

ATTACHMENT A
Application Package

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of digitally signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee (per review)

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE:

- Technical Advisory Committee
 City Commission

Variance/Special Exception Requested

- Administrative Approvals
 Historic Preservation Board
 Planning and Development Board

PROPERTY INFORMATION

Location Address: 1051 S Southlake Dr. Hollywood, Florida, 33019 (EAST)

Lot(s): 30&East 1/2 of 29 Block(s): 54 Subdivision: _____

Folio Number(s): 514214-02-0960

RS-9

Zoning Classification: RS-9 Land Use Classification: Single family detached dwelling

Existing Property Use: N/A Sq Ft/Number of Units: N/A

Is the request the result of a violation notice? Yes No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide

File/Resolution/Ordinance No.: _____

DEVELOPMENT PROPOSAL

Explanation of Request: New single family residence

Phased Project: Yes / No Number of Phases: _____

| Project | Proposal |
|----------------------------------|---------------------------|
| Units/rooms (# of units) | 8 (Area: 8,487 S.F.) |
| Proposed Non-Residential Uses | S.F. |
| Open Space (% and SQ.FT.) | 40.60% (Area: 7,124 S.F.) |
| Parking (# of spaces) | 3 (Area: 903 S.F.) |
| Height (# of stories) | 2 (27 FT.) |
| Gross Floor Area (SQ. FT) | 10,418 S.F. |

Name of Current Property Owner: South Lake International, LLC

Address of Property Owner: 1051 S. Southlake Dr. Hollywood, Florida. 33019

Telephone: 7867475778 Email Address: fabrizio@floridagrassfedgroup.com

Applicant Stephanie Halfen D. Consultant | Representative | Tenant (check one)

Address: 18200 NE 19th Ave, NMB. FL 33162 Telephone: (305) 501-5013

Email Address: stephanie@sdhstudio.com

Email Address #2: info@sdhstudio.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : Diana B. Rio (RDR Miami)

E-mail Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign as approved by the Division of Planning & Urban Design. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 5/27/24

Tunny Mizrahi as manager of Interasset Management LLC, Manager for

PRINT NAME: Southlake International LLC

Date: _____

Signature of Consultant/Representative: _____

Stephanie Dornbusch de Halfen
Digitally signed by Stephanie Dornbusch de Halfen
DN: cn=Stephanie Dornbusch de Halfen, o=US, ou=SDH Studio
Reason: I am the author of this document
Location:
Date: 2023-12-11 15:07:05-00

Date: 05/03/2024

PRINT NAME: Stephanie Halfen

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

Signature of Current Owner

Notary Public
State of Florida

Print Name

My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____

City of Hollywood Historic Preservation Board

May 13th, 2023

Legal description: Lot 28 and the East ½ of lot 29, LESS the south 30 feet thereof, in Block 54 of HOLLYWOOD LAKE SECTION, according to the plat thereof, recorded in Plat Book 1, Page 32 of the Public Records of Broward County, FL.

Dear Members of the Historic Preservation Board and City Staff,

I am pleased to present this written document outlining the proposed construction of a new single residential home at 1051 S Southlake Drive, Hollywood, Florida 33019 (East lot). This project involves the development of a new residence on a vacant lot.

Considering the rich historical significance of the Hollywood Lakes where this project is located, we analyzed the surrounding architectural context in significant detail. Our objective was to craft a residence that seamlessly integrates with the diverse array of architectural styles found in the vicinity, encompassing Mediterranean Revival, Spanish Colonial, Art Deco, Traditional, Bermuda, Masonry Vernacular, Prairie, Midcentury Modern, and Contemporary styles.

The design of the new two-story residence exudes a captivating tropical modern aesthetic. Conceptualized as a minimalist assembly of structures on the edge of the South Lake, it emphasizes the views of the water while creating a strong connection between the interior and exterior of the home. The installation pattern of the stone throughout the exterior was chosen to emphasize the verticality generated from the grain of the stone.

The front façade presents a captivating composition of horizontal planes punctuated by vertical volumes which impart a sense of lightness to the home's overall appearance. A cantilevered roof and dramatic steps create a statement entrance that opens to a double height living room with its large, open fenestration giving extensive views to the sun deck, swimming pool, and lake beyond.

Nestled along the picturesque waterfront scene, the rear façade maintains visual continuity with the front, utilizing stone and glass. A large second-story balcony with glass railing is a standout feature, while the expansive sun deck, outdoor kitchen, and L-shaped infinity-edge pool provide an ideal setting for leisure and entertainment activities.

We appreciate your time and consideration in reviewing and approving the proposed new structure.

Best regards,

Stephanie D. Halfen

SDH Studio Architecture + Design

AR99155

HST
 6-19-17

Letter of Transmittal

To: City of Hollywood
 P.O. Box 229045
 Hollywood, FL, 33022-9045
 Phone: (954)921-3335 • Fax (954)921-3037

Date: 03/09/17
 Permit Number: B17-101392
 E-Mail Address: Tom@cantourmarine.net
 Project/ Reference: 1051 South South Lake Hollywood FL 33019

For Review By: (check all applicable spaces)

Planning Zoning Engineering Fire Water / Sewer Drainage Landscape CRA
Discipline: Structural Electrical Plumbing Mechanical Reserve Capacity Changes

From: Frank Mac mando

Address: 340 sunset DR Apt 1605
Fort Lauderdale FL 33301-2649

E-Mail Address: FM NYC 5@ad.com

Contact: _____

Phone: (954)-274-9275

Fax: () _____

PLANS SUBMITTED: (CHECK)

| | |
|---|---|
| <input type="checkbox"/> Architectural Sheet # _____ | <input type="checkbox"/> Fire Sheet # _____ |
| <input type="checkbox"/> Structural Sheet # _____ | <input type="checkbox"/> Zoning Sheet # _____ |
| <input type="checkbox"/> Electrical Sheet # _____ | <input type="checkbox"/> Engineering Sheet # _____ |
| <input type="checkbox"/> Mechanical Sheet # _____ | <input type="checkbox"/> RCC Sheet # _____ |
| <input type="checkbox"/> Plumbing Sheet # _____ | <input type="checkbox"/> Drainage Sheet # _____ |
| <input type="checkbox"/> Water Sheet # _____ | <input type="checkbox"/> Sewer Sheet # _____ |
| <input type="checkbox"/> CRA Sheet # _____ | <input type="checkbox"/> Landscape Sheet # _____ |

WE ARE SUBMITTING TO YOU (CHECK)

Via hand delivery postal delivery drop box
 special delivery fax copy

Email
 initial (original) set of plans
 corrected (non-permitted) plans
 revised (permitted) plans
 shop drawings:

| | |
|--|---|
| <input type="checkbox"/> structural steel | <input type="checkbox"/> pile logs |
| <input type="checkbox"/> wood trusses | <input type="checkbox"/> condo/ H.O. approval |
| <input type="checkbox"/> glass/glazing | <input type="checkbox"/> turtle glass I.D. |
| <input type="checkbox"/> product approvals | <input type="checkbox"/> wind loads |
| <input type="checkbox"/> fire protection | <input type="checkbox"/> sub-permit |
| <input type="checkbox"/> other _____ | <input type="checkbox"/> outside agencies |

spot survey
 final survey
 energy (insulation) certification
 special inspector letter / form
 soil reports
 inspection reports
 energy calcs
 site plans
 other _____

For Departmental Use Only:
 Received by: _____ Date: 3.9.17

Special Instructions

BROWARD COUNTY UNIFORM BUILDING PERMIT APPLICATION

Select One Trade: Building Electrical Plumbing Mechanical Other
 Application Number: B17 101392 Application Date: 3-9-17

| | |
|---|-------------------------------------|
| Job Address: 1051 SOUTH SOUTHLAKE DRIVE | Unit: City: HOLLYWOOD |
| Tax Folio No.: 5142 14 02 0960 Flood Zn: BFE: Floor Area: Job Value: 45,000 | |
| Building Use: SINGLE FAMILY Construction Type: Occupancy Group: | |
| 1 Present Use: SINGLR FAMILY Proposed Used: SINGLE FAMILY | |
| Description of Work: MARINE CONSTRUCTION (SEE ENCLOSED PLANS) <u>New batter piles and seawall</u> | |
| <input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Repair <input type="checkbox"/> Alteration <input type="checkbox"/> Demolition <input type="checkbox"/> Revision <input type="checkbox"/> Other: | |
| Legal Description: HOLLYWOOD LAKES | <input type="checkbox"/> Attachment |

| |
|---|
| 2 Property Owner: FILMORE REALTY/JEFF CORNFELD Phone: 954-540-3908 Email: JEFF@CORNFELDDGROUP |
| Owner's Address: 3850 HOLLYWOOD BLVD City: HOLLYWOOD State: FL Zip: 33021 |

| |
|---|
| 3 Contracting Co.: CONTOUR MARINE Phone: 954-849-9186 Email: TOM@CONTOURMARINE |
| Company Address: 1040 ADAMS STREET City: HOLLYWOOD State: FL Zip: 33019 |
| Qualifier's Name: JASON KLEIN Owner-Builder: <input type="checkbox"/> License Number: CGC1521764 |

| |
|--|
| 4 Architect/Engineer's Name: B&B CONSULTING ENG. Phone: 772-708-7785 Email: FMNYC5@AOL.COM |
| Architect/Engineer's Address: 706 7TH STREET City: FORT PIERCE State: FL Zip: 34950 |
| Bonding Company: |
| Bonding Company Address: City: State: Zip: |
| Fee Simple Titleholder's name (if other than owner): |
| Fee Simple Titleholder's Address (If other than owner): City: State: Zip: |
| Mortgage Lender's Name: |
| Mortgage Lender's Address: City: State: Zip: |

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

X [Signature]
 Signature of Property Owner or Agent

X [Signature]
 Signature of Qualifier

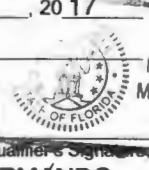
STATE OF FLORIDA
 COUNTY OF BROWARD

STATE OF FLORIDA
 COUNTY OF BROWARD

Sworn to (or affirmed) and subscribed before me this 30 day of JANUARY, 2017 by

Sworn to (or affirmed) and subscribed before me this 28 day of NOVEMBER, 2017 by

 JEFFERY CORNFELD
 (Type / Print Property Owner or Agent Name)
 NOTARY'S SIGNATURE as to Owner or Agent's Signature
 Notary Name FRANK MORMANDO
 (Print, Type or Stamp Notary's Name)

 JASON KLEIN
 (Type / Print Qualifier's Name)
 NOTARY'S SIGNATURE as to Qualifier's Signature
 Notary Name FRANK MORMANDO
 (Print, Type or Stamp Notary's Name)

Personally Known or Produced Identification _____

Personally Known or Produced Identification _____

Type of Identification Produced _____

Type of Identification Produced _____

APPROVED BY: [Signature] Permit Officer Issue Date: 3-9-17 Code in Effect: _____

A jurisdiction may use a supplemental page requesting additional information and citing other conditions, please Inquire.
 Note: If any development work as described in FS 380.04 Sec. 2 a-g is to be performed, a development permit must be obtained prior to the issuance of a building permit.



City of Hollywood
BUILDING DIVISION
CASH RECEIPT

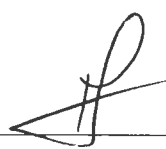
Date: AP 3-9-17

Receipt No: AK 3745

Address of work to be performed: 1051 S Southlake Dr.

Permit Number: B17-101392

| <u>DESCRIPTION</u> | <u>CD</u> | <u>AMOUNT</u> |
|--|-----------|---------------|
| Permit Issuance/Renewal - Structural | 8000 | _____ |
| Permit Issuance/Renewal - Electrical | 8100 | _____ |
| Permit Issuance/Renewal - Mechanical | 8300 | _____ |
| Permit Issuance/Renewal - Plumbing | 8200 | _____ |
| County Surcharge - Structural | 8500 | _____ |
| County Surcharge - Electrical | 8501 | _____ |
| County Surcharge - Mechanical | 8503 | _____ |
| County Surcharge - Plumbing | 8502 | _____ |
| State Surcharge Fee | 8600 | _____ |
| Overtime Fee - Inspector | 8724 | _____ |
| Certificate of Occupancy | 8450 | _____ |
| Certificate of Completion | 8455 | _____ |
| Building Plans Processing Fee | 8700 | <u>20.00</u> |
| Penalty - Work W/O Permit - Structural | 8010 | _____ |
| Penalty - Work W/O Permit - Electrical | 8110 | _____ |
| Penalty - Work W/O Permit - Mechanical | 8310 | _____ |
| Penalty - Work W/O Permit - Plumbing | 8210 | _____ |
| Permit Card Replacement | 8020 | _____ |
| Miscellaneous—Other Charges | 9930 | _____ |
| Building Microfilm Search of Copies | 8015 | _____ |
| Reinspection Fee (B, E, M, P) | 8710 | _____ |
| 40 Year Building Safety Inspection | 8420 | _____ |
| Expedited Plan Review | 8902 | _____ |
| Change of Contractor | 8410 | _____ |
| Plan Revision Fee | 8002 | _____ |
| Fire Assessment Fee | 9325 | _____ |
| Early Start Request | 8903 | _____ |
| Park Impact Fee | 9597 | _____ |
| Permit Extension Fee | 8904 | _____ |
| Total | | <u>20.00</u> |

Received By: 

AFTER RECORDING - RETURN TO:

2

B17-101392

PERMIT NUMBER:

NOTICE OF COMMENCEMENT

The undersigned hereby given notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes the following information is provided in the Notice of Commencement.

1. DESCRIPTION OF PROPERTY (Legal description & street address, if available) TAX FOLIO NO.: 5142 14 02 0980

SUBDIVISION HOLLYWOOD LAKES SECTION BLOCK _____ TRACT _____ LOT _____ BLDG _____ UNIT _____

1051 SOUTH SOUTH LAKE HOLLYWOOD, FLORIDA 33019

2. GENERAL DESCRIPTION OF IMPROVEMENT:
MARINE CONSTRUCTION

3. OWNER INFORMATION: a. Name FILMORE REALTY GROUP

b. Address 3850 HOLLYWOOD BLVD. #400 HOLLYWOOD, FLORIDA 33021 c. Interest in property _____

d. Name and address of the simple titleholder (if other than Owner) _____

4. CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER:
CONTOUR MARINE 1040 ADAMS STREET FORT LAUDEDALE, FLORIDA 33301

5. SURETY'S NAME, ADDRESS AND PHONE NUMBER AND BOND AMOUNT: _____

6. LENDER'S NAME, ADDRESS AND PHONE NUMBER: _____

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:
NAME, ADDRESS AND PHONE NUMBER: _____

8. In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes:
NAME, ADDRESS AND PHONE NUMBER: _____

9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified): _____, 20____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager

Print Name and Provide Signatory's Title/Office

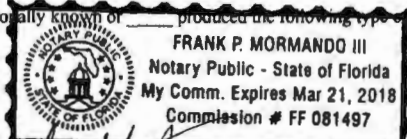
State of Florida
County of Broward

The foregoing instrument was acknowledged before me this _____ day of _____, 20____

By JEFFERY COLWELD as _____ (type of authority, ... e.g. officer, trustee, attorney in fact)

For FILMORE REALTY (name of party on behalf of whom instrument was executed)

Personally known or _____ produced the following type of identification: _____



(Signature of Notary Public)

Under Penalties of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief (Section 92.525, Florida Statutes).

Signature(s) of Owner(s) or Owner(s)' Authorized Officer/Director / Partner/Manager who signed above:

By _____ By _____

Rev. 08-09-07 (S Recording)



By [Signature] County Administrator
By [Signature] Deputy Clerk
I hereby certify this document to be a true, correct and complete copy of the record filed in my office. Dated this 9th day of March, 2017

1



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#)

Detail by Entity Name

Florida Profit Corporation
FILMORE REALTY CORP.

Filing Information

Document Number 260535
FEI/EIN Number 59-1010184
Date Filed 07/03/1962
State FL
Status ACTIVE

Principal Address

3850 HOLLYWOOD BLVD.
 SUITE #400
 HOLLYWOOD, FL 33021

Changed: 06/06/1989

Mailing Address

3850 HOLLYWOOD BLVD.
 SUITE #400
 HOLLYWOOD, FL 33021

Changed: 06/06/1989

Registered Agent Name & Address

ZEMEL, FRANKLIN L
 C/O ARNSTEIN & LEHR LLP
 200 EAST LAS OLAS BLVD., SUITE 1000
 FORT LAUDERDALE, FL 33301

Name Changed: 04/26/2011

Address Changed: 04/09/2015

Officer/Director Detail

Name & Address

Title VP

JEFFREY, CORNFELD D
 3850 HOLLYWOOD BLVD #400
 HOLLYWOOD, FL





| | | | |
|------------------------|---|----------------|-----------------|
| Site Address | 1051 S SOUTHLAKE DRIVE, HOLLYWOOD 33019 | ID # | 5142 14 02 0960 |
| Property Owner | FILMORE REALTY CORP 954-989-2000 | Millage | 0513 |
| Mailing Address | 3850 HOLLYWOOD BLVD #400 HOLLYWOOD FL 33021 | Use | 00 |

| | |
|--------------------------------------|---|
| Abbreviated Legal Description | HOLLYWOOD LAKES SECTION 1-32 B LOT 28 AND E1/2 OF LOT 29, BLK 54 TOG WITH PART OF MADISON ST AND PART OF BLK 77, BOUNDED ON S BY N/L OF BLK 54, ON N BY BLK 76, ON E BY THE NLY EXTENDED E/L OF LOT 28, ON THE W BY THE NLY EXTENDED W/L OF THE E1/2 OF LOT 29, LESS S 30 FOR ROAD RW |
|--------------------------------------|---|

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

| Property Assessment Values | | | | | |
|--|-------------|----------|---------------------|----------------------|-------------|
| Click here to see 2016 Exemptions and Taxable Values to be reflected on the Nov. 1, 2016 tax bill. | | | | | |
| Year | Land | Building | Just / Market Value | Assessed / SOH Value | Tax |
| 2017 | \$1,232,260 | | \$1,232,260 | \$1,232,260 | |
| 2016 | \$1,232,260 | | \$1,232,260 | \$1,232,260 | \$26,276.70 |
| 2015 | \$1,140,990 | | \$1,140,990 | \$1,140,990 | \$24,889.21 |

| 2017 Exemptions and Taxable Values by Taxing Authority | | | | |
|--|-------------|--------------|-------------|-------------|
| | County | School Board | Municipal | Independent |
| Just Value | \$1,232,260 | \$1,232,260 | \$1,232,260 | \$1,232,260 |
| Portability | 0 | 0 | 0 | 0 |
| Assessed/SOH | \$1,232,260 | \$1,232,260 | \$1,232,260 | \$1,232,260 |
| Homestead | 0 | 0 | 0 | 0 |
| Add. Homestead | 0 | 0 | 0 | 0 |
| Wid/Vet/Dis | 0 | 0 | 0 | 0 |
| Senior | 0 | 0 | 0 | 0 |
| Exempt Type | 0 | 0 | 0 | 0 |
| Taxable | \$1,232,260 | \$1,232,260 | \$1,232,260 | \$1,232,260 |

| Sales History | | | |
|---------------|-------|-------------|------------------|
| Date | Type | Price | Book/Page or CIN |
| 10/19/2016 | CE*-D | \$200 | 114033386 |
| 12/2/2013 | SW*-E | \$2,700,000 | 111961858 |
| 4/26/2007 | WD*-Q | \$3,100,000 | 44061 / 251 |
| 4/16/2007 | WD*-T | \$100 | 43955 / 413 |
| 6/30/2004 | WD* | \$3,000,000 | 37793 / 750 |

| Land Calculations | | |
|------------------------|--------|------|
| Price | Factor | Type |
| \$70.21 | 17,551 | SF |
| | | |
| | | |
| | | |
| Adj. Bldg. S.F. | | |

* Denotes Multi-Parcel Sale (See Deed)

| Special Assessments | | | | | | | | |
|---------------------|------|-------|-------|------|------|-------|-------|------|
| Fire | Garb | Light | Drain | Impr | Safe | Storm | Clean | Misc |
| 05 | | | | | | | | |
| L | | | | | | | | |

FORM FOR "SPECIAL BUILDING INSPECTOR"
SECTION 110.10 - BROWARD COUNTY ADMINISTRATIVE CODE
AND THE FLORIDA BUILDING CODE, 5th Edition (2014)

NOTICE TO PROPERTY OWNER:

You are hereby directed in accordance with Section 110.10.1 or 110.10.2 of the Broward County Administrative Code and the Florida Building Code to retain a Special Structural Inspector (A Florida Registered Architect or Licensed Engineer) to perform the following mandatory or discretionary inspections, as outlined in Section 110.10 of the Florida Building Code and submit progress reports, inspections reports, and a Certificate of Compliance to the Building Official as per Sections 110.10.6 and 110.10.7 of the Florida Building Code.

Note: The Building Official determines which discretionary inspections are to be delegated.

DATE: 3/8/2017 IDENTIFICATION, CONTROL OR BUILDING PERMIT # _____
 PROJECT NAME: FILMORA REALTY MIAMI' E CONST
 JOB ADDRESS: 16511 S SOUTH LAKE AVE ZIP: 33019
 LEGAL DESCRIPTION: HOLLYWOOD LAKES FOLIO #: 5142-14-02 0960

A. MANDATORY INSPECTIONS TYPE BY CODE:

- 1) Precast Concrete Units – Section 110.10.2.1 Yes No
- 2) Reinforced Unit Masonry – Section 110.10.2.2 (per ACI 530.1-13-Level B Quality Assurance)*
 *unless noted otherwise on plan..... Yes No
- 3) Connections – 110.10.2.3 Yes No
- 4) Metal System Buildings – Section 110.10.2.4..... Yes No
- 5) Smoke Control Systems – Section 110.10.2.5..... Yes No

B. DISCRETIONARY INSPECTION TYPE BY BUILDING OFFICIAL:

- 1) Building Structures or part thereof of Unusual Size, Height, Design or Method of Construction and
 Critical Structural Connections – Section 110.10.1.1 Yes No
- 2) Windows, Glass Doors and Curtain Walls on buildings over two (2) stories – Section 110.10.1.1 Yes No
- 3) Pile Driving Only – Section 110.10.1.1 Yes No
- 4) Precast Concrete Units – Section 110.10.2.1 Yes No
- 5) Reinforced Unit masonry – Sections 110.10.2.2 Yes No
- 6) Other..... Yes No

C. MANDATORY DOCUMENTATION

- 1) Inspection schedule stating the specific inspection that will be made and at what phase of construction must be submitted with this application.
- 2) Progress Report/Inspection reports during construction in accordance with Section 110.10.6.
- 3) Certificate of Compliance must be submitted prior to the scheduling of the final building inspection, Section 110.10.7.

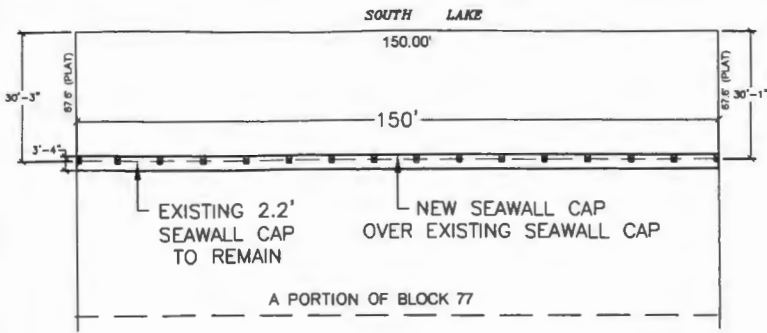
ACKNOWLEDGMENT

Owner's Signature: [Signature] Permit Holder's Signature: [Signature]
 Printed Name: SHARLY COLWELL Printed Name: JASON KLIN
 License # (if applicable): _____ License #: egc-1521764

SPECIAL BUILDING INSPECTOR:

Registered Architect and/or Licensed Engineer
 Signature of Special Building Inspector, Embossed Seal AND Date: [Signature] 2/7/17
 Printed Name of Special Building Inspector: Oscar Bermudez
 Address of Special Building Inspector: 2237 Woods Edge Cir, Orlando, FL 32817
 State of Florida Registration # 35194 Fax # _____ Telephone # 712-708-7785
 Date: _____

Building Official (or designated representative)



PLAN VIEW
SCALE- N.T.S.



LOCATION MAP

GENERAL NOTES

GENERAL

ALL ELEVATION ON PLANS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.

ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF DESIGN CONSULTANT AND THE ENGINEER BEFORE PROCEEDING WITH WORK.

IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE AND FEDERAL ENVIRONMENTAL AND BUILDING PERMIT ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.

THE WORK SPECIFIED HEREIN HAS BEEN DESIGNED & ALL WORK SHALL BE IN ACCORDANCE WITH STRUCTURAL PROVISIONS OF THE 5TH EDITION 2014 FLORIDA BUILDING CODE.

HARDWARE

1. ALL MISCELLANEOUS STEEL COMPONENTS, BOLTS AND HARDWARE SHALL BE TYPE 316 STAINLESS STEEL UNLESS OTHERWISE SPECIFIED ON PLANS.

PRECAST CONCRETE PILING

1. PRECAST CONCRETE DOCK PILES SHALL BE 12'x12' PILES W/5000 PSI MIN. CONCRETE 4-7/16' DIAMETER 270 KSI ASTM A416 LOW-LAX STRANDS W/24' MIN. CONCRETE COVE TO TIES DRIVEN TO A MINIMUM BEARING CAPACITY OF 25 TONS WITH 12' MINIMUM PENETRATION INTO MATERIAL BELOW SILT LAYER
2. PILES SHALL BE CUT OFF AT ELEVATIONS SHOWN ON THE PLANS @ SECTION

WOOD

1. PRIMARY WOOD FRAMING MEMBERS SHALL BE NO. 2 PRESSURE TREATED SOUTHERN PINE OR BETTER. (FB=1050 PSI MINIMUM)

MISCELLANEOUS

1. FASTENERS EMBEDDED INTO CONCRETE STRUCTURES SHALL BE ANCHORED WITH TWO-PART EPOXY ADHESIVE (RAWL-CHEM-FAST CARRIDGE SYSTEM OR EQUAL). ANCHOR HOLES SHALL BE DRILLED TO 1/8" GREATER THAN THE SPECIFIED FASTENER SIZE. HOLES SHALL BE DRILLED TO A MINIMUM DEPTH SHOWN ON THE PLANS & SHALL BE THOUGHLY CLEANED OUT AND DRY PRIOR TO INJECTION OF EPOXY.

LOADS

LL= 40 PSF DL = 10 PSF

TURBIDITY BARRIER

APPROVED TURBIDITY BARRIERS SHALL REMAIN IN PLACE DURING ALL PHASES OF IN WATER CONSTRUCTION.

APPROVED
APR 10 2017
CITY OF HOLLYWOOD, FLA.
STRUCTURAL

APPROVED
Planning/Zoning
APR - 4 2017
City of Hollywood, FL
Initial

APPROVED
APR 10 2017
CITY OF HOLLYWOOD, FLA.
STRUCTURAL

FILE NO. **NEW 150' CONCRETE SEAWALL CAP**

PROJECT: **Cornfeld Group
1051 S. Southlake Drive
Hollywood, Florida**

DATE: **1/23**

REVISION: **1**

SCALE: **1"=20'**

DATE: **02/03/17**

DWG. BY: **UNOS/RRH**

REVISED: **UNOS/RRH**

ACAD. FILE: **UNOS/RRH**

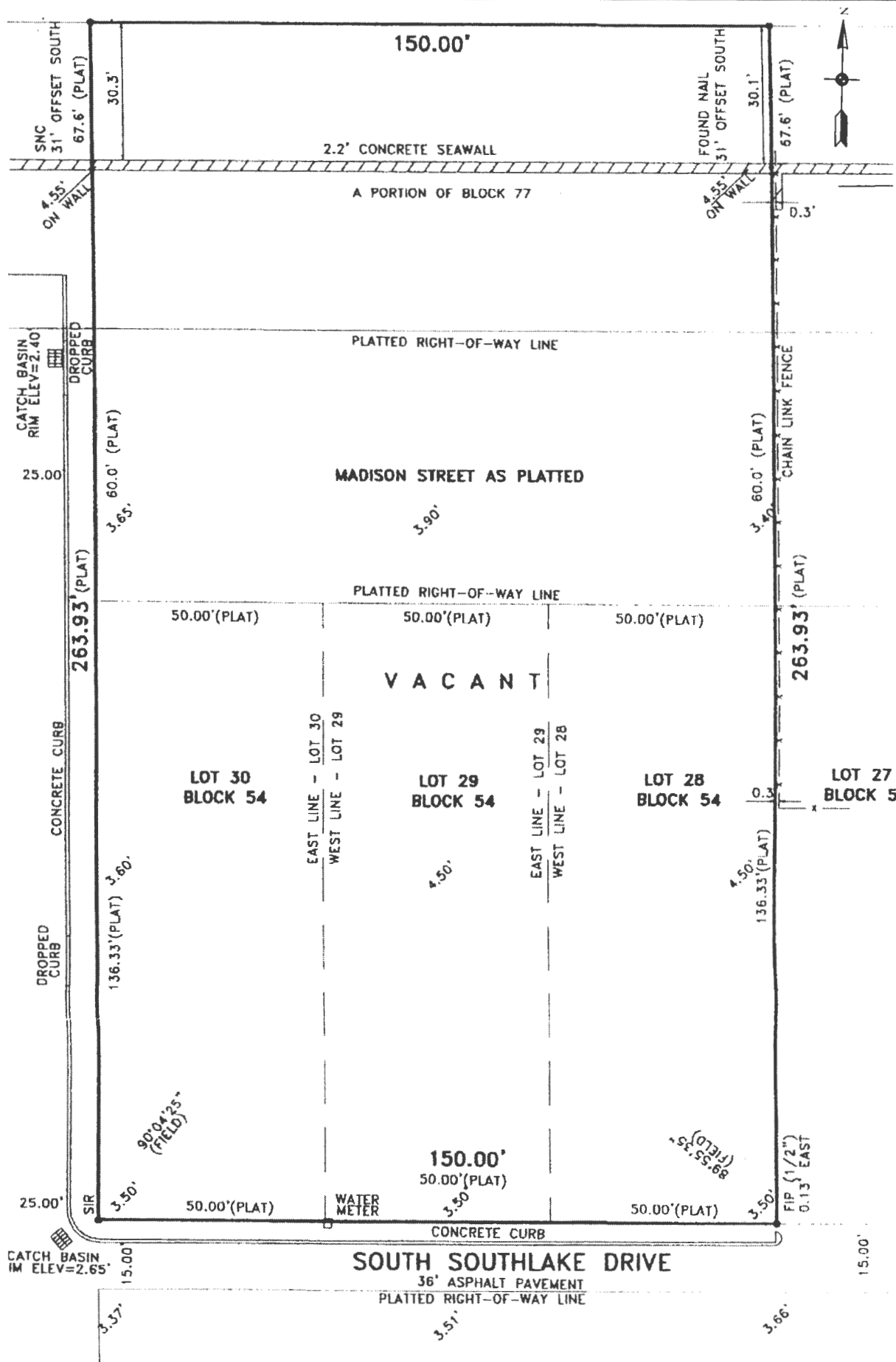
DATE: **2/1/14**

OSCAR M. BERMUDEZ, P.E., P.E.
Reg. Florida No. 55144

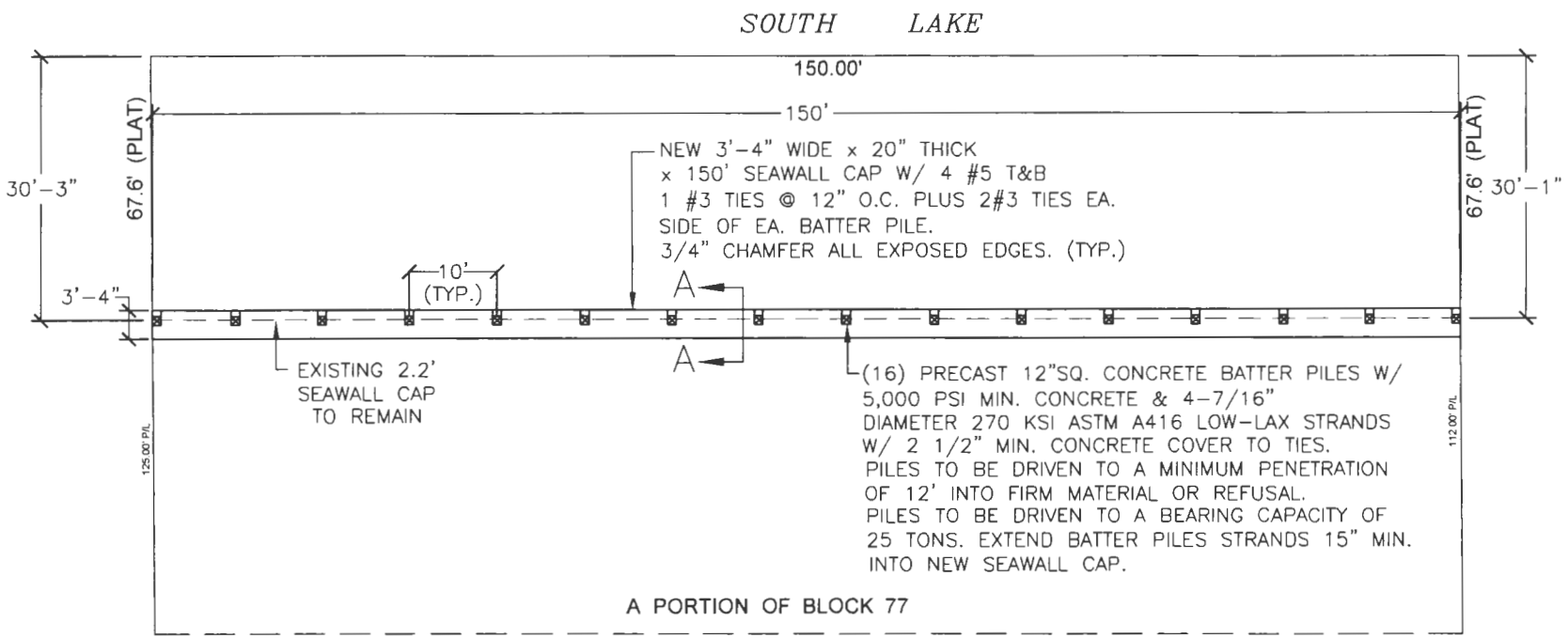
OSCAR M. BERMUDEZ, P.E., P.E.
Reg. Florida No. 55144

(772)-708-1785

SCALE 1 = 30
SITE PLAN



| | | | | | |
|---------------------|----------|--|---|---|--------------|
| TITLE S-2 | PROJECT: | SCALE: 1" = 30' DATE: 01/21/17 DWG BY: Linda Ruffe REVISED: BIDS DATE: ACAD FILE: | No. REVISION DATE | OSCAR M. BERMUDEZ, P.E., P.E. Reg. Florida No. 55175 <i>Oscar M. Bermudez</i> B&B Consulting Engineers 2337 Woodside Edge Circle Orlando Florida 32817 (772)-708-7785 (772)-708-7787 | Date: 2/7/17 |
| | PROJECT: | TITLE: | No. REVISION DATE: | OSCAR M. BERMUDEZ, P.E., P.E. Reg. Florida No. 55175 | Date: 2/7/17 |



PLAN VIEW

SCALE 1/8"=1'-0"

THE WORK SPECIFIED HEREIN HAS BEEN DESIGNED & ALL WORK SHALL BE IN ACCORDANCE WITH STRUCTURAL PROVISIONS OF THE 5th EDITION 2014 FLORIDA BUILDING CODE.
APPROVED TURBIDITY BARRIERS SHALL REMAIN IN PLACE DURING ALL PHASES OF IN WATER CONSTRUCTION.

Date: *MLK*

OSCAR M. BERMUDEZ P.E., P.E.
Reg. Florida No. 55144

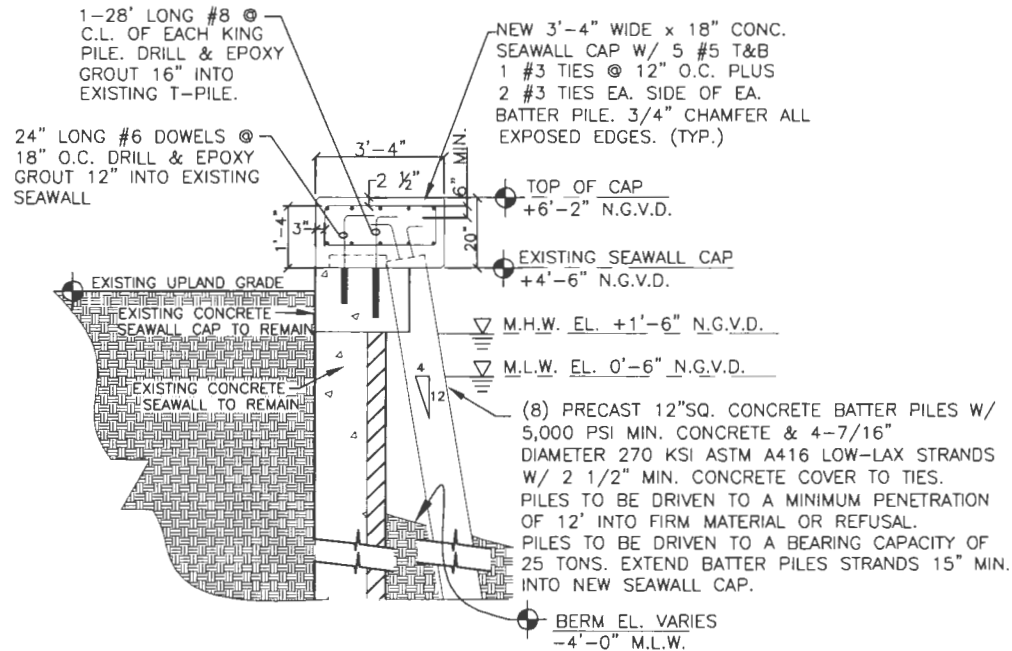
Oscar M. Bermudez
Civil Consulting Engineers
2035
Culver Road
Tampa, FL 33613
(813) 785-7765 (977) 785-7767

| SCALE | DATE | CHK. BY | REVISED | PROJ. DATE | ACAD. FILE |
|------------|----------|---------|---------|------------|------------|
| 1/8"=1'-0" | 01/21/17 | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

| | |
|------|---------|
| DATE | PROJECT |
| S-3 | |

NO CHANGES IN UPLAND GRADE/ ELEVATION.
 PROPOSED SITE IMPROVEMENTS WILL NOT
 ADVERSELY AFFECT NEIGHBORING PROPERTIES
 AND RIGHT OF WAY. STORM WATER RUNOFF TO
 REMAIN ON SITE

NOTE:
 3" STEEL CLEAR COVER TO CONCRETE



VIEW A-A
 N.T.S.

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Date: 2/7/14

OSCAR M. BERMUDEZ, P.E., P.E.
 Reg. Florida No. 55194

Oscar M. Bermudez
 OMB Consulting Engineers
 10000 SW 11th St., Suite 100
 Miami, Florida 33177 (772)-708-7785 (772)-708-7787

| DATE | REVISION | NO. | NTS | SCALE |
|------|----------|-----|-----|-------|
| | | | | |

**NEW 75' CONCRETE SEAWALL CAP
 AND NEW 60' WOOD DOCK**
 Michael Sher
 2380 BAYVIEW LANE
 NORTH MIAMI, FL. 33181

DRAWING NO. **S-4**
 REVISION 1 DATE 1/23



Environmental Protection and Growth Management Department
PLANNING AND DEVELOPMENT MANAGEMENT DIVISION
1 North University Drive, Building A, Suite 102 Plantation, Florida 33324 954-357-6666 FAX 954-357-6521

Broward County Environmental Review Approval Certificate

Issue Date: 2/14/2017

ER Review #: 000403958

Title of Drawings: Filmore Realty Marine Construction

Project#: Fill 100

Plan Last Revision Date: 02-FEB-17

Bldg Dept Jurisdiction: Hollywood

Legal Description: Plat Name: HOLLYWOOD LAKES SECTION **Lot:** 28-29 **Block:** 54

Address: 1051 S SOUTHLAKE DRIVE, Hollywood, Fl. 33019

Construction Type: Other

This approval is issued in accordance with Sec. 27.66 of the Broward County Natural Resource Protection Code. This approval is specific for the plans and description described on this approval, any changes in footprint, Lot #, or bedrooms or use will require a new approval.

APPROVED

- ATTENTION** THE BUILDING DEPARTMENT IS NOT REQUIRED TO ELECTRONICALLY UPDATE BUILDING PERMIT AND CO FOR THIS PROJECT
- COMMENTS** INSTALL NEW BATTER PILES AND SEAWALL CAP.

If a building permit is not applied for within 30 days of the Environmental Review Approval, plans must be re-submitted to the Planning and Development Management Division for re-evaluation.

Environmental Reviewer Name: Greg Whitaker



Environmental Protection and Growth Management Department
 PLANNING AND DEVELOPMENT MANAGEMENT DIVISION
 1 North University Drive, Building A, Suite 102 Plantation, Florida 33324 954-357-6666 FAX 954-357-6521

Broward County Transportation Concurrency Satisfaction Certificate

*** Please note that this approval does not constitute Environmental Review Approval. You will still need the Environmental Approval Certificate to submit to the Building Department.**

Issue Date: 02/14/2017

DR Review #: 0050180

Application Number: 000403958

Title of Drawings: Filmore Realty Marine Construction

Project#: Fill 100

Plan Last Revision Date: 02-FEB-17

Bldg Dept Jurisdiction: Hollywood

Legal Description: Plat Name: HOLLYWOOD LAKES SECTION
 Plat Number: Book: 1 Page: 32

Lot: 28-29 **Block:** 54

Address: 1051 S SOUTHLAKE DRIVE, Hollywood, Fl. 33019

Construction Type: Other

This approval is issued in accordance with Sec. 27.66 of the Broward County Natural Resource Protection Code. This approval is specific for the plans and description described on this approval. Any changes in footprint, Lot #, or bedrooms or use will require a new approval.

Development Review

BUILDING OFFICIAL: No Impact/Concurrency Fees Due to Broward County Planning & Development Management Division
 INSTALLATION OF NEW BATTER PILES AND SEAWALL CAP
 Receipt# 0050180

TRANSPORTATION CONCURRENCY SATISFACTION: Certificate is hereby issued

*Any revision to these plans requires a new development review by the division.

If a building permit is not applied for within 30 days of the Environmental Review Approval, plans must be re-submitted to the Planning and Development Management Division for re-evaluation.

Development Reviewer Name: Kim Marcellus



Environmental Protection and Growth Management Department
ENVIRONMENTAL LICENSING and BUILDING PERMITTING DIVISION
1 North University Drive, Suite 201-A Plantation, FL 33324
Phone: 954-519-1483 Fax: 954-519-1412

BROWARD COUNTY
Environmental Licensing and Building Permitting Division
ENVIRONMENTAL RESOURCE GENERAL LICENSE

GL-HWD1702-019

Broward County Code(s): 27-336(a)(1)b., 27-336(a)(1)f.

Applicant: Jeffery Cornfeld

1051 S SOUTH LAKE DR, Hollywood

Description: Installation of new batter piles and seawall cap.

Issue Date: 02/13/2017

Expiration Date: 02/13/2019

The above project has been reviewed and was verified to meet the criteria outlined in Chapter 27-336(a)(1) of the Broward County Natural Resource Protection Code for the issuance of this Environmental Resource General License (GL). This approval is specific for the plans and description described on this verification. Any changes to project footprint, design or size must be reviewed by the Department and may require additional licensing.

Construction shall be in accordance with the submitted Application, the approved plans and the attached General Conditions. This approval does not authorize impacts to natural resources (mangroves, sea grasses, etc). Failure to comply with the license conditions may result in suspension or revocation of the license and/or enforcement actions.

Issuance of this license does not relieve the licensee from obtaining any other required federal, state or local permits or authorizations required for this project prior to commencement.

Per Section 27-58(b)(9), "The licensee, by acceptance of this license, specifically agrees to allow access and shall allow access to the licensed source, activity, or facility at times to the COUNTY personnel for the purposes of inspection and testing to determine compliance with this license and this chapter."

Aquatic and Wetland Resources Reviewer: Brandon Justice

Telephone: (954) 519-1228

email: bjustice@broward.org

1. The terms, conditions, requirements, limitations and restrictions set forth herein are accepted by the licensee and enforceable by EPGMD pursuant to this chapter. EPGMD will review this license periodically and may revoke the license, initiate administrative and/or judicial action for any violation of the conditions by the licensee, its agents, employees, servants or representatives or principals.
2. This license is valid only for the specific uses set forth in the license application, and any deviation from the approved uses may constitute grounds for revocation and enforcement action by EPGMD.
3. In the event the licensee is temporarily unable to comply with any of the conditions of the license, the licensee shall notify EPGMD within twelve (12) hours. Within five (5) working days of the event, the licensee shall submit a written report to EPGMD that describes the incident, its cause, the measures being taken to correct the problem and prevent its reoccurrence, the owner's intention toward repair, replacement, and reconstruction of destroyed facilities, and a schedule of action leading toward operation within the license conditions.
4. The issuance of this license does not convey any vested rights or exclusive privileges, nor does it authorize any injury to public or private property or any invasion of personal rights, or any violations of federal, state or local laws or regulations.
5. This license must be available for inspection on the licensee's premises during the entire life of the license.
6. By accepting this license, the licensee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this permitted source, that are submitted to EPGMD, may be used by EPGMD as evidence in any enforcement proceeding arising under Chapter 27, except where such use is prohibited by § 403.111, F.S.
7. The licensee agrees to comply with Chapter 27, as amended.
8. Any new owner of a licensed facility shall apply by letter for a transfer of license within thirty (30) days after sale or legal transfer. The transferor shall remain liable for performance in accordance with the license until the transferee applies for, and is granted the transfer of license. The transferee shall also be liable for performance in accordance with the license.
9. The licensee, by acceptance of this license, specifically agrees to allow access to the licensed source at reasonable times by EPGMD personnel for the purposes of inspection and testing to determine compliance with this license and this Chapter 27.
10. This license does not constitute a waiver or approval of any other license that may be required for other aspects of the total project.
11. If the licensee wishes to renew a license or extend its term, the licensee shall make application sixty (60) days prior to its expiration. Expired licenses are not renewable.
12. In addition to the general conditions set forth above, each license issued by EPGMD shall contain specific conditions determined by site conditions and requirements pursuant to the regulations as determined by the director of EPGMD. The licensee agrees that specific conditions are enforceable by EPGMD for any violation thereof.
13. Enforcement of the terms and provisions of this license shall be at the reasonable discretion of EPD, and any forbearance on behalf of EPD to exercise its rights hereunder in the event of any breach by the licensee shall not be deemed or construed to be a waiver of EPD's rights hereunder.

Standard Specific Conditions
(Required for all licenses)

GL-HWD1702-019

1. Notify EPD in writing a minimum of forty-eight (48) hours prior to project commencement and a maximum of forty-eight (48) hours after project completion.
2. Notify the Department immediately in the event of any project-caused environmental problem(s).
3. All project generated solid waste and/or spoil material must be disposed of in a suitable
4. Turbidity screens or equivalent shall be properly deployed and maintained as necessary during construction activities so that turbidity levels do not exceed twenty-nine (29) NTU's above natural background fifty (50) feet downstream of project.
5. Only clean fill and clean demolition materials shall be placed in the water bodies being filled. Clean demolition materials include things such as brick, stone, ceramic and concrete rubble which are uncontaminated by other materials. Any fill material used shall be free of garbage, rubbish, refuse, asphalt, hazardous materials, organic matter such (as) wood, lumber, tree or tree trimmings, or other contaminants. The disposal of any putrescible or deleterious debris in any water body is prohibited.
6. This license does not eliminate the necessity to obtain any required federal, state, local or special district permit/license/approval prior to the start of any activity authorized by this license.

Project Specific Conditions

GL-HWD1702-019

1. All watercraft associated with the construction and use of the permitted structure shall only operate within waters of sufficient depth so as to preclude bottom scouring or prop dredging. Specifically, there shall be a minimum 12-inch clearance between the deepest draft of the vessel (with the motor in the down position) and the top of any submerged resources or canal bottom at mean low water.
2. Backfill material shall be clean fill as defined by Section 27-332 of Broward County's Code.
3. No dredging other than that required for proper installation of the proposed seawall as authorized by this license.
4. The seawall wetface shall be located within 1' of the existing seawall wetface and shall be constructed as shown on the attached drawings. The seawall returns shall not conflict with any existing setbacks or drainage or other utility easements.
5. Turbidity levels shall be monitored and recorded if a visible turbidity plume is observed leaving the site during construction activities. If monitoring reveals that turbidity levels exceed 29 NTU's above natural background 50 feet downstream of the point of discharge, project activities shall immediately cease, and work shall not resume until turbidity levels drop to within these limits [62-302.530(69) FAC].

6. Turbidity screens, silt fences, or equivalent shall be properly employed and maintained as necessary to effectively contain suspended sediments and/or runoff during construction activities. Dredging, filling, excavation, seawall removal, seawall construction, and other projects which result in similar degrees of disturbance to wet sediments shall in all cases employ turbidity control measures designed to effectively enclose the entire work area. Connected turbidity curtain segments shall be overlapped and tied at the top and bottom so as to prevent turbidity from escaping through gaps between segments.

**APPLICATION FOR AN ENVIRONMENTAL RESOURCE
GENERAL LICENSE**

Mailing Address:

Planning & Environmental Regulation Department
1 North University Drive, Suite 201
Plantation, Florida 33324

Application Fee: \$ 100.00

Make Check payable to:
Broward County Board of
County Commissioners

To be completed by Department Staff:

Fee Statement No: _____

License No: _____

Questions 1 - 9 must be completed. The submittal of the following information with the application will help ensure timely processing and is necessary for staff to effectively evaluate each proposed project:

- The correct number of signed & sealed plans you will need for the city, contractor, etc.
plus one copy for the county to retain on 8 1/2 x 11" paper
- A copy of a property survey clearly depicting the **existing** conditions. Please be sure all over water structures are clearly labeled with the dimensions as **measured from the wet face of the seawall**.
- Photographs of existing conditions, if possible (*to be kept by THE COUNTY*);
- A location / street map with the project site identified;
- Proof of ownership or sufficient interest in the project property;
- Plan view and cross-sectional drawings showing the proposed project to include:
 - accurate dimension of length and width for **all structures** over water measured **from the wet face of the seawall** (seawall cap, docks, boardwalks, boatlifts, floating docks, etc.)
 - the Mean High Water Level (MHW), Mean Low Water and substrate elevation (referenced to NGVD or Mean Sea Level)
 - the height of the proposed dock above MHW
 - name and width of water body
 - presence of any **wetland** or **benthic** (seagrasses, oysters, etc.) communities;
- If maintenance dredging is proposed, please provide:
 - documentation of original dredged depth
 - plan view of dredging location, with approximate dimensions
 - cross-sectional drawings depicting historical, existing and proposed conditions with elevations labeled.
 - amount of material to be removed (in cubic yards); and,
- If the proposed project will be constructed on property owned by a homeowners or condominium association, a letter from the association approving the project is required.

1. **Agent processing application:** Frank Mormando / Bottom Line Construction Mgmt

Street: 340 Sunset Drive Suite 1605

City: Fort Lauderdale State: Florida Zip: 33301

Telephone: 954-2749275 Fax: 954-274-9275

Email: FMNYC@AOL.com

SELECT ONE: Mail license back: _____ Hold for pick-up: _____ **X** _____

2. **Contractor to do work:** Contour Marine

Street: 1040 Adams Street

City: Hollywood State: Florida Zip: 333012

Telephone: 954-274-9275 Fax: 954-274-9275

Email: TOM@CONTOURMARINE.COM

3. **Property Owner Name:** FILMORE REALTY GROUP/JEFFERY CORNFELD

Street: 3850 HOLLYWOOD BLVD SUITE 400

City: HOLLYWOOD BEACH State: Florida Zip: 33021

Telephone: 954-989-2000 Fax: 954-356-8147

Email: JEFF@CORNFELDDGROUP.COM

APPLICATION FOR AN ENVIRONMENTAL RESOURCE GENERAL LICENSE

4. *Location of proposed work:* 1051 S.SOUTHLAKE Folio #: 5142 14 02 0960
Street: 1051 S SOUTHLAKE City: HOLLYWOOD BEACH Zip: 33021
5. Are there any existing structures at the proposed work site that have been licensed by this agency? If so, provide license number _____. Are there any other pending applications with this agency? If so, for what type of license _____ and when was it submitted _____?

PLEASE BE ADVISED THAT THE PERSON(S) SIGNING BELOW IS/ARE CERTIFYING THAT THE PROPOSED PROJECT WILL BE IN COMPLIANCE WITH THE FOLLOWING CRITERIA FOR OBTAINING AN ENVIRONMENTAL RESOURCE GENERAL LICENSE.

A General License does not authorize any mangrove alteration activities, impacts to any submerged aquatic vegetation (seagrasses) or other natural resources.

6. *Provide a complete description of the proposed project:* SUPPLY AND DRIVE (16) 12" CONCRETE PRESTRESSED BATTER PILES. FORM AND POUR A NEW SEAWALL CAP 42"WIDEX20"HIGHX150LF LONG
7. *Description of proposed work (check all applicable items)* Section 27-336(a)(1).
- (a) The repair or replacement of existing functional docks, provided that no additional waterward fill is used and the new or repaired dock is not enlarged beyond a total of 500 square feet over-water surface area for the new and existing structure.
 - (b) The repair, maintenance, or restoration of existing functional seawalls no more than one foot waterward of their original authorized location.
 - (c) The relocation within an already approved right-of-way, repair or maintenance of existing utility transmission or distribution lines and associated adjacent facilities required to effect the repair.
 - (d) New lake or pond excavation of less than 2 acres, but equal to or greater than 1 acre, that are not connected with and do not exchange water with any other surface water body of wetland, except by means of a permitted overflow structure.
 - (e) The installation of private, noncommercial docks of 500 square feet or less over water surface area, where no dredging or filling is required except to install the pilings.
 - (f) Projects which are within isolated wetlands or lakes and/or otherwise, in the opinion of THE COUNTY, will not significantly degrade the environment (boatlifts, mooring pilings, headwalls, culverts, etc.)
 - (g) Proposed or existing rock quarry excavations. (Please see Section 27-336(a)(1) for additional information)
 - (h) The construction, repair, maintenance or operation of any permitted storm water control/treatment structure when not exempt pursuant to 62-340.700 F.A.C. as amended.
 - (i) The one time dredging of 20 cubic yards or less of sediment from isolated lakes or ponds and residential canals, with no seagrasses within the project site, where the sediment is removed from the waterway and deposited on a self-contained upland site.
 - (j) The installation of natural limerock rip-rap at the waterward face of an existing vertical bulkhead provided that the rip-rap is clean and free of debris, that no seagrasses are covered by the rip-rap, that no dredging or other filling is conducted and that the rip-rap is placed at a slope no steeper than 2H:1V and that no interference to other riparian property rights or navigation occurs.

APPLICATION FOR AN ENVIRONMENTAL RESOURCE GENERAL LICENSE

- [] (k) The repair or replacement of existing functional headwalls, pipes, culverts provided that they are otherwise in compliance with the code and are in artificially created waterways which discharge water for stormwater run off. The pipes must be replaced in the original size and configuration and all elevations must be the same as the pre-replacement condition. All water quality protection features must be utilized and the rerouting of water bodies is not authorized by this General License except by pumps, pipes, or cofferdams. Wetland areas may NOT be impacted by the activity.
- [] (l) The installation of utility or transmission lines laid on or embedded in the substrate provided that no dredging or filling is required and that no scagrasses or significant benthic communities will be affected by the activity.
- [] (m) Existing commercial Rock Quarry Excavations (please see Section 27-336(a)(1) for additional information)
- [] The emergency repair, replacement or maintenance of existing utility transmission or distribution lines, provided that the owner of the damaged facility or the owner's agent provides verbal notice to the county of the condition, its location and expected length of time required for the repair, replacement or maintenance activities. Section 27-336(a)(2)

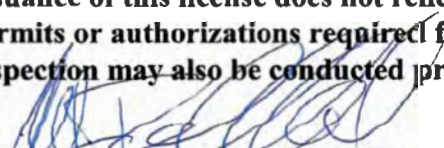
8. Mangrove alteration and certain types of trimming activities require an Environmental Resource License pursuant to Sec. 27-332 of the Broward County Code and Section 403.9321 Florida Statute. The General License does not authorize any mangrove alteration activities.

Are there mangroves on-site? Yes [] No []
 Will this work require mangrove alteration or trimming? Yes [] No []


9. Are there any natural aquatic or submerged resources in the construction area? Yes [] No []
 Natural aquatic resources include seagrasses, oysters, etc. Describe how this determination was made.

Per Section 27-58(b)(9), "The licensee, by acceptance of this license, specifically agrees to allow access and shall allow access to the licensed source, activity, or facility at times to THE COUNTY personnel for the purposes of inspection and testing to determine compliance with this license and this chapter." **Enforcement actions may be initiated for any violations.**

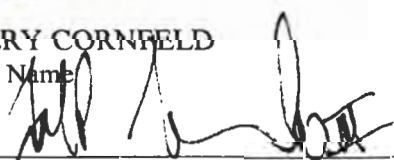
Issuance of this license does not relieve the licensee from obtaining any other required federal, state or local permits or authorizations required for this project prior to commencement. Please be advised a site inspection may also be conducted prior to license issuance to verify existing conditions.



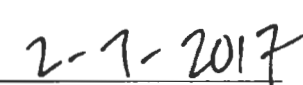
 Signature of property owner



 Date

JEFFERY CORNFELD
 Printed Name


 Signature of Agent

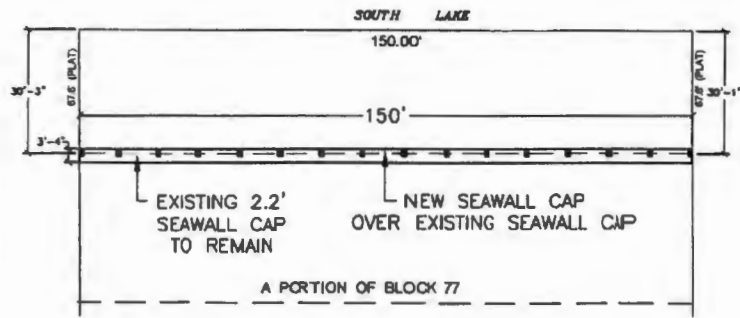


 Date

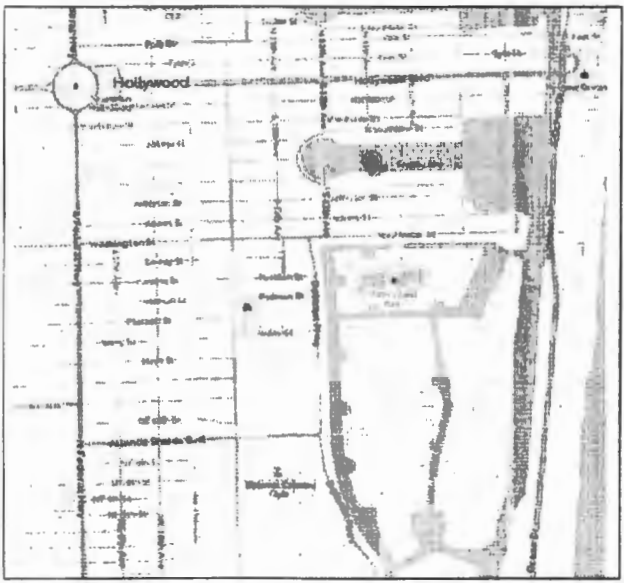
FRANK MORMANDO
 Printed Name

 Wetlands Resources Approval

 Date



PLAN VIEW
SCALE- N.T.S.



LOCATION MAP

GENERAL NOTES

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1. PRIMARY WOOD FRAMING MEMBERS SHALL BE NO. 2 PRESSURE TREATED SOUTHERN PINE OR BETTER. (FB=1050 PSI MINIMUM)

MISCELLANEOUS

1. FASTENERS EMBEDDED INTO CONCRETE STRUCTURES SHALL BE ANCHORED WITH TWO-PART EXOXP ADHESIVE (RAWL-CHEM-FAST CARRIDGE SYSTEM OR EQUAL). ANCHOR HOLES SHALL BE DRILLED TO 1/8" GREATER THAN THE SPECIFIED FASTENER SIZE. HOLES SHALL BE DRILLED TO A MINIMUM DEPTH SHOWN ON THE PLANS & SHALL BE THOUGHLY CLEANED OUT AND DRY PRIOR TO INJECTION OF EPOXY.

LOADS

LL= 40 PSF DL = 10 PSF

TURBIDITY BARRIER

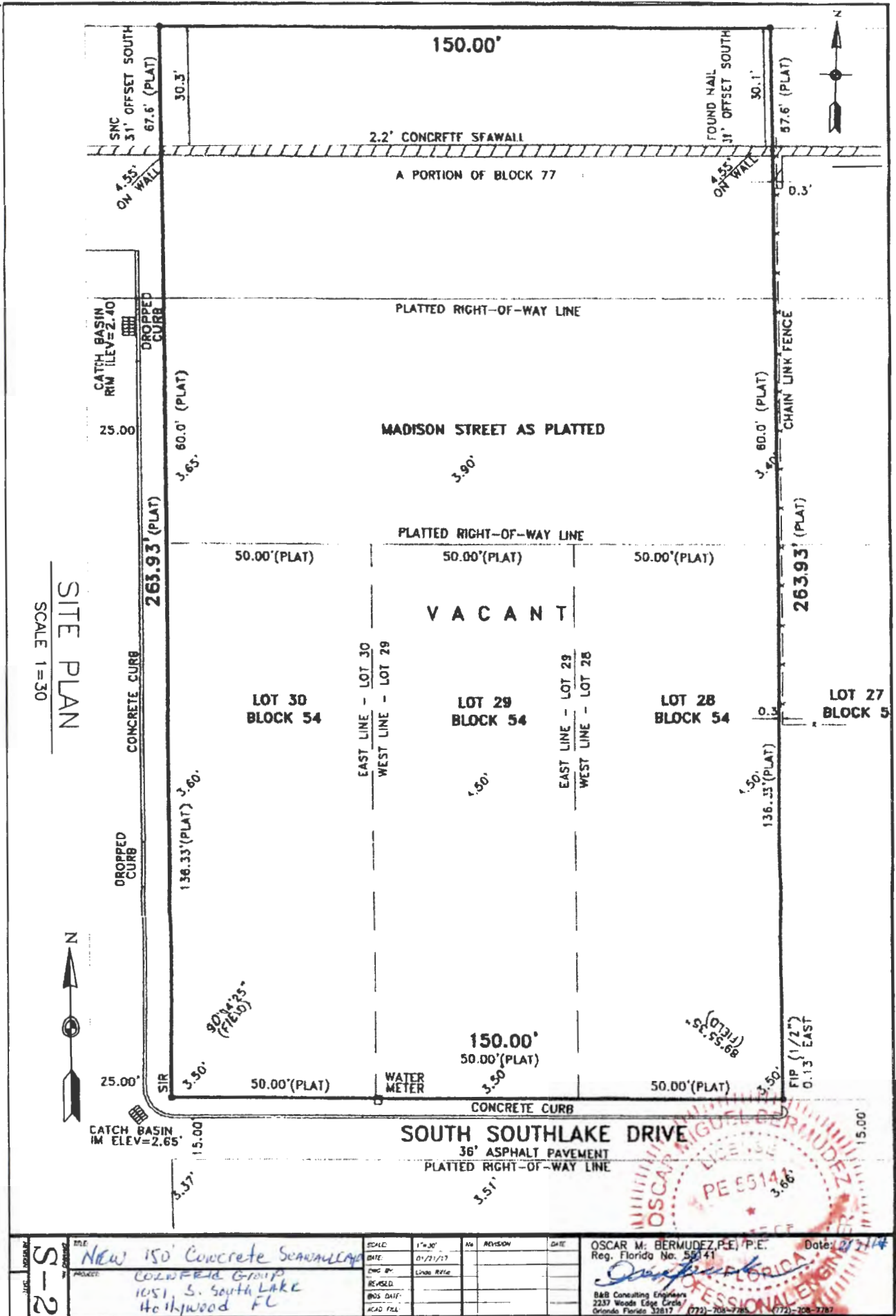
APPROVED TURBIDITY BARRIERS SHALL REMAIN IN PLACE DURING ALL PHASES OF IN WATER CONSTRUCTION.



OSCAR M. BERMUDEZ, P.E., Reg. Florida No. 95141
Date: 12/17/17

844 Consulting Engineers
2337 Woods Edge Circle
Ponca, Florida 33411 (772) 208-7766

| | | | | | |
|---|----------|-----------|----------|------------|------------|
| SCALE: | DATE: | DWG. BY: | REVISED: | ISS. DATE: | ASB. FILE: |
| 1"=10' | 02/02/17 | LOAN PRIN | | | |
| NO. | REVISION | DATE | | | |
| | | | | | |
| NEW 150' CONCRETE SEAWALL CAP | | | | | |
| Cornfeld Group 1061 S. Southlake Drive Hollywood, Florida | | | | | |
| S-1 | | | | | |
| NO. 1 | DATE: | 1/23 | | | |



SITE PLAN
SCALE 1"=30'

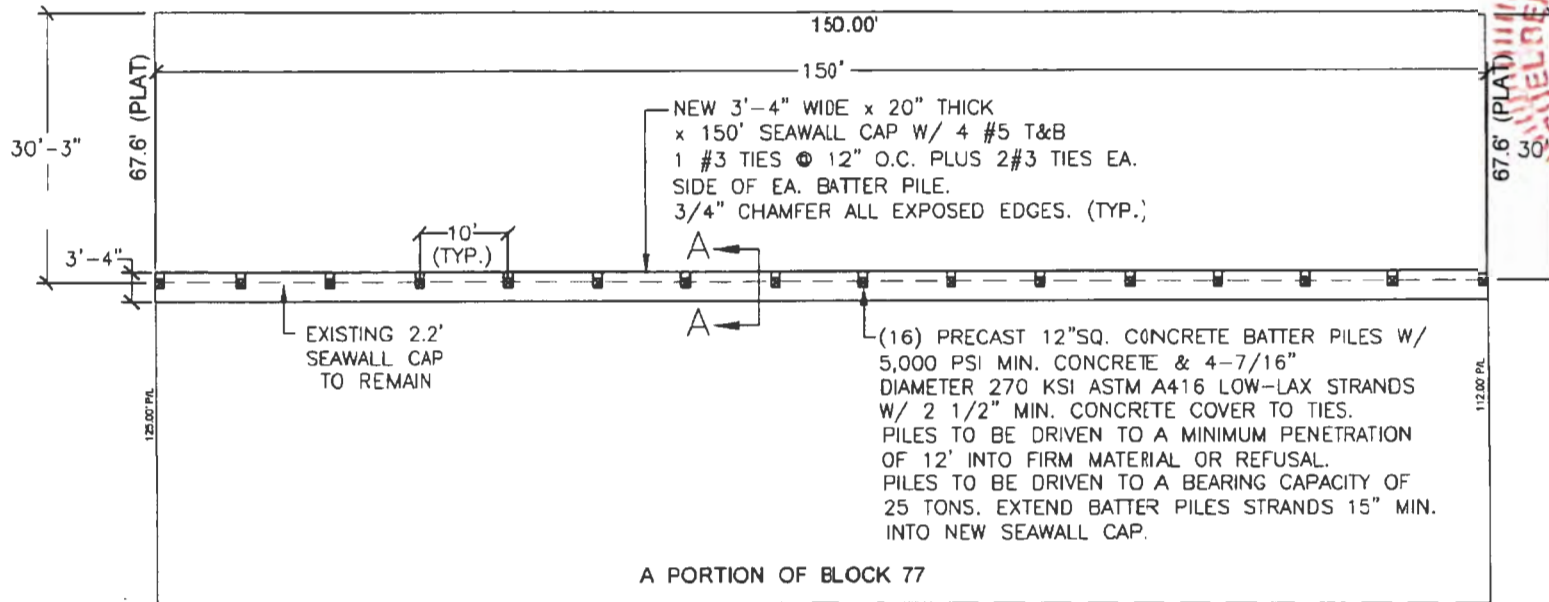


PROJECT: **New 150' Concrete Sewerage**
 CLIENT: **COZUMBA GROUP**
 1051 S. South Lake
 Hollywood FL

| SCALE | 1"=30' | DATE | 01/21/17 | REVISION | DATE |
|-------------|--------|------|----------|----------|------|
| DESIGNED BY | LMR | DATE | | | |
| CHECKED BY | | DATE | | | |
| IN CHARGE | | DATE | | | |
| DATE | | DATE | | | |
| ACAD FILE | | DATE | | | |

OSCAR M. BERMEDEZ, P.E., P.E.
 Reg. Florida No. 58141
 Date: 2/7/17
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 SBB Consulting Engineers
 2237 Woods Edge Circle
 Orlando Florida 32817 (772) 704-7285 (772) 208-7787

SOUTH LAKE



A PORTION OF BLOCK 77

PLAN VIEW

SCALE 1/8" = 1'-0"

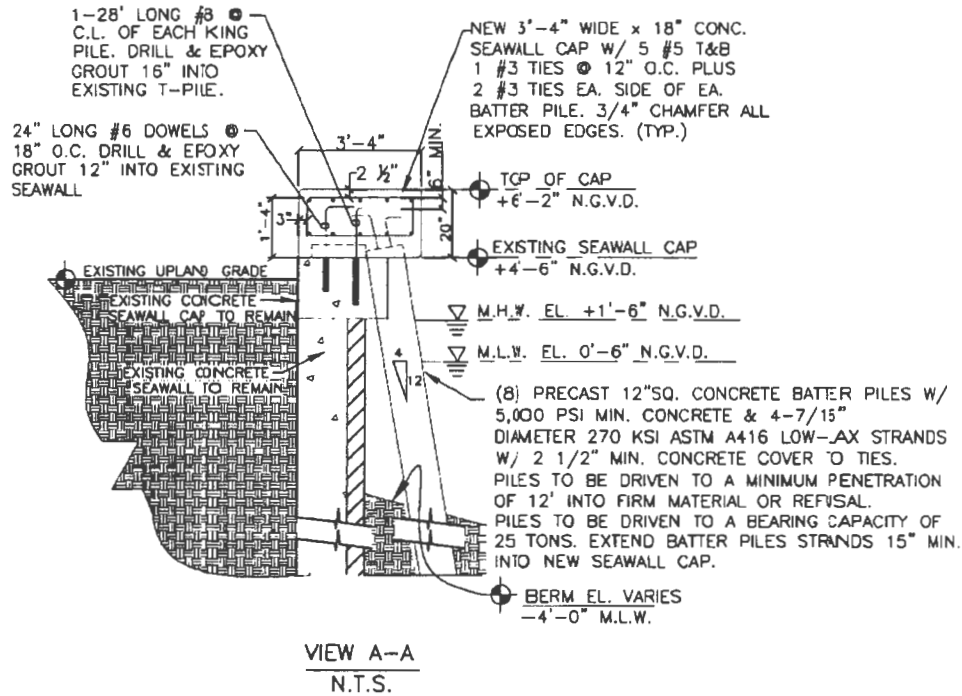
THE WORK SPECIFIED HEREIN HAS BEEN DESIGNED & ALL WORK SHALL BE IN ACCORDANCE WITH STRUCTURAL PROVISIONS OF THE 5th EDITION 2014 FLORIDA BUILDING CODE. APPROVED TURBIDITY BARRIERS SHALL REMAIN IN PLACE DURING ALL PHASES OF IN WATER CONSTRUCTION.



| | | | | | |
|--|----------|-----------------|----------|--------------|----------|
| DATE | REVISION | NO. | DATE | BY | REVISION |
| | | | | | |
| SCALE: | DATE: | DESIGNER: | DATE: | SCALE: | DATE: |
| 1/8" = 1'-0" | 07/17/17 | CONCRETE GROUP | 07/17/17 | 1/8" = 1'-0" | 07/17/17 |
| | | ROSS & SANTIAGO | | | |
| | | HOLLYWOOD FL | | | |
| DEL: NEW 150' CONCRETE SEAWALL CAP PROJECT: CONCRETE GROUP ROSS & SANTIAGO HOLLYWOOD FL | | | | | |
| S-3 | | | | | |

NO CHANGES IN UPLAND GRADE/ ELEVATION.
 PROPOSED SITE IMPROVEMENTS WILL NOT
 ADVERSELY AFFECT NEIGHBORING PROPERTIES
 AND RIGHT OF WAY. STORM WATER RUNOFF TO
 REMAIN ON SITE

NOTE:
 3" STEEL CLEAR COVER TO CONCRETE



THE WORK SPECIFIED HEREIN HAS BEEN DESIGNED & ALL WORK SHALL BE IN ACCORDANCE
 WITH STRUCTURAL PROVISIONS OF THE 5th EDITION 2014 FLORIDA BUILDING CODE.
 APPROVED TURBIDITY BARRIERS SHALL REMAIN IN PLACE DURING ALL PHASES OF IN WATER CONSTRUCTION.



| | | | | | | | |
|-----------------------------------|---------|----|------|--|------|------|------|
| DATE | REVISED | BY | DATE | SCALE | DATE | DATE | DATE |
| | | | | | | | |
| N.T.S. 01/17/21 (from 8/18) | | | | NEW 150' Concrete Seawall Cap - COLORED GROUP 1051 S SOUTH LAKE DRIVE HOLLYWOOD FLORIDA | | | |
| S-4 | | | | 1/23 | | | |



| | | | |
|--------------------------------------|--|----------------|-----------------|
| Site Address | 1051 S SOUTHLAKE DRIVE, HOLLYWOOD 33019 | ID # | 5142 14 02 0960 |
| Property Owner | FILMORE REALTY CORP 954-989-2000 | Millage | 0513 |
| Mailing Address | 3850 HOLLYWOOD BLVD #400 HOLLYWOOD FL 33021 | Use | 00 |
| Abbreviated Legal Description | HOLLYWOOD LAKES SECTION 1-32 B LOT 28 AND E1/2 OF LOT 29, BLK 54 TOG WITH PART OF MADISON ST AND PART OF BLK 77, BOUNDED ON S BY N/L OF BLK 54, ON N BY BLK 76, ON E BY THE NLY EXTENDED E/L OF LOT 28, ON THE W BY THE NLY EXTENDED W/L OF THE E1/2 OF LOT 29, LESS S 30 FOR ROAD R/W | | |

The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).

| Property Assessment Values | | | | | |
|--|-------------|----------|---------------------|----------------------|-------------|
| Click here to see 2016 Exemptions and Taxable Values to be reflected on the Nov. 1, 2016 tax bill. | | | | | |
| Year | Land | Building | Just / Market Value | Assessed / SOH Value | Tax |
| 2017 | \$1,232,260 | | \$1,232,260 | \$1,232,260 | |
| 2016 | \$1,232,260 | | \$1,232,260 | \$1,232,260 | \$26,276.70 |
| 2015 | \$1,140,990 | | \$1,140,990 | \$1,140,990 | \$24,889.21 |

| 2017 Exemptions and Taxable Values by Taxing Authority | | | | |
|--|-------------|--------------|-------------|-------------|
| | County | School Board | Municipal | Independent |
| Just Value | \$1,232,260 | \$1,232,260 | \$1,232,260 | \$1,232,260 |
| Portability | 0 | 0 | 0 | 0 |
| Assessed/SOH | \$1,232,260 | \$1,232,260 | \$1,232,260 | \$1,232,260 |
| Homestead | 0 | 0 | 0 | 0 |
| Add. Homestead | 0 | 0 | 0 | 0 |
| Wid/Vet/Dis | 0 | 0 | 0 | 0 |
| Senior | 0 | 0 | 0 | 0 |
| Exempt Type | 0 | 0 | 0 | 0 |
| Taxable | \$1,232,260 | \$1,232,260 | \$1,232,260 | \$1,232,260 |

| Sales History | | | |
|---------------|-------|-------------|------------------|
| Date | Type | Price | Book/Page or CIN |
| 10/19/2016 | CE*-D | \$200 | 114033386 |
| 12/2/2013 | SW*-E | \$2,700,000 | 111961858 |
| 4/26/2007 | WD*-Q | \$3,100,000 | 44061 / 251 |
| 4/16/2007 | WD*-T | \$100 | 43955 / 413 |
| 6/30/2004 | WD* | \$3,000,000 | 37793 / 750 |

| Land Calculations | | |
|------------------------|--------|------|
| Price | Factor | Type |
| \$70.21 | 17.551 | SF |
| | | |
| | | |
| | | |
| Adj. Bldg. S.F. | | |

* Denotes Multi-Parcel Sale (See Deed)

| Special Assessments | | | | | | | | |
|---------------------|------|-------|-------|------|------|-------|-------|------|
| Firo | Garb | Light | Drain | Impr | Safe | Storm | Clean | Misc |
| 05 | | | | | | | | |
| L | | | | | | | | |



Handwritten signature or scribble

[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#)

Detail by Entity Name

Florida Profit Corporation
FILMORE REALTY CORP.

Filing Information

| | |
|------------------------|------------|
| Document Number | 260535 |
| FEI/EIN Number | 59-1010184 |
| Date Filed | 07/03/1962 |
| State | FL |
| Status | ACTIVE |

Principal Address

3850 HOLLYWOOD BLVD.
SUITE #400
HOLLYWOOD, FL 33021

Changed: 06/06/1989

Mailing Address

3850 HOLLYWOOD BLVD.
SUITE #400
HOLLYWOOD, FL 33021

Changed: 06/06/1989

Registered Agent Name & Address

ZEMEL, FRANKLIN L
C/O ARNSTEIN & LEHR LLP
200 EAST LAS OLAS BLVD., SUITE 1000
FORT LAUDERDALE, FL 33301

Name Changed: 04/26/2011

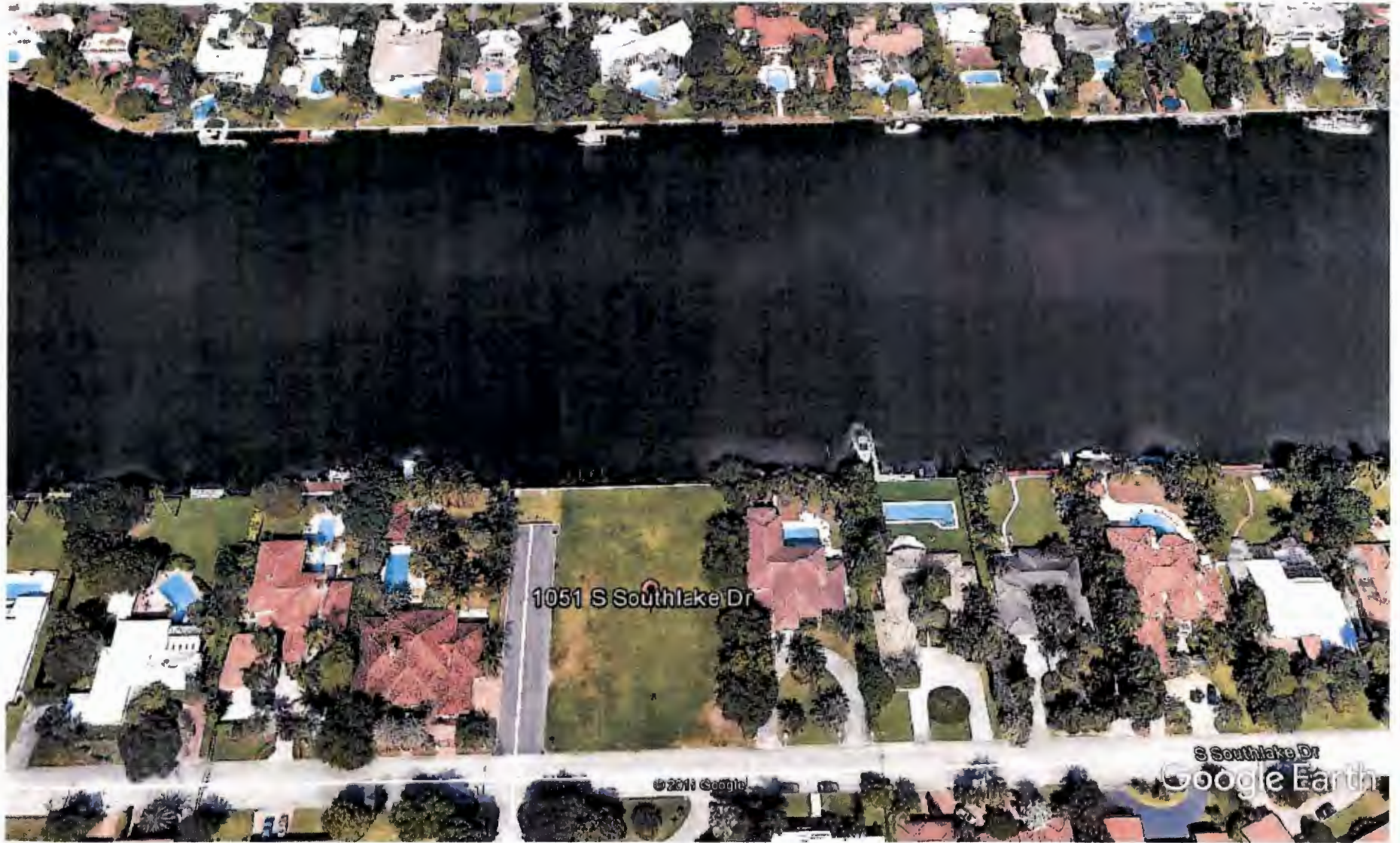
Address Changed: 04/09/2015

Officer/Director Detail

Name & Address

Title VP

JEFFREY, CORNFELD D
3850 HOLLYWOOD BLVD #400
HOLLYWOOD, FL



Google Earth



26° 00' 25.99 N
80° 01' 39.14 W

Planning and Zoning Board
City of Hollywood
2600 Hollywood Boulevard,
Hollywood FL, 33022

RE: CRITERIA STATEMENT ANALYSIS FOR APPLICABLE CRITERIA FOR THE HISTORIC PRESERVATION BOARD FOR 1015 S SOUTHLAKE DRIVE, HOLLYWOOD. (EAST LOT)

Dear Planning and Zoning Board,

The following document represents the Criteria Statement Analysis for a proposed new single-family home to be located at 1051 S Southlake Dr., Hollywood, Florida 33019. (EAST LOT)

Property: Lot 28 and the East ½ of lot 29, LESS the south 30 feet thereof, in Block 54 of HOLLYWOOD LAKE SECTION, according to the plat thereof, recorded in Plat Book 1, Page 32 of the Public Records of Broward County, FL.

Lot size: 17,545 square feet.

Criteria Statement Analysis:

The applicant satisfies the compatibility criteria delineated in the design guidelines for Historic Properties and Districts as follows:

1. Integrity of Location

The contemporary design of the proposed single-family residence adheres to all zoning setbacks and height regulations. The architectural concept aims to enhance the connection between indoor and outdoor spaces while maximizing the backyard green area for outdoor leisure activities.

2. Setting

Situated in the picturesque South Lake area renowned for its stunning water vistas and lush landscape adorned with mature trees and greenery, the proposed residence embraces its natural surroundings. Designed as a two-story dwelling, the neutral tones and repetitive elements seeks to establish a harmonious interaction with the environment, leveraging the unique features of the location to their fullest potential.

3. Materials

The envisioned residence is structurally crafted using block and concrete, while the facade

predominantly features micro cement and aluminum louver accents. These chosen materials align seamlessly with the architectural aesthetic of the surrounding homes in the neighborhood

4. Workmanship

The intent is to meticulously design and construct the residence to surpass prevailing standards. The craftsmanship and construction quality will adhere to or surpass the benchmarks set by licensed construction experts in the region.

5. Association

We believe this design intent will adhere to the Citywide Master Plan, the Comprehensive Plan, and the Hollywood Lakes Plan.

6. Design

Considering the rich historical significance of the Hollywood Lakes where this project is located, we analyzed the surrounding architectural context in significant detail. Our objective was to craft a residence that seamlessly integrates with the diverse array of architectural styles found in the vicinity, encompassing Mediterranean Revival, Spanish Colonial, Art Deco, Traditional, Bermuda, Masonry Vernacular, Prairie, Midcentury Modern, and Contemporary styles.

The design of the new two-story residence exudes a captivating tropical modern aesthetic. Conceptualized as a minimalist assembly of structures on the edge of the South Lake, it emphasizes the views of the water while creating a strong connection between the interior and exterior of the home. The installation pattern of the stone throughout the exterior was chosen to emphasize the verticality generated from the grain of the stone.

The front façade presents a captivating composition of horizontal planes punctuated by vertical volumes which impart a sense of lightness to the home's overall appearance. A cantilevered roof and dramatic steps create a statement entrance that opens to a double height living room with its large, open fenestration giving extensive views to the sun deck, swimming pool, and lake beyond.

Nestled along the picturesque waterfront scene, the rear façade maintains visual continuity with the front, utilizing stone and glass. A large second-story balcony with glass railing is a standout feature, while the expansive sun deck, outdoor kitchen, and L-shaped infinity-edge pool provide an ideal setting for leisure and entertainment activities.

We look forward to your review and approval. If you have any questions or concerns, please do not hesitate to call us at 305 5195731 or email us at stephanie@sdhstudio.com

Sincerely,

Stephanie Halfen
Founder and Principal Architect
SDH Studio Architecture + Design



1051 S

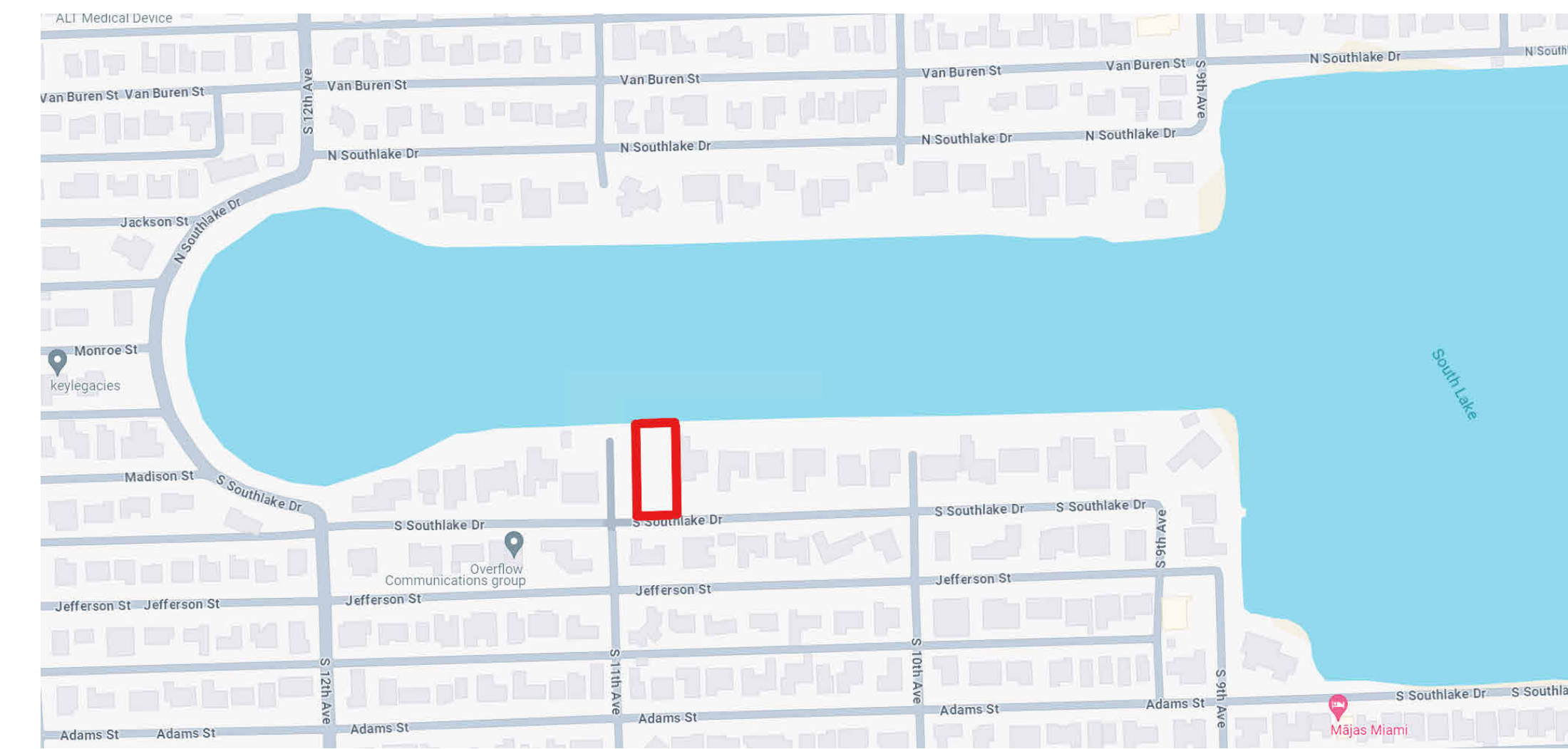
1051 S. Southlake Dr. Hollywood,
Florida. 33019

SDH_STUDIO
ARCHITECTURE+DESIGN

18200 NE 19th Ave. Suite 100
North Miami Beach, Florida 33162

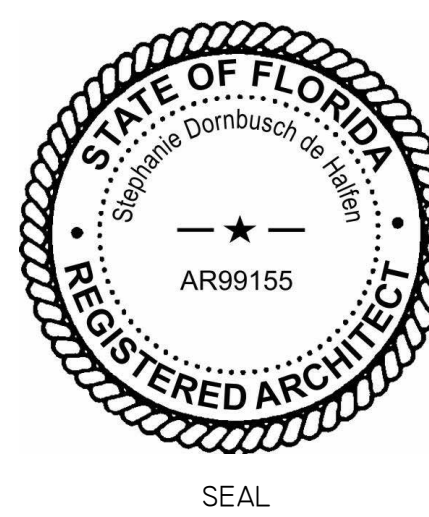
305.501.5013

www.sdhstudio.com



LOCATION MAP
1051 S SOUTHLAKE DR, HOLLYWOOD, FL 33019

| DRAWING INDEX | LANDSCAPING | ARCHITECTURE | STRUCTURAL | PLUMBING | MECHANICAL | ELECTRICAL | CIVIL |
|---------------|---|---|---|--|--|--|--|
| | L-1 LANDSCAPE PLAN L-2 COLORED LANDSCAPE PLAN | A-000 COVER PAGE A-001 GENERAL NOTES A-100 SITE PLAN A-100.1 RENDERINGS A-100.2 3D VIEWS A-100.3 STREET PROFILE A-100.4 FIRST FLOOR ELEVATION A-101 FIRST FLOOR PLAN A-102 SECOND FLOOR A-103 ROOF PLAN A-104 RCP FIRST FLOOR A-105 RCP SECOND FLOOR A-200 ELEVATIONS A-201 ELEVATIONS A-202 ELEVATIONS | A-300 SECTIONS A-301 SECTIONS A-302 WALL SECTIONS A-400 ADDITIONAL SECTIONS AND DETAILS A-500 DOOR AND WINDOWS SCHEDULE | S-1 GENERAL NOTES AND DETAILS S-2 FOUNDATION PLAN S-3 GROUND LEVEL FRAMING PLAN S-4 SECOND LEVEL FRAMING PLAN S-5 ROOF LEVEL FRAMING PLAN S-8 GENERAL DETAILS | P-1 PLUMBING FIRST FLOOR-A P-2 PLUMBING FLOOR-B P-3 PLUMBING SECOND FLOOR-A P-4 PLUMBING SECOND FLOOR-B P-5 SEWER & STORM DRAINAGE FIRST FLOOR-A P-6 SEWER & STORM DRAINAGE FIRST FLOOR-B P-7 SEWER & STORM DRAINAGE SECOND FLOOR-A P-8 SEWER & STORM DRAINAGE SECOND FLOOR-B P-9 ROOF DRAINAGE P-10 GAS FIRST FLOOR-A P-11 GAS FIRST FLOOR-B P-12 GAS SECOND FLOOR-A P-13 PLUMBING ISOMETRIC P-14 SEWER ISOMETRIC P-15 STORM DRAINAGE ISOMETRIC P-16 NOTES & DETAILS P-17 GAS ISOMETRIC SP-1 SITE PLAN UTILITIES | M-1 MECHANICAL FIRST FLOOR-A M-2 MECHANICAL FIRST FLOOR-B M-3 MECHANICAL SECOND FLOOR-A M-4 MECHANICAL SECOND FLOOR-B M-5 MECHANICAL NOTES & DETAILS | E-1 ELECTRICAL FIRST FLOOR-A E-2 ELECTRICAL FIRST FLOOR-B E-3 ELECTRICAL SECOND FLOOR-A E-4 ELECTRICAL SECOND FLOOR-B E-5 ELECTRICAL NOTES |
| PROJECT TEAM | ECOPACHECO (305) 915-6626 JUAN@ECOPACHECO.COM | SDH_STUDIO 18200 NE 19TH AVE, STE 100, NORTH MIAMI BEACH, FL 33162 (305) 501-5013 INFO@SDHSTUDIO.COM | GANEM CONSULTING ENGINEERING 15805 BISCAYNE BLVD, SUITE 210 NORTH MIAMI BEACH, FL 33160 (786) 918-6546 | GANEM CONSULTING ENGINEERING 15805 BISCAYNE BLVD, SUITE 210 NORTH MIAMI BEACH, FL 33160 (786) 918-6546 | GANEM CONSULTING ENGINEERING 15805 BISCAYNE BLVD, SUITE 210 NORTH MIAMI BEACH, FL 33160 (786) 918-6546 | GANEM CONSULTING ENGINEERING 15805 BISCAYNE BLVD, SUITE 210 NORTH MIAMI BEACH, FL 33160 (786) 918-6546 | GANEM CONSULTING ENGINEERING 15805 BISCAYNE BLVD, SUITE 210 NORTH MIAMI BEACH, FL 33160 (786) 918-6546 |



NOTES/COMMENTS

REVISIONS / SUBMISSIONS

GENERAL NOTES

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF SDH STUDIO, AND MAY NOT BE REPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF STEPHANE D. HALFEN

DRAWN BY: SDH
CHECKED BY: RB
INITIAL DRAWING: 04/26/24
RELEASE DATE:

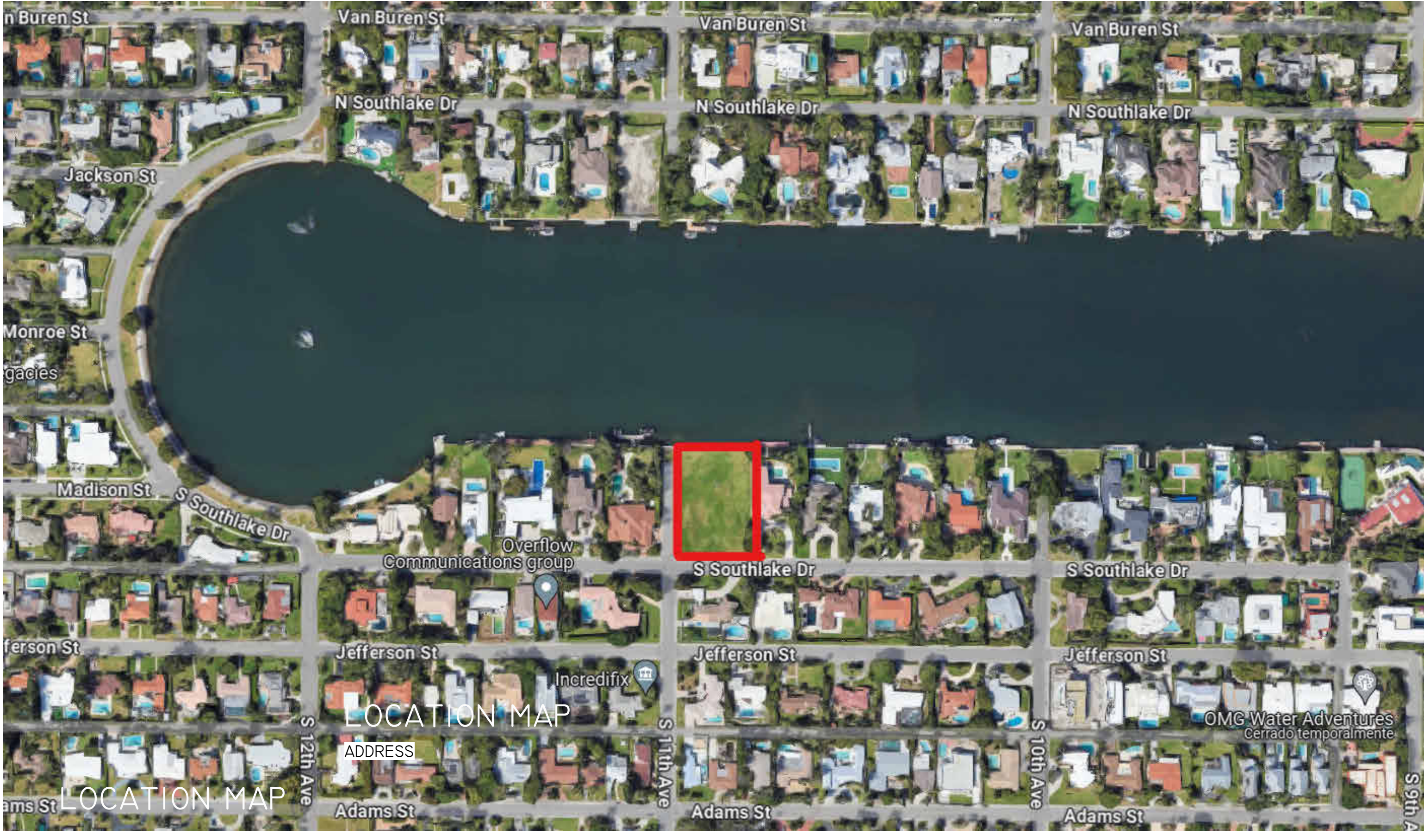
A-001

- GENERAL NOTES**
- CONTRACTOR SHALL COMPLY WITH THE LATEST APPLICABLE LOCAL, STATE AND FEDERAL BUILDING CODES, LAWS, REGULATIONS AND ORDINANCES.
 - ALL MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE UTILIZED AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
 - ALL WORK PERFORMED IN RELATIONSHIP TO THESE DOCUMENTS SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.
 - CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND FAMILIARIZING THEMSELVES WITH ALL EXISTING CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC UTILITIES, ON AND OFF SITE AREAS, ACCESS ROADS, AND OTHER SUPPORT FACILITIES.
 - CONTRACTOR TO CAP, REMOVE, RELOCATE OR RE-ROUTE AS NECESSARY ALL ELECTRICAL, WATER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED DURING CONSTRUCTION.
 - CONTRACTOR MUST NOTIFY ARCHITECT/ENG. IMMEDIATELY OF ANY UNEXPECTED OR DISCOVERED CONDITIONS WHICH VARY FROM THESE KNOWN, ANY DISCREPANCIES WITH THE DRAWINGS AND/OR CONTRACT DOCUMENTS, ANY ERRORS AND OMISSIONS ON THE DRAWINGS AND/OR THE FIELD PRIOR TO BIDDING, BEFORE PROCEEDING WITH WORK AND/OR SHOP FABRICATION.
 - CONTRACTOR SHALL NOTIFY ARCHITECT/ENG. FOR CLARIFICATION PRIOR TO BIDDING OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL, MECHANICAL AND ELECTRICAL, LANDSCAPE AND CIVIL DRAWINGS. ANY DISCREPANCIES DISCUSSED AFTER BIDDING SHALL BE INTERPRETED BY THE ARCHITECT BASED ON THE USE OF THE MOST EXPENSIVE METHOD OR FINISH.
 - CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM THE ARCHITECT/ENG. PRIOR TO ANY CHANGES OR DEVIATIONS FROM CONTRACT DOCUMENTS.
 - UNDER NO CIRCUMSTANCES SHALL ASSUMPTIONS BY THE CONTRACTOR BE CONSIDERED THE DESIGN INTENT NOR THE APPROVAL OF ARCHITECT OR ENGINEER WITHOUT THEIR WRITTEN APPROVAL.
 - CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AND SURROUNDING AREAS KEEPING THEM FREE OF DEBRIS, HAZARDOUS EQUIPMENT OR MATERIALS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY MATERIALS, FINISHES OR EQUIPMENT DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED AND ENFORCED BY THE CONTRACTOR.
 - DRAWINGS ARE NOT TO BE CALLED. DIMENSIONS TO BE FOLLOWED.
 - ALL DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, NOT TO FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED ON DRAWINGS.
 - THE CONTRACTOR SHALL BE AWARE THAT SPECIFIC FIRE RATED SEPARATION, WITHIN THE BUILDING'S CONSTRUCTION AS REQUIRED BY CODE, THE USE OF SPECIFIC MATERIALS AND COMBINATIONS OF MATERIALS WITHIN FIRE RATED ASSEMBLIES AS CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATIONS. IF SUBSTITUTIONS ARE REQUESTED BY THE CONTRACTOR OR SUBCONTRACTORS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT CHANGES IN MATERIALS REQUESTED FROM THOSE MATERIALS DRAWN OR SPECIFIED, DOES NOT IN ANY WAY EFFECT OR LESSEN THE REQUIRED FIRE RATED CONSTRUCTION OR ASSEMBLY.
 - WHERE CMU IS INDICATED TO HAVE A SPECIFIC HOURLY FIRE RATING, THIS SHALL BE TAKEN AS THE MINIMUM ALLOWED.
 - ALL WOOD FRAMING, INCLUDING PLYWOOD, WHICH IS CONCEALED WITHIN WALLS OR CEILING OR USED FOR SUPPORT OF WALLS OR CEILING SHALL BE FIRE RETARDANT.
 - ALL PIPING SHALL BE SLEEVED THROUGH SLABS. CONTRACTOR TO FULLY SEAL SPACE AROUND PIPES WITH A U.L. APPROVED FIRE RESISTIVE "THERMAFIBER" GLASS FIBER SAFING INSULATION AS MANUFACTURED BY U.S. GYPSUM CO. COMPLYING WITH ASTM E-119 OR APPROVED SIMILAR OR AS DETAILED ON DRAWINGS. PROTRUSIONS THROUGH FIRE RATED WALLS SHALL BE PROTECTED AS TO MAINTAIN THE FIRE RATING OF SAID WALL.
 - ALL SHAFTS, SHALL BE 1-HOUR RATED WITHOUT EXCEPTION, U.L. DESIGN NO. U-465 OR APPROVED SIMILAR AND SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
 - ALL SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND/OR ENGINEER FOR REVIEW PRIOR TO FABRICATION.
 - ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED AND SHALL BEAR THE REVIEW STAMP, DATE AND SIGNATURE OF THE CONTRACTOR BEFORE SUBMITTAL TO THE ARCHITECT AND/OR ENGINEER.
 - SHOP DRAWING SUBMITTALS SHALL CONSIST OF 1 SET OF REPRODUCIBLE COPIES AND TWO SETS OF BLUE PRINTS.
 - REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE DETAILS, PAVING, CURBING, WHEEL STOPS, ETC., IF APPLICABLE.
 - REFER TO LANDSCAPE DRAWINGS FOR ALL PLANTING AND INSTALLATION DETAILS.
 - CONTRACTOR TO FURNISH AND INSTALL ALL METAL AND WOOD BLOCKING REQUIRED FOR WALL MOUNTED OR BRACED FIXTURES, MILLWORK OR BY OTHER ITEMS DESCRIBED IN THE CONTRACT DOCUMENTS.
 - IN ADDITION TO WALL TYPES SHOWN ON PLANS, THE CONTRACTOR SHALL REFER TO THE ROOM FINISH SCHEDULE, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION REGARDING FINISHES.
 - CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL ACCESS PANELS WITH MECHANICAL AND ELECTRICAL CONTRACTORS SO AS TO ALLOW FOR PROPER EQUIPMENT ACCESSIBILITY AND MAINTENANCE. NOTIFY ARCHITECT/ENG. AS TO SAID LOCATIONS PRIOR TO THEIR INSTALLATION TO AVOID CONFLICTS WITH INTERIOR FINISH MATERIALS AND DESIGN INTENT.
 - CONTRACTOR TO PROVIDE ACCESS PANELS FOR ALL A/C FIRE DAMPERS. COORDINATE LOCATIONS WITH ARCHITECT/ENG.
 - CONTRACTOR SHALL PAINT ALL VISIBLE SURFACES OF FACTORY PRIMED OR FACTORY PAINT FINISHED EQUIPMENT, A/C GRILLS OR REGISTER, COVERS, ETC. UNLESS SPECIFICALLY NOTED OTHERWISE. VERIFY AND COORDINATE COLORS WITH ARCHITECT.
 - BEFORE INSTALLATION, THE CONTRACTOR SHALL COORDINATE THE EXACT MOUNTING LOCATION OF ALL SWITCHES, WALL RECEPTACLES, PLUGS, THERMOSTATS AND OTHER WALL MOUNTED FIXTURES WITH THE ARCHITECT/ENG. UNLESS NOTED ON PLANS.
 - ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DISSIMILAR MATERIALS, PLANES OR FINISHES SHALL RECEIVE A BEAD OF CAULKING TO MATCH COLOR OF ADJACENT SURFACE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER, INCLUDING BUT NOT LIMITED TO WINDOWS, STOREFRONT FLOORS, CONSTRUCTION MATERIAL FROM THE SITE AND SHALL ALSO BE RESPONSIBLE WALLS, DOORS, ETC. CONTRACTOR SHALL PROVIDE A TRASH CONTAINER AT A LOCATION DETERMINED BY THE OWNER.
 - UPON COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER A COMPLETE SET OF RECORD DRAWINGS ("AS BUILT") ALONG WITH THE WRITTEN GUARANTEES, AND ALL OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT AND FINISHES INSTALLED.
 - NO EXISTING FACILITY SHALL BE OCCUPIED DURING REMODELING OR RENOVATION UNLESS ALL EXISTING EXITS AND ANY EXISTING FIRE PROTECTION ARE CONTINUOUSLY MAINTAINED OR, IN LIEU THEREOF, OTHER ALTERNATE MEASURES ARE TAKEN WHICH PROVIDE EQUIVALENT SAFETY CONDITIONS.
 - CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN HIS BID, LABOR AND MATERIAL COSTS FOR ANY CHANGE OR ALTERATION OF ADJACENT AREAS TO BE DISTURBED DURING DEMOLITION OR CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO PAVING AND LANDSCAPING OF THE PROPOSED STAGING AREA TO INSURE PROPER DRAINAGE AND TO RETURN THEM TO THEIR ORIGINAL EXISTING CONDITION.
 - ALL SLABS ON GRADE, INTERIOR AND EXTERIOR, TO BE ON 6 MIL. POLYETHYLENE VAPOR BARRIER WITHOUT EXCEPTION.
 - IF THE NORMAL WORK FLOW OF AN AREA MUST BE INTERRUPTED IN ORDER TO PROCEED WITH THE SCHEDULE, PROPER NOTICE MUST BE GIVEN TO THE OWNER IN ADVANCE, AND PERMISSION BE OBTAINED PRIOR TO THE OWNER IN ADVANCE, AND PERMISSION BE OBTAINED PRIOR TO COMMENCEMENT OF SUCH WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PAINTING STRIPES, NUMBERS AND/OR LABELING OF EACH PARKING STALL. OWNER SHALL SUPPLY CONTRACTOR WITH DESIRED SEQUENCE.
 - CONTRACTOR SHALL AVOID INTERFERENCE WITH THE NORMAL WORK FLOW AND PROPER FUNCTIONING OF ALL AREAS WITHIN THE BUILDING. CONTRACTOR SHALL COORDINATE WITH OWNER'S SECURITY PROGRAM METHODS TO AVOID UNAUTHORIZED ENTRY, VANDALISM AND THEFT.
 - CONTRACTOR SHALL BE REQUIRED TO CONTINUOUSLY MAINTAIN ALL NECESSARY UTILITIES TO THE OCCUPIED FACILITIES DURING CONSTRUCTION. TEMPORARY PROVISIONS SHALL BE MADE.
 - ALL ROOFING, DECKING, WATERPROOFING, FLASHING TO COMPLY WITH ALL REQUIREMENTS UNDER SECTION 1519.16 OF THE FLORIDA BUILDING CODE. INSTALLATION TO BE DONE UNDER SEPARATE ROOF SUBPERMIT. AND ALL NOA MUST BE SUBMITTED FOR APPROVAL. WATERPROOFING MEMBRANE AS PER VULKEM 350NF/EPOXY PRIMER - VULKEM 350NF/351 OR APPROVED EQUAL.
 - CONTRACTOR TO VERIFY SOIL VALUES AND CAPACITIES IN REFERENCE TO SOIL TEST AND STRUCTURAL PLANS
 - CONTRACTOR TO COORDINATE ELEVATOR REQUIREMENTS WITH ELEVATOR SELECTION

RAIN WATER NOTES

ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY LIMITS. FOR DETAILS REFER TO DRAINAGE PLAN, IF APPLICABLE

O.S.F.H. -(OUTSIDE SPECIAL FLOOD HAZARD) ALL ELECTRICAL AND MECHANICAL EQUIPMENT MUST BE LOCATED AT OR ABOVE THE REQUIRED LOWEST FLOOR ELEVATION.
S.F.H. -(SPECIAL FLOOD HAZARD) ALL ELECTRICAL AND MECHANICAL EQUIPMENT MUST BE LOCATED AT OR ABOVE THE BASE FLOOD ELEVATION OR REQUIRED LOWEST FLOOR ELEVATION WHICH EVER IS HIGHER.
LOWEST FLOOR - SHALL MEAN THE LOWEST FLOOR OF THE LOWEST ENCLOSED AREA (INCLUDING BASEMENT). AN UNFINISHED OR FLOOD RESISTANT ENCLOSURE, USABLE FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE IN AN AREA OTHER THAN A BASEMENT AREA, IS NOT CONSIDERED A BUILDING'S LOWEST FLOOR; PROVIDED THAT SUCH ENCLOSURE IS NOT BUILT AS TO RENDER THE STRUCTURE IN VIOLATION OF THE APPLICABLE NON-ELEVATION DESIGN REQUIREMENTS IN SECTIONS 11C-3, 11C-4, 11C-5. GARAGE OR STORAGE (S.F.A.O.S.H.(11C-5-F)- FULLY ENCLOSED AREAS BELOW THE BASE ELEVATIONS SHALL BE DESIGN TO PRECLUDE FINISHED LIVING SPACE EXCEPT ALLOWABLE USES I.E. PARKING LIMITED STORAGE AND BUILDING ACCESS AND SHALL BE DESIGN TO ALLOW FOR THE ENTRY AND EXIT OF FLOOD-WATERS TO AUTOMATICALLY EQUALIZE HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS.
DESIGN FOR COMPLYING WITH THIS REQUIREMENT MUST BE EITHER CERTIFIED BY A PROFESSIONAL ENGINEER OR ARCHITECT AND MEET THE FOLLOWING CRITERIA:
(1) PROVIDE A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE (1) SQUARE INCH FOR EVERY SQUARE FOOT OF ENCLOSED AREA SIZE. BOTTOM OF ALL OPENING SHALL BE NO MORE HIGHER THAN ONE(1) FOOT ABOVE GRADE.
(2) THE INTERIOR PORTION OF SUCH ENCLOSED AREA SHALL NOT BE PARTITIONED OR FINISH INTO SEPARATE ROOMS OR AIR CONDITIONED.



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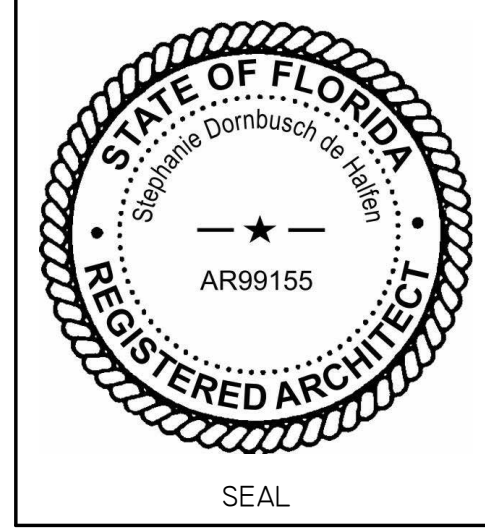
ABBREVIATIONS

| | | | |
|--------------|--|--------|------------------------|
| A | ANCHOR | HT | HEIGHT |
| AC | HORIZONTAL | HR | HORIZONTAL |
| ACQ | ACOUSTICAL | HB | HOSE BIBB |
| ACP | ACOUSTICAL CEILING PANEL | ID | INTERIOR DIMENSION |
| AFF | ABOVE FINISH FLOOR | INSUL | INSULATION |
| AHJ | AIR HANDLE UNIT | INTERM | INTERMEDIATE |
| ALUM | ALUMINUM | JAN | JANITOR |
| ANOD | ANODIZE | MANUF | MANUFACTURER |
| BD | BOARD | MAT | MATERIAL |
| BFF | BELOW FINISH FLOOR | MAX | MAXIMUM |
| BLK'G | BLOCKING | MIN | MINIMUM |
| BLK | BLOCK | MTL | METAL |
| CEM | CEMENT | NIC | NOT IN CONTRACT |
| CER | CERAMIC | NEOPR | NEOPRENE |
| CFV | CONTRACTOR FIELD VERIFY | OD | OUTSIDE DIMENSION |
| CJ | CONTROL JOINT | OC | ON CENTER |
| CLG | CEILING | OS | OVERFLOW SCUPPERS |
| COL | COLUMN | PTN | PARTITION |
| CONC | CLOSET | PJ | PANEL JOINT |
| CONC | CONTINUOUS | PL | PLATE |
| CONTR'G | CONCRETE | LP | LIGHT POLE |
| DGL | DOUBLE | PLYWD | PLYWOOD |
| DM | DIMENSION | PNL | PANEL |
| DIM | DETAILS | PLAM | PLASTIC LAMINATE |
| DTL/DTLS | DISH WASHER | PT | PRESSURE TREATED |
| DW | EACH | REFIN | REINFORCING |
| E | ELECTRICAL | REQ'D | REQUIRED |
| ETEC | ELEVATION | RM | ROOM |
| EL | ELEVATOR | RD | ROOF DRAIN |
| ELEV | EXHAUST | SHT | SHEET |
| EXIST | EXISTING | SCH | SCHEDULE |
| EXP | EXPANSION | SSH | STAINLESS STEEL |
| EXT | EXTERIOR | STL | STEEL |
| FD | FLOOR DRAIN | STD | STANDARD |
| FE | FIRE EXTINGUISHER | SECT | SECTION |
| FIRE EXT CAB | FIRE EXTINGUISHER CABINET | SIM | SIMILAR |
| FOIC | FURNISHED BY OWNER, INSTALED BY CONTRACTOR | SPEC'S | SPECIFICATIONS |
| FLOUR | FLOURECENT | STR | STRUCTURAL |
| FIN | FINISH | SC | SOLID CORE WOOD |
| GA | GAUGE | PH | TELEPHONE |
| GWB | GYPSUM WALL BOARD | TEMP | TEMPERED |
| GYP BD | GYPSUM BOARD | TOS | TOP OF SLAB |
| GALV | GALVANIZED | VCT | VINYL COMPOSITION TILE |
| SS | GALVANIZED STEEL | VERT | VERTICAL |
| GL | GLASS | VEST | VESTIBULE |
| HM | HOLLOW METAL | WH | WATER HEATER |

SYMBOL LEGEND

| | | | |
|-----|---------------------------|------------|--------------------|
| ☐ | CENTER LINE | ⏏ | MATERIAL TAG |
| ▬ | PROPERTY LINE | ⬆ | PRINCIPAL ENTRY |
| Ⓞ | WINDOWS TAG | SL UC | SLOPE TAG |
| Ⓜ | DOOR TAG | WM | WATER METER |
| ⦿ | DATUM FLOOR ELEV. | ⦿ | POLE |
| — — | BREAKLINE | P000 | PLUMBING TAG |
| Ⓜ | GRID BUBBLE TAG | ⚠ | REVISION TAG |
| Ⓜ | LEVEL HEAD CIRCLE | ⚡ | CHANGE OF ELEV. |
| Ⓜ | SECTION MARK | ⬆ | NORTH ARROW |
| Ⓜ | CALLOUT HEAD TAG | Room name | ROOM TAG |
| Ⓜ | BUILDING ELEV. TAG | ID | INTERIOR ELEV. TAG |
| Ⓜ | VIEW NAME 1/8" = 1'-0" | VIEW TITLE | |

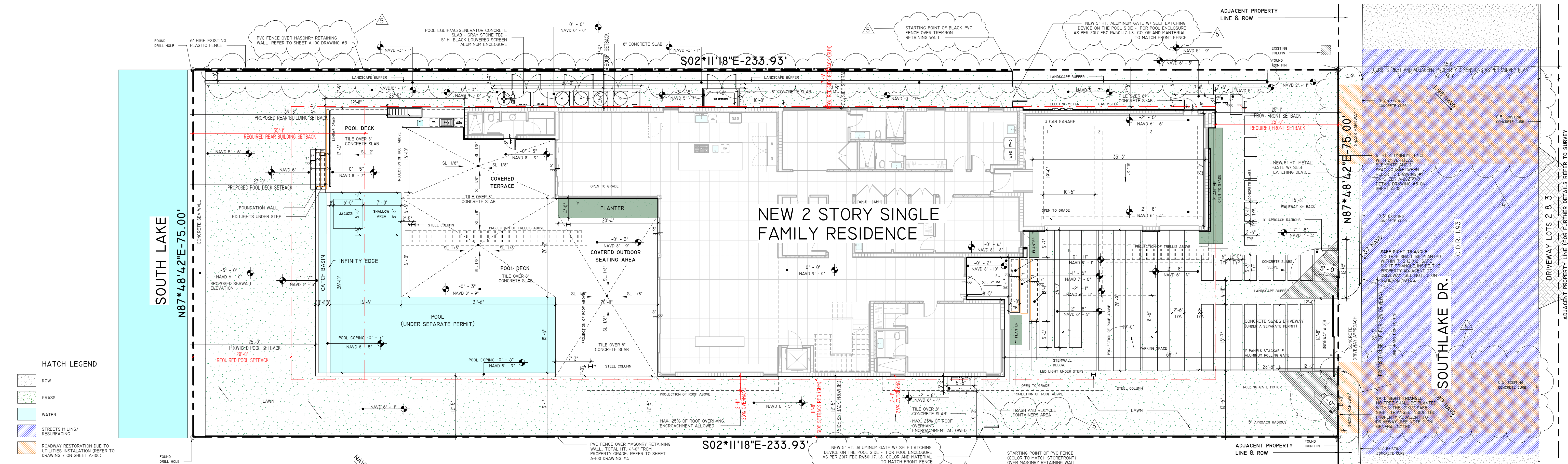
- ITEMS UNDER SEPARATE PERMIT:**
- TEMPORARY CONSTRUCTION FENCE
 - NPDES GRAVEL DRIVEWAY
 - SEWER CAP
 - PORTABLE TOILET
 - TEMPORARY POWER FOR CONSTRUCTION
 - DEMOLITION
 - ELECTRICAL
 - PLUMBING
 - GAS
 - MECHANICAL
 - RETAINING WALL
 - WINDOWS
 - ROOFING
 - POOL/SPA/DECK
 - LOW VOLTAGE
 - ALARM
 - CIVIL/DRAINAGE
 - GARAGE DOOR
 - RAILINGS
 - POOL EQUIPMENT
 - LOUVERS
 - FENCES AND GATES
 - ENTRY DOOR
 - LANDSCAPE
 - BLINDS/SHADES
 - TEMP FOR TEST
 - DRIVEWAY
 - DUAL METER/BACKFLOW
 - SEAWALL AND DOCK



| REVISIONS / SUBMISSIONS | DATE | DESCRIPTION |
|-------------------------|--------------|-------------|
| 1 | HBP 06.26.24 | COMMENTS |
| 2 | HPB 07.26.24 | COMMENTS |
| 3 | HPB 08.27.24 | COMMENTS |
| 4 | HPB 09.10.24 | COMMENTS |
| 5 | HPB 09.23.24 | COMMENTS |

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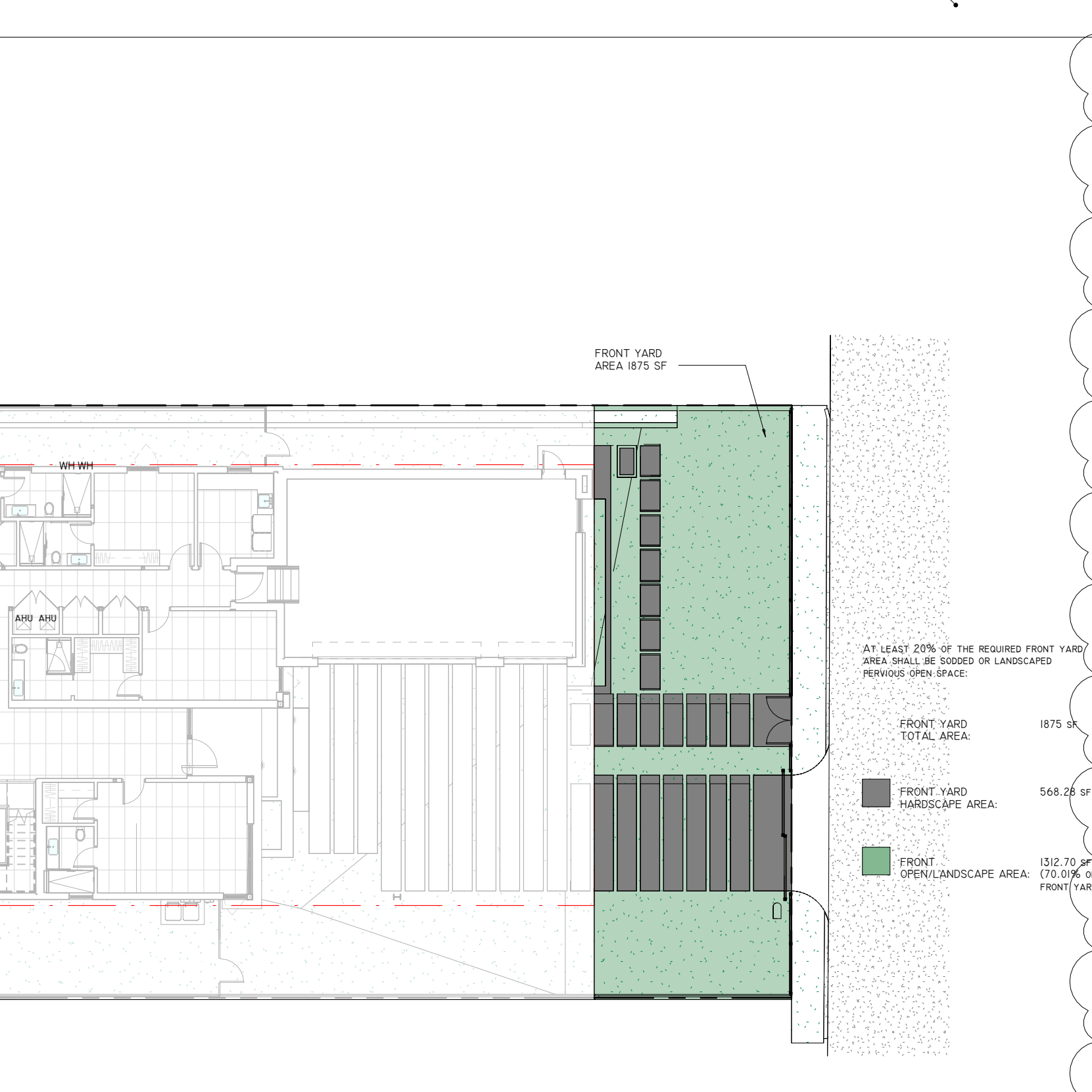
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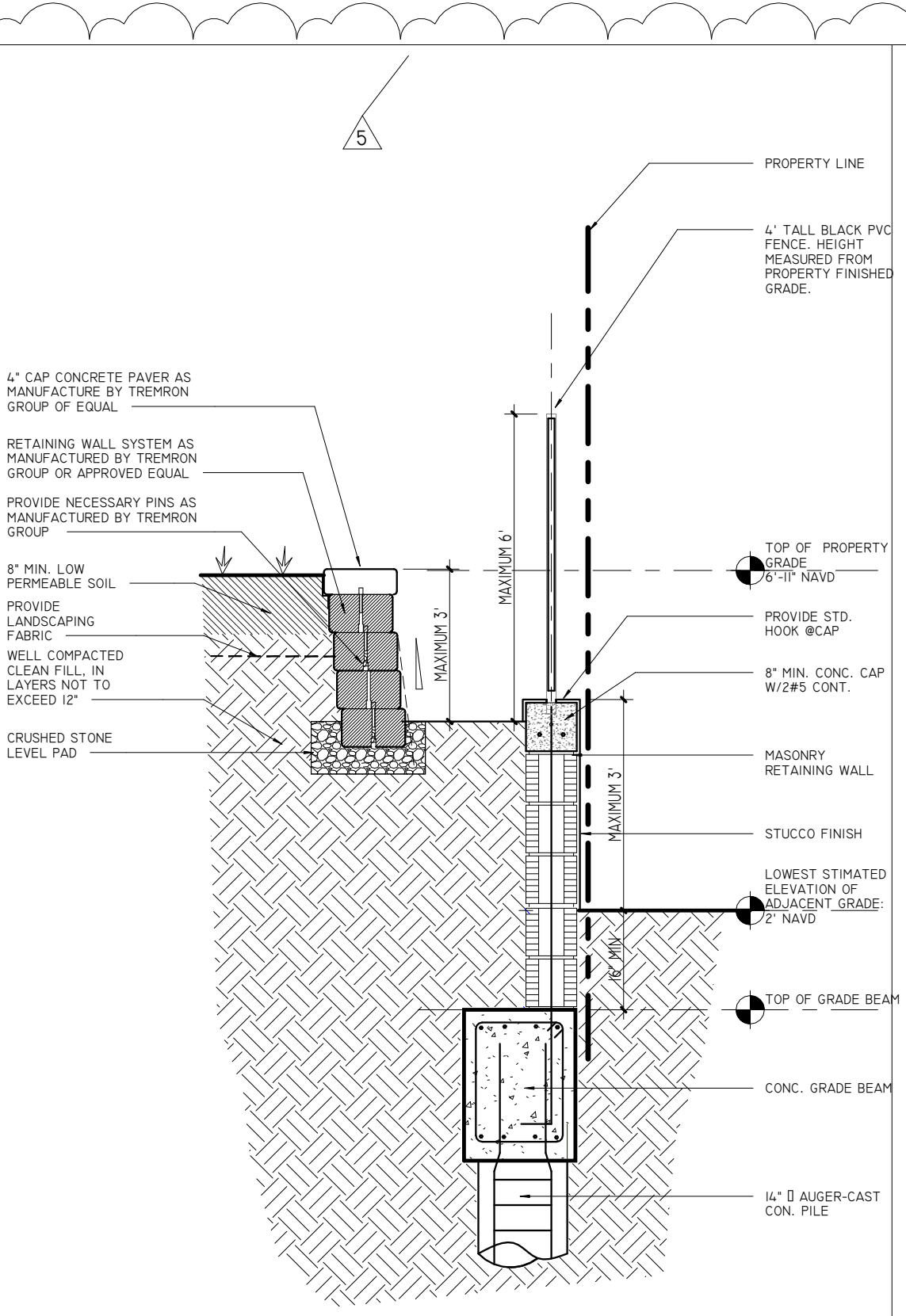
HATCH LEGEND

| | |
|-------------------|---|
| [Hatched Pattern] | ROW |
| [Dotted Pattern] | GRASS |
| [Blue Pattern] | WATER |
| [Diagonal Lines] | STREETS MILING/RESURFACING |
| [Orange Pattern] | ROADWAY RESTORATION DUE TO UTILITIES INSTALLATION (REFER TO DRAWING 7 ON SHEET A-100) |

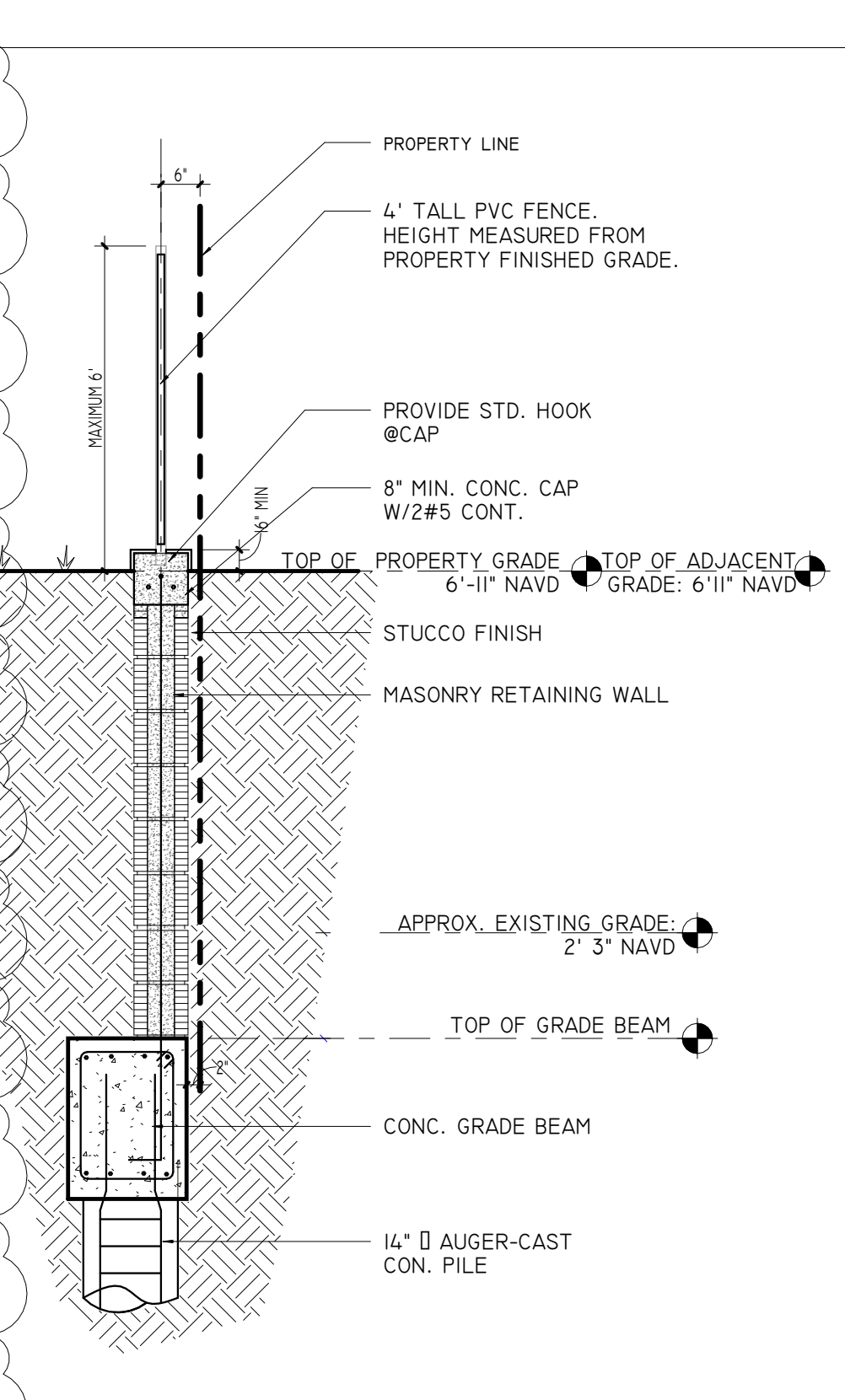
SITE PLAN
1" = 10'-0"



FRONT YARD
1/16" = 1'-0"

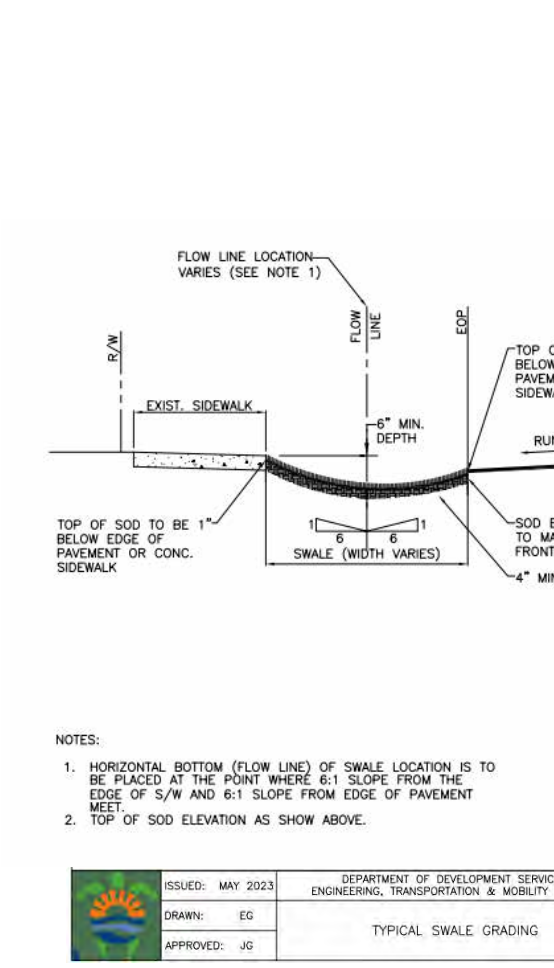


SIDE FENCE OVER MASONRY RETAINING WALL DETAIL I
1/2" = 1'-0"

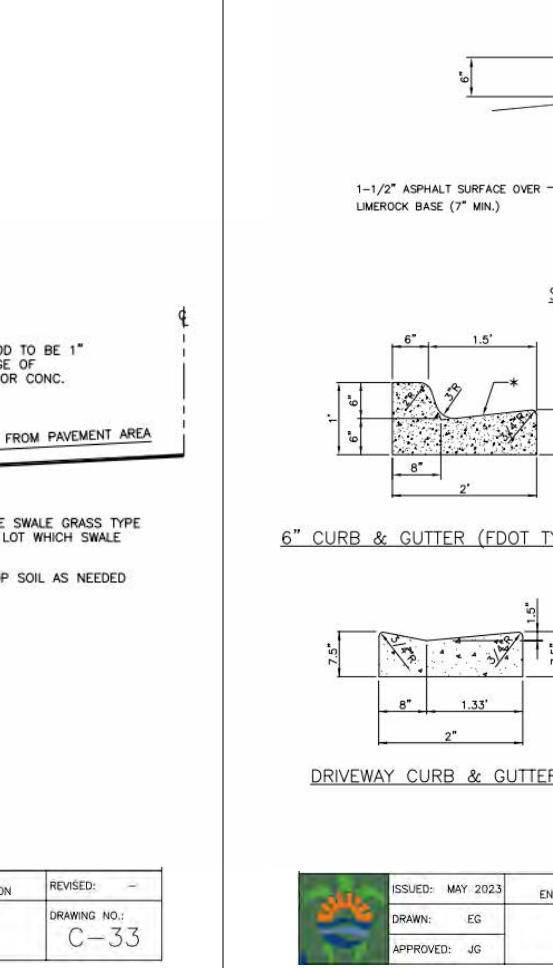


SIDE FENCE OVER MASONRY RETAINING WALL DETAIL II
1/2" = 1'-0"

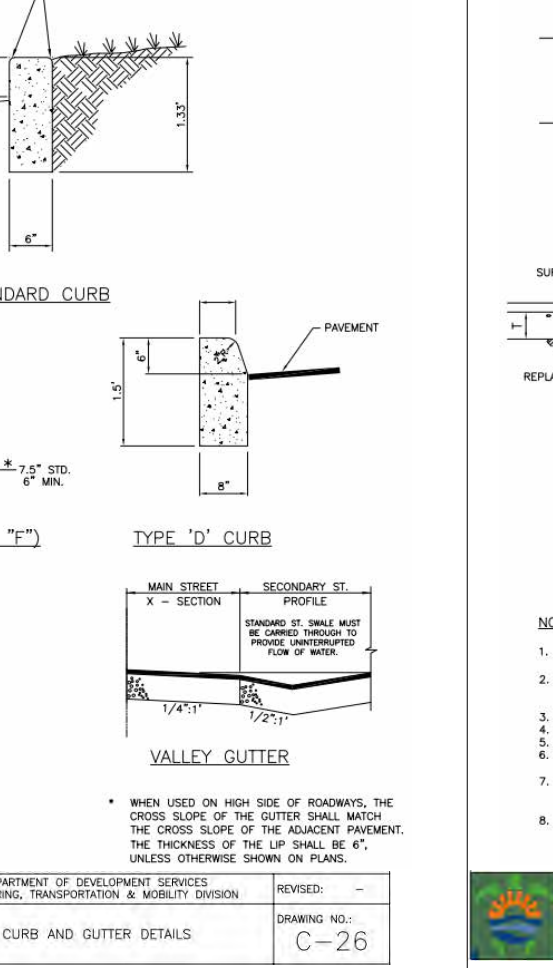
CITY OF HOLLYWOOD DETAILS



TYPICAL SWALE DETAIL
5



CURB DETAIL
6



PAVEMENT RESTORATION
7

GENERAL NOTES

- ALL ROADS AND INTERSECTIONS ABUTTING THE PROPERTY WILL BE MAINTAINED AND RESURFACED AS NEEDED. AREAS POTENTIALLY AFFECTED ARE SHOWN ON SITE PLAN AS PER HATCH LEGEND.
- CODE REQUIRES 2 PARKING SPACES FOR THE FIRST 2000 SQ.FT. OF UNDER AIR LIVING AREA. THEN ONE STALL EVERY 500 SF WITH A CAP AT 5. 8,177 SF OF A/C AREA PROPOSED.
- 5 PARKING SPACES PROVIDED. 3 PARKING SPACES INSIDE THE GARAGE AND 2 PARKING SPACES IN DRIVEWAY
- PLEASE NOTE ALL FENCES, WALLS, BUSHES, HEDGES, AND ANY OTHER LANDSCAPING OR PLANT MATERIAL, WITHIN THE VIEW TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS VISIBILITY AT A LEVEL BETWEEN 30 INCHES AND 72 INCHES ABOVE GROUND LEVEL.
- CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE 5-INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW (OUTSIDE OF THE PROPERTY LINES) WILL BE A MINIMUM OF 6 INCHES THICK, 3,000 PSI, WITH NO METAL OR FIBER MESH AND WILL BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY WILL MAINTAIN CONTROL JOINTS LOCATED EVERY 250 SQ.FT AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.
- ALL FENCES, WALLS, BUSHES OR HEDGES SHALL NOT EXCEED THE HEIGHTS LISTED HEREIN (6'-0"). HEIGHT SHALL BE MEASURED FROM THE GRADE OF THE PROPERTY UPON WHICH THE FENCE, WALL, BUSH OR HEDGE IS LOCATED, MEASURED AT A POINT ONE FOOT THEREFROM. IN NO CASE, HOWEVER, WHEN THE ADJACENT PROPERTY IS LOWER IN GRADE THAN THE PROPERTY UPON WHICH THE FENCE, WALL, BUSH OR HEDGE IS LOCATED MAY THE ALLOWABLE HEIGHT THEREOF, WHEN MEASURED FROM THE GRADE OF SUCH ADJACENT PROPERTY AT THE PROPERTY LINE, EXCEED THE ABOVE PERMITTED HEIGHT BY MORE THAN THREE FEET. FRONT YARD AREA SHALL BE THAT PORTION OF THE PROPERTY AS REQUIRED BY THE ZONING AND LAND DEVELOPMENT REGULATIONS.

A/C TABLE PARKING CALC.

| A/C TABLE | PARKING |
|--------------------|----------|
| 2000 SF | 2 SPACES |
| 2500 SF | 3 SPACES |
| 3000 SF | 4 SPACES |
| 3500 SF + | 5 SPACES |
| PROPOSED | |
| A/C TOTAL PROPOSED | 8,487 SF |
| PARKING PROVIDED | 5 SPACES |

AREA TALLY

| LOT AREA | 17,545 SF |
|------------------|----------------|
| A/C GROUND FL | 4,403 SF |
| A/C SECOND FL | 4,048 SF |
| A/C TOTAL | 8,487 SF |
| ENTRY | 78 SF |
| TERRACES | 1,281 SF |
| GARAGE | 959 SF |
| BALCONIES | 1,315 SF |
| POOL - POOL DECK | 1022 SF-756 SF |
| WALKWAY | 261 SQF |
| DRIVEWAY | 1452 SQF |

APPLICABLE CODES

FLORIDA BUILDING CODE 2020 EDITION
FLORIDA RESIDENTIAL CODE 2020
NATIONAL ELECTRICAL CODE 2020
FLORIDA PLUMBING CODE 2020
FLORIDA MECHANICAL CODE 2020
FLORIDA ENERGY CODE 2020

SCOPE OF WORK

I. NEW 2 STORY SINGLE FAMILY RESIDENCE

ZONING INFORMATION

CITY OF HOLLYWOOD
ART. 4 - SCHEDULE OF DISTRICT, USE AND SETBACK REGULATIONS
SECTION 4.1
ZONING DISTRICT - RS-9

| BUILDING SET BACK | REQUIRED | PROVIDED |
|------------------------------|--|-----------------------------|
| FRONT SETBACK | 25'-0" | 25'-1" |
| REAR SETBACK | 15% OF MIN 15'-0" MAX 50' | 39'-8" |
| SIDES SETBACK | SUM < 25% OF LOT WIDTH, MIN 18'-9", PROPOSED 7'-9" E + 12'-4" W = 20' 1" | 7'-9" E + 12'-4" W |
| POOL SETBACK | 6'-0" FROM SIDES; 6'-0" FROM REAR | 25' FROM REAR & 12'-4" SIDE |
| HEIGHT LIMITATION | 30' FROM BFE | 27' FROM BFE |
| LOT OCCUPATION | | |
| FRONT YARD AREA LOT COVERAGE | < 20% (OF 1875SF YARD) = 375 SF | 1203 SF = 64.16% |

SITE DESCRIPTION

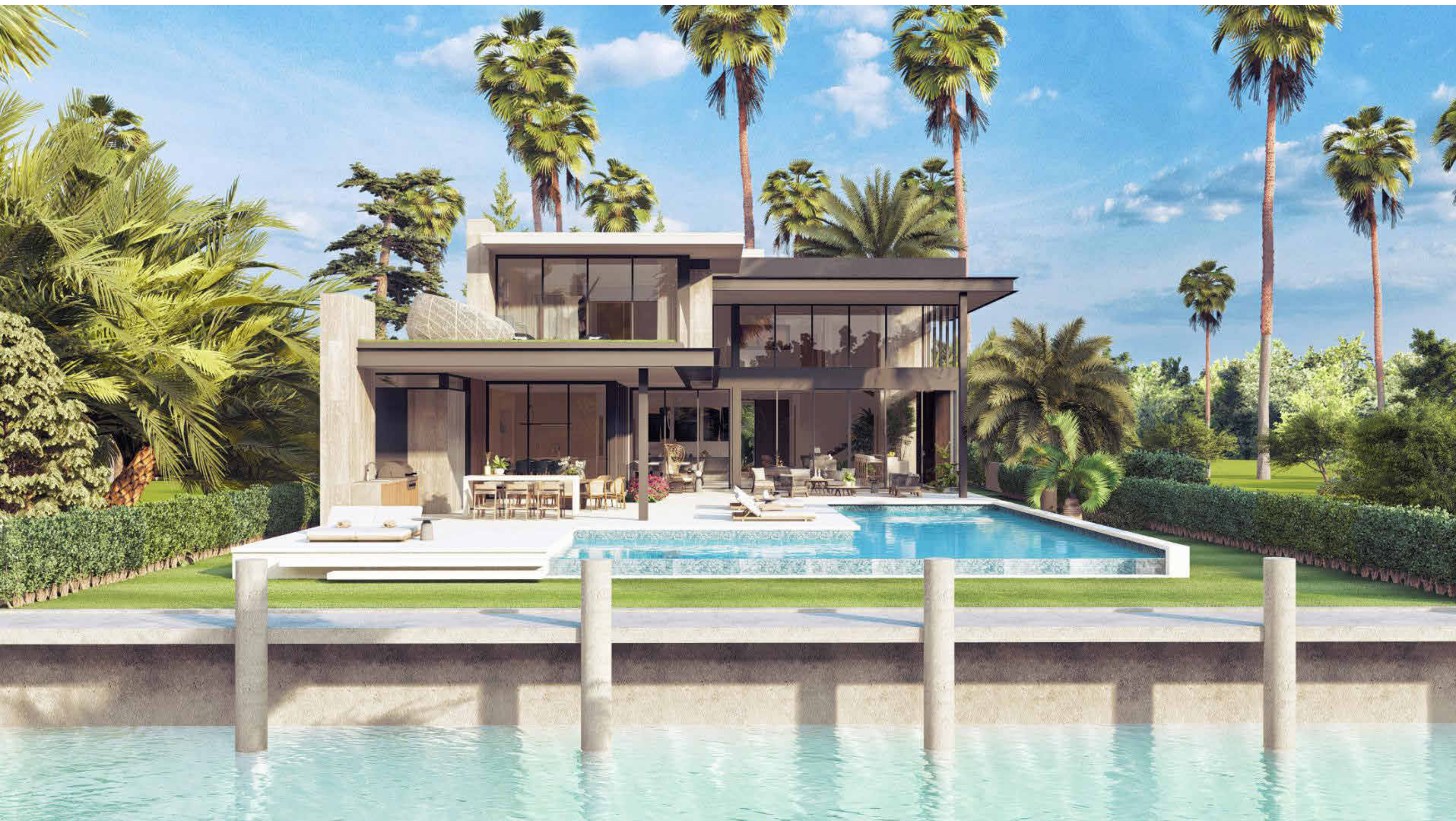
LEGAL DESCRIPTION
ADDRESS: 1051 S. SOUTHLAKE DR. HOLLYWOOD, FLORIDA, 33019
LOT: 30 AND THE WEST BLOCK: 54 PLAT BOOK: 1 PAGE: 32

HIGHEST CROWN OF ROAD ELEVATION: 2'-0" FLOOD ZONE: AE 7
AVERAGE OF CROW OF ROAD ELEVATION: 1' - 11" BASE FLOOD: +9' NAVD

ALL SITE INFORMATION WAS TAKEN FROM THE ATTACHED CERTIFIED SURVEY, OR A CERTIFIED PREPARED BY:
SURVEYOR'S NAME: J23 PLS LIC.: FIELD WORK DATE:

| PROPOSED | LOWEST FLOOR ELEVATION | GARAGE/STORAGE ELEV. | ADJACENT GRADE ELEV. |
|----------|------------------------|----------------------|----------------------|
| MINIMUM | | | |

AS-BUILT ELEVATION SURVEY IS REQUIRED BEFORE MAKING ANY INSPECTION ABOVE LOWEST FLOOR AND AS-BUILT ELEVATION CERTIFICATE IS REQUIRED BEFORE ISSUANCE OF CERTIFICATE OF OCCUPANCY OR COMPLETION (11C3-303)



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ARCHITECTURE + DESIGN

AA26002885

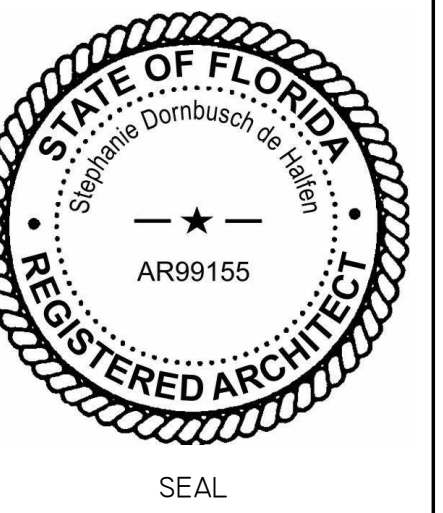
18200 NE 19TH AVE, SUITE 100
NORTH MIAMI BEACH, FL 33162
(305) 501-5015
INFO@SDHSTUDIO.COM

STEPHANE D. DE HALFEN
ARCHITECT P.A.
ARCH REG# 99155

1051 S

1051 S. SOUTHLAKE DR.
HOLLYWOOD, FLORIDA, 33019

GORENSTEIN



NOTES/COMMENTS

REVISIONS / SUBMISSIONS

RENDERINGS

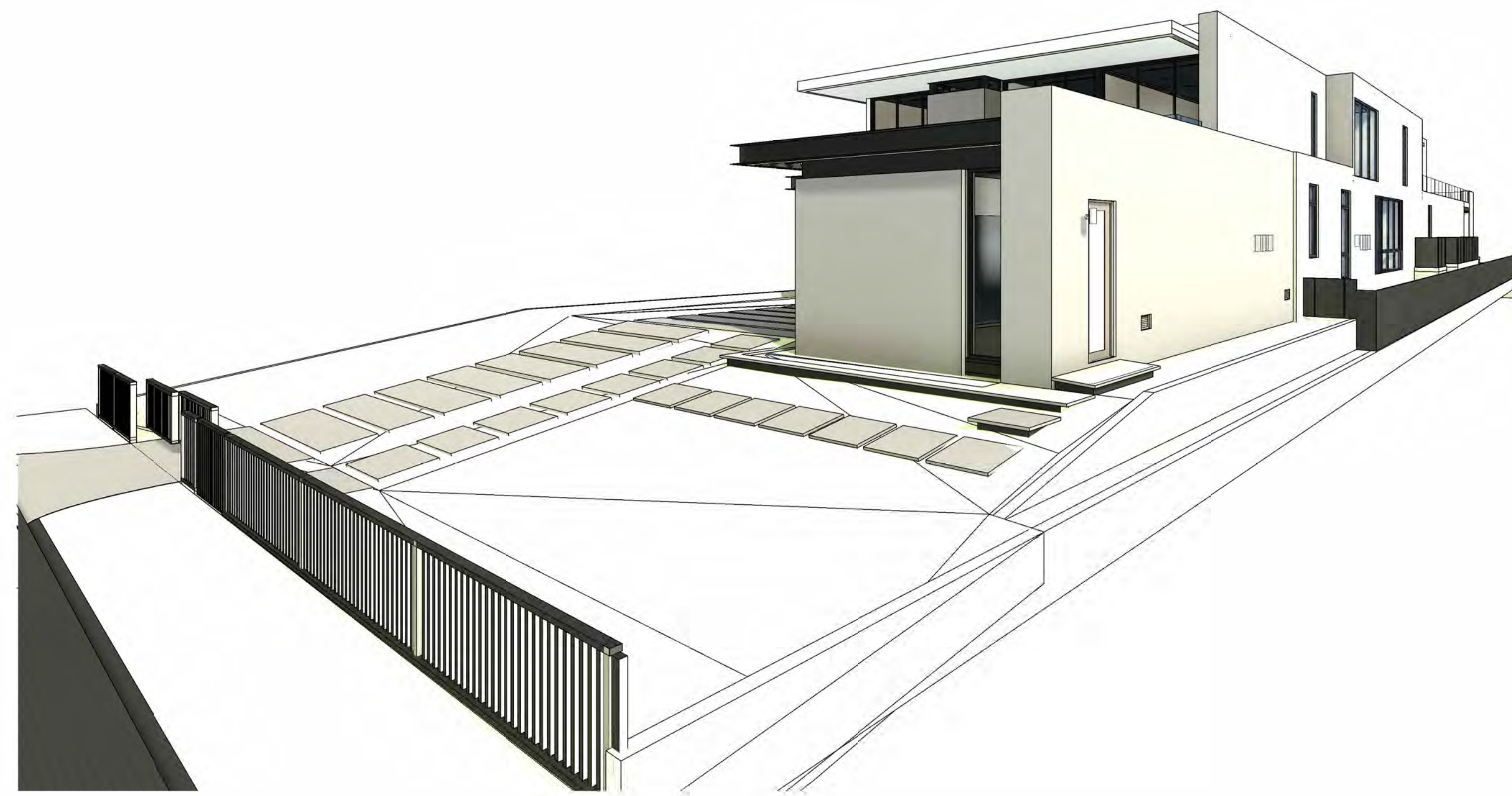
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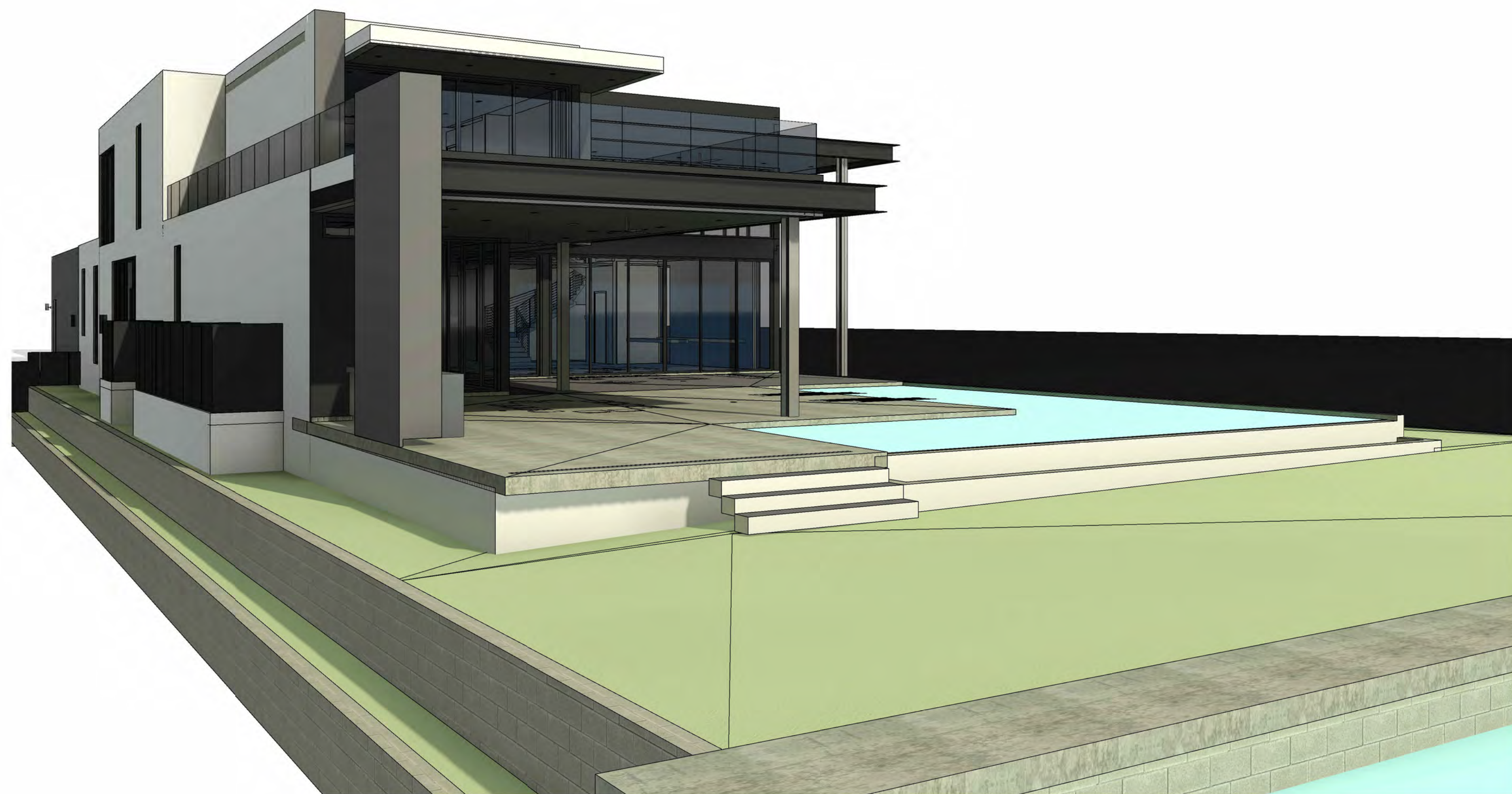
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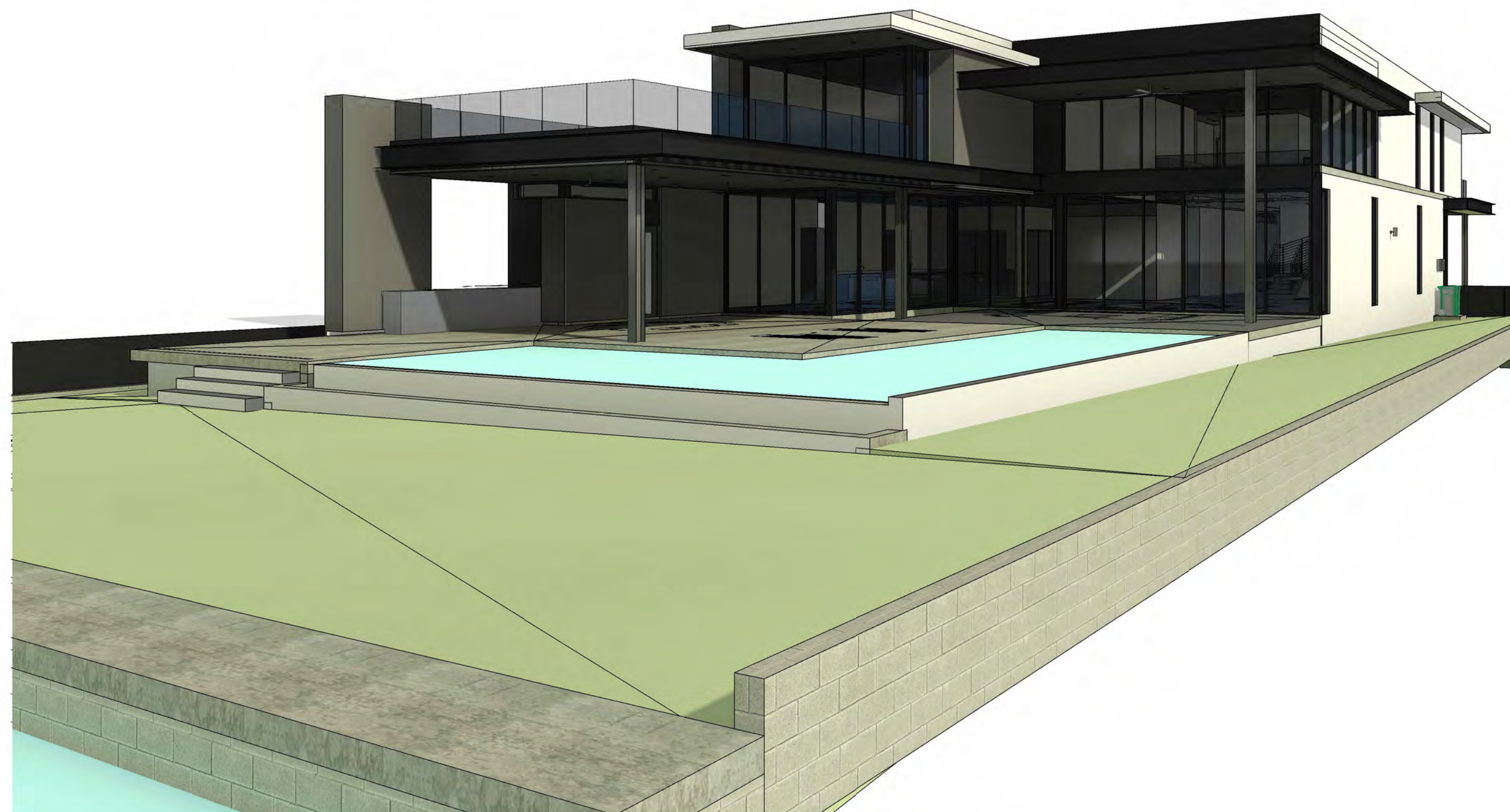
1 FRONT 1



2 FRONT 2



3 REAR 1



4 REAR 2

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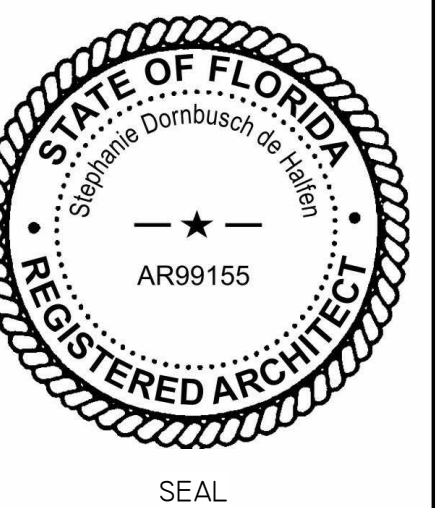
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ARCH REG# 99155

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NOTES/COMMENTS

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3D VIEWS

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INFO@SDHSTUDIO.COM

STEPHANE D. DE HALFEN
ARCHITECT P.A.
ARCH REG# 99155



1101 S. SOUTHLAKE DR.



1051 S. SOUTHLAKE DR. EAST (PROPOSED BUILDING)



1047 S. SOUTHLAKE DR.

1051 S

1051 S. SOUTHLAKE DR.
HOLLYWOOD, FLORIDA, 33019

GORENSTEIN

SOUTH SOUTHLAKE DRIVE

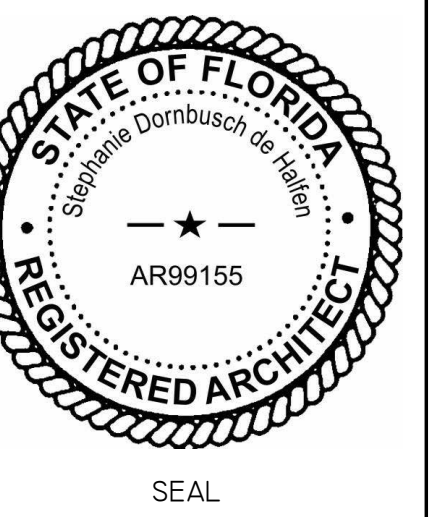
1114 S. SOUTHLAKE DR.



1050 S. SOUTHLAKE DR.



1042 S. SOUTHLAKE DR.



NOTES/COMMENTS

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2 HPB 07.26.24
COMMENTS

STREET PROFILE

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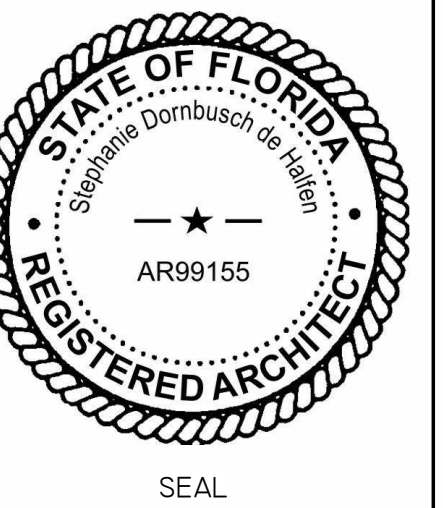
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A-100.3

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NOTES/COMMENTS

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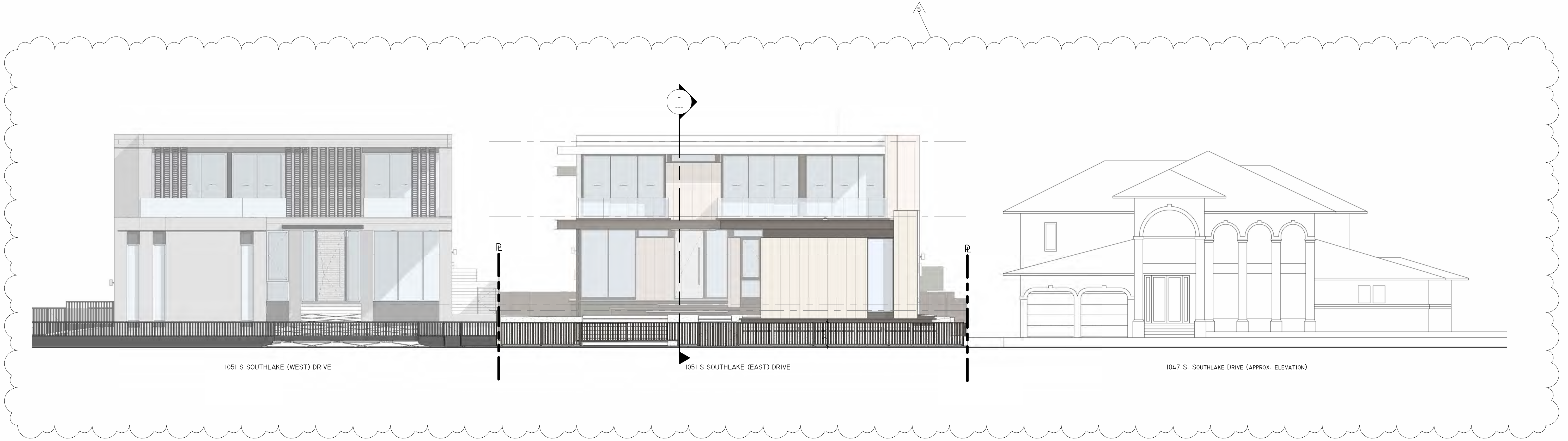
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|---|--------------|----------|
| 2 | HPB COMMENTS | 07.26.24 |
| 5 | HPB COMMENTS | 09-23-24 |

STREET PROFILE ELEVATION

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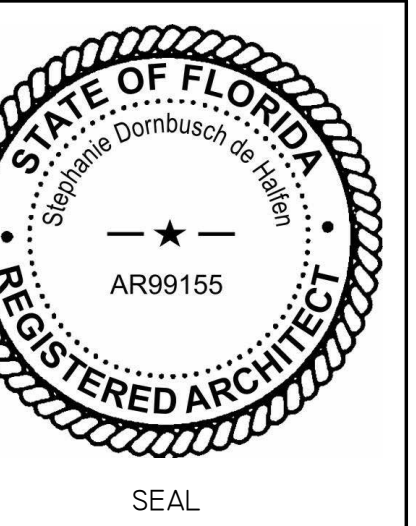
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NOTES/COMMENTS

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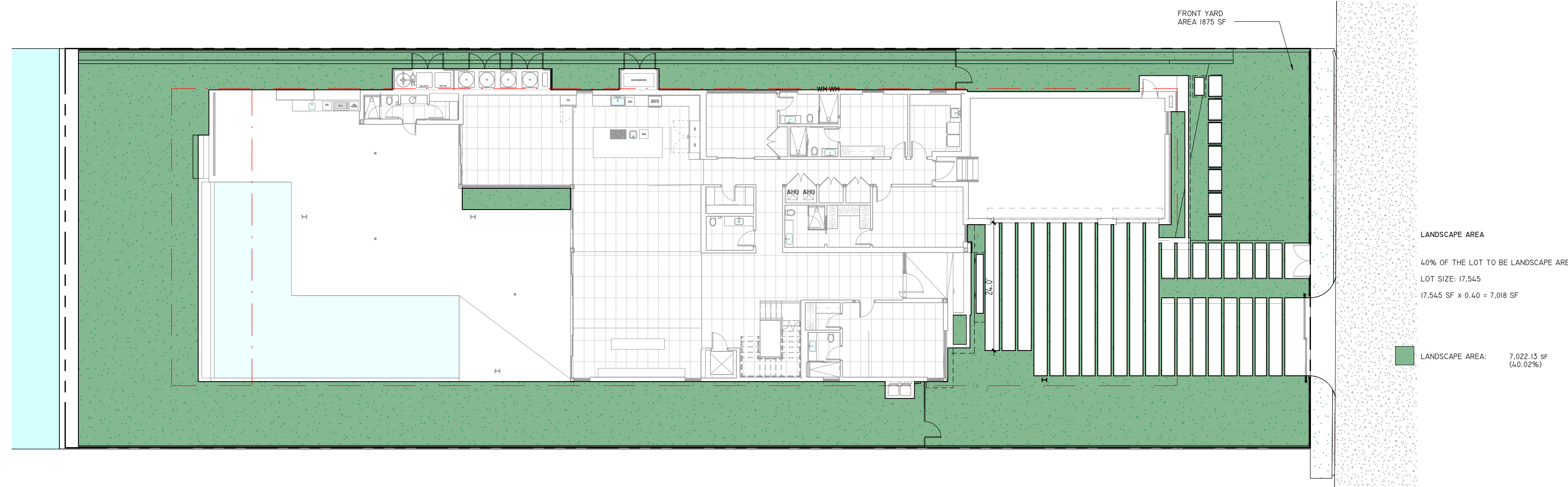
| | | |
|---|----------|----------|
| 2 | HPB | 07.26.24 |
| | COMMENTS | |

AREA DIAGRAMS

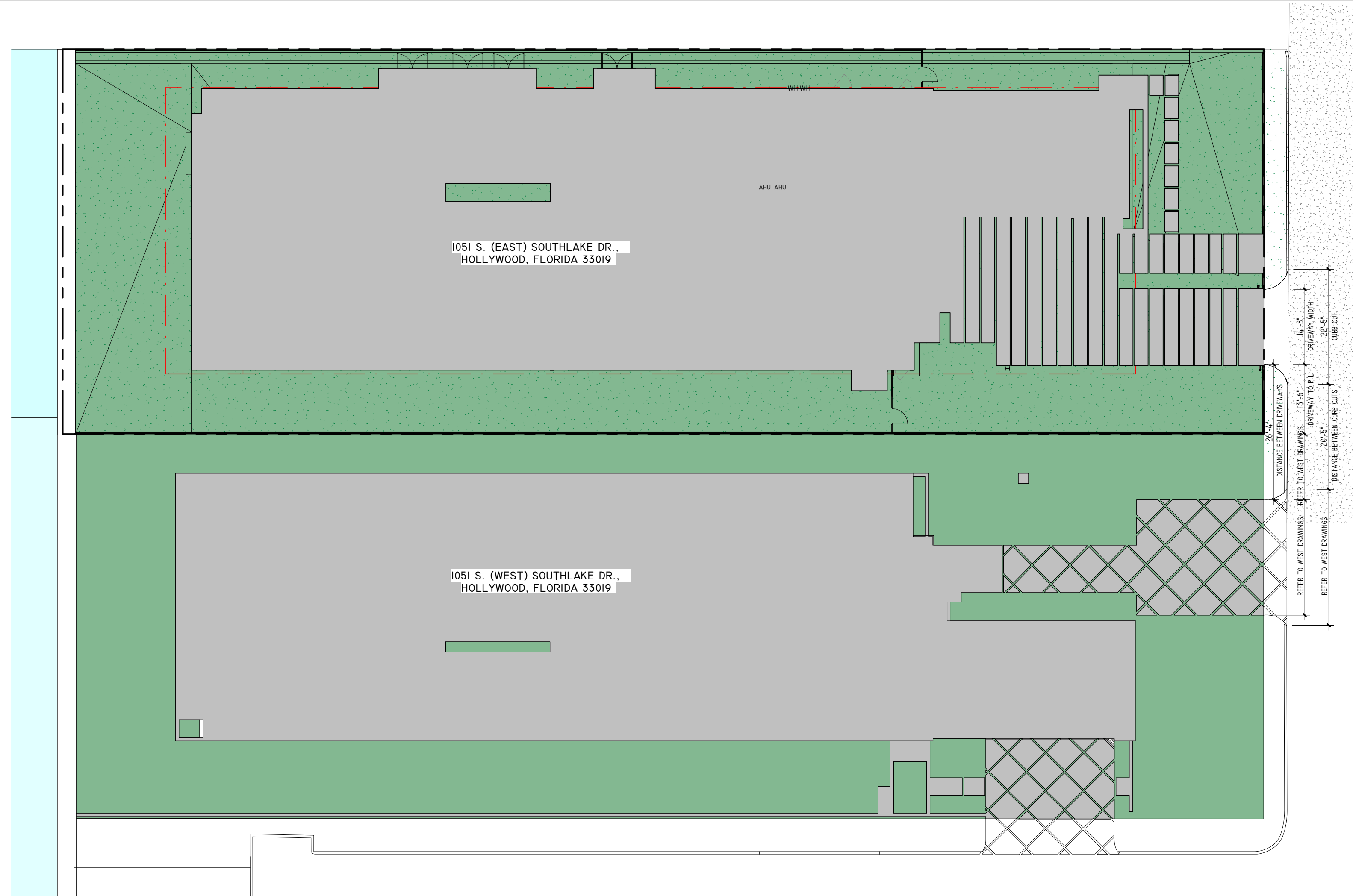
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A-100.5



2 LANDSCAPE AREA

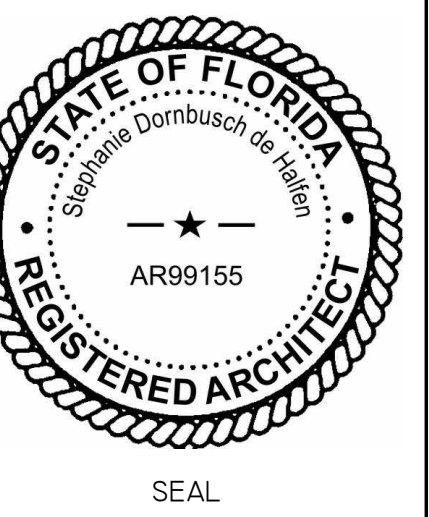


1 FULL SITE PLAN

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GORENSTEIN



NOTES/COMMENTS

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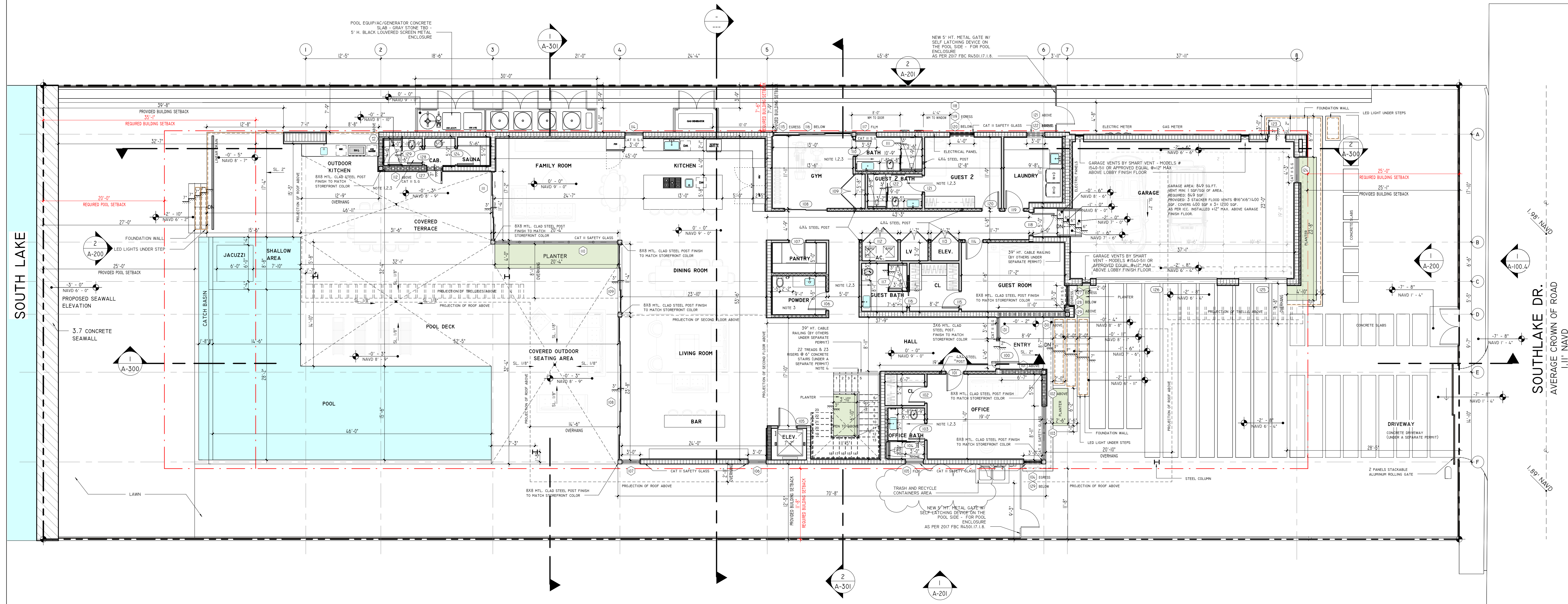
| | | |
|---|----------|----------|
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| | COMMENTS | |
| 5 | HPB | 09-23-24 |
| | COMMENTS | |

FIRST FLOOR PLAN

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A-101



WALL LEGEND

- 3 5/8" - 25 GA. MTL. STUDS @ 16" O.C. 5/8" GYP. BD. EA. SIDE. PROVIDE 5/8" DUROCK BOARD AT WET AREAS AND "MOISTURE RESISTANT GREENBOARD AT AREAS SUBJECT TO MOISTURE (BATHROOMS.).
- 6" - 25 GA. MTL. STUDS @ 16" O.C. 5/8" GYP. BD. EA. SIDE. PROVIDE 5/8" DUROCK BOARD AT WET AREAS AND "MOISTURE RESISTANT GREENBOARD AT AREAS SUBJECT TO MOISTURE (BATHROOMS.).
- NEW 8" C.M.U. WALL - SEE STRUCTURAL DWGS. FOR SPECIFICATIONS
- NEW 8" POUR-IN-PLACE CONCRETE WALL - SEE STRUCTURAL DWGS. FOR SPECIFICATIONS
- NEW 8" C.M.U. WALL W/ - 2"x2" P.T. WD OR 1 1/2" MTL. FURRING @ 24" O.C. & R-7.8 INSULATION SEE STRUCTURAL DWGS. FOR SPECIFICATIONS

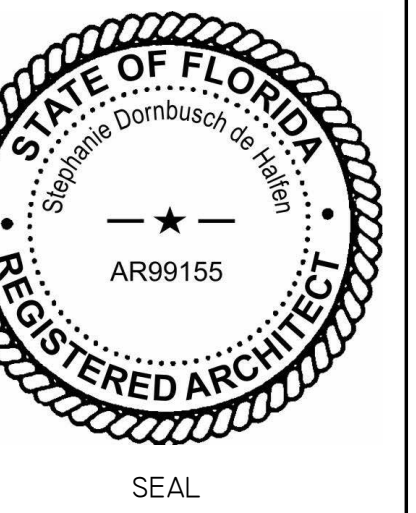
NOTE: FOR ALL NOTES PLEASE REFER TO SHEET A-001: FLOOR PLAN NOTES

FIRST FLOOR PLAN
1/8" = 1'-0"

1051 S

1051 S. SOUTHLAKE DR.
HOLLYWOOD, FLORIDA, 33019

GORENSTEIN



NOTES/COMMENTS

REVISIONS / SUBMISSIONS

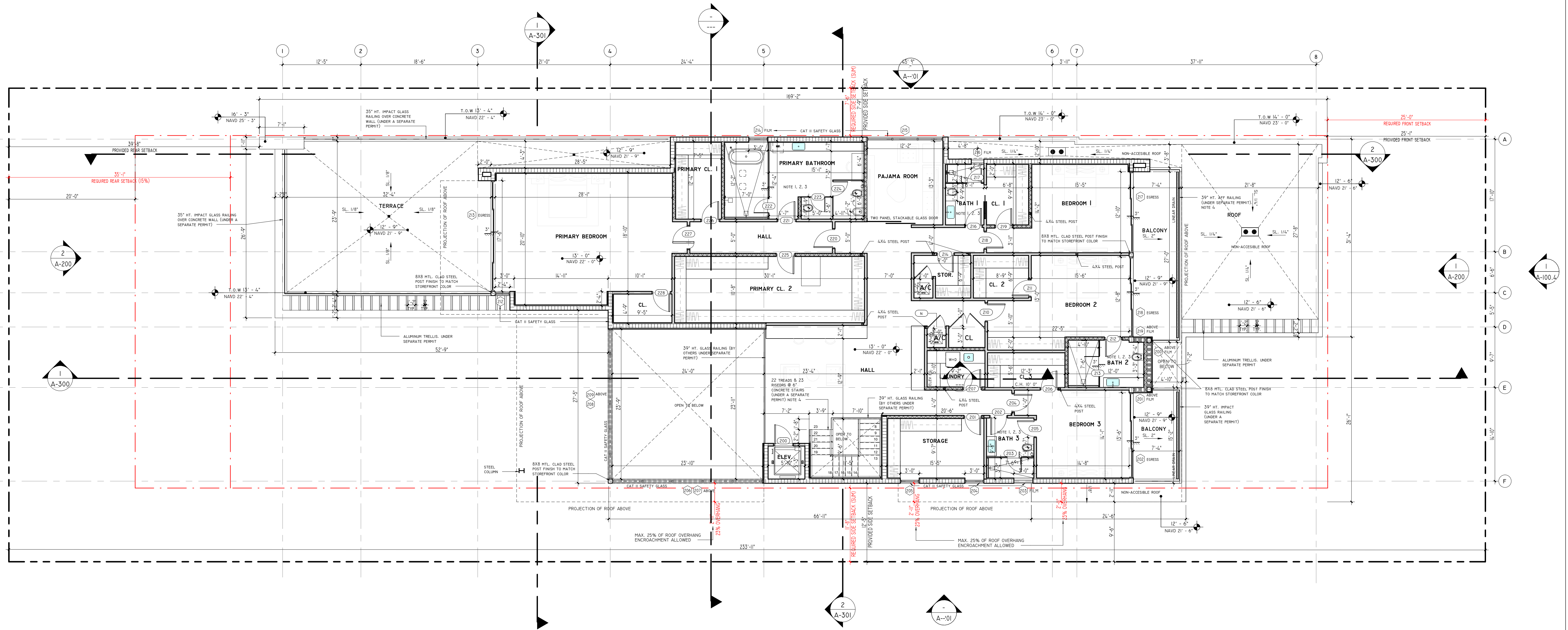
2 HPB 07.26.24
COMMENTS

SECOND FLOOR

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A-102



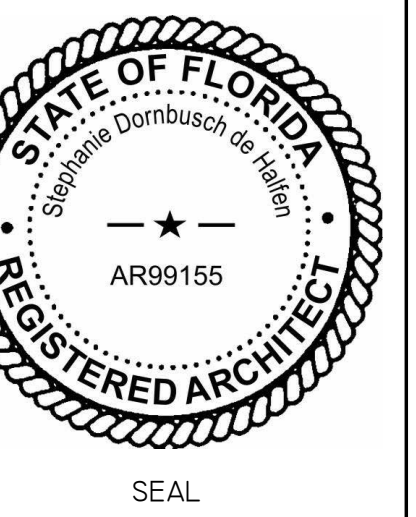
NOTE: FOR ALL NOTES PLEASE REFER TO SHEET A-001: FLOOR PLAN NOTES

2ND FLOOR
1/8" = 1'-0"

1051 S

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GORENSTEIN



NOTES/COMMENTS

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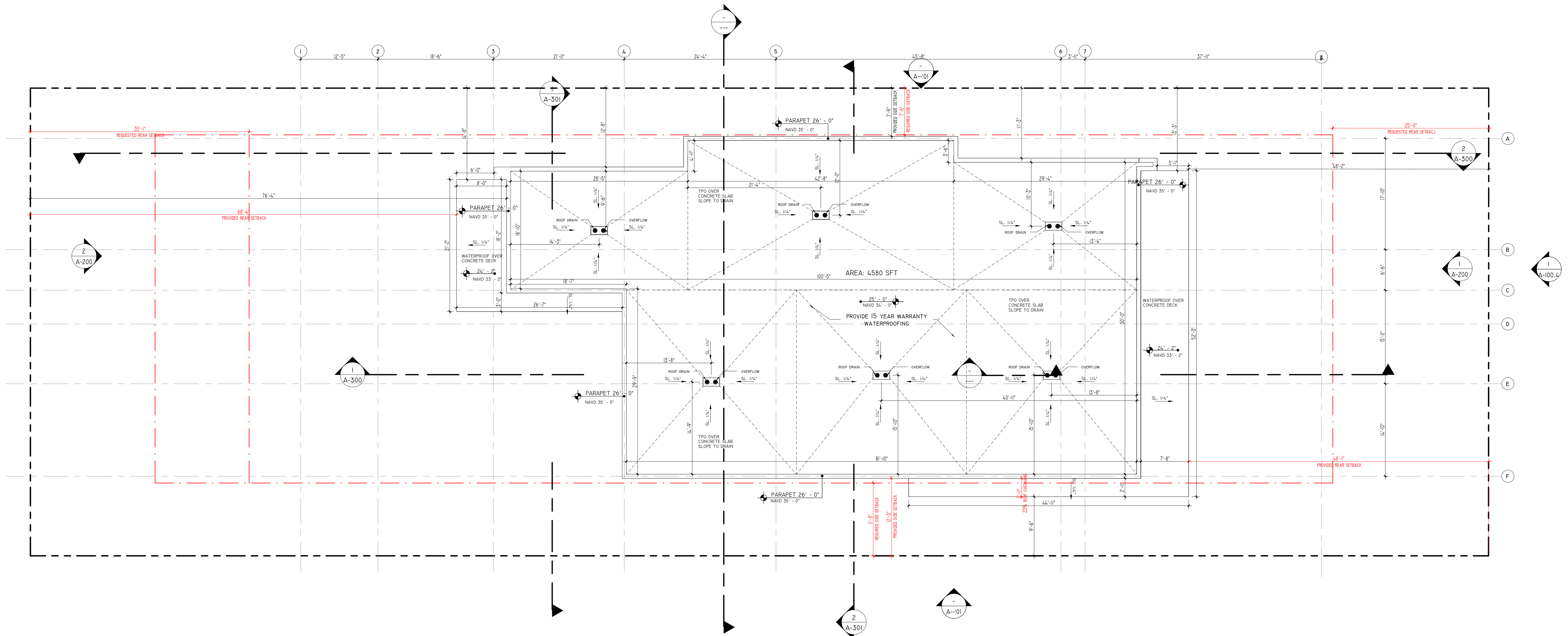
| | | |
|---|--------------|----------|
| 2 | HPB COMMENTS | 07.26.24 |
|---|--------------|----------|

ROOF PLAN

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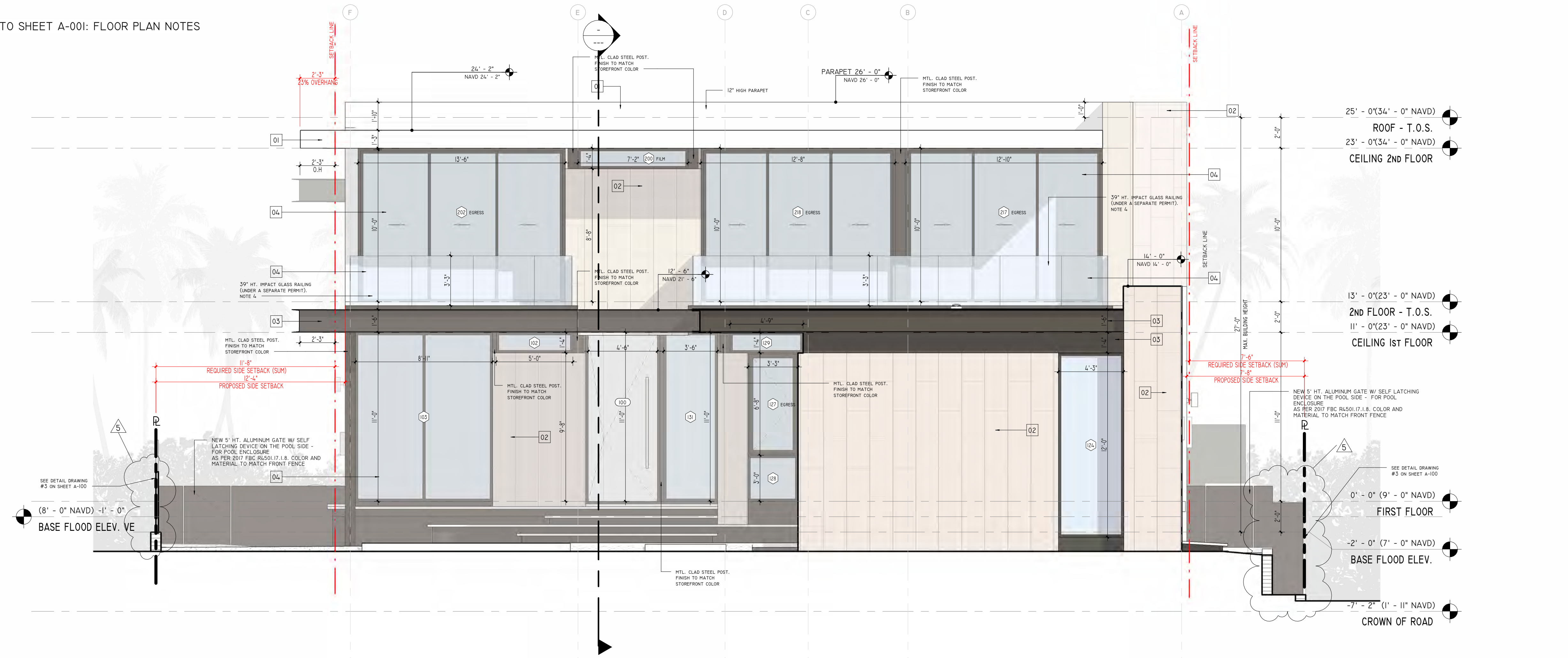
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RELEASE DATE:

A-103



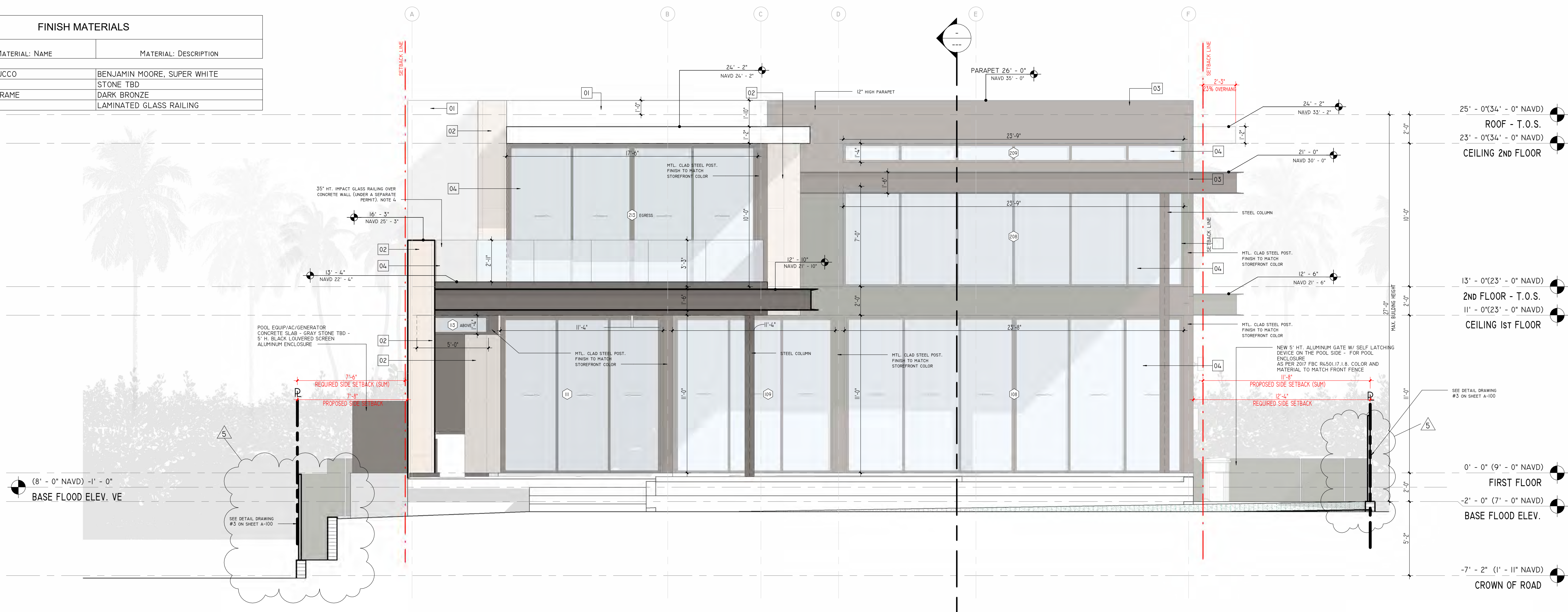
NOTE: FOR ALL NOTES PLEASE REFER TO SHEET A-001: FLOOR PLAN NOTES

NOTE: FOR ALL NOTES PLEASE REFER TO SHEET A-001: FLOOR PLAN NOTES



1 SOUTH
1/4" = 1'-0"

| FINISH MATERIALS | | |
|------------------|----------------|-----------------------------|
| MATERIAL MARK | MATERIAL NAME | MATERIAL DESCRIPTION |
| 01 | SMOOTH STUCCO | BENJAMIN MOORE, SUPER WHITE |
| 02 | STONE | STONE TBD |
| 03 | ALUMINUM FRAME | DARK BRONZE |
| 04 | GLASS | LAMINATED GLASS RAILING |



2 NORTH
1/4" = 1'-0"

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ARCHITECTURE + DESIGN

AA26002885

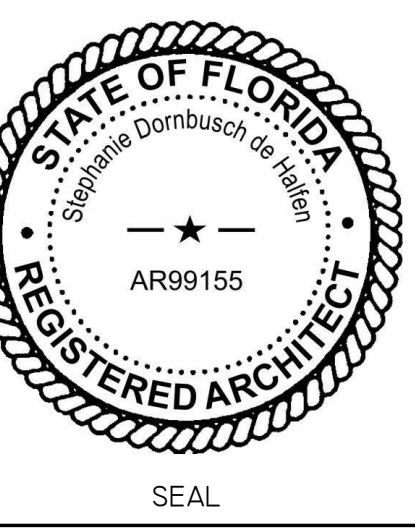
18200 NE 19TH AVE, SUITE 100
NORTH MIAMI BEACH, FL 33162
(305) 501 5015
INFO@SDHSTUDIO.COM

STEPHANE D. DE HALFEN
ARCHITECT P.A.
ARCH REG # 99155

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GORENSTEIN



NOTES/COMMENTS

| REVISIONS / SUBMISSIONS | | |
|-------------------------|--------------|----------|
| 2 | HPB COMMENTS | 07-26-24 |
| 5 | HPB COMMENTS | 09-23-24 |

ELEVATIONS

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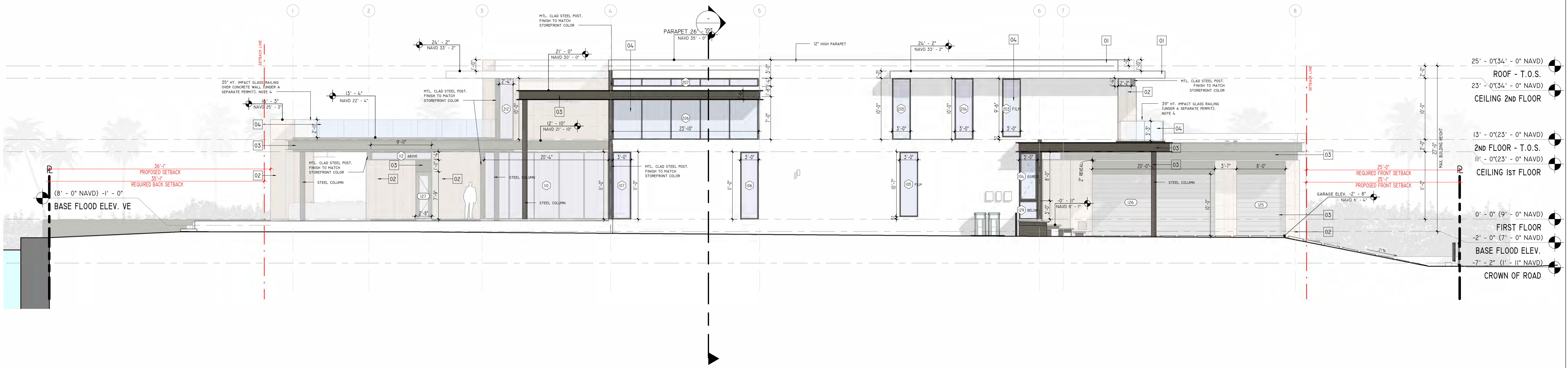
NOTE: FOR ALL NOTES PLEASE REFER TO SHEET A-001: FLOOR PLAN NOTES

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ARCHITECTURE+DESIGN

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(305).501.5015
INFO@SDHSTUDIO.COM

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ARCHITECT P.A.
ARCH REG# 99155



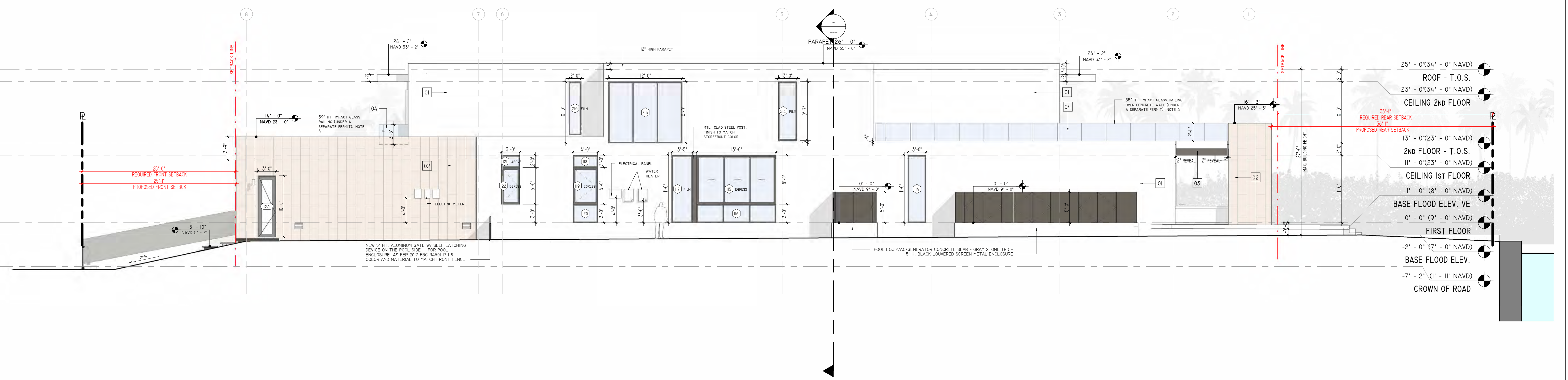
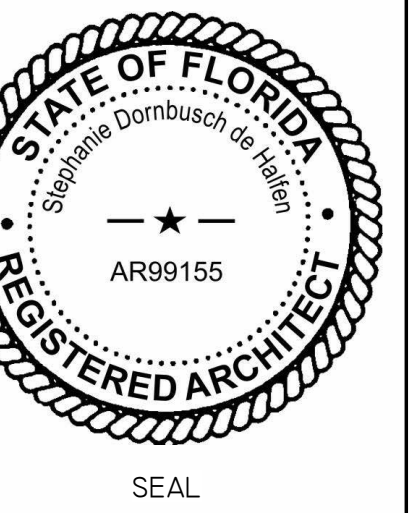
1051 S

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GORENSTEIN

1 WEST
1/8" = 1'-0"

| FINISH MATERIALS COPY 1 | | |
|-------------------------|----------------|-----------------------------|
| MATERIAL MARK | MATERIAL NAME | MATERIAL DESCRIPTION |
| 01 | SMOOTH STUCCO | BENJAMIN MOORE, SUPER WHITE |
| 02 | STONE | STONE TBD |
| 03 | ALUMINUM FRAME | DARK BRONZE |
| 04 | GLASS | LAMINATED GLASS RAILING |



2 EAST
1/8" = 1'-0"

NOTES/COMMENTS

REVISIONS / SUBMISSIONS

2 HPB 07.26.24
COMMENTS

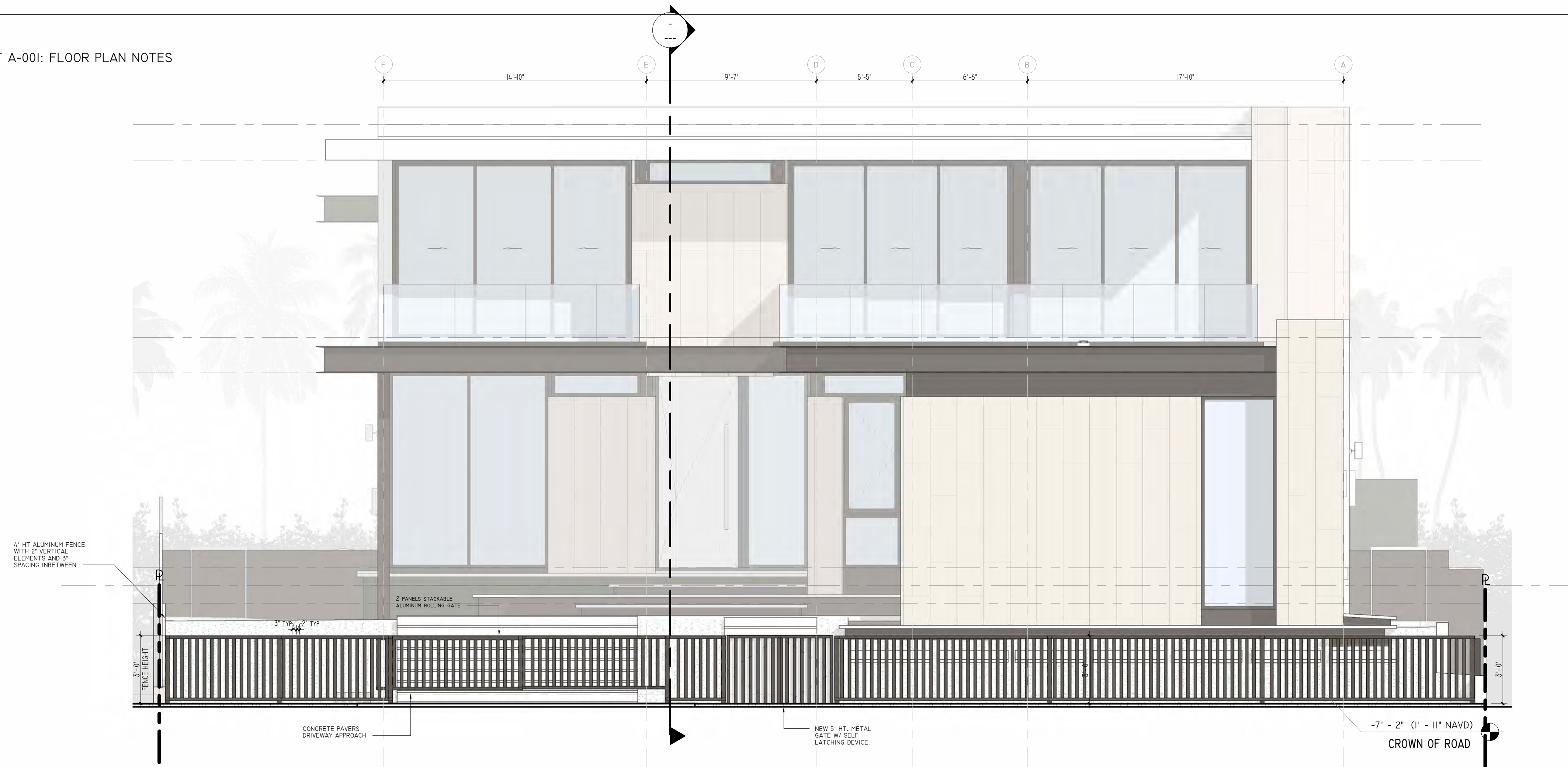
ELEVATIONS

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NOTE: FOR ALL NOTES PLEASE REFER TO SHEET A-001: FLOOR PLAN NOTES



1 FENCE
1/4" = 1'-0"

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ARCHITECTURE + DESIGN

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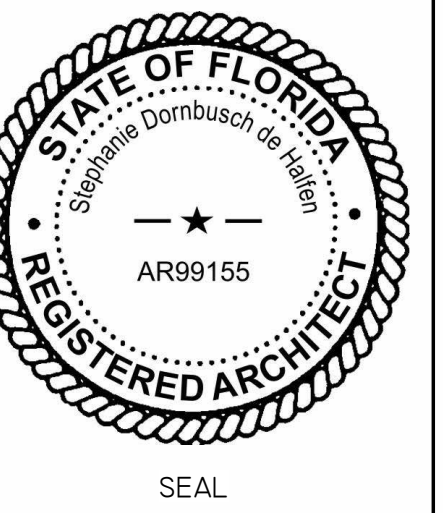
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GORENSTEIN



NOTES/COMMENTS

REVISIONS / SUBMISSIONS

| | | |
|---|--------------|----------|
| 1 | HBP COMMENTS | 06.26.24 |
| 2 | HPB COMMENTS | 07.26.24 |

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ARCHITECTURE+DESIGN

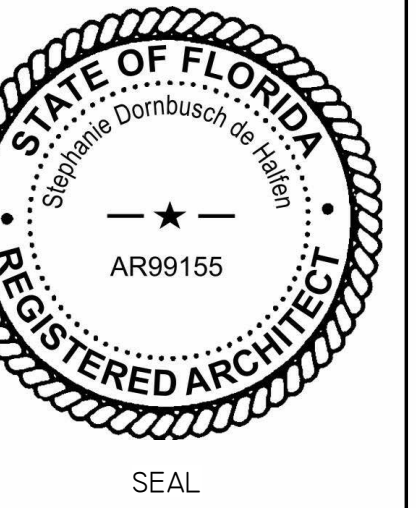
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18200 NE 19TH AVE, SUITE 100
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ARCHITECT P.A.
ARCH REG# 99155

1051 S

1051 S. SOUTHLAKE DR.
HOLLYWOOD, FLORIDA, 33019

GORENSTEIN



NOTES/COMMENTS

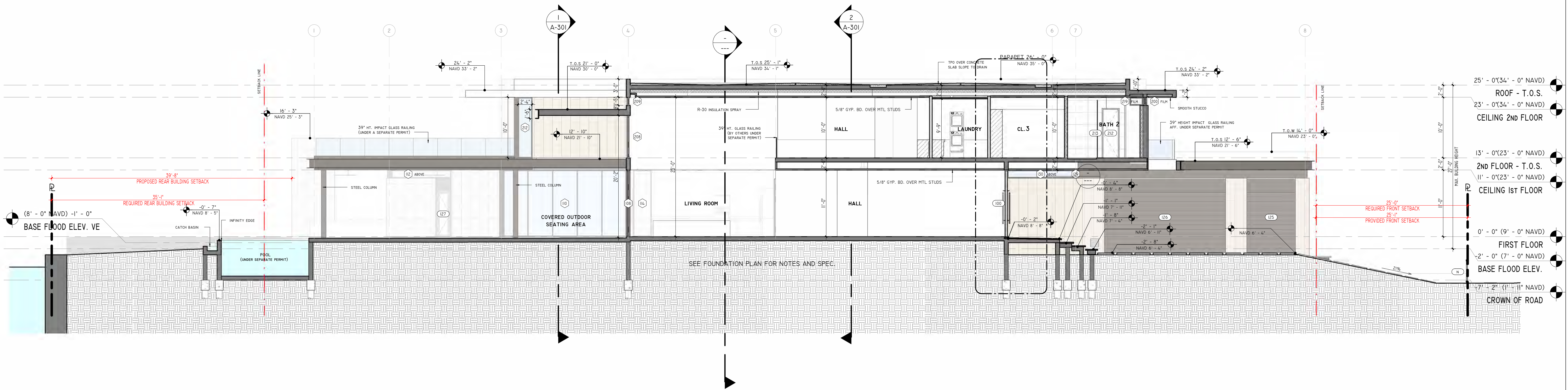
REVISIONS / SUBMISSIONS

SECTIONS

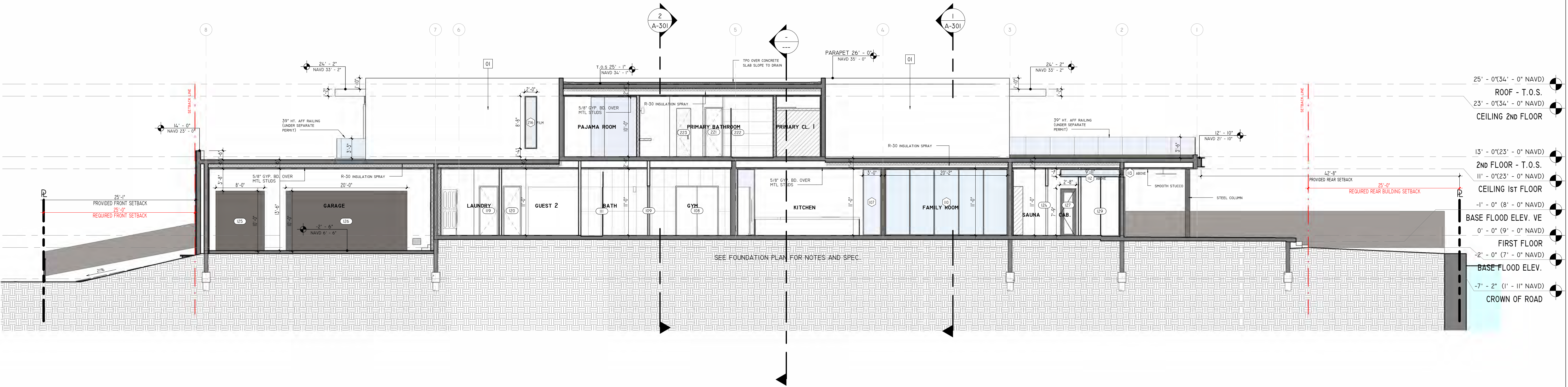
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A-300

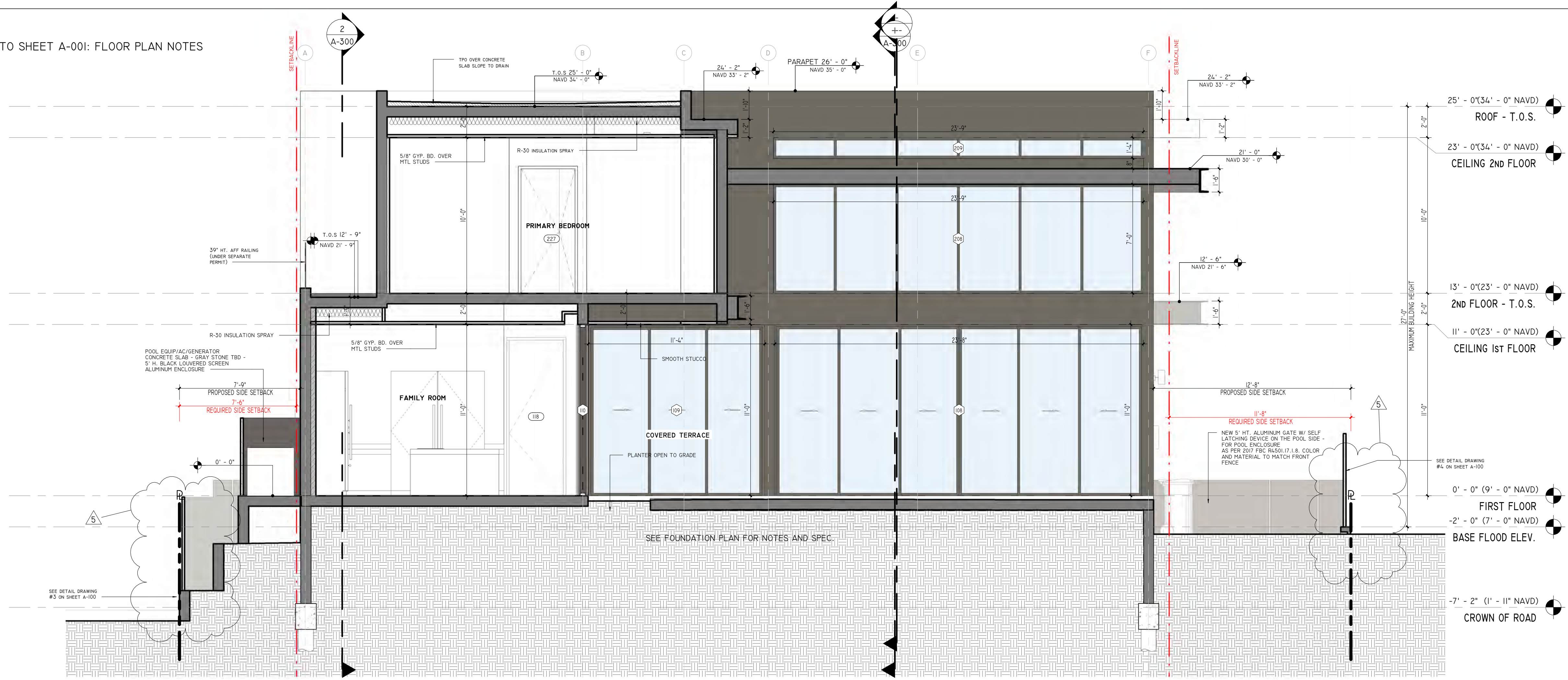


SECTION 1
1/8" = 1'-0"

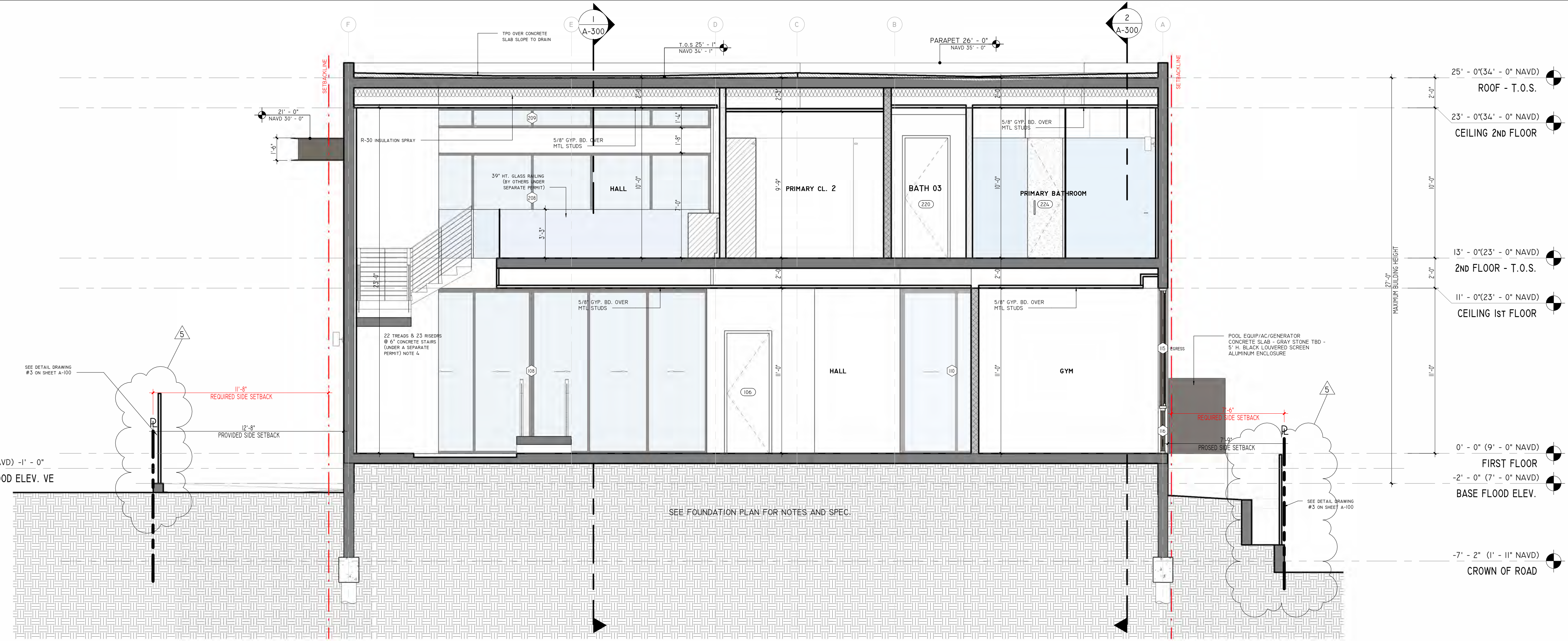


SECTION 2
1/8" = 1'-0"

NOTE: FOR ALL NOTES PLEASE REFER TO SHEET A-001: FLOOR PLAN NOTES



SECTION 3
1/4" = 1'-0"



SECTION 4
1/4" = 1'-0"

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ARCHITECTURE + DESIGN

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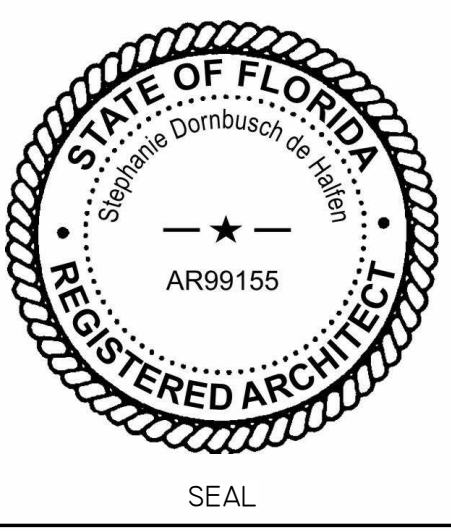
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ARCH REG# 99155

1051 S

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HOLLYWOOD, FLORIDA, 33019

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NOTES/COMMENTS

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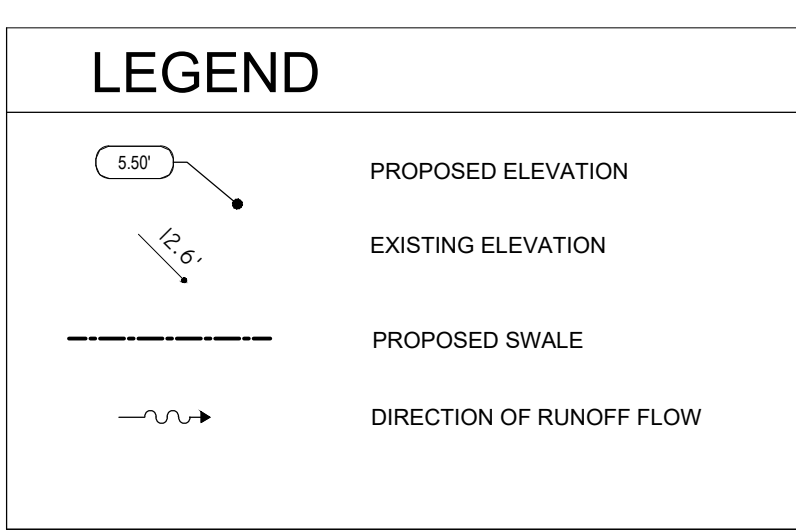
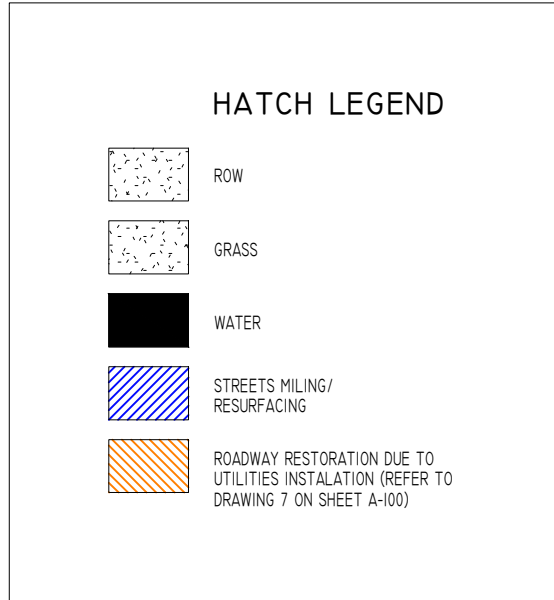
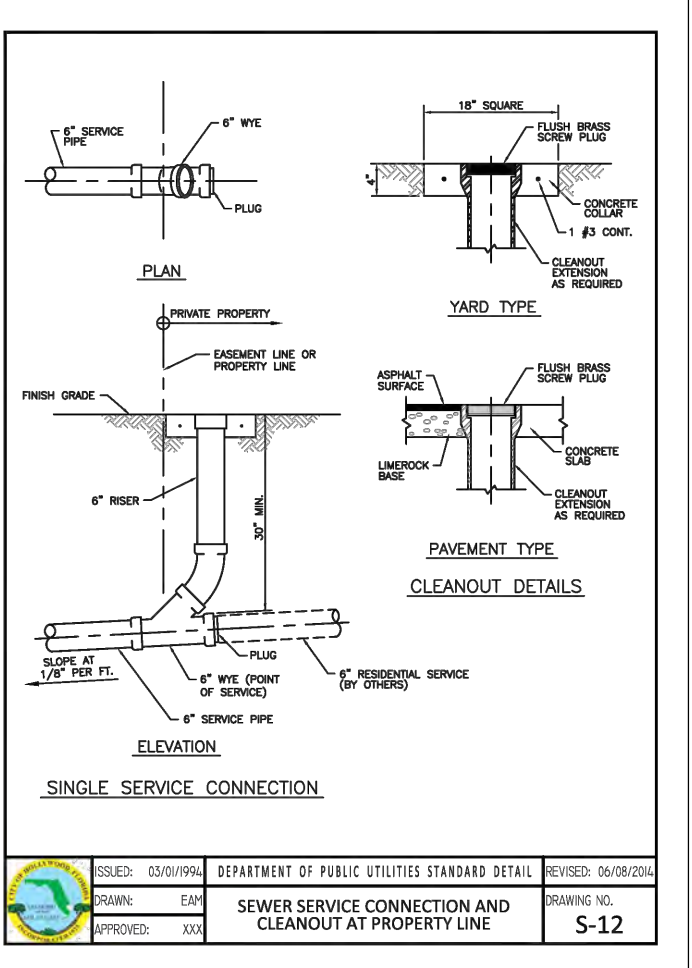
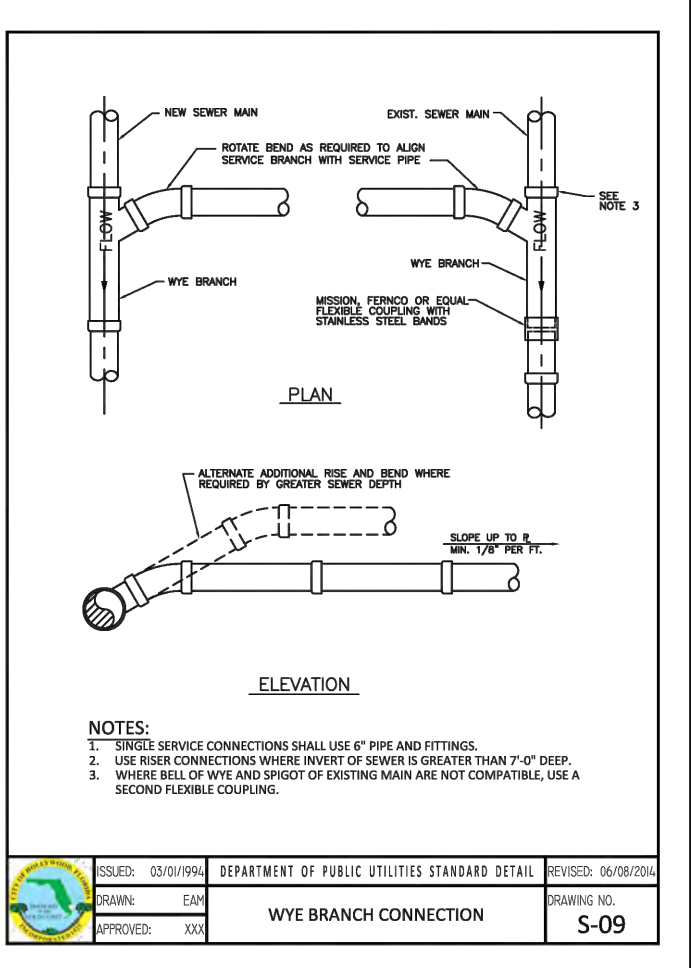
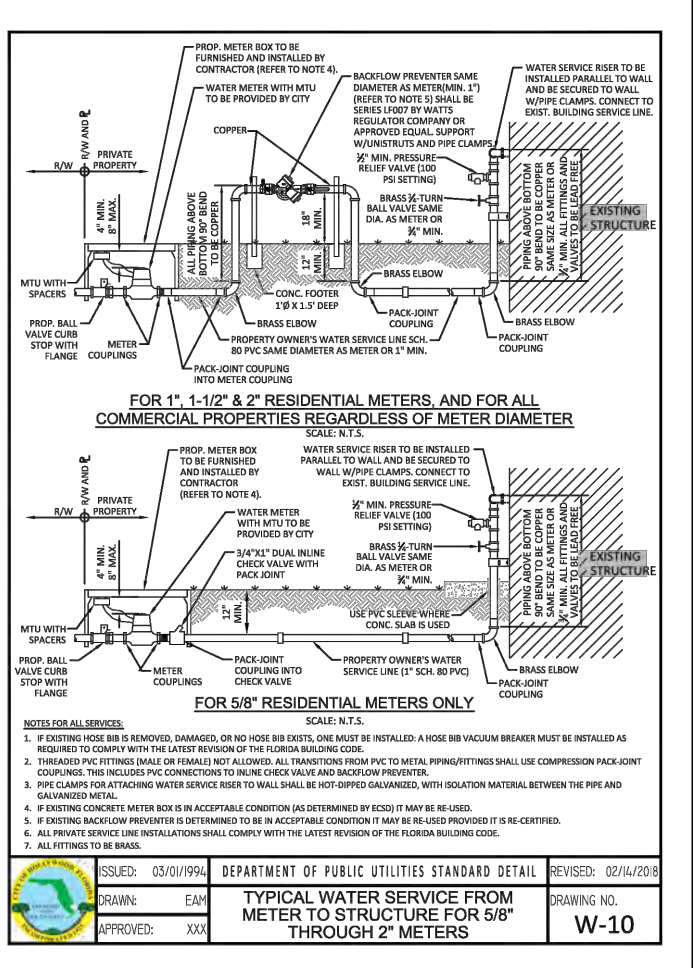
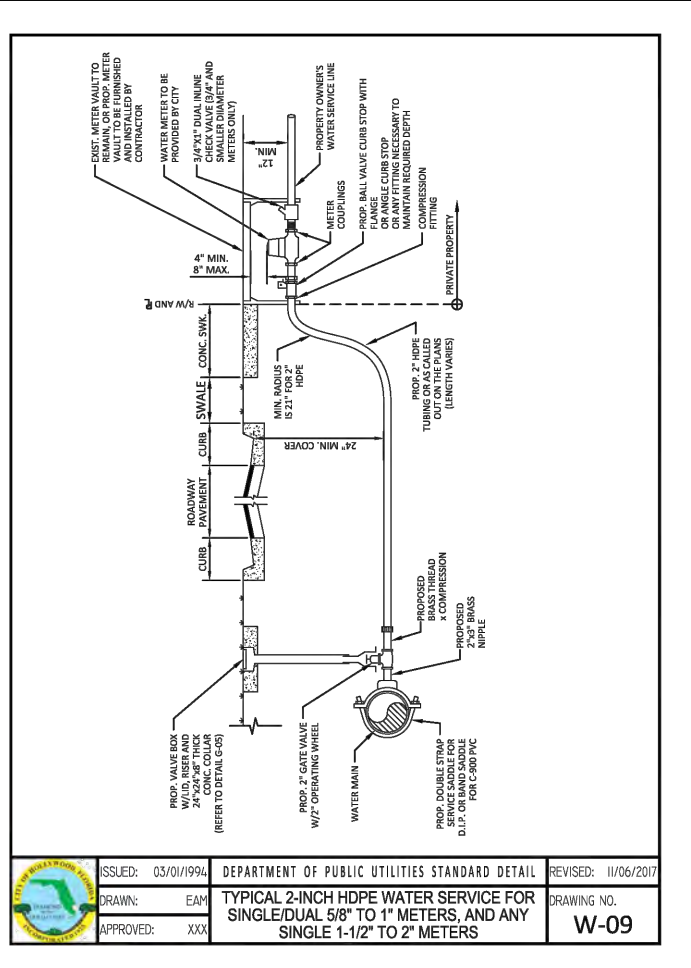
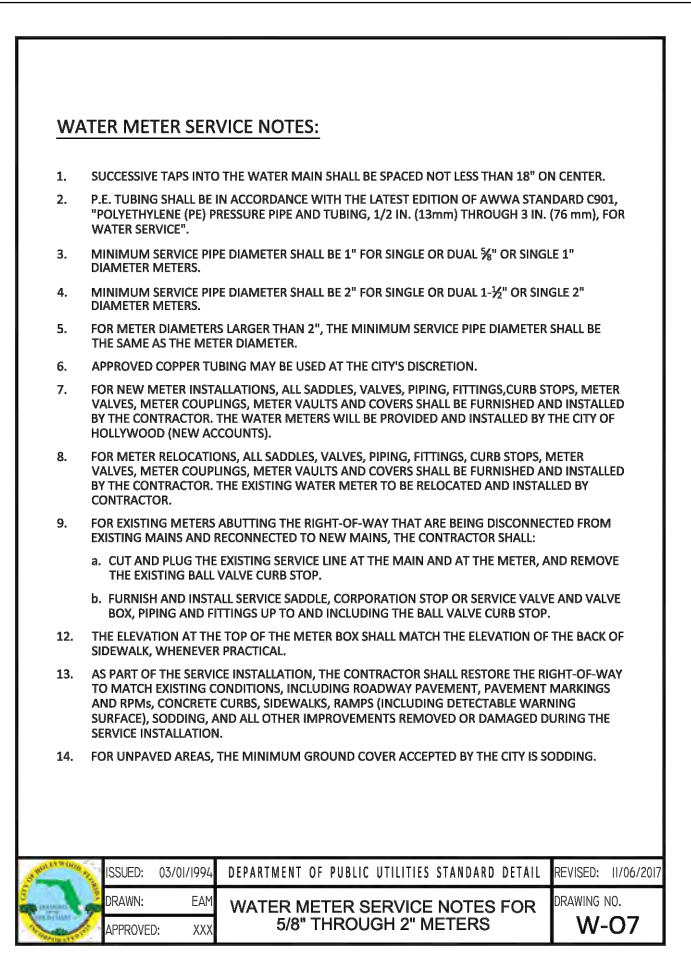
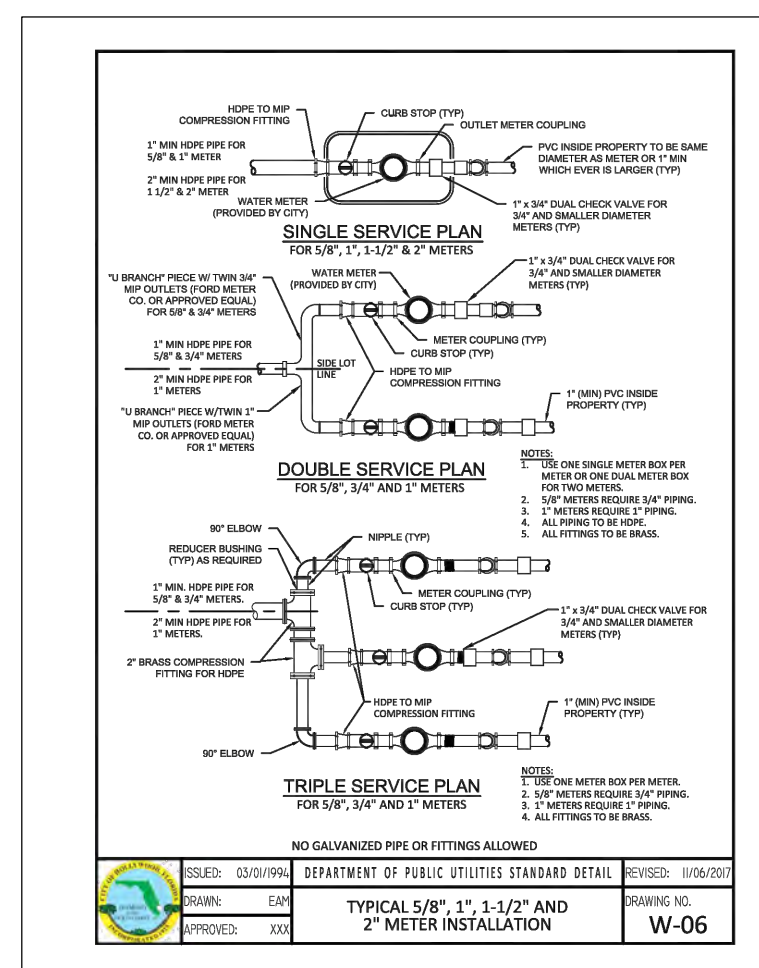
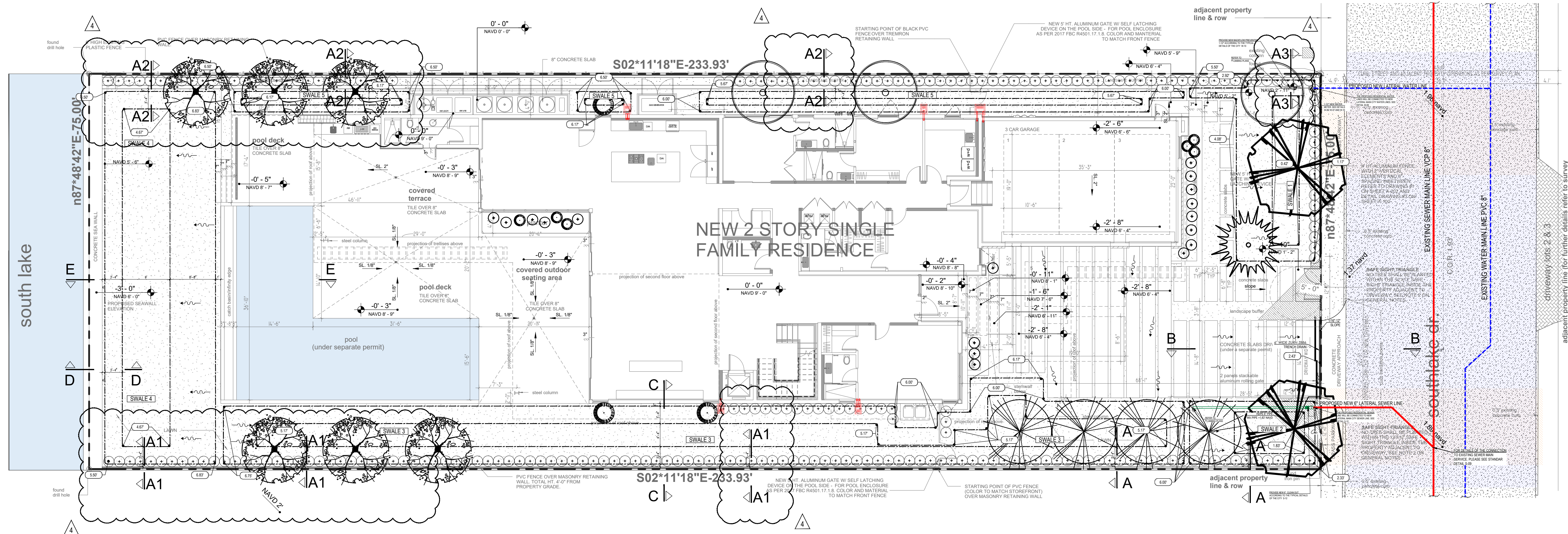
| | | |
|---|--------------|----------|
| 2 | HPB COMMENTS | 07.26.24 |
| 5 | HPB COMMENTS | 09.23.24 |

SECTIONS

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A-301



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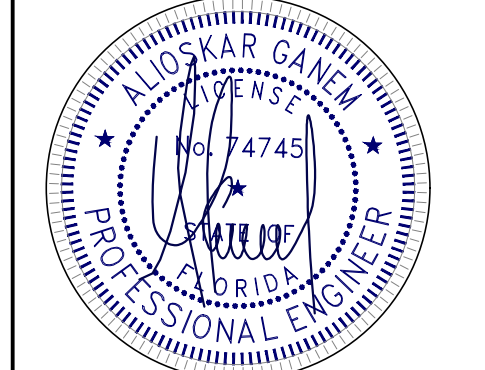
18200 NE 19TH AVE, SUITE 100
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(305) 501 5013
INFO@SDHSTUDIO.COM

STEPHANE D. DE HALFEN
ARCHITECT P.A.

ARCH. REG.# 99155

GCE

GANEM CONSULTING ENGINEERING
FL. C.A.#31187 FL. PE.#74745
15805 BISCAYNE BLVD, SUITE 105
NORTH MIAMI BEACH, FL 33160
TEL: (786) 916-6546
info@ganemce.com



1051 S (EAST LOT)

1051 S. SOUTHLAKE DR.
HOLLYWOOD, FLORIDA, 33019

GORENSTEIN

SEAL

NOTES/COMMENTS

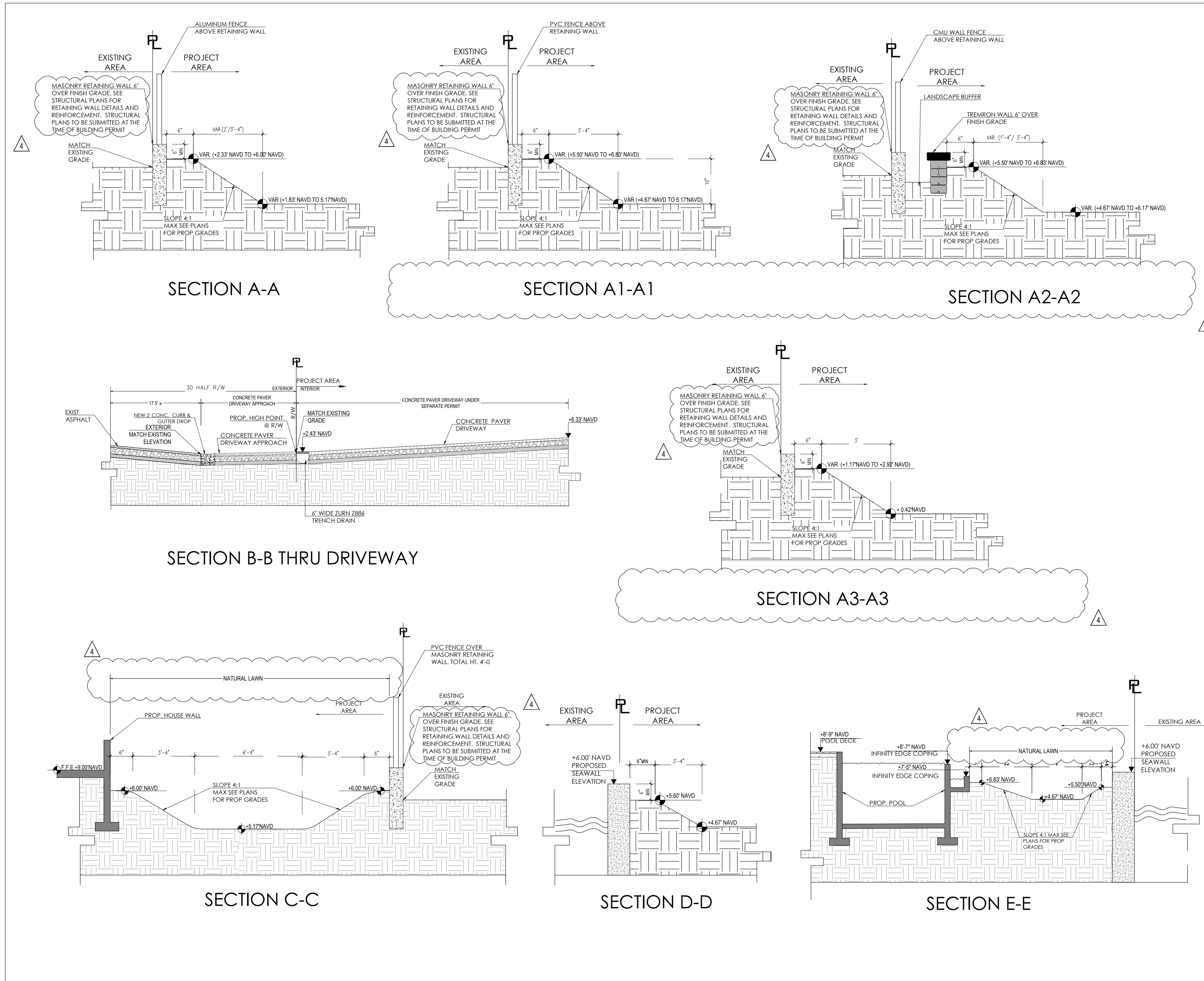
REVISIONS / SUBMISSIONS

| | |
|---|------------|
| 1 | 08-16-2024 |
| 2 | 09-04-2024 |
| 3 | 10-18-2024 |
| 4 | 10-23-2024 |

STORM DRAINAGE PLAN

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LEGAL DESCRIPTION

LOT 28, AND THE EAST 1/2 OF LOT 39, LESS THE SOUTH 30 FEET THEREOF, IN BLOCK 54 OF HOLLYWOOD LAKE SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ADDRESS:
1051 S. SOUTHLAKE DRIVE, HOLLYWOOD, FL 33019 (EAST LOT)

NOTES:
1. ELEVATIONS SHOWN ON ENGINEERING PLAN ARE BASED ON N.A.V.D. 88 UNLESS OTHERWISE NOTED.
2. INFORMATION ON THIS SITE PLAN IS BASED ON SURVEY BY: 3TCI, INC. PROFESSIONAL LAND SURVEYORS AND MAPPERS.

LEGEND

- 5.00' PROPOSED ELEVATION
- EXISTING ELEVATION
- PROPOSED SWALE
- CENTER LINE

TOTAL VOLUME OF SWALE

| PROVIDE STORAGE | | | | | |
|---|----------|-------------|----------|----------------|--------------------|
| SWALE AREA STORAGE = (TOP AREA + BOTTOM AREA) / 2 X DEPTH OF SWALE AREA | | | | | |
| SWALE | TOP AREA | BOTTOM AREA | (A+B)/2 | DEPTH OF SWALE | SWALE AREA STORAGE |
| 1 | 526.83 | 144.85 | 335.84 | 0.75 | 251.88 |
| 2 | 283.69 | 105.27 | 194.48 | 0.50 | 97.24 |
| 3 | 2,064.84 | 758.72 | 1,411.78 | 0.83 | 1,171.78 |
| 4 | 1,486.32 | 580.15 | 1,033.24 | 0.83 | 857.59 |
| 5 | 510.87 | 108.44 | 309.66 | 0.38 | 117.67 |
| TOTAL (CF) = | | | | | 2,496.15 |
| REQUIRED STORAGE (CF) (SEE ATTACHED CALCULATIONS) = | | | | | 2,335.18 |
| SAFETY FACTOR = REQUIRED STORAGE/ PROVIDE STORAGE > 1 | | | | | 1.07 |

TOTAL RETENTION = 2,496.15 CUBIC FEET

SDH_STUDIO
ARCHITECTURE + DESIGN

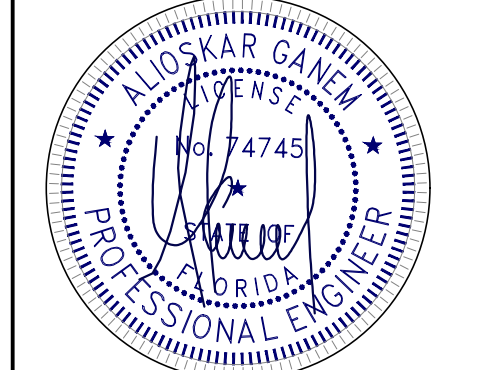
AA26002883

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GCE

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1051 S (EAST LOT)

1051 S. SOUTHLAKE DR.
HOLLYWOOD, FLORIDA, 33019

GORENSTEIN

SEAL

NOTES/COMMENTS

REVISIONS / SUBMISSIONS

- 1 08-16-2024
- 2 09-04-2024
- 3 10-18-2024
- 4 10-23-2024

STORM DRAINAGE DETAILS

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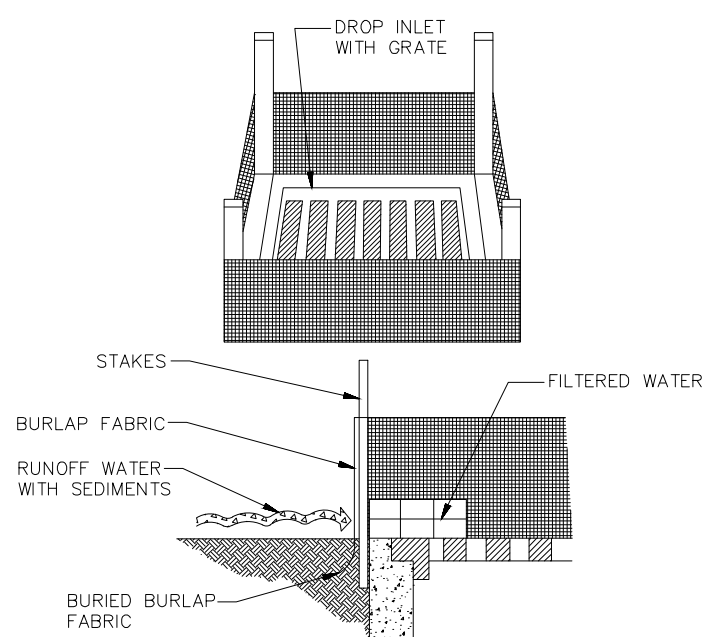
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EROSION AND SEDIMENT CONTROL GENERAL NOTE

THE FOLLOWING DETAILS AND SPECIFICATIONS ARE BEST MANAGEMENT PRACTICES (BMPs) FOR EROSION AND SEDIMENT CONTROL FOR CONSTRUCTION ACTIVITY. THE FDOT MANUAL AND FLORIDA'S EROSION AND SEDIMENT CONTROL MANUAL MAY BE UTILIZED TO MEET EROSION AND SETTLEMENT CONTROL REQUIREMENTS. THESE DETAILS, SPECIFICATIONS, AND STANDARDS ARE PRESENTED OR REFERENCED HERE ONLY AS A SUGGESTED APPROACH DEVELOPED FOR USE BY THE OWNER, THE DESIGN PROFESSIONAL, AND/OR THE CONTRACTOR IN THE SELECTION, THE DESIGN, AND THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION TECHNIQUES TO COMPLY WITH THE NPDES STORM WATER REGULATIONS ESTABLISHED BY THE FDEP FOR CONSTRUCTION ACTIVITY. IT IS THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL TO PREPARE A STORMWATER POLLUTION PREVENTION PLAN THAT INCLUDES SITE-SPECIFIC BMPs. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE AN EROSION AND SEDIMENT CONTROL PLAN AND TO IMPLEMENT BMPs PURSUANT TO THAT PLAN. IF SITE CONDITIONS WARRANT ADDITIONAL BMPs, THE CONTRACTOR SHALL IMPLEMENT THOSE BMPs ACCORDINGLY.

EROSION AND SEDIMENT CONTROL NOTES

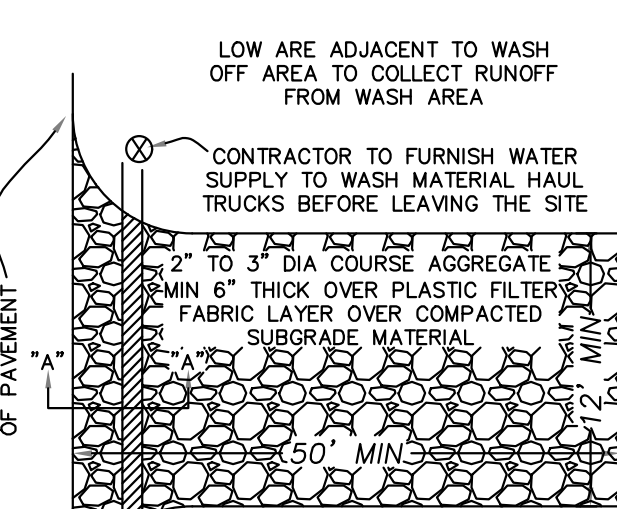
1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
2. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
3. ADDITIONAL PROTECTION - ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNFORSEEN CONDITIONS OR ACCIDENTS.
4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
5. WIRE MESH SHALL BE LAD OVER THE TOP DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH V2 INCH OPENING SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
6. FDOT NO 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED ON DETAIL. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
7. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
8. BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED TO THAT IT NO LONGER ADEQUATELY ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
9. BALES SHALL BE PLACED LENGTHWISE IN SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
10. THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED AROUND THE INLET AND WIDTH OF A BALE TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STACKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
11. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBAR DRIVEN THROUGH THE BALE.
12. LOOSE STRAW SHOULD BE WEDGED BETWEEN BALE STOPS TO PREVENT WATER FROM ENTERING BETWEEN BALES.
13. HAYBALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
14. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
15. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
16. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
17. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE HAYBALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
18. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
19. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
20. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
21. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
22. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND APPLICABLE WATER MANAGEMENT DISTRICT PERMITS FOR THIS PROJECT.
23. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL, REFER TO THE FLORIDA DEVELOPMENT MANUAL, A GUIDE TO SOUND LAND AND WATER MANAGEMENT FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (FDER), CHAPTER 6.
24. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
25. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
26. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
27. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
28. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE APPLICABLE WATER MANAGEMENT DISTRICT.
29. ALL DISTURBED AREAS TO BE STABILIZED THROUGH COVAPCON, SILT SCREENS, HAYBALES AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOD SO.
30. ALL DEWATERING, EROSION, AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND BE REMOVED ONLY WHEN AREAS HAVE BEEN STABILIZED.
31. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
32. ALL EXCAVATIONS AND EARTHWORK SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE CONTROLLED AND REROUTED THROUGH HAY FILTERS, SILTATION DIAPERS AND SLUMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION IN ACCORDANCE WITH CHAPTER 62.002, FLORIDA ADMINISTRATIVE CODE.
33. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT THAT LEAVES THE SITE AND CHANGES ANY DOWNSTREAM CONDITIONS BY RAISING CHANNEL BOTTOMS AND/OR CLOGGING OUTFALL CULVERTS.
34. THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS ABOVE EXISTING BACKGROUND LEVEL.
35. A MINIMUM OF ONE OF THE EROSION CONTROL MEASURE OPTIONS SHOWN FOR ALL DROP INLETS WILL BE USED BY THE CONTRACTOR.
36. FLOATING TURBIDITY BARRIERS WILL BE PLACED AT ALL OUTFALL LOCATIONS. IF SEACKASSES ARE PRESENT BARRIERS WILL NOT BE PLACED OVER THEM. THE FLOATING TURBIDITY BARRIERS SHALL BE INSTALLED IN A MANNER TO PREVENT MANATEE ENTANGLEMENT.
37. SILT FENCES OR HAYBALES WILL BE USED ALONG BOTH SIDES OF LIMITS OF CONSTRUCTION TO MINIMIZE OFFSITE SILTATION MIGRATION.
38. CALL FOR NPDES INSPECTION DURING CONSTRUCTION TO VERIFY SILT FENCE.



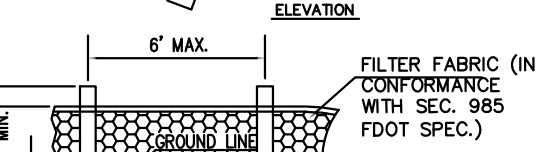
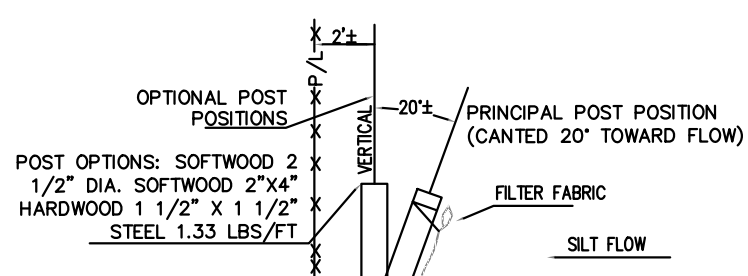
SPECIFIC APPLICATION:

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5%) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.50 CFS) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

BURLAP DROP INLET SEDIMENT FILTER N.T.S.

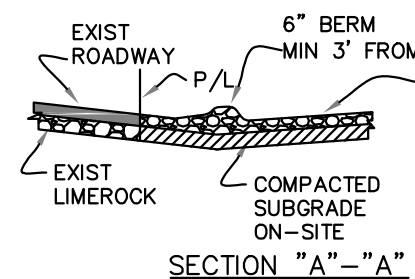


PLAN VIEW



TEMPORARY SILT FENCE

1. SILT FENCES (EROSION CONTROL FENCE) SHALL BE PROVIDED AS SHOWN ALONG THE PROPERTY LINE TO PREVENT CONSTRUCTION DEBRIS FROM LEAVING THE CONSTRUCTION SITE.
2. THE SITE FENCE SHALL BE PLACED A MINIMUM OF TWO FEET INSIDE THE PROPERTY LINE TO ALLOW THE INSTALLATION OF A PERIMETER WIND SCREEN & CONSTRUCTION FENCE.
3. A PERIMETER SIX FOOT HIGH CHAIN LINK FENCE COVERED WITH A WIND SCREEN SHALL BE INSTALLED ALONG THE PROPERTY LINE.



SECTION "A-A"

NOTES:

1. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION SO IT PREVENTS SEDIMENT FROM TRACKING OFF OF THE CONSTRUCTION SITE ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE THE CLEANING OR REPLACEMENT OF THE COURSE AGGREGATE.
2. IT MAY BE NECESSARY TO WASH THE TRUCK TIRES THAT WILL BE LEAVING THE SITE.
3. IF WASHING IS REQUIRED THEN IT WILL BE DONE SO THAT THE WASH RUN-OFF GOES TO A DEPRESSED AREA ADJACENT TO THE CONSTRUCTION ENTRANCE AND NOT FLOW TO THE PUBLIC RIGHT-OF-WAY.

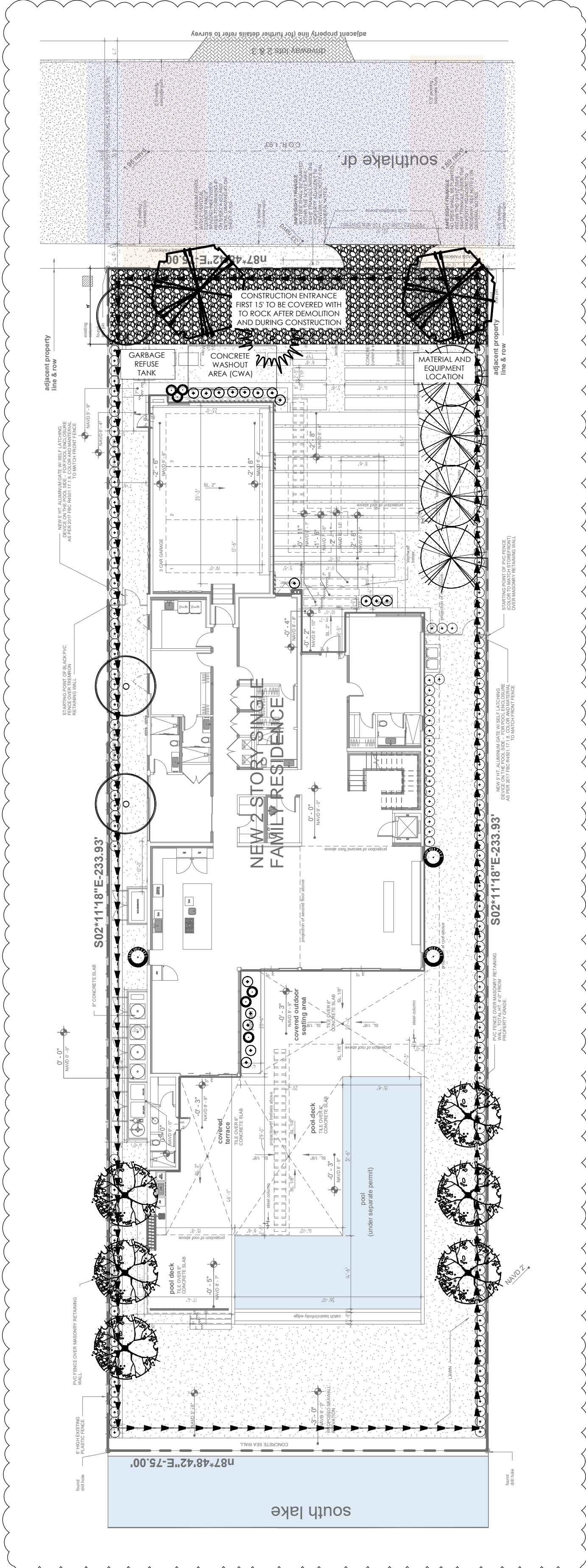
CONSTRUCTION ENTRANCE DETAIL

ALWAYS CALL 811 TWO FULL BUSINESS DAYS BEFORE YOU DIG TO HAVE UNDERGROUND UTILITIES LOCATED AND MARKED

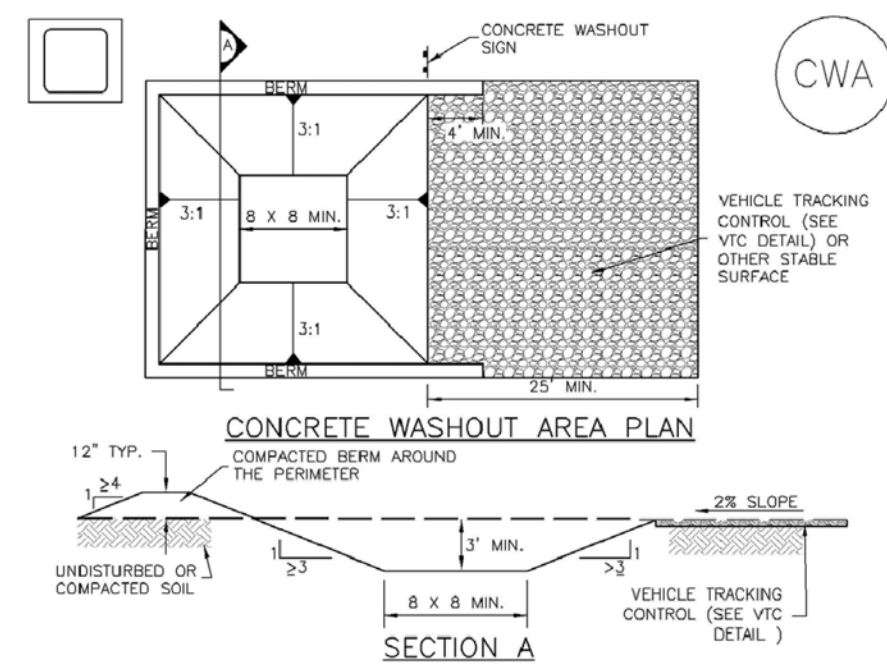


SITE LOCATION

1. NOTE TO GC: CONTRACTOR MUST VERIFY EXISTING CURB DIMENSIONS PRIOR TO CONSTRUCTION. IF EXIST ANY DIMENSION DISCREPANCY BETWEEN APPROVED PLANS AND SITE CONDITIONS, GENERAL CONTRACTOR MUST ADVISE TO THE EOR BEFORE TO PROCEED WITH ANY JOB.
2. INLET PROTECTION (FILTER FABRIC AND GUTTER BUDDY) WILL BE PLACED IN THE CLOSEST CATCH BASIN IN THE ROW DOWNSTREAM OF THE CONSTRUCTION.
3. NO STAGING OR STORING IS ALLOWED IN THE RIGHT OF WAY.



NOTE: EROSION AND SEDIMENTATION CONTROL SYSTEM SHALL BE INSTALLED PRIOR TO SITE PREPARATION PREPARATIONS. CONTRACTOR SHALL COORDINATE INSPECTION WITH BUILDING DEPARTMENT.



CWA-1. CONCRETE WASHOUT AREA

- CWA INSTALLATION NOTES**
1. SEE PLAN VIEW FOR:
 - CWA INSTALLATION LOCATION.
 2. DO NOT LOCATE AN UNLINED CWA WITHIN 100' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (1/8 IN. MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINER ABOVE GROUND STORAGE ARE SHOULD BE USED.
 3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
 4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
 5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
 6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
 7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
 8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

- CWA MAINTENANCE NOTES**
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE, CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2\"/>

(DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM USDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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PROFESSIONAL ENGINEER

1051 S (EAST LOT)
1051 S. SOUTHLAKE DR.
HOLLYWOOD, FLORIDA, 33019

GORENSTEIN

SEAL

NOTES/COMMENTS

| | |
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| | |
| | |
| | |

REVISIONS / SUBMISSIONS

| | |
|---|------------|
| 1 | 09-04-2024 |
| 2 | 10-18-2024 |

EROSION AND SEDIMENTATION CONTROL

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DRAWN BY: GCE
CHECKED BY: GCE
INITIAL DRAWING ISSUE DATE
RELEASE DATE:

C-3

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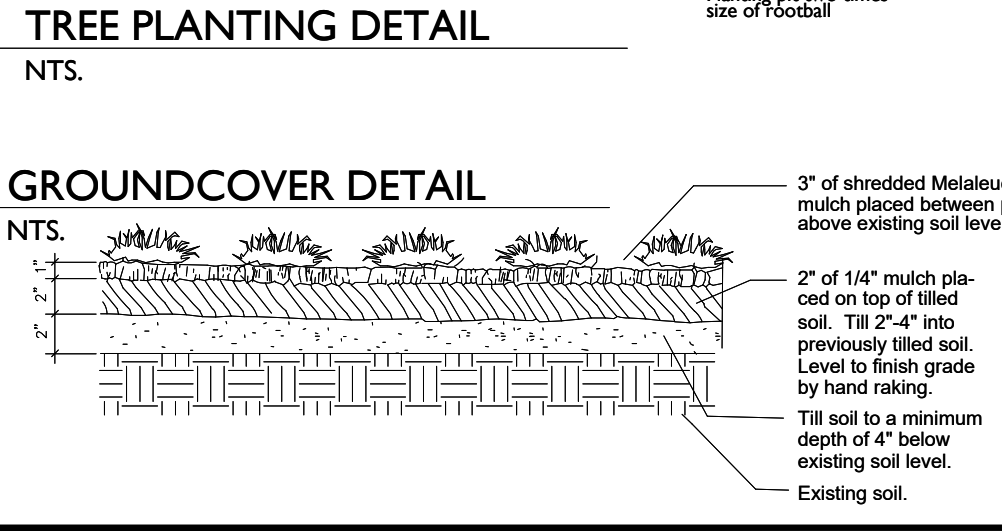
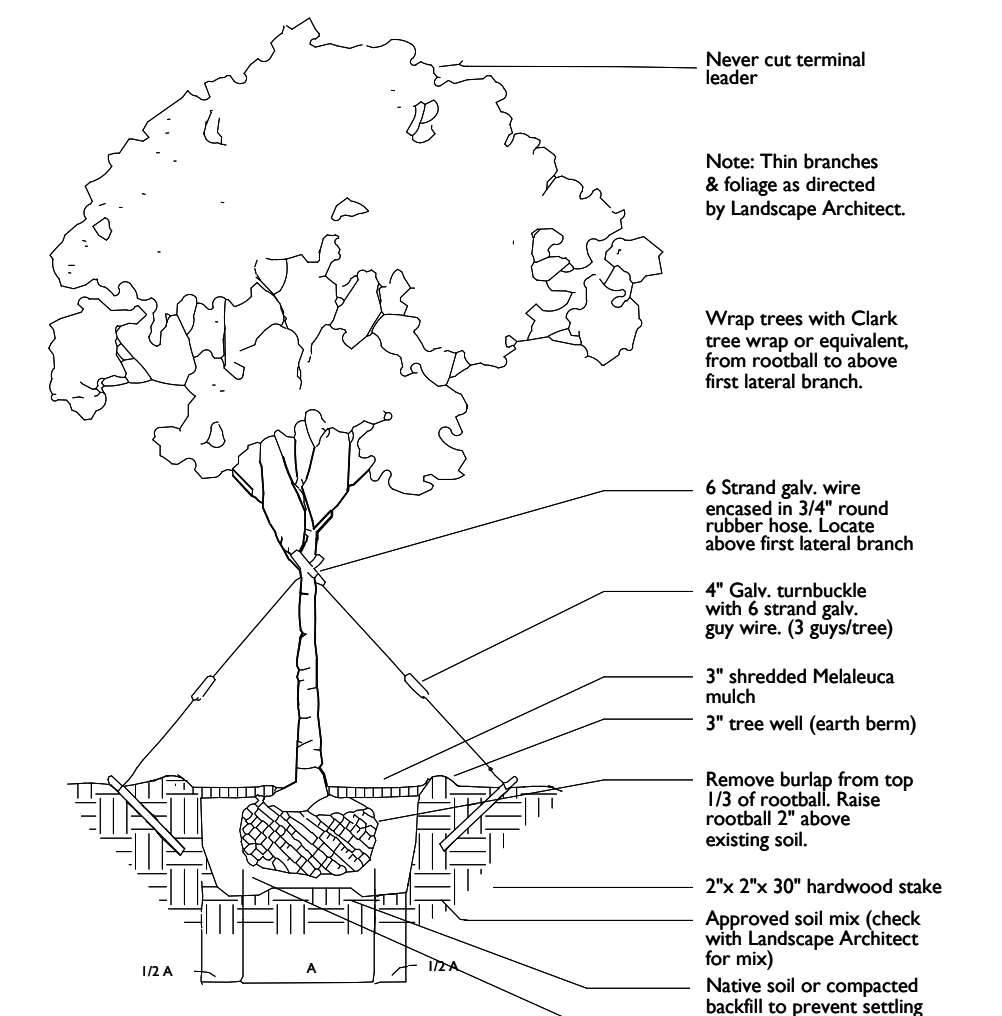
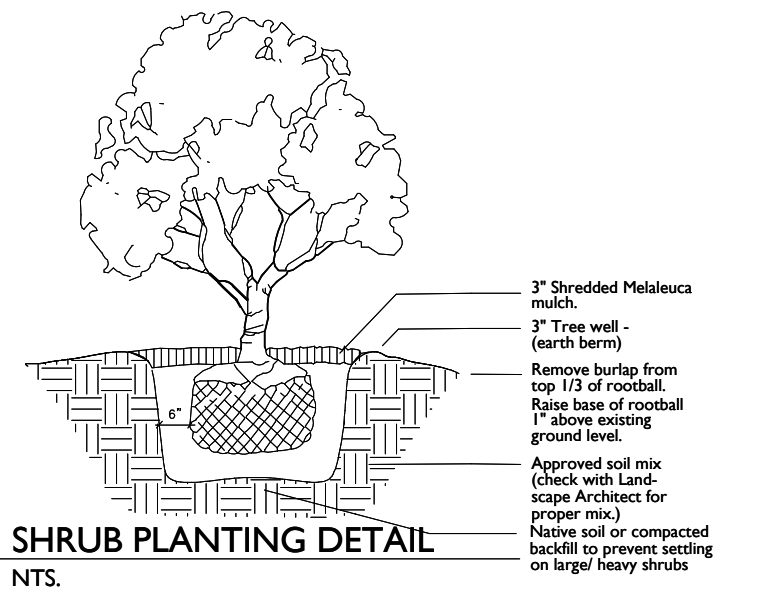
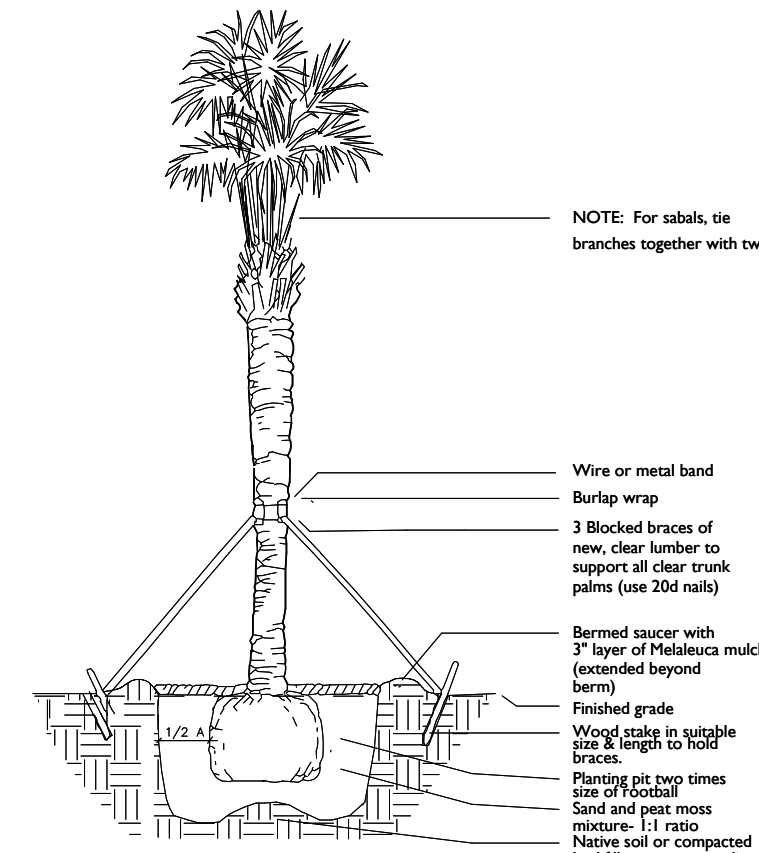
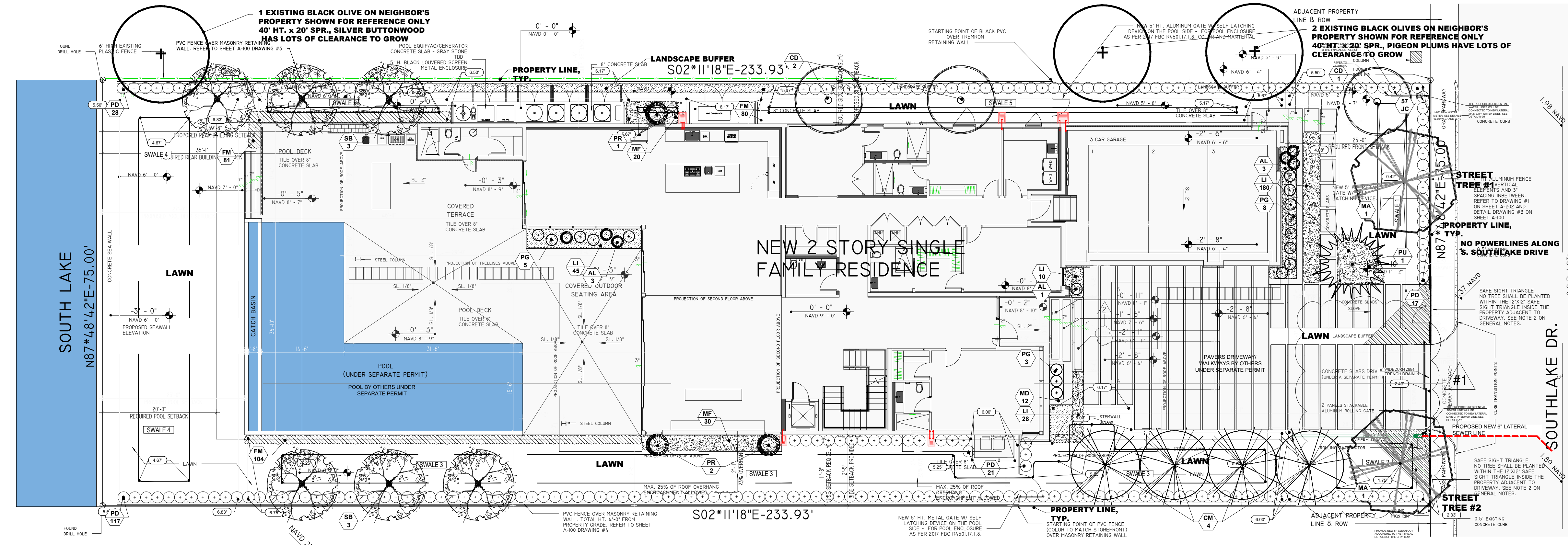
1051 East Residence Landscape Plans
1051 EAST S. SOUTHLAKE DRIVE
HOLLYWOOD, FLORIDA

Project:

REVISIONS:
REVISION #1 08.06.2024:
DRIVEWAY UPDATED PER ZONING COMMENTS
ZONING COMMENTS
REVISION #2 10.16.2024:
PLANS UPDATED PER ZONING COMMENTS, CIVIL
PLANS ADDED TO LANDSCAPE PLANS

Seal:

DRAWING : LANDSCAPE PLANS
DATE: 05.01.2024
Scale: 1/16" = 1' - 0"
Drawn by: JRP/MCA
Sheet No.:



LANDSCAPE NOTES
PLANTING NOTES:
(SEE PLANT SPECIFICATION AND DETAILS FOR ADDITIONAL STANDARDS)
-ALL PLANT MATERIAL IS TO BE FLORIDA NUMBER 1 OR BETTER PURSUANT TO THE FLORIDA DEPARTMENT OF AGRICULTURE'S GRADES AND STANDARDS FOR NURSERY PLANTS
-LAWN IS TO BE GRADE 4" NEED FREE. ALL AREAS MARKED "LAWN" SHALL BE SOLID SODDED WITH SOYSA EMPIRE, SOLID EVEN PIECES. SEE LIMITS ON PLAN. ALL SOD IS TO BE LAID LEVEL, TIGHT, AND CUT EVEN ALONG PLANTING BEDS AND MUST HAVE A 3" TOPSOIL BASE.
-ALL PLANTS ARE TO BE TOP DRESSED WITH A MINIMUM 3" LAYER OF MELALEUCA MULCH, EUCALYPTUS MULCH OR EQUAL.
-PLANTING PLANS SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES
-NO CHANGES ARE TO BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT AND OWNER. ADDITIONS AND / OR DELETIONS TO THE PLANT MATERIAL MUST BE APPROVED BY THE PROJECT MANAGER.
-LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THEIR OWN SQUARE FOOTAGE TAKEOFFS AND FIELD VERIFICATIONS FOR 100% SOD COVERAGE FOR ALL AREAS SPECIFIED.
-ALL LANDSCAPE AREAS ARE TO BE PROVIDED WITH AUTOMATIC SPRINKLER SYSTEM WHICH PROVIDE 100% COVERAGE, AND 50% OVERLAP. A RAIN SENSOR MUST BE PART OF THE AUTOMATIC SYSTEM.
-ALL TREES IN LAWN AREAS ARE TO RECEIVE A 24" DIAMETER MULCHED SAUCER AT THE BASE OF THE TRUNK.
-ALL LAWN LOCATED IN PARKING ISLANDS IS TO BE SET FLUSH WITH TOP OF CURB.
-TREES ARE TO BE PLANTED WITHIN PARKING ISLANDS AFTER SOIL IS BROUGHT UP TO GRADE. DEEPLY SET ROOT BALLS ARE NOT ACCEPTABLE.
-PLANTING SOIL FOR TOPSOIL AND BACKFILL SHALL BE 50/50 MIX, NEMATODE FREE. PLANTING SOIL FOR ANNUAL BEDS TO BE COMPRISED OF 50% CANADIAN PEAT MOSS; 25% SALT FREE COARSE SAND AND 25% AEROLITE
-TREE AND SHRUB PITS WILL BE SUPPLEMENTED WITH "AGRIFORM PELLETS", 21 GRAM SIZE WITH A 20-10-5 ANALYSIS, OR SUBSTITUTE APPLICATION ACCEPTED BY LANDSCAPE ARCHITECT. DELIVER IN MANUFACTURER'S STANDARD CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER.
GENERAL NOTES:
-THE LANDSCAPE CONTRACTOR IS TO LOCATE AND VERIFY ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO BEGINNING WORK. CONTACT PROPER UTILITY COMPANIES AND / OR GENERAL CONTRACTOR PRIOR TO DIGGING FOR FIELD VERIFICATION. THE OWNER AND THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES TO UTILITY OR IRRIGATION LINES.
-LANDSCAPE CONTRACTOR IS TO VERIFY ALL CURRENT DRAWINGS AND CHECK FOR DISCREPANCIES AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WITH THE WORK.
-ALL UNATTENDED AND UNPLANTED TREE PITS ARE TO BE PROPERLY BARRICADED AND FLAGGED DURING INSTALLATION.
-ALL PLANTING PLANS ARE ISSUED AS DIRECTIVES FOR SITE LAYOUT. ANY DEVIATIONS, SITE CHANGES, ETCETERA ARE TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION.
-ANY RELOCATED OR EXISTING TREE/ PALM THAT DIES DURING CONSTRUCTION SHALL BE REPLACED WITH SAME SPECIES/ SIZE/ QUALITY OR BETTER.
-ALL HEDGES WITHIN THE 35' FRONT YARD SETBACK SHALL BE MAINTAINED AT 6'H
-LANDSCAPE CONTRACTOR HAS TO WARRANTY AND REPLACE ANY PLANT MATERIAL (IF NEEDED) FOR 12 MONTHS FROM DATE OF FINAL ACCEPTANCE.
-LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY FALLING TREES OR TREE LIMBS DUE TO ROOT PRUNING AND STRESS CAUSED BY INSUFFICIENT LATERAL ROOTS AND/ OR OTHER DAMAGE TO TREES RELATED TO CONSTRUCTION. BEFORE ROOT PRUNING OR GRADING, LANDSCAPE ARCHITECT ADVISES THAT AN ARBORIST AND/ OR A STRUCTURAL ENGINEER VERIFY THAT THE PROPOSED LATERAL ROOTS IN THE TREE ROOT PROTECTION ZONE ARE SUFFICIENT FOR TREES NOT TO FALL.
NOTE: -IRRIGATION TO BE PROVIDED WITH 100% COVERAGE

| PLANT SCHEDULE | | | | | |
|-----------------|---------|--|--------|-------|--|
| SHRUBS | | | | | |
| KEY | QUAN | PROPOSED MATERIAL | NATIVE | WATER | DESCRIPTION |
| AL | 4 | ALOCASIA 'REGAN SHIELDS'/ BLACK ALOCASIA | NO | LOW | 12" HT. X 12" SPR. / 3 GAL/ FULL/ AS SHOWN |
| FM | 265 | FICUS MICROCARPA/ GREEN ISLAND FICUS | NO | LOW | 12" HT. X 12" SPR. / 3 GAL/ FULL/ AS SHOWN |
| LI | 218 | LIRIOPE MUSCARI GREEN GIANT BLUE/ GIANT LIRIOPE | NO | LOW | 12" HT. X 12" SPR. / 3 GAL/ FULL/ 1' OC. |
| JC | 57 | CAPPARIS CYNOPHALLOPHORA/ JAMAICAN CAPER (FOR HEDGE) | YES | LOW | 48" HT. X 24" SPR. / 15 GAL/ FULL/ 24" O.C. |
| PD | 183 | PODOCARPUS MACROPHYLLUS JAPANESE YEW (FOR HEDGE) | NO | LOW | 48" HT. X 24" SPR. / 15 GAL/ FULL/ 24" O.C. |
| MD | 12 | MONSTERA DELICIOSA/ MONSTERA | NO | LOW | 24" HT. X 24" SPR. / 7 GALLONS/ FULL |
| PG | 11 | PHILODENDRON GIGANTEUM/ GIANT PHILODENDRON | NO | LOW | 24" HT. X 24" SPR. / 7 GALLONS/ FULL |
| CI | 17 | CHRYSOBALANUS ICACO/ COCOPLUM | YES | LOW | 36" HT. X 18" SPR. / 7 GALLONS/ FULL/ 2' O.C. |
| MF | 50 | NEPHROLEPIS BISERRATA 'MACHO'/ MACHO FERN | NO | LOW | 18" HT. X 18" SPR. / 3 GALLONS/ 18" O.C./ FULL |
| PR | 3 | PHOENIX ROEBELINII/ PIGMY DATE PALM | NO | LOW | 48" HT. X 36" SPR. / 15 GALLONS/ TRIPLE |
| LAWN | AS REQ. | ZOYSIA 'EMERALD' | NOW | LOW | SOLID EVEN PIECES WEED FREE |
| TREES AND PALMS | | | | | |
| SYM | QUAN | PROPOSED MATERIAL | NATIVE | WATER | DESCRIPTION |
| CM/4 | | LAGERSTROEMIA INDICA 'WHITE' WHITE CRAPE MYRTLE | YES | LOW | 12' HT. X 6" SPR X 5' CLEAR WOOD. 2.5" DBH. FG, BB, FF/ SINGLE MAIN LEADER |
| SB/6 | | COCOCARPUS ERECTUS 'SERICEUS' SILVER BUTTONGWOOD | YES | LOW | 12' HT. X 5" SPR. 2.5" CAL.FG. BB, FF/ SINGLE MAIN LEADER |
| CD/3 | | COCOLOBA DIVERSIFOLIA PIGEON PLUM | YES | LOW | 14' HT. X 6" SPR. 2.5" DBH.FG. BB, FF/ SINGLE MAIN LEADER |
| PU/1 | | PANDANUS UTILIS SCREW PINE | NO | LOW | 12' HT. O.A. HT./ FG/ BB/ FF/ THICK TRUNK/ HEAVY MULTIPLE HEAD |
| MA/2 | | SWIETENIA MAHAGONI MAHOGANY TREE (STREET TREES 50' O.C.) | YES | LOW | 14' HT. X 6" SPR. 2.5" DBH.FG. BB, FF/ SINGLE MAIN LEADER |

CITY OF HOLLYWOOD LANDSCAPE CODE
2.1: SINGLE FAMILY DISTRICTS (RS)
REQUIREMENTS PERIMETER LANDSCAPE
ONE 12" STREET TREE PER 50 LINEAR FEET OR PORTION THEREOF, OF STREET FRONTAGE OF PROPERTY WHEREIN SAID IMPROVEMENTS ARE PROPOSED. 1 (48 L.F.) 1
OPEN SPACE
A MINIMUM OF 20% OF THE REQUIRED FRONT YARD AREA SHALL BE LANDSCAPED PERVIOUS OPEN SPACE. ALL PERVIOUS AREAS ARE TO BE 1,902 SF X .20 = 380.4 SF 20% REQUIRED 1,341 SF = 70.50% PROV.
SODDED OR LANDSCAPED WITH LIVING PLANT MATERIAL SUCH AS GRASS COVER AND/OR SHRUBS. TOTAL FRONT YARD: 1,902 SF/ 20%= 380SF
ONE TREE PER 1,250 SQ. FT. = 17,545 S.F./1,250 = 14 TREES 14 TREES 14 TREES
DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
SINGLE FAMILY HOME PROJECTS CONTAINING MORE THAN 5 DWELLINGS SHALL COMPLY WITH DESIGN REVIEW GUIDELINES FOR LANDSCAPING. N/A N/A
IF WITHIN A HISTORIC PRESERVATION DISTRICT, LANDSCAPING SHALL COMPLY WITH THE HISTORIC PRESERVATION BOARD REVIEW REQUIREMENTS. COMPLIES COMPLIES
NOTE: FOR EXEMPTIONS REFER TO ARTICLE 5.9 (B)(2)(J)(A-F) OF THE ZONING AND LAND DEVELOPMENT REGULATIONS AND CODE
VIEW TRIANGLE
FOR CORNER LOTS, A SIGHT DISTANCE TRIANGLE MUST BE PROVIDED - SEE ILLUSTRATION DIAGRAM (PAGE 26). N/A N/A
IRRIGATION
PROVIDE 100% IRRIGATION COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT. COMPLIES COMPLIES
OTHERS
APPLY XERISCAPE PRINCIPLES (SEE SECTION 6). COMPLIES DRAUGHT TOLERANT
WHEN APPLICABLE, USE PLANT SPECIES COMPATIBLE FOR HIGH SALINE AREAS. COMPLIES COMPLIES
RECOMMENDED FOR SINGLE FAMILY RESIDENCES:
THREE (3) OR MORE TREES AND 15 SHRUBS IN FRONT HALF OF PLOT; 3 TREES 15 SHRUBS 4 TREES 255 SHRUBS
ONE (1) TREE AND 10 SHRUBS IN REAR HALF OF PLOT; 1 TREE 10 SHRUBS 10 TREES 462 SHRUBS
SELECT SWALE TREE SPECIES FROM THE CITY'S RECOMMENDED TREE LIST FOR SWALE TREES RELATING TO EXISTING STREET TREES WITHIN THE SAME BLOCK OR NEIGHBORHOOD.

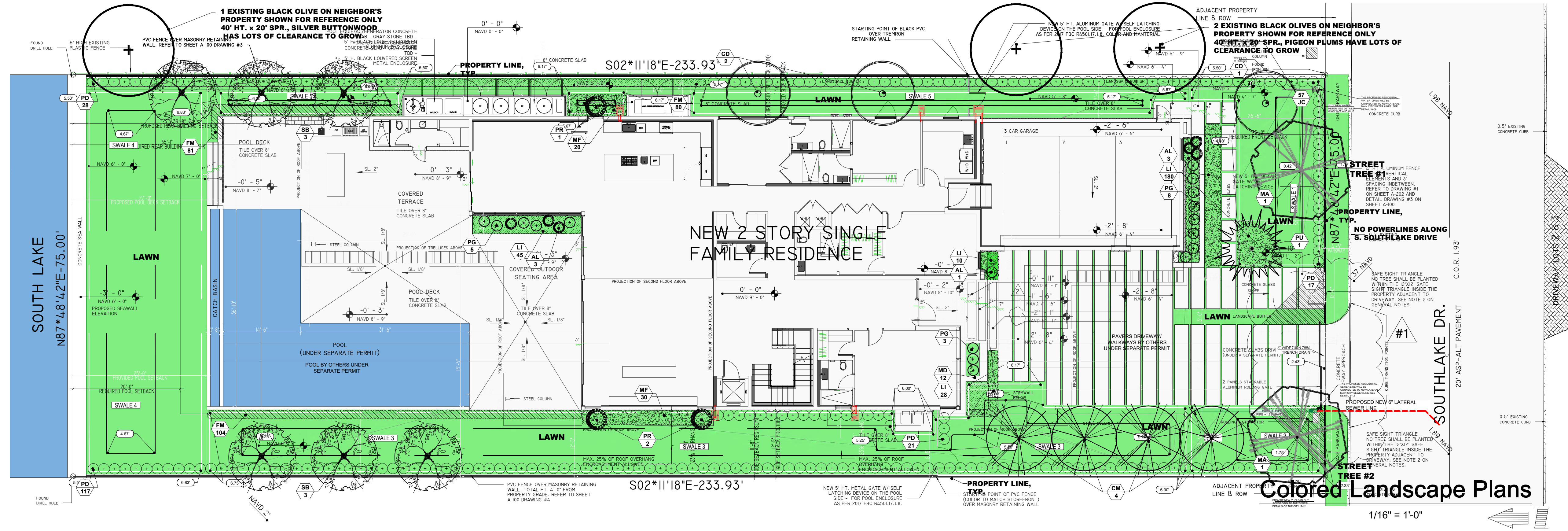
Note: There are no existing trees on site, no TD plans provided, see survey
Landscape Plans
3/32" = 1'-0"

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1051 East Residence
Colored Landscape Plans
& Plant Images
1051 EAST S. SOUTH LAKE DRIVE
HOLLYWOOD, FLORIDA



Colored Landscape Plans

1/16" = 1'-0"



JC/ JAMAICAN CAPER



FM/ GREEN ISLAND FICUS



MD/ MONSTERA



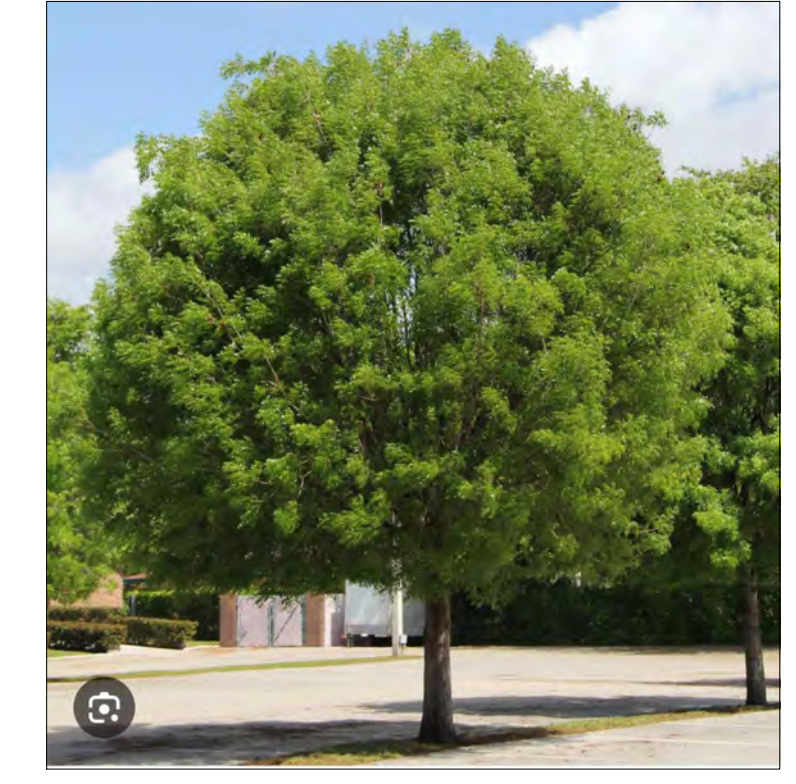
PG/ PHILODENDRON



SB/ SILVER BUTTONWOOD



MF/ MACHO FERN



MA/ MAHOGANY



CM/ CRAPE MYRTLE



CD/ PIGEON PLUM



PD/ PODOCARPUS HEDGE



LI/ LIRIOPE



AL/ ALOCASIA

| PLANT SCHEDULE | | | | | |
|------------------|---------|--|--------|-------|--|
| SHRUBS | | | | | |
| KEY | QUAN | PROPOSED MATERIAL | NATIVE | WATER | DESCRIPTION |
| AL | 4 | ALOCASIA 'REGAN SHIELDS' / BLACK ALOCASIA | NO | LOW | 12" HT. X 12" SPR. / 3 GAL/ FULL AS SHOWN |
| FM | 265 | FICUS MICROCARPA / GREEN ISLAND FICUS | NO | LOW | 12" HT. X 12" SPR. / 3 GAL/ FULL AS SHOWN |
| LI | 218 | LIRIOPE 'MUSCARI GREEN GIANT' / GIANT LIRIOPE | NO | LOW | 12" HT. X 12" SPR. / 3 GALLONS/ FULL 1' O.C. |
| JC | 57 | HEDGE CAPPARIS CYNOPHALOPHORA / JAMAICAN CAPER (FOR HEDGE) | YES | LOW | 48" HT. X 24" SPR. / 15 GAL/ FULL 24" O.C. |
| PD | 183 | PODOCARPUS MACROPHYLLUS / JAPANESE YEW (FOR HEDGE) | NO | LOW | 48" HT. X 24" SPR. / 15 GAL/ FULL 24" O.C. |
| MD | 12 | MONSTERA DELICIOSA / MONSTERA | NO | LOW | 24" HT. X 24" SPR. / 7 GALLONS/ FULL |
| PG | 11 | PHILODENDRON GIGANTEUM / GIANT PHILODENDRON | NO | LOW | 24" HT. X 24" SPR. / 7 GALLONS/ FULL |
| CI | 17 | CHRYSOBALANUS ICAGO / COCOPLUM | YES | LOW | 36" HT. X 18" SPR. / 7 GALLONS/ FULL 2' O.C. |
| MF | 50 | NEPHROLEPIS BISERRATA 'MACHO' / MACHO FERN | NO | LOW | 18" HT. X 18" SPR. / 3 GALLONS/ 18" O.C. / FULL |
| PR | 3 | PHOENIX ROEBELINII / PIGMY DATE PALM | NO | LOW | 48" HT. X 36" SPR. / 15 GALLONS/ TRIPLE |
| LAWN | AS REQ. | ZOYSIA 'EMERALD' | NO | LOW | SOLID EVEN PIECES WEED FREE |
| TREES AND PALMS | | | | | |
| SYM | QUAN | PROPOSED MATERIAL | NATIVE | WATER | DESCRIPTION |
| CM/4 | 4 | LAGERSTROEMIA INDICA 'WHITE' / WHITE CRAPE MYRTLE | YES | LOW | 12" HT. X 6" SPR X 6" CLEAR WOOD 2.5" DBH. FG. BB, FF SINGLE MAIN LEADER |
| SB/6 | 6 | CONOCARPUS ERECTUS 'SERICEUS' / SILVER BUTTONWOOD | YES | LOW | 12" HT. X 6" SPR. 2.5" CAL.FG. BB, FF SINGLE MAIN LEADER |
| CD/3 | 3 | COCOLOBA DIVERSIFOLIA / PIGEON PLUM | YES | LOW | 14" HT. X 6" SPR. 2.5" DBH.FG. BB, FF SINGLE MAIN LEADER |
| PU/1 | 1 | PANDANUS UTILIS / SCREW PINE | NO | NO | 12" HT. O.A. HT. / FG/ BB/ FF THICK TRUNK/ HEAVY MULTIPLE HEAD |
| STREET TREES (2) | | | | | |
| MA/2 | 2 | SWIETENIA MAHAGONI / MAHOGANY TREE (STREET TREES 50' O.C.) | YES | LOW | 14" HT. X 6" SPR. 2.5" DBH.FG. BB, FF SINGLE MAIN LEADER |

Project:

REVISIONS:
REVISION #1 08.06.2024:
DRIVEWAY UPDATED PER ZONING COMMENTS
ZONING COMMENTS
REVISION #2 10.16.2024:
PLANS UPDATED PER ZONING COMMENTS, CIVIL
PLANS ADDED TO LANDSCAPE PLANS

Seal:

DRAWING : LANDSCAPE PLANS
DATE : 11.10.2023
Scale : 1/16" = 1' - 0"
Drawn by: JRP/MCA
Sheet No.:

L-2