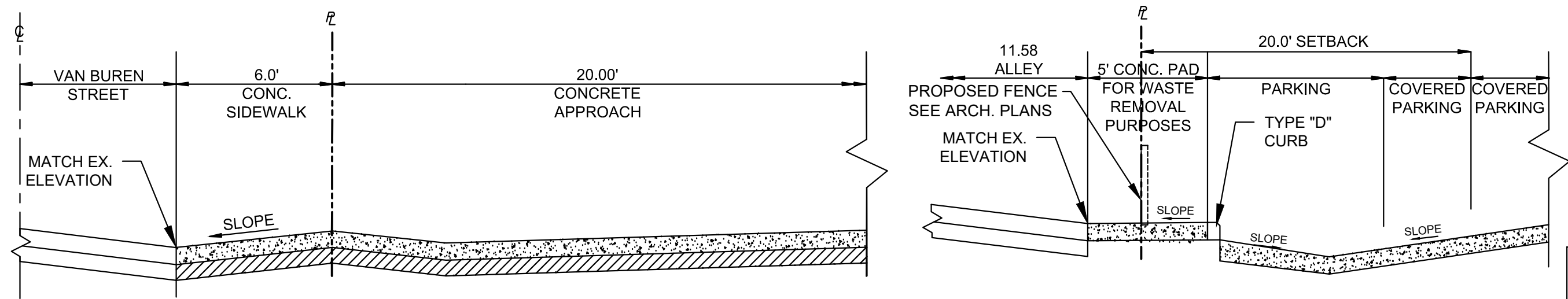
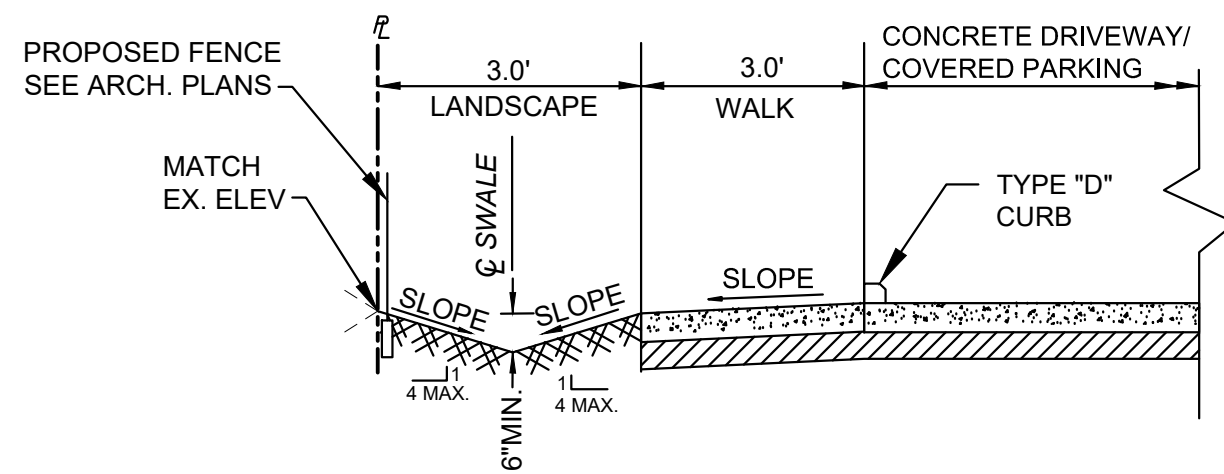


ATTACHMENT A
Application Package
Part 2

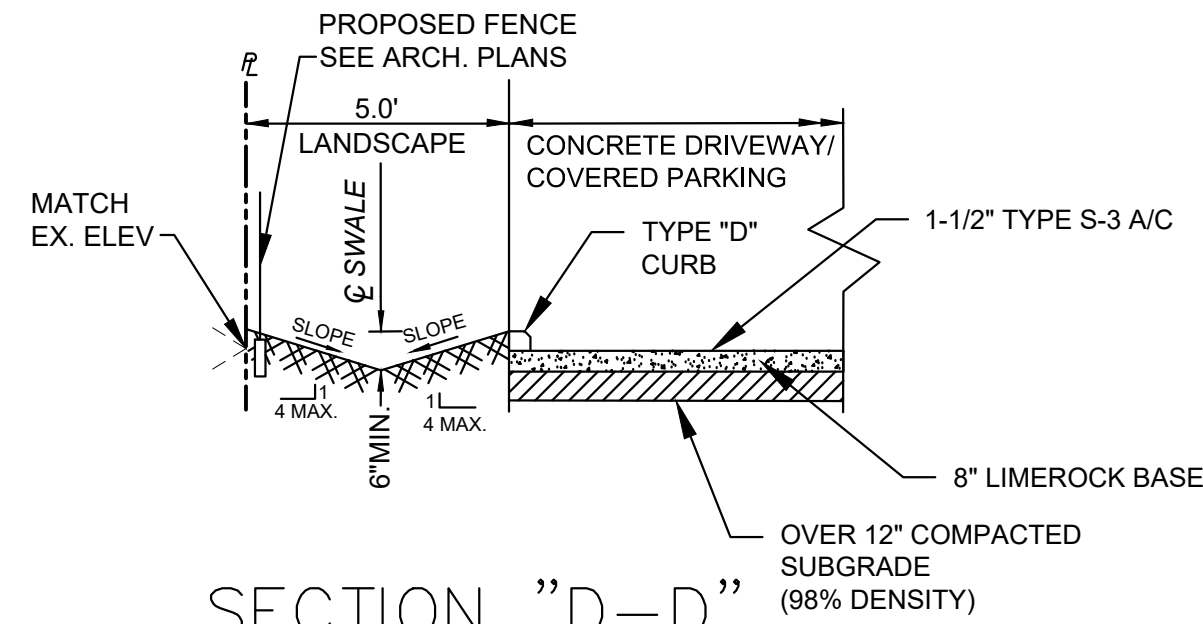


SECTION "A-A"
N.T.S.

SECTION "B-B"
N.T.S.



SECTION "C-C"
N.T.S.



SECTION "D-D"
N.T.S.

NOTE:
EXISTING CONDITIONS ARE TAKEN FROM A PLAN ENTITLED
"LAND TITLE SURVEY", PREPARED BY BELLO & BELLO KAND
SURVEYING, DATED SEPTEMBER 22, 2024

NOTE:
NO GEOTECHNICAL INFORMATION HAS BEEN PROVIDED.

NOTE:
FOR SITE DIMENSIONS AND MINIMUM SET-BACKS REFER
TO ARCHITECTURAL SITE PLAN.

NOTE:
TOS/TOD PROVIDED BY OTHERS.

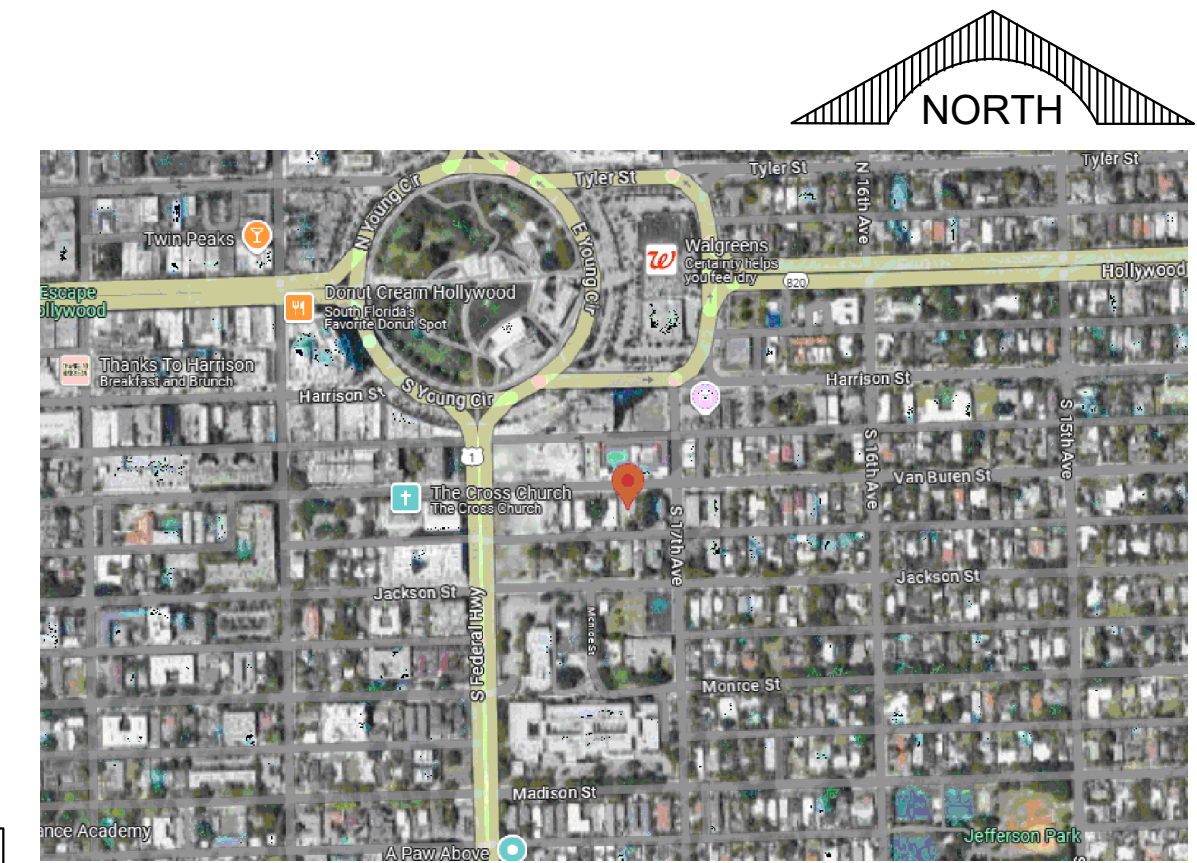
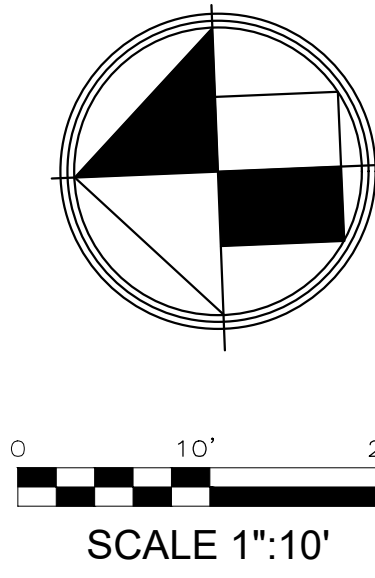
NOTE:
ALL FIELD DRAINS SHALL HAVE PEDESTRIAN RATED TOP.

NOTE:
CONTRACTOR TO VERIFY LOCATIONS OF ALL EXISTING
UTILITIES & CONDITIONS.

NOTE:
ALL SD PIPING LINES SHALL BE SLOPED AT 1% UNLESS
OTHERWISE NOTED.

NOTE:
ALL GRADES SHOWN (EXISTING AND PROPOSED) REFER TO
NAVD.

* PROPOSED BACKFLOW PREVENTER (RPZ) MUST BE
LOCATED INSIDE PROPERTY BUT NO FURTHER 5'-0" FROM
RIGHT-OF-WAY



LOCATION MAP
N.T.S.

PRE- DEVELOPMENT		%
TOTAL AREA	8070.00 FT ²	100.00%
IMPERVIOUS	3707.50 FT ²	46.00%
PERVIOUS	4362.50 FT ²	54.00%

POST- DEVELOPMENT		%
TOTAL AREA	8070 FT ²	100.00%
IMPERVIOUS	6309.33 FT ²	78.18%
PERVIOUS	1760.70 FT ²	21.82%

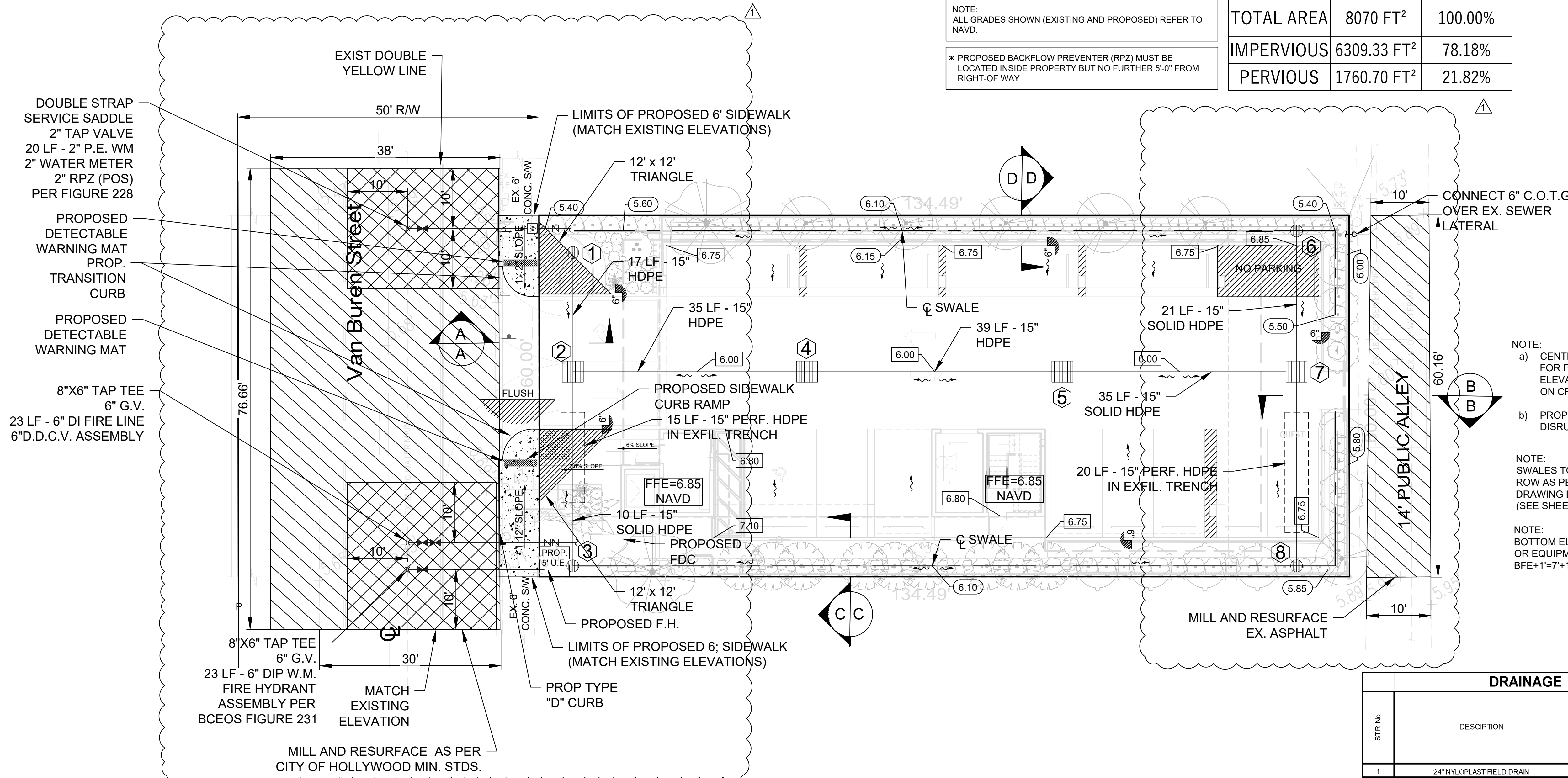
LEGEND	
R.E.	RIM ELEVATION
G.E.	GRATE ELEVATION
I.E.	INVERT ELEVATION
~	DIRECTION OF OVERLAND FLOW
TOS=	TOP OF SLAB ELEVATION
+xxx	EXISTING ELEVATIONS
(x.xx)	PROPOSED ELEVATION
[x.xx]	PROPOSED CONCRETE ELEVATION
[W]	EXISTING WATER METER
[W]	PROPOSED WATER METER
---	PROPERTY LINE
[diagonal lines]	MILL AND RESURFACE
[cross-hatch]	PAVEMENT RESTORATION

- NOTE:
- CENTERLINE OF SWALE MAY HAVE TO BE ADJUSTED TO COMPENSATE FOR PROPOSED LANDSCAPING (PER SHEET L-01). ADDITIONAL ELEVATIONS SHOULD BE PROVIDED ON PLAN VIEW SO DIMENSIONS ON CROSS-SECTION VIEWS CAN BE VERIFIED
 - PROPOSED LANDSCAPING ALONG PROPERTY LINES WILL NOT DISRUPT STORMWATER RUNOFF DRAINAGE RETENTION

NOTE:
SWALES TO BE RESTORED IN THE
ROW AS PER CITY OF HOLLYWOOD
DRAWING DETAILS C-32 & C-33
(SEE SHEET C-6)

NOTE:
BOTTOM ELEVATION OF MACHINERY
OR EQUIPMENT SHALL BE MINIMUM
BFE+1'=7'+1'=8.00 NAVD88

NOTE:
ALL ROADS AND ALLEYS ADJACENT
TO THE PROPERTY ARE TO BE
MILLED AND RESURFACED FOR THE
FULL WIDTH OF PAVEMENT.



DRAINAGE STRUCTURE TABLE							
STR No.	DESCRIPTION	RIM ELEVATION	INVERT ELEV. NORTH	INVERT ELEV. SOUTH	INVERT ELEV. EAST	INVERT ELEV. WEST	PRB (POLLUTION RETARDANT BAFFLE)
1	24" NYLOPLAST FIELD DRAIN	5.30	-	-	-	2.00	-
2	TYPE "D" INLET	5.20	-	1.75	1.75	1.75	W
3	24" NYLOPLAST FIELD DRAIN	5.30	-	-	1.75	-	E
4	TYPE "D" INLET	5.80	2.00	2.00	-	-	-
5	TYPE "D" INLET	5.80	2.00	2.00	-	-	-
6	24" NYLOPLAST FIELD DRAIN	5.40	-	-	-	2.00	-
7	TYPE "D" INLET	5.20	1.75	-	1.75	1.75	W
8	24" NYLOPLAST FIELD DRAIN	5.50	-	-	1.75	-	E

REV	DATE	DESCRIPTION	CITY COMMENTS
1	08/14/25		

CLIENT:
LLR ARCHITECTS, INC.
9000 SHERIDAN STREET
SUITE 158
PEMBROKE PINES, FL,
33024

PROJECT:
**1714 VAN BUREN STREET
HOLLYWOOD
FLORIDA**
TASK:
CIVIL ENGINEERING PLAN

GGB Engineering
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
FLORIDA REGISTRATION NO. 34516
4001 RAVENSWOOD RD SUITE #113 FAY: (954) 986-6655
FORT LAUDERDALE, FLORIDA 33312 PHONE: (954) 986-9009
AN INDEPENDENCE ENGINEERING COMPANY

DATE:
FEB 2025
DESIGNED BY:
N.S.

SCALE:
1"=10'
DRAWN BY:
G.S.

PROJECT No.
148-008

SHEET
C-1

Neil E. Sander
Professional Engineer
No. 80089
STATE OF FLORIDA
11/18/25
This document has been digitally signed and sealed by Neil E. Sander, P.E. On the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

The following items are not reviewed or accepted by Broward County:

1. Broward County Traffic Engineering Division's review does not include a review and acceptance of the project's design or operation. These items are to be reviewed and approved by the City Engineer.

2. Broward County Traffic Engineering Division does not review and approve, or inspect and accept the following items for maintenance: pavement markings on or adjacent to paver bricks, painted asphalt, stamped asphalt or pavement markings made of paver bricks, raised intersections and related markings and signing, un-warranted mid-block crosswalks and related markings and signing, un-warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on-street parking and related markings and signing, in-road lighting and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on-site pavement markings and signing, off-site pavement markings and signing in right-of-way that is not dedicated for public use, sidewalk work or asphalt work.

3. The City Engineer is responsible for the review and approval of the design and operation of the project, and for the inspection and acceptance of the following items that will be maintained by the City: pavement markings on or adjacent to paver bricks, painted asphalt, stamped asphalt or pavement markings made of paver bricks, pavement markings on or adjacent to painted asphalt, raised intersections and related markings and signing, un-warranted mid-block crosswalks and related markings and signing, un-warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on-street parking and related markings and signing, in-road lighting and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on-site pavement markings and signing, off-site pavement markings and signing in right-of-way that is not dedicated for public use, sidewalk work and asphalt work.

NOTE:

CONCRETE:
CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE 5-INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW(OUTSIDE OF THE PROPERTY LINES) CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY WILL MAINTAIN CONTROL JOINTS LOCATED EVERY 250 SQ FT AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

PAVERS:

PAVER DRIVEWAYS REQUIRE A MINIMUM OF 2 3/8TH INCH PAVERS PLACED OVER A 1-1/2 INCH SAND BASE AND COMPACTED SUBBASE. IN ADDITION TO A MINIMUM 6-INCH EDGE RESTRAINT (CONCRETE BORDER)IS REQUIRED AROUND PERIMETER TO INTERLOCK PAVERS. THE DRIVEWAYS IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

ASPHALT:

ASPHALT DRIVEWAY IS REQUIRED TO BE A MINIMUM 6-INCH LIMEROCK BASE, TACH COAT, AND 1-INCH LATER OF S-III ASPHALT. THE DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

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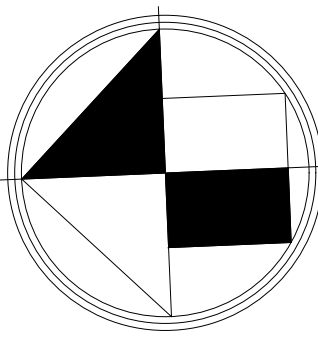
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NOTE:

ALL ROADS AND ALLEYS ADJACENT TO THE PROPERTY TO BE MILLED AND RESURFACED FOR THE FULL WIDTH OF PAVEMENT

NOTE:

ALL VEHICLE QUEUING SHALL BE WITHIN PRIVATE PROPERTY (8.5'X19' MINIMUM)



0 10' 20'
SCALE 1"=10'

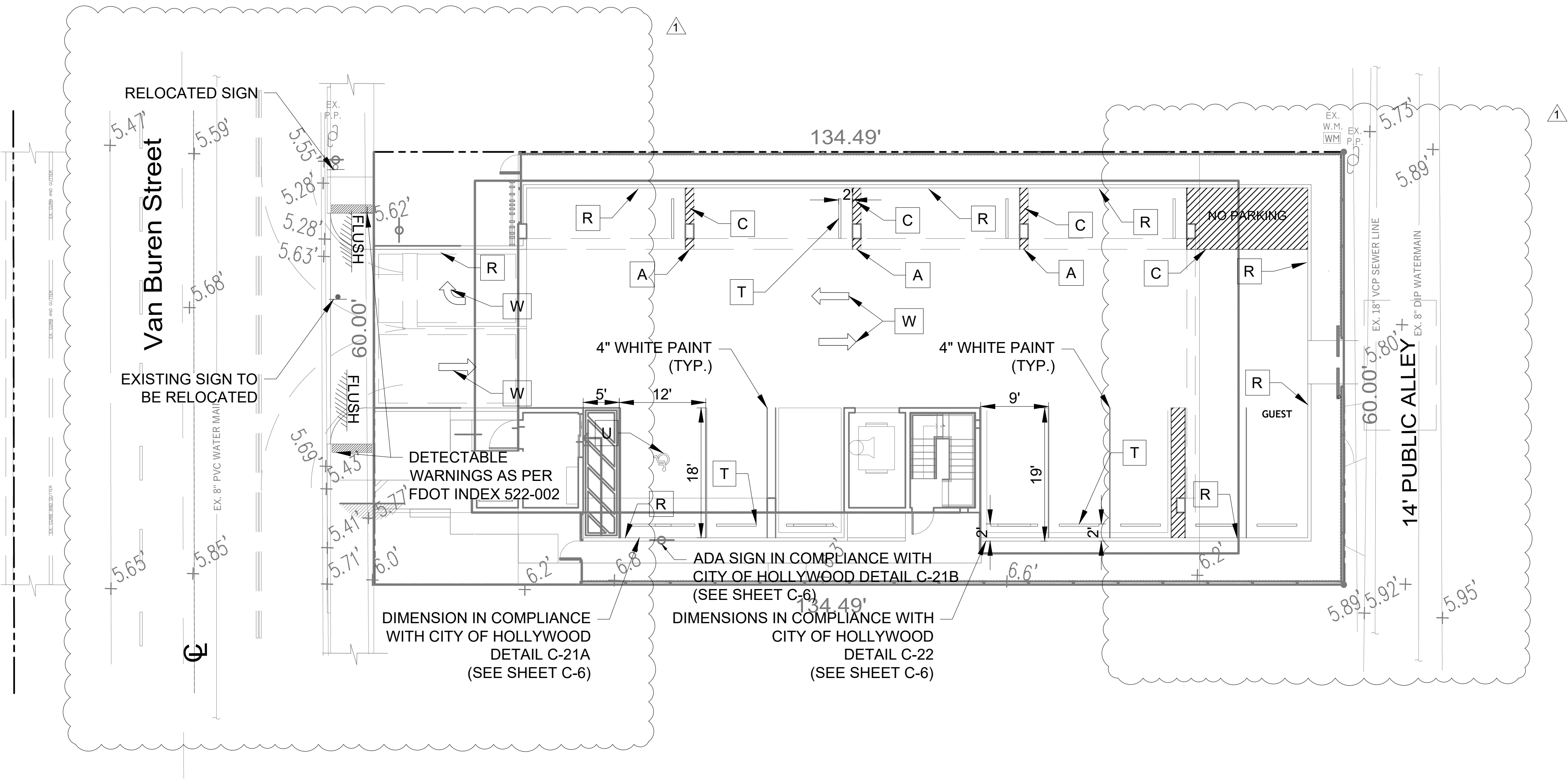


LOCATION MAP
N.T.S.

LEGEND AND STRIPING KEY

- A = 6" SOLID WHITE
B = 12" SOLID WHITE CROSSWALK
C = 8" SOLID WHITE CHEVRONS
D = 18" SOLID WHITE
E = 24" SOLID WHITE
F = 6" SKIP WHITE TYP (10'- 30')
G = 6" SKIP WHITE TYP (6'- 10')
H = 6" SKIP WHITE TYP (2'- 4')
I = 6" SOLID DOUBLE YELLOW
J = 18" SOLID YELLOW
K = 6" DOUBLE YELLOW
L = AMBER/AMBER RPM's @ 1' C.C.
M = 6" SKIP YELLOW TYP (6'- 10')
N = 6" SKIP YELLOW TYP (2'- 4')
P = R3-5R RIGHT TURN ONLY SIGN
Q = R3-1 NO RIGHT TURN SYMBOL
R = TYPE 'D' CURB
S = TYPE 'f' CURB AND GUTTER
T = CONCRETE WHEEL STOP
U = WHITE PAINTED HC SYMBOL
V = HANDICAP W/ VAN ACCESSIBLE (R7-8P)
W = WHITE DIRECTIONAL ARROWS
X = W14-1 DEAD END SIGN
Y = R5-1 DO NOT ENTER SIGN
Z = R1-1 STOP SIGN

ADA SYMBOL



CLIENT:
LLR ARCHITECTS, INC.
9000 SHERIDAN STREET
SUITE 158
PEMBROKE PINES, FL,
33024

PROJECT:
1714 VAN BUREN STREET
HOLLYWOOD
FLORIDA
TASK:
PAVEMENT MARKINGS AND
SIGNAGE PLAN

GGB Engineering
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
FLORIDA REGISTRATION NO. 24516
400 RAVENSWOOD RD SUITE #113 FORT LAUDERDALE, FLORIDA 33312
PHONE: (954) 986-6655
FAX: (954) 986-6655
AN INDEPENDENCE ENGINEERING COMPANY

DATE: FEB 2025
DESIGNED BY: N.S.
SCALE: 1"=20'
DRAWN BY: G.S.

PROJECT No.
148-008
SHEET
C-2



11/18/25
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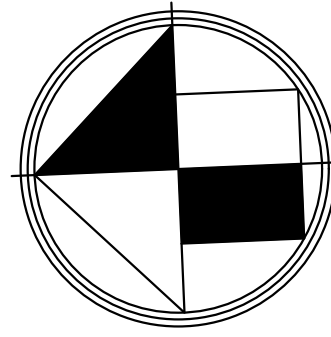
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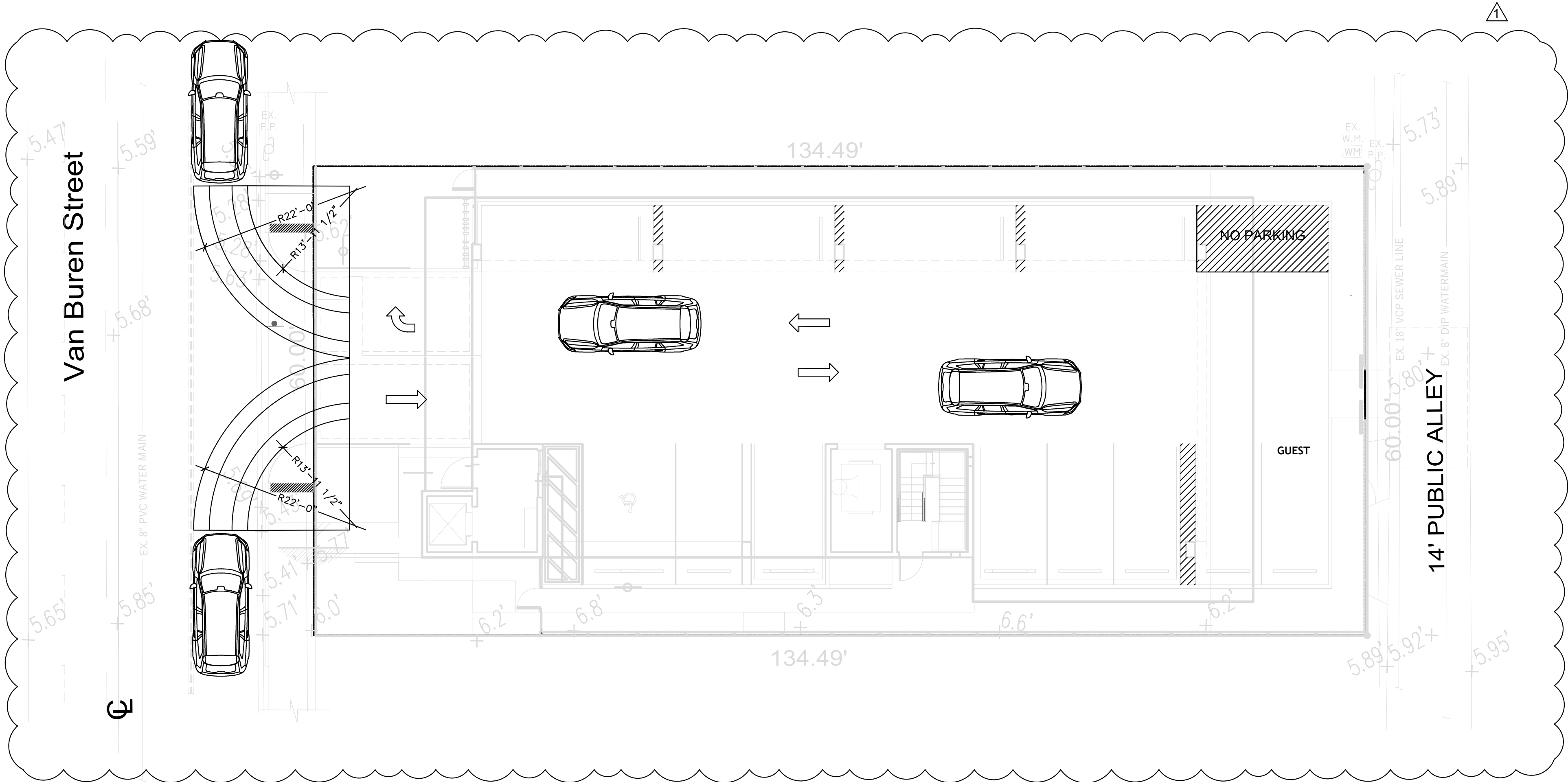
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SCALE 1"=10'



LOCATION MAP
N.T.S.



REV	DATE	DESCRIPTION	CITY COMMENTS
1	8/14/25		

CLIENT:
LLR ARCHITECTS, INC.
9000 SHERIDAN STREET
SUITE 158
PEMRBOKE PINES, FL,
33024

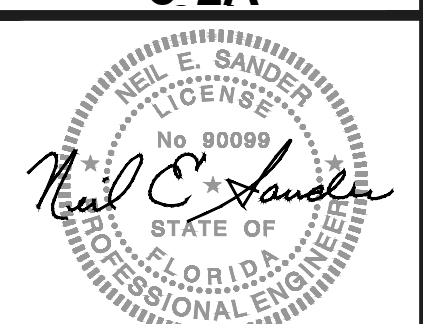
PROJECT:
1714 VAN BUREN STREET
HOLLYWOOD
FLORIDA
TASK:
SITE ACCESS PLAN

GGB Engineering
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
FLORIDA REGISTRATION NO. 24516
401 RAVENSWOOD RD SUITE #113 FAY: (954) 986-6655
FORT LAUDERDALE, FLORIDA 33312 PHONE: (954) 986-9899
AN INDEPENDENCE ENGINEERING COMPANY

DATE:
FEB 2025
DESIGNED BY:
N.S.
SCALE:
1"=10'
DRAWN BY:
G.S.

PROJECT No.
148-008

SHEET
C-2A



11/18/25
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GENERAL NOTES:

1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSO), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE NOT DAMAGED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
6. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, FULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY ECSO AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSO IN ACCORDANCE WITH THE CONTRACT DOCUMENTS REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
10. THE CONTRACTOR SHALL NOTIFY ECSO IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION. OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
DRAWN: EAM
APPROVED: XXX
GENERAL NOTES
DRAWING NO. G-00

GENERAL NOTES (CONTINUED):

12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
13. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
14. CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSO UNLESS OTHERWISE NOTED ON THE DRAWINGS.
19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSO FIELD ENGINEER.
20. THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
22. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSO FIELD ENGINEER.
25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
26. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSO.



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
DRAWN: EAM
APPROVED: XXX
GENERAL NOTES (CONTINUED)
DRAWING NO. G-00.1

GENERAL NOTES (CONTINUED):

27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
32. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST EDITION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTling OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
39. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
DRAWN: EAM
APPROVED: XXX
GENERAL NOTES (CONTINUED)
DRAWING NO. G-00.2

GENERAL NOTES (CONTINUED):

40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).



41. WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
42. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
43. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSO SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
 - a. PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
 - b. THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - c. THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
 - d. PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - e. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
 - f. ALL CAD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
DRAWN: EAM
APPROVED: XXX
GENERAL NOTES (CONTINUED)
DRAWING NO. G-00.3

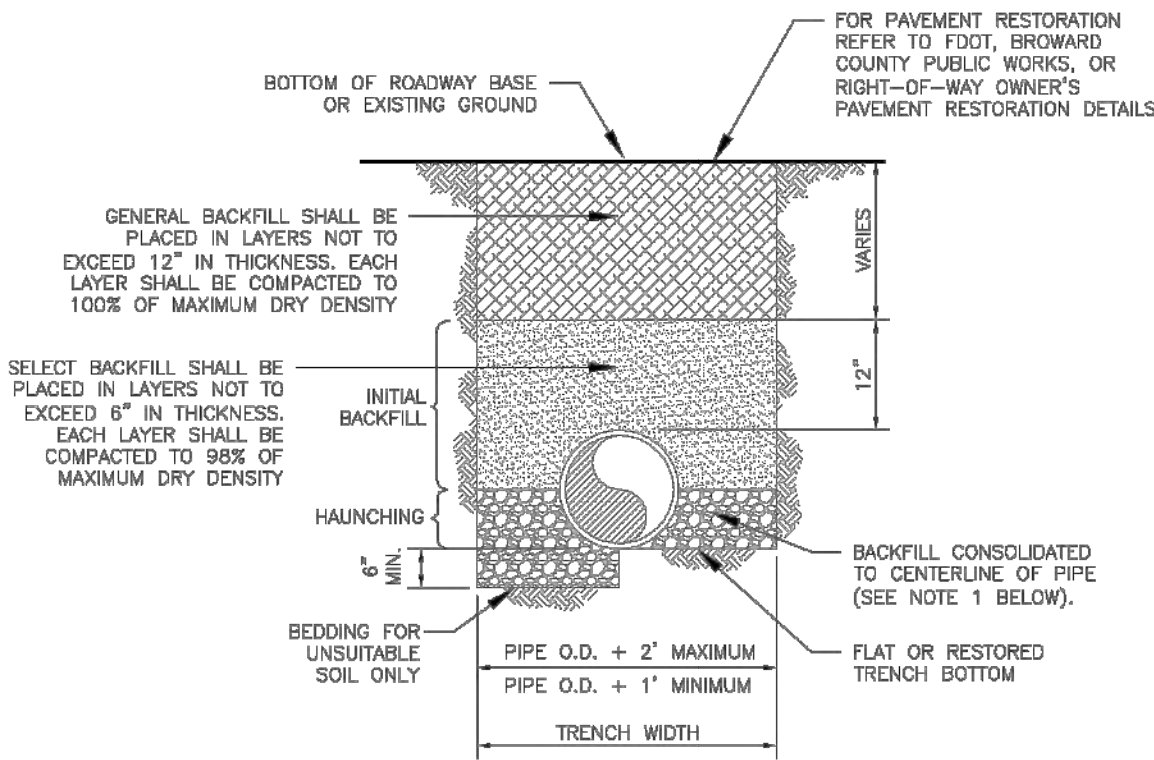
WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, RECLAIMED WATER FORCE MAIN, RECLAIMED WATER (2)	3 ft minimum	12 inches to the minimum except for storm sewer, then 6 inches to the minimum and 12 inches is preferred	Alternate 3 ft minimum
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER	10 ft preferred 6 ft minimum	12 inches to the minimum except for gravity sewer, then 6 inches to the minimum and 12 inches is preferred	Alternate 6 ft minimum
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum		

1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
2. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-630, F.A.C.
3. 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
4. 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
5. A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
6. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
8. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSINGS MUST BE MECHANICALLY RESTRAINED.



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
DRAWN: EAM
APPROVED: XXX
SEPARATION REQUIREMENTS OF F.D.E.P.
DRAWING NO. G-01.1

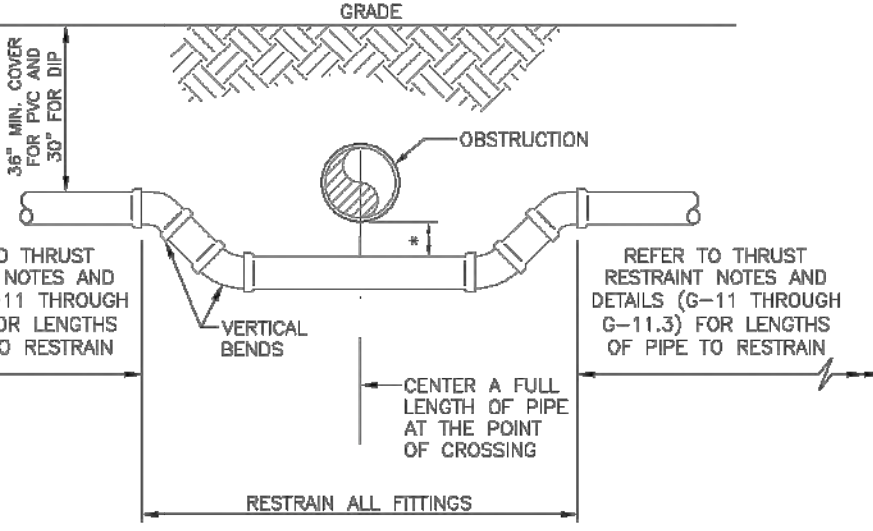


NOTES:

1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK). CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
3. DENSITY TESTING SHALL BE IN ACCORDANCE WITH ASTM D-1585 AND ASTM D-3017.
4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-8.

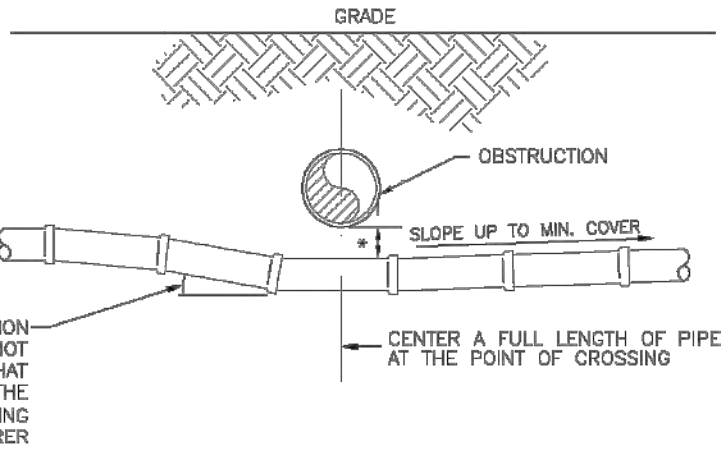


ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
DRAWN: EAM
APPROVED: XXX
PIPE LAYING CONDITION TYPICAL SECTION (D.I.P.)
DRAWING NO. G-02



UTILITY CROSSING USING FITTINGS

- * REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.

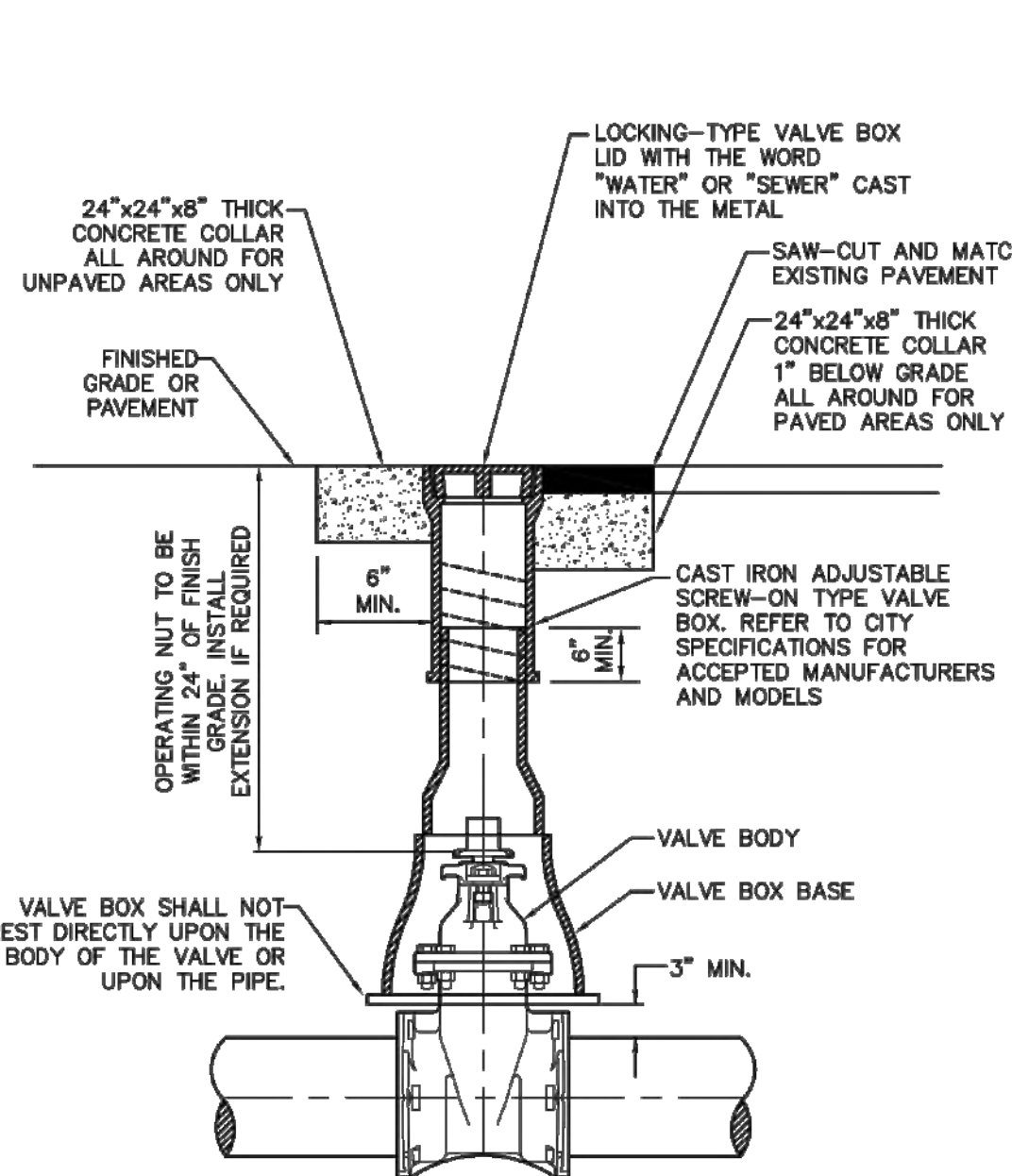


UTILITY CROSSING USING JOINT DEFLECTIONS

- * REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
DRAWN: EAM
APPROVED: XXX
UTILITY CROSSING DETAIL
DRAWING NO. G-04



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
DRAWN: EAM
APPROVED: XXX
TYPICAL VALVE BOX SETTING
DRAWING NO. G-05

REV	DATE	DESCRIPTION	CITY COMMENTS
1	8/14/25		

CLIENT: LLR ARCHITECTS, INC.
9000 SHERIDAN STREET
SUITE 158
PEMBROKE PINES, FL, 33024

PROJECT: 1714 VAN BUREN STREET
HOLLYWOOD, FLORIDA
TASK: GENERAL NOTES AND CONSTRUCTION DETAILS

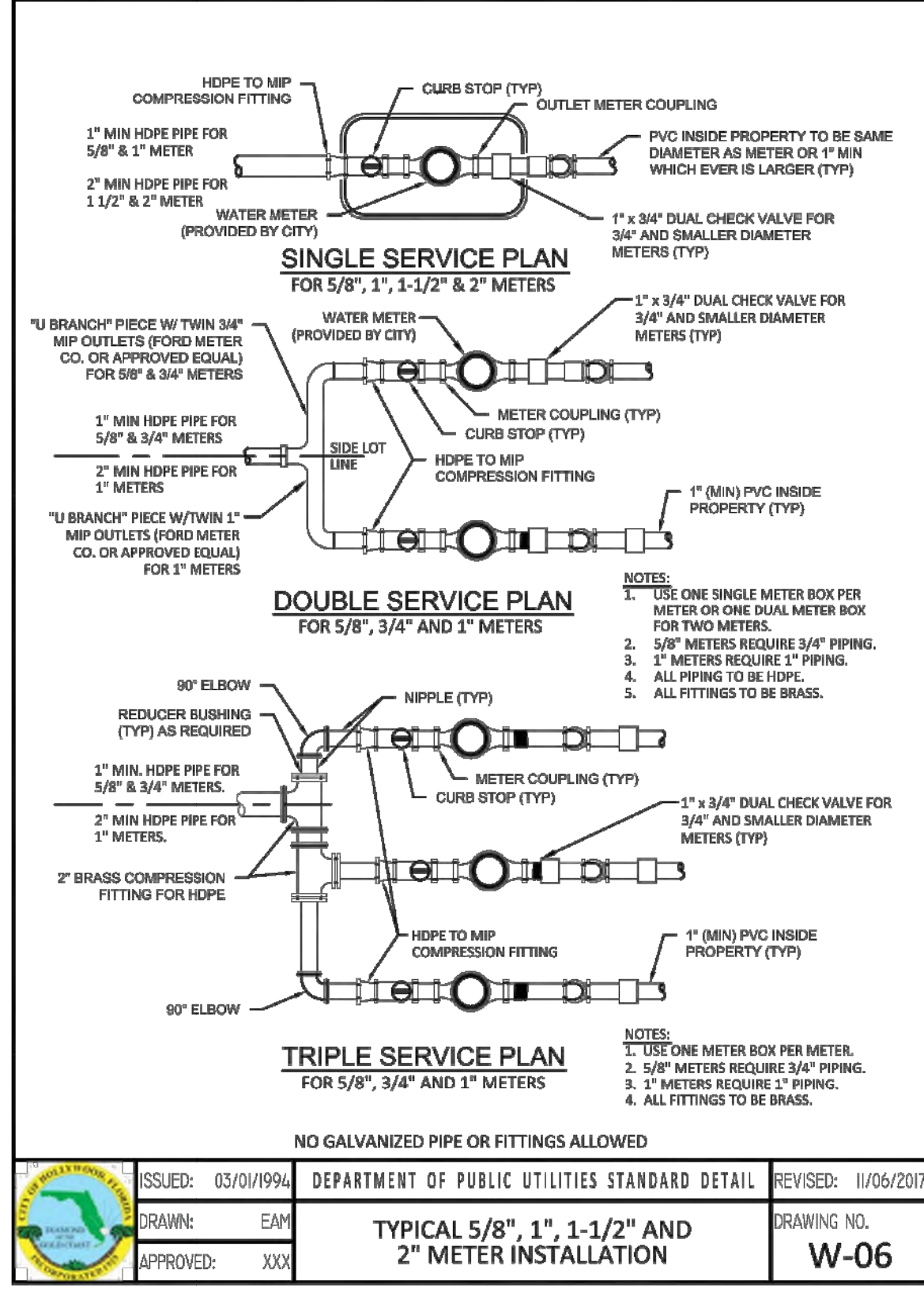
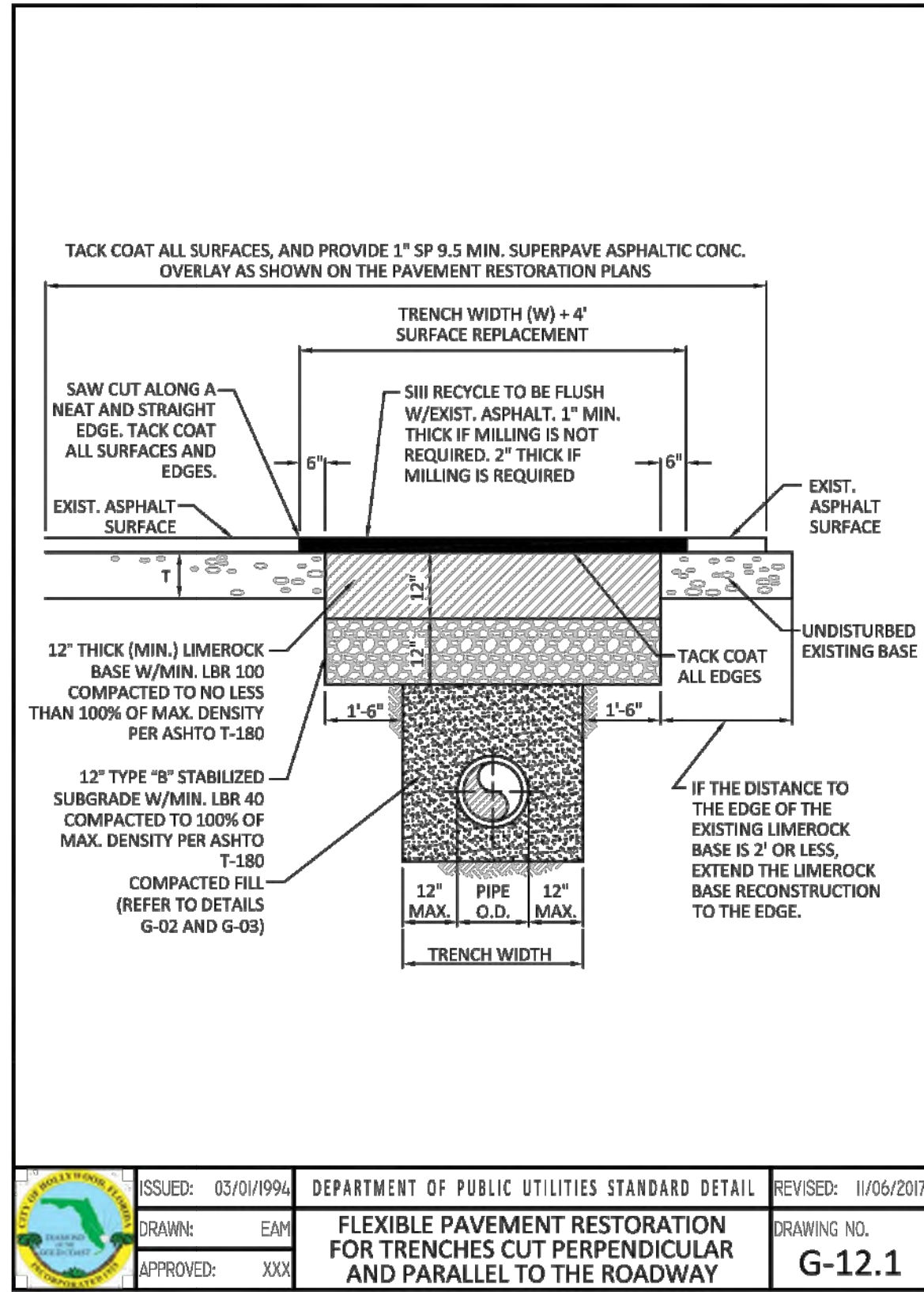
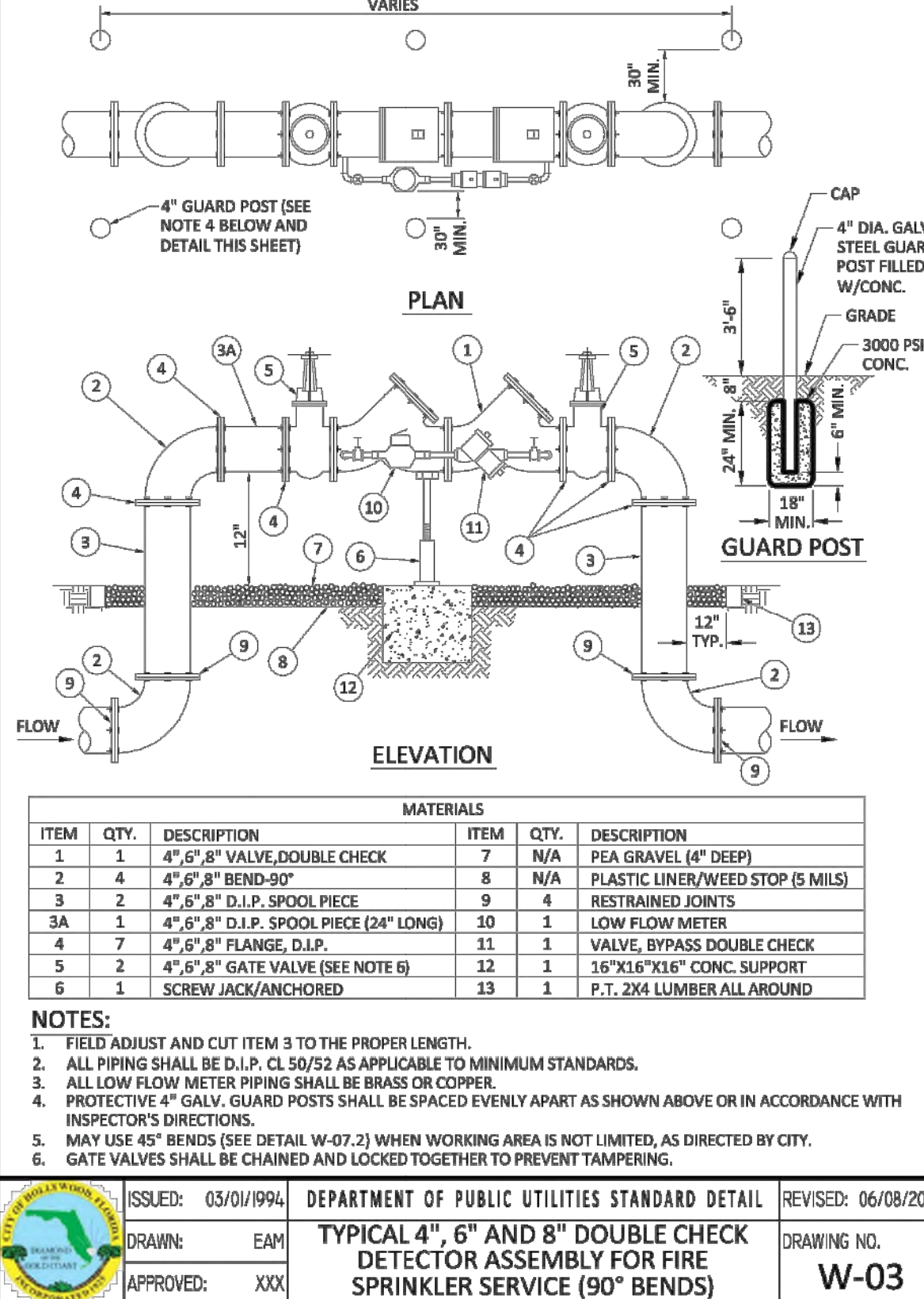
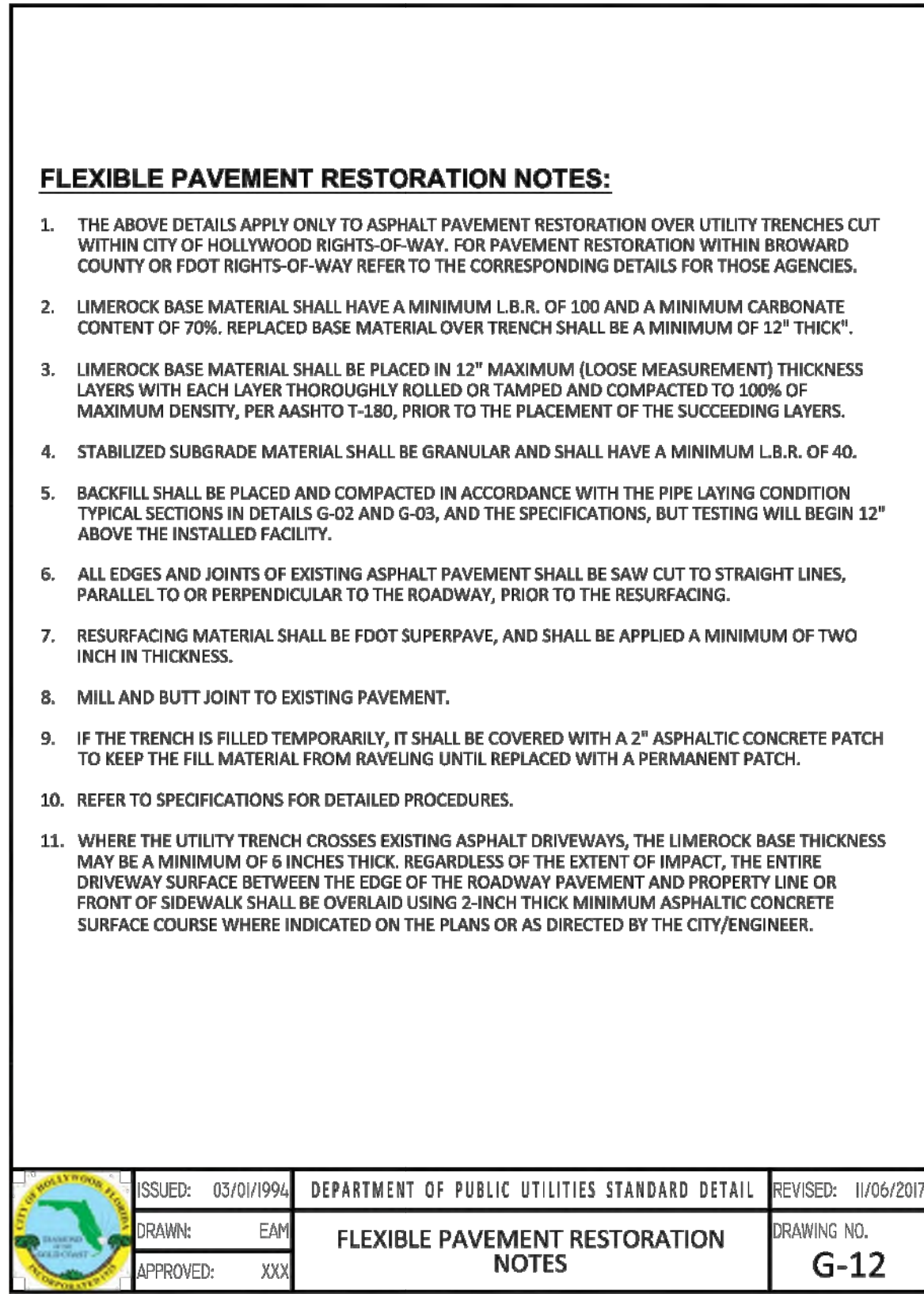
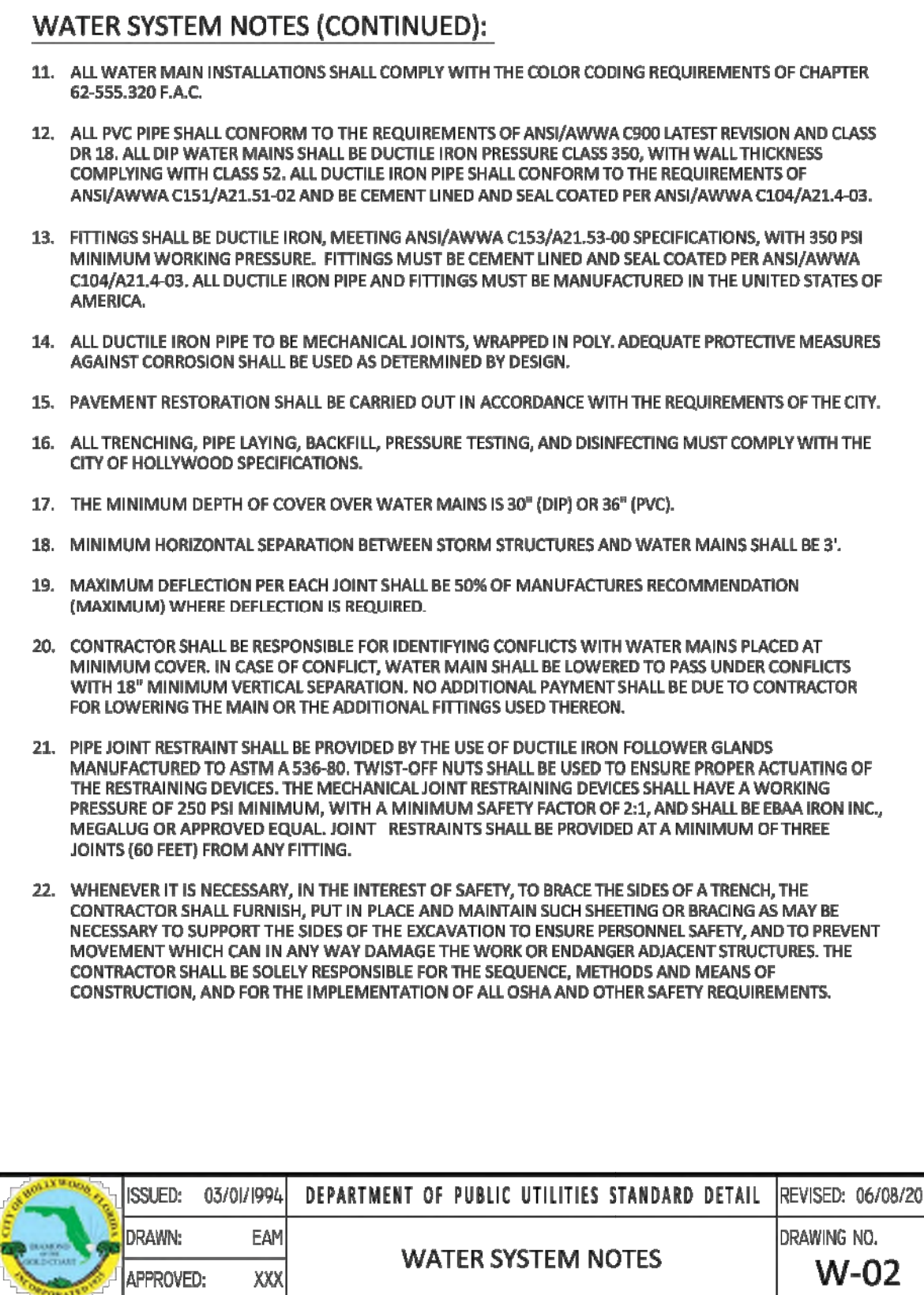
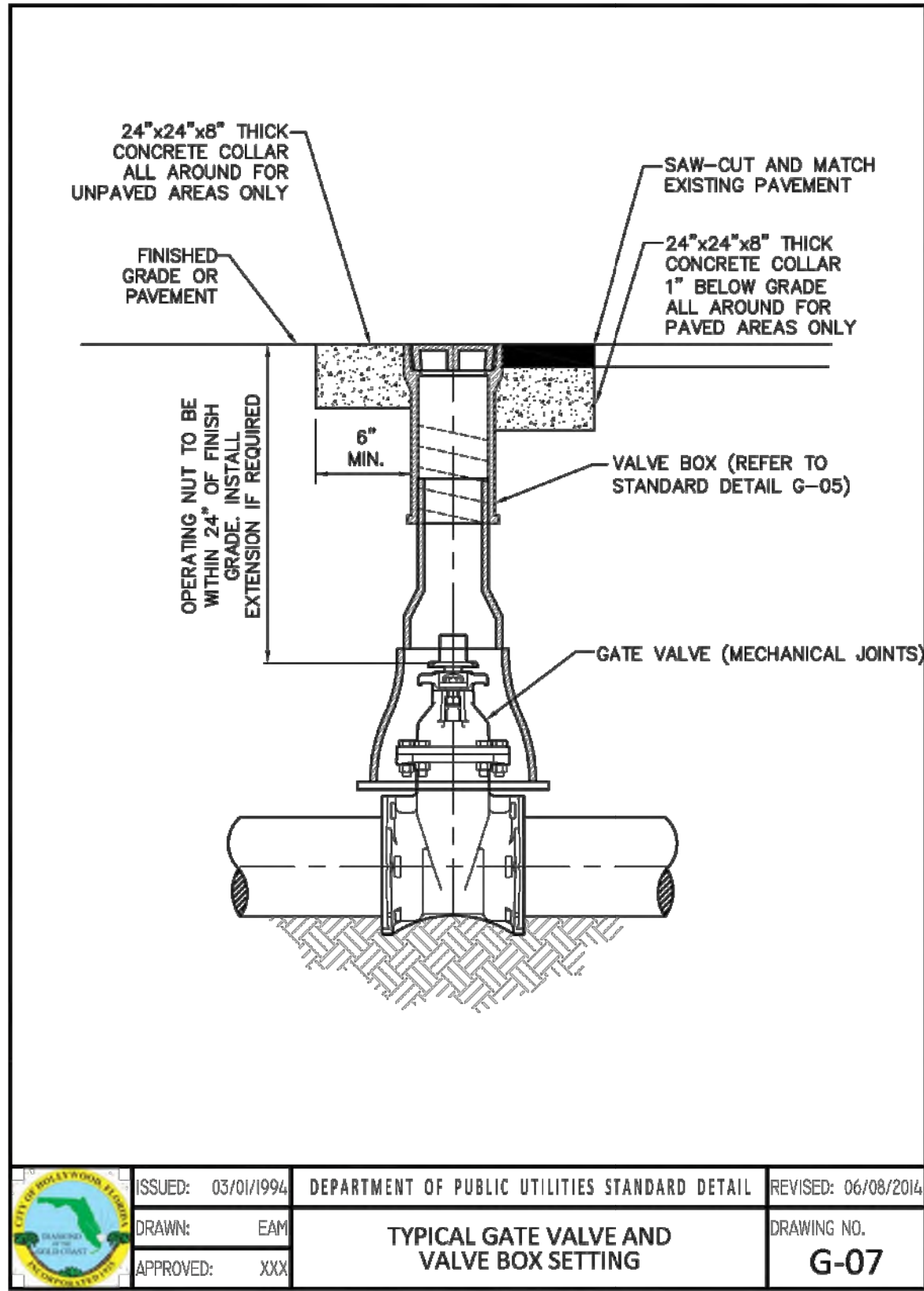
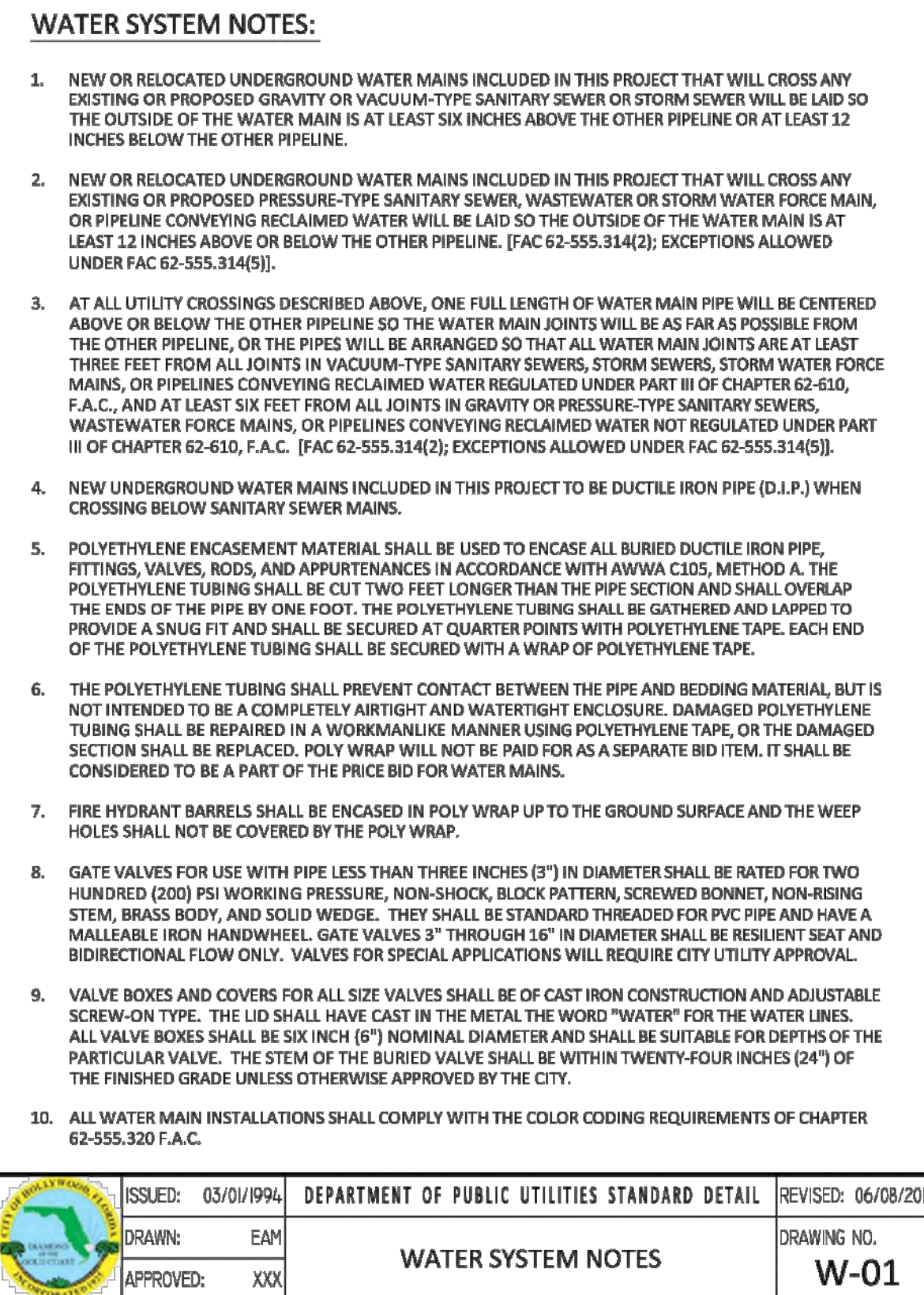
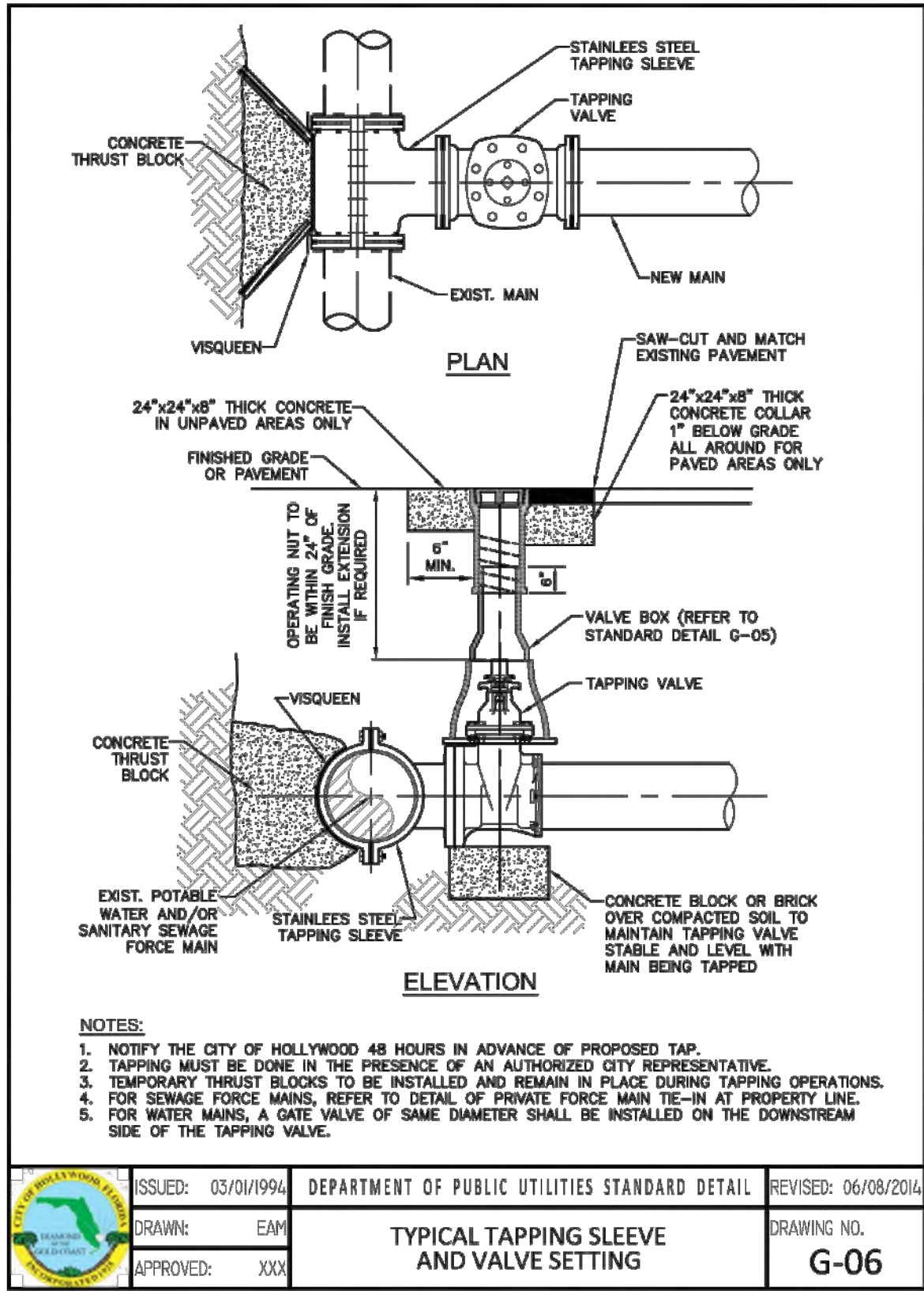
GGB Engineering
CIVIL AND FORENSIC ENGINEERS & LAND PLANNERS
FLORIDA REGISTRATION NO. 24516
401 RAVENWOOD RD SUITE #113 FORT LAUDERDALE, FLORIDA 33310 PHONE: (954) 986-6655 FAX: (954) 986-6655
AN INDEPENDENCE ENGINEERING COMPANY

DATE: FEB 2025
DESIGNED BY: N.S.
SCALE: N.T.S.
DRAWN BY: G.S.

PROJECT No. 148-008
SHEET C-3



11/18/25
This document has been digitally signed and sealed by Neil E. Sander, P.E. On the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



BY

DATE

DESCRIPTION

REV

8/4/25

CITY COMMENTS

CLIENT:

LLR ARCHITECTS, INC.

9000 SHERIDAN STREET

SUITE 158

PEMBROKE PINES, FL,

33024

PROJECT:

1714 VAN BUREN STREET

HOLLYWOOD

FLORIDA

TASK:

CONSTRUCTION DETAILS

DATE:

FEB 2025

DESIGNED BY:

N.S.

SCALE:

N.T.S.

DRAWN BY:

G.S.

PROJECT No.

148-008

SHEET

C-4

11/18/25

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GGB Engineering

CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS

CONSTRUCTION MANAGEMENT

401 BAYVIEW BLVD., SUITE 2015

PORT LAUDERDALE, FLORIDA 33457

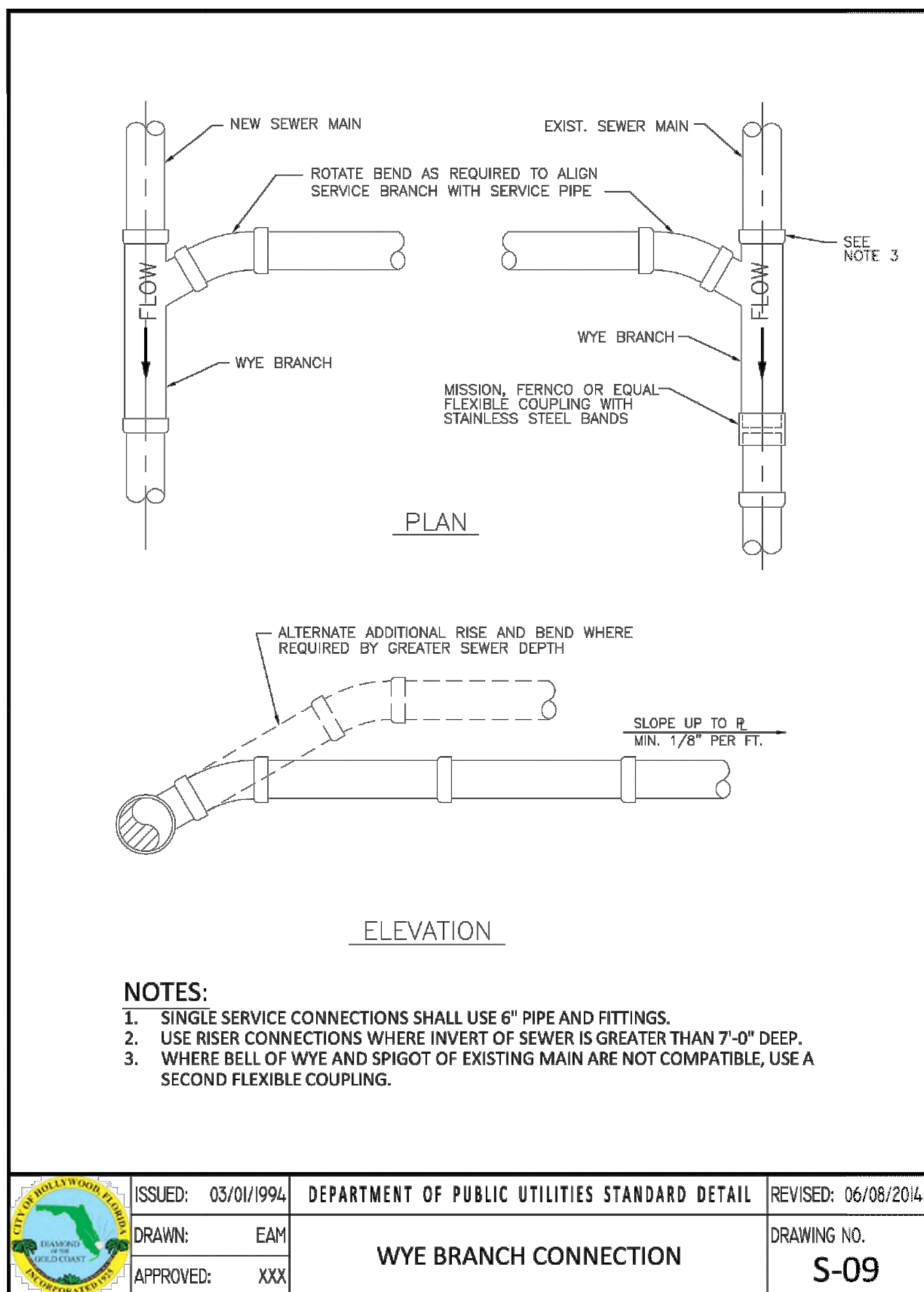
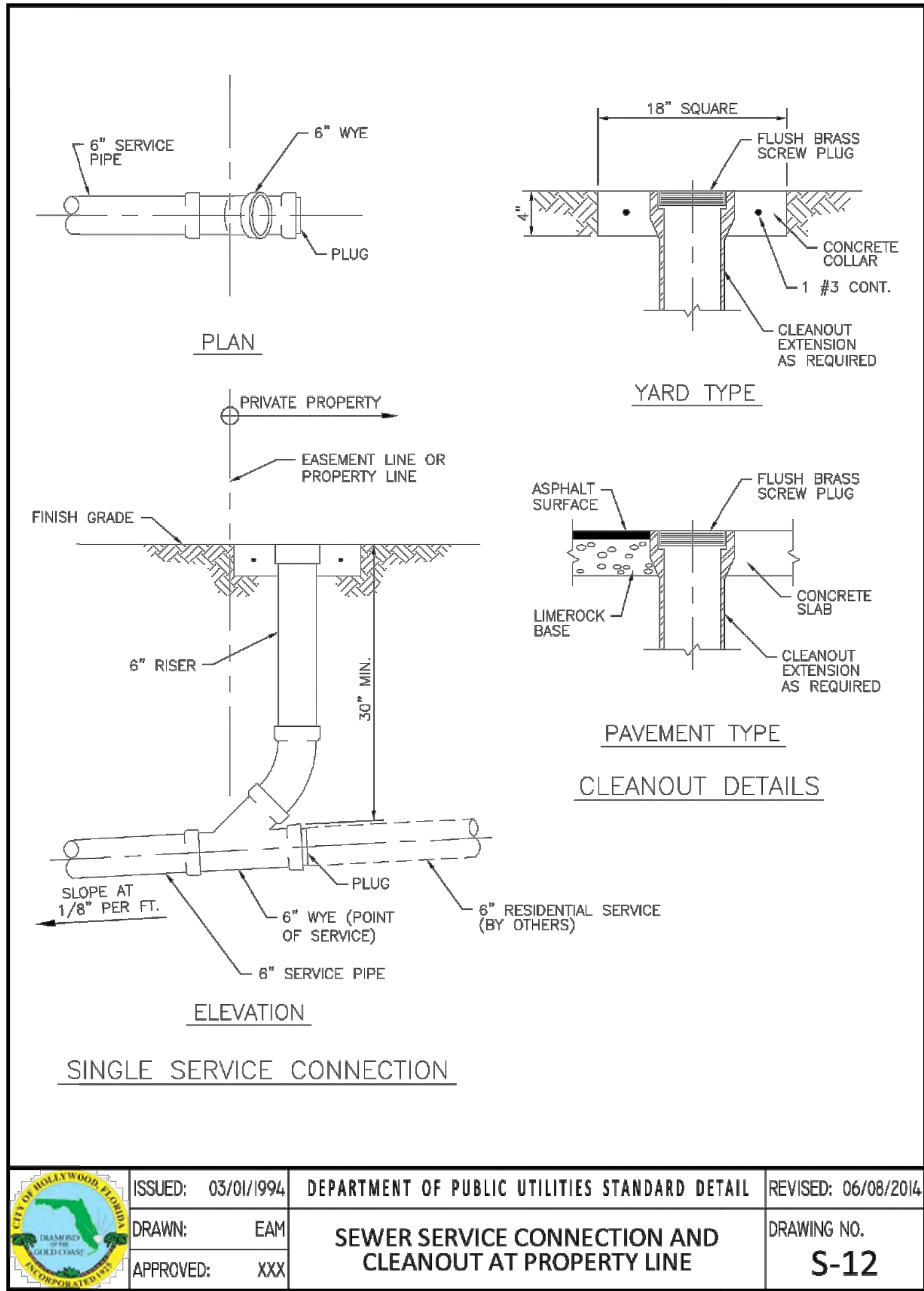
PHONE: (954) 985-6655

FAX: (954) 985-6655

FOR LAUDERDALE: (954) 331-7

PHONE: (954) 985-9899

AN INDEPENDENCE ENGINEERING COMPANY



BY		DESCRIPTION	DATE	REV	CITY COMMENTS
CLIENT: LLR ARCHITECTS, INC. 9000 SHERIDAN STREET SUITE 158 PEMBROKE PINES, FL, 33024					
PROJECT:	1714 VAN BUREN STREET HOLLYWOOD FLORIDA	TASK: CONSTRUCTION DETAILS			
 GGB Engineering CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS FLORIDA REGISTRATION NO. 1516 4101 PALMVIEW DRIVE, SUITE 100, FORT LAUDERDALE, FLORIDA 33311 PHONE: (954) 985-9899 FAX: (954) 985-6655 AN INDEPENDENCE ENGINEERING COMPANY					
DATE:	FEB 2025	SCALE:	N.T.S.		
DESIGNED BY:	N.S.	DRAWN BY:	G.S.		
PROJECT No.			148-008		
SHEET			C-5		
 11/18/25 This document has been digitally signed and sealed by Neil E. Sander, P.E. On the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.					

PROJECT NAME: 1714 VAN BUREN STREET, HOLLYWOOD

REVISED STORM DRAINAGE CALCULATIONS

Date: 6/17/2025

SITE CHARACTERISTICS AND AREAS

BUILDING AREA	5809.6	SF	71.99%
IMPERVIOUS PAVED AREAS	499.73	SF	6.19%
PERVIOUS SITE AREA	1760.70	SF	21.82%
TOTAL SITE AREA	8070.0	SF	100.00%

Wet Season Water Table El. =	1.5	NAVD
Average grade in green areas =	6	Feet
Soil storage: 8.18 x percent pervious =	1.78	Inches

RUNOFF COEFFICIENTS

IMPERVIOUS AREAS	0.90
PERVIOUS AREAS	0.35

DESIGN STORM FREQUENCY FOR WATER QUALITY

10 YEAR STORM RUNOFF, 2.5 x % IMPERVIOUS OR FIRST INCH WHICHEVER IS GREATER

First inch runoff (Total site area x 1/12)	672.50	C
		F
Site area for water quality (Total site area-Bldg+Pool)	2260.43	SF
Impervious area for water quality	499.73	SF
2.5 Inches x % Impervious	371.69	C
		F
2.5" x pervious/total area	0.55	Inches
10 year 24 hour storm rainfall (P)	8.5	Inches

Runoff = $\frac{(P-0.2 \times S)^2}{(P+0.8 \times S)}$ Where P = 8.5 inches for 10 year 24 hour storm

Runoff = 6.68 Inches

Volume = A x R/12 4491.76 CF



Use 10 year runoff of 4491.76 CF > 672.50 CF > 371.69 CF first inch of runoff and for 2.5 x % impervious

Site Storage Provided to store 4491.76 CF Required Runoff as follows:

1. Exfiltration trench storage = 5000 CF > 4491.76 CF Ok

DESIGN STORM PEAK AND AVERAGE DAY TRENCH CALCULATIONS

$$V = 5000 \text{ CF} / 8070 \text{ SF} = 0.620 \text{ FT} \times 12 \text{ in/ft} = 7.43 \text{ inches} \times 8070 / 43560 = 1.38 \text{ Ac-inches}$$

$$L = \frac{V}{K(HW + 2HxD_u - D_u \times D_u + 2HD_s) + 1.39 \times 10(-4) \times W \times d_u}$$

Volume =	1.38	Ac-inches
A = Drainage Area	0.185	Ac
W = Trench Width	4.00	ft
K = Hydraulic Conductivity	7.95E-04	cfs/ft^2 per ft of head
H = Depth to water table	4.50	ft
D _u = Non Saturated trench depth	2.00	ft
D _s = Saturated trench depth	2.00	ft

Trench Required	33.77	LF
Trench Provided	35	LF

Sincerely,

Brian Rose, P.E.

Principal

GGB Engineering

#

FIYID#DQG#IRUHQVIF#HQJIQHHUV#FDQG#SODQQHUV#FRQVWUXFWIRQ#PDQDJHUV