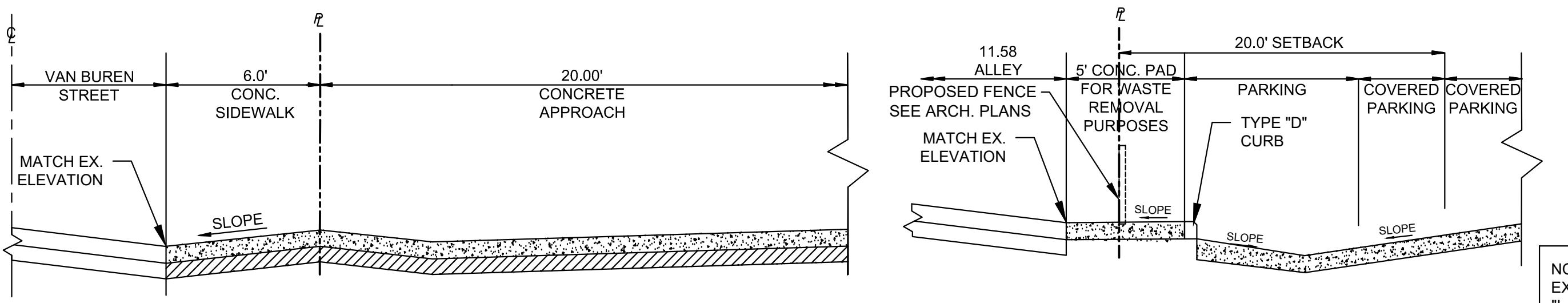
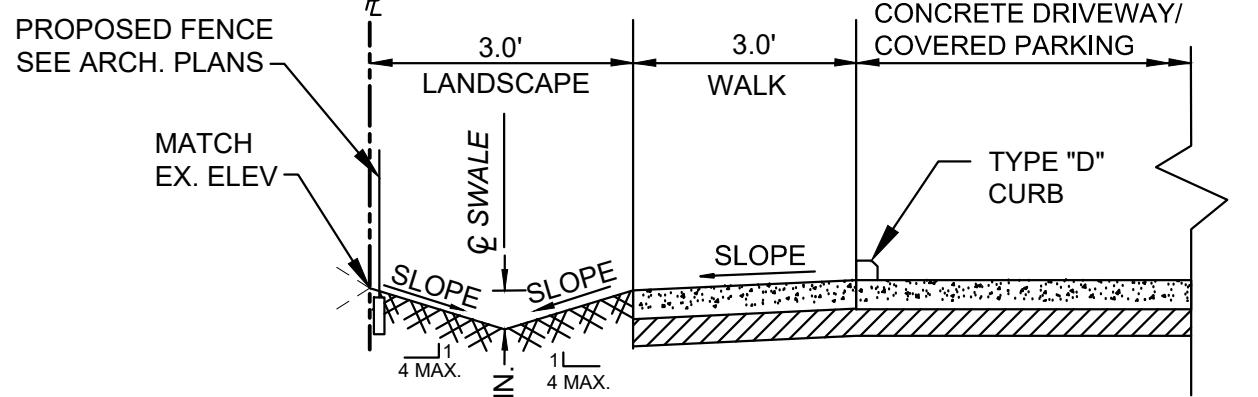


**ATTACHMENT A**  
**Application Package**  
**Part 2**

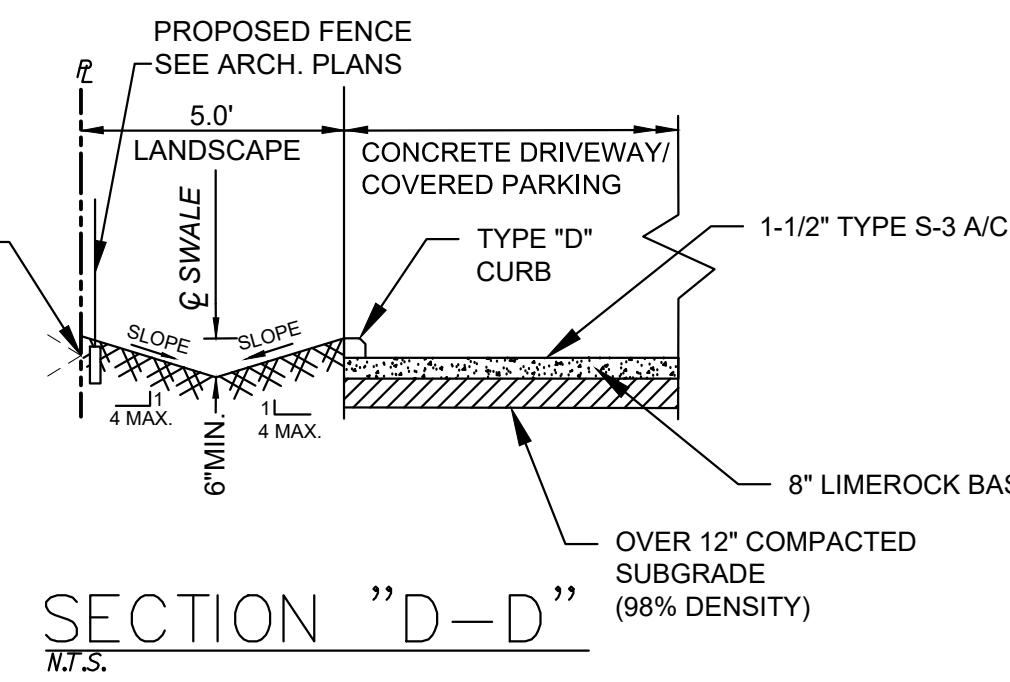


SECTION "A-A"  
N.T.S.

SECTION "B-B"  
N.T.S.



SECTION "C-C"  
N.T.S.



SECTION "D-D"  
N.T.S.

NOTE:  
EXISTING CONDITIONS ARE TAKEN FROM A PLAN ENTITLED  
"LAND TITLE SURVEY" PREPARED BY BELLO & BELLO KAND  
SURVEYING, DATED SEPTEMBER 22, 2024

NOTE:  
NO GEOTECHNICAL INFORMATION HAS BEEN PROVIDED.

NOTE:  
FOR SITE DIMENSIONS AND MINIMUM SET-BACKS REFER  
TO ARCHITECTURAL SITE PLAN.

NOTE:  
TOS/TOD PROVIDED BY OTHERS.

NOTE:  
ALL FIELD DRAINS SHALL HAVE PEDESTRIAN RATED TOP.

NOTE:  
CONTRACTOR TO VERIFY LOCATIONS OF ALL EXISTING  
UTILITIES & CONDITIONS.

NOTE:  
ALL SD PIPING LINES SHALL BE SLOPED AT 1% UNLESS  
OTHERWISE NOTED.

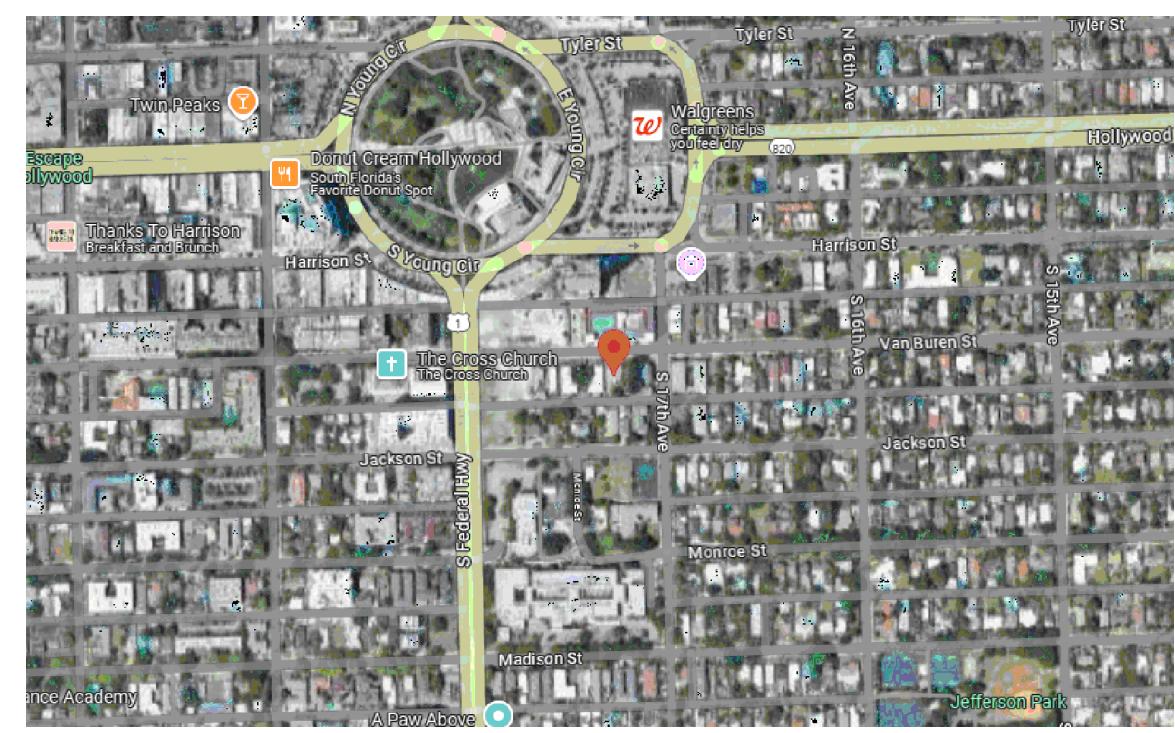
NOTE:  
ALL GRADES SHOWN (EXISTING AND PROPOSED) REFER TO  
NAVD.

\* PROPOSED BACKFLOW PREVENTER (RPZ) MUST BE  
LOCATED INSIDE PROPERTY BUT NO FURTHER 5'-0" FROM  
RIGHT-OF WAY

0 10' 20'  
SCALE 1":10'

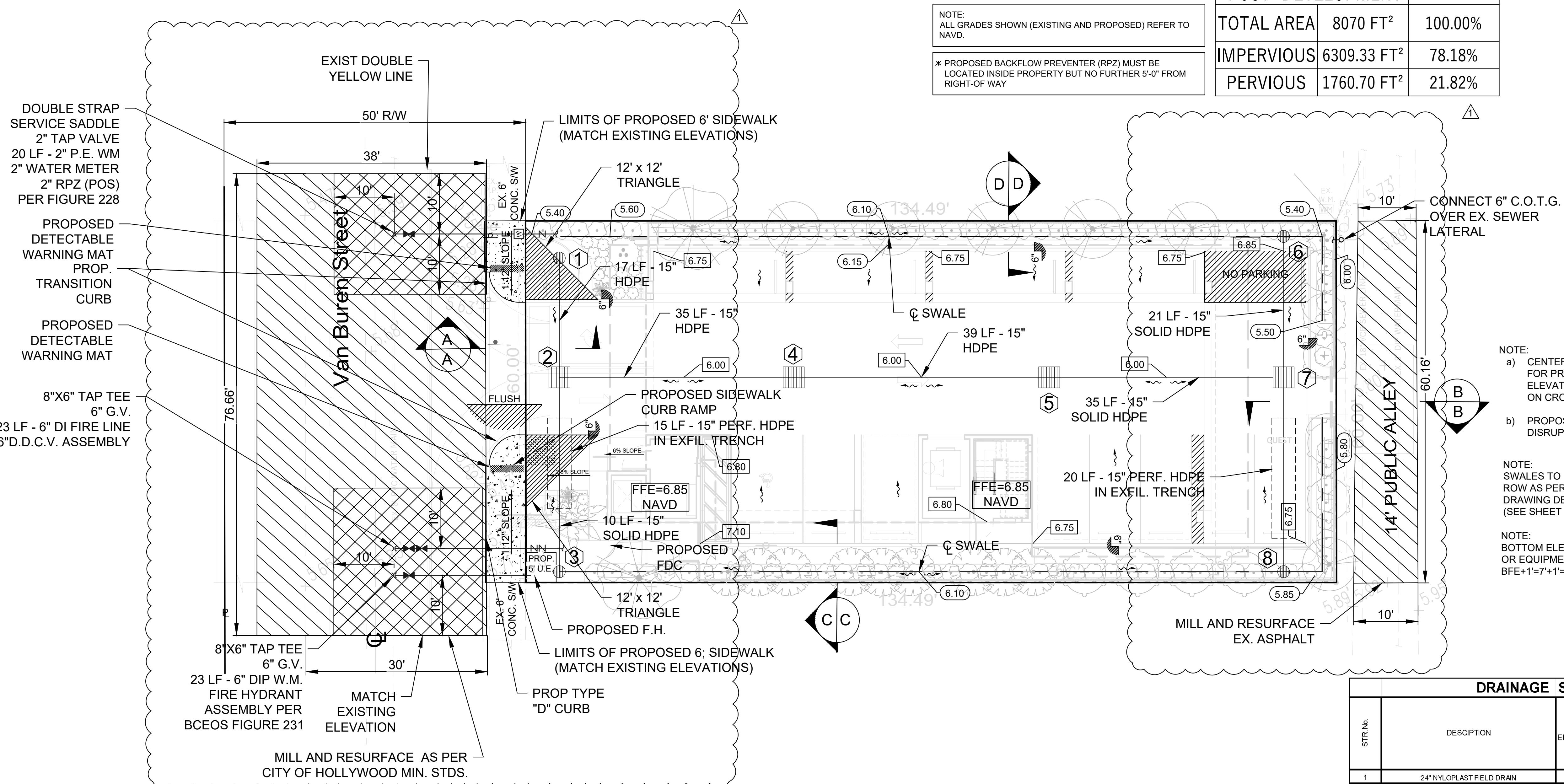
PRE- DEVELOPMENT	%
TOTAL AREA 8070.00 FT <sup>2</sup>	100.00%
IMPERVIOUS 3707.50 FT <sup>2</sup>	46.00%
PERVIOUS 4362.50 FT <sup>2</sup>	54.00%

POST- DEVELOPMENT	%
TOTAL AREA 8070 FT <sup>2</sup>	100.00%
IMPERVIOUS 6309.33 FT <sup>2</sup>	78.18%
PERVIOUS 1760.70 FT <sup>2</sup>	21.82%



LOCATION MAP  
N.T.S.

PROJECT: 1714 VAN BUREN STREET HOLLYWOOD		CLIENT: LLR ARCHITECTS, INC. 9000 SHERIDAN STREET SUITE 158 33024
TASK: CIVIL ENGINEERING PLAN		REV. DATE 1 08/14/25
DESCRIPTION CITY COMMENTS		
NOTE: a) CENTERLINE OF SWALE MAY HAVE TO BE ADJUSTED TO COMPENSATE FOR PROPOSED LANDSCAPING (PER SHEET L-01). ADDITIONAL ELEVATIONS SHOULD BE PROVIDED ON PLAN VIEW SO DIMENSIONS ON CROSS-SECTION VIEWS CAN BE VERIFIED  b) PROPOSED LANDSCAPING ALONG PROPERTY LINES WILL NOT DISRUPT STORMWATER RUNOFF DRAINAGE RETENTION		
NOTE: SWALES TO BE RESTORED IN THE ROW AS PER CITY OF HOLLYWOOD DRAWING DETAILS C-32 & C-33 (SEE SHEET C-6)		
NOTE: ALL ROADS AND ALLEYS ADJACENT TO THE PROPERTY ARE TO BE MILLED AND RESURFACED FOR THE FULL WIDTH OF PAVEMENT.		
NOTE: BOTTOM ELEVATION OF MACHINERY OR EQUIPMENT SHALL BE MINIMUM BFE+1'=7'+1'=8.00 NAVD88		
DATE: FEB 2025	SCALE: 1":10'	DESIGNED BY: N.S.
DRAWN BY: G.S.		PROJECT NO. 148-008
SHEET C-1		STATE OF FLORIDA PROFESSIONAL ENGINEER No. 80098 Neil E. Sander LICENSING BOARD 11/18/25



DRAINAGE STRUCTURE TABLE							
STR No.	DESCRIPTION	RIM ELEVATION	INVERT ELEV. NORTH	INVERT ELEV. SOUTH	INVERT ELEV. EAST	INVERT ELEV. WEST	PRB (POLLUTION RETARDANT BAFFLE)
1	24" NYLOPLAST FIELD DRAIN	5.30	-	-	-	2.00	-
2	TYPE "D" INLET	5.20	-	1.75	1.75	1.75	W
3	24" NYLOPLAST FIELD DRAIN	5.30	-	-	1.75	-	E
4	TYPE "D" INLET	5.80	2.00	2.00	-	-	-
5	TYPE "D" INLET	5.80	2.00	2.00	-	-	-
6	24" NYLOPLAST FIELD DRAIN	5.40	-	-	-	2.00	-
7	TYPE "D" INLET	5.20	1.75	-	1.75	1.75	W
8	24" NYLOPLAST FIELD DRAIN	5.50	-	-	1.75	-	E

This document has been digitally signed  
and sealed by Neil E. Sander, P.E. On the date  
stated below. It is a true and accurate copy  
and has not been altered. The original is  
and the signature must be verified  
on any electronic copies.

The following items are not reviewed or accepted by Broward County:

- Broward County Traffic Engineering Division's review does not include a review and acceptance of the project's design or operation. These items are to be reviewed and approved by the City Engineer.
- Broward County Traffic Engineering Division does not review and approve, or inspect and accept the following items for maintenance: pavement markings on or adjacent to paver bricks, painted asphalt, stamped asphalt or pavement markings made of paver bricks, raised intersections and related markings and signing, un-warranted mid-block crosswalks and related markings and signing, un-warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on-street parking and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on-site pavement markings and signing, off-site pavement markings and signing in right-of-way that is not dedicated for public use, sidewalk work or asphalt work.

NOTE:

CONCRETE:  
CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE 5-INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW(OUTSIDE OF THE PROPERTY LINES) CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY WILL MAINTAIN CONTROL JOINTS LOCATED EVERY 250 SQ FT AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

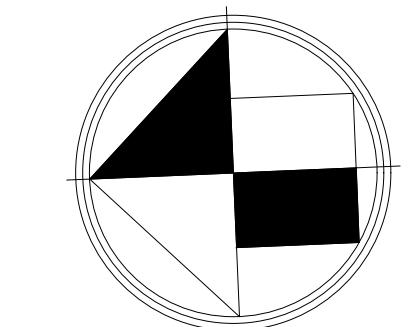
PAVERS:

PAVER DRIVEWAYS REQUIRE A MINIMUM OF 2 3/8TH INCH PAVERS PLACED OVER A 1-1/2 INCH SAND BASE AND COMPACTED SUBBASE. IN ADDITION TO A MINIMUM 6-INCH EDGE RESTRAINT (CONCRETE BORDER) IS REQUIRED AROUND PERIMETER TO INTERLOCK PAVERS. THE DRIVEWAYS IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

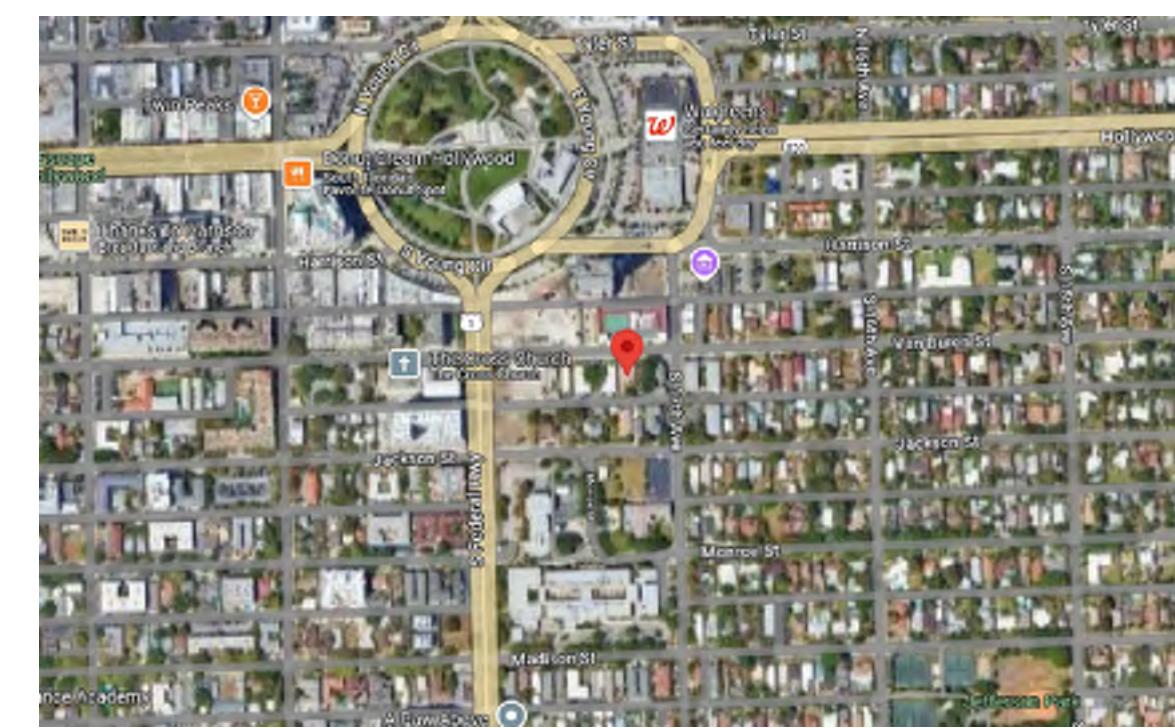
ASPHALT:

ASPHALT DRIVEWAY IS REQUIRED TO BE A MINIMUM 6-INCH LIMEROCK BASE, TACK COAT, AND 1-INCH LAYER OF S-III ASPHALT. THE DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

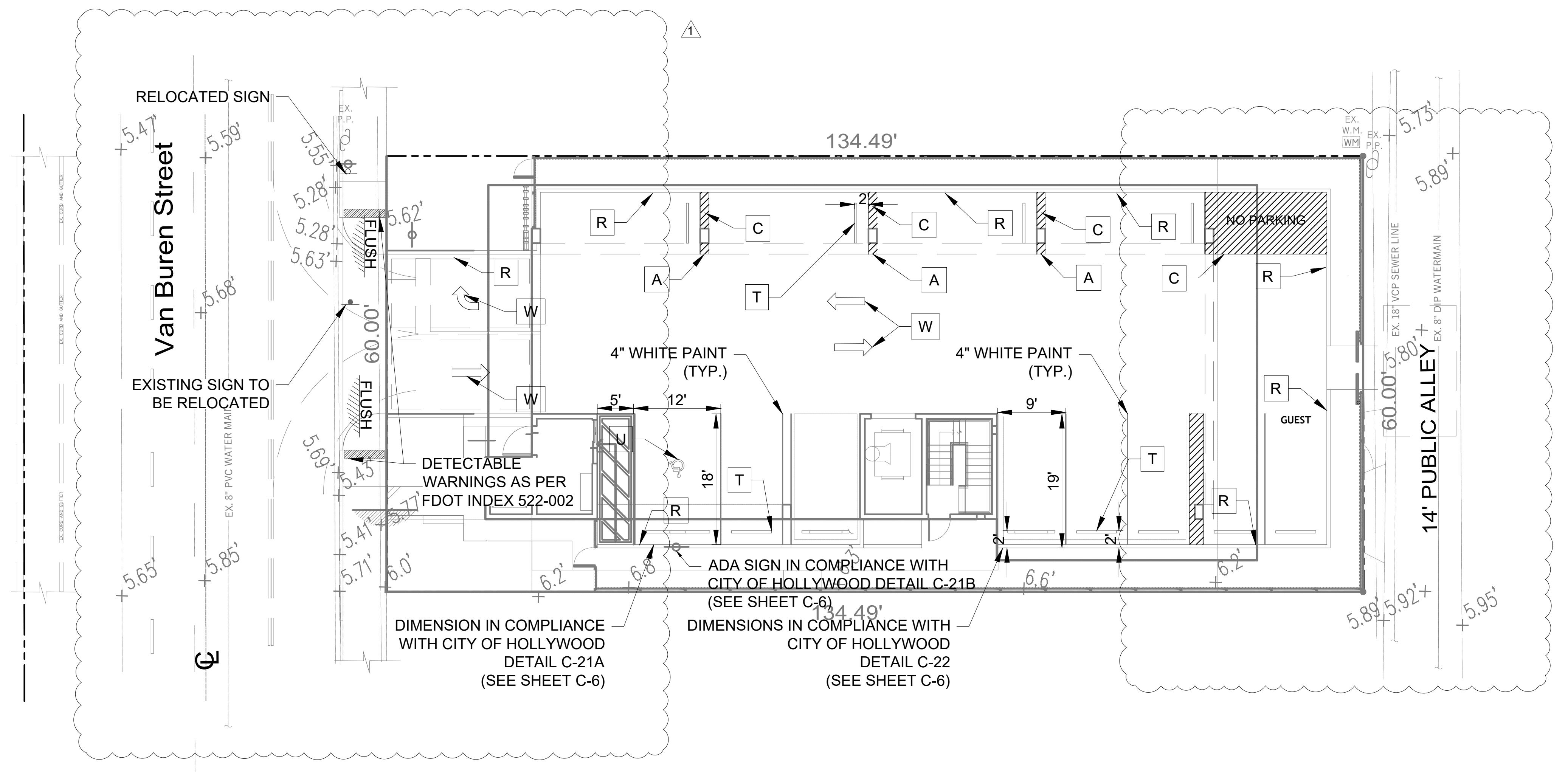
- The City Engineer is responsible for the review and approval of the design and operation of the project, and for the inspection and acceptance of the following items that will be maintained by the City: pavement markings on or adjacent to paver bricks, painted asphalt, stamped asphalt or pavement markings made of paver bricks, pavement markings on or adjacent to painted asphalt, raised intersections and related markings and signing, un-warranted mid-block crosswalks and related markings and signing, un-warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on-street parking and related markings and signing, in-road lighting and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on-site pavement markings and signing, off-site pavement markings and signing in right-of-way that is not dedicated for public use, sidewalk work and asphalt work.



0 10' 20'  
SCALE 1:10'



LOCATION MAP  
N.T.S.



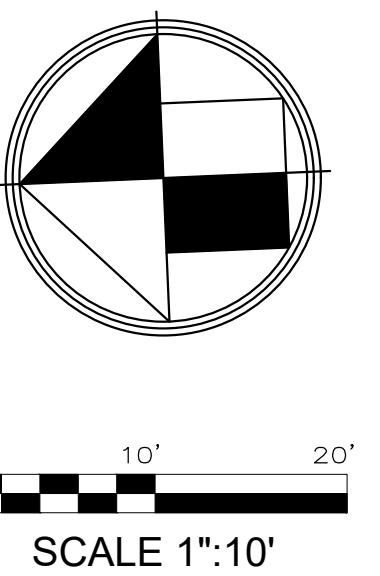
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NOTE:  
CONCRETE:  
CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE 5-INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW(OUTSIDE OF THE PROPERTY LINES) CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY WILL MAINTAIN CONTROL JOINTS LOCATED EVERY 250 SQ FT AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

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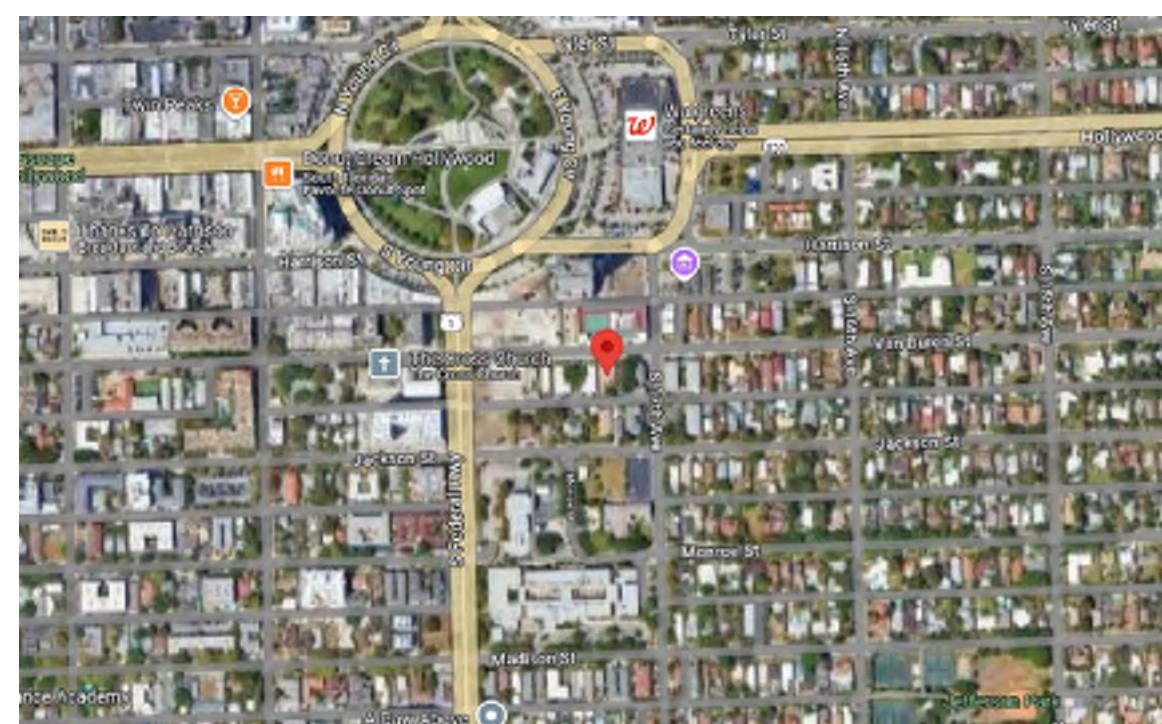
0 10' 20'  
SCALE 1":10'

SCALE 1":10'

NOTE:  
ANY LIP FROM 1/4" BUT NOT GREATER  
THAN 1/2" WILL BE BEVELED TO MEET  
ADA REQUIREMENTS.

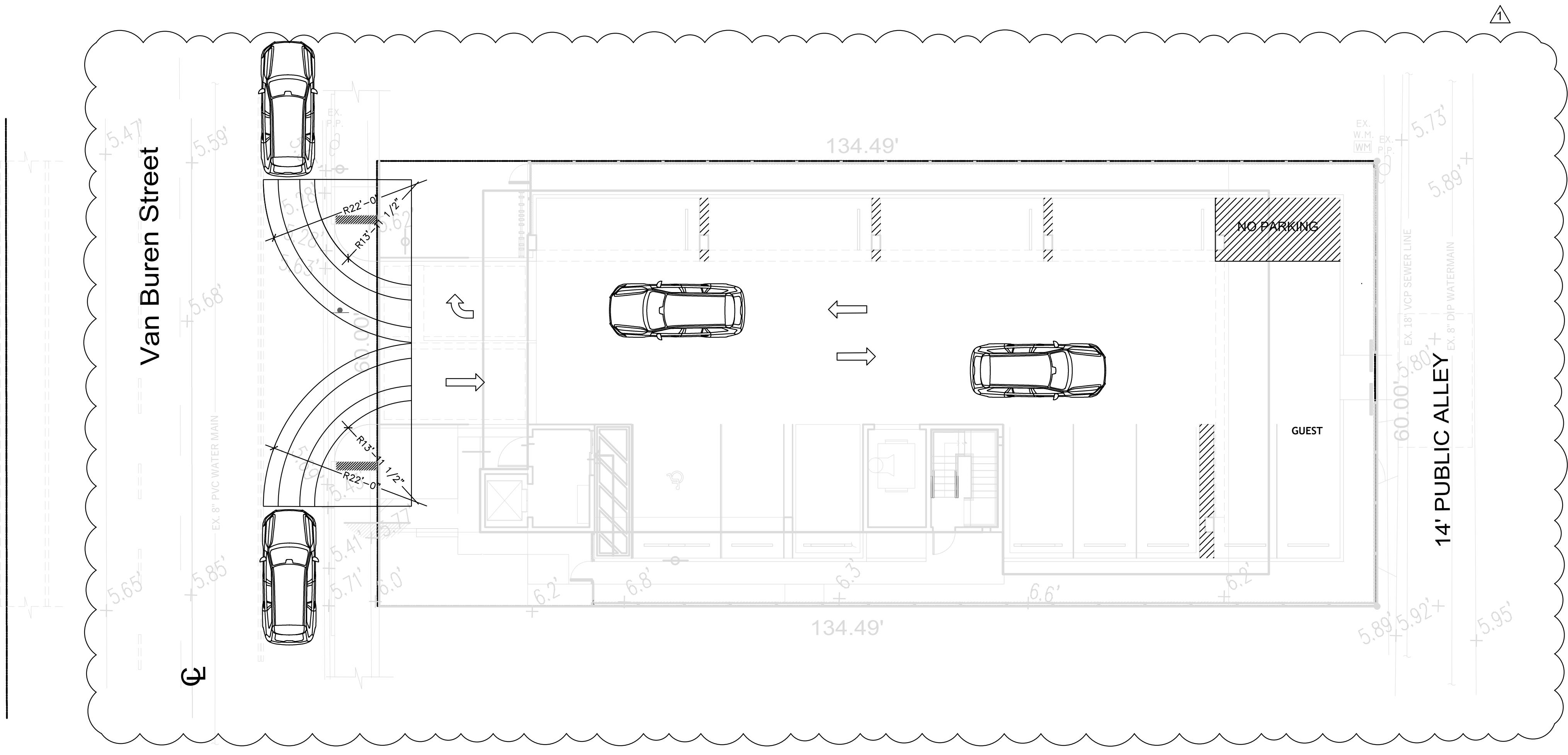
NOTE:  
ALL ROADS AND ALLEYS ADJACENT TO  
THE PROPERTY TO BE MILLED AND  
RESURFACED FOR THE FULL WIDTH OF  
PAVEMENT

NOTE:  
ALL VEHICLE QUEUING SHALL BE WITHIN  
PRIVATE PROPERTY (8.5'X19' MINIMUM)



# LOCATION MAP

N.T.S.



<b>GGB Engineering</b> <b>• CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS</b> <b>• CONSTRUCTION MANAGERS</b> <b>FLORIDA REGISTRATION No. 34516</b> <b>4101 RAVENSWOOD RD, SUITE #113</b> <b>FORT LAUDERDALE, FLORIDA 33312</b> <b>PHONE: (954) 986-9899</b> <b>AN INDEPENDENCE ENGINEERING COMPANY</b>	
<b>PROJECT:</b> <b>1714 VAN BUREN STREET</b> <b>HOLLYWOOD</b> <b>FLORIDA</b>	
<b>CLIENT:</b> <b>LLR ARCHITECTS, INC.</b> <b>9000 SHERIDAN STREET</b> <b>SUITE 158</b> <b>PEMBROKE PINES, FL,</b> <b>33024</b>	
<b>TASK:</b> <b>SITE ACCESS PLAN</b>	
<b>DATE:</b> <b>FEB 2025</b>	<b>SCALE:</b> <b>1"=10'</b>
<b>DESIGNED BY:</b> <b>N.S.</b>	<b>DRAWN BY:</b> <b>G.S.</b>
<b>PROJECT No.</b> <b>148-008</b>	
<b>SHEET</b> <b>C-2A</b>	
	

## GENERAL NOTES:

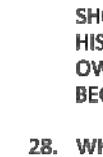
1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSD), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
6. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAIDED WITH ASPHALT PAVEMENT.
7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY ECSD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSD IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
10. THE CONTRACTOR SHALL NOTIFY ECSD IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2012
DRAWN:	EAM	GENERAL NOTES	DRAWING NO.
APPROVED:	XXX		G-00

## **GENERAL NOTES (CONTINUED):**

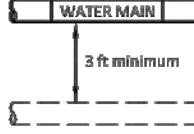
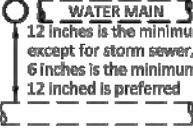
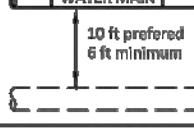
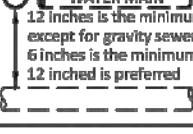
12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
13. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
14. CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSD UNLESS OTHERWISE NOTED ON THE DRAWINGS.
19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSD FIELD ENGINEER.
20. THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
22. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSD FIELD ENGINEER.
25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
26. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSD.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)	DRAWING NO.
APPROVED: XXX		G-00.1

<h2 style="text-align: left;"><u>GENERAL NOTES (CONTINUED):</u></h2>			
<p>27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.</p> <p>28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.</p> <p>29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.</p> <p>30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.</p> <p>31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.</p> <p>32. ALL GRASSED AREAS Affected BY CONSTRUCTION SHALL BE RE-SODDED.</p> <p>33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.</p> <p>34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.</p> <p>35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.</p> <p>36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.</p> <p>37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.</p> <p>38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.</p> <p>39. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.</p>			
 <p>ISSUED: 03/01/1994</p> <p>DRAWN: EAM</p> <p>APPROVED: XXX</p>	<p>DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL</p> <p><b>GENERAL NOTES (CONTINUED)</b></p>	<p>REVISED: 11/06/2017</p>	<p>DRAWING NO.</p> <p><b>G-00.2</b></p>

<b>GENERAL NOTES (CONTINUED):</b>			
<p>THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).</p>			
<div style="border: 1px solid black; padding: 5px; display: inline-block;"> <p>Always call 811 two full business days before you dig</p>  </div>			
<p>WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.</p>			
<p>ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.</p>			
<p>A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSD SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:</p>			
<ol style="list-style-type: none"> <li>a. PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.</li> <li>b. THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.</li> <li>c. THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.</li> <li>d. PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.</li> <li>e. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.</li> <li>f. ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"</li> </ol>	 <p>ISSUED: 03/01/1994    DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL    REVISED: 11/06/2017</p> <p>DRAWN: EAM    GENERAL NOTES (CONTINUED)    DRAWING NO. G-00.3</p> <p>APPROVED: XXX</p>		

**WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314**

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)	 3 ft minimum	 12 inches is the minimum except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft minimum 
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER	 10 ft preferred 6 ft minimum	 12 inches is the minimum except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft minimum 
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum	<hr/>	<hr/>

1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
2. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
3. 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
4. 12" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
5. A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
6. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
7. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
8. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

ISSUED: 03/01/1994

DRAWN: EAM

APPROVED: XXX

**DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL**

**SEPARATION REQUIREMENTS  
OF  
F.D.E.P.**

REVISED: 11/06/2001

DRAWING NO.

**G-01.1**

**NOTES:**

1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK). CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
2. ALL BEDDING MATERIAL SHALL BE COMPAKTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
3. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-B.

GRADE

36" MIN. COVER FOR PVC AND 30" FOR DIP

OBSTRUCTION

REFERR TO THRUST RESTRAINT NOTES AND DETAILS (G-11 THROUGH G-11.3) FOR LENGTHS OF PIPE TO RESTRAIN

REFERR TO THRUST RESTRAINT NOTES AND DETAILS (G-11 THROUGH G-11.3) FOR LENGTHS OF PIPE TO RESTRAIN

VERTICAL BENDS

CENTER A FULL LENGTH OF PIPE AT THE POINT OF CROSSING

RESTRAIN ALL FITTINGS

### UTILITY CROSSING USING FITTINGS

\* REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.

GRADE

OBSTRUCTION

SLOPE UP TO MIN. COVER

JOINT DEFLECTION ANGLES SHALL NOT EXCEED 50% OF THAT RECOMMENDED BY THE PIPE AND/OR FITTING MANUFACTURER

CENTER A FULL LENGTH OF PIPE AT THE POINT OF CROSSING

### UTILITY CROSSING USING JOINT DEFLECTIONS

\* REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL		REVISED: 06/08/2014
DRAWN: EAM			DRAWING NO.
APPROVED: XXX	UTILITY CROSSING DETAIL		G-04

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	TYPICAL VALVE BOX SETTING	G-05

LLR ARCHITECTS, INC.  
9000 SHERIDAN STREET  
SUITE 158  
PEMBROKE PINES, FL,  
33024

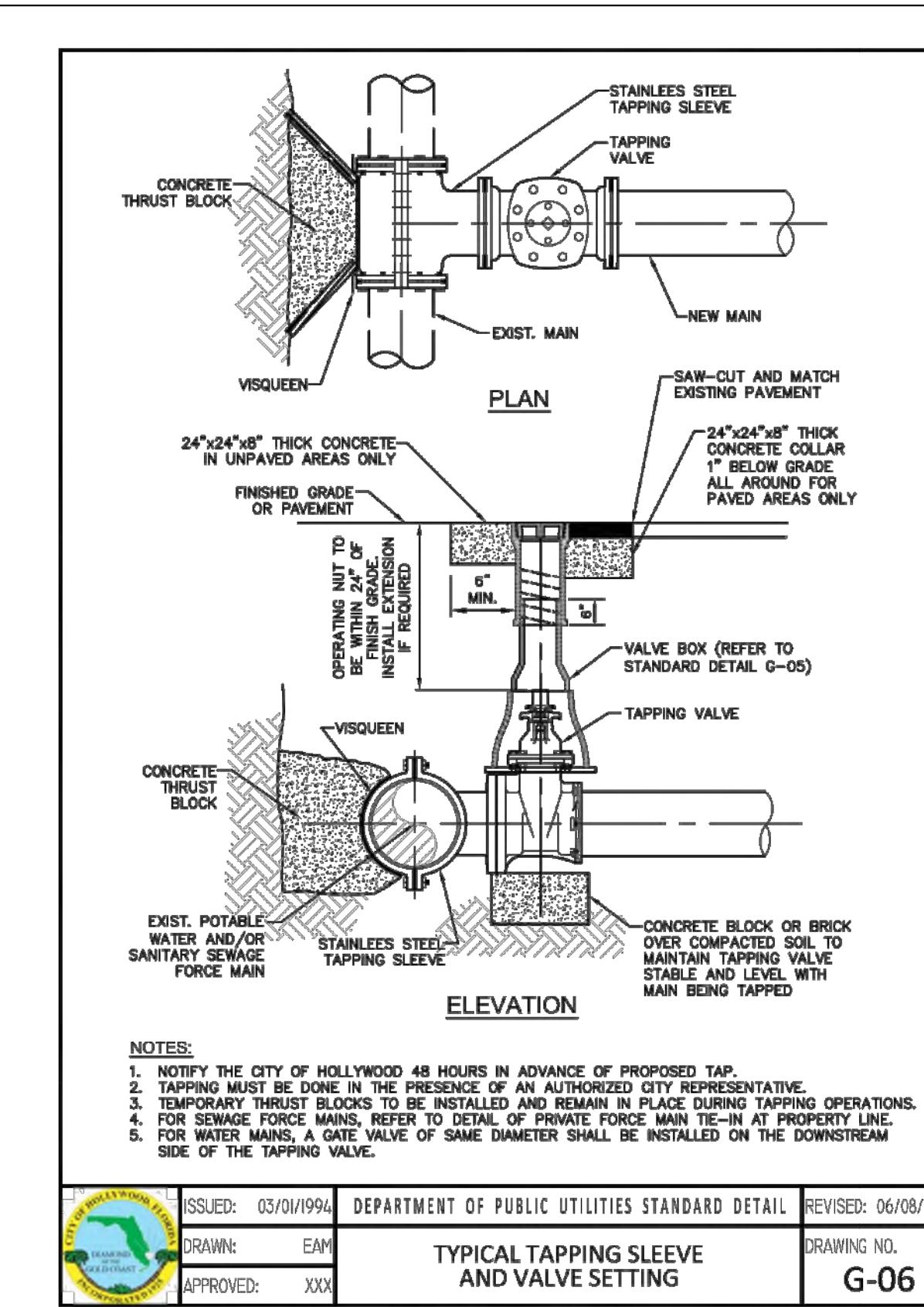
LLR  
9000  
PEM

171  
HOLLY  
ASK: C

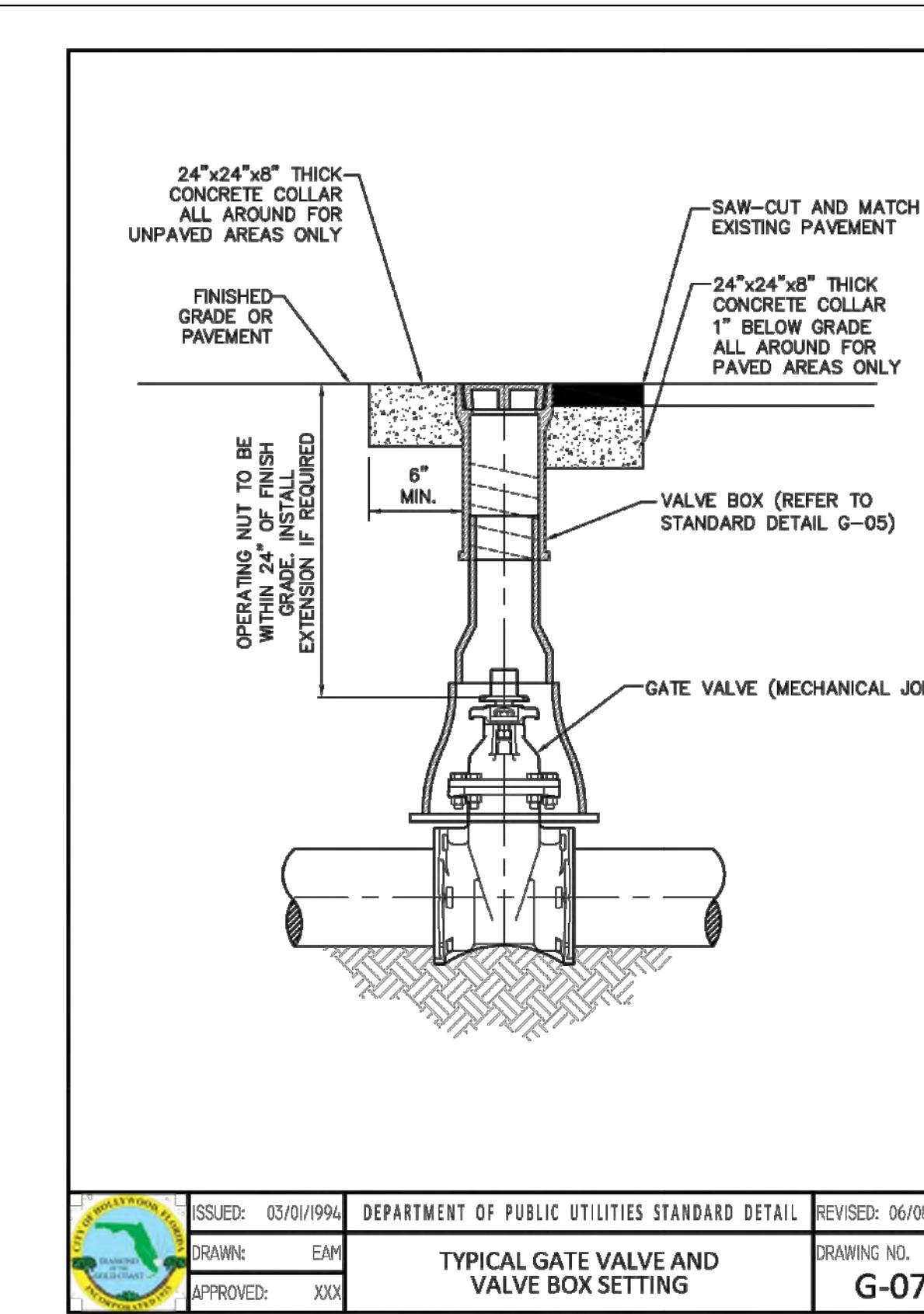
**GGB Engineering**  
CIVIL AND FORENSIC ENGINEERS • LAND PLANNER  
• CONSTRUCTION MANAGERS  
FLORIDA REGISTRATION No. 34516  
4101 RAVENSWOOD RD, SUITE #113      FAX: (954) 986-6666  
FORTLAUDERDALE, FLORIDA 33312      PHONE: (954) 981-1111  
AN INDEPENDENCE ENGINEERING COMPANY

DATE: B 2025	SCALE: <b>N.T.S.</b>
SIGNED BY: <b>N.S.</b>	DRAWN BY: <b>G.S.</b>
PROJECT No. <b>142-000</b>	

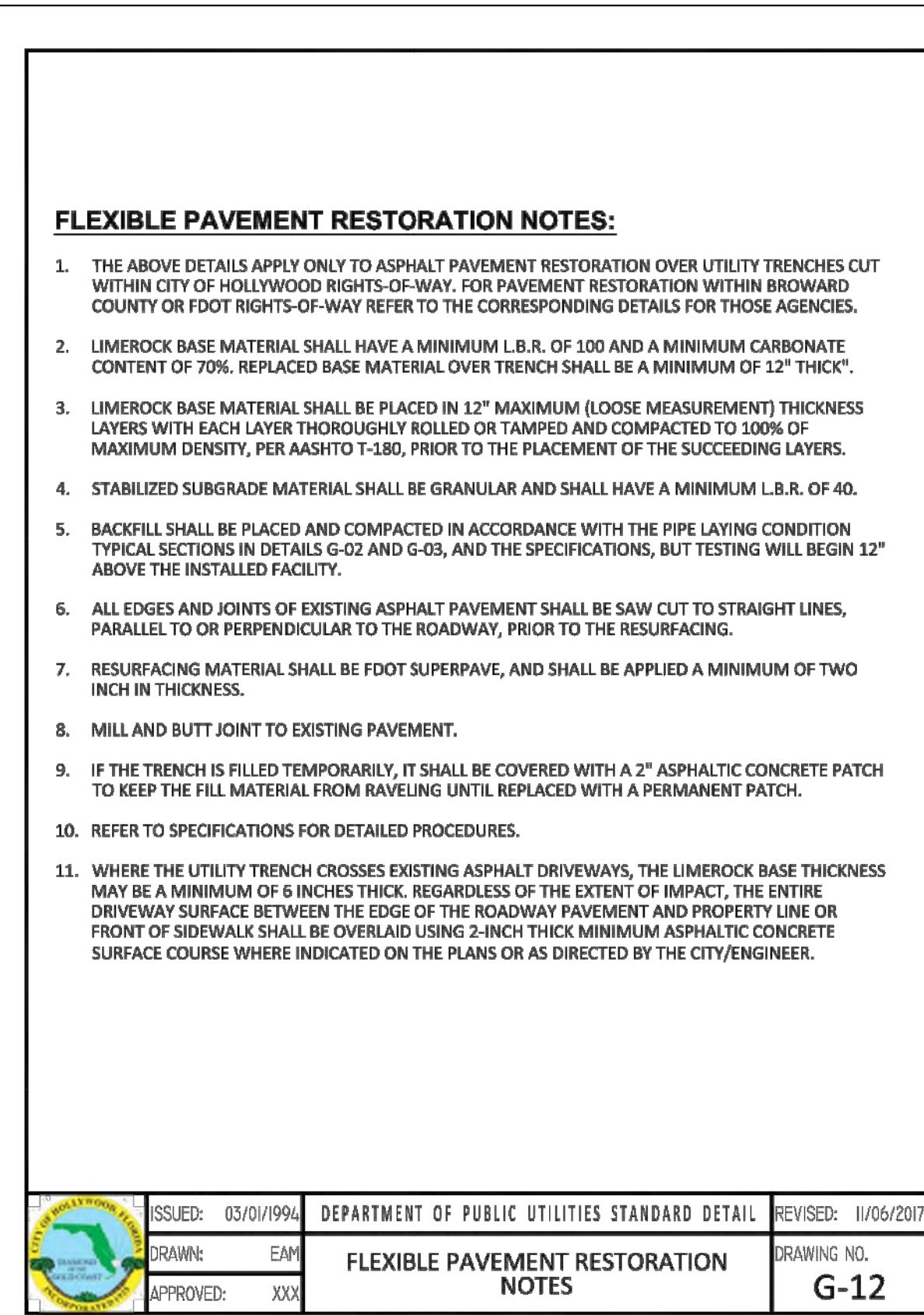
# SHEET **C-3**



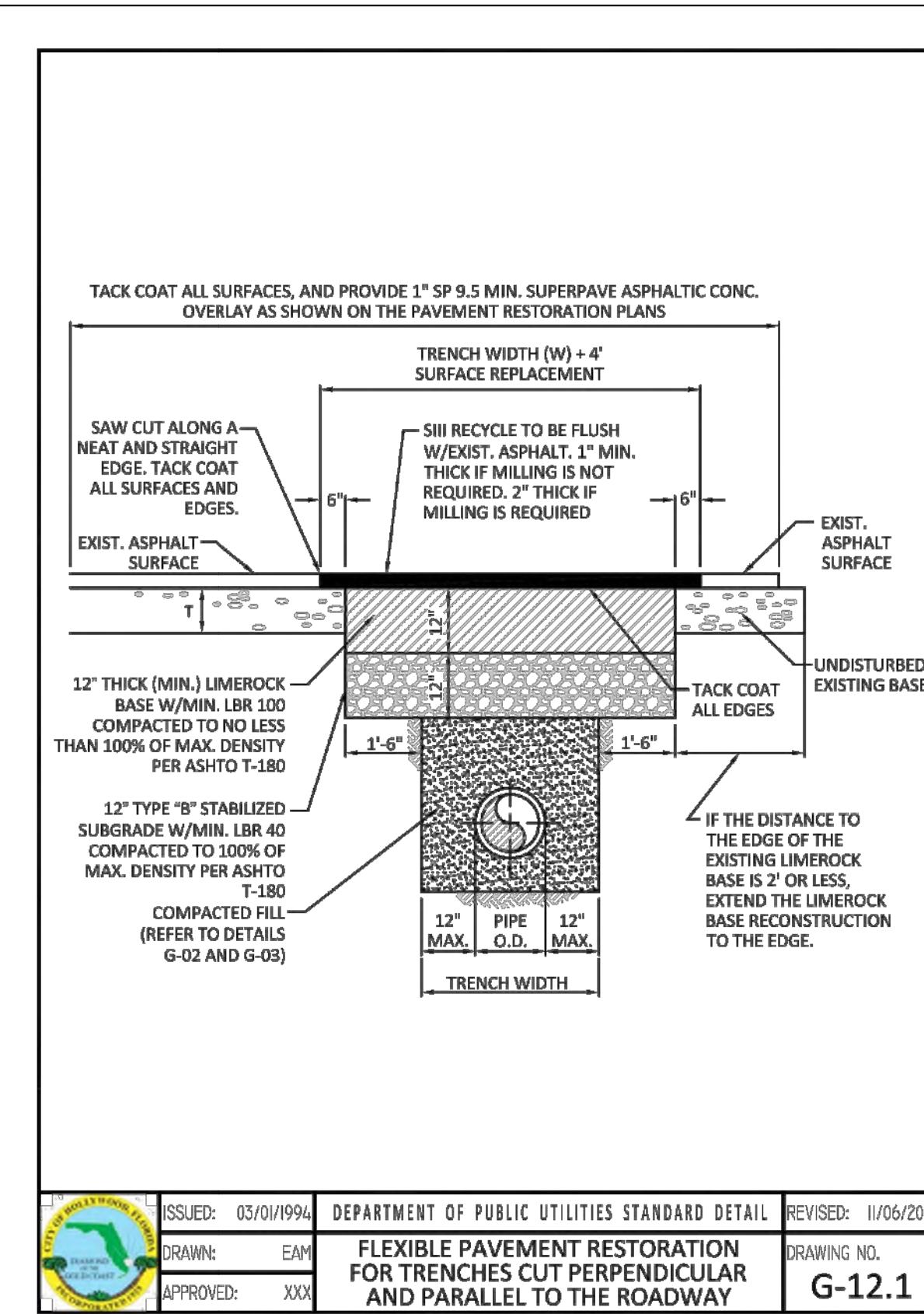
	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED:	06/08/
	DRAWN:	EAM	<b>TYPICAL TAPPING SLEEVE AND VALVE SETTING</b>		DRAWING NO.
	APPROVED:	XXX			<b>G-06</b>



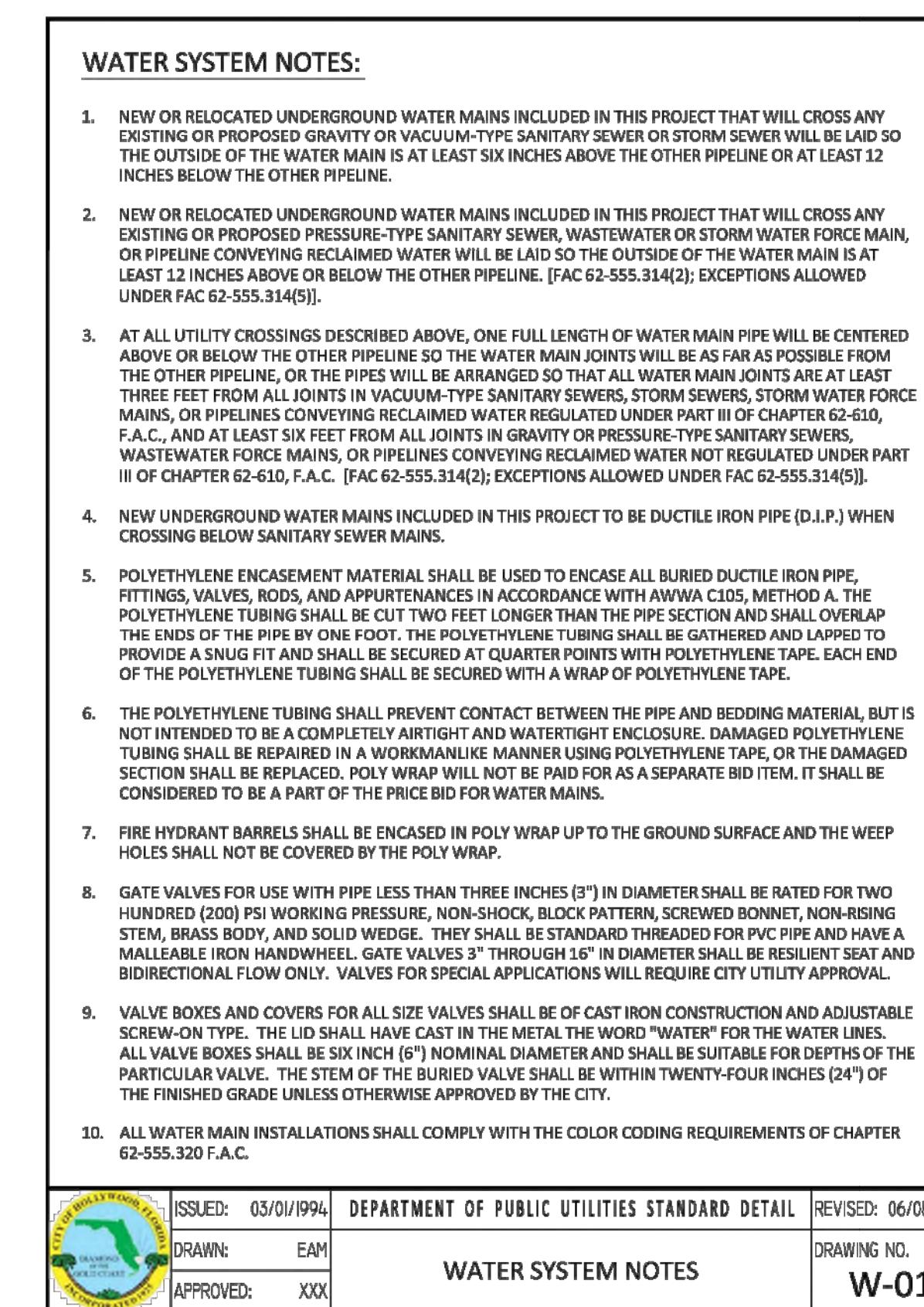
	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2008
	DRAWN: EAM	TYPICAL GATE VALVE AND VALVE BOX SETTING	DRAWING NO. G-07
	APPROVED: XXX		



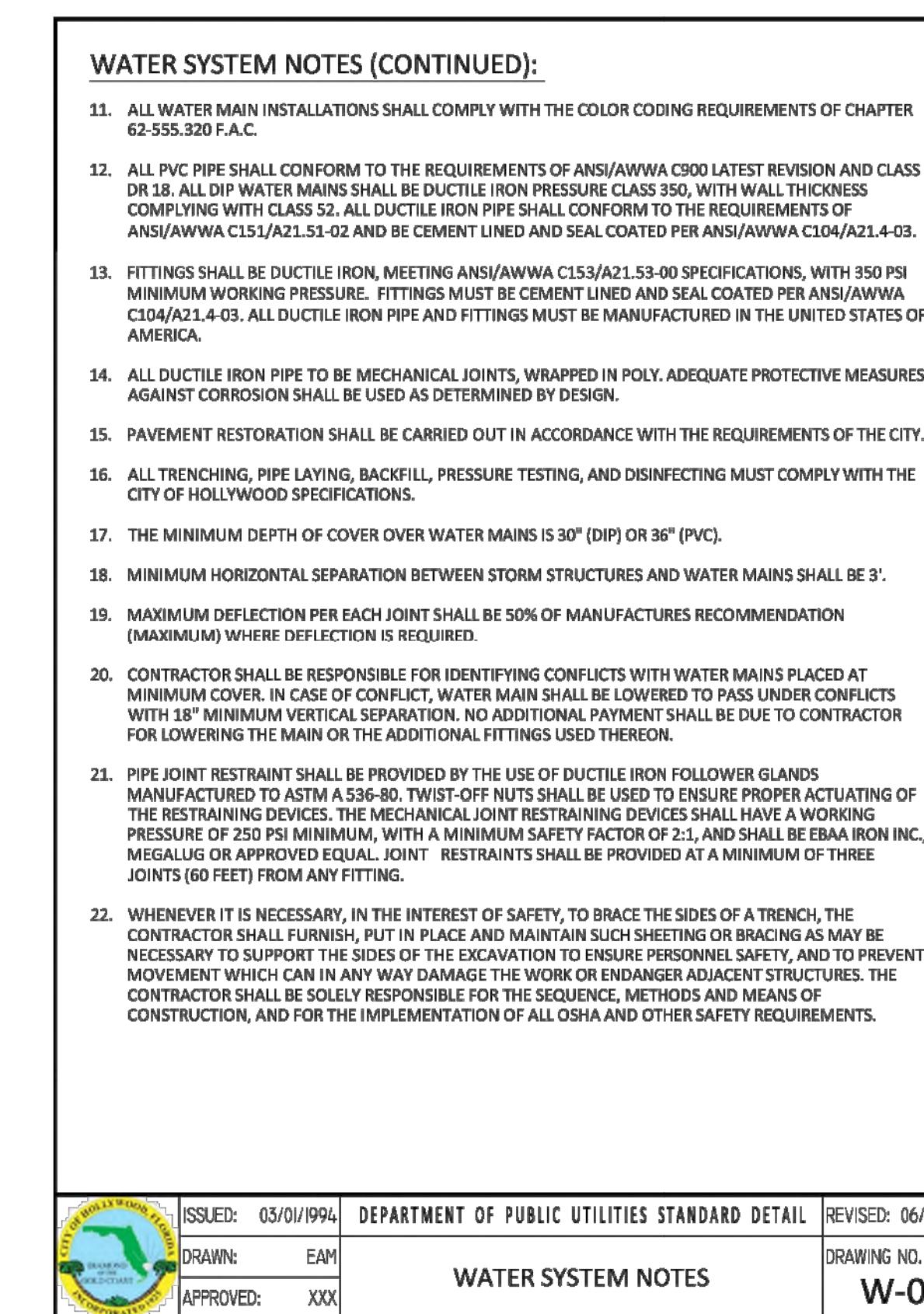
 <p>CITY OF HOLLYWOOD FLORIDA TRANSPORTATION &amp; CAPITAL IMPROVEMENTS DEPARTMENT OF PUBLIC UTILITIES INCORPORATED 1915</p>	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED:	11/06/2017
	DRAWN:	EAM	<b>FLEXIBLE PAVEMENT RESTORATION NOTES</b>	DRAWING NO.	G-12
	APPROVED:	XXX			



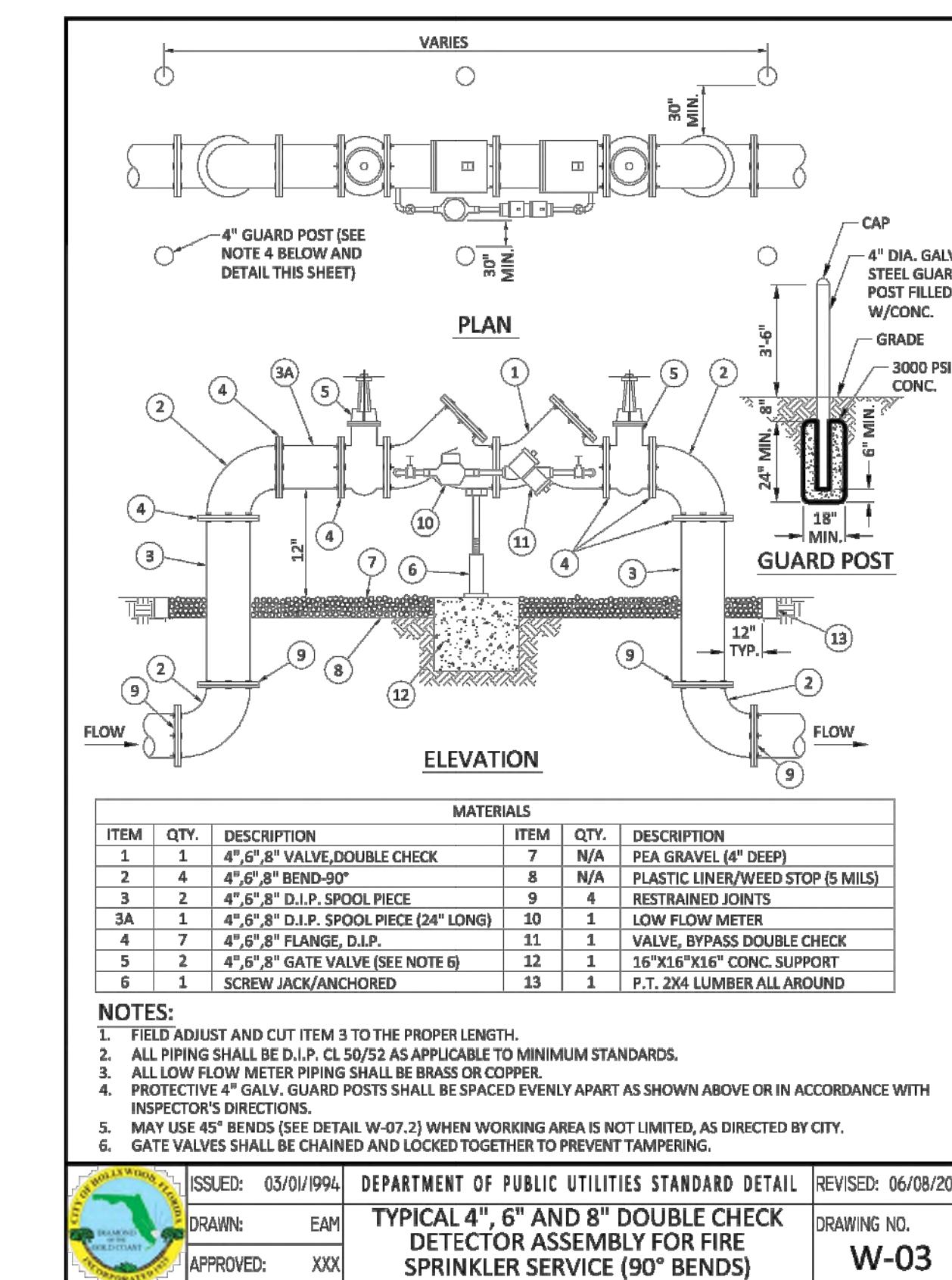
	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED:	11/06/2000
	DRAWN:	EAM	<b>FLEXIBLE PAVEMENT RESTORATION FOR TRENCHES CUT PERPENDICULAR AND PARALLEL TO THE ROADWAY</b>	DRAWING NO.	
	APPROVED:	XXX			<b>G-12.1</b>



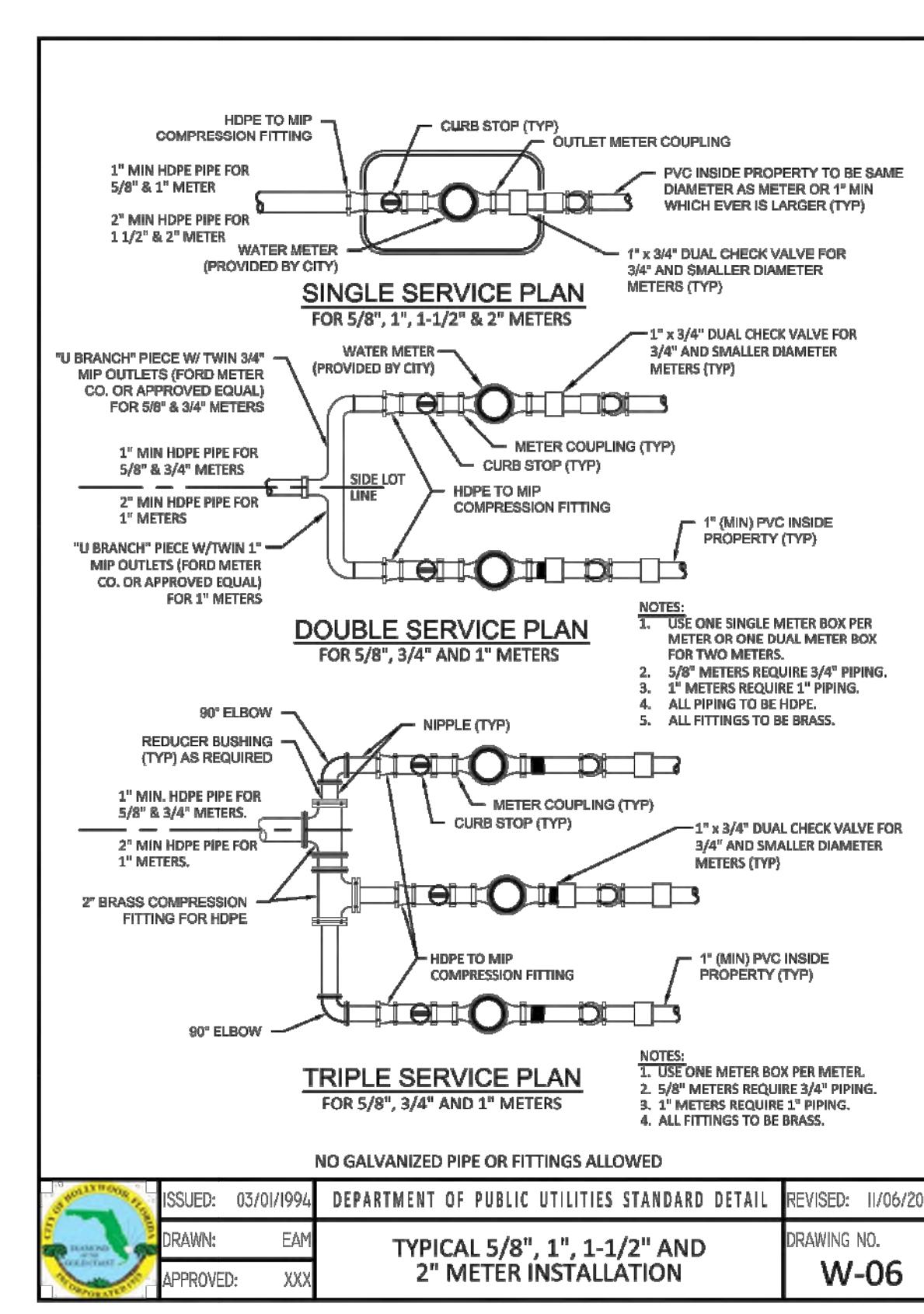
	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2010
	DRAWN:	EAM		DRAWING NO.
	APPROVED:	XXX	WATER SYSTEM NOTES	W-01



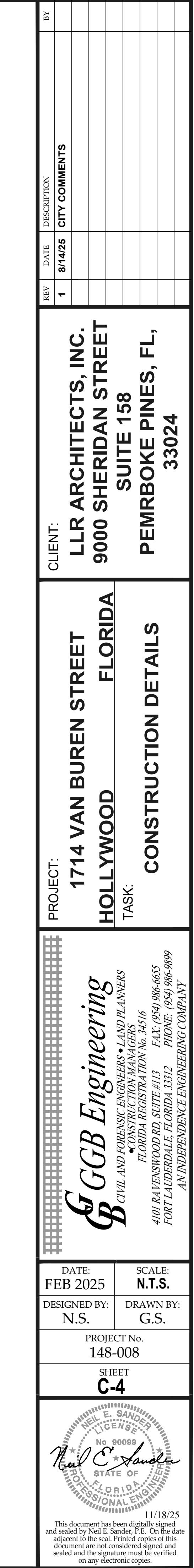
 <p>City of Holly Woods, Florida Brevard County, Florida INCORPORATED 1957</p>	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED:	06/01/2000
	DRAWN:	EAM			DRAWING NO.
	APPROVED:	XXX	WATER SYSTEM NOTES		W-0

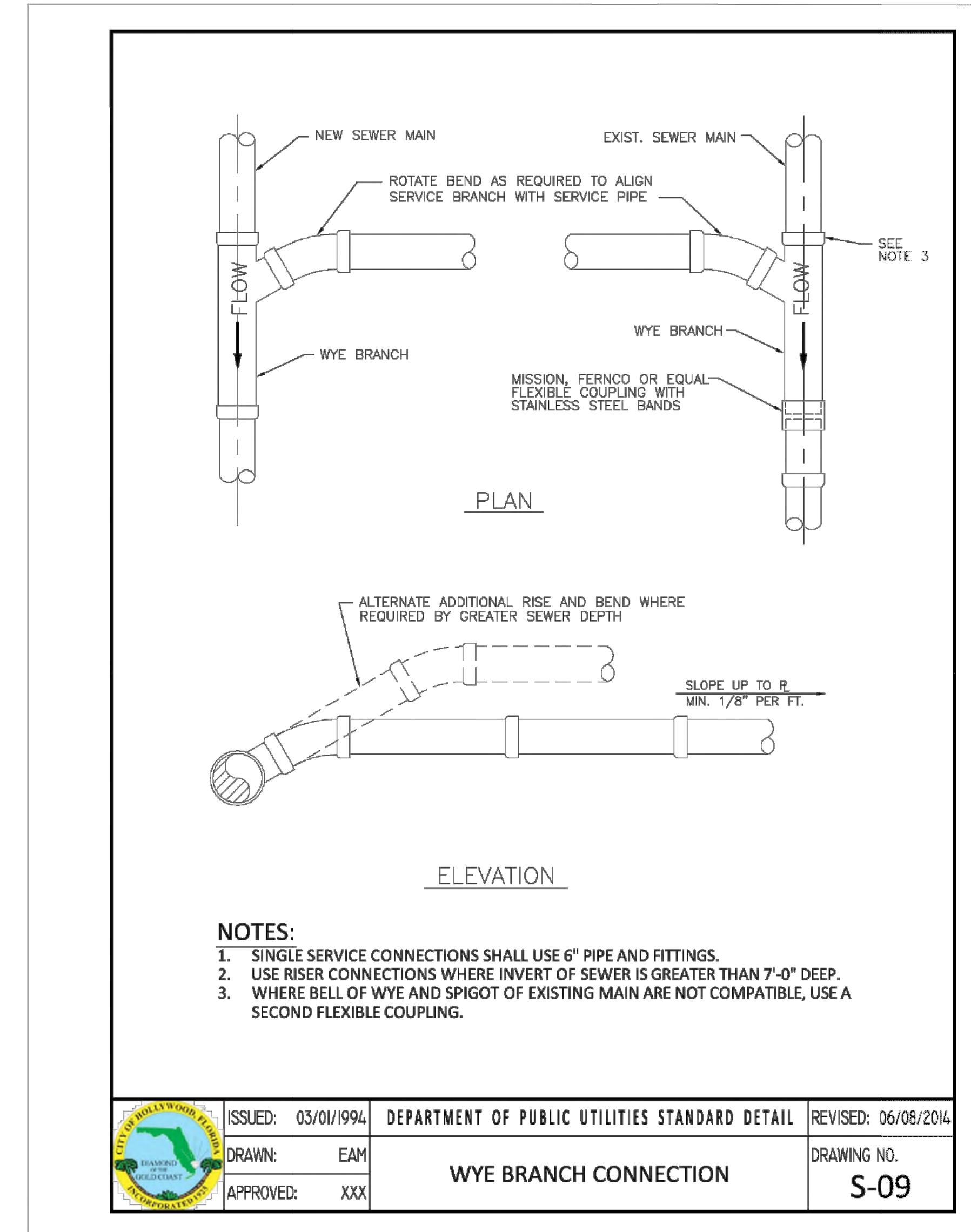
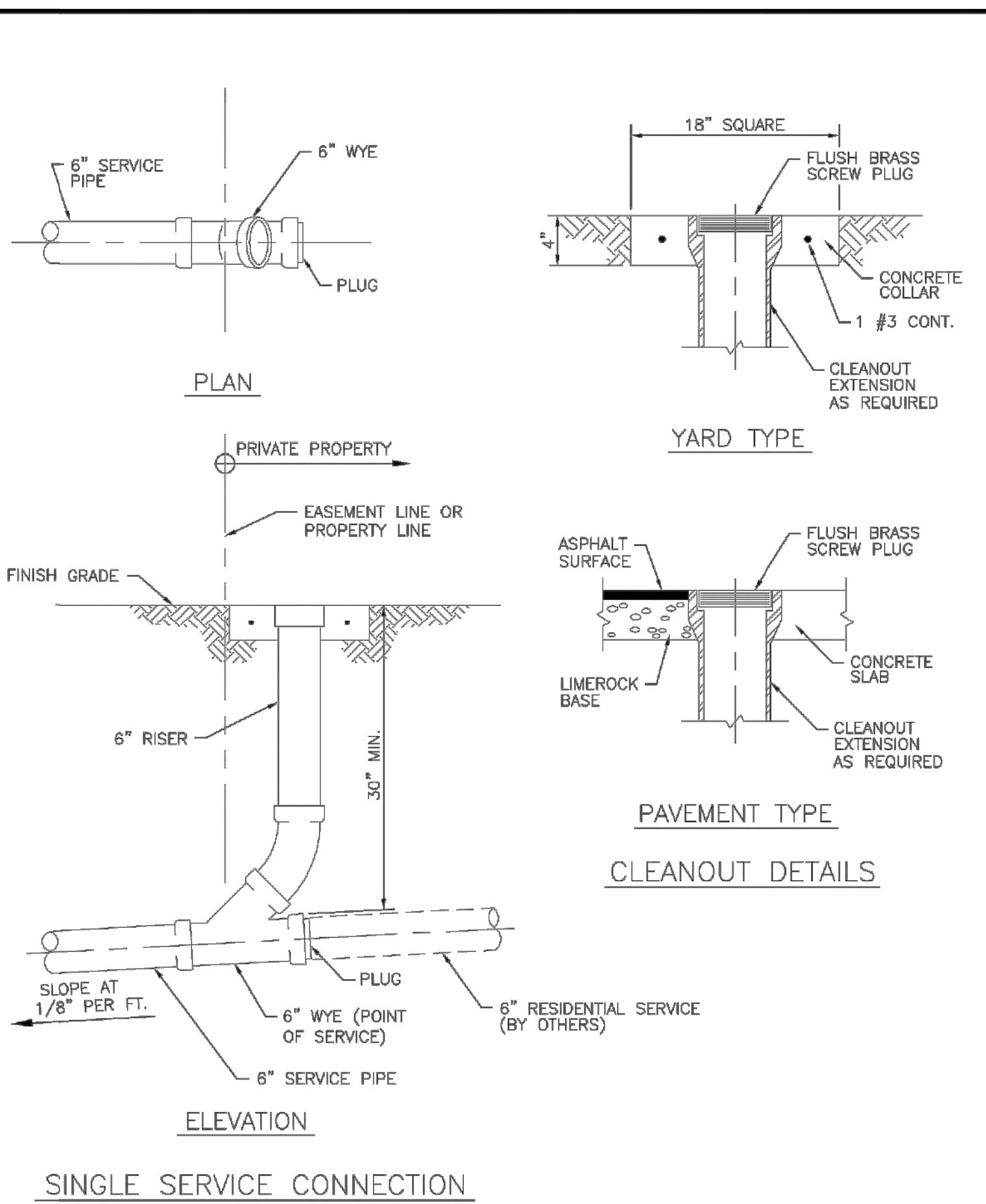


6. GATE VALVES SHALL BE CHAINED AND LOCKED TOGETHER TO PREVENT TAMPERING.				
 The logo for the City of Holly Woods, Florida. It features a circular design with a green border. Inside the border, the words "CITY OF HOLLY WOODS, FLORIDA" are written in a circular pattern. The center of the logo contains a stylized green tree and the text "DIAMOND OF THE GOLD COAST" below it, and "INCORPORATED 1952" at the bottom.	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/20	
DRAWN: EAM		<b>TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR ASSEMBLY FOR FIRE SPRINKLER SERVICE (90° BENDS)</b>	DRAWING NO.	
APPROVED: XXX				<b>W-03</b>



	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2000
	DRAWN: EAM	<b>TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION</b>	DRAWING NO.
	APPROVED: XXX		W-06



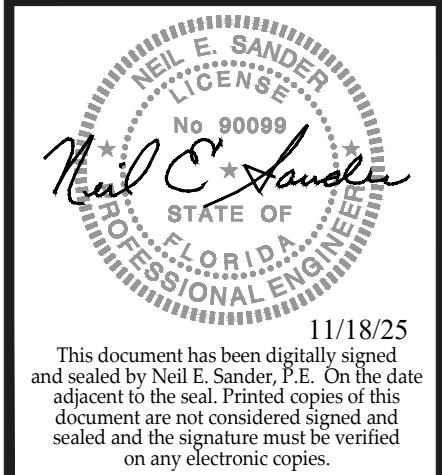


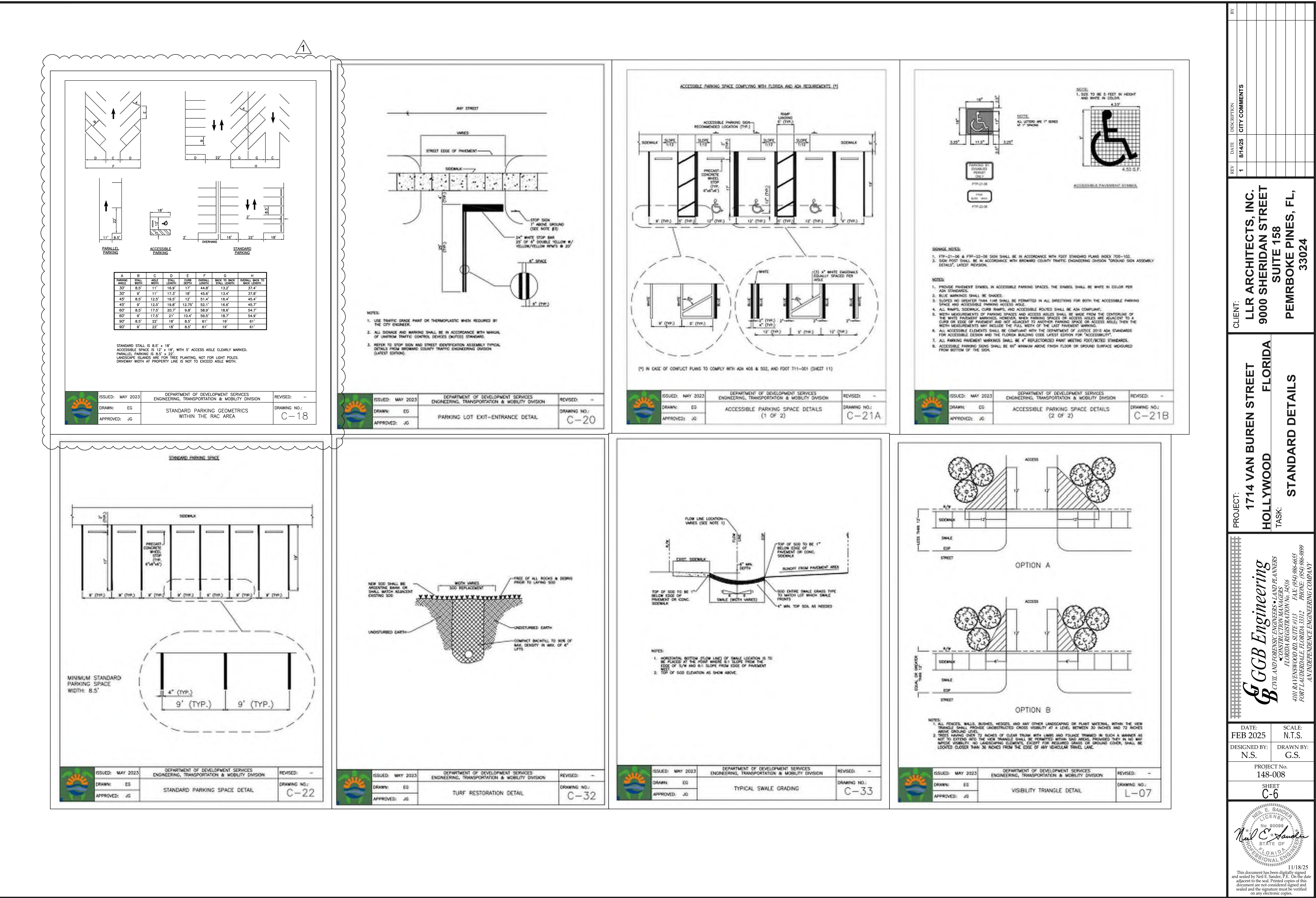
 <p><b>CITY OF HOLLYWOOD, FLORIDA</b> DIAMOND OF THE GOLD COAST INCORPORATED 1925</p>	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/201
	DRAWN:	EAM	<p><b>SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE</b></p>	DRAWING NO.
	APPROVED:	XXX		<b>S-12</b>

	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED:	06/08/2014
	DRAWN:	EAM	<b>WYE BRANCH CONNECTION</b>	DRAWING NO. <b>S-09</b>	
	APPROVED:	XXX			

PROJECT:	<b>1714 VAN BUREN STREET</b>	<b>CONSTRUCTION DETAILS</b>
TASK:	<b>HOLLYWOOD</b>	<b>FLORIDA</b>

 <b>GGB Engineering</b>	
<b>CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS</b> <b>•CONSTRUCTION MANAGERS</b> <b>FLORIDA REGISTRATION No. 34516</b>	
<b>4101 RA VENSWOOD RD, SUITE #113</b> <b>FORTLAUDERDALE, FLORIDA 33312</b> <b>FAX: (954) 986-6655</b> <b>PHONE: (954) 986-9899</b> <b>AN INDEPENDENCE ENGINEERING COMPANY</b>	
DATE: <b>FEB 2025</b>	SCALE: <b>N.T.S.</b>
DESIGNED BY: <b>N.S.</b>	DRAWN BY: <b>G.S.</b>
<b>PROJECT No.</b> <b>148-008</b>	
<b>SHEET</b> <b>C-5</b>	





**PROJECT NAME:1714 VAN BUREN STREET, HOLLYWOOD**  
**REVISED STORM DRAINAGE CALCULATIONS**

Date: **6/17/2025**

**SITE CHARACTERISTICS AND AREAS**

BUILDING AREA	5809.6	SF	71.99%
IMPERVIOUS PAVED AREAS	499.73	SF	6.19%
PERVIOUS SITE AREA	<u>1760.70</u>	SF	<u>21.82%</u>
<b>TOTAL SITE AREA</b>	<b>8070.0</b>	<b>SF</b>	<b>100.00%</b>

Wet Season Water Table El. = 1.5 NAVD  
 Average grade in green areas = 6 Feet  
 Soil storage: 8.18 x percent pervious = 1.78 Inches

**RUNOFF COEFFICIENTS**

IMPERVIOUS AREAS	0.90
PERVIOUS AREAS	0.35

**DESIGN STORM FREQUENCY FOR WATER QUALITY**

10 YEAR STORM RUNOFF, 2.5 x % IMPERVIOUS OR FIRST INCH WHICHEVER IS GREATER

First inch runoff (Total site area x 1/12)	<u>672.50</u>	C
Site area for water quality (Total site area-Bldg+Pool)	2260.43	SF
Impervious area for water quality	499.73	SF
2.5 Inches x % Impervious	<u>371.69</u>	C
2.5" x pervious/total area	0.55	Inches
10 year 24 hour storm rainfall (P)	8.5	Inches

Runoff =  $(P-0.2 \times S)2$   
 $(P+0.8 \times S)$  Where P = 8.5 inches for 10 year 24 hour storm

Runoff = 6.68 Inches

Volume = A x R/12 4491.76 CF



Use 10 year runoff of 4491.76 CF >672.50 CF >371.69 CF first inch of runoff and for 2.5 x % impervious

**Site Storage Provided to store 4491.76 CF Required Runoff as follows:**

1. Exfiltration trench storage = 5000 CF > 4491.76 CF Ok

**DESIGN STORM PEAK AND AVERAGE DAY TRENCH CALCULATIONS**

$$V = 5000 \text{ CF} / 8070 \text{ SF} = 0.620 \text{ FT} \times 12 \text{ in/ft} = 7.43 \text{ inches} \times 8070 / 43560 = 1.38 \text{ Ac-inches}$$

$$L = \frac{V}{K(HW + 2HxDu - Du \times Du + 2HDs) + 1.39 \times 10(-4) \times W \times du}$$

Volume =	1.38	Ac-inches
A = Drainage Area	0.185	Ac
W = Trench Width	4.00	ft
K = Hydraulic Conductivity	7.95E-04	cfs/ft^2 per ft of head
H = Depth to water table	4.50	ft
Du = Non Saturated trench depth	2.00	ft
Ds = Saturated trench depth	2.00	ft

<b>Trench Required</b>	<b>33.77</b>	<b>LF</b>
<b>Trench Provided</b>	<b>35</b>	<b>LF</b>

Sincerely,

Brian Rose, P.E.

Principal

GGB Engineering

#

FIYD#DQG#IRUHQVIF#HQJIQHHUV##DQG#SODQQHUV##FRQVWUXFWIRQ#P DQDJHUV