

ATTACHMENT A
Application Package

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd
Room 315
Hollywood, FL 33022
Tel: (954) 921-3471
Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee
 ☐ Art in Public Places Committee
 ☐ Variance
☐ Planning and Development Board
 ☒ Historic Preservation Board
 ☐ Special Exception
☐ City Commission
 ☐ Administrative Approval
 ☐ Administrative Approval

PROPERTY INFORMATION

Location Address: 908 TYLER STREET
 Lot(s): 18 Block(s): 63 Subdivision: HOLLYWOOD LAKES Section
 Folio Number(s): 514214022570

Zoning Classification: RS 6 Land Use Classification: _____
 Existing Property Use: SINGLE FAMILY Sq Ft/Number of Units: 1488 sq ft / 1 unit
 Is the request the result of a violation notice? () Yes ☒ No If yes, attach a copy of violation.
 Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

DEVELOPMENT PROPOSAL

Explanation of Request: Requesting Approval To demolish existing in order to build a new two story single family home.
 Phased Project: Yes ☒ No Number of Phases: _____

Project	Proposal
Units/rooms (# of units)	<u>1 Dwelling unit</u> (Area: <u>3,000</u> S.F.)
Proposed Non-Residential Uses	<u>N/A</u> S.F.
Open Space (% and SQ.FT.)	<u>41.9%</u> (Area: <u>2,207</u> S.F.)
Parking (# of spaces)	<u>41 TOTAL: (3) SURFACE & (1) IN COVERED GARAGE</u> (Area: <u>898</u> S.F.)
Height (# of stories)	<u>2-STORY</u> (<u>23</u> FT.)
Gross Floor Area (SQ. FT)	<u>3,365 SQ. Ft.</u>

Name of Current Property Owner: GNV USA LLC
 Address of Property Owner: P.O BOX 611655 Miami FL 33261
 Telephone: 212.845.9027 Email Address: info@gnyusa.com

Applicant RALPH TAIT Consultant ☒ Representative ☐ Tenant (circle one)
 Address: 11820 MIRAMAR PKWY S 121 MIAMI FL 33025 Telephone: 954-592-2841
 Email Address: rtait@bellsouth.net
 Email Address #2: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No ()
 If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only): Diana B. Rio
 E-mail Address: diana@rdmiami.com

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 7/8/2024

PRINT NAME: Izhar Cohen - Manger

Date: _____

Signature of Consultant/Representative: _____

Date: 7/8/2024

PRINT NAME: RALPH TAIT, ARCHITECT

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

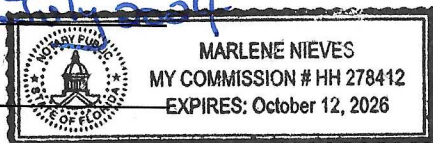
Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____
The above development proposal _____ to my property, which is hereby made by me or I am hereby authorizing
_____ Ralph Tait, Architect _____ to be my legal representative before the _____ Board _____ (Board and/or
Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 8 day of July 2024



Notary Public
State of Florida

Signature of Current Owner

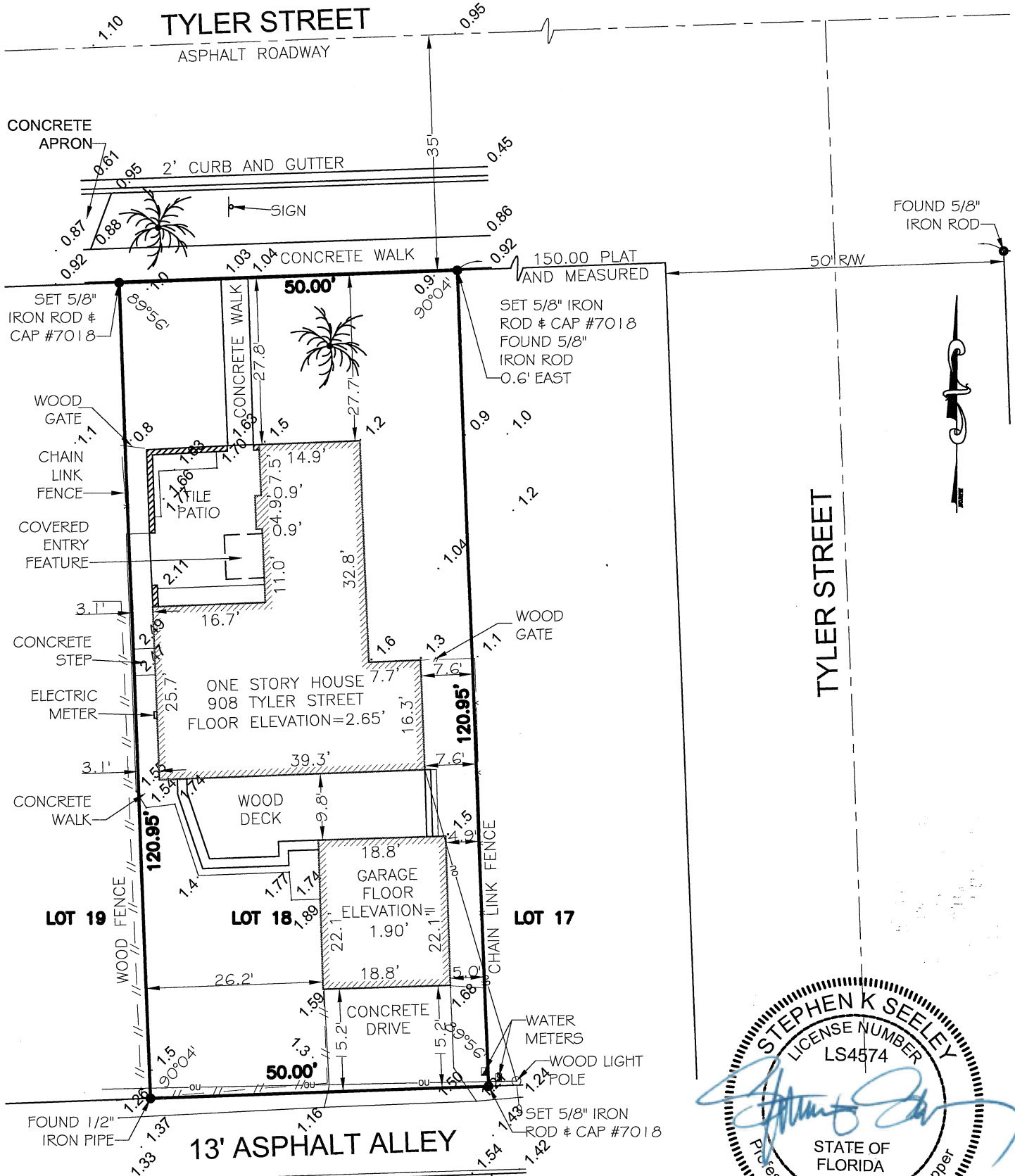
Izhar Cohen - Manger
Print Name

My Commission Expires: 10/12/2026 (Check One) _____ Personally known to me; OR ☒ Produced Identification Drivers license

DESCRIPTION:

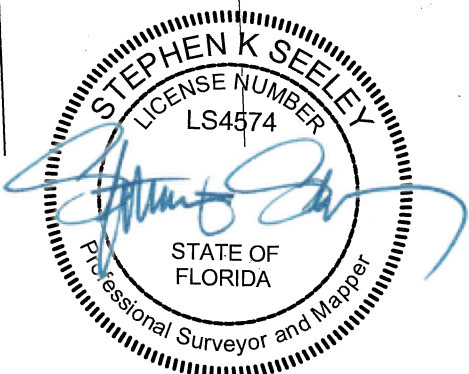
LOT 18 , BLOCK 63, OF HOLLYWOOD LAKES SECTION, A SUBDIVISION OF SECTION 14, AND PART OF SECTION 13, LYING WEST OF THE FLORIDA COAST LINE CANAL AND TRANSPORTION COMPANY'S CANAL IN TOWNSHIP 51 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

HOLLYWOOD
BROWARD COUNTY, FLORIDA
125113
ZONE AE
BASE FLOOD ELEVATION=5
PANEL No. 12011 C0 588 H
FIRM DATE- 08/18/2014



CERTIFIED TO:
IZHAR COHEN
CLEAR TITLE SERVICES, INC.
FIRST AMERICAN TITLE INSURANCE

- NOTES
- 1) THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.
 - 2) THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
 - 3) ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - 4) BENCHMARK REFERENCE- NGS MONUMENT DESIGNATION B 311 - PID AD2430 - ELEVATION= 1.68 (NAVD88)
 - 5) NORTH ARROW RELATIVE TO ASSUMED EAST ALONG THE CENTERLINE OF TYLER STREET STREET.
 - 6) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY STEPHEN K SEELEY ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

STEPHEN K. SEELEY, FOR THE FIRM
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 4574

REVISION	DATE	BY	SKETCH OF BOUNDARY SURVEY	
ADD TREES & ELEVATIONS	4-15-24	CM		
ADD CERTIFICATION	4-26-24	CM		
			JOB # CM	DATE: 04-10-2024
			SCALE: 1"=20'	FILE No.:
			DRAWN BY: CM	CHECKED BY: SKS

GIBBS LAND SURVEYORS

2131 HOLLYWOOD BOULEVARD, SUITE 204, HOLLYWOOD, FL 33020 (954) 923-7666
LICENSED BUSINESS NO. 7018

Legal Description & Project Information:

Legal Description:

LOT 18 , BLOCK 63, "HOLLYWOOD LAKES SECTION ", ACCORDING TO PLAT
THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS
OF BROWARD COUNTY, FLORIDA. SAID LAND SITUATED IN THE CITY OF
HOLLYWOOD, BROWARD COUNTY, FLORIDA

BUILDING DATA

FIRST FLOOR A/C SPACE: 1,294 SQ. FT.
SECOND FLOOR A/C SPACE: 1,510 SQ. FT.
GARAGE (NON A/C SPACE) 365 SQ. FT.
TOTAL AREA A/C SPACE: 2,804 SQ. FT.
TOTAL BUILDING AREA: 3,169 SQ. FT.,

ZONING DATA

RS-6

	<u>REQUIRED</u>	<u>PROVIDED</u>
LOT AREA	6,000 SQ. FT. MIN.	6,047.5 SQ. FT.
LOT WIDTH	60 FT MIN.	50 FT.
LOT COVERAGE	N/A	2,207 / 6,047.5 SQ FT. OR 36.4 % OF S.A.
GREEN SPACE	N/A	2,528.5 SQ. FT. OR 41.9% OF S.A.
POOLS / POOL DECK	N/A	626 SQ. FT. / 6,047.5 SQ. FT. = 10.4% OF S.A.
VUA + PEDESTRIAN WALKS	N/A	686 SQ. FT. OR 11.3% OF SITE AREA
DENSITY	N/A	1 SINGLE FAMILY RESIDENCE

BUILDING SETBACK

PRINCIPAL FRONT	25FT MIN.	25 FT
SECONDARY FRONT	N/A	N/A
SIDE	7'-6" FT MIN. 25% LOT WIDTH TOTAL MIN = 12'-6"	7'-6"
REAR	15% OF LOT DEPTH 18'-1" MIN.	30'-0" TO GARAGE

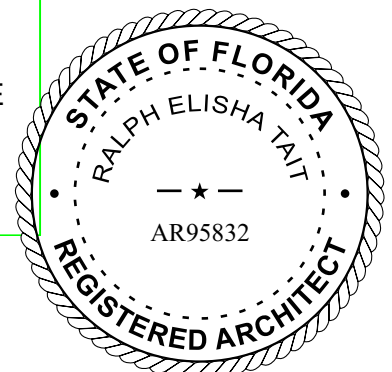
BUILDING HEIGHT

PRINCIPAL BUILDING	30 FT OR 2 STORY	23'-0" TOP OF FLAT ROOF DECK
<u>PARKING</u>	4 PARKING SPACES	4 PARKING SPACES GARAGE & SURFACE

FRONT YARD REQD. GREEN SPACE:

50 FT. x 25 FT. = 1,250 SQ. FT. (.20) = 250 SQ. FT. MIN. LANDSCAPE
PERVIOUS OPEN SPACES REQD.

1,067 SQ. FT. OR 85.3% PERVIOUS OPEN SPACE PROVIDED





October 21, 2024

City Of Hollywood
Planning Division
2600 Hollywood Blvd.
Hollywood, Fl. 33020

**Re: Proposed Single Family Residence for:
GNY USA LLC
908 Tyler Street Hollywood, Fl. 33019**

Criteria Statement on Certificate of Appropriateness for Design/Demolition

Dear Board Members,

This firm represents GNY USA LLC, owners of the property situated at 908 Tyler Street. We are submitting this letter of intent in support of the application for a certificate of appropriateness regarding the design of a new two-story single-family residence for the aforementioned property.

1. Retention and Preservation of Historic Character:

The structure will maintain its historic character by remaining a single-family residence and incorporating design elements similar to the original structure, like the sloping roof with barrel tiles and flat roof. Automobile access and parking will also follow the original pattern by being located at the rear of the property.

2. Rationale for Removal of Historic Materials:

The removal of historic materials is unavoidable due to the house being in severe disrepair. Since it cannot be occupied in its current state, demolition is necessary.

3. Retention of Historically Significant Changes:

Items of historic significance, such as the main entry door, will be preserved when possible. The property owners have agreed to donate the entry door to the local historical society as per their request.

4. **Preservation of Historic Materials during New Construction:**

Efforts will be made to prevent the destruction of historic materials. Similar to the previous point, the entry door will be preserved and donated.

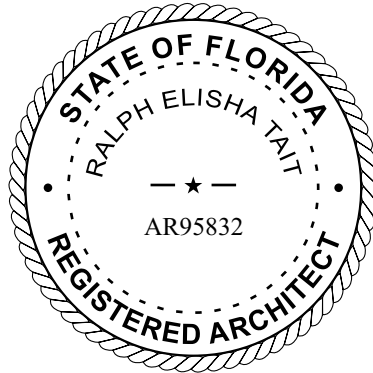
5. **Compatibility and Differentiation of New Work:**

The new construction will differentiate from the old while maintaining compatibility with the surrounding neighborhood. This will be achieved by incorporating certain design elements similar to the original structure such as, the roof style and massing, ensuring that the new work respects the scale and architectural features of the neighborhood, which consists of one- and two-story single-family homes.

This approach demonstrates a balance between preserving historical elements and making necessary updates for safety and functionality.

Sincerely,

Ralph E Tait, R.A.
AR95832
President
Ralph Tait Architect, Inc.





City of Hollywood
Division of Planning
2600 Hollywood Blvd, Room 315
Hollywood, FL 33022

**RE: 908 Tyler Street
Hollywood, FL 33019**

Subject: Structural Assessment

Upon the request of Mr. Rafi Soltz, we have inspected the residence listed above for the purpose of evaluating the existing conditions of the structure. The construction system of the house is wood floor framing supported on masonry stem and spread footings. Residence envelope is masonry walls. The roof structure is wood framing.

The exterior of the house shows signs of age and moisture deterioration. Wood members around the house: doorways, windows, window frames exhibit significant wood rotting and decay. Wood member joints around the doors and windows have shifted, expanded and/or separated so they are no longer tight and no longer prevent water intrusion. The roof structure has collapsed at South East bedroom, bathroom and corridor of the house. The rest of roof structure is progressing to total collapse. House structure is not safe.

Residence finished floor is below FEMA flood elevation. The floor structure has been experiencing cycles of wet and dry causing extreme decay of wood members. The floor structure has large deformation due to the displacement of the foundation supports. The floor inclines heavily in areas toward the corners and supporting walls. Therefore floor structure is unsafe to walk on. Doors cannot open or close properly because of jamming due to the floor deformations. The kitchen floor is also deformed and has rotting issues as well.

In addition to the continuous water exposure damage, the wood structure is infested with termites, which are the ones responsible of the roof wood frame damage and progressive collapse. The roof of the Detached garage located experience same damage and failure.

Because of the damages explained above and the finished floor elevation of house below flood elevation requirement, repair of existing structure is not feasible. Our office recommendation is to demolish and rebuilt new structure in accordance with current Florida Building Code.



LIMITATIONS OF LIABILITY

We warrant that the services performed by Unison Structural Design LLC are conducted in a manner consistent with the level and skill ordinarily exercised by members of the profession currently practicing under similar conditions. No other warranties expressed or implied are made.

Recommendations and conclusions are based primarily on visual observation and record plans, when available. Concealed conditions may exist and may not become evident without destructive testing or destructive exposure. No destructive testing or exposure was conducted unless specifically noted herein. We are not responsible for any concealed conditions. If conditions are found that are inconsistent with or vary from visible portions of the building, the engineer should be contacted so that field conditions can be examined and recommendations revised, if necessary.

The contents of this report are for the exclusive use of the client, the client's design and construction team and governmental authorities. Information conveyed in this report shall not be used or relied upon by other parties or for other projects without the expressed written consent of Unison Structural Design LLC. This report discusses structural considerations for this site based upon observed conditions and our understanding of construction and foundation support. Environmental issues including (but not limited to) asbestos, soil and/or groundwater contamination are beyond our scope of service.

Should you have any questions or require additional information regarding the above, please feel free to contact me.

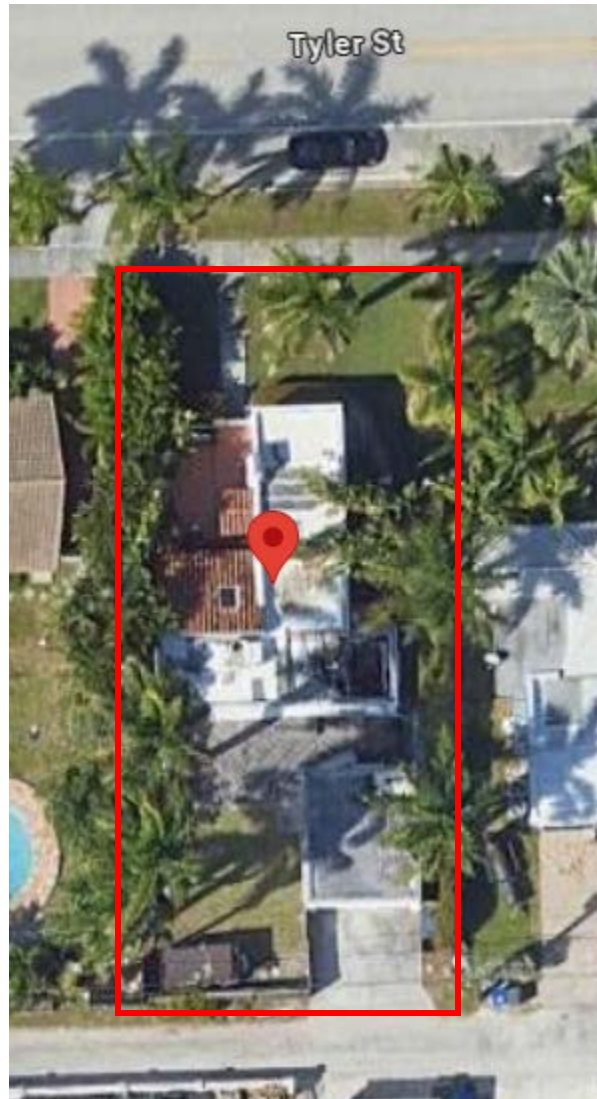
Sincerely,

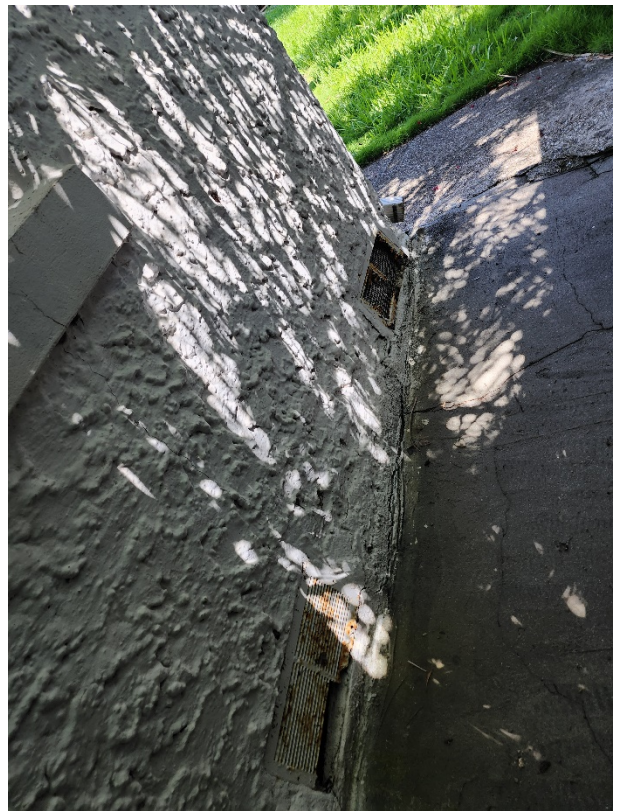
Unison Structural Design LLC



Kervin Ventura, P.E. #74146

908 Tyler Street, Hollywood, FL 33019









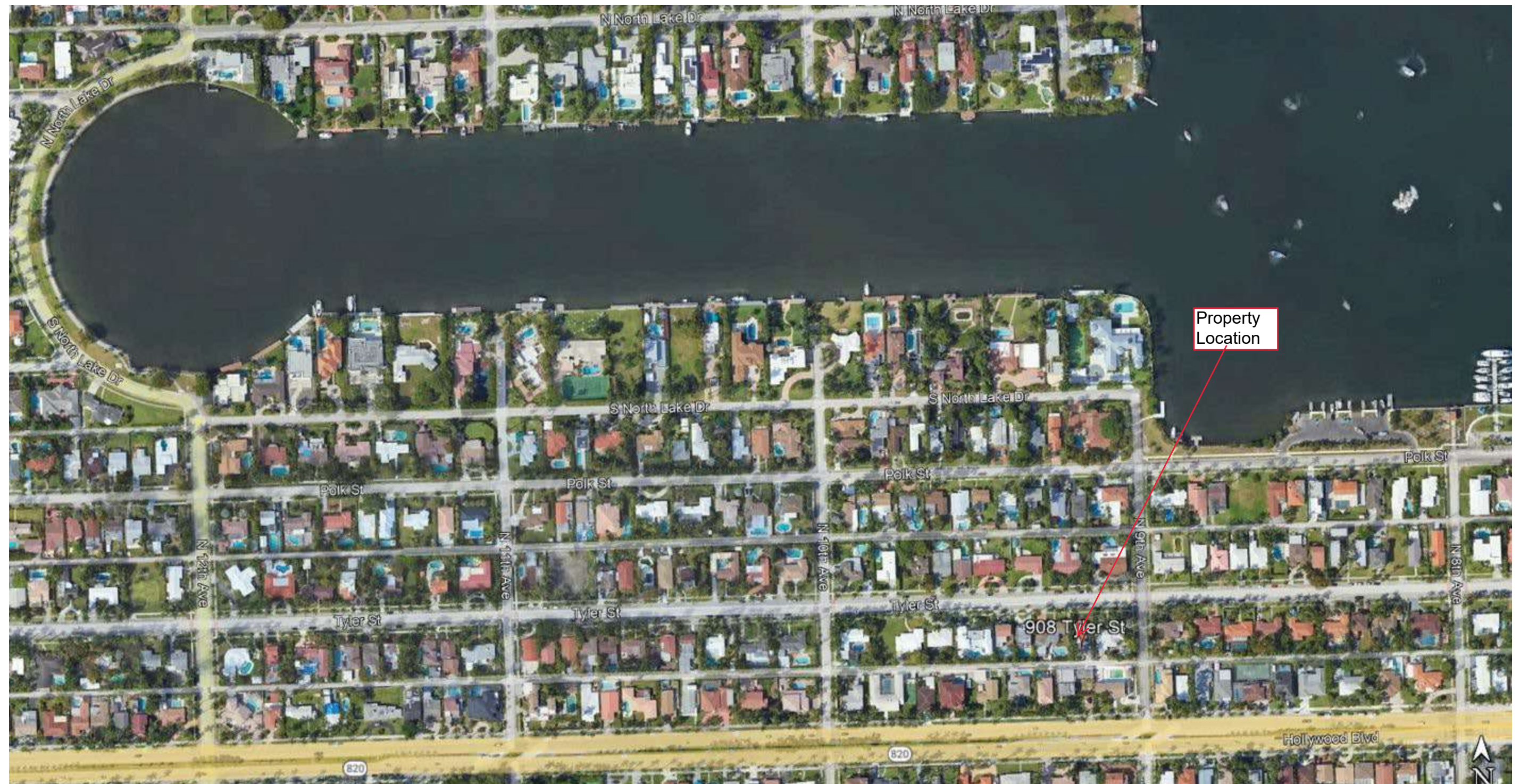




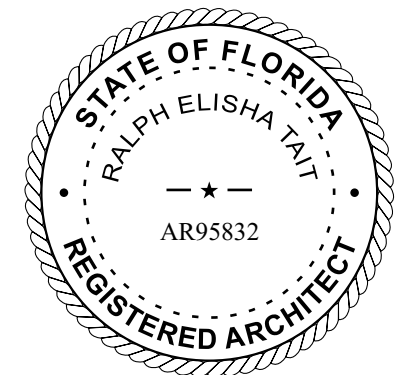








Existing Site Photos For:
 908 Tyler Street: Demolition and Proposed Two Story Single Family
 Residence for: GNY USA LLC





Main House Front



Main House/Garage Rear



Garage Rear



Main House West Side



Garage West Side



Main House Main Entry/
Courtyard





Neighboring Properties South- 923 / 915/ 907 Tyler Street



Adjacent Property to the West -900 Tyler Street



908 Tyler Street



Adjacent Property to the East 918 Tyler Street

PROPOSED RESIDENCE for:

GNY USA LLC
908 TYLER STREET
HOLLYWOOD, FL 33019

SHEET NUMBER	SHEET NAME	ISSUE DATE	REV
1-GENERAL			
T-001	COVER SHEET / SHEET INDEX	07/09/24	
AS-101	ARCHITECTURAL SITE PLAN	07/09/24	3
C-01	CIVIL - EROSION CONTROL PLAN	07/09/24	
C-02	CIVIL PLAN	07/09/24	
C-03	CIVIL PLAN DETAIL	07/09/24	
EX-1	DEMOLITION PLAN	07/09/24	
EX-2	DEMOLITION PLAN - EXISTING BUILDING	07/09/24	
2-ARCHITECTURE			
A-101	FLOOR PLANS AND NOTES	07/09/24	2
A-102	ROOF PLAN AND NOTES	07/09/24	1
A-201	BUILDING ELEVATIONS	07/09/24	3
A-202	BUILDING ELEVATIONS	07/09/24	3
A-204	STREET PROFILE ELEVATION	07/09/24	1
A-303	BUILDING SECTIONS	07/09/24	3
A-304	BUILDING SECTIONS	07/09/24	3
3-LANDSCAPE			
L102	PROPOSED LANDSCAPE PLAN	07/09/24	
Grand total: 15			



1 EXISTING VIEW
SCALE:NTS



2 PROPOSED VIEW
SCALE:NTS



ARCHITECT OF RECORD

11820 Miramar Parkway, Suite 121
Miramar, Florida, 33025
(P) 954-692-2841
(Fax) 954-392-7502
Email: rtait@bellsouth.net
www.rtaarchitectinc.com



RALPH E. TAIT
AR95832

DATE

ENGINEER OF RECORD

PROPOSED RESIDENCE for:
GNY USA LLC
908 TYLER STREET,
HOLLYWOOD, FLORIDA 33019
CLIENT: GNY USA LLC

REV	DATE	DESCRIPTION

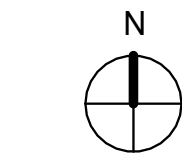
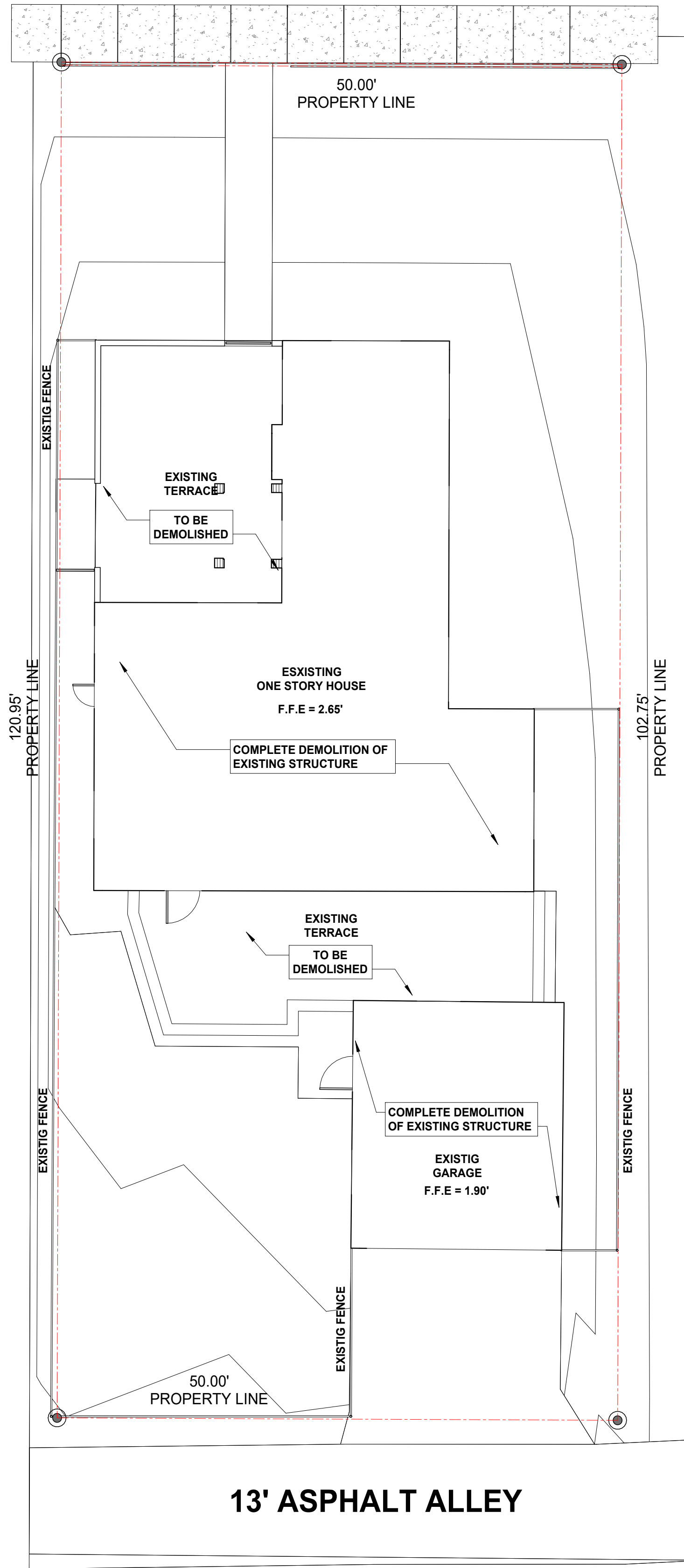
DESIGN DELIVERABLE: Historical Board Submittal
ISSUE DATE: 07/09/24
PROJECT NUMBER: 24-010
DRAWN BY: JJ
CHECKED BY: RET
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All Rights Reserved

SHEET TITLE:
COVER SHEET / SHEET INDEX

SHEET NUMBER:
T-001

F:\Dropbox\24-010-CDS\24-010-Revit Model\908 Tyler St Residence_option-2 Mission style 250226.dwg 2025 10:04:17 a.m.

TYLER STREET



1 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

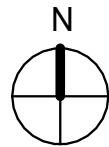
- 1) THE WORK SHALL INCLUDE THE FURNISHING OF ALL MATERIALS, CUTTING, EXTENDING, CONNECTING, REPAIRING, ADAPTING, AND OTHER WORK COINCIDENTAL HERETO. TOGETHER WITH SUCH TEMPORARY INSTALLATIONS AS MAY BE NECESSARY TO SATISFY THE DEMOLITION PROGRAM. APPROVAL SHALL BE SECURED FROM THE OWNER/ PRIOR TO CUTTING/DRILLING OF ANY STRUCTURAL SUPPORT.
- 2) ALL BUILDING CONSTRUCTION AFFECTED BY THE REMOVAL, RELOCATION, INSTALLATION OF ANY PIECE OF EQUIPMENT SHALL BE REPAIRED AND FINISHED AS REQUIRED TO MATCH EXISTING CONDITION OR AS DIRECTED BY THE ARCHITECTURAL DRAWINGS, SPECIFICATIONS, OR OWNER'S REPRESENTATIVE.
- 3) CONTRACTOR SHALL DEMOLISH ANY INTERIOR FINISHES TO COMPLETE THE NECESSARY AND PROPOSED WORK AS DIRECTED BY THE ARCHITECTURAL DRAWINGS, INTERIOR DESIGN DRAWINGS, SPECIFICATIONS, OR BY OWNER REPRESENTATIVES.
- 4) EXISTING FIXTURES, EQUIPMENT, AND ALL DEBRIS WHICH ARE REQUIRED TO BE REMOVED SHALL BE REMOVED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE WITH OWNER REPRESENTATIVES PRIOR TO REMOVAL OF SUCH.
- 5) ALL ELECTRICAL AND PLUMBING LINES WHICH REQUIRE REMOVAL OR ALTERATION ARE TO BE DONE SO BY THE CONTRACTOR. LINES TO BE CAPPED AND PREPARED FOR REMOVAL OR REROUTING AS SPECIFIED ON THE PLANS.
- 6) REMOVE ALL UTILITIES IN DEMOLITION AREAS AND CONSTRUCTION AREAS IN A MANNER, AND IN THE TIME, SATISFACTORY TO THE UTILITY COMPANY DESIRED TO EFFECT THE REMOVAL OF THE MATERIALS, THEY SHALL BE PERMITTED TO DO SO.
- 7) COVER ITEMS AS SPECIFIED BY OWNER REPRESENTATIVE TO PROTECT FROM DUST AND DEBRIS.
- 8) SALVAGED MATERIALS SHALL BE REMOVED, CLEANED, AND PREPARED FOR RE-INSTALLATION. OWNER MAINTAINS OWNERSHIP OF ALL MATERIALS UNLESS OTHERWISE SPECIFIED.
- 9) WHERE EXISTING WALLS, CEILINGS, AND FIXTURES HAVE BEEN REMOVED, AREAS SHALL BE PATCHED TO MATCH EXISTING FINISHES, OR FINISHES TO BE ADDED AS PER PLANS, OR AS PER OWNER'S REP.
- 10) WHERE EXISTING WORK IS DAMAGED IN THE EXECUTION OF THIS CONTRACT, OR WHERE OPENINGS ARE LEFT DUE TO THE REMOVAL OF PIPES, EQUIPMENT OR APPARATUS, THE SAME SHALL BE REPAIRED OR CLOSED UP TO CORRESPOND IN MATERIAL, QUALITY, SHAPE AND FINISH WITH THAT OF SIMILAR AND ADJOINING WORK, UNLESS OTHERWISE CALLED FOR. WHERE DAMAGE IS UNREPAIRABLE, NEW ITEMS OR EQUIPMENT SHALL BE PROVIDED. CONTRACTOR SHALL PROVIDE ALL NECESSARY WATERPROOFING, FIRE STOPPING AND SEALING OF PENETRATIONS LEFT FROM REMOVED EQUIPMENT OR PRODUCED BY THIS WORK.
- 11) INTERRUPTION OF EXISTING SERVICES AND/OR OPERATION OF FACILITIES SHALL BE KEPT TO A MINIMUM. CONTRACTOR SHALL FURNISH ALL MATERIALS REQUIRED WHENEVER TEMPORARY CONNECTIONS ARE NECESSARY TO MAINTAIN CONTINUITY OF SERVICE. INTERRUPTION OF EXISTING SERVICES, THE INSTALLATION OF TEMPORARY FACILITIES, AND THE WORK OF MAKING FINAL CONNECTIONS TO THE NEW WORK SHALL BE DONE ONLY AT SUCH TIMES PERMITTED AND SCHEDULED IN ADVANCE BY THE ARCHITECT/OWNER WITHOUT ADDITIONAL COST. CARE MUST BE USED IN REMOVING SERVICES TO AREAS BEING DEMOLISHED SO THAT SERVICES TO OTHER AREAS WHICH MIGHT BE SERVED THROUGH THESE AREAS WILL NOT BE INTERRUPTED.
- 12) ALL EXIST. GAS LINES WHICH REQUIRE REMOVAL OR ALTERATION SHALL BE PERFORMED BY A QUALIFIED CONTRACTOR LICENSED BY THE STATE OF FLORIDA TO PERFORM SUCH WORK.

2 GENERAL DEMO NOTE
SCALE: 1/4" = 1'-0"



3 LOCATION MAP.
SCALE: N.T.S.

PROJECT LOCATION



ARCHITECT OF RECORD

11820 Miramar Parkway, Suite 121
Miramar, Florida, 33025
(P) 954-592-2841
(Fax) 954-392-7502
Email: rtait@bellsouth.net
www.rtaarchitectinc.com



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ENGINEER OF RECORD

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HOLLYWOOD, FLORIDA 33019
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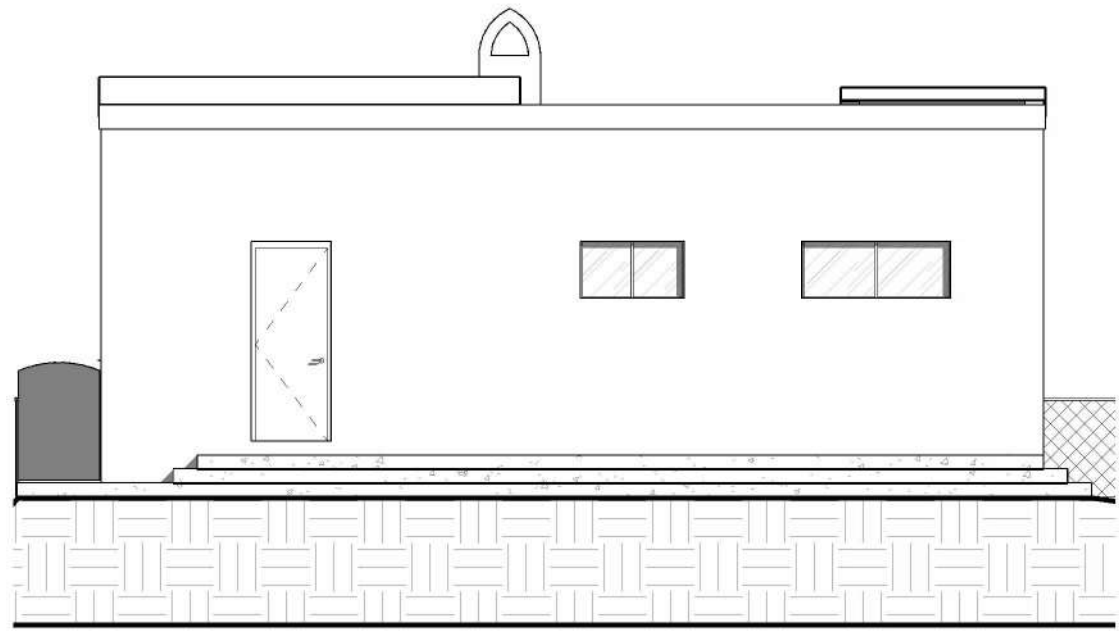
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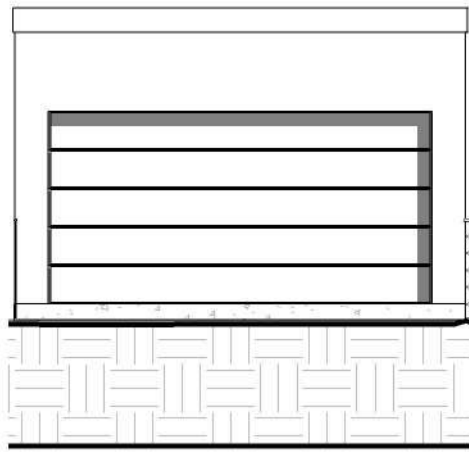
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SHEET TITLE:
DEMOLITION PLAN

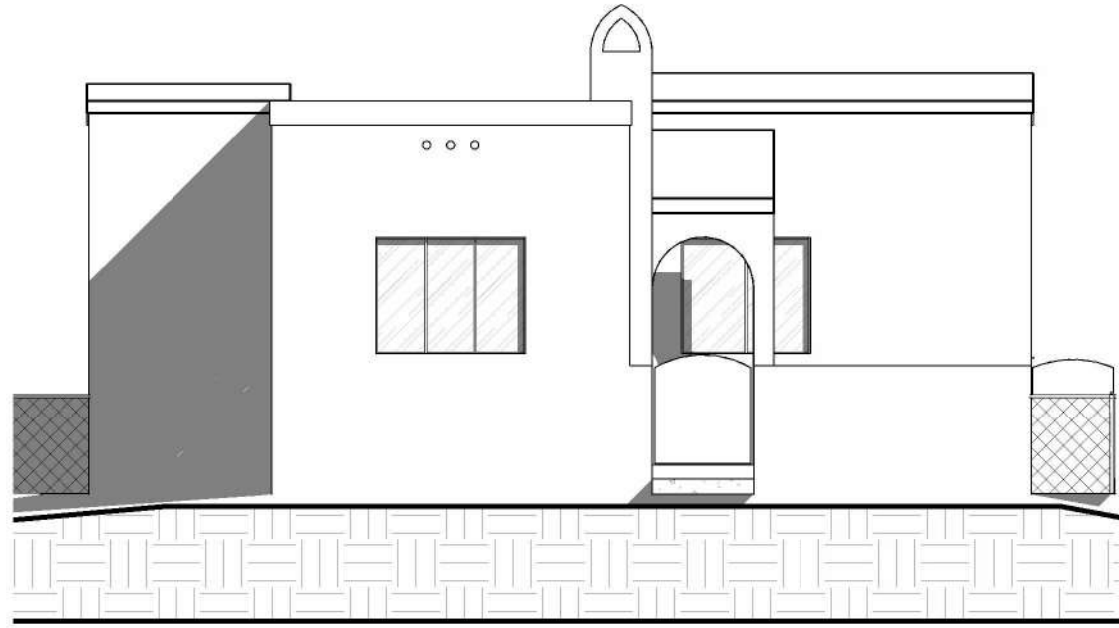
SHEET NUMBER:
EX-1



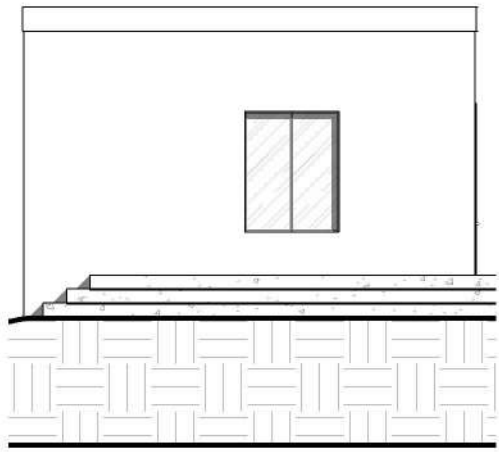
9 EXISTING ELEVATION NORTH
SCALE: 1/8" = 1'-0"



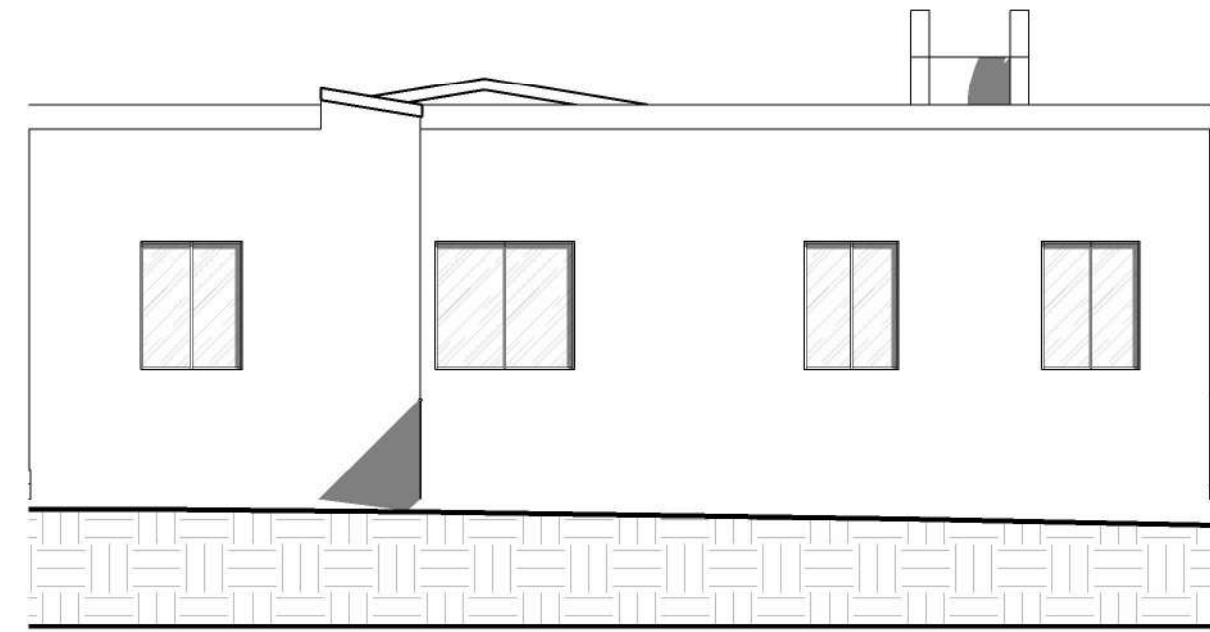
6 EXISTING GARAGE NORTH
SCALE: 1/8" = 1'-0"



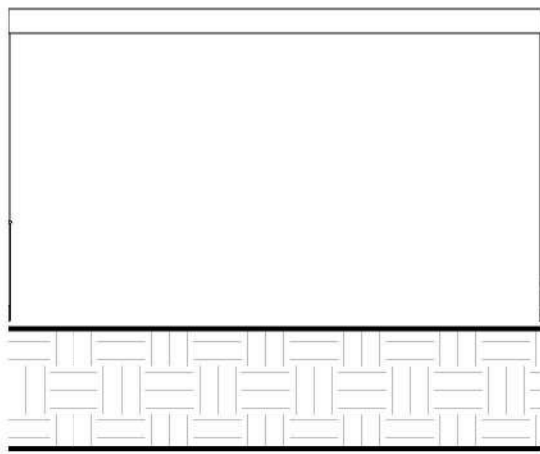
8 EXISTING ELEVATION SOUTH
SCALE: 1/8" = 1'-0"



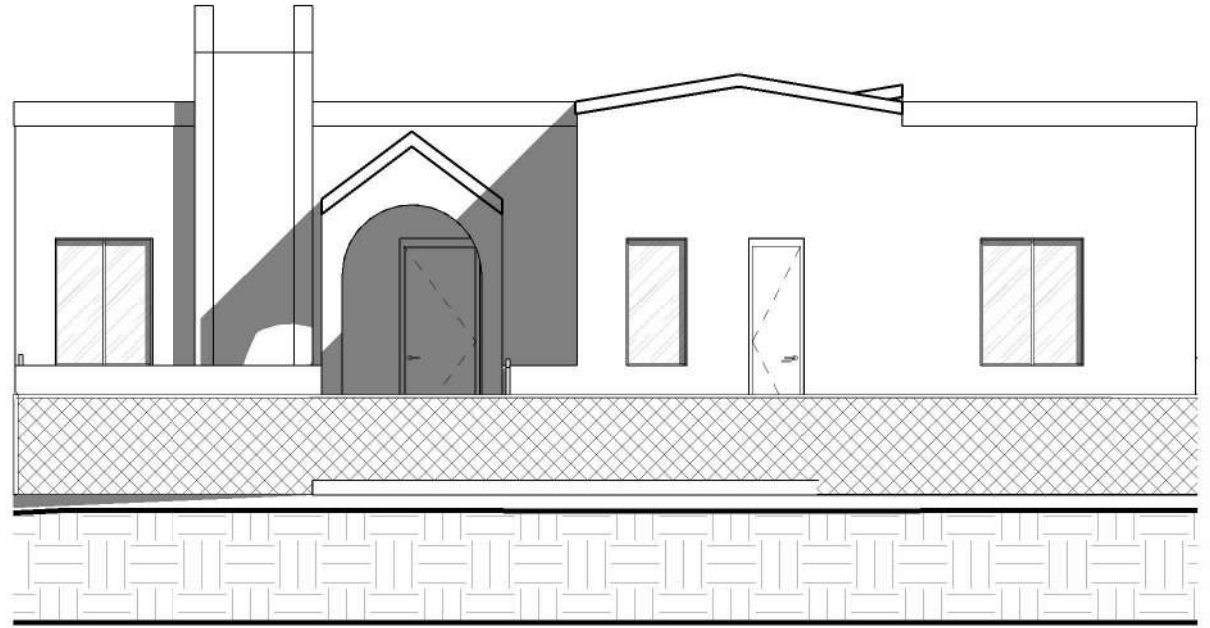
5 EXISTING GARAGE SOUTH
SCALE: 1/8" = 1'-0"



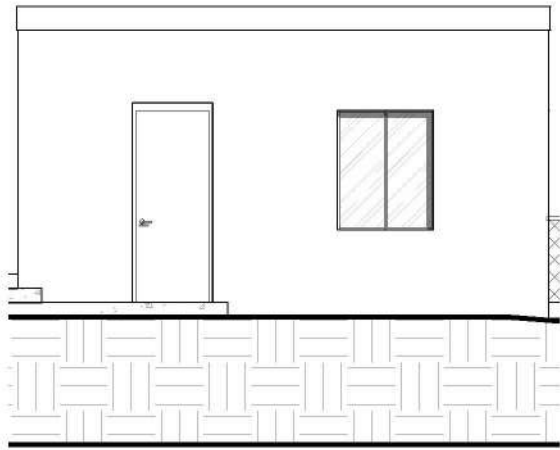
3 EXISTING ELEVATION WEST
SCALE: 1/8" = 1'-0"



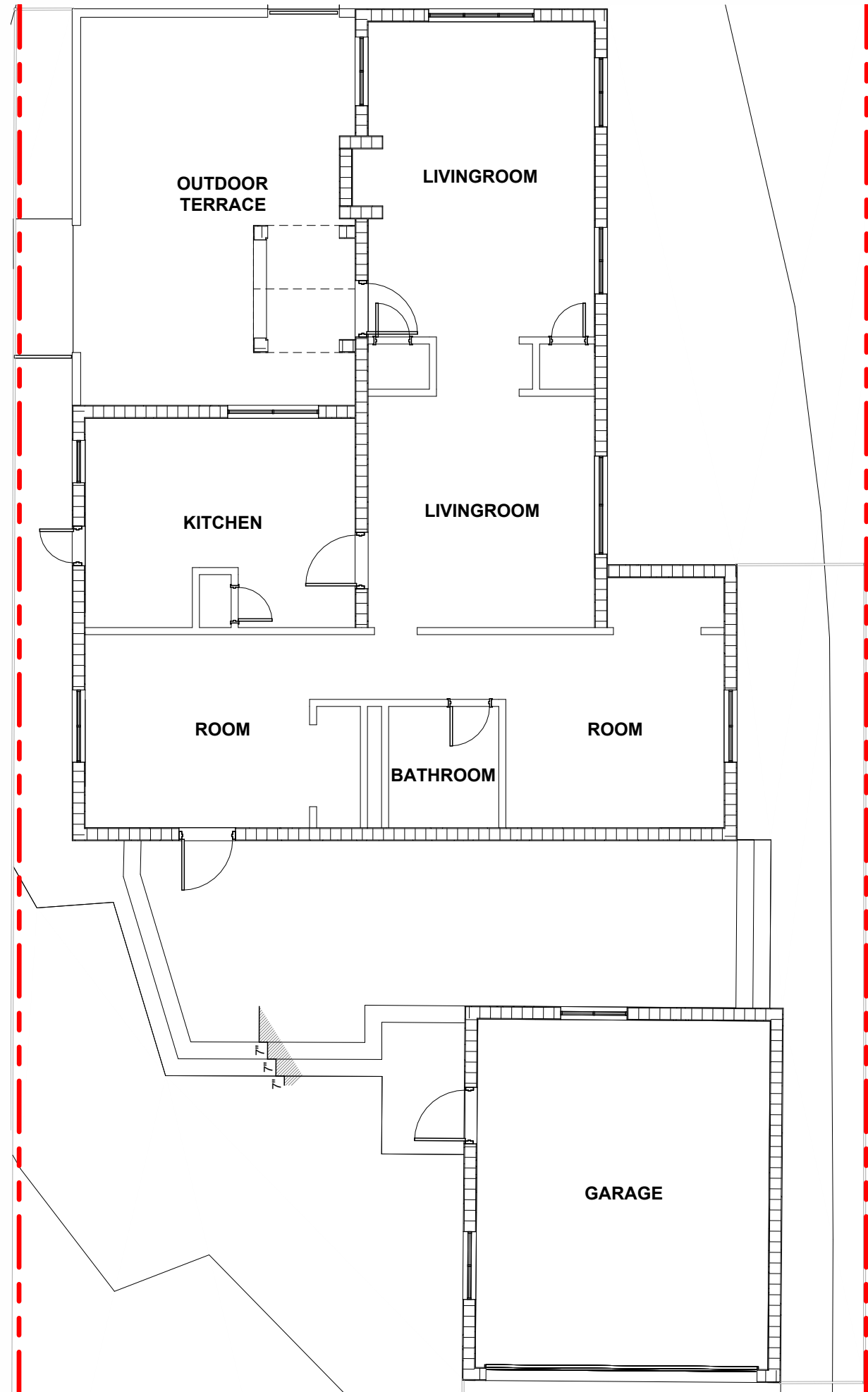
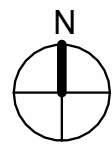
4 EXISTING GARAGE WEST
SCALE: 1/8" = 1'-0"



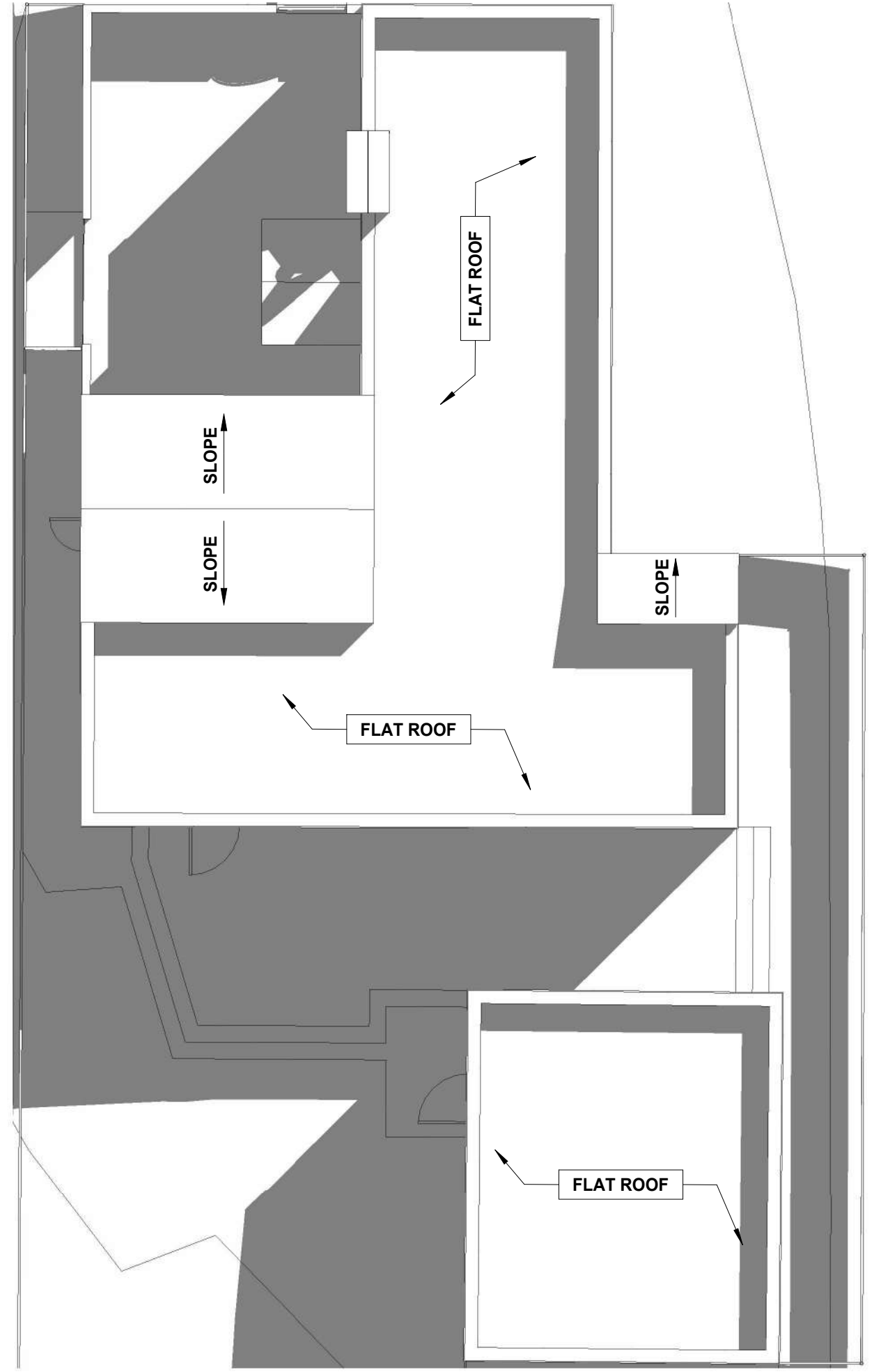
10 EXISTING ELEVATION EAST
SCALE: 1/8" = 1'-0"



7 EXISTING GARAGE EAST
SCALE: 1/8" = 1'-0"



2 EXISTING FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 EXISTING ROOF PLAN
SCALE: 1/8" = 1'-0"

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RALPH E. TAIT
AR95832
DATE

ENGINEER OF RECORD

PROPOSED RESIDENCE for:
GNY USA LLC
908 TYLER STREET,
HOLLYWOOD, FLORIDA 33019
CLIENT: GNY USA LLC

REV	DATE	DESCRIPTION

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PROJECT NUMBER: 24-010
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SHEET TITLE:
**DEMOLITION
PLAN -
EXISTING
BUILDING**
SHEET NUMBER:
EX-2



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HOLLYWOOD, FLORIDA 33019
CLIENT: GNY USA LLC

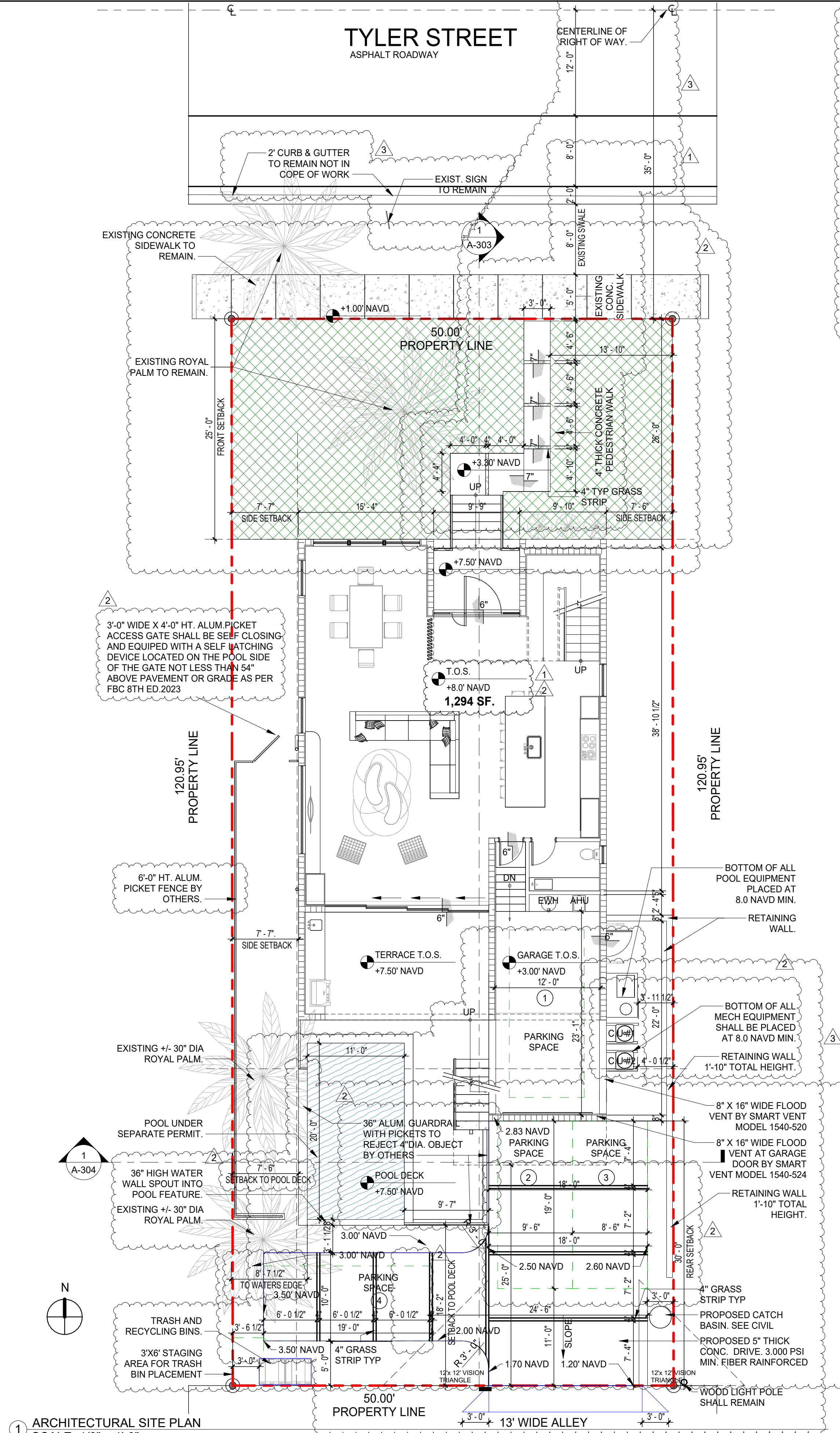
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SHEET TITLE:
ARCHITECTURAL SITE PLAN
SHEET NUMBER:
AS-101

1 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

2 SITE DATA
SCALE: N.T.S.

4 ARCHITECTURAL SITE PLAN 02
SCALE: 1/16" = 1'-0"



LEGAL DESCRIPTION

LOT 18, BLOCK 63, "HOLLYWOOD LAKES SECTION", ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 32, OF BROWARD COUNTY, FLORIDA, SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESS:
908 TYLER STREET HOLLYWOOD, FL 33019

FOLIO NUMBER: 5142 14 02 2570

PROJECT DATA

SCOPE OF WORK:
DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE FOR PROPOSED TWO-STORY SINGLE FAMILY RESIDENCE.

OCCUPANCY TYPE:
R-3 (RESIDENTIAL) AS PER F.B.C. - 8TH EDITION 2023 BUILDING

CONSTRUCTION TYPE:
TYPE V-B AS PER F.B.C. - 8TH EDITION 2023 BUILDING

FLOOD ZONE INFORMATION:
HOLLYWOOD
BROWARD COUNTY, FLORIDA.
125113
ZONE AE
BASE FLOOD ELEVATION = 7
PANEL No. 12011 CO 588 J
FIRM DATE - 07/31/2024

PARKING CALCULATION:
TOTAL A/C AREA: 2,804 SQ. FT.
FIRST 2,000 S.F. = 2 PARKING SPACES
REMAINING 804 S.F. = 2 PARKING SPACES
TOTAL REQ'D PARKING = 4 PARKING SPACES
TOTAL PROVIDED PARKING = 4 PARKING SPACES

FLOOD VENT CALCULATION
ENCLOSED GARAGE AREA: 365 S.F.
VENT #1: PROVIDE SMART VENT (INSULATED)
MODEL # 1540-520
FLOOD COVERAGE AREA = 200 S.F.
VENT #2: PROVIDE SMART VENT (INSULATED)
MODEL # 1540-524
FLOOD COVERAGE AREA = 200 S.F.

TOTAL FLOOD COVERAGE AREA PROVIDED BY VENT #1 & #2 400 S.F. > 365 S.F.

THE BOTTOM OF THE VENTS MUST NOT EXCEED 12" ABOVE THE HIGHEST ADJACENT GRADE.

PREVIOUS AREA: 2,528 SQ. FT. OR 41.9%
IMPERVIOUS AREA: 3,519 SQ. FT. OR 58.1%

BUILDING DATA

FIRST FLOOR A/C SPACE: 1,294 SQ. FT.
SECOND FLOOR A/C SPACE: 1,510 SQ. FT.
GARAGE (NON A/C SPACE) 365 SQ. FT.
TOTAL AREA A/C SPACE: 2,804 SQ. FT.
TOTAL BUILDING AREA: 3,169 SQ. FT.

ENERGY CODE AND GREEN BUILDING COMPLIANCE
THE FOLLOWING (6) ITEMS ARE INCLUDED TO COMPLY.

- 1- ENERGY EFFICIENT LOW E WINDOWS. ALL WINDOWS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA AS APPROVED BY THE NFRC (NATIONAL FENESTRATION RATING COUNCIL).
- 2- ENERGY EFFICIENT DOORS. ALL EXTERIOR DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA.
- 3- PROGRAMMABLE THERMOSTATS.
- 4- DUAL FLUSH TOILETS. THESE TOILETS WHEN FLUSHED USE LESS THAN ONE GALLON TO FLUSH LIQUID, AND 1.6 GALLONS OR LESS FOR SOLIDS (USGBC). PLANS SHALL INDICATE DUAL FLUSH TOILETS. SYSTEM MUST BE VERIFIED BY THE PLUMBING INSPECTOR AT FINAL INSPECTION.
- 5- ALL ENERGY EFFICIENT OUTDOOR LIGHTING LAMPS TO BE LED. ALL ENERGY EFFICIENT OUTDOOR LIGHTING SHALL BE VERIFIED BY THE ELECTRICAL INSPECTOR AT FINAL INSPECTION.
- 6- ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE.

ZONING DATA

	REQUIRED/ ALLOWED	PROVIDED
RS-6		
LOT AREA	6,000 SQ. FT. MIN.	6,047 SQ. FT.
LOT WIDTH	60 FT. MIN.	50 FT.
LOT COVERAGE	N/A	2,207 / 6,047.5 SQ FT. OR 36.4% OF S.A.
FLOOR LOT RATIO	N/A	N/A
FRONTAGE AT THE FRONT SETBACK	N/A	N/A
GREEN SPACE	N/A	2,528.5 SQ. FT. OR 41.9% OF S.A.
POOLS / POOL DECK	N/A	626 SQ. FT. / 6,047.5 SQ. FT. = 10.4% OF S.A.
VUA + PEDESTRIAN WALKS	N/A	686 SQ. FT. OR 11.3% OF SITE AREA.
DENSITY	N/A	1 SINGLE FAMILY RESIDENCE

BUILDINGS SETBACK

PRINCIPAL FRONT	25FT MIN.	25 FT
SECONDARY FRONT	N/A	N/A
SIDE	7'-6" FT MIN.	7'-6"
REAR	25% LOT WIDTH TOTAL MIN = 12'-6"	30'-0" TO GARAGE 18'-1" MIN.

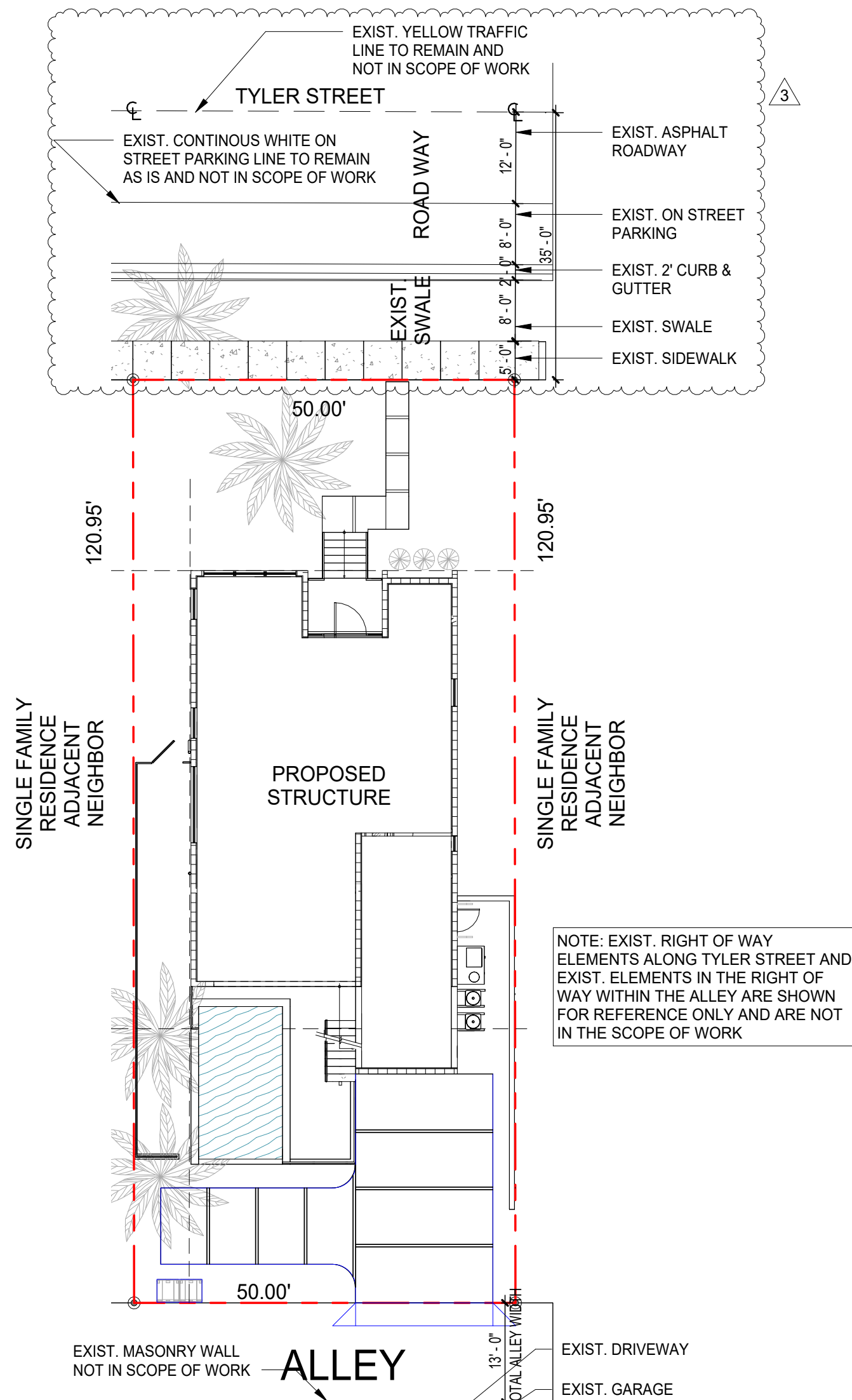
BUILDING HEIGHT

PRINCIPAL BUILDING	30 FT OR 2 STORY	23'-0" TOP OF FLAT ROOF DECK
OUTBUILDING	N/A	N/A
PARKING	4 PARKING SPACE	4 PARKING SPACE GARAGE & SURFACE

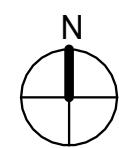
FRONT YARD REQD. GREEN SPACE:

50 FT. x 25 FT. = 1,250 SQ. FT. (20) = 250 SQ. FT. MIN. LANDSCAPE
PERVIOUS OPEN SPACES REQD.
1,108.42 SQ. FT. OR 88.6% PERVIOUS OPEN SPACE PROVIDED

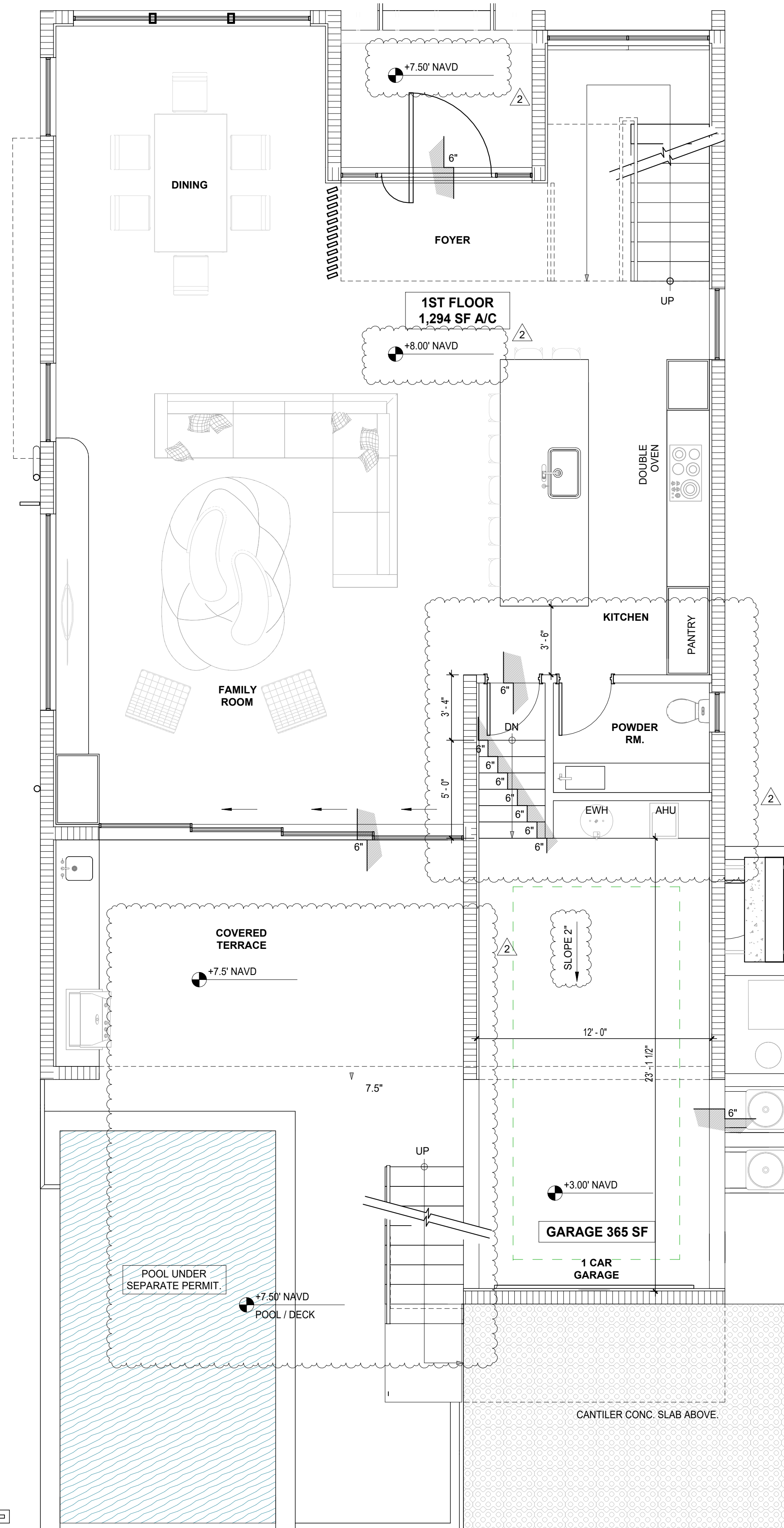
3 LOCATION MAP
SCALE: N.T.S.



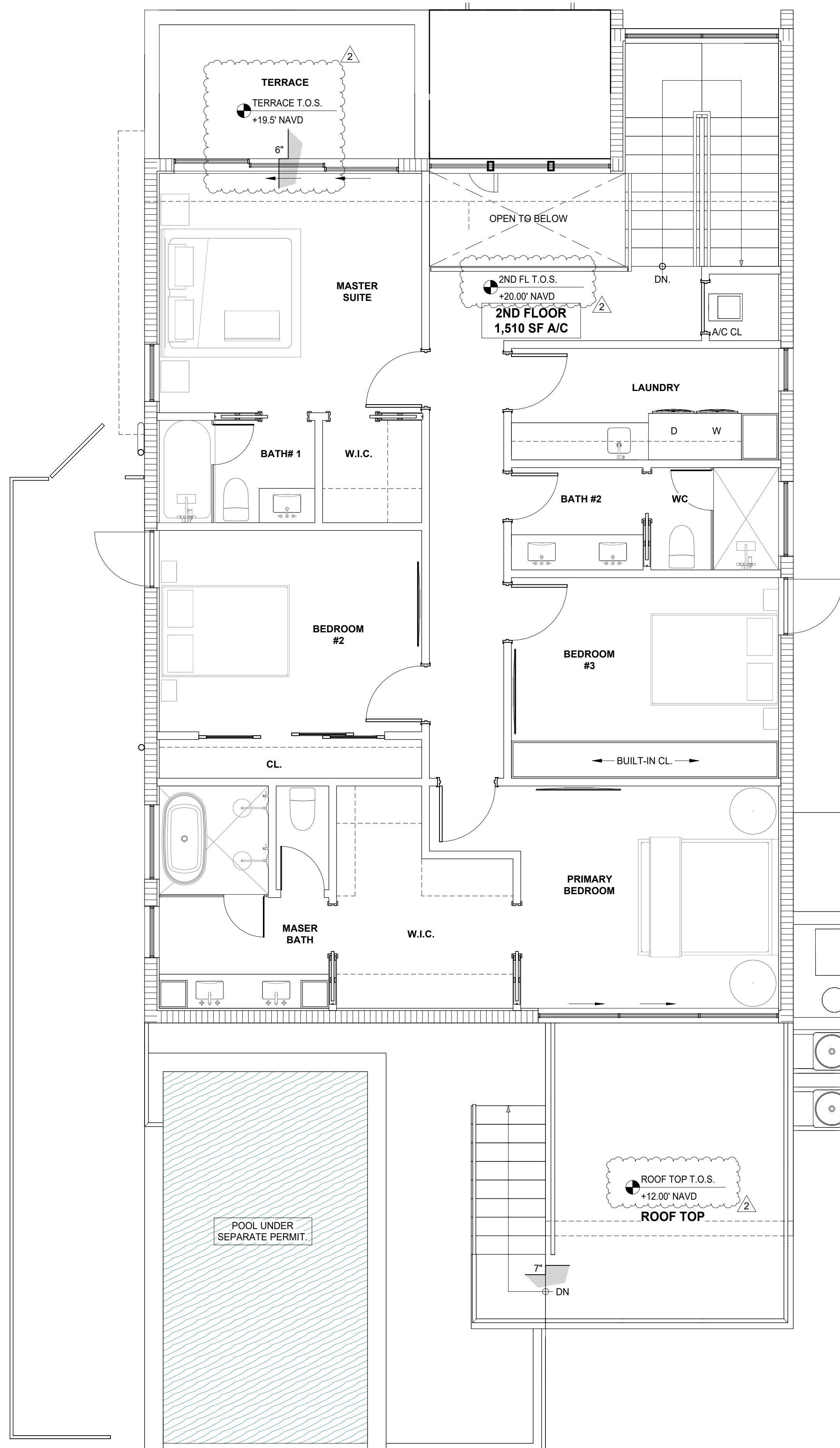
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1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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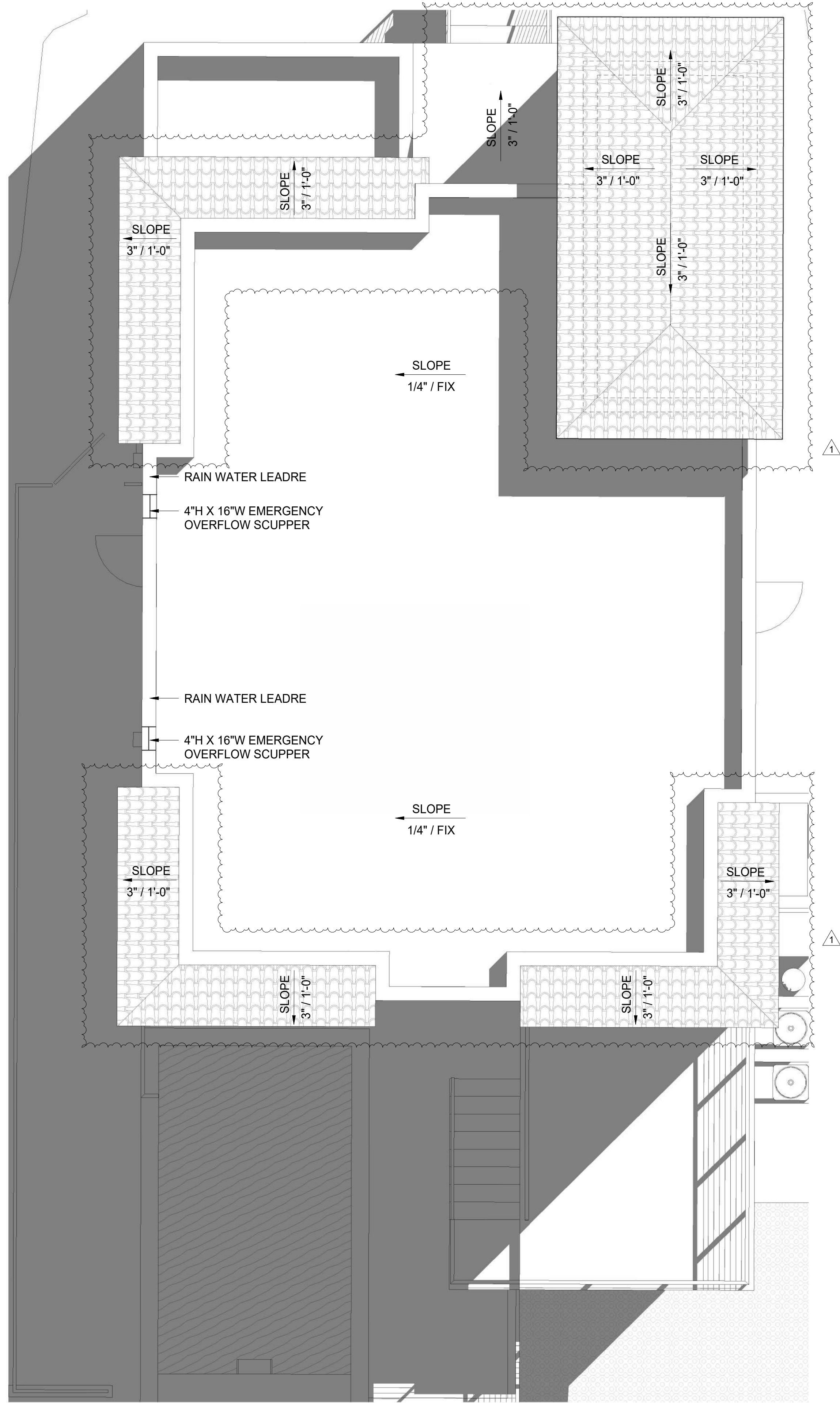
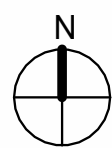
PROPOSED RESIDENCE for:
GNY USA LLC
908 TYLER STREET,
HOLLYWOOD, FLORIDA 33019
CLIENT: GNY USA LLC

REV	DATE	DESCRIPTION
1	10/17/24	STAFF COMMENTS
2	2/5/25	STAFF COMMENTS

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SHEET TITLE:
**FLOOR PLANS
AND NOTES**
SHEET NUMBER:
A-101

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1 ROOF PLAN
SCALE: 1/4" = 1'-0"



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908 TYLER STREET,
HOLLYWOOD, FLORIDA 33019
CLIENT: GNY USA LLC

REV	DATE	DESCRIPTION
1	10/17/24	STAFF COMMENTS

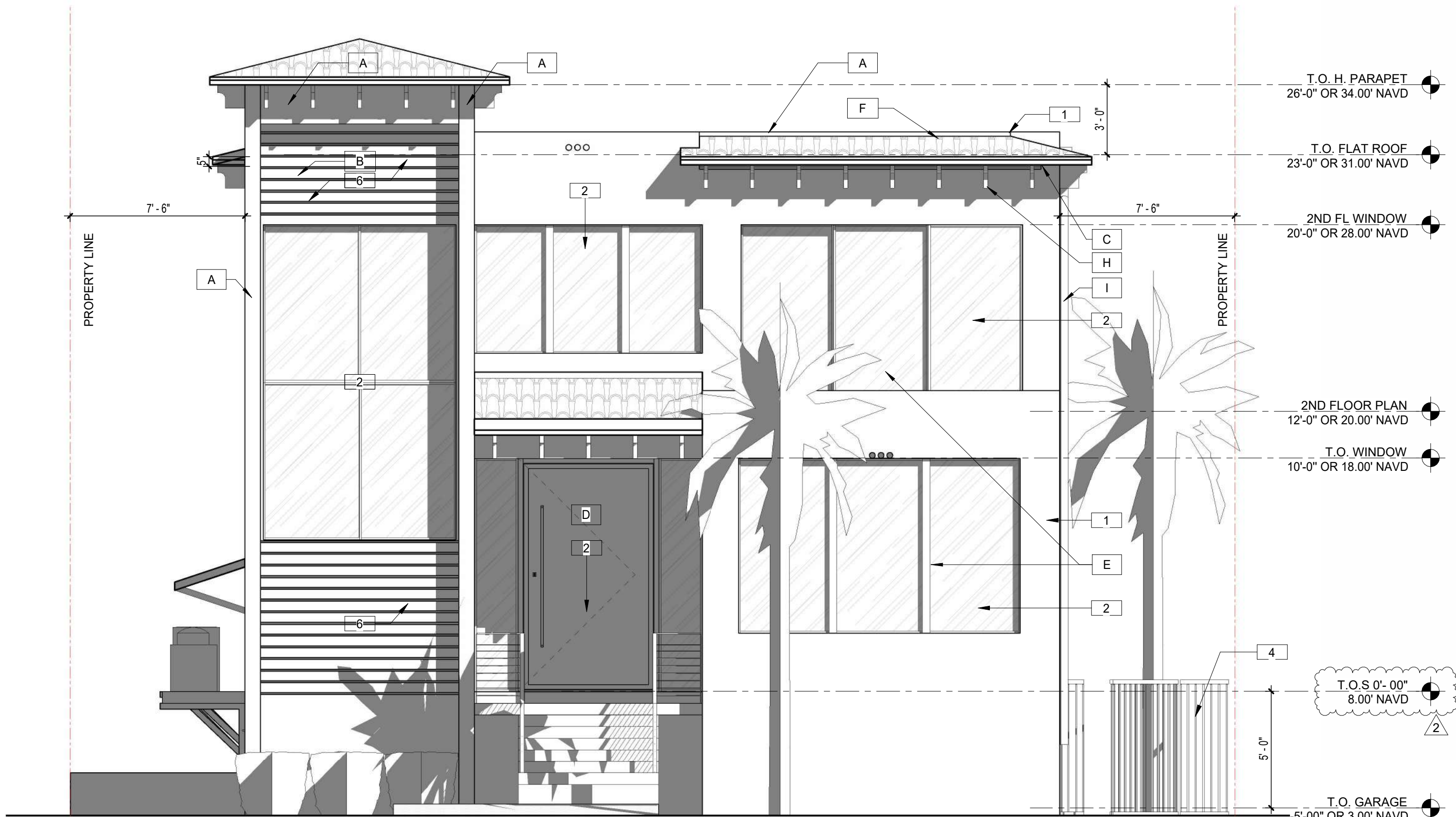
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SHEET TITLE:
**ROOF PLAN
AND NOTES**

SHEET NUMBER:
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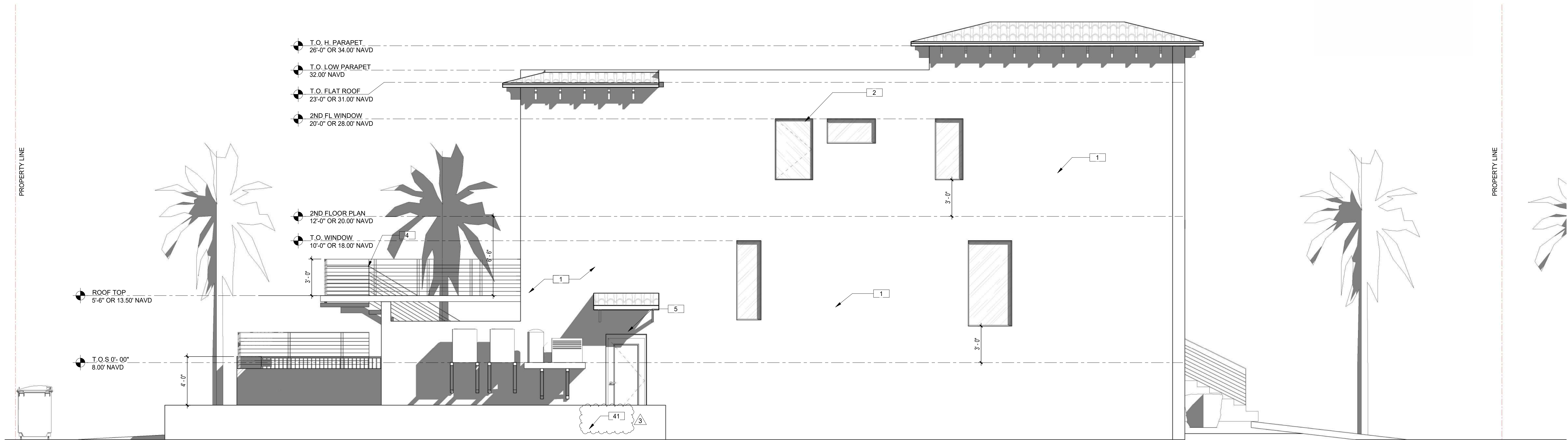


2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

MARK	MODEL	MANUFACTURER	FINISH	LOCATION	REMARKS
A	SW7004 SNOWBOUND	SHERWIN WILLIAMS	EXTERIOR SATIN	ALL SMOOTH STUCCO SURFACES	
B	SW7043 WORLDY GRAY	SHERWIN WILLIAMS	EXTERIOR SATIN	ALL SMOOTH STUCCO SURFACES	
C	CUMARU HARDWOOD W/ PE OIL TO SEAL	TBD	MATTE FINISH	UNDERSIDE OF ROOF OVERHANG	
D	ENTRY DOOR	TBD	WOODLIKE ROYAL WALNUT	ENTRY PIVOT DOOR	
E	WINDOWS / DOORS	TBD	BLACK FRAME / CLEAR GLASS	ALL WINDOWS AND DOORS EXCEPT ENTRY DOOR	
F	TILE ROOF	TBD		PITCHED ROOF	
G	ALUMINUM RAILING	CUSTOM	FINISH TO MATCH WINDOW FRAMES BLACK		
H	CUMARU HARDWOOD W/ PE OIL TO SEAL	TBD	MATTE FINISH	DECORATIVE WOOD RAFTERS	
I	ALUM. RAIN GUTTERS & DOWNSPOUT	CUSTOM	BLACK PAINT		

MARK	KEYNOTE TEXT
1	5/8" SMOOTH STUCCO ON 8" CMU. FINISH TO BE SELECTED BY OWNER.
2	IMPACT RESISTANT WINDOWS / DOORS (TYP).
4	ALUMINUM RAILING BY OTHERS. BLACK FINISH
5	1X T&G WOOD SOFFIT STAINED.
6	5/8" SMOOTH STUCCO ON 8" CMU. W/1/2" HORIZONTAL STUCCO REVEAL SPACED EQUALLY @ +/- 6.00" O.C BY PLASTIC COMPONENTS OR APPROVED EQUAL.
41	RETAINING WALL 1'-10" TOTAL HEIGHT.

3 FINISH SCHEDULE.
SCALE: NTS



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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HOLLYWOOD, FLORIDA 33019
CLIENT: GNY USA LLC

REV	DATE	DESCRIPTION
1	10/17/24	STAFF COMMENTS
2	2/5/25	STAFF COMMENTS
3	4/4/25	STAFF COMMENTS

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BUILDING ELEVATIONS

SHEET NUMBER:

A-201

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2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 FINISH SCHEDULE
SCALE: NTS

MARK	MODEL	MANUFACTURER	FINISH	LOCATION	REMARKS
A	SW7004 SNOWBOUND	SHERWIN WILLIAMS	EXTERIOR SATIN	ALL SMOOTH STUCCO SURFACES	
B	SW7043 WORLDLY GRAY	SHERWIN WILLIAMS	EXTERIOR SATIN	ALL SMOOTH STUCCO SURFACES	
C	CUMARU HARDWOOD W/ IPE OIL TO SEAL	TBD	MATTE FINISH	UNDERSIDE OF ROOF OVERHANG	
D	ENTRY DOOR	TBD	WOODLIKE ROYAL WALNUT	ENTRY PIVOT DOOR	
E	WINDOWS / DOORS	TBD	BLACK FRAME / CLEAR GLASS	ALL WINDOWS AND DOORS EXCEPT ENTRY DOOR	
F	TILE ROOF	TBD		PITCHED ROOF	
G	ALUMINUM RAILING	CUSTOM	FINISH TO MATCH WINDOW FRAMES BLACK		
H	CUMARU HARDWOOD W/ IPE OIL TO SEAL	TBD	MATTE FINISH	DECORATIVE WOOD RAFTERS	
I	ALUM. RAIN GUTTERS & DOWNSPOUT	CUSTOM	BLACK PAINT		

MARK	KEYNOTE TEXT
1	5/8" SMOOTH STUCCO ON 8" CMU. FINISH TO BE SELECTED BY OWNER.
2	IMPACT RESISTANT WINDOWS / DOORS (TYP).
3	IMPACT RESISTANT STEEL GARAGE DOOR. TO MATCH BUILDING COLOR. SNOWBOUND COLOR.
4	ALUMINUM RAILING BY OTHERS. BLACK FINISH
41	RETAINING WALL 1'-10" TOTAL HEIGHT.

1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



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CLIENT: GNY USA LLC

REV	DATE	DESCRIPTION
1	10/17/24	STAFF COMMENTS
2	2/5/25	STAFF COMMENTS
3	4/4/25	STAFF COMMENTS

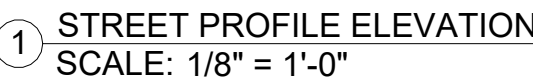
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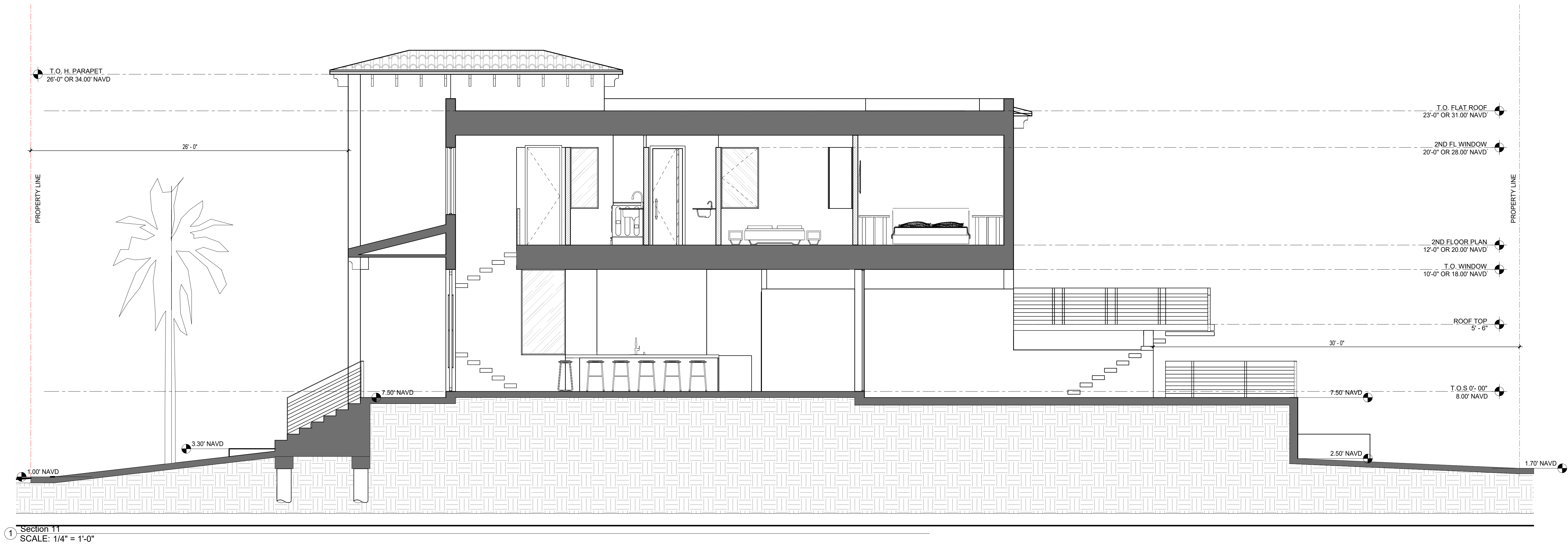
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SHEET TITLE:
BUILDING ELEVATIONS

SHEET NUMBER:
A-202



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RALPH E. TAIT
AR95832

DATE

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PROPOSED RESIDENCE for:

GNY USA LLC

908 TYLER STREET,
HOLLYWOOD, FLORIDA 33019

CLIENT: GNY USA LLC

REV	DATE	DESCRIPTION
3	4/4/25	STAFF COMMENTS

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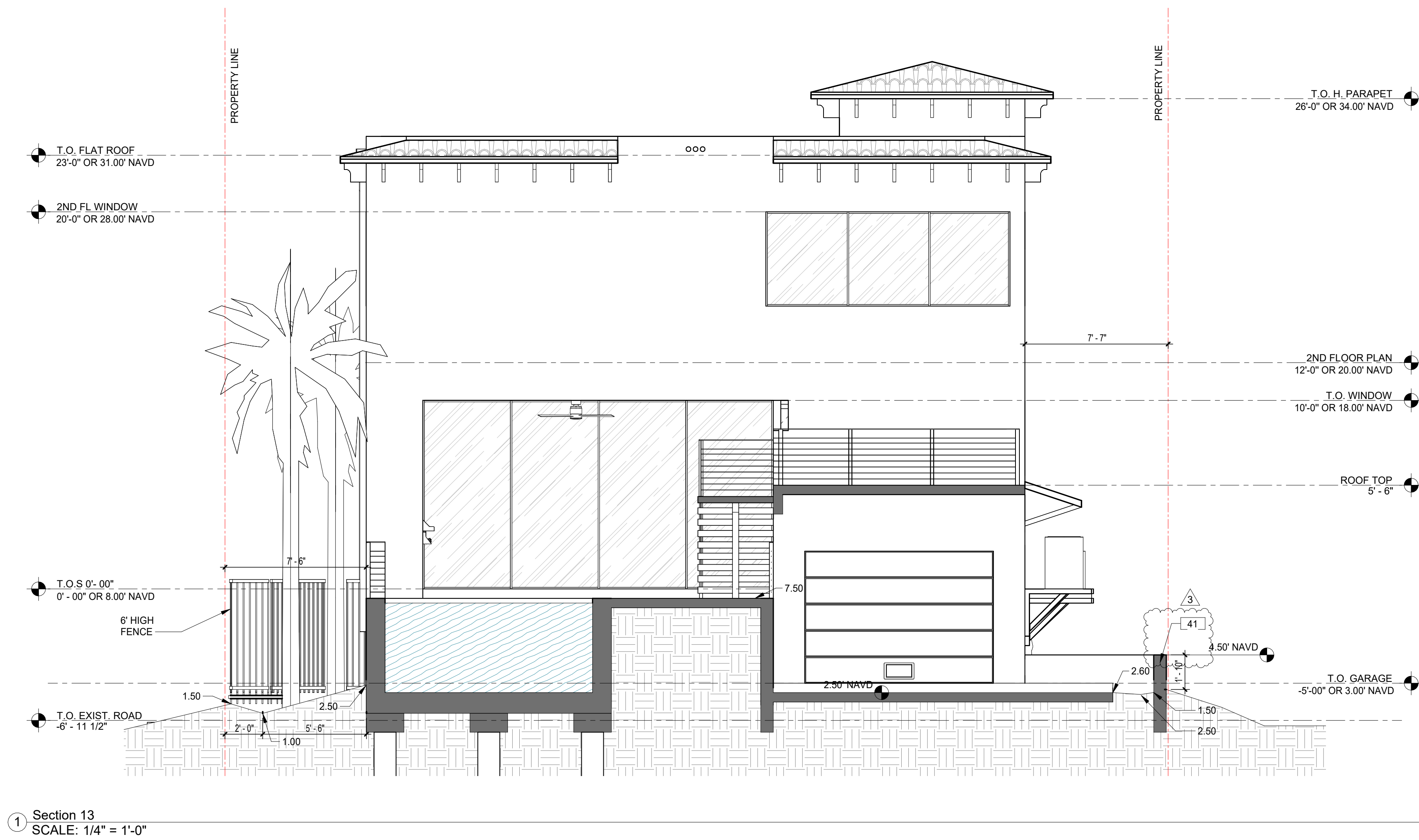
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SHEET TITLE:
BUILDING SECTIONS

SHEET NUMBER:
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AR95832
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PROPOSED RESIDENCE for:
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908 TYLER STREET,
HOLLYWOOD, FLORIDA 33019
CLIENT: GNY USA LLC

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SHEET TITLE:
BUILDING SECTIONS

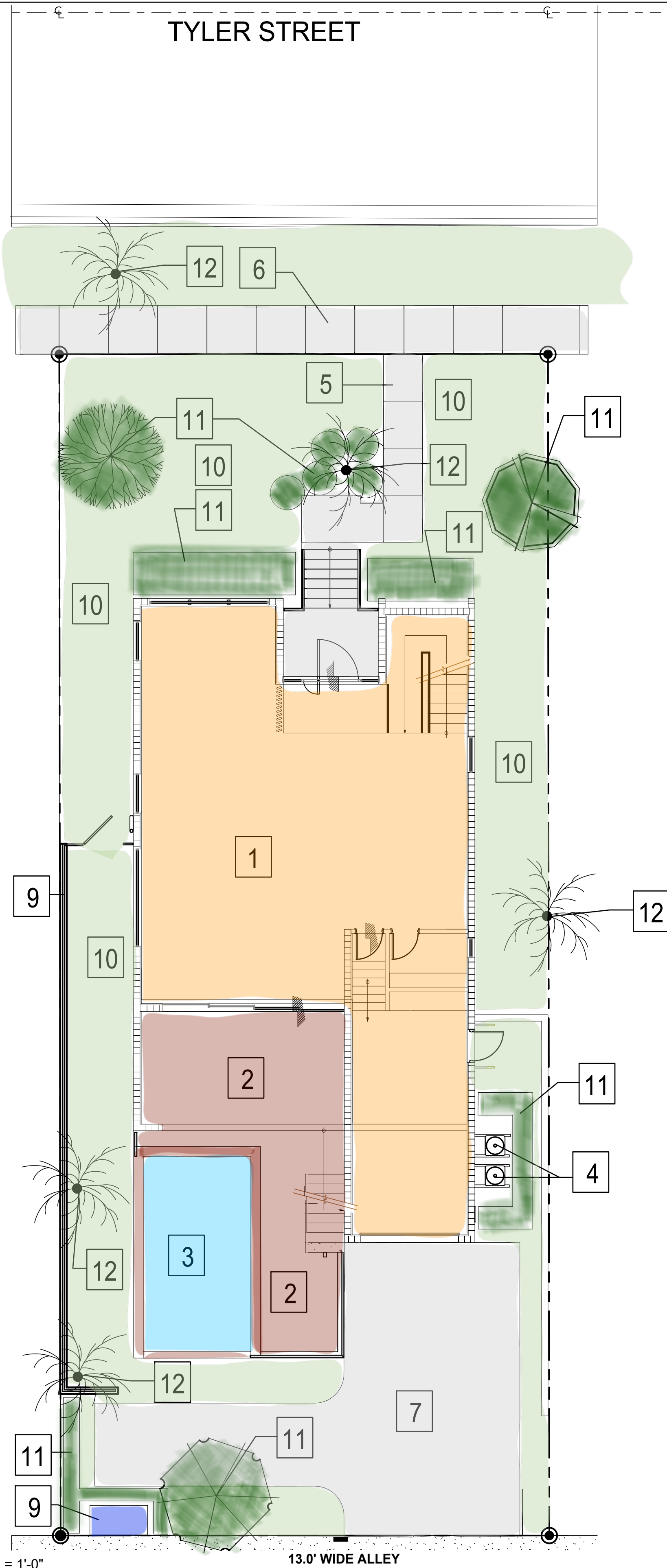
SHEET NUMBER:
A-304



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REV	DATE	DESCRIPTION																																								
1	10/17/24	STAFF COMMENTS																																								

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LEGEND

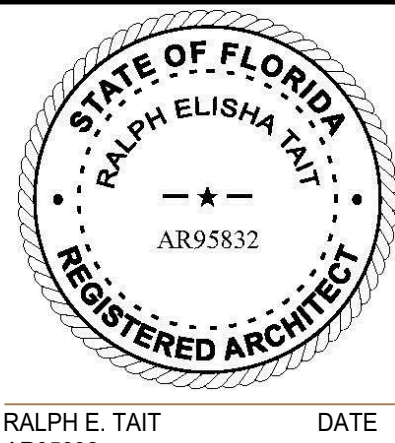
- 1 PROPOSED SINGLE FAMILY RESIDENCE
- 2 PROPOSED POOL DECK
- 3 PROPOSED SWIMMING POOL
- 4 PROPOSED MECHANICAL EQUIPMENT
- 5 PROPOSED CONCRETE PEDESTRIAN WALK
- 6 EXIST. CONCRETE SIDEWALK
- 7 PROPOSED CONCRETE DRIVEWAY
- 8 PROPOSED FENCE
- 9 PROPOSED SOLID WASTE / RECYCLE STAGING AREA
- 10 SOD
- 11 PROPOSED LANDSCAPE MATERIAL
- 12 EXIST. LANDSCAPE MATERIAL

1/8" = 1'-0"
COLOR LANDSCAPE SITE PLAN
SCALE:



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			PROJECT NUMBER:	24-010	
			DRAWN BY:	JJ	
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GENERAL LANDSCAPE NOTES

The plan takes precedence over the plant list.

2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.

All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All limerock shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod 1.5-2" topsoil comes furnished.

All burlop, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.

All trees/palms shall be planted so the top of the root ball, root fair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details

All landscape areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. Each system shall be installed with an operational rain sensor and rust inhibitor.

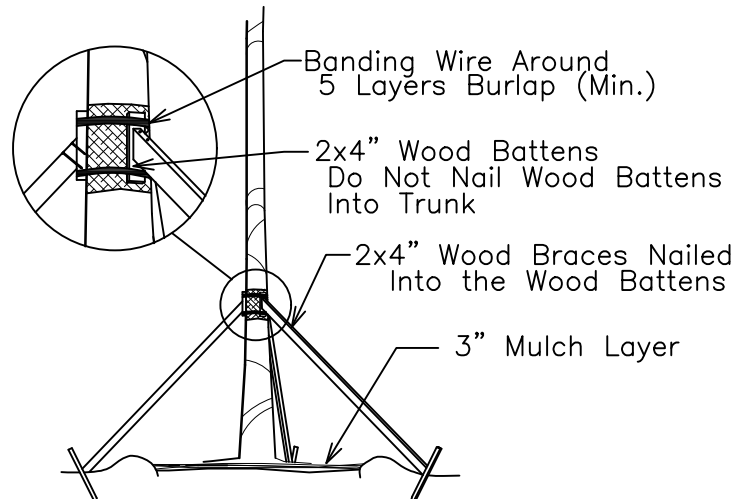
No fertilizers are required.

All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of two inches (2") of cover when settled. Spread mulch to 1" thickness 3" away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4" diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.

Please refer to the planting details for a graphic representation of the above notes. All plant material as included herein shall be warranted by the landscape contractor for a minimum period of 12 months after final inspection approval.

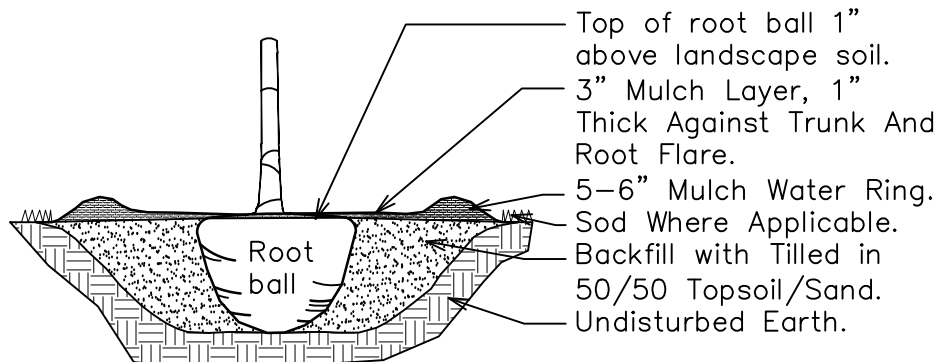
No landscape substitutions shall be made without the City of Hollywood approval.

No tree removal or planting allowed until sub permits are fully approved by city.



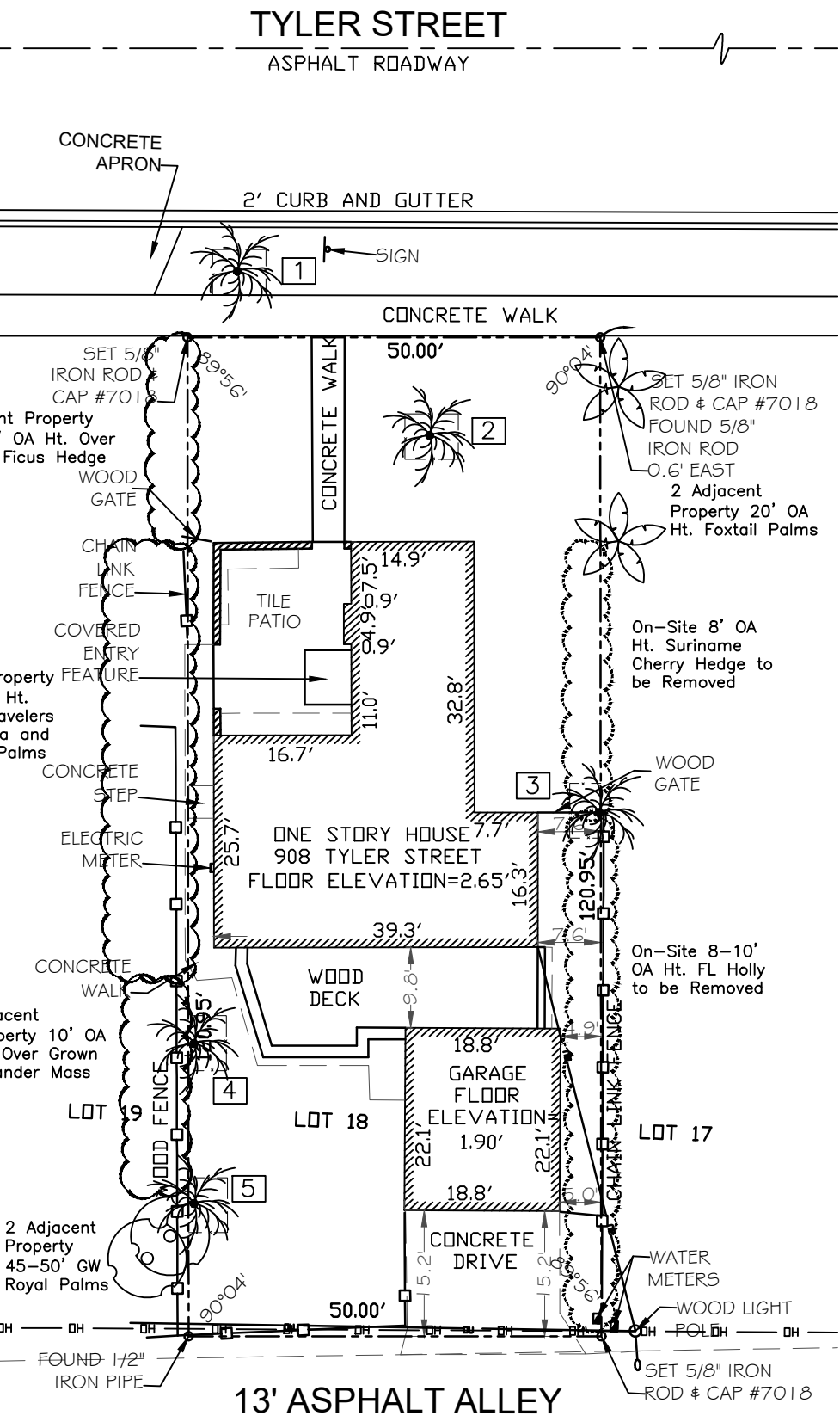
TREE/PALM BRACING DETAIL

NTS



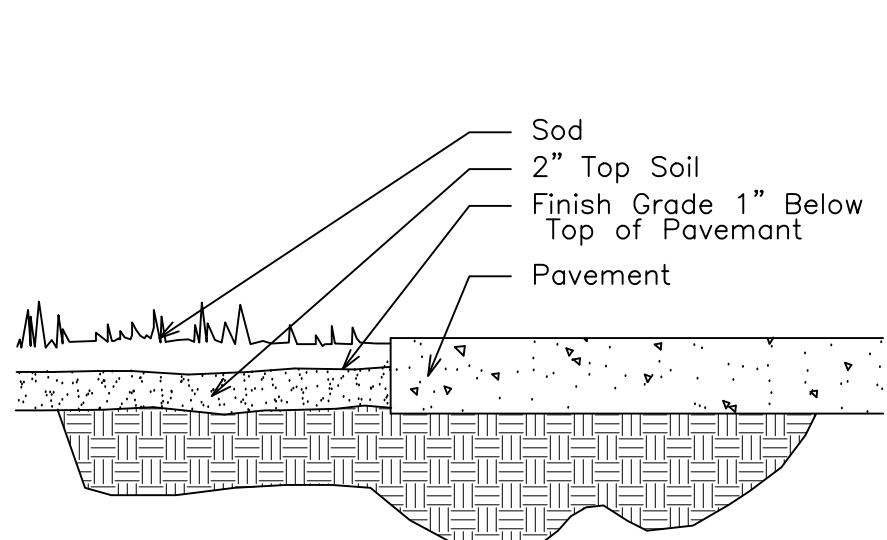
TREE/PALM PLANTING DETAIL

NTS



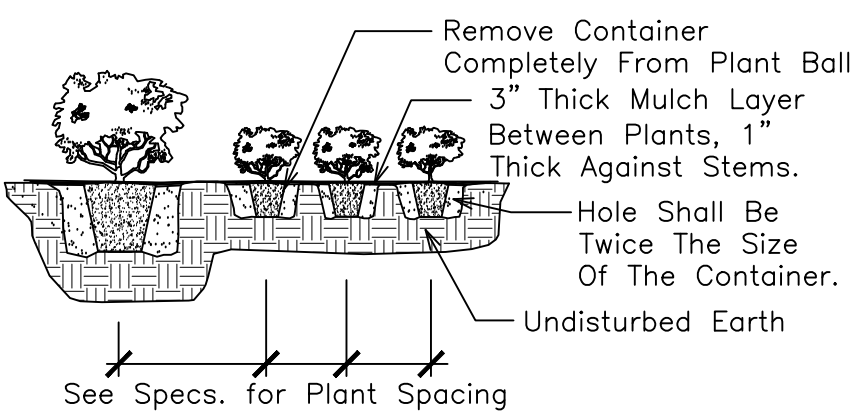
TREE SURVEY

SCALE: 1"=20'



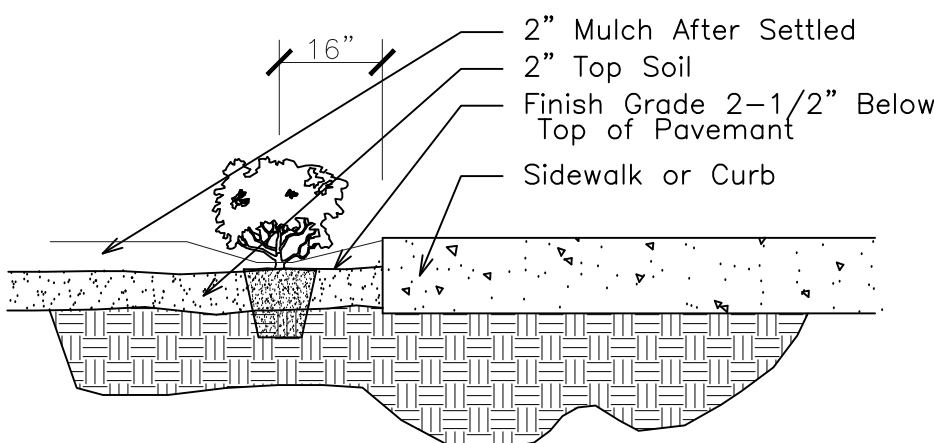
SOD INSTALLATION DETAIL

NTS



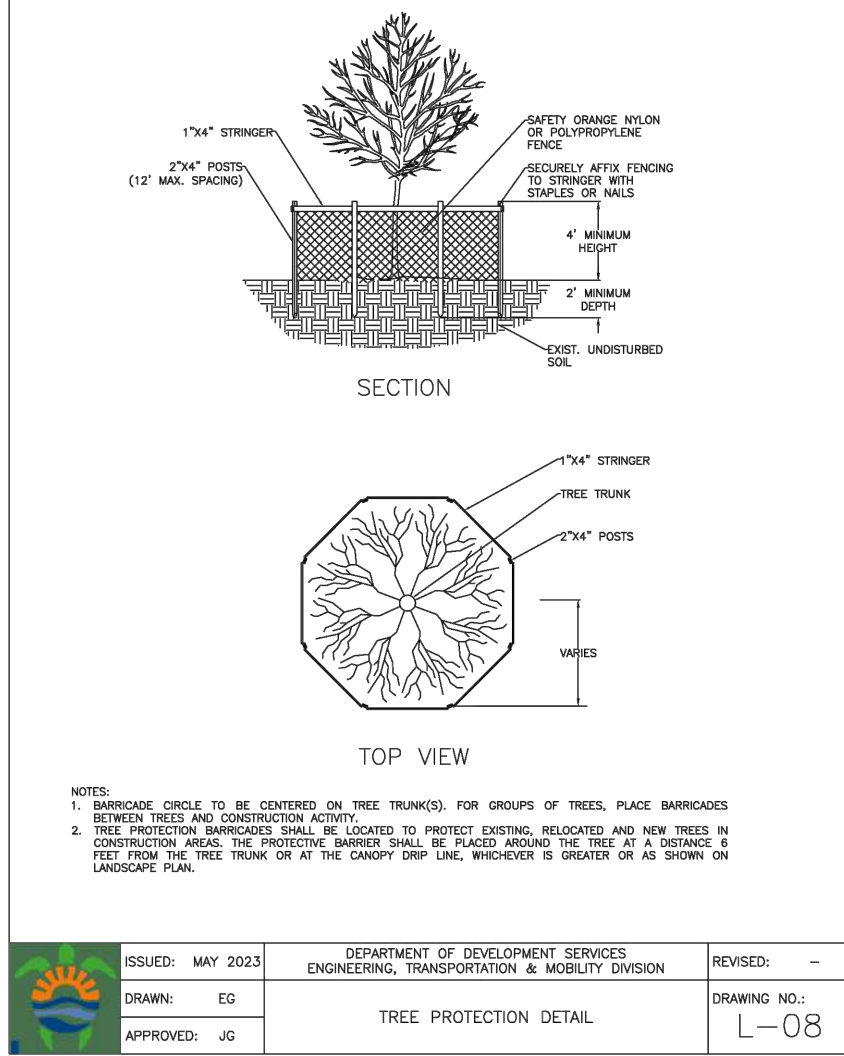
SHRUB PLANTING DETAIL

NTS

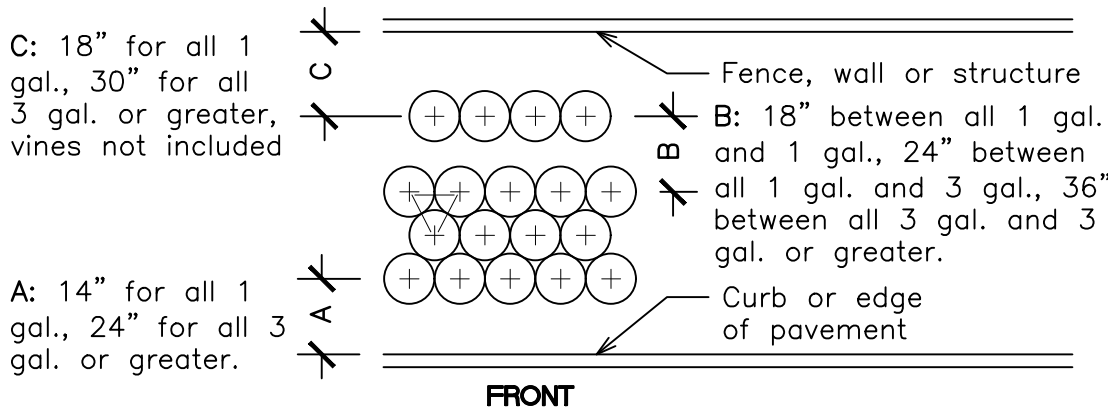


SHRUB INSTALLATION DETAIL

NTS



Existing Palm List								
Address: 908 Tyler Street, Hollywood, FL								
Date: 10/16/2024								
Appraiser: Thomas White, ASLA-ISA								
Landscape Architect FL #LA1100								
ISA Arborist FL-5248A								
Palm #	Botanical Name / Common Name	Ht. (Feet)	GW (Feet)	DBH (Inches)	Condition	Replacement Palms	Disposition	
1	Roystonea elata / Cuban-Florida Royal Palm	40	30	10	Fair-Good	0	Remain	
2	Roystonea elata / Cuban-Florida Royal Palm	50	40	16	Good	0	Remain	
3	Roystonea elata / Cuban-Florida Royal Palm	30	20	14	Good	0	Remain	
4	Roystonea elata / Cuban-Florida Royal Palm	50	40	16	Good	0	Remain	
5	Roystonea elata / Cuban-Florida Royal Palm	50	40	16	Good	0	Remain	
						Replacement Palms Required	0	



TYPICAL SHRUB SPACING DETAIL

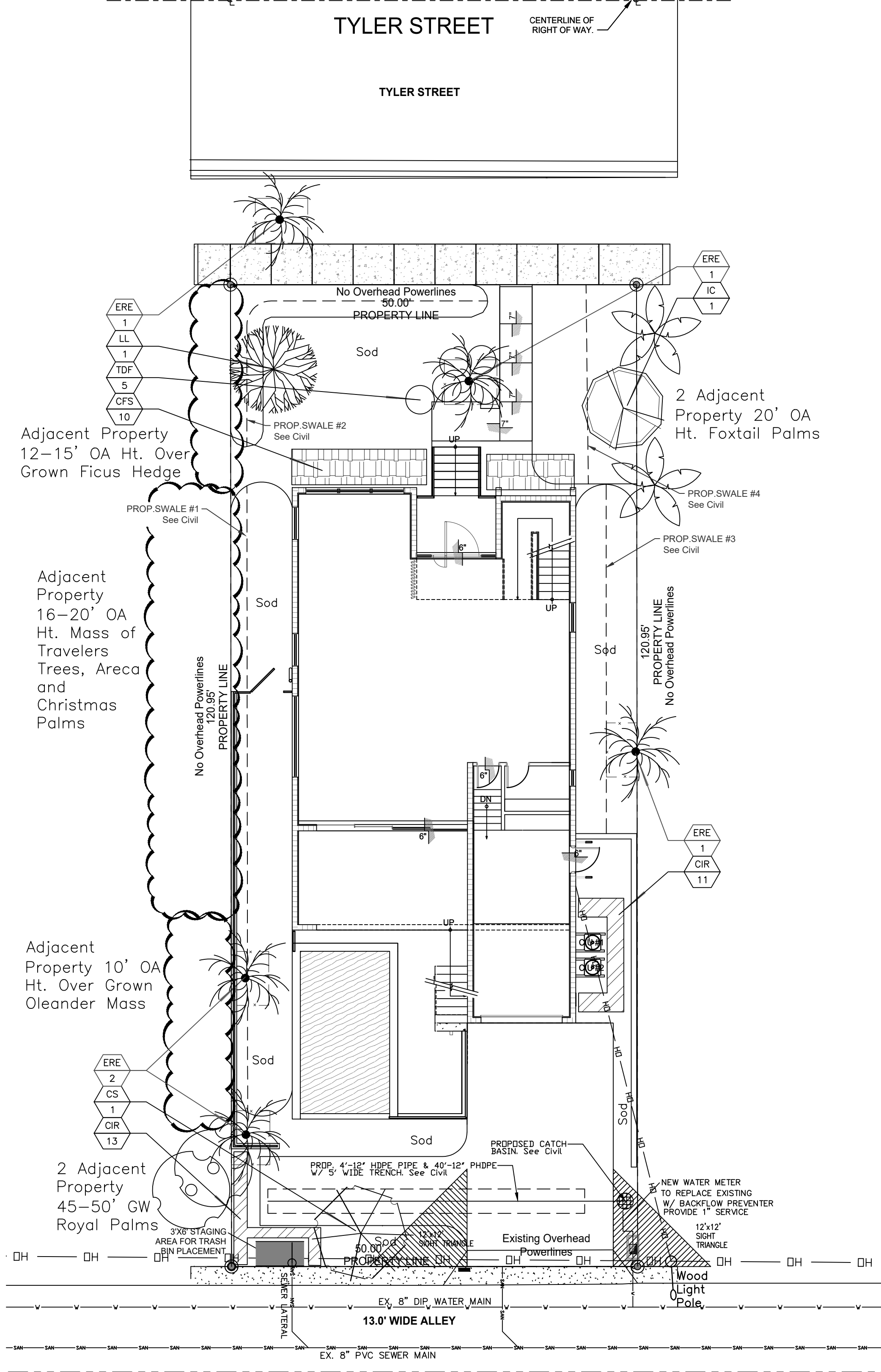
NTS

908 Tyler Street Plant List

Code	Drought	QTY.	Botanical Name / Common Name	Specifications per Sec. 3.3 Landscape Manual
EXISTING PALMS				
ERE	(N)	V	5	Existing Roystonea elata / Cuban-Florida Royal Palm
PROPOSED TREES				
CS	(N)	V	1	Cordia sebestena / Orange Geiger
IC	(N)	V	1	Ilex cassine / Dahoon Holly
LL	(N)	V	1	Lysiloma latisiliquum / Tamarind
			5	Total Site Trees (2 ERE Counted)
			100%	Native Trees
PROPOSED SHRUBS				
CIR	(N)	V	24	Chrysobalanus icaco / 'Red Tip' Coccolup
CRS	(N)	V	10	Clusia rosea / Small Leaf Clusia
TDF	(N)	V	5	Tripsacum dactyloides / Fakahatchee Grass
			39	Total Shrubs
			39	Native Shrubs
			100%	Native Shrubs
SOD				
Sod	M	By GC	S.F. Stenotaphrum secundatum / St. Augustine 'Palmetto'	Solid application - no gaps between seams
			M	Moderate Drought Tolerance
			V	Very Drought Tolerant
			(N)	Florida Native Species

CITY OF HOLLYWOOD PLANTING CALCULATIONS

LANDSCAPE QUANTITY REQUIREMENTS		Required	Provided
Sec. 2.1:1	Street Tree Requirement: One 12" Tree at 50' OC		
	50 Feet of Tyler Street	1	1
Sec. 2.1	SFR: Tree and Shrub Requirement - Single Family Residence		
	3 Trees Front Half of Plot	3	3
	15 Shrubs Front Half of Plot	15	17
	1 Tree Rear Half of Plot	1	1
	10 Shrubs Rear Half of Plot	10	10
		Total Trees:	5
		Total Shrubs:	25
			39



LANDSCAPE PLAN

SCALE: 1"=10'

CITY OF HOLLYWOOD			
SITE PLAN INFORMATION			
Future Land Use: SF Residential			
Property Zoning: RS-6			
Existing Land Use: SFR			
Site Area:	6,047.5 Sq. Feet	=	13.9% Acres
Building Area:	2,207 Sq. Feet	=	36.5%
Driveway / Pads:	686 Sq. Feet	=	11.3%
Pool / Deck:	626 Sq. Feet	=	10.4%
Total Impervious Areas:	3,519 Sq. Feet	=	58.2%
Landscape Area:	2,528.5 Sq. Feet	=	41.8%
Total Pervious Areas:	2,528.5 Sq. Feet	=	41.8%



Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT; LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
tcawhite@bellsouth.net
954-253-2265

REVISIONS

2/7/2025: Minor Site Plan
Revisions.
2/22/2025: Swales Added.

Tree Survey / Landscape Permit Plan
Residence for GNY USA, LLC
908 Tyler Street
Hollywood, Florida 33019



DRAWN:
TW
CHECKED:
TW
DATE:
10-17-2024
SCALE: As Shown

Sheet No.

L-1

Sheet 1 Of 2

IRRIGATION LEGEND:

----- 1" MAIN LINE
----- LATERAL ZONE LINES.

CONTROLLER - Intermatic Electric 4 station controller.

Mini Clik automatic rain sensor shutoff switch mounted outside on top of wall.

ZONE VALVES - Hunter PGV Series with SCV-100-VALVE-B Smart Valve Battery Controller.

SLEEVES - Sch. 40, 2 Sizes Larger.
NOTE - Pipe Size Shown is the Lateral Size, NOT the Sleeve Size

6" POP-UP SPRAY - Hunter MP Rotator Series; Nozzles as Required.
NOTE - All of the below may not be used

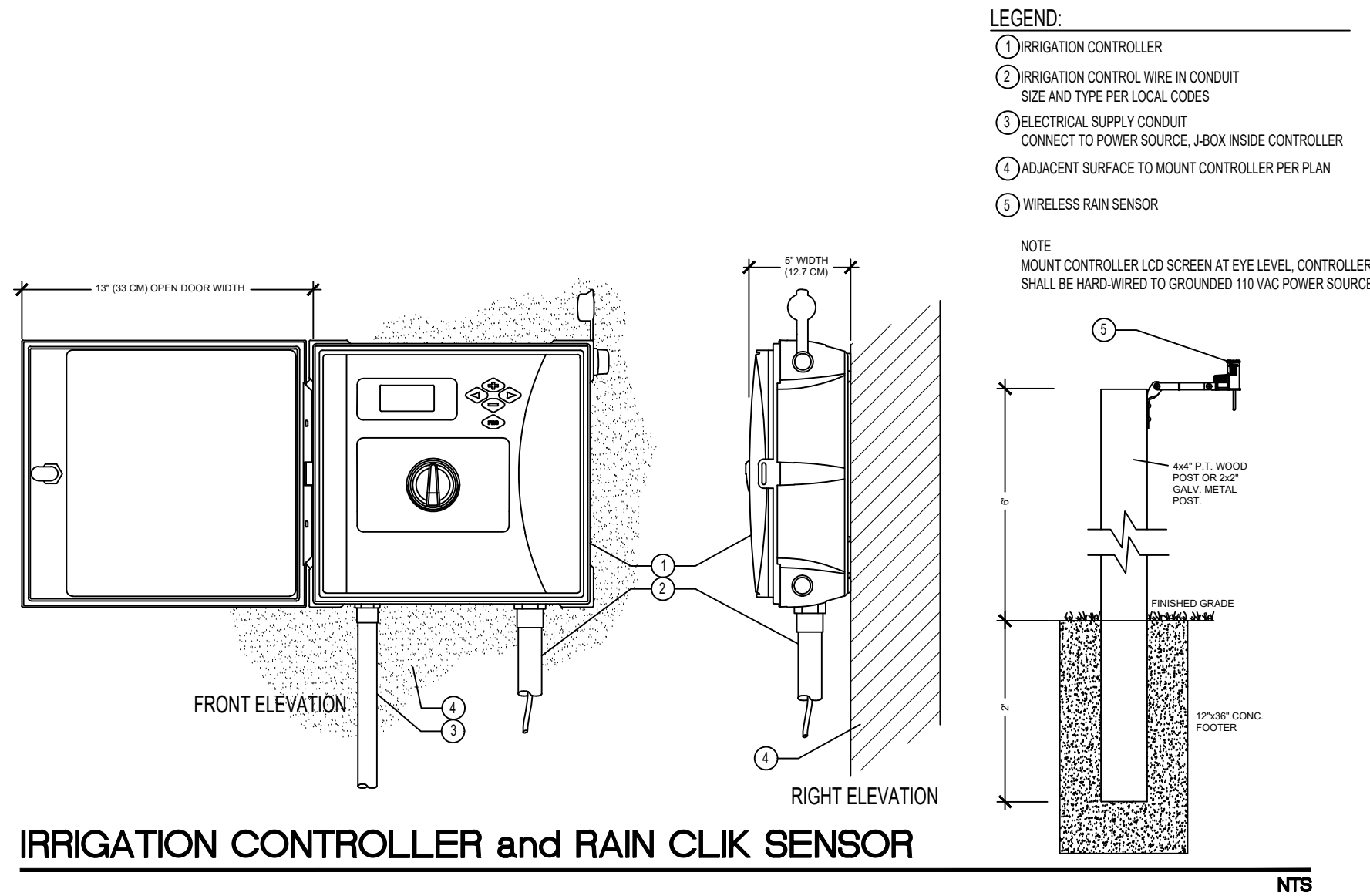
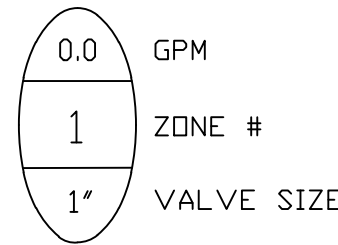
	MP2000 13-21' Radius	MP1000 8-15' Radius	MP800 6-12' Radius
90 Q			
120 T			
180 H			
240 TT			
270 TQ			
360 F			

6" POP-UP STREAM BUBBLER - Hunter 5-CST-B 5'R.

RCS-515 5 x 15'

SS-530 5 x 30'

ES-515 5 x 15'



IRRIGATION NOTES:

Piping:
Main Lines: PVC SCH 40 Solvent Weld.
Zone Lines: PVC SCH 40 Solvent Weld. 1/2 in. is not used.
All pipe is 3/4 inch.
Sleeves and suction Line: PVC SCH 40.

Fittings: SCH 40 PVC

Fabrication: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.

Allow all main lines to cure for 24 hours before pressuring.

All pipe, fittings, and solvents to conform to latest ASTM specs.

Depth of Lines: Main Line and wiring = 18 in. depth, min.
Sleeving under pavement = 24 in. depth, min.
Suction Line = 24 in. depth, nominal.
Zone Lines 1-1/2 in. and smaller = 15 in. depth, min.

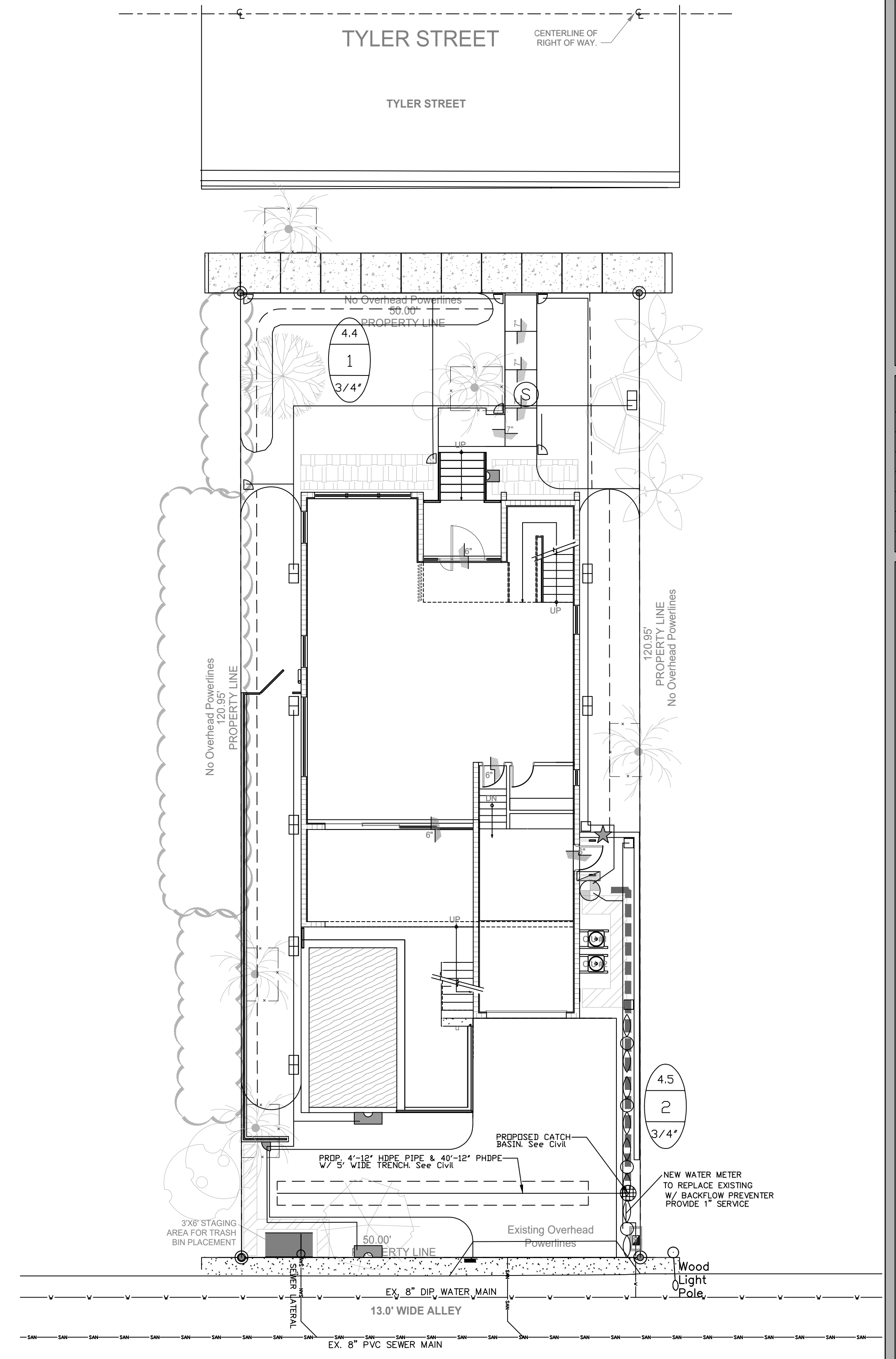
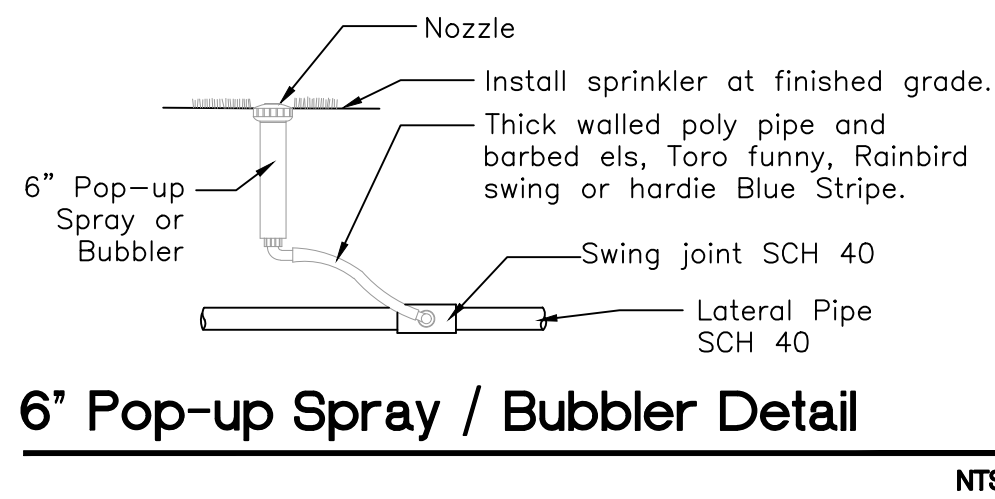
Control Wires: AWG 14 for all hot wires and AWG 12 for common.
Solid copper type UF UL listed for direct burial.
Run wires under main.
Run spares, two min.
Splice wires only in a valve box. All splices shall be moisture proof using Snap tite or DBY UL connectors.
Common shall be white, hot shall be red or color coded
Spare shall be black. Run all wires in Grey Electrical SCH 40 conduit.

Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.

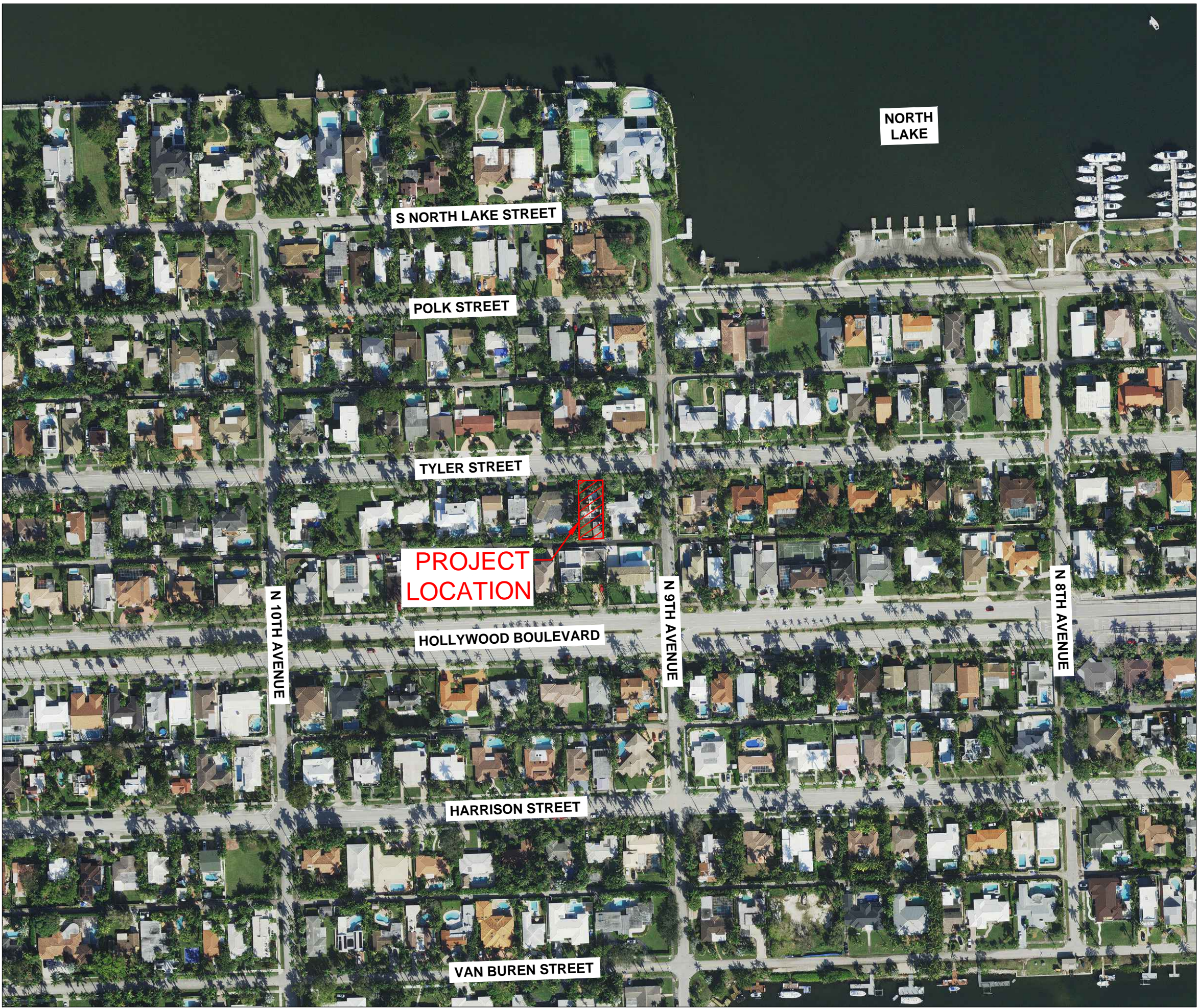
All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractors responsibility to assure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans, it is the contractors responsibility to comply. The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.

Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.

Contractor shall verify all underground utilities prior to commencement of work.



GNY USA LLC.
NEW SINGLE FAMILY HOME
908 TYLER STREET
HOLLYWOOD, FLORIDA 33019



INDEX OF SHEETS:

SHEET No.	TITLE
CS-1	COVER SHEET
PD-1	PAVING, GRADING & DRAINAGE PLAN
PD-2	PAVING, GRADING & DRAINAGE DETAILS
SWPP-1	STORMWATER POLLUTION PREVENTION PLAN & EROSION CONTROL DETAILS
WS-1	WATER & SEWER PLAN
WS-2	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAILS
WS-2A	WATER & SEWER DETAILS

LOCATION MAP
1"=200'
FOLIO: 5142-14-02-2570

CIVIL ENGINEERING PLANS

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

SUAREZ ENGINEERING & SURVEYING, INC.
13350 SW 131ST STREET
SUITE 103
MIAMI, FL 33186
Tel: 305.596.1799

CERTIFICATE OF AUTHORIZATION
LIC. NO.: 34996

908 TYLER STREET
COVER SHEET

CLIENT:
RALPH TAIT ARCHITECT, INC.

PROJECT NAME:
NEW SINGLE FAMILY HOME

PROJECT ADDRESS:
908 TYLER STREET,
HOLLYWOOD, FLORIDA 33019

PROJECT NUMBER:
25-63-02

REVISIONS		
DATE	BY	DESCRIPTION

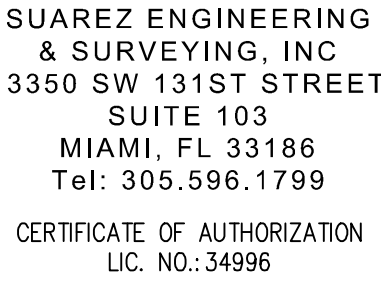
DATE: 4/7/2025
JESUS J. SUAREZ, P.E.
LICENSE NO. - 74556

DATE: 4/7/2025
SCALE: AS SHOWN
DESIGNED BY: J.S.
DRAWN BY: J.S.S.
CHECKED BY: J.S.
FILE:
JOB No. 25-63-02

SHEET NO.
CS-1

This drawing was prepared by J.S.S. and checked by J.S. It is the responsibility of the engineer to ensure that the drawing is accurate and that the appropriate permit has been obtained for any electrical work.

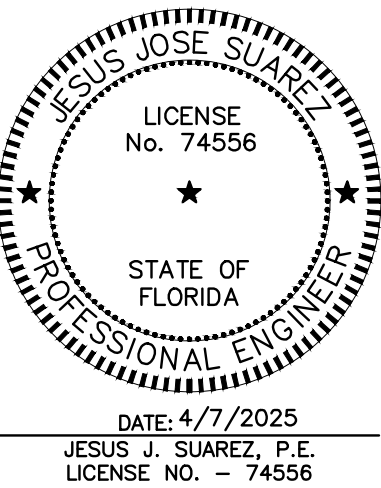




908 TYLER STREET
STORMWATER POLLUTION
PREVENTION PLAN &
EROSION CONTROL DETAILS

PROJECT NAME:
NEW SINGLE FAMILY HOME

PROJECT NUMBER:
5-63-02

[illegible]

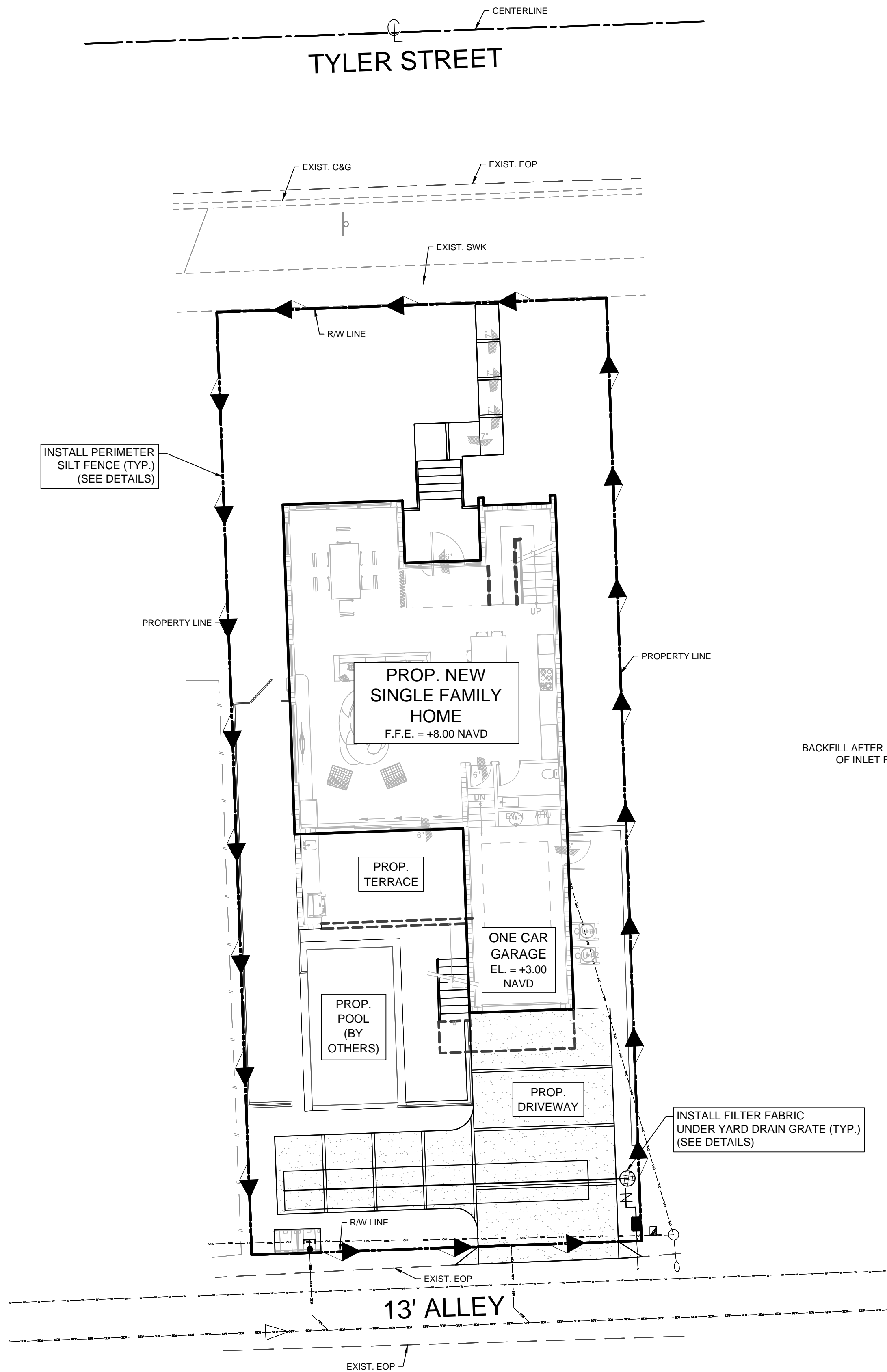
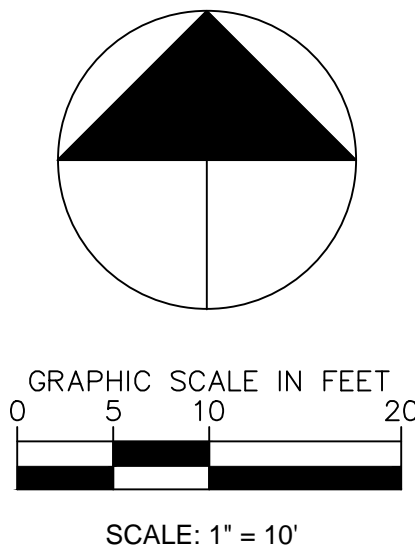
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CHECKED BY: J.S.
FILE:
JOB No. 25-63-02

SHEET NO.

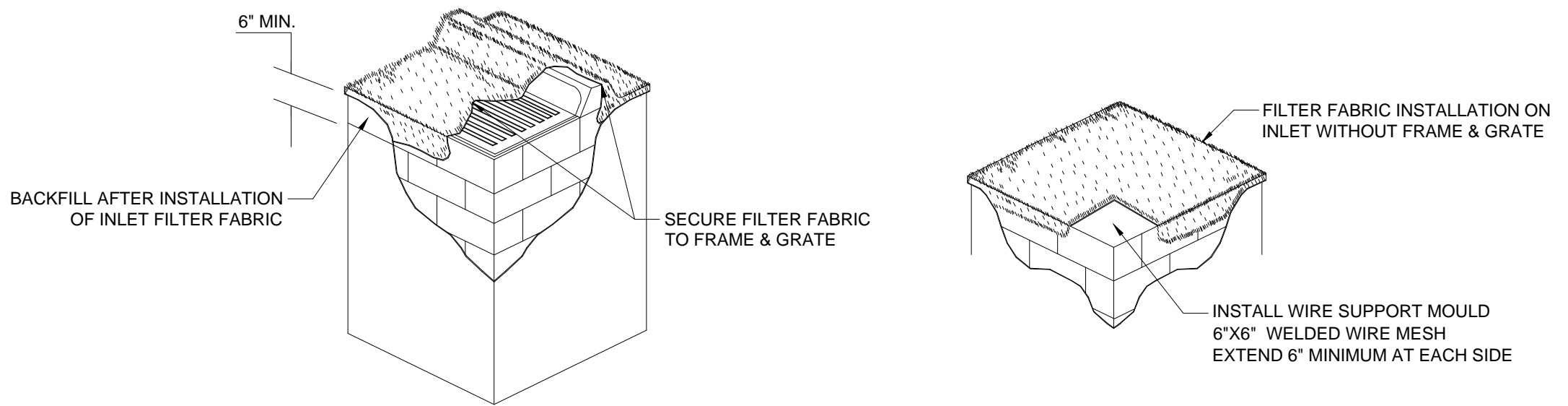
SWPP-1



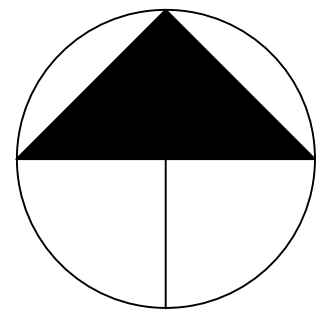
1. THE HEIGHT OF THE SILT FENCE SHALL BE INSTALLED AT A MINIMUM OF 24 INCHES BUT SHALL NOT EXCEED 36 INCHES.
2. THE FILTER FABRIC MATERIAL SHALL BE PURCHASED IN A CONTINUOUS ROLL IN ORDER TO BE ABLE TO CUT THE ENTIRE REQUIRED LENGTH IN ONE PIECE AND AVOID THE USE OF JOINTS.
3. WHEN STANDARD STRENGTHENED FILTER FABRIC MATERIAL IS USED, A WELDED WIRE MESH SUPPORT SHALL BE FASTENED SECURELY TO THE UP SLOPE SIDE OF THE FENCE POSTS BY USING EITHER HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
4. THE FILTER FABRIC MATERIAL SHALL BE EITHER STAPLED OR WIRED TO THE FENCE POSTS AND 12 INCHES OF THE FABRIC SHALL BE EXTENDED AT THE BOTTOM INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE GROUND SURFACE.
5. A 6'X6" TRENCH SHALL BE CONSTRUCTED ALONG THE BOTTOM OF THE ENTIRE LINE OF FENCE POSTS AND UP SLOPE FROM THE BARRIER IN ORDER TO BURY THE BOTTOM 12 INCHES OF THE FILTER FABRIC MATERIAL. THE TRENCH SHALL BE BACK FILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
6. THE FENCE POSTS SHALL BE INSTALLED AT A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND FOR A MINIMUM OF 12 INCHES WHEN THE FILTER FABRIC IS USED WITHOUT WIRE MESH SUPPORT. IF WIRE SUPPORT IS USED THEN THE FENCE POSTS SHALL BE SPACED AT A MAXIMUM OF 6 FEET APART.
7. WHEN INSTALLING TWO SILT FENCES AROUND THE PERIMETER, PLACE THE POSTS OF THE SECOND FENCE INSIDE THE POSTS OF THE FIRST FENCE. ROTATE BOTH FENCE POSTS AT A CLOCKWISE DIRECTION IN ORDER TO CREATE A TIGHT SEAL. FOLLOW ALL OTHER STANDARD INSTALLATION REQUIREMENTS.



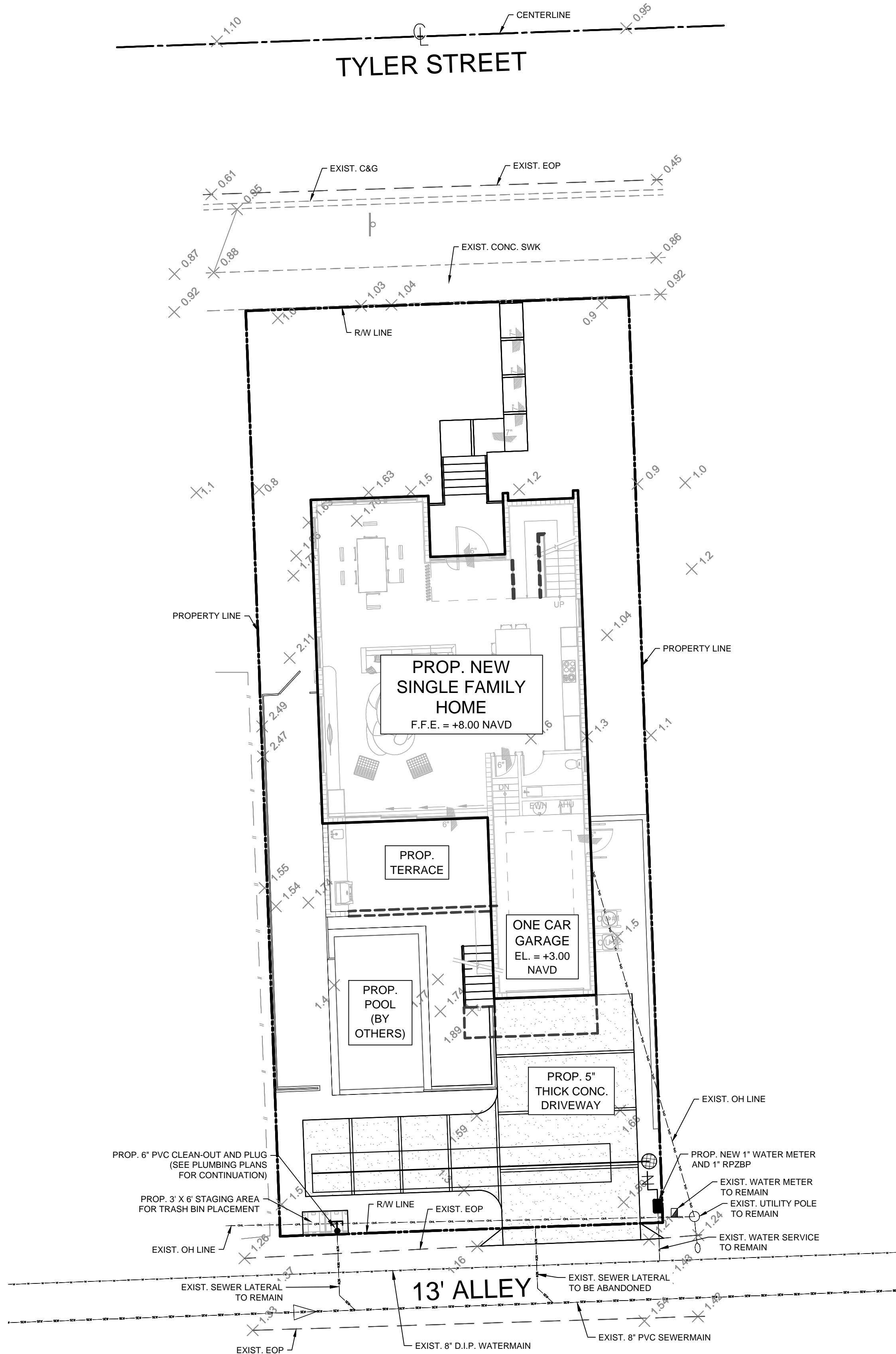
1. ALL EROSION AND TURBIDITY CONTROL DEVICES AND TEMPORARY BARRIERS SHALL BE INSTALLED WITHIN THE LIMITS OF THE CONSTRUCTION AREA PRIOR TO ANY CONSTRUCTION ACTIVITIES COMMENCING.
2. A TEMPORARY BARRIER SHALL BE INSTALLED AROUND ALL WETLAND AND/OR NATURAL PRESERVATION AREAS PRIOR TO ANY CONSTRUCTION ACTIVITIES COMMENCING. NO CONSTRUCTION VEHICLES SHALL ENCROACH WITHIN THESE AREAS.
3. CONTRACTOR SHALL HAVE ALL EXISTING UNDERGROUND UTILITIES LOCATED BY APPROPRIATE AGENCIES PRIOR TO INSTALLATION OF ANY EROSION AND TURBIDITY CONTROL DEVICES AND BARRIERS.
4. DURING CONSTRUCTION ACTIVITIES, EXISTING PERIMETER NATIVE VEGETATION SHALL REMAIN IN ORDER TO ACT AS A BUFFER BETWEEN ADJACENT PROPERTIES, AND TO MINIMIZE NUISANCE DUST, NOISE, AND/OR AIR POLLUTION.
5. PRACTICES SUCH AS SEEDING, MULCHING AND WETTING WHICH MINIMIZE AIRBORNE DUST AND PARTICULATE EMISSIONS GENERATED DURING CONSTRUCTION ACTIVITIES SHALL BE USED AS DIRECTED BY BOTH THE ENGINEER-OF-RECORD AND/OR APPLICABLE GOVERNMENTAL AGENCIES.
6. ALL AREAS DISTRIBUTED DURING CONSTRUCTION ACTIVITIES, WHICH ARE NOT GOING TO BE PAVED OR LANDSCAPED, SHALL BE SEEDED AND MULCHED.



1. CONTRACTOR SHALL CLEAN OUT DRAINAGE INLET AND FILTER FABRIC AFTER EVERY STORM EVENT OR AS NEEDED.
2. CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL DAMAGED FILTER FABRIC WITHIN INLETS DURING CONSTRUCTION OPERATIONS.
3. CONTRACTOR SHALL REMOVE FILTER FABRIC FROM DRAINAGE INLETS PRIOR TO STARTING FINAL PAVING OPERATIONS.



GRAPHIC SCALE IN FEET
0 5 10 20
SCALE: 1" = 10'



NOTE:
EXISTING ELECTRICAL OVERHEAD WIRES SHALL BE ROUTED UNDERGROUND FOR THE PROPOSED RESIDENCE.

908 TYLER STREET
WATER & SEWER PLAN

CLIENT:
RALPH TAIT ARCHITECT, INC.

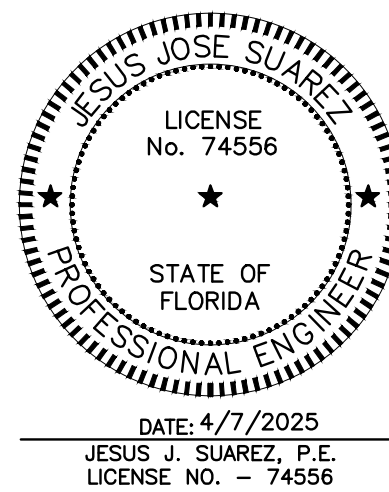
PROJECT NAME:
NEW SINGLE FAMILY HOME

PROJECT ADDRESS:
908 TYLER STREET,
HOLLYWOOD, FLORIDA 33019

PROJECT NUMBER:
25-63-02

REVISIONS

DATE	BY	DESCRIPTION



DATE: 4/7/2025
SCALE: AS SHOWN
DESIGNED BY: J.S.
DRAWN BY: J.S.S.
CHECKED BY: J.S.
FILE:
JOB No. 25-63-02

SHEET NO.

WS-1

THIS PLAN AND ALL OTHERS HEREON ARE THE PROPERTY OF SUAREZ ENGINEERING & SURVEYING, INC. NO PART OF THIS PLAN OR ANY OTHERS HEREON MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF SUAREZ ENGINEERING & SURVEYING, INC. THE USER OF THIS PLAN AGREES TO HOLD SUAREZ ENGINEERING & SURVEYING, INC. HARMLESS FROM AND AGAINST ALL SUCH REPRODUCTION OR TRANSMISSION.



SUAREZ ENGINEERING
& SURVEYING, INC.
13350 SW 131ST STREET
SUITE 103
MIAMI, FL 33186
Tel: 305.596.1799
CERTIFICATE OF AUTHORIZATION
LIC. NO.: 34996

908 TYLER STREET
WATER & SEWER
DETAILS

CLIENT:
RALPH TAIT ARCHITECT, INC.

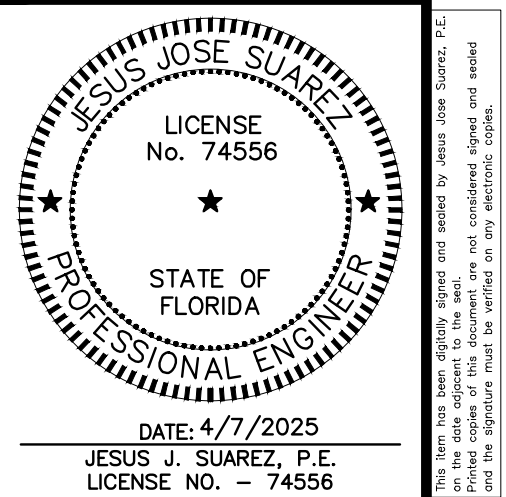
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NEW SINGLE FAMILY HOME

PROJECT ADDRESS:
908 TYLER STREET,
HOLLYWOOD, FLORIDA 33019

PROJECT NUMBER:
25-63-02

REVISIONS

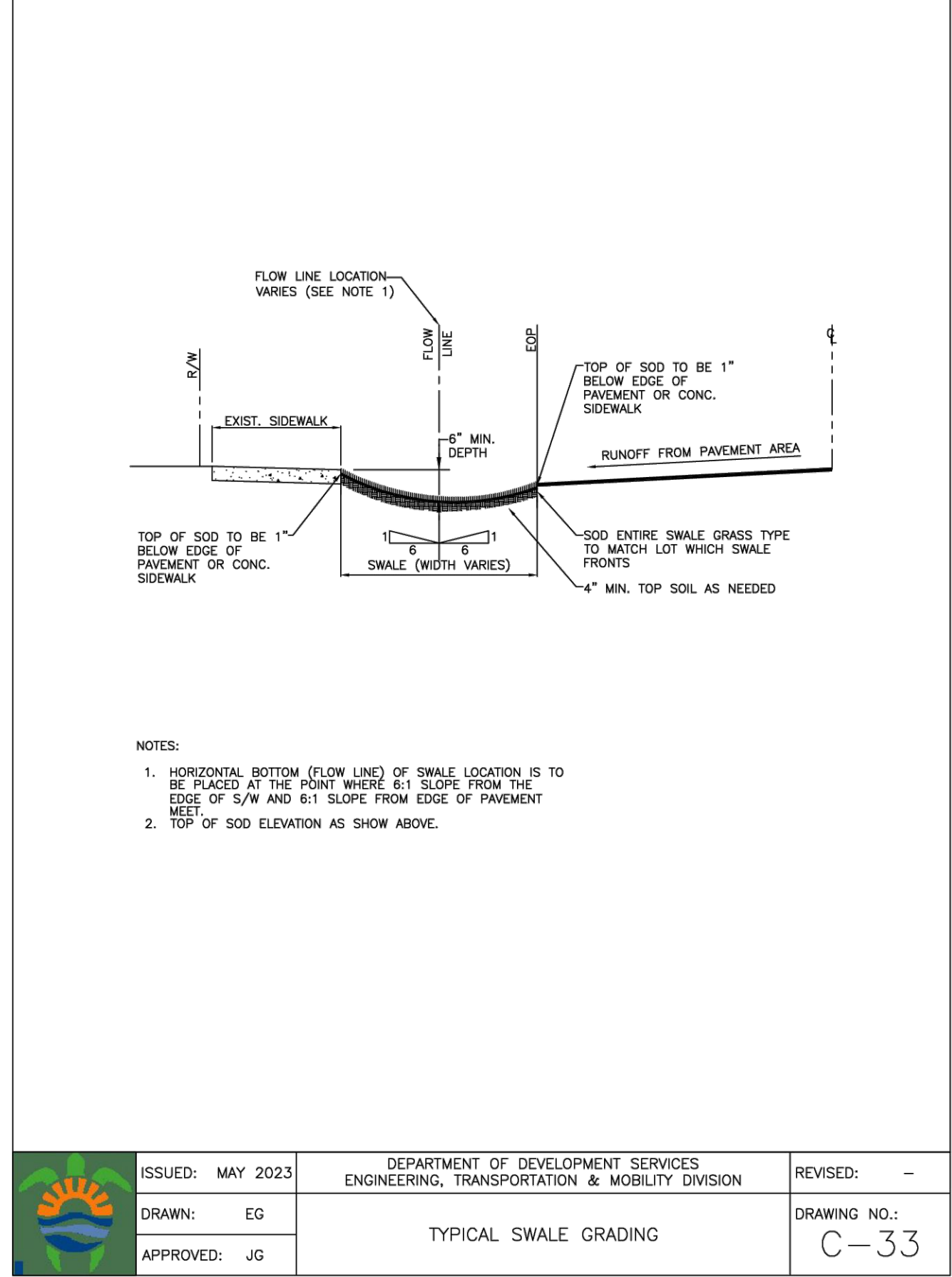
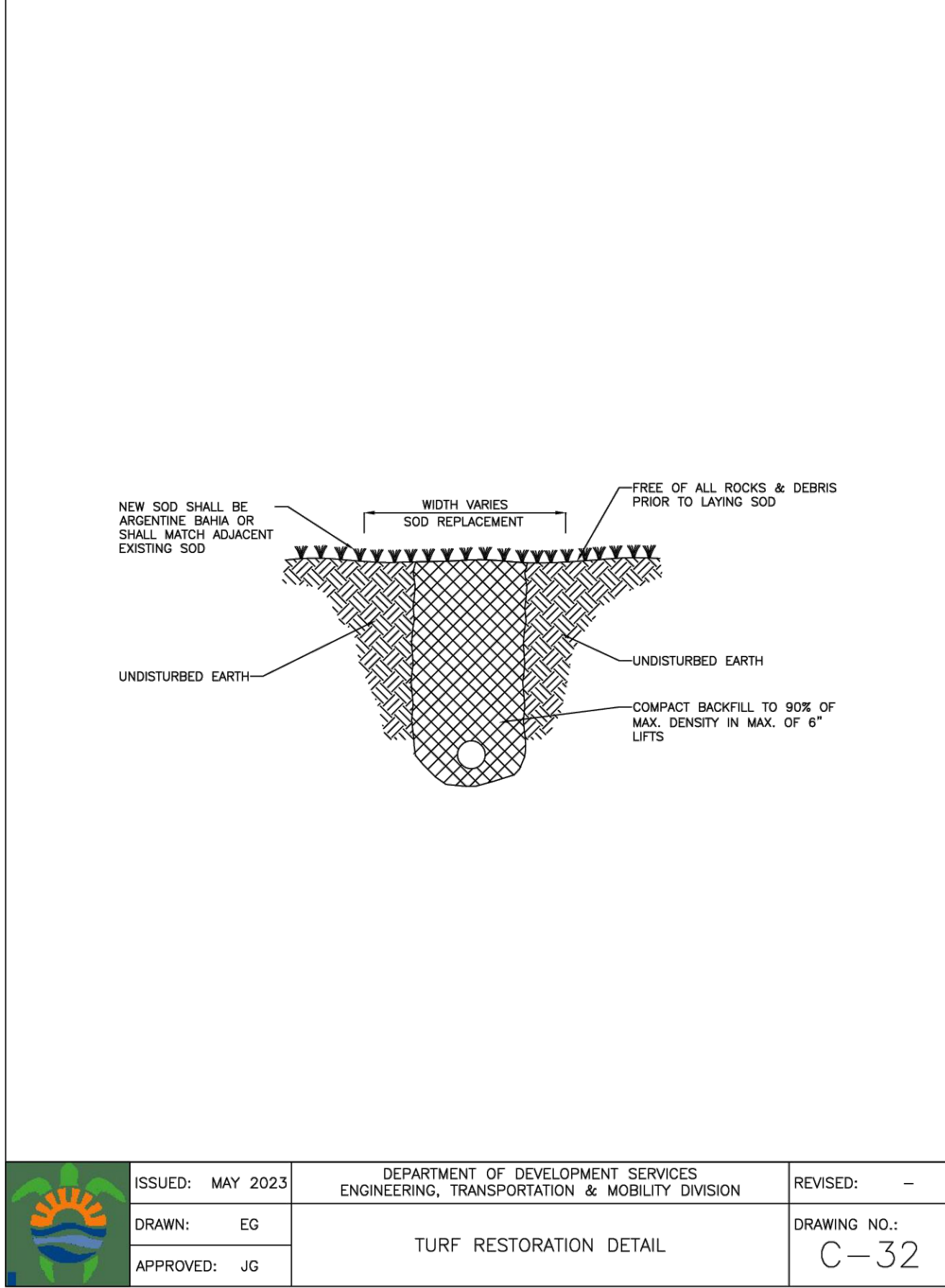
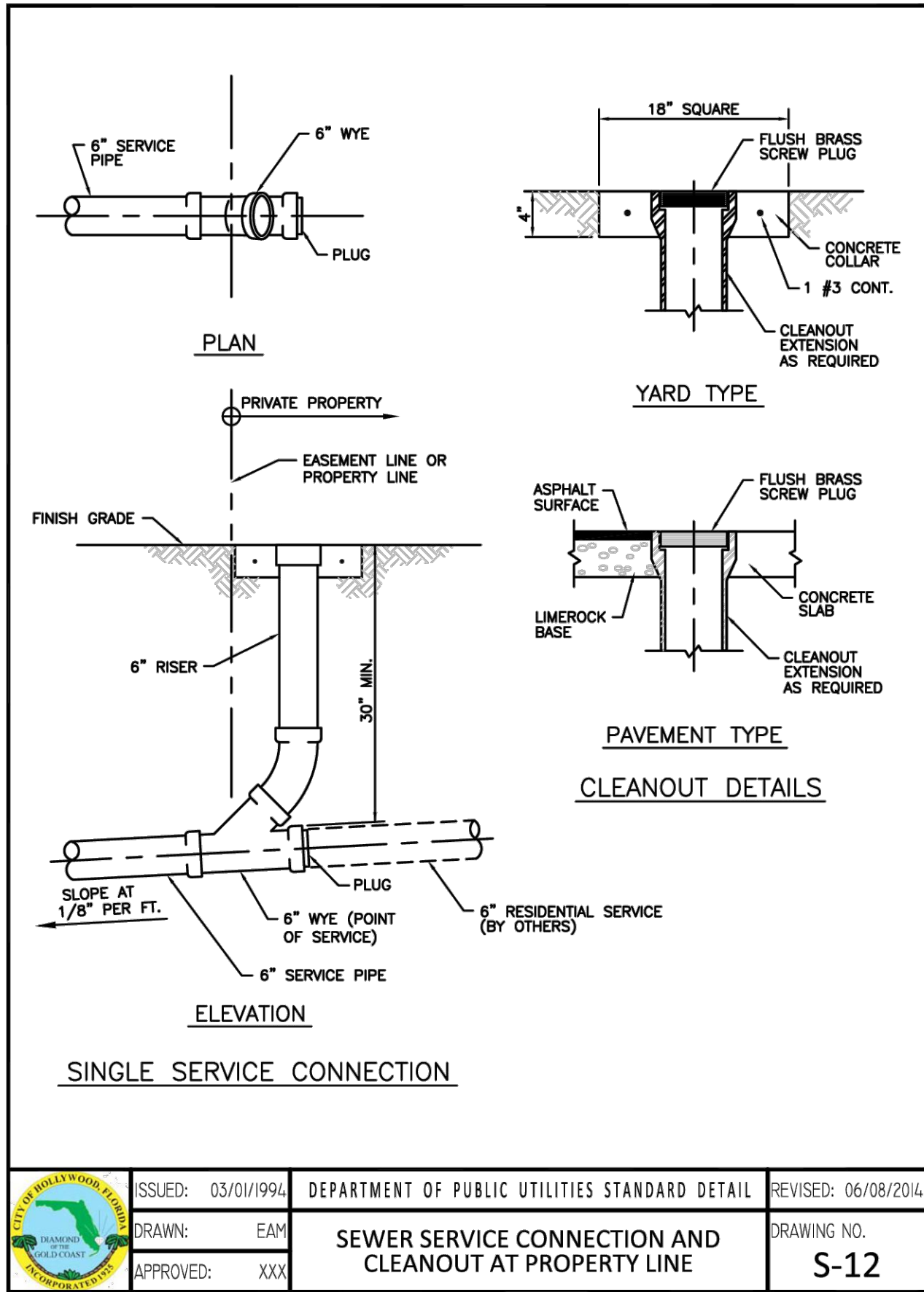
DATE	BY	DESCRIPTION



DATE: 4/7/2025
SCALE: AS SHOWN
DESIGNED BY: J.S.
DRAWN BY: J.S.S.
CHECKED BY: J.S.
FILE:
JOB No. 25-63-02

SHEET NO.

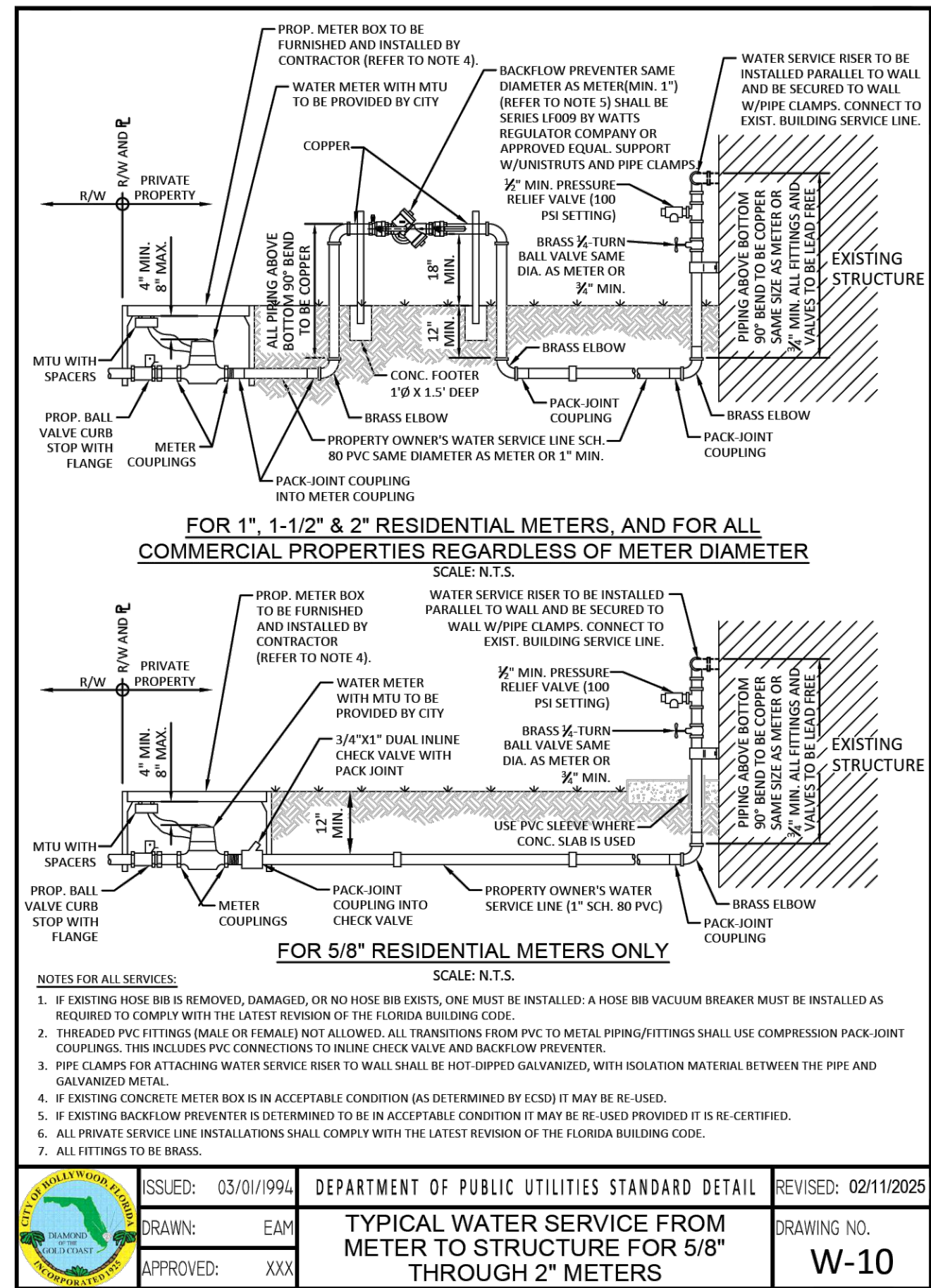
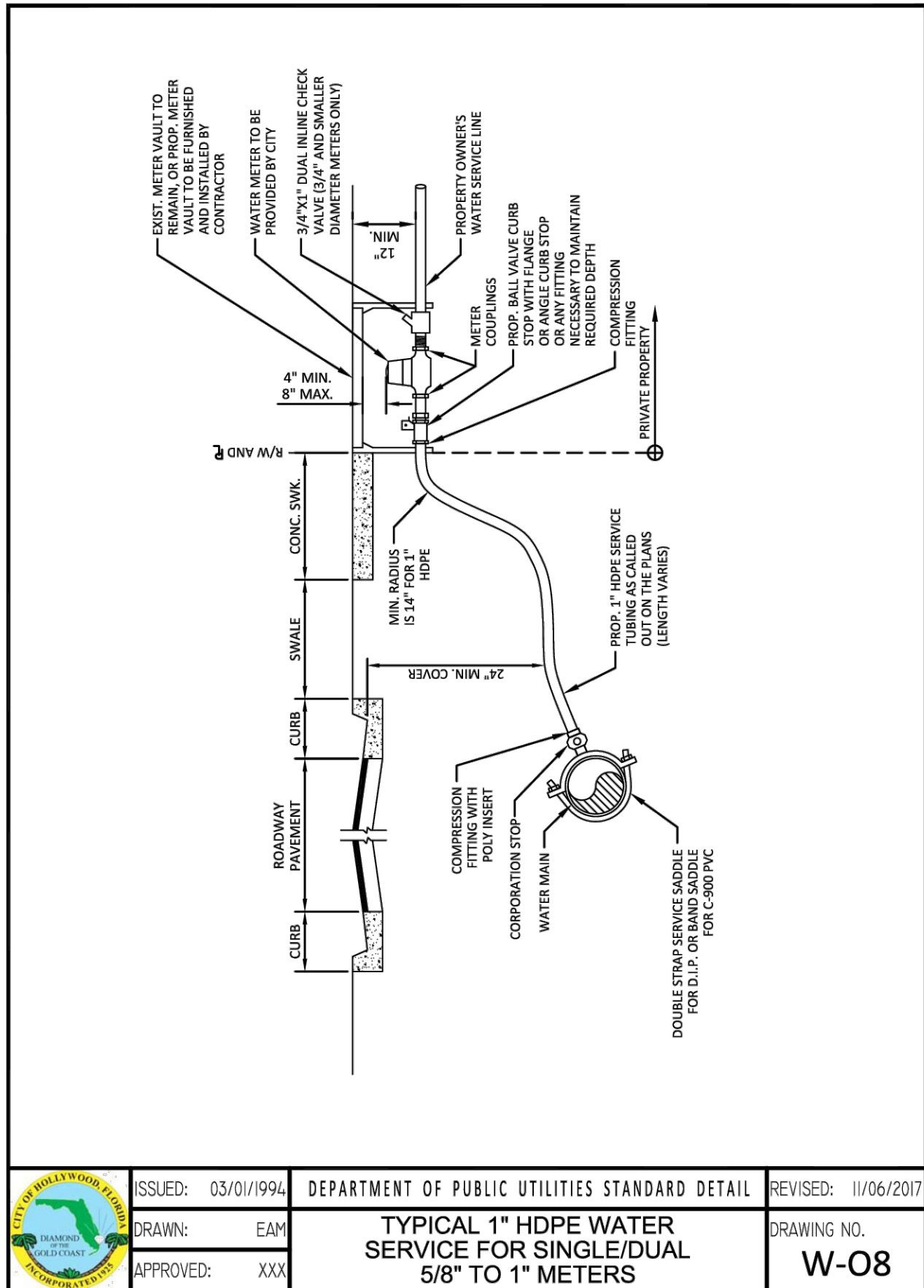
WS-2A



WATER METER SERVICE NOTES:

- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
- P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm), FOR WATER SERVICE".
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL 3/4" OR SINGLE 1" DIAMETER METERS.
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1-1/2" OR SINGLE 2" DIAMETER METERS.
- FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
- APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
- FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE WATER METERS WILL BE PROVIDED AND INSTALLED BY THE CITY OF HOLLYWOOD (NEW ACCOUNTS).
- FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
- FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
 - CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
 - FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
- THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL.
- AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.
- FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS	DRAWING NO. W-07
APPROVED: XXX		



THIS SEAL IS THE PROPERTY OF THE STATE OF FLORIDA. IT IS TO BE USED ONLY BY THE LICENSEE FOR THE PURPOSES FOR WHICH IT WAS ISSUED. IT IS TO BE KEPT IN A SAFE PLACE AND NOT BE LOST OR DESTROYED. IF IT IS LOST OR DESTROYED, THE LICENSEE MUST APPLY FOR A NEW SEAL AND PAY THE FEE THEREFOR.