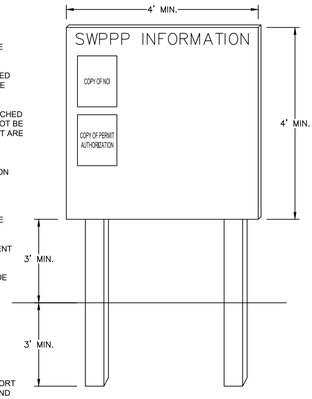
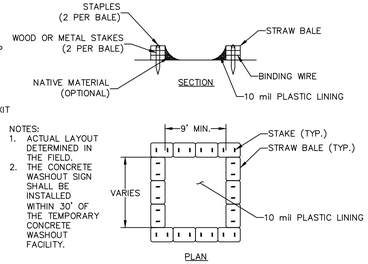
EROSION CONTROL NOTES

1. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
6. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
7. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.
8. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
9. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
10. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
11. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
12. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
13. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
14. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN THE "FLORIDA EROSION AND SEDIMENT CONTROL MANUAL" AND COUNTY PERMITS.
15. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
16. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
17. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.
18. NOI TO BE POSTED ON SITE.



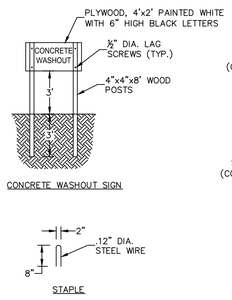
NOTES:
1. "SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.
2. SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).
3. THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE ENTRANCE/EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE/VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
4. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
5. CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE LOCAL AGENCY.
6. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
7. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THIS SWPPP INFORMATION SIGN.

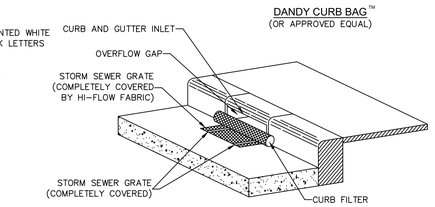
SWPPP INFORMATION SIGN
N.T.S

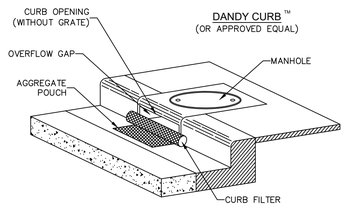


NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

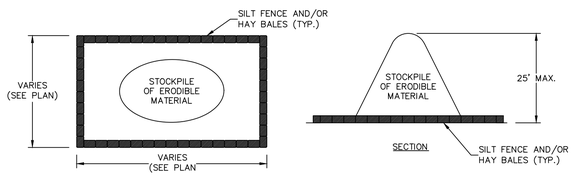
CONCRETE & STUCCO WASTE MANAGEMENT
N.T.S







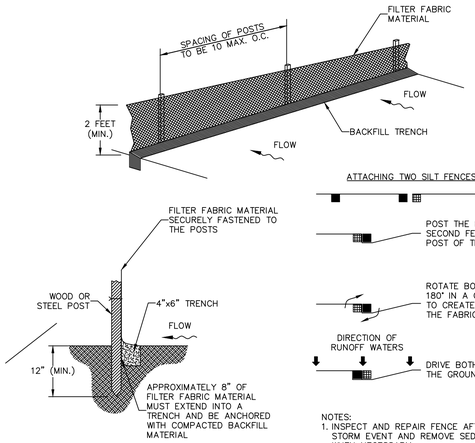
CURB INLET SEDIMENT CONTROL
N.T.S



NOTES:
1. PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) AS REQUIRED.
2. FLUSH SURFACE STONE TOWARD SEDIMENT TRAP WITH HIGH VOLUME WATER FLOW AS NEEDED TO MAINTAIN CLEAN SURFACE STONE.
3. PLACEMENT OF SEDIMENT TRAP SHALL BE AT LEAST THE MINIMUM DISTANCE FROM THE RIGHT OF WAY AS REQUIRED BY LOCAL JUSIDICTION.

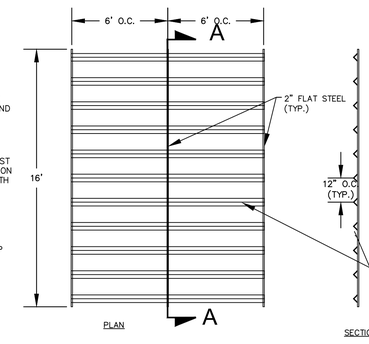
NOTE:
WHEN STOCKPILING ERODIBLE MATERIAL FOR EXTENDED PERIODS, THE AREA SHALL BE SEEDED AND MULCHED.

SEDIMENT CONTROL FOR STOCKPILING OF ERODIBLE MATERIAL
N.T.S

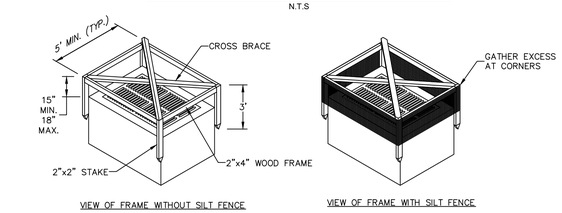


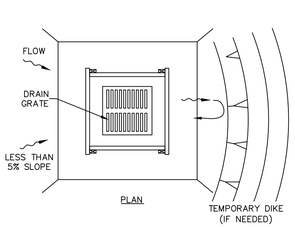
NOTES:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

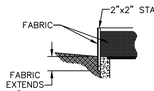
SILT FENCE INSTALLATION
N.T.S



RUMBLE PAD
N.T.S

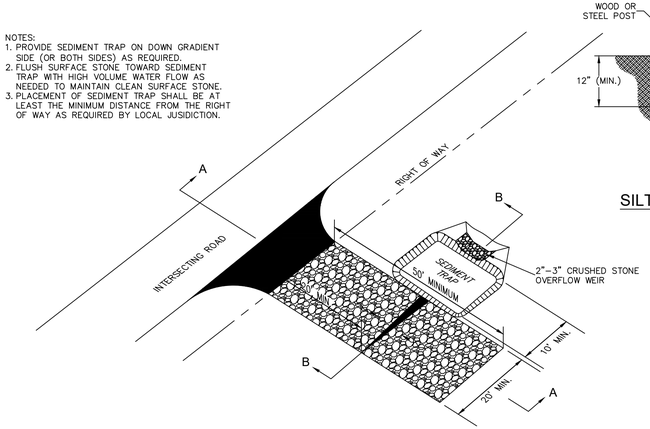


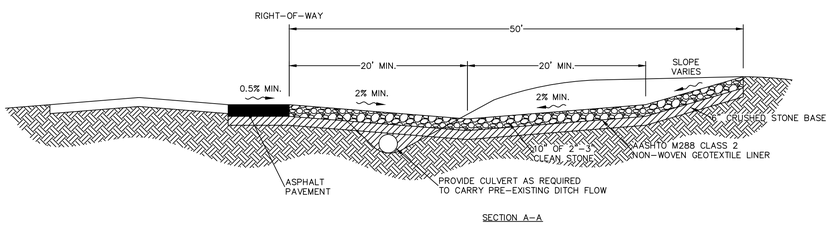


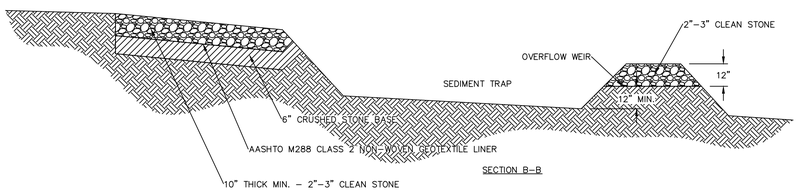


NOTES:
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS
2. THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.
3. THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS IS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 5%) WHERE THE INLET SHEET OR OVERLAND FLOWS (NOT EXCEEDING 1 C.F.S.) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

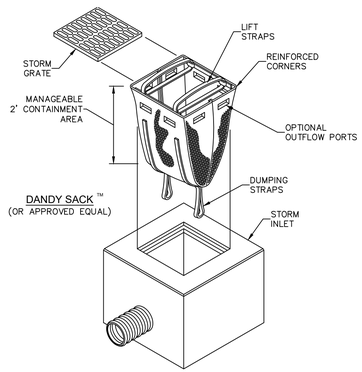
SILT FENCE INLET PROTECTION
N.T.S







CONSTRUCTION EXIT
N.T.S



INLET INSERT
N.T.S

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

NOTES:
1. FOR TEMPORARY USE TO CAPTURE LARGER DIAMETER SEDIMENTS. NOT TO BE UTILIZED AS THE ONLY SEDIMENT CONTAINMENT SYSTEM
2. GEOTEXTILE WILL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEED REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. AN OIL ADSORBENT PAD OR PILLOW CAN BE PURCHASED WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.

No.	REVISIONS	DATE	BY

Kimley»Horn
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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

GREGORY D WILFONG
Digitally signed by GREGORY D WILFONG DN: c=US, o=KIMLEY-HORN ASSOCIATES, email=gregory.wilfong@kimley-horn.com Date: 2024.09.18 18:18:41 -04'00'
LICENSED PROFESSIONAL ENGINEER No. 63166 STATE OF FLORIDA

KHA PROJECT	147507131
DATE	9/3/2024
SCALE	AS SHOWN
DESIGNED BY	SHB
DRAWN BY	SHB
CHECKED BY	GDW

EROSION CONTROL DETAILS

OAKWOOD SOUTH RETAIL SHOPPING CENTER
CITY OF HOLLYWOOD FL

SHEET NUMBER
C-102

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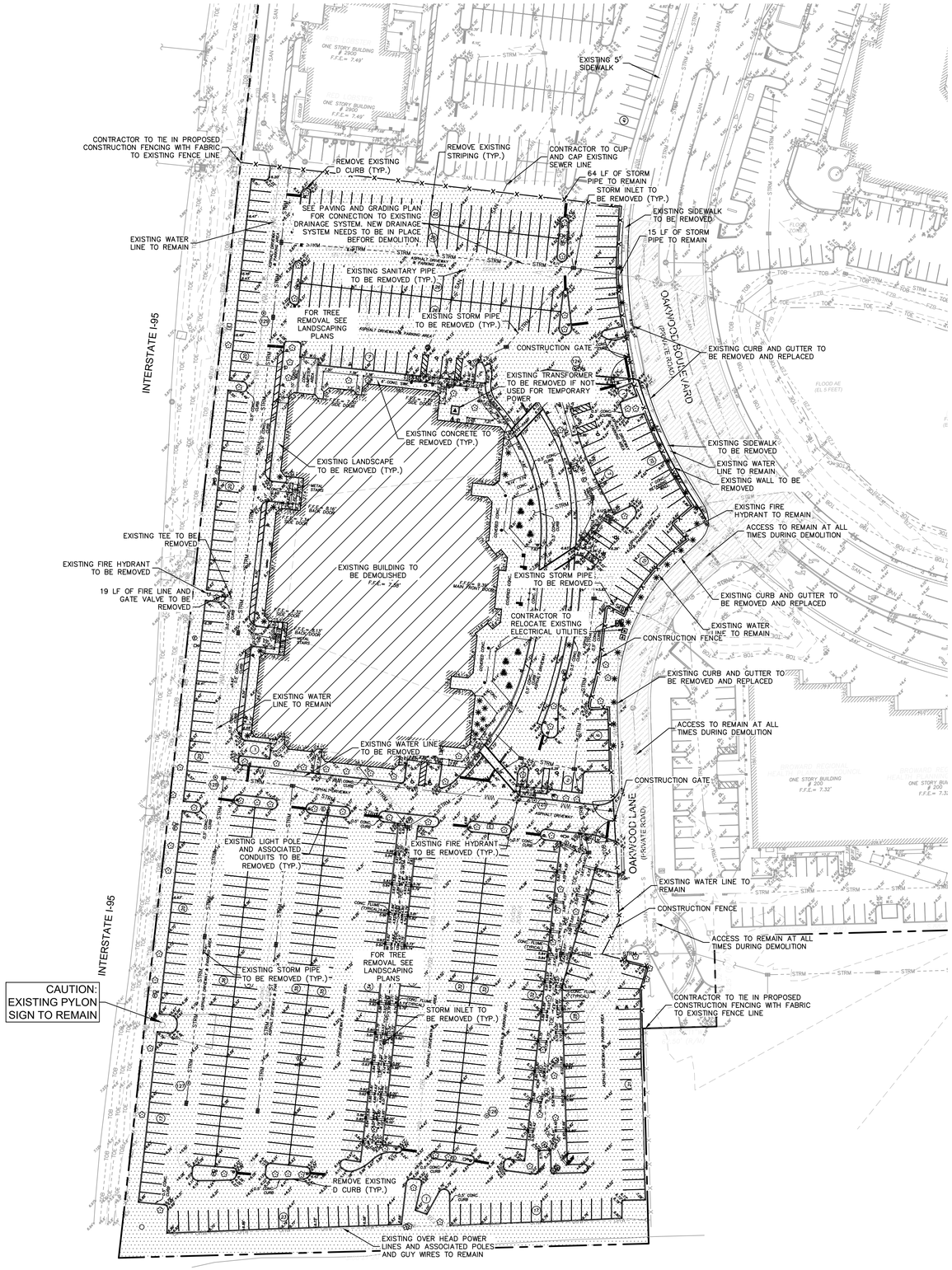

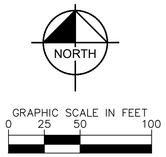

UTILITY LEGEND

- PROPERTY LINE
- UTILITY EASEMENT
- WATER MAIN (WM)
- SANITARY MAIN
- ELECTRIC
- GAS
- EXISTING STORM PIPE
- PROPOSED CONSTRUCTION FENCE WITH FABRIC
- FDC
- GATE VALVE
- 90° BEND
- 45° BEND
- 22.5° BEND
- 11.25° BEND
- TEE
- TRANSFORMER
- EXISTING SEWER MANHOLE
- CONSTRUCTION GATE
- PARKING LOT AREA TO BE DEMOLISHED AND CLEARED. DEMOLITION INCLUDES BUT IS NOT LIMITED TO PAVEMENT, SUBBASE , UTILITIES, STORM DRAINAGE, CONDUIT, LIGHT POLES, AND TREES UNLESS OTHER SPECIFIED.
- MILLING AND RESURFACING

DEMOLITION NOTES:

1. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT ALL EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
2. THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
3. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS.
4. ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
5. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
6. CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO DEMOLITION TO ENSURE SERVICES HAVE BEEN DISCONNECTED.
7. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
8. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
9. DE-WATERING SHOULD BE ANTICIPATED AND INCLUDED.
10. ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
11. WHERE REMAINING, INLETS, MANHOLE COVERS, AND VALVE COVERS TO BE PROTECTED IN PAVEMENT REMOVAL AREAS.
12. SEE SITE AND IMPROVEMENTS PLANS FOR LIMITS AND GRADING OF RESURFACED DRIVEWAYS AND ENTRANCES.
13. SEE LANDSCAPE PLAN FOR TREE REMOVAL/RELOCATION AND TREE PROTECTION.
14. SEE EROSION CONTROL PLAN FOR REMAINING INLET PROTECTION AND EROSION PREVENTION.

(ALTERNATE NOTES)

15. INGRESS AND EGRESS, AS WELL AS SUFFICIENT PARKING SHALL BE MAINTAINED, TWENTY-FOUR HOURS A DAY, SEVEN DAYS A WEEK, THROUGHOUT ALL PHASES OF CONSTRUCTION.
16. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING SITE LIGHTING AND CONDUIT ROUTINGS AND FOR ASSURING THAT THE CIRCUITRY OF THE SITE LIGHTING TO REMAIN IS MAINTAINED AND THAT DEMOLITION DOES NOT IMPACT SITE LIGHTING OF THE REMAINDER OF THE DEVELOPMENT.
17. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DEMOLISHING ALL EXISTING IRRIGATION. THE CONTRACTOR SHALL ASSURE THAT THE INTEGRITY OF THE IRRIGATION SYSTEM FOR THE REMAINING DEVELOPMENT IS MAINTAINED.

GREGORY D WILFONG

Digitally signed by GREGORY D WILFONG
DN: cn=GREGORY D WILFONG, c=US, o=KIMLEY-HORN AND ASSOCIATES, INC., email=greg.wilfong@kimley-horn.com
Date: 2024.09.04 09:06:00 -04'00'

GREGORY D. WILFONG
No. 63166
STATE OF FLORIDA
PROFESSIONAL ENGINEER

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY D. WILFONG, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE DIGITAL SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

No.	REVISIONS	DATE	BY

Kimley»Horn
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WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT 147507131

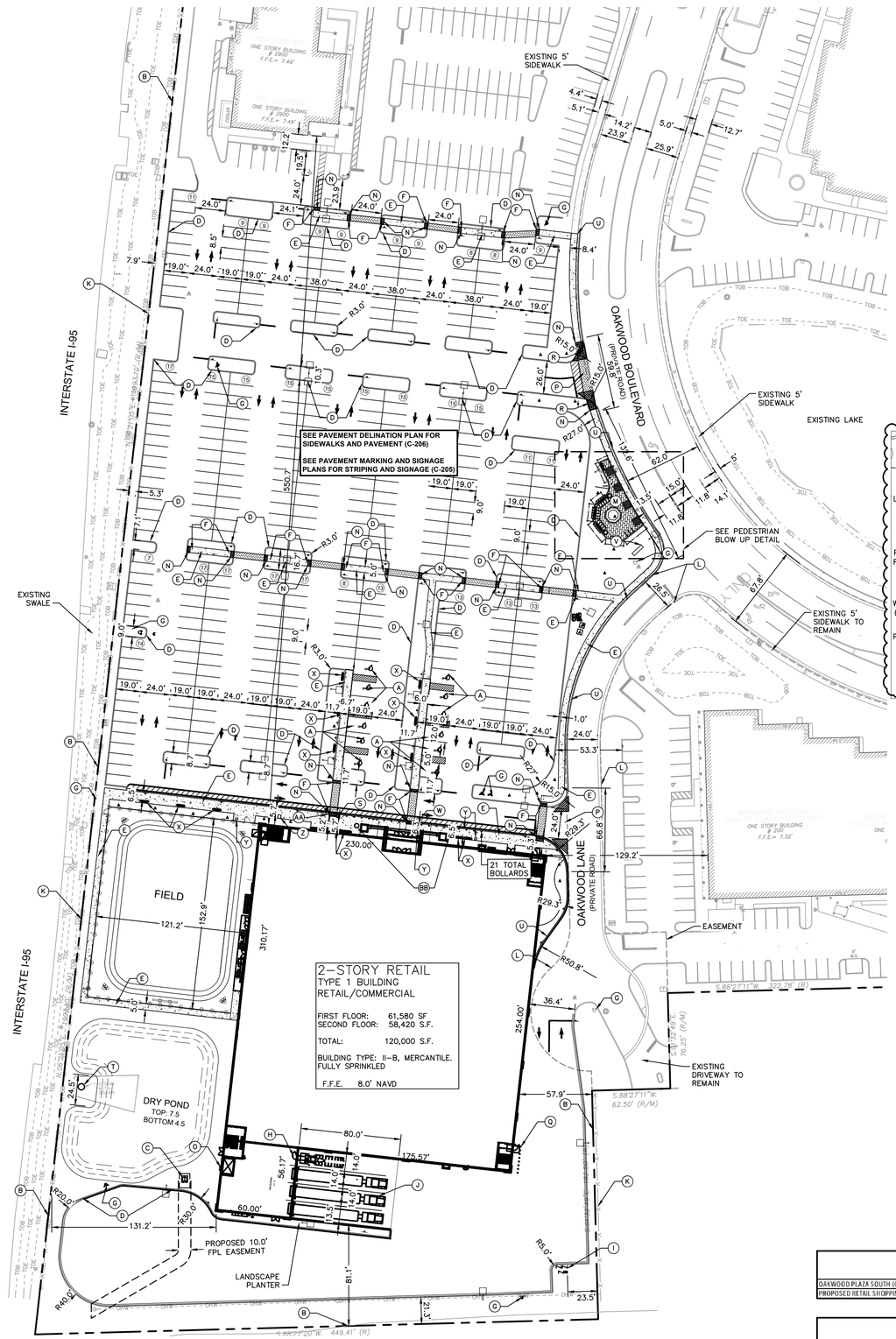
DATE	9/3/2024
SCALE	AS SHOWN
DESIGNED BY	SHB
DRAWN BY	SHB
CHECKED BY	GDW

DEMOLITION PLAN

OAKWOOD SOUTH RETAIL SHOPPING CENTER

CITY OF HOLLYWOOD FL

SHEET NUMBER
C-150



SITE LEGEND

- (A) ACCESSIBLE PARKING SPACE (TYP.) (SEE SHEET C-201 FOR DETAIL. WITH ADA SIGN)
- (B) PROPERTY LINE
- (C) CONCRETE TRANSFORMER PAD AND TRANSFORMER. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
- (D) 6" TYPE 'D' CURB (SEE SHEET C-202 AND SHEET C-206)
- (E) STANDARD DUTY CONCRETE SIDEWALK (5' MIN) (SEE SHEET C-202 AND SHEET C-206)
- (F) FDOT CURB RAMP TYPE CR-E INDEX 522-002 (SEE SHEET C-201 FOR DETAIL AND SHEET C-206)
- (G) PROPOSED OR EXISTING FIRE HYDRANTS
- (H) COMPACTOR (SEE SHEET C-201)
- (I) WATER/ FIRE EQUIPMENT
- (J) LOADING DOCK (SEE ARCH PLANS)
- (K) EXISTING FENCE TO REMAIN
- (L) EXISTING ACCESS EASEMENT
- (M) PEDESTRIAN PLAZA (SEE SHEET L-301 AND BLOW UP BELOW)
- (N) DETECTABLE WARNING PER FDOT INDEX 522-002 (SEE SHEET C-201)
- (O) GAS METER (SEE ARCH. PLANS)
- (P) ASPHALT DRIVEWAY (SEE SHEET C-350 AND DETAIL C-20 ON SHEET C-202)
- (Q) PROPOSED BOLLARDS (SEE SHEET C-201)
- (R) FDOT CURB RAMP TYPE CR-F INDEX 522-002 (SEE SHEET C-201 FOR DETAIL AND SHEET C-206)
- (S) FDOT CURB RAMP TYPE CR-A INDEX 522-002 (SEE SHEET C-201 FOR DETAIL AND SHEET C-206)
- (T) EXISTING FREEWAY SIGN TO REMAIN (LONG TERM LEASE WITH OWNER/SIGN COMPANY)
- (U) 6" TYPE 'F' CURB AND GUTTER (SEE DETAIL C-26 ON SHEET C-202)
- (V) PROPOSED MONUMENT SIGN (SIGN WILL BE UP TO MAXIMUM ALLOWED BY CODE, DESIGN WILL BE SUBMITTED WITH PERMIT APPLICATION)
- (W) FDOT CURB RAMP TYPE CR-C INDEX 522-002 (SEE SHEET C-201 FOR DETAIL)
- (X) BENCH (SEE LANDSCAPING PLANS)
- (Y) TRASH BIN (SEE LANDSCAPING PLANS)
- (Z) BIKE RACK (SEE LANDSCAPING PLANS)
- (AA) BOLLARD (SEE LANDSCAPING PLANS)
- (BB) LARGE PLANTER (SEE LANDSCAPING PLANS)

NORTH

GRAPHIC SCALE IN FEET
0 25 50 100

MAIL DELIVERY NOTE

MAIL DELIEVERY WILL BE INSIDE STORE

SITE LIGHTING CONFORMANCE NOTE

THE SIGHT LIGHTING OF THE SITE SHALL CONFORM TO THE SITE LIGHTING CRITERIA ESTABLISHED BY THE CITY OF HOLLYWOOD. THIS CONSISTS OF WELL DIRECTED LED LIGHTING
WITH MAX FOOT CANDLE LEVEL AT ALL PROPERTY LINES = 0.5 (ADJACENT TO RESIDENTIAL).

GREEN ORDINANCE NOTE

FLORIDA GREEN BUILDING COALITION (FGBC) COMMERCIAL CERTIFICATION WILL BE PURSUED FOR THIS PROJECT.

MECHANICAL EQUIPMENT NOTE

ALL MECHANICAL EQUIPMENT SHALL BE PROPERLY SCREENED FROM PUBLIC VIEW.

PHASING INFORMATION

SITE WILL BE CONSTRUCTED WITH PAD FOR BUILDING. BUILDING WILL BE CONSTRUCTED AFTER SITE IS CLOSE TO COMPLETE AND SIGNED OFF.

SITE PLAN APPROVAL NOTE

CHANGES TO THE DESIGN OF THE SITE PLAN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

ADA NOTE

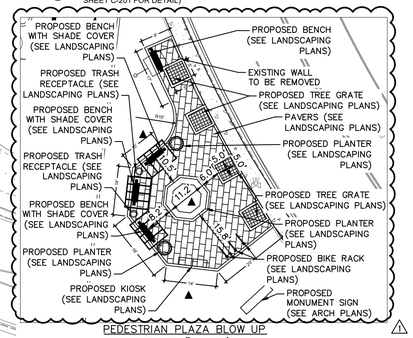
ANY LIP FROM 1/4" BUT NOT GREATER THAN ½" WILL BE BEVELED TO MEET ADA REQUIREMENTS ALONG ALL SIDEWALKS AND ADA PATHS

NOTES:
-ALL CURB RADII ARE 3' ON ALL LANDSCAPING ISLANDS UNLESS OTHERWISE NOTED.

SIGNAGE NOTE:
-ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE OAKWOOD SIGN REGULATIONS

LEGEND

- PROPERTY LINE
- PROPOSED CURB
- EXISTING EASEMENTS
- PROPOSED CURB AND GUTTER
- STANDARD DUTY PAVEMENT
- HEAVY DUTY ASPHALT
- VISIBILITY TRIANGLE (12'X12')
- ADA DETECTABLE WARNING
- PROPOSED LIGHT POLES (SEE SHEET SL200)
- EXISTING SIDEWALK
- PROPOSED SIDEWALK (STANDARD GREY CONCRETE WITH BROOM FINISH)
- 6X9, 3 1/8" CROSSWALK VEHICULAR PAVERS FROM BELGARD PATTERN: HERRINGBONE
- 12X6, 2 3/8" PEDESTRIAN PAVERS FROM BELGARD PATTERN 1/2 RUNNING BOND



PEDESTRIAN PLAZA BLOW UP
SCALE 1" = 20'

LEGAL DISCRIPTION — PARCEL 2:

(LUPA SOUTH):

A PARCEL OF LAND BEING A PORTION OF TRACT "E", OAKWOOD HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 120, PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE C-10 CANAL; THENCE S.88°27'20"W., ALONG THE SOUTH LINE OF SAID TRACT "E", A DISTANCE OF 325.00 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE CONTINUE S.88°27'20"W., ALONG SAID SOUTH LINE, A DISTANCE OF 449.41 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF INTERSTATE I-95; THENCE N.06°21'05"E., ALONG THE WEST LINE OF SAID TRACT "E" AND THE EAST RIGHT-OF-WAY LINE OF SAID INTERSTATE I-95, A DISTANCE OF 1993.10 FEET TO THE NORTHWEST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT OF THE SOUTH RIGHT-OF-WAY LINE OF THE C-10 SPUR CANAL; THENCE N.88°32'24"E., ALONG THE NORTH LINE OF SAID TRACT "E", AND THE SOUTH RIGHT-OF-WAY LINE OF THE SAID C-10 SPUR CANAL, A DISTANCE OF 960.10 FEET TO THE NORTHEAST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE SAID C-10 CANAL; THENCE S.11°34'01"W., ALONG SAID EAST LINE OF SAID TRACT "E" AND THE WEST RIGHT-OF-WAY LINE OF THE SAID C-10 CANAL, A DISTANCE OF 1759.90 FEET; THENCE S.88°27'11"W., A DISTANCE OF 322.78 FEET; THENCE S.01°32'49"E., A DISTANCE OF 76.25 FEET; THENCE S.88°27'11"W., A DISTANCE OF 62.50 FEET; THENCE S.01°32'49"E., A DISTANCE OF 182.50 FEET TO THE POINT OF BEGINNING.

SITE DATA (WORK AREA)

PROJECT DESCRIPTION:

PARCEL ID: 514204120620 & 514204120627

LOCATION: HOLLYWOOD, FL

ADDRESS: 2800 OAKWOOD BLVD HOLLYWOOD FL 33020

LAND USE: OAKWOOD ACTIVITY CENTER

ZONING DISTRICT: OAKWOOD PLAZA PD

FLOOD ZONE: ZONE AE AND ZONE X

SITE AREA:

SITE COVERAGE:	PROVIDED	
BUILDING AREA:	1.71 A.C.	
OPEN SPACE:	1.54 A.C.	
IMPERVIOUS AREA:	5.06 A.C.	
TOTAL:	8.20 A.C.	357,100 S.F.

BUILDING SETBACKS:	REQUIRED	PROVIDED
EAST:	0	57.9'
SOUTH:	0	81.1'
WEST:	0	131.2'
NORTH:	0	N/A (INTERNAL PARCEL LINE)

LANDSCAPE BUFFERS:	REQUIRED	PROVIDED
NORTH (FRONT):	0	0
EAST (SIDE):	0	1.0'
SOUTH (REAR):	0	21.3'
WEST (SIDE):	0	5.3'

BUILDING HEIGHT:	MAXIMUM	PROVIDED
	300'	64'
BUILDING STORIES:	30	2

PARKING SUMMARY:

	SQUARE FOOTAGE	PARKING (STALLS)	EXISTING PARKING RATIO PER 1000 S.F.	REQUIRED PARKING RATIO WITH 3.5/1000	PARKING REMOVED WITH DEMOLITION (STALLS)	PARKING SURPLUS (STALLS)	TOTAL ADA REQUIRED (STALLS)	TOTAL ADA PROPOSED (STALLS)
OAKWOOD PLAZA SOUTH (CURRENT)	317,972	2,024	6.37	1,113	N/A	911		
PROPOSED RETAIL SHOPPING CENTER	120,000	398	N/A	420	667		9	12

	SQUARE FOOTAGE	PARKING (STALLS)	EXISTING PARKING RATIO PER 1000 S.F.	REQUIRED PARKING RATIO WITH 3.5/1000	PARKING SURPLUS (STALLS)
OAKWOOD PLAZA SOUTH AT PROJECT COMPLETION	437,972	1,755	4.01	1,533	222

NOTE: OAKWOOD PLAZA PD GUIDELINES ALLOWS SHARED PARKING IN SHOPPING CENTER

ADA PATH
1" = 100'

No.	REVISIONS	DATE	BY
1	CITY OF HOLLYWOOD PLANNING REVISIONS	9/3/2024	SHB

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PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

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Digitally signed by GREGORY D. WILFONG
DN: cn=GREGORY D. WILFONG, c=US, o=KIMLEY-HORN & ASSOCIATES, INC., email=greg.wilfong@kimley-horn.com
Date: 2024.09.03 08:00:00 -04'00'

GREGORY D. WILFONG
No. 63166
STATE OF FLORIDA
PROFESSIONAL ENGINEER

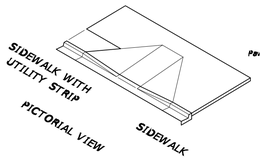
KHA PROJECT	147507131
DATE	9/3/2024
SCALE	AS SHOWN
DESIGNED BY	SHB
DRAWN BY	SHB
CHECKED BY	GDW

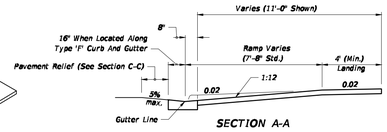
SITE PLAN

OAKWOOD SOUTH RETAIL SHOPPING CENTER

CITY OF HOLLYWOOD FL

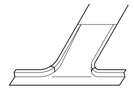
SHEET NUMBER
C-200





SECTION A-A

SECTION THROUGH RAMP AND LANDING (UNRESTRICTED CONDITIONS)

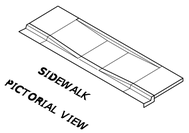


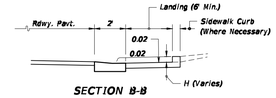
PICTORIAL VIEW

CR-E

PICTORIAL VIEW

CR-F

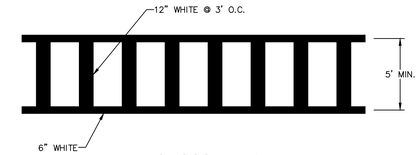




SECTION B-B

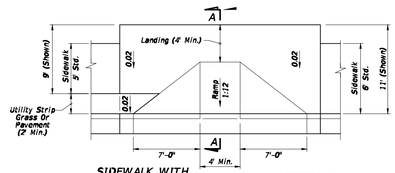
Note: For Additional Information On Sidewalk Curb Construction, See SIDEWALK CURB and SIDEWALK CURB OPTIONS details.

SECTION THROUGH LANDING (UNRESTRICTED CONDITIONS)



CROSSWALK

N.T.S

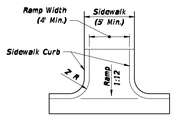


SIDEWALK WITH UTILITY STRIP

SIDEWALK

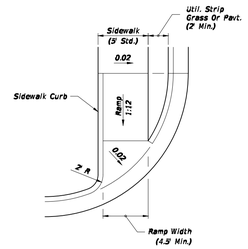
PLAN VIEW

CR-A



PLAN VIEW

CR-E

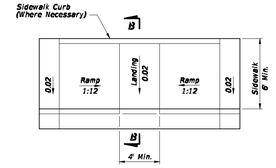


PLAN VIEW

CR-F

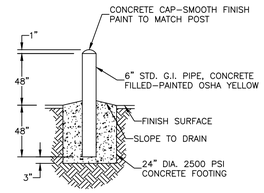
FDOT ADA RAMPS

N.T.S



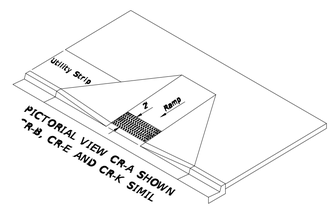
PLAN VIEW

CR-C

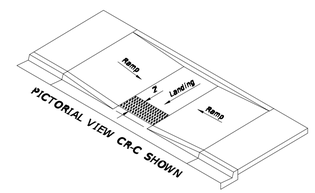


PIPE BOLLARD

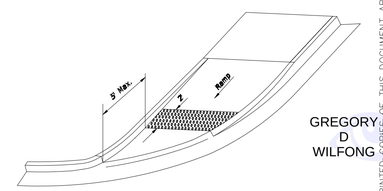
N.T.S



PICTORIAL VIEW CR-A SHOWN
-R-B, CR-E AND CR-K SIMIL



PICTORIAL VIEW CR-C SHOWN



PICTORIAL VIEW CR-G SHOWN
(OPTION B) (CR-F AND CR-H SIMILAR)

FDOT DETECTABLE WARNINGS

N.T.S

PTR BALER & COMPACTOR
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www.ptrco.com
Self-Contained Compactors
Totally UL Listed!

TP-2000SP

Tram-Pak
Stationary Compactor

Designed For
* Retailers * Hospitals * Hotels * Distribution Centers *
* Manufacturing Centers * Recycling Centers * Home Centers *

Our TP-2000SP (Short Profile) compactor was our response to customers battling space constrictions and those who could not accommodate a long chute. We managed to construct a twin cylinder machine with high compaction forces and an overall length of 78 inches. All components are built using heavy-duty structural steel components and welded by AWS certified technicians. This unit has total U.L. approval, standard 3 button controls, (On/Off key switch, mushroom stop, auto reverse) and a 13' Sealtite.

Specifications		Electrical Equipment	
Charge Box Capacity	2 Cu Yd	Electrical Motor 208 / 230 / 460	3 Phase
Clear Top Opening (L x W)	40" x 60"	Electrical Control Voltage	120 VAC
Capacity Per Hour	58.7 cy/hr		
		Hydraulic Equipment	
Performance Characteristics		Hydraulic Pump Capacity	10.5 gpm
Cycle Time	31 sec	Normal Pressure	2000 psi
Total Normal Force	43,000 lbs	Maximum Pressure	2400 psi
Total Maximum Force	51,600 lbs	Hydraulic Cylinder	4" Bore
Normal Ram Face Pressure	23 psi	Hydraulic Cylinder	2.5" Rod
Maximum Ram Face Pressure	29 psi	Weight	4,500 lbs

PTR BALER & COMPACTOR
PTR Baler & Compactor Company • 2207 E Ontario St. • Philadelphia, PA 19134
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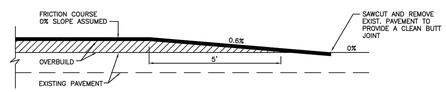
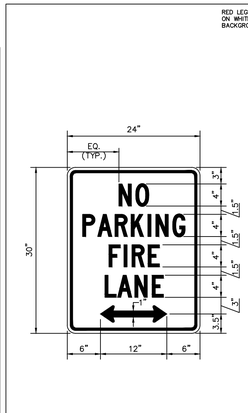
BAILER AND COMPACTOR

(SUBJECT TO CHANGE BY OWNER)

N.T.S



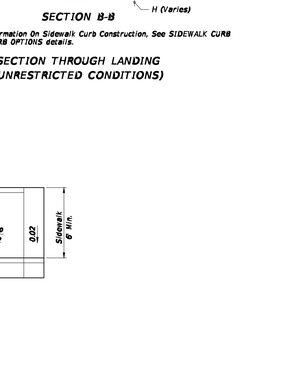
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –	
DRAWN: EG	FEATHERING DETAIL	DRAWING NO.: C-29	
APPROVED: JG			



ALL SIGN LETTERS TO COMPLY WITH STANDARD ALPHABETS FOR HIGHWAY SIGNS (SERIES C 2000)

"NO PARKING – FIRE LANE" SIGN

N.T.S.



NOTES:

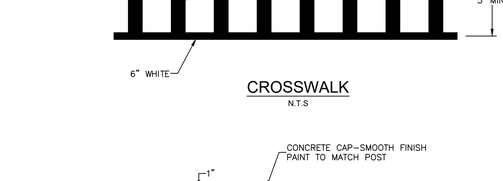
1. WORDS AND LINES SHALL BE APPLIED IN ACCORDANCE WITH SECTIONS 3B.16 AND 3B.20 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. THESE WORDS AND BAR ARE TO BE PAINTED RETROREFLECTIVE WHITE.

STOP SIGNAGE AND MARKING

N.T.S.

DETAIL MODIFIED BY KIMLEY-HORN

DTSTOPBR	03/04/11



A) FIRE LANES SHALL BE IDENTIFIED WITH "NO PARKING FIRE-LANE" SIGNS AND PAVEMENT MARKINGS.
B) A MAXIMUM DISTANCE OF 60' SHALL BE BETWEEN SIGNS. PAVEMENT MARKINGS SHALL BE REQUIRED EVERY 100' ALONG THE ENTIRE LENGTH OF THE FIRE LANE.
C) SIGNS SHALL HAVE RED LETTERING, BETWEEN 2" AND 3" IN HEIGHT, ON A WHITE BACKGROUND. EACH SIGN SHALL BE 12" WIDE BY 18" IN HEIGHT, AND SHALL COMPLY WITH MUTCD STANDARDS.

FIRE LANE DETAIL

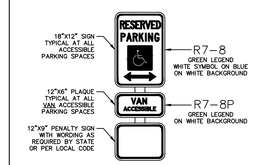
N.T.S

STOP SIGN NOTES:
ALL STOP SIGNS AT EXITS FROM SITE TO PUBLIC STREETS AND ROADS SHALL BE 36" X 36" R1-1. ALL OTHER STOP SIGNS ON-SITE SHALL BE 30" X 30".

NOTES:
1. BOTH SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST MUTCD EDITION. WARNING SIGNS W11-2 (TOP) & W16-7P (BOTTOM) WITH A BLACK LEGEND ON A FLUORESCENT YELLOW-GREEN BACKGROUND.

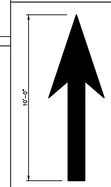
"PEDESTRIAN CROSSING" SIGN

N.T.S.



ACCESSIBLE PARKING SIGN

N.T.S.



NOTES:

1. WORDS AND ARROWS SHALL BE APPLIED IN ACCORDANCE WITH SECTION 3B.20 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. THESE WORDS ARE TO BE PAINTED "RETROREFLECTIVE WHITE WITH GLASS BEADS", PER SPECIFICATIONS, WHEN AT EXITS FROM PARKING LOT TO PUBLIC STREETS.

SOLID ARROW MARKINGS
AS INDICATED ON PLANS
PAINTED "RETROREFLECTIVE WHITE"

SOLID ARROW PAVEMENT MARKINGS

N.T.S.

DTRLTURN	04/28/14

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No.	REVISIONS	DATE	BY

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PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

GREGORY D. WILFONG
LICENSE No. 63166
STATE OF FLORIDA
PROFESSIONAL ENGINEER

KHA PROJECT	147507131
DATE	9/3/2024
SCALE	AS SHOWN
DESIGNED BY	SHB
DRAWN BY	SHB
CHECKED BY	GDW

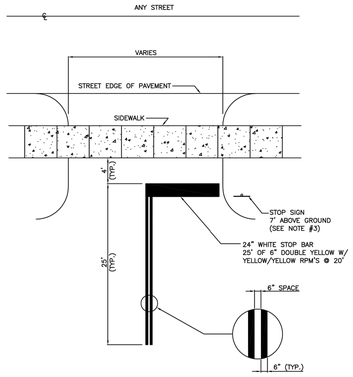
SITE DETAILS

OAKWOOD SOUTH RETAIL SHOPPING CENTER

CITY OF HOLLYWOOD FL

SHEET NUMBER

C-201

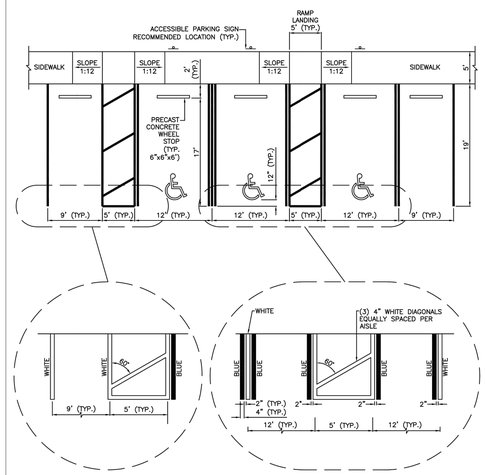


NOTES:

1. USE TRAFFIC GRADE PAINT OR THERMOPLASTIC WHEN REQUIRED BY THE CITY ENGINEER.
2. ALL SIGNAGE AND MARKING SHALL BE IN ACCORDANCE WITH MANUAL OF UNIFROM TRAFFIC CONTROL DEVICES (MUTCD) STANDARD.
3. REFER TO STOP SIGN AND STREET EDGE DETAILS FROM BROWARD COUNTY TRAFFIC (LATEST EDITION).
4. ASPHALT DRIVEWAY IS REQUIRED TO BE A MINIMUM 6–INCH LIMEROCK BASE, TACK COAT, AND 1–INCH LAYER OF S–III ASPHALT. THE DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

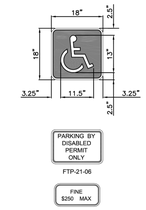
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –	
DRAWN: EG	PARKING LOT EXIT–ENTRANCE DETAIL	DRAWING NO.: C–20	
APPROVED: JG			

ACCESSIBLE PARKING SPACE COMPLYING WITH FLORIDA AND ADA REQUIREMENTS (*)



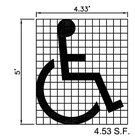
(*) IN CASE OF CONFLICT PLANS TO COMPLY WITH ADA 406 & 502, AND FDOT 711–001 (SHEET 11)

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –	
DRAWN: EG	ACCESSIBLE PARKING SPACE DETAILS (1 OF 2)	DRAWING NO.: C–21A	
APPROVED: JG			



NOTE:
ALL LETTERS ARE 1" SERIES AT 1" SPACING

NOTE:
1. SIZE TO BE 5 FEET IN HEIGHT AND WHITE IN COLOR.



ACCESSIBLE PAVEMENT SYMBOL

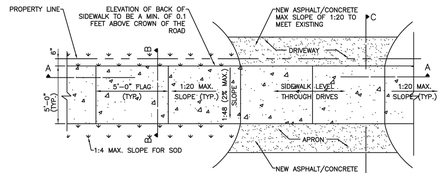
SIGNAGE NOTES:

1. FTP–21–06 & FTP–22–06 SIGN SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 700–102.
2. SIGN POST SHALL BE IN ACCORDANCE WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION "GROUND SIGN ASSEMBLY DETAILS", LATEST REVISION.

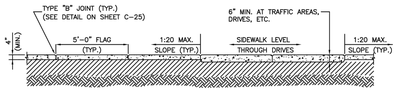
NOTES:

1. PROVIDE PAVEMENT SYMBOL IN ACCESSIBLE PARKING SPACES. THE SYMBOL SHALL BE WHITE IN COLOR PER ADA STANDARDS.
2. BLUE MARKINGS SHALL BE SHADED.
3. SLOPES NO GREATER THAN 1:48 SHALL BE PERMITTED IN ALL DIRECTIONS FOR BOTH THE ACCESSIBLE PARKING SPACE AND ACCESSIBLE PARKING ACCESS AISLE.
4. ALL RAMPS, SIDEWALK, CURB RAMPS, AND ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT.
5. WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE WHITE PAVEMENT MARKINGS. HOWEVER, WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE; THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST PAVEMENT MARKING.
6. ALL ACCESSIBLE ELEMENTS SHALL BE COMPLIANT WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE FLORIDA BUILDING CODE LATEST EDITION FOR "ACCESSIBILITY".
7. ALL PARKING PAVEMENT MARKINGS SHALL BE 4" REFLECTORIZED PAINT MEETING FDOT/BCTED STANDARDS.
8. ACCESSIBLE PARKING SIGNS SHALL BE 60" MINIMUM ABOVE FINISH FLOOR OR GROUND SURFACE MEASURED FROM BOTTOM OF THE SIGN.

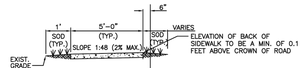
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –	
DRAWN: EG	ACCESSIBLE PARKING SPACE DETAILS (2 OF 2)	DRAWING NO.: C–21B	
APPROVED: JG			



PLAN



SECTION A–A

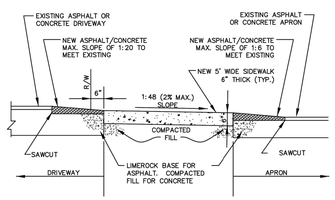


SECTION B–B

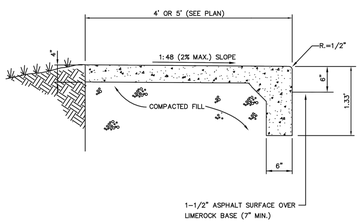
NOTE:

1. ALL SIDEWALK CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE ADA STANDARDS.
2. LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF THE SIDEWALK.
3. ALL SIDEWALKS CROSS SLOPES SHALL BE 1:48 (2% MAX.); AND, RUNNING SLOPES 1:20 MAX.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –	
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (1 OF 3)	DRAWING NO.: C–23	
APPROVED: JG			

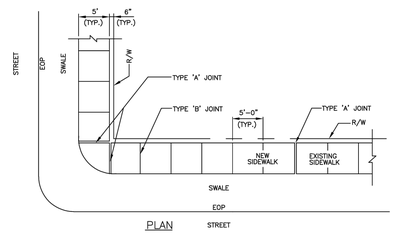


SECTION C–C

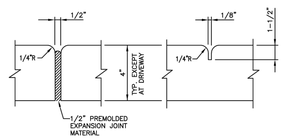


SIDEWALK WITH CURB

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –	
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (2 OF 3)	DRAWING NO.: C–24	
APPROVED: JG			



PLAN



TYPE 'A' TYPE 'B'

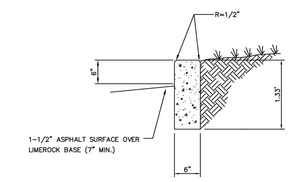
SIDEWALK JOINTS

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
'A'	P.C. & P.T. OF CURVES; JUNCTION OF EXISTING AND NEW SIDEWALKS; WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES.
'B'	5' CENTER TO CENTER ON SIDEWALKS.

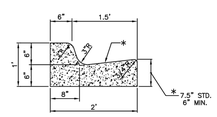
NOTES:

1. CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
2. USE OF FIBER REINFORCED CEMENT IS PROHIBITED.
3. SIDEWALK LONGITUDINAL AND CROSS SLOPES SHALL MEET ADA STANDARDS.
4. SIDEWALK CURB RAMPS SHALL BE PROVIDED AT ALL DESIGNATED PEDESTRIAN CROSSING AT INTERSECTIONS PER FDOT STANDARD PLANS INDEX NO. 522–002.
5. THE VERTICAL DEVIATION OF THE COVER/LID OF A GIVEN UTILITY BOX/STRUCTURE SHALL NOT BE MORE THAN A ¼" DIFFERENCE IN HEIGHT/ELEVATION OF THE FINISHED SIDEWALK SURFACE.
6. 4" THICK MINIMUM (TYP.); 6" THICK AT DRIVEWAYS, EXTENDED TWO FEET ON BOTH SIDES BEYOND THE DRIVE.

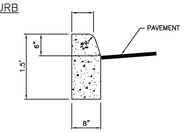
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –	
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (3 OF 3)	DRAWING NO.: C–25	
APPROVED: JG			



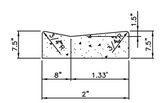
STANDARD CURB



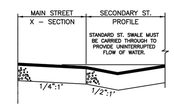
6" CURB & GUTTER (FDOT TYPE "F")



TYPE 'D' CURB



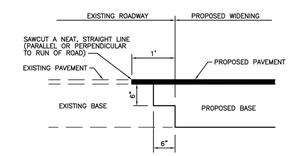
DRIVEWAY CURB & GUTTER



VALLEY GUTTER

* WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –	
DRAWN: EG	CURB AND GUTTER DETAILS	DRAWING NO.: C–26	
APPROVED: JG			



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DRAWN: EG	SAWCUT DETAIL	DRAWING NO.: C–28	
APPROVED: JG			

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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772–794–4100
WWW.KIMLEY–HORN.COM REGISTRY NO. 35106

GREGORY D. WILFONG LICENSE No. 63166 STATE OF FLORIDA PROFESSIONAL ENGINEER

GREGORY D WILFONG

Digitally signed by GREGORY D WILFONG
DN: cn=GREGORY D WILFONG, c=US, o=KIMLEY-HORN AND ASSOCIATES, email=greg.wilfong@kimley-horn.com, C=US
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KHA PROJECT 147507131

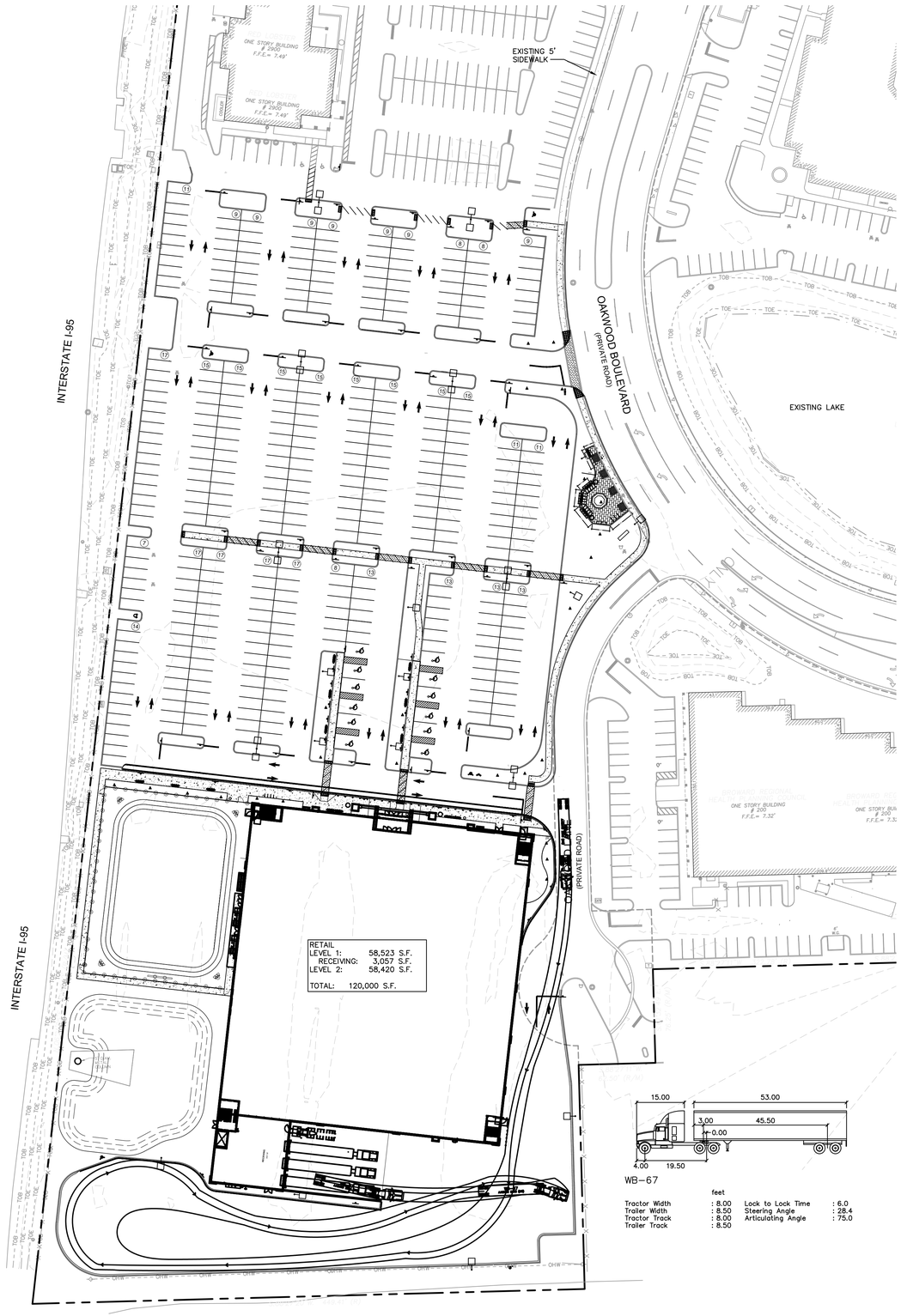
DATE	9/3/2024
SCALE	AS SHOWN
DESIGNED BY	SHB
DRAWN BY	SHB
CHECKED BY	GDW

SITE DETAILS

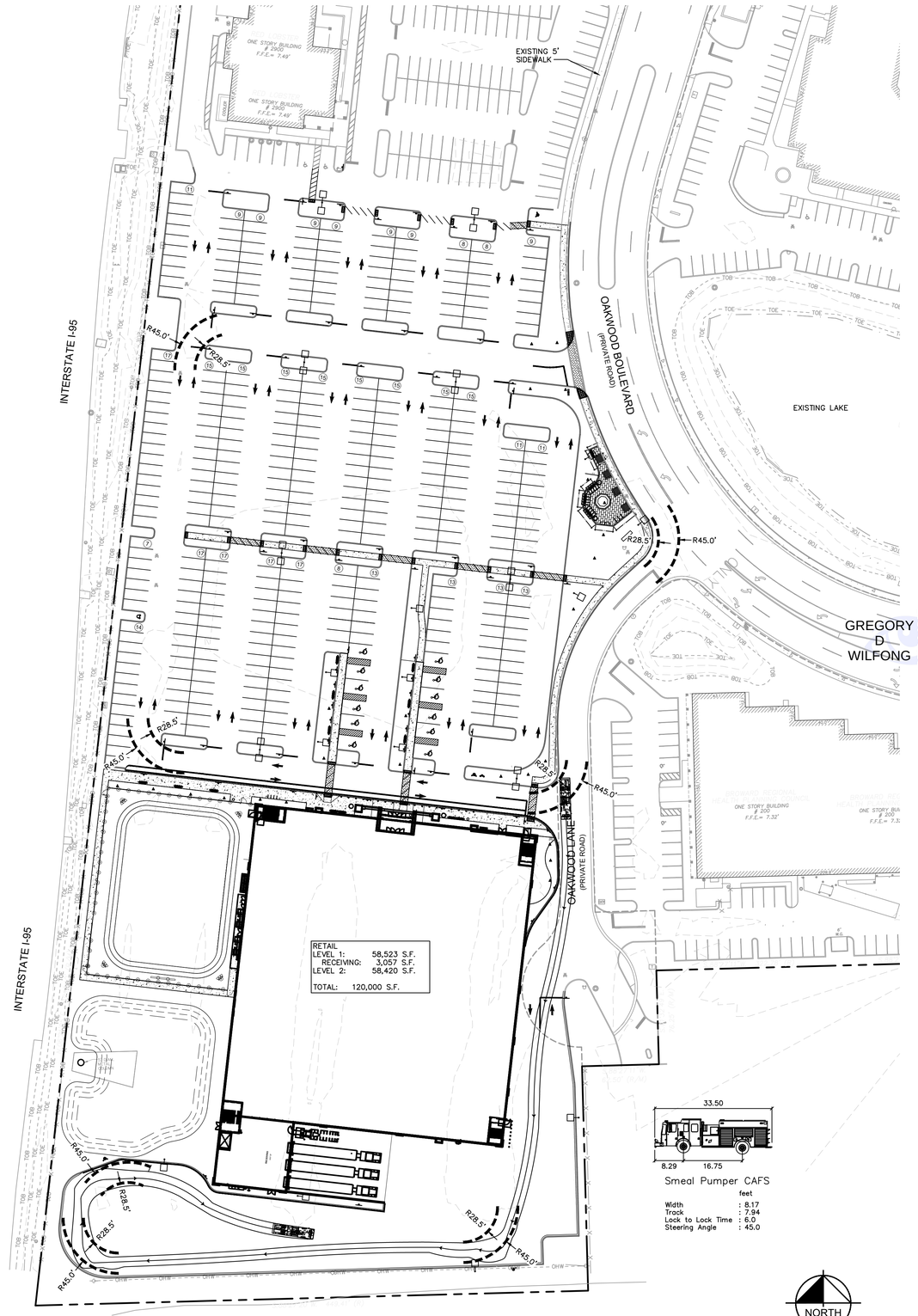
OAKWOOD SOUTH RETAIL SHOPPING CENTER

CITY OF HOLLYWOOD FL

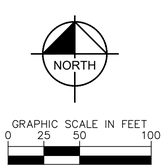
SHEET NUMBER
C-202



TRUCK TURN – WB67



TRUCK TURN – FIRE TRUCK



GREGORY D WILFONG

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STATE OF FLORIDA
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No.	REVISIONS	DATE	BY

Kimley»Horn

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KHA PROJECT 147507131
DATE 9/3/2024
SCALE AS SHOWN
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CHECKED BY GDW

TRUCK TURN PLAN

OAKWOOD SOUTH RETAIL SHOPPING CENTER

CITY OF HOLLYWOOD FL

SHEET NUMBER
C-203

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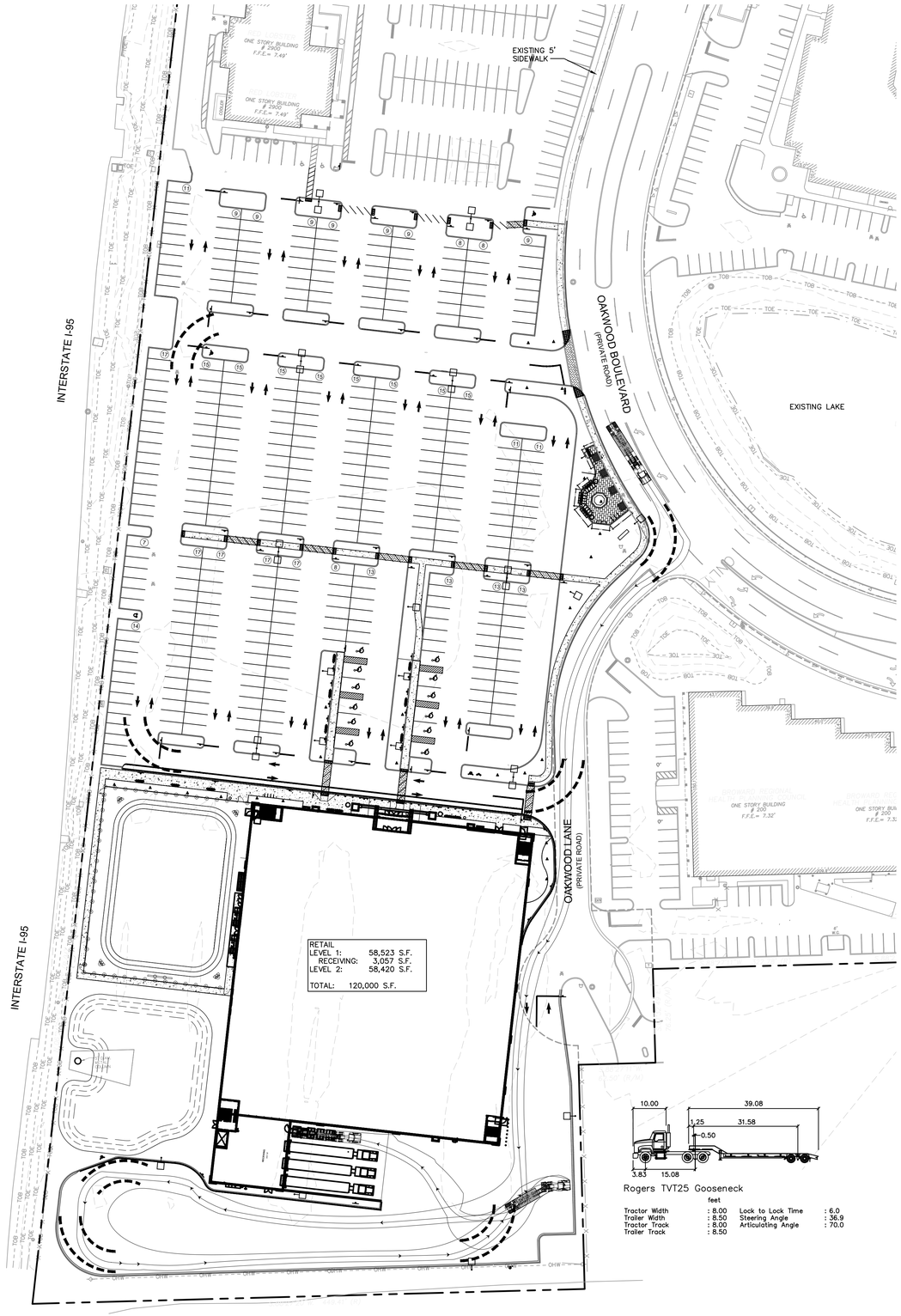
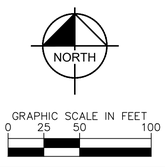


TRUCK TURN – TRASH COMPACTOR TRUCK



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PROFESSIONAL ENGINEER

KHA PROJECT	147507131
DATE	9/3/2024
SCALE	AS SHOWN
DESIGNED BY	SHB
DRAWN BY	SHB
CHECKED BY	GDW

COMPACTOR TRUCK TURN PLAN

OAKWOOD SOUTH RETAIL SHOPPING CENTER

CITY OF HOLLYWOOD FL

SHEET NUMBER
C-204

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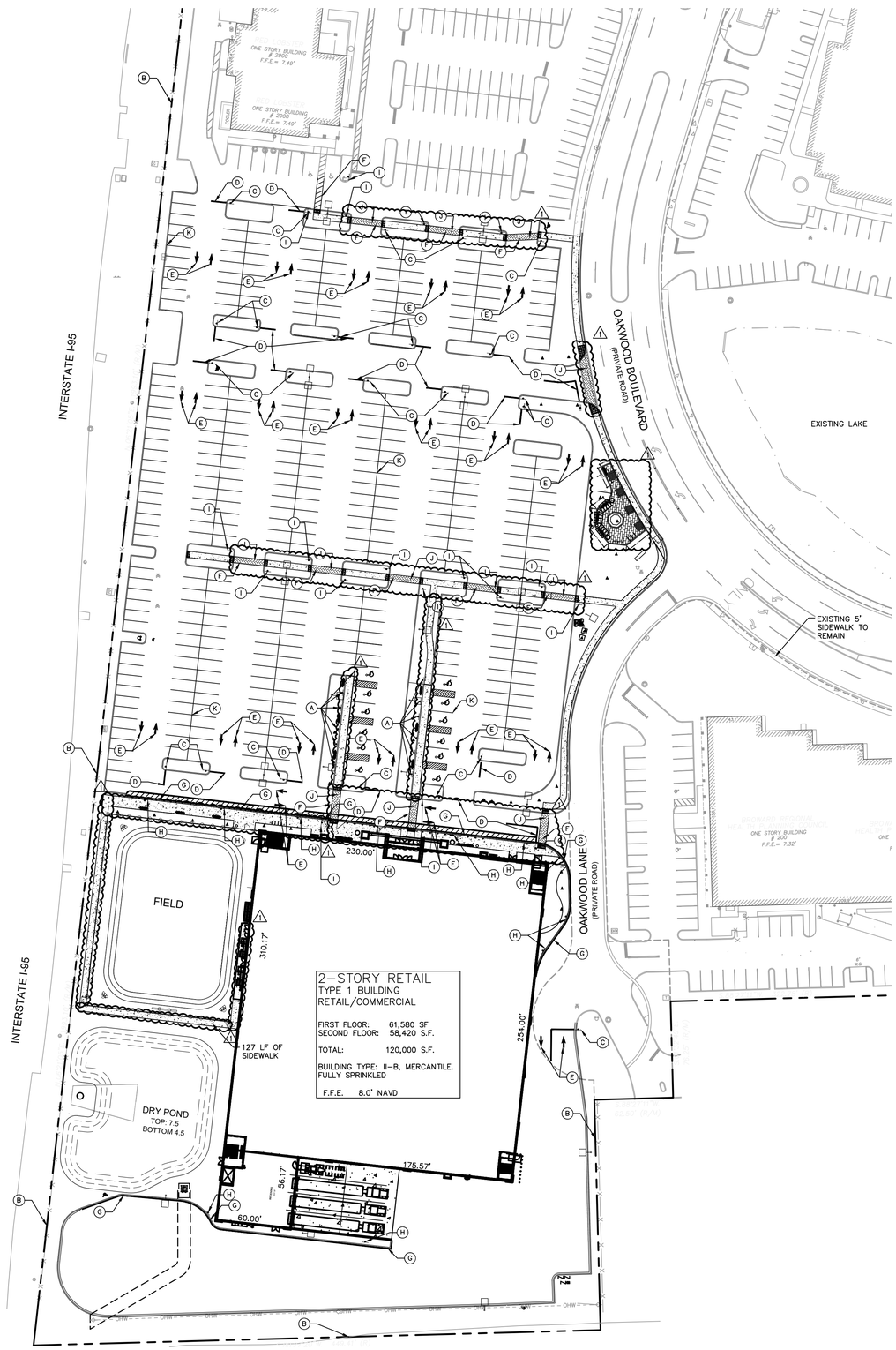

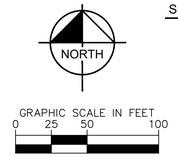

SITE LEGEND

A	ACCESSIBLE PARKING SPACE (TYP.) (SEE SHEET C-201 FOR DETAIL. WITH ADA SIGN)
B	PROPERTY LINE
C	"STOP" SIGN (SEE SHEET C-201)
D	STOP BAR (SEE SHEET C-201)
E	PAINTED DIRECTIONAL ARROW (TYP.) (SEE SHEET C-201)
F	INTERNAL PEDESTRIAN CROSSWALK WITH 12" WIDE WHITE STRIPING PERPENDICULAR TO DIRECTION OF TRAFFIC (SEE SHEET C-201)
G	FIRE LANE STRIPING 5' WIDE (SEE SHEET C-201)
H	"NO PARKING FIRE LANE" SIGN 60' O.C. (SEE SHEET C-201)
I	PEDESTRIAN CROSSING SIGN (SEE SHEET C-201)
J	FLUSH SIDEWALK PEDESTRIAN CROSSWALK
K	PARKING SPACE STRIPING (SEE DETAIL C-21A ON SHEET C-202)

MAIL DELIVERY NOTE

MAIL DELIEVERY WILL BE INSIDE STORE

SITE LIGHTING CONFORMANCE NOTE

THE SIGHT LIGHTING OF THE SITE SHALL CONFORM TO THE SITE LIGHTING CRITERIA ESTABLISHED BY THE CITY OF HOLLYWOOD. THIS CONSISTS OF WELL DIRECTED LED LIGHTING
WITH MAX FOOT CANDLE LEVEL AT ALL PROPERTY LINES = 0.5 (ADJACENT TO RESIDENTIAL).

GREEN ORDINANCE NOTE

FLORIDA GREEN BUILDING COALITION (FGBC) COMMERCIAL CERTIFICATION WILL BE PURSUED FOR THIS PROJECT.

MECHANICAL EQUIPMENT NOTE

ALL MECHANICAL EQUIPMENT SHALL BE PROPERLY SCREENED FROM PUBLIC VIEW.

PHASING INFORMATION

SITE WILL BE CONSTRUCTED WITH PAD FOR BUILDING. BUILDING WILL BE CONSTRUCTED AFTER SITE IS CLOSE TO COMPLETE AND SIGNED OFF.

SITE PLAN APPROVAL NOTE

CHANGES TO THE DESIGN OF THE SITE PLAN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

ADA NOTE

ANY LIP FROM 1/4" BUT NOT GREATER THAN ½" WILL BE BEVELED TO MEET ADA REQUIREMENTS ALONG ALL SIDEWALKS AND ADA PATHS

NOTES:
-ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.

SIGNAGE NOTE:
-ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE OAKWOOD SIGN REGULATIONS

LEGEND

- PROPERTY LINE
- PROPOSED CURB
- EXISTING EASEMENTS
- STANDARD DUTY PAVEMENET
- HEAVY DUTY CONCRETE
- HEAVY DUTY ASPHALT
- VISIBILITY TRIANGLE (12'X12')
- ADA DETECTABLE WARNING
- PROPOSED LIGHT POLES
- EXISTING SIDEWALK
- PROPOSED SIDEWALK (STANDARD GREY CONCRETE WITH BROOM FINISH)
- 6X9, 3 1/8" CROSSWALK VEHICULAR PAVERS FROM BELGARD PATTERN: HERRINGBONE
- 12X6, 2 3/8" PEDESTRIAN PAVERS FROM BELGARD PATTERN 1/2 RUNNING BOND

GREGORY D WILFONG

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Date: 2024.09.13 04:21:13 -04'00'

GREGORY D. WILFONG
LICENSE
No. 63166
STATE OF FLORIDA
PROFESSIONAL ENGINEER

No.	REVISIONS	DATE	BY
1	CITY OF HOLLYWOOD PLANNING REVISIONS	9/3/2024	SHB

Kimley»Horn
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PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT 147507131

DATE	9/3/2024
SCALE	AS SHOWN
DESIGNED BY	SHB
DRAWN BY	SHB
CHECKED BY	GDW

PAVEMENT MARKING AND SIGNAGE PLAN

OAKWOOD SOUTH RETAIL SHOPPING CENTER

CITY OF HOLLYWOOD FL

SHEET NUMBER
C-205

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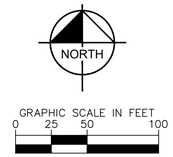

SITE LEGEND

- (A) 6" TYPE 'D' CURB (SEE SHEET C-202)
- (B) STANDARD DUTY CONCRETE SIDEWALK (5' MIN) (SEE SHEET C-202)
- (C) FDOT CURB RAMP TYPE CR-E INDEX 522-002 (SEE SHEET C-201 FOR DETAIL)
- (D) ASPHALT DRIVEWAY (SEE SHEET C-350 AND DETAIL C-20 ON SHEET C-202)
- (E) FDOT CURB RAMP TYPE CR-F INDEX 522-002 (SEE SHEET C-201 FOR DETAIL)
- (F) FDOT CURB RAMP TYPE CR-A INDEX 522-002 (SEE SHEET C-201 FOR DETAIL)
- (G) 6" TYPE 'F' CURB AND GUTTER (SEE DETAIL C-26 ON SHEET C-202)
- (H) FDOT CURB RAMP TYPE CR-C INDEX 522-002 (SEE SHEET C-201 FOR DETAIL)

MAIL DELIVERY NOTE

MAIL DELIEVERY WILL BE INSIDE STORE

SITE LIGHTING CONFORMANCE NOTE

THE SIGHT LIGHTING OF THE SITE SHALL CONFORM TO THE SITE LIGHTING CRITERIA ESTABLISHED BY THE CITY OF HOLLYWOOD. THIS CONSISTS OF WELL DIRECTED LED LIGHTING
WITH MAX FOOT CANDLE LEVEL AT ALL PROPERTY LINES = 0.5 (ADJACENT TO RESIDENTIAL).

GREEN ORDINANCE NOTE

FLORIDA GREEN BUILDING COALITION (FGBC) COMMERCIAL CERTIFICATION WILL BE PURSUED FOR THIS PROJECT.

MECHANICAL EQUIPMENT NOTE

ALL MECHANICAL EQUIPMENT SHALL BE PROPERLY SCREENED FROM PUBLIC VIEW.

PHASING INFORMATION

SITE WILL BE CONSTRUCTED WITH PAD FOR BUILDING. BUILDING WILL BE CONSTRUCTED AFTER SITE IS CLOSE TO COMPLETE AND SIGNED OFF.

SITE PLAN APPROVAL NOTE

CHANGES TO THE DESIGN OF THE SITE PLAN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

ADA NOTE

ANY LIP FROM 1/4" BUT NOT GREATER THAN ½" WILL BE BEVELED TO MEET ADA REQUIREMENTS ALONG ALL SIDEWALKS AND ADA PATHS

NOTES:
-ALL CURB RADII ARE 3' ON ALL LANDSCAPING ISLANDS UNLESS OTHERWISE NOTED.

SIGNAGE NOTE:
-ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE OAKWOOD SIGN REGULATIONS

LEGEND

- PROPERTY LINE
- PROPOSED CURB
- PROPOSED CURB AND GUTTER
- EXISTING EASEMENTS
- STANDARD DUTY PAVEMENT (1.5" A.C. SEE SHEET C-350 FOR DETAIL)
- HEAVY DUTY ASPHALT (2.5" A.C. SEE SHEET C-350 FOR DETAIL)
- VISIBILITY TRIANGLE (12'X12')
- ADA DETECTABLE WARNING
- PROPOSED LIGHT POLES
- EXISTING SIDEWALK
- PROPOSED SIDEWALK (STANDARD GREY CONCRETE WITH BROOM FINISH) (SEE SHEET C-202 FOR DETAIL)
- PROPOSED MILLING AND RESURFACING (SEE DETAIL BELOW)
- PROPOSED DRIVEWAYS (SEE NOTE BELOW)
- 6X9, 3 1/8" CROSSWALK VEHICULAR PAVERS FROM BELGARD PATTERN: HERRINGBONE
- 12X6, 2 3/8" PEDESTRIAN PAVERS FROM BELGARD PATTERN 1/2 RUNNING BOND

MATERIAL NOTES:
CONCRETE:
CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE 5-INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW (OUTSIDE OF THE PROPERTY LINES) WILL BE A MINIMUM OF 6 INCHES THICK, 3,000 PSI, WITH NO METAL OR FIBER MESH AND WILL BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY WILL MAINTAIN CONTROL JOINTS LOCATED EVERY 250 SQ.FT AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.
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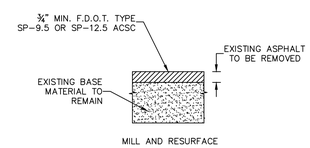

ASPHALT PAVEMENT RESTORATION
N.T.S

GREGORY D WILFONG
Digitally signed by GREGORY D WILFONG DN: cn=GREGORY D WILFONG, c=US, o=KIMLEY-HORN AND ASSOCIATES, INC., email=gregg.wilfong@kimley-horn.com, Date: 2024.09.04 08:07:00 -04'00'

GREGORY D. WILFONG
LICENSE
No. 63166
STATE OF FLORIDA
PROFESSIONAL ENGINEER

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No.	REVISIONS	DATE	BY

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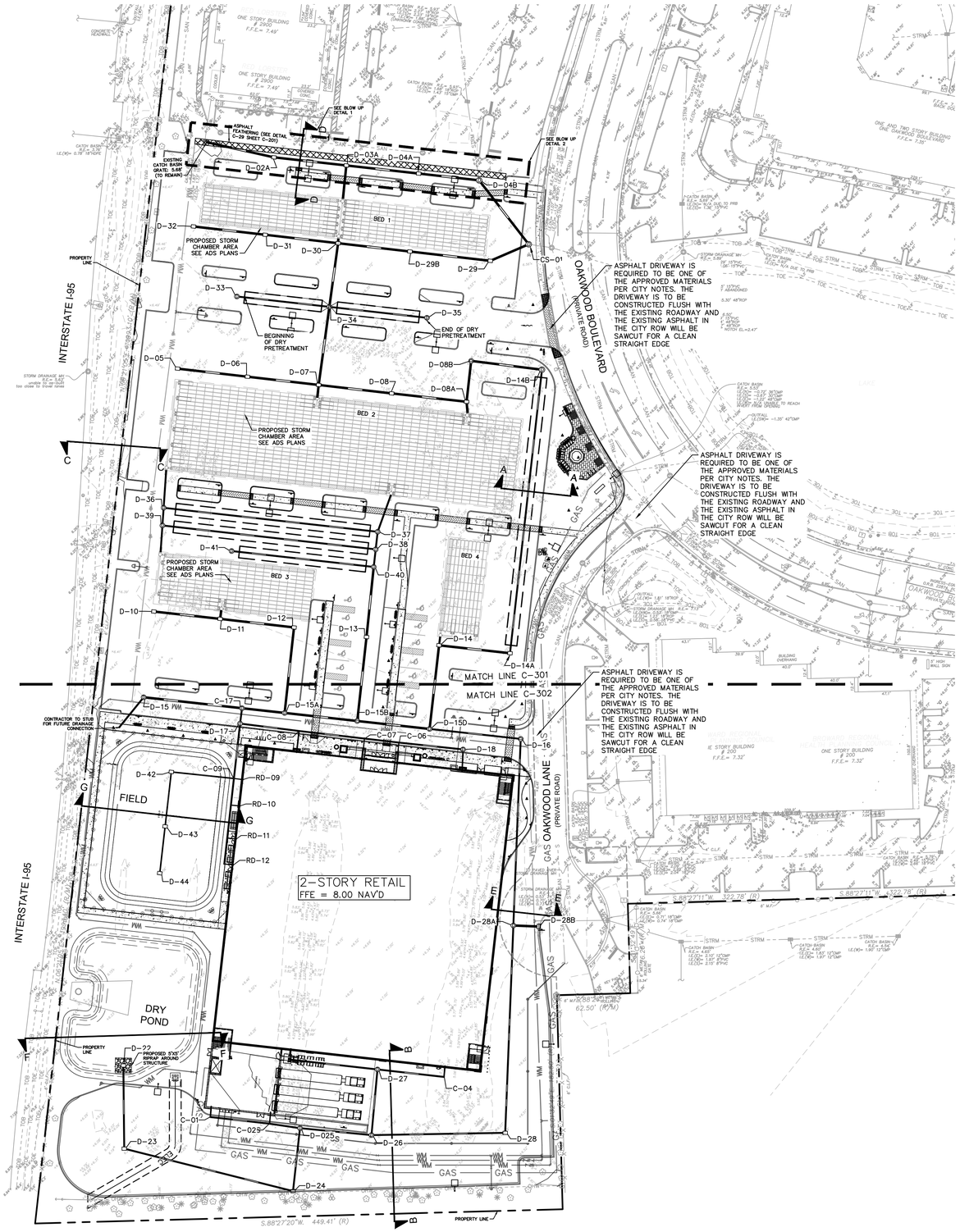
KHA PROJECT 147507131
DATE 9/3/2024
SCALE AS SHOWN
DESIGNED BY SHB
DRAWN BY SHB
CHECKED BY GDW

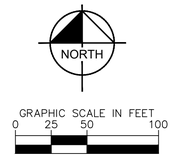
PAVEMENT DELINATION PLAN

OAKWOOD SOUTH RETAIL SHOPPING CENTER

CITY OF HOLLYWOOD FL

SHEET NUMBER
C-206





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LEGEND

9.00'	EXISTING SPOT GRADE
	PROPOSED STORM PIPE
	PROPOSED STORM INLET
D	PROPOSED STORM MANHOLE
	PROPOSED ±1,008 LF OF EXFILTRATION TRENCH
X.XX%	SLOPES
X.XX'	SPOT GRADE (NAVD)
TG X.XX'	TOP OF GRATE (NAVD)
	PROPERTY LINE
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
A A	CROSS-SECTIONS SEE SHEETS C-301 AND C-302

PAVING, GRADING AND DRAINAGE NOTES:

1. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
5. ALL MATERIALS AND CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST DESIGN STANDARDS AND LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION FOR THE AUTHORITY HAVING JURISDICTION.
6. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
7. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
8. EXISTING DRAINAGE PIPES AND INLETS TO BE JET CLEANED AND VACUUMED TO REMOVE ALL SILT AND DEBRIS.
9. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
10. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION, IF APPLICABLE.
11. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT, IF APPLICABLE.
12. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER", IF APPLICABLE.
13. ALL CATCH BASINS WITHIN PROPOSED TRAFFIC AREAS SHALL HAVE BICYCLE PROOF GRATES, IF APPLICABLE.
14. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT, IF APPLICABLE.
15. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
16. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
17. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
18. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
19. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
20. CONTRACTOR SHALL EXCAVATE EXISTING PAVEMENT/SIDEWALK AREAS THAT ARE TO BE LANDSCAPED A MINIMUM OF 30" OR AS DEEP AS NECESSARY TO ENSURE ALL STONE BASE / PAVEMENT MATERIAL IS REMOVED (WHICHEVER IS GREATER) AND BACKFILL WITH CLEAN / DRAINING SAND TO WITHIN 4" OF TOP OF CURB TO ENSURE PROPER SOIL FOR PLANT MATERIALS.
21. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT OVER-COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
22. ALL CUT OR FILL SLOPES SHALL BE 4H:1V OR FLATTER UNLESS OTHERWISE NOTED.
23. ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL, CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
24. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
25. LANDSCAPE ISLANDS IN PARKING AREA TO BE BERMED MINIMUM OF 6" ABOVE BACK OF CURB ELEVATION.
26. SEE LANDSCAPE PLAN FOR TREE REMOVAL AND PLANTING.
27. ADA RAMPS SHALL NOT EXCEED 6" IN LENGTH AND 6" IN RISE (8.33% SLOPE MAX).
28. CONTRACTOR TO FIELD VERIFY LOCATION OF UNDERGROUND UTILITIES AND IMMEDIATELY NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS WITH SIGNAGE FOUNDATIONS
29. ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
30. ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS, PROVIDED BY SURVEYOR.
31. TYPE C INLETS TO BE MODIFIED FOR H-20 TRAFFIC RATING.
32. FDOT DITCH BOTTOM INLETS TO BE MODIFIED FOR H20 TRAFFIC RATING.
33. ALL BUILDING ROOF DRAINS TO SLOPE UP AT 0.5% FROM LATERALS

No.	REVISIONS	DATE	BY

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GREGORY D. WILFONG
LICENSE
No. 63166
STATE OF FLORIDA
PROFESSIONAL ENGINEER

KHA PROJECT 147507131	
DATE	9/27/2024
SCALE	AS SHOWN
DESIGNED BY	SHB
DRAWN BY	SHB
CHECKED BY	GDW

OVERALL PAVING GRADING AND DRAINAGE PLAN

OAKWOOD SOUTH RETAIL SHOPPING CENTER

CITY OF HOLLYWOOD FL

SHEET NUMBER
C-300

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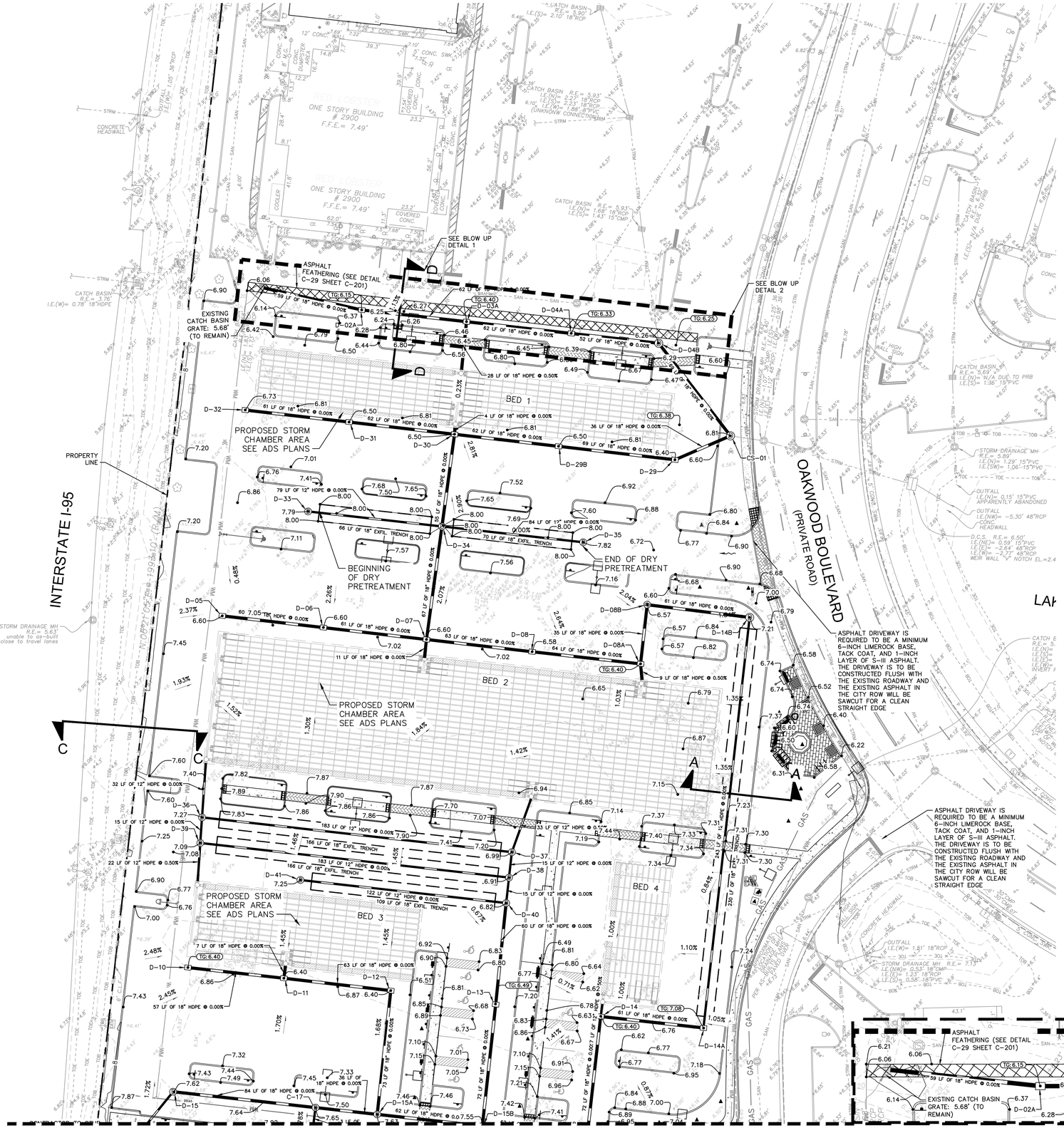
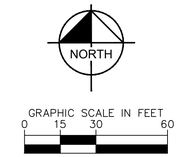
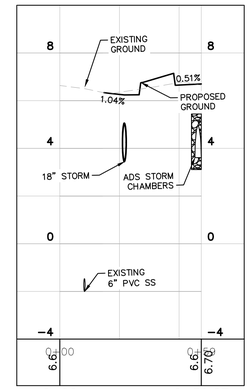


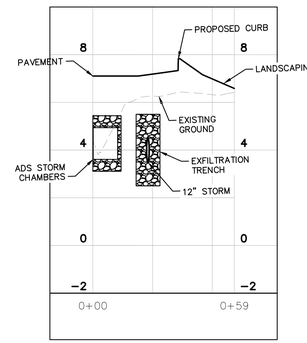


LEGEND

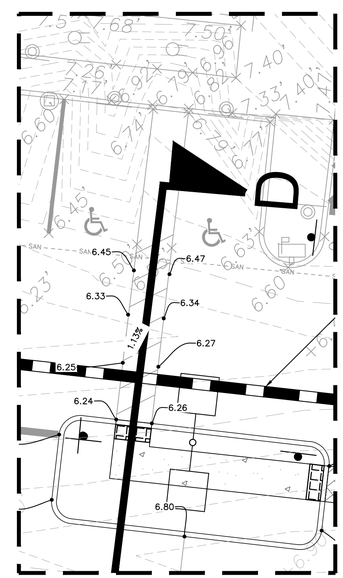
- EXISTING SPOT GRADE
- PROPOSED STORM PIPE
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- PROPOSED ±1,008 LF OF EXFILTRATION TRENCH
- X.XX% SLOPES
- X.XX' SPOT GRADE (NAVD)
- TG X.XX' TOP OF GRATE (NAVD)
- PROPERTY LINE



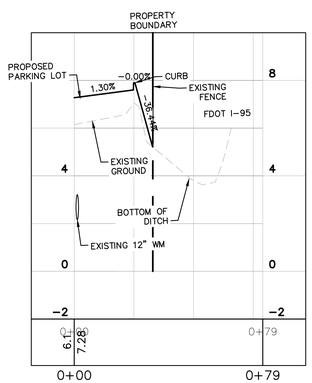
SECTION D-D
1" = 30' HORIZONTAL
1" = 3' VERTICAL



SECTION A-A
1" = 30' HORIZONTAL
1" = 3' VERTICAL



DETAIL 1: ADA CROSS CONNECTION
1" = 10'



SECTION C-C
1" = 30' HORIZONTAL
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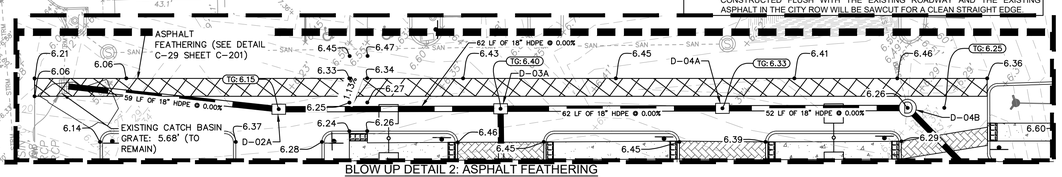

BLOW UP DETAIL 2: ASPHALT FEATHERING
1" = 20'

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PAVING GRADING AND DRAINAGE ENLARGEMENT PLAN

OAKWOOD SOUTH RETAIL SHOPPING CENTER

CITY OF HOLLYWOOD FL

SHEET NUMBER
C-301

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