

- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED AROVE OR RELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL RE AS EAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS,

WASTEWATER FORCE MAINS OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED LINDER PART

- III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)]. I. NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN
- POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLEN TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND
- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
- 10. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

ON HOLLYWOOD, FILE	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/0
DIAMOND	DRAWN: EAM		WATER SYSTEM NOTES	DRAWING NO.
GOLD COAST	APPROVED	: XXX	WATER STSTEW NOTES	W-0

WATER SYSTEM NOTES (CONTINUED):

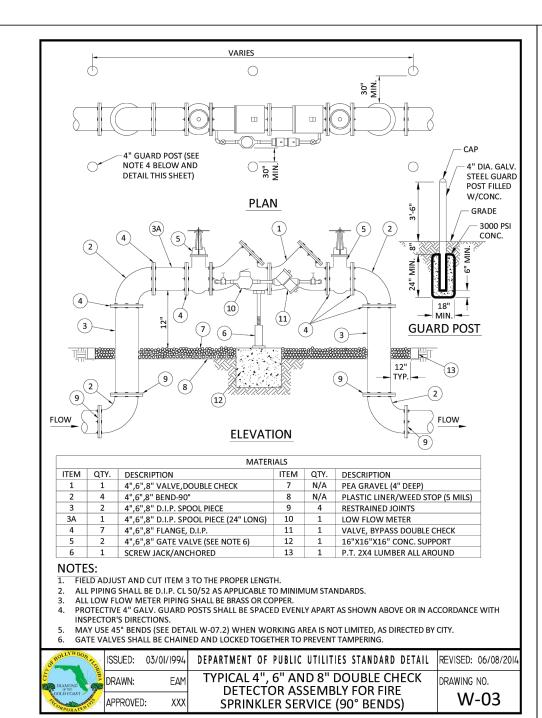
(MAXIMUM) WHERE DEFLECTION IS REQUIRED.

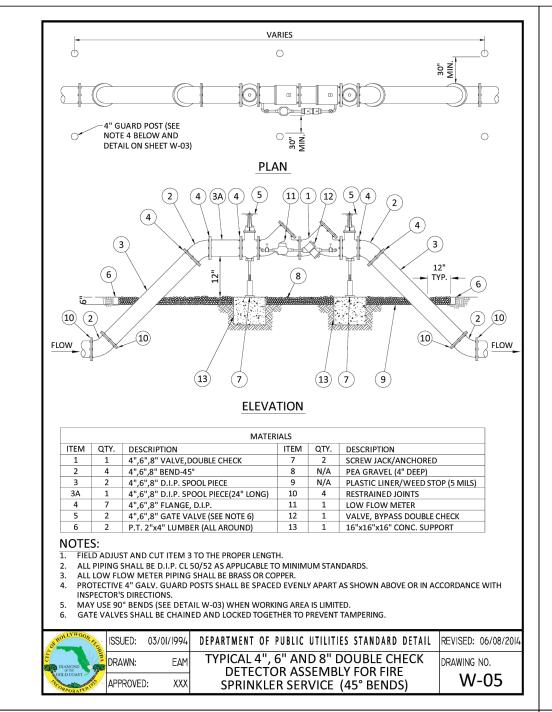
- L. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER
- . ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
- 3. FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF
- 4. ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY. 16. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE
- CITY OF HOLLYWOOD SPECIFICATIONS.

FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.

- 7. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- 18. MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'. 19. MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION
- 10. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR
- . PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- . WHENEVER IT IS NECESSARY. IN THE INTEREST OF SAFETY. TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

OF HOLLYWOOD, PLO	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED:	06/08/20
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ORPORATE DIST	APPROVED	: XXX	WATER STSTEW NOTES	W	-02



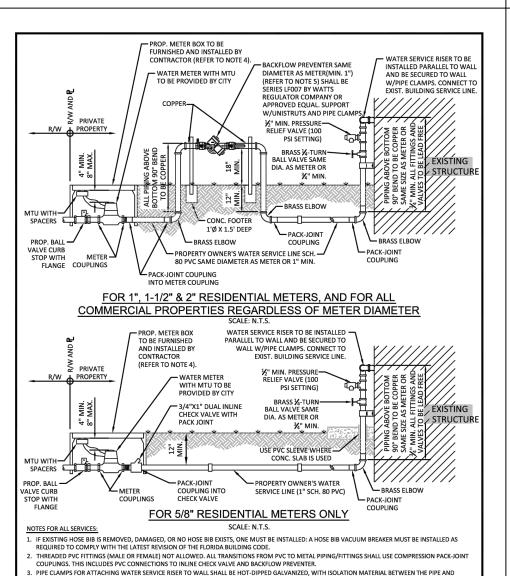


WATER METER SERVICE NOTES: 1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER. WATER SERVICE"

2. P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm), FOR 3. MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL 5/4" OR SINGLE 1" 4. MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1-½" OR SINGLE 2" 5. FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE

- THE SAME AS THE METER DIAMETER. APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION. 7. FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED
- BY THE CONTRACTOR. THE WATER METERS WILL BE PROVIDED AND INSTALLED BY THE CITY OF HOLLYWOOD (NEW ACCOUNTS). FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED
- BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR. 9. FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
- a. CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP b. FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE
- BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP. 12. THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL
- 13. AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE
- SERVICE INSTALLATION. 14. FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.

DIAMOND TO SEE	MANIA.	LAIT	WATER METER SERVICE NOTES FOR	DIAWING NO.
DE DE	⊋Λ\/\N •	FΔM		DRAWING NO.
OF HOLLY WOOD, FIFE	SUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017

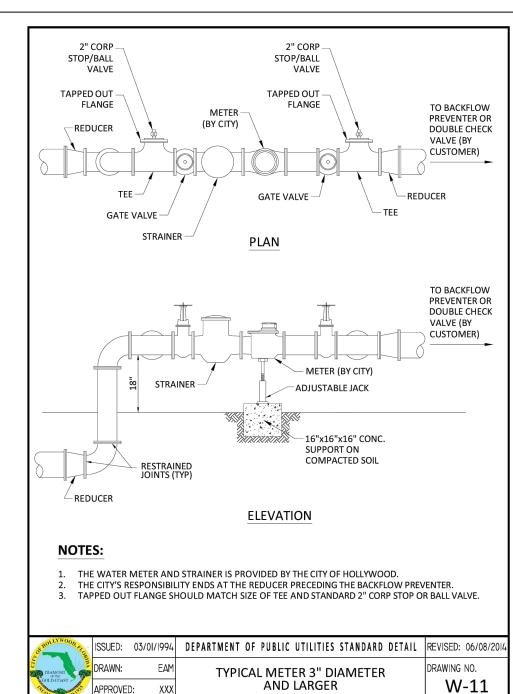


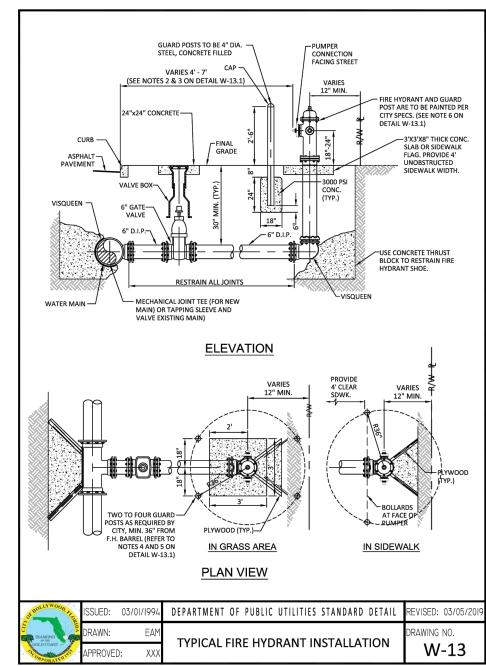
. IF EXISTING CONCRETE METER BOX IS IN ACCEPTABLE CONDITION (AS DETERMINED BY ECSD) IT MAY BE RE-USED.

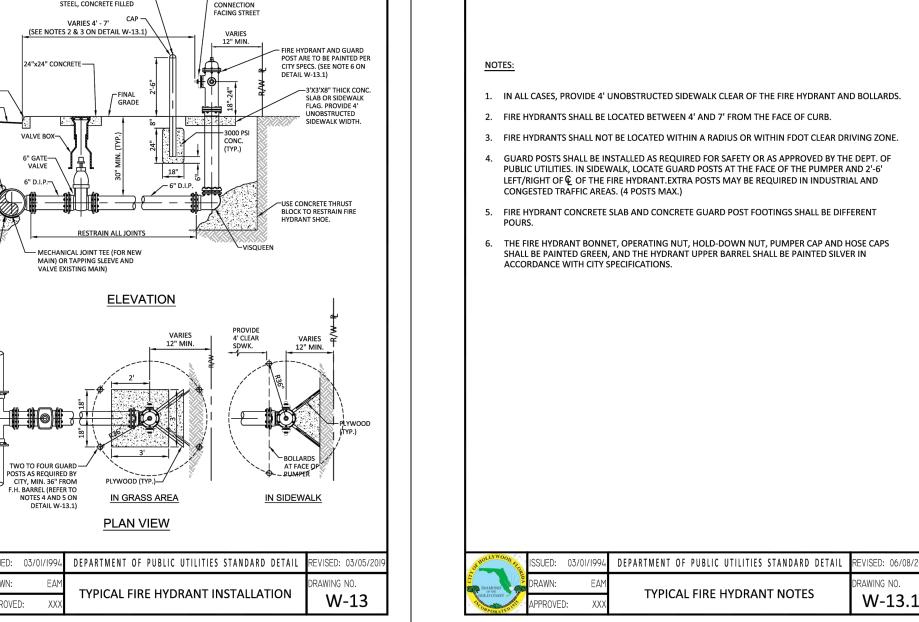
. IF EXISTING BACKFLOW PREVENTER IS DETERMINED TO BE IN ACCEPTABLE CONDITION IT MAY BE RE-USED PROVIDED IT IS RE-CERTIFIED.

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETA

TYPICAL WATER SERVICE FROM









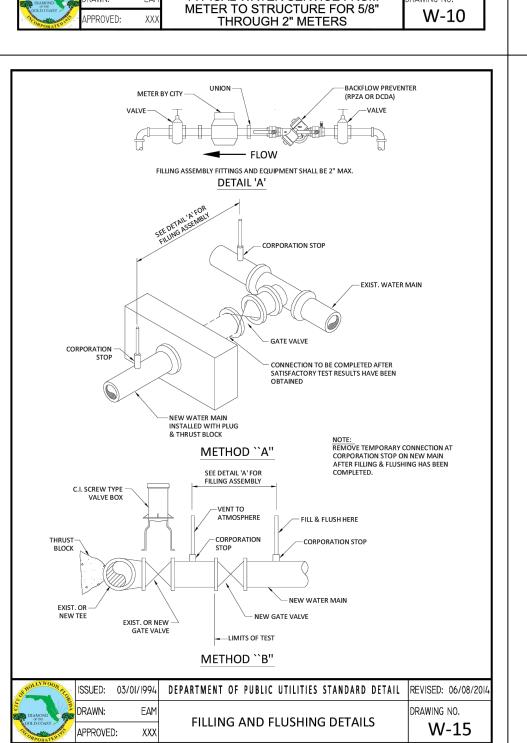
- 1. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.
- 2. THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH RULE 62-555.330 (FAC) C600 AWWA LATEST REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:

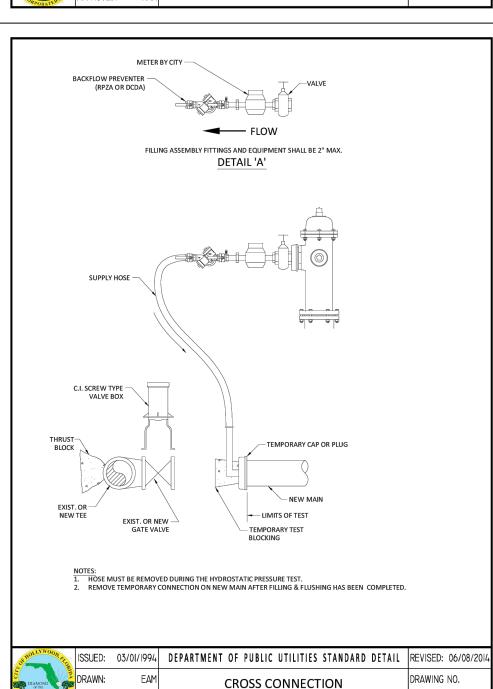
L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR. S = THE LENGTH OF PIPE BEING TESTED. D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.

NOT TO EXCEED 2,000 FEET PER TEST.

- P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH. THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS
- 4. PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15995, "PIPELINE
- 5. BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
- 6. THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.
- 7. THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.

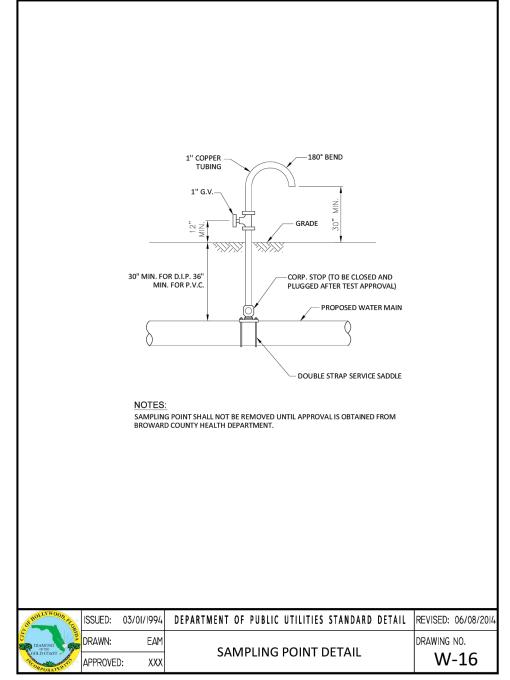
DIAMOND THE STATE OF THE STATE	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN:	EAM	WATER MAIN TESTING AND	DRAWING NO.
	APPROVED	: XXX	DISINFECTION NOTES	W-14

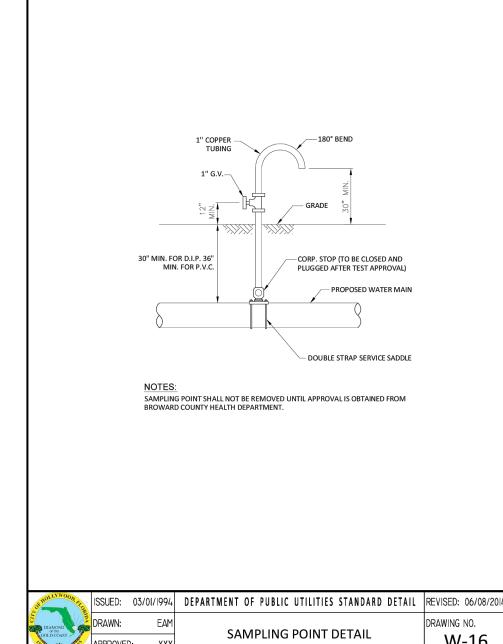




FILLING AND FLUSHING DETAILS

W-15.1





01/10/24 SCALE: N.T.S. SHEET TITLE

HS

SCH

DRAWN BY:

CHECKED BY:

CIVIL ENGINEERING SOLUTIONS

Fort Lauderdale, Florida 33315

Certificate of Authorization 7325

STATE OF FLORIDA PROFESSIONAL ENGINEER

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OM RESIDENTIAL

MIXED USED

309, 333 & 341 OKLAHOMA ST.

320, 322, 324 & 326 NEBRASKA ST.

HOLLYWOOD, FLORIDA 33019

REVISIONS

NO. $\mid \mathit{DATE} \mid \mid \mathit{BY} \mid \mathit{CHK'D} \mid \mid \mathit{DESCRIPTION}$

04/02/24 HS | SCH | FINAL TAC

2007 N. OCEAN DRIVE

320 & 324 MCKINLEY ST.

2115 N. OCEAN DRIVE

2012 N. SURF ROAD

Susan C. Holland, P.E. Printed copies of this

and the signature must be verified on any

301 SW 7th Street

SUSAN C. HOLLAND

LICENSE No. 41831

electronic copies.

SITE 1:

SITE 3:

Phone: 954.367.0371

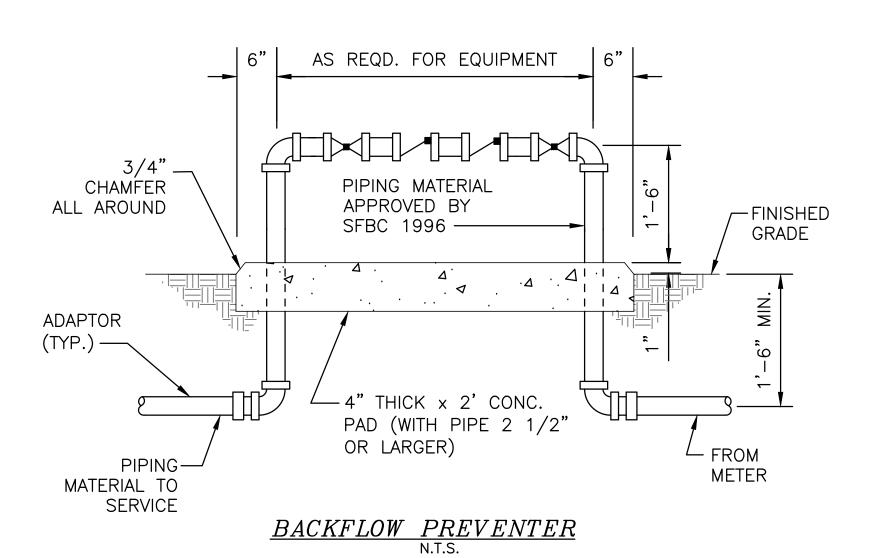
CITY WATER DETAILS

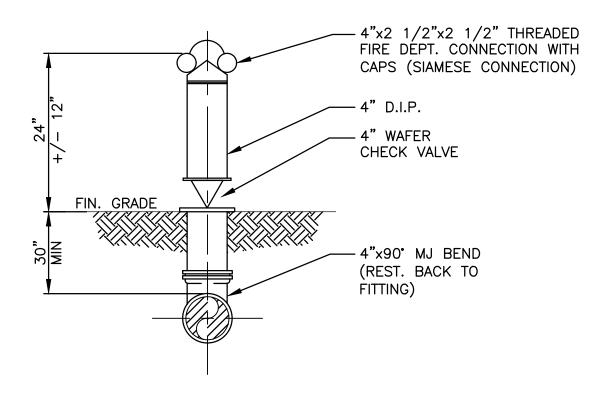
NO. OF SHEETS:

PROJECT NO.

SHEET NO.

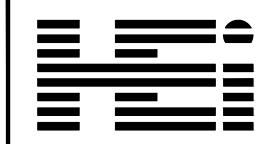
23-29





FIRE DEPARTMENT CONNECTION

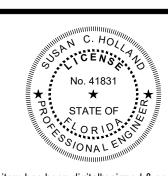
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HOLLAND ENGINEERING

CIVIL ENGINEERING SOLUTIONS
301 SW 7th Street
Fort Lauderdale, Florida 33315
Phone: 954.367.0371
Certificate of Authorization 7325

SUSAN C. HOLLAND STATE OF FLORIDA PROFESSIONAL ENGINEER LICENSE No. 41831



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SITE 2: 2115 N. OCEAN DRIVE 320, 322, 324 & 326 NEBRASKA ST.

SITE 3: 2012 N. SURF ROAD

HOLLYWOOD, FLORIDA 33019

REVISIONS										
NO.	DATE	BY	CHK' D	DESCRIPTION						
1	04/02/24	HS	SCH	FINAL TAC						

DRAWN BY: HS

CHECKED BY: SCH

DATE: 01/10/24

WATER DETAILS

SHEET TITLE

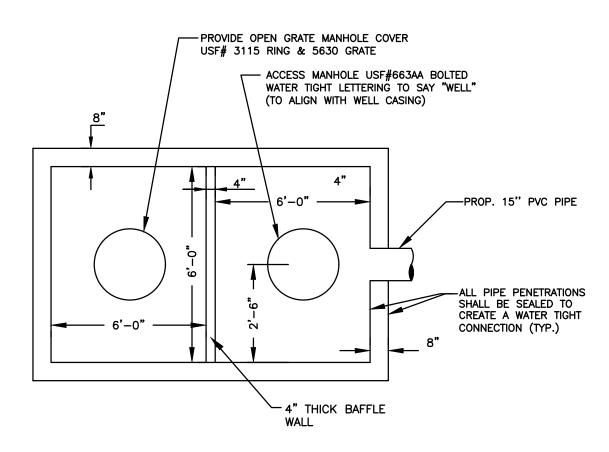
NO. OF SHEETS:

SHEET NO.: C-19

PROJECT NO.

23-29

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TOP VIEW
N.T.S.

NOTES:

. WELL DRILLER RESPONSIBLE FOR OBTAINING WELL CONSTRUCTION PERMIT.

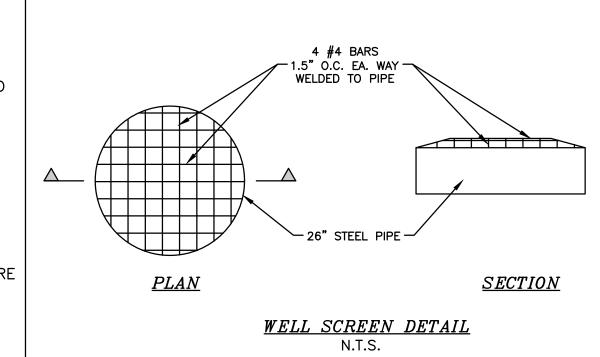
2. NEOPRENE GASKETS TO BE INSTALLED UNDER LIDS AND AROUND PIPES.

3. VENT PIPES NOT TO BE INSTALLED DIRECTLY ACROSS FROM INLET PIPE.

4. WELL COVERS TO BE SECURELY ATTACHED TO STRUCTURE WITH NO MORTAR OR BRICKS.

5. CONTRACTOR SHALL GROUT BETWEEN 4" CONC. BAFFLE AND LID OF STRUCTURE TO ENSURE WATER PROOF SEAL.

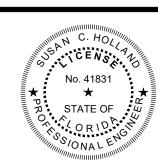
6. WELL BOX REINFORCEMENT SHALL BE DESIGNED BY PRE-CASTER TO MEET F-DOT STANDARDS AND SPECIFICATIONS



CIVIL ENGINEERING SOLUTIONS

301 SW 7th Street Fort Lauderdale, Florida 33315 Phone: 954.367.0371 Certificate of Authorization 7325

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SITE 3: 2012 N. SURF ROAD

HOLLYWOOD, FLORIDA 33019

REVISIONS NO. DATE BY CHK'D DESCRIPTION 1 04/02/24 HS SCH FINAL TAC DRAWN BY: HS CHECKED BY: SCH

SHEET TITLE

01/10/24

N.T.S.

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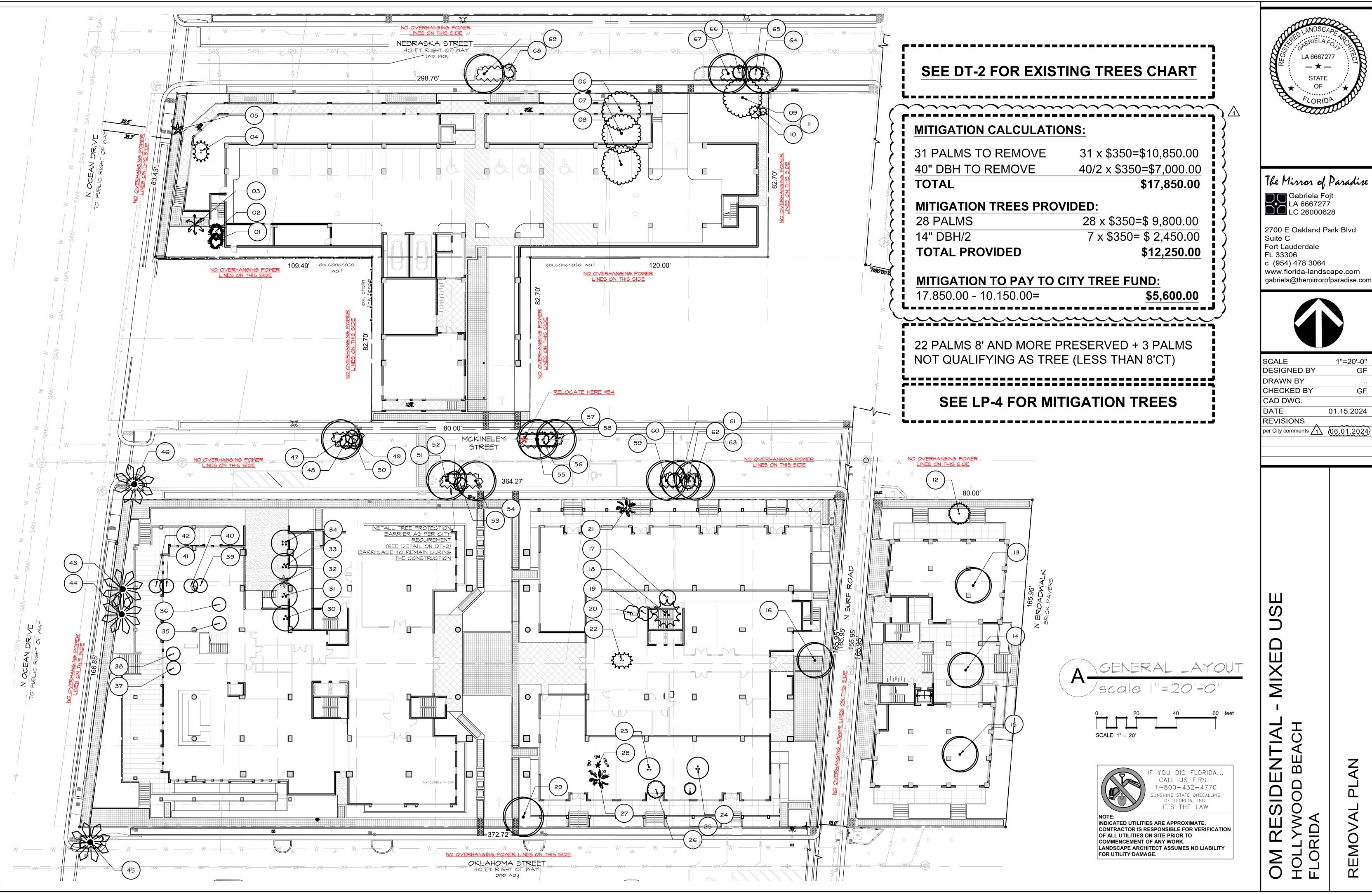
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DRAINAGE WELL DETAILS

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C-20

PROJECT NO. 23-29

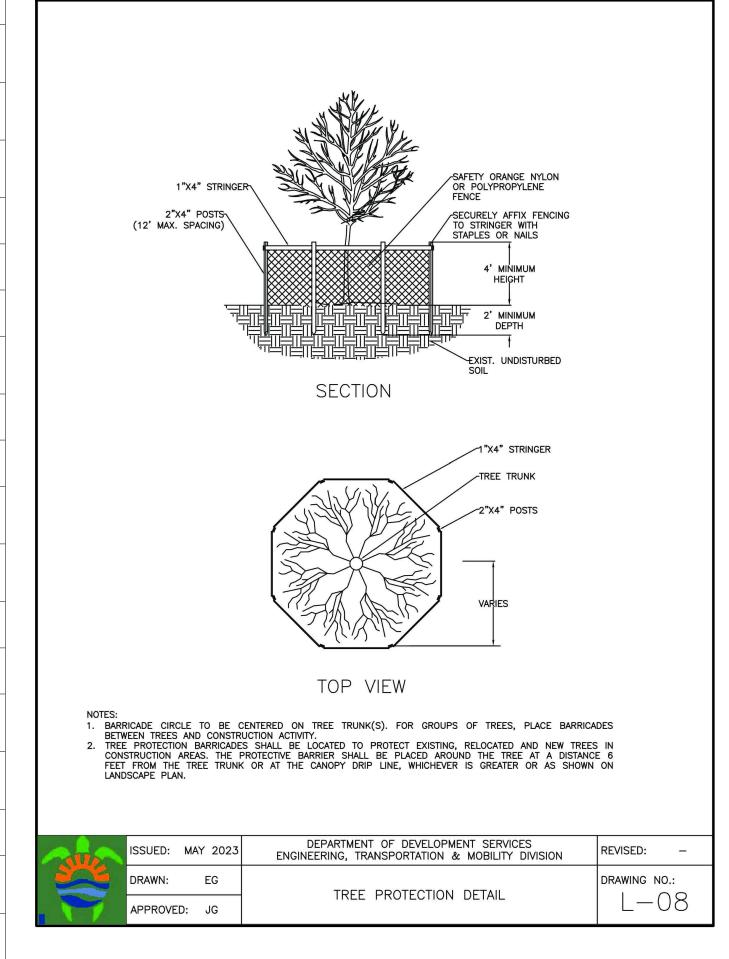


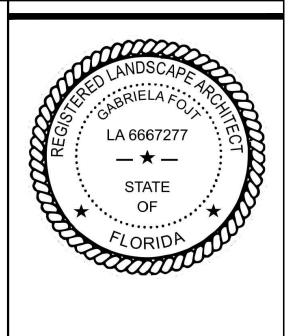


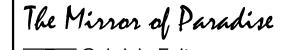
1"=20'-0" 01.15.2024

PLANT	SCHE	EDULE							
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT/CT	SPREAD	CONDITION	NOTES	ACTION
REES	01	Ravenala madagascariensis	Traveler's Tree	-	18`OA			NOT QUALIFYING AS TREE	REMOVE
0	02	Ravenala madagascariensis	Traveler's Tree	-	18`OA			NOT QUALIFYING AS TREE	REMOVE
	03	Syagrus romanzoffiana	Queen Palm	-	12`CT	11`	30%		REMOVE
**************************************	04	Ptychosperma elegans	Alexander Palm	-	20`CT, dbl	8`	30%		REMOVE
A.	05	Wodyetia bifurcata	Foxtail Palm	-	15`CT	7`	20%		REMOVE
	06	Conocarpus erectus f. sericeus	Silver Buttonwood	12"	18`OA	15`	60%		REMOVE
Kramos	0.7	Consequence areatus financiasus	O'L - P H I	401	20,04	45)	0004		PEMOVE
Krimon .	07	Conocarpus erectus f. sericeus	Silver Buttonwood	10"	20`OA	15`	60%		REMOVE
kumy ³	08	Conocarpus erectus f. sericeus	Silver Buttonwood	7"	20`OA	15`	60%		REMOVE
	09	Conocarpus erectus f. sericeus	Silver Buttonwood	11"	18`OA	12`	35%		REMOVE
}~~``	10	Phoenix roebelenii	Pygmy Date Palm	-	8°CT	7`	20%		REMOVE
\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	11	Phoenix roebelenii	Pygmy Date Palm	-	6`CT	4`	20%	NOT QUALIFYING AS TREE	REMOVE
	12	Sabal palmetto	Cabbage Palmetto	-	15`CT	11`	50%		REMOVE
\odot	13	Cocos nucifera	Coconut Palm	-	35`CT	18`	30%		REMOVE
\odot	14	Cocos nucifera	Coconut Palm	-	35`CT	18`	30%		REMOVE
$\overline{(\cdot)}$	15	Cocos nucifera	Coconut Palm	-	35`CT	18`	30%		REMOVE
$\overline{(\cdot)}$	16	Cocos nucifera	Coconut Palm	-	35`CT	18`	30%		REMOVE
××	17	Veitchia montgomeryana	Montgomery Palm	-	12`-13`CT, dbl	8`	30%		REMOVE
)	18	Ptychosperma elegans	Alexander Palm	-	12`-18`CT, multi	14`	30%		REMOVE
$\overline{\bigcirc}$	19	Plumeria obtusa	Singapore White Plumeria	2"	9`OA	7`	60%	NOT QUALIFYING AS TREE	REMOVE
($$ $$	20	Myrica cerifera	Wax Myrtle	1.5"+2"	10`OA	8`	30%	NOT QUALIFYING AS TREE	REMOVE
3	21	Hyophorbe verschaffeltii	Spindle Palm	-	9`GW, 10`CT	10`	50%		REMOVE
mir June	22	Ptychosperma elegans	Alexander Palm	-	15`CT dbl	8`	30%		REMOVE
(×)	23	Adonidia merrillii	Christmas Palm	-	8`-10`CT, triple	11`	70%		REMOVE
(\dot{x})	24	Adonidia merrillii	Christmas Palm	-	8`-10`CT, triple	11`	70%		REMOVE
$\widecheck{\bigcirc}$	25	Conocarpus erectus f. sericeus	Silver Buttonwood	1.5"	9`OA	6`	35%	NOT QUALIFYING AS TREE	REMOVE
Ö	26	Conocarpus erectus f. sericeus	Silver Buttonwood	1.5"	10`OA	9,	45%	NOT QUALIFYING AS TREE	REMOVE
3/2	27	Hyophorbe verschaffeltii	Spindle Palm	-	8`GW, 9`CT	10`	50%		REMOVE
*** * * * * * * * * * * * * * * * * *	28	Dypsis decaryi	Triangle Palm	-	6`CT	11`		NOT QUALIFYING AS TREE	REMOVE
$\overline{\left(\cdot\right)}$	29	Cocos nucifera	Coconut Palm	-	30°CT	20`	30%		REMOVE
$\widetilde{}$	30	Adonidia merrillii	Christmas Palm	-	12`CT, triple	13`	85%		REMOVE
·	31	Adonidia merrillii	Christmas Palm	-	12`CT, triple	13`	85%		REMOVE
**	32	Hyophorbe lagenicaulis	Bottle Palm	-	6`CT	6`	50%	NOT QUALIFYING AS TREE	REMOVE
	33	Adonidia merrillii	Christmas Palm	-	12`CT, triple	13`	85%		REMOVE
:	34	Adonidia merrillii	Christmas Palm	-	12`CT, quadruple	13`	85%		REMOVE
$\overline{}$	35	Adonidia merrillii	Christmas Palm	-	16`CT	7`	40%		REMOVE
	36	Adonidia merrillii	Christmas Palm	-	16 °CT	7`	40%		REMOVE
	37	Adonidia merrillii	Christmas Palm	-	18`CT	7`	40%		REMOVE
	38	Adonidia merrillii	Christmas Palm	-	18 CT	7`	40%		REMOVE
\mathcal{L}			Christmas Palm Christmas Palm	_					REMOVE
\bigcirc	39	Adonidia merrillii	Crinstmas Palm	-	14`CT	7`	40%		REMOVĒ

		EDULE							
BOL	CODE	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT/CT	SPREAD	CONDITION	NOTES	ACTION
S	40	Adonidia merrillii	Christmas Palm	-	14`CT	7`	40%		REMOVE
	41	Adonidia merrillii	Christmas Palm	-	14`CT	7`	40%		REMOVE
	42	Adonidia merrillii	Christmas Palm	-	14`CT	7`	40%		REMOVE
	43	Phoenix dactylifera 'Medjool'	Medjool Date Palm	-	20`CT	20`	55%		REMOVE
	44	Phoenix dactylifera 'Medjool'	Medjool Date Palm	-	20`CT	20`	55%		REMOVE
SINI	ROW								
	45	Phoenix dactylifera 'Medjool'	Medjool Date Palm	-	14`CT	20`	70%		TO REMAIN
B	46	Phoenix dactylifera 'Medjool'	Medjool Date Palm	-	14`CT	20`	80%		TO REMAIN
	47	Cocos nucifera	Coconut Palm	-	18`CT	20`	90%		TO REMAIN
5	48	Thrinax radiata	Florida Thatch Palm	-	10`CT	8,	90%		TO REMAIN
5	49	Thrinax radiata	Florida Thatch Palm	-	10`CT	8`	90%		TO REMAIN
	50	Thrinax radiata	Florida Thatch Palm	-	10°CT	8`	90%		TO REMAIN
\cdot	51	Cocos nucifera	Coconut Palm	-	16`CT	20`	90%		TO REMAIN
5	52	Thrinax radiata	Florida Thatch Palm	-	10°CT	8`	90%		TO REMAIN
)	53	Thrinax radiata	Florida Thatch Palm	-	10°CT	8`	90%		TO REMAIN
	54	Cocos nucifera	Coconut Palm	-	16`CT	20`	90%		TO RELOCA
	55	Cocos nucifera	Coconut Palm	-	16`CT	20`	90%		TO REMAIN
)	56	Thrinax radiata	Florida Thatch Palm	-	8`CT	8`	80%		TO REMAIN
)	57	Thrinax radiata	Florida Thatch Palm	-	8°CT	8`	80%		TO REMAIN
	58	Cocos nucifera	Coconut Palm	-	16`CT	20`	90%		TO REMAIN
	59	Cocos nucifera	Coconut Palm	-	12`CT	20`	90%		TO REMAIN
5	60	Thrinax radiata	Florida Thatch Palm	-	8°CT	8`	90%		TO REMAIN
	61	Cocos nucifera	Coconut Palm	-	12`CT	20`	90%		TO REMAIN
5	62	Thrinax radiata	Florida Thatch Palm	-	8`CT	8`	90%		TO REMAIN
	63	Cocos nucifera	Coconut Palm	-	12`CT	20`	90%		TO REMAIN
	64	Cocos nucifera	Coconut Palm	-	18`CT	20`	80%		TO REMAIN
5	65	Thrinax radiata	Florida Thatch Palm	-	6,CL	8`	90%	NOT QUALIFYING AS TREE	TO REMAIN
	66	Thrinax radiata	Florida Thatch Palm	-	6,CL	8`	90%	NOT QUALIFYING AS TREE	TO REMAIN
	67	Cocos nucifera	Coconut Palm	-	18`CT	20`	80%		TO REMAIN
5	68	Thrinax radiata	Florida Thatch Palm	-	7`CT	8`	80%	NOT QUALIFYING AS TREE	TO REMAIN
	69	Cocos nucifera	Coconut Palm	-	15`CT	20`	90%		TO REMAIN

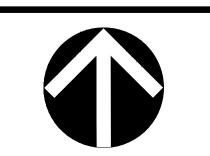






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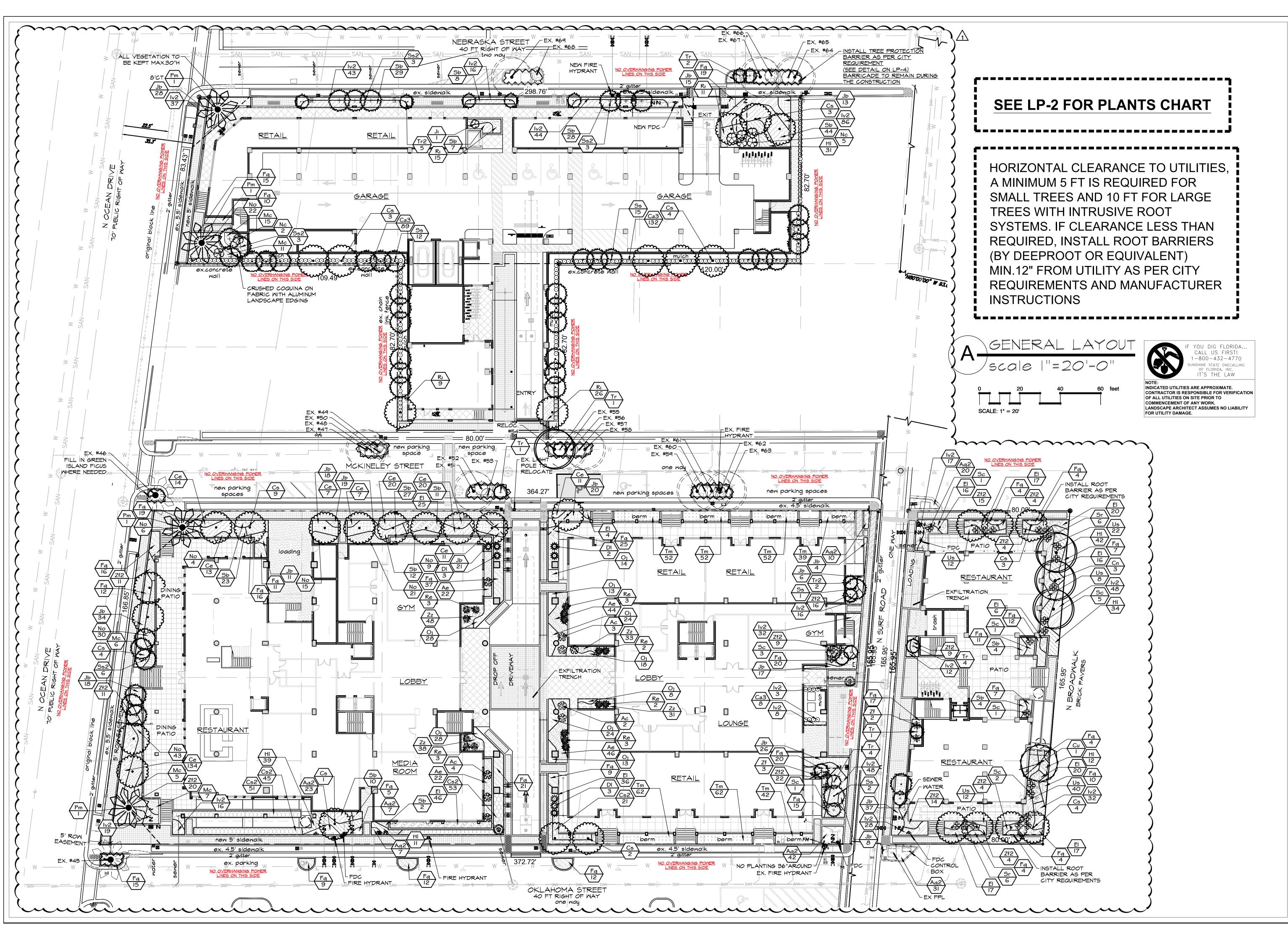
2700 E Oakland Park Blvd
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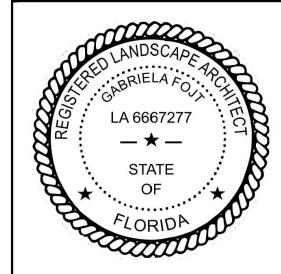


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PROTECTION CHART, OM RESIDENTIAL
HOLLYWOOD BEACH
FLORIDA XISTING

DT -2 OF 2





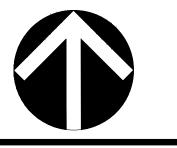
The Mirror of Paradise

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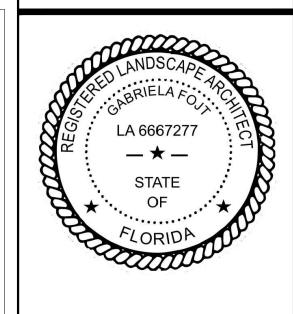
NDSCAPE PLAN GROUND I EVEL

_ANT	50	SHEDI	JLE GROUND LEV	/EL					PLANT SC	SHED	JLE GROUND LEV	VEL .					
MBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.	SYMBOL CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESI	ST.
ES	Cu	1	Coccoloba uvifera	Sea Grape	min.16`OA, multistem, min. one stem 2"dbh	AS SHOWN	VEQ	HIGH	RELOCATED PAL	MS	Cocos nucifera	Coconut Palm	16`CT	EXISTING	NO	HIGH	
	Cu				, ,					<u>'</u>	Cocos fidellera	Cocondi i aim		LXISTING	NO	THAT	
	Cn	3	Cocos nucifera	Coconut Palm	min.12'CT, curved	AS SHOWN	NO	HIGH	SHRUBS Ac	9	Alocasia x 'Calidora'	Calidora Alocasia	7 gal.	AS SHOWN	NO	MODERATE	
• • • •	Cs	33	Conocarpus erectus f. sericeus	Silver Buttonwood	min.12`OA, 2:dbh, matched	AS SHOWN	YES	HIGH	Ca3	229	Chrysobalanus icaco 'Green Tip'	Green Tip Coco Plum	36"OA, ftb	24"OC	YES	HIGH	
7/4									ZWZ DI	8	Dracaena fragrans 'Limelight'	Limelight Dracaena	7 gal, full	AS SHOWN	NO	MODERATE	
	Pm	4	Phoenix dactylifera 'Medjool'	Medjool Date Palm	min. 8`CT, matched	AS SHOWN	NO	HIGH	Ji	1	Jatropha integerrima	Spicy Jatropha	4`-5`OA, multi	AS SHOWN	NO	HIGH	
mura									Nc Nc	7	Nerium oleander 'Calypso'	Calypso Oleander	15 gal, 5'OA, bush	AS SHOWN	NO	HIGH	
Mary Rock	Ss	30	Sabal palmetto	Cabbage Palmetto	16'-24'CT, staggered	AS SHOWN	YES	HIGH	Re	16	Rhapis excelsa	Lady Palm	4`-5`OA, full	AS SHOWN	NO	HIGH	
+	Ss2	15	Sabal palmetto	Cabbage Palmetto	16'-26'CT, curved, staggered	AS SHOWN	YES	HIGH	Sr Sr	12	Serenoa repens	Green Saw Palmetto	min.15 gal, 3`x3`, full	AS SHOWN	YES	HIGH	
marrage b									Sc Sc	14	Serenoa repens 'Cinerea'	Silver Saw Palmetto	min.15 gal, 3`x3`, full	AS SHOWN	YES	HIGH	
	Tr2	7	Thrinax radiata	Florida Thatch Palm	8`CT, dbl, matched	AS SHOWN	YES	HIGH	Zf Zf	5	Zamia furfuracea	Cardboard Palm	7 gal	AS SHOWN	NO	HIGH	
+	Tr	13	Thrinax radiata	Florida Thatch Palm	8°CT	AS SHOWN	YES	HIGH	SHRUB AREAS								
									Ae	134	Aspidistra elatior	Cast Iron Plant	3 gal, full	24"OC	NO	MODERATE	
STING P	PALMS								Ce	237	Carissa macrocarpa 'Emerald Blank	et' Emerald Blanket Natal Plum	3 gal	18"OC	NO	HIGH	
•	59	1	Cocos nucifera	Coconut Palm	12`CT	EXISTING	NO	HIGH	Cs2	170	Conocarpus erectus f. sericeus	Silver Buttonwood	24"OA, ftb	24"OC	YES	HIGH	
				_					9/6/69/69 EI	240	Ernodea littoralis	Golden Creeper	3 gal	24"OC	YES	ШОП	
	61	1	Cocos nucifera	Coconut Palm	12`CT	EXISTING	NO	HIGH	rg	169	Ficus microcarpa 'Green Island' Hymenocallis latifolia	Green Island Indian Laurel Fig Spider Lily	3 gal, ftb	24"OC	NO YES	HIGH	
	63	1	Cocos nucifera	Coconut Palm	12`CT	EXISTING	NO	HIGH	lv2	505	Ilex vomitoria 'Schillings'	Yaupon Holly	3 gal, ftb	18"OC	YES	HIGH	
		'	Cocos muchera	Coconat r aim		EXIGNIVA		THAT	- - - - - - - - - - - - - - - - - - -	295	Juniperus conferta 'Blue Pacific'	Blue Pacific Shore Juniper	3 gal, full	24"OC	NO	HIGH	
	69	1	Cocos nucifera	Coconut Palm	15`CT	EXISTING	NO	HIGH	Mc	44	Muhlenbergia capillaris	Pink Muhly Grass	3 gal, full	30"OC	YES	HIGH	
									No	154	Nerium oleander	Dwarf Oleander	3 gal ftb	24"OC	NO	HIGH	
.)	51	1	Cocos nucifera	Coconut Palm	16`CT	EXISTING	NO	HIGH	Oj	170	Ophiopogon japonicus	Mondo Grass	1 gal	18"OC	NO	LOW	
									Ri	61	Rhaphiolepis indica	Indian Hawthorn	3 gal, ftb	24"OC	NO	HIGH	
•	55	1	Cocos nucifera	Coconut Palm	16`CT	EXISTING	NO	HIGH	Sb	209	Spartina bakeri	Sand Cordgrass	3 gal, full	30"OC	YES	HIGH	
									Us	94	Uniola paniculata	Sea Oats	1 gal	24"OC	YES	HIGH	
	58	1	Cocos nucifera	Coconut Palm	16`CT	EXISTING	NO	HIGH	Zf2	143	Zamia floridana Zamioculcas zamiifolia	Florida Coontie ZZ Plant	3 gal 24"x18", full	24"OC 18"OC	YES	LOW	
	47	1	Cocos nucifera	Coconut Palm	18` CT	EXISTING	NO	HIGH	rz prz z Zz		Zamioculcas zaminolia	ZZ Fidill	24 810 , Iuli	16 00	INO	LOW	
	¬1		Cocos nucliera	COCONALT AIITI	10 01	LXIOTING	NO	THAT	GROUND COVER		Arachis glabrata	Perennial Peanut	1 gal	18"OC	NO	HIGH	
\bigcup	67	1	Cocos nucifera	Coconut Palm	18` CT	EXISTING	NO	HIGH	**************************************	361	Trachelospermum asiaticum 'Minima		1 gal	18"OC	NO	HIGH	
	64	1	Cocos nucifera	Coconut Palm	18` CT	EXISTING	NO	HIGH			NDICATED ON DETAIL.	V DI ANT SOD AND MUI CH A	MOUNTS FOR BIDDING PURPOSES.				
	46	1	Phoenix dactylifera 'Medjool'	Medjool Date Palm	14`CT	EXISTING	NO	HIGH			S PRECEDENCE OVER ANY QUA		MODINIO I DIN BIBBINO I DIN OSES.				
	45	1	Phoenix dactylifera 'Medjool'	Medjool Date Palm	14`CT	EXISTING	NO	HIGH									
ا	49	1	Thrinax radiata	Florida Thatch Palm	10`CT	EXISTING	YES	HIGH									
where	48	1	Thrinax radiata	Florida Thatch Palm	10°CT	EXISTING	YES	HIGH									
market	52	1	Thrinax radiata	Florida Thatch Palm	10°CT	EXISTING	YES	HIGH	LANDSCAPE REQUIREMENTS BRT-25	& BWK-2	5	Required	Existing		Propos	ed	Total Provide
wing.	53	1	Thrinax radiata	Florida Thatch Palm	10°CT	EXISTING	YES	HIGH	OPEN SPACE 1 tree/each 1,000 sf of pervious area (15,4)	547.51 /1 ∩	00=15.54)	16 trees		1 Sean	rape. 12 Silv	er Buttonwood,	16 provided
+	66	1	Thrinax radiata	Florida Thatch Palm	e,CL	EXISTING	YES	HIGH	STREET TREES 1 tree/each 50 If of street frontage (1,940.		,		: (3 2/3 trees), 2 Medjool, 9 Thatch (=3 trees	3 Coo	onuts (= 1 tre	ee), 2 Medjool,	39 provided
+	65	1	Thrinax radiata	Florida Thatch Palm	6,CL	EXISTING	YES	HIGH	(372.72'+80'+165.95'+165.95'+80'+364.27	7'+166.85'	+80'+82.70'+298.76'+83.43')			14 Silver k	outtowood, 2	4 Sabals (= 8 tree)	
+	68	1	Thrinax radiata	Florida Thatch Palm	7`CT	EXISTING	YES	HIGH	min. 60% of required trees to be native (5 min. 50% of shrubs to be native (4,206x.5 max. 50% of required trees to be palms (5	=2103) 55x .5=27.	n	in.33 native trees nin.2,103 (=50%) max.28 palms 2 p	19 Thatch (= 3 trees) 2,112 (= 50%) palms 1:1, 20 palms 3:1 (6 2/3 trees)		50% prov :1, 40 palms	ided 3:1 (13 1/3 trees)	42 1/3 (=77%)prov provided 28 provided
+	56	1	Thrinax radiata	Florida Thatch Palm	8`CT	EXISTING	YES	HIGH	Provide automatic irrigation with 100% of	coverage					irrigation s		provided
+	57	1	Thrinax radiata	Florida Thatch Palm	8°CT	EXISTING	YES	HIGH	MITIGATION TREES					7 Silver B	uttonwood, 2	1 Sabal, 7 Thatch 28	palms+14"dbh-SE FOR MITIGATION (
+	60	1	Thrinax radiata	Florida Thatch Palm	8`CT	EXISTING	YES	HIGH									
white.			1		10) OT		YES	1111011									
+	62 50	1	Thrinax radiata Thrinax radiata	Florida Thatch Palm Florida Thatch Palm	8°CT	EXISTING	YES	HIGH									

YMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST
ELOCATE	ED PALM	S				T		
\bigcirc	54	1	Cocos nucifera	Coconut Palm	16`CT	EXISTING	NO	HIGH
HRUBS	Ac	9	Alocasia x 'Calidora'	Calidora Alocasia	7 gal.	AS SHOWN	NO	MODERATE
$\overline{\left(\cdot\right)}$	Ca3	229	Chrysobalanus icaco 'Green Tip'	Green Tip Coco Plum	36"OA, ftb	24"OC	YES	HIGH
ZWZ	DI	8	Dracaena fragrans 'Limelight'	Limelight Dracaena	7 gal, full	AS SHOWN	NO	MODERATE
	Ji	1	Jatropha integerrima	Spicy Jatropha	4`-5`OA, multi	AS SHOWN	NO	HIGH
	Nc	7	Nerium oleander 'Calypso'	Calypso Oleander	15 gal, 5'OA, bush	AS SHOWN	NO	HIGH
%	Re	16	Rhapis excelsa	Lady Palm	4`-5`OA, full	AS SHOWN	NO	HIGH
707 202	Sr		Serenoa repens	Green Saw Palmetto	min.15 gal, 3`x3`, full		YES	
202		12	·			AS SHOWN		HIGH
8	Sc	14	Serenoa repens 'Cinerea'	Silver Saw Palmetto	min.15 gal, 3`x3`, full	AS SHOWN	YES	HIGH
*	Zf	5	Zamia furfuracea	Cardboard Palm	7 gal	AS SHOWN	NO	HIGH
IRUB AR	REAS							
	Ae	134	Aspidistra elatior	Cast Iron Plant	3 gal, full	24"OC	NO	MODERATE
	Ce	237	Carissa macrocarpa 'Emerald Blanket'	Emerald Blanket Natal Plum	3 gal	18"OC	NO	HIGH
	Cs2	170	Conocarpus erectus f. sericeus	Silver Buttonwood	24"OA, ftb	24"OC	YES	HIGH
	EI	240	Ernodea littoralis	Golden Creeper	3 gal	24"OC	YES	
	Fg	402	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	3 gal	24"OC	NO	HIGH
	н	169	Hymenocallis latifolia	Spider Lily	3 gal, ftb	24"OC	YES	HIGH
	lv2	505	Ilex vomitoria 'Schillings'	Yaupon Holly	3 gal, ftb	18"OC	YES	HIGH
	Jb	295	Juniperus conferta 'Blue Pacific'	Blue Pacific Shore Juniper	3 gal, full	24"OC	NO	HIGH
	Мс	44	Muhlenbergia capillaris	Pink Muhly Grass	3 gal, full	30"OC	YES	HIGH
	No	154	Nerium oleander	Dwarf Oleander	3 gal ftb	24"OC	NO	HIGH
	Oj	170	Ophiopogon japonicus	Mondo Grass	1 gal	18"OC	NO	LOW
	Ri	61	Rhaphiolepis indica	Indian Hawthorn	3 gal, ftb	24"OC	NO	HIGH
	Sb	209	Spartina bakeri	Sand Cordgrass	3 gal, full	30"OC	YES	HIGH
	Us	94	Uniola paniculata	Sea Oats	1 gal	24"OC	YES	HIGH
	Zf2	143	Zamia floridana	Florida Coontie	3 gal	24"OC	YES	HIGH
24 2	Zz	150	Zamioculcas zamiifolia	ZZ Plant	24"x18", full	18"OC	NO	LOW
<i></i>	COVERS	1	•	•	•			
	A ~ O	140	Arachis glabrata	Perennial Peanut	1 gal	18"OC	NO	HIGH
O O O	Tm	361	Trachelospermum asiaticum 'Minima'	Minima Asiatic Jasmine	1 gal	18"OC	NO	HIGH

- MULCH ALL BEDS AS INDICATED ON DETAIL.
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.
- 3. PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.

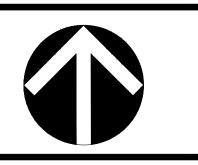
LANDSCAPE REQUIREMENTS BRT-25 & BWK-25	Required	Existing	Proposed	Total Provided	
OPEN SPACE					
1 tree/each 1,000 sf of pervious area (15,547.51 /1,000=15.54)	16 trees		1 Seagrape, 12 Silver Buttonwood, 3 Coconuts (=1 tree), 2 Medjool	16 provided	
STREET TREES					
1 tree/each 50 If of street frontage (1,940.63'/50'=38.8)	39 trees	11 Coconut (3 2/3 trees), 2 Medjool, 9 Thatch (=3 trees)	13 Thatch (= 4 1/3 trees) 4 Medjool,	39 provided	
(372.72'+80'+165.95'+165.95'+80'+364.27'+166.85'+80'+82.70'+298.76'+83.43')			14 Silver buttowood, 24 Sabals (= 8 tree)		
min. 60% of required trees to be native (55x.6=33)	min.33 native trees	19 Thatch (= 3 trees)	34 trees. 16 palms (= 5 1/3 trees)	42 1/3 (=77%)provided	
min. 50% of shrubs to be native (4,206x.5=2103)	min.2,103 (= 50%)	2,112 (= 50%)	50% provided	provided	
max. 50% of required trees to be palms (55x .5=27.5)	max.28 palms	2 palms 1:1, 20 palms 3:1 (6 2/3 trees)	6 palms 1:1, 40 palms 3:1 (13 1/3 trees)	28 provided	
Provide automatic irrigation with 100% of coverage	·		irrigation system	provided	
MITIGATION TREES			7 Silver Buttonwood, 21 Sabal, 7 Thatch 2	8 palms+14"dbh-SEE DT FOR MITIGATION CALC.	



The Mirror of Paradise

Gabriela Fojt LA 6667277 LC 26000628

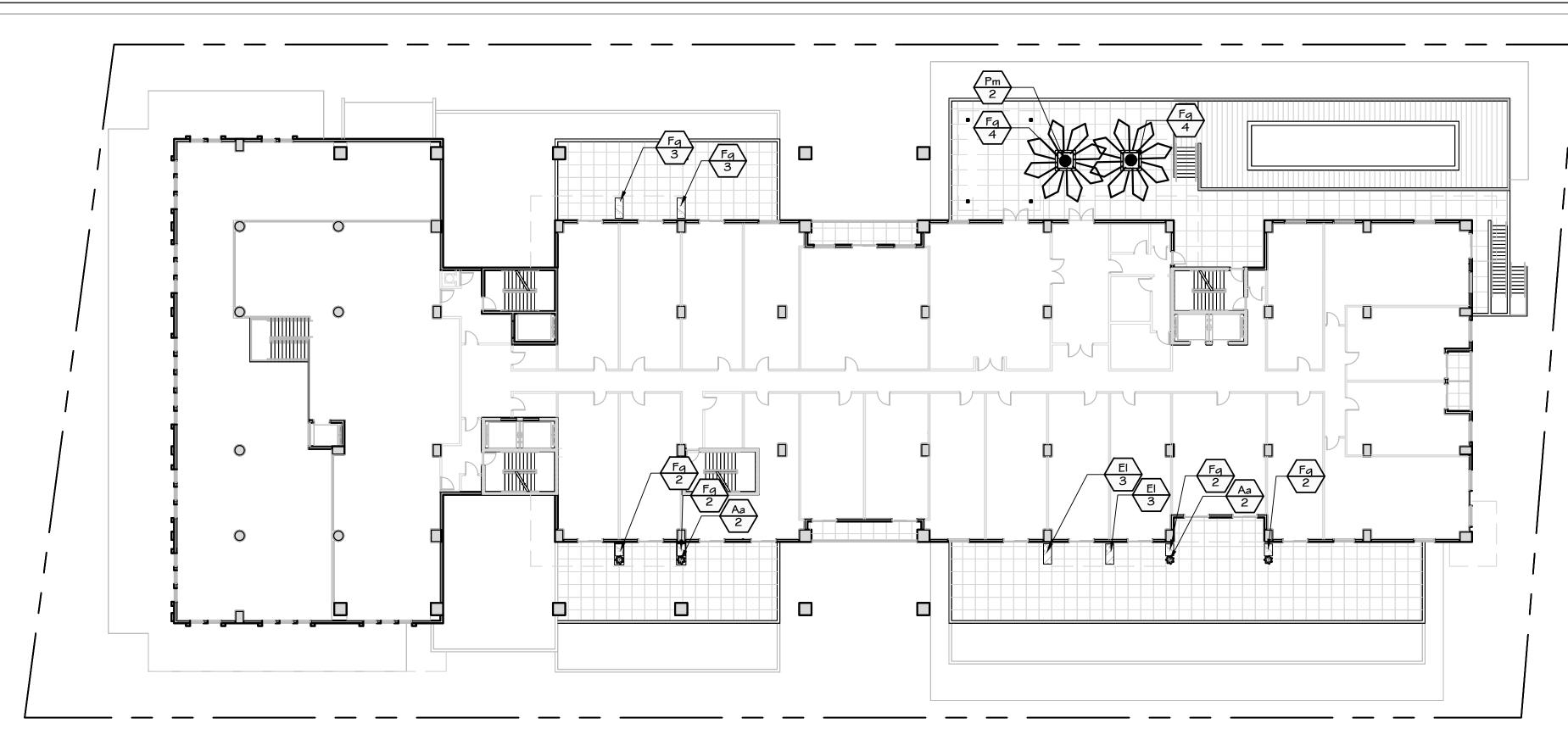
2700 E Oakland Park Blvd Suite C Fort Lauderdale FL 33306 c (954) 478 3064 www.florida-landscape.com gabriela@themirrorofparadise.com

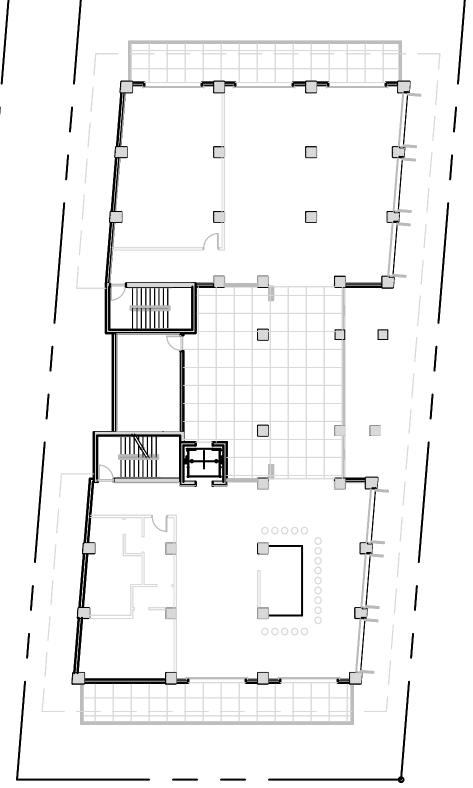


SCALE	as noted
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SCHEDULE **PLANT** EVEL

OM RESIDENTIAL HOLLYWOOD BEACH FLORIDA





SPACING NATIVE DROUGHT RESIST.

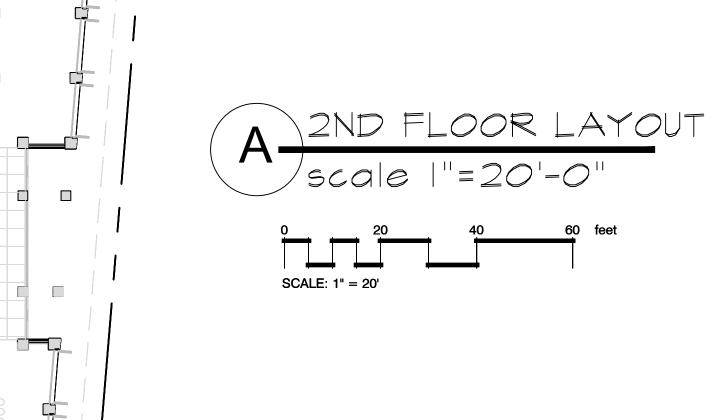
min. 8 CT, matched AS SHOWN NO

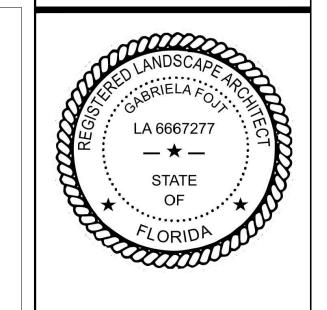
AS SHOWN NO

NO

24"OC

3 gal.





The Mirror of Paradise

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PLAN

LANDSCAPE

6TH FLOOR

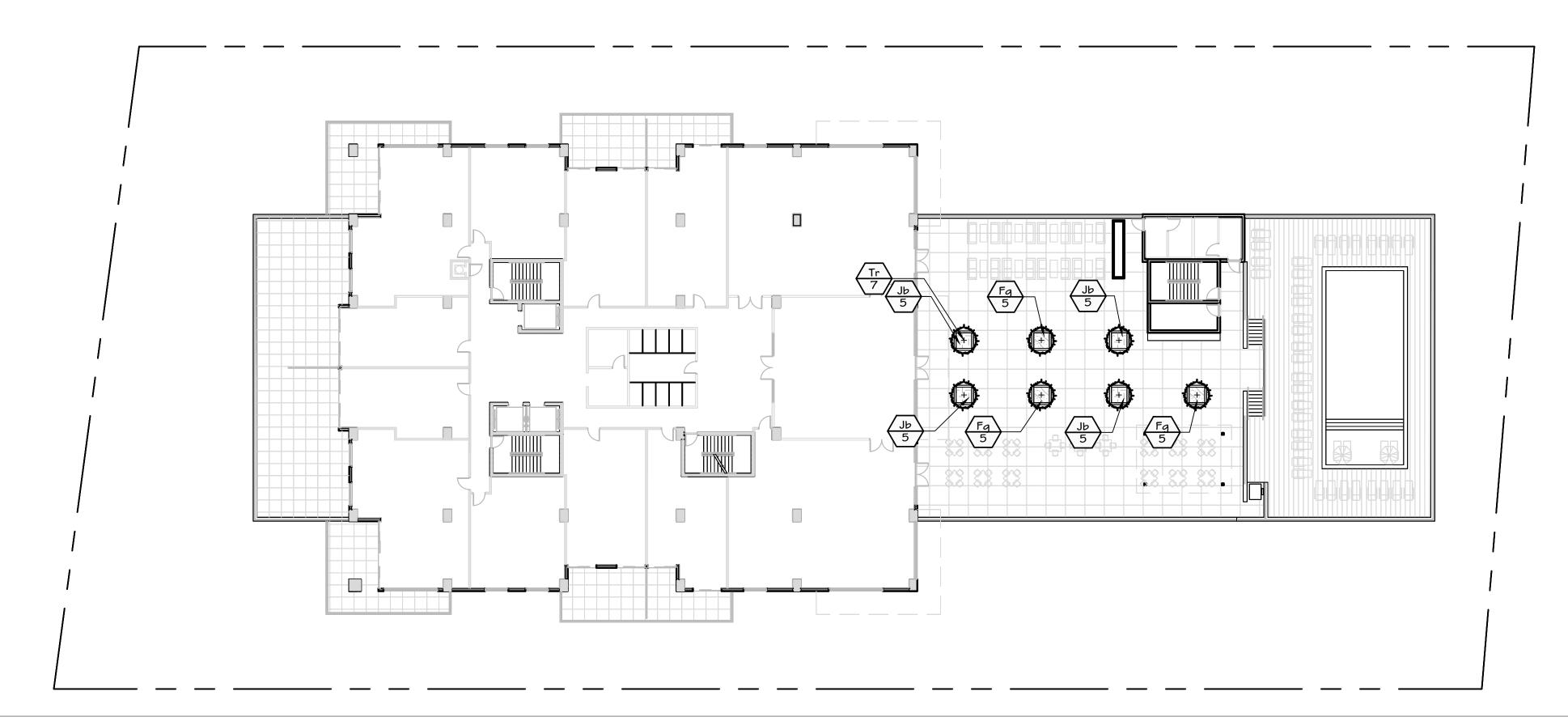
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2ND

$B = \frac{6TH FLOOR LAYOUT}{scale | || = 20 || = 0}$

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST
TDEEC								
TREES								
+	Tr	7	Thrinax radiata	Florida Thatch Palm	8`CT	AS SHOWN	YES	HIGH
SHRUB A	REAS							
	Fg	15	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	3 gal	24"OC	NO	HIGH
	-1							

SCALE: 1" = 20'



PLANT SCHEDULE 2ND FLOOR

Phoenix dactylifera 'Medjool'

Agave attenuata

Ernodea littoralis

Medjool Date Palm

Foxtail Agave

Golden Creeper

Ficus microcarpa 'Green Island' | Green Island Indian Laurel Fig | 3 gal

SYMBOL CODE QTY BOTANICAL NAME

SHRUB AREAS

OM RESIDENTIAL HOLLYWOOD BEACH FLORIDA

MIXED

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LA 6667277

LC 26000628



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per City comments 1	06.01.2024

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RID

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

JOB CONDITIONS:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

RELOCATED TREES:

These trees may not conform to grades and standards, yet do have quality criteria which effect the health, longevity and safety of the tree (and person which may contact tree). This is NOT meant to be a guideline for transplanting trees, but rather the criteria by which relocated trees will meet Town, County, State or governing agency guidelines. Trees which require excessive pruning should NOT be used. Damaged or dead relocated trees will be replaced with appropriate number of caliper inches and species equal to relocated or dead tree, as approved by the Landscape Architect.

No more than 20% of the foliage should be removed for any reason (excluding Sabal Palms). Trees should be corrected for any structural defects, touching branches, dead or rotting wood, V-shaped branching or branching which may effect human safety issues post relocation. Topping a relocated tree is not acceptable.

Damage to the trunk/branches will not exceed 10% of the trunk diameter and 2" in height.

Any major limb or canopy pruning will be qualified and performed by a Certified Arborist.

IRRIGATION

Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by owner and Landscape Architect.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature

aged trunk joins the immature or green part of the trunk or head.

Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations

All shall comply with the State of Florida fertilizer laws.

CLEANUP:

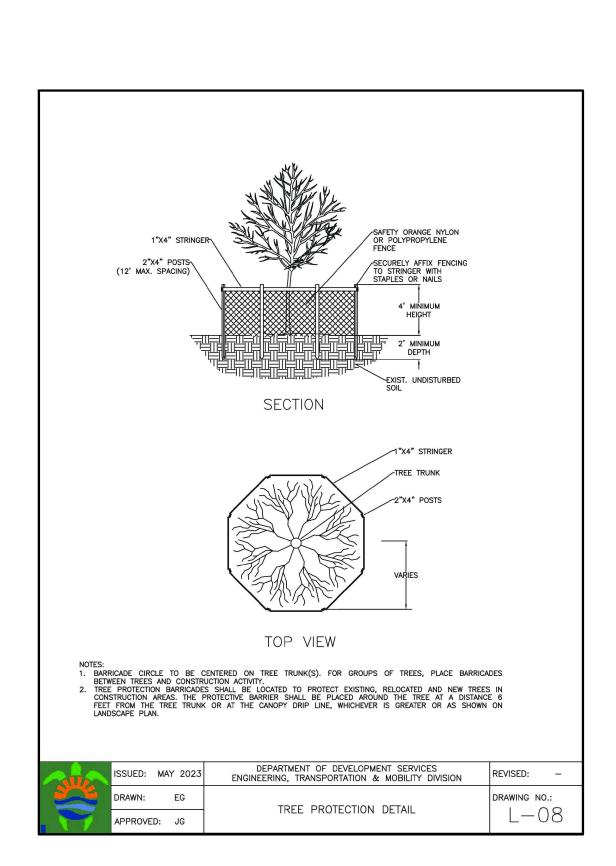
Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.



HURRICANE CUT AND STRIP HEAD IF SABAL

CURE BATTEN W/ 2-3/4" HIGH CARBON

TEEL BANDS TO HOLD BATTENS IN PLACE

HEIGHT OF THE PALM FOR ADEQUATE BRACING.

JRING PLANTING PROJECT. DO NOT NAI

BATTENS TO PALM HEIGHT OF BATTENS

-5-(2"X4·X16") WOOD BATTENS

_ 5 LAYERS BURLAR

-6" EARTH SAUCER

BACK FILL MIXTURE: CLEAN EXISTING FILL

UNLESS OTHERWISE SPECIFIED BY LANDSCAPE ARCHITECT

----6" EARTH SAUCER

- FINISH GRADE

-EXISTING SUB GRADE

-REMOVE PAPER, PLASTIC, OR METAL

ROOTS, IF PLANT IS IN BURLAP, LEAVE

--- 3" MULCH NOT TO TOUCH COLLAR OF TREE.

TOP OF BALL 1" TO 2" ABOVE GRADE

BALLS GREATER THAN 2'-0" IN DIAMETER

SMALLER THAN 2' MAY SIT ON COMPACTED SOIL. DIAMETER OF HOLE SHALL BE MIN.

SHALL SIT ON MOUND OF UNDISTURBED

SOIL TO PREVENT SETTLING. BALLS

1'-0" BIGGER THAN DIAMETER OF BALL.

CONTAINER THAT MAY BE AROUND

-BACK FILL WITH ORIGINAL SOIL

NO SCRAPED OR SCARRED TRUNKS

MIN. 3-(2"X 4") WOOD BRACES — NAIL INTO BATTENS W/ 20d NAILS

REMOVE TOP 1/3 OF BURLAP

1/2 THE WIDTH OF ROOT BALL (TYP)

SEE FERTILIZER

SHAVE 1/2" OF ROOT BALL TO DETER CIRCLING ROOTS

PALM PLANTING DETAIL

6" MIN. (TYPICAL)

SHRUB PLANTING DETAIL

IF PRESENT

2"X4"X24" WOOD STAKE

2"x2" ON FITHER

SIDE OF ROOT BALL.

- TREE CANOPY

- HORIZONTAL 2"x2

ONE (1) HORIZONTAL 2"x2" STAKE,

SCREWED INTO TWO (2) VERTICAL 2"x2"

AGAINST SIDES OF ROOT BALL (SEE ABOVE

FOR TOP VIEW). SHAVE 11/2" OFF OF ROOT

BALL OF CONTAINERIZED TREES TO DETER

REMOVE TOP 1/3 BURLAP -

FOR TREES IN SODS AREAS

SHALL BE A MINIMUM OF 8'-0

HURRICANE CUT / STRIP HEAD ----

SECURE BATTEN W/ 2-3/4" HIGH CARBON STEEL BANDS TO HOLD BATTENS IN PLACE

HEIGHT OF THE PALM FOR ADEQUATE BRACING.

NO SCRAPED OR SCARRED TRUNKS

1/2 WIDTH OF ROOT BALL (TYP)

CURVED SABAL PLANTING DETAIL

DURING PLANTING PROJECT, DO NOT NAIL BATTENS TO PALM, HEIGHT OF BATTENS

SHALL BE LOCATED IN RELATION TO THE

MIN. 3-(2"X 4") WOOD BRACES -NAIL INTO BATTENS W/ 20d NAILS

REMOVE TOP 1/3 OF BURLAP

IF PRESENT

DIAMETER OF MULCH RING

SEE FERTILIZER

SPECIFICATIONS

TREE PLANTING DETAIL

POINT AT WHICH SPECIFIED

OVERALL TREE HEIGHT IS MEASURED

TREE CALIPER SHALL BE MEASURED 6

INCHES FROM THE GROUND ON TREES UP TO

AND INCLUDING 4 INCHES IN CALIPER, AND NCHES ABOVE THE GROUND FOR LARGER

-6" EARTH SAUCER

" MULCH EXCEPT ON ROOTBALL

10% OF ROOTBALL ABOVE GRADE

BACKFILL MIXTURE: CLEAN EXISTING FILL

BALLS GREATER THAN 2'-0" IN DIAMETER

SMALLER THAN 2' MAY SIT ON COMPACTED

SHALL SIT ON MOUND OF UNDISTURBED

SOIL. DIAMETER OF HOLE SHALL BE MIN.

2 TIMES BIGGER THAN DIAMETER OF BALL.

- 5-(2"X4:X16") WOOD BATTENS

2"X4"X24" WOOD STAKE

'REMAINING ABOVE THE SURFACE

BACK FILL WITH ORIGINAL SOIL

EXISTING SUB GRADE

" MULCH

- EARTH SAUCER

UNLESS OTHERWISE SPECIFIED BY LA

SOIL TO PREVENT SETTLING. BALLS

WHICH SHALL HAVE LESS THAN 1" OF MULCH

NO MULCH AGAINST TRUNK OR ON ROOT COLLAR

PALM. ALL OTHER PALMS TIE FRONDS W/NATURAL JUTE ROPE.

GENERAL LANDSCAPE NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE. 2. CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL
- 3. ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, MARCH 1998 4. PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF MILORGANITE PER 6 CU. YDS.
- 5. TREES & PALMS GUARANTEED TO BE IN HEALTHY THRIVING CONDITION FOR ONE YEAR FROM PROJECT COMPLETION.
- 6. APPLY 3" MELALEUCA\EUCALYTUS MULCH AROUND ALL PLANTS WITHIN 2 DAYS. 7. CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS. 8. WHERE THERE IS A DISCREPENCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
- 9. ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS O. ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED
- WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE. 1. TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
- 2. ROOT FLARES TO BE SET ABOVE GRADE AND VISIBLE WITH ROOT SYSTEMS 10% ABOVE FINAL GRADE AT TIME OF PLANTING.

13. LANDSCAPING SHALL COMPLY WITH ALL ZONING AND LAND DEVELOPMENT REGULATIONS.

- HOLLYWOOD LANDSCAPE NOTES
- 1. PLANT MATERIAL WILL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS.
- 2. THERE WILL BE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER.



FLORIDA

P.A.C.O. - JULY 17, 2023 PRELIMINARY TAC - SEPTEMBER 18, 2023 FINAL TAC - MARCH 4, 2024

PROJECT TEAM

<u>OWNER</u>

EMAIL:

<u>ATTORNEY</u>

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FINAL TAC - JULY 1, 2024

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PHONE: (954) 478-3064

THE MIRROR OF PARADISE CONTACT: GABRIELA FOJT ADDRESS: 2700 E OAKLAND PARK BLVD. FORT LAUDERDALE, FL 33306

CODES: FLORIDA BUILDING CODE 2020 ED. FLORIDA FIRE PREVENTION CODE 7TH ED. N.F.P.A. 101 2018 ED.

N.F.P.A. 1 2018 ED.

JURISDICTION: CITY OF HOLLYWOOD BROWARD COUNTY STATE OF FLORIDA

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FORT LAUDERDALE, FL 33301 PHONE: (954) 909-0590 EMAIL: kpoliakoff@govlawgroup.com

C-4 WATER AND SEWER PLAN gabriela@themirrorofparadise.com

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REVISIONS No. DATE DESCRIPTION

1 10-2-23 PRELIM TAC 4-2-24 FINAL TAC

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PROJECT No.: DATE: 2-27-23 DRAWN BY: TMS CHECKED BY:

SHEET

SHEET 1 OF 1

SITE DATA

PROPERTY ADDRESSES

SITE 1 - 2007 N. OCEAN DRIVE; 309, 333 & 341 OKLAHOMA ST.; 320 & 324 McKINLEY ST. SITE 2 - 2115 N. OCEAN DRIVE; 320, 322, 324 & 326 NEBRASKA ST. AND

SITE 3 - 2012 N. SURF ROAD HOLLYWOOD, FL 33019

SITE INFORMATION

EXISTING ZONING: BRT-25-C (BEACH RESORT COMMERCIAL DISTRICT)

BWK-25-HD-C (BROADWALK HISTORIC DISTRICT COMMERCIAL)

LAND USE DESIGNATION: GENERAL BUSINESS

NET LOT AREA: SITE 1 - 60,905.0 SQUARE FEET (1.398 ac)

> SITE 2 - 31,767.0 SQUARE FEET (0.729 ac) SITE 3 - 13,276.0 SQUARE FEET (0.3047 ac)

TOTAL - 105,948.0 SQUARE FEET (2.432 ac)

GROSS LOT AREA: SITE 1, 2 AND 3 - 145268.0 S.F. (3.3348 ac)

SETBACKS:	SITE 1	- MIXE	USE RESIDENTIA	L		$\sqrt{1}$
		REQUIRED)	PROF	POSED	
		BASE	TOWER	BASE	TOWER	
A1A		10'-0"	20'-0"	22'-7"	34'-9"	
CROSS STREET	(OKLAHOMA) RETAIL 40%	5'-0"	25'-0"	23'-2" 13'-2" 11'-2"	25'-2"	
	(MCKINLEY) RETAIL 40%		25'-0"	23'-2" 13'-2" 16'-2"	25'-2"	
SURF ROAD		10'-0"	15'-0"	10'-10"	15'-7"	

SITE 2 - RETAIL/ GARAGE

			,		
		REQUIRE	D	PRO	POSED
		BASE	TOWER	BASE	TOWER
A1A		10'-0"	20'-0"	10'-6"	25'-11"
CROSS STREET	•	10'-0" 5'-0"	10'-0" (80' WIDE LOT)	10'-2" 10'-2"	10'-2"
	40%		10'-0"		NA

(NEBRASKA) 20'-0" 25'-0" 20'-0" 25'-0" RETAIL 5'-0" 10'-2" 17'-4" 5'-0" 15'-0" 5'-0" 15'-0" 5'-0" (80' WIDE LOT) 5'-0"

SITE 3 - BROADWALK RESTAURANT AND BAR

REQUIRED PROPOSED BASE TOWER BASE TOWER 10'-0" NA BROADWALK 10'-0" 15'-0" CROSS STREET (OKLAHOMA) 10'-0" 20'-0" RETAIL 5'-0" 40% 10'-0" (NEBRASKA) 10'-0" 20'-0" RETAIL 5'-0"

40% 10'-0" NA SURF ROAD 5'-0" 15'-0" 10'-1" NA REQUIRED PARKING: (SQUARE FOOTAGE AS MEASURED FROM INSIDE EXTERIOR WALLS) RETAIL 11,941 SF /1000 SF 12 SPACES

RESIDENCES

282 UNITS x 1 (MIN.) 282 SPACES RENTAL UNITS

(168 FREE MARKET + 114 WORK FORCE)

ACCESSORY USES (RESIDENTS ONLY)

RESTAURANT AND BAR (BRT) 60% X 9632 SF = 5779 SF 5779 SF / 60 =

293

RESTAURANT AND BAR (BWK)

390 SPACES

0 SPACES

96 SPACES

285

0 SPACES

PROVIDED PARKING:

PARKING REDUCTION BASE ON

SHARED PARKING									
		WEEKDAY	′S	WEEK	WEEKENDS				
USE	NIGHT	DAY	EVENING	DAY	NIGHT & EVENING				
	(%) SPACES	(%) SPACES	(%) SPACES	(%) SPACES	(%) SPACES				
RESIDENTIAL	⁽¹⁰⁰⁾ 282	⁽⁶⁰⁾ 169	⁽⁹⁰⁾ 254	⁽⁸⁰⁾ 226	⁽⁹⁰⁾ 254				
COMMERIAL	(5) 1	⁽⁹⁰⁾ 11	⁽⁷⁰⁾ 8	⁽¹⁰⁰⁾ 11	⁽⁷⁰⁾ 8				
RESTAURANT	⁽¹⁰⁾ 10	⁽⁵⁰⁾ 48	⁽¹⁰⁰⁾ 96	⁽⁵⁰⁾ 48	⁽¹⁰⁰⁾ 96				
				1					

PROVIDED 358 SPACES (INCLD. 8 HC SPACES)

228

358

LOADING: REQUIRED PROPOSED COMMERCIAL AREA 2 SPACES (21,573 SF) 2 SPACES MULTIFAMILY 3 SPACES (282 UNITS) 3 SPACES TOTAL 5 SPACES 5 SPACES

BICYCLE RACKS:

20 RACKS SITE 2 7 RACKS SITE 3

TOTAL 27 RACKS ALLOWED DENSITY:

BASED ON SENATE BILL 102 84.6 UNITS PER ACRE DENSITY WITHIN THE MUNICIPALITY

PROPOSED

SIAN OCEAN RESIDENCES C-1 4000 S. OCEAN DR.

221 CONDO UNITS GROSS LOT AREA APPROX. - 103,924.4 SF (2.38 AC) APPROX. DENSITY - 93 UNITS /AC

THE CIRC ND-1 1740-1776 POLK STREET 441 CONDO UNITS APPROX DENSITY - 92 LINITS /AC

BUILDING SUMMARY

BUILDING HEIGHT:

RENTAL UNITS

BOILDING TILIGITI.					
SITE 1		HT WITHIN A MILE ITAVILLE 183'—8"	RADIUS	183'-0	" (17 stories)
SITE 2		HT WITHIN A MILE ITAVILLE 183'—8"	RADIUS	105'-	0" (7 stories) <u>1</u>
SITE 3	40'-0"			25'-0	" (2 stories)
DWELLING UNIT SIZE:					
	MIN. REQ.	MIN. PROV.	CUM. AVG.	REQ.	CUM. AVG. PROV.

519 SF

PROPOSED

811 SF

750 SF

BUILDING AREA: SEE SHEET SP-3 FOR BUILDING AREA DATA

ALLOWED

	RESIDENTIAL	interior	garage	deck/ bal.	total
restaurant/ retail/ lobby	1ST FLOOR	34114	_	4765	
restaurant/ afford. units	2ND FLOOR	19959		9663	
affordable units	3RD FLOOR	22543		2587	
affordable units	4TH FLOOR	22543		2587	
affordable units	5TH FLOOR	22543		2587	
market rate units	6TH FLOOR	16960		13793	
market rate units	7TH FLOOR	15796		3241	
market rate units	8TH FLOOR	15796		3241	
market rate units	9TH FLOOR	15796		3241	
market rate units	10TH FLOOR	15796		3241	
market rate units	11TH FLOOR	15796		3241	
market rate units	12TH FLOOR	15796		3241	
market rate units	13TH FLOOR	15796		3241	
market rate units	14TH FLOOR	15796		3241	
market rate units	15TH FLOOR	15796		3241	
market rate units	16TH FLOOR	15796		3241	
market rate units	17TH FLOOR	15504		4946	

						\triangle
SITE 2 - GARAGE	AND RETAIL	interior	garage	deck/ bal./ st.	total	
garage/ retail	1ST FLOOR	5464	14931	1963		
garage	2ND FLOOR	1516	14935	280		
garage	3RD FLOOR	4447	14042	432		
garage	4TH FLOOR	4447	14042	432		
garage	5TH FLOOR	4447	14042	432		
garage	6TH FLOOR	4447	14042	432		
garage	7TH FLOOR	4447	14042	432		
garage	ROOF			280		
	TOTAL AREA	29,215 SF	100,076 SF	4,683 SF	133,974	+ SF

SITE 3 - BEACH CLU	R				1
SITE S BETTOIT SES		interior	garage	deck/ bal.	total
bar	1ST FLOOR	5244	_	2885	
restaurant/ lounge	2ND FLOOR	5820		2235	
lobby/ pool/ pool deck	ROOF DECK	972		6416	
	TOTAL AREA	12,036 SF	_	11,536 SF	23,572 SF

LEGAL DESCRIPTION

LAND DESCRIPTION:

INTERIOR

ALL OF BLOCK 9, LESS THE WEST 12.8 FEET THEREOF FOR RIGHT—OF—WAY, "HOLLYWOOD BEACH FIRST ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

LOTS 9 AND 10, BLOCK 10 OF "HOLLYWOOD BEACH FIRST ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LOTS 13, 14 AND 15, BLOCK 10, OF HOLLYWOOD BEACH FIRST ADDITION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 31, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS PORTION OF SAID LOTS FOR ROAD RIGHT OF WAY PER RIGHT OF WAY MAP 12-13 BROWARD COUNTY, LESS ADDITIONAL PORTION OF LOT 14, BLOCK 10 FOR ROAD RIGHT OF WAY PER MISCELLANEOUS MAP 8-197 BROWARD COUNTY.

TOGETHER WITH:

LOTS 18 AND 19, BLOCK 10 OF "HOLLYWOOD BEACH FIRST ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

LOT 17, BLOCK 10 OF "HOLLYWOOD BEACH FIRST ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

LOT 16, BLOCK 10 OF "HOLLYWOOD BEACH FIRST ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SINGLE VEHICLE SPACES	2		
SINGLE HC VEHICLE SPACES	8	INCLUDING 2 ACC	ESS. VAN SPACES
(174) TWO CAR LIFT	348 SP/	ACES	
TOTAL NUMBER OF PARKING SP	ACES		358 SPACES
PROVIDED ELECTRIC CHARGING STATIC	ONS		
SINGLE VEHICLE SPACES	2 SIN	GLE CHARGERS	
TWO VEHICLE SPACES (LIFTS)	6 DOL	JBLE CHARGERS	
TOTAL CHARGING POINTS			14 CHARGING P
PROVIDED LOADING SPACES			
COMMERCIAL AREA	3 SP/	ACES	
MULTI-FAMILY UNITS	2 SP/	ACES	
TOTAL LOADING SPACES			5 SPACES
PROVIDED BIKE RACKS			
SITE 2	20		
SITE 3	7		
TOTAL BIKE RACKS			27 RACKS

PUBLIC STREET P	ARKING SPACES						
		EXISTING		MODIFIED		DIFFERENTIAL	
		TYPICAL	НС	TYPICAL	НС		
OKI ALIOMA CT	SOUTH SIDE	7	1	7	1		
OKLAHOMA ST	NORTH SIDE	11		13		+2	
McKINLEY ST	SOUTH SIDE	8	1	12	1	+4	
MCKINEL 1 31	NORTH SIDE	4		6		+2	
NEBRASKA ST	SOUTH SIDE	0		0		0	
	NORTH SIDE	0		0		0	
ADDED PUBLIC PARKING SPACES BASED ON STREET MODIFICATION							

GREEN BUILDING PRACTICES FROM CITY OF HOLLYWOOD ORDINANCE *0-2015-06

§151.158 LARGE DEVELOPMENTS

NEW CONSTRUCTION OF A STAND-ALONE BUILDING (OTHER THAN SINGLE FAMILY DETACHED DWELLING OR DUPLEX) WITH MORE THAN 20,000 SQUARE FEET OF TOTAL FLOOR AREA SHALL BE CERTIFIED UNDER THE LATEST APPLICABLE VERSION OF THE 'LEED' GREEN BUILDING RATING SYSTEM OF THE USGBC OR UNDER ANOTHER RECOGNIZED CERTIFICATION PROGRAM APPROVED BY THE CITY MANAGER OF HIS/HER DISGNEE AND SHALL COMPLY WITH THE FLORIDA BUILDING

AS PER NATIONAL GREEN BUILDING CERTIFICATION (NGBC) AND SHOULD INCLUDE AS FOLLOWS, BUT NOT LIMITED TO:

- ENERGY EFFICIENCY 5% OVER FLORIDA BUILDING CODE
- ENERGY STAR CERTIFIED COOL ROOF
- LIGHT POLLUTION CONTROL
- ELECTRIC CAR CHARGING INFRASTRUCTURE
- USE OF REGIONAL AND RECYCLED MATERIALS
- MOISTURE CONTROL MEASURES
- ENERGY STAR APPLIANCES & LIGHTING
- ENERGY EFFICIENT HYAC SYSTEM DESIGN AND
- BUILDING ENVELOPE
- WATER-EFFICIENT FIXTURES
- 10. PROGRAMMABLE THERMOSTATS

ADDITIONAL PRACTICES

- 8' REINFORCED CONCRETE ROOF STRUCTURE
- PERMEABLE CONCRETE DRIVEWAY AND WALKWAYS
- ELECTRICAL AND MECHANICAL ROOMS OUTSIDE OF AIR CONDITIONED SPACES.
- DEEP OVERHANGS AT ROOF AND BALCONY LEVELS
- 5. RECYCLE WASTE MATERIAL FROM DEMOLITION AND
- CONSTRUCTION TO THE GREATEST EXTENT POSSIBLE.
- 6. USE LOW YOC MATERIALS.

₂ GREEN ORDINANCE

HIGHER

WHICHEVER IS

HIGHER

CLASSIFICATION OF STRUCTURE IN FLOOD HAZARD AREA:

FLOOD ZONE: A ZONE

PER ASCE 24-Ø5:

CATEGORY I STRUCTURE CATEGORY +10.00' N.A.V.D ELEVATION BELOW WHICH FLOOD-BFE +1 OR DFE DAMAGE-RESISTANT MATERIALS WHICHEVER IS SHALL BE USED (TABLE 5-1) HIGHER MINIMUN ELEVATION OF UTILITIES BFE +1 OR DFE +10.00' N.A.V.D. AND EQUIPTMENT WHICHEVER IS

CLASSIFICATION OF STRUCTURE IN FLOOD HAZARD AREA:

SITE 2 FLOOD ZONE: A ZONE PER ASCE 24-05:

AND EQUIPTMENT

(TABLE 7-1)

(TABLE 7-1)

STRUCTURE CATEGORY CATEGORY II +7.00' N.A.V.D. BFE +1 OR DFE ELEVATION BELOW WHICH FLOOD -DAMAGE-RESISTANT MATERIALS WHICHEVER IS HIGHER SHALL BE USED (TABLE 5-1) MINIMUN ELEVATION OF UTILITIES BFE +1 OR DFE +7.00' N.A.V.D.

CLASSIFICATION OF STRUCTURE IN FLOOD HAZARD AREA: SITE 3

FLOOD ZONE: Y ZONE PER ASCE 24-05:

STRUCTURE CATEGORY CATEGORY I +12.00' N.A.V.D BFE +1 OR DFE ELEVATION BELOW WHICH FLOOD -DAMAGE-RESISTANT MATERIALS WHICHEVER IS SHALL BE USED (TABLE 5-1) HIGHER MINIMUN ELEVATION OF UTILITIES BFE +1 OR DFE +12.00' N.A.V.D. AND EQUIPTMENT WHICHEVER IS (TABLE 7-1) HIGHER

NOT WITHSTANDING INFORMATION PROVIDED HEREIN, ALL WORK PERFORMED BY THE G.C. AND THE SUB-CONTRACTORS, UNDER THIS SET OF CONSTRUCTION DOCUMENTS AND BUILDING PERMIT, MUST BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FLORIDA BUILDING CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION LIFE SAFETY CODE 101, THE FLORIDA FIRE PREVENTION CODES, AND ALL OTHER CODES AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT.

PARKING TABLE

3 FEMA BFE



Kaller Architecture AA# 26001212 2417 Hollywood Blvd

oseph@kallerarchitects.com www.kallerarchitects.com

Hollywood Florida 33020

954.920.5746



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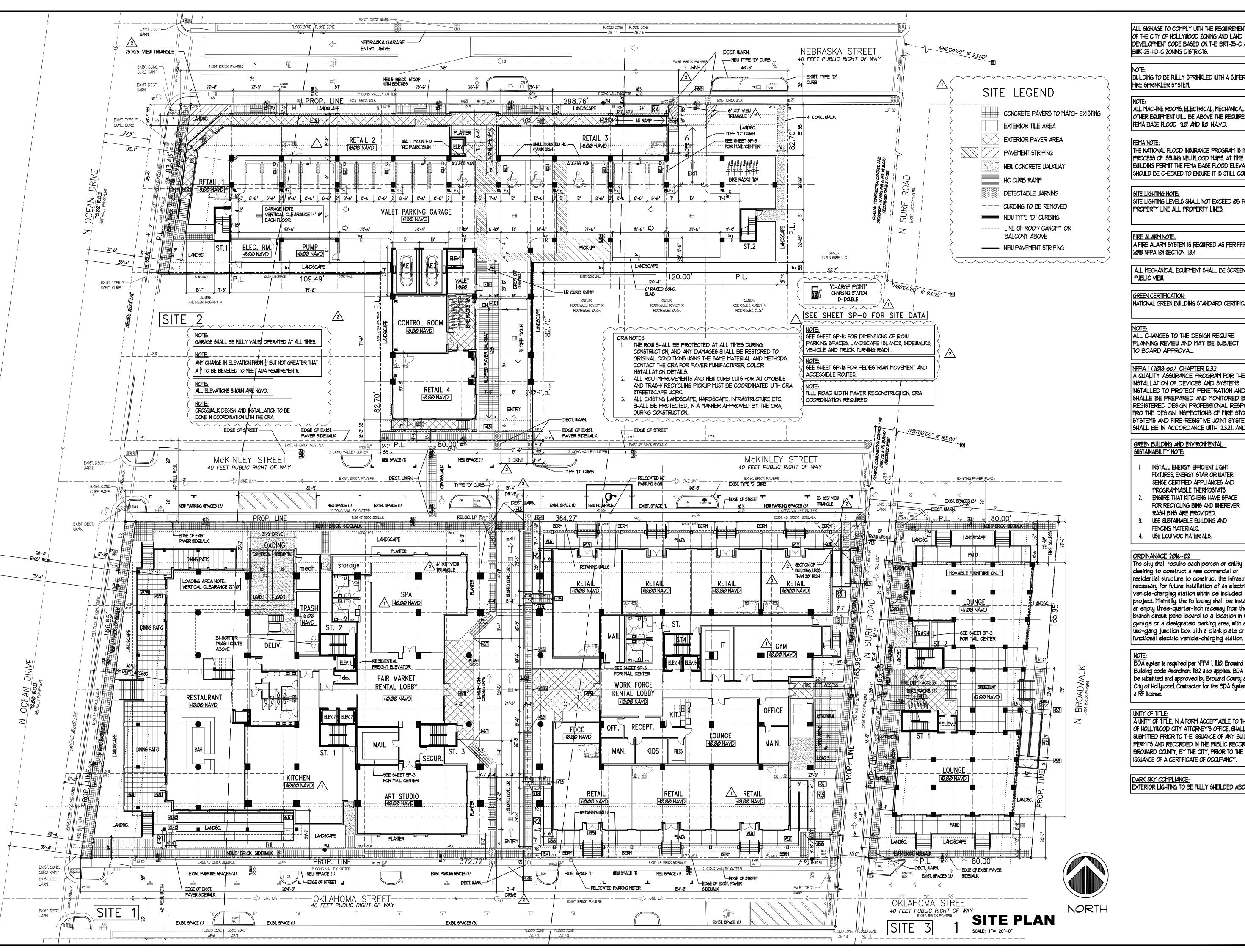
1 10-2-23 PRELIM. TAC 4-2-24 FINAL TAC

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SHEET

SHEET 1 OF 8



ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C AND IBUK-25-HD-C ZONING DISTRICTS.

BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED

ALL MACHINE ROOMS, ELECTRICAL, MECHANICAL AND OTHER EQUIPMENT WILL BE ABOVE THE REQUIRED FEMA BASE FLOOD 9.0' AND 11.0' N.A.Y.D.

THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT

SITE LIGHTING NOTE: SITE LIGHTING LEVELS SHALL NOT EXCEED 05 FC AT THE PROPERTY LINE ALL PROPERTY LINES.

FIRE ALARM NOTE: A FIRE ALARM SYSTEM IS REQUIRED AS PER FF.P.C.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM

GREEN CERTIFICATION: NATIONAL GREEN BUILDING STANDARD CERTIFICATION

NFPA I (2018 ed) CHAPTER 12.3.2

FENCING MATERIALS. USE LOW YOC MATERIALS.

ORDINANACE 2016-02 The city shall require each person or entity desiring to construct a new commercial or residential structure to construct the infrastructure necessary for future installation of an electric vehicle-charging station within be included in such project. Minimally, the following shall be installed: an empty three-quarter-inch raceway from the branch circuit panel board to a location in the garage or a designated parking area, with a two-gang junction box with a blank plate or a fully

BDA system is required per NFPA 1, 11.10. Broward County Building code Amendment 1182 also applies. BDA Plans to be submitted and approved by Broward County and the City of Hollywood. Contractor for the BDA System to have

A UNITY OF TITLE, IN A FORM ACCEPTABLE TO THE CITY OF HOLLYWOOD CITY ATTORNEY'S OFFICE, SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS AND RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, BY THE CITY, PRIOR TO THE

DARK SKY COMPLIANCE: EXTERIOR LIGHTING TO BE FULLY SHEILDED ABOVE.

Kaller Architecture

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www.kallerarchitects.com



JOSEPH B. KALLER FLORIDA R.A. # 0009239

ALL CHANGES TO THE DESIGN REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALLE BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FRO THE DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 1232.1. AND 12322

GREEN BUILDING AND ENVIRONMENTAL

- INSTALL ENERGY EFFICIENT LIGHT FIXTURES, ENERGY STAR OR WATER SENSE CERTIFIED APPLIANCES AND
- PROGRAMMABLE THERMOSTATS. ENSURE THAT KITCHENS HAVE SPACE FOR RECYCLING BINS AND WHEREVER
- RASH BINS ARE PROVIDED. USE SUSTAINABLE BUILDING AND

REVISIONS No. DATE DESCRIPTION

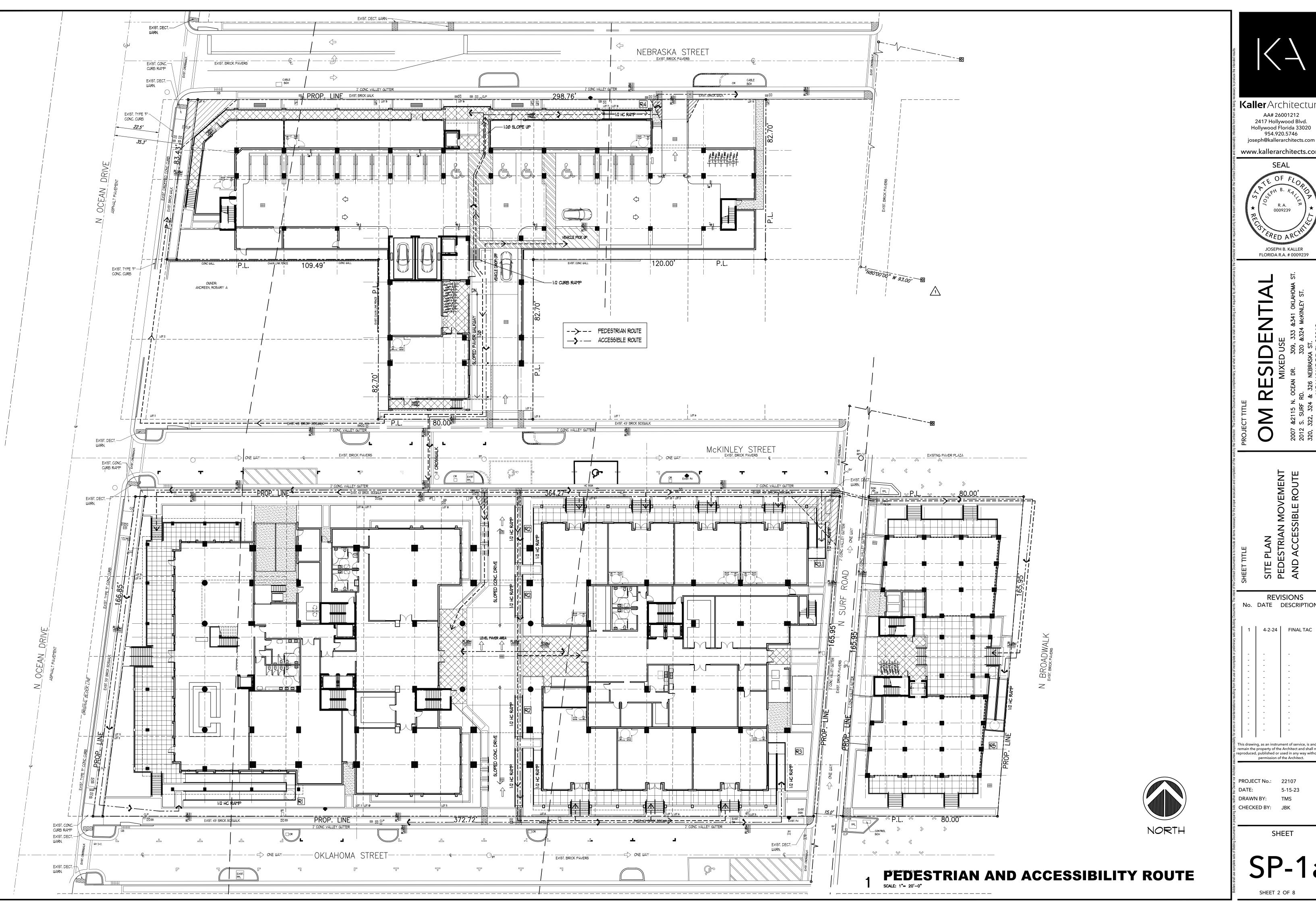
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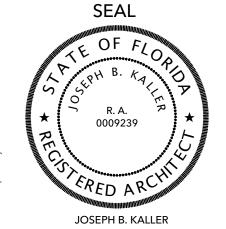
SHEET 2 OF 8





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FLORIDA R.A. # 0009239

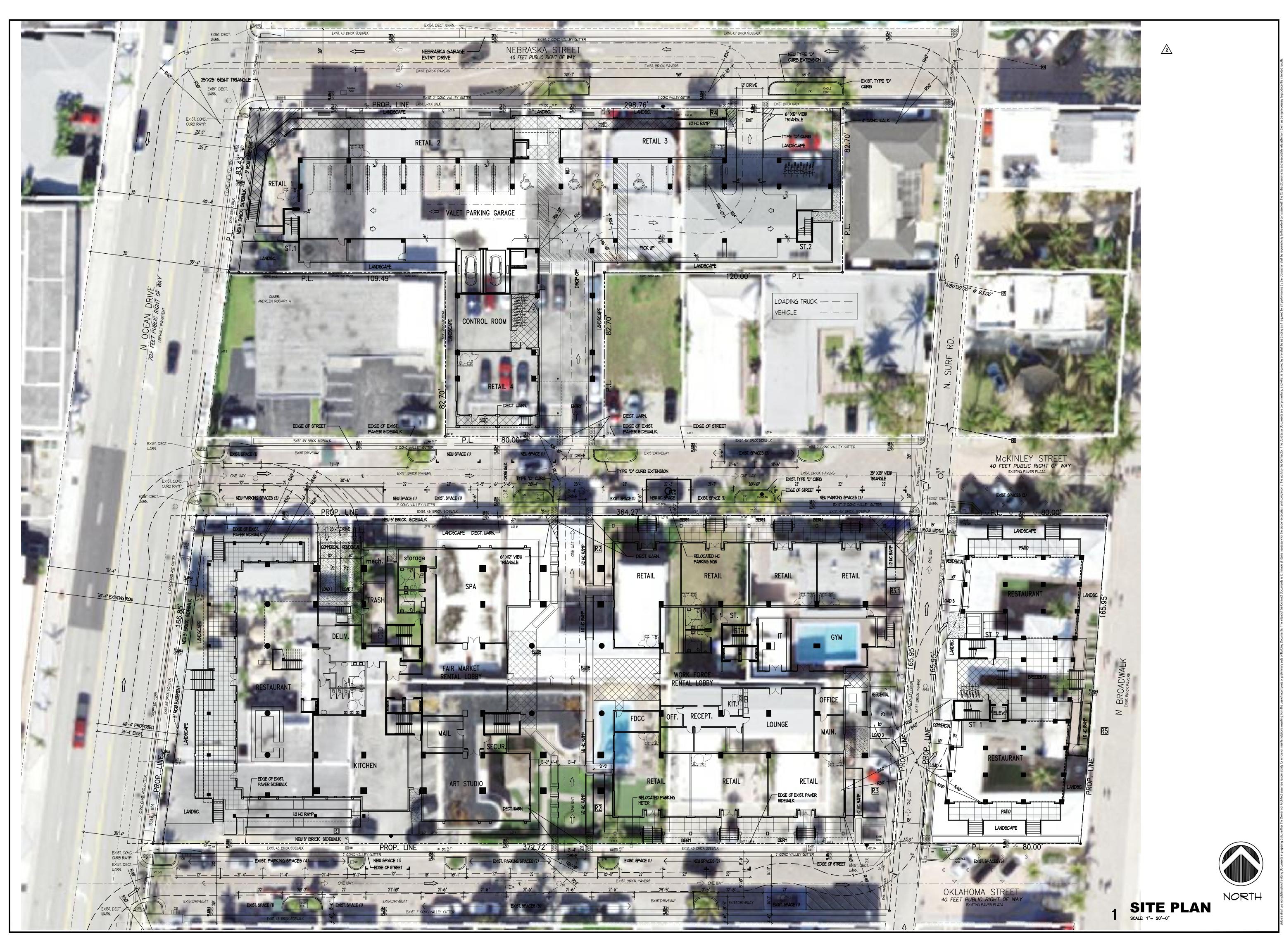
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www.kallerarchitects.com

JOSEPH B. KALLER FLORIDA R.A. # 0009239

REVISIONS

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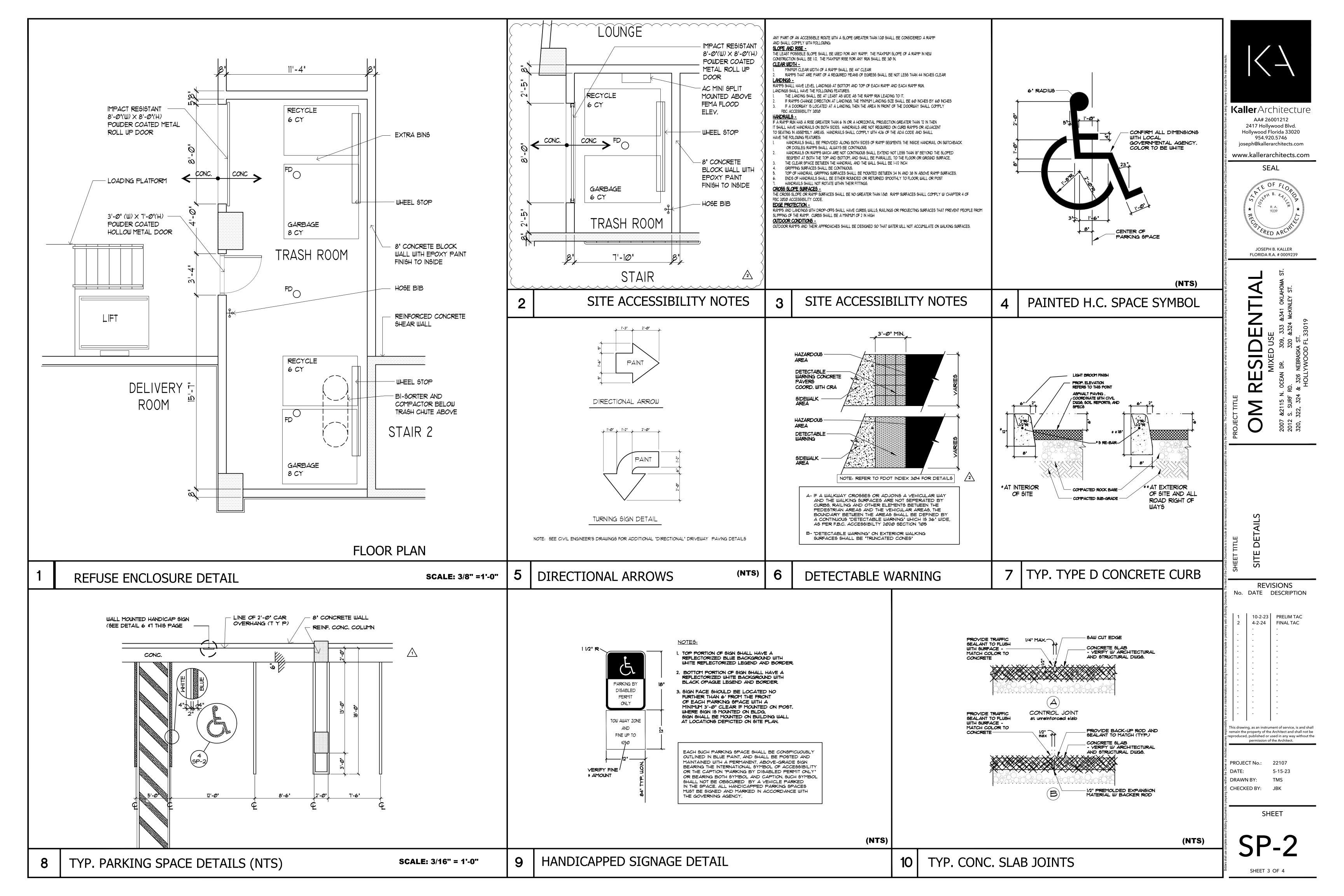
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SHEET

SP-1b

SHEET 2 OF 8



SITE 1

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SITE 2

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2ND FL	ELEVATOR LOBBY GARAGE STAIRWELLS ELEVATORS UTILITY AND STORAGE PATIO/ DECKS AND BALCONIES ELEVATOR LOBBY GARAGE STAIRWELLS ELEVATORS ACTIVE LINER ELEVATOR LOBBY GARAGE STAIRWELLS	253 67 643	280 806 646 1683 14935 280		
-	STAIRWELLS ELEVATORS UTILITY AND STORAGE PATIO/ DECKS AND BALCONIES ELEVATOR LOBBY GARAGE STAIRWELLS ELEVATORS ACTIVE LINER ELEVATOR LOBBY GARAGE STAIRWELLS	67	280 806 646 1683 14935 280		
-	ELEVATORS UTILITY AND STORAGE PATIO/ DECKS AND BALCONIES ELEVATOR LOBBY GARAGE STAIRWELLS ELEVATORS ACTIVE LINER ELEVATOR LOBBY GARAGE STAIRWELLS	643	280 806 646 1683 14935 280	710	16021
-	UTILITY AND STORAGE PATIO/ DECKS AND BALCONIES ELEVATOR LOBBY GARAGE STAIRWELLS ELEVATORS ACTIVE LINER ELEVATOR LOBBY GARAGE STAIRWELLS	643	646 1683 14935 280	710	16021
-	PATIO / DECKS AND BALCONIES ELEVATOR LOBBY GARAGE STAIRWELLS ELEVATORS ACTIVE LINER ELEVATOR LOBBY GARAGE STAIRWELLS	643	646 1683 14935 280	710	16021
-	PATIO / DECKS AND BALCONIES ELEVATOR LOBBY GARAGE STAIRWELLS ELEVATORS ACTIVE LINER ELEVATOR LOBBY GARAGE STAIRWELLS	643	14935 280	710	16021
-	GARAGE STAIRWELLS ELEVATORS ACTIVE LINER ELEVATOR LOBBY GARAGE STAIRWELLS	643	280	710	16021
-	STAIRWELLS ELEVATORS ACTIVE LINER ELEVATOR LOBBY GARAGE STAIRWELLS		280	710	16021
-	STAIRWELLS ELEVATORS ACTIVE LINER ELEVATOR LOBBY GARAGE STAIRWELLS		280		
3RD FL	ELEVATORS ACTIVE LINER ELEVATOR LOBBY GARAGE STAIRWELLS				
3RD FL	ACTIVE LINER ELEVATOR LOBBY GARAGE STAIRWELLS				
3RD FL	ELEVATOR LOBBY GARAGE STAIRWELLS		 		
3RD FL	GARAGE STAIRWELLS				
-	STAIRWELLS		14042	3641	15280
-			280		
ļ	FIEVAIURO		806		
-	ACTIVE LINER	3574	000		
	BALCONY	0071	152		
	ELEVATOR LOBBY	67	102		
4TH FL	GARAGE	0,	14042	3641	15280
~''''	STAIRWELLS		280		10200
F	ELEVATORS		806		
F	ACTIVE LINER	3574	800		
H	BALCONY	3374	152		
	ELEVATOR LOBBY	67	102		
5TH FL	GARAGE	07	14042	3641	15280
~~~ }	STAIRWELLS				10200
-	ELEVATORS		280 806		
-	ACTIVE LINER	3654	800		
F	BALCONY	3034	152		
-		67	102		
6TH FL	ELEVATOR LOBBY	67	14040	3641	15280
010 1	GARAGE		14042	3041	13280
H	STAIRWELLS ELEVATORS		280		
F	ACTIVE LINER	7574	806		
H		3574	150		
	BALCONY	67	152		
<b>7</b> 71, C, F	ELEVATOR LOBBY	67	4.42.42	76 44	15000
7TH FL	GARAGE		14042	3641	15280
-	STAIRWELLS		280		
	ELEVATORS ACTIVE LINER	3531	806		
<u> </u>	ACTIVE LINER	3574	450		
	BALCONY		152		
ROOF	STAIRWELLS		280		280
				22,927	111,047

#### SITE 3

	SPACE	AF	REA	GROSS	AREA
		AC	NON AC	AC	NON AC
	LOUNGE	4660			
1ST FL	STAIRWELLS		381	4778	3352
	ELEVATORS		86		
	AC   NON AC   AC   NON AC				
	PATIO/ DECKS AND BALCONIES		2885		
	RESTAURANT AND BAR	5034			
2ND FL	STAIRWELLS		381	5354	2702
	ELEVATORS		86		
	RESTROOMS	320			
	PATIO/ DECKS AND BALCONIES		2235		
	ELEVATOR LOBBY/ RESTROOMS	505			
3RD FL	STAIRWELLS		381	505	6881
	ELEVATORS		86		
	POOL/ POOL DECK		6414		
	_			10,637	12,935
TOTAL				23,57	2 SF

# Visit us at: www.mailboxes.com **18"** 30-1/2" 16 3/4" 48 1/4" 62" 3306 TYPE VI CBU PEDESTAL BASE BOLT PATTERN (INCLUDES PEDESTAL) MODEL #3306

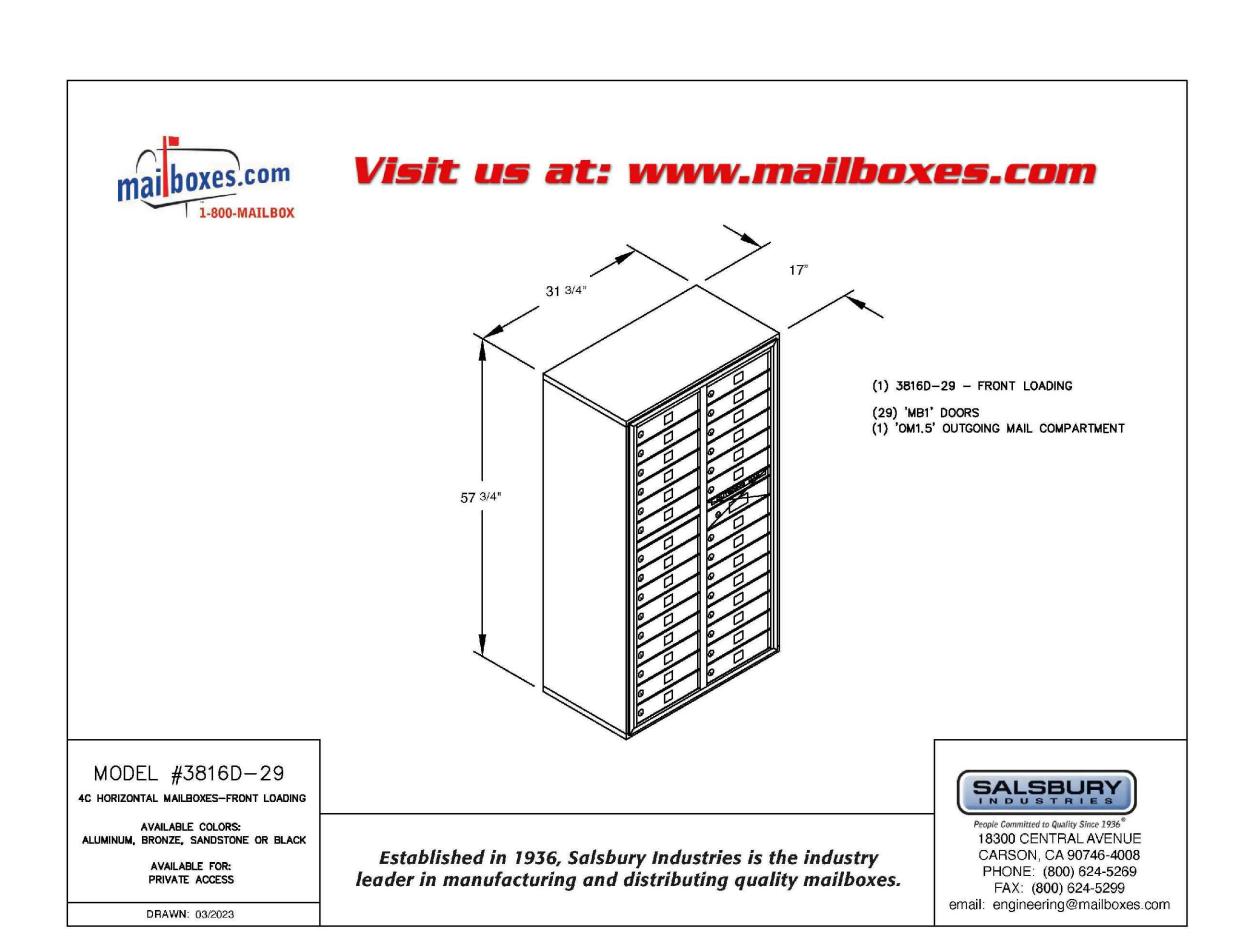
#### **COMMERCIAL MAIL BOXES**

**CLUSTER BOX UNIT** (F SERIES)

AVAILABLE COLORS: SANDSTONE, BRONZE, GREEN, BLACK, WHITE

OR GRAY (FOR REPLACEMENT UNITS) USPS ACCESS OR PRIVATE ACCESS

DRAWN: 8/2020



Established in 1936, Salsbury Industries is the industry leader in manufacturing and distributing quality mailboxes.

**BUILDING DATA** 

RESIDENTIAL MAIL BOXES

2 MAIL CENTERS
SCALE: NTS

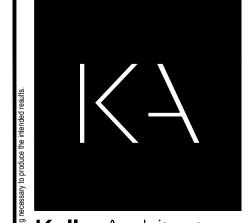
47 3/8"

SALSBURY

18300 CENTRAL AVENUE CARSON, CA 90746-4008

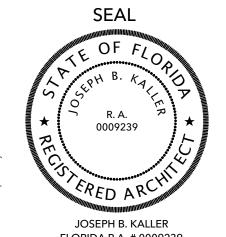
PHONE: (800) 624-5269 FAX: (800) 624-5299 email: engineering@mailboxes.com

61 1/2"



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**BUILDING DATA** 

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10-2-23 PRELIM TAC 4-2-24 FINAL TAC

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SHEET 4 OF 8

#### AFFORDABLE RENTAL UNITS

		RENTAL	1			
LOCATION	UNIT	UNIT TYPE	AR	EA	NET	AREA
	#	HOTEL RM	AC	TERRACE / BALCONY	AC	BALCON
	201	STUDIO	522			
	202	1 BED	795			
	203	STUDIO	524	43.5		
2ND	204	STUDIO	524	43.5	12041	471
FLOOR	205	1 BED				
RENTAL UNITS	206	STUDIO				
ONTS	207 208	1 BED STUDIO				
	208	STUDIO				
	210	STUDIO				
	211	STUDIO	522			
	212	STUDIO	503	84		
	213	STUDIO	503	84		
	214	1 BED	654			
	215	STUDIO				
	216	STUDIO				
	217 218	STUDIO STUDIO				
	219	STUDIO				
	220	STUDIO	<b>†</b>			
	221	2 BED		168		
	301	STUDIO				
	302	1 BED	1	129		
	303	STUDIO	524	43.5		
	304	STUDIO	AC TERRACE/ BALCONY AC BALCON    522			
3RD	305	1 BED		129	18728	2587
FLOOR	306	STUDIO	519			
	307	1 BED				
	308	STUDIO	562	84		
	309	STUDIO		84		
	310	STUDIO	<del>                                     </del>			
	311 312	STUDIO		94		
	313	STUDIO				
		STUDIO		84		
	314 315	1 BED	<b>+</b>	0.7		
	316	STUDIO STUDIO	1			
	317	STUDIO				
	318	1 BED				
	319	STUDIO				
	320	STUDIO	524			
	321	1 BED	795	129		
	322	STUDIO	661	183		
	323	STUDIO	563	201		
	324	STUDIO		97		
	325	STUDIO				
	326	STUDIO				
	327	2 BED		168		
	328	STUDIO				
	329 330	STUDIO STUDIO		97		
	331	STUDIO				
	401	STUDIO		201		
	402	1 BED		129		
	403	STUDIO				
	404	STUDIO	+			
4TH	405	1 BED			18728	2587
FLOOR	406	STUDIO	1			
	407	1 BED		133		
	408	STUDIO	562	84		
	409	STUDIO	560	84		
	410	STUDIO				
	411	STUDIO		0.4		
	412	STUDIO				
	413 414	STUDIO		84		
	415	1 BED		0.7		
	416	STUDIO STUDIO				
	417	STUDIO				
	418	1 BED				
	419	STUDIO				
	420	STUDIO				
	421	1 BED	795			
	422	STUDIO	661	183		
	423	STUDIO	563	201		
	424	STUDIO	560	97		
	425	STUDIO	560			
	426	STUDIO	522	122		
	427	2 BED	975	168		
	428	STUDIO STUDIO	522 560			
	429 430	STUDIO	560	97		
	431	STUDIO	563	201		
<u> </u>		I SIMPIC	1 202	201		

#### AFFORDABLE RENTAL UNITS cont'd

LOCATION	UNIT	UNIT TYPE	AR	EA	NET	AREA
	#	HOTEL RM	AC	TERRACE/ BALCONY	AC	BALCONY
	501	STUDIO	522			
	502	1 BED	795	129		
	403	STUDIO	524	43.5		
	404	STUDIO	524	43.5		
5TH	405	1 BED	795	129	18728	2587
FLOOR	406	STUDIO	519			
	407	1 BED	717	133		
	408	STUDIO	562	84		
	409	STUDIO	560	84		
	410	STUDIO	560			
	411	STUDIO	522			
	412	STUDIO	503	84		
	413	STUDIO	503	84		
	414	1 BED	654			
	415	STUDIO	560	97		
	416	STUDIO	563	201		
	417	STUDIO	661	183		
	418	1 BED	795	129		
	419	STUDIO	524	43.5		
	420	STUDIO	524	43.5		
	421	1 BED	795	129		
	422	STUDIO	661	183		
	423	STUDIO	563	201		
	424	STUDIO	560	97		
	425	STUDIO	560			
	426	STUDIO	522			
	427	2 BED	975	168		
	428	STUDIO	522			
	429	STUDIO	560			
	430	STUDIO	560	97		
	431	STUDIO	563	201		
TOTAL NET A	AREA				68,225	8,232

	-	-	-	-		-	-	-	-			-	-		-
ΝL	JM	IBF	R		)F	U	NI	TS	`	PF	R	F	I (	$\cap$	₹

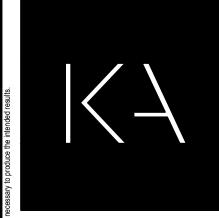
FLOOR	UNIT TYPE	NUMBER OF UNITS	TOTAL
1ST	NOT APPLICABLE	0	
2ND	WORK FORCE	21	114
3RD		31	
4TH		31	
5TH	<b>→</b>	31	
6TH	FREE MARKET	10	
7TH	1	15	168
8TH		15	
9TH		15	
10TH		15	
11TH		15	
12TH		15	
13TH		15	
14TH		15	
15TH		15	
16TH		15	
17TH	<b>↓</b>	8	
TOTAL			282

#### MARKET RATE RENTAL UNITS

LOCATION	UNIT	UNIT TYPE	AR	EA	NET	AREA
	#	HOTEL RM	AC	TERRACE/ BALCONY	AC	BALCON
	601	STUDIO	681	225		
	602	1 BED-DEN	757	300		
	603	1 BED	711			
	604	2 BED	1110	436.5		
6TH	605	STUDIO	580	934.5	7799	3792
FLOOR	606	STUDIO	580	934.5		
	607	2 BED	1086	436.5		
	608	1 BED	711			
	609	1 BED-DEN	757	300		
	610	1 BED-DEN	826	225		
	701	1 BED	784			
	702	1 BED-DEN	958	471		
	703	STUDIO	681	225		
77	704	1 BED-DEN	757	300	10477	70.44
7TH	705	1 BED	711	45.4	12473	3241
FLOOR	706	2 BED	1110	454		
	707	STUDIO	580	142		
	708	STUDIO	580	142		
	709	2 BED	1086	454		
	710	1 BED DEN	711	700		
	711	1 BED-DEN	757	300		
	712 713	1 BED-DEN	826	225 471		
	713	1 BED-DEN	967 784	7/1		
	714	2 BED	78 <del>4</del> 1181	528		
				J20		
	801 802	1 BED-DEN	784 958	471		
	802	1 BED-DEN STUDIO	958 681	225		
	804	1 BED-DEN	757	300		
8TH	805	1 BED	711	300	12473	3241
FLOOR	806	2 BED	1110	454	, 0	JZ71
LOOK	807	STUDIO	580	142		
	808	STUDIO	580	142		
	809	2 BED	1086	454		
	810	1 BED	711	101		
	811	1 BED-DEN	757	300		
	812	1 BED-DEN	826	225		
	813	1 BED-DEN	967	471		
	814	1 BED	784			
	815	2 BED	1181	528		
	901	1 BED	784			
	902	1 BED-DEN	958	471		
	903	1 BED-DEN	681	225		
	904	1 BED-DEN	757	300		
9TH	905	1 BED	711		12473	3241
FLOOR	906	2 BED	1110	454		
	907	STUDIO	580	142		
	908	STUDIO	580	142		
	909	2 BED	1086	454		
	910	1 BED	711			
	911	1 BED-DEN	757	300		
	912	1 BED-DEN	826	225		
	913	1 BED-DEN	967	471		
	914	1 BED	784	500		
	915	2 BED	1181	528		
	1001	1 BED DEN	784	474		
	1002	1 BED-DEN STUDIO	958 681	471		
	1003 1004	1 BED-DEN	757	225		
10TH	1004	1 BED-DEN	711	300	12473	3241
FLOOR	1005	2 BED	1110	454	127/0	UZTI
. 20011	1006	STUDIO	580	142		
	1007	STUDIO	580	142		
	1008	2 BED	1086	454		
	1010	1 BED	711	151		
	1011	1 BED-DEN	757	300		
	1012	1 BED-DEN	826	225		
	1013	1 BED-DEN	967	471		
	1014	1 BED	784			
	1015	2 BED	1811	528		<u> </u>
	1101	1 BED	784			
	1102	1 BED-DEN	958	471		
	1103	STUDIO	681	225		
	1104	1 BED-DEN	757	300		
11TH	1105	1 BED	711		12473	3241
FLOOR	1106	2 BED	1110	454		
	1107	STUDIO	580	142		
	1108	STUDIO	580	142		
	1109	2 BED	1086	454		
	1110	1 BED	711			
	1111	1 BED-DEN	757	300		
	1112	1 BED-DEN	826	225		
	1113	1 BED-DEN	967	471		
	1114	1 BED	784			
				<u> </u>		

#### MARKET RATE RENTAL UNITS cont'd.

LOCATION	UNIT #	UNIT TYPE	AC	EA TERRACE/ BALCONY	AC	ARE BA
	1201					<u> </u>
	1201	1 BED	784	474	4	
	1202	1 BED-DEN STUDIO	958	471	-	
	1203	· ·	681	225	4	
40711	1204	I BED-DEN	757	300	10477	_
12TH	1205	1 BED	711		12473	3
FLOOR	1206	2 BED	1110	454	1	
	1207	STUDIO	580	142	_	
	1208	STUDIO	580	142		
	1209	2 BED	1086	454	7	
	1210	1 BED	711		1	
	1211	I BED-DEN	757	300	1	
	1212	I BED-DEN	826	225	1	
	1213	I BED-DEN	967	471	†	
	1214	I BED	784		†	
	1215	2 BED	1181	528	†	
	1301	1 BED	784	020		
	1302	1 BED-DEN	958	471	1	
		STUDIO	<u>936</u> 681		1	
	1303 1304	I BED-DEN	757	225	4	
1 7 TI I				300	10477	,
13TH	1305	1 BED	711		12473	3
FLOOR	1306	2 BED	1110	454	4	[
	1307	STUDIO	580	142	_	[
	1308	STUDIO	580	142	_	[
	1309	2 BED	1086	454	_	[
	1310	1 BED	711			
	1311	I BED-DEN	757	300		1
	1312	I BED-DEN	826	225	1	1
	1313	I BED-DEN	967	471	1	1
	1314	I BED	784		1	1
	1315	2 BED	1181	528	1	1
	1401	1 BED	784	5.2.5	<del> </del>	
	1402	1 BED-DEN	958	471	1	
	1403	STUDIO	681	225	1	
	1404	I BED-DEN	757	300	┪	
14TH	1405	1 BED	711	300	12473	3
FLOOR	1406	2 BED	1110	454	1,	
. 200.	1407	STUDIO	580	142	+	
	1407	STUDIO		142	-	
		2 BED	580		4	
	1409	I BED	1086	454	4	
	1410		711	700	4	
	1411	I BED-DEN	757	300	4	
	1412	I BED-DEN	826	225	4	
	1413	I BED-DEN	967	471	4	
	1414	1 BED	784			
	1415	2 BED	1181	528		
	1501	1 BED	784		_	
	1502	I BED-DEN	958	471		
	1503	STUDIO	681	225		
	1504	I BED-DEN	757	300		
15TH	1505	1 BED	711		12473	3
FLOOR	1506	2 BED	1110	454	7	
	1507	STUDIO	580	142	1	
	1508	STUDIO	580	142	1	
	1509	2 BED	1086	454	1	
	1510	1 BED	711		1	
	1511	I BED-DEN	757	300	1	
	1512	I BED-DEN	826	225	1	
	1512	1 BED-DEN	967	471	1	
	1514	1 BED-DEN	<del>967</del>	1	1	
	1514	2 BED	1181	528	4	
				J20	1	$\vdash$
	1601	I BED	784	A 74	-	[
	1602	1 BED-DEN	958 681	471	4	[
	1603	STUDIO DEN	681	225	4	[
16TH	1604	I BED-DEN	757	300	10477	_
16TH	1605	1 BED	711		12473	3
FLOOR	1606	2 BED	1110	454	4	[
	1607	STUDIO	580	142	4	[
	1608	STUDIO	580	142	_	[
	1609	2 BED	1086	454	_	[
	1610	1 BED	711		_	1
	1611	I BED-DEN	757	300		[
	1612	1 BED-DEN	826	225		[
	1613	I BED-DEN	967	471	1	
	1614	I BED	784		1	
	1615	2 BED	1181	528	1	
	1701	2 BED	1331	636		
	1701	2 BED	1438	523	1	[
	1702	3 BED	1506	678	1	[
		2 BED	1449	636	4	[
	17∩⊿		ロナサゴ		12144	4
177⊔	1704		1506			. 4
17TH	1705	3 BED	1506	678	12144	
17TH FLOOR	1705 1706	3 BED 2 BED-DEN	1583	523	12144  - 	, 
	1705	3 BED			-	'



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SHEET 5 OF 8

# BENJAMIN MOORE

shark skin

babies breath





black

aqua grey





pikes peak

turquoise mist





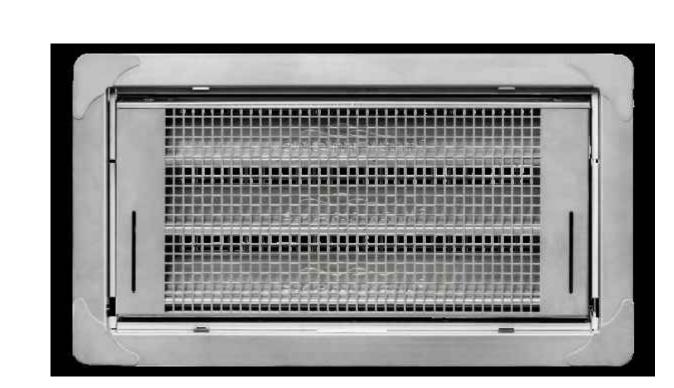
wythe tan







embossed conc. wall panels



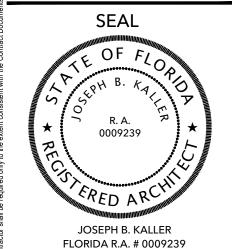
stainless steel flood vent smart vent 1540-510



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2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746

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RD. 320 &324 McKINLEN
& 326 NEBRASKA ST.

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Building of state of principles of principle

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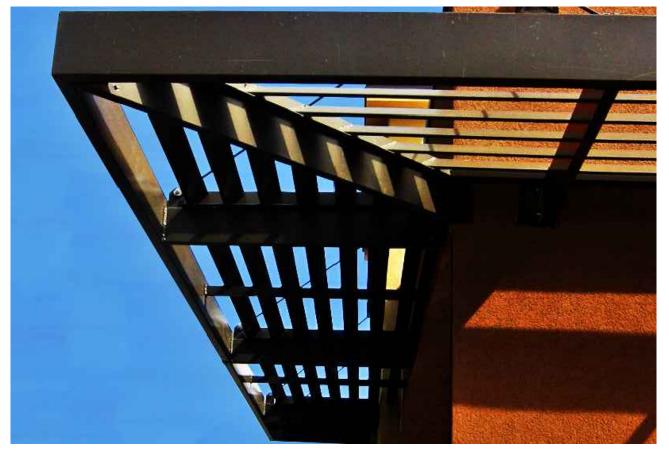
SP-5

# wood trellis





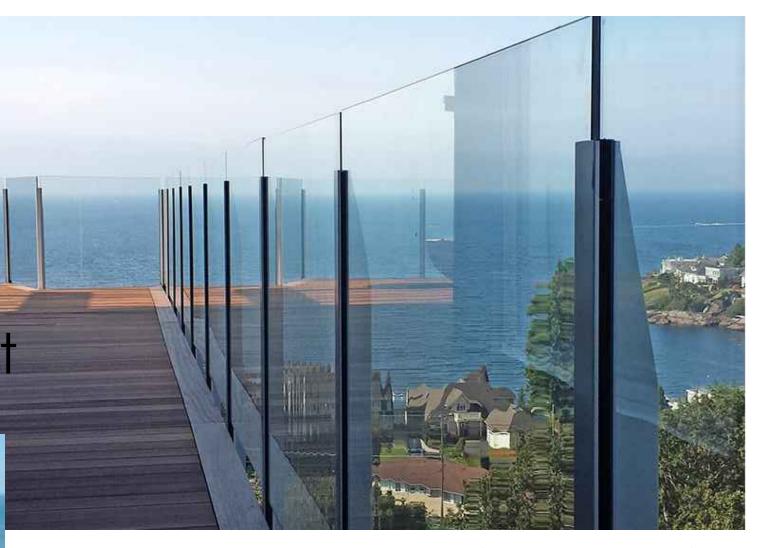
signage



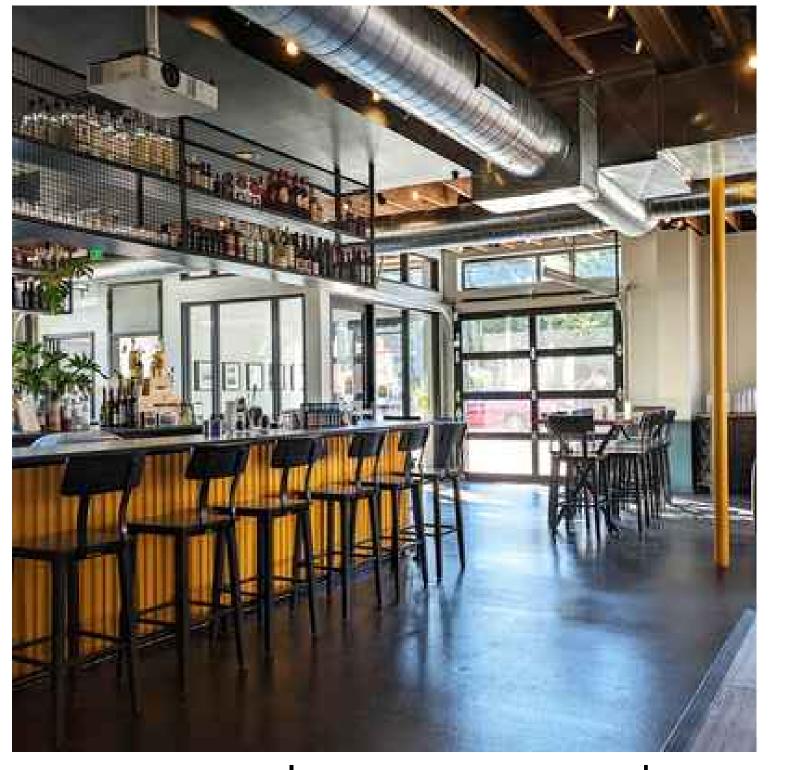
screen overhang



retail/ restaurant storefront



wind barrier



glass garage doors



garage screen



roll up grill



folding doors





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