

PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development Board

Date of Application: Dec 02, 2022

Location Address: 1203 N. Federal Highway, Hollywood, Florida 33020

Lot(s): 5,6,7 less the w. 7' Block(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_

Folio Number(s): 5142 10 05 0030

Zoning Classification: FH-2 Land Use Classification: FH-2

Existing Property Use: Vacant Sq Ft/Number of Units: Vacant

Is the request the result of a violation notice? ( ) Yes  No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: Provide new Spa and Restaurant facility with outdoor pool , cabanas and spa. Variance for 25% parking landscape area.

Number of units/rooms: \_\_\_\_\_ Sq Ft: 6634 GSF

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: 12-18 months

Will Project be Phased? ( ) Yes  No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Federal Spa LLC

Address of Property Owner: 8506 nw 38th st., Pembroke Pines, 33024, FL

Telephone: 954-643-6519 Fax: \_\_\_\_\_ Email Address: eugene@wildec.com

Name of Consultant- Architect : Nichols/ Page Design Associates, Inc.

Address: 6975 Stirling Road, Davie, FL 33314 Telephone: 954 612-2000

Email Address: stevep@npda.com

Date of Purchase: Oct 04, 2022 Is there an option to purchase the Property? Yes ( ) No

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing:

Noel Barnett 5048 Pointe Emerald Lane, Boca Raton, Florida 33486 nbarnett@bardezco.com

James Santiago 1314 E. Las Olas Blvd, Fort Lauderdale, FL 33301 jsantiagolainc@gmail.com

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Hollywood, FL 33022

GENERAL APPLICATION

**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: Dec 02, 2022

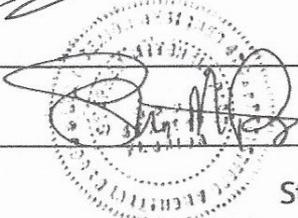
PRINT NAME: Yevgen Yatsenko

Date: Dec 02, 2022

Signature of Consultant/Representative: \_\_\_\_\_

Date: Dec 12, 2022

PRINT NAME: Stephen Mitchell Page



Digitally signed  
by Stephen  
Page  
Date:  
2022.12.12  
15:43:11 -05'00'

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for TAC Review / PD13 to my property, which is hereby made by me or I am hereby authorizing Stephen Page to be my legal representative before the Board and Committee Board and/or Committee) relative to all matters concerning this application.

STATE OF FLORIDA, COUNTY OF MIAMI - DADE

Sworn to and subscribed before me  
this 6th day of JANUARY, 2023

\_\_\_\_\_  
Notary Public



Michael Kroth  
NOTARY PUBLIC  
STATE OF FLORIDA  
Comm# GG917796  
Expires 9/30/2023

\_\_\_\_\_  
Signature of Current Owner

Yevgen Yatsenk  
Print Name

My Commission Expires: 09/30/2023 (Check One)  Personally known to me; OR  Produced Identification DRIVER LICENSE

January 9, 2023

Technical Advisory Committee  
City of Hollywood  
Development Services Planning Division

RE: Site Plan Design for 6,318 sf spa and restaurant  
Federal Spa and Restaurant  
1203 N. Federal Highway

Owner: Federal Spa, LLC  
8505 NW 38<sup>th</sup> Street  
Pembroke Pines, FL 33024

File Number: 22-DPV-75

Land Use: Regional Activity Center (RAC)  
Zoning: Federal Highway Medium- High Intensity Mix-Use District (FH-2)

To Whom It May Concern:

We are in receipt of your comments below. Please see our response to each comment.

**A. APPLICATION SUBMITTAL**

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. On the General application under the Power of Attorney Section, Stephen Page must be identified as a project representative, for both TAC/PDB. Additionally, the request is for TAC Review/PDB.

**Response: Updated application.**

2. Submit a criteria statement addressing how the project complies with Article 5 of the Zoning and Land Development Regulations (ZLDRs).

**Response: Added note to site plan: "To the best of our ability and knowledge this project complies with the criteria listed in Article 5 of the Zoning and Land Development Regulations (ZLDRs)"**

3. Submit a criteria statement addressing the variance criteria per §5.3.F of the ZLDRs.

**Response: We are requesting one variance which complies with the criteria addressed in section 5.3F of the ZLDRs. Added note to site plan.**

4. Submit a statement addressing the design criteria as per §5.3.1.4(a) of the ZLDRs

**Response: Added note to cover sheet.**

5. Ownership & Encumbrance Report (O&E):

**Response: Submitted by client.**

a. Continue working with Engineering Division to ensure the O&E is accurate and all easements and

DESIGNERS  
ARCHITECTS  
6975 STIRLING  
ROAD ■ DAVIE  
FLORIDA 33314  
TEL 954/771-5177  
FAX 954/771-2031  
AA 26000852  
IB 26000641

dedications are indicated.

**Response: O&E and survey updated and included. A 13' Right of Way easement was added. We currently have a 10' landscape buffer only. We are working this out with Mawusi and Calrissa.**

b. Ensure O&E addresses the requirements on the TAC submittal checklist: <http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>

**Response: By client.**

6. Alta Survey: a. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.

**Response: Accurate to the best of our knowledge and ability.**

7. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.

**Response: Plat determination letter has been order from the Broward County Planning Council. This property has been platted. Shall provide when completed.**

8. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

**Response: Added to cover sheet.**

9. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

**Response: We have engaged Cutro & Associates to be the notice agent as they are very familiar with City of Hollywood requirements. We are in good hands.**

Neighborhood Organizations in a 500 ft. radius are:

- Hollywood Lakes
- Royal Poinciana

10. Additional comments may be forthcoming.

11. Provide written responses to all comments with next submittal.

## **B. ZONING**

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Add dimensions of building length and width.

**Response: Added dimensions.**

2. As part of the site review process, garbage enclosures are analyzed. Enclosures should meet standards provided in [§ 50.02 Garbage Receptacles, Dumpsters and Collection](#) of the City of Hollywood Code of Ordinances (Code of Ordinances). Justify the need for a refrigerated-inside garbage enclosure, as well as a, waste management plan that includes recycling.

**Response: In considering a separate dumpster enclosure on such a small site made no sense. As a better option we have designed a air conditioned trash room with a floor drain and hose bibb to clean.**

3. Bike racks must be located on an impervious surface.

**Response: Added bike rack to site plan and floor plan, sheet DRC-2 and DRC-3.**

4. Identify "D" or "F" curbing for all vehicular impact areas.

**Response: All curbs are type "D". See Civil plans.**

5. List the material and dimensions of the windows.

**Response: Added dimensions of the windows to the elevations. Material is "Slimpack" frameless structural hurricane system system by Faour Glass Technologies.**

6. Provide Vehicular Use Area calculations in addition to a diagram depicting areas accounted for in the calculation of the vehicular use area. Calculations were submitted on the site plan but a diagram was not included. Per the regulations, 25 percent of the total square footage of the paved vehicular use area shall be landscaped. Percentage calculation excludes required perimeter landscaped setback area. Refer to Appendix 1: Regional Activity Center and Downtown Redevelopment Districts Diagrams, Diagram 17, in Article 4.6 of the Zoning and Land Development Regulations.

**Response: We have added an additional diagram to the site plan, DRC-2, which depicts the Vehicular Use Area. We are requesting a variance for the 25% landscape area. This is a very small site with limited area for parking. It is zero lot line on the three sides. Understanding that if we have a roof over the parking area, and it was a parking garage, we would not be required to have Vehicular Use Landscaping.**

**We are providing a 5' landscape buffer around the parking area which is an improvement over zero lot line wall and building.**

Diagram 17: [https://codelibrary.amlegal.com/codes/hollywood/latest/hollywoodldr\\_fl/0-0-0-15261#JD\\_4.6App.1Fig17](https://codelibrary.amlegal.com/codes/hollywood/latest/hollywoodldr_fl/0-0-0-15261#JD_4.6App.1Fig17)

**Response: Added a reduced site plan hatching vehicular use area and associated landscape.**

7. Storage containers must be located on impervious surfaces. Revise.

**Response: All storage containers, pool and spa, shall be located on concrete slab.**

8. Will the pool and spa equipment be stored in containers? How will you secure these items? Explain.

**Response: The pool and spa equipment area has no been labeled. It is on the east side in a fences**

**secured area.**

9. Site Plan:

a. The dimension and location of the railroad easement is missing from the site plan. Revise.

**Response: Clarified was 13' Right of Way easement. We are in easement 3' so need to resolve. We can move building and make smaller if need be. Need to understand easement if current. Mawusi and Clarissa working with Noel to understand better.**

b. North Property Line is mislabeled according to the Alta Survey. Revise.

**Response: Checked and the North Property Line matches Alta Survey. .**

c. Number parking spaces.

**Response: Numbered parking spaces on site plan.**

d. Clearly show the location of the garbage enclosure. Dimensions for it must be provided, as well.

**Response: No site garbage enclosure as it can not fit on site. We did a trash room as approved by Republic Services.**

e. Indicate pervious vs. impervious locations by shading, coloring, or some other type of indicator.

**Response: Pervious areas are hatched on site plan. Moved Parking landscaping to diagram with Vehicular Use Area.**

f. Include note on Site Plan indicating that all changes to the design will require planning review and may be subject to Board approval.

**Response: Added note to site plan.**

g. Dimensions of sidewalks and other pedestrian walkways are needed.

**Response: Added dimensions to site plan.**

10. DRC-1 a. Add a Page Index.

**Response: Added index.**

11. Site Data: a. Provide "Meeting Dates" which indicates meeting dates, such as:

**Response: Preliminary TAC December 19, 2022; Final TAC January 23, 2023; PDB Date to be Determined.**

b. List all proposed new property development regulations, including any requested variances.

**Response: Just the variance for the Vehicular Use Area Landscapingn.**

c. Pervious vs. Impervious must be broken down in acreage, as well. Include calculations where necessary.

**Response: Added acreage.**

d. Add data that communicates the maximum height and the proposed height per § 6.22. Site Plan Review of the Zoning and Land Development Regulations (ZLDRs).

**Response: Added maximum height and proposed height of building.**

e. Is the Title of the project “Spa Center” or “Federal Bath and Spa”? Clarify.

**Response: Federal Spa and Restaurant. We changed titles to match.**

f. Label as Cover Sheet

**Response: Labeled cover sheet.**

g. Add any revised plan dates.

**Response: Revised plan dates.**

h. Increase the size scale of the location map. Reflect site by shading or coloring the parcel.

**Response: As requested.**

i. Garbage enclosure is illustrated differently on the DRC-3. Reconcile.

**Response: Reconciled.**

12. DRC-3 a. Bike racks must be located on impervious surfaces. Revise.

**Response: Added bike rack on impervious surface. Site plan.**

b. What are the dimensions of the planters? Define.

**Response: Added dimensions.**

c. Clarify whether the fire hydrant is being moved. If so, where is the new location on the site plan?

**Response: Clarified on site plan and utilities plan.**

d. Indicate where recycling will take place.

**Response: Recycling shall take place in the building in the trash room. We have meet with Republic Services and they agreed to using 96 gallon containers for side pickup off Federal. Thus we can wheel them out the 4' wide doors and down the steps to the street for pick up.**

13. DRC-4 a. Roll up door is not reflected in renderings. Revise.

**Response: Roll up door removed.**

b. Size and height of all signage is required.

**Response: The size and height of the signage on the building shall comply with the City signage ordinances and shall be under separate permit.**

c. List all building materials and treatments.

**Response: Added notes to elevations.**

d. Add the dimensions of the garbage enclosure.

**Response: No site garbage enclosure. We are doing a air conditioned trash room on the interior. So no bad odors.**

14. The applicant is requesting a variance that will lower landscaping requirements; despite this consideration, work with the City's Landscape Architect to ensure that landscape requirements are addressed to the highest degree possible.

### C. ARCHITECTURE AND URBAN DESIGN

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Include the property lines and setbacks elevations.

**Response: See survey.**

2. Provide location and height /size of all fences, walls dumpster enclosures and signage.

**Response: We would like to maximize the two fences. One on the south and one on the east property lines. What ever the maximum permitted for a zero lot line property line. Could not find it.**

3. Provide color and materials legend for all elevations.

**Response: Added notes and legend to elevation sheet.**

4. Ensure that all plumbing, mechanical and electrical fixtures and equipment are indicated on Site Plan and Elevations.

**Response: Majority of the equipment will be going on the roof, over the kitchen area, behind a roof parapet hiding them. There will be spa and sauna equipment going in the fenced in area to the east of the building as shown.**

5. Work with the Building Department to ensure that adequate ventilation is provided for the parking garage.

**Response: No parking garage. But good idea,,,**

6. All renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate.

**Response: Renderings shall be updated upon resolution of landscaping design.**

### D. SIGNAGE

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Include note on Site Plan indicating all signage shall be in compliance with the Zoning and Land

Development Regulations.

**Response: Added note to site plan.**

2. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

**Response: Added note to site plan.**

## E. LIGHTING

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Engage Lighting schematic drawings included in the submittal.

**Response: A site lighting engineer shall be engaged to design the proper site lighting and site photometrics. Added note to site plan.**

2. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 allowed).

**Response: A site lighting engineer shall be engaged to design the proper site lighting and site photometrics. Added note to site plan.**

## F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. As per the City of Hollywood's green building ordinance in Chapter 151, the project will require a third party green building certification since this project has more than 20,000 square feet of total floor area. USGBC's LEED certification or Florida Green Building Coalition certification are the minimum standards. Include which third party certification program this project has chosen in a note on the site plan and provide green registration documentation with next submittal.

**Response: N/A Building under 20,000 sf.**

2. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces.

**Response: An empty three-quarter-inch raceway from the branch circuit panel board to a location in the garage or a designated parking area, with a two-gang junction box with a blank plate; or a fully functional electric vehicle-charging station. Added note to site plan DRC-2.**

Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification

**Response: N/A Building under 20,000 sf.**

## G. ENGINEERING

Azita Behmardi, City Engineer (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

1. On Site Plan, dimension leaders and texts are overlapping with ADA accessible route and drainage lines making text not legible.

**Response: Adjusted dimensions.**

2. On Site Plan, clarify where the 18'-6" parking stall depth starts and ends. Properly dimension the curb width and clarify the curb dimension, Site Plan shows 6", civil details show 8".

**Response: Both show 6" curbs.**

3. For the parking lot bump out, provide dimension for the curb width. The bump out should be minimum 3' plus the width of the curb.

**Response: We added a extra space, 3'-8" which is hatched for easy turn around.**

4. On Site Plan, indicate width of the proposed driveway curb cut at the property line.

**Response: Driveway curb cut is 22' and we added to site plan.**

5. Indicate the distance between road edge of pavement to the property line on Site Plan and provide sight visibility triangle per Chapter 155.12 of the City Code.

**Response: Revised sight visibility triangle to 12' per section.**

6. Please add a note on the site plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements.

**Response: Added note to site plan.a**

7. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference, state the transition is flush. Provide and indicate any proposed curb ramp if necessary and include all applicable details.

**Response: There is a 16" elevation change from sidewalk to the finished floor. We have a sloped sidewalk in front of the building which complies with ADA requriements. No ramp required.**

8. Separate pavement marking and signage plans will be required at the time of building permit review.

**Response: Acknowledged.**

9. Provide plat determination letter from the Broward County Planning Council.

**Response: The plat determination letter has been requested from the B.C.P.C.. A copy of the determination letter will be provided to the City upon receipt.**

10. To minimize traffic impact on a major State Road, the trash and recycling holding area in the building should be accessible from the parking lot. The final determination on what is allowed on US1 is discretion and jurisdiction of FDOT as it is a state road and a review by them will be required.

**Response: There is no room on this site to bring a trash truck on it. We have worked out a trash room inside the building and several 96 gallon containers. Republic Services agreed to it. See email.**

11. Please note that the City, in conjunction with the Downtown Community Redevelopment Agency, is working on developing a manual setting forth requirements for rights-of-way design and improvements guidelines in the RAC area. Continued coordination will be required.

**Response: Acknowledged.**

12. A complete street concept redesign of US1 adjacent to this proposed development's site is currently underway. Proposed site design and all US1 rights-of-way improvements under this project shall coordinate and be compatible with the proposed improvements and vision of the corridor. Please coordinate with FDOT project consultant, Trace Consultants, Inc., Frank Panellas, PE, with notification to City CRA and Engineering, Transportation and Mobility Division staff. As needed, provide separate civil engineering and streetscape plans and details showing existing conditions and proposed public improvements and work along site's adjacent streets within the rights-of-way.

**Response: The applicant will contact the FDOT project consultant and will work to coordinate streetscape/frontage improvements as part of this project. Streetscape plans/details will be prepared separately and coordinated with FDOT and their project consultant.**

13. Provide FDOT Pre Application Letter.

**Response: The applicant is requesting a pre-application meeting with FDOT and will provide a copy of the pre-application letter to the City.**

14. For utilities work within City rights-of-way, ROW permit will be required at the time of permit.

**Response: Acknowledged.**

15. MOT plans required at the time of City Building Permit review.

**Response: Acknowledged.**

16. All outside agency permits must be obtained prior to issuance of City building permit.

**Response: Acknowledged.**

17. This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.

**Response: Acknowledged.**

18. More comments may follow upon review of the requested information.

**Response: Acknowledged.**

## H. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3900

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

1. Site plan calls for the relocation of the existing fire hydrant along N. Federal Hwy and the removal of the existing tree by the sidewalk. Landscape plans show the existing tree to remain. All plans to match disposition. Fire hydrant cannot be removed to within inches of existing tree trunk.

**Response: The plans, L-1, now show that tree #1 is to be removed as shown on the Tree disposition Plan, Sheet TD-1.**

2. Proposed Ligustrum tree is being shown too close to sidewalk and building entrance. Show landscape area and dimension and provide appropriate specie for location.

**Response: The ligustrum tree has been removed from sheet L-1. The canopy of Tree #3 (to remain), was in conflict.**

3. Revise requirement chart, add columns of required and provided. Show how all zoning requirements are being met.

**Response: The zoning regulations are on L-1 and the columns have been added.**

4. Revise landscape notes: all trees/ palms to be guaranteed for 1 year. All other plants to be guaranteed a minimum of 6 months from time of final acceptance.

**Response: The plans have been changed to include the new guarantee.**

5. 5 street trees required as per code, only 2 shown. Street trees shall be 12' ht, 2" dbh min. Specimen palms may be counted as 1:1 with the following species: Royal Palm, Phoenix sylvestris/Medjool/canariensis, Bismarckia, and Coconut.

**Response: Added 3 trees in the front and 4 smaller trees in the rear due to FPL power line. See plan.**

6. Required tree height shall be 12' ht with 2" dbh min, single trunk, FI #1. palms shall be 8' ct min. to count towards requirements, palms are counted 3:1. 7. provide shrubs heights at 18" minimum.

**Response: The above requirements have been met. The previous comments call for 12' ht. and 2" and not 4". Our plans call for all 12' trees to be 4"**

8. Provide tree survey as satellite images show additional trees on property. Show trees on adjacent lots that are within 10' from property.

**Response: Sheet TD-1 has been added to the set and shows all existing trees on the site.**

9. Provide tree disposition plan with all existing trees/palms and their disposition. Trees are mitigated inch per inch and palms are mitigated 1:1.

**Response: Sheet TD-1 has been added to the set and shows all existing trees on the site.**

## I. UTILITIES

Alicia Vereza-Feria, Floodplain Development Review Administrator (averea-feria@hollywoodfl.org) 954-921-3302

1. Show Water and Sewer demand calculations on proposed utilities plans.

**Response: The water/sewer demand calculations have been added per your request. Please refer to the revised Utility Plan (Sheet No. C-4.0) for this information.**

2. Clarify if and how the fire line will be serviced for this property, as applicable.

**Response: The fire service line will require a new 4" service tap. Please refer to the Utility Plan (Sheet No. C-4.0) for proposed fire service location, DDCV, and fire department connection.**

3. This property is not serviced by existing reclaim system. The Reclaim 4" HDPE along N Federal Hwy is owned, maintained and operated by FDOT. Therefore, verify the connection for the irrigation system is to the existing 12" PVC Water Main. (Note: The existing 8" DIP Water Main was abandoned in place and should be noted on the plans as such).

**Response: Acknowledged. The Utility Plan (Sheet No. C-4.0) has been adjusted accordingly.**

4. For proposed 1-1/2" water meter, verify the existing service water line is at least 2-inch diameter to accommodate.

**Response: The size of the water service is unknown at this time. Additional notation has been added to the Utility Plan indicating that the contractor is to first determine the size of the existing water service.**

5. This site resides currently within FEMA Flood Zone X. The proposed FFE =7.55' NAVD88 which is acceptable.

**Response: Acknowledged.**

6. Indicate FFE for all enclosed areas on the ground floor.

**Response: The FFE of 7.75 is consistent for all enclosed spaces. Additional callouts have been added to the Engineering Plan (Sheet No. C-3.0) for clarification.**

7. Provide additional cross sections across west and east property limits, through the driveway on the north side, and through the building on the south side, including transition areas meeting adjacent property grades.

**Response:** *The requested cross-sections have been prepared and are shown on the attached/ revised Engineering Plan (Sheet No. C-3.0).*

8. Ensure all stormwater is retained onsite.

**Response:** *All stormwater will be retained onsite. Additional information has been added for clarification purposes, including perimeter swales, retaining walls, etc. has been added to the cross-sections shown on the Engineering Plan (Sheet No. C-3.0).*

9. Relocated fire hydrant may require 15'x15' utility easement.

**Response:** *A 15'x15' easement (centered on the hydrant) has been added per your request. Please refer to the Utility Plan (Sheet No. C-4.0) for this information.*

10. Provide preliminary drainage calculations.

**Response :** *Preliminary drainage calculations have been prepared and are attached with this submittal.*

11. Submit Erosion Control Plan and details.

**Response:** *The requested Erosion Control plan and details have been prepared and are included with this submittal.*

12. Permit approval from outside agencies will be required.

**Response: Acknowledged.**

13. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features.

**Response: Acknowledged.**

14. Additional comments may follow upon further review of requested items.

**Response: Acknowledged.**

## **J. BUILDING**

Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490 Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335

1. No comment.

2. Submittal is substantially complaint.

## **K. FIRE**

Jorge Castano, Deputy Fire Marshal / Battalion Chief (jcastano@hollywoodfl.org) 954-967-4404

1. Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. A complete architectural review will be completed during formal application of architecture plans to the building department.

**Response: Acknowledged**

2. At time of submittal, Water supply must meet NFPA 1, 18.4.5.3. In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept, 954-921-3046. After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.1.2 showing that the project meets the minimum fire flow requirements for the building.

**Response: Acknowledged**

3. Provide a note on civil drawing all underground fire main work must be completed by fire protection contract Jrholding a Class I, II, orV license perFS 633.102.

**Response: Acknowledged**

4. At time of submittal civil drawings must be provided for the underground fire main. Providing location of fire department connection, fire hydrants, DDCV, 3rd size of fire line from water supply, etc. Check with our water department engineer for city requirements in addition to fire.

**Response: Acknowledged**

5. Be advised that NFPA 1 (2018 edition) Chapter 11.10.1 requires that minimum radio signal strength for fire department communications be maintained at a level determined by the AHJ for all new and existing buildings including complying with NFPA 72 (2016 edition). BOA system may be require.

**Response: Acknowledged**

#### **L. PUBLIC**

Annalie Holmes, Interim Public Works Director (aholmes@hollywoodfl.org ) 954-967-4207

1.No comments received.

2.Follow up with Public Works. Include Planning Staff in communications where appropriate.

#### **M.PARKS, RECREATION AND CULTURAL ARTS**

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Application does not qualify for park impact fees and is compliant moving forward.

#### **N. COMMUNITY DEVELOPMENT**

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No comments received.

2. Follow up with Community Development. Include Planning Staff in communications where appropriate.

#### **O. ECONOMIC DEVELOPMENT**

Raelin Storey, Director (rstorey@hollywoodfl.org) 954-924-2922 Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922 Tekisha Jordan, Principal Planner (tjordan@hollywoodfl.org) 954-924-2922

1. Application is substantially compliant.

**P. POLICE DEPARTMENT**

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

3. Application is substantially compliant.

4. See attachment to see how the project can incorporate safety in design.

**Response: Acknowledged**

**Q. DOWNTOWN AND BEACH CRA**

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

5. No comments received.

6. Follow up with CRA. Include Planning Staff in communications where appropriate.

**Response: Acknowledged**

**R. PARKING**

Jovan Douglas, Parking Administrator (jdouglas@hollywoodfl.org) 954-921-3548

7. No comments received.

8. Follow up with Parking. Include Planning Staff in communications where appropriate.

**S. ADDITIONAL COMMENTS**

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

If you have any questions or comments Please call me on my cell, (954) 612-2000

Very Truly Yours,

Stephen M. Page- Architect/ Interior Designer

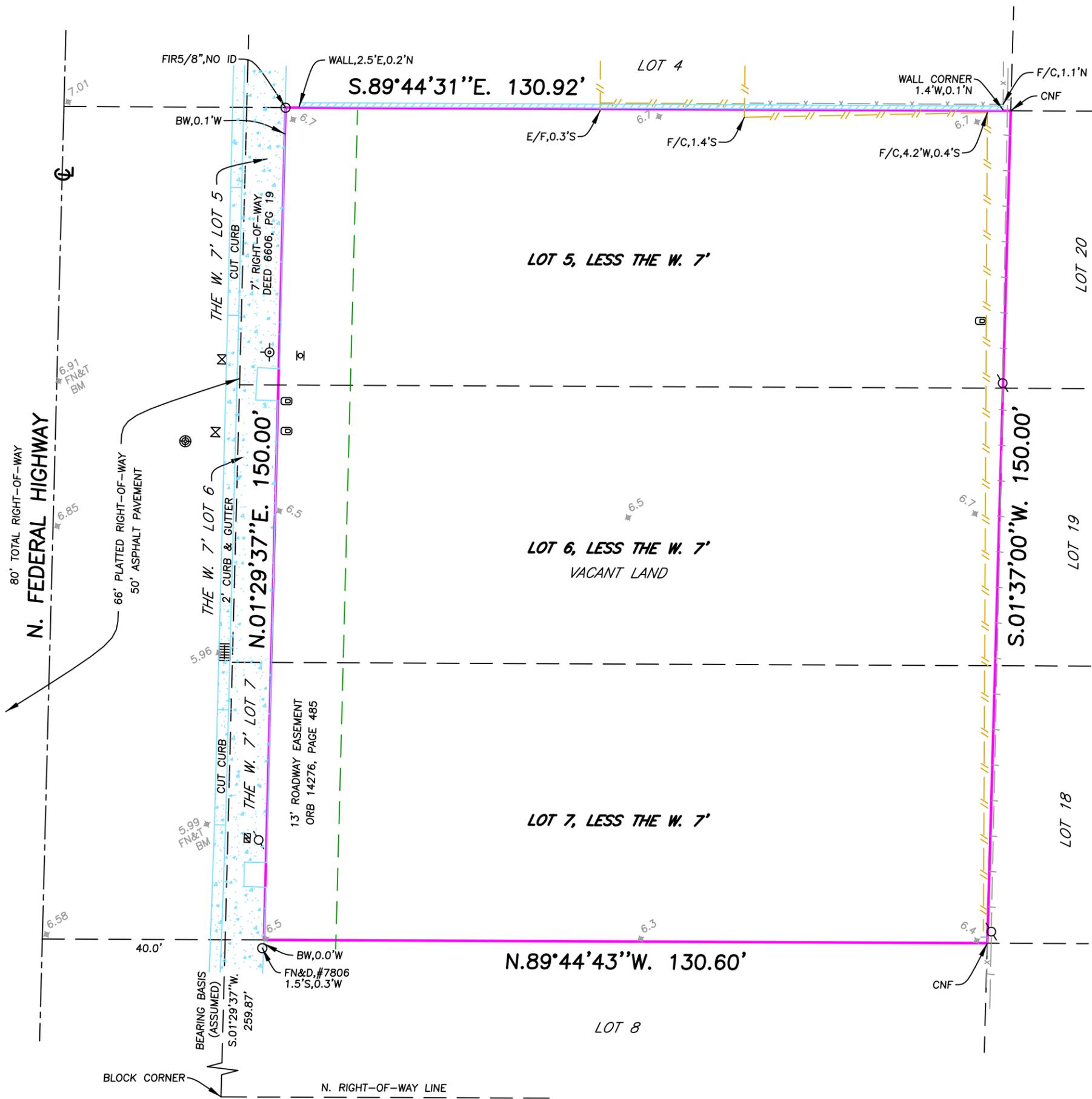
President of

Nichols/ Page Design Associates, Inc.

AR 91868

IB 4781

964-512-2000 cell



LEGAL DESCRIPTION  
 LOTS 5, 6 AND 7, LESS THE WESTERLY 7 FEET THEREOF, OF ST. JAMES PARK SOUTH ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFIED TO:  
 Title Partners of South Florida, Inc.  
 First American Title Insurance Company

PROPERTY ADDRESS  
 1203 N FEDERAL HIGHWAY  
 HOLLYWOOD, FL 33020

BOUNDARY SURVEY  
 INVOICE # 43989U  
 SURVEY DATE 09/22/22

FLOOD ZONE X0.2%  
 MAP DATE 08/18/14  
 MAP NUMBER 125113 0569H

TITLE PARTNERS OF SOUTH FLORIDA, INC.  
 O&E TITLE REPORT

TITLE HOLDER(S): FEDERAL SPA, LLC, A FLORIDA LIMITED LIABILITY COMPANY

INSTRUMENT # 1184395528  
 DATE FILED: OCTOBER 5, 2022  
 REPORT EFFECTIVE DATE: NOVEMBER 28, 2022 AT ELEVEN O'CLOCK P.M.

VESTING DEED:  
 1. WARRANTY DEED NOT A SURVEY MATTER

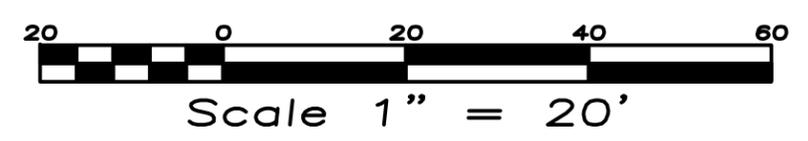
ENCUMBRANCES:  
 1. LEASE AGREEMENT NOT A SURVEY MATTER  
 2. MATTERS PERTAINING TO EASEMENT RECORDED IN ORB 14276, PG 0485 ARE AS SHOWN ON SURVEY  
 3. MATTERS PERTAINING TO PLAT BOOK 2, PG 49 ARE AS SHOWN ON SURVEY

CORPORATE STATUS:  
 1. NOT A SURVEY MATTER

RIGHT-OF-WAY DOCS:  
 MATTERS PERTAINING TO DEED BOOK 6606, PG 19 ARE AS SHOWN ON SURVEY

ADDITIONAL INFORMATION:  
 1. AFFIDAVIT NOT A SURVEY MATTER

TAXES:  
 1. NOT A SURVEY MATTER



**SURVEYOR'S NOTES**

1. BASIS OF BEARINGS ASSUMED UNLESS OTHERWISE INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT OR PROPERTY APPRAISER WEBSITE.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE INDICATED ON SKETCH.
6. FLOOR ELEVATION OBTAINED FROM MAIN ENTRY WAY OF STRUCTURE UNLESS OTHERWISE INDICATED ON SKETCH.
7. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
8. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
9. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
10. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7' WIDE UNLESS OTHERWISE NOTED.
11. EXISTING CORNERS FOUND OFFSETS WITNESS PROPERTY CORNERS
12. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
13. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THEN THOSE SHOWN HEREON.

**LEGEND**

	FP&L BOX		CATCH BASIN
	CONTROL VALVE		CLEAN OUT
	GUY ANCHOR		MANHOLE
	WATER METER		WELL
	FIRE HYDRANT		WATER VALVE
	CABLE JUNCTION BOX		
	ELECTRIC SERVICE		
	POOL EQUIPMENT		
	POWER/LIGHT POLE		
	SPRINKLER SYSTEM		
	BRICK/TILE PAVERS		
	CENTERLINE		
	CONCRETE/CHAT		
	CONCRETE WALL		
	ELEVATION		
	METAL FENCE		
	OVERHEAD WIRES		
	WOOD DECK/DOCK		
	WOOD/PVC FENCE		

**ABBREVIATIONS**

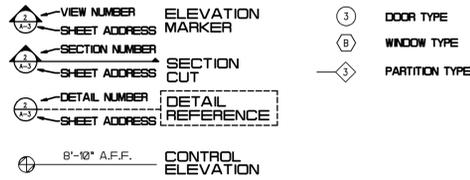
AC	AIR CONDITIONER
AE	ANCHOR EASEMENT
BC	BUILDING CORNER
BM	BENCHMARK
BW	BACK OF WALK
C	CALCULATED
CNF	CORNER NOT FOUND
DE	DRAINAGE EASEMENT
E/F	END/FENCE
EP	EDGE OF PAVEMENT
EW	EDGE OF WATER
F/C	FENCE/CORNER
FF	FINISH FLOOR
F/L	FENCE/LINE
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FN	FOUND NAIL
FN&D	FOUND NAIL & DISC
FN&T	FOUND NAIL & TAB
FP&L	FLORIDA POWER & LIGHT
GAR	GARAGE
GEN	GENERATOR
INSTR	INSTRUMENT
OP	OPEN PORCH
ORB	OFFICIAL RECORD BOOK
M	MEASURED
NTS	NOT TO SCALE
PB	PLAT BOOK
PC	POINT OF CURVATURE
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PG	PAGE
PRC	POINT OF REVERSE CURVE
PRM	PERMANENT REFERENCE MONUMENT
PT	POINT OF TANGENCY
R	RECORD
RAD	RADIAL
RW	RIGHT-OF-WAY
SN&D	SET NAIL & DISC 5495
SP	SCREENED PORCH
SP&C	SET 1/2" PIN & CAP 5495
UE	UTILITY EASEMENT

**ATLANTIC COAST**  
 SURVEYING INC.

PAUL J STOWELL  
 PROFESSIONAL LAND SURVEYOR  
 FLORIDA CERTIFICATION NO. 5241  
 ATLANTIC COAST SURVEYING, INC.  
 13798 NW 4th Street, Suite 306  
 Sunrise, FL 33325  
 P: 954.587.2100 E: info@acsiweb.net

**SYMBOL LEGEND**

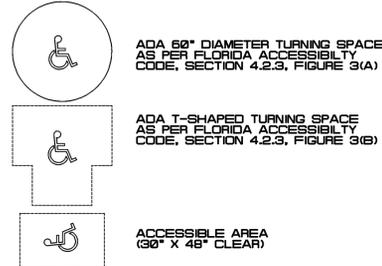
**ANNOTATIONS**



**WALL AND DOOR LEGEND**



**ACCESSIBILITY SYMBOLS**



**ABBREV.**

AFF	ABOVE FINISHED FLOOR
AL	ALUMINUM
BLOG	BUILDING
BR	BRASS
BZ	BRONZE
C	CARPET
CLG	CEILING
CONC	CONCRETE
CP	COPPER
CT	CERAMIC TILE
CW	COLD WATER
DIM	DIMENSION
DR	DOOR
DN	DOWN
DWG	DRAWING
E	EQUIPMENT
EW	ELECTRIC WATER COOLER
FF	FACTORY FINISH
FL	FLOOR
FLUOR	FLUORESCENT
FWC	FABRIC WALLCOVERING
HGT	HEIGHT
HW	HOT WATER
J-BOX	JUNCTION BOX
LTS	LIGHTING
M	MARBLE
MFG	MANUFACTURER
NFOA	NICHOLS / PAGE DESIGN
NTS	NOT TO SCALE
NO	NUMBER
OC	ON CENTER
P	PAINT
PL	PLASTIC LAMINATE
RF	RUBBER FLOORING
REV	REVISION
SS	STAINLESS STEEL
SQ FT	SQUARE FEET
STL	STEEL
SUSP	SUSPENDED
T&G	TONGUE AND GROOVE
TYS	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UPH	UPHOLSTERY
V	VENUE
VB	VINYL BASE
VF	VINYL FLOORING
VFP	VERIFY IN FIELD
VFP	VENUE PANEL
VWC	VINYL WALLCOVERING
W	WOOD
W	WITH
WB	WOOD BASE
WF	WOOD FLOORING
WP	WATERPROOF
WT	WINDOW TREATMENT
WVC	WOOD WALLCOVERING

# FEDERAL SPA AND RESTAURANT

1203 NORTH FEDERAL HIGHWAY  
HOLLYWOOD, FLORIDA

DEVELOPED BY

# FEDERAL SPA LLC

8506 NW 38TH STREET

# FINAL TAC MEETING

**SHEET INDEX**

DRC1	COVER SHEET
DRC2	SITE PLAN W/ BUILDING
DRC3	BUILDING PLAN
DRC4	ELEVATIONS
TD-1	TREE SPOSITION PLAN
L-1	LANDSCAPE PLAN
C2.0	SEEDMENT AND EROSION CONTROL
C3.0	ENGINEERING PLAN
C3.1	ENGINEERING DETAILS
C4.0	UTILITY PLAN
C4.1	UTILITY DETAILS

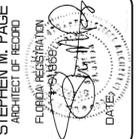
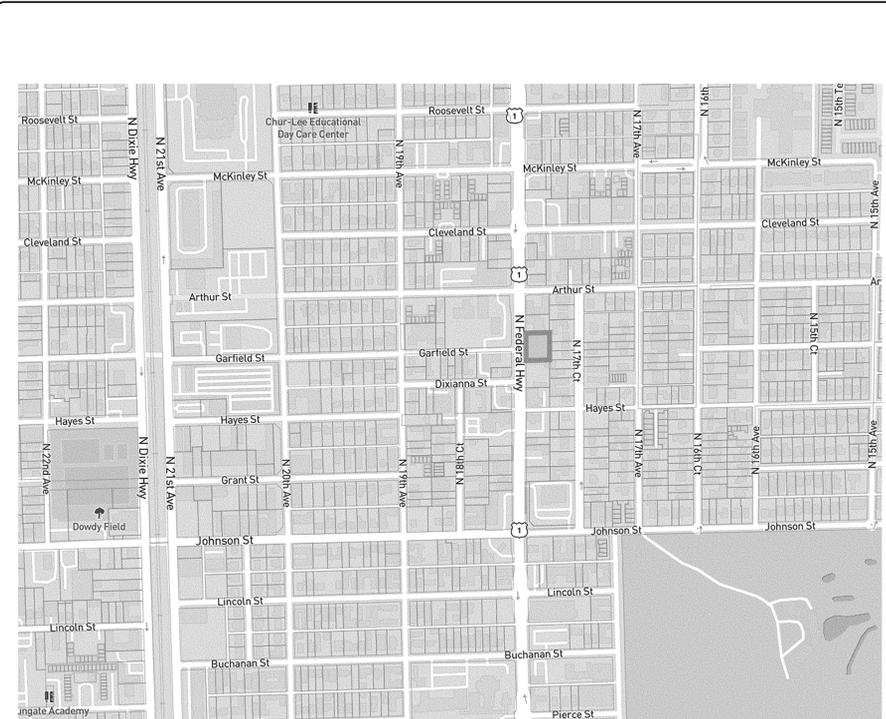
**DESIGN STATEMENTS**

THIS PROJECT SHALL COMPLY WITH THE CRITERIA LISTED IN ARTICLE 5 OF THE ZONING AND LAND DEVELOPMENT REGULATIONS (ZLDRS)  
 WE ARE REQUESTING ONE VARIANCE FOR THE VEHICULAR USE AREA LANDSCAPING REQUIREMENT OF 25%. THIS IS IN COMPLIANCE WITH VARIANCE CRITERIA ADDRESSED IN SECTION 5.3F OF ZLDRS  
 THIS PROJECT SHALL ALSO COMPLY WITH THE DESIGN CRITERIA AS PER SECTION 5.3.1(A) OF THE ZLDRS

**MEETING DATES**

PRELIMINARY TAC MEETING- 12-19-22  
FINAL TAC MEETING- 1-23-23

**SITE LOCATION MAP**



FEDERAL SPA & RESTAURANT  
1203 N. FEDERAL HIGHWAY HOLLYWOOD, FL 33020

COVER SHEET

DESIGNERS/  
ARCHITECTS

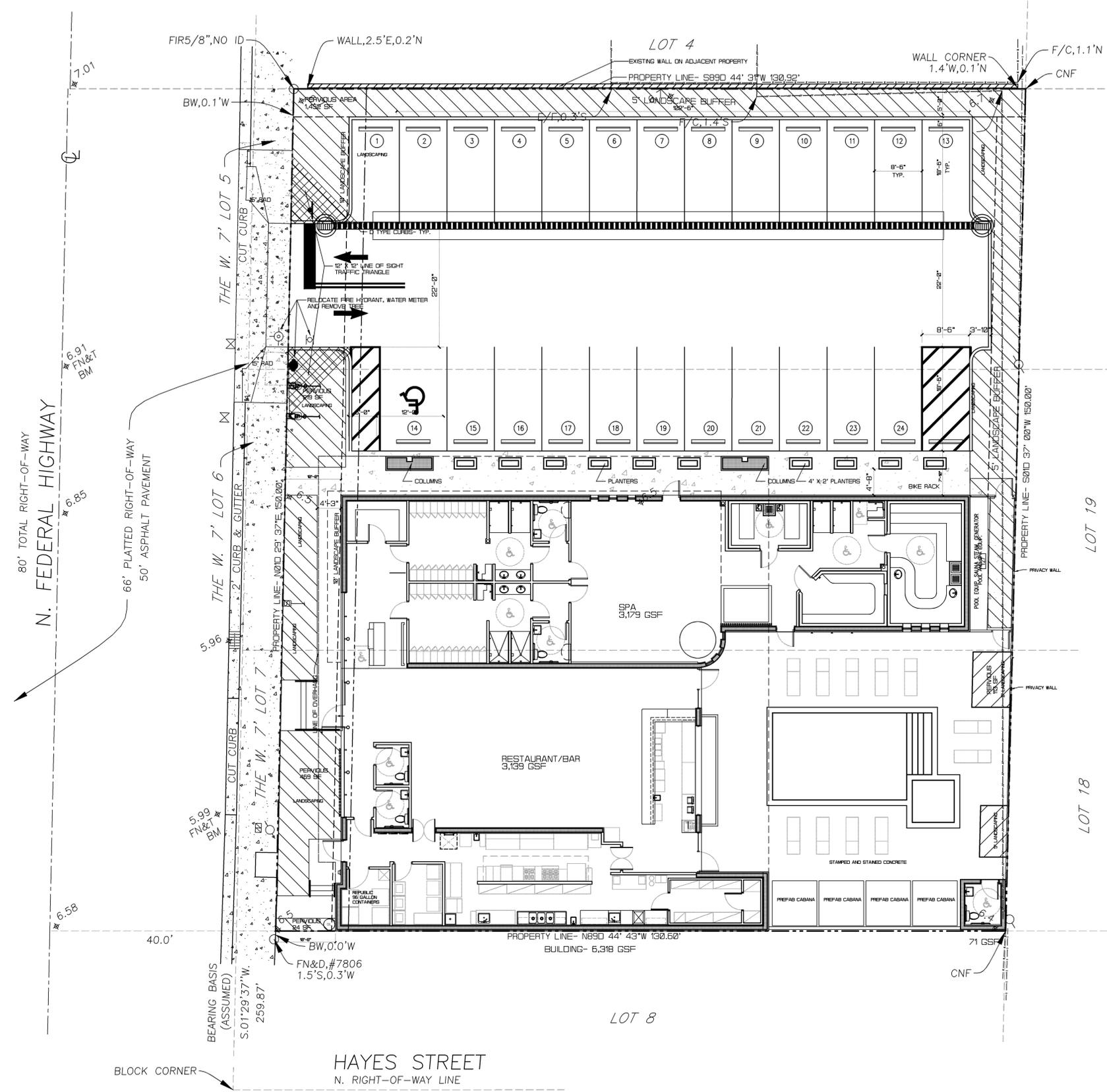
NICHOLS / PAGE DESIGN ASSOC., INC.  
6825 WILSON BLVD. SUITE 201 STIRLING PLACE DAVIE, FLORIDA 33314 (954) 777-5177  
FLA. CORPORATE REG. # AA 26206852

SCALE:  
DRAWN BY: SNP

PROJECT NO.:  
22015.001

DESCRIPTION:  
DATE:  
DWG.:

SHEET NO.:  
DRC1



**SITE DATA:**

LEGAL DESCRIPTION:  
LOTS 5, 6 AND 7, LESS THE WESTERLY 7 FEET THEREOF, OF ST. JAMES PARK SOUTH ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CURRENT LAND USE: REGIONAL ACTIVITY CENTER  
ZONING: FH-2  
REQUIRED SETBACKS:  
FRONT 0' MAXIMUM- 10' LANDSCAPE BUFFER  
SIDE SETBACKS- 0 FEET

SITE AREA: 19,609 SF- 0.45 ACRE  
PERVIOUS AREA: 2,277 SF- 0.6 ACRE  
IMPERVIOUS AREA: 17,331 SF- 0.40 ACRE

TOTAL PARKING REQUIRED: 3 PER 1,000 18 SPACES  
TOTAL PARKING PROVIDED: 24 SPACES  
TOTAL PAVED AREA: 6,845 SF  
TOTAL VEHICULAR LANDSCAPING: 322 SF  
IN ADDITION TO LANDSCAPE BUFFER

HEIGHT OF STRUCTURE IS 20'-4" FROM SLAB ON GRADE  
HEIGHT OF STRUCTURE PERMITTED FOR TOWERS 300'

WE SHALL REQUIRE A VARIANCE FOR THE 25% LANDSCAPING REQUIREMENT OF PAVED AREAS EXCLUDING BUFFERS.

THE MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL)- A SITE LIGHTING PHOTOMETRIC PLAN SHALL BE SUBMITTED FOR APPROVAL.

MAIN BUILDING COVERAGE: 6,186 SF  
REST ROOM BLDG: 71 SF  
SPA: 3,179 SF  
RESTAURANT: 3,128 SF  
TOTAL BUILDING: 6,318 SF

PROVIDE EMPTY 3/4" RACEWAY FROM BRANCH ELECTRICAL PANEL TO A DESIGNATED PARKING AREA FOR CHARGING STATION

MEETING DATES: PRELIMINARY TAC- DECEMBER 19, 2022  
FINAL TAC- JANUARY 23, 2023; POB- DATE TBD

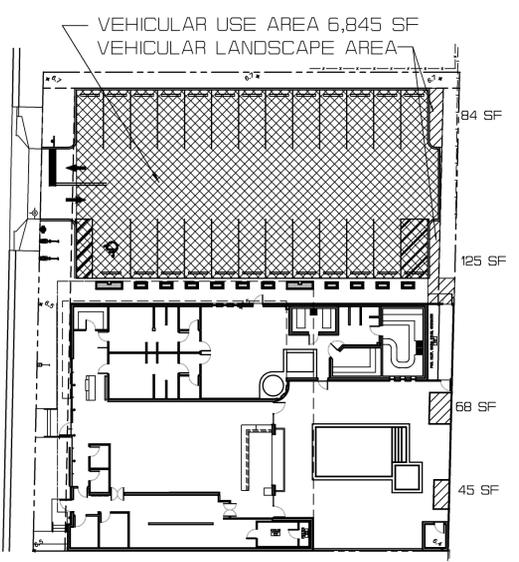
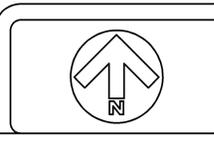
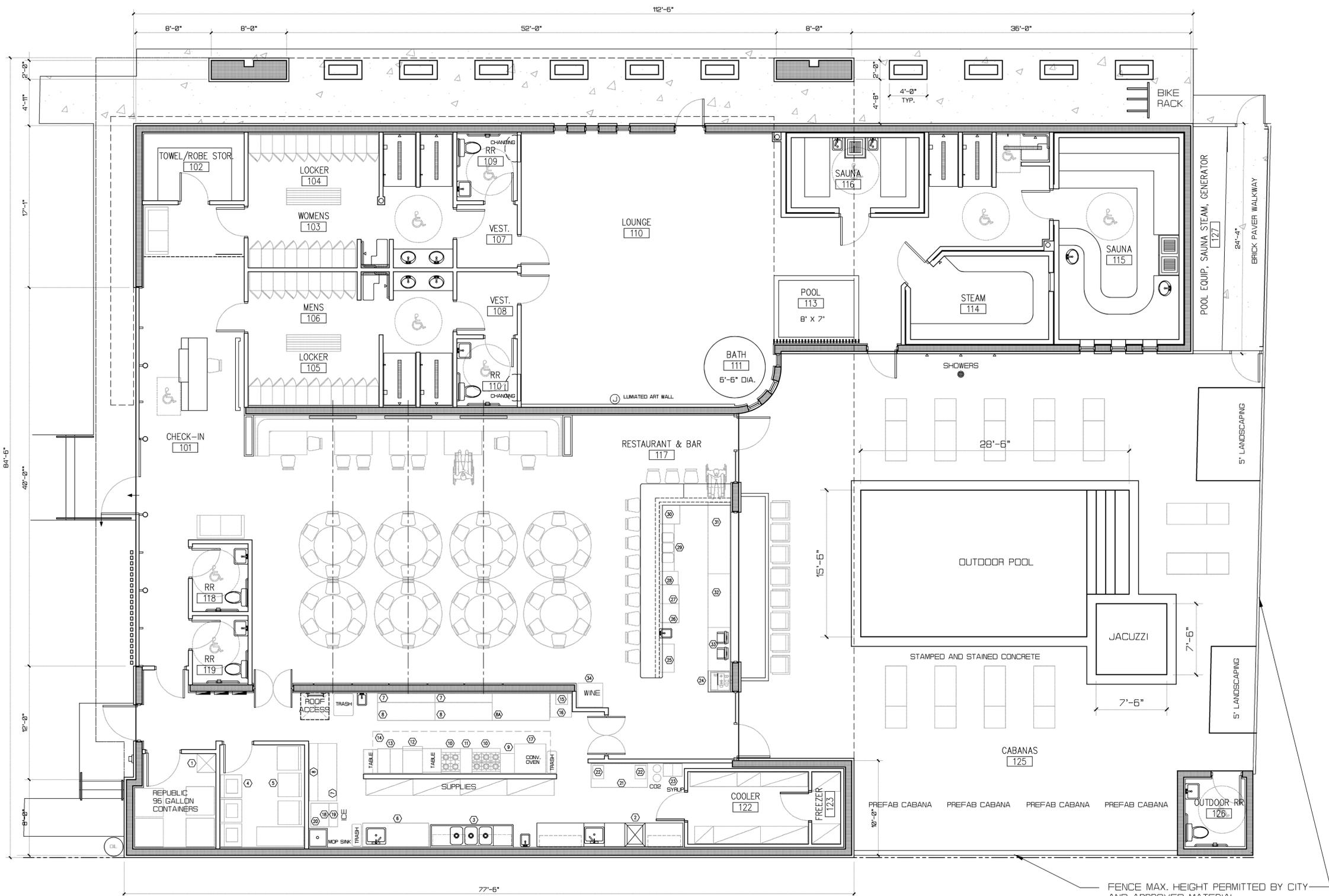


DIAGRAM SHOWING VEHICULAR USE AREA AND LANDSCAPE





**FLOOR PLAN**  
SCALE: 3/16"=1'-0"

STEPHEN M. PAGE  
ARCHITECT OF RECORD  
FLORIDA REGISTRATION  
NUMBER 13088  
DATE: 11/11/11

**FEDERAL SPA & RESTAURANT**  
1203 N. FEDERAL HIGHWAY HOLLYWOOD, FL 33020

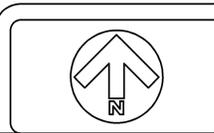
DESIGNERS/  
ARCHITECTS

**NICHOLS / PAGE DESIGN ASSOC., INC.**  
6525 STIRLING PLACE DAVIE, FLORIDA 33314 (954) 777-5177  
FLA. CORPORATE REG. # AA 2602652

SCALE: 3/16"=1'-0"  
DATE: 9/16/11  
DRAWN BY: SNP

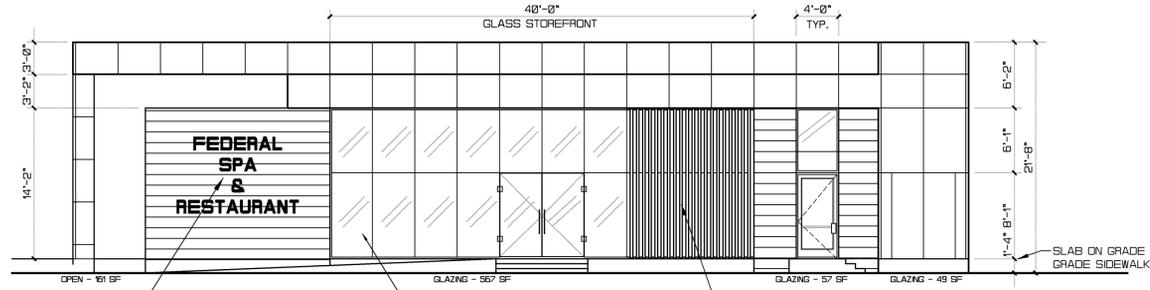
PROJECT NO.: 22015.001  
SHEET NO.: ORC-3

PREL. TAC: 12-18-23  
FINAL TAC: 1-28-23  
DATE: 1-28-23  
DWG: 1-28-23



FENCE MAX. HEIGHT PERMITTED BY CITY AND APPROVED MATERIAL

FLOOR PLAN

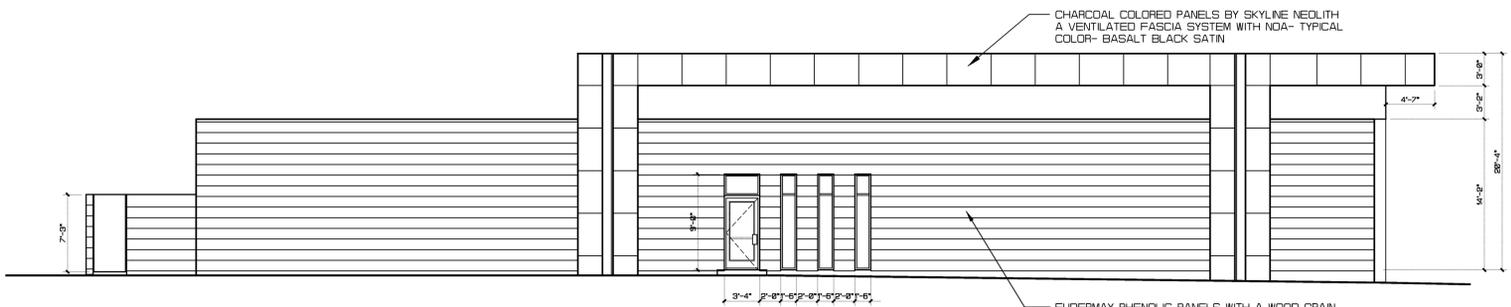


WEST ELEVATION

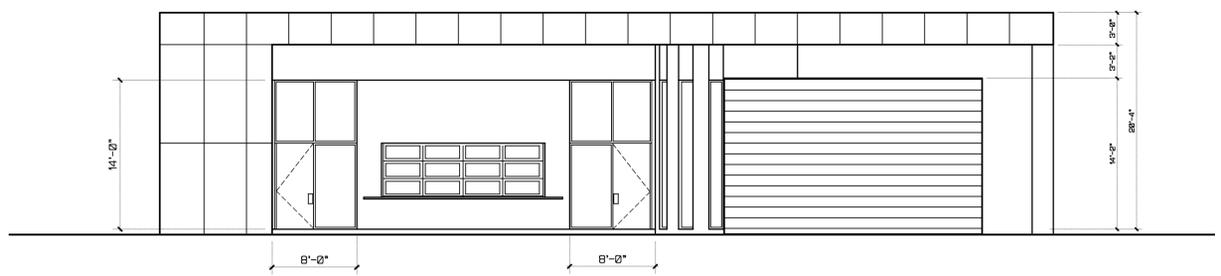
ALL SIGNS SHALL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS. SEPARATE PERMITS FOR EACH SIGN REQ'D.

SLIMPACT FRAMELESS STRUCTURAL HURRICANE SYSTEM- TYPICAL

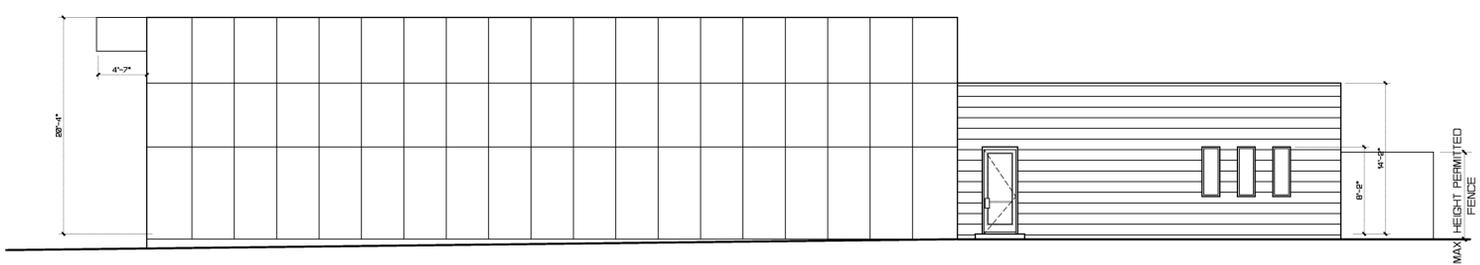
LONGBOARD EXTRUDED ALUMINUM PLANKS WITH A WOOD GRAIN FINSH. COLOR TBD.



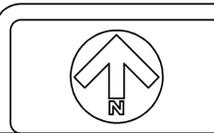
NORTH ELEVATION

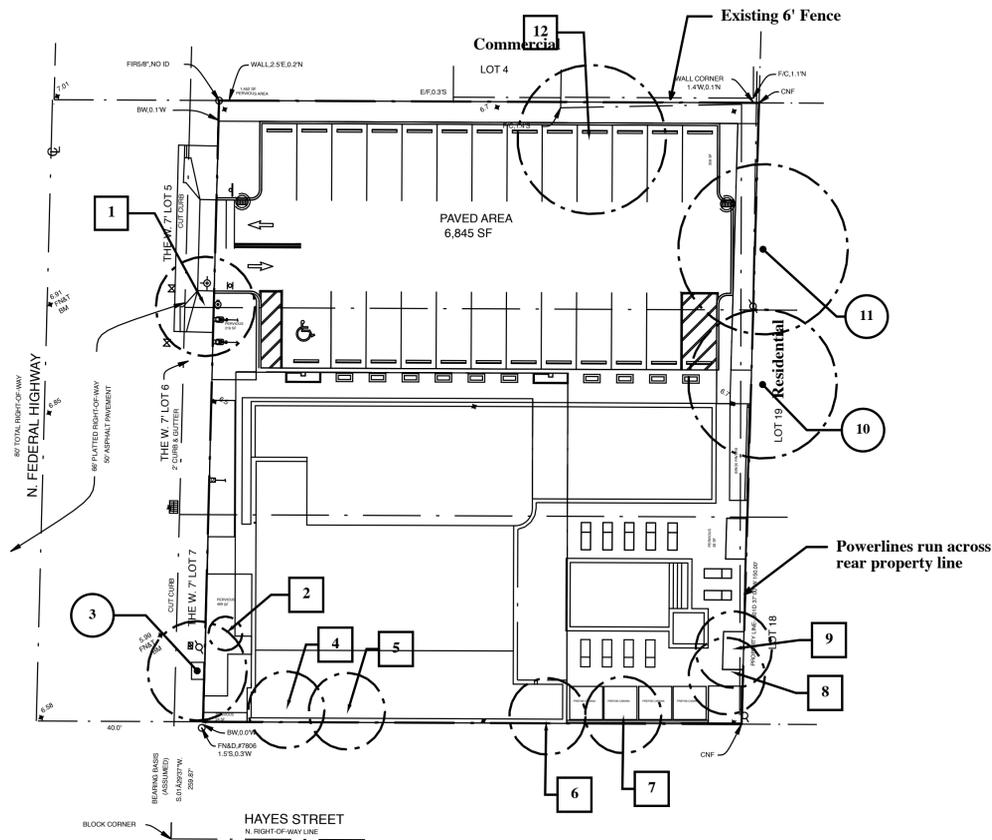


EAST ELEVATION



SOUTH ELEVATION

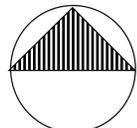




### INVENTORY OF EXISTING TREES

Action	Tree #	Common Name	Scientific Name	DBH (inches)	Height (feet)	Canopy Diameter (feet)	Condition
Remove	1	Live Oak	<i>Quercus virginiana</i>	18	30	34	Poor
Remove	2	Adonidia Palm	<i>VEITCHIA MERILLII</i>	8	8	8	Poor
Remain	3	Live Oak	<i>Quercus virginiana</i>	20	34	25	Poor
Remove	4	Indian Laurel	<i>Ficus nitida</i>	8	25	25	Poor
Remove	5	Tamarindus indica	<i>Tamarind</i>	6	25	18	Poor
Remove	6	Indian Laurel	<i>Ficus nitida</i>	9	25	20	Poor
Remove	7	Indian Laurel	<i>Ficus nitida</i>	8	30	28	Poor
Remove	8	Delonix regia	<i>Delonix regia</i>	30	25	25	Poor
Remove	9	Delonix regia	<i>Delonix regia</i>	12	25	25	Poor
Remove	10	Delonix regia	<i>Delonix regia</i>	18	40	45	Poor
Remove	11	Delonix regia	<i>Delonix regia</i>	24	45	50	Poor
Remove	12	Tamarindus indica	<i>Tamarind</i>	20	50	40	Good

Total DBH to remove = 153" plus 1 palm  
 To be mitigated by payment into the City's tree fund as follows:  
 153"/4" dbh. = 38 trees



NORTH  
1" = 20'-0"

#### TREE DISPOSITION LEGEND

- XX EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- XX EXISTING TREE TO REMOVE

NOTE:  
ALL TREES NOT NOTED TO RELOCATE OR REMOVE SHALL BE PROTECTED AND REMAIN IN PLACE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING EXOTIC LANDSCAPE MATERIAL AND ROOTS WITHIN THE SCOPE AREA AND PERIMETERS TO PROPERTY LINES AND WATERS EDGE.

48 HOURS BEFORE YOU DIG  
CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA



NO.	DATE	REVISION	BY
1.	1-8-23	COMMENTS OF DECEMBER 19, 2022	JS

NO.	DATE	REVISION	BY

PROJECT 213524  
 Drawn: 12-5-22  
 SCALE Checked: JS  
 1" = 20'

**James Santiago**  
 Landscape Architecture and Design  
 612 NE 14th Ave. Unit A, Fort Lauderdale, FL 33304  
 Tel. 954-560-1695 Email Jsantiagolainc@gmail.com

**Tree Disposition Plan**

**Federal Spa and Restaurant**  
 1203 North Federal Highway  
 Hollywood FL 33020

SHEET  
**TD-1**  
 SEAL #795.

# Landscape Calculations Pervious = 2,577 sq.ft.

## Perimeter Landscape

One (1) street tree per 30 linear feet of, of street frontage, 150' / 30' = 5 trees,  
 One (1) tree per 30 linear feet of, Commercial, 130' / 30; = 5 trees,  
 (counting Sylvester palms as 1 tree each)

Residential Alley buffer, (1) tree for every 20 linear fee , 150' / 20' = 5 trees,

## Interior Landscape

Terminal islands (4), =  
 Req.

## VUA

Payment = 5981 sq.ft. Req. LA area = 25% = 1495 Sq.ft.  
 Landscape area provided = 416 sq.ft. (a variance will be applied for).

## Open Space Trees

(1) tree per 1,000 square feet of pervious , 2577 sq.ft / 100 sq.ft. = 3 Trees

Total of trees = Required = 22, Includes existing tree #3

Total native trees = 5, (55%)

## Provided

3 provided

2 provided,

NA

2 Trees

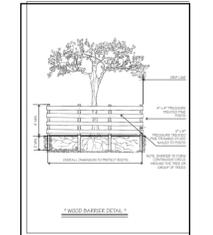
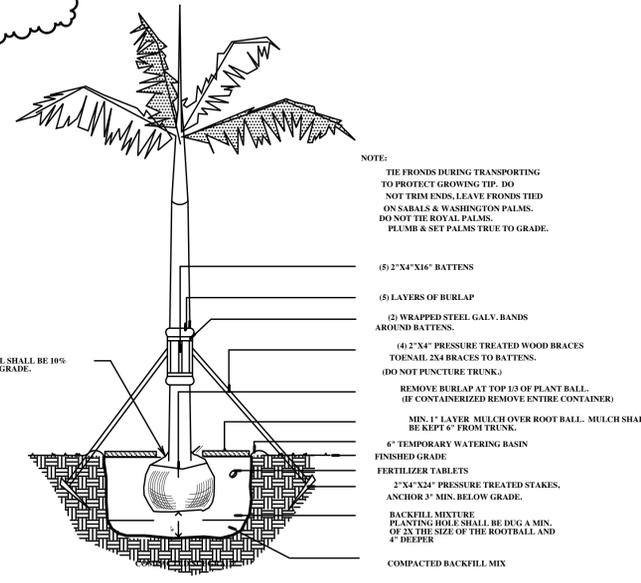
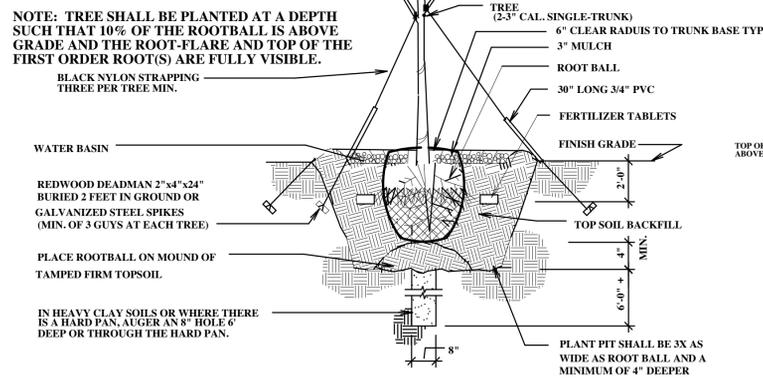
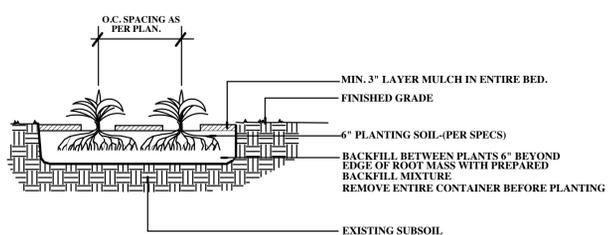
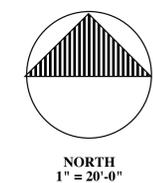
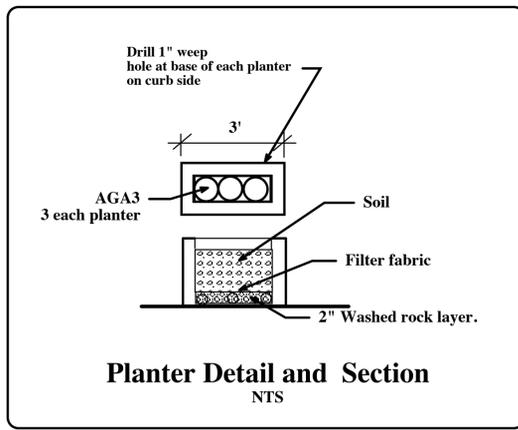
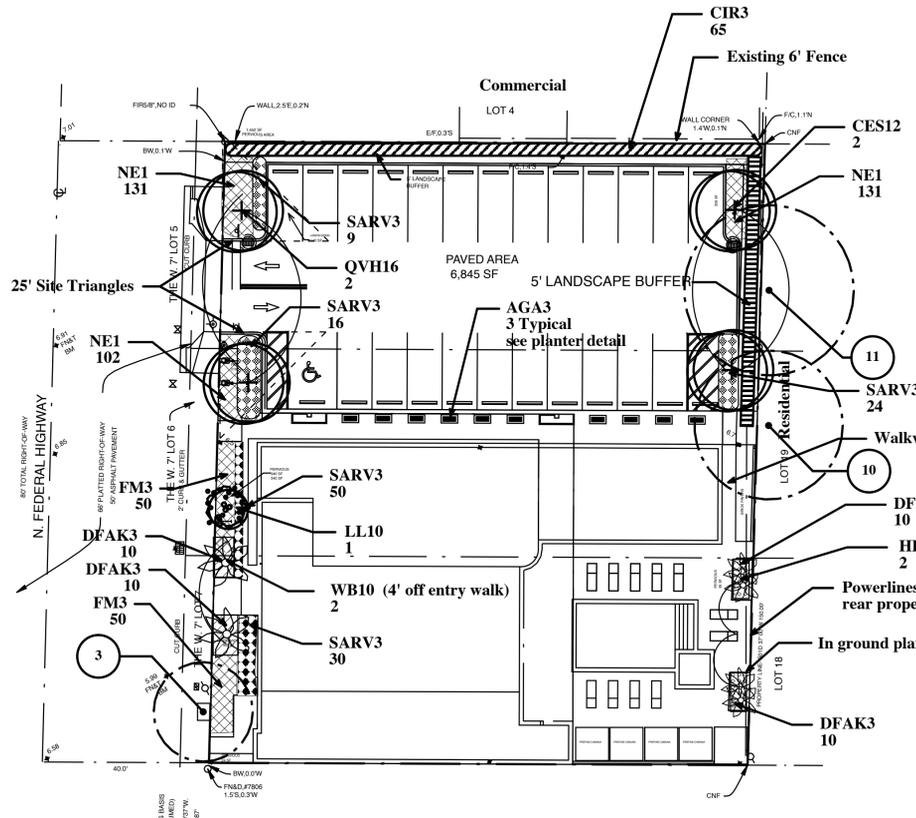
2

9 Trees

## SHRUBS AND GROUNDCOVERS

"N" REFERS TO A NATIVE PLANTING

KEY	PLANT NAME	SPECIFICATION	QUANTITY
AGA3	AGAPANTHUS AFRICANUS AFRICAN LILLY, "ALBA"	18"X18" 3 GALLON FULL TO POT 24" O.C.	30
CES12	CONOCARPUS ERECTUS GREEN BUTTWOOD	12" HT X 6" SPR. MIN. 6CT. 4" DBH. TREE STANDARDS	12
CES12	CONOCARPUS ERECTA SILVER BUTTWOOD TREE	MIN. 12" X 6" SPR. 4" DBH. B&B. SPECIMEN TREE SINGLE TRUNK 3"	4
CIR3	CHRYSOBALANUS CACO RED TIP COCO PALM	24" HT, 18" WIDE, 24" OC	65
DEA3	TRIPSACUM FLORIDANA DWARF FLORIDA GAMA GRASS	24" X 24" 2" O.C. 3 gal.	30
EM3	FICUS MICROCARPA GREEN ISLAND FICUS	12"X12" SPR. 3 GAL. FULLPOT, 24" O.C.	100
HL42	HYOPHORBE LAGENICALLIS BOTTLE PALM	4" CT. 6-8" OA. double palm, 8" OA Matched n.c.	2
LL10	LAGERSTROMIA INDICA "BILOXI" CREPE MYRTLE PINK VARIETY	10-12" X 6-8" SPR. 4" CT. 2 1/2" DBH. PALE PINK FLOWER SINGLE TRUNK MATCHED TREE	2
NE1	NEPHROLEPIS EXALTATA BOSTON FERN	12" OA. FULL TO POT 12" O.C. GC.	364
QVH16	QUERCUS VIRGINIANA LIVE OAK "HIGH RISE"	16" MIN X 8" SPR. B&B, SPECIMEN 4" DBH. 2 CT	2
SARV3	SCHIFFELERA ARBORICOLA "TRINETTE" VARRIGATED ARBORICOLA	3 GAL FULL 36"HT 20C	129
WB10	WODVETIA BURFICATA FOXTAIL PALM	10" CT, B&B 16" OA IF IN MULTIPLES THEN MATCHED.	2



- ### LANDSCAPE BID CONDITIONS
- The quantities on the plant list are for the convenience of the contractor only and not to be considered as the final quantity for installation. The callouts and entities drawn on these plans take precedence over the plant list.
  - The contractor shall be responsible for his own takeoffs of the plantings drawn.
  - The contractor shall be expected to visit the site prior to bid. The contractor shall have an understanding of the on site conditions to prepare his bid. Any questions concerning conditions are to be brought to the owners attention prior to bid.
  - Any discrepancies concerning the materials or conditions of the site that shall inhibit the installation as drawn shall be brought to the attention of the owners representatives. Issues found prior to bid will become a condition of the bid after the award of the contract.
  - After the award of the contract, any discrepancies in the plans or additional materials and costs because of pre-existing conditions at the site shall not be a reason for any additional charges to the owners.
  - These bid conditions are not to be considered all inclusive. There may be additional conditions included in other documents of the construction agreement. It is the contractors responsibility to make himself and his subcontractors aware of any other such conditions.
  - Trees and palms shall be guaranteed for a period of 1 year from time of acceptance and shrubs are to be guaranteed for 6 months from time of acceptance.

### Planting Notes

- ALL SIZES SHOWN FOR PLANT MATERIAL ON PLAN ARE TO BE CONSIDERED AS MINIMUMS. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN WILL ALSO BE REQUIRED FOR FINAL ACCEPTANCE.
- ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR UNLESS OTHERWISE SPECIFIED SHALL BE FLORIDA NO.1 OR BETTER, AND SHALL BE INSTALLED AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, PART 1 & II, STATE PLANT BOARD OF FLORIDA, LATEST EDITION
- IN ADDITION TO THESE REQUIREMENTS ALL LOCAL LANDSCAPE CODES AND REQUIREMENTS SHALL BE MET IN ORDER TO SATISFY THE REVIEW AND APPROVAL OF THE GOVERNING MUNICIPALITY.
- ALL LANDSCAPING SCHEDULED TO OCCUR IN VEHICULAR USE AREAS SHALL BE PROTECTED FROM VEHICULAR ENCROACHMENT BY CURBING OR OTHER DURABLE BARRIERS.
- ALL PLANTING HOLES SHALL BE A MINIMUM OF 2 1/2 TIMES THE DIAMETER OF THE PLANT BALL. ALL PLANTING HOLES AND GROUND COVER PLANTING BEDS SHALL BE EXCAVATED TO A DEPTH OF 30" TO REMOVE ALL OBJECTIONABLE MATERIALS, SUCH AS ROADROCK, ASPHALT, SUB-BASE, CONCRETE, ROCK, CAUSTIC MATERIALS WITH AN EXCESSIVE SOIL PH, OR SIMILAR MATERIALS NOT SUITED FOR LANDSCAPE PLANTING.
- ALL PLANT MATERIALS SHALL BE PLANTED IN PLANTING SOIL THAT IS DELIVERED TO THE SITE IN A CLEAN, LOOSE AND FRIABLE CONDITION. ALL SOIL SHALL HAVE A WELL DRAINED CHARACTERISTIC. SOIL MUST BE FREE OF ALL ROCKS, STICKS, OBJECTIONABLE DEBRIS INCLUDING WEEDS AND WEED SEED. PLANTING MIX BACKFILL SHALL BE PROVIDED TO A MINIMUM DEPTH OF 30" IN ALL SHRUB HOLES AND GROUND COVER PLANTING AREAS.
- ALL PLANT MATERIALS SHALL BE THOROUGHLY WATERED IN AT THE TIME OF PLANTING. NO DRY PLANTING SHALL BE PERMITTED. ALL PLANT MATERIALS SHALL BE PLANTED SUCH THAT THE TOP OF THE PLANT BALL IS FLUSH WITH THE SURROUNDING GRADE.
- ALL PLANT MATERIALS SHALL BE INSTALLED WITH FERTILIZER WHICH SHALL BE STATE APPROVED AS A COMPLETE FERTILIZER CONTAINING THE REQUIRED MINIMUM OF TRACE MINOR ELEMENTS IN ADDITION TO N-P-K, OF WHICH 50% OF THE NITROGEN SHALL BE DERIVED FROM AN ORGANIC SOURCE.
- ALL LANDSCAPE AREAS NOT COVERED BY SHRUBS OR GROUND COVERED SHALL BE COVERED BY SOD AND ALL AREAS NOT COVERED BY SOD SHALL BE COVERED WITH MALELUCA MULCH, TO A MINIMUM DEPTH OF THREE (3) INCHES OF COVER WHEN SETTLED. MULCH SHALL BE EUCALYPTUS OR STERILIZED MELALEUCA ONLY. MULCH SHOULD BE PUSHED BACK 3" AWAY FROM THE BASE OF THE PLANT
- SOD SHALL BE (AS NOTED) SOLID SOD, AND SHALL BE LAID ON A SMOOTH PLANTING BASE WHICH HAS BEEN GRADED TO MEET THE DRAINAGE CHARACTERISTICS OF THE SITE. ALL SOD SHALL BE LAID WITH CLOSELY FITTED JOINTS, AND SHALL BE IN A GREEN AND HEALTHY GROWING CONDITION AT PLANTING. SOD SHALL BE PLACED ON A BED OF TOP SOIL, 2" IN DEPTH. SOD SHALL BE ST. AUGUSTINE FLORATAM UNLESS NOTED OTHERWISE IN PLANTING NOTES OR ON THE PLANTING PLAN. RETENTION AREAS MAY REQUIRE BAHIA SOD.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY A FULLY AUTOMATIC SYSTEM ADJUSTED TO PROVIDE 150% COVERAGE OF ALL LANDSCAPE AREAS. ALL HEADS SHALL BE ADJUSTED TO MIN. 50% OVERLAP. IRRIGATION WATER SHALL COME FROM A RUST FREE SOURCE. THERE AN AUTOMATIC SHUTOFF/RAIN SENSOR ATTACHED TO THE SYSTEM.
- ANY SUBSTITUTIONS TO PLANT MATERIALS FOR AREAS AND ITEMS ADDRESSED BY LOCAL CODES SHALL BE APPROVED BY THE GOVERNING MUNICIPALITY PRIOR TO WORK PERFORMED.
- ALL LANDSCAPE AREAS SHALL BE FINISH GRADED SUCH THAT THEY ARE FLUSH AND LEVEL WITH SURROUNDING PAVED SURFACES AS NOT TO IMPEDIE THE FLOW OF DRAINAGE INTO LANDSCAPE AREAS AND TO PREVENT THE BACKWASH OF MULCH AND DEBRIS INTO PAVED AREAS.
- ALL LANDSCAPE BEDS SHALL BE EXCAVATED TO REMOVE ALL ROADROCK, LIMESTONE AND ANY OTHER DEBRIS DOWN TO A DEPTH 30" BELOW FINISHED GRADE AND BACKFILLED WITH APPROVED SOIL.
- PLANTING PLAN TAKES PRECEDENT OVER PLANT LIST.
- MULCH SHALL BE STERILIZED MELALEUCA MULCH.

19,608 SF - .45 ACRE

GROUNDCOVER/ANNUALS PLANTING DETAIL E NOT TO SCALE

SINGLE TRUNK GUYING AND PLANTING DETAIL B NOT TO SCALE

PALM PLANTING DETAIL A NOT TO SCALE

Tree Protection Detail C

NO.	DATE	REVISION	BY
1.	1-9-23	COMMENTS OF 12-19-22 AND 1-9-23	JS

NO.	DATE	REVISION	BY

PROJECT 213524  
 Drawn: 12-5-22  
 SCALE Checked: JS  
 1" = 20'

**James Santiago**  
 Landscape Architecture and Design  
 612 NE 14th Ave. Unit A, Fort Lauderdale, FL 33304  
 Tel. 954-560-1695 Email jsantiagolainc@gmail.com

**Landscape Plan**

**Federal Spa and Restaurant**  
 1203 North Federal Highway  
 Hollywood FL 33020

SHEET  
**L-1**  
 SEAL #795

48 HOURS BEFORE YOU DIG  
 CALL SUNSHINE  
 1-800-432-4770  
 IT'S THE LAW IN FLORIDA

**VERTICAL DATUM CONVERSION NOTE**

ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NAVD-88 VERTICAL DATUM (UNLESS OTHERWISE NOTED). THE FOLLOWING CONVERSION FACTOR SHOULD BE USED TO CONVERT ELEVATIONS SHOWN ON THIS PLAN FROM THE NAVD-88 DATUM TO THE NGVD-29 DATUM:

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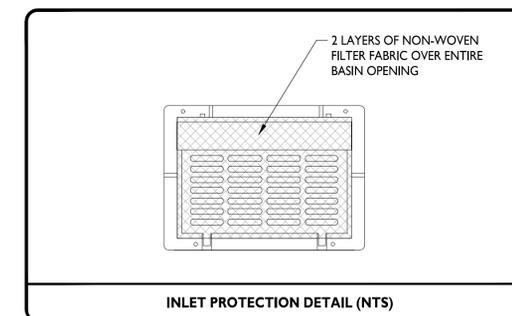
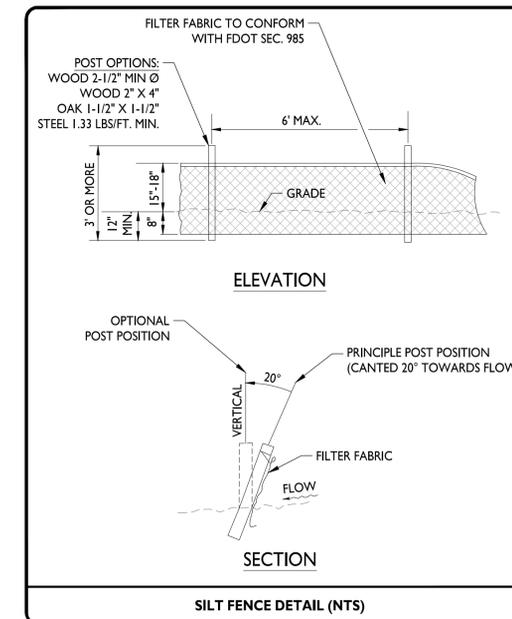
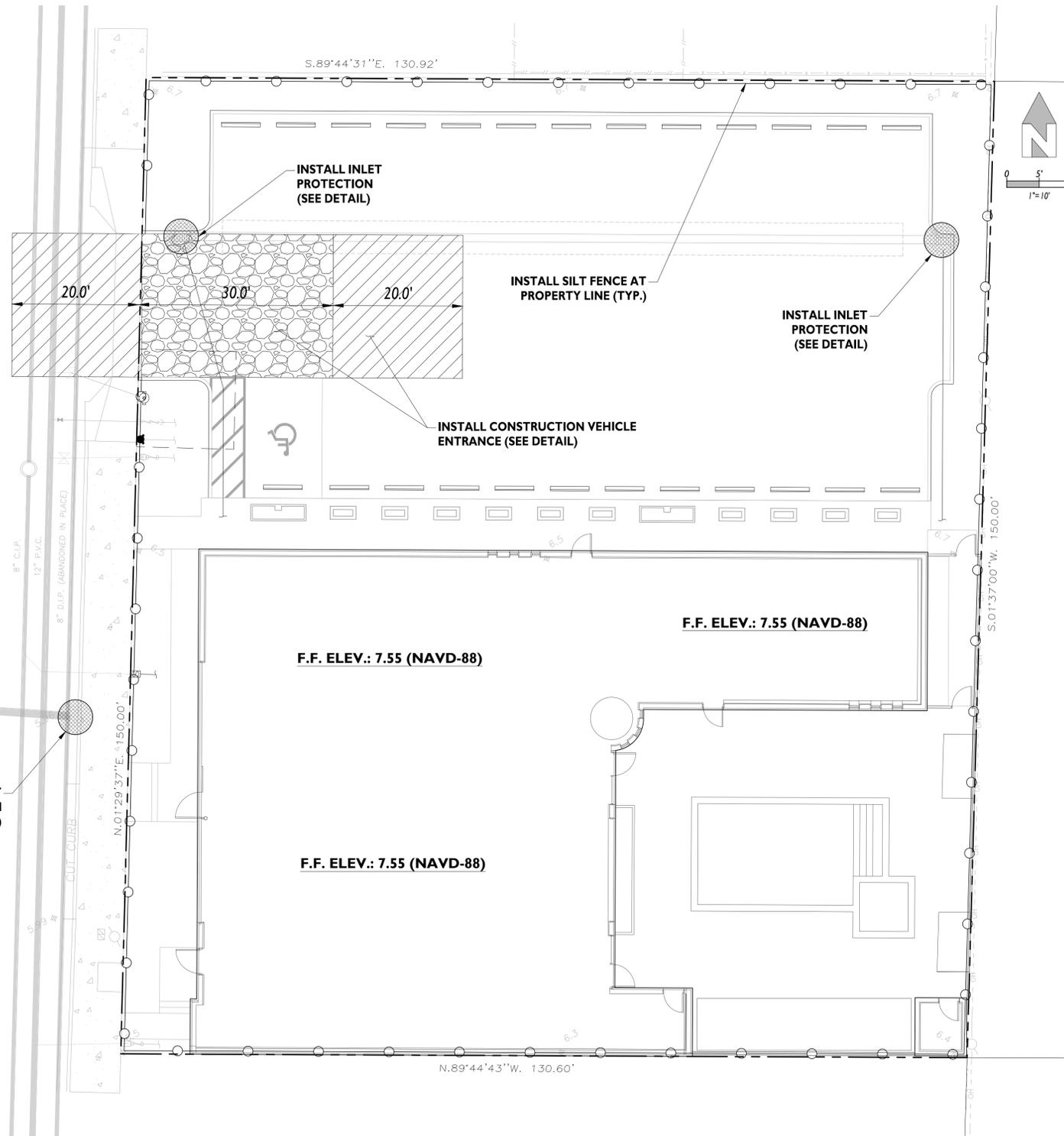
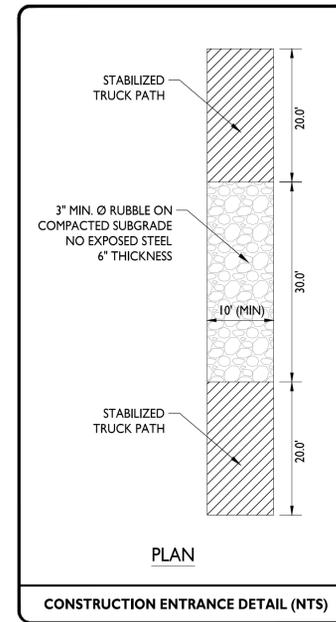
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ADJUSTED PLAN ELEVATION (NGVD-29) = 13.81 NGVD-29

SYMBOL LEGEND	
	PROPOSED SILT FENCE
	CONSTRUCTION VEHICLE ENTRANCE
	PROPOSED INLET PROTECTION



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**BARDEZ**

5048 POINTE EMERALD LANE, BOCA RATON, FL 33486  
(0) 561-465-5949 | (e) nbarnett@bardezco.com

**PROJECT DESCRIPTION**

FEDERAL SPA AND RESTAURANT

ADDRESS: 1203 N. FEDERAL HWY; HOLLYWOOD  
PROPERTY IDENTIFICATION NO.(S): 5142-10-05-0030  
PREPARED FOR: WILDEC, LLC

**E-CERTIFICATION**

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NOEL A. BARNETT, PE ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

**CERTIFICATION**

DATE: 01-09-2023

**NOEL BARNETT**  
PROFESSIONAL ENGINEER  
FL LICENSE NO. 72006  
FL BUSINESS C.A. NO.: 32223

**SHEET TITLE**

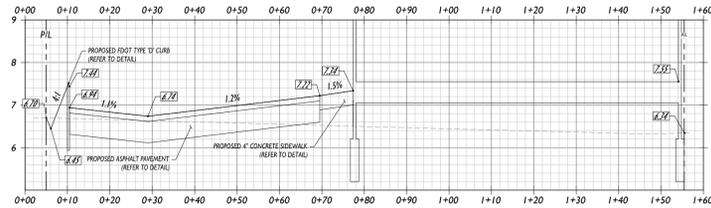
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**SHEET ID**

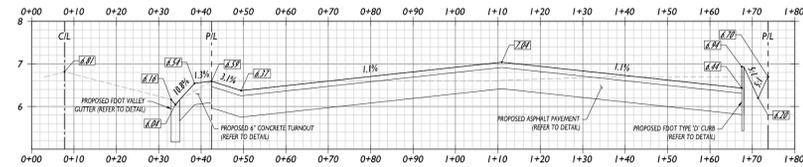
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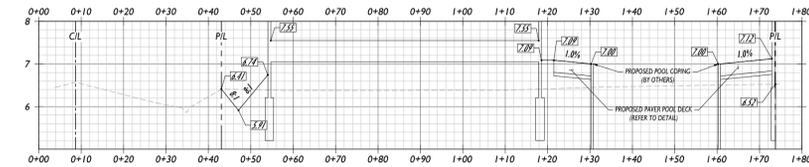
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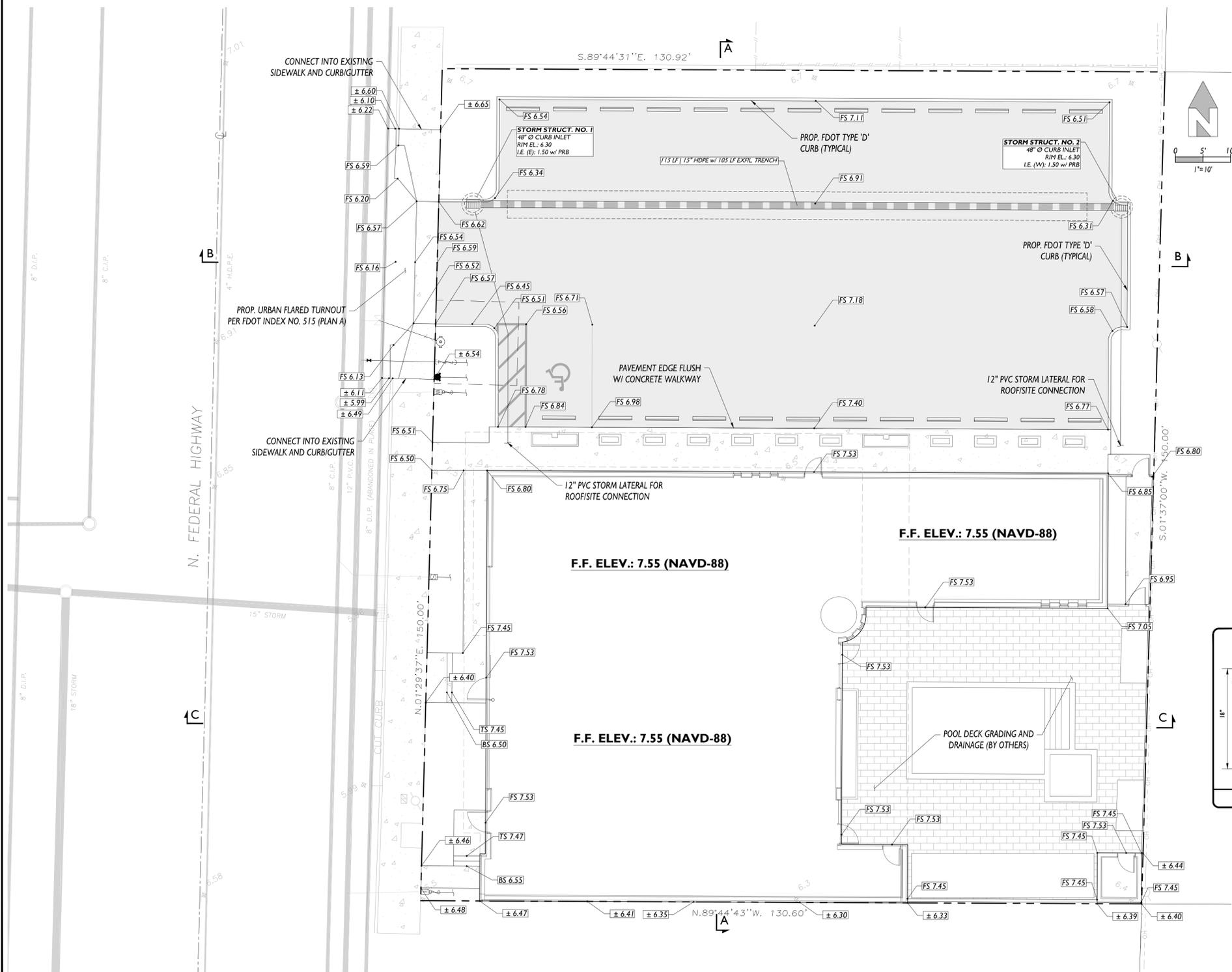
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SECTION B-B  
SCALE: 1"=20' (HORIZ) | 1"=2' (VERT)



SECTION C-C  
SCALE: 1"=20' (HORIZ) | 1"=2' (VERT)



SYMBOL LEGEND	
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE WALKWAY
	PROPOSED DRAINAGE SWALE (8\"/>
	FINISHED SURFACE ELEVATION
	MATCH ELEVATION (APPROXIMATE)
	FINISHED FLOOR ELEVATION
	TOP OF STEP ELEVATION
	BOTTOM OF STEP ELEVATION
	PROPOSED FOOT TYPE 'D' CURB
	EXISTING SPOT ELEVATION
	EXISTING DRAINAGE INLET
	PROPOSED DRAINAGE INLET
	PROPOSED YARD DRAIN
	PROPOSED DRAINAGE PIPE
	LOCATION OF GRADING CROSS-SECTION (REFER TO SHEET NO. C-4.1)

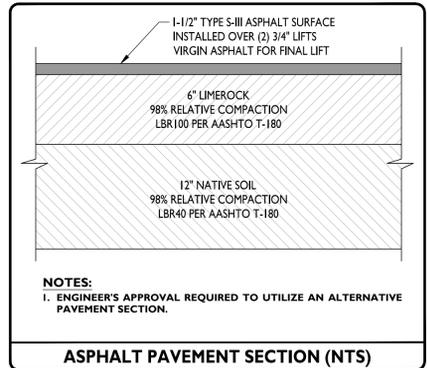
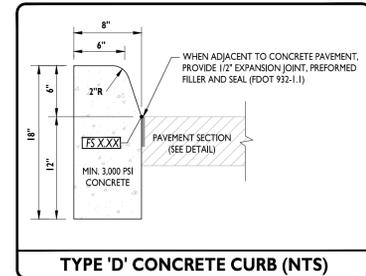
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**BARDEZ**  
 5048 POINTE EMERALD LANE, BOCA RATON, FL 33486  
 (0) 561-465-5949 | (e) nbarnett@bardezco.com

**PROJECT DESCRIPTION**  
 FEDERAL SPA  
 AND RESTAURANT  
 ADDRESS: 1203 N. FEDERAL HWY, HOLLYWOOD  
 PROPERTY IDENTIFICATION NO.(S): 5142-10-05-0030  
 PREPARED FOR: WILDEC, LLC

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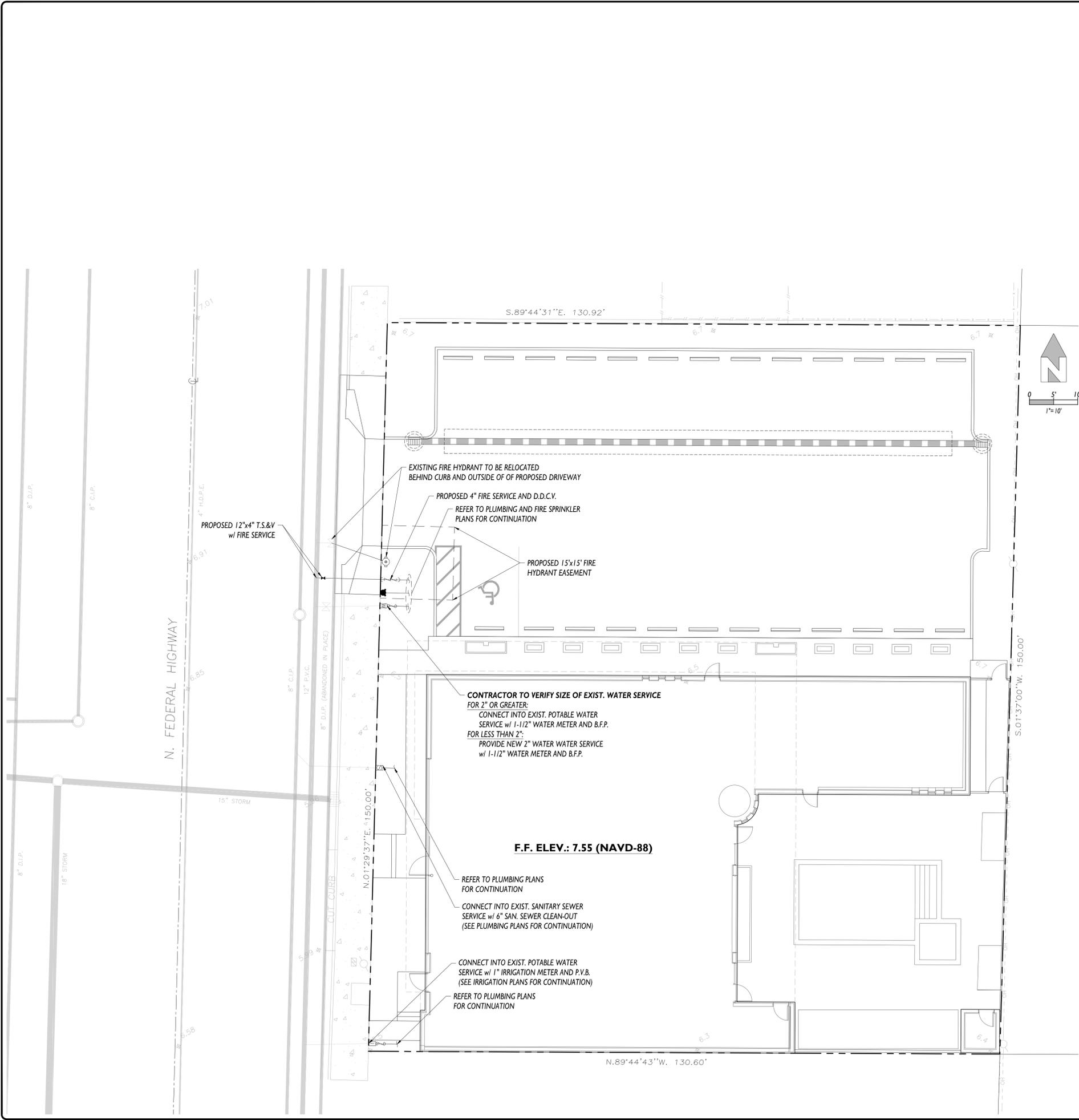
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DATE: 01-09-2023  
**NOEL BARNETT**  
 PROFESSIONAL ENGINEER  
 FL LICENSE NO. 72006  
 FL BUSINESS C.A. NO.: 32223

**SHEET TITLE**  
 ENGINEERING  
 PLAN

**SHEET ID**  
 C-3.0



SYMBOL LEGEND	
⊛	PROPOSED POTABLE WATER METER (REFER TO MEP PLANS)
⊠	PROPOSED BACKFLOW PREVENTOR (REFER TO MEP PLANS)
⊚	PROPOSED IRRIGATION WATER METER (REFER TO IRRIGATION PLANS)
⊙	FIRE SERVICE POINT OF CONNECTION (REFER TO MEP PLANS)
⊛	PROPOSED FIRE HYDRANT
⊠	PROPOSED GATE VALVE
⊠	PROPOSED TEE OR TAPPING SLEEVE
⊠	PROPOSED 6" ELBOW/BEND
⊠	PROPOSED CAP + FLUSH VALVE
⊠	PROPOSED WATER MAIN
⊠	PROPOSED SANITARY SEWER CLEANOUT
⊠	PROPOSED SANITARY SEWER STRUCTURE
⊠	PROPOSED SANITARY SEWER MAIN
⊠	PROPOSED PUBLIC UTILITY EASEMENT

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WATER/SEWER DEMAND CALCULATIONS	
3,190 SF SPA @ 3.50 (ERU) / 1,000 SF	= 11.16 ERU
3,128 RESTAURANT @ 1.788 (ERU) / 1,000 SF	= 5.59 ERU
<b>TOTAL EQUIVALENT RESIDENTIAL UNITS</b>	<b>= 16.75 ERU</b>
<b>TOTAL WATER DEMAND (AVERAGE DAY)</b>	<b>= 16.75 ERU x 185 GPD / ERU</b>
	<b>= 3,100 GPD (AVERAGE DAY)</b>

(\*) ASSUMED VALUE  
 (\*\*) VALUE OBTAINED FROM BROWARD COUNTY EQUIVALENT RESIDENTIAL UNIT FACTORS, DATED APRIL 2, 2012

**NOTE TO CONTRACTOR:**  
 ALL UNDERGROUND FIRE MAIN WORK MUST BE COMPLETED BY FIRE PROTECTION CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE PER FS 633.102

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**SHEET TITLE**  
**UTILITY PLAN**

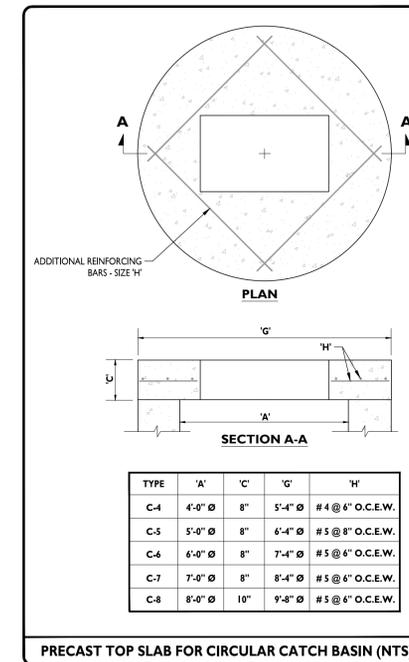
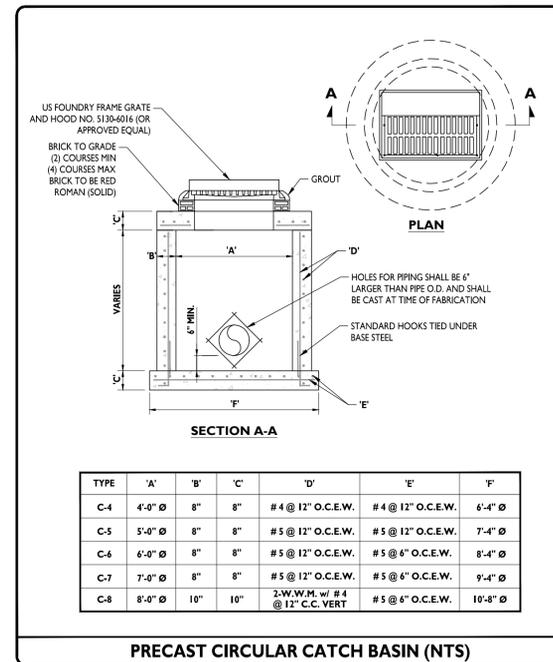
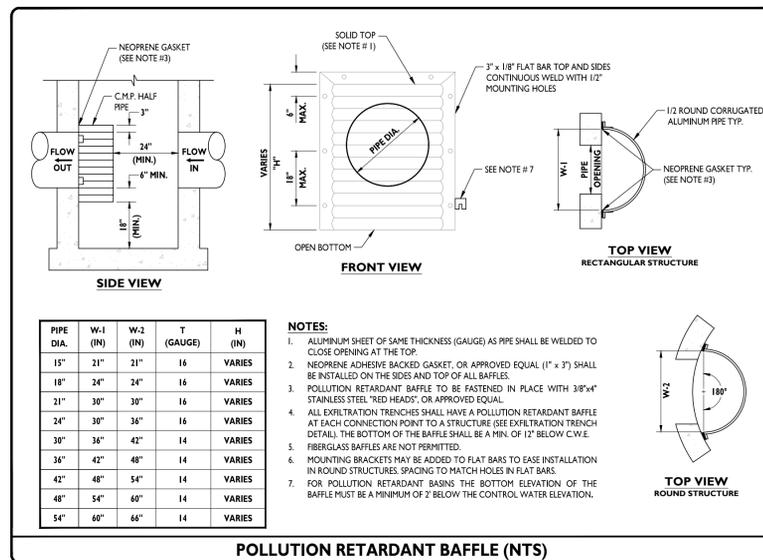
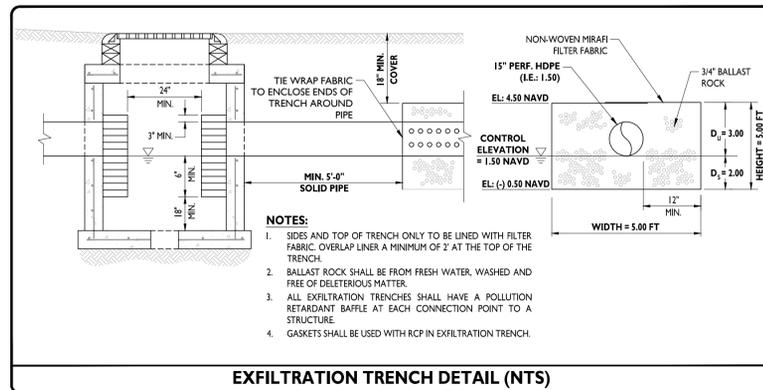
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**REVISIONS**

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FL BUSINESS C.A. NO.: 32223

DATE: 01-09-2023

**SHEET TITLE**  
**ENGINEERING DETAILS**

**SHEET ID**  
**C-3.1**





5048 POINTE EMERALD LN; BOCA RATON, FL 33486  
(p) 561.465.5949 | (e) nbarnett@bardezco.com

January 3, 2023

To: Barbara Blake Boy, Executive Director  
Broward County Planning Council  
115 South Andrews Avenue, Room 307  
Fort Lauderdale, Florida 33301

Re: Request for Plat Determination  
Proposed +/-5,500 SF Building (Spa + Restaurant)  
1203 N. Federal Highway; Hollywood, FL  
Property Identification No.: 5142-10-05-0030

Ms. Boy:

On behalf of the property owner (WILDEC LLC), we are writing to request a platting determination for the above-referenced property and proposed development.

As indicated on the attached survey, the subject property is an assemblance of land parcels described in the "St. James Park South Addition" subdivision (P.B. 2, PG. 49), comprising altogether an overall land area of 19,614 sf (0.450 ac), and being within the jurisdictional limits of the City of Hollywood. The property is currently vacant and contains no structures.

The development plan calls for an overall 5,500 sf (+/-) structure to be operated as a spa and restaurant facility w/ associated automobile parking facilities

Enclosed for your use and consideration are copies of the property survey w/ legal description, property appraiser's map, and preliminary site plan. Also enclosed is a check to cover the submittal fee for properties platted before 06/04/1953.

Please do not hesitate to contact me should you have any questions or require any additional information to facilitate your determination.

Best regards,

Noel Barnett, PE, LEED AP  
FL Professional Engineer No.: 72006

**BARDEZ, LLC**  
FL Certificate of Auth. No.: 32223



# **PRELIMINARY DRAINAGE CALCULATIONS**

*FOR*

## **FEDERAL SPA AND RESTAURANT**

*ADDRESS:* 1203 N. Federal Highway; Hollywood, FL

*FOLIO NO.:* 5142-10-05-0030

***PREPARED FOR:***

WILDEC, LLC

***PREPARED BY:***



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FL CERTIFICATE OF AUTHORIZATION NO.: 32223

***PREPARED UNDER THE SUPERVISION OF:***

Signed: January 9, 2023

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Noel Barnett, PE, LEED<sup>AP</sup>  
FL Professional Engineer No.: 72006



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## WATER QUALITY CALCULATIONS

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**1. Compute 1-inch of runoff over the entire site:**

$$\begin{aligned} &= 1.0 \text{ IN} \times \text{Total project} / 43,560 \text{ (SF/AC)} \\ &= 1.0 \text{ IN} \times 19,608 \text{ SF} / 43,560 \text{ (SF/AC)} \\ &= 0.45 \text{ AC-IN, required detention storage} \end{aligned}$$

**2. Compute 2.5-inches of runoff over impervious area:**

- a. Site Area (for water quality pervious/impervious calculation only)  
= Total project – (lake + roof)  
= 19,608 SF - (593 SF + 6,186 SF)  
= 12,829 SF, Site Area (for water quality pervious/impervious calculation only)
- b. Impervious Area (for water quality pervious/impervious calculation only)  
= Site Area (for water quality) – pervious  
= 12,829 SF - 2,277 SF  
= 10,552 SF Impervious Area (for water quality pervious/impervious calculation only)
- c. Percentage of imperviousness for water quality  
=  $\frac{\text{Impervious Area (for water quality)} \times 100 \%}{\text{Site Area (for water quality)}}$   
= 10,552 SF / 12,829 SF  $\times$  100 %  
= 82.3 % Impervious
- d. For 2.5-in times the percentage impervious  
= 2.5 IN  $\times$  0.823  
= 2.056 IN, depth to be treated
- e. Compute volume required for quality detention  
= depth to be treated  $\times$  (total site – lake) / 43,560 (SF/AC)  
= 2.056 IN  $\times$  (19,608 SF - 593 SF) / 43,560 (SF/AC)  
= 0.9 AC-IN, required detention storage

**3. Required Volume of Stormwater Runoff to Receive Water Quality Treatment:**

Since 0.90 is greater than 0.45, the required water quality treatment volume = 0.90 AC-IN (3,258 CF)

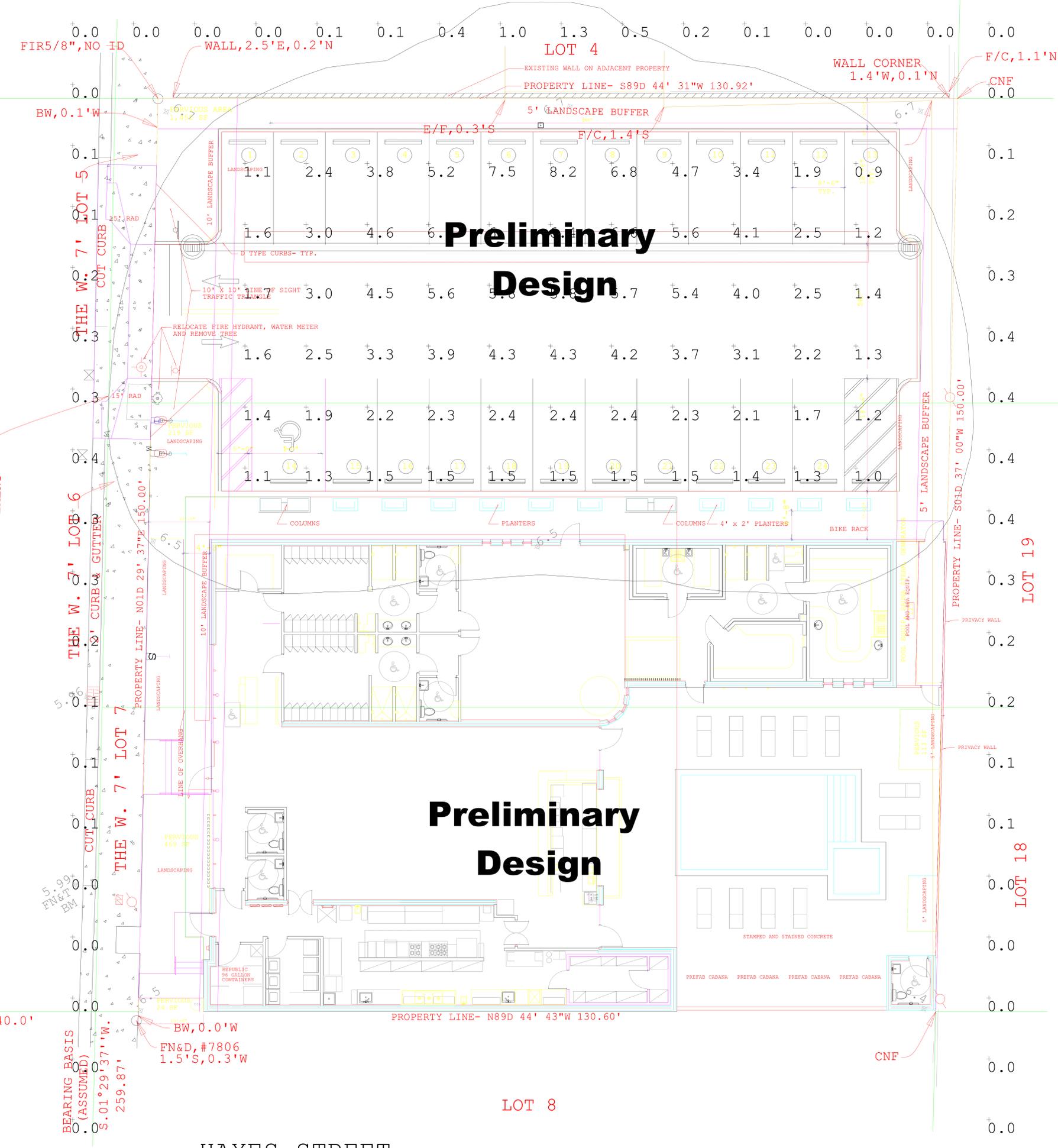


skyline  
NEOLITH



80' TOTAL RIGHT-OF-WAY  
**N. FEDERAL HIGHWAY**

66' PLATTED RIGHT-OF-WAY  
 50' ASPHALT PAVEMENT



**Preliminary Design**

**Preliminary Design**

**SITE DATA:**

LEGAL DESCRIPTION:  
 LOTS 5, 6 AND 7, LESS THE WESTERLY 7 FEET THEREOF, OF ST. JAMES PARK SOUTH ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CURRENT LAND USE: REGIONAL ACTIVITY CENTER  
 ZONING: FH-2  
 REQUIRED SETBACKS:  
 FRONT 0' MAXIMUM- 10' LANDSCAPE BUFFER  
 SIDE SETBACKS- 0 FEET

SITE AREA: 19,608 SF- 0.45 ACRE  
 PERVIOUS AREA: 2,277 SF- 0.6 ACRE  
 IMPERVIOUS AREA: 17,331 SF- 0.40 ACRE

TOTAL PARKING REQUIRED: 3 PER 1,000 SPACES  
 TOTAL PARKING PROVIDED: 24 SPACES

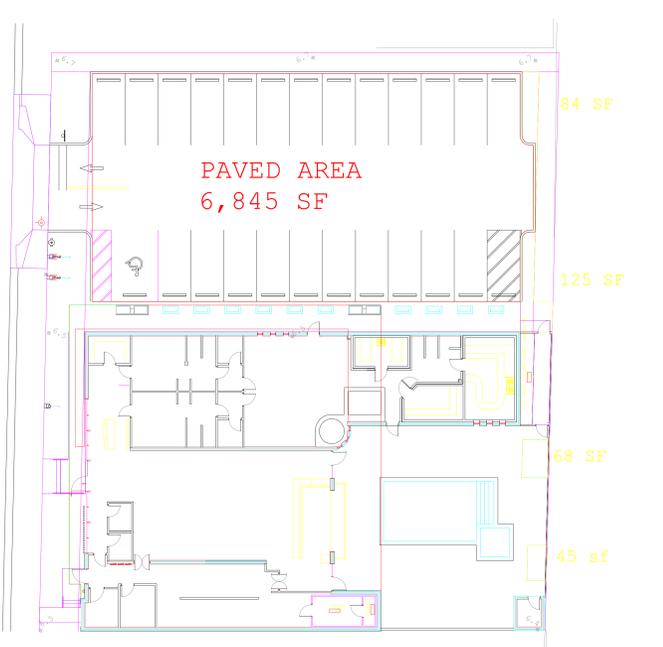
TOTAL PAVED AREA: 6,845 SF  
 TOTAL VEHICULAR LANDSCAPING: 322 SF  
 IN ADDITION TO LANDSCAPE BUFFER

HEIGHT OF STRUCTURE IS 20'-4"  
 HEIGHT OF STRUCTURE PERMITTED FOR TOWERS 300'

WE SHALL REQUIRE A VARIANCE FOR THE 25% LANDSCAPING REQUIREMENT OF PAVED AREAS EXCLUDING BUFFERS.

THE MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL)- A SITE LIGHTING PHOTOMETRIC PLAN SHALL BE SUBMITTED FOR APPROVAL.

MAIN BUILDING COVERAGE: 6,186 SF  
 REST ROOM BLDG: 71 SF  
 SPA: 3,190 SF  
 RESTAURANT: 3,128 SF  
 TOTAL BUILDING: 6,318 SF



**HAYES STREET**  
 N. RIGHT-OF-WAY LINE

**LOT 8**