

ATTACHMENT B
Permit History

JOB CARD

OWNER PAUL POST		JOB ADDRESS 800 South 7 Avenue	
LEGAL DESCRIPTION	LOT NUMBER 3 less south 46.25 ft. thereof, all 56.04 south lots 4 and 5	BLOCK 79	SUBDIVISION OR ADDITION Hollywood Lakes Section
MICROFILM NO. 77-0133	ARCHITECT Anthony Montagnari	FEE \$ 387.40	VALUATION \$ 117,694.00

DESCRIPTION OF CONSTRUCTION Pile and Grade Beam CBS SINGLE RESIDENCE, 3 bedrooms, 6 baths	☐ SEPTIC TANK ☒ SEWER TAP
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TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR	
BUILDING	5095	34765	7-20-76	C.E. Domes	SEWER	8487	8-5-76	Destway
ROOF	4000	36226	9-23-76	R.J. Roof	AIR/CONDITION	6908	9-23-76	Destway
ELECTRIC-BASIC	11618	8-4-76	Rossi	MECHANICAL VAC	6853	9-9-76	Destway	
ELECTRIC-SUPP.				SCREEN				
4 HB NO. FIX. PLUMBING	25	8486	8-5-76	POOL				
L-P-DRY WALL	9318	8-25-76	FRANKO	PORT VEWAY	38419	1-20-77	A. Silvestri	
FENCE				PATIO or WALK				

NOTES: 1st floor elevation = + 6.5 ft. M.S.L. (family room crown + 3.8 ft.)

** Held 6th Final for V.A.R. City Eng. To Resolve Setback Question WITH Commission, Signal 10/17 APPROVED 11/1/77*

JOB CARD

OWNER FWD. BRIAN HOMES		JOB ADDRESS 800-18-36 S 7 Ave.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO. 27-560	ARCHITECT D. E. Britt Assoc	FEE \$ 73.80	VALUATION \$ 19,500
DESCRIPTION OF CONSTRUCTION Seawall			☐ SEPTIC TANK ☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING 297	36273	12/23/76	Pool Plln.	SEPTIC/SEWER			
WCT				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIN.				POOL			
S-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: *... 12/23/76 ... 1613-13*

JOB CARD

OWNER

P. POST

JOB ADDRESS

800 S 7 Ave.

LEGAL
DESCRIPTION

LOT NUMBER

Pt 3, 4 & 5

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

VALUATION

77-0253

Anthony Montagnari

\$ 16.20

\$ 1800

DESCRIPTION OF CONSTRUCTION

Boat Dock

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	046	1/13/77	Clem Domes	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

1613-13

JOE CARD

OWNER City of Hollywood		JOB ADDRESS 800 S. 7 Ave.	
LEGAL DESCRIPTION	LOT NUMBER corner of S.S. Lake Dr.	BLOCK	SUBDIVISION OR ADDITION
M. C. P. L. N. NO.	ARCHITECT	FEE \$ No Fee	VALUATION \$ 1000.00

DESCRIPTION OF CONSTRUCTION
Remove and replace 1407 sq. ft. asphalt on S.S. Lake Dr.

- ☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC SEWER			
ROOF				AIR CONDITION			
ELECTRIC BASIN				MECHANICAL			
ELECTRIC SUPP.				SCREEN			
PLUMBING	40, FIX.			POOL			
L.P. DR. WALL				DRIVEWAY	93794	2/21/85	A. DiTocco
FENCE				PATIO or WALK			

RATES: County Surcharge: .20

2 permits were found for
800 S 7 AVE

View	<u>Process #</u>	<u>Permit #</u>	<u>Description</u>	<u>Appl. Date</u>	<u>Permit Date</u>
Details		P9601088	PLUMBING WORK		6/21/1996
Details		B9207999	RE-ROOF-METAL,TILE,WOOD SHINGLE OR SHAKE		12/4/1992

JOB CARD

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MICROFILM NO. 77-0133	ARCHITECT Anthony Montagnari	FEE \$ 387.40	VALUATION \$ 117,694.00

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ELECTRIC-SUPP.				SCREEN				
4 HB NO. FIX. PLUMBING	25	8486	8-5-76	Destway	POOL			
L-P-DRY WALL	9318	8-25-77	FRANKO	DRIVEWAY	38419	1-20-77	A. Silvestri	
FENCE				PATIO or WALK				

NOTES: 1st floor elevation = + 6.5 ft. M.S.L. (family room crown + 3.8 ft.)

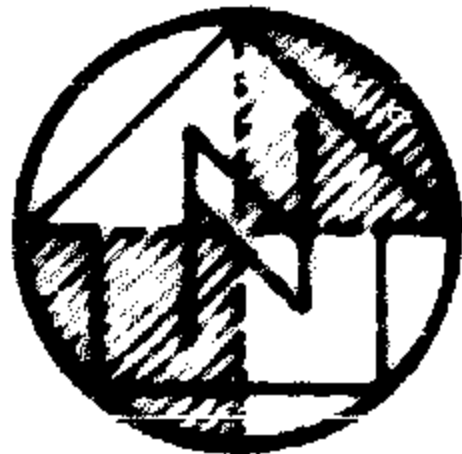
1813-13

* Held 6th Final for V.B.A. City Eng
 Also To Resolve Set back Question
 WITH Commission, Signal 1000
 APPROVED 11/1/77

SURVEY FOR :

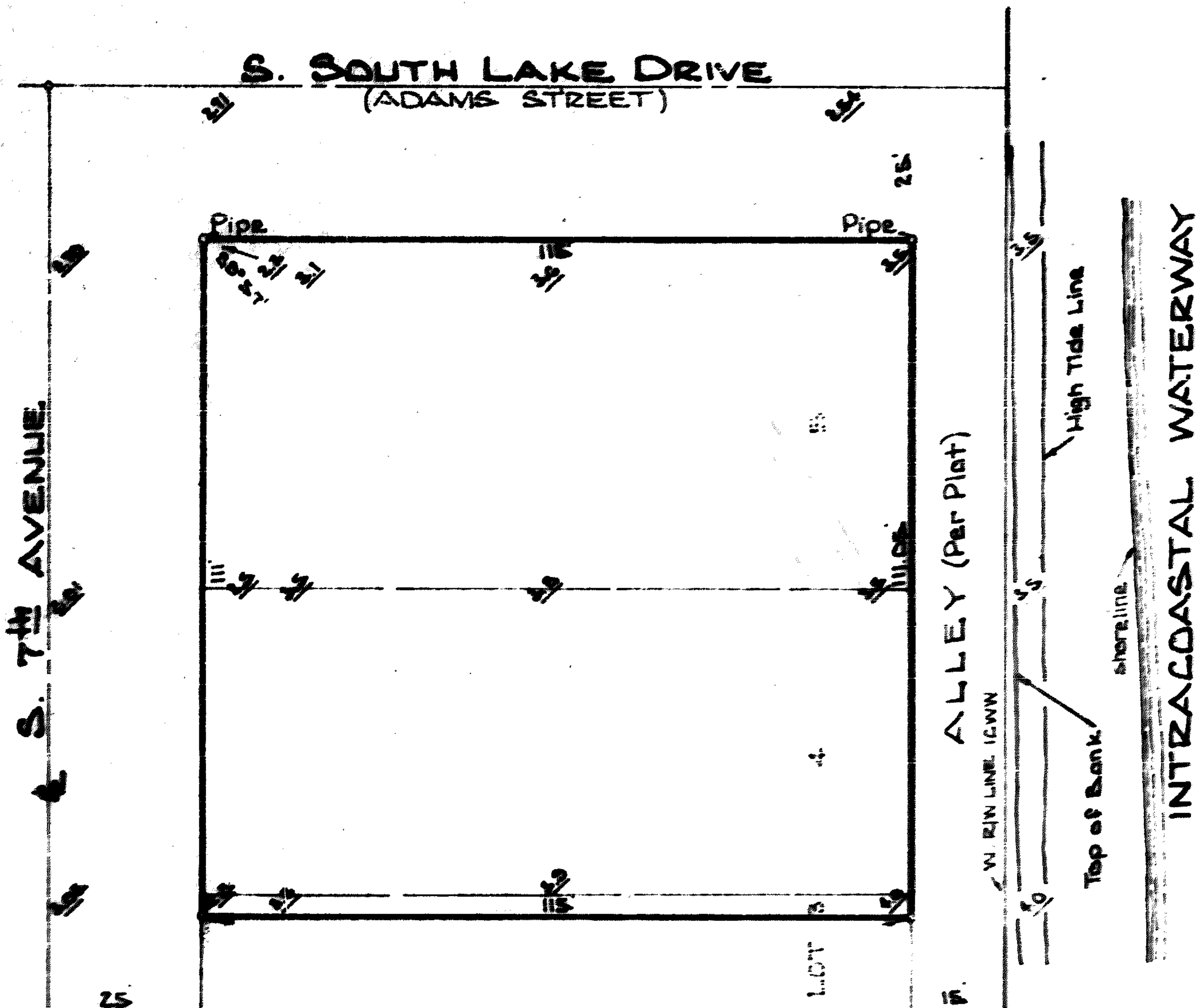
DESCRIPTION

Lot 3, less the South 46.25 feet thereof, and all of lots 4 and 5, Block 79, "HOLLYWOOD LAKES SECTION", according to plat thereof recorded in Plat Book 1, page 32, of the public records of Broward County, Florida.



SCALE:
1"=25'

Rev. Rec'd 7/19/76



Note: Elevations shown are based on
Mean Sea Level datum.

TO ALL PARTIES INTERESTED IN TITLE TO PREMISES SURVEYED:

I, MAURICE E. BERRY II, hereby certify that I have made a recent survey of the above described property as indicated, and that there are no above-ground encroachments except as shown. I further certify that the survey represented hereon meets the requirements of the Florida Land Title Association and that this plat is true and correct.

Dated at Hollywood, Broward County, Florida, this 16th day of JULY, A.D. 1976.

M. E. BERRY & ASSOCIATES
REGISTERED LAND SURVEYORS

2612 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33024

P. O. BOX 945
PHONE 923-6888

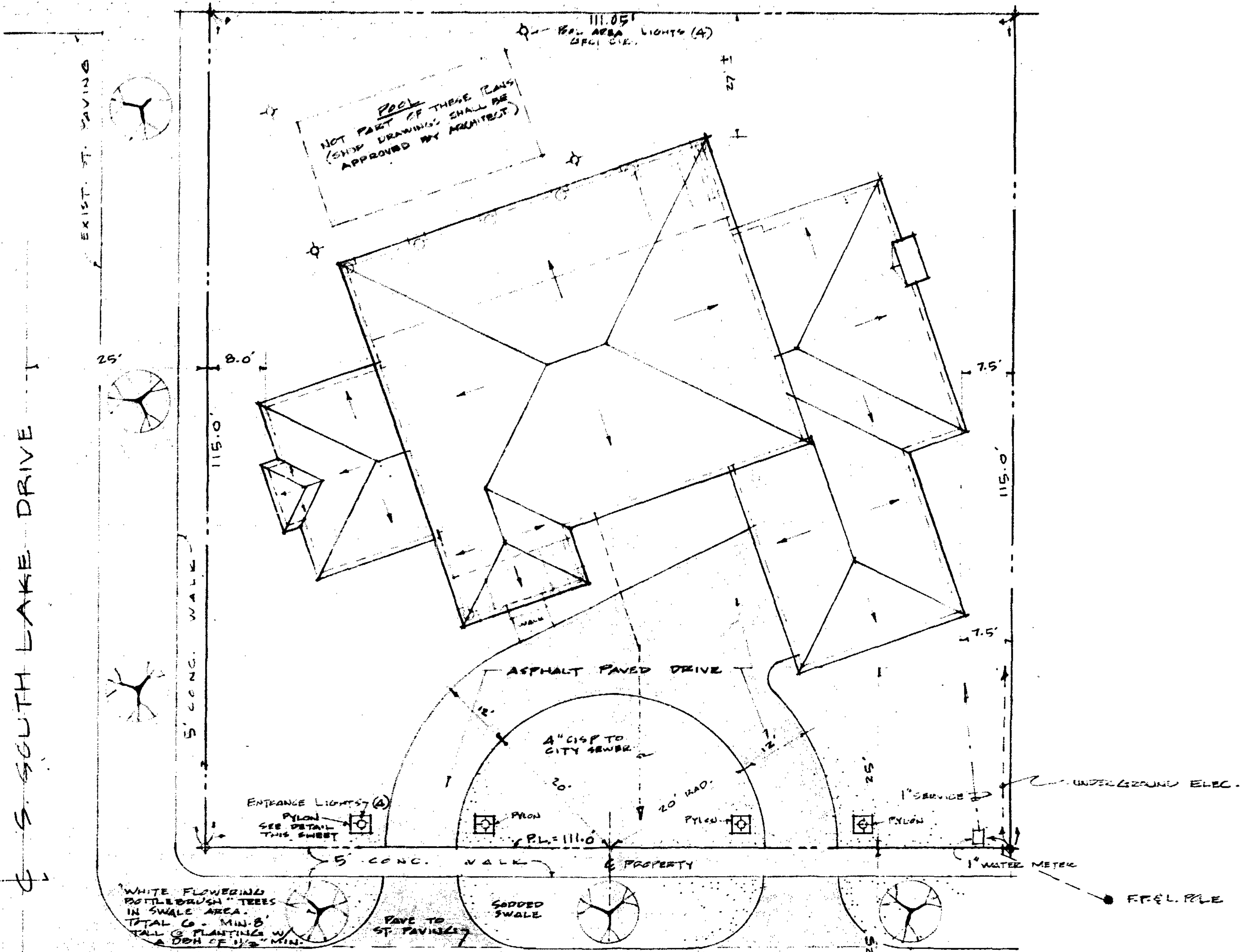
Maurice E. Berry II
MAURICE E. BERRY II
Registered Land Surveyor No. 1132
STATE OF FLORIDA

DESCRIPTION:

LOT 3, LESS THE SOUTH 46.25' THEREOF, AND ALL
OF LOTS 4 AND 5, BLOCK 79,
"HOLLYWOOD LAKES SECTION",
HOLLYWOOD, FLORIDA

INTRACASTAL WATERWAY

ALLEY



Revision Recd Hwd.
PLOT Plan 7/20/76 2:27:22

SITE

SCALE: 1" = 10'

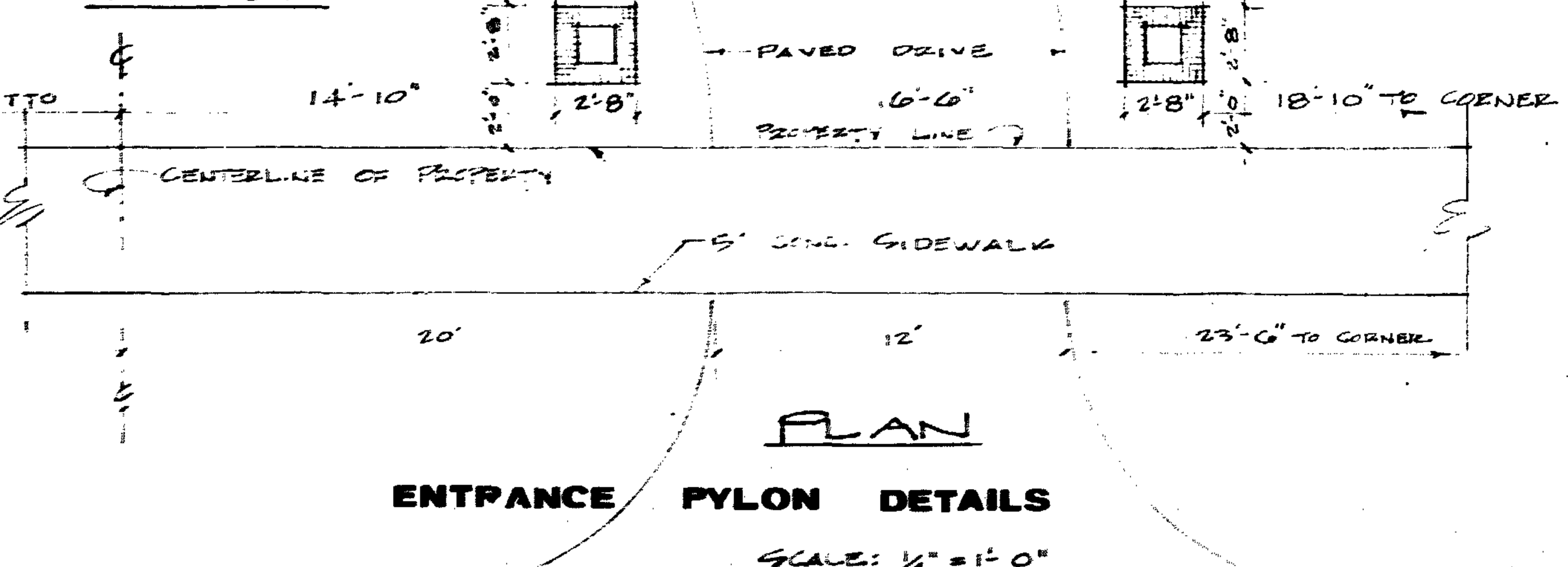
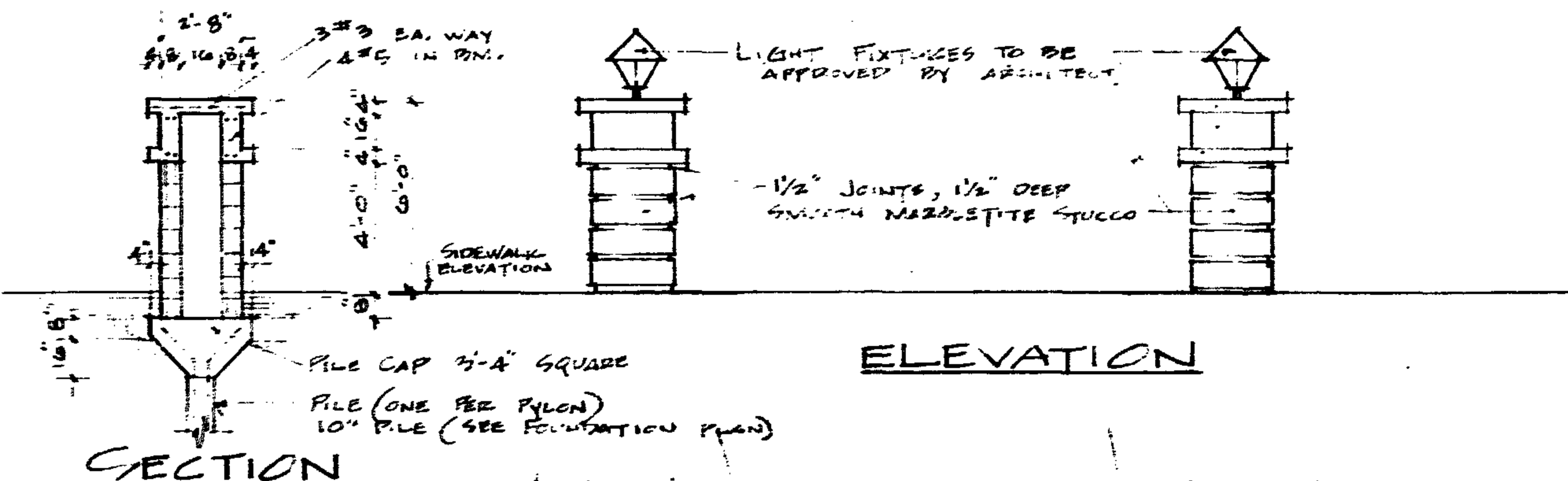
POST RESIDENCE
MR. & MRS. PAUL POST

Anthony C. Montoya

INDEX TO DRAWINGS	
SHEET No.	CONTENTS
A - 1	SITE
A - 2	FIRST FLOOR PLAN
A - 3	SECOND FLOOR PLAN
A - 4	FRAMING 2nd FLOOR & 1st FLOOR ROOF
A - 5	FRAMING 2nd FLOOR ROOF
A - 6	SECTIONS
A - 7	ELECTRIC
A - 8	ELECTRIC
A - 9	BATH ELEVATIONS SANITARY RISER
A - 10	ELEVATIONS
A - 11	ELEVATIONS
S - 1	STRUCTURAL
S - 2	STRUCTURAL

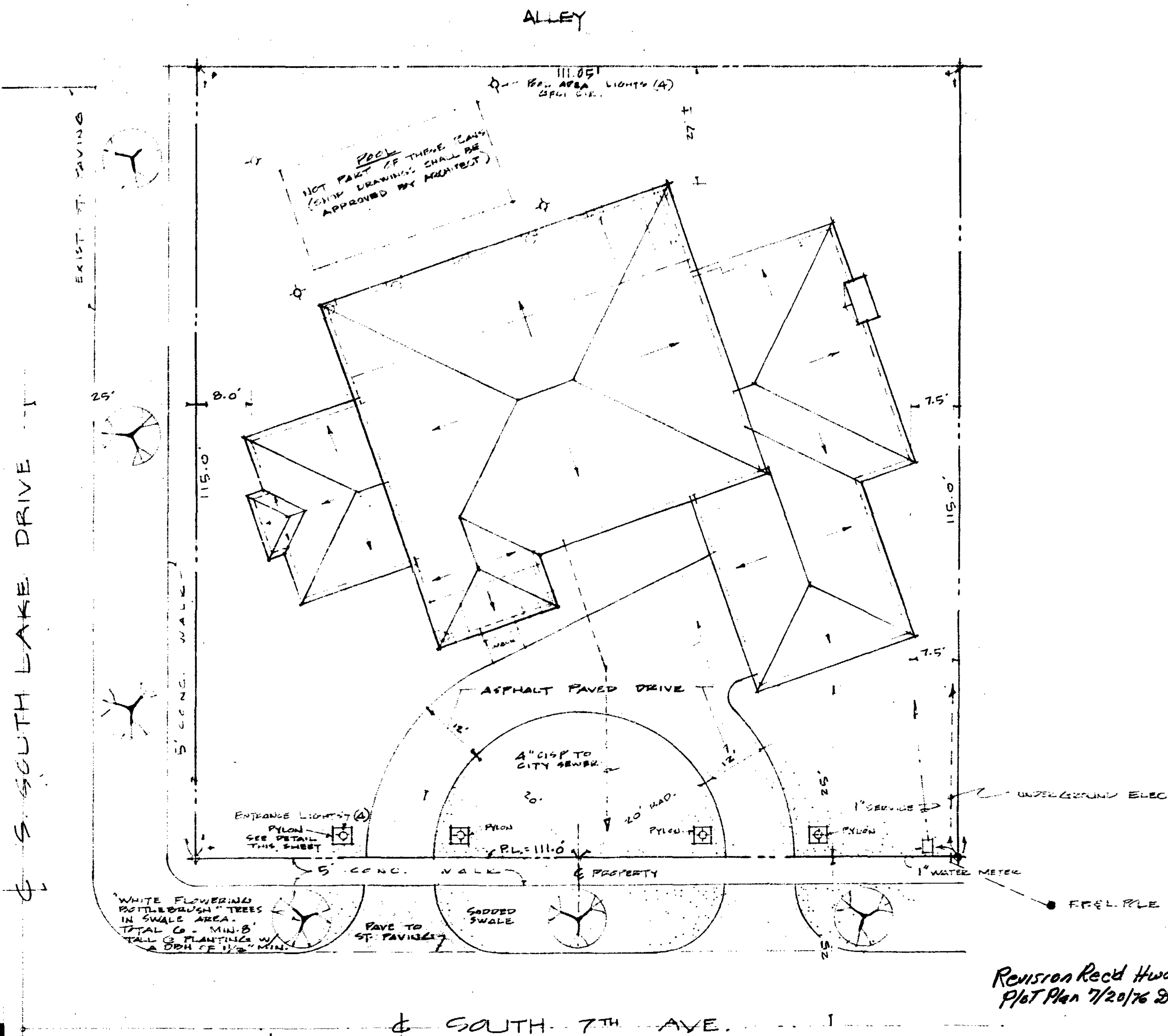
GENERAL NOTES

1. CODE: SOUTH FLORIDA BUILDING CODE
2. THESE PRINTS ARE INSTRUMENTS OF SERVICE ONLY AND ARE THE PROPERTY OF THE ARCHITECT.
3. ALL WRITTEN DIMENSIONS ON THESE DRAWINGS TAKE PRECEDENCE OVER SCALE DIMENSIONS.
4. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS AT THE PROJECT SITE AND THE ARCHITECT SHALL BE NOTIFIED IN WRITING IMMEDIATELY OF ANY VARIATIONS.
5. IN THE EVENT THE ARCHITECT IS RETAINED TO APPROVE SHOP DRAWINGS, SUCH APPROVAL IS ONLY TO CHECK FOR CONFORMANCE WITH THE DESIGN CONCEPT.
6. THE CONTRACTOR SHALL REVIEW THESE DRAWINGS PRIOR TO CONSTRUCTION. IN THE EVENT OF DISCREPANCIES OF DIMENSIONS OR WITH CODE REQUIREMENTS, SUCH INFORMATION SHALL BE SENT TO THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THE WORK.

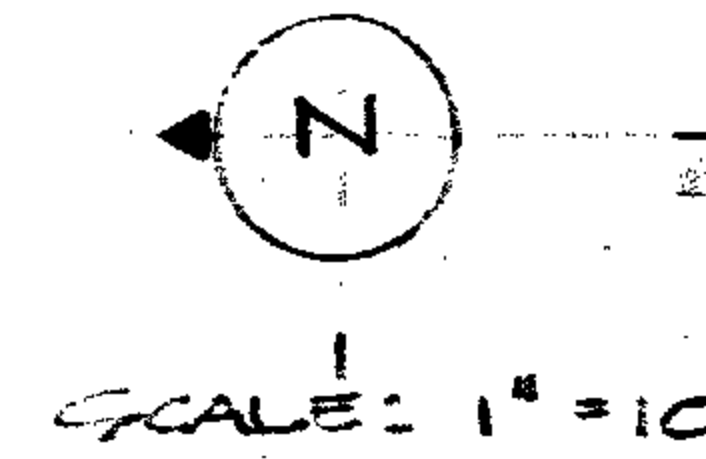


DESCRIPTION:
LOT 2, LESS THE SOUTH 46.25' THEREOF, AND ALL OF LOTS 4 AND 5, BLOCK 79, "HOLLYWOOD LAKES SECTION", HOLLYWOOD, FLORIDA

INTRACASTAL WATERWAY



SITE



POST RESIDENCE
MR. & MRS. PAUL POST

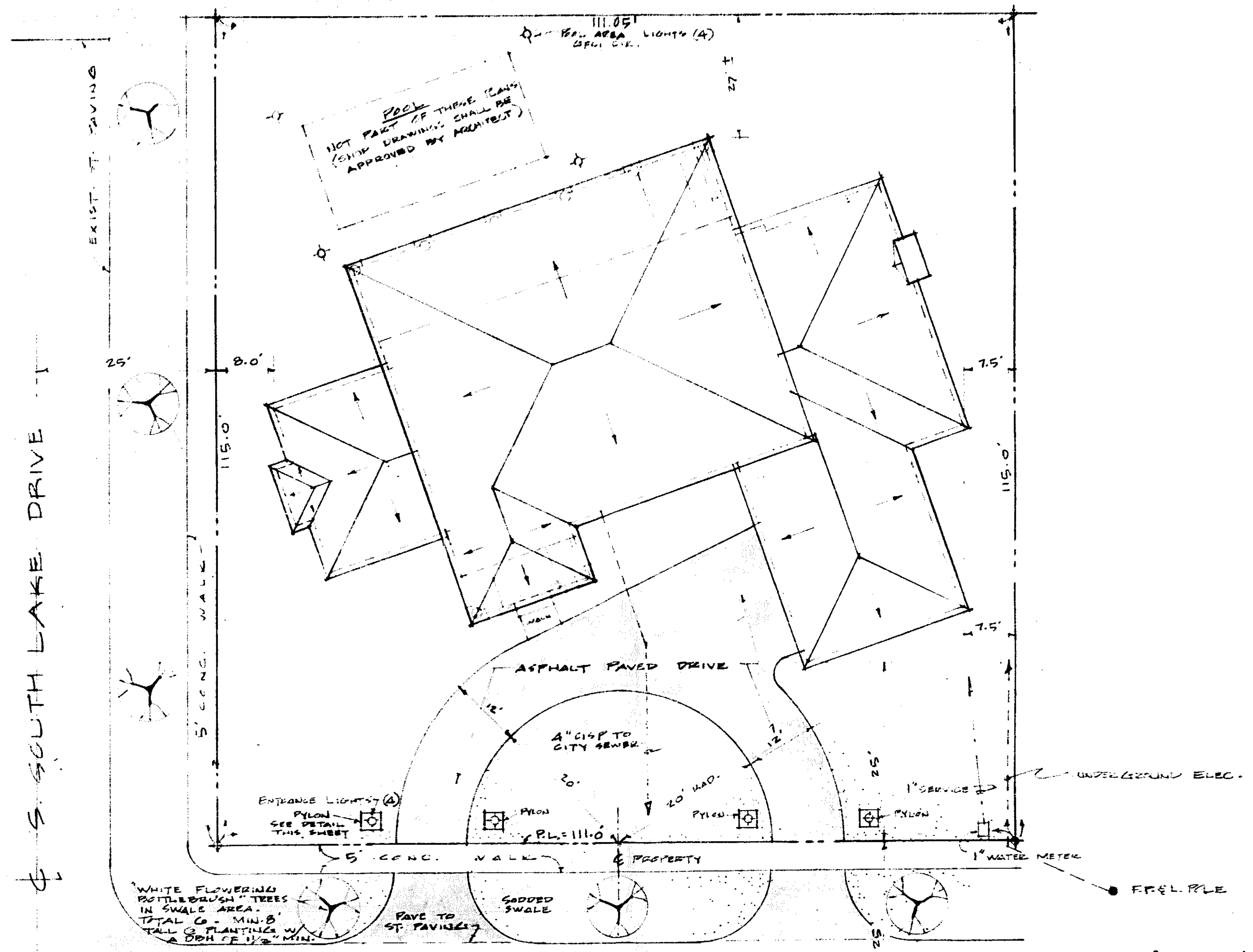
Revision Recd Hwd.
Plot Plan 7/20/76 2:37 PM

Anthony A. Montagnari

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HOLLYWOOD, FLORIDA

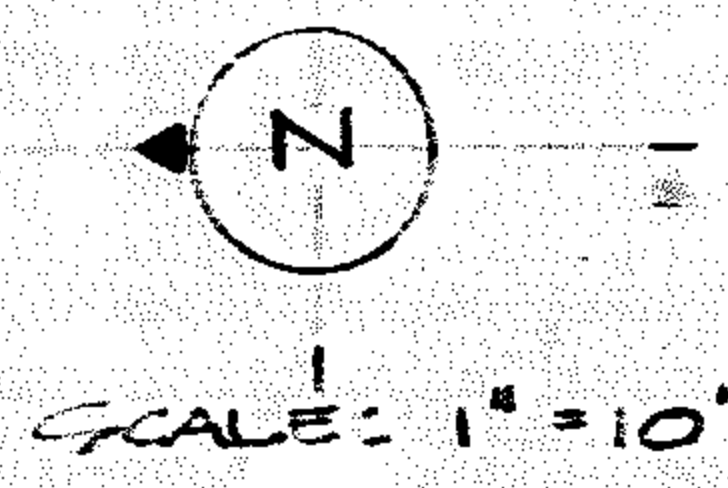
INTRACASTAL WATERWAY

ALLEY



Revision Recd Hwd.
P/ot Plan 7/20/76 2:22:21

SOUTH 7TH AVE.



POST RESIDENCE
MR. & MRS. PAUL POST

Anthony A. Montagnari

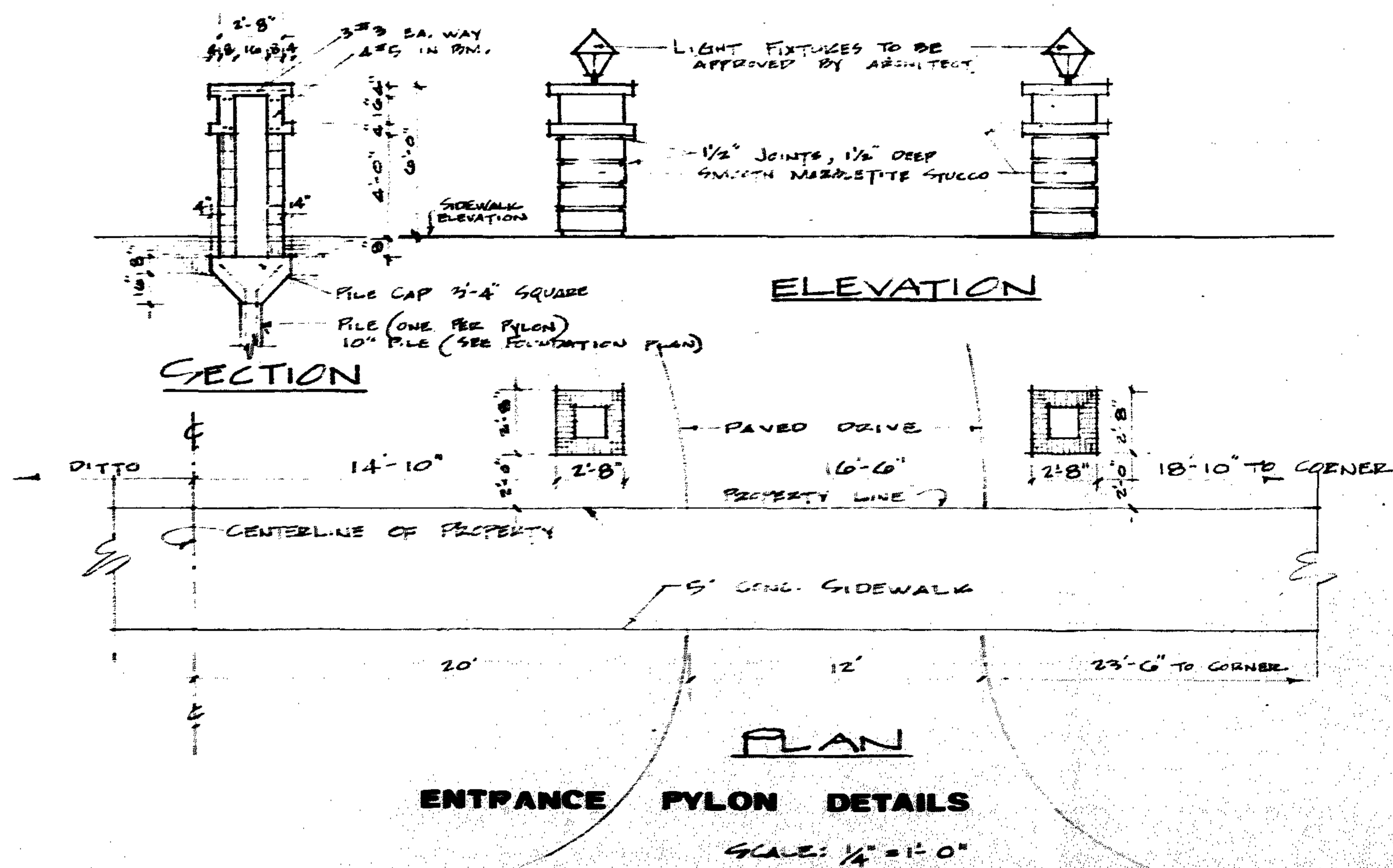
SITE

S. SOUTH LAKE DRIVE

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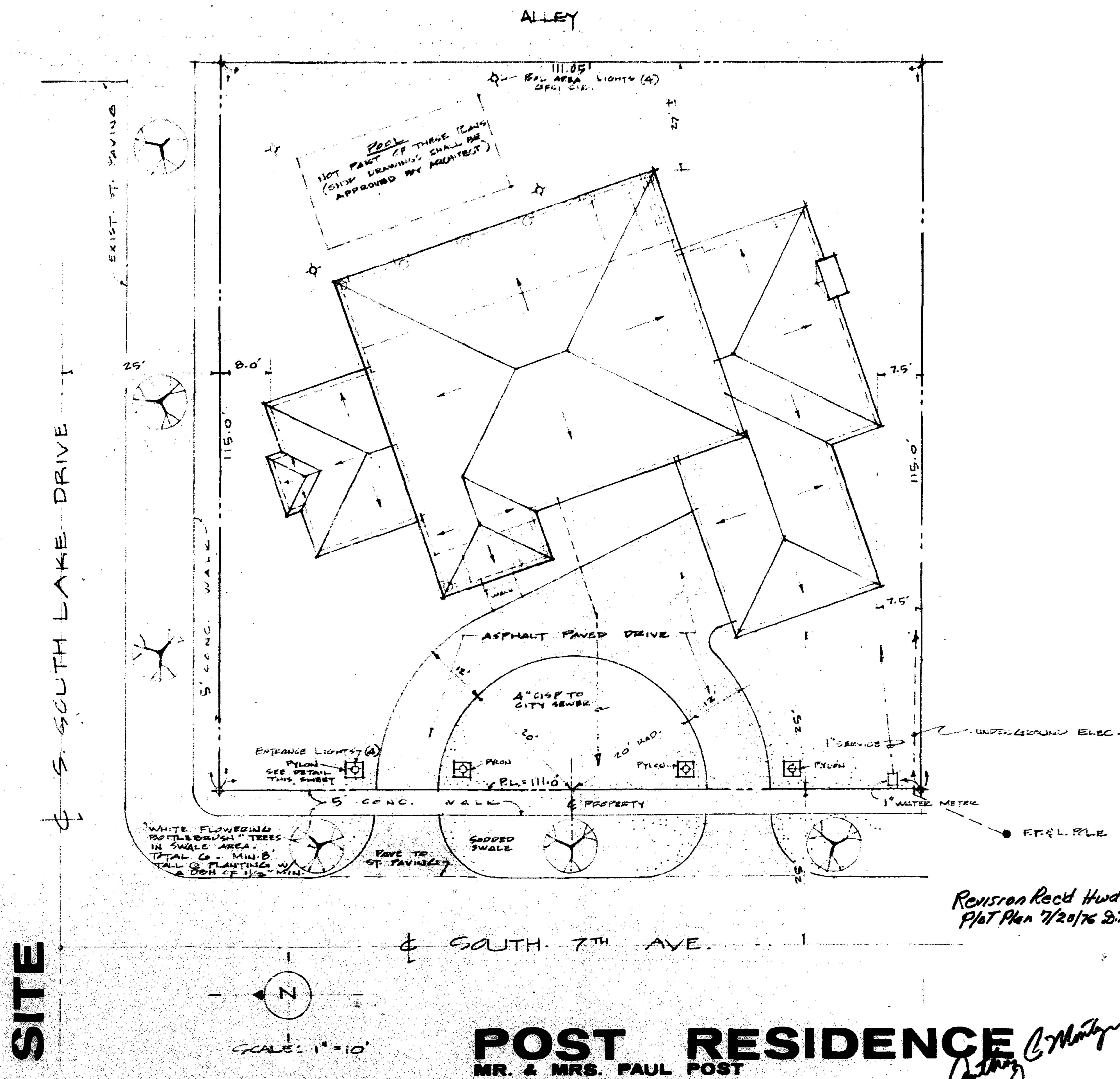
GENERAL NOTES

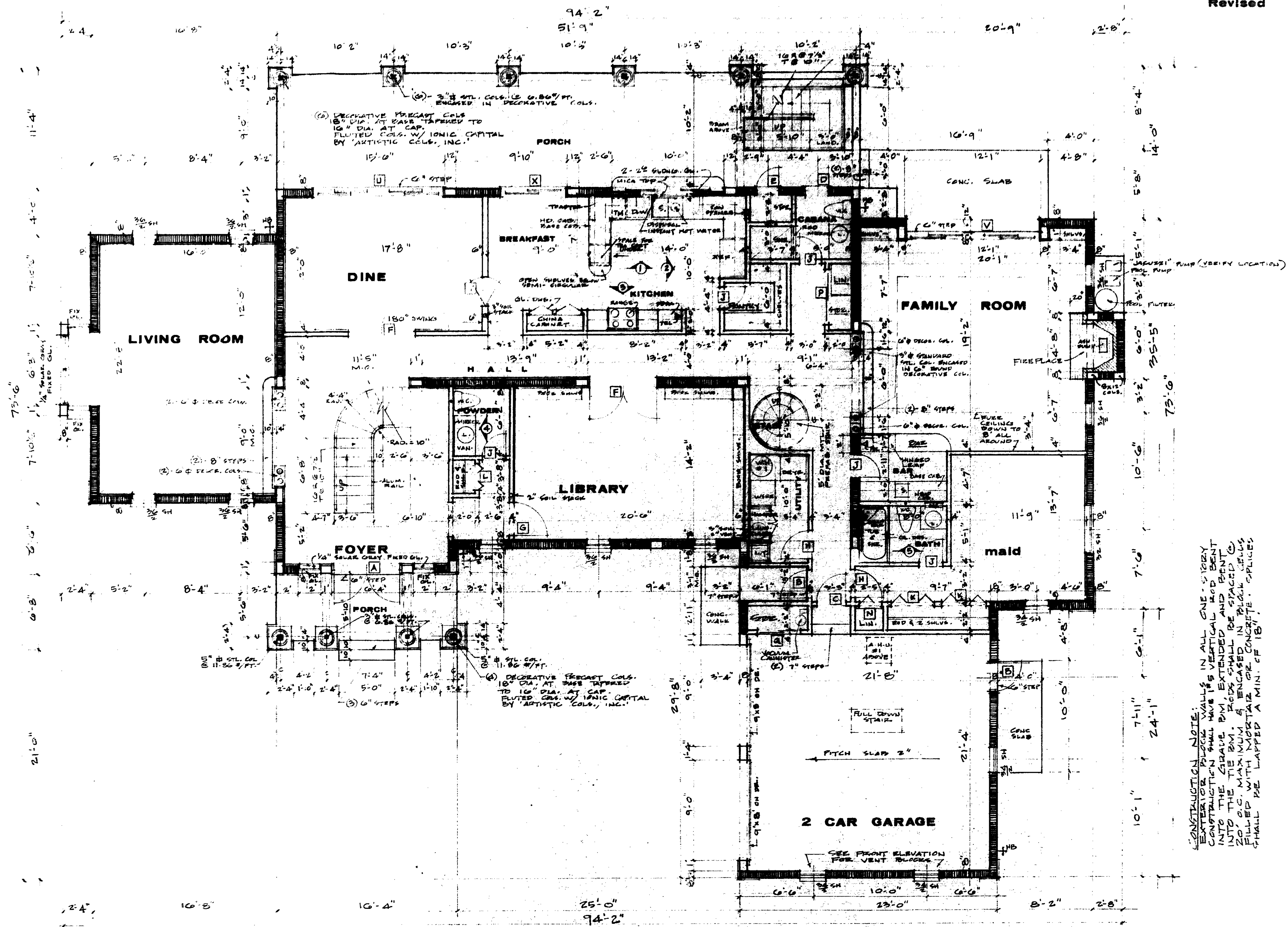
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 LOT 2, LESS THE SOUTH 46.25' THEREOF, AND ALL
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INTRA COASTAL WATER WAY

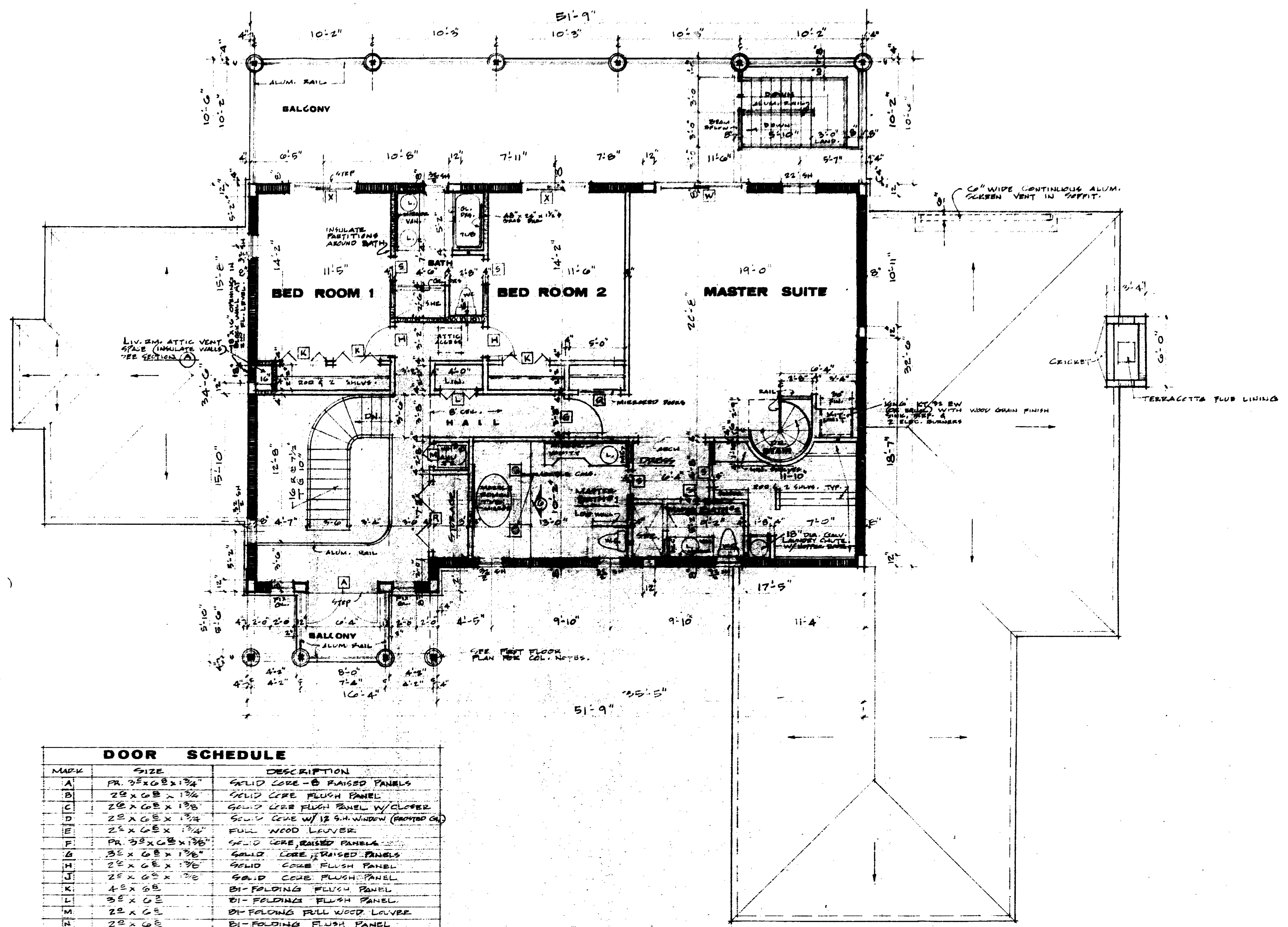




FIRST FLOOR PLAN

SCALE 1/4"=1'-0"

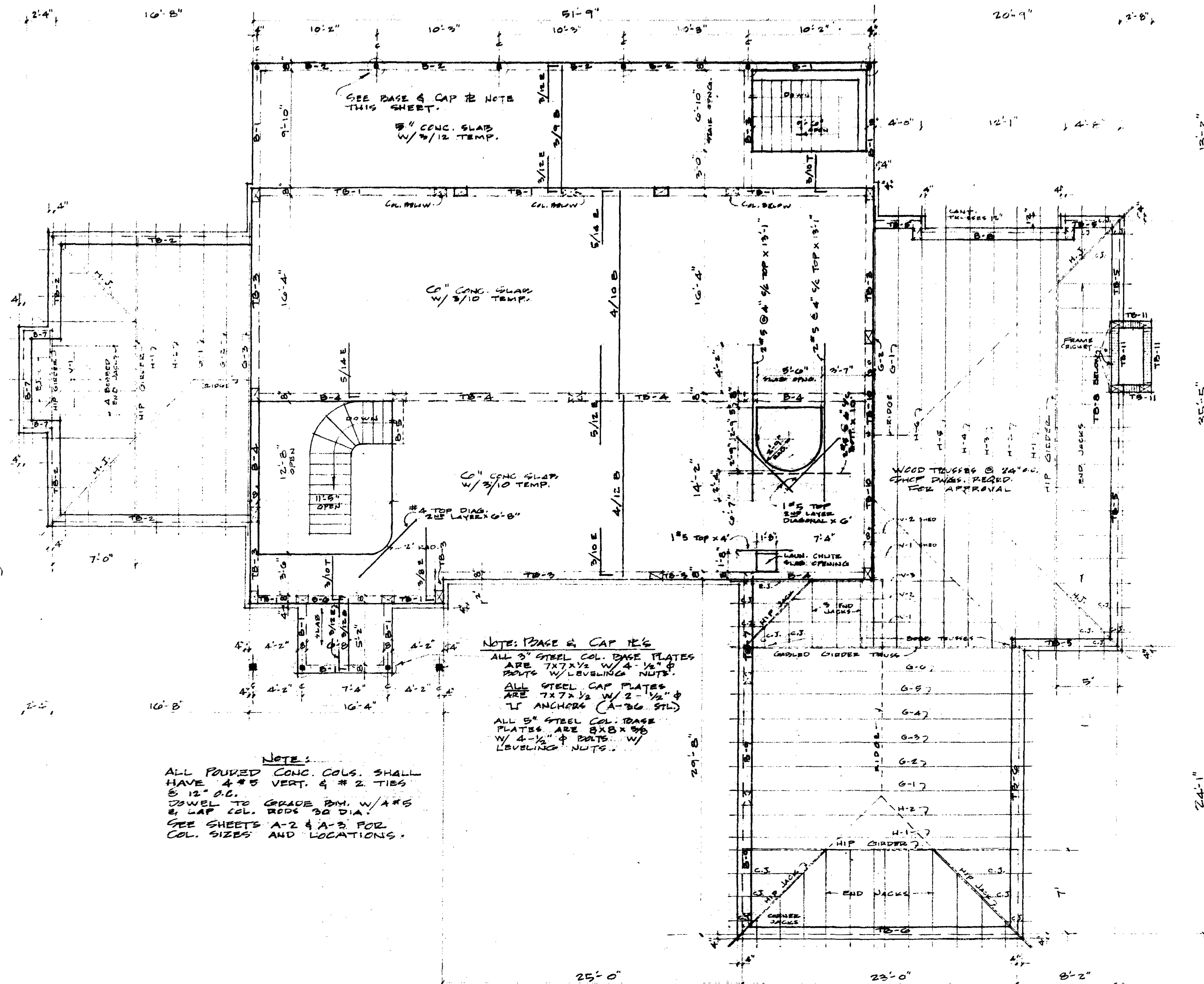
Anthony A. Montagnari



DOOR SCHEDULE		
MARK	SIZE	DESCRIPTION
A	PR. 32x68x13/4"	SOLID CORE - 6 RAISED PANELS
B	28x68x13/4"	SOLID CORE FLUSH PANEL
C	28x68x13/8"	SOLID CORE FLUSH PANEL W/ CLOSER
D	28x68x13/4"	SOLID CORE W/ 12 S.H. WINDOW (FRONTED GL.)
E	28x68x13/4"	FULL WOOD LOUVER
F	PR. 32x68x13/8"	SOLID CORE, RAISED PANELS
G	32x68x13/8"	SOLID CORE, RAISED PANELS
H	28x68x13/8"	SOLID CORE FLUSH PANEL
J	28x68x13/8"	SOLID CORE FLUSH PANEL
K	48x68	BI-FOLDING FLUSH PANEL
L	32x68	BI-FOLDING FLUSH PANEL
M	28x68	BI-FOLDING FULL WOOD LOUVER
N	28x68	BI-FOLDING FLUSH PANEL
P	PR. 28x68x13/8"	SOLID CORE BY-PASS
Q	PR. 28x68x13/8"	SOLID CORE BY-PASS
R	68x68	BI-FOLDING FLUSH PANEL
S	28x68x13/8"	SOLID CORE POCKET
T	28x68x13/8"	SOLID CORE, DOUBLE ACTING, 8x8" GL. LITE
U	(4) 32x68	TEMP. GLASS SLIDING
V	(4) 32x88	TEMP. GLASS SLIDING
W	(2) 48x68	TEMP. GLASS SLIDING
X	(2) 32x68	TEMP. GLASS SLIDING

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

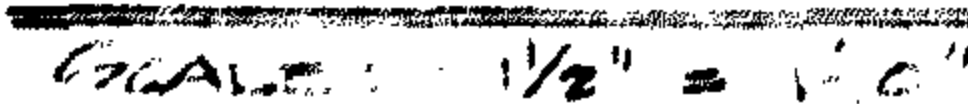
Anthony A. Montagnari



2ND FLOOR & 1ST FLOOR ROOF FRAMING

Gregory C. Montezuma

15



Anthony G. Montoya

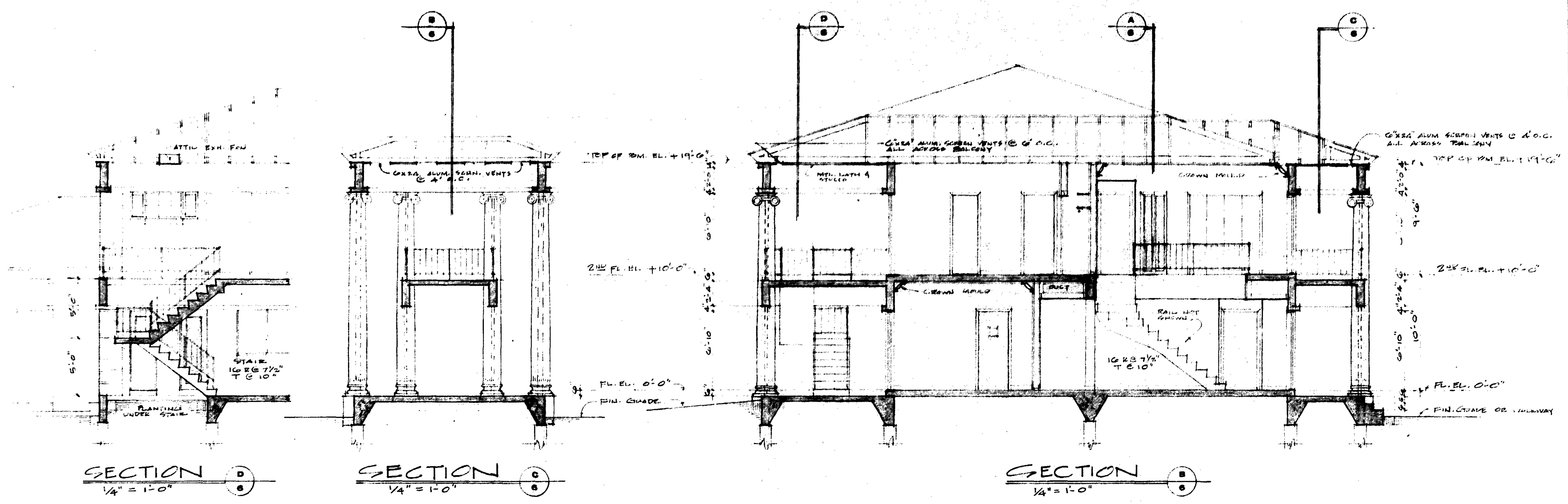
Revised

DIS. NO. 76
C 7615
DAM KB

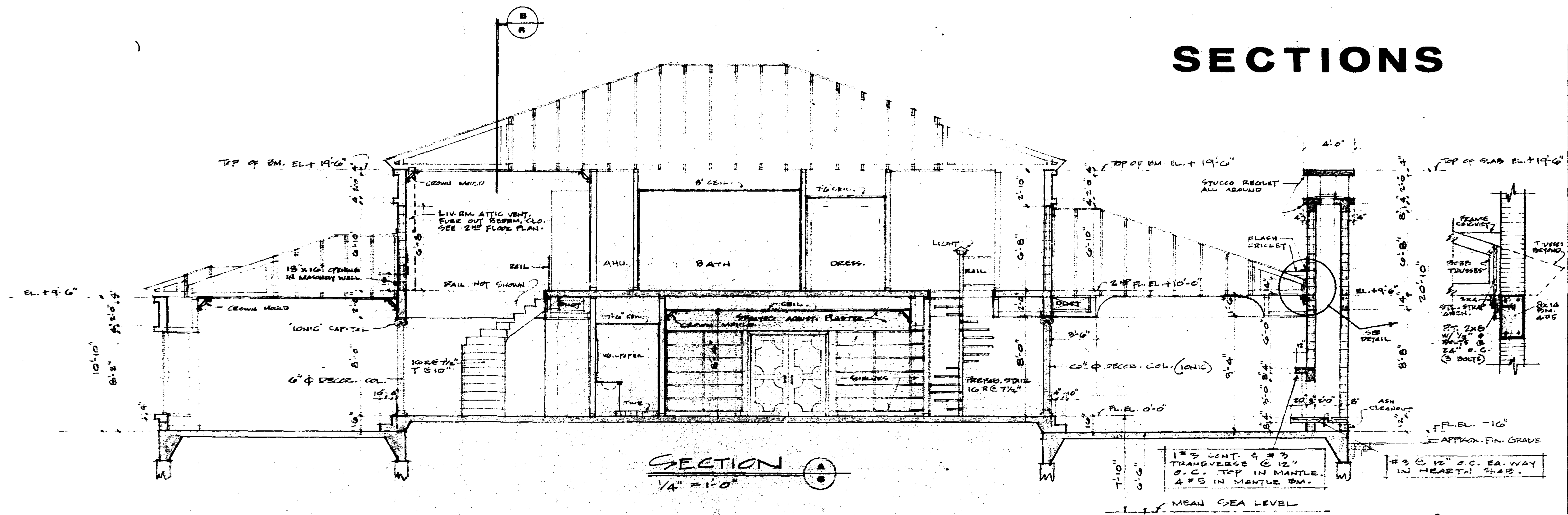
ANTHONY A. MONTAGNARI
ARCHITECT
HALLANDALE, FLORIDA

title
HOLLYWOOD DREAM HOMES
MR. Allen Zucker
HOLLYWOOD, FLORIDA

sheet
A6



SECTIONS



Anthony A. Montagnari

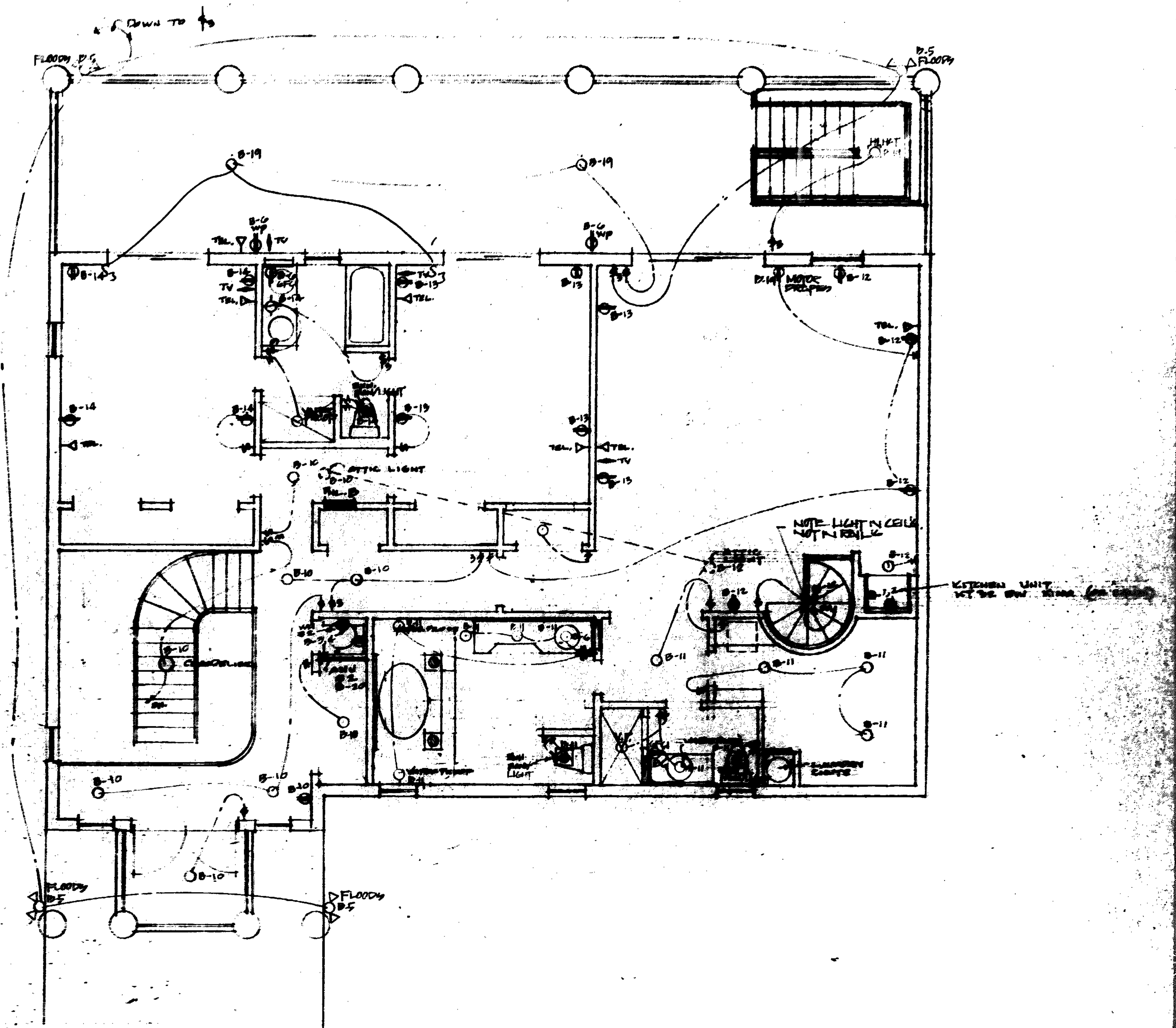
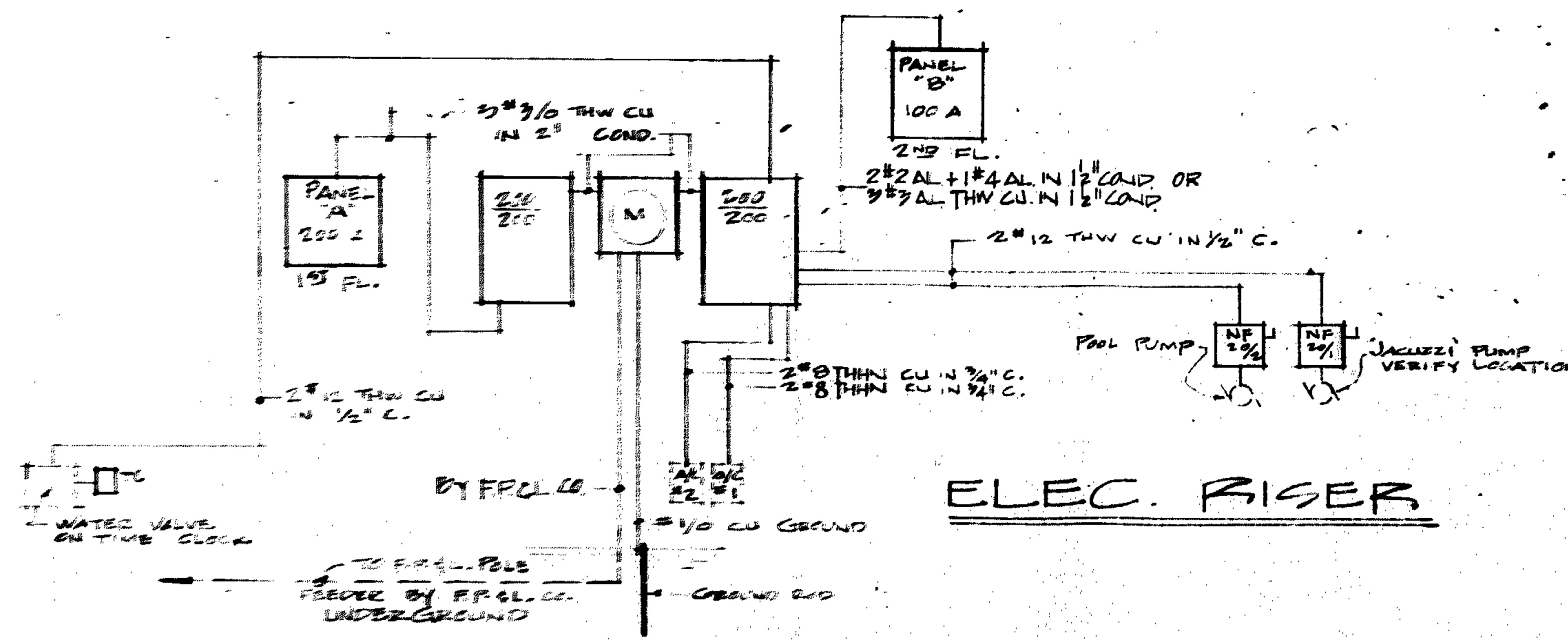


Anthony G. Montoya

PANEL "A"									
ITEM	CIR.	0	1	2	VOLTS	AMPS	WIRE	COND.	CB
REFRIGERATOR	A-1				120	9.0	#12	1/2	20/1
DISHWASHER	2				120	9.0			
TOAST MASTER	3				120	4.5			
TRASH COMPACTOR	4				120	9.0			
HOT WATER DISPENSER	5				120	6.5			
SPECIAL PURPOSE	6				120	9.0			
"	7				120	9.0			
"	8				120	9.0			
" (KOL LITE)	9				120	9.0			
* POOL AREA LIGHTING	11	4			120	9.0	#14		
FUTURE LOCK JB	12				120	4.5	#12		
GARAGE WASH CYCLES (10)	13-14		2		120	6.0	#12	1/2	20/1
WATER HEATER #1	15, 16				240	25.0	#10	3/4	20/2
TRAY	17, 18				240	22.5	#10	3/4	20/2
OTHER TRAY	19				120	4.5	#12	1/2	20/1
FLOOD LIGHTS	20-21	7			120	6.0	#14		15/1
ENTRANCE PYLON LIGHTS	22	2			120	9.0	#14		15/1
SMALL APPLIANCE	23-25		11		120	19.5	#12		20/1
* BATH & EXTERIOR RECEPTLS.	26		6		120	9.0	#12		15/1
HEAT LAMPS (1)	27-28		2		120	9.0	#12	1/2	20/1
RANGE 14 KW	29, 30				240	58.0	#8	1	20/2
SPRINKLER VALVE IN TC	31				120	9.0	#14	1/2	15/1
GENERAL PURPOSE	32-34	25	25		120	24.0	#14	1/2	15/1
SPARE	40					9.0			
DEMAND LOAD = 223.0 AMPS D.L. E.D.F. = 159.05 AMPS									
VACUUM MOTOR	41				120	13.0	#12	1/2	20/1
AIR HANDLER #1	42				120	4.5	#10THN	1/2	20/1
NON DEMAND LOAD = 27.5 AMPS TOTAL PANEL LOAD = 159.05 + 27.5 = 186.55 AMPS									

PANEL "B"									
ITEM	CIR.	0	1	2	VOLTS	AMPS	WIRE	COND.	CB
MINI-KITCHEN	B-1, 2				240	17.0	#10	3/4	20/2
WATER HEATER #2	3, 4				240	25.0	#10	3/4	20/2
FLOOD LIGHTS	5	4			120	9.0	#14	1/2	15/1
* BATH & EXTERIOR RECEPTLS.	6		5		120	9.0	#14	1/2	15/1
GENERAL PURPOSE	10-14	25	15		120	19.0	#14	1/2	15/1
SPARES	15-18					12.0			
DEMAND LOAD = 88.5 AMPS D.L. E.D.F. = 80.8 AMPS									
AIR HANDLER #2	20				120	9.0	#12	1/2	20/1
NON DEMAND LOAD = 7.5 AMPS TOTAL PANEL LOAD = 80.8 + 7.5 = 88.3 AMPS									

- * GROUND FAULT CIRCUIT INTERRUPTER
- NOTES:
1. A/C EQUIPMENT & DUCT DESIGN NOT PART OF THESE PLANS.
 2. TELEPHONE SERVICE LINE SHALL BE INSTALLED UNDERGROUND.
 3. G.C. SHALL INSTALL SECURITY ALARM SYSTEM.
 4. G.C. SHALL INSTALL CENTRAL TELEVISION ANTENNA.

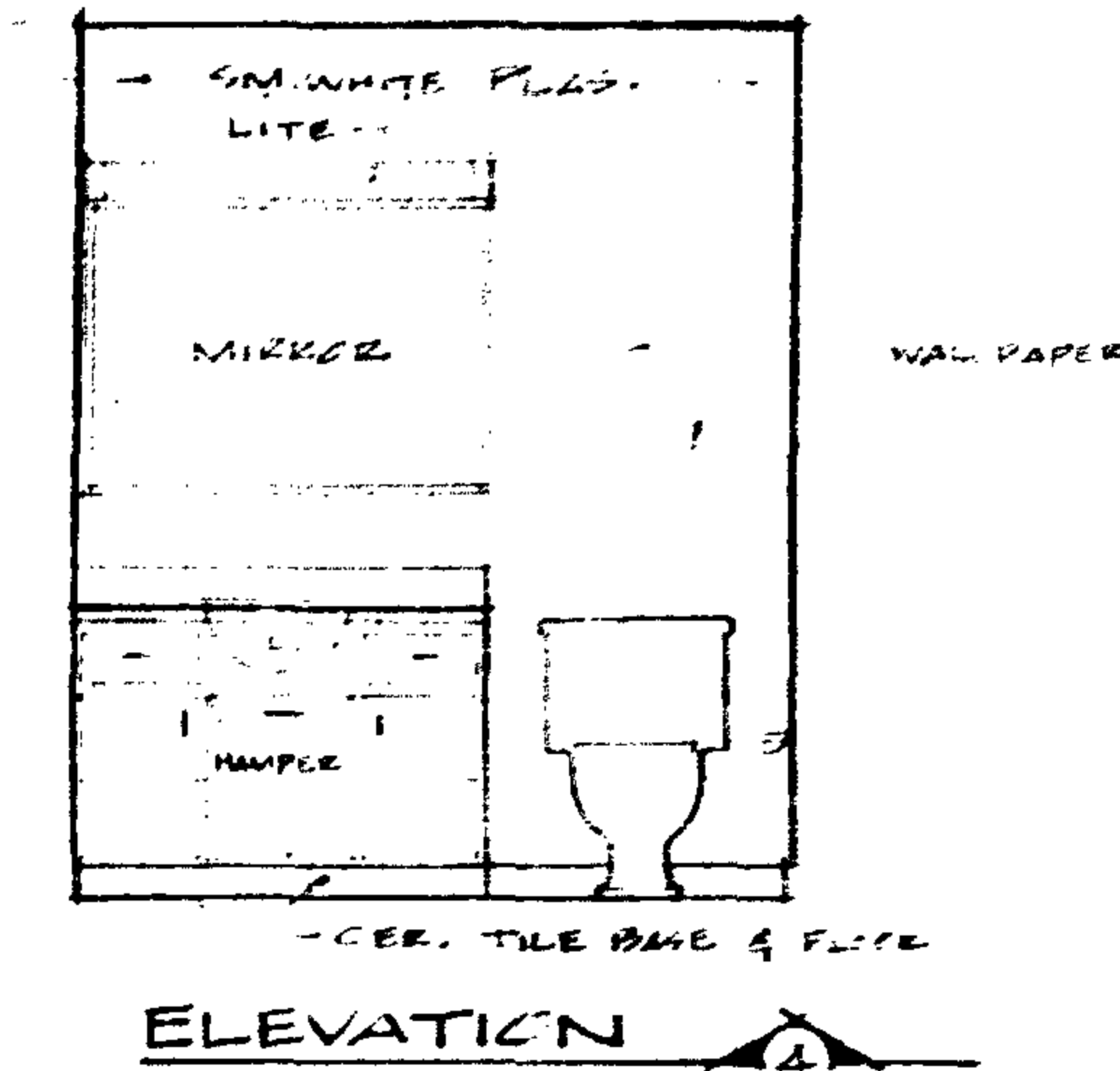
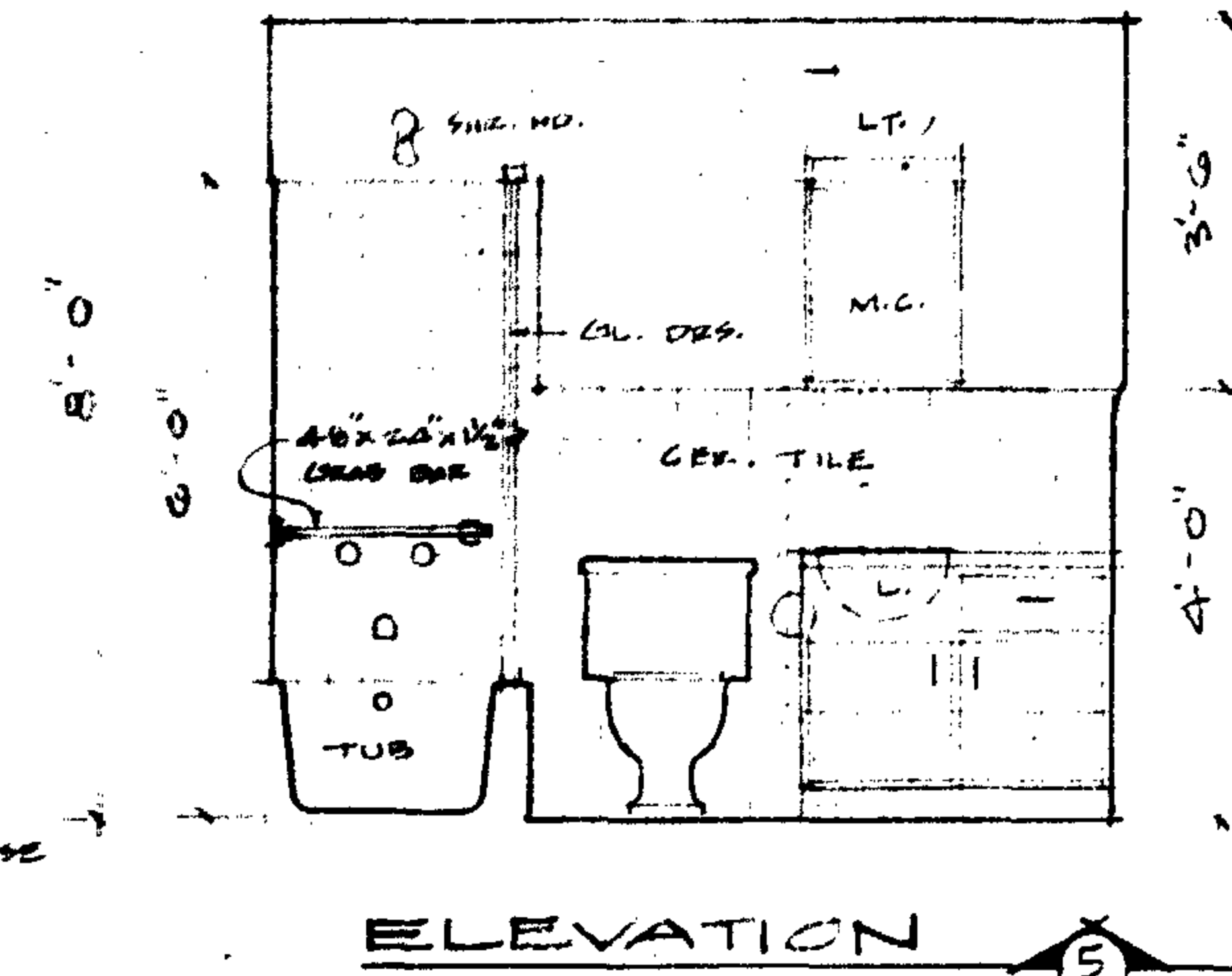
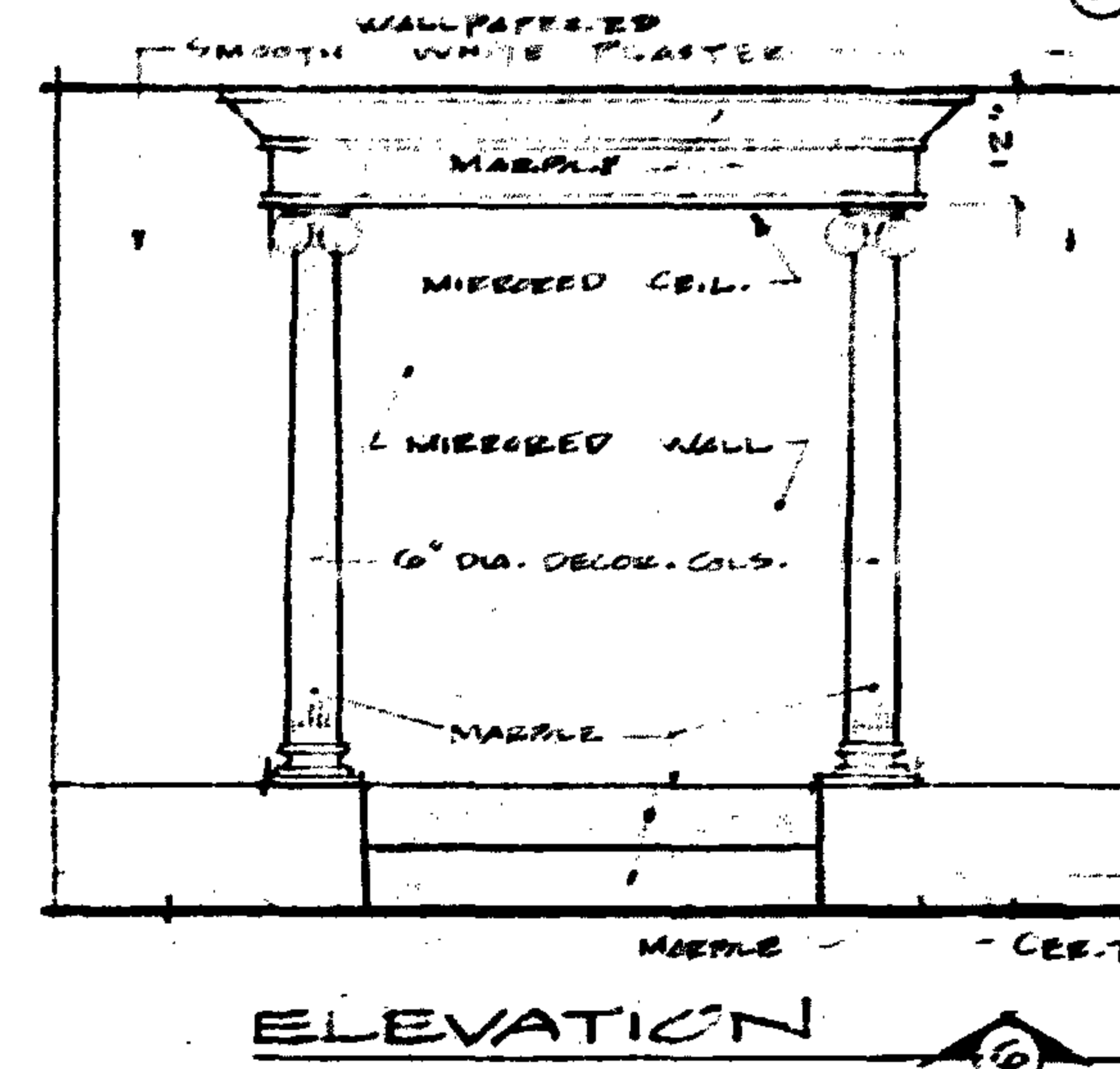
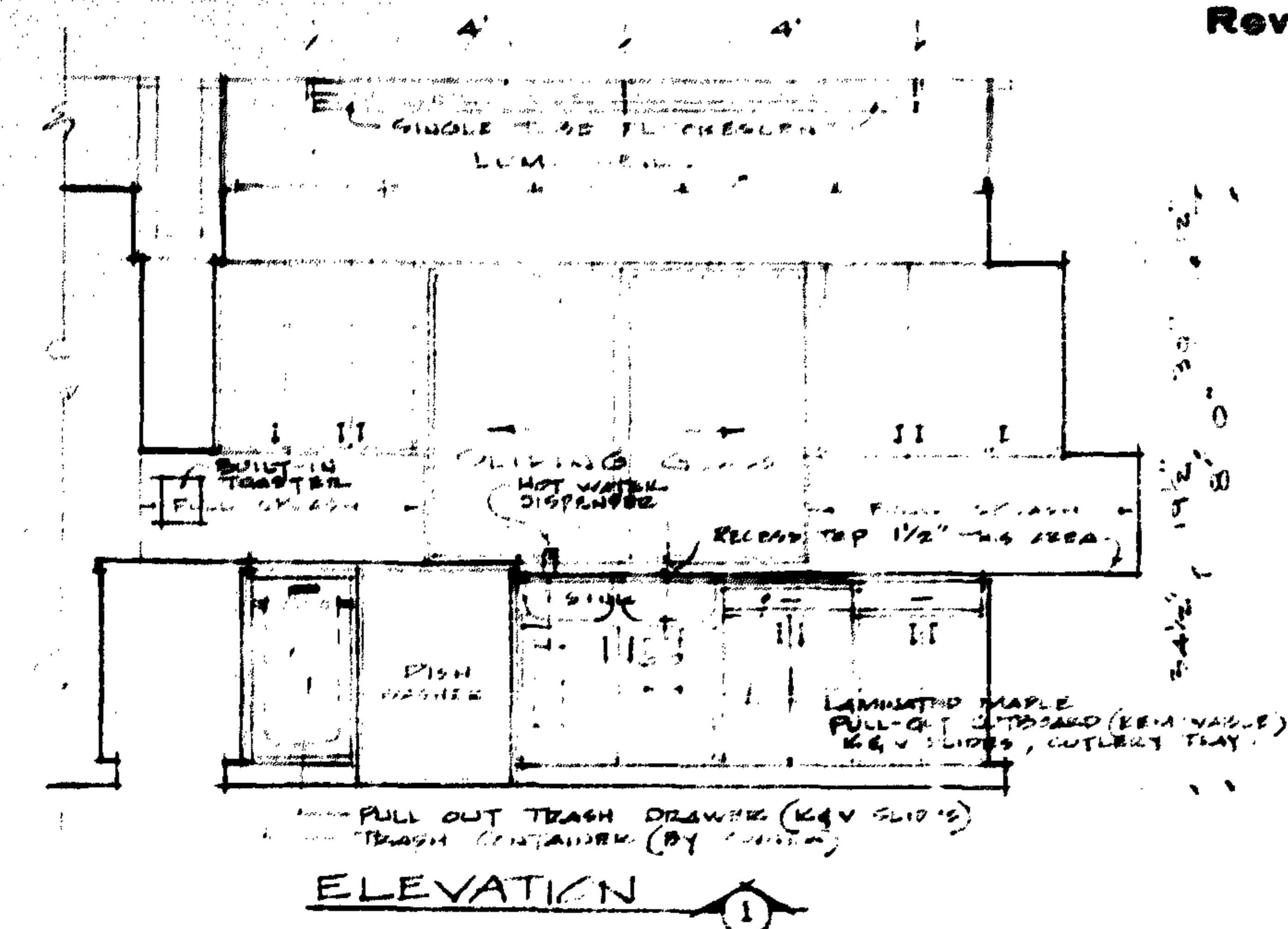
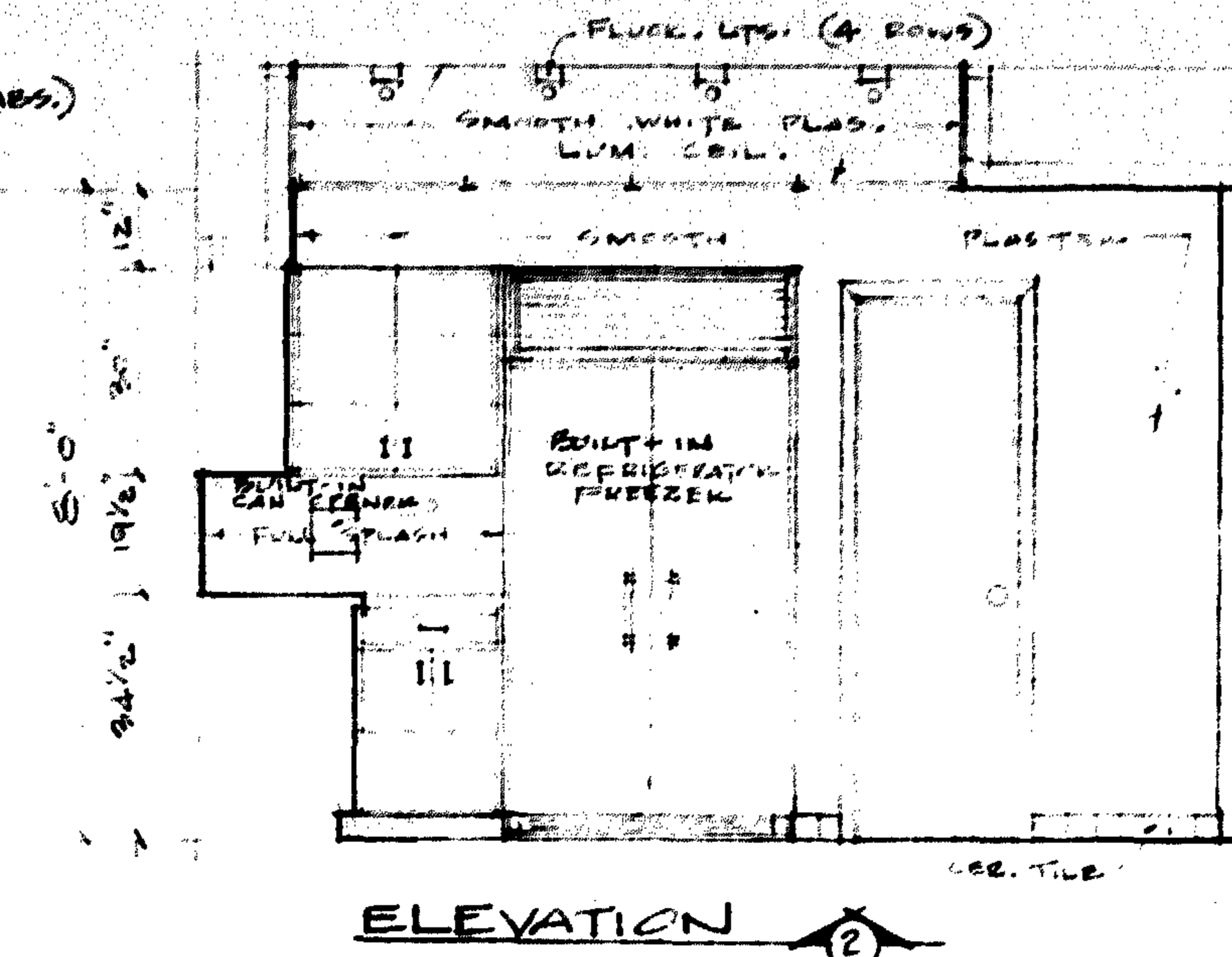
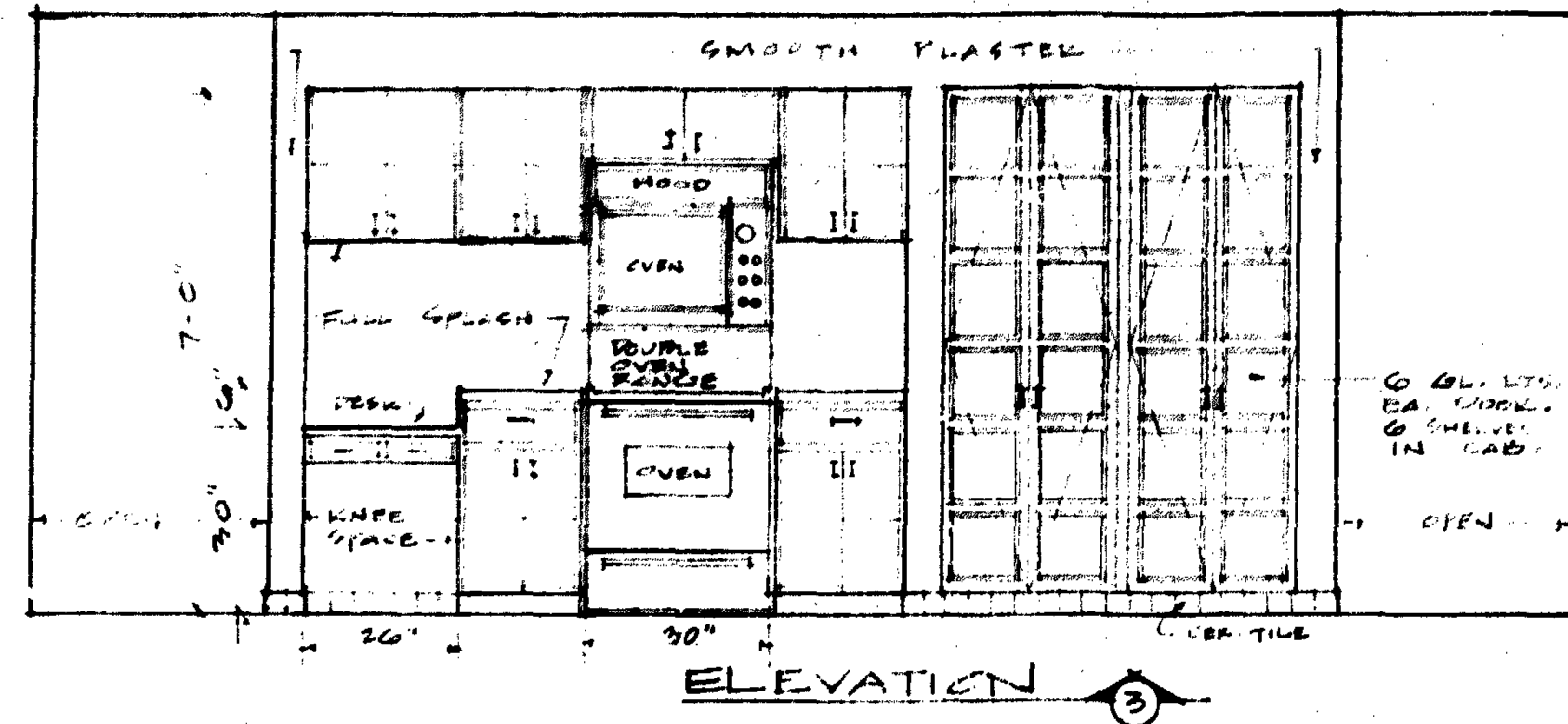


LOAD SUMMARY:

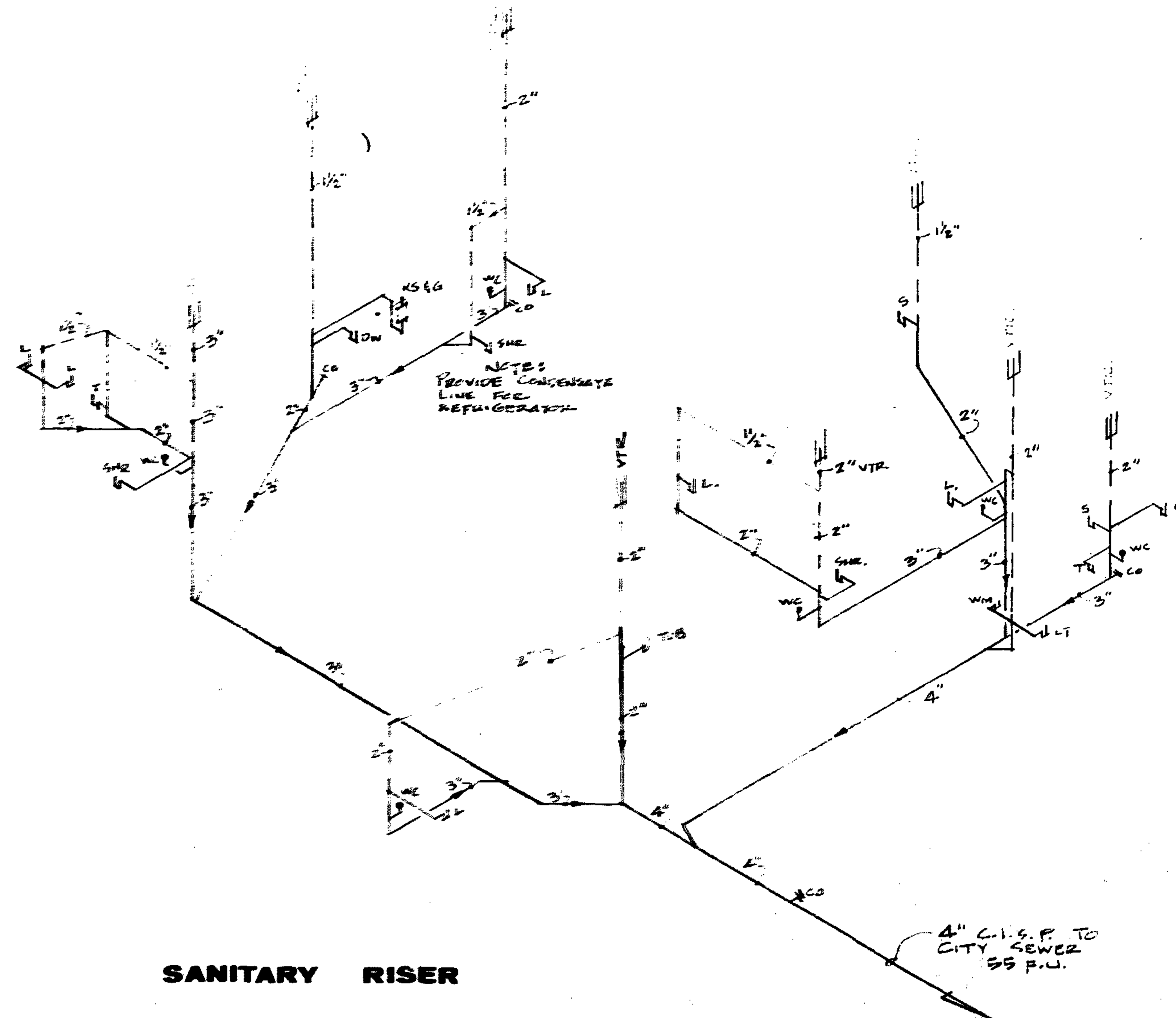
PANEL "A"	=	186.55
PANEL "B"	=	88.3
A/C #1	=	45.0
A/C #2	=	27.0
POOL PUMP	=	5.5
JACUZZI PUMP	=	8.0
345.35 AMPS = TOTAL CONN. LOAD		

Handwritten signature: Andy C. Minter

- NOTES:
 1. ALL DRAWINGS SHALL HAVE KEY GUIDES
 2. DRAWER INTERIORS SHALL BE 3/8" VENEERED PLYWOOD (MELLAS)
 3. INSIDES OF CABINET DOORS SHALL BE LAM. PLASTIC COVERED
 4. ALL EXPOSED SURFACES SHALL BE LAM. PLASTIC COVERED (ALL CABS)
 5. SHOP DRAWINGS ARE REQUIRED FOR ARCHITECTS APPROVAL.



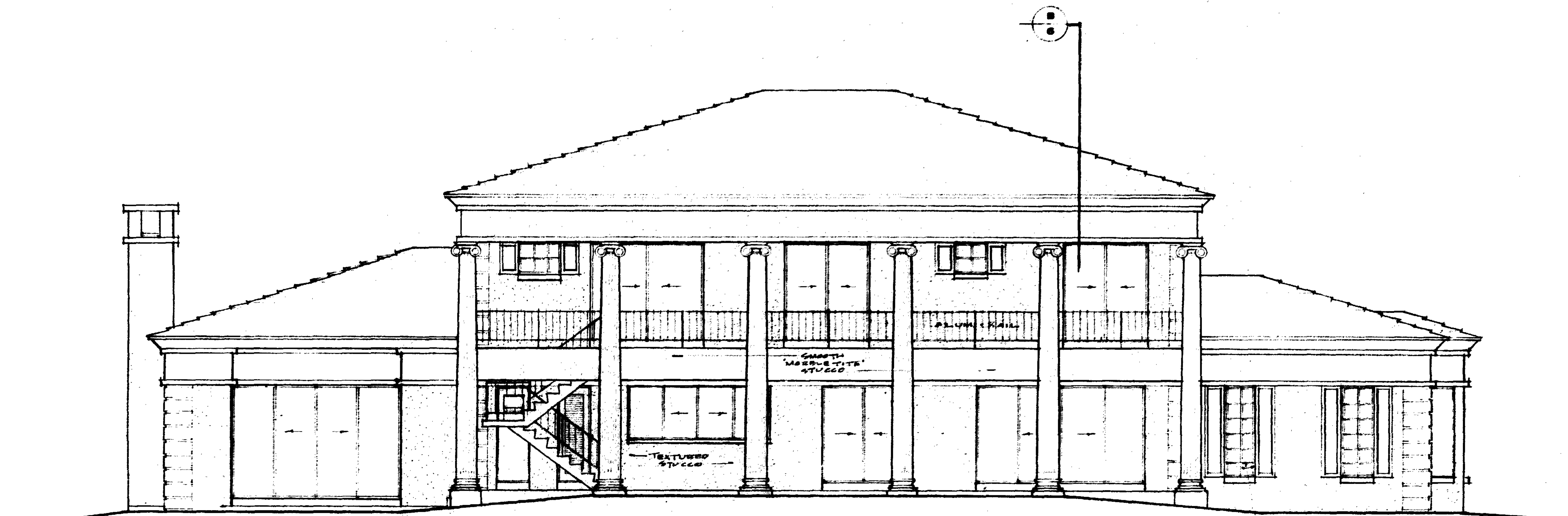
SCALE: 1/2" = 1'-0"



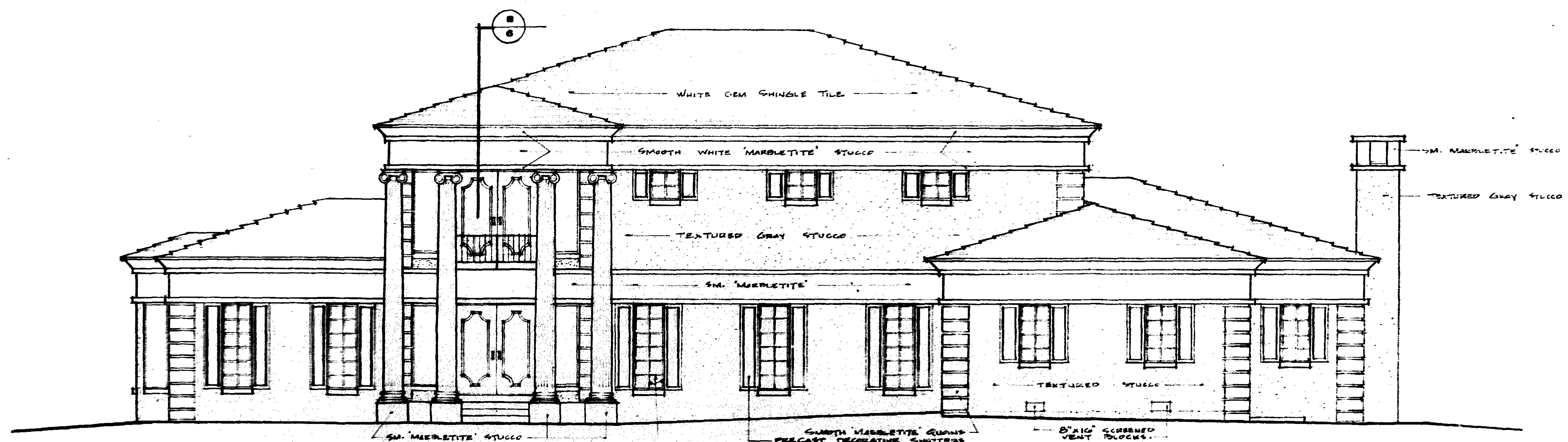
ROOM FINISH SCHEDULE						
AREA	FLOOR	BASE	WALL	CEILING	WINDOW SILLS	CEIL. HEIGHT
LOWER FOYER	MARBLE	MARBLE	PLASTER & PAINT		MARBLE	
LIVING ROOM	MARBLE	MARBLE	PLASTER & PAINT	SM. PLAS.	MARBLE	10'-10" ±
DINING ROOM	MARBLE	MARBLE	SM. PLAS. & WALLPAPER	SM. PLAS.		9'-6" ±
LIBRARY	CARPET W/ MARBLE PERIMETER	MARBLE	PREFIN. WOOD PANELING	ACOUSTIC PLASTER	MARBLE	8'-4" ±
POWDER ROOM	CERAMIC TILE	CERAMIC TILE	SM. PLAS. & WALLPAPER	SM. PLAS.		7'-6" ±
BREAKFAST ROOM	CERAMIC TILE	CERAMIC TILE	SM. PLAS. & WALLPAPER	SM. PLAS.		8'-0" ±
KITCHEN	CERAMIC TILE	CERAMIC TILE	SM. PLAS. & WALLPAPER	LUM. CEIL. & SM. PLAS.	LAM. PLASTIC	8'-0" ±
PANTRY	CERAMIC TILE	CERAMIC TILE	SM. PLAS. & PAINT	SM. PLAS.		8'-0" ±
HALLWAY 1ST FLOOR	MARBLE	MARBLE	SM. PLAS. & PAINT	SM. PLAS.		8'-0" ±
CABANA BATH	CERAMIC TILE	CER. TILE WAINSCOT 6" x 6", SM. PLAS. ABV. (WALLPAPER)		SM. PLAS.		7'-6" ±
FAMILY ROOM	CERAMIC TILE	APPLIED WOOD	PREFIN. WOOD PANELING	ACOUSTIC PLAS.	MARBLE	10'-10" & 9'-4" ±
BAR	VINYL TILE	VINYL TILE	PREFIN. WOOD PANELING	ACOUSTIC PLAS.		8'-0" ±
LAUNDRY	CERAMIC TILE	CERAMIC TILE	SM. PLAS. (PAINT)	SM. PLAS.		8'-0" ±
MAIDS ROOM	CARPET	APPLIED WOOD	SM. PLAS. WALLPAPER	SM. PLAS.	MARBLE	9'-6" ±
MAIDS BATH	CERAMIC TILE	CER. TILE WAINSCOT 6" x 6", SM. PLAS. ABV.		SM. PLAS.		7'-6" ±
GARAGE	SMOOTH CONCRETE		CER. PLAS. & PAINT	PLASTER	LAM. PLAS.	10'-8" ±
UPPER FOYER	CARPET	APPLIED WOOD	SM. PLAS. & PAINT	SM. PLAS.	MARBLE	9'-6" ±
HALLWAY 2ND FLOOR	CARPET	APPLIED WOOD	SM. PLAS. & PAINT	SM. PLAS.		8'-0" ±
BEDROOM #1	CARPET	APPLIED WOOD	SM. PLAS. & WALLPAPER	SM. PLAS.	MARBLE	9'-6" ±
BEDROOM #2	CARPET	APPLIED WOOD	SM. PLAS. & WALLPAPER	SM. PLAS.		9'-6" ±
BEDROOM #2 BATH	CERAMIC TILE	CER. TILE WAINSCOT 6" x 6", SM. PLAS. ABV. (WALLPAPER)		SM. PLAS.	MARBLE	7'-6" ±
TYPICAL CLOSET	CARPET	APPLIED WOOD	SM. PLAS. & PAINT	SM. PLAS.		8'-0" ±
MASTER SUITE	CARPET	APPLIED WOOD	SM. PLAS. & WALLPAPER	SM. PLAS.	MARBLE	9'-6" ±
DRESSING AREA	CARPET	APPLIED WOOD	SM. PLAS. & WALLPAPER	SM. PLAS.		7'-6" ±
MASTER BATH	CERAMIC TILE	CERAMIC TILE	SM. PLAS. & WALLPAPER	SM. PLAS.	MARBLE	8'-0" ±
FRONT PORCH 1ST FL.	MARBLE			SM. STUCCO		9'-8" ±
FRONT BALCONY	BRICK PAVERS			SM. STUCCO		10'-0" ±
REAR PORCH 1ST FL.	BRICK PAVERS			SM. STUCCO		9'-6" ±
REAR BALCONY	BRICK PAVERS			SM. STUCCO		10'-0" ±

FOYER STAIR - MARBLE RISERS & TREADS
 REAR STAIR - BRICK PAVES RISERS & TREADS
 SPIRAL PREFAB. STAIR - CARPETED TREADS

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REAR ELEVATION



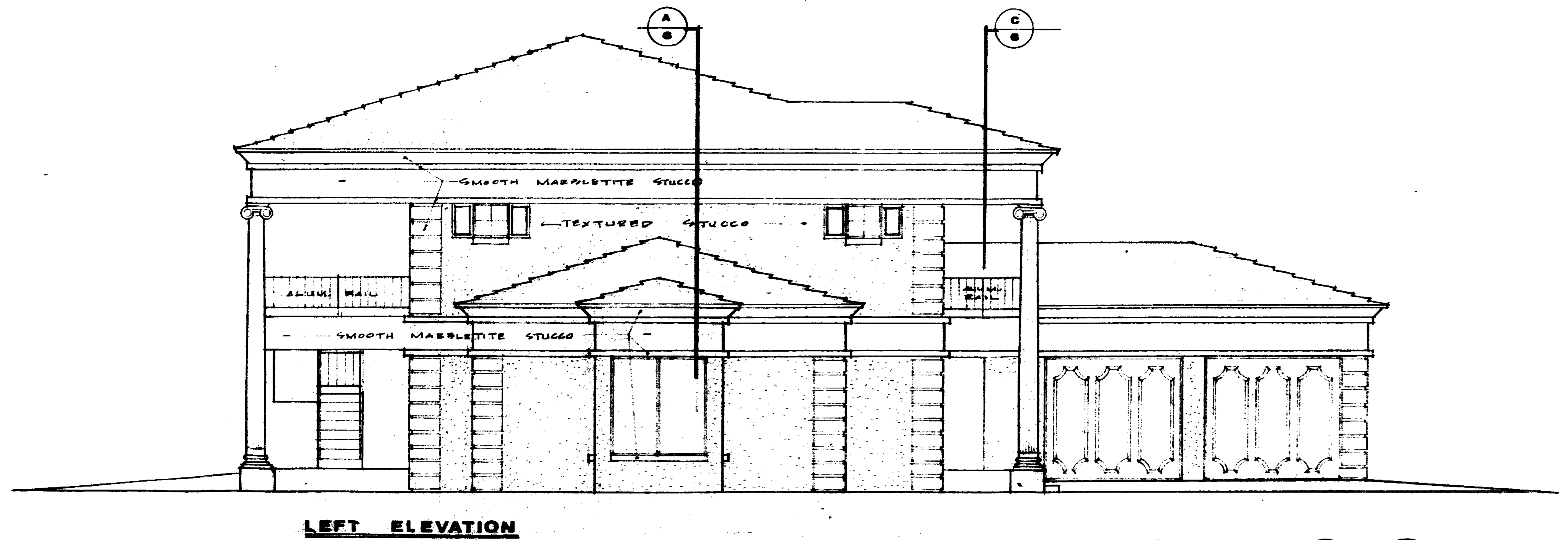
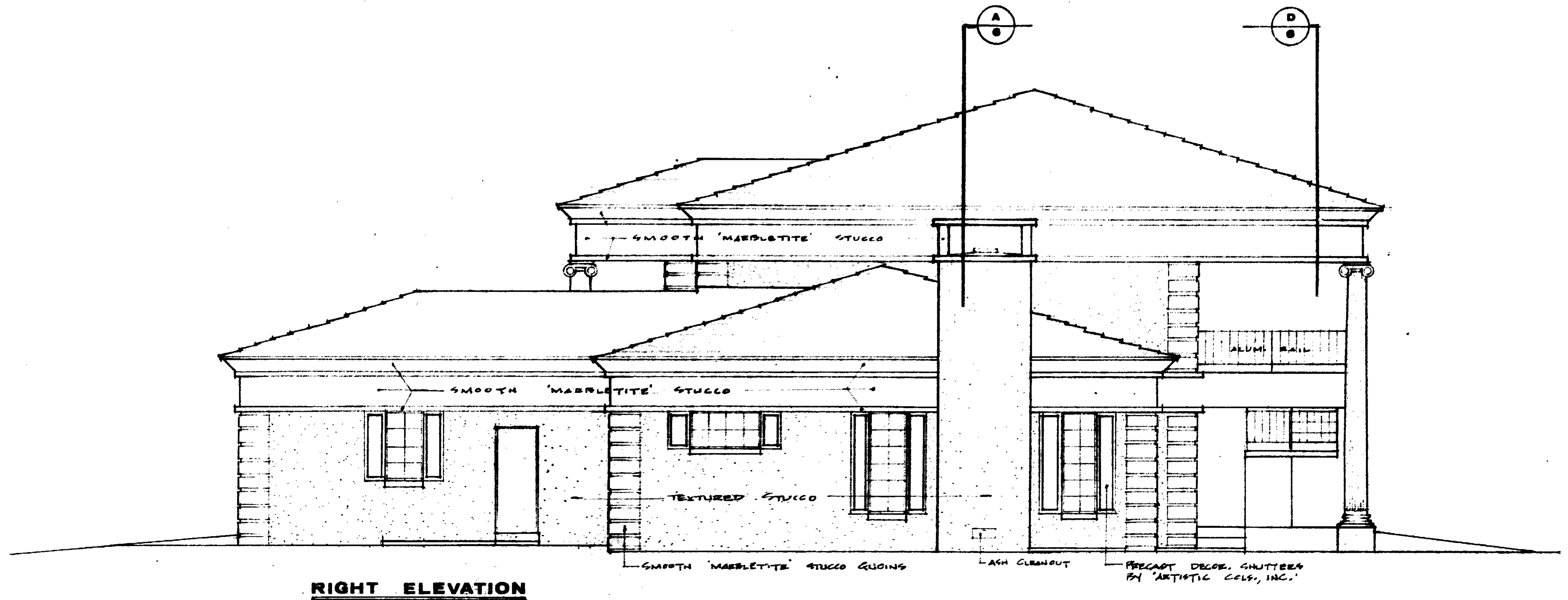
FRONT ELEVATION

NOTE: ALL WINDOW MOUNTING & FRAMES SHALL BE WHITE.

ELEVATIONS

SCALE: 1/4" = 1'-0"

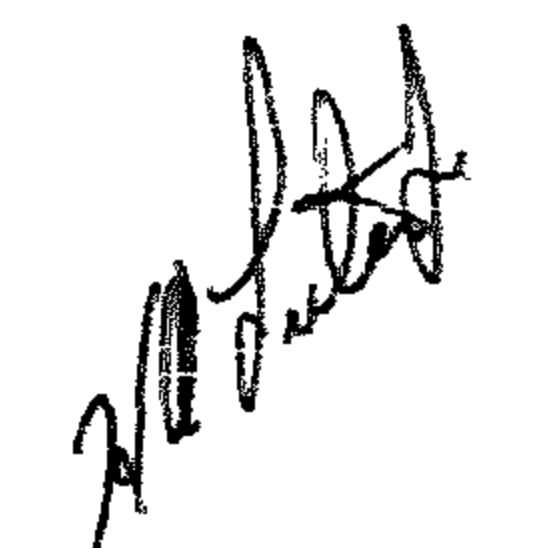
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ELEVATIONS

SCALE: 1/4" = 1'-0"

Anthony A. Montagnari



BEAM SCHEDULE

BEAM	ELEV. TOP OF BEAM	SIZE	SPACING	REMARKS
1-1	10'14"	2-5		
1-2	10'14"	2-5		
1-3	10'14"	2-5		
1-4	10'14"	2-5		
1-5	10'14"	2-5		
1-6	10'14"	2-5		
1-7	10'14"	2-5		
1-8	10'14"	2-5		
1-9	10'14"	2-5		
1-10	10'14"	2-5		
1-11	10'14"	2-5		
1-12	10'14"	2-5		
1-13	10'14"	2-5		
1-14	10'14"	2-5		
1-15	10'14"	2-5		
1-16	10'14"	2-5		
1-17	10'14"	2-5		
1-18	10'14"	2-5		
1-19	10'14"	2-5		
1-20	10'14"	2-5		
1-21	10'14"	2-5		
1-22	10'14"	2-5		
1-23	10'14"	2-5		
1-24	10'14"	2-5		
1-25	10'14"	2-5		
1-26	10'14"	2-5		
1-27	10'14"	2-5		
1-28	10'14"	2-5		
1-29	10'14"	2-5		
1-30	10'14"	2-5		
1-31	10'14"	2-5		
1-32	10'14"	2-5		
1-33	10'14"	2-5		
1-34	10'14"	2-5		
1-35	10'14"	2-5		
1-36	10'14"	2-5		
1-37	10'14"	2-5		
1-38	10'14"	2-5		
1-39	10'14"	2-5		
1-40	10'14"	2-5		
1-41	10'14"	2-5		
1-42	10'14"	2-5		
1-43	10'14"	2-5		
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1-98	10'14"	2-5		
1-99	10'14"	2-5		
1-100	10'14"	2-5		

PORCH STAIR PLAN

PORCH STAIR SECTION

GENERAL BEAM SCHEDULE NOTES:

- SCHEDULED HOOPS OR STIRRUPS SHALL BE PLACED AT EACH END OF BEAM UNLESS NOTED OTHERWISE.
- BUNDLE ALL STRUCTURAL BEAM TOP BARS IN PAIRS OVER SUPPORT WITH TOP BARS FROM ADJACENT BEAMS.
- ALL CONCRETE BEAMS OTHER THAN THOSE WITH THE PREFIX TB SHALL BE POURED PRIOR TO PLACING OF BLOCK BELOW.
- ALL TIE BEAM REINFORCING SHALL BE CONTINUOUS THRU TIE BEAMS ONLY.
- ALL TIE BEAM TOP REINFORCING SHALL EXTEND INTO SPAN OF ANY ADJACENT STRUCTURAL BEAM AS PER BENDING DIAGRAM.
- DROP BOTTOM OF TIE BEAMS AS REQUIRED AT WINDOW AND DOOR HEADS (28" MAXIMUM) AND ADD 2 #5 BOTTOM IF DROP EXCEEDS 8".
- TIE BEAM SCHEDULED DEPTHS ARE MINIMUM AND MAY BE INCREASED (8" MAXIMUM) TO FIT BLOCK WORK.

PRECAST CONCRETE PILES: TO BE REINFORCED CONCRETE POURED UNDER THE CONTROL OF AN APPROVED TESTING LABORATORY WHO SHALL, DESIGN A MIX TO SECURE A STRENGTH OF 3500 PSI AT 28 DAYS. #2 TIES TO BE SPACED AT 8" C/C EXCEPT AT THE TIP AND BUTT ENDS WHERE #2 TIES SHALL BE SPACED AT 3" C/C. PILES TO BE DRIVEN OR JETTED AND DRIVEN TO SECURE THE REQUIRED CARRYING CAPACITY. PILES TO BE CUT OFF SQUARE AT PROPER ELEVATIONS ALLOWING A MINIMUM OF 18" OF PILE STEEL TO PROJECT INTO GRADE BEAMS OR PILE CAPS. 12" x 12" PILES TO BE REINFORCED WITH 4 #6 VERTICAL AND DEVELOP A CARRYING CAPACITY OF 50 KIPS. 10" x 10" PILES TO BE REINFORCED WITH 4 #5 VERTICAL AND DEVELOP A CARRYING CAPACITY OF 35 KIPS.

PRESTRESSED CONCRETE PILES: TO BE POURED WITH A MIX DESIGNED BY A RECOGNIZED TESTING LABORATORY TO ATTAIN A STRENGTH OF 6000 PSI IN 28 DAYS. CONCRETE SHALL ATTAIN A STRENGTH OF 3500 PSI BEFORE STRANDS ARE RELEASED. REINFORCING SHALL BE PER ASTM A416-68 250K STRANDS WITH #5 GAUGE WIRE SPIRALS AT AN 8 INCH PITCH EXCEPT AT ENDS WITH 6 TURNS AT A 3 INCH PITCH. 12" x 12" PILES SHALL BE REINFORCED WITH 4 7/16" #8 STRANDS AND HAVE A CARRYING CAPACITY OF 50 KIPS. 10" x 10" PILES SHALL BE REINFORCED WITH 4 3/8" #8 STRANDS AND HAVE A CARRYING CAPACITY OF 35 KIPS.

REINFG. MARK LEGEND

SIZE OF BAR: 3/108 (OL)

SPACING IN INCHES

CL = CENTERLINE
 OL = OUTSIDE LAYER
 IL = INSIDE LAYER
 OF = OUTSIDE FACE
 IF = INSIDE FACE
 EP = EACH FACE
 B = BOTTOM
 T = TOP
 C = SEE BENDING DIA.
 V = VERTICAL
 H = HORIZONTAL
 M = MID-DEPTH
 TEMP = TEMPERATURE

BOTTOM BARS - TOP BARS - 'E' BARS

BAR #	A (END HOOK IN INCHES)
1	8
2	10
3	12
4	17
5	22
6	28
7	32
8	34

CONCRETE-GENERAL: UNLESS OTHERWISE CALLED FOR IN SPECIFICATIONS OR DRAWINGS ALL CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS AND RECOMMENDATIONS OF ACI-301-72 "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS".

CONCRETE: TO BE A MIX DESIGNED IN ACCORDANCE WITH ASTM C-94-72 TO ACHIEVE A STRENGTH AS STATED BELOW, AT 28 DAYS, WITH A PLASTIC AND WORKABLE MIX. A CERTIFICATE OF MANUFACTURER'S MIX AND STRENGTH IS TO BE PROVIDED. NO WATER TO BE ADDED AFTER TRUCK LEAVES PLANT WITHOUT APPROVAL OF ENGINEER OR PLANT ENGINEER. PLANT CONTROL IS REQUIRED. MAXIMUM MIX TIME AT POINT OF DEPOSIT IS 90 MINUTES. $f'_c = 3000$ PSI.

REINFORCING STEEL: BARS TO BE A615-GRADE 60 (UNLESS NOTED OTHERWISE), FREE FROM OIL, LOOSE SCALE AND LOOSE RUST AND MUST, LAPPED, PLACED, SUPPORTED AND FASTENED ACCORDING TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES (ACI 315-63) AND THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-71). IN CASE OF CONFLICT ACI 318-71 SHALL TAKE PRECEDENCE.

ALL FLOORS AND WALLS OF POOL TO BE GUNITED CONC. WITH A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI

ALL REINF. STEEL TO CONFORM TO A.S.T.M. 615 GRADE 40.

ALL POOL PIPING TO BE SCHED. 40 PVC BEARING NSF APPROVAL.

FILTER BACKWASH SHALL COMPLY WITH SECTION 5004 SFBC.

ALL POOL CONSTRUCTION SHALL COMPLY WITH CHAPTER 50 OF THE SOUTH FLORIDA BUILDING CODE (SFBC).

6. SURFACE SOILS ARE SANDY AND ARE PRESUMED TO HAVE A SAFE BEARING CAPACITY OF 600 PSF. THE MINIMUM BEARING CAPACITY REQUIRED IS EQUAL TO 500 PFS; IF ORGANIC OR MARL TYPE SOILS ARE ENCOUNTERED ON EXCAVATION OR IF TRASH OR OTHER DELTERIOUS MATERIAL IS ENCOUNTERED, ALL SUCH MATERIAL AND SOILS SHALL BE REMOVED AND THE OVER EXCAVATION SHALL BE BACKFILLED WITH CLEAN SAND AND/OR ROCK AND COMPACTED IN 12" THICK LAYERS OR; NOTIFY ENGINEER FOR PILING DESIGN. NO POOL OR PATIO SHALL BEAR ON ORGANIC SOILS OR ANY OTHER TYPE SOILS THAN SAND OR ROCK WITH A MINIMUM SAFE BEARING VALUE OF 600 P.S.F. NOR SHALL ANY SUCH SOIL STRATAS I.E. (ORGANIC) UNDERLIE POOL SHELL AND/OR PATIO BEARING STRATAS. IT IS RECOMMENDED THAT

SOIL BORINGS BE TAKEN AT ALL SITES OF QUESTIONABLE SOIL BEARING CAPACITY.

7. IN ALL CASES THE POOL CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT EXISTING STRUCTURES FROM FAILURE BY SHORING, UNDERPINNING OR ANY OTHER METHOD IF REQUIRED. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE SAFETY OF EXISTING STRUCTURES.

9. THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR POOL CONSTRUCTION IN EASEMENTS OR REQUIRED SETBACK AREAS. PLOT PLANS NOT PREPARED FROM LEGAL SURVEYS OF THE EXISTING LOT AND RESIDENCE ARE SO INDICATED. POOL CONTR. SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND ESTABLISH LOT

**IF NECESSARY, POOL CONTRACTOR AND/OR OWNER SHALL
VERIFY LAYOUT SHOWN AND ALL DIMENSIONS PRIOR TO
CONSTRUCTION.**

9. POOL CONTRACTOR SHALL ESTABLISH LOCATIONS OF EXISTING UTILITIES AT THE SITE PRIOR TO CONSTRUCTION. ESTABLISH UTILITY CLEARANCES FROM POOL WITH LOCAL REGULATORY AGENCIES.

10. POOL SLIDES TO BE INSTALLED IN ACCORDANCE WITH LATEST U.S. GOVERNMENT SAFETY STANDARDS.

11. MIN. 4° FENCE RECOMMENDED AROUND ALL POOLS.



SPL PIPING NOT SHOWN
FOR CLARITY



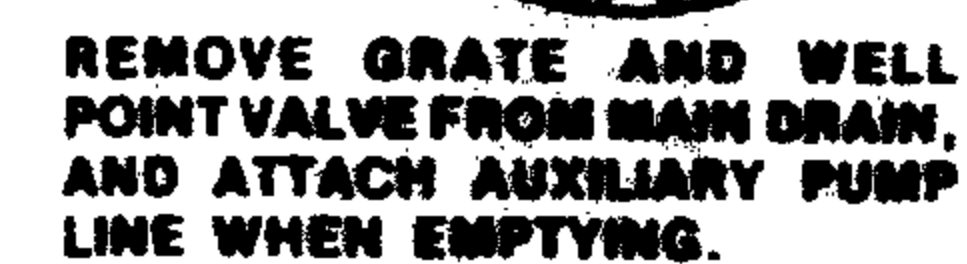
NTS



NTS



NTS



WELL POINT DETAIL

NTS

SIZE & DEPTH	34' x 33' 3" to 6'
CAPACITY	15,000 GALLONS
PERIMETER	90 LF
PUMP	3/4" / 1/2" HP FOR PUMP
FILTER	PUREX CHT 500 BLD VLE
TILE	6" PERIMETER
TYPE OF PATIO	SLIP RESISTANT FINISH
EXIT RAILINGS	FIGURE 4 GRIP RAILS AND HANDRAIL
COPING	PRECAST CONCRETE
TURNOVER	8 HOURS



NOTE:
ALL ELECTRICAL
SHALL CONFORM
W/ART. 680 N.E.C



INTERCOASTAL WATERWAY

POOL AND SITE PLAN

SCALE: 1/8" = 1'-0"

NORTH

**DANIEL F. BLUST
CONSULTING ENGINEER
HOLLYWOOD, FLORIDA**

POOL FOR: HOLLYWOOD DREAM HOMES
800 SOUTH 7TH AVENUE
HOLLYWOOD, FLORIDA

ATLANTIC POOLS OF BROWARD INC.

DATE _____

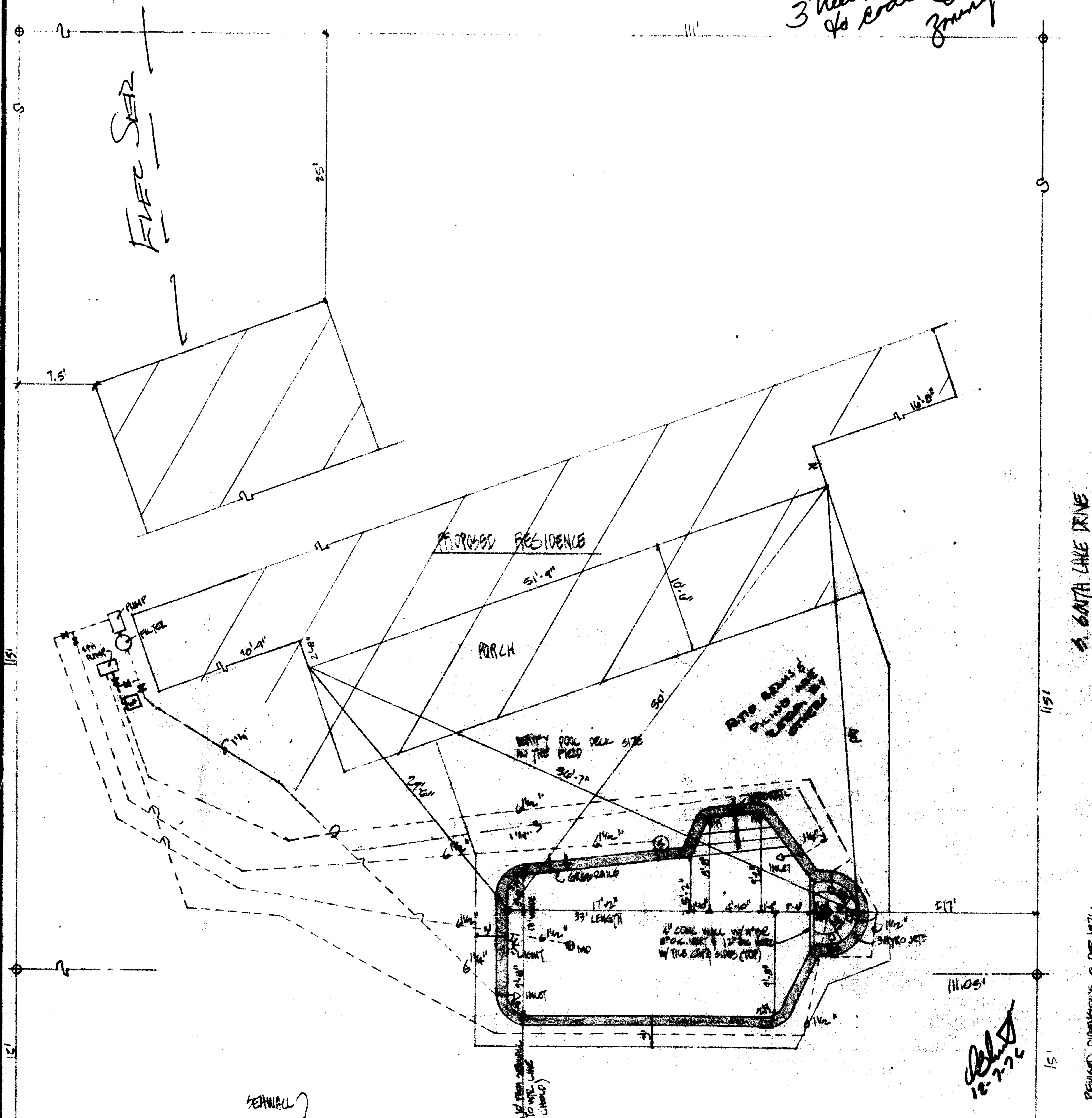
DATE 17 Nov. 1976 SHEET N°.

ORDER
COMM N

LOT 3 LESS THE S. 40.25' AND ALL OF LOT 4 & 5 BLOCK 79
HOLLYWOOD LAKES SECTION
BROWARD COUNTY, FLORIDA

6. 7th AVENUE

3 trees in private
to code *John*
Young 12/9/76



S. 607A LAKE DRIVE

REVISED DIFFERENTIALS 2 082 1976

ELEVATION OF DECK IN RELATION TO HOUSE: TO BE ESTIMATED IN THE FIELD

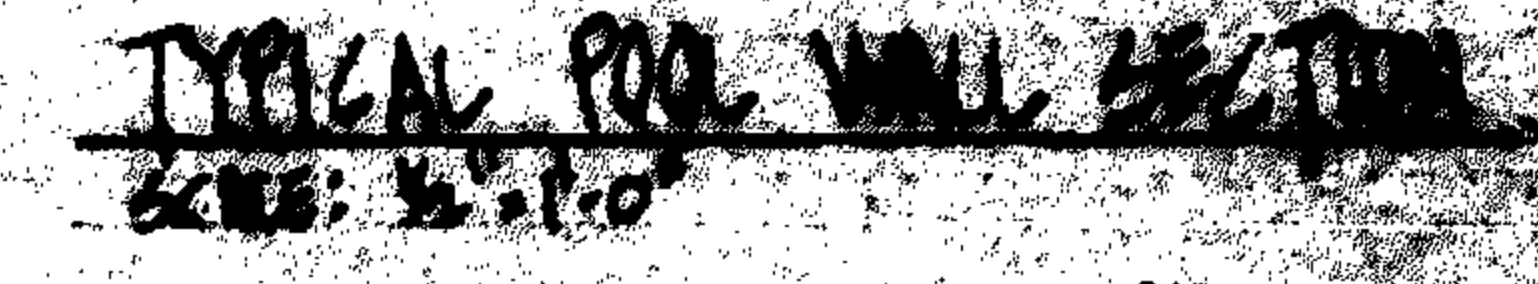
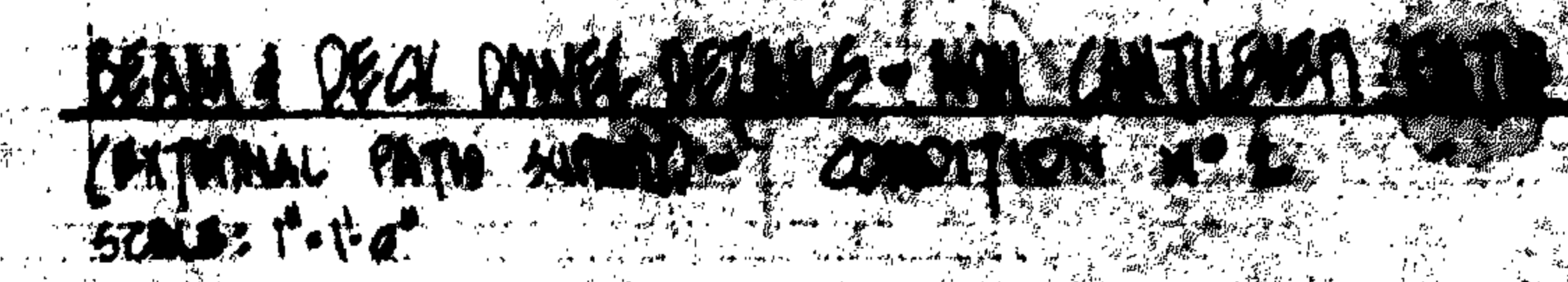
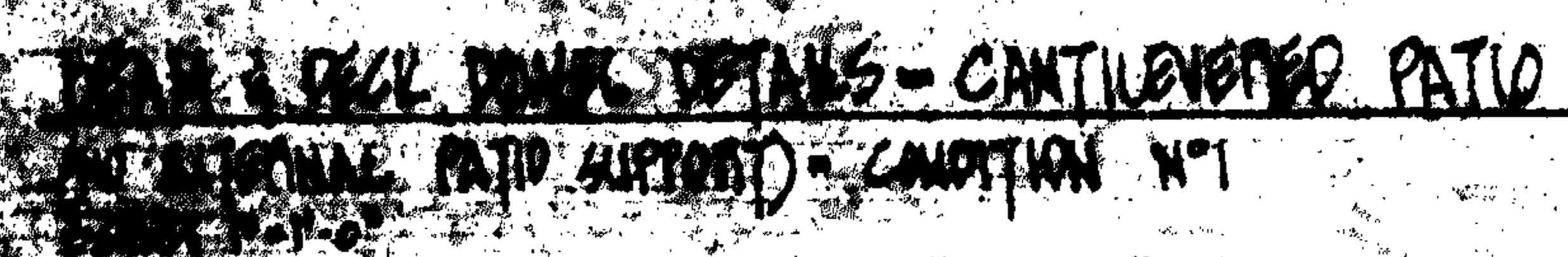
INTERCOASTAL WATERWAY

POOL AND SITE PLAN

SCALE: 1/8" = 1'-0"

NORTH

11

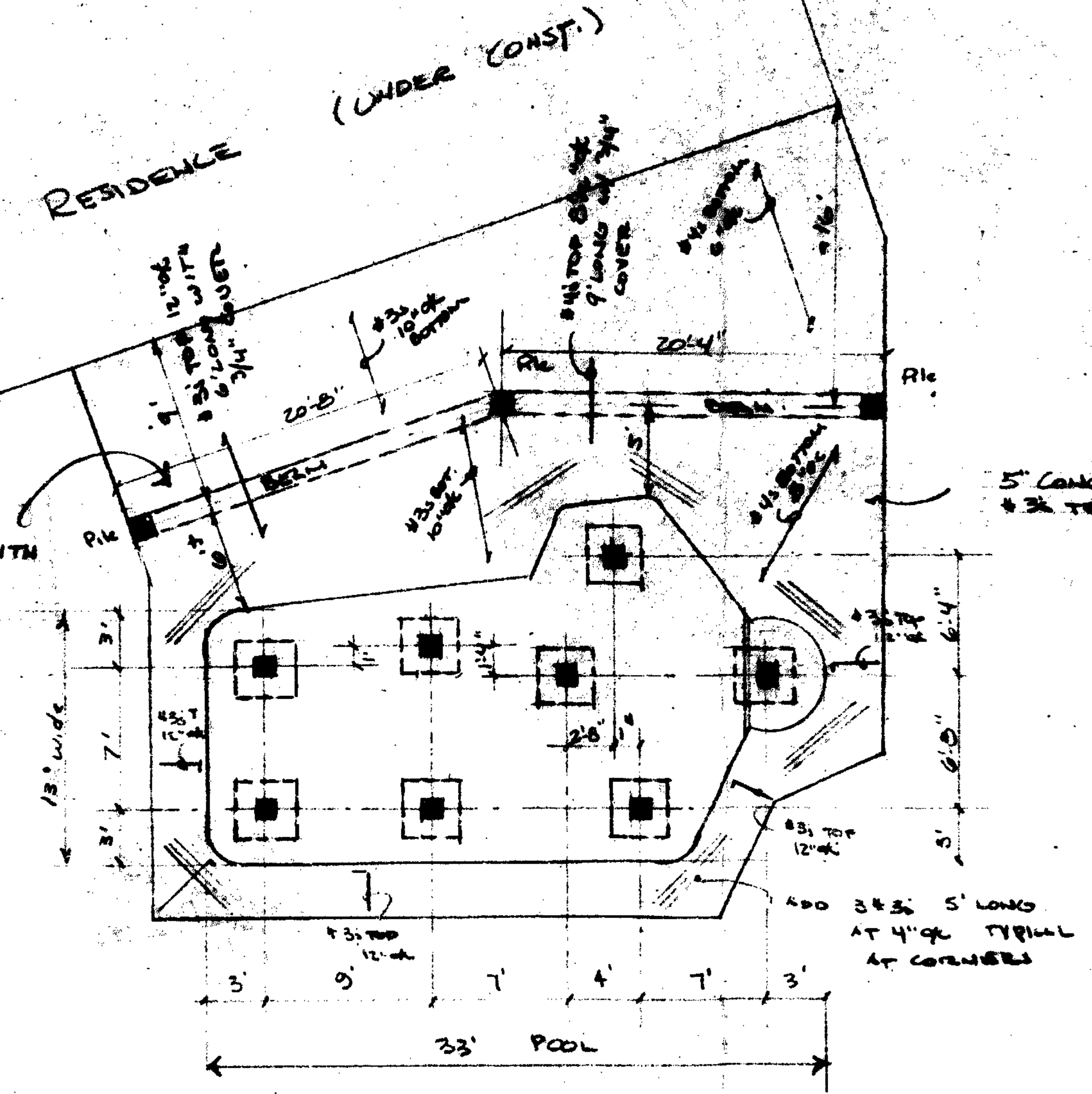


1. INCREASED DUE TO INCREASED CONSUMPTION OF FUEL OIL IN THE
 2. FUEL OIL CONSUMPTION. FUEL OIL CONSUMPTION IN THE
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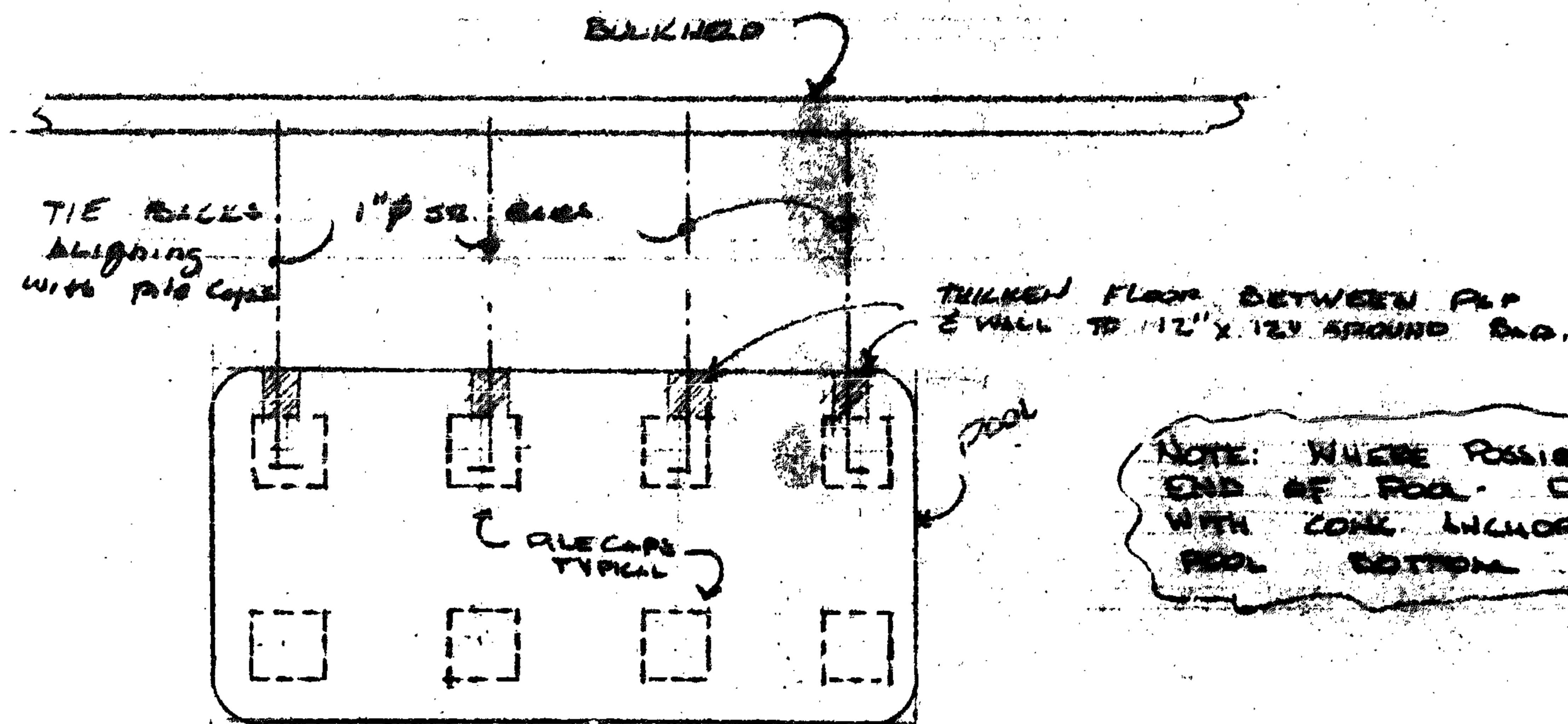
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1st CONCRETE PAVING AND SURFACING DONE BY THE
 SPAN: 2' COVER ON BOTTOM BARS - 4" DIA. 20
 REINFORCING

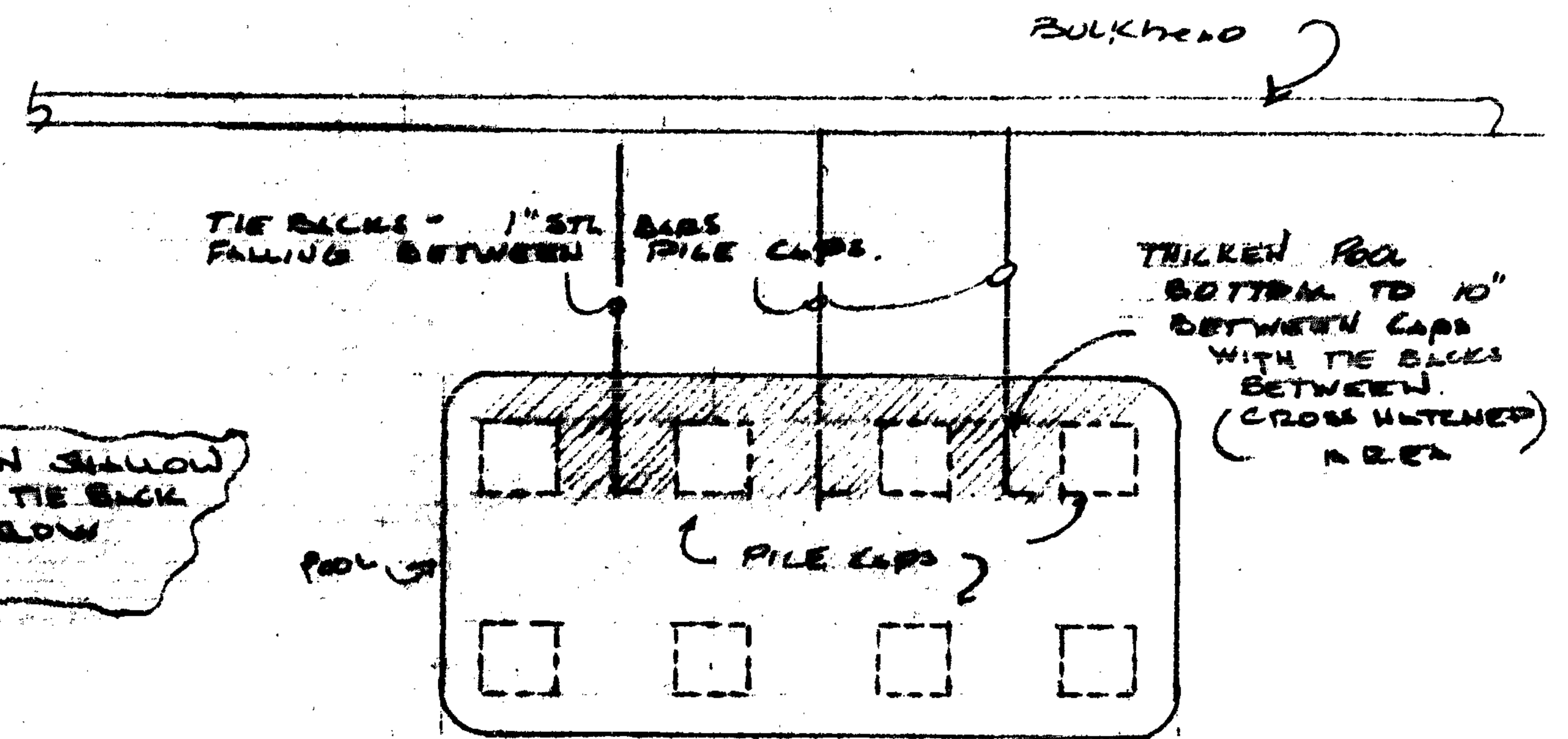
SPAN	BAR	REINFORCING BAR
T ¹	N ^o 3 @ 12" O.C.	N ^o 3 @ 12" O.C.
O ¹	N ^o 3 @ 10" O.C.	
T ¹	N ^o 3 @ 12" O.C.	
10 ¹	N ^o 4 @ 12" O.C.	
11 ¹	N ^o 4 @ 9 1/2" O.C.	
12 ¹	N ^o 4 @ 8" O.C.	



12-7-74



NOTE: WHERE POSSIBLE - IN SHALLOW END OF POOL - DROP TIE BARS WITH CONE ANCHOR BELOW POOL BOTTOM

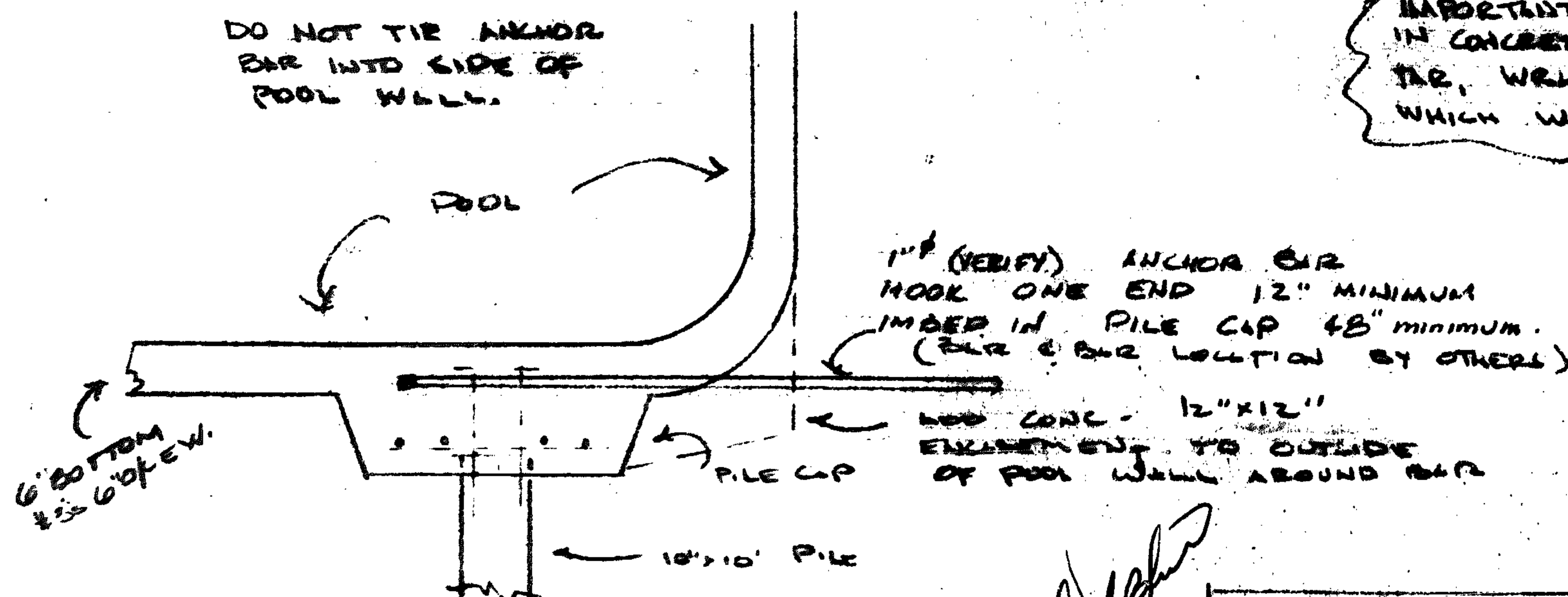


TIE BARS - PLAN VIEW - CONDITION #1

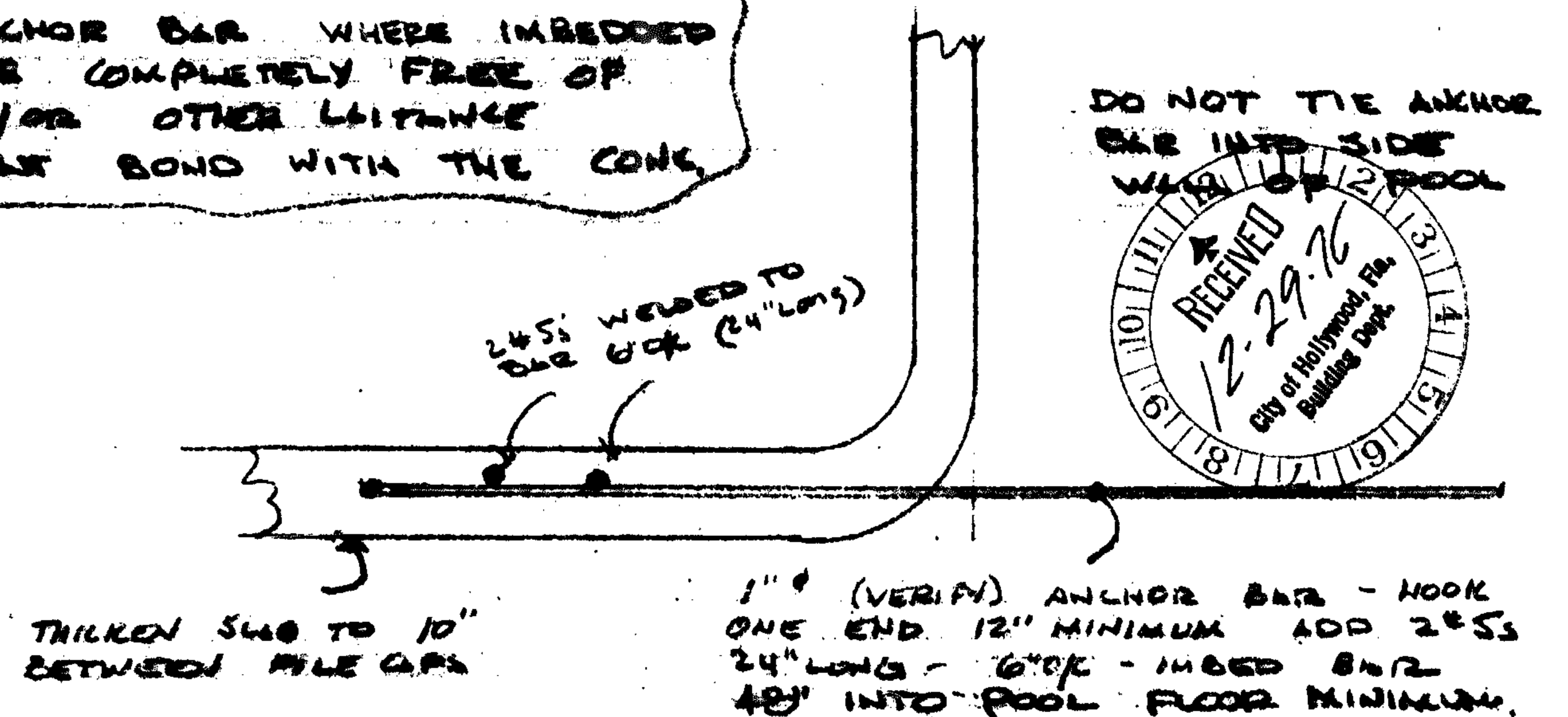
ALIGNING WITH PILE CAPS - NTS SEE SECTION BELOW

TIE BARS - PLAN VIEW - CONDITION #2

FALLING BETWEEN PILE CAPS SEE BELOW



IMPORTANT NOTE - ANCHOR BAR WHERE IMBEDDED IN CONCRETE SHALL BE COMPLETELY FREE OF TAR, WRAPPINGS AND/OR OTHER LUBRICANCE WHICH WOULD PREVENT BOND WITH THE CONC.



CONDITION #1 - SECTION NTS

[Signature]
12-21-76

BULKHEAD ANCHOR BAR TIE BARS INTO PROPOSED SWIMMING POOL FOR: HOLLYWOOD PETER HOMES - HOLLYWOOD - FLA

DANIEL F. BLUST CONSULTING ENGINEER HOLLYWOOD - FLORIDA

DEC 21 1976 APPENDIX SHEET

JOB CARD

OWNER

P. POST

JOB ADDRESS

800 S 7 Ave.

LEGAL
DESCRIPTION

LOT NUMBER
Pt 3, 4 & 5

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

77-0253

ARCHITECT

Anthony Montagnari

FEE

\$ 16.20

VALUATION

\$ 1800

DESCRIPTION OF CONSTRUCTION

Boat Dock

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	046	1/13/77	Clem Domes	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

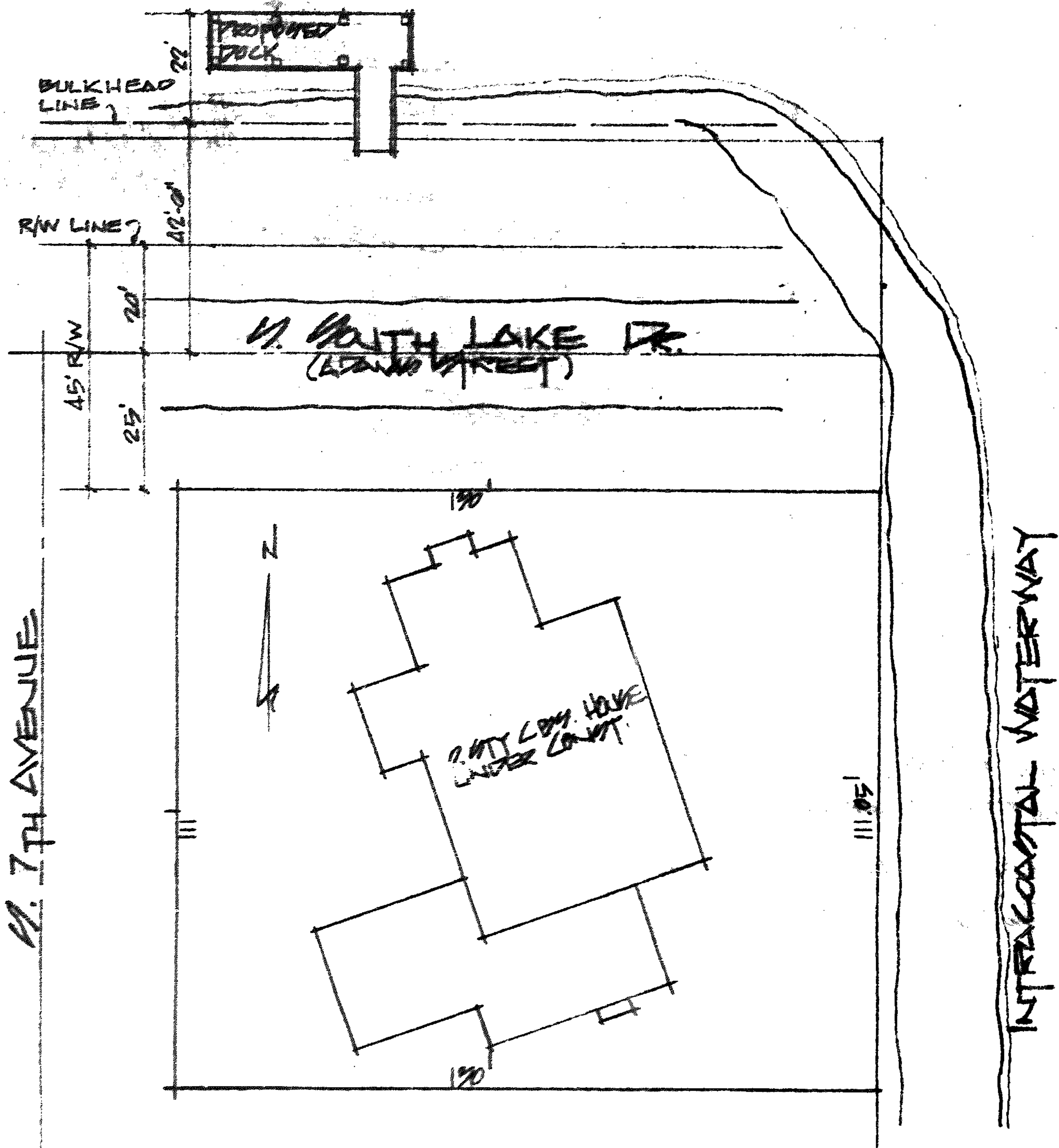
NOTES:

1613-13

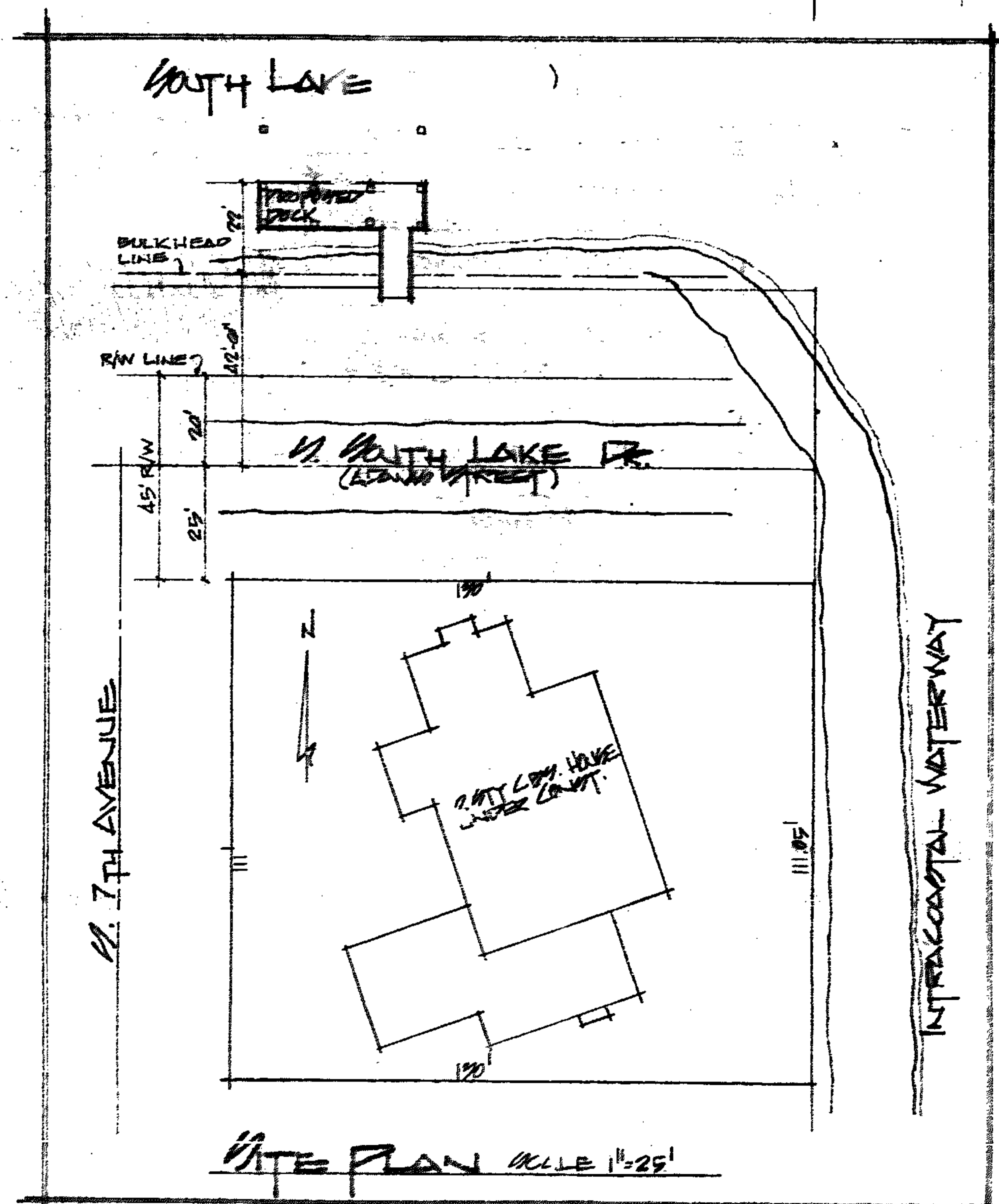
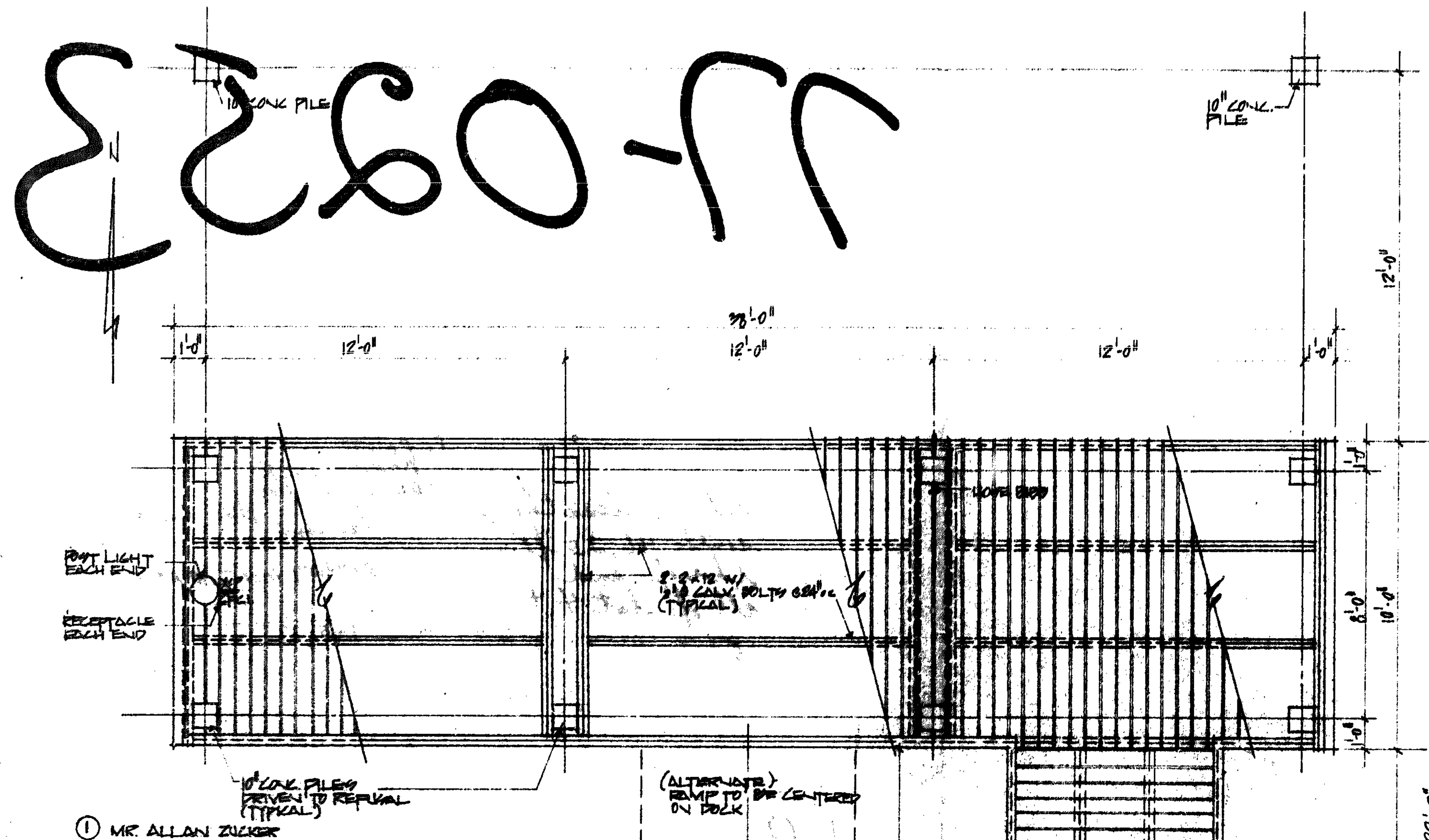
PERMIT REQUIRED

Roby C. Winter

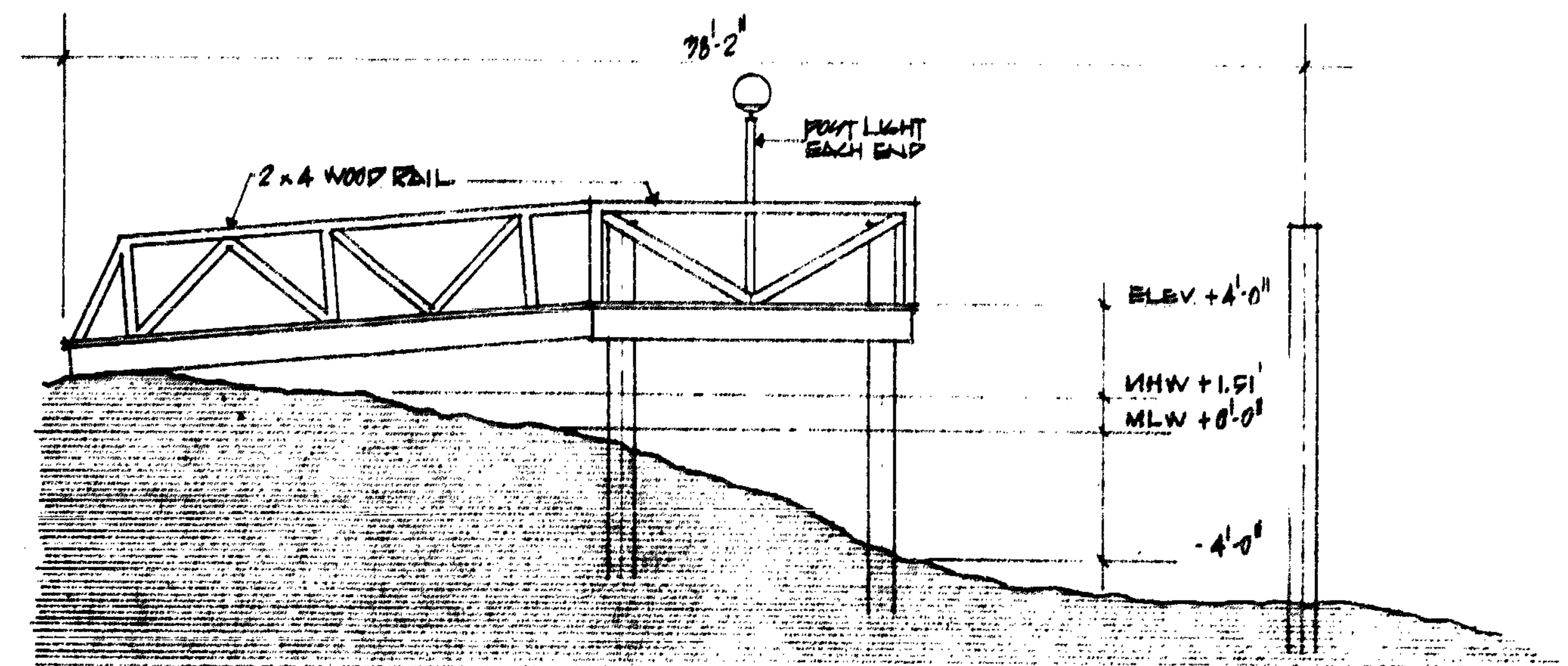
SOUTH LAKE



SITE PLAN SCALE 1"=25'



**"SEPARATE PLUMBING PERMIT
AND INSPECTION REQUIRED"**



~~RIGHT SIDE ELEVATION~~
SCALE 1" = 1'-0"

PROPOSED POCK
IN SOUTH LAKE - HOLLYWOOD
PROVINCIAL COUNTY - STATE - FLORIDA
SHEET 1 OF 1 DATE 11 AUGUST 76

PURPOSE: DOCKING FACILITY
ADJACENT PROPERTY OWNERS:
① MR. ALLAN ZUCKER
② MR. ALLAN ZUCKER
RETURN: MEAN LOW WATER -1.0

② MR. ALLAN ZUCKER

MEAN HIGH WATER ELEV. + 1.51'
ABOVE MEAN SEA LEVEL DATUM

TOP OF BANK
FILL AREA, ALL ABOVE
HIGH WATER
+2' ELEV.

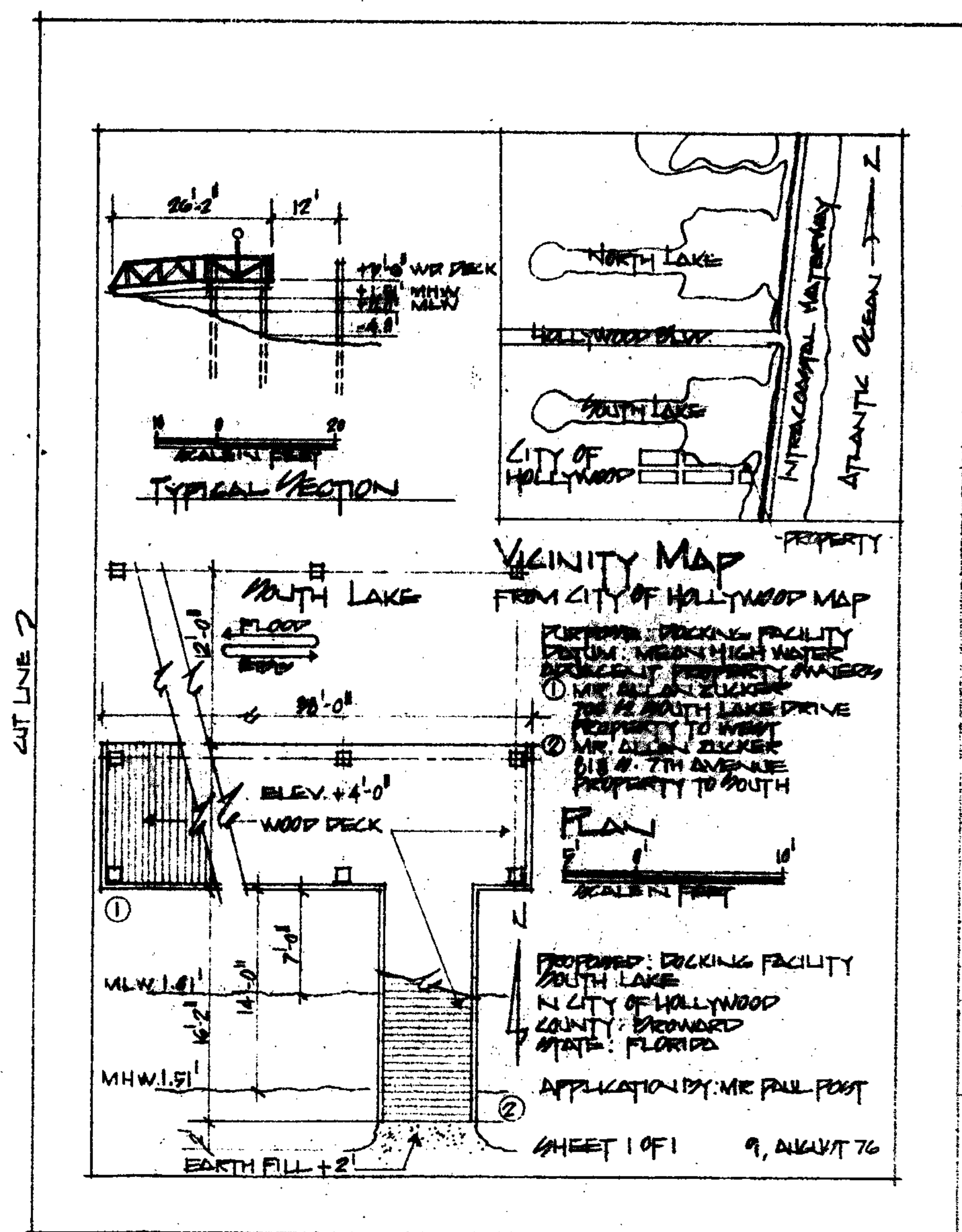
24" WATER LINE
ACROSS ADMIN STREET
TO EXIST'G WATER
SERVICE

UNDERGROUND ELECTRIC
CROSSING ADAMS STREET
TO EXISTING CONDUIT (SEE SPREAD)
3" IS W/8000
ADDITIONAL
SLIPING CONDUIT
ALONG ADAMS STREET
CAPPED EACH SIDE
FOR FUTURE USE

PLAN • SCALE $\frac{1}{8}'' = 1'0''$

LEGAL DESCRIPTION

LOT 2 LESS THE SOUTH 16.25 FEET
THEREOF AND ALL OF LOTS 4 AND 5, BLOCK 79
HOLLYWOOD LAKES SECTION
HOLLYWOOD FLORIDA
800 4 7TH AVENUE



APPLICATION FOR U.S. ARMY CORPS OF ENGINEERS

**SEPARATE ELECTRICAL
PERMIT REQUIRED**

Roby, W. M. -

JOE CARD

OWNER City of Hollywood		JOB ADDRESS 800 S. 7 Ave.	
LEGAL DESCRIPTION	LOT NUMBER corner of S.S. Lake Dr.	BLOCK	SUBDIVISION OR ADDITION
M. C. P. L. N. NO.	ARCHITECT	FEE \$ No Fee	VALUATION \$ 1000.00

DESCRIPTION OF CONSTRUCTION
Remove and replace 1407 sq. ft. asphalt on S.S. Lake Dr.

- ☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC SEWER			
ROOF				AIR CONDITION			
ELECTRIC BASIN				MECHANICAL			
ELECTRIC SUPP.				SCREEN			
PLUMBING	40, FIX.			POOL			
L.P. GAS WALL				DRIVEWAY	93794	2/21/85	A. DiTocco
FENCE				PATIO or WALK			

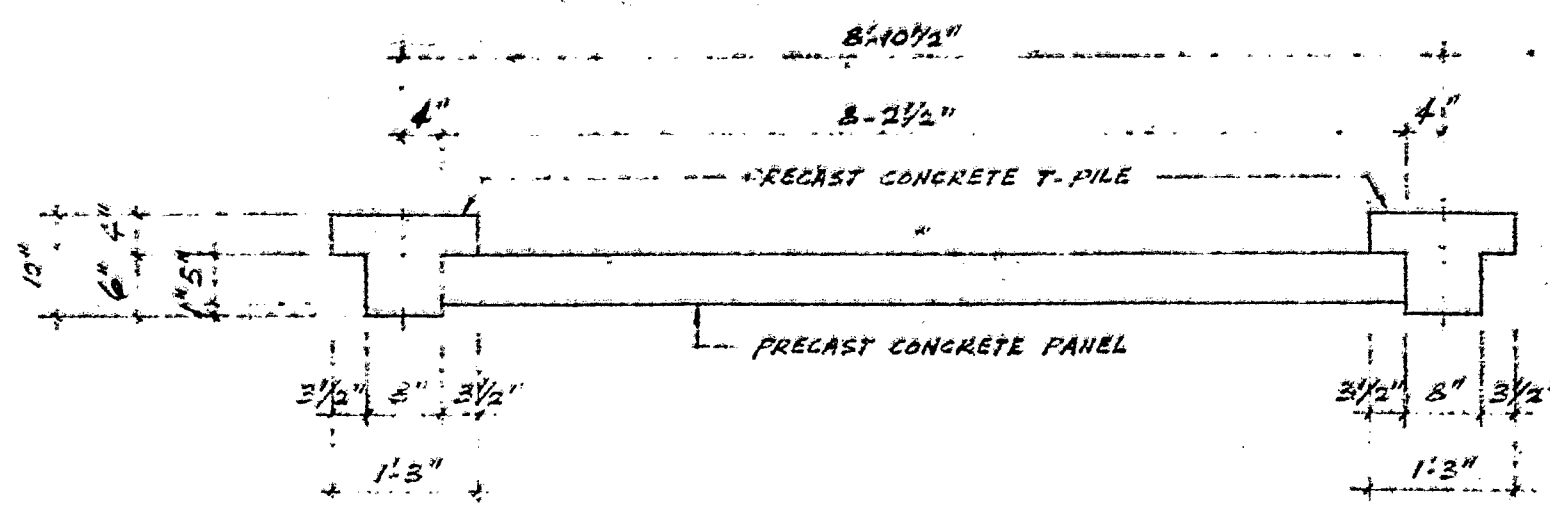
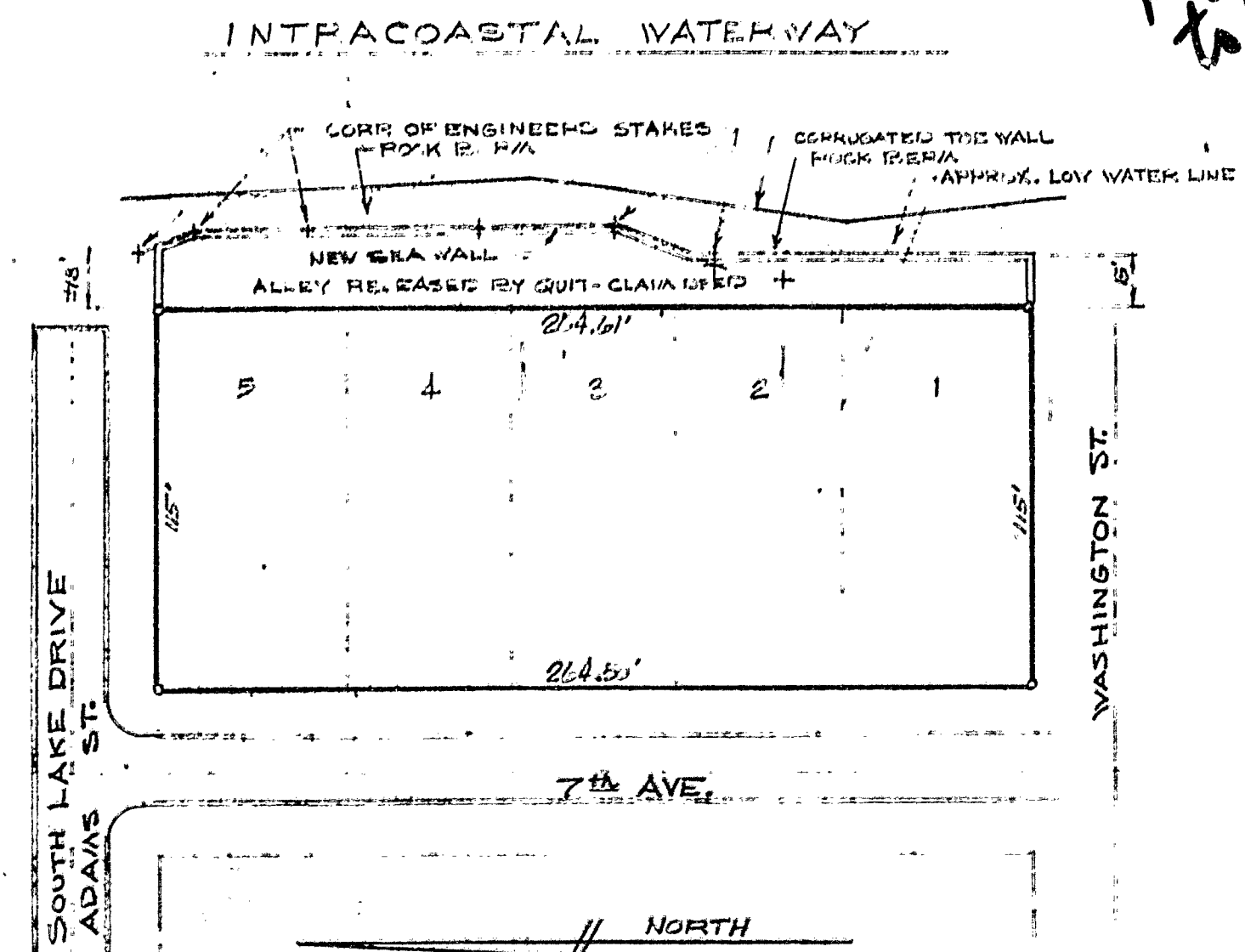
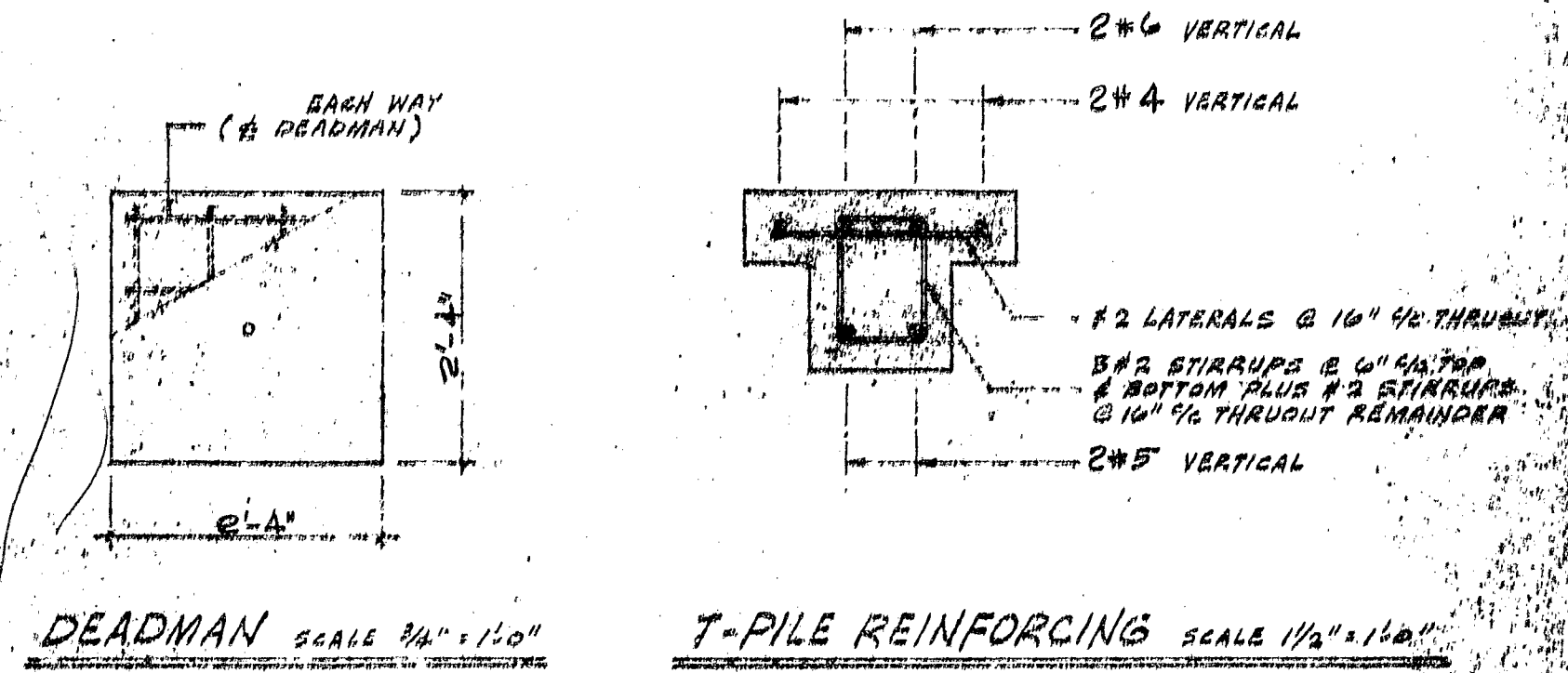
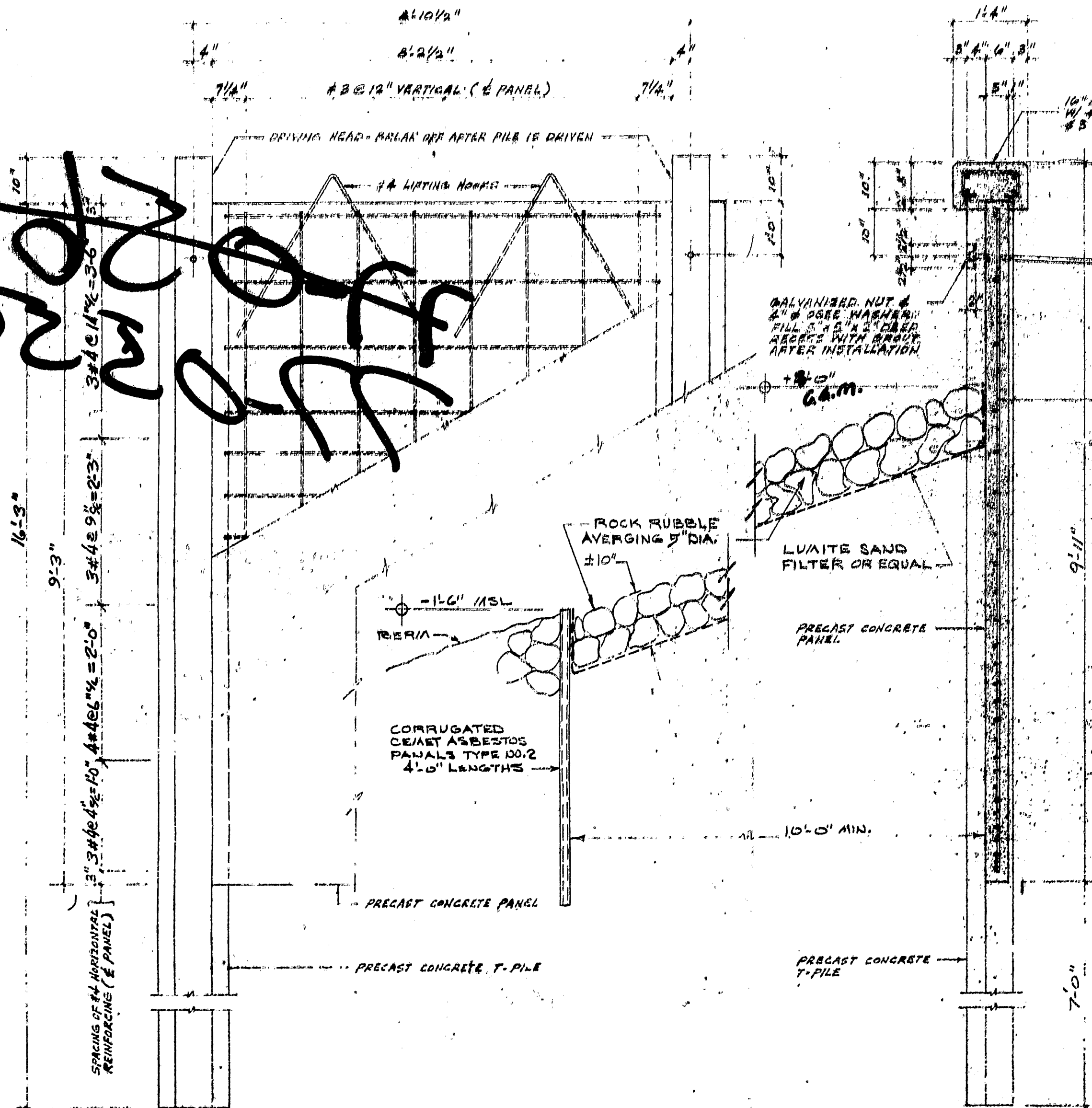
RATES: County Surcharge: .20

JOB CARD

OWNER FWD. BRIAN HOMES		JOB ADDRESS 800-18-36 S 7 Ave.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO. 27-560	ARCHITECT D. E. Britt Assoc	FEE \$ 73.80	VALUATION \$ 19,500
DESCRIPTION OF CONSTRUCTION Seawall			☐ SEPTIC TANK ☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING 297	36273	12/23/76	Pool Plln.	SEPTIC/SEWER			
WCT				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIN.				POOL			
S-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: *... 12/23/76 ... 1613-13*



STRUCTURAL NOTES:

BULKHEAD IS DESIGNED FOR A BERM ELEVATION NO LOWER THAN -3'-0" MSL. MAINTENANCE OF SAID BERM ELEVATION SHALL BE PROPERTY OWNERS RESPONSIBILITY. CONCRETE TO BE A MIX DESIGNED IN ACCORDANCE WITH ASTM C-694 BY A RECOGNIZED TESTING LABORATORY TO ACHIEVE A STRENGTH OF 3000 PSI, AT 28 DAYS, WITH A PLASTIC AND WORKABLE MIX.

REINFORCING STEEL TO BE A-36 GRADE, FREE FROM OIL, LOOSE SCALE AND LOOSE RUST AND BENT, LAPPED, PLACED, SUPPORTED AND FASTENED ACCORDING TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES (ACI-318-65) AND THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI-318-71). MINIMUM CONCRETE COVER ON REINFORCING STEEL TO BE: CONCRETE CAP - 3"; ALL OTHER COMPONENTS - 2".

TIE ROD TO BE BITUMASTIC COATED A-36 STEEL.

JOINTS ABOVE BERM SHALL BE SEALED.

SHEET TITLE: T-PILE & PANEL BULKHEAD	DATE: 11/1/78
JOB: INTRACOASTAL WATERWAY BULKHEAD	DRAWN BY: H.L.
FOR: ANTHONY A. MONTAGNARI	CHECKED BY: H.L.
ARCHITECT: 2500 E. HALLANDALE BOULEVARD, HALLANDALE, FLA.	DATE: 11/1/78
ENGINEER: D.E. BRITT ASSOCIATES, INC.	STATUS: 11/1/78
1428 NORTH FEDERAL HIGHWAY FORT LAUDERDALE, FLORIDA 33305	



DEPARTMENT OF THE ARMY
JACKSONVILLE DISTRICT, CORPS OF ENGINEERS
P. O. BOX 4970
JACKSONVILLE, FLORIDA 32201

SAJOB-RP
76J-0924

20 December 1976

Mr. Allen Zucker
c/o Anthony A. Montagnari
2500 E. Hallandale Beach Blvd.
Hallandale, Florida 33009

Dear Mr. Zucker:

We are pleased to inclose your Department of the Army Permit and a Notice of Authorization which should be displayed at the construction site. Work may begin immediately but you must notify the appropriate Area Engineer as representative of the District Engineer, of:

- (1) The date of commencement of the work (mail attached card),
- (2) The dates of work suspensions and resumptions if work is suspended over a week, and,
- (3) The date of final completion.

Area Engineer addresses and telephone numbers are shown on the attached map. The Area Engineer is responsible for inspections to determine that permit conditions are strictly adhered to.

IT IS NOT LAWFUL TO DEVIATE FROM
THE APPROVED PLANS ATTACHED.

Sincerely yours,

Gail G. Gren

GAIL G. GREN
Chief, Operations Division

4 Incl

1. Permit w/plans
2. Notice of Authorization
3. Commencement Card
4. Area Office Map



DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS

NOTICE OF AUTHORIZATION

20 DECEMBER 1976

A PERMIT TO CONSTRUCT A BULKHEAD AND BACKFILL

AT S. SOUTHLAKE DRIVE AND S. 7TH AVENUE, HOLLYWOOD, SECTION 14, TOWNSHIP 51 S,
RANGE 42 E, BROWARD COUNTY, FLORIDA

HAS BEEN ISSUED TO

MR. ALLEN ZUCKER

ON 20 DECEMBER 19 76

ADDRESS OF PERMITTEE

790 S. SOUTH LAKE DRIVE
HOLLYWOOD, FLORIDA 33009

PERMIT NUMBER 76J-0924

Donald A. Wisnom
DONALD A. WISNOM, COL., CE
District Engineer

2 permits were found for
800 S 7 AVE

View	<u>Process #</u>	<u>Permit #</u>	<u>Description</u>	<u>Appl. Date</u>	<u>Permit Date</u>
Details		P9601088	PLUMBING WORK		6/21/1996
Details		B9207999	RE-ROOF-METAL,TILE,WOOD SHINGLE OR SHAKE		12/4/1992