

WATER SYSTEM NOTES:

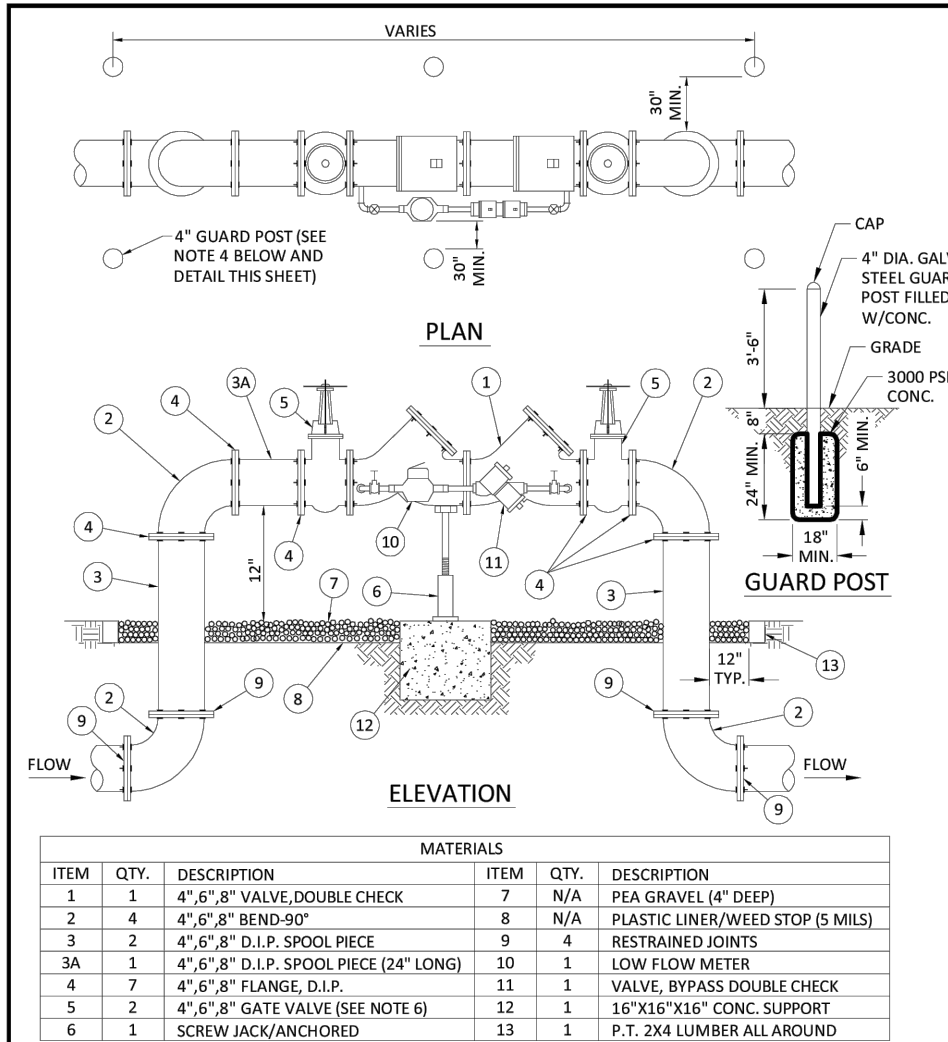
1. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
2. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. (FAC 62-555.314(2), EXCEPTIONS ALLOWED UNDER FAC 62-555.314(3)).
3. AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ON THE PIPE WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART II OF CHAPTER 62-400, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-400, F.A.C. (FAC 62-555.314(2), EXCEPTIONS ALLOWED UNDER FAC 62-555.314(3)).
4. NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
5. POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, ADS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C900, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNAG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
6. THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATER TIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE FOR WATER MAINS.
7. FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WHEEL HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
8. GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (8") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PNC PIPE AND HAVE A MAILED IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
9. VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON DIAMETER AND ADJUSTABLE SCREW ON TOP TYPE. THE LID SHALL HAVE CAST IN THE LID THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
10. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO. W-01
APPROVED: XXX	WATER SYSTEM NOTES	

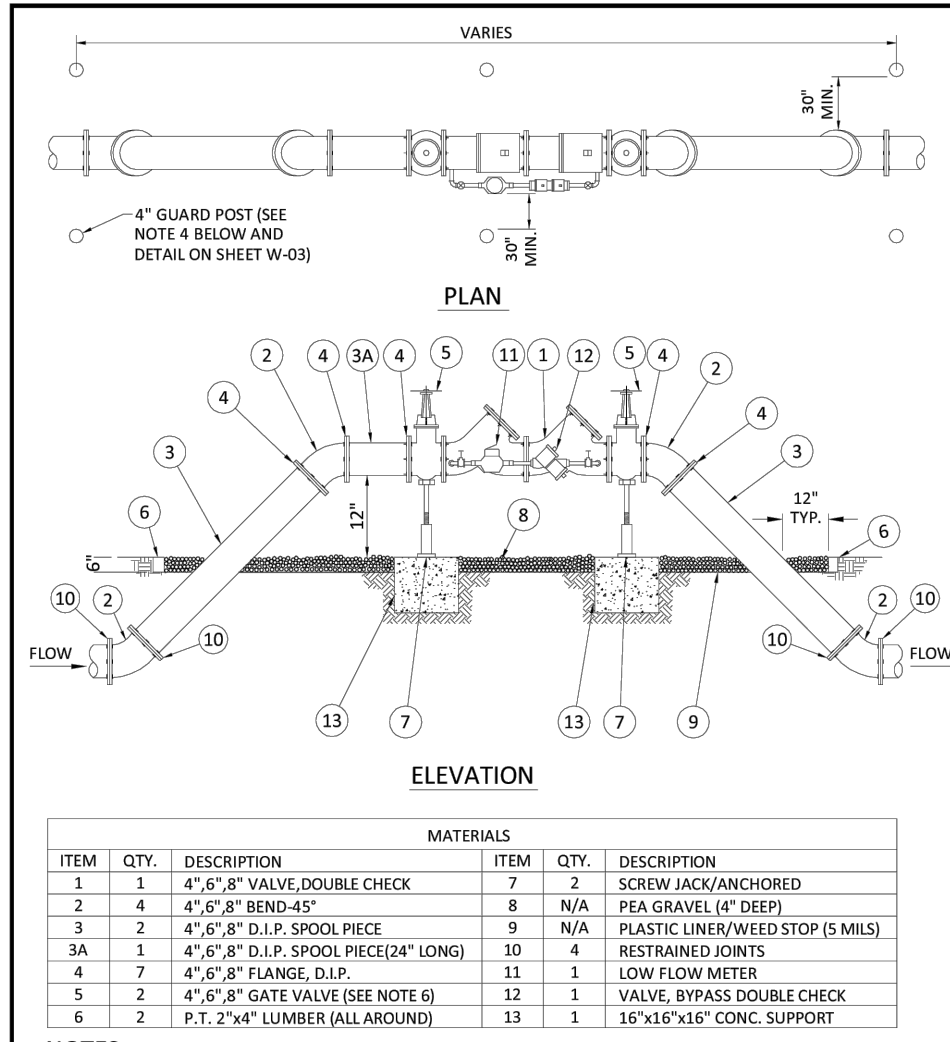
WATER SYSTEM NOTES (CONTINUED):

11. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
12. ALL PNC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PIPE PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT UNED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
13. FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C151/A21.53-02 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT UNED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
14. ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIG.
15. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
16. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
17. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (30") OR 36" (PVC).
18. MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
19. MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURERS RECOMMENDATION (MAXIMUM) WHEN DEFLECTION IS REQUIRED.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE COVERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
21. PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE (FRAN IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (50 FEET) FROM ANY FITTING.
22. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO. W-02
APPROVED: XXX	WATER SYSTEM NOTES	



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO. W-03
APPROVED: XXX	TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR ASSEMBLY FOR FIRE SPRINKLER SERVICE (90° BENDS)	

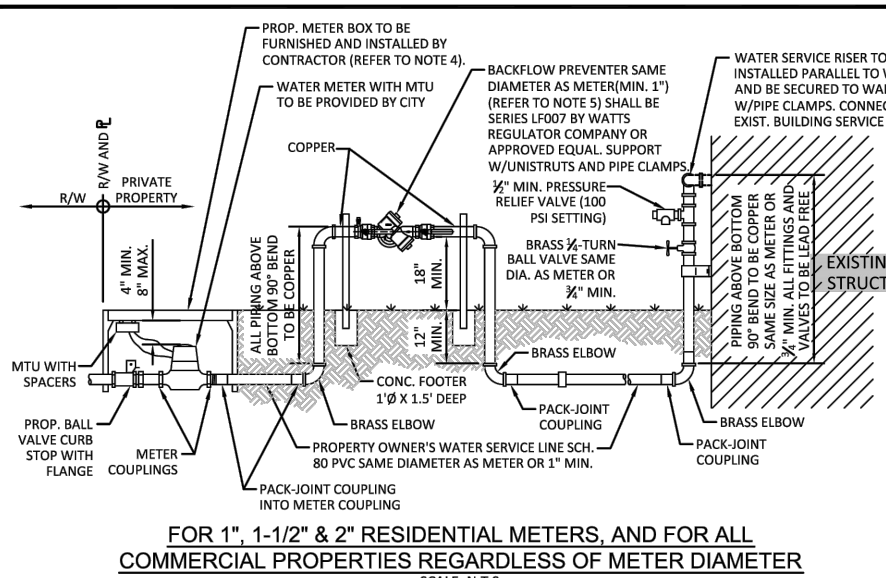


ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO. W-05
APPROVED: XXX	TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR ASSEMBLY FOR FIRE SPRINKLER SERVICE (45° BENDS)	

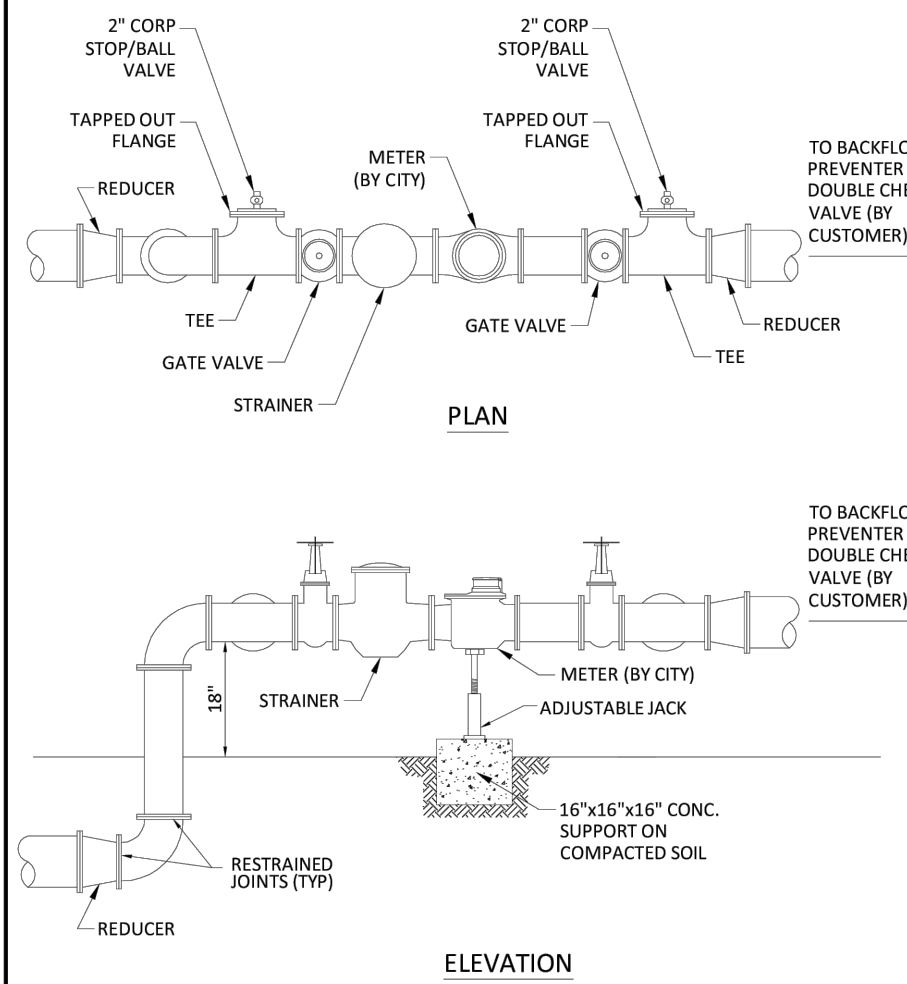
WATER METER SERVICE NOTES:

1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
2. P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm), FOR WATER SERVICE".
3. MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL 1/2" OR SINGLE 1" DIAMETER METERS.
4. MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1-1/2" OR SINGLE 2" DIAMETER METERS.
5. FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
6. APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
7. FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VALVES AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE WATER METERS WILL BE PROVIDED AND INSTALLED BY THE CITY OF HOLLYWOOD (NEW ACCOUNTS).
8. FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VALVES AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
9. FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
a. CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
b. FURNISH AND INSTALL SERVICE SADDLE, COPPERATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
12. THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL.
13. AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPA, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACES), SODDING, AND ALL OTHER IMPROVEMENTS RECEIVED OR DAMAGED DURING THE SERVICE INSTALLATION.
14. FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.

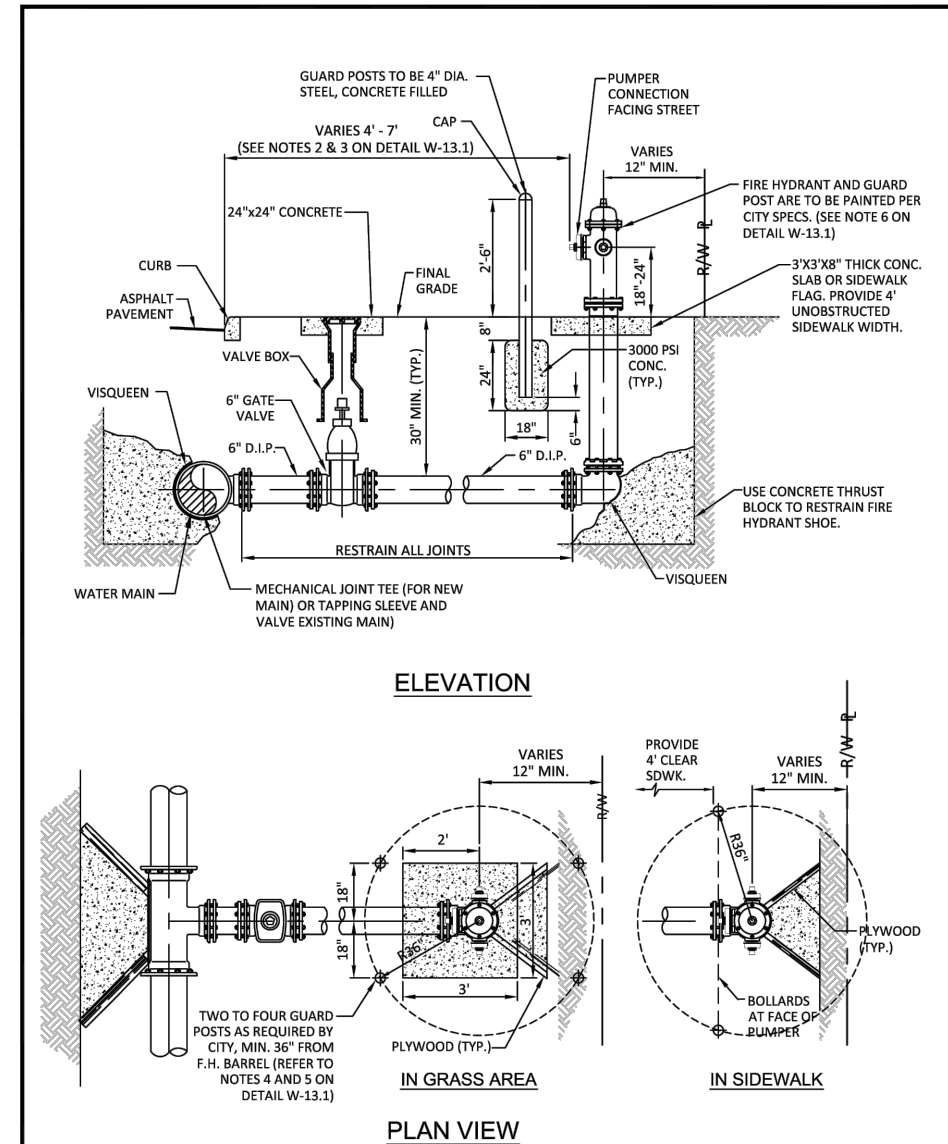
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM		DRAWING NO. W-07
APPROVED: XXX	WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS	



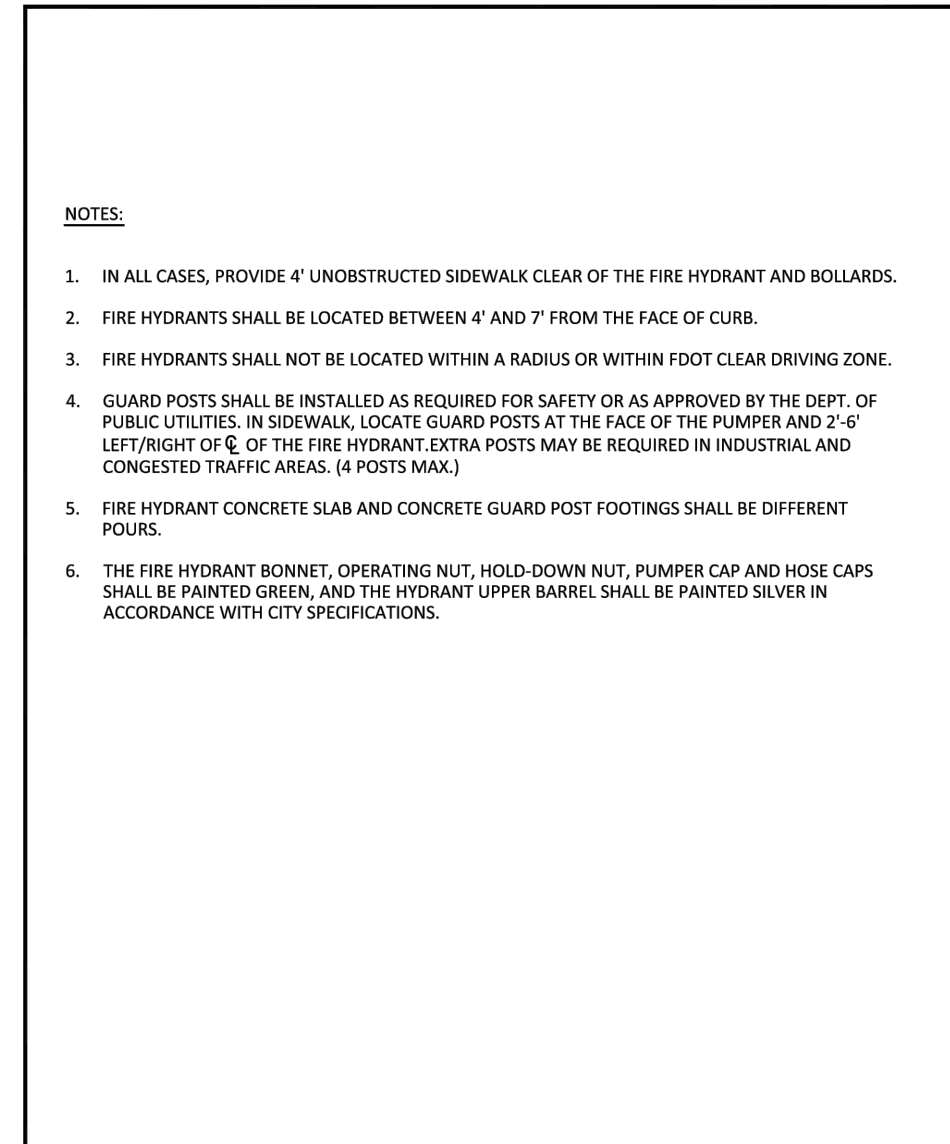
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 02/14/2018
DRAWN: EAM		DRAWING NO. W-10
APPROVED: XXX	TYPICAL WATER SERVICE FROM METER TO STRUCTURE FOR 5/8" THROUGH 2" METERS	



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO. W-11
APPROVED: XXX	TYPICAL METER 3" DIAMETER AND LARGER	



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 03/05/2019
DRAWN: EAM		DRAWING NO. W-13
APPROVED: XXX	TYPICAL FIRE HYDRANT INSTALLATION	



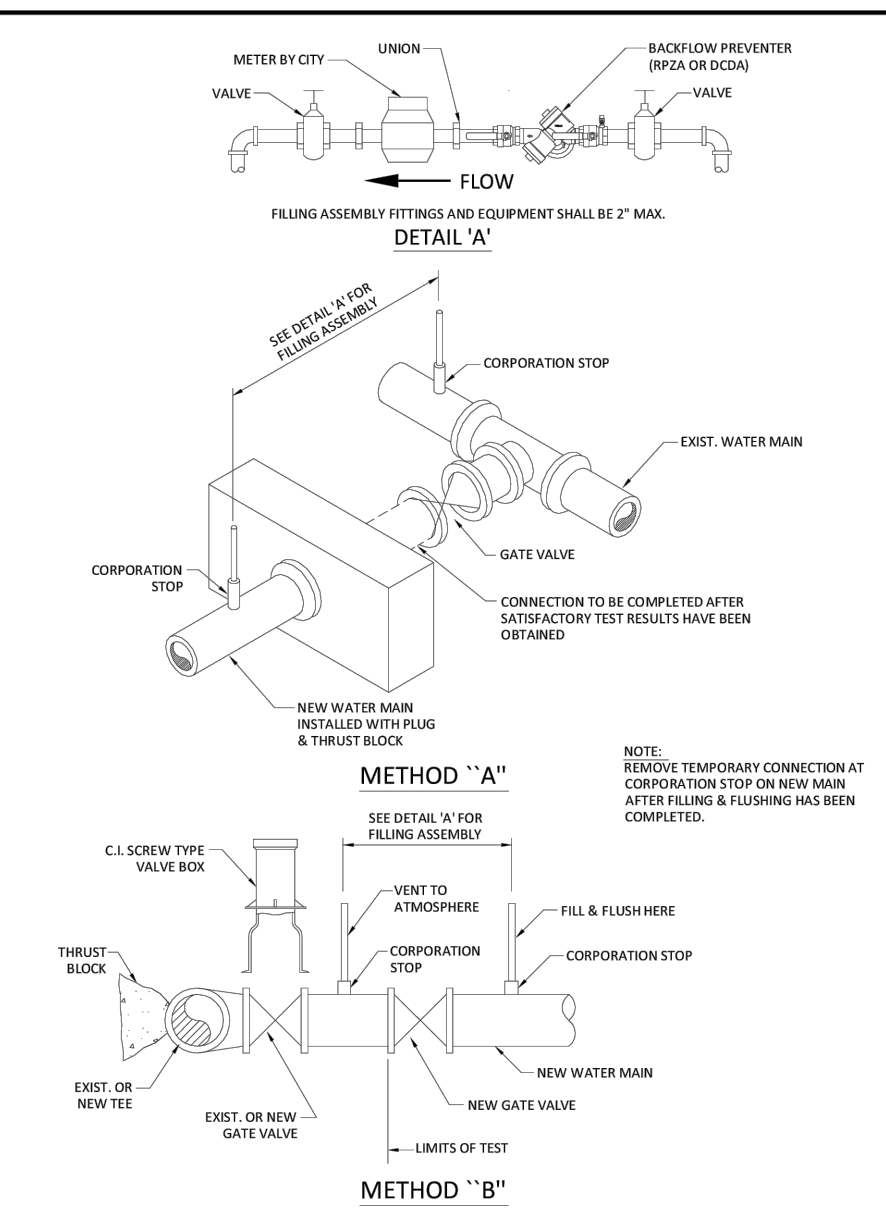
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO. W-13.1
APPROVED: XXX	TYPICAL FIRE HYDRANT NOTES	

WATER MAIN TESTING AND DISINFECTION NOTES:

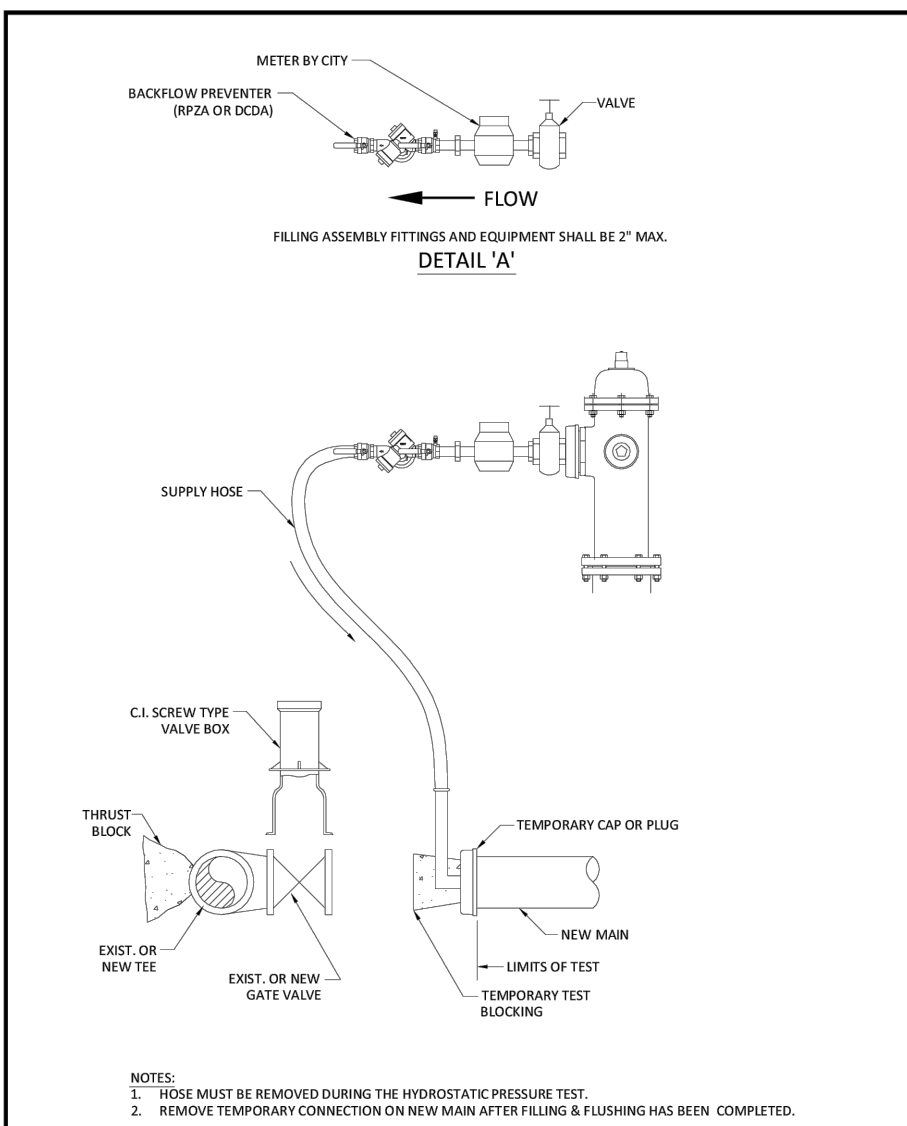
1. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.
2. THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH RULE 62-555.330 (FAC) C900 AWWA LATEST REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:
$$L = \frac{5 \times D \times P}{348,000}$$

L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.
P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.
3. THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.
4. PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION".
5. BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.313(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.
7. THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.

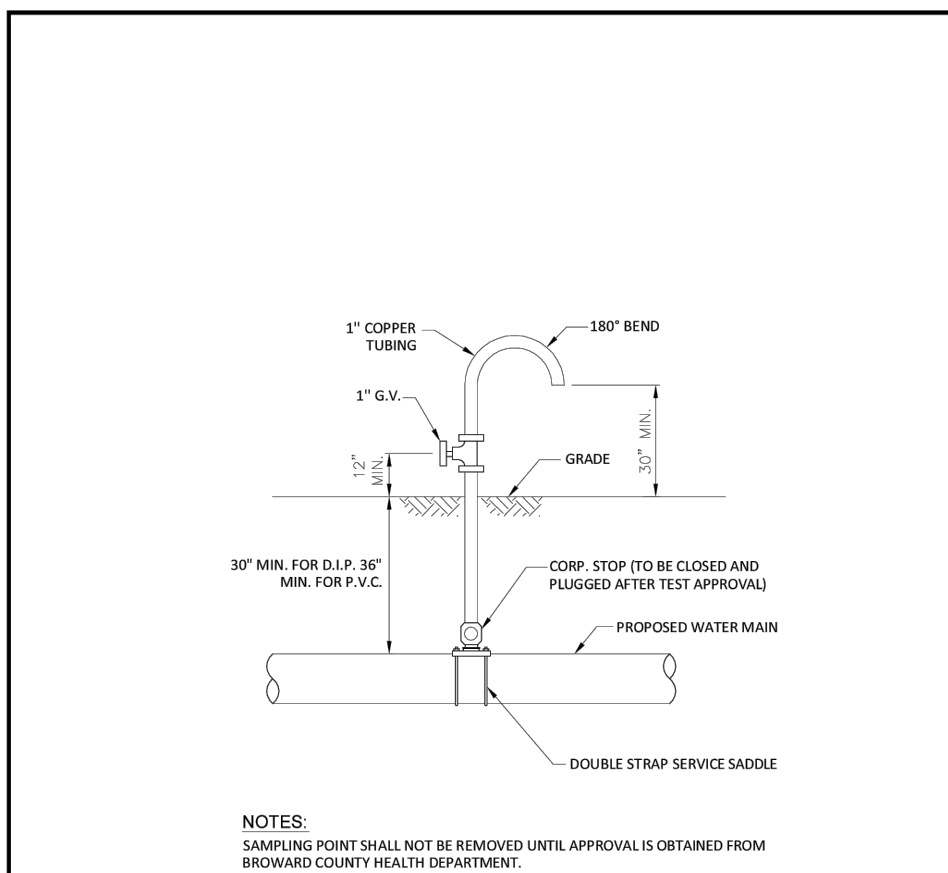
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO. W-14
APPROVED: XXX	WATER MAIN TESTING AND DISINFECTION NOTES	

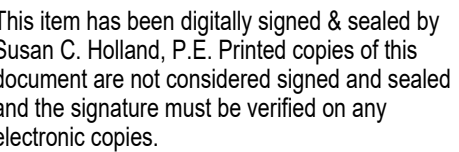


ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO. W-15
APPROVED: XXX	FILLING AND FLUSHING DETAILS	



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO. W-15.1
APPROVED: XXX	CROSS CONNECTION FILLING AND FLUSHING DETAILS	





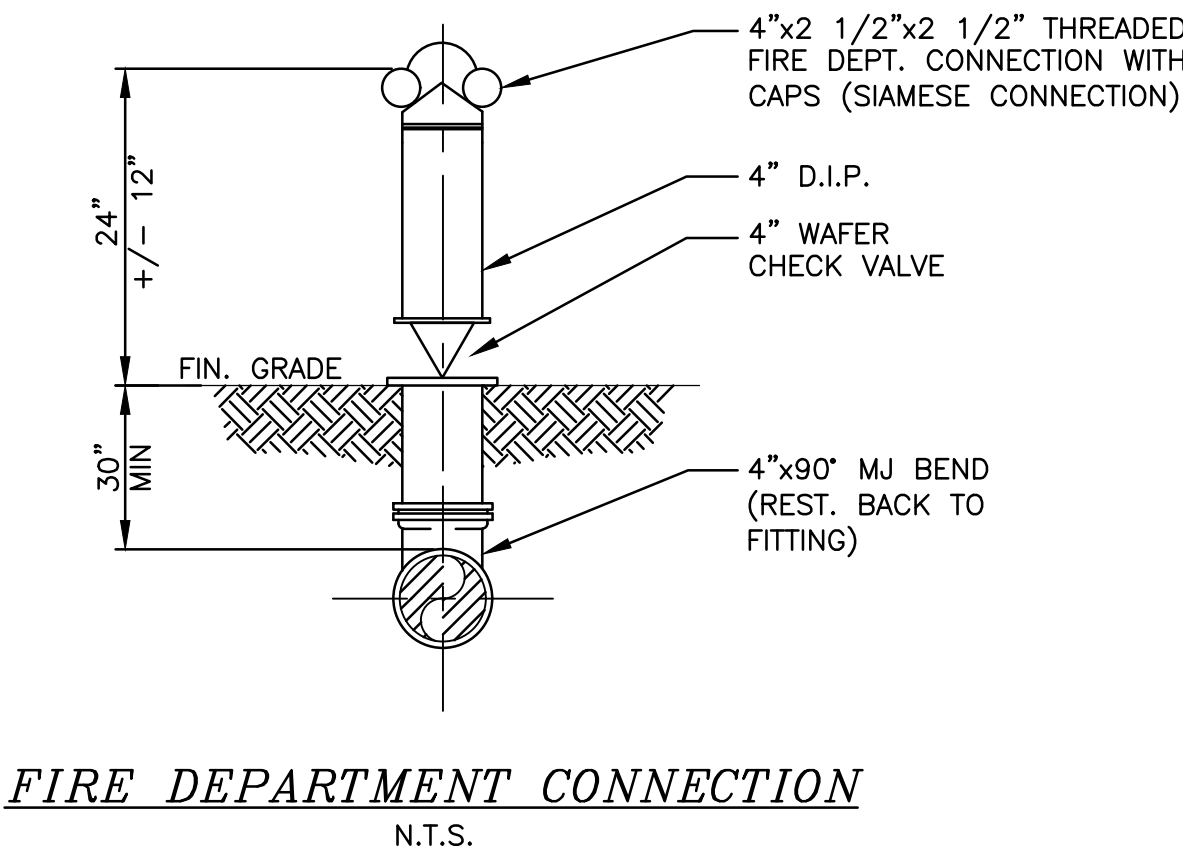
SITE 1:
007 N. OCEAN DRIVE
09, 333 & 341 OKLAHOMA ST.
20 & 324 MCKINLEY ST.

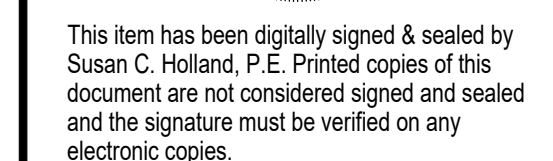
SITE 3:
1012 N. SURF ROAD
HOLLYWOOD, FLORIDA 33019

[illegible]

WATER DETAILS

NO. OF SHEETS:	20
SHEET NO.:	C-19
PROJECT NO.	23-29





SITE 1:
2007 N. OCEAN DRIVE
309, 333 & 341 OKLAHOMA ST.
320 & 324 MCKINLEY ST.

SITE 2:
2115 N. OCEAN DRIVE
320, 322, 324 & 326 NEBRASKA ST.

SITE 3:
2012 N. SURF ROAD
HOLLYWOOD, FLORIDA 33019

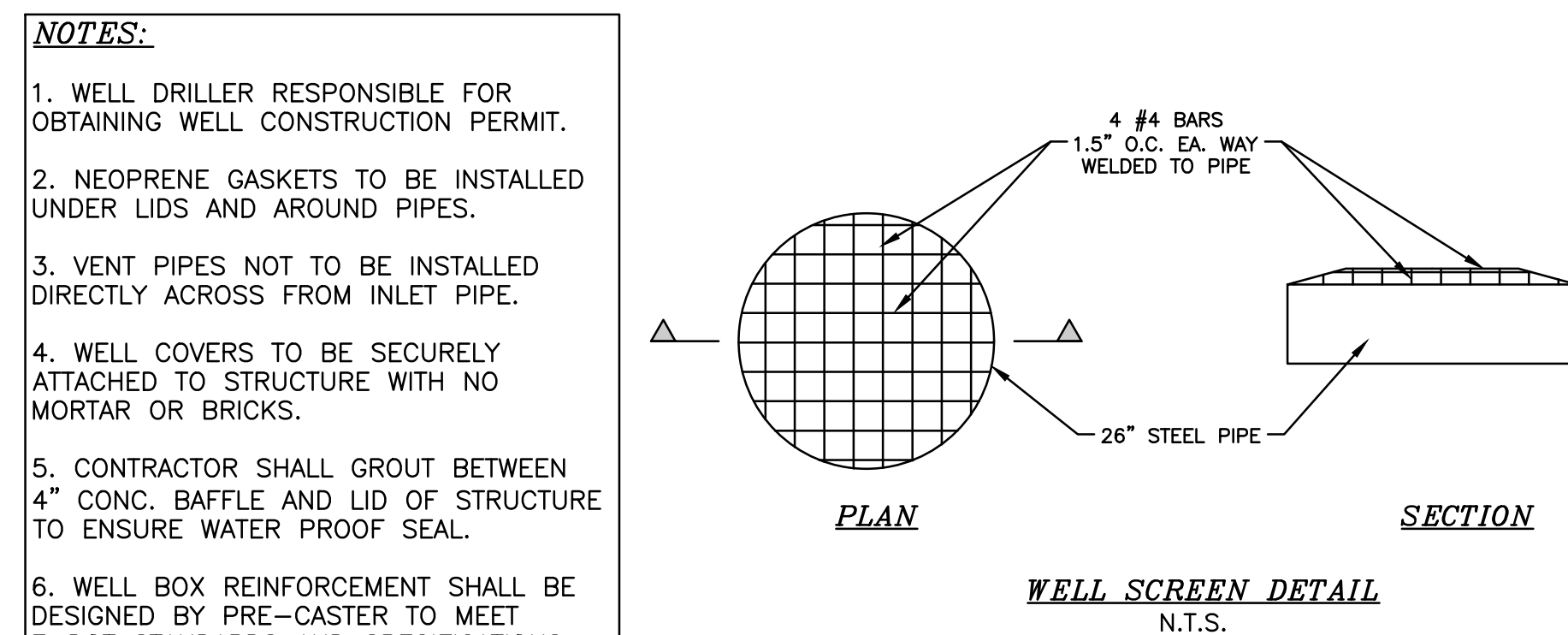
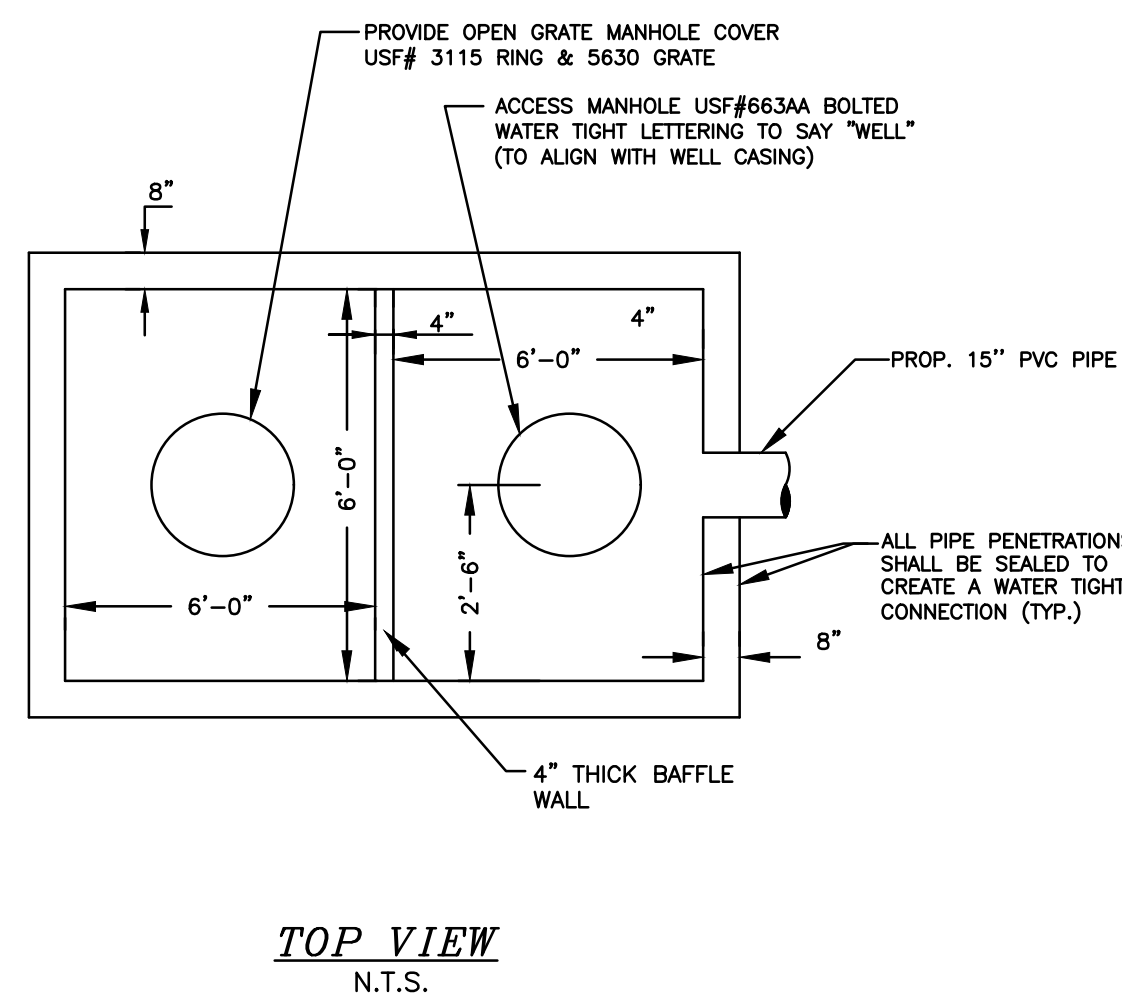
[illegible]

DRAINAGE WELL DETAILS

NO. OF SHEETS: 20

SHEET NO.: C-20

PROJECT NO.	23-29
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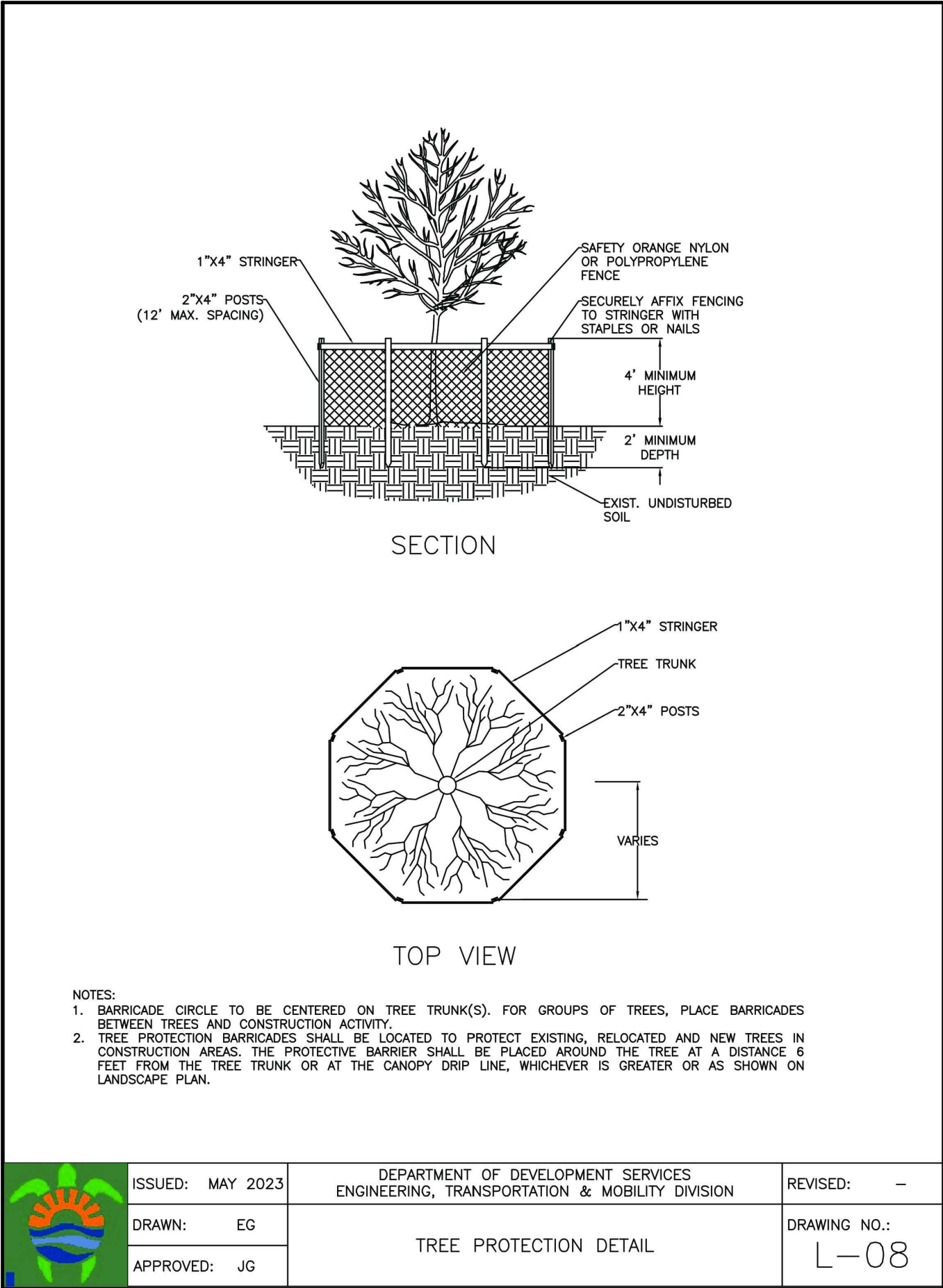
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PLANT SCHEDULE

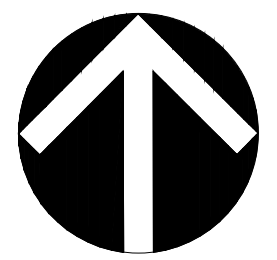
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT/CT	SPREAD	CONDITION	NOTES	ACTION
TREES									
	01	Ravenala madagascariensis	Traveler's Tree	-	18' OA			NOT QUALIFYING AS TREE	REMOVE
	02	Ravenala madagascariensis	Traveler's Tree	-	18' OA			NOT QUALIFYING AS TREE	REMOVE
	03	Syagrus romanzoffiana	Queen Palm	-	12' CT	11'	30%		REMOVE
	04	Ptychosperma elegans	Alexander Palm	-	20' CT, dbl	8'	30%		REMOVE
	05	Wodyetia bifurcata	Foxtail Palm	-	15' CT	7'	20%		REMOVE
	06	Conocarpus erectus f. sericeus	Silver Buttonwood	12"	18' OA	15'	60%		REMOVE
	07	Conocarpus erectus f. sericeus	Silver Buttonwood	10"	20' OA	15'	60%		REMOVE
	08	Conocarpus erectus f. sericeus	Silver Buttonwood	7"	20' OA	15'	60%		REMOVE
	09	Conocarpus erectus f. sericeus	Silver Buttonwood	11"	18' OA	12'	35%		REMOVE
	10	Phoenix roebelenii	Pygmy Date Palm	-	8' CT	7'	20%		REMOVE
	11	Phoenix roebelenii	Pygmy Date Palm	-	6' CT	4'	20%	NOT QUALIFYING AS TREE	REMOVE
	12	Sabal palmetto	Cabbage Palmetto	-	15' CT	11'	50%		REMOVE
	13	Cocos nucifera	Coconut Palm	-	35' CT	18'	30%		REMOVE
	14	Cocos nucifera	Coconut Palm	-	35' CT	18'	30%		REMOVE
	15	Cocos nucifera	Coconut Palm	-	35' CT	18'	30%		REMOVE
	16	Cocos nucifera	Coconut Palm	-	35' CT	18'	30%		REMOVE
	17	Veitchia montgomeryana	Montgomery Palm	-	12'-13' CT, dbl	8'	30%		REMOVE
	18	Ptychosperma elegans	Alexander Palm	-	12'-18' CT, multi	14'	30%		REMOVE
	19	Plumeria obtusa	Singapore White Plumeria	2"	9' OA	7'	60%	NOT QUALIFYING AS TREE	REMOVE
	20	Myrica cerifera	Wax Myrtle	1.5"+2"	10' OA	8'	30%	NOT QUALIFYING AS TREE	REMOVE
	21	Hyophorbe verschaffeltii	Spindle Palm	-	9' GW, 10' CT	10'	50%		REMOVE
	22	Ptychosperma elegans	Alexander Palm	-	15' CT dbl	8'	30%		REMOVE
	23	Adonidia merrillii	Christmas Palm	-	8'-10' CT, triple	11'	70%		REMOVE
	24	Adonidia merrillii	Christmas Palm	-	8'-10' CT, triple	11'	70%		REMOVE
	25	Conocarpus erectus f. sericeus	Silver Buttonwood	1.5"	9' OA	6'	35%	NOT QUALIFYING AS TREE	REMOVE
	26	Conocarpus erectus f. sericeus	Silver Buttonwood	1.5"	10' OA	9'	45%	NOT QUALIFYING AS TREE	REMOVE
	27	Hyophorbe verschaffeltii	Spindle Palm	-	8' GW, 9' CT	10'	50%		REMOVE
	28	Dypsis decaryi	Triangle Palm	-	6' CT	11'		NOT QUALIFYING AS TREE	REMOVE
	29	Cocos nucifera	Coconut Palm	-	30' CT	20'	30%		REMOVE
	30	Adonidia merrillii	Christmas Palm	-	12' CT, triple	13'	85%		REMOVE
	31	Adonidia merrillii	Christmas Palm	-	12' CT, triple	13'	85%		REMOVE
	32	Hyophorbe lagenicaulis	Bottle Palm	-	6' CT	6'	50%	NOT QUALIFYING AS TREE	REMOVE
	33	Adonidia merrillii	Christmas Palm	-	12' CT, triple	13'	85%		REMOVE
	34	Adonidia merrillii	Christmas Palm	-	12' CT, quadruple	13'	85%		REMOVE
	35	Adonidia merrillii	Christmas Palm	-	16' CT	7'	40%		REMOVE
	36	Adonidia merrillii	Christmas Palm	-	16' CT	7'	40%		REMOVE
	37	Adonidia merrillii	Christmas Palm	-	18' CT	7'	40%		REMOVE
	38	Adonidia merrillii	Christmas Palm	-	18' CT	7'	40%		REMOVE
	39	Adonidia merrillii	Christmas Palm	-	14' CT	7'	40%		REMOVE

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT/CT	SPREAD	CONDITION	NOTES	ACTION
TREES									
	40	Adonidia merrillii	Christmas Palm	-	14' CT	7'	40%		REMOVE
	41	Adonidia merrillii	Christmas Palm	-	14' CT	7'	40%		REMOVE
	42	Adonidia merrillii	Christmas Palm	-	14' CT	7'	40%		REMOVE
	43	Phoenix dactylifera 'Medjool'	Medjool Date Palm	-	20' CT	20'	55%		REMOVE
	44	Phoenix dactylifera 'Medjool'	Medjool Date Palm	-	20' CT	20'	55%		REMOVE
TREES IN ROW									
	45	Phoenix dactylifera 'Medjool'	Medjool Date Palm	-	14' CT	20'	70%		TO REMAIN
	46	Phoenix dactylifera 'Medjool'	Medjool Date Palm	-	14' CT	20'	80%		TO REMAIN
	47	Cocos nucifera	Coconut Palm	-	18' CT	20'	90%		TO REMAIN
	48	Thrinax radiata	Florida Thatch Palm	-	10' CT	8'	90%		TO REMAIN
	49	Thrinax radiata	Florida Thatch Palm	-	10' CT	8'	90%		TO REMAIN
	50	Thrinax radiata	Florida Thatch Palm	-	10' CT	8'	90%		TO REMAIN
	51	Cocos nucifera	Coconut Palm	-	16' CT	20'	90%		TO REMAIN
	52	Thrinax radiata	Florida Thatch Palm	-	10' CT	8'	90%		TO REMAIN
	53	Thrinax radiata	Florida Thatch Palm	-	10' CT	8'	90%		TO REMAIN
	54	Cocos nucifera	Coconut Palm	-	16' CT	20'	90%		TO RELOCATE
	55	Cocos nucifera	Coconut Palm	-	16' CT	20'	90%		TO REMAIN
	56	Thrinax radiata	Florida Thatch Palm	-	8' CT	8'	80%		TO REMAIN
	57	Thrinax radiata	Florida Thatch Palm	-	8' CT	8'	80%		TO REMAIN
	58	Cocos nucifera	Coconut Palm	-	16' CT	20'	90%		TO REMAIN
	59	Cocos nucifera	Coconut Palm	-	12' CT	20'	90%		TO REMAIN
	60	Thrinax radiata	Florida Thatch Palm	-	8' CT	8'	90%		TO REMAIN
	61	Cocos nucifera	Coconut Palm	-	12' CT	20'	90%		TO REMAIN
	62	Thrinax radiata	Florida Thatch Palm	-	8' CT	8'	90%		TO REMAIN
	63	Cocos nucifera	Coconut Palm	-	12' CT	20'	90%		TO REMAIN
	64	Cocos nucifera	Coconut Palm	-	18' CT	20'	80%		TO REMAIN
	65	Thrinax radiata	Florida Thatch Palm	-	6' CT	8'	90%	NOT QUALIFYING AS TREE	TO REMAIN
	66	Thrinax radiata	Florida Thatch Palm	-	6' CT	8'	90%	NOT QUALIFYING AS TREE	TO REMAIN
	67	Cocos nucifera	Coconut Palm	-	18' CT	20'	80%		TO REMAIN
	68	Thrinax radiata	Florida Thatch Palm	-	7' CT	8'	80%	NOT QUALIFYING AS TREE	TO REMAIN
	69	Cocos nucifera	Coconut Palm	-	15' CT	20'	90%		TO REMAIN



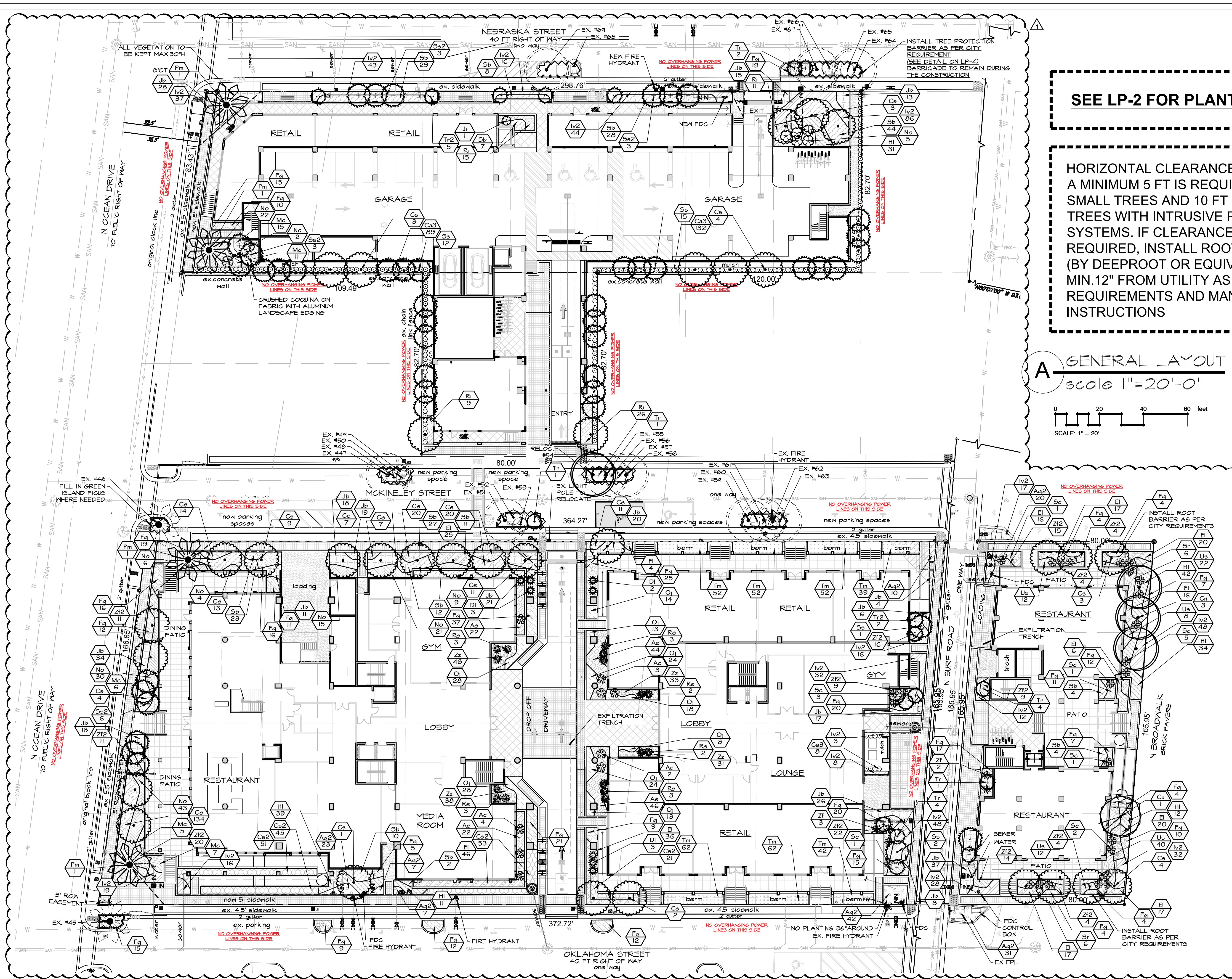
The Mirror of Paradise
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SCALE	as shown
DESIGNED BY	GF
DRAWN BY	...
CHECKED BY	GF
CAD DWG.	
DATE	01.15.2024
REVISIONS	
per City comments	1 06.01.2024

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HOLLYWOOD BEACH
FLORIDA

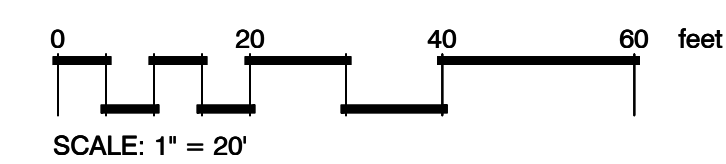
EXISTING TREES CHART, TREE PROTECTION DET.



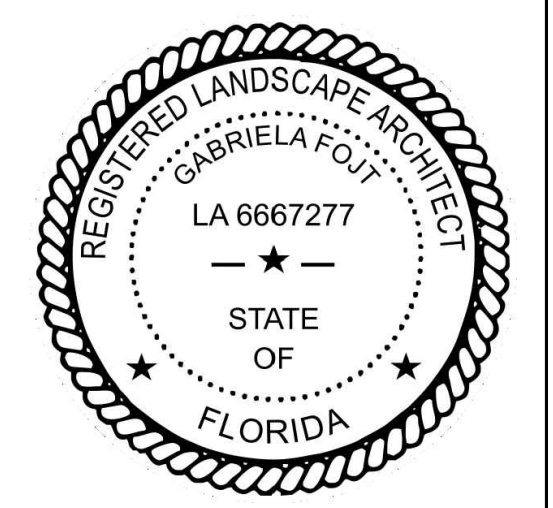
SEE LP-2 FOR PLANTS CHART

HORIZONTAL CLEARANCE TO UTILITIES, A MINIMUM 5 FT IS REQUIRED FOR SMALL TREES AND 10 FT FOR LARGE TREES WITH INTRUSIVE ROOT SYSTEMS. IF CLEARANCE LESS THAN REQUIRED, INSTALL ROOT BARRIERS (BY DEEPROOT OR EQUIVALENT) MIN. 12" FROM UTILITY AS PER CITY REQUIREMENTS AND MANUFACTURER INSTRUCTIONS

A GENERAL LAYOUT
scale 1"=20'-0"



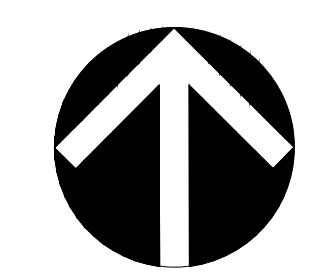
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SCALE	1/8"=1'-0"
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FLORIDA

LANDSCAPE PLAN GROUND LEVEL

PLANT SCHEDULE GROUND LEVEL

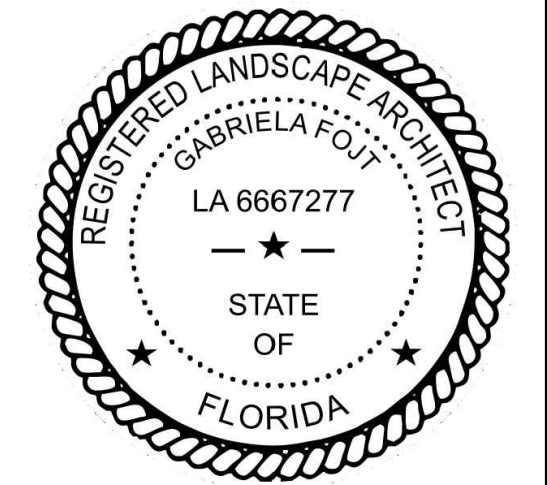
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
TREES								
	Cu	1	Coccoloba uvifera	Sea Grape	min.16' OA, multistem, min. one stem 2'dbh	AS SHOWN	YES	HIGH
	Cn	3	Cocos nucifera	Coconut Palm	min.12'CT, curved	AS SHOWN	NO	HIGH
	Cs	33	Conocarpus erectus f. sericeus	Silver Buttonwood	min.12' OA, 2:dbh, matched	AS SHOWN	YES	HIGH
	Pm	4	Phoenix dactylifera 'Medjool'	Medjool Date Palm	min. 8' CT, matched	AS SHOWN	NO	HIGH
	Ss	30	Sabal palmetto	Cabbage Palmetto	16'-24'CT, staggered	AS SHOWN	YES	HIGH
	Ss2	15	Sabal palmetto	Cabbage Palmetto	16'-26'CT, curved, staggered	AS SHOWN	YES	HIGH
	Tr2	7	Thrinax radiata	Florida Thatch Palm	8' CT, dbl, matched	AS SHOWN	YES	HIGH
	Tr	13	Thrinax radiata	Florida Thatch Palm	8' CT	AS SHOWN	YES	HIGH
EXISTING PALMS								
	59	1	Cocos nucifera	Coconut Palm	12' CT	EXISTING	NO	HIGH
	61	1	Cocos nucifera	Coconut Palm	12' CT	EXISTING	NO	HIGH
	63	1	Cocos nucifera	Coconut Palm	12' CT	EXISTING	NO	HIGH
	69	1	Cocos nucifera	Coconut Palm	15' CT	EXISTING	NO	HIGH
	51	1	Cocos nucifera	Coconut Palm	16' CT	EXISTING	NO	HIGH
	55	1	Cocos nucifera	Coconut Palm	16' CT	EXISTING	NO	HIGH
	58	1	Cocos nucifera	Coconut Palm	16' CT	EXISTING	NO	HIGH
	47	1	Cocos nucifera	Coconut Palm	18' CT	EXISTING	NO	HIGH
	67	1	Cocos nucifera	Coconut Palm	18' CT	EXISTING	NO	HIGH
	64	1	Cocos nucifera	Coconut Palm	18' CT	EXISTING	NO	HIGH
	46	1	Phoenix dactylifera 'Medjool'	Medjool Date Palm	14' CT	EXISTING	NO	HIGH
	45	1	Phoenix dactylifera 'Medjool'	Medjool Date Palm	14' CT	EXISTING	NO	HIGH
	49	1	Thrinax radiata	Florida Thatch Palm	10' CT	EXISTING	YES	HIGH
	48	1	Thrinax radiata	Florida Thatch Palm	10' CT	EXISTING	YES	HIGH
	52	1	Thrinax radiata	Florida Thatch Palm	10' CT	EXISTING	YES	HIGH
	53	1	Thrinax radiata	Florida Thatch Palm	10' CT	EXISTING	YES	HIGH
	66	1	Thrinax radiata	Florida Thatch Palm	6' CT	EXISTING	YES	HIGH
	65	1	Thrinax radiata	Florida Thatch Palm	6' CT	EXISTING	YES	HIGH
	68	1	Thrinax radiata	Florida Thatch Palm	7' CT	EXISTING	YES	HIGH
	56	1	Thrinax radiata	Florida Thatch Palm	8' CT	EXISTING	YES	HIGH
	57	1	Thrinax radiata	Florida Thatch Palm	8' CT	EXISTING	YES	HIGH
	60	1	Thrinax radiata	Florida Thatch Palm	8' CT	EXISTING	YES	HIGH
	62	1	Thrinax radiata	Florida Thatch Palm	8' CT	EXISTING	YES	HIGH
	50	1	Thrinax radiata	Florida Thatch Palm	8' CT	EXISTING	YES	HIGH

PLANT SCHEDULE GROUND LEVEL

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
RELOCATED PALMS								
	54	1	Cocos nucifera	Coconut Palm	16' CT	EXISTING	NO	HIGH
SHRUBS								
	Ac	9	Alocasia x 'Calidora'	Calidora Alocasia	7 gal.	AS SHOWN	NO	MODERATE
	Ca3	229	Chrysobalanus icaco 'Green Tip'	Green Tip Coco Plum	36'OA, ftb	24'OC	YES	HIGH
	DI	8	Dracaena fragrans 'LimeLight'	LimeLight Dracaena	7 gal, full	AS SHOWN	NO	MODERATE
	Ji	1	Jatropha integririma	Spicy Jatropha	4'-5' OA, multi	AS SHOWN	NO	HIGH
	Nc	7	Nerium oleander 'Calypso'	Calypso Oleander	15 gal, 5'OA, bush	AS SHOWN	NO	HIGH
	Re	16	Rhaps excelsa	Lady Palm	4'-5' OA, full	AS SHOWN	NO	HIGH
	Sr	12	Serenoa repens	Green Saw Palmetto	min.15 gal, 3' x3' , full	AS SHOWN	YES	HIGH
	Sc	14	Serenoa repens 'Cinerea'	Silver Saw Palmetto	min.15 gal, 3' x3' , full	AS SHOWN	YES	HIGH
	Zf	5	Zamia furfuracea	Cardboard Palm	7 gal	AS SHOWN	NO	HIGH
SHRUB AREAS								
	Ae	134	Aspidistra elatior	Cast Iron Plant	3 gal, full	24'OC	NO	MODERATE
	Ce	237	Carissa macrocarpa 'Emerald Blanket'	Emerald Blanket Natal Plum	3 gal	18'OC	NO	HIGH
	Cs2	170	Conocarpus erectus f. sericeus	Silver Buttonwood	24'OA, ftb	24'OC	YES	HIGH
	EI	240	Ernodea littoralis	Golden Creeper	3 gal	24'OC	YES	
	Fg	402	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	3 gal	24'OC	NO	HIGH
	HI	169	Hymenocallis latifolia	Spider Lily	3 gal, ftb	24'OC	YES	HIGH
	Iv2	505	Ilex vomitoria 'Schillings'	Yaupon Holly	3 gal, ftb	18'OC	YES	HIGH
	Jb	295	Juniperus conferta 'Blue Pacific'	Blue Pacific Shore Juniper	3 gal, full	24'OC	NO	HIGH
	Mc	44	Muhlenbergia capillaris	Pink Muhly Grass	3 gal, full	30'OC	YES	HIGH
	No	154	Nerium oleander	Dwarf Oleander	3 gal ftb	24'OC	NO	HIGH
	Oj	170	Ophiopogon japonicus	Mondo Grass	1 gal	18'OC	NO	LOW
	Ri	61	Rhaphiolepis indica	Indian Hawthorn	3 gal, ftb	24'OC	NO	HIGH
	Sb	209	Spartina bakeri	Sand Cordgrass	3 gal, full	30'OC	YES	HIGH
	Us	94	Uniola paniculata	Sea Oats	1 gal	24'OC	YES	HIGH
	Zf2	143	Zamia floridana	Florida Coontie	3 gal	24'OC	YES	HIGH
	Zz	150	Zamioculcas zamiifolia	ZZ Plant	24"x18", full	18'OC	NO	LOW
GROUND COVERS								
	Ag2	140	Arachis glabrata	Perennial Peanut	1 gal	18'OC	NO	HIGH
	Tm	361	Trachelospermum asiaticum 'Minima'	Minima Asiatic Jasmine	1 gal	18'OC	NO	HIGH

- NOTES:
- MULCH ALL BEDS AS INDICATED ON DETAIL.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.
 - PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.

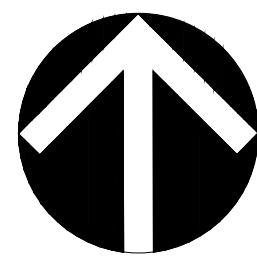
LANDSCAPE REQUIREMENTS BRT-25 & BWK-25	Required	Existing	Proposed	Total Provided
OPEN SPACE 1 tree/each 1,000 sf of pervious area (15,547.51/1,000=15.54)	16 trees		1 Seagrape, 12 Silver Buttonwood, 3 Coconuts (=1 tree), 2 Medjool	16 provided
STREET TREES 1 tree/each 50 lf of street frontage (1,940.63/50=38.8) (372.72'+80'+165.95'+165.95'+80'+364.27'+166.85'+80'+82.70'+298.76'+83.43')	39 trees	11 Coconut (3 2/3 trees), 2 Medjool, 9 Thatch (=3 trees)	13 Thatch (=4 1/3 trees) 4 Medjool, 14 Silver buttwood, 24 Sabals (=8 tree)	39 provided
min. 60% of required trees to be native (55x6=33) min. 50% of shrubs to be native (4,206x.5=2103) max. 50% of required trees to be palms (55x .5=27.5) Provide automatic irrigation with 100% of coverage	min.33 native trees min.2,103 (=50%) max.28 palms	19 Thatch (=3 trees) 2,112 (=50%) 2 palms 1:1, 20 palms 3:1 (6 2/3 trees)	34 trees, 16 palms (=5 1/3 trees) 50% provided 6 palms 1:1, 40 palms 3:1 (13 1/3 trees) irrigation system	42 1/3 (=77%)provided 28 provided provided
MITIGATION TREES			7 Silver Buttonwood, 21 Sabal, 7 Thatch	28 palms+14"dbh-SEE DT-1 FOR MITIGATION CALC.



The Mirror of Paradise

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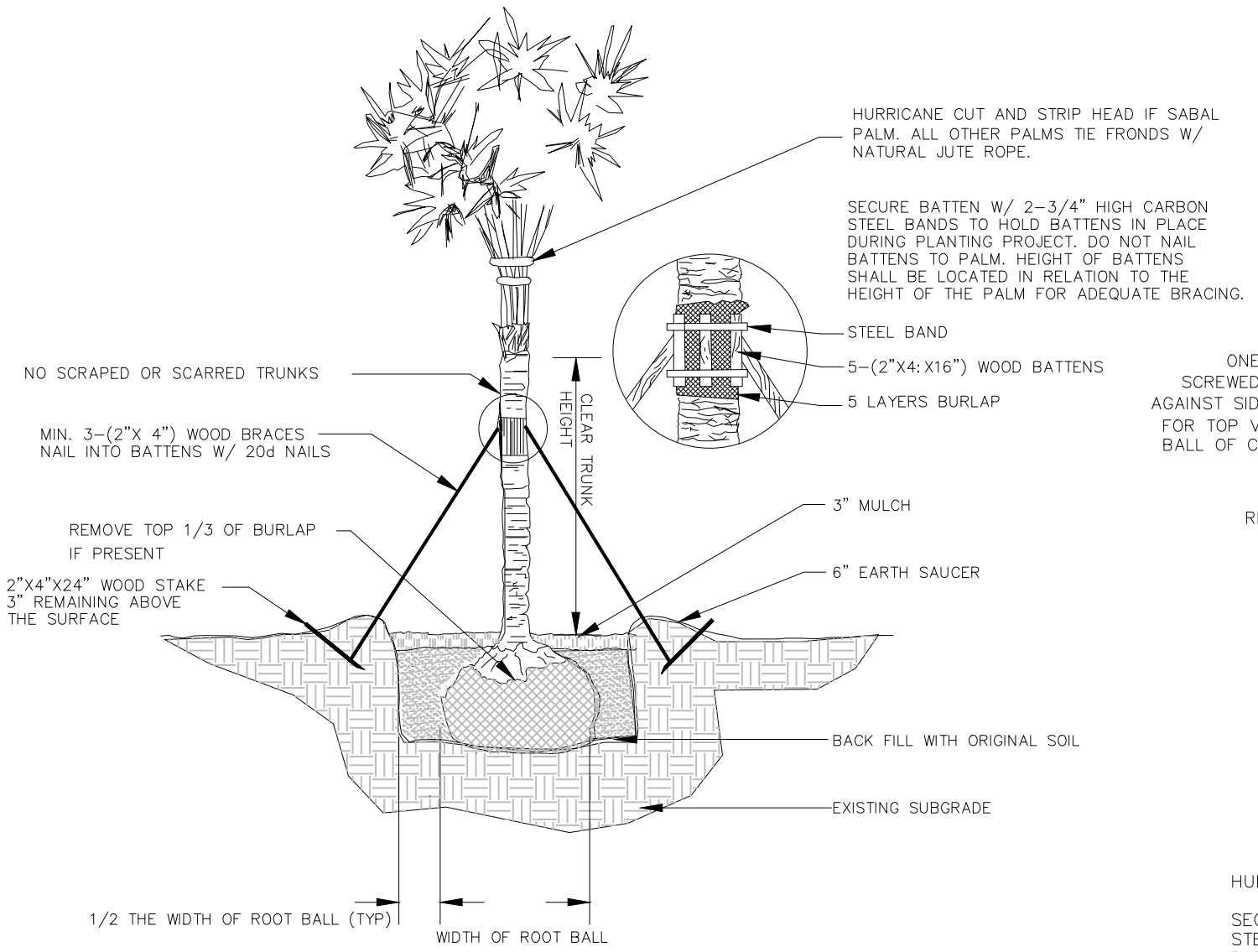
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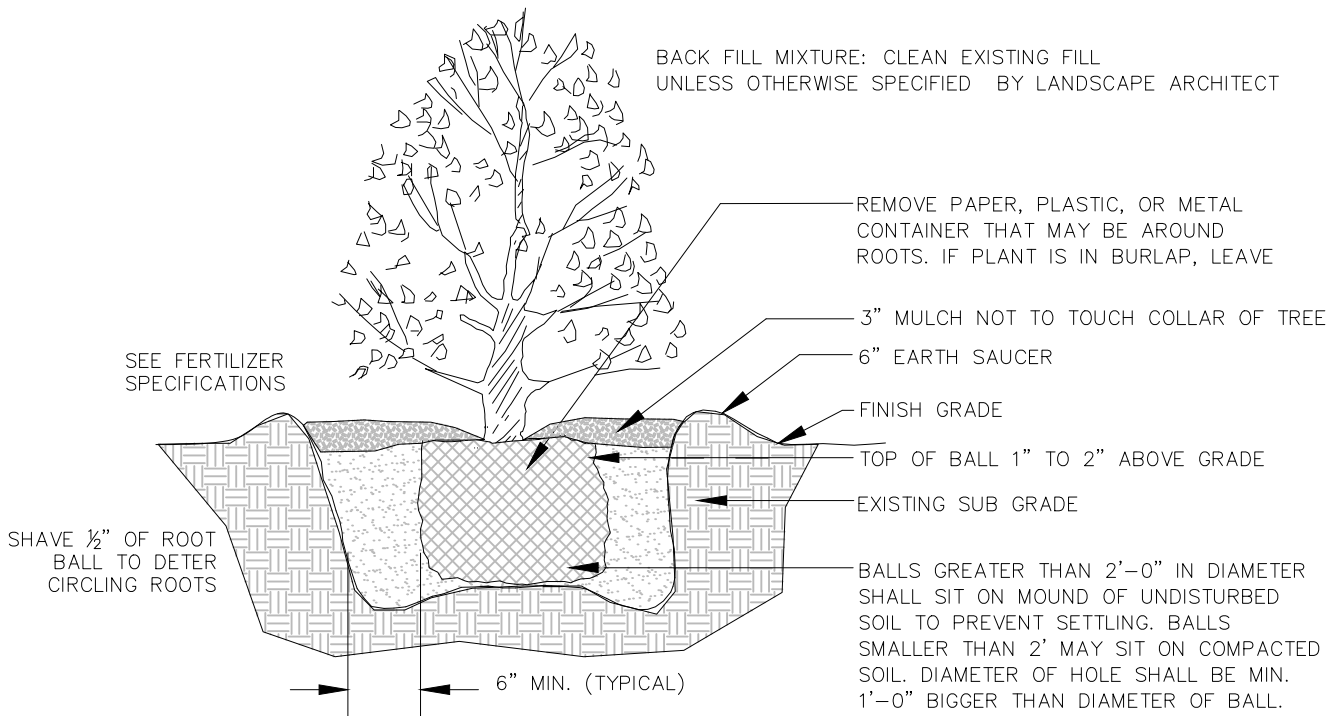
SCALE	as noted
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DRAWN BY	...
CHECKED BY	GF
CAD DWG.	
DATE	01.15.2024
REVISIONS	
per City comments	06.01.2024

OM RESIDENTIAL - MIXED USE
HOLLYWOOD BEACH
FLORIDA

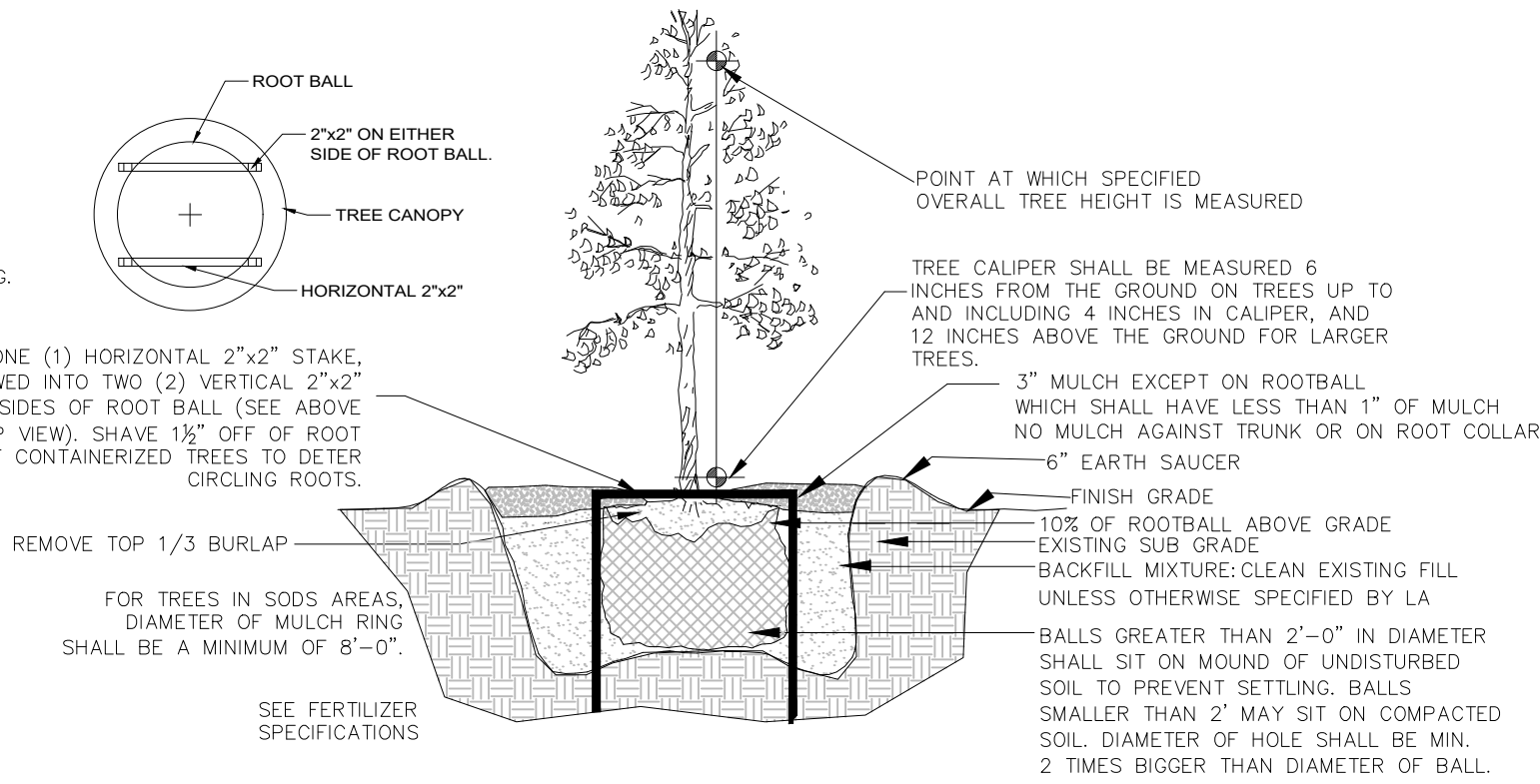
GROUND LEVEL PLANT SCHEDULE & CODE CHART



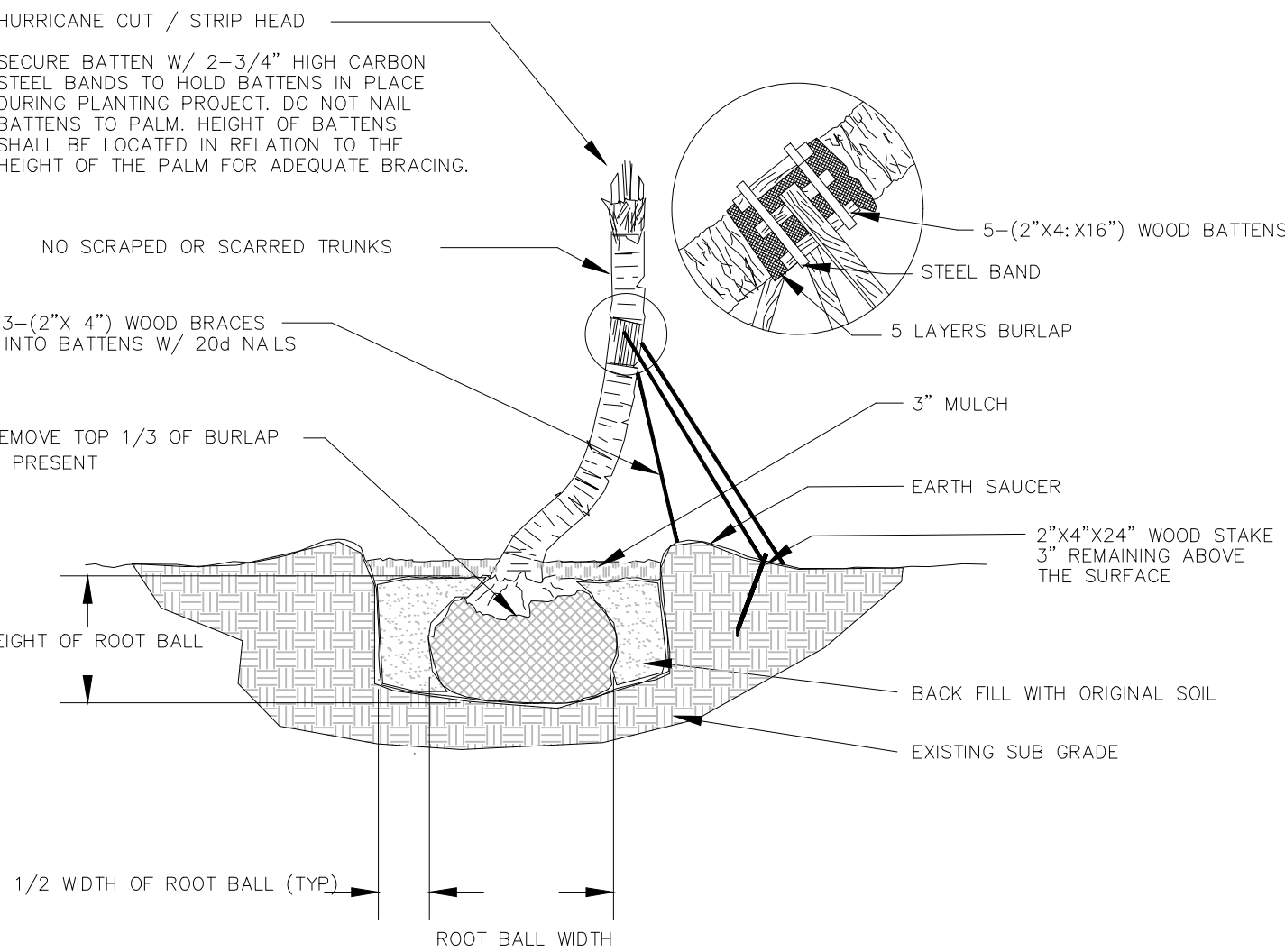
PALM PLANTING DETAIL



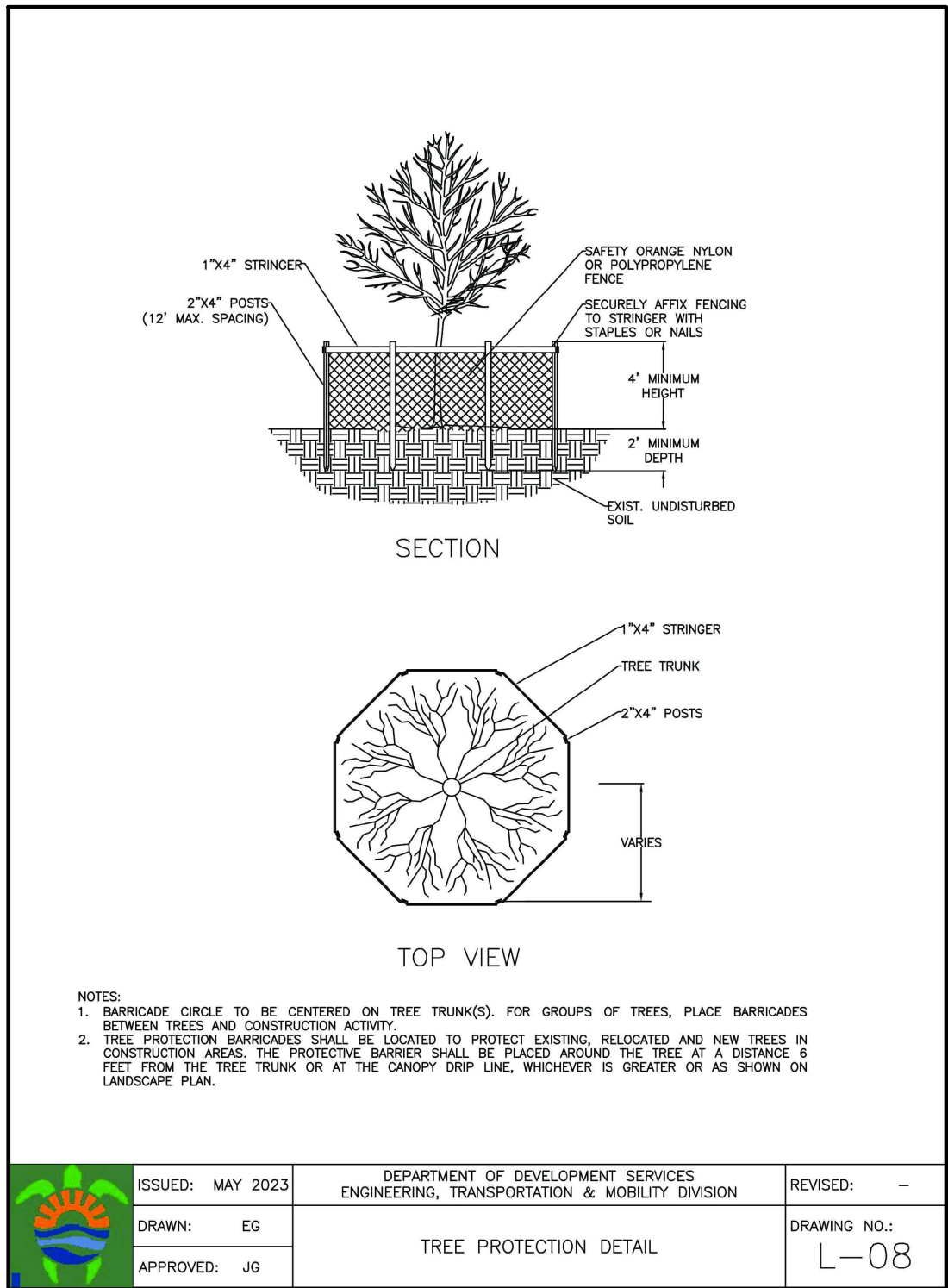
SHRUB PLANTING DETAIL



TREE PLANTING DETAIL



CURVED SABAL PLANTING DETAIL



GENERAL LANDSCAPE NOTES

1. CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.

2. CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.

3. ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, MARCH 1998.

4. PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50%/50) WITH 50 LBS OF MILDORGANITE PER 6 CU. YDS.

5. TREES & PALMS GUARANTEED TO BE IN HEALTHY THRIVING CONDITION FOR ONE YEAR FROM PROJECT COMPLETION.

6. APPLY 3\"/>

7. CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.

8. WHERE THERE IS A DISCREPENCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.

9. ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS.

10. ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.

11. TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.

12. ROOT FLARES TO BE SET ABOVE GRADE AND VISIBLE WITH ROOT SYSTEMS 100% ABOVE FINAL GRADE AT TIME OF PLANTING.

13. LANDSCAPING SHALL COMPLY WITH ALL ZONING AND LAND DEVELOPMENT REGULATIONS.

HOLLYWOOD LANDSCAPE NOTES

1. PLANT MATERIAL WILL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS.

2. THERE WILL BE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER.

JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

RELOCATED TREES:

These trees may not conform to grades and standards, yet do have quality criteria which effect the health, longevity and safety of the tree (and person which may contact tree). This is NOT meant to be a guideline for transplanting trees, but rather the criteria by which relocated trees will meet Town, County, State or governing agency guidelines. Trees which require excessive pruning should NOT be used. Damaged or dead relocated trees will be replaced with appropriate number of caliper inches and species equal to relocated or dead tree, as approved by the Landscape Architect.

No more than 20% of the foliage should be removed for any reason (excluding Sabal Palms). Trees should be corrected for any structural defects, touching branches, dead or rotting wood, V-shaped branching or branching which may effect human safety issues post relocation. Topping a relocated tree is not acceptable.

Damage to the trunk/branches will not exceed 10% of the trunk diameter and 2" in height.

Any major limb or canopy pruning will be qualified and performed by a Certified Arborist.

IRRIGATION

Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by owner and Landscape Architect.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head.

Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil. STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

CLEANUP:

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

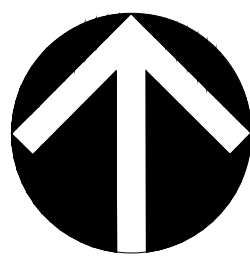
Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.



The Mirror of Paradise

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HOLLYWOOD BEACH
FLORIDA

NOTES & DETAILS

OM RESIDENTIAL MIXED USE

HOLLYWOOD BEACH FLORIDA



P.A.C.O. - JULY 11, 2023
PRELIMINARY TAC - SEPTEMBER 18, 2023
FINAL TAC - MARCH 4, 2024
FINAL TAC - JULY 1, 2024

PROJECT TEAM

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PROJECT DATA

CODES:

FLORIDA BUILDING CODE 2020 ED.
FLORIDA FIRE PREVENTION CODE 7TH ED.
N.F.P.A. 101 2018 ED.
N.F.P.A. 1 2018 ED.

JURISDICTION:

CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

DRAWING INDEX

T-1 COVER SHEET

SURVEY

- SP-0 SITE DATA
- SP-1 SITE PLAN AND FIRST FLOOR PLAN
- SP-1a ACCESSIBLE AND PEDESTRIAN ROUTE
- SP-1b AERIAL SITE OVERLAY
- SP-2 SITE DETAILS
- SP-3 BUILDING DATA
- SP-4 UNIT DATA
- SP-5 MATERIAL AND DESIGN SAMPLES
- SP-6 MATERIAL AND DESIGN SAMPLES
- SP-7 SIGN, GARAGE SCREEN, CAR LIFT AND CAR ELEVATOR DETAILS
- SP-8 HC RAMP DETAILS
- SP-9 HC RAMP DETAILS

CIVIL

- C-1 PAVING, GRADING AND DRAINAGE PLAN
- C-2 PAVING, GRADING AND DRAINAGE PLAN
- C-3 WATER AND SEWER PLAN
- C-4 WATER AND SEWER PLAN
- C-5 PAVEMENT MARKINGS AND SIGNAGE PLAN
- C-6 PAVEMENT MARKINGS AND SIGNAGE PLAN
- C-7 PAVEMENT MARKINGS AND SIGNAGE 2ND & 3RD FLOOR PLAN
- C-8 PAVEMENT MARKINGS AND SIGNAGE 4TH & 5TH FLOOR PLAN
- C-9 PAVEMENT MARKINGS AND SIGNAGE 6TH & 7TH FLOOR PLAN
- C-10 STORMWATER POLLUTION PREVENTION PLAN
- C-11 STORMWATER POLLUTION PREVENTION PLAN
- C-12 SECTIONS
- C-13 CIVIL DETAILS
- C-14 CITY GENERAL DETAILS
- C-15 CITY GENERAL DETAILS
- C-16 CITY ENGINEERING DETAILS
- C-17 CITY SEWER DETAILS
- C-18 CITY WATER DETAILS
- C-19 WATER DETAILS
- C-20 DRAINAGE WELL DETAILS

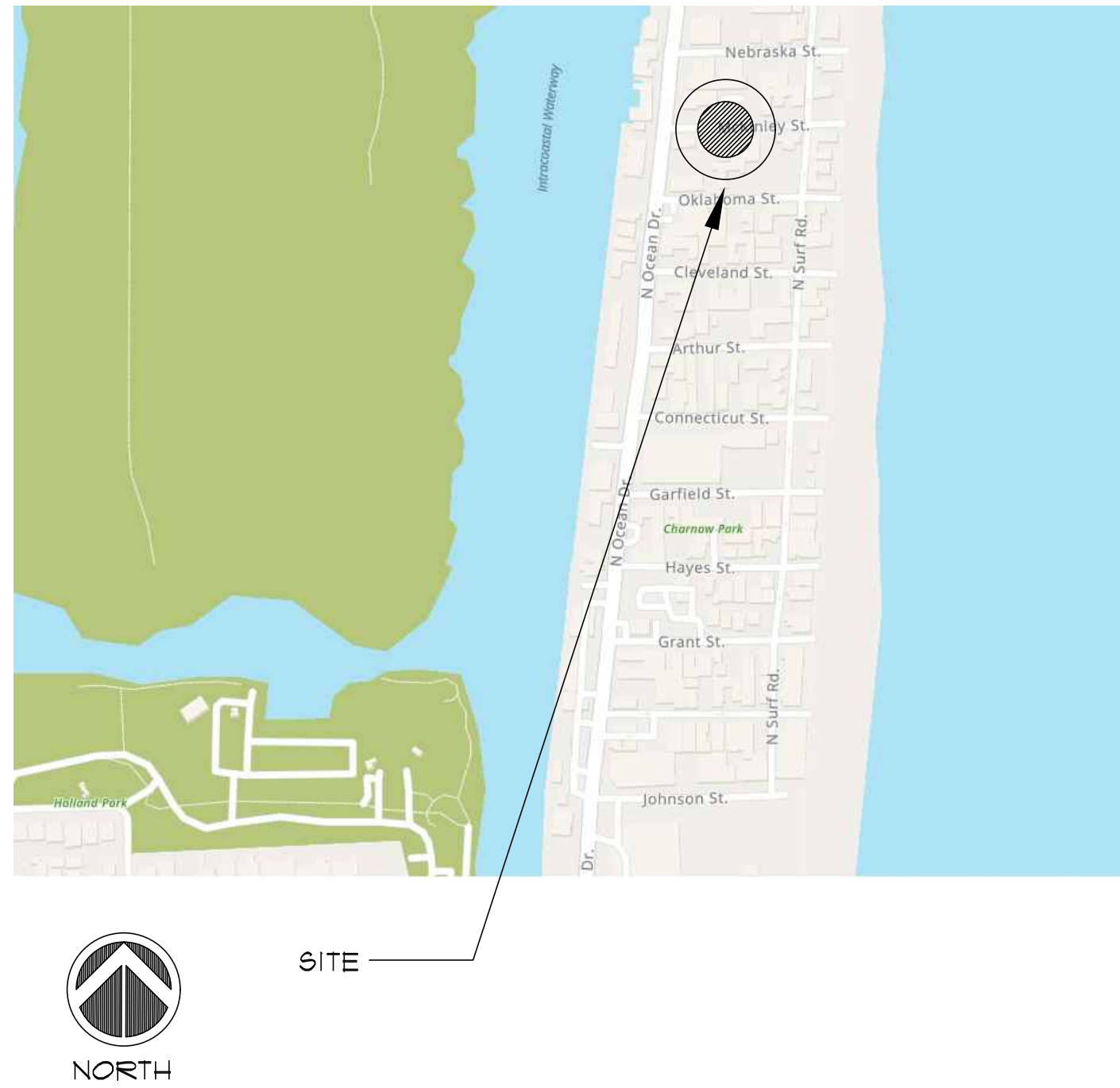
LANDSCAPE

- DT-1 REMOVAL PLAN
- DT-2 EXISTING TREE CHART, TREE PROTECTION DETAIL
- LP-1 LANDSCAPE PLAN GROUND LEVEL
- LP-2 GROUND LEVEL PLAT SCHEDULE AND CODE CHART
- LP-3 2ND AND 5TH FLOOR LANDSCAPE PLAN
- LP-4 DETAILS AND NOTES

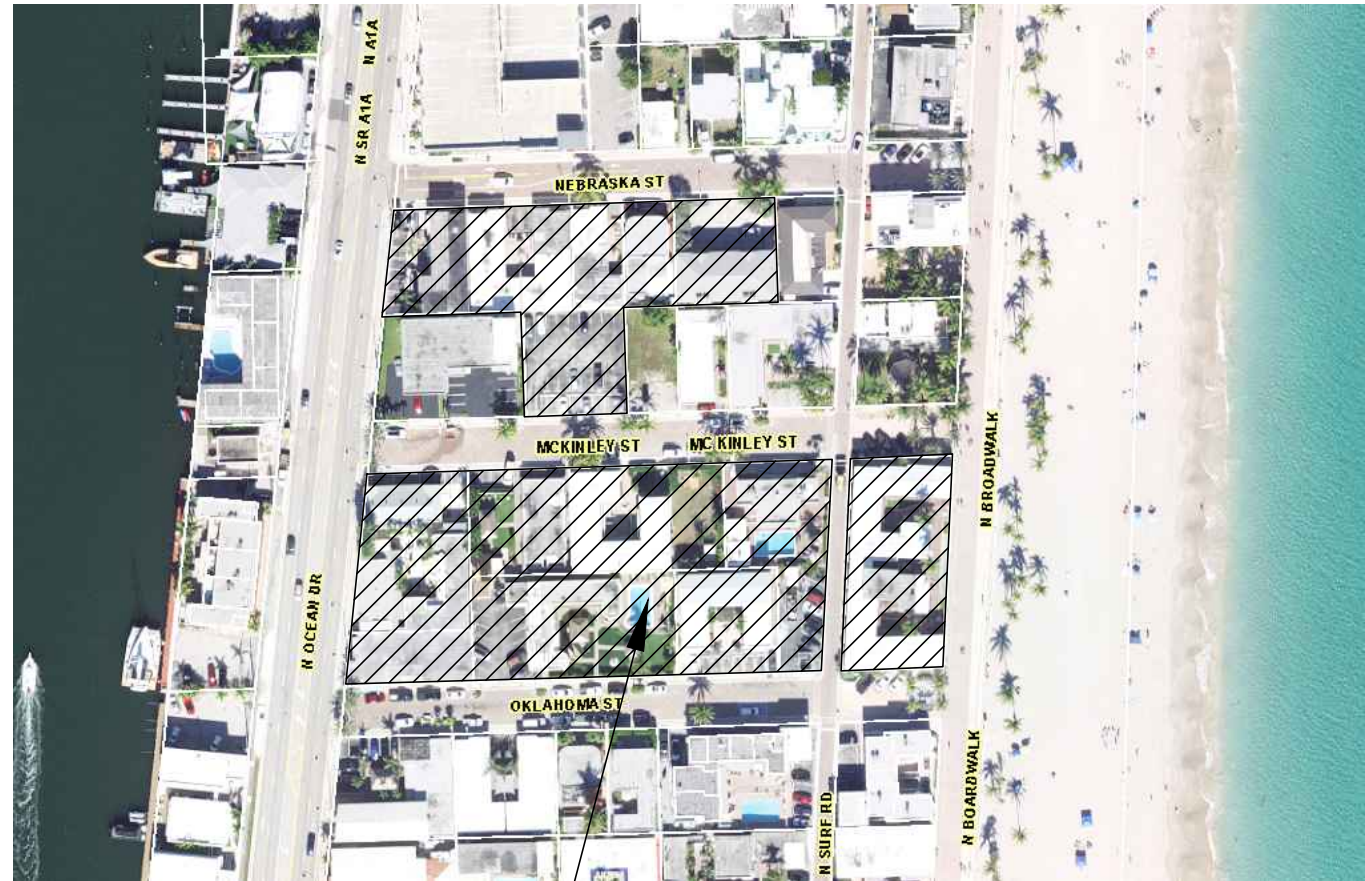
ARCHITECTURAL

- A-0 SITE PHOTOGRAPHS
- A-1 FIRST FLOOR PLAN - SITE 1 & 3
- A-2 SECOND FLOOR PLAN - SITE 1 & 3
- A-3 THIRD FLOOR PLAN
- A-4 FOURTH FLOOR PLAN
- A-5 FIFTH FLOOR PLAN
- A-6 SIXTH FLOOR PLAN
- A-7 SEVENTH FLOOR PLAN
- A-8 EIGHTH FLOOR PLAN
- A-9 NINTH FLOOR PLAN
- A-10 TENTH FLOOR PLAN
- A-11 ELEVENTH FLOOR PLAN
- A-12 TWELFTH FLOOR PLAN
- A-13 THIRTEENTH FLOOR PLAN
- A-14 FOURTEENTH FLOOR PLAN
- A-15 FIFTEENTH FLOOR PLAN
- A-16 SIXTEENTH FLOOR PLAN
- A-17 SEVENTEENTH FLOOR PLAN
- A-18 ROOF PLAN
- A-19 NOT USED
- A-20 WEST ELEVATION - SITE 1 & 3
- A-21 SOUTH ELEVATION - SITE 1 & 3
- A-22 EAST ELEVATION - SITE 1 & 3
- A-23 NORTH ELEVATION - SITE 1 & 3
- A-24 FIRST FLOOR PLAN - SITE 2
- A-25 SECOND FLOOR PLAN - SITE 2
- A-26 THIRD FLOOR PLAN - SITE 2
- A-27 FOURTH FLOOR PLAN - SITE 2
- A-28 FIFTH FLOOR PLAN - SITE 2
- A-29 SIXTH FLOOR PLAN - SITE 2
- A-30 SEVENTH FLOOR PLAN - SITE 2
- A-31 ROOF PLAN - SITE 2
- A-32 UPPER ROOF PLAN - SITE 2
- A-33 WEST AND SOUTH ELEVATIONS - SITE 2
- A-34 EAST AND NORTH ELEVATIONS - SITE 2
- A-35 CONTEXTUAL STREET ELEVATIONS
- A-36 ACTIVE USE, TRANSPARENCY AND ACTIVE LINER ILLUSTRATIONS

LOCATION MAP



AERIAL



PROJECT TITLE

OM RESIDENTIAL

MIXED USE

2007 & 2115 N. OCEAN DR. 309-333 & 341 OKLAHOMA ST.
2012 S. SURF RD. 320 & 324 MCKINLEY ST.
320, 322, 324 & 326 NEBRASKA ST.
HOLLYWOOD FL 33019

SHEET TITLE

FINAL TAC

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1	10-2-23	PRELIM TAC
2	4-2-24	FINAL TAC
3		
4		
5		
6		
7		
8		
9		
10		

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DATE: 2-27-23
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

T-1

SHEET 1 OF 1

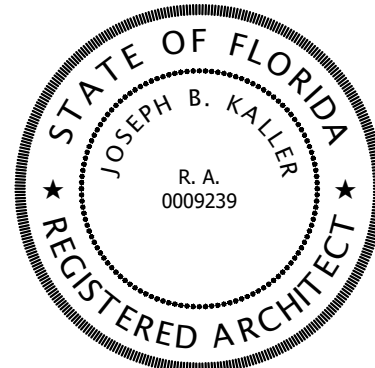
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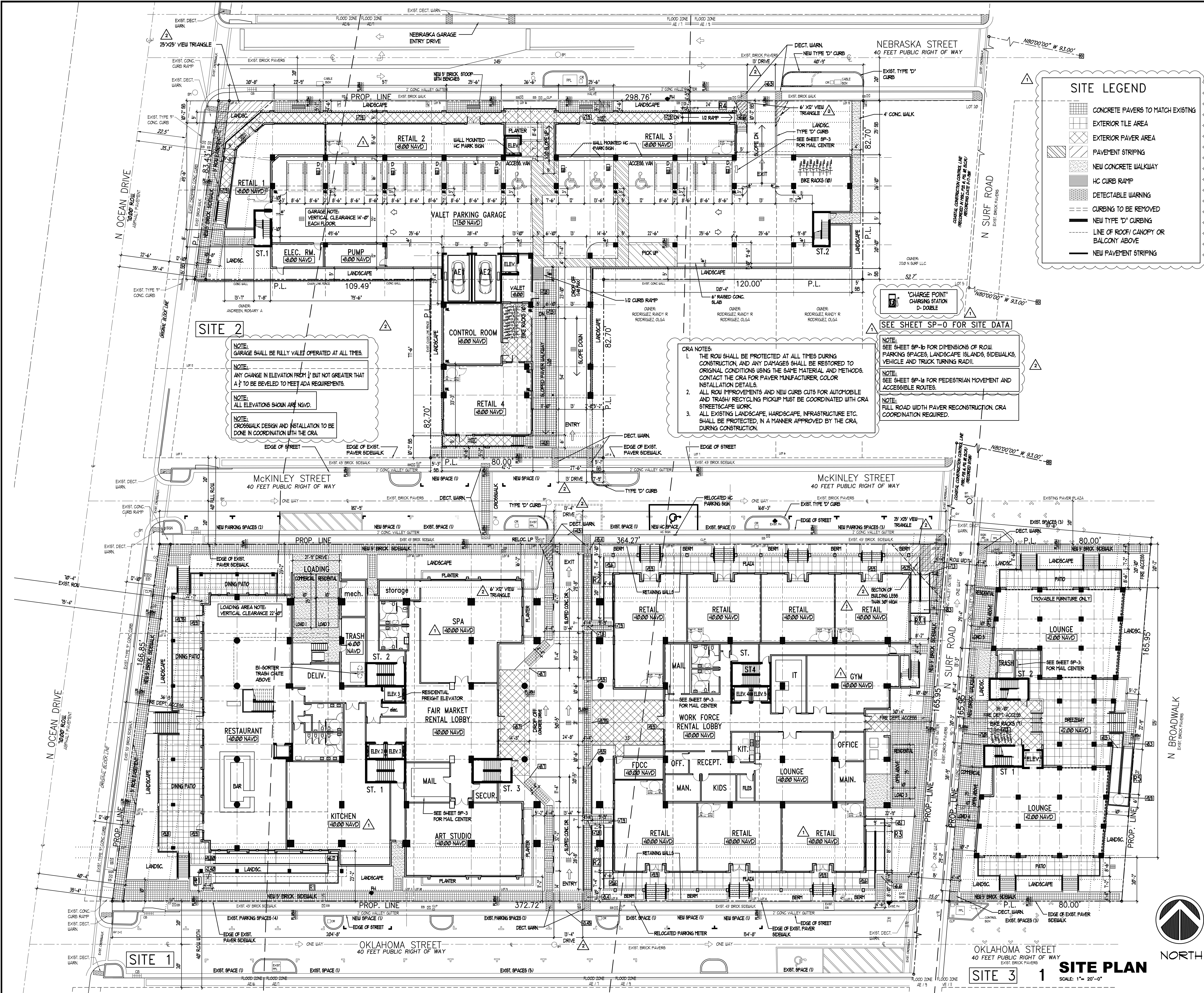
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SEAL



JOSEPH B. KALLER
FLORIDA R.A. # 0009239

SHEET 1 OF



SITE LEGEND

- CONCRETE PAVERS TO MATCH EXISTING
- EXTERIOR TILE AREA
- EXTERIOR PAVEMENT AREA
- PAVEMENT STRIPING
- NEW CONCRETE WALKWAY
- HC CURB RAMP
- DETECTABLE WARNING
- CURBING TO BE REMOVED
- NEW TYPE 'D' CURBING
- LINE OF ROOF/ CANOPY OR BALCONY ABOVE
- NEW PAVEMENT STRIPING

- ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C AND BUK-25-HD-C ZONING DISTRICTS.
- NOTE:
BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.
- NOTE:
ALL MACHINE ROOMS, ELECTRICAL, MECHANICAL AND OTHER EQUIPMENT WILL BE ABOVE THE REQUIRED FEMA BASE FLOOD ELEVATION 10' AND 11' NAVD.
- FEMA NOTE:
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT THE TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.
- SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ALL PROPERTY LINES.
- FIRE ALARM NOTE:
A FIRE ALARM SYSTEM IS REQUIRED AS PER FFPC. 2019 NFPA 101 SECTION 18.4
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- GREEN CERTIFICATION:
NATIONAL GREEN BUILDING STANDARD CERTIFICATION
- NOTE:
ALL CHANGES TO THE DESIGN REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
- NFPA 1 (2010 ed.) CHAPTER 12.2
A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR THE DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.2
- GREEN BUILDING AND ENVIRONMENTAL SUSTAINABILITY NOTE:
- INSTALL ENERGY EFFICIENT LIGHT FIXTURES, ENERGY STAR OR WATER SENSE CERTIFIED APPLIANCES AND PROGRAMMABLE THERMOSTATS.
 - ENSURE THAT KITCHENS HAVE SPACE FOR RECYCLING BINS AND WHEREVER RASH BINS ARE PROVIDED.
 - USE SUSTAINABLE BUILDING AND FENCING MATERIALS.
 - USE LOW VOC MATERIALS.
- ORDINANCE 2016-02
The city shall require each person or entity desiring to construct a new commercial or residential structure to construct the infrastructure necessary for future installation of an electric vehicle-charging station within be included in such project. Minimally the following shall be installed: an empty three-quarter-inch raceway from the branch circuit panel board to a location in the garage or a designated parking area, with a two-gang junction box with a blank plate or a fully functional electric vehicle-charging station.
- NOTE:
BDA system is required per NFPA 1, 110. Broward County Building code Amendment 1102 also applies. BDA Plans to be submitted and approved by Broward County and the City of Hollywood. Contractor for the BDA system to have a RF license.
- UNITY OF TITLE:
A UNITY OF TITLE, IN A FORM ACCEPTABLE TO THE CITY OF HOLLYWOOD CITY ATTORNEY'S OFFICE, SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS AND RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, BY THE CITY, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- DARK SKY COMPLIANCE:
EXTERIOR LIGHTING TO BE FULLY SHIELDED ABOVE.

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SEAL

STATE OF FLORIDA
JOSEPH B. KALLER
R.A.
0009239
REGISTERED ARCHITECT

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

OM RESIDENTIAL
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SHEET TITLE

SITE PLAN

REVISIONS

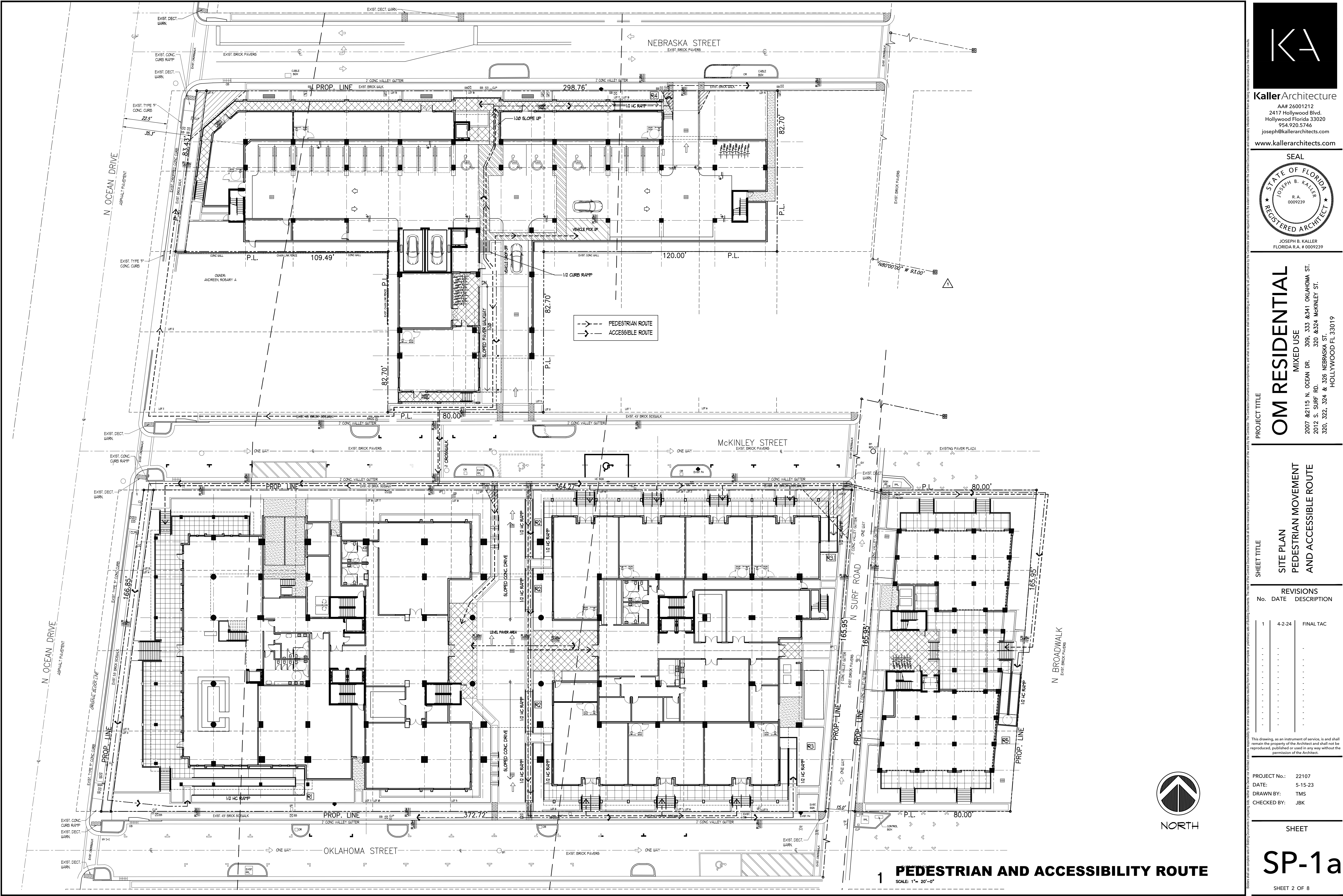
No.	DATE	DESCRIPTION
1	10-2-23	PRELIM TAC
2	4-2-24	FINAL TAC

PROJECT No.: 22107
DATE: 5-15-23
DRAWN BY: TMS
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SHEET

SP-1

SHEET 2 OF 8



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SHEET TITLE

SITE PLAN
PEDESTRIAN MOVEMENT
AND ACCESSIBLE ROUTE

REVISIONS		
No.	DATE	DESCRIPTION
1	4-2-24	FINAL TAC

PROJECT No.: 22107
DATE: 5-15-23
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NORTH

1

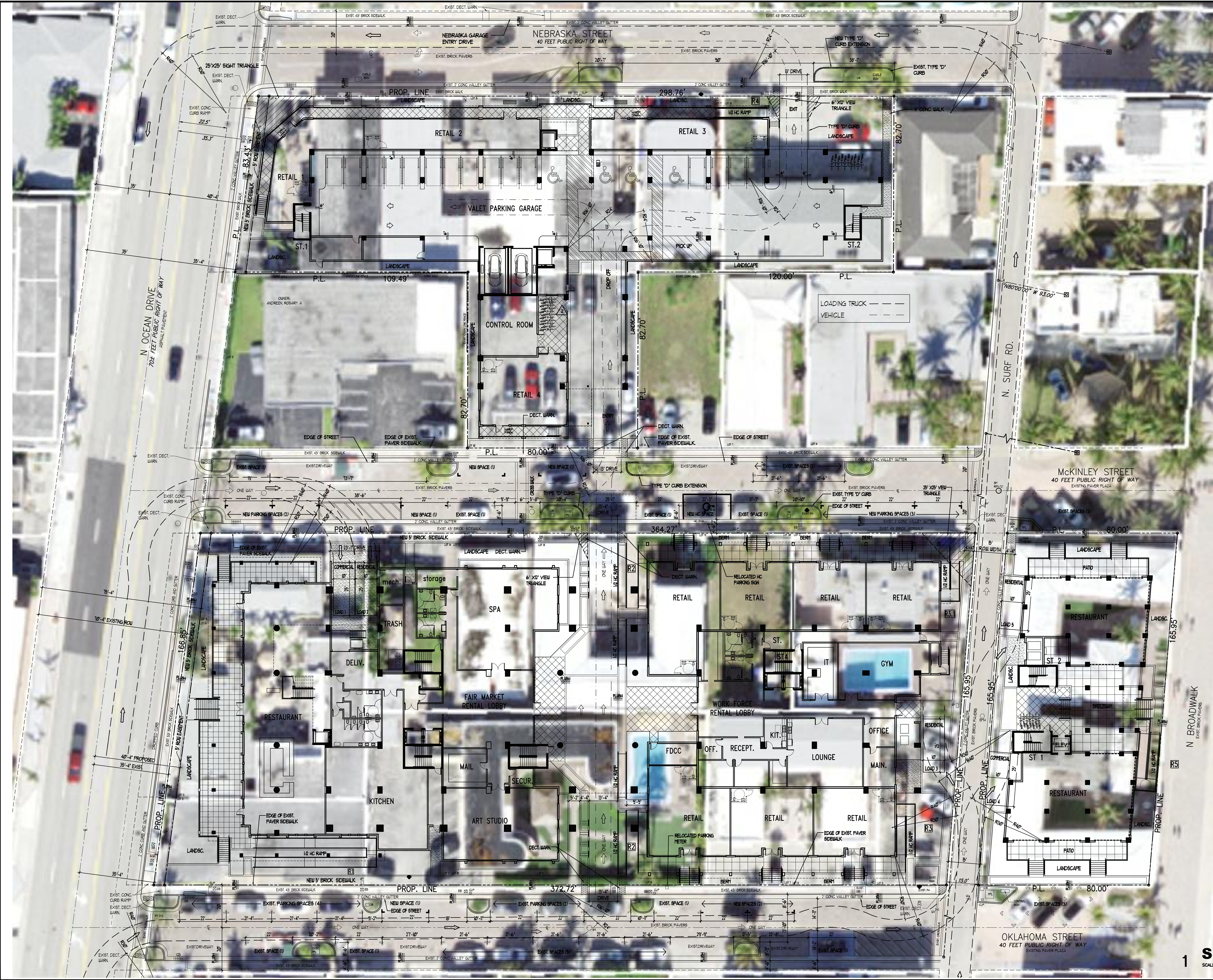
PEDESTRIAN AND ACCESSIBILITY ROUTE

SCALE: 1"= 20'-0"

SHEET

SP-1a

SHEET 2 OF 8

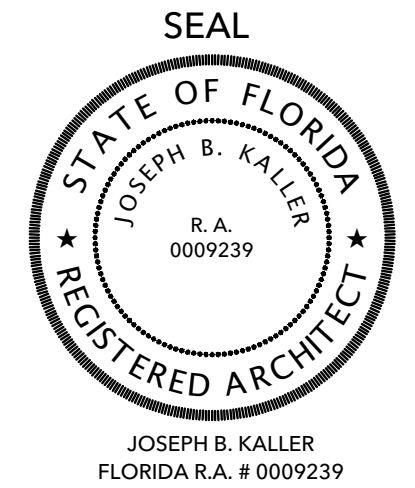


1 SITE PLAN

SCALE: 1"= 20'-0"



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SHEET TITLE
SITE PLAN
R.O.W. DIMENSIONS
VEHICLE TURNING RADII

REVISIONS		
No.	DATE	DESCRIPTION
1	10-2-23	PRELIM TAC
2	4-2-24	FINAL TAC

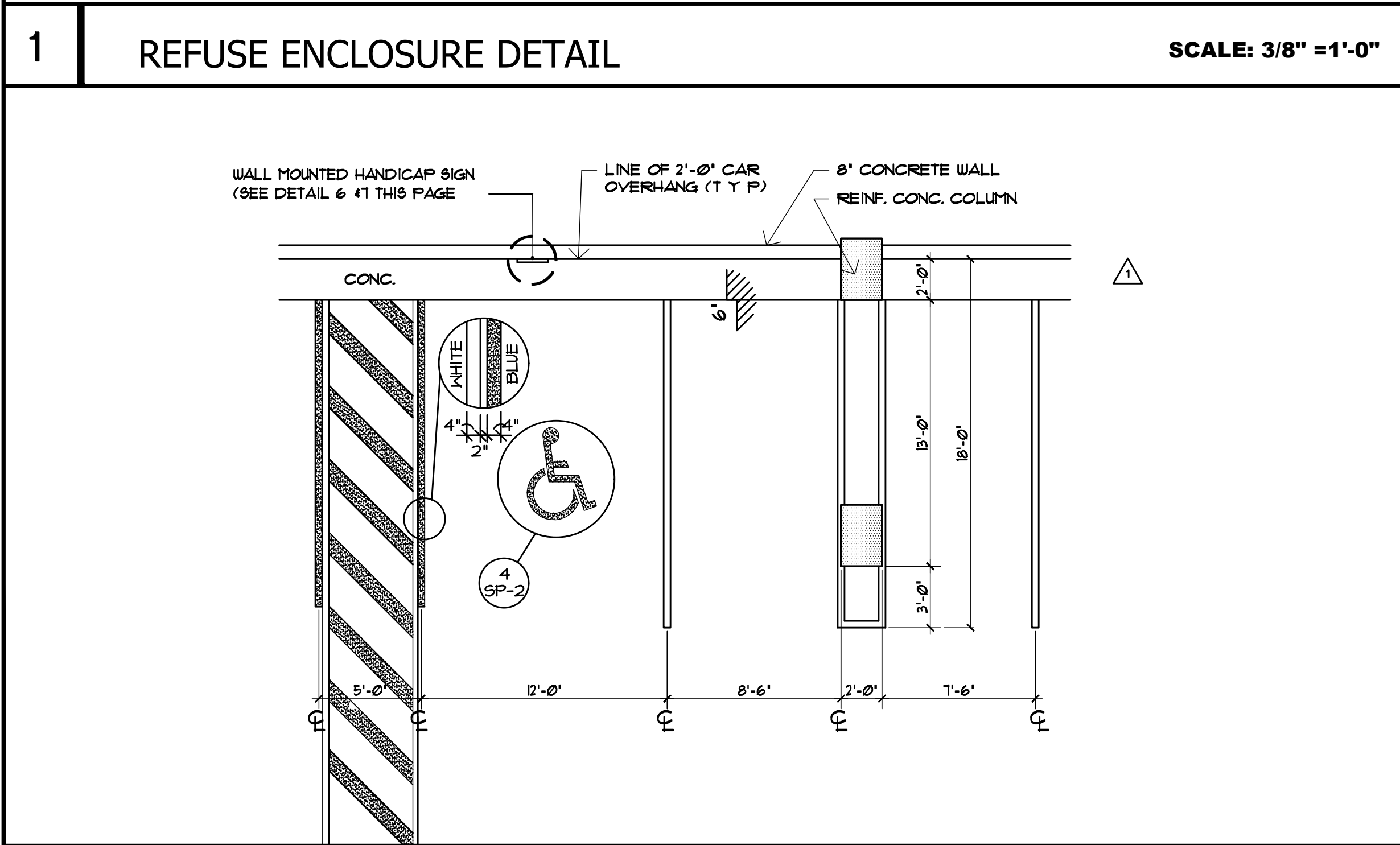
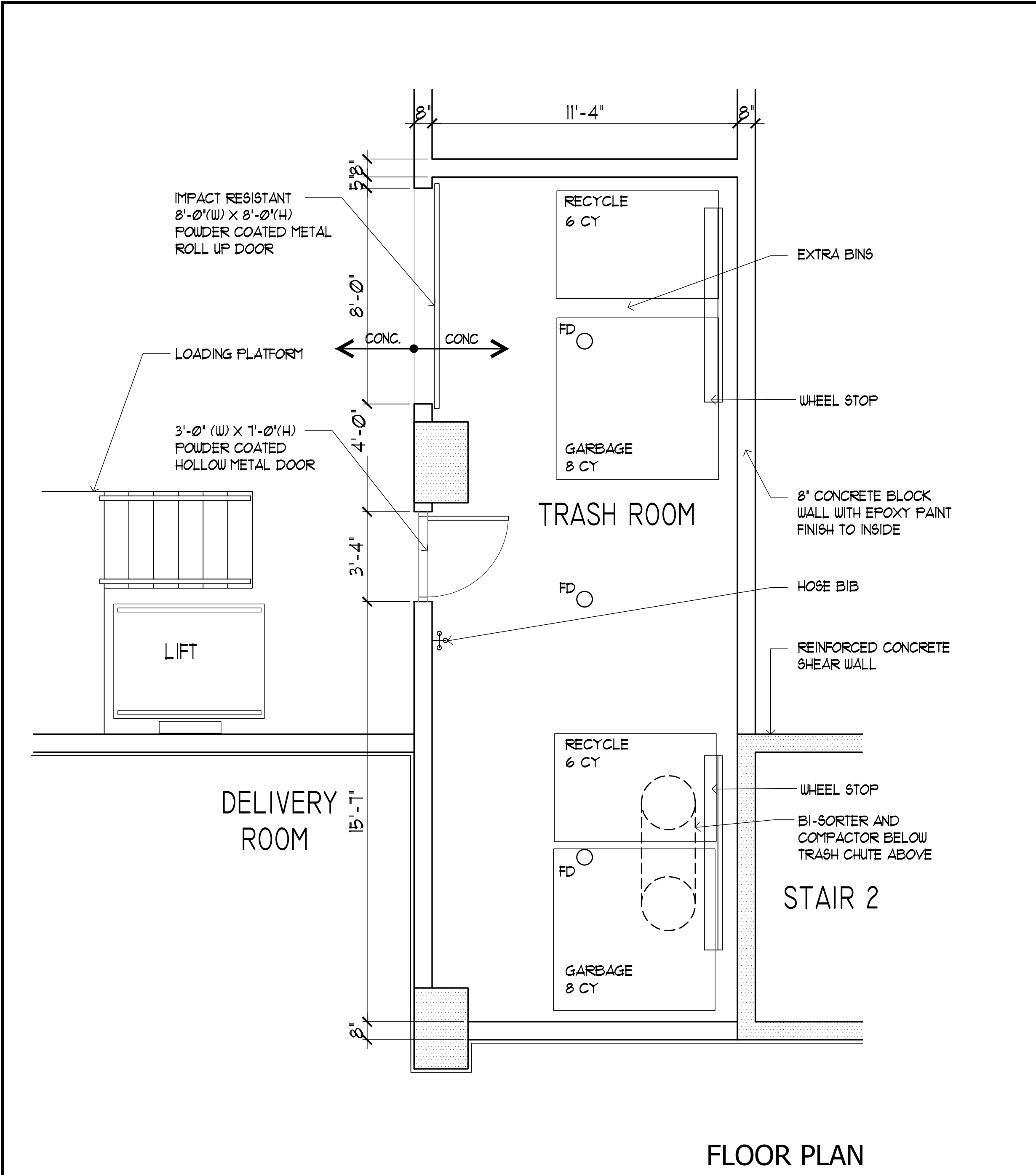
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DATE: 5-15-23
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SHEET

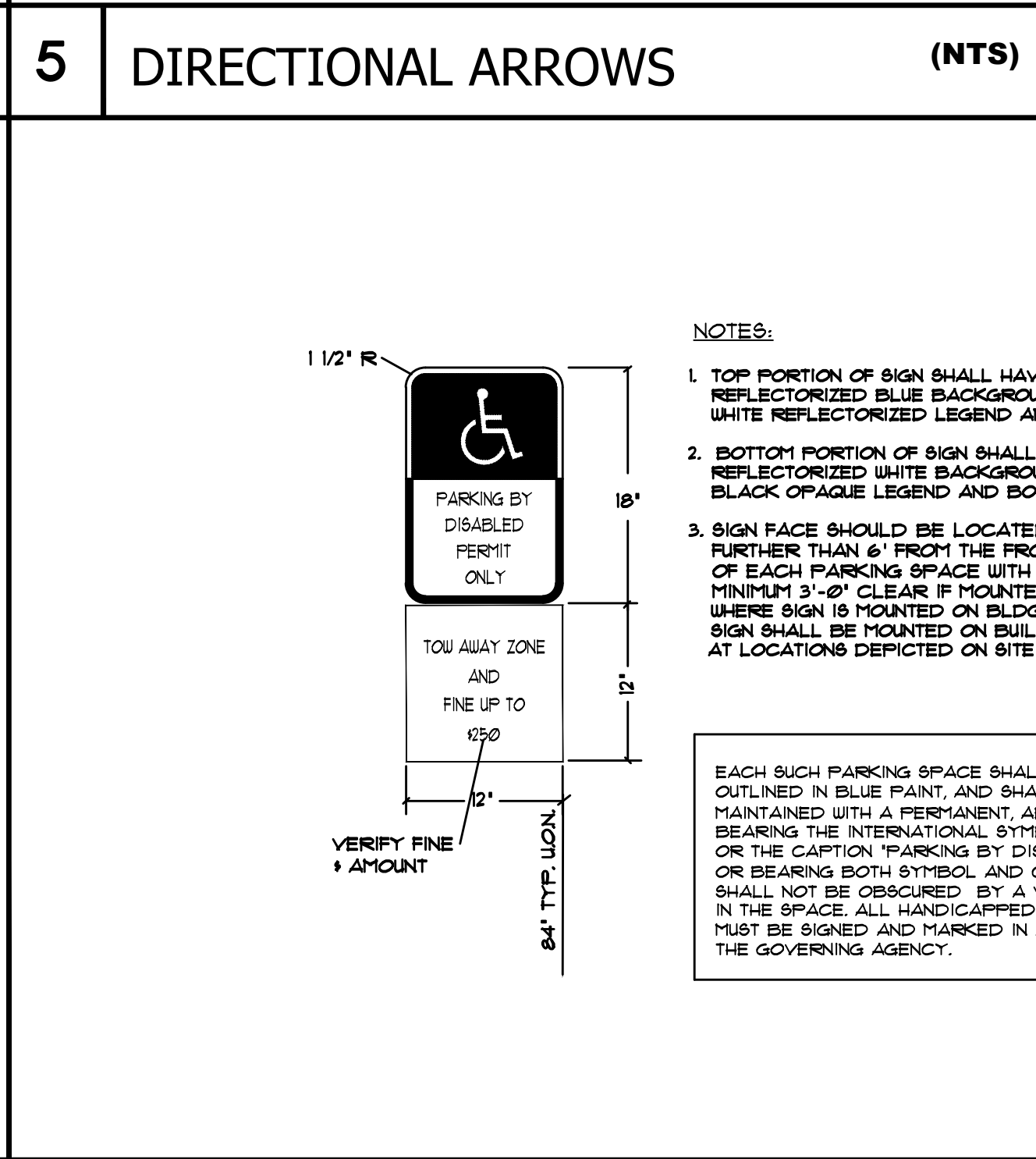
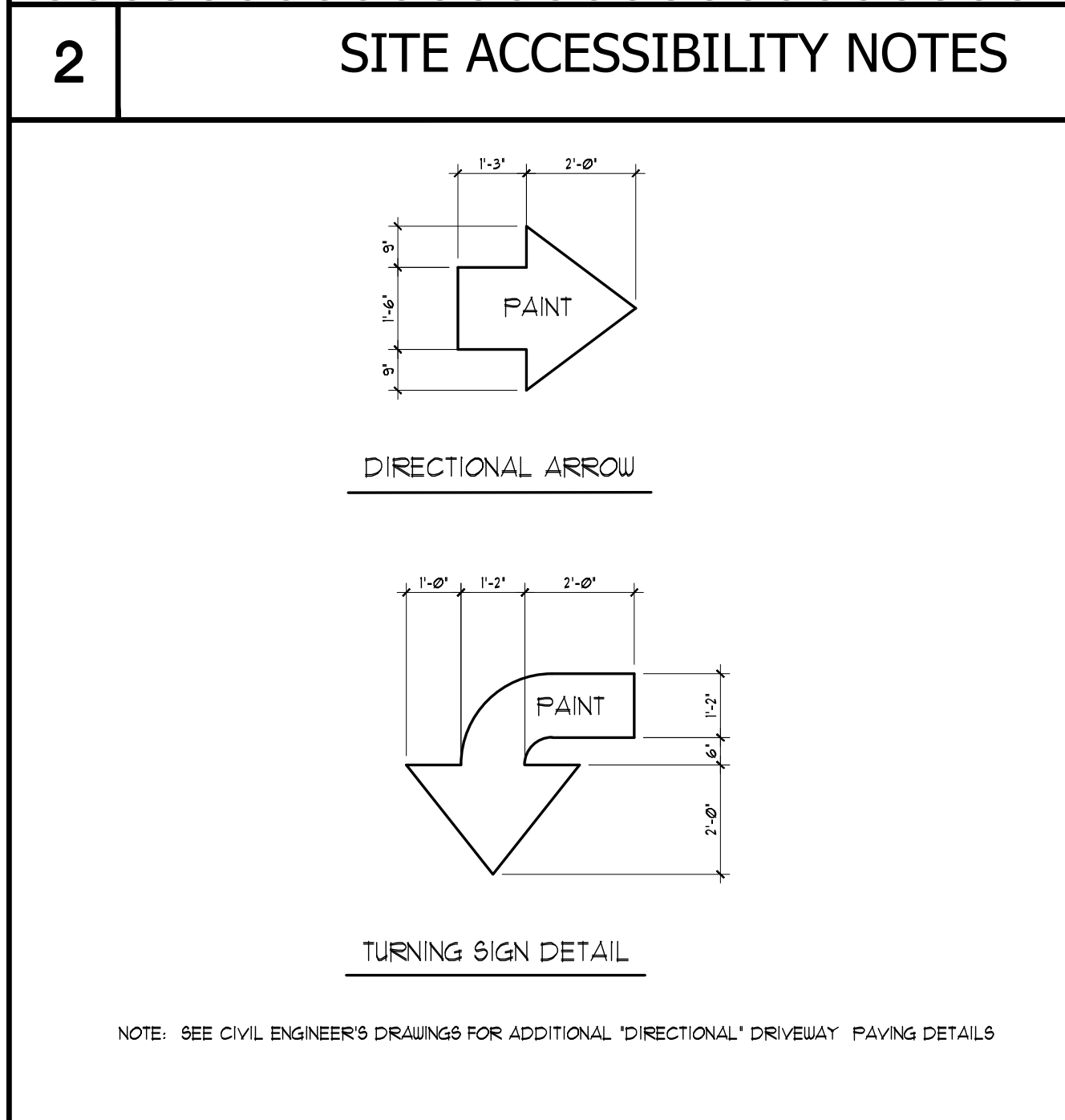
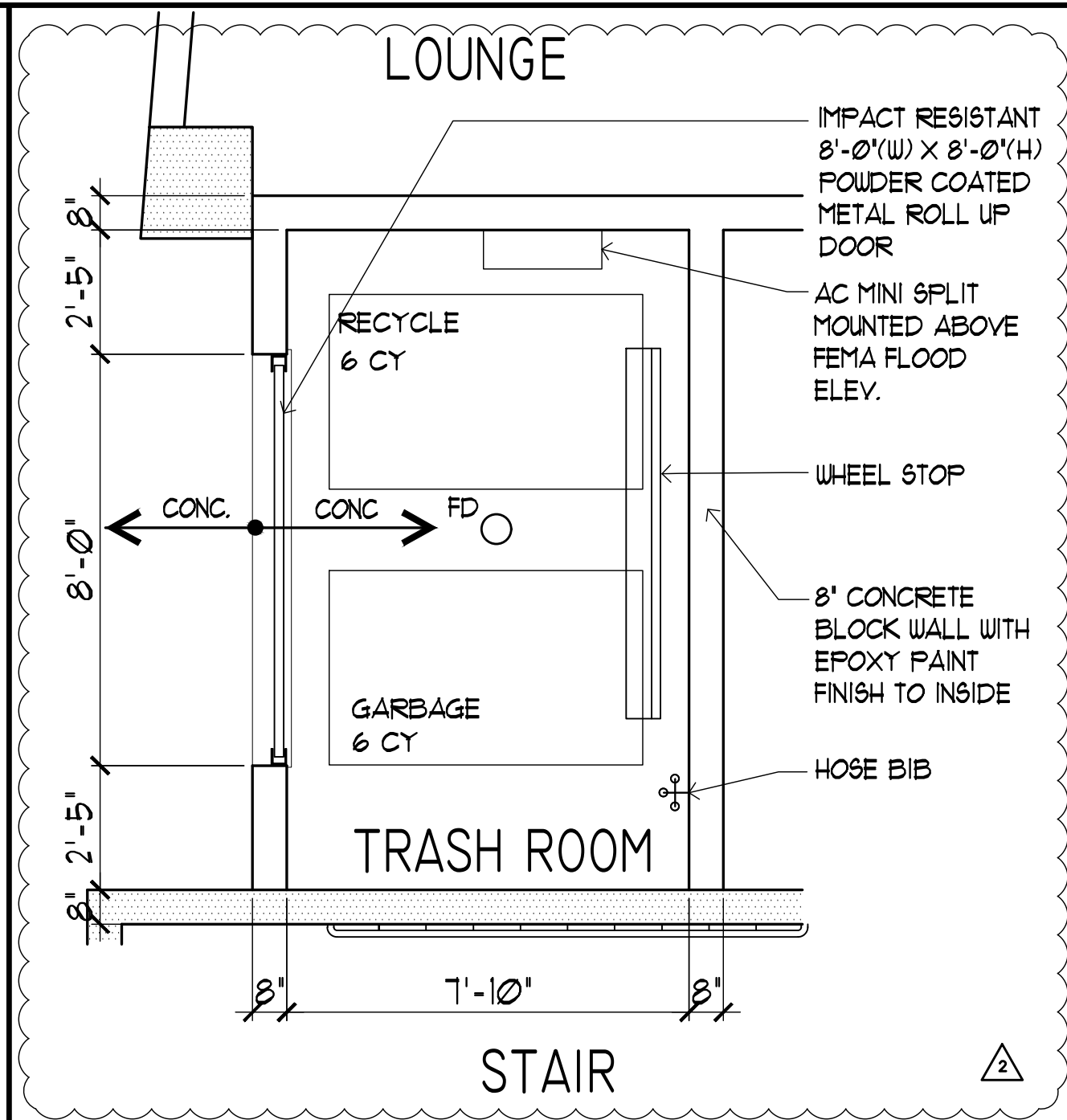
SP-1b

SHEET 2 OF 8

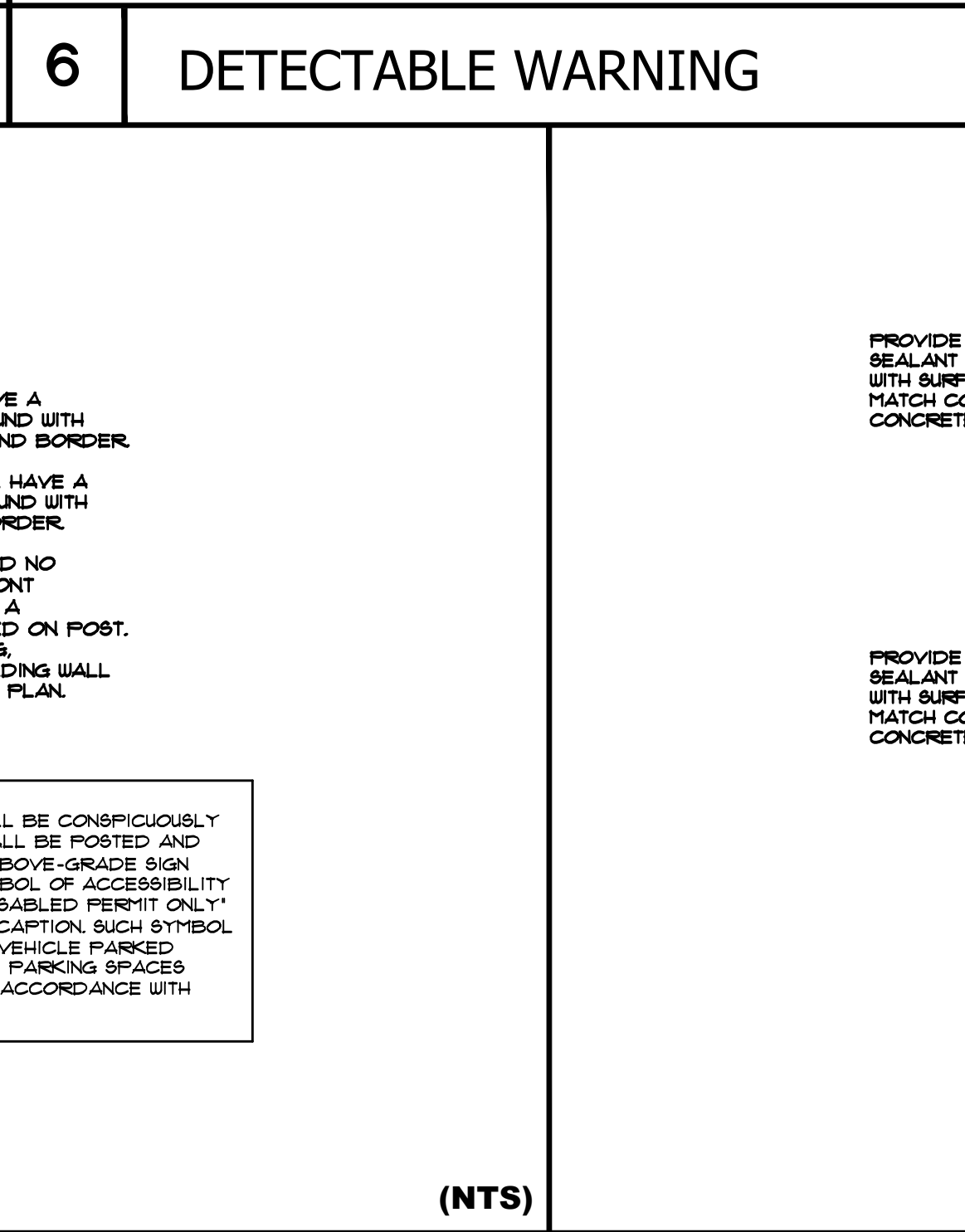
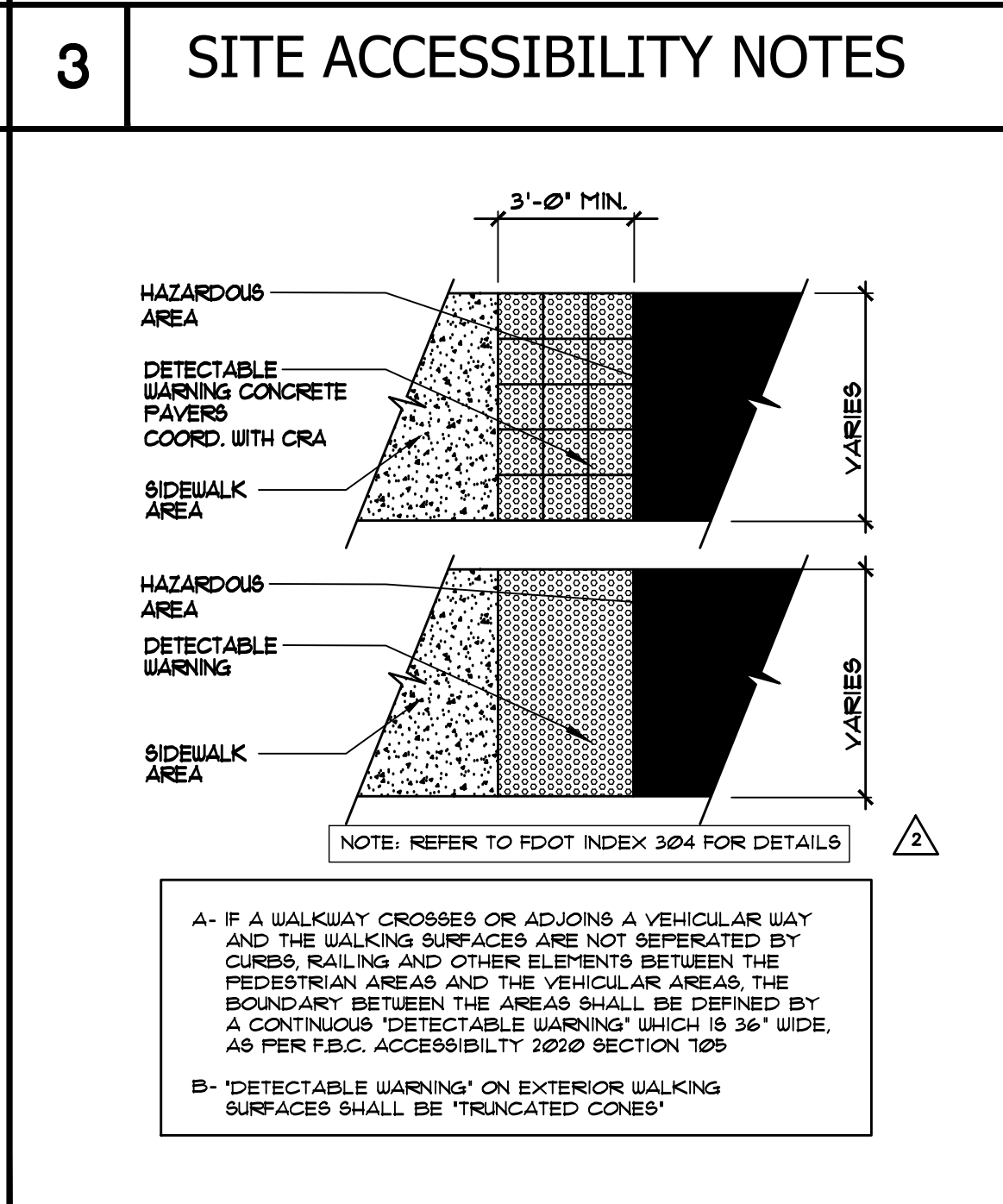
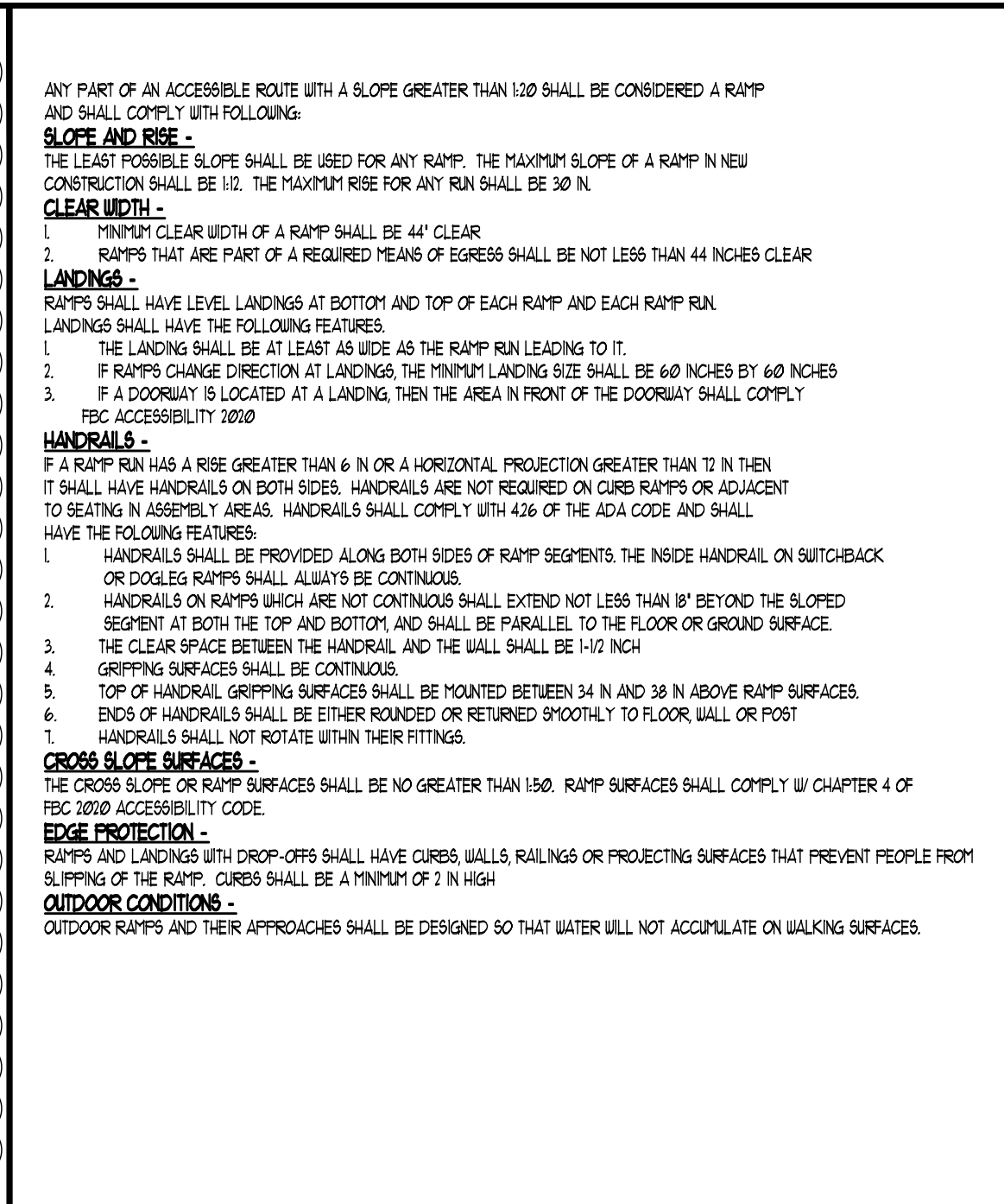
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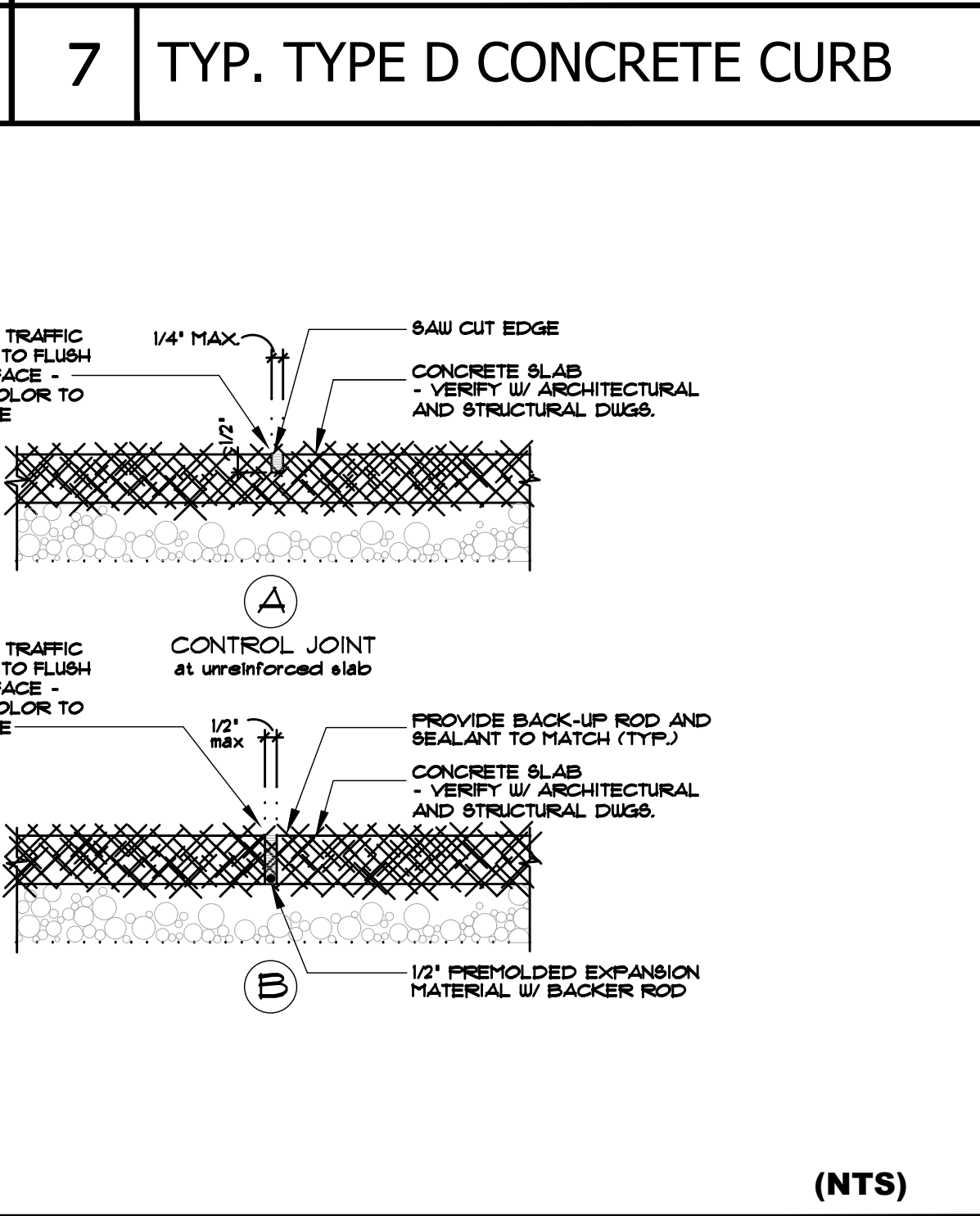
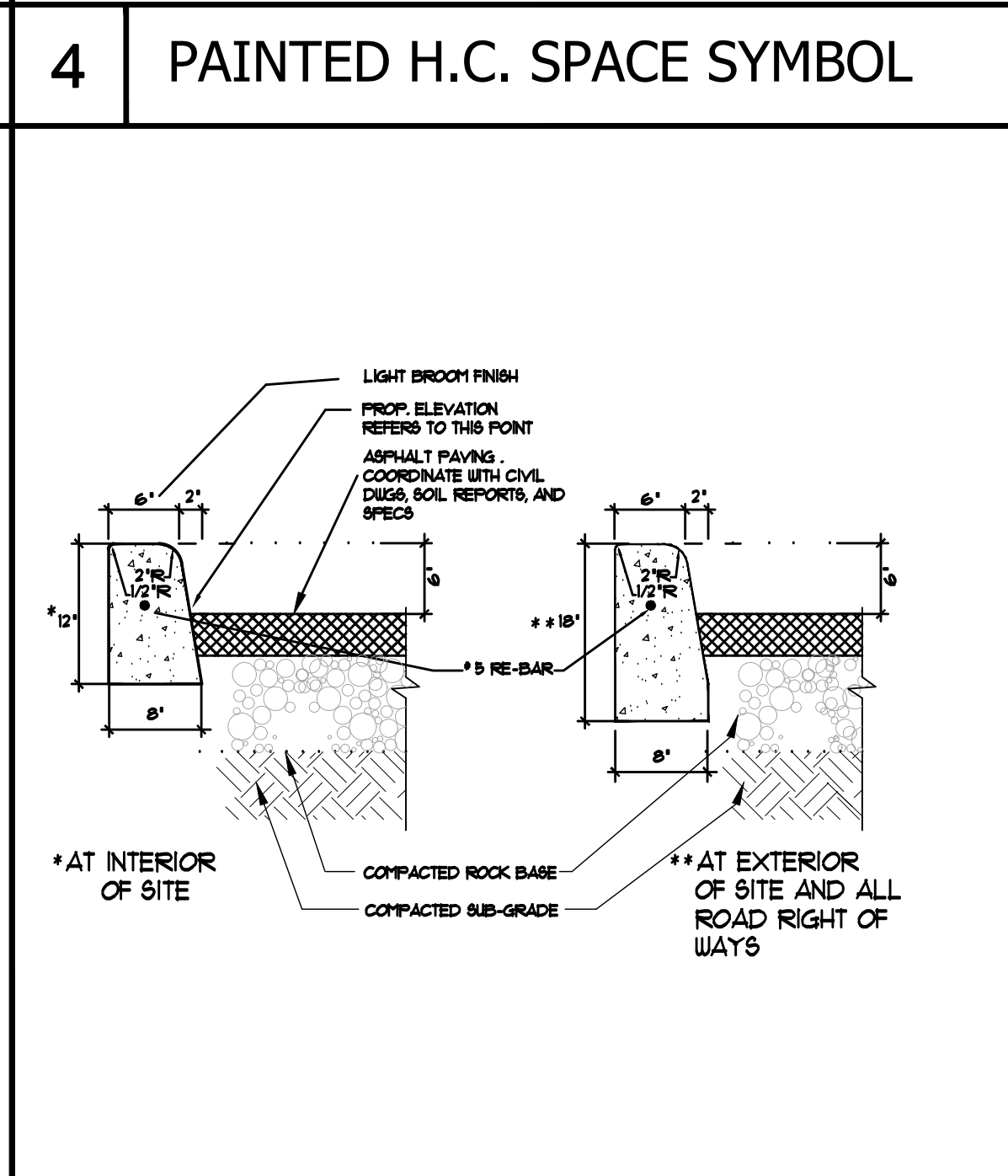
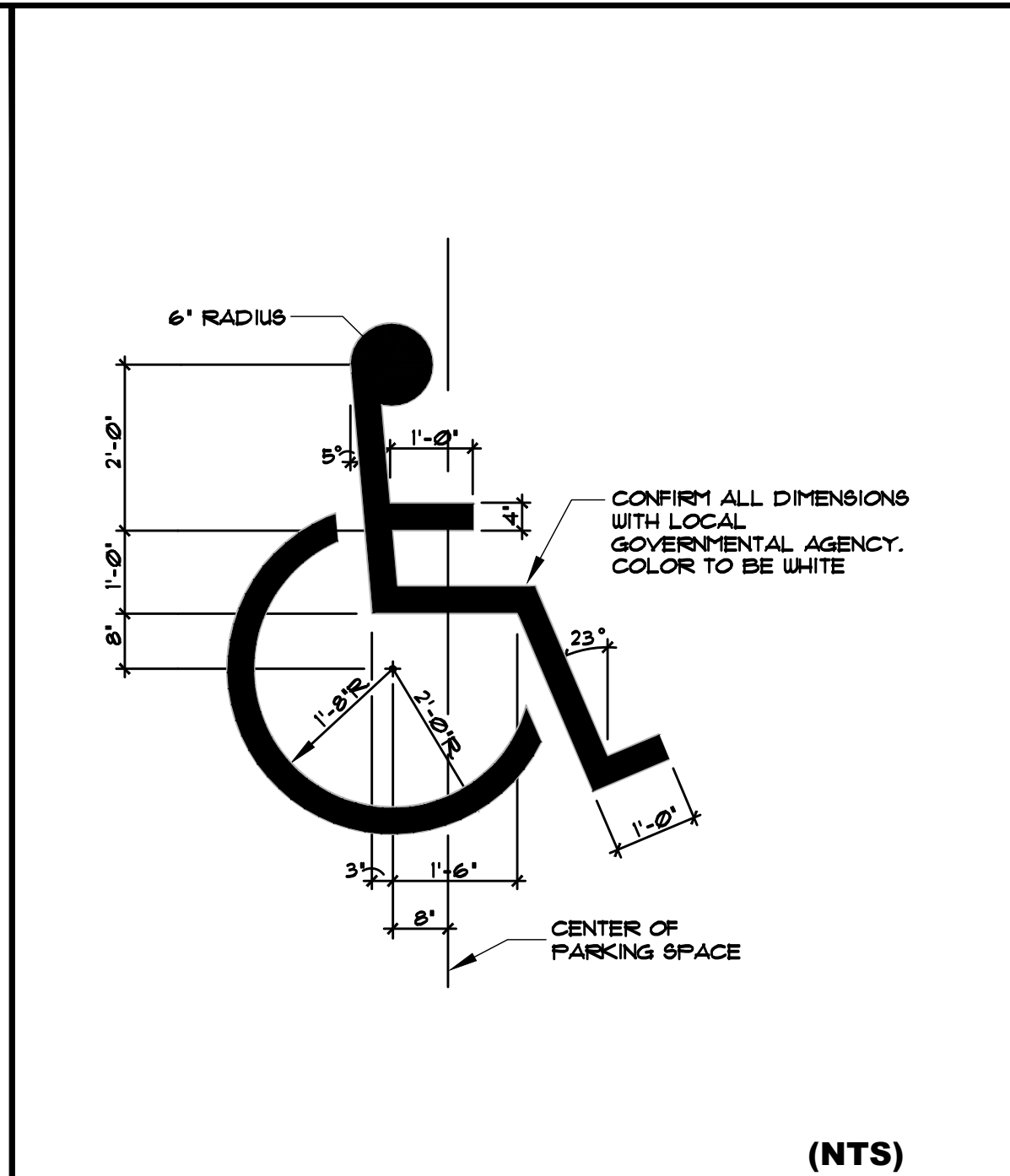
8 TYP. PARKING SPACE DETAILS (NTS) SCALE: 3/16" = 1'-0"



9 HANDICAPPED SIGNAGE DETAIL



10 TYP. CONC. SLAB JOINTS (NTS)



7 TYP. TYPE D CONCRETE CURB

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SITE DETAILS

REVISIONS

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SHEET

SP-2

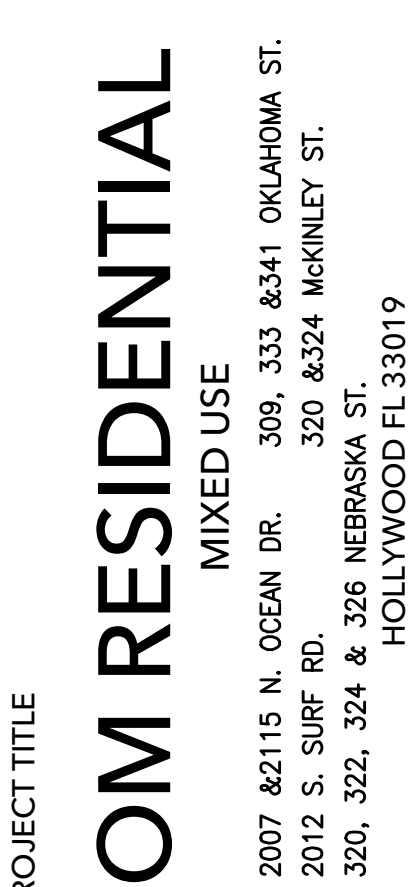
SHEET 3 OF 4

	SPACE	AREA		GROSS AREA	
		AC	NON AC	AC	NON AC
1ST FL	CONDO LOBBY AND AMENITIES	7331		31338	7541
	RENTAL LOBBY AND AMENITIES	5085			
	RETAIL AREA	8869			
	RESTAURANT	7840			
	STAIRWELLS		1634		
	ELEVATORS		401		
	UTILITY AND STORAGE		741		
	LEASING OFFICE	1091			
	MAINTENANCE	509			
	TRASH ROOMS	387			
FDC	226				
	PATIO/ DECKS AND BALCONIES		4765		
2ND FL	RESTAURANT	2061		18745	10877
	AFFORDABLE RENTAL UNITS	12041			
	LOUNGE/ PARTY ROOM	2114			
	STAIRWELL		812		
	ELEVATORS		401		
	CORRIDOR AND UTILITIES	2529			
	PATIO/ DECKS AND BALCONIES		9663		
3RD FL	AFFORDABLE RENTAL UNITS	18728		21329	3801
	STAIRWELL		812		
	ELEVATORS		401		
	CORRIDOR AND UTILITIES	2601			
	PATIO/ DECKS AND BALCONIES		2587		
4TH FL	AFFORDABLE RENTAL UNITS	18728		21329	3801
	STAIRWELL		812		
	ELEVATORS		401		
	CORRIDOR AND UTILITIES	2601			
	PATIO/ DECKS AND BALCONIES		2587		
5TH FL	AFFORDABLE RENTAL UNITS	18728		21329	3801
	STAIRWELL		812		
	ELEVATORS		401		
	CORRIDOR AND UTILITIES	2601			
	PATIO/ DECKS AND BALCONIES		2587		
6TH FL	MARKET RATE RENTAL UNITS	7799		15437	15316
	STAIRWELL		826		
	ELEVATORS		247		
	CORRIDOR AND UTILITIES	2502			
	LOUNGE/ AMENITIES	5136			
	POOL BATHS		308		
	PUMP ROOM		142		
	PATIO/ DECKS AND BALCONIES		13793		
7TH FL	MARKET RATE RENTAL UNITS	12473		14935	4102
	STAIRWELL		614		
	ELEVATORS		247		
	CORRIDOR AND UTILITIES	2462			
	PATIO/ DECKS AND BALCONIES		3241		
8TH FL	MARKET RATE RENTAL UNITS	12473		14935	4102
	STAIRWELL		614		
	ELEVATORS		247		
	CORRIDOR AND UTILITIES	2462			
	PATIO/ DECKS AND BALCONIES		3241		
9TH FL	MARKET RATE RENTAL UNITS	12473		14935	4102
	STAIRWELL		614		
	ELEVATORS		247		
	CORRIDOR AND UTILITIES	2462			
	PATIO/ DECKS AND BALCONIES		3241		
10TH FL	MARKET RATE RENTAL UNITS	12473		14935	4102
	STAIRWELL		614		
	ELEVATORS		247		
	CORRIDOR AND UTILITIES	2462			
	PATIO/ DECKS AND BALCONIES		3241		
11TH FL	MARKET RATE RENTAL UNITS	12473		14935	4102
	STAIRWELL		403		
	ELEVATORS		247		
	CORRIDOR AND UTILITIES	2462			
	PATIO/ DECKS AND BALCONIES		3241		
12TH FL	MARKET RATE RENTAL UNITS	12473		14935	4102
	STAIRWELL		614		
	ELEVATORS		247		
	CORRIDOR AND UTILITIES	2495			
	PATIO/ DECKS AND BALCONIES		3241		
13TH FL	MARKET RATE RENTAL UNITS	12512		14935	4102
	STAIRWELL		614		
	ELEVATORS		247		
	CORRIDOR AND UTILITIES	2462			
	PATIO/ DECKS AND BALCONIES		3241		
14TH FL	MARKET RATE RENTAL UNITS	12473		14935	4102
	STAIRWELL		641		
	ELEVATORS		247		
	CORRIDOR AND UTILITIES	2462			
	PATIO/ DECKS AND BALCONIES		3241		
15TH FL	MARKET RATE RENTAL UNITS	12473		14935	4102
	STAIRWELL		614		
	ELEVATORS		247		
	CORRIDOR AND UTILITIES	2462			
	PATIO/ DECKS AND BALCONIES		3241		
16TH FL	MARKET RATE RENTAL UNITS	12473		14935	4102
	STAIRWELL		614		
	ELEVATORS		247		
	CORRIDOR AND UTILITIES	2462			
	PATIO/ DECKS AND BALCONIES		3241		
17TH FL	MARKET RATE RENTAL UNITS	12144		14643	5807
	STAIRWELL		614		
	ELEVATORS		247		
	CORRIDOR AND UTILITIES	2499			
	PATIO/ DECKS AND BALCONIES		4946		
				293,500	91,964
TOTAL GROSS AREA				385,464 SF	

	SPACE	AREA		GROSS AREA	
		AC	NON AC	AC	NON AC
1ST FL	RETAIL	3759		4012	18346
	ELEVATOR LOBBY	253			
	GARAGE		14931		
	STAIRWELLS		280		
	ELEVATORS		806		
	UTILITY AND STORAGE		646		
	PATIO/ DECKS AND BALCONIES		1683		
2ND FL	ELEVATOR LOBBY	67		710	16021
	GARAGE		14935		
	STAIRWELLS		280		
	ELEVATORS		806		
	ACTIVE LINER	643			
3RD FL	ELEVATOR LOBBY	67		3641	15280
	GARAGE		14042		
	STAIRWELLS		280		
	ELEVATORS		806		
	ACTIVE LINER	3574			
	BALCONY		152		
4TH FL	ELEVATOR LOBBY	67		3641	15280
	GARAGE		14042		
	STAIRWELLS		280		
	ELEVATORS		806		
	ACTIVE LINER	3574			
	BALCONY		152		
5TH FL	ELEVATOR LOBBY	67		3641	15280
	GARAGE		14042		
	STAIRWELLS		280		
	ELEVATORS		806		
	ACTIVE LINER	3654			
	BALCONY		152		
6TH FL	ELEVATOR LOBBY	67		3641	15280
	GARAGE		14042		
	STAIRWELLS		280		
	ELEVATORS		806		
	ACTIVE LINER	3574			
	BALCONY		152		
7TH FL	ELEVATOR LOBBY	67		3641	15280
	GARAGE		14042		
	STAIRWELLS		280		
	ELEVATORS		806		
	ACTIVE LINER	3574			
	BALCONY		152		
ROOF	STAIRWELLS		280		280
				22,927	111,047
TOTAL 133,974 SF					

	SPACE	AREA		GROSS AREA	
		AC	NON AC	AC	NON AC
1ST FL	LOUNGE	4660		4778	3352
	STAIRWELLS		381		
	ELEVATORS		86		
	TRASH ROOM	118			
	PATIO/ DECKS AND BALCONIES		2885		
2ND FL	RESTAURANT AND BAR	5034		5354	2702
	STAIRWELLS		381		
	ELEVATORS		86		
	RESTROOMS	320			
	PATIO/ DECKS AND BALCONIES		2235		
3RD FL	ELEVATOR LOBBY/ RESTROOMS	505		505	6881
	STAIRWELLS		381		
	ELEVATORS		86		
	POOL/ POOL DECK		6414		
				10,637	12,935
TOTAL				23,572 SF	





SHEET 4 OF 8

AFFORDABLE RENTAL UNITS

LOCATION	UNIT #	UNIT TYPE	AREA		NET AREA	
			AC	TERRACE/ BALCONY	AC	BALCONY
2ND FLOOR RENTAL UNITS	201	STUDIO	522		12041	471
	202	1 BED	795			
	203	STUDIO	524	43.5		
	204	STUDIO	524	43.5		
	205	1 BED	795			
	206	STUDIO	519			
	207	1 BED	717			
	208	STUDIO	562			
	209	STUDIO	560			
	210	STUDIO	560			
	211	STUDIO	522			
	212	STUDIO	503	84		
	213	STUDIO	503	84		
	214	1 BED	654			
	215	STUDIO	560			
	216	STUDIO	563			
	217	STUDIO	563			
	218	STUDIO	560			
	219	STUDIO	560			
	220	STUDIO	522			
	221	2 BED	975	168		
3RD FLOOR	301	STUDIO	522		18728	2587
	302	1 BED	795	129		
	303	STUDIO	524	43.5		
	304	STUDIO	524	43.5		
	305	1 BED	795	129		
	306	STUDIO	519			
	307	1 BED	717	133		
	308	STUDIO	562	84		
	309	STUDIO	560	84		
	310	STUDIO	560			
	311	STUDIO	522			
	312	STUDIO	503	84		
	313	STUDIO	503	84		
	314	1 BED	654			
	315	STUDIO	560	97		
	316	STUDIO	563	201		
	317	STUDIO	661	183		
	318	1 BED	795	129		
	319	STUDIO	524	43.5		
	320	STUDIO	524	43.5		
	321	1 BED	795	129		
	322	STUDIO	661	183		
	323	STUDIO	563	201		
	324	STUDIO	560	97		
	325	STUDIO	560			
	326	STUDIO	522			
	327	2 BED	975	168		
	328	STUDIO	522			
	329	STUDIO	560			
	330	STUDIO	560	97		
	331	STUDIO	563	201		
4TH FLOOR	401	STUDIO	522		18728	2587
	402	1 BED	795	129		
	403	STUDIO	524	43.5		
	404	STUDIO	524	43.5		
	405	1 BED	795	129		
	406	STUDIO	519			
	407	1 BED	717	133		
	408	STUDIO	562	84		
	409	STUDIO	560	84		
	410	STUDIO	560			
	411	STUDIO	522			
	412	STUDIO	503	84		
	413	STUDIO	503	84		
	414	1 BED	654			
	415	STUDIO	560	97		
	416	STUDIO	563	201		
	417	STUDIO	661	183		
	418	1 BED	795	129		
	419	STUDIO	524	43.5		
	420	STUDIO	524	43.5		
	421	1 BED	795	129		
	422	STUDIO	661	183		
	423	STUDIO	563	201		
	424	STUDIO	560	97		
	425	STUDIO	560			
	426	STUDIO	522			
	427	2 BED	975	168		
	428	STUDIO	522			
	429	STUDIO	560			
	430	STUDIO	560	97		
	431	STUDIO	563	201		

AFFORDABLE RENTAL UNITS cont'd

LOCATION	UNIT #	UNIT TYPE	AREA		NET AREA	
			AC	TERRACE/ BALCONY	AC	BALCONY
5TH FLOOR	501	STUDIO	522		18728	2587
	502	1 BED	795	129		
	403	STUDIO	524	43.5		
	404	STUDIO	524	43.5		
	405	1 BED	795	129		
	406	STUDIO	519			
	407	1 BED	717	133		
	408	STUDIO	562	84		
	409	STUDIO	560	84		
	410	STUDIO	560			
	411	STUDIO	522			
	412	STUDIO	503	84		
	413	STUDIO	503	84		
	414	1 BED	654			
	415	STUDIO	560	97		
	416	STUDIO	563	201		
	417	STUDIO	661	183		
	418	1 BED	795	129		
	419	STUDIO	524	43.5		
	420	STUDIO	524	43.5		
	421	1 BED	795	129		
	422	STUDIO	661	183		
	423	STUDIO	563	201		
	424	STUDIO	560	97		
	425	STUDIO	560			
	426	STUDIO	522			
	427	2 BED	975	168		
	428	STUDIO	522			
	429	STUDIO	560			
	430	STUDIO	560	97		
	431	STUDIO	563	201		
TOTAL NET AREA					68,225	8,232

NUMBER OF UNITS PER FLOOR

FLOOR	UNIT TYPE	NUMBER OF UNITS	TOTAL
1ST	NOT APPLICABLE	0	114
2ND	WORK FORCE	21	
3RD		31	
4TH		31	
5TH		31	168
6TH	FREE MARKET	10	
7TH		15	
8TH		15	
9TH		15	
10TH		15	
11TH		15	
12TH		15	
13TH		15	
14TH		15	
15TH		15	
16TH		15	
17TH		8	
TOTAL			282

MARKET RATE RENTAL UNITS

LOCATION	UNIT #	UNIT TYPE	AREA		NET AREA	
			HOTEL RM	AC	TERRACE/ BALCONY	AC
6TH FLOOR	601	STUDIO	681	225	7799	3792
	602	1 BED-DEN	757	300		
	603	1 BED	711			
	604	2 BED	1110	436.5		
	605	STUDIO	580	934.5		
	606	STUDIO	580	934.5		
	607	2 BED	1086	436.5		
	608	1 BED	711			
	609	1 BED-DEN	757	300		
	610	1 BED-DEN	826	225		
7TH FLOOR	701	1 BED	784		12473	3241
	702	1 BED-DEN	958	471		
	703	STUDIO	681	225		
	704	1 BED-DEN	757	300		
	705	1 BED	711			
	706	2 BED	1110	454		
	707	STUDIO	580	142		
	708	STUDIO	580	142		
	709	2 BED	1086	454		
	710	1 BED	711			
	711	1 BED-DEN	757	300		
	712	1 BED-DEN	826	225		
	713	1 BED-DEN	967	471		
	714	1 BED	784			
	715	2 BED	1181	528		
8TH FLOOR	801	1 BED	784		12473	3241
	802	1 BED-DEN	958	471		
	803	STUDIO	681	225		
	804	1 BED-DEN	757	300		
	805	1 BED	711			
	806	2 BED	1110	454		
	807	STUDIO	580	142		
	808	STUDIO	580	142		
	809	2 BED	1086	454		
	810	1 BED	711			
	811	1 BED-DEN	757	300		
	812	1 BED-DEN	826	225		
	813	1 BED-DEN	967	471		
	814	1 BED	784			
	815	2 BED	1181	528		
9TH FLOOR	901	1 BED	784		12473	3241
	902	1 BED-DEN	958	471		
	903	1 BED-DEN	681	225		
	904	1 BED-DEN	757	300		
	905	1 BED	711			
	906	2 BED	1110	454		
	907	STUDIO	580	142		
	908	STUDIO	580	142		
	909	2 BED	1086	454		
	910	1 BED	711			
	911	1 BED-DEN	757	300		
	912	1 BED-DEN	826	225		
	913	1 BED-DEN	967	471		
	914	1 BED	784			
	915	2 BED	1181	528		
10TH FLOOR	1001	1 BED	784		12473	3241
	1002	1 BED-DEN	958	471		
	1003	STUDIO	681	225		
	1004	1 BED-DEN	757	300		
	1005	1 BED	711			
	1006	2 BED	1110	454		
	1007	STUDIO	580	142		
	1008	STUDIO	580	142		
	1009	2 BED	1086	454		
	1010	1 BED	711			
	1011	1 BED-DEN	757	300		
	1012	1 BED-DEN	826	225		
	1013	1 BED-DEN	967	471		
	1014	1 BED	784			
	1015	2 BED	1811	528		
11TH FLOOR	1101	1 BED	784		12473	3241
	1102	1 BED-DEN	958	471		
	1103	STUDIO	681	225		
	1104	1 BED-DEN	757	300		
	1105	1 BED	711			
	1106	2 BED	1110	454		
	1107	STUDIO	580	142		
	1108	STUDIO	580	142		
	1109	2 BED	1086	454		
	1110	1 BED	711			
	1111	1 BED-DEN	757	300		
	1112	1 BED-DEN	826	225		
	1113	1 BED-DEN	967	471		
	1114	1 BED	784			
	1115	2 BED	1181	528		

shark skin



black



pires peak



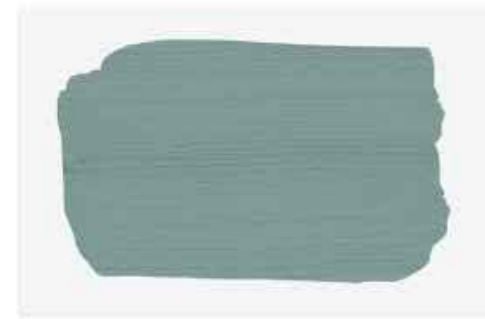
wythe tan



babies breath



aqua grey



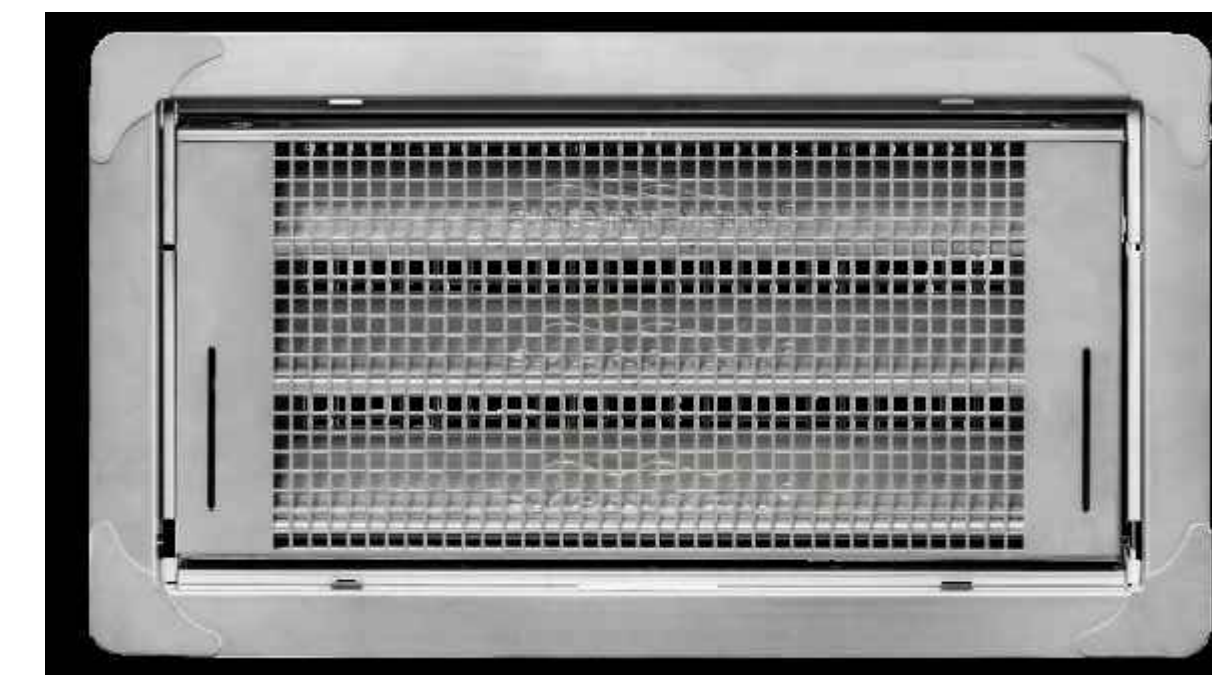
turquoise mist



ivy wall finish



embossed conc.
wall panels



stainless steel
flood vent
smart vent 1540-510

