questions: Entrances to the Development/ Height / Containing Parking within Park Road Site

1. **Question: Is the northwest building the one that is closest to Building 25? Is that the view from the Hillcrest side?**

Response: Yes. The northwest building on the rendering is the closest building to Building 25. It's approximately 400 feet distance from the edge of Building 25 to our property line. The distance from our property line to building 25 is larger than a football field. There is quite a bit of distance before you even get to our building.

2. **Question: Where is the entrance for cars to the parking garage?**

Response: The primary entrance is the entrance shown from South Park Road and from there will enter the garage.

3. **Question: There is also a loop for drop off and pick up?**

Response: Yes, there is a loop for drop off and pick up towards the northwest of the property. However, you cannot get to the parking garage from the drop off and pick up area.

4. **Question: How many stories are the residential buildings and will that change?**

Response: Currently, we have the buildings at five and six stories for the residential buildings. Our PD, however, is seeking up to 100 feet.

5. **Comment: "Can color be added to the buildings?"**

Response: There is already color and texture at the base. We can add some additional color.

6. **Question: You said that "for the moment" the Buildings are 5 and 6 stories? Does that mean it will change?**

Response: The buildings vary in height---some are 5 and some are 6 stories---the max height is 100 feet but we do not think we will exceed that height. The site plan we developed is for 5 and 6 story buildings. To the extent that anything changes, we would come back before you and inform you of the change.

7. **Question: The narrowest part of the tallest building in Hillcrest has 24 apartments. That building has 12 floors with 24 apartment on each floor. How will you keep people out of the parking lot?**

Response: We are going to have a master plan. There will be more than enough parking to accommodate our residents on-site. Anyone who violates that would be subject to trespass, subject to towing. It is highly unlikely they would park outside of our property to park on neighboring property and be subject to towing.

8. **Comment: “No one is enforcing trespass, but someone will find that it is more convenient to park in our area.”**

Response: They will risk getting their car towed. We do not anticipate it being a real issue. There are trails we are providing and great landscaping. We are providing a variety of internal amenities so we don’t anticipate that any of our residents will need to use your greenspace and we are providing a fence on our property.

9. **Comment: “Look at our trail in that corner. There was a naked homeless man who had been there from midnight to 7 a.m. I want to know that you have a plan in the areas to stop this.**

Response: That is a challenge in many places. There will be a fence to protect our property from trespassers.

10. **Question: Will there be an entrance to the residential area by Building 25?**

Response: No.

11. **Question: How many parking spaces?**

Response: Over 1,000 are currently contemplated.

12. **Question: On the commercial side---will that have two gas stations? The City gas station and your gas station?**

Response: Yes. As currently contemplated, there will be two gas stations. The city will have its own exclusive gas station.

13. **Question: When can we expect the next meeting?**

Response: The next meeting is tomorrow, June 11, 2024, before the Planning and Development Board (“PDB”).

14. **Question: I saw the original plan and the number of units had doubled? Why is that?**

Response: There is a lot of confusion on this. The city put out an Request For Proposal to the general public and development community to come forth with ideas. Only 4 or 8 developers came forward with a plan. The number of units that were initially proposed was never a maximum but was intended to be a minimum number of units. The number that we proposed was provided before we were able to engage in substantial due diligence for the property. Upon further diligence of the site, it became clear that to develop the property with residential uses, we would need costly construction techniques. In addition, our initial proposal was submitted around 2018. That proposal included a substantial amount of commercial on the northern portion of the site. Since 2018, we have seen the impact of the pandemic and it has changed things in the commercial space. As a result, we had to reduce the commercial space contemplated. In addition, the City, as part of our

negotiations requested that we increase the number of residential units that we would be developing. Although our RFP proposed 330, the City requested that we have at least around 450. This was part of a very public process that resulted in us obtaining a signed agreement with the City. We also had to take into account the site conditions that we learned of during diligence concerning the geotechnical for the property. As a result of this information, we developed the residential buildings on the perimeter to avoid other complicated areas of the site. In addition, we wanted to work with a more contemporary urban design and have parking internalized. Our issue was how to drain the site. That is what created the green area. The dry retention area acts as a bathtub. That portion of the site is the clean part of the site; moving water to where it was historically clean. It is due to all of these reasons that we increased the number of residential units.

15. Question: Are the units going to be rental or condo?

Response: The development is Multi-family residential and it could be for rent or for sale. It is currently contemplated for rent, but it may not always be for rent.

16. Question: How will you fill in the contaminated area?

Response: It will be capped with clean fill, a building, or slab or capped with a parking area; all areas are being covered with something. Most of what was there was ash — 40 feet of ash deposited in the 50's, and since that time it naturally compressed. The buildings would be supported on pilings. If the buildings were in the middle we would need a lot more piles, much different than supporting at the edge. This site is not like "Love Canal" ---no chemical and toxic things were dumped on the site; mostly geo-technical issues vs. biohazardous issues. Not things like you would find on an industrial site. Over the last years we did a lot of ground water testing. We have tremendous amount of data we have on ground water and we are aware of no contamination of ground water. The capping process we are putting together will be part of a remedial action plan (RAP) that will be approved and regulated by the County's environmental department.

17. Question: What is the cost to clean the site? 10 to 15 million dollars? Is that pretty accurate?

Response: The cost of foundation for the building on a site of this size, that number can grow. Just in earthwork alone it can be an excess of 5 to 7 million dollars. We are working under a plan put that will be put in place. The uses we are proposing are probably in the range of 15 to 20 million dollars, of extra work that we have to perform because of the conditions site. We do not know the exact number, but we do not anticipate that it will be less than \$15 million; it is likely to be more.

18. Question: Do you own the land?

Response: The city owns the land—we are under contract. We are purchasing the land. That is the agreement we entered into.

19. Question: Will the City continue to have a public works site?

Response. Yes. We will not own the public works site. The city wanted to retain that part. There was a lot of back and forth in terms of defining the boundaries, we had to a lot of due diligence, and it took us a while to get that "L" shaped area. Its roughly 6 acres, and then there is drainage associated with it. We have to manage our own surface water and we needed a master surface water management plan to accommodate the public works site.

20. Question: How many buildings in the development?

Response: 6 buildings on the multifamily side, 3 buildings on the commercial side, and the city has a few buildings.

21. Question: Is there an aerial further west?

Response: We will prepare a rendering to show elevation and the west view.

22. Question: Where are the entrances to the development?

Response: There are a few entrances, but Hillcrest Drive will not be the main entrance.

23. Question: Can you make a personal guarantee there won't be more than 6 stories?

Response: I can promise you that it will not be more than 100 feet, unless we come back and amend our PD. However, we currently think it is very unlikely that we will over 75 feet.

24. Question; What is the process for this development to be approved? Will there be another public participation meeting?

Response: Given that we will require land use, zoning, platting and site plan approval. We think at best that we are looking at an approval timeline of the end of the first quarter of 2025 from an entitlement standpoint. That will not include the remediation of the site and then the vertical construction.

25. Question: Can you tell us about the "environmental agency" Langan? Are they working with EPA? Are they a contractor?

Response: Langan is a consulting engineering firm with a set of prescribed standards. We have used them before. They are a very large and reputable firm.

26. Question: Tell us about what will happen to the tanks on the public works site?

Response: Those belong to the City. They are for emergencies such as hurricane, so city can rely on its own fuel supply. Those will be moved to a different area.

Holland & Knight

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Holland & Knight LLP | www.hklaw.com

Pedro Gassant
305.789.7430
Pedro.gassant@hklaw.com

January 6, 2025 (via email)

Andria Wingett
Assistant Director
Development Services
2600 Hollywood Boulevard
Hollywood, FL, 33021

**Re: Community Meeting for PD Master Plan, Residential Site Plan and Design,
and Commercial Site Plan and Design for Park Road Development**

Dear Ms. Wingett:

On behalf of Park Road Development, LLC (collectively, the "Applicant"), please accept this summary of the community meeting regarding the PD Master Plan, Residential Site Plan and Design, and Commercial Site Plan and Design for a mixed-used project comprising 100,000 square feet of government office space, 45,000 square feet of general office space, 35,000 square feet of general retail space, and 630 residential units proposed at 1600 S. Park Road in Hollywood, FL. The community meeting regarding this project was held on December 11, 2024.

Attached hereto as Attachment 1 is the notice which was sent regarding this community meeting. Attached hereto as Attachment 2 is the list of organizations and property owners invited to attend the December 11, 2024, community meeting, as well as the certification regarding the invitees. In addition, we have attached Attachment 3, which is the presentation made by the Applicant and its representatives. Attachment 4 is a list of the those who attended the meeting.

The attendees raised a number of questions regarding the project. Attachment 5 to this letter provides a summary of the questions raised and responses provided.

Respectfully submitted,

Holland & Knight LLP

A handwritten signature in blue ink, appearing to read 'P. Gassant', with a stylized flourish extending from the end.

Pedro Gassant, Esq.

cc: Mr. Louis Birdman (via email w/encl.)
Mr. Eric Metz (via email w/ encl.)

ATTACHMENT 1

Community Meeting Invitation

Park Road Development LLC (the “Applicant”) is inviting you to attend a community meeting to discuss an application submitted by the Applicant for a rezoning to Planned Development for the Subject Property (described below) and applications submitted by the Applicant to the City of Hollywood for site plan and design approval. This meeting is being held to discuss the planned development of a horizontal mixed-use development comprising no more than 630 residential units, 35,000 square feet of general retail and 45,000 square feet of general office and the associated site plan for the property identified in the location map below. All interested parties are encouraged to participate in this meeting. Representatives of the Applicants and the project team will be available during the meeting to present the proposed plan and address questions.

Subject Property Location Map

Address: 1600 S. Park Road, Hollywood, FL 33021



COMMUNITY MEETING DETAILS

Meeting Date & Time: December 11, 2024, 6:00 PM

Meeting Location: City Hall, 2600 Hollywood Boulevard, Room 215

PROJECT SUMMARY

This development features up to 630 residential units, 45,000 square feet of general office space, and 35,000 square feet of general retail space.

Sign 1



Sign 2



Sign 3



Sign 4



Sign 5



Sign 6



Sign 7



ATTACHMENT 2



CERTIFICATION LETTER

City of Hollywood

Date: November 22, 2024

Applicant: Park Road Development, LLC

Legal Description: Lot 2 Block 1 and portion of Block 3 of Hollywood Golf Heights Plat as recorded in Plat Book 11 Page 13 of the Public Records of Broward County, Florida and un-platted portions of land in Section 20 Township 51 Range 42.

**Address or
General Location:** 1600 S. Park Road

This letter certifies that the attached list of property owners within 500 feet from each property line of the subject site was prepared using the latest tax folio rolls supplied by the Broward County Property Appraisers Office as of October 24, 2024 and the City Commission, Civic Associations within 500 feet, and Planning Department.

This letter also certifies that the attached public hearing notification was sent to the persons on the list of property owners. The notice was mailed November 22, 2024.

Finally, this letter certifies that the site was posted with seven public notice signs that meet the City of Hollywood notification regulations. The signs were posted November 22, 2024.

Thank You,

A handwritten signature in blue ink, appearing to read "Christina Mathews", written over a horizontal line.

Christina Mathews

Sworn and subscribed before me this 22nd day of November, 2024. She is personally known to me.

Signature of Notary

A handwritten signature in blue ink, appearing to read "Jefferson Durham", written over a horizontal line.



1025 Yale Drive
Hollywood, Florida 33021
954-920-2205

Email: cutroplanning@yahoo.com

FOLIO_NUMB	NAME
514219183620	REPSOLE LLC
514219183630	TRAVEL WORLD WIDE INC
514219183640	LISITSA,YEVGENIYA
514219183650	MAKHMUDOV,TALEKH TALEKHOVICH
514219183660	AMEN,FELIPE MOISES ARTEAGATUMBACO,ROXANA
514219183670	KORDOS,MICHAEL G &ALCANTARA-KORDOS,MARIA A
514219183680	GRIMM,STAR V & PAUL J. III
514219183690	MARROCCO,CHERILYNMARROCCO,MICHAEL
514219183700	FURDUI,VEACESLAV
514219183710	ATTAR COHEN,ESTHER DENISERODRIGUEZ GAMBARO,MARTIN ANDRES
514219183720	CARSELLO,CHRISTINA M
514219183730	SINGH,SUNIL
514219183740	ZAMUDIO,KATHERINE PAOLA
514219183750	TAN,FREDERICK HUNG LIANHYTE,MARK DENNIS
514219183760	CHAPARRO MONTANEZ,IVAN A
514219183770	LE,NGA THI H/ELE,MONG MY THI
514219183790	MOKROPOULO,EDOUARDVERENITCH,VIKTORYIA
514219183800	GALAN,ERIK & OLGA
514219183810	SABINO,STEFANO H & VIOLET S C
514219183820	BELMONTI,BRIAN J & MINDY L
514219183830	VERA,JAIME LUIS
514219183840	POE,CAPRIE
514219183850	ROJAS PENA,SARA SOFIAVENEGAS CANTILLO,WALTER ENRIQUE
514219183860	COLE-ECCLES,DENISE
514219183870	ROMERO,CHRISTOPHER JROSA,BEZAYDA E
514219183880	PATEL,AVANI H/EPATEL,MANDAKINI A
514219183890	CERDA,RUBEN D ORTIZECHAVARRIA,CAROLINA Y

514219184970	PARKVIEW AT HILLCREST HOA INC
514219185030	PARKVIEW AT HILLCREST HOA INC
514219185070	PARKVIEW AT HILLCREST HOA INC
514219185080	PARKVIEW AT HILLCREST HOA INC
514219185130	PARKVIEW AT HILLCREST HOA INC
514219185280	HILLCREST COMMUNITY DEVELOPMENTDISTRICT %SPECIAL DISTRICT SVCS
514219270072	HARWIN-TOBIN 3701 LLC
514220000040	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220000050	BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS
514220000080	BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS
514220000110	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY
514220000122	PEMBROKE FIVE Y LLC
514220000140	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220000150	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220000160	SCOZAK REALTY INC
514220000170	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220000190	THETIKA INVESTMENTS LLC
514220000220	FLORIDA DEPT OF TRANSPORTATIONOFFICE OF RIGHT OF WAY

514220000230	FLORIDA DEPT OF TRANSPORTATION OFFICE OF RIGHT OF WAY
514220000240	FLORIDA DEPT OF TRANSPORTATION OFFICE OF RIGHT OF WAY
514220000360	FLORIDA DEPT OF TRANSPORTATION OFFICE OF RIGHT OF WAY
514220000420	FLORIDA DEPT OF TRANSPORTATION OFFICE OF RIGHT OF WAY
514220000460	FLORIDA DEPT OF TRANSPORTATION OFFICE OF RIGHT OF WAY
514220000560	BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS
514220000590	BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS
514220040010	CITY OF HOLLYWOOD DEPT OF COMMUNITY & ECONOMIC DEV
514220040020	ORANGEBROOK MOBILE HOME ESTATES%MR STEVEN ADLER
514220040030	CITY OF HOLLYWOOD DEPT OF COMMUNITY & ECONOMIC DEV
514220060010	SOUTH BROWARD HOSPITAL DISTRICT ATTN: PROPERTY MANAGEMENT
514220060011	AW MEMORIAL SOUTH LLC%IAW FLORIDA MOB MEMBER LLC
514220060012	439 9TH STREET ASSOCIATES LLC FMC 3702 WASHINGTON LP
514220060013	SOUTH BROWARD HOSPITAL DISTRICT ATTN: PROPERTY MANAGEMENT

514220060014	SOUTH BROWARD HOSPITAL DISTRICTATTN: PROPERTY MANAGEMENT
514220060021	SOUTH BROWARD HOSPITAL DISTRICTATTN: PROPERTY MANAGEMENT
514220060030	AUTOMATIC INVESTMENTS SOUTH INC
514220060040	WINDSOR HOLLYWOOD LLC% MAXX PROPERTIES
514220060041	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220060042	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220060043	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV
514220060050	WINDSOR HOLLYWOOD LLC
514220140010	WINDSOR HOLLYWOOD LLC
514220140011	PUBLIC LAND % CITY OF HOLLYWOODOFFICE OF BUSINESS & INTL TRADE
514220150010	COCA-COLA BEVERAGES FLORIDA LLC
514220150020	PUBLIC LAND% TOWN OF PEMBROKE PARK
514220160010	PEMBROKE COMMERCE CTR ASSN INC%PROLOGIS
514220160014	SPRINT COMMUNICATIONS CO LP

514220160016	FF LANDLORD #3 LLC% DONNIE POWELL
514220160023	PUBLIC LAND% TOWN OF PEMBROKE PARK
514220210010	DOSTALY,KERVIENS & CARMEN Z
514220210020	GOLOSHCHAPOV,DMYTROHOLOSHCHAPOVA,MARYN A
514220210030	PARKVIEW AT HILLCREST HOA INC
514220220010	CPI ORANGEBROOK OWNER LLC
514220AB0010	KLEIN,DONALD
514220AB0020	PICKETT,DINAHDINAH PICKETT REV TR
514220AB0030	DE LA TORRE,ALEXANDRA
514220AB0040	WAGNER,ANGELAWAGNER,DAN
514220AB0050	PERDOMO,MYRIAM
514220AB0060	ABRAHAMOFF,COLBY J
514220AB0070	KAUPAS,PATRICIA
514220AB0080	MEDEIROS,DAVID A H/EMARQUES,ADRIANA GONCALVES
514220AB0090	SANDOVAL,CINDY
514220AB0100	HERD,CLAUDIA H/EWEIL,MICHAEL A
514220AB0110	CAMPOS,ALVARO
514220AB0130	WOJACK,ALFRED H/EWOJACK,GENEVIEVE
514220AB0140	TASHO,ANASTAS
514220AB0150	RUGG,MAURA
514220AB0160	MAGGIO,MARITZA
514220AB0170	FLORES,MARICRUZ H/EROMERO,JOSE
514220AB0180	REYNOLDS-SAAD,BARBARASAAD,SABET M
514220AB0190	RAINWATER,CHERYL D

514220AB0200	PEREIRA,NICHOLAS LORENZO
514220AB0210	MARTOS,LUCAS
514220AB0220	KORNER,BEBE MARCELLOKORNER,ANTONIO SORIN
514220AB0230	MARTI,GLORIA
514220AB0240	LEBEDEVA,VALENTINA
514220AB0250	HENRIQUEZ,CASANDRA RCASANDRA R HENRIQUEZ REV TR
514220AB0260	HURTIG,JILL & STEVEN
514220AB0270	SILAGHI,STELA
514220AB0280	HELLNER,HANNAHELLNER,SYLTA MARIE
514220AB0290	MONTEALEGRE,ANGELICA
514220AB0300	NINCEVIC,ANTE TONI & MIMOZA
514220AB0310	MUKHA,MARIA H/EMUKHA,VITALY H/E ETAL
514220AB0320	TREVISAN,ALAN
514220AB0330	OLIVERI,DEBRA
514220AB0340	MARTINEZ,INGRID H/EMARTI,GLORIA
514220AB0350	PEREZ,JUAN OROPESA
514220AB0360	SERBANESCU,GEORGE MIHAI H/ESERBANESCU,ARUNA
514220AB0370	SOUCY,PHYLLIS
514220AB0380	SUISSA,ABRAHAM & RACHEL
514220AB0390	BIBERDZIC,PETARDURIC,JELENA
514220AB0400	ALBERTINI,HERIBERTO L
514220AB0410	AFANADOR,ESTELA
514220AB0420	FEDERELLA,MICHELLE
514220AB0430	EVERING,DAVID J EST
514220AB0440	NATALE,PAUL
514220AB0450	BROWN,SAMANTHA
514220AB0460	SEARS,VICTOR PAUL
514220AB0470	DINARI,HARRIET

514220AB0480	WILLIAMS,MICHAEL LEE H/ECARVAJAL ANGULO,KATRIN
514220AB0490	IDELER,MARKKIRSCH,CASEY
514220AB0500	PENA,JESUS AUGUSTOPENA,JESUS & PENA,REBECA
514220AB0510	MORRELL LIV TRMORRELL,M & MORRELL,R TRS
514220AB0520	TORO,JOHN DIYANG,XIAO JIAN
514220AB0530	DEFORTE,WILLIAM
514220AB0540	HOCHMAN,ANNSTREITER,NANCY & BLUMENTHAL,SUE
514220AB0550	PARISI,RAMON P & ELIANA Y
514220AB0560	WORTMAN,HAINERICH & MARCELLE
514220AB0570	GONZALEZ RIVERO,HERMELINDARIVERO,ANDRES
514220AB0580	ORIAS,NATALIA
514220AB0590	BERRY-WILLIAMS,TRACYE &WILLIAMS,CAMERON
514220AB0600	ARCHAMBAULT,JEANRICHER,CHANTAL
514220AB0610	GOENNENWEIN-SIMON,LISETTE
514220AB0620	HINDS,YVETTE
514220AB0630	KRUPNYAK,LILIANA S
514220AB0640	PERLSTEIN,HARRY LOUIS
514220AB0650	IUHASZ,ADALBERT
514220AB0660	RESTO,TRIANA M
514220AB0670	CAVIC,GORDANA
514220AB0680	LAWSON,MARGARET ANN H/ELAWSON,DAONALD L
514220AB0690	BAEZ,RAFAEL & DULCE M
514220AB0700	WEPNER,CHARLESWEPNER,LINDA
514220AB0710	HERNANDEZ,MARGARITA
514220AB0720	BURGOS RIOS,ALVARO
514220AB0730	GUZMAN,LUISA FERNANDA
514220AB0740	ARTHUZO,FREDERICO F
514220AB0750	SCHWARTZ,CAROL

514220AB0760	LAWRENCE A ZUCKER LIV TRZUCKER,LAWRENCE A TRSTEE
514220AB0770	BIANCHINO,MARIA
514220AB0780	LAWRENCE A ZUCKER LIV TRZUCKER,L & HENRY,J TRUSTEES
514220AB0790	PINEDA MARCOS,LIESSER ARMANDO
514220AB0800	OLIVA,KIM MIRIAM
514220AB0810	OROZCO-CARVAJAL,ILSEN H/ECARVAJAL,LUCY
514220AB0820	CLEMENT,DANIEL TREMBLAY,LOUISE
514220AB0830	LIAN,JIE
514220AB0840	DELVA,FRANCE M & JEAN CLAUDE
514220AB0850	ROMERO,SANDRA L
514220AB0860	HEIDARI,ELHAM H/EHEIDARI,KARAMAT
514220AB0870	GANDERO,CHRISTOPHER GEORGE
514220AB0880	ROMAN,JOSE P
514220AB0890	RON-VIVAS,SORAYA
514220AB0900	GALVIS,LUIS FELIPE
514220AB0910	CANNIZZARO,WILLIAM M
514220AB0920	LUGO,SARA
514220AB0930	AJOKU,YURI
514220AB0940	STANGER,RHODA H/ESTANGER,CARY B
514220AB0950	FEDORCHENKO,ELENA FEDORCHENKO,KIRILL
514220AB0960	KOROTAEV,KONSTANTIN & ELENA
514220AB0970	PUIU,ELISABETA H/EGARBA,R
514220AB0980	URALOVA,YULYA
514220AB0990	REINGOLD,DOUGLASS JAY
514220AB1000	MARSET,ELIZABETH
514220AB1010	LOVAS,WILLIAM
514220AB1020	PAGHETE,ALEXANDRE
514220AB1030	ARONSKY,SHARON

514220AB1040	ODZE,NEIL
514220AB1050	FEIGEN-NOVAK,JACQUELINE
514220AB1060	NADELMAN,ADRIANA
514220AB1070	VARASTEANU,EUGEN & LILIANA
514220AB1080	LAWSON,DONALD LDONALD L LAWSON REV TR
514220AB1090	FLORES,GLADYS P
514220AB1100	OBRAZTSOV,ALEKSANDRAOBRAZTSOV,EVGENY
514220AB1110	ROY,GINETTE
514220AB1120	DE OCA,LEOBEL MONTES
514220AB1130	PACCILLI,JENNIFER LPACCILLI,CHRISTOPHER J
514220AB1140	GARCIA,FRANCISCO XKUDELINA,NATALIA
514220AB1150	FERRARA,DEBRA
514220AB1160	FERRARA,CARMELA
514220AB1170	MONTALVO,JEDIDIAH
514220AB1180	GIGLIO,LAURA ANN & MICHAEL
514220AB1190	ELLEN SUE MASON REV TRMASON,ELLEN SUE TRS
514220AB1200	MARINAY,MAGALY & JOSE VICTOR
514220AB1210	LUBARDA,GORDANA
514220AB1220	JOSEPH,BILIENE
514220AB1230	HEARN,SARA
514220AB1240	LIMARDO,LORI
514220AB1250	KAWA,ORSULA
514220AB1260	KORNER,MARCELLO & MINONDA
514220AB1270	RICHELIEU,JESSYCA M
514220AB1280	BERTRAND,DANIELLEBERTRAND,VANESSA
514220AB1290	NAVARRETE,AMED JESUS
514220AB1300	STEELE,CLAUDIA TARAZONA
514220AB1310	SHELKOVNIKOVA,NIKA

514220AB1320	KRAMER,LAURA
514220AB1330	SPEISMAN,CINDY & PAUL
514220AB1340	BEDOYA,CESARCARRERO,GUSTAVO
514220AB1350	DUGGAN,LISA Y
514220AB1360	WILSON,JAMES BARUE
514220AB1370	MENDOZA,ANNIE M H/EMENDOZA,LUIS A & MENDOZA,MARIBEL
514220AB1380	ZAPATA,MARIA ELENA H/ECORZO,PAOLA ALEJANDRA
514220AB1390	MIRONOVA,OLESYA S
514220AB1400	SPEAKMAN,DOUG J
514220AB1410	FRANKLIN,DORIS
514220AB1420	VIAU,CAROLINE
514220AB1430	GARVIN,GINA S
514220AB1440	PELI,GENNIFER VIVIAN H/EPETERS,JULIANA
514220AB1450	ARGUELLES,ANA TERESA
514220AB1460	CURRO,ROBERTROBERT CURRO REV TR ETAL
514220AB1470	DASCALU,LUMINITA
514220AB1480	MIRANDA,LESLYE ANN
514220AB1490	SAPADIN,RANDALLCOPPOLA-SAPADIN,PHYLLIS
514220AB1500	SHAFIR,MARIA & SEMYON
514220AB1510	KAPLAN,MICHAEL
514220AB1520	VOSKRESENSKAYA,TATYANAVOSKRESENSKY,SERG EY
514220AB1530	HALSTEAD,BARRONE
514220AB1540	SHAWN URMAN 2021 IRREV TR
514220AB1550	LEMME,ANTHONY ALEXANDER
514220AB1560	MASSIAH,SHELLONA A
514220AB1570	ADLER,HELENE
514220AB1580	FEIJOO,YOLVI
514220AB1590	OSADCHYY,OLEG H/EOSADCHA,ANASTASIIA

514220AB1600	CHEN,JESSICA CHING YEE
514220AB1610	RUBINOV,MICHAEL H/EDAVYDOVA,YELENA
514220AB1620	PEREZ,EFRAIN
514220AB1630	ALJURE,INGRID DINSE
514220AB1640	HENRY,SUSAN
514220AB1650	LAWRENCE H BARTELTSEN LIV TRWILLIAM J HEVERT LIV TR
514220AB1660	KARDYS FAM LIV TRKARDYS,JACK C & DIANE R TRS
514220AB1670	SANTANIELLO,ANDREANA TERESACARRASQUERO,JOSE VICENTE
514220AB1680	JORGE,JULIANLUMPKIN,MASKIM
514220AB1690	SPECTOR,JAMES & CARLA
514220AB1700	VETAN,IONEL & MARIA
514220AB1710	GLANTZIS,GEORGE E
514220AB1720	PEREZPALMA,YURI & MONICA
514220AB1730	FOX,KENNETH R
514220AB1740	SOKHO,SERGEY
514220AB1750	BRANDFON,VIRGINIA
514220AB1760	SZABO,STEVEN
514220AB1770	BROWN,CLARA
514220AB1780	VEHBIU,MIRJANHALILI,IRIS
514220AB1790	ROY,MAURICELAMONTAGNE,LOUISE
514220AB1800	ANIDJAR,IANANIDJAR,JANNINE ETAL
514220AB1810	LONGBRIDGE FINANCIAL LLC
514220AB1820	PATTON,ANNA
514220AB1830	HENRIQUEZ,JOHNHENRIQUEZ,KAREN
514220AB1840	REVILLA NEGRETE,FRANCISCO JAVIER
514220AB1850	LATORRE,LUIS
514220AB1860	SYRIANI,RENATA
514220AB1870	GARCIA,JORGE & ANGIE

514220AB1880	PIKER,VALERY H/EPIKER,ERIC
514220AB1890	SIMU,ADAMITA D & LYDIA J
514220AB1900	LUQUE,MARGOTORIGGI,JOHANN S
514220AB1910	BOUCHER,THOMAS DWAYNE JR
514220AB1920	TIGER,EDWARD M
514220AB1930	LEVY,ROSAROSA LEVY LIV TR
514220AB1940	FLYNN,JOHN G
514220AB1950	LEWIS,DIONNE
514220AB1960	ROCK,SONDRA
514220AB1970	ORTIZ,ANALYSIA C H/EORTIZ,ANGEL G & ANNABELLA F
514220AB1980	PELOBELLO,AILENE A & RUSSELL S
514220AB1990	HERMOZA,JORGE LUISCRUZ HERMOZA,MIRIAM
514220AB2000	SAROCHAR,LILIANA
514220AB2010	LISS,SARA
514220AB2020	KITZIS,INNA
514220AB2030	MEHTA,SARAYU H/EMEHTA,PRAKASH K
514220AB2040	PERALTA HARASIUNK,MANUELA M H/EPERALTA,ANA LUCIA ETAL
514220AB2050	MENGARI,VALERIA
514220AB2060	GOLDSTEIN,DEBORAHGOLDSTEIN,ELIZABETH
514220AB2070	SOKOLOV,EVGENY
514220AB2080	ALTHOFF,WILLIAM H/EALTHOFF,ELIZABETH
514220AB2090	MIRANDA,LEONARDO H/EBARRIENTOS,LINA H/E ETAL
514220AB2100	GOLDEN-JOHNSTON,DEBORAH
514220AB2110	ALPERT,SONDRA
514220AB2120	ALPERT,RICHARD
514220AB2130	KRAMER,MARILYN H/EKRAMER,DEANNA
514220AB2140	EDWARDS,SABRINA
514220AB2150	DE LEON,JORGE G

514220AB2160	LECLERC,DENISTHERIAULT,CHANTALE
514220AB2170	KIRMAZ,ALEKSANDR & NATALYA
514220AB2180	MURRAY,LINUS JR
514220AB2190	HANGA,OVIDIU DAN &PAIU,VIRGINIA RALUCA
514220AB2200	HEARN,SARA
514220AB2210	LAVIETES,BARBARA A
514220AB2220	POLITO,CONNY E
514220AB2230	THERRIEN,MICHELMICHEL THERRIEN REV TR
514220AB2240	TORRES,MONICA
514220AB2250	WILKENS,FREDERICK RFREDERICK R WILKENS 2008 REV TR
514220AB2260	ANNA JAKSA TRJAKSA,ANNA TRS
514220AB2270	WEINBERGER,LEOPOLD
514220AB2280	ALEXE,ILEANA
514220AB2290	HASKELL,EVAN C
514220AB2300	CHOLETTE,SYLVIE
514220AB2310	MORRISSETTE,JEAN CLAUDE
514220AB2320	PARKER,STANLEY LSTANLEY L PARKER LIV TR
514220AB2330	FAIFER,CLAUDINE H/EMUSKAT,LEONORE PERLA
514220AB2340	STEVENS,PATRICIAWARD,CAROLINE & CORBIN,JOHN T
514220AB2350	OJEDA,JORGE REMONQUINTERO,ANAYVIS
514220AB2360	PIERRE,EDDY PIERRE
514220AC0010	ROMERO,ALBA GUADALUPEROMERO,FERNANDO AUGUSTO
514220AC0020	SHUSTER,MEREDITH
514220AC0030	VENA,DEBORAH
514220AC0040	U S BANK TRUST N A TRSTEE%SELECT PORTFOLIO SERVICING INC
514220AC0050	ATLAS,CAROL ACAROL A ATLAS REV TR
514220AC0060	TUST,JOHN M & ARLEN CJOHN & ARLEN TUST LIV TR
514220AC0070	VIDAL,RODOLFO & IRIS JANE

514220AC0080	POWELL, RONALD
514220AC0090	ALVAREZ, RICHARD & FATIMA
514220AC0100	ROTH, MARK S & FRANCES SROTH FAM REV TR
514220AC0110	SOROKA, BEATRIZ S H/ESOROKA, RICARDO S
514220AC0120	FUNDORA, JUAN MANUEL H/ERODRIGUEZ, MARCIA
514220AC0130	VILLALBA, JOSE MIGUELFRANCO PEREZ, ANA CECILIA
514220AC0140	PORTALES, JOSE D
514220AC0150	MOSQUERA DE URGUIA, FLORA ELIGIA
514220AC0160	FERNANDER, MAUDMAUD FERNANDER TR ETAL
514220AC0170	MANGINELLI, JOHN MJOHN M MANGINELLI REV TR
514220AC0180	ABAKUMOVA, OLGA V
514220AC0190	IMPOSIMATO, FELIX
514220AC0200	MELGAREJO, EDNA
514220AC0210	COLDEN, VONCEIA
514220AC0220	QUISPE, EDWIN WILFREDOVEREAU VEGA, SANDRA CECILIA
514220AC0230	LEW, MARIO H/EDOLGIN LEW, LISA S
514220AC0240	LUZON, CAROL ANNWARREN, ROXANNA R
514220AC0250	BALTAZAR, NORMA I & RAMON E
514220AC0260	SEID, NORMA
514220AC0270	CHAMIZO, ORLANDO
514220AC0280	ORTEGA, LENIN JOSEWATSON, MARINA VLADIMIROVNA
514220AC0290	MORDIA, TERENCE G
514220AC0300	VARGAS, JUAN & EMMA
514220AC0310	SABANOVIC, FADIL & SENADA
514220AC0320	HERNANDEZ, MILAGROS
514220AC0330	BROWNSTEIN, JUDY
514220AC0340	BLOOMQUIST, WAYNE & ROSANNABLOOMQUIST, BRADEN
514220AC0350	DIAZ, NORA C

514220AC0360	VILORIO,JANET
514220AC0370	PAQUET,GILBERT & GILBERTE
514220AC0380	LEVINE,FREDRIC NFREDRIC N LEVINE REV TR
514220AC0390	KAUFF,ANN H/ESTROMFELD,LINDA
514220AC0400	CHARITON,ELLEN
514220AC0410	PARNIS,SYLVIA
514220AC0420	GABBOLA,ENRICO FRANK
514220AC0430	PRILUTSKY,SIMON
514220AC0440	MASTAN,CLAUDIU S &MASTAN,LUMINITA L
514220AC0450	RADER,JUDITH
514220AC0460	MOQUETE,JOSE D
514220AC0470	MORIYAMA,TAKESHI & TAMIE T
514220AC0480	MAIS-COLLINS,NESRENE M
514220AC0490	TOPANA,OVIDIU
514220AC0500	ELGAMAL,FOUAD RAFIC MOHAMEDELHOSARY,TOMADER AHMED MOHAMED
514220AC0510	MINTZ,SAUL
514220AC0520	VAISMAN,JOANNAESKENAZI,JOSE
514220AC0530	STERLING,BARBARA
514220AC0540	FIELDS,NANCY
514220AC0550	PARRA,AMANDA
514220AC0560	SALPINO,ANTHONY OVALLETUTTI-SALPINO FAMILY REV TR
514220AC0570	GAVRILIU,MINODORA MARIA
514220AC0580	HUNTLEY,PETER & AUBRY,DIANEHUNTLEY,JASON & HUNTLEY,NATHALIE
514220AC0590	PHYLLIS B & SAUL S FEDER REV TR
514220AC0600	BARBU,LIDIA & VASILEVASILE & LIDIA BARBU REV TR
514220AC0610	BORSIC,ALADAR A & ANA L
514220AC0620	YANAI,TSUYOSHI

514220AC0630	BARCENAS,BARBARA & STEIN,LUISLUIS STEIN & B BARCENAS IRREV TR
514220AC0640	ARAGUNDI,LOLALOLA ARAGUNDI REV LIV TR
514220AC0650	MIRANDA,ANTONIO RMIRANDA,MARISVEL
514220AC0660	HUTCHINSON,RAQUEL H/EHUTCHINSON,THOMAS
514220AC0670	BARR,FLORENCE EST
514220AC0680	STEINER,DIANE
514220AC0690	MATEOS,MARTHA
514220AC0700	ILJAZI,MEMEDI
514220AC0710	POLLOCK,LINDA
514220AC0720	FIGUEROA,HELLENPUELLES,JORGE
514220AC0730	JOSEPH,KENNARD
514220AC0740	MOCKLER,WILLIAM & JUDITHWILLIAM & JUDITH MOCKLER TR
514220AC0750	CASTELLANOS,ELIDA
514220AC0760	HUDSON,MARIA
514220AC0770	BUIS,JUSTIN R
514220AC0780	DAVID,STEVEN
514220AC0790	NIKOLIC,DRAGOLJUB
514220AC0800	COLEBROOKE,KENNETH S
514220AC0810	PEREZ,JOHN JOSEPH & NINA
514220AC0820	CLARK-SAVIO,SUSAN RENEE SUSAN RENEE CLARK- SAVIO REV TR
514220AC0830	ZAPATEIRO,MARCELA
514220AC0840	CARDONA,BLANCA I
514220AC0850	GORDON,LEOVERTURE & DONALIE C H
514220AC0860	MARTIN,CARLOS C
514220AC0870	LAPIN,IDA H/ELAPIN KIRSCHBAUM,REGINA
514220AC0880	PHILLIPS,MARIA LUISA
514220AC0890	GATICA ORDENES,ALDO ELIASD'AGOSTINI
514220AC0890	LOPEZ,MAGALY G DEL C
514220AC0900	VILLAGRA,CLAUDIO H/ECONCINO,AIDA

514220AC0910	RACCIATTI,ELIZABETH ELIZABETH L RACCIATTI IRREV TR
514220AC0920	FOGEL,LAURA J
514220AC0930	ARISTIZABAL,MARGARITA MARGARITA ARISTIZABAL LIV TR
514220AC0940	LAVINE,HILDA A H/ EALONSO,JOHN CARL
514220AC0950	THERLONGE,JOSEPH THERLONGE,MARIE
514220AC0960	CAPELLA,CARLOS J ALVARADO
514220AC0970	PELAY,MARIA L
514220AC0980	DE LA VIEZ,WILLIAM
514220AC0990	PIOTROVSKY,WALENTYNA
514220AC1000	CARDENAS,ISABEL
514220AC1010	BERMAN,DMITRY
514220AC1020	DOHERTY,BRIAN P DOHERTY,GLORIA O
514220AC1030	MADERA,MARITZA J
514220AC1040	HERNANDEZ,JAIME MADAMES,OMAR I
514220AC1050	VINOKUROVA,KRISTINA
514220AC1060	BUTTERWORTH,WILLIAM G
514220AC1070	SUAREZ,MANUEL E
514220AC1080	WINICK,RANDALL WARD LAVERGNE WINICK TR
514220AC1090	ARSHAVSKY,MIKHAIL BELENITSKY,VICTORIA
514220AC1100	GOLDSMAN,EVA S H/ EGOLDSMAN,GENE
514220AC1110	DELGROSSO,LISA
514220AC1120	HOLTZMAN,LYNN NIKI H/ EHOLTZMAN-DAVIS,MELISSA ETAL
514220AC1130	TREGLIA,LOUIS J
514220AC1140	MELAMETH,JACQUES
514220AC1150	SOUCY,GENEVIEVE
514220AC1160	DENNERY,SIMONE
514220AC1170	RUBIN,BRUCER RUBIN,ROSLYN
514220AC1180	BUECHNER,IRENE BUECHNER,KLAUS M

514220AC1190	BELLAMY,WILMA
514220AC1200	BRUNETTO,SHARON YVETTEBRUNETTO,MARIA TERESA
514220AC1210	HART,JANET
514220AC1220	TIMMONS,GERALD EGODERT,RICHARD J
514220AC1230	GLASSER,MORTON P
514220AC1240	NOVAK,MARGARET H
514220AC1250	MEHU,NAAMA
514220AC1260	CACHON,ANA K
514220AC1270	MANTER,DANIEL AMANTER,MARLENE
514220AC1280	KROTOWSKI,HARRY
514220AC1290	QUINTERO,JAIR0 &CARDENAS,MARTHA L
514220AC1300	ORTIZ,AIDA H/EORTIZ,LEONOR
514220AC1310	RAYMOND,LAURAVILLATORO,CLAUDIA
514220AC1320	FRALICK,MARGUERITELEE,JADA SHELBY
514220AC1330	NEWMAN,MICHAEL & KIMBERLY
514220AC1340	KAGAN,LEONIDSTRELTSOVA,SVETLANA ETAL
514220AC1350	DE ROSA,JOYCEJOYCE DE ROSA REV TR
514220AC1360	BROWN,SUZANNE R H/ESAULICH,MICHAEL
514220AC1370	NEWMAN,KIMBERLY & MICHAEL
514220AC1380	NOVAK,KARL E
514220AC1390	HARTENSTINE,NEIL
514220AC1400	WILLIAMS,LUCY O
514220AC1410	MELO,RAMONA
514220AC1420	BIJOU,JEAN ROBERT
514220AC1430	OSPINA,GUSTAVO ADOLFO
514220AC1440	GOLYAND,ALLA H/EGOLYAND,STANLEY
514220AC1450	MACKENZIE,MARK EDWARDVELEZ,CARLOS
514220AC1460	WHITNER,WILLIAM J

514220AC1470	ANNICHARICO,STEVEN
514220AC1480	BENDECK,MARIA DEL CARMEN
514220AC1490	RITCHIE,KENNETH W
514220AC1500	DAYAN,EVELYN
514220AC1510	GIACALONE,ANGELOTURNER,ELLIS EDWARD
514220AC1520	GAGNON,JEAN
514220AC1530	JOFRE,JORGE MANUEL
514220AC1540	ALESHIN,LARISA
514220AC1550	ASHWAL,EVA
514220AC1560	DIAZ,MIRTA K
514220AC1570	FERNANDEZ,NELLY
514220AC1580	GONZALEZ SALAZAR,MARTHA NELLY
514220AC1590	SAVLOFF,ALEJANDRO H/EJULIA P SAVLOFF REV LIV TR ETAL
514220AC1600	WALSH,RYAN JOSEPHWALSH,RUTH
514220AC1610	GOLTSIN,ARNOLD & RAISA
514220AC1620	SCHEINER,HERBERT
514220AC1630	KIM,HYUNG HEUMLEE,SUNG HEE & KIM,JENNIFER H
514220AD0010	TORRES,MARIA
514220AD0020	ASAN,MARTHA
514220AD0030	MITCHELL,EDWARD
514220AD0040	EARL THOMAS TRHIROSE,DENISE TRSTEE
514220AD0050	SHARABY,MARGARET
514220AD0060	NUNEZ,JOSE BFRIAS DE NUNEZ,YOSMERY C
514220AD0070	DANEK,PATRICIA HELENA
514220AD0080	REYES,MONICA B
514220AD0090	AARON,CHRISTOPHER DAVID
514220AD0100	ZUK,CHRISTOPHERCHRISTOPHER J ZUK REV LIV TR
514220AD0110	MILLER,DONALD

514220AD0120	EFROS,MARIE I
514220AD0130	BENOWIAT,DENISE
514220AD0140	MENDOZA,BIENVENIDA LMENDOZA,LUIS R
514220AD0150	SPAZIANI,PLACIDO ENRICO
514220AD0160	RAMIREZ,IVAN G
514220AD0170	PALTA,WILDER
514220AD0180	GARCIA,JOSE & JOSEPHINE
514220AD0190	MANDELSTEIN,BARBARA JBARBARA J MANDELSTEIN TR
514220AD0200	BOSCAN,CARLOS ABOSCAN,DEISY M
514220AD0210	GURST,LYNNE
514220AD0220	AZLOR,SUSANA
514220AD0230	ROBINSON,DUDLEY W II & JUDITH A
514220AD0240	KATUSA,NIKOLA H/EKATUSA,NIRIS
514220AD0250	BROOKS,CARL ABROOKS,LEE A
514220AD0260	GABRIEL,MARTHAMARTHA VICTORIA GABRIEL REV TR
514220AD0270	GARCIA,HENRY
514220AD0280	SOBEL,SHERRIE H/EPRESS,JULIE
514220AD0290	ZELLIN,ROSEMARIE EST
514220AD0300	WOJACK,GENEVIEVEGENEVIEVE WOJACK FAM TR
514220AD0310	MARTIN,NUBIA
514220AD0320	ARANGO,ESTHER COSORIO,MARIANA ETAL
514220AD0330	VENANCIO,LUCIA
514220AD0340	DONA,IRMA GABRIELALAYNE,JEFFREY SCOTT
514220AD0350	BLAIR,BUNDI B & SYLVIA R
514220AD0360	CAIRO,MARCIA M
514220AD0370	CICERO,ELIZABETH
514220AD0380	ARNOLD,JACQUELINEMARYON B ARNOLD TR
514220AD0390	GOLDSTEIN,ELIAS H/EGOLDSTEIN,RUBEN ALEJANDRO

514220AD0400	KALLASTU,SIRJE
514220AD0410	HUNTER,RICHARD
514220AD0420	LAWRENCE,WILLIAM J JRWARREN,DENNIS E
514220AD0430	WEINSIER,COURTNEY
514220AD0440	WEISZ,MARILYN H/E
514220AD0450	VORONINA,NATALIAVORONIN,VADIM
514220AD0460	JADOO,GAJENDRA H/EPADIA,CHANU
514220AD0470	GUTMAN,ALEJANDRO A
514220AD0480	DEPAROLESA,MARIA
514220AD0490	SAMA,SUNITA A
514220AD0500	SHAW,BETTY
514220AD0510	MOLINA,MARIO R & RUBEY F
514220AD0520	MOHAMED,KHALEEF
514220AD0530	NAVARRERA LEON,EDUARDO
514220AD0540	PASCUAL,CRISTOBALINA E
514220AD0550	ORMSTON,ANDREA J H/EORMSTON,ROBERT ELLIOT
514220AD0560	HARROW,DREW
514220AD0570	LOFTUS,JULIA
514220AD0580	ZOMARO,CATALINA H/EZOMARO,CLAUDIA V ETAL
514220AD0590	HERNANDEZ,CLARA
514220AD0600	BROOKS,LORRAINE
514220AD0610	PATRICIA PROTZMANN TRPROTZMANN,PATRICIA TRSTEE
514220AD0620	FERREIRA,SERGIO AUREOFERREIRA,MARCIA E
514220AD0630	RODRIGUEZ,NORMA H/EBERG,WILLIAM & BERG,KAREN
514220AD0640	CHALFIN,SUSAN M
514220AD0650	ZVEREVA,RAISA ROMANOVNAZVEREV,VASILY
514220AD0660	PRESS,IRA MIRA M PRESS LIV TR
514220AD0670	MAERZ,PETER J & BAER,ALYSSAMAERZ & BAER FAMILY REV TR

514220AD0680	PERVAN,VERA F
514220AD0690	VERGEL,DANIA O & JUAN A
514220AD0700	RUTHERFORD,JUNE FRANCES
514220AD0710	WAGNER,GERRI A
514220AD0720	POLLARD,SUSAN JPOLLARD,RICHARD A
514220AD0730	CHISLOV,SERGEY & ELENA
514220AD0740	PONOMAREVA,EKATERINA H/EPONOMAREVA,ELENA
514220AD0750	GALINDO,IRIS MARLENE
514220AD0760	ZAPATA,ELSY
514220AD0770	DOMINGUEZ,BERNA
514220AD0780	GREER,NARVELL & KATHERINA
514220AD0790	ROMERO,LIGIA
514220AD0800	SALTOS,ERWIN F & GLADYS E
514220AD0810	BRYAN,YVONNE
514220AD0820	SCHAMACH,ROBERT J
514220AD0830	MORGAN,SUSAN
514220AD0840	JOHNSON,HELEN A
514220AD0850	SOLTE,SARA LYNN
514220AD0860	OLKINITSKY,JOSEF & VERA
514220AD0870	CHEN,YANGLUCE,DAVID
514220AD0880	MAK,BING
514220AD0890	FRANCO,ALTAGRACIA & NICANOR
514220AD0900	MARLIN,KEVIN
514220AD0910	MIZRAHI,SHULAMIT H/EMIZRAHI,DAVID & MIZRAHI,A
514220AD0920	ORTEGA-CUBAS,MARIACUBAS,LUIS C
514220AD0930	CADENA,INES J
514220AD0940	BLANCO,BEATRIZ
514220AD0950	RUBAJA,EDUARDO
514220AD0960	LI,XIN
514220AD0970	KARLIN,GABRIELROSEN,ANDREA & KARLIN,MICHAEL
514220AD0980	A GARCIA,SONIA

514220AD0990	KLAGGE,JANET ZETTLER
514220AD1000	GONZALES,YANENT
514220AD1010	GINSBERG,MARC A
514220AD1020	BUCHMAN,BRANDIBUCHMAN,BRIAN &
514220AD1030	BUCHMAN,BRAD
514220AD1040	DESROSIERS,NICOLELEMAIRE,YVAN
514220AD1050	WRIGHT,ELLEN
514220AD1060	CASTRILLON,SEBASTIAN
514220AD1070	CIOBOTARU,ALEXANDRU H/ECURUMI,VERONICA
514220AD1080	KRAMER,F S
514220AD1090	FISHMAN,ELIA H/EFISHMAN,DANIEL
514220AD1100	VEGA VASQUEZ,IVANGONZALES VILCHEZ,MIRIAM
514220AD1110	CAROLINA
514220AD1120	GREGORI,NINEL
514220AD1130	SEIDNER,ARLENE
514220AD1140	RIVERA,ANTONIO A
514220AD1150	RODRIGUEZ,IRMA A
514220AD1160	DEPAOLA,ONA
514220AD1170	JAFFE,ALLISON
514220AD1180	ABOUSAEDI,HOSSEIN
514220AD1190	SALPINO,THERESA
514220AD1200	LORUSSO,RAUL ARTURO
514220AD1210	DOWNS,COSTEN & OLGA
514220AD1220	RAYMONDO,DANADANA RAYMONDO REV TR
514220AD1230	FREEHLING,THOMAS A
514220AD1240	HOLMES,YVONNE V
514220AD1250	JIMENEZ,ROBERTSANCHEZ,JORGE S
514220AD1260	CORBITT,DONNA M
514220AD1270	TORRES,LEONARD H/EVILLA HINCAPIE,GLORIA
514220AD1280	PATRICIA
514220AD1290	EIBESCHITZ,RANDEE
514220AD1300	MENDEZ,JONATHAN
514220AD1310	FOSTER,SCOTT S
514220AD1320	WEISS,JOAN S
514220AD1330	EFFRON,CANDACE W
514220AD1340	STIVARIUS,JANE
514220AD1350	DINUNZIO,MARY LDINUNZIO,LOUISE
514220AD1360	SANDERS-HELBIG,CORINNESANDERS,ANN &
514220AD1370	HELBIG,CLAUDE
514220AD1380	DE PASQUALE,CONCETTA H/EDE PASQUALE,DANE
	ETAL
	DANA RAYMONDO REV LIV TRRAYMONDO,DANA
	TRSTEE
	CRESPO,LAURA
	SHEINKIN,JOHANNA
	WEINBERG,CAROLYN

514220AD1390	DELPRETE,CARL JDELPRETE,ANGELA
514220AD1400	SHUMKLER,IZABELLA
514220AD1410	PICCOLO,ANITA H/EORLOWSKY,SCOTT
514220AD1420	LI,HONG
514220AD1430	DEMSKI,OLEG
514220AD1440	VELASQUEZ,ALFREDO & MARIA L
514220AD1450	BALLICA,MURAT & LUCILLE
514220AD1460	SEIFERTH,FLORENCE MARIA
514220AD1470	PETROPOULOS,CONSTANTIN & DOROTHY
514220AD1480	PEREZ,HECTOR F
514220AD1490	ZALUT,STEPHEN
514220AD1500	RAMOS,JOSE AGARCIA,MIRIAM R
514220AD1510	ABRAHAM,CECELIA K
514220AD1520	CICERO,ELIZABETH
514220AD1530	COLOMBO,EMELDA AMADOEMELDA A COLOMBO REV TR
514220AD1540	GERARDO,SHARON LEE & ADRIAN P
514220AD1550	SANDLER,PEDRO
514220AD1560	CANCEL,THEODOREASTACIO-CANCEL,JOSIE
514220AD1570	NOCCO,MARYELLENNOCCO,LAUREN
514220AD1580	PRUS,EDUARDO FABIAN
514220AD1590	SHIELS,BRIAN H
514220AD1600	DOBRY,SARA
514220AD1610	ACOSTA,MIRTA GUIOMAR
514220AD1620	RODRIGUEZ,RICARDO EDUARDO
514220AD1630	RIVERA,BRUNILDAWRIGHT,ERNEST III
514220AD1640	FIELD,CHERYLL A
514220AD1650	GOLDBERG,SUE H/EGOLDBERG,SCOTT & BEHRENS,JILL
514220AD1660	BARRERA,ANDREW
514220AD1670	PRIGMORE,LESLEY & SHARON

514220AD1680	WOLDER,BARRY E
514220AD1690	WEISSMAN,CAROLINE M H/EJOEL & CAROLINE WEISSMAN REV TR
514220AD1700	VASQUEZ,MARIA TERESA LEVINE,PATRICIA & LEVINE,JEFFREY
514220AD1710	DAIGNEAULT,GUY LAMOTHE,LORRAINE
514220AD1720	GOZLAN,MALI
514220AD1730	HIBBERT,GALE
514220AD1740	FREDERICK,GABRIELA M
514220AD1750	HASIMI,KRISANTHI
514220AD1760	CONRAD,LARRY D
514220AD1770	BERRY,MARIA WILLIAMSON,TOMAS EDUARDO
514220AD1780	RODRIGUEZ,ANGELA
514220AD1790	MEDEIROS,ROMANA
514220AD1800	ORDONEZ,ALVARO
514220AD1810	ARDEN,FERN
514220AD1820	BECK,MARY E EST
514220AD1830	MELOTTI,JOANNE E
514220AD1840	DAVIS,FRANCIS G JR & ANGELA
	CITY OF HOLLYWOOD DEPT. OF PLANNING & DEVELOPMENT SERVICES PO BOX 229045 HOLLYWOOD FL 33022-9045 City of Hollywood 2600 Hollywood Boulevard Hollywood, FL 33020-4807 City of Hollywood 2600 Hollywood Boulevard Hollywood, FL 33020-4807 City of Hollywood 2600 Hollywood Boulevard Hollywood, FL 33020-4807 City of Hollywood 2600 Hollywood Boulevard Hollywood, FL 33020-4807
Josh Levy, Mayor	
Caryl S. Shuham, Commissioner District 1	
Peter Hernandez, Commissioner District 2	
Traci L. Callari, Commissioner District 3	

Adam Gruber, Commissioner District 4	City of Hollywood 2600 Hollywood Boulevard Hollywood, FL 33020-4807
Kevin D. Biederman, Commissioner District	City of Hollywood 2600 Hollywood Boulevard Hollywood, FL 33020-4807
Linda Sherwood, Commissioner District 6	City of Hollywood 2600 Hollywood Boulevard Hollywood, FL 33020-4807
	Park East Civic Association c/o Brenda Livingston, Secretary 3157 Johnson Street Hollywood FL 33021

ADDRESS_LI	CITY	STATE	ZIP	ZIP4
8 THE GREEN STE A	DOVER	DE	19901	
3701 GREENWAY DR	HOLLYWOOD	FL	33021	
PO BOX 613575	MIAMI	FL	33261	3575
3685 GREENWAY DR	HOLLYWOOD	FL	33021	
1504 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1518 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1526 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1548 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1576 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1596 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1612 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1636 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1654 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1668 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1682 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1694 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1685 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1675 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1665 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1645 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1625 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1605 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1595 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1573 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1541 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1515 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1503 TRAILHEAD TER	HOLLYWOOD	FL	33021	

4600 HIILLCREST DR	HOLLYWOOD	FL	33021	
4600 HIILLCREST DR	HOLLYWOOD	FL	33021	
4600 HIILLCREST DR	HOLLYWOOD	FL	33021	
4600 HIILLCREST DR	HOLLYWOOD	FL	33021	
4600 HIILLCREST DR	HOLLYWOOD	FL	33021	
8785 SW 165 AVE #200	MIAMI	FL	33193	
1101 BEN TOBIN DR	HOLLYWOOD	FL	33021	
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301	1801
115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301	1801
3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421
696 NE 125 ST	NORTH MIAMI	FL	33161	
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
2550 MIAMI RD	FORT LAUDERDALE	FL	33316	3974
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
4151 SW 131 AVE	DAVIE	FL	33330	
3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421

3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421
3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	3421
115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301	1801
115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301	1801
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
12629 NEW BRITTANY BLVD #16	FORT MYERS	FL	33907	
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
3111 STIRLING RD	FORT LAUDERDALE	FL	33312	6566
2001 ROSS AVE, STE 3400	DALLAS	TX	75201	
4045 SHERIDAN AVE STE 221	MIAMI BEACH	FL	33140	
3111 STIRLING RD	FORT LAUDERDALE	FL	33312	6566

3111 STIRLING RD	FORT LAUDERDALE	FL	33312	6566
3111 STIRLING RD	FORT LAUDERDALE	FL	33312	6566
315 N FEDERAL HWY	HOLLYWOOD	FL	33020	4616
2 MANHATTANVILLE RD STE 401	PURCHASE	NY	10577	2118
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807
2 MANHATTANVILLE RD STE 401	PURCHASE	NY	10577	2118
2 MANHATTANVILLE RD STE 401	PURCHASE	NY	10577	2118
2600 HOLLYWOOD BLVD #212	HOLLYWOOD	FL	33020	4807
10117 PRINCESS PALM AVE STE 100	TAMPA	FL	33610	8303
3150 SW 52 AVE	PEMBROKE PARK	FL	33023	5413
1800 WAZEE ST #500	DENVER	CO	80202	
PO BOX 12913	SHAWNEE MISSION	KS	66282	2913

17800 NW MIAMI CT	MIAMI	FL	33160	
3150 SW 52 AVE	PEMBROKE PARK	FL	33023	5413
1695 TRAILHEAD TER	HOLLYWOOD	FL	33021	
1705 TRAILHEAD TER	HOLLYWOOD	FL	33021	
4600 HILLCREST DR	HOLLYWOOD	FL	33021	
12629 NEW BRITTANY BLVD #16	FORT MYERS	FL	33907	
3800 HILLCREST DR #101	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #102	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #103	HOLLYWOOD	FL	33021	
8220 N NEW ENGLAND AVENUE	NILES	IL	60714	
3800 HILLCREST DRIVE #106	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #108	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #110	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #112	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR UNIT 114	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #116	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #117	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 119	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR APT 120	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #121	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR APT 122	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 123	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #201	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #202	HOLLYWOOD	FL	33021	7937

3800 HILLCREST DR #203	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR # 204	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #206	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 208	HOLLYWOOD	FL	33021	7937
2576 WILBURN TER	NORTH PORT	FL	34288	
3601 STARBOARD AVE	COOPER CITY	FL	33026	1367
3800 HILLCREST DR #212	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 214	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 215	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 216	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 217	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #218	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #219	HOLLYWOOD	FL	33021	7937
32 HARVEST POINTE LN	CUTCHOGUE	NY	11935	2345
3800 HILLCREST DR #221	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR APT 222	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DRIVE #223	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #301	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 302	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 303	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR UNIT 304	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #305	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #306	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #307	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR # 308	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #309	HOLLYWOOD	FL	33021	7976
3800 HILLCREST DR #310	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #311	HOLLYWOOD	FL	33021	7937

3800 HILLCREST DR #312	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #314	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #315	HOLLYWOOD	FL	33021	
16 REGENCY CT	MONROE TWP	NJ	08831	2548
3800 HILLCREST DR UNIT 317	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #318	HOLLYWOOD	FL	33021	
33 JAMES ST	NEW CITY	NY	10956	
3800 HILLCREST DR #320	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DRIVE #321	HOLLYWOOD	FL	33021	
4225 WINE COUNTRY CT	NAPA	CA	94558	
3800 HILLCREST DR APT 323	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #401	HOLLYWOOD	FL	33021	7976
2873 DICKSON	*MONTREAL QC	CA	H1N 2	J6
600 THREE ISLANDS BLVD #204	HALLANDALE BEACH	FL	33009	
3800 HILLCREST DR #404	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 405	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR APT 406	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR APT 407	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #408	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #409	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #410	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #411	HOLLYWOOD	FL	33021	7937
200 PARK RD #B7	BAYONNE	NJ	07002	
3800 HILLCREST DR #414	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #415	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 416	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 417	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR APT 418	HOLLYWOOD	FL	33021	7937

1054 S RIMWOOD DR	ANAHEIM	CA	92807	
3800 HILLCREST DR # 420	HOLLYWOOD	FL	33021	7937
1054 SOUTH RIMWOOD DR	ANAHEIM	CA	92807	
3800 HILLCREST DR #422	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #423	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #501	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #502	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR #503	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #504	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #505	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #506	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #507	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #508	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 509	HOLLYWOOD	FL	33021	7937
3800 HILLCREST DR # 510	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 511	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #512	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #514	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #515	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #516	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #517	HOLLYWOOD	FL	33021	
15 LAURAS COVE LN	MURPHY	NC	28906	4417
3800 HILLCREST DR #519	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #520	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #521	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #522	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR UNIT 523	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 601	HOLLYWOOD	FL	33021	7938

3800 HILLCREST DR #602	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #603	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR UNIT 604	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT. 605	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #606	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #607	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #608	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #609	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #610	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #611	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #612	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR UNIT 614	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #615	HOLLYWOOD	FL	33021	7938
149 E INLET DR	PALM BEACH	FL	33480	
3800 HILLCREST DR #617	HOLLYWOOD	FL	33021	
12 BOTANY LN	STONY BROOK	NY	11790	
3800 HILLCREST DR #619	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #620	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR # 621	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 622	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #623	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #701	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR # 702	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #703	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #704	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 705	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #706	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #707	HOLLYWOOD	FL	33021	

3800 HILLCREST DR #708	HOLLYWOOD	FL	33021	
24 SALT CREEK AVE	*RICHMOND HILL ON CA		L4S 1	R2
3800 HILLCREST DRIVE #710	HOLLYWOOD	FL	33021	
3800 HILLCREST DR 711	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #712	HOLLYWOOD	FL	33021	7976
3800 HILLCREST DR #714	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #715	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #716	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 717	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #718	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #719	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #720	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #721	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #722	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #723	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #801	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR #802	HOLLYWOOD	FL	33021	
99 HILLSIDE AVE APT 12J	NEW YORK	NY	10040	2721
3800 HILLCREST DR #804	HOLLYWOOD	FL	33021	7938
1955 NW 112 AVE	CORAL SPRINGS	FL	33071	
3800 HILLCREST DR #806	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR UNIT 807	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 809	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #810	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 811	HOLLYWOOD	FL	33021	7938
3800 HILLCREST DR UNIT 812	HOLLYWOOD	FL	33021	7938
PO BOX 816682	HOLLYWOOD	FL	33081	
3800 HILLCREST DR #815	HOLLYWOOD	FL	33021	

3800 HILLCREST DR #816-8	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 819	HOLLYWOOD	FL	33021	7938
170 AVENUE C APT 17B	NEW YORK	NY	10009	4263
3800 HILLCREST DR #821	HOLLYWOOD	FL	33021	7976
3800 HILLCREST DRIVE #822	HOLLYWOOD	FL	33021	
63 CARRIAGE PL	EDISON	NJ	08820	
3800 HILLCREST DR #901	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #902	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR #903	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 904	HOLLYWOOD	FL	33021	
3800 HILLCREST DR # 905	HOLLYWOOD	FL	33021	
2525 BATCHELDER ST #6B	BROOKLYN	NY	11235	
3800 HILLCREST DR #907	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR #910	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR #911	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #912	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #914	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #915	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 916	HOLLYWOOD	FL	33021	7939
847 RANG TOUT DE JOIE	*WOBURN QC	CA	G0Y 1	R0
3800 HILLCREST DR #920	HOLLYWOOD	FL	33021	
1 INTERNATIONAL BLVD #900	MAHWAH	NJ	07495	
3800 HILLCREST DR #922	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #923	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1001	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1002	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR # 1003	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1004	HOLLYWOOD	FL	33021	7976

3800 HILLCREST DR #1005	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1006	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR #1007	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1010	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1011	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR APT 1012	HOLLYWOOD	FL	33021	7939
3800 HILLSCREST DR #1014	HOLLYWOOD	FL	33021	7939
3800 HILLCREST DR #1015	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1016	HOLLYWOOD	FL	33021	7976
3800 HILLCREST DR #1019	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1020	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1021	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR UNIT 1022	HOLLYWOOD	FL	33021	7940
424 91 ST	SURFSIDE	FL	33154	3127
3800 HILLCREST DR UNIT 1101	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1102	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR #1103	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1104	HOLLYWOOD	FL	33021	7940
136 SEAMAN AVE	ROCKVILLE CENTRE NY		11570	
3800 HILLCREST DR #1106	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1107	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR APT 1110	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR #1111	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR UNIT 1112	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR # 1114	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR #1115	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR #1116	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1119	HOLLYWOOD	FL	33021	

95 RUE DE CHAMBORD	*LEVIS QC	CA	G6J 2	B1
3800 HILLCREST DR APT 1121	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR APT 1122	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR APT 1123	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR UNIT 201	HOLLYWOOD	FL	33021	
3800 HILLCREST DR APT 1202	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR UNIT 1203	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR #1204	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR #1205	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1207	HOLLYWOOD	FL	33021	
5881 PTE TREMBLE RD	PEARL BEACH	MI	48001	
24 5 AVE STE 827	NEW YORK	NY	10011	
3800 HILLCREST DR #1211	HOLLYWOOD	FL	33021	
3800 HILLCREST DR #1212	HOLLYWOOD	FL	33021	
309 MAJOR MCKENZIE RD E 317	*RICHMOND HILL ON	CA	L4C 9	V5
899 RUE BERGERON	*SAINTE-THERESE Q	CA	J7E 4	W5
3800 HILLCREST DR #1216	HOLLYWOOD	FL	33021	
3800 HILLCREST DR UNIT 1219	HOLLYWOOD	FL	33021	7940
5709 SW 19 ST	WEST PARK	FL	33023	
3800 HILLCREST DR # 1222	HOLLYWOOD	FL	33021	7940
3800 HILLCREST DR #1223	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #102-4	HOLLYWOOD	FL	33021	
4001 HILLCREST DR # 106	HOLLYWOOD	FL	33021	
4001 HILLCREST DR # 108	HOLLYWOOD	FL	33021	
3217 S DECKER LAKE DR	SALT LAKE CITY	UT	84119	
4001 HILLCREST DR #112	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #114	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #115	HOLLYWOOD	FL	33021	7924

4001 HILLCREST DR #117	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #201	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR # 202	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #203	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #206	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #208	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #209	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR #210	HOLLYWOOD	FL	33021	
4001 HILLCREST DR APT 211	HOLLYWOOD	FL	33021	
4001 HILLCREST DR # 212	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #214	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #215	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #216	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #217	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR #301	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR APT 302	HOLLYWOOD	FL	33021	7924
6522 PEACEHAVEN DR	CHARLOTTE	NC	28214	
4001 HILLCREST DR #305	HOLLYWOOD	FL	33021	
4001 HILLCREST DR # 306	HOLLYWOOD	FL	33021	
4001 HILLCREST DR UNIT 307	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #308	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR # 309	HOLLYWOOD	FL	33021	
4001 HILLCREST DR # 310	HOLLYWOOD	FL	33021	
1580 6 ST	WEST BABYLON	NY	11704	
4001 HILLCREST DR APT 312	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR #314	HOLLYWOOD	FL	33021	
14716-30A AVE	*SURREY BC	CA	V4P 3	E6
4001 HILLCREST DR APT 316	HOLLYWOOD	FL	33021	

4001 HILLCREST DR #317	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR #401	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR #402-4	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #403	HOLLYWOOD	FL	33021	7960
4001 HILLCREST DR #405	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR UNIT 406	HOLLYWOOD	FL	33021	7924
3000 BRONX PARK E APT GR K	BRONX	NY	10467	
4001 HILLCREST DR #408-26	HOLLYWOOD	FL	33021	7960
4001 HILLCREST DR APT 409	HOLLYWOOD	FL	33021	7924
4001 HILLCREST DR #410	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #411	HOLLYWOOD	FL	33021	
4001 HILLCREST DR APT 412	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR #414	HOLLYWOOD	FL	33021	
1833 S OCEAN DR #1001	HALLANDALE BEACH	FL	33009	
4001 HILLCREST DR #416	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR #417	HOLLYWOOD	FL	33021	
3241 N 36 ST	HOLLYWOOD	FL	33021	2633
4001 HILLCREST DR #502-4	HOLLYWOOD	FL	33021	7960
4001 HILLCREST DR #503	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #505	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR UNIT 506	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR #507-26	HOLLYWOOD	FL	33021	7960
1754 JACQUES LEMAISTRE AVE	*MONTREAL QC	CA	H2M 2	C6
4001 HILLCREST DR UNIT 509	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR #510	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #511	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR #512	HOLLYWOOD	FL	33021	7925

4001 HILLCREST DR #514	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #515	HOLLYWOOD	FL	33021	
4001 HILLCREST DR UNIT 517	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #601	HOLLYWOOD	FL	33021	7925
108 HEATHERBROOK WAY	HOLLYWOOD	FL	33021	2911
4001 HILLCREST DR UNIT 603	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #605	HOLLYWOOD	FL	33021	
11291 PATRICK CT	FRANKFORT	IL	60423	
4001 HILLCREST DR UNIT 607	HOLLYWOOD	FL	33021	7925
4001 HILLCREST DR #608	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #609	HOLLYWOOD	FL	33021	
34 SIMPSON RD	BRIARCLIFF MANOR	NY	10510	
4001 HILLCREST DR #611	HOLLYWOOD	FL	33021	
4001 HILLCREST DR UNIT 612	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #614	HOLLYWOOD	FL	33021	
4001 HILLCREST DR # 615	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #616	HOLLYWOOD	FL	33021	
4001 HILLCREST DR APT 617	HOLLYWOOD	FL	33021	7925
21 DREYER AVE	STATEN ISLAND	NY	10314	
4001 HILLCREST DR #702	HOLLYWOOD	FL	33021	7925
61-33 160 ST	FRESH MEADOWS	NY	11365	
4001 HILLCREST DR #705	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #706	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #707	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #708	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #709	HOLLYWOOD	FL	33021	
PETEN 317 LAS COUDES	*SANTIAGO	CL	7591	100
4001 HILLCREST DR APT 711	HOLLYWOOD	FL	33021	7926

4001 HILLCREST DR #712	HOLLYWOOD	FL	33021	7926
20075 NE 21 AVE	MIAMI	FL	33179	2823
5302 NW 55 TER	COCONUT CREEK	FL	33073	3766
4001 HILLCREST DR APT 717	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #801-3	HOLLYWOOD	FL	33021	
4001 HILLCREST DR UNIT 804	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #805	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #806	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #807	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #808	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #809	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #810	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #811	HOLLYWOOD	FL	33021	
83-20 98 ST #4J	WOODHAVEN	NY	11421	
4001 HILLCREST DR UNIT 814	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #815	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR #816	HOLLYWOOD	FL	33021	
4001 HILLCREST DR UNIT 817	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #901-3	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #902	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR UNIT 905	HOLLYWOOD	FL	33021	7926
4001 HILLCREST DR APT 906	HOLLYWOOD	FL	33021	7926
14 MULBERRY LN # 14	AVON	CT	06001	4525
4001 HILLCREST DR #908	HOLLYWOOD	FL	33021	7926
89 CHEMIN DU LAC A L'OURS	*ST-HIPPOLYTE QC	CA	J8A 3	J2
4001 HILLCREST DR #910	HOLLYWOOD	FL	33021	
16 SAMANTHAS WAY	PITTSFORD	NY	14534	
1 OLD MILL DR SUITE GPH4	*TORONTO ON	CA	M6S 0	A1

4001 HILLCREST DR UNIT 914	HOLLYWOOD	FL	33021	
4001 HILLCREST DR UNIT 915	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #916	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #917	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1001	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1002	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1005	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1006	HOLLYWOOD	FL	33021	7977
4001 HILLCREST DR #1007	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1008	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DRIVE #1009	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1010	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1011	HOLLYWOOD	FL	33020	
4001 HILLCREST DR #1012	HOLLYWOOD	FL	33021	
4001 HILLSCREST DR #1014	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1015	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR APT 1016	HOLLYWOOD	FL	33021	7927
11 MITCHELL GRANT WAY	BEDFORD	MA	01730	1200
4001 HILLCREST DR #1101	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1102	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR UNIT 1105	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1106	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1107	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1108	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1109	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR APT 1110	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1111	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1112	HOLLYWOOD	FL	33021	7927

4001 HILLCREST DR #1114	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1115	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR UNIT 1116	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR UNIT 1117	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #PH1-3	HOLLYWOOD	FL	33021	
350 PRINCE ARTHUR WEST UNIT 250(*MONTREAL QC	CA		H2X 3	R4
4001 HILLCREST DR #PH5	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1206	HOLLYWOOD	FL	33021	7960
4001 HILLCREST DR #1207	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1208	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #1209	HOLLYWOOD	FL	33021	
4001 HILLCREST DR PH 1210	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #PH11	HOLLYWOOD	FL	33021	
4001 HILLCREST DR #PH12	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR PH14-16	HOLLYWOOD	FL	33021	7960
4001 HILLCREST DR #1215	HOLLYWOOD	FL	33021	7927
4001 HILLCREST DR #1217	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #102	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #104	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #106	HOLLYWOOD	FL	33021	
2 LEWARD LN	BRONX	NY	10464	
3850 WASHINGTON ST # 110	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 112	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #114	HOLLYWOOD	FL	33021	
3129 S OCEAN DR #107	HALLANDALE BEACH	FL	33009	
3850 WASHINGTON ST #116	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #117	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #201	HOLLYWOOD	FL	33021	7354

3850 WASHINGTON ST # 202	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #203	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #204	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #206	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #208	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 209	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #210	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #211	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #212	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 214	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #215	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #216	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST # 217	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST UNIT 301	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #302	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #303	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST 304	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 305	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #306	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #307	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #308	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #309	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #310	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #311	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST # 312	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #1017	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #315	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #316	HOLLYWOOD	FL	33021	7300

3850 WASHINGTON ST #317	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #401	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #402	HOLLYWOOD	FL	33021	
4721 N 31 CT	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #404	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #405	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #406	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #407	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #408	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #409	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST APT 410	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #411	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST # 412	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #414	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #415	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #416	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST UNIT 417	HOLLYWOOD	FL	33021	7354
3850 WASHINGTON ST #501	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #502	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #503	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #504	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #505	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #506	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #507	HOLLYWOOD	FL	33021	
8 ROBBIE CT	MORGANVILLE	NJ	07751	
2840 LONG WAY	EASTON	PA	18040	
3850 WASHINGTON ST #510	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #511	HOLLYWOOD	FL	33021	7355

3850 WASHINGTON ST UNIT #512	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #514	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #515	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #516	HOLLYWOOD	FL	33021	
202 DIAMOND SPRING DR	MONROE	NJ	08821	
3850 WASHINGTON ST # 601	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #602	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #603	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST UNIT 604	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #605	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 606	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST APT 607	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #608	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST APT 609	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #610	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST UNIT 611	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #612	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 614	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 615	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #616	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #617	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST APT 701	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #702	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST APT 703	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #704	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #705	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #706	HOLLYWOOD	FL	33021	7355
3850 WASHINGTON ST #707	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #708	HOLLYWOOD	FL	33021	
317 SUNNYSIDE AVE	*OTTAWA ON	CA	K1S 0	R9
3850 WASHINGTON ST #710	HOLLYWOOD	FL	33021	7355

18 PARKLAND LN	ACTON	MA	01720	3401
3850 WASHINGTON ST #712	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #714	HOLLYWOOD	FL	33021	7355
5869 BLAINE DR	ALEXANDRIA	VA	22303	
3850 WASHINGTON ST #716	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #717	HOLLYWOOD	FL	33021	7355
4920 MONROE ST	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #802	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST # 803	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #804	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #805	HOLLYWOOD	FL	33021	
1419 CECILIA AVE	CORAL GABLES	FL	33114	
3850 WASHINGTON ST #807	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #808	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #809	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #810	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #811	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #812	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #814	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #815	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #816	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #817	HOLLYWOOD	FL	33021	7356
PO BOX 220197	HOLLYWOOD	FL	33022	0197
3850 WASHINGTON ST #902	HOLLYWOOD	FL	33021	7300
3850 WASHINGTON ST #903	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #904	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #905	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #906	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #907	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #908	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #909	HOLLYWOOD	FL	33021	7300
3850 WASHINGTON ST #910	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #911	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST APT 912	HOLLYWOOD	FL	33021	7356
1637 RUE GRATTON	*LAVAL QC	CA	H7W 2	X7
3850 WASHINGTON ST UNIT 915	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #817	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #917	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1001	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST APT 1002	HOLLYWOOD	FL	33021	7356

59 SCHOOLSIDE DR	SCOTT TOWNSHIP	PA	18433	
3850 WASHINGTON ST #1004	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 1005	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1006	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #1007	HOLLYWOOD	FL	33021	7356
3850 WASHINGTON ST #1008	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1009	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST # 1010	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1011	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1012	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST APT 1014	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #1015	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1016	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1017	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #1101	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #1102	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #1103	HOLLYWOOD	FL	33021	
120 DEHAVEN DR #428	YONKERS	NY	10703	
2250 BRIGHAM ST #1B	BROOKLYN	NY	11229	6121
3850 WASHINGTON STREET #1106	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1107	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1108	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #1109	HOLLYWOOD	FL	33021	7357
461 SW 176 AVE	PEMBROKE PINES	FL	33029	
3850 WASHINGTON ST #1111	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST # 1112	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 1114	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #1115	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST APT 1116	HOLLYWOOD	FL	33021	

2953 CARLYLE RD	WANTAGH	NY	11793	
3850 WASHINGTON ST #1201	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #PH-2	HOLLYWOOD	FL	33021	7300
3685 RUE LABELLE	*SAINT HUBERT QC	CA	J3Y 8	A2
3850 WASHINGTON ST #1204	HOLLYWOOD	FL	33021	7357
3850 WASHINGTON ST #1205	HOLLYWOOD	FL	33021	7357
5765 PARKSTONE CROSSING DR	JACKSONVILLE	FL	32258	
3850 WASHINGTON ST #1207	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST # PH-8	HOLLYWOOD	FL	33021	7300
3850 WASHINGTON ST APT. 1209	HOLLYWOOD	FL	33021	
3850 WASHINGTOIN ST #PH10	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #PH11	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #PH12	HOLLYWOOD	FL	33021	
15 W 84 ST	NEW YORK	NY	10024	
3850 WASHINGTON ST #PH15	HOLLYWOOD	FL	33021	7300
3850 WASHINGTON ST #PH-16	HOLLYWOOD	FL	33021	
3850 WASHINGTON ST #PH17	HOLLYWOOD	FL	33021	7357

LEGAL

HILLCREST COUNTRY CLUB SOUTH183-125 BLOT
362AKA: PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BLOT
363AKA: PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BLOT
364AKA: PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BLOT
365AKA: PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BLOT
366AKA: PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BLOT
367AKA: PARKVIEW AT HILLCREST
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368AKA: PARKVIEW AT HILLCREST
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369AKA: PARKVIEW AT HILLCREST
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370AKA: PARKVIEW AT HILLCREST
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371AKA: PARKVIEW AT HILLCREST
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372AKA: PARKVIEW AT HILLCREST
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373AKA: PARKVIEW AT HILLCREST
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374AKA: PARKVIEW AT HILLCREST
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375AKA: PARKVIEW AT HILLCREST
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376AKA: PARKVIEW AT HILLCREST
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383AKA: PARKVIEW AT HILLCREST
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384AKA: PARKVIEW AT HILLCREST
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385AKA: PARKVIEW AT HILLCREST
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386AKA: PARKVIEW AT HILLCREST
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387AKA: PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BLOT
388AKA: PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BLOT
389AKA: PARKVIEW AT HILLCREST

HILLCREST COUNTRY CLUB SOUTH183-125 BTR
RAKA: PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BTR
OS-6AKA: PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BTR
OS-10AKA: PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BTR
OS-11AKA: PARKVIEW AT HILLCREST
HILLCREST COUNTRY CLUB SOUTH183-125 BTR
OS-16AKA: PARKVIEW AT HILLCREST

HILLCREST COUNTRY CLUB SOUTH183-125 BTR
W-6AKA: PARKVIEW AT HILLCREST
HILLWOOD SEC THREE 69-10 BPOR BLK 9 DESC
AS BEG NE COR BLK9,S 95.47,SW ALG CUR
151.84,SWLY111.23,N 242.63,ELY 190 TO
POBLESS N 30 FOR RD

20-51-42SW1/4 OF NE1/4 OF NW1/4 LYINGW OF
RD R/W & E1/2 OF SE1/4 OFNW1/4 OF NW1/4

20-51-42N 35 OF W1/2 OF E1/2 OF SW1/4SEC 20
AND N 35 OF NE1/4 OFNW1/4 OF SW 1/4 SEC 20

20-51-42N 35 OF NE1/4 OF NE1/4 OF SW1/4SEC 20

20-51-42S 15 OF N 50 OF N 50 OF NW1/4OF NE1/4
OF SW1/4 AND THE S 15OF N 50 OF NE1/4 OF
NW1/4 OFSW1/4 SEC 20AKA:PARCEL 159

20-51-42COMM AT SE COR OF SW1/4 OF
NW1/4NLY 50 TO POB,CONT NLY 653.5,SW
51.20,SW 102,SW 146,SE 8.76,SW 446 TO PT ON
N/R/W/L OFPEMBROKE RD,E 340 TO POB

20-51-42NW1/4 OF SE1/4 OF NW1/4 LESSLOT 2
BLK 1 HOLLYWOOD GOLF HTS &LESS PT LOT 11
BLK 3 HOLLYWOODGOLF HTS LYING THEREIN &
LESSRD R/W & PT OF NE1/4 OF SE1/4OF NW1/4
LYING W OF RD R/W ASDESC IN OR 1553/55

20-51-42E1/2 OF SW1/4 OF SE1/4 OF NW1/4LESS
S 50 FOR RD & W1/2 OF SE1/4OF SE1/4 OF NW1/4
LESS PT LYINGE OF E/L S 34 AVE & LESS S
50FOR RD R/W

20-51-42E1/2 OF W1/2 OF SW1/4 OF SE1/4OF
NW1/4 LESS S 50 FOR RD

20-51-42W1/2 OF W1/2 OF SW1/4 OF SE1/4OF
NW1/4 LESS S 50 FOR RD

20-51-42N 160 OF S 210 OF W1/2 OF SE1/4OF
SE1/4 OF NW1/4 LYING E OF E/L S 34 AVE LESS E
30 & LESS PAR124 DESC IN OR 20378/78 FOR
R/W

20-51-42S 15 OF N 50 OF NE1/4 OF NE1/4OF
SW1/4 SEC 20AKA:PARCEL NO.163

20-51-42PART OF SW1/4 SEC 20 DESC AS:COMM
SW COR SEC 20,N 2671.52,NE494.57,SE 50 TO
POB,NE 507.45,SE7.98,WLY 7.39,WLY 500.08 TO
POBAND PART OF SW1/4 SEC 20 DESC ASCOMM
SW COR SEC 20,N 2671.52,NE17.30,SE 40.25 TO
POB,SW 24.05,N 17.02,NE 17.02,NE 17.08 TO
POBAKA:PARCEL 123.1R

20-51-42PART OF SW1/4 SEC 20 DESC AS:COMM
AT SW COR SEC 20,N 2671.52,NE 1002.02,S 50 TO
POB,S 7.98,ELY 492.67,NE 613.44,NLY
11.43,N4.13,SW 1104.60 TO POBAKA:PARCEL NO
125

20-51-42PART OF NE1/4 OF SW1/4 AND
THENW1/4 OF SE1/4 SEC 20 DESC AS:COMM AT
FOUND R R SPIKE IN SWCOR SEC 20,N
2671.52,NE 2132.72SE 50 TO POB,SE 1.89,SLY
13.68,NE 54.43,ELY 400.11,ELY 400.11,SW 855.87
TO POBAKA:PARCEL NO 126

20-51-42 PART OF NE1/4 OF NE 1/4OF SW 1/4 SEC
20 DESC AS:COMM NWCOR OF SW 1/4 SEC 20,NE
2106.62,SE 50 TO POB,NE 26.10,SE 1.89,SLY
13.68,SW 26.12,NLY 11.43,NW4.13 TO POBAKA:
PARCEL NO.138

20-51-42 POR OF S/2 SEC 20 DESCAS:COMM AT
NW COR OF SW 1/4 SEC20,NE 1710.15,SE 65.62
TO POB,NE333.73,SW 10.66,SE 4.46,SW277.65,NW
50 TO POB

MEEKINS BAMMAN PLAT 163-4 BPOR PARCEL A
DESC AS:COMM AT NECOR PAR A,WLY 7.39,WLY
89.55 TOPOB,S 12,WLY 9.23,NWLY 14.28,ELY1.88
TO POB

MEEKINS BAMMAN PLAT 163-4 BPOR PARCEL A
DESC AS:COMM AT NECOR PAR A,WLY 7.39,WLY
91.43 TOPOB,SWLY 14.28,WLY 13.54,N 12,ELY
21.10 TO POB

HOLLYWOOD GOLF HEIGHTS 11-13 BLOT 2 BLK 1
HOLLYWOOD GOLF HEIGHTS 11-13 BLOT 11
LYING E OF RD R/W BLK 3
HOLLYWOOD GOLF HEIGHTS 11-13 BLOT 11
LYING W OF RD R/W BLK 3

ORANGEBROOK HILLS 68-29 BBLK A LESS N 411
ORANGEBROOK HILLS 68-29 BN 191.53 OF TRACT
A

ORANGEBROOK HILLS 68-29 BPART OF BLK A
DESC'D AS,COMM ATSE COR BLK A,NLY ALG E/L
296.68TO POB,WLY PARA WITH N/L 126.55,NLY
PARA WITH W/L 155.89,ELY126.52 TO PT ON
E/L,SLY ALG SAMEFOR 155.89 TO POB
ORANGEBROOK HILLS 68-29 BTHE N 411 LESS N
191.53 & LESSE 126.55 OF BLK A

ORANGEBROOK HILLS 68-29 BPOR BLK A DESC
AS E 126.55 OF S 63.58 OF N 411 OF SAID TR
ORANGEBROOK HILLS 68-29 BBLK B LESS E
96.08

ORANGEBROOK HILLS 68-29 BBLK B E 96.08 &
BLK CFKA: ALVARADO TOWERS CONDO

ORANGEBROOK HILLS 68-29 BALL BLK D, LESS
BEG AT SW COR OF BLK D, E 53.30, NELY
649.11, CONTNELY 100.29 TO PT ON N/L BLK
D, WLY 390.59, WLY & SLY ARC DIST 39.05, SLY
617.81 TO POBAKA: PART OF REFERENCE #56
PROPERTY

ORANGEBROOK HILLS 68-29 BPT OF BLK D DESC
AS, COMM AT SW COR BLK D, NLY 229.43 TO
POB, NELY ARC DIST 305.12 TO P/R/C, NLY & WLY
177.39 TO P/C/C, WLY ARC DIST 59.81, SWLY ARC
DIST 39.05, SLY 388.38 TO POB AKA PAR 5 OF OR
7022/817

ORANGEBROOK HILLS 68-29 BPOR BLK D DESC
AS: BEG SW COR BLK D, N 299.43 ALG W/L, NELY
305.12 TO PI ON CUR, NWLY 177.39, WLY 59.81, E
390.59, SWLY 749.40, W 53.30 TO POBAKA: PARK
ROAD R/W PARCEL 1 (REV)

20-51-42 POR NW 1/4 OF SEC 20 DESC AS: COMM
NE COR OF NW 1/4 OF SAID SEC, W 710, S 672.64
M/L ALGS 35 AVE CENTER LINE, E 25 TO POBE
10, E 53.40, SLY 333.74, N 109.19, NLY 128.02, N 94.99
TO POB

ORANGEBROOK HILLS 68-29 BALL BLK
EAKA: PART OF REFERENCE #56 PROPERTY
PARK LANE PLAZA 131-16 B PARCEL A
PARK LANE PLAZA 131-16 BR/W PER PLAT FOR
PERPETUAL USE OF PUBLIC
COCA-COLA PLAT 162-21 B PARCEL A
COCA-COLA PLAT 162-21 BR/W DEDICATED PER
PLAT 162-21 B

MEEKINS BAMMAN PLAT 163-4 B PARCEL A LESS
PORS DESC IN OR'S
30082/782; 30398/527, 30398/533 & 30398/539
& LESS OR 31079/1378 & LESS POR IN OR
32249/508, LESS OR 34367/679 & OR 36083/759

MEEKINS BAMMAN PLAT 163-4 BA POR OF PAR A
DESC AS: BEG AT NE COR SAID PAR A: S 358.92, W
29.85 TO P/C, NWLY AN ARC DIST OF 55.70; WLY &
NLY AN ARC DIST OF 60.90 TO P/T; N
234.76, NW 13.78 TO P/C; NELY AN ARC
DIST 20.48, ELY AN ARC DIST 91.43; ELY AN ARC
DIST OF 7.43 TO POB LESS PT DESC'D IN OR
31079/946

MEEKINS BAMMAN PLAT 163-4 BPORTION
PARCEL A DESC AS:COMM ATNE COR OF PAR
A,WLY 7.43,NWLY127.24,S 12 TO POB,CONT S
99.87,SE 41.19,SE 41.45,SE 69.40,SELY54.18,SE
17.01,W 176.68,N 317.49ELY 140.07 TO POB
MEEKINS BAMMAN PLAT 163-4 BRIGHT OF WAYS
DEDICATED PER PLAT163-4 B

HILLCREST COUNTRY CLUB SOUTHREPLAT 3 183-
365 BLOT 1CAKA: PARKVIEW AT HILLCREST

HILLCREST COUNTRY CLUB SOUTHREPLAT 3 183-
365 BLOT 2CAKA: PARKVIEW AT HILLCREST

HILLCREST COUNTRY CLUB SOUTHREPLAT 3 183-
365 BPARCEL CAKA: PARKVIEW AT HILLCREST

ORANGEBROOK ESTATES 183-510 BPARCEL A
HILLCREST EAST NO.25 CONDOUNIT 101PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 102PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 103PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 104PER
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HILLCREST EAST NO.25 CONDOUNIT 106PER
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HILLCREST EAST NO.25 CONDOUNIT 110PER
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HILLCREST EAST NO.25 CONDOUNIT 112PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 114PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 116 &
118PER CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 117PER
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HILLCREST EAST NO.25 CONDOUNIT 119PER
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CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 623PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 701PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 702PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 703PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 704PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 705PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 706PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 707PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 708PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 709PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 710PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 711PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 712PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 714PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 715PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 716PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 717PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 718PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 719PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 720PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 721PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 722PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 723PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 801PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 802PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 803PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 804PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 805PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 806 &
808PER CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 807PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 809PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 810PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 811PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 812PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 814PER
CDO BK/PG: 6230/28
HILLCREST EAST NO.25 CONDOUNIT 815 &
817PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 816 &
818PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 819PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 820PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 821PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 822PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 823PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 901PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 902PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 903PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 904PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 905PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 906 &
908PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 907 &
909PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 910PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 911PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 912PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 914PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 915 &
917PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 916 &
918PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 919PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 920PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 921PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 922PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 923PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1001PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1002PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1003PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1004PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1005PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1006 &
1008PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1007 &
1009PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1010PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1011PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1012PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1014PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1015 &
1017PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1016 &
1018PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1019PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1020PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1021PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1022PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1023PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1101PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1102PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1103PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1104PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1105PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1106 &
1108PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1107 &
1109PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1110PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1111PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1112PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1114PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1115 &
1117PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1116 &
1118PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1119PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1120PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1121PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1122PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1123PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1201PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1202PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1203PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1204 &
1206PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1205PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1207 &
1209PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1208PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1210PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1211PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1212PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1214PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1215 &
1217PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1216 &
1218PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1219 &
1221PER CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1220PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1222PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.25 CONDOUNIT 1223PER
CDO BK/PG: 6230/28

HILLCREST EAST NO.26 CONDOUNIT 102/104PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 106PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 108PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 110PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 112PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 114/116PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 115PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 117PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 201PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 202/204PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 203PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 206PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 208PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 209PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 210PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 211PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 212PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 214PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 215PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 216PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 217PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 301PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 302/304PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 303PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 305PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 306PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 307PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 308PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 309PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 310PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 311PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 312PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 314PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 315PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 316PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 317PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 401PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 402/404PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 403PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 405PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 406PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 407PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 408PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 409PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 410PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 411PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 412PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 414PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 415PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 416PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 417PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 501PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 502/504PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 503PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 505PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 506PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 507PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 508PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 509PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 510PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 511PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 512PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 514/516PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 515PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 517PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 601PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 602/604PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 603PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 605PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 606PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 607PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 608PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 609PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 610PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 611PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 612PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 614PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 615PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 616PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 617PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 701PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 702/704PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 703PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 705PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 706PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 707PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 708PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 709PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 710PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 711PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 712PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 714/716PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 715PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 717PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 801/803PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 802/804PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 805PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 806PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 807PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 808PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 809PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 810PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 811PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 812PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 814PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 815PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 816PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 817PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 901/903PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 902/904PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 905PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 906PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 907PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 908PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 909PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 910PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 911PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 912PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 914PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 915PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 916PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 917PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT
1001/1003PER CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT
1002/1004PER CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1005PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1006PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1007PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1008PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1009PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1010PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1011PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1012PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1014PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1015PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1016PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1017PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT
1101/1103PER CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT
1102/1104PER CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1105PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1106PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1107PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1108PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1109PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1110PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1111PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1112PER
CDO BK/PG: 8444/17

HILLCREST EAST NO.26 CONDOUNIT 1114PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1115PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1116PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT 1117PER
CDO BK/PG: 8444/17
HILLCREST EAST NO.26 CONDOUNIT
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CDO BK/PG: 8471/531

ATTACHMENT 3



PARK ROAD

PEDRO GASSANT, LOUIS BIRDMAN & ERIC METZ
HOLLAND & KNIGHT AND REPRESENTATIVES OF PARK ROAD DEVELOPMENT, LLC

PARK ROAD | SITE

LOCATION - CITY OF HOLLYWOOD



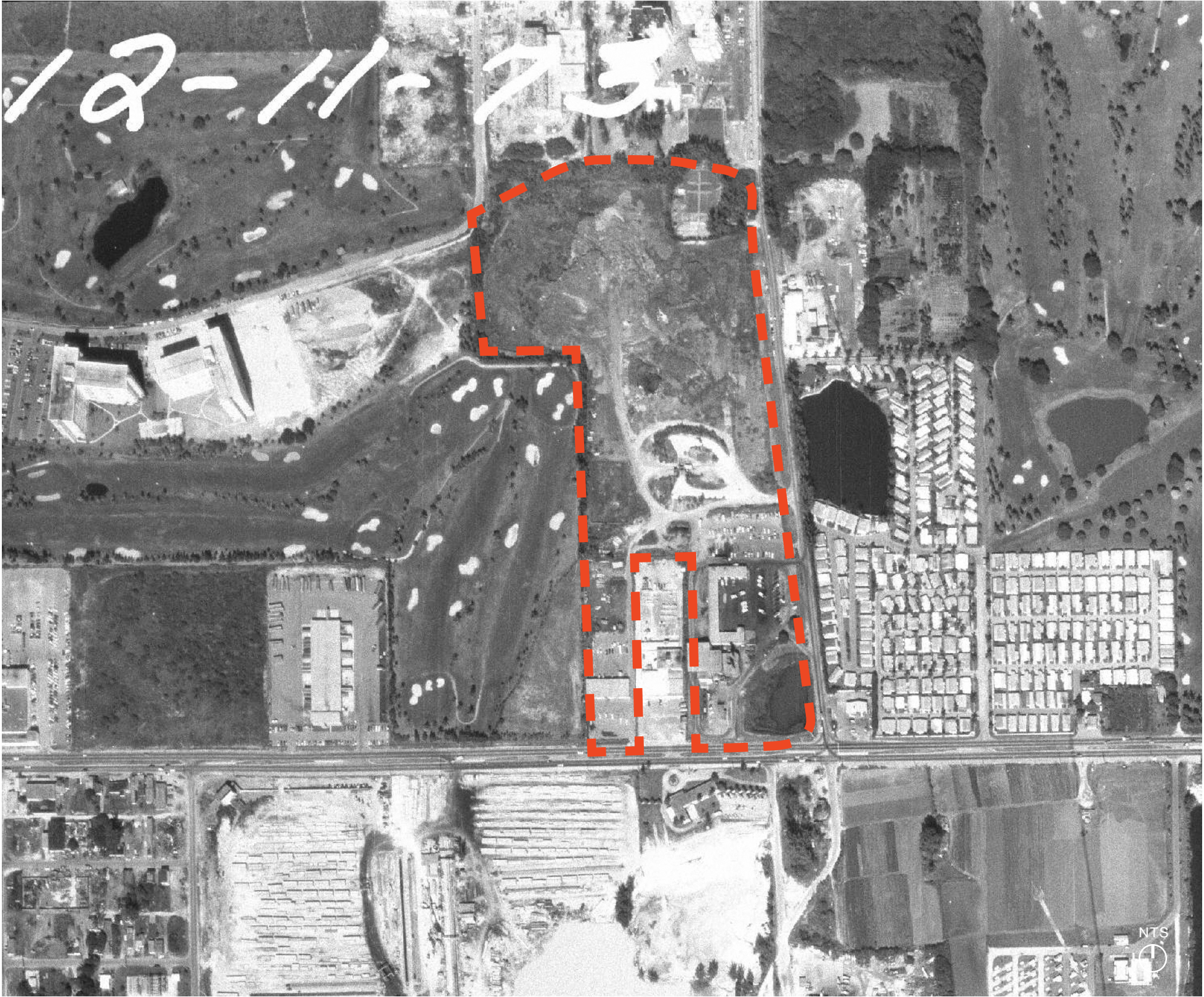
PARK ROAD | 1958



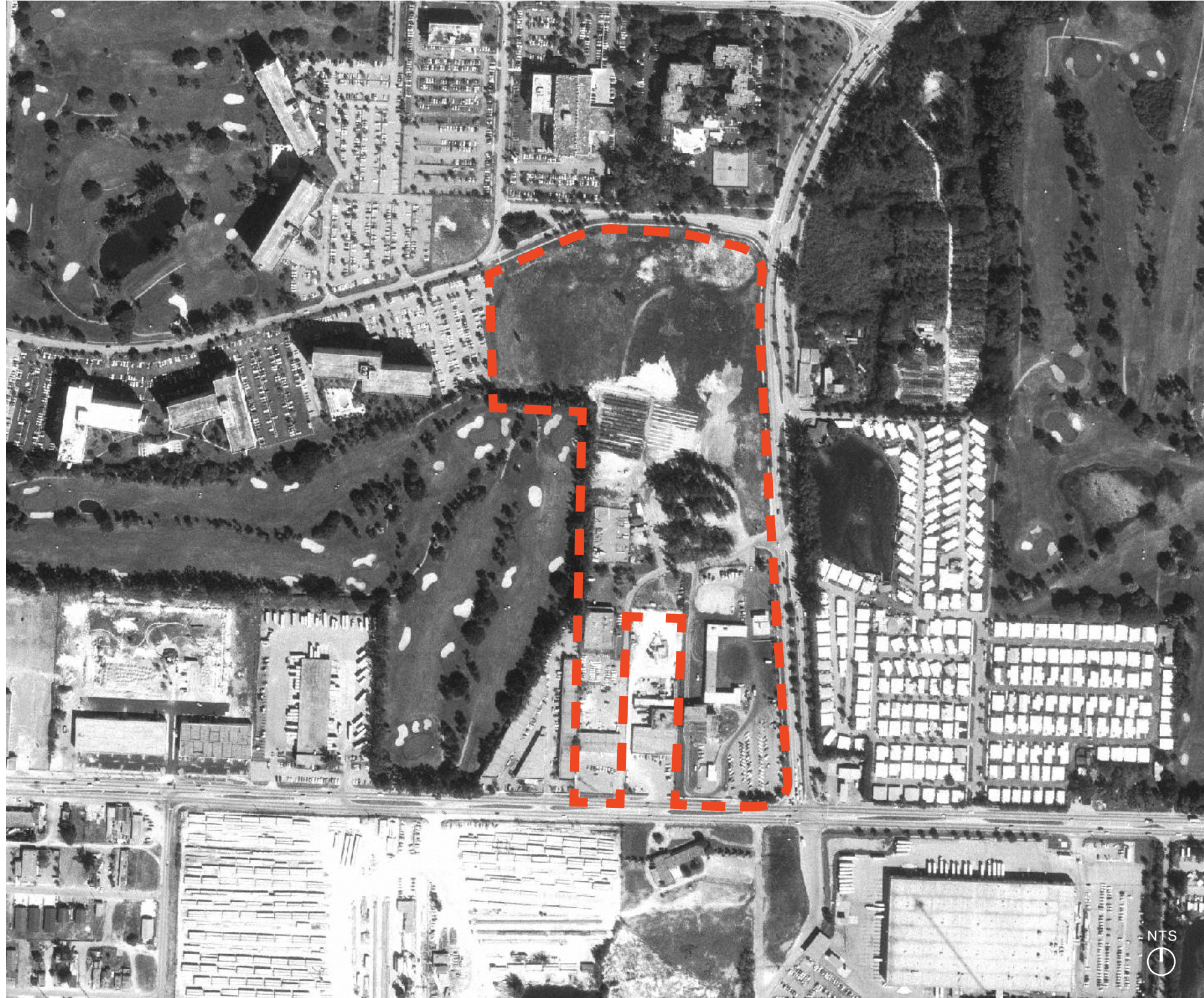
PARK ROAD | 1968



PARK ROAD | 1973



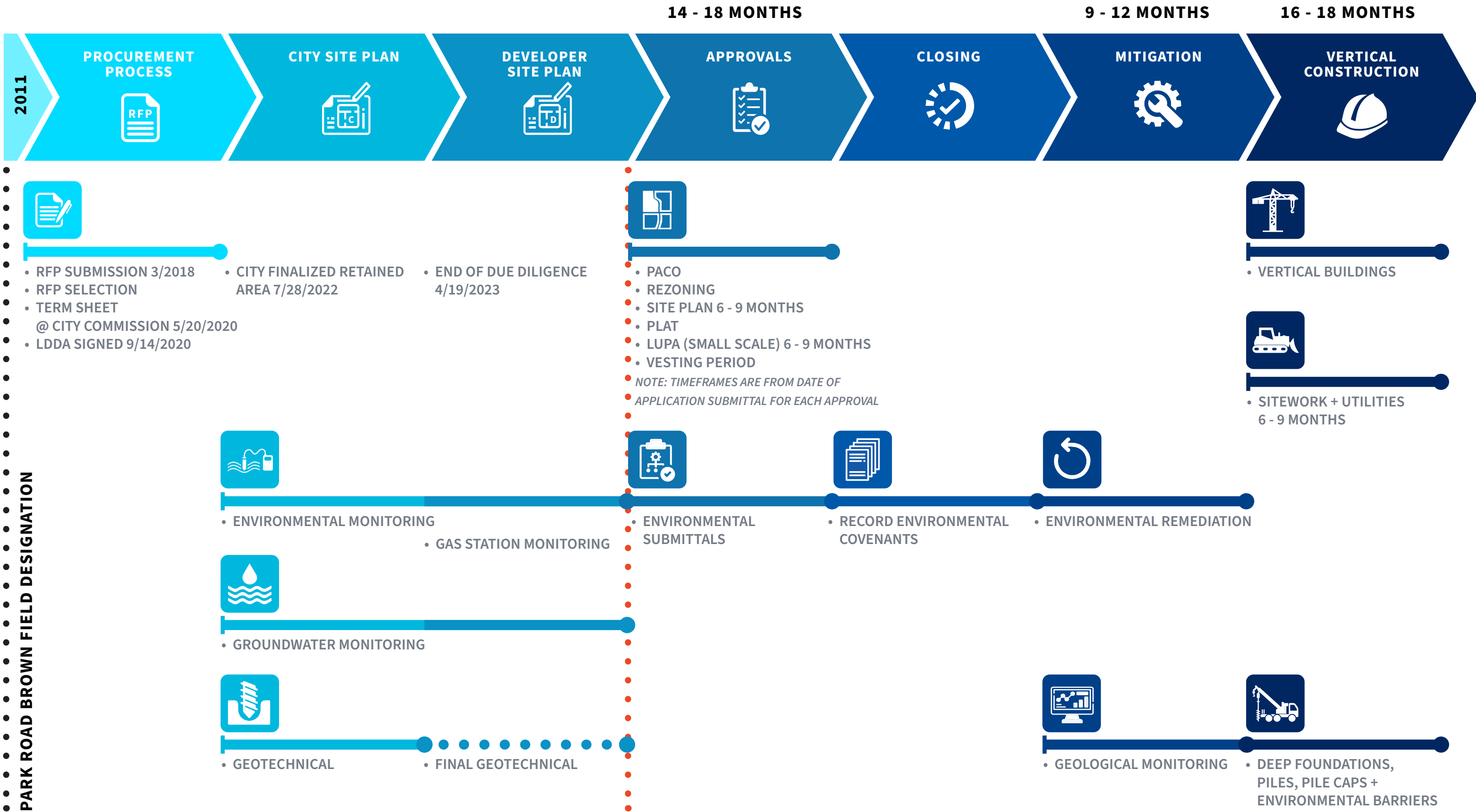
PARK ROAD | 1988



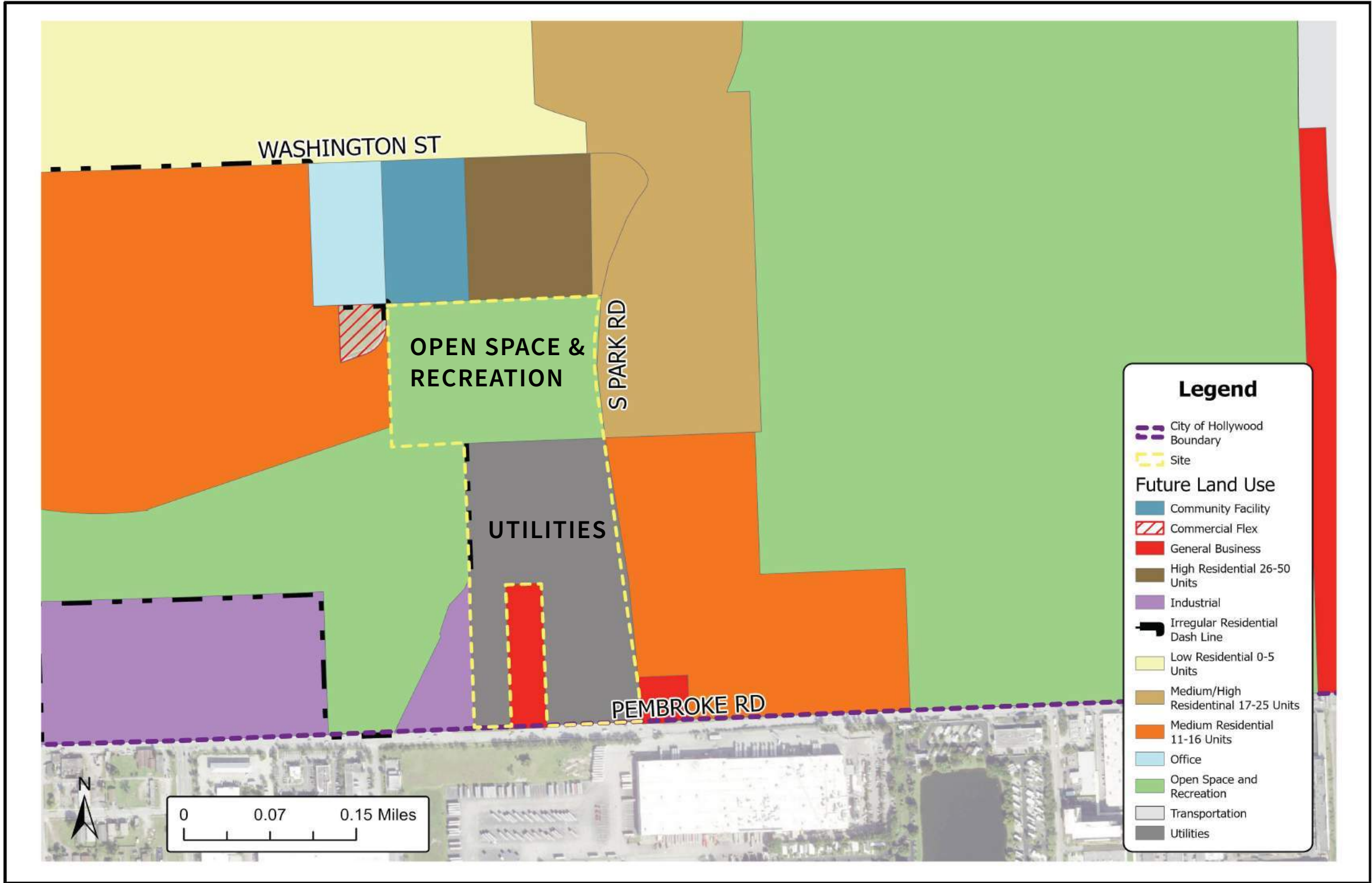
PARK ROAD | 2021



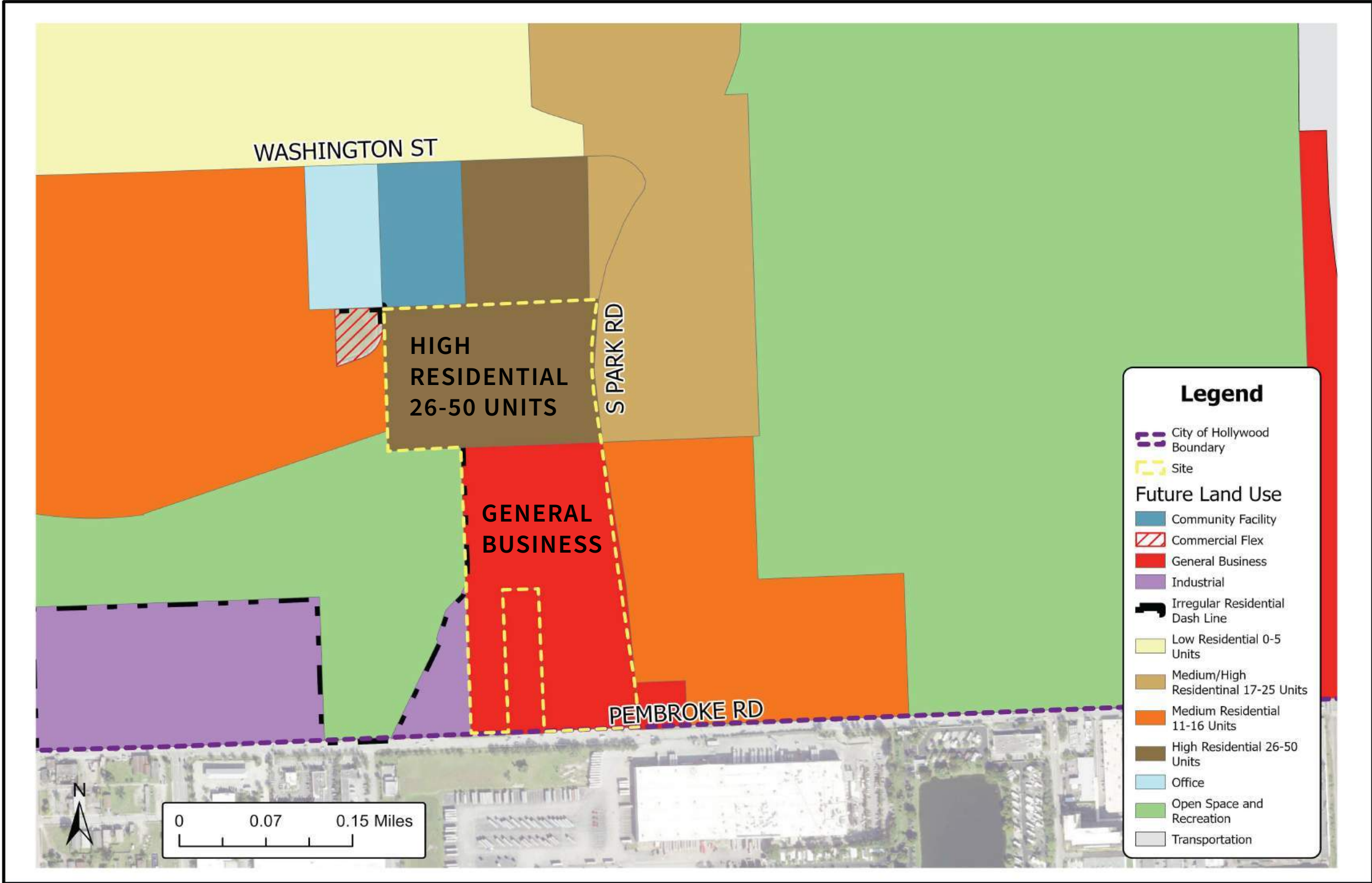
PARK ROAD | PROJECT HISTORY



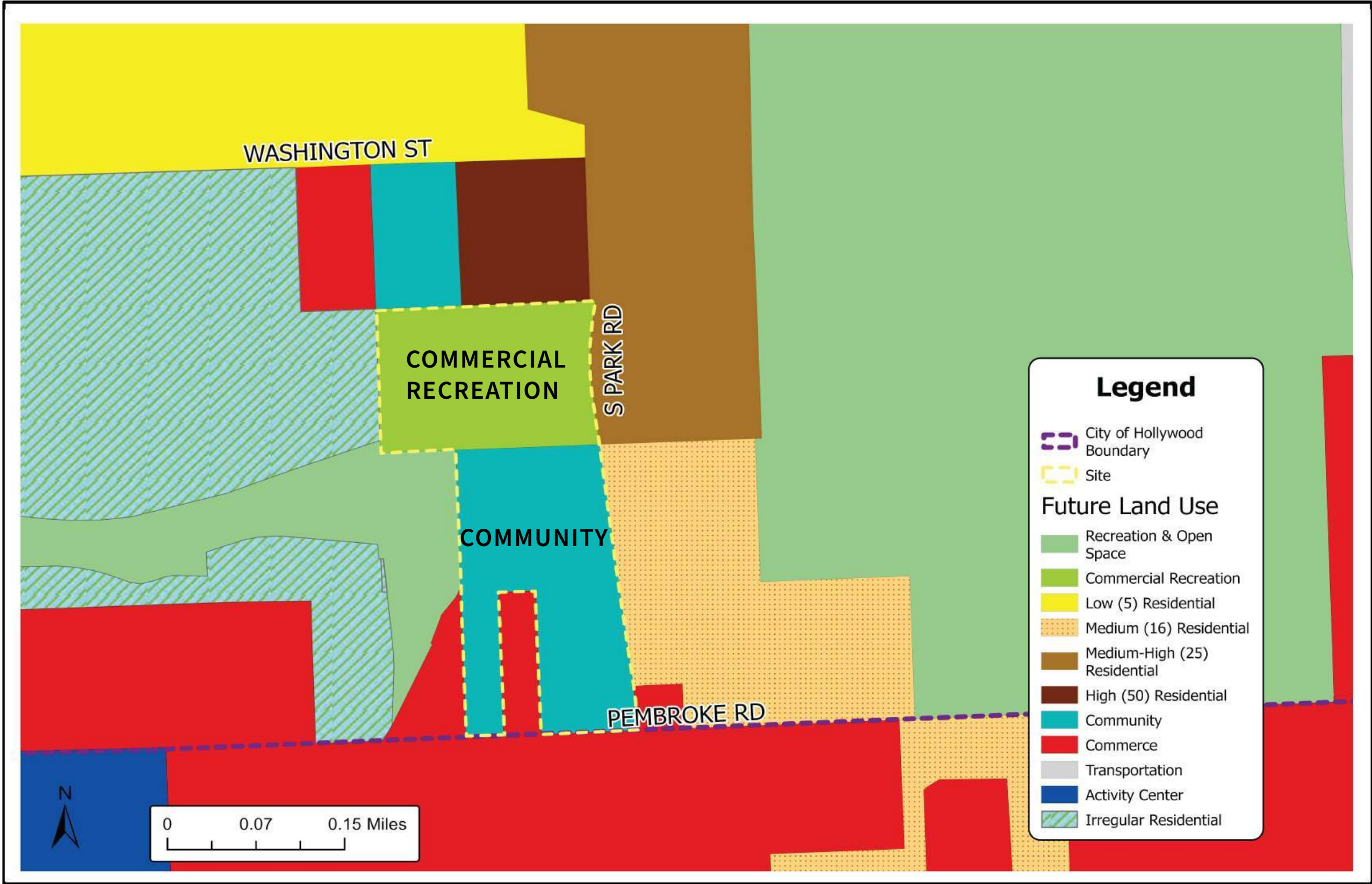
PARK ROAD | EXISTING CITY LAND USE



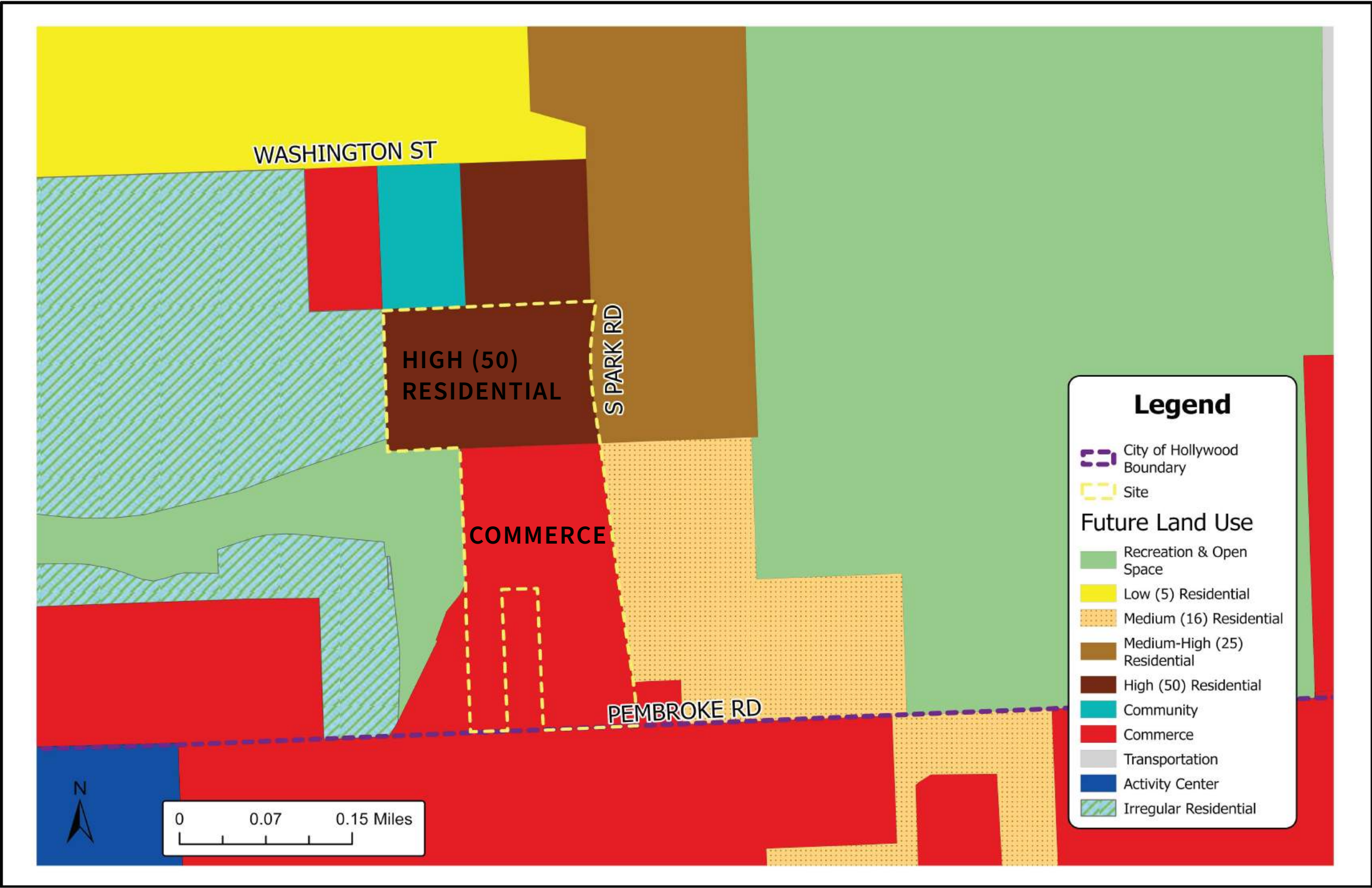
PARK ROAD | PROPOSED CITY LAND USE



PARK ROAD | EXISTING COUNTY LAND USE



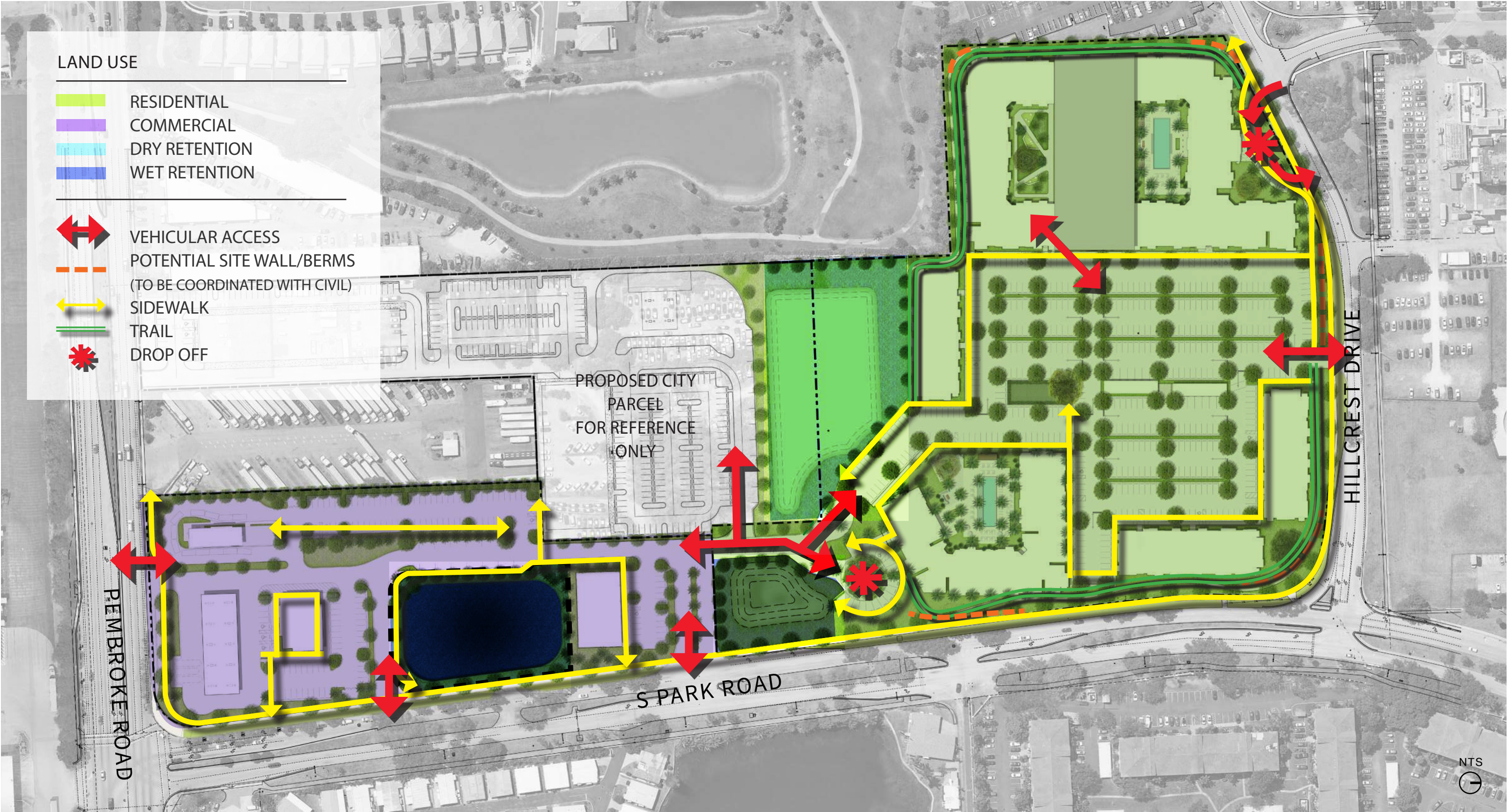
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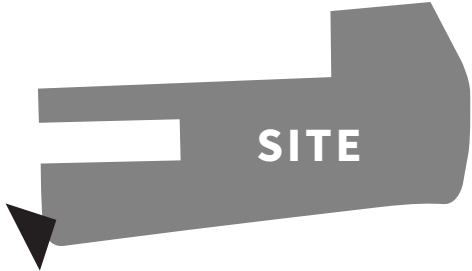
PARK ROAD | CONCEPTUAL SITE PLAN



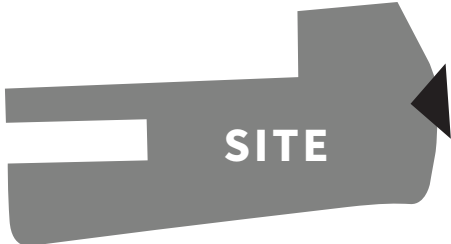
PARK ROAD | CIRCULATION & LAND USE DIAGRAM



PARK ROAD | CONCEPTUAL RENDERING

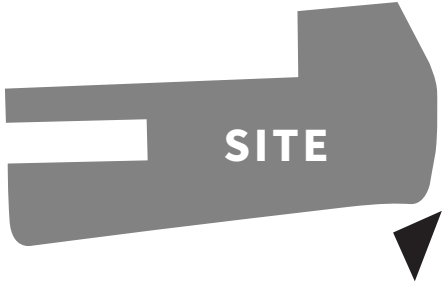


PARK ROAD | CONCEPTUAL RENDERING



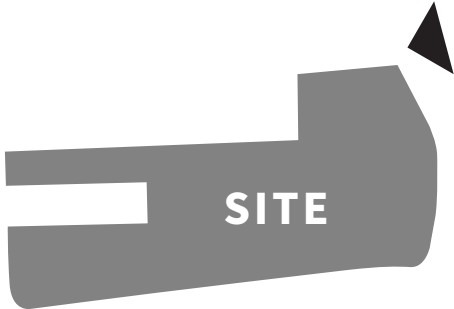
PARK ROAD | CONCEPTUAL RENDERING

VIEW FROM SOUTH PARK ROAD



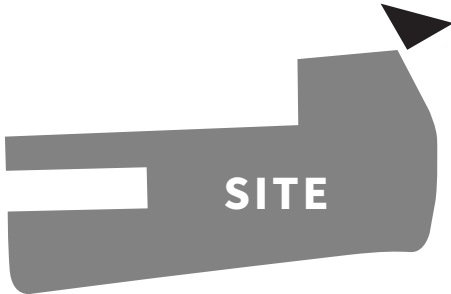
PARK ROAD | CONCEPTUAL RENDERING

VIEW FROM HILLCREST DRIVE AND SOUTH PARK ROAD INTERSECTION



PARK ROAD | CONCEPTUAL RENDERING

VIEW FROM HILLCREST DRIVE



PARK ROAD | CONCEPTUAL RENDERING

COMMERCIAL - RESTAURANT



PARK ROAD | CONCEPTUAL RENDERING

COMMERCIAL - CONVENIENCE STORE

