

CITY OF
Hollywood
DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd
Room 315
Hollywood, FL 33022
Tel: (954) 921-3471
Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
 Planning and Development Board Historic Preservation Board Special Exception
 City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: 914 S SOUTHLAKE DR
 Lot(s): 17 & 18 Block(s): 77 Subdivision: 1-32 B
 Folio Number(s): 514214024920

Zoning Classification: AE Land Use Classification: Single Family Residential
 Existing Property Use: Single Family Residential Sq Ft/Number of Units: 7500/
 Is the request the result of a violation notice? Yes No If yes, attach a copy of violation.
 Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): Resolution Number: 22-CM-39

DEVELOPMENT PROPOSAL

Explanation of Request: Exterior Facade Alteration
 Phased Project: Yes No Number of Phases:

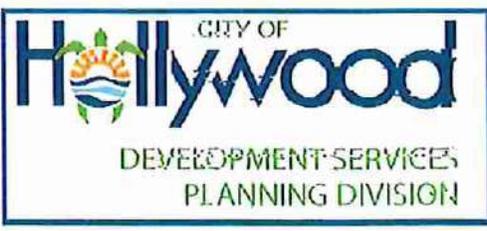
Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text"/> #Rooms <input type="text" value="9"/>
Proposed Non-Residential Uses	<input type="text" value="0"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text"/> (Area: <input type="text" value="7500"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text" value="3"/>)
Height (# of stories)	(# STORIES) <input type="text" value="2"/> (<input type="text"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<input type="text" value="50000"/> FT.)

Name of Current Property Owner: Nivaldo Batista Ilma
 Address of Property Owner: 914 S Southlake Drive, Hollywood, FL 33019
 Telephone: 617-820-1943 Email Address: financelro@baladaeventos.com.br

Applicant Pyermo Buss Nunes Consultant Representative Tenant
 Address: 21036 Via Eden, Boca Raton, FL 33433 Telephone: 561-305-4135
 Email Address: pyermo@bussconstruclionservices.com

Email Address #2: _____
 Date of Purchase: 02/23/2024 Is there an option to purchase the Property? Yes No
 If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____
 E-mail Address: _____



GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: *Nivaldo Batista Lima* Date: 05/30/2024

PRINT NAME: Nivaldo Batista Lima Date: 05/30/2024

Signature of Consultant/Representative: *AD* Date: 05/30/2024

PRINT NAME: Pyermo Buss Nunes Date: 05/30/2024

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 30th day of May

RP
Notary Public
State of Florida



Nivaldo Batista Lima
Signature of Current Owner

Nivaldo Batista Lima
Print Name

My Commission Expires: 05/30/2026 (Check One) Personally known to me; OR Produced Identification passport

August 16, 2024

Attn: City of Hollywood - Building Division - Historic Preservation Board
2600 Hollywood Boulevard
Hollywood, Florida 33020

Re: **HISTORIC PRESERVATION BOARD SUBMISSION**
914 S Southlake Dr
Hollywood, FL 33019
For a Two-Story Residence Exterior / Interior Renovation and Addition

PROJECT DESCRIPTION

This project in the Hollywood Historic Lakes neighborhood is a remodel of an existing 1994 two-story single family residence on a corner waterfront lot, including a new two-story addition and expansion. The new design will transform this building while working with the existing building massing and current site relationships, keeping the existing locations of the tennis court and dock that are to remain. The proposed design allows for open vistas to the intracoastal, while providing privacy to and from the neighboring properties.

This remodel will refresh the site with a newer, more modern-contemporary appeal, quite similar to other residences around the neighborhood. The new design will include modern-contemporary design elements such as clean lines and large open spaces, as well as some historic preservation design guidelines such as overhangs, oversized windows and large covered areas with vistas of the view of the water. The materiality of concrete next to natural stone and wood-like aluminum bring in the raw texture of nature to the site as well. The building placement and location also take advantage of passive design techniques such as providing less glazing on the south side of the building and providing shaded patio spaces.

Sincerely,

Eneida Pinon, RA
FL License: AR99209
Eneidapinon7@gmail.com

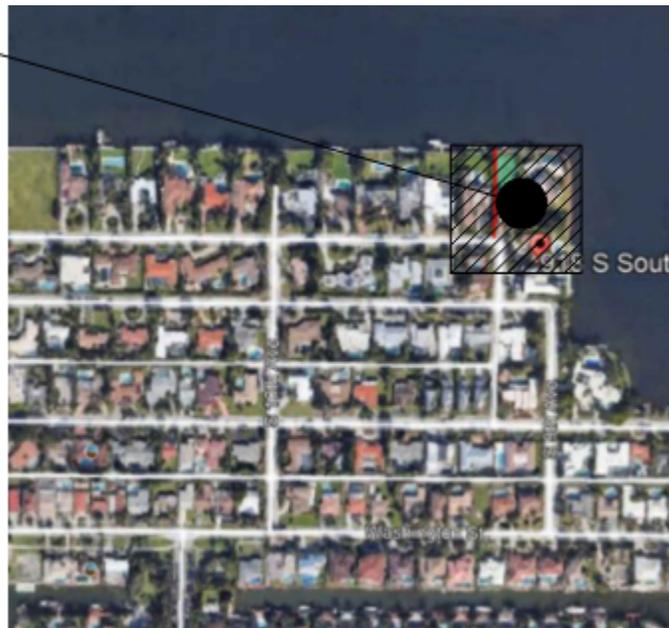


914 S SOUTHLAKE DR. HOLLYWOOD FL
33019

Legal Description:

HOLLYWOOD LAKES SECTION 1-32 B PARCEL OF LAND AS DESC'D IN
OR 134/124 BLK 77 TOGETHER WITH LOT 17 & 18 TOGETHER WITH TR
OF LAND LYING BETWEEN LOTS 18,19 & LAKE BLK 59

THIS SURVEY
25° 26' 55.30" N
80° 29' 59.04" W



LOCATION SKETCH

EXHIBIT A

All the portion of the 15 foot alley lying West of and adjacent to Lots 17 and 18, Block 59, Hollywood Lakes Section, according to the plat thereof, as recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida, bounded on the South by the South line of said Lot 17, extended Westerly to the East line of Lot 19, in said Block 59, and bounded on the North by the North line of said Lot 18 extended Westerly to the East line of said Lot 19, AND

Lots 17 and 18, Block 59, Hollywood Lakes Section, a subdivision, according to the plat thereof, recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida, AND

All that parcel of land described and bounded as follows:

Being a part of 13th Avenue (now South 9th Avenue) and a part of Block 77 (sometimes known as a parkway around South Lake), according to the plat of Hollywood Lakes Section, recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida; Beginning at a point where the line between Blocks 76 and 77 is intersected by a projection in an Easterly direction of the Northerly line of Lot 18 in Block 59, of said Hollywood Lakes Section; thence, from said Point of Beginning run Southerly along said boundary line between Block 76 and 77 to a point where the same is intersected by the projection in an Easterly direction of the South line Lot 17 in Block 59, of said Hollywood Lakes Section; thence Westerly along said projection of the South line of said Lot 17 in Block 59 to the point where the same intersects the dividing line between the Westerly side of South 13th Avenue (now abandoned) and the Easterly side of said Lot 17 in Block 59; thence Northerly along said dividing line between the Westerly side of said 13th Avenue and the Easterly side of Lots 17 and 18 in Block 59 of said Hollywood Lakes Section to the point where said dividing line is intersected by the projection in an Easterly direction of the North line of Lot 18 in Block 59 of said Hollywood Lakes Section; thence Easterly along said projection of the North line of said Lot 18 in Block 59 of said Hollywood Lakes Section of the Point of Beginning;

TOGETHER WITH (as described in Deed from the City of Hollywood recorded in Official Records Book 134, Page 124, of the Public Records of Broward County, Florida):

Lot 220 feet by 127.6 feet in Block 77, Hollywood Lakes Section, located at the dead end of 9th Avenue, North of S. South Lake Drive, bounded on the South by the prolongation of North property line of Lot 18, Block 59, Hollywood Lakes Section, on the West by the prolongation of the East boundary line of Lot 19, Block 59, Hollywood Lakes Section, and on the North and East by South Lake known as Block 76, Hollywood Lakes Section, according to the plat thereof, recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida; ALSO KNOWN AS beginning at a point where the line between Blocks 76 and 77 is intersected by a projection in an Easterly direction of the Northerly line of Lot 18, Block 59, of said Hollywood Lakes Section; thence from said place of beginning Northerly, and thence Westerly along said boundary line between Block 76 and 77 to a point where the same is intersected by the projection in a Northerly direction of the East line of Lot 19, Block 59; thence Southerly along said projection of the East line of Lot 19, Block 59, to the Northeast corner of said Lot 19, Block 59; thence Easterly to the Northwest corner of Lot 18, Block 59; thence Easterly along the Northerly line of said Lot 18, Block 59, and continuing Easterly along a projection of said Northerly line of Lot 18, Block 59, to the point of beginning, according to the plat of Hollywood Lakes Section recorded in Plat Book 1, Page 32, of the Public Records of Broward County.

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**CITY OF HOLLYWOOD
HISTORIC PRESERVATION BOARD**

RESOLUTION NO. 22-CM-39

A RESOLUTION OF THE HISTORIC PRESERVATION BOARD OF THE CITY OF HOLLYWOOD, FLORIDA APPROVING A CERTIFICATE OF APPROPRIATENESS FOR DEMOLITION AND A CERTIFICATE OF APPROPRIATENESS FOR DESIGN FOR A SINGLE FAMILY HOME LOCATED AT 914 SOUTH SOUTHLAKE DRIVE IN THE LAKES AREA HISTORIC MULTIPLE RESOURCE LISTING DISTRICT AS MORE SPECIFICALLY DESCRIBED IN THE ATTACHED EXHIBIT "A" PURSUANT TO PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, the Historic Preservation Board (the "Board") is charged with the responsibility of preserving and conserving properties of historical, architectural and archeological merit in the City of Hollywood; and

WHEREAS, a Certificate of Appropriateness for Demolition of a non-historic structure may be issued by the Board; and

WHEREAS, a Certificate of Appropriateness for Design is required prior to the issuance of a building permit for new building construction, additions to existing buildings, major renovation work or substantial alteration based upon evaluation of the compatibility of the physical alteration or improvement with the criteria listed in 5.5.F.1 of the City of Hollywood Zoning and Land Development Regulations; and

WHEREAS, Aharon and Florence Amrany, Aharon Amrany Family Trustee (the "Applicant"), requested a Certificate of Appropriateness for Demolition of an existing single family home and a Certificate of Appropriateness for Design for the construction of a new single family home located at 914 South Southlake Drive, as more particularly described in the attached Exhibit "A" incorporated herein by reference; and

WHEREAS, pursuant to Section 5.5.F.4.C. of the City's Zoning and Land Development Regulations, if the Board determines that the status of the property is historic, a recommendation by the Board shall be forwarded to the City Commission; and

WHEREAS, the Board held an advertised public hearing on November 8, 2022 to consider the Applicant's requests and found the structure to be historic; and

WHEREAS, the Board considered the applicant's request for a Certificate of Appropriateness for Demolition and found the existing home to be non-historic; and

WHEREAS, the Board reviewed the Applicant's request for a Certificate of Appropriateness for Design for a single family home, reviewed the evidence submitted and testimony received at the public hearing, and applied the criteria for granting a Certificate of Appropriateness for Design as contained in the Section 5.5.F.1 of the City's Zoning and Land Development Regulations as follows:

1. The criteria for reviewing a request for a Certificate of Appropriateness for Design set forth in Section 5.5.F.1 includes: integrity of location, design, setting, materials, workmanship, and association.

WHEREAS, after consideration of the criteria listed in Section 5.5.F.1 the Board found the design to be acceptable, with a condition.

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That the foregoing "WHEREAS" clauses are ratified and confirmed as being true and correct and are incorporated in this Resolution.

Section 2: That the Board, after hearing all evidence submitted and reviewing the Applicant's request and Staff Summary Report and hearing testimony from all parties and public speakers, determines that the existing single family home on the Applicant's property is a non-historic structure and grants the issuance of a Certificate of Appropriateness for Demolition based on the plans submitted and reviewed by the Board.

Section 3: That the Board, after hearing all the evidence submitted and reviewing the Applicant's request and Staff Summary Report and hearing testimony from all parties and public speakers, approves the issuance of a Certificate of Appropriateness for Design based on the plans submitted and approved by the Board with the following condition: Applicant shall provide a Deed Restriction, in a form acceptable to the City Attorney, acknowledging the Guest House shall not be utilized as a second dwelling, and be recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C).

Section 4: That the Board, after hearing all the evidence submitted and reviewing the Applicant's request and Staff Summary Report and hearing testimony from all parties and public speakers, approves the issuance of a Certificate of Appropriateness for Design based on the plans submitted and reviewed by the Board.

(HISTORIC PRESERVATION BOARD RESOLUTION 22-CM-39)

Section 5: That the Department of Development Services - Division of Planning and Urban Design is hereby directed to forward a copy of this Resolution to the Applicant and the owner of the property with respect to which the request was made. This Resolution will be delivered to the City Clerk to be recorded in the public records of Broward County, as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations. A copy shall be furnished to any enforcement official.

PASSED AND ADOPTED THIS 8 DAY OF NOVEMBER, 2022.

RENDERED THIS 14th DAY OF March, 2022.

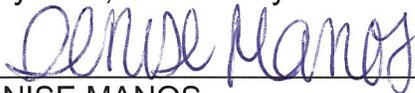


TERRY CANTRELL,
BOARD CHAIR



STEPHEN PIPER,
SECRETARY

APPROVED AS TO FORM AND LEGAL SUFFICIENCY for the use and reliance of the Historic Preservation Board of the City of Hollywood, Florida only.



DENISE MANOS,
BOARD ATTORNEY

(Historic Preservation Board Resolution 22-CM-39)

EXHIBIT "A"
LEGAL DESCRIPTION

HOLLYWOOD LAKES SECTION 1-32 B PARCEL OF LAND AS DESC'D IN OR 134/124 BLOCK 77
TOGETHER WITH LOT 17 & 18 TOGETHER WITH TR OF LAND LYING BETWEEN LOTS 18,19 &
LAKE BLOCK 59

25 permits were found for
914 S SOUTHLAKE DR

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		B24-103724	DEMOLITION PARTIAL	6/3/2024	7/3/2024
Details		P23-101335	BACKFLOW PREVENTER	10/10/2023	11/9/2023
Details		B19-101242	REROOF - METAL, TILE, WOOD, SHINGLE OR SHAKE	3/25/2019	5/24/2019
Details		E17-101808	ELECTRICAL WORK	6/26/2017	8/1/2017
Details		P16-100602	LAWN SPRINKLER EXCL PUMP AND WELL	3/15/2016	3/15/2016
Details		B15-105485	DOCK	11/24/2015	3/11/2016
Details		P15-101041	FIXTURES-PLUMBING	8/18/2015	8/18/2015
Details		P15-102727	GAS PIPING	8/18/2015	8/18/2015
Details		P15-102726	POOL HEATER, PIPING & FILTER EQUIPMENT	8/18/2015	8/18/2015
Details		M15-100762	POOL HEATER	8/18/2015	8/18/2015
Details		E15-101287	ELECTRICAL WORK	8/18/2015	8/18/2015
Details		B15-103404	POOL - RESIDENTIAL	6/30/2015	8/18/2015
Details		E15-100919	LOW VOLTAGE (OTHER)	6/5/2015	6/5/2015
Details		B15-101269	ROOFING - NEW - FLAT	4/7/2015	4/7/2015
Details		P14-102136	GAS PIPING	2/5/2015	2/5/2015
Details		P14-101277	PLUMBING WORK	2/5/2015	2/5/2015
Details		M14-101332	A/C CENTRAL (NEW)	2/5/2015	2/5/2015
Details		E14-101696	ELECTRICAL WORK	2/5/2015	2/5/2015
Details		P14-101804	PUNCH AND FILL	10/21/2014	10/21/2014
Details		E14-101381	DEMOLITION-ELECTRICAL	10/21/2014	10/21/2014
Details		B14-103263	ALTERATIONS-EXTERIOR & INTERIOR	3/1/2014	2/5/2015
Details		B14-103262	DEMOLITION(OTHER THAN COMPLETE BUILDING)	3/1/2014	10/21/2014
Details		B10-104580	SEAWALL/BULKHEAD	11/5/2010	11/12/2010
Details		P24-100824	DEMOLITION-PLUMBING		
Details		E24-101296	DEMOLITION-ELECTRICAL		

Permit Details

Process #:	Permit #: B9306836	Master Permit: B9306836
Status: Closed		
<u>List All Subpermits</u>		

Site Information		
Address: 914 S SOUTH LAKE DR	Folio#: 514214021840	
Sub-division: HOLLYWOOD LAKES SECTION	Value: \$750,000.00	
Lot: 17	Block: 59	Sq Ft: 11870

Permit Information	
Application Type: NEW - RESIDENTIAL - SINGLE FAMILY	Application Date: 00/00/00
Job Name: SEGAL,MARILYN	Permit Date: 10/21/93
Film Number: 9507591	CO/CC Date:
	Total Fees: \$11,618.82

Applicant / Contact Information
Name: M K ROARK INC
Address: 2410 HOLLYWOOD BL HOLLYWOOD, FL

Property Owner Information
Name: SEGAL,MARILYN
Address:

Contractor Information
Name: M K ROARK INC (Permits + Details)
Address: 2410 HOLLYWOOD BL HOLLYWOOD, FL

7 subpermits were found for Master Permit**B9306836**

View	<u>Process #</u>	<u>Permit #</u>	<u>Description</u>	<u>Appl. Date</u>	<u>Permit Date</u>
Details		B9307294	ROOFING - NEW - TILE		11/8/1993
Details		E9303403	ELECTRICAL WORK		10/25/1993
Details		E9403173	MUSIC SYSTEM		9/19/1994
Details		M9401075	CENTRAL VACUUM SYSTEM		7/22/1994
Details		M9401094	A/C - CENTRAL - NEW		7/26/1994
Details		P9400008	PLUMBING WORK		1/4/1994
Details		P9500237	LAWN SPRINKLER EXCL PUMP AND WELL		2/24/1995

**22 permits were found for
914 S SOUTHLAKE DR**

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		B19-101242	REROOF - METAL, TILE, WOOD, SHINGLE OR SHAKE	2/25/2019	5/24/2019
Details		E17-101508	ELECTRICAL WORK	6/26/2017	8/1/2017
Details		P16-100602	LAWN SPRINKLER EXCL PUMP AND WELL	3/15/2016	3/15/2016
Details		B15-106485	DOCK	12/29/2015	3/11/2016
Details		P15-103041	FIXTURES-PLUMBING	8/18/2015	8/18/2015
Details		P15-102727	GAS PIPING	8/18/2015	8/18/2015
Details		P15-102726	POOL HEATER,PIPING & FILTER EQUIPMENT	8/18/2015	8/18/2015
Details		M15-100762	POOL HEATER	8/18/2015	8/18/2015
Details		E15-101287	ELECTRICAL WORK	8/18/2015	8/18/2015
Details		E15-101334	ALARM - RESIDENTIAL - BURGLAR/ROBBERY	8/4/2015	8/4/2015
Details		B15-103404	POOL - RESIDENTIAL	6/30/2015	8/18/2015
Details		E15-100919	LOW VOLTAGE (OTHER)	6/5/2015	6/5/2015
Details		B15-101269	ROOFING - NEW - FLAT	4/7/2015	4/7/2015
Details		P14-102136	GAS PIPING	2/5/2015	2/5/2015
Details		P14-101277	PLUMBING WORK	2/5/2015	2/5/2015
Details		M14-101332	A/C CENTRAL (NEW)	2/5/2015	2/5/2015
Details		E14-101696	ELECTRICAL WORK	2/5/2015	2/5/2015
Details		P14-101804	PUNCH AND FILL	10/21/2014	10/21/2014
Details		E14-101381	DEMOLITION-ELECTRICAL	10/21/2014	10/21/2014
Details		B14-103263	ALTERATIONS-EXTERIOR & INTERIOR	7/1/2014	2/5/2015
Details		B14-103262	DEMOLITION(OTHER THAN COMPLETE BUILDING)	7/1/2014	10/21/2014
Details		B10-104580	SEAWALL/BULKHEAD	11/5/2010	11/12/2010

28 permits were found for
914 S SOUTHLAKE DR

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details	57925	B9801458	STORM SHUTTERS	2/20/1997	3/5/1998
Details		E0002123	ELECTRICAL WORK		6/8/2000
Details		B0003592	STORM SHUTTERS		5/12/2000
Details		B9701466	ALTERATIONS-EXTERIOR		3/3/1997
Details		B9504491	STORM SHUTTERS		8/22/1995
Details		E9501690	ELECTRICAL WORK		6/20/1995
Details		E9500544	TEMP SERVICE(FOR TESTING-30 DAY MAX)		3/6/1995
Details		P9500237	LAWN SPRINKLER EXCL PUMP AND WELL		2/24/1995
Details		B9500038	AWNINGS - ALUM OR CANVAS		1/4/1995
Details		E9403173	MUSIC SYSTEM		9/19/1994
Details		M9401094	A/C - CENTRAL - NEW		7/26/1994
Details		M9401075	CENTRAL VACUUM SYSTEM		7/22/1994
Details		E9402452	MIN/NO PLAN REQ OR LOW VOLTAGE PHONE/TV		7/21/1994
Details		P9400008	PLUMBING WORK		1/4/1994
Details		P9301502	POOL HEATER,PIPING & FILTER EQUIPMENT		11/29/1993
Details		E9303766	POOL/SPA ELECTRICAL		11/29/1993
Details		B9307748	DECK - WITHOUT ROOF		11/29/1993
Details		B9307744	POOL - RESIDENTIAL		11/29/1993
Details		B9307294	ROOFING - NEW - TILE		11/8/1993
Details		E9303403	ELECTRICAL WORK		10/25/1993
Details		B9306836	NEW - RESIDENTIAL - SINGLE FAMILY		10/21/1993
Details		E9201535	TEMP POWER(FOR CONSTRUCTION)		6/4/1992
Details		B9201356	SEAWALL/BULKHEAD		3/4/1992
Details		E9200532	ELECTRICAL WORK		3/3/1992
Details		B9201319	FENCE-CHAIN LINK &/OR WOOD		3/3/1992
Details		B9201318	SITE IMPROVEMENTS		3/3/1992
Details		B9104825	DEMOLITION-STRUCTURAL(W/O W/S CREDIT)		7/17/1991
Details		B9005766	DEMOLITION-STRUCTURAL(W/O W/S CREDIT)		8/28/1990

Permit Details

Process #:

Permit #: B9307744

Master Permit: B9307744

Status: Closed

[List All Subpermits](#)

Site Information

Address: 914 S SOUTH LAKE DR

Folio#: 514214021840

Sub-division: HOLLYWOOD LAKES SECTION

Value: \$16,833.60

Lot: 17

Block: 59

Sq Ft: 0

Permit Information

Application Type: POOL - RESIDENTIAL

Application Date: 00/00/00

Job Name: SEGAL,MARILYN

Permit Date: 11/29/93

Film Number: 9507430

CO/CC Date:

Total Fees: \$273.45

Applicant / Contact Information

Name: TROPICAL POOLS INC

Address: PO BOX 2111 FT LAUDERDALE, FL

Property Owner Information

Name: SEGAL,MARILYN

Address:

Contractor Information

Name: TROPICAL POOLS INC ([Permits + Details](#))

Address: PO BOX 2111 FT LAUDERDALE, FL

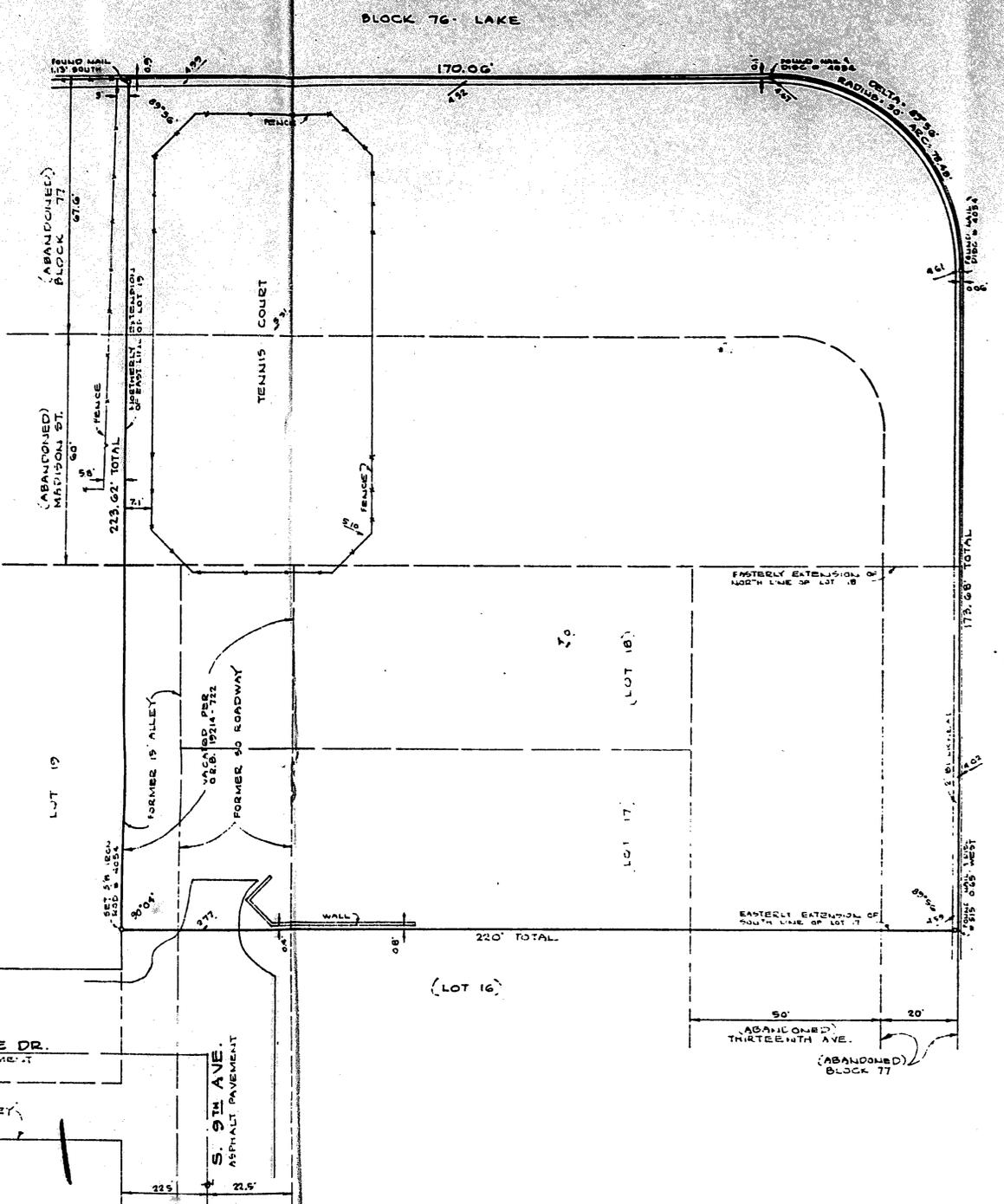
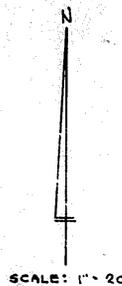
3 subpermits were found for Master Permit

B9307744

View	<u>Process #</u>	<u>Permit #</u>	<u>Description</u>	<u>Appl. Date</u>	<u>Permit Date</u>
Details		P9301502	POOL HEATER, PIPING & FILTER EQUIPMENT		11/29/1993
Details		E9303766	POOL/SPA ELECTRICAL		11/29/1993
Details		B9307748	DECK - WITHOUT ROOF		11/29/1993

SOUTH LAKE

SKETCH OF LAND SURVEY FOR
DR. MARILYN SEGAL



DESCRIPTION

Lots 17 and 18, Block 59, "HOLLYWOOD LAKES SECTION", according to the plat thereof recorded in Plat Book 1, page 32, of the public records of Broward County, Florida; AND

All that parcel of land described and bounded as follows: Being a part of 13th Avenue (now South 9th Avenue) and a part of Block 77 (sometimes known as a parkway around South Lake), according to the plat of "HOLLYWOOD LAKES SECTION" recorded in Plat Book 1, page 32, of the public records of Broward County, Florida; Beginning at a point where the line between Block 76 and 77 is intersected by a projection in an Easterly direction of the Northerly line of Lot 18, in Block 59, of said "HOLLYWOOD LAKES SECTION"; thence, from said Point of Beginning run Southerly along said boundary line between Blocks 76 and 77 to a point where the same is intersected by the projection in an Easterly direction of the South line of Lot 17, in Block 59, of said "HOLLYWOOD LAKES SECTION"; thence Westerly along said projection of the South line of said Lot 17 in Block 59 to the point where the same intersects the dividing line between the Westerly side of South 13th Avenue (now abandoned) and the Easterly side of said Lot 17 in Block 59; thence Northerly along said dividing line between the Westerly side of said 13th Avenue and the Easterly side of Lots 17 and 18 in Block 59 of said "HOLLYWOOD LAKES SECTION" to the point where said dividing line is intersected by the projection in an Easterly direction of the North line of Lot 18 in Block 59 of said "HOLLYWOOD LAKES SECTION"; thence, Easterly along said projection of the North line of said Lot 18 in Block 59 of said "HOLLYWOOD LAKES SECTION" to the Point of Beginning; AND

Lot 220' by 127.6' in Block 77, "HOLLYWOOD LAKES SECTION", located at the dead end of 9th Avenue, North of S. South Lake Drive, bounded on the South by the prolongation of N. P/L of Lot 18, Block 59, "HOLLYWOOD LAKES SECTION", on the West by the prolongation of the East boundary line of Lot 19, Block 59, "HOLLYWOOD LAKES SECTION", and on the North and East by South Lake known as Block 76, "HOLLYWOOD LAKES SECTION", according to the plat thereof recorded in Plat Book 1, page 32, of the public records of Broward County, Florida; also known as: Beginning at a point where the line between Block 76 and 77 is intersected by a projection in an easterly direction of the northerly line of Lot 18, Block 59, of said "HOLLYWOOD LAKES SECTION", thence from said place of beginning northerly, and thence westerly along said boundary line between Block 76 and 77 to a point where the same is intersected by the projection in a northerly direction of the east line of Lot 19, Block 59, thence southerly along said projection of the east line of Lot 19, Block 59, to the northeast corner of said Lot 19, Block 59; thence, easterly to the northwest corner of said Lot 18, Block 59; thence easterly along the northerly line of said Lot 18, Block 59, and continuing easterly along a projection of said northerly line of Lot 18, Block 59, to the point of beginning, according to the plat of "HOLLYWOOD LAKES SECTION" recorded in Plat Book 1, page 32, of the public records of Broward County, Florida; AND

All that portion of the 15 foot alley lying west of and adjacent to Lot 17 and 18, Block 59, "HOLLYWOOD LAKES SECTION", according to the plat thereof, as recorded in Plat Book 1, page 32, of the public records of Broward County, Florida, bounded on the south by the South line of said Lot 17 extended westerly to the east line of Lot 19, in said Block 59, and bounded on the north by the north line of said Lot 18 extended westerly to the east line of said Lot 19.

CERTIFIED TO
BANKBOSTON MORTGAGE CORP.
DR. MARILYN SEGAL
BROAD & CASSEL
ATTORNEYS' TITLE INSURANCE FUND, INC.

STEPHEN H. GIBBS
LAND SURVEYORS, INC.
923-7866 SUITE 201
2131 HOLLYWOOD BLVD.
HOLLYWOOD, FLORIDA 33020

SP 7

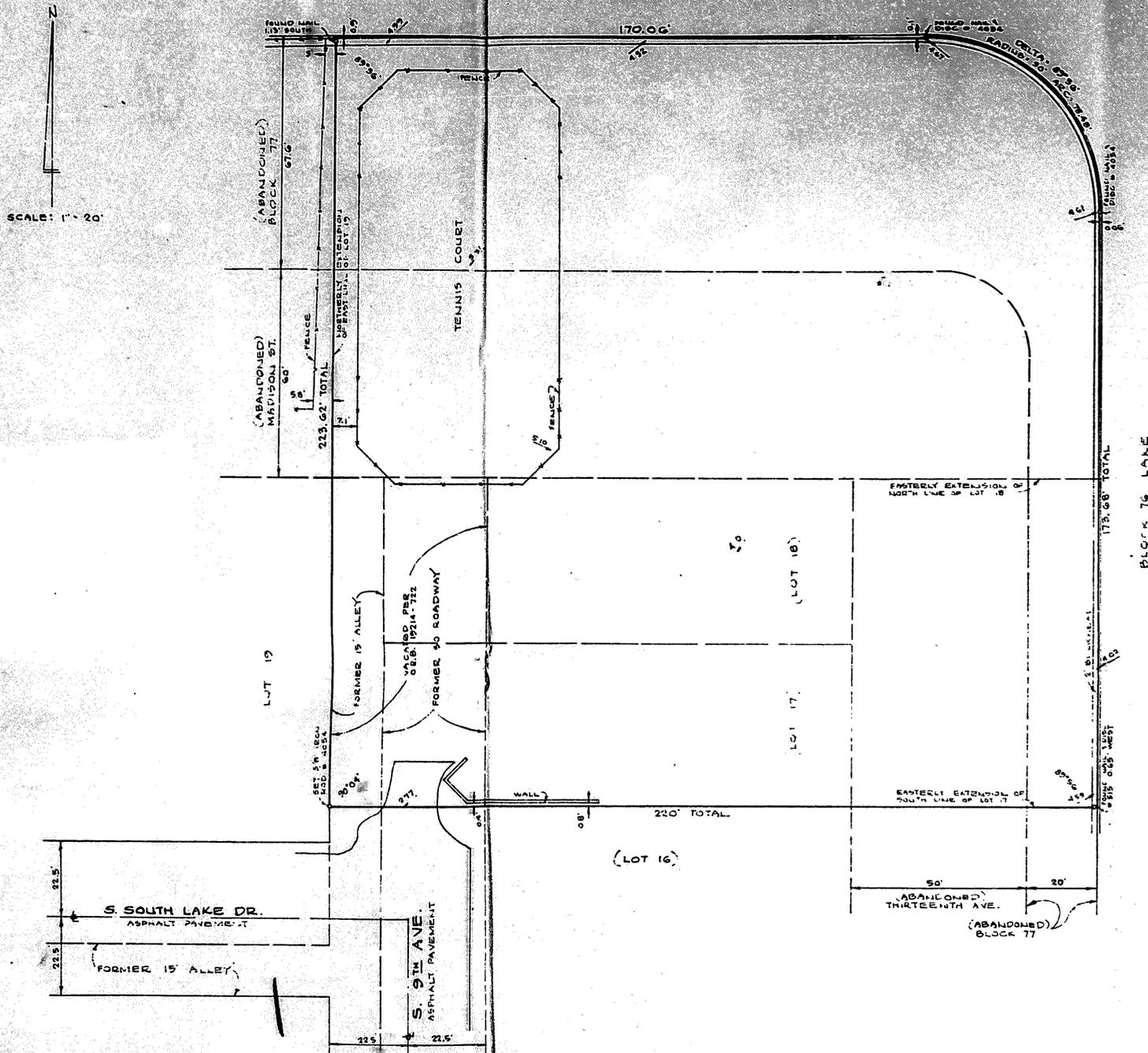
ELEVATIONS ARE BASED ON
NATIONAL GEODESIC VERTICAL
DATUM OF 1988.

THE LAND DESCRIPTION SHOWN
HEREON WAS PROVIDED BY THE
CLIENT AND WAS NOT ABSTRACTED
BY THIS FIRM FOR A TITLE
OPINION. THIS SURVEY IS IN
ACCORDANCE WITH THE PLAT OF
RECORD.

VALID COPY OF THIS SURVEY
WILL BEAR THE SURVEYOR'S
SIGNATURE AND SEAL

SOUTH LAKE

BLOCK 76 - LAKE



DESCRIPTION

Lots 17 and 18, Block 59, "HOLLYWOOD LAKES SECTION", according to the plat thereof recorded in Plat Book 1, page 32, of the public records of Broward County, Florida; AND

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Lot 220' by 127.6' in Block 77, "HOLLYWOOD LAKES SECTION", located at the dead end of 9th Avenue, North of S. South Lake Drive, bounded on the South by the prolongation of N. P/L of Lot 18, Block 59, "HOLLYWOOD LAKES SECTION", on the West by the prolongation of the East boundary line of Lot 19, Block 59, "HOLLYWOOD LAKES SECTION", and on the North and East by South Lake known as Block 76, "HOLLYWOOD LAKES SECTION", according to the plat thereof recorded in Plat Book 1, page 32, of the public records of Broward County, Florida; also known as: Beginning at a point where the line between Block 76 and 77 is intersected by a projection in an easterly direction of the northerly line of Lot 18, Block 59, of said "HOLLYWOOD LAKES SECTION"; thence from said place of beginning northerly, and thence westerly along said boundary line between Block 76 and 77 to a point where the same is intersected by the projection in a northerly direction of the east line of Lot 19, Block 59, thence southerly along said projection of the east line of Lot 19, Block 59, to the northeast corner of said Lot 19, Block 59; thence, easterly to the northwest corner of Lot 18, Block 59; thence easterly along the northerly line of said Lot 18, Block 59, and continuing easterly along a projection of said northerly line of Lot 18, Block 59, to the point of beginning, according to the plat of "HOLLYWOOD LAKES SECTION" recorded in Plat Book 1, page 32, of the public records of Broward County, Florida; AND

All that portion of the 15 foot alley lying west of and adjacent to Lot 17 and 18, Block 59, "HOLLYWOOD LAKES SECTION", according to the plat thereof, as recorded in Plat Book 1, page 32, of the public records of Broward County, Florida, bounded on the south by the South line of said Lot 17 extended westerly to the east line of Lot 19, in said Block 59, and bounded on the north by the north line of said Lot 18 extended westerly to the east line of said Lot 19.

CERTIFIED TO:
BANKBOSTON MORTGAGE CORP.
DR. MARILYN SEGAL
BROAD & CASSELL
ATTORNEYS' TITLE INSURANCE FUND, INC.

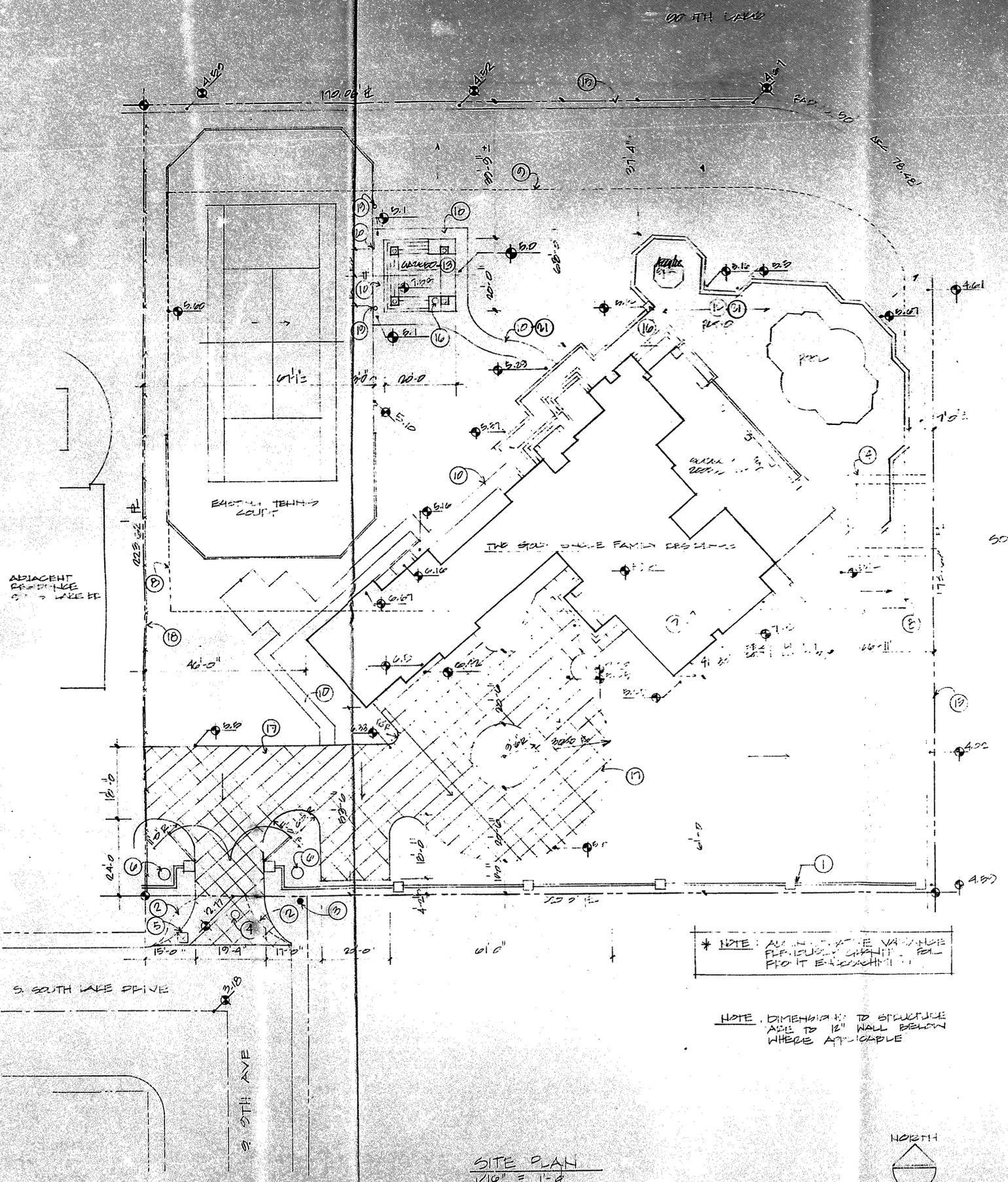
STEPHEN H. GIBBS
LAND SURVEYORS, INC.
923-7866 SUITE 201
2131 HOLLYWOOD BLVD.
HOLLYWOOD, FLORIDA 33020

SP 7

THE LAND DESCRIPTION SHOWN
HEREON WAS PROVIDED BY THE
CLIENT AND HAS NOT BEEN
VERIFIED BY THIS FIRM FOR THE
REASON OF THE LACK OF RECORDS.
THIS SURVEY IS IN
ACCORDANCE WITH THE PLAT OF
RECORD.

VALID COPY OF THIS SURVEY
WILL BEAR THE SIGNATURE
OF SURVEYOR'S NAME

GRADE FOOTAGE		
1ST FLOOR A/C	2000	SF
2ND FLOOR A/C	2700	SF
TOTAL A/C	4700	SF
RAV. FLOOR A/C	2000	SF
2ND FLOOR A/C	00	SF
TOTAL RAV. FLOOR	2000	SF
CURB CUT	200	SF
TOTAL GR	6700	SF



- NOTES
1. EXISTING UTILITY POLE TO BE REMOVED AND REPLACED BY NEW 12" DIA.
 2. MODIFY EXISTING ASPHALT AS REQUIRED.
 3. EXISTING UTILITY POLE
 4. EXISTING MANHOLE
 5. EXISTING CATCH BASIN
 6. EXISTING PAVED DRIVE
 7. EXISTING DRIVE DRIVE *
7.5' SIDE DRIVE DRIVE
8' SIDE DRIVE DRIVE
 8. 1" CONC. CURB CUT BY 12" DIA. MANHOLE IS 2' DIA.
 9. 4" CONC. CURB CUT BY 12" DIA. MANHOLE IS 2' DIA.
 10. EX. SHEET # 01 FOR PLAN & W/IO W/OUT. (FROM SHEET # 01 BY PLAN CONTRACTOR)
 11. EX. SHEET # 02 FOR GRADY PLAN & DETAILS.
 12. USE EXISTING "EXIST" BACKFILL UNDER EXISTING CONCRETE. COORDINATE EX. LOCATION A/C VIA EXISTING ROUTING TO A/C. EX. SHEET # 01 & 02 BULKHEAD LEFT EXISTING W/OUT.
 13. EX. SHEET # 03 FOR PLAN & W/IO W/OUT.
 14. EX. SHEET # 04 FOR PLAN & W/IO W/OUT.
 15. EX. SHEET # 05 FOR PLAN & W/IO W/OUT.
 16. EX. SHEET # 06 FOR PLAN & W/IO W/OUT.
 17. EX. SHEET # 07 FOR PLAN & W/IO W/OUT.
 18. EX. SHEET # 08 FOR PLAN & W/IO W/OUT.
 19. EX. SHEET # 09 FOR PLAN & W/IO W/OUT.
 20. EX. SHEET # 10 FOR PLAN & W/IO W/OUT.
 21. EX. SHEET # 11 FOR PLAN & W/IO W/OUT.

APPROVED
 MAY 29 1983
 City of Hollywood, Fla.
 Structural

* NOTE: ALL DIMENSIONS TO STRUCTURE FACE TO FACE UNLESS OTHERWISE NOTED FROM IT ELEVATION.

NOTE: DIMENSIONS TO STRUCTURE FACE TO FACE UNLESS OTHERWISE NOTED FROM IT ELEVATION.

SITE PLAN
 1/16" = 1'-0"
 * = NEW ELEVATION

W M R SANTIANA JR ARCHITECT
 RESIDENCE FOR MR & MRS RICHARD DECA
 DATE 5/19/83

Permit Details

CHECK BUILDING DEPARTMENT FOR PLANS

Process #:	Permit #: B15-106485	Master Permit: B15-106485
Status: CLOSED		
List All Subpermits		

Site Information

Address: 914 S SOUTHLAKE DR	Folio#: 514214024920
Sub-division: HOLLYWOOD LAKES SECTION 1-32 B , PARCEL OF LAND AS DESC'D IN OR	Value: \$247,390.00
Lot:	Sq Ft: 0
Block:	

Permit Information

Application Type: DOCK - DOCK & SEAWALL REPAIR	Application Date: 12/29/2015
Job Name: 914 S SOUTHLAKE DR	Permit Date: 3/11/2016
Film Number:	CO/CC Date: N/A
	Total Fees: \$5,572.94
	Recorded Payments: \$5,572.94
	Balance: \$0.00

Applicant / Contact Information

Name: SOUTHEAST MARINE CONSTRUCTION INC
Address: 404 NE 38 ST OAKLAND PARK, FL

Property Owner Information

Name: SEGAL, MONICA
Address: 707 WESTCHESTER AVE #401 WHITE PLAINS, NY 10604

Contractor Information

Name: SOUTHEAST MARINE CONSTRUCTION INC (Permits + Details)
Address: 404 NE 38 ST OAKLAND PARK, FL

Permit Details

CHECK BUILDING DEPARTMENT FOR PLANS

Process #:

Permit #: B15-103404

Master Permit: B15-103404

Status: CLOSED

[List All Subpermits](#)

Site Information

Address: 914 S SOUTHLAKE DR

Folio#: 514214024920

Sub-division: HOLLYWOOD LAKES SECTION
1-32 B , PARCEL OF LAND AS DESC'D IN OR

Value: \$117,933.00

Sq Ft: 0

Lot:

Block:

Permit Information

Application Type: POOL - RESIDENTIAL - NEW
RESIDENTIAL POOL

Application Date: 6/30/2015

Permit Date: 8/18/2015

CO/CC Date: N/A

Job Name: SEGAL RESIDENCE

Total Fees: \$4,045.06

Film Number:

Recorded Payments: \$4,045.06

Balance: \$0.00

Applicant / Contact Information

Name: STAR-LITE POOL BUILDERS

Address: 10875 NW 52 ST # 8 SUNRISE, FL

Property Owner Information

Name: SEGAL,MONICA

Address: 707 WESTCHESTER AVE #401 WHITE PLAINS, NY 10604

Contractor Information

Name: STAR-LITE POOL BUILDERS ([Permits + Details](#))

Address: 10875 NW 52 ST # 8 SUNRISE, FL

5 subpermits were found for Master Permit

B15-103404

View	<u>Process #</u>	<u>Permit #</u>	<u>Description</u>	<u>Appl. Date</u>	<u>Permit Date</u>
Details		P15-103041	FIXTURES-PLUMBING	8/18/2015	8/18/2015
Details		P15-102727	GAS PIPING	8/18/2015	8/18/2015
Details		P15-102726	POOL HEATER, PIPING & FILTER EQUIPMENT	8/18/2015	8/18/2015
Details		M15-100762	POOL HEATER	8/18/2015	8/18/2015
Details		E15-101287	ELECTRICAL WORK	8/18/2015	8/18/2015

Permit Details

Process #:

Permit #: B14-103263

Master Permit: B14-103263

Status: CLOSED

[List All Subpermits](#)

Site Information

Address: 914 S SOUTHLAKE DR

Folio#: 514214024920

Sub-division: HOLLYWOOD LAKES SECTION
1-32 B , PARCEL OF LAND AS DESC'D IN OR

Value: \$80,000.00

Sq Ft: 0

Lot:

Block:

Permit Information

Application Type: ALTERATIONS-EXTERIOR &
INTERIOR - ALTERATIONS-EXTERIOR &
INTERIOR

Job Name: SEGAL,MONICA

Film Number:

Application Date: 7/1/2014

Permit Date: 2/5/2015

CO/CC Date: 3/6/2018

Total Fees: \$3,276.07

Recorded Payments: \$3,276.07

Balance: \$0.00

Applicant / Contact Information

Name: BARRON DEVELOPMENT CORPORATION

Address: 4530 N HIATUS RD STE 105 SUNRISE, FL

Property Owner Information

Name: SEGAL,MONICA

Address: 707 WESTCHESTER AVE #401 WHITE PLAINS, NY 10604

Contractor Information

Name: BARRON DEVELOPMENT CORPORATION ([Permits + Details](#))

Address: 4530 N HIATUS RD STE 105 SUNRISE, FL

8 subpermits were found for Master Permit**B14-103263**

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		B15-101269	ROOFING - NEW - FLAT	4/7/2015	4/7/2015
Details		E14-101696	ELECTRICAL WORK	2/5/2015	2/5/2015
Details		E15-100919	LOW VOLTAGE (OTHER)	6/5/2015	6/5/2015
Details		E15-101334	ALARM - RESIDENTIAL - BURGLAR/ROBBERY	8/4/2015	8/4/2015
Details		M14-101332	A/C CENTRAL (NEW)	2/5/2015	2/5/2015
Details		P14-101277	PLUMBING WORK	2/5/2015	2/5/2015
Details		P14-102136	GAS PIPING	2/5/2015	2/5/2015
Details		P16-100602	LAWN SPRINKLER EXCL PUMP AND WELL	3/15/2016	3/15/2016

August 15, 2024

Attn: City of Hollywood - Building Division - Historic Preservation Board
2600 Hollywood Boulevard
Hollywood, Florida 33020

Re: **HISTORIC PRESERVATION BOARD SUBMISSION**
914 S Southlake Dr
Hollywood, FL 33019
For a Two-Story Residence Exterior / Interior Renovation and Addition

CERTIFICATE OF APPROPRIATENESS FOR DESIGN CRITERIA

1. INTEGRITY OF LOCATION

This project resides in the Hollywood Historic Lakes neighborhood, south of Hollywood Boulevard. The existing 1994 building sits on a waterfront lot with water on two sides of the property. The proposed design conforms with the RS-9 Zoning requirements and the HPB recommendations.

2. DESIGN

- Aesthetic: As the building was built in 1994, the existing building style is not one of the typical homes that would provide significant contribution to the Historic District in this area. The proposed design will provide a similar mass composition compared to the existing building, but will refresh the site with a newer, more contemporary appeal, quite similar to other residences around the neighborhood.
- Height: The proposed remodel design is built around the existing building structure, a mix of one and two stories that compose the main residence. There will be a two-story addition to the existing structure on the northwest side of the building, as well as a one-story expansion near the property entrance.
- Window/Door Openings: The proposed design has the least amount of glass in the south facing elevations following passive architectural techniques. Large covered porches reduce direct sun exposure on areas with larger glazed openings. All building window/door openings will be impact rated.
- Roof: The building roof will be raised and converted to a flat roof system, which will allow for higher ceilings floor to floor.

3. SETTING

The current site is situated between two (2) two-story residences and three (3) one-story residences on South Southlake Dr. The proposed design allows for open vistas to the intracoastal, while providing privacy from and to the neighboring properties in the south and west. The proposed placement of the main addition is directly adjacent and aligned to the existing building footprint, in order to keep the tennis court, green areas and dock existing to remain.

4. MATERIALS

The building systems include: concrete foundations, CMU walls, steel joists/concrete slabs for floor systems and roofs, concrete, stone, and metal/wood finishes and impact windows/doors. A natural tone material pallet has been proposed to allow for a smooth transition between the existing architecture and the new modern-contemporary design, as well as with the other residences in the neighborhood. The natural tones keep the elegance of the neighborhood while working well with the modern-contemporary design.

5. WORKMANSHIP

The workmanship for this proposed structure will uphold all of the codes and laws regulated by the governing authorities of the project, State and Local with special regards to HVHZ requirements and environmental protections. All practices will meet or exceed requirements of the Florida Building Code 2023, 8th edition and the State of Florida Department of Environmental Protection. Demolition of the existing building will be clean and orderly. Proper shoring and barricading will be provided throughout the duration of the construction.

6. ASSOCIATION

The proposed design will function similarly to the existing structure, on the ground floor the entry will open up to a large open living room area with the kitchen adjacent. This large welcoming space will open largely to the exterior pool deck which has been modified to tie in the new design with the existing pool layout. The stair will be in a similar location, leading up to the bedrooms upstairs that have been reconfigured to create a larger master bedroom which will be housed in the addition portion. This master suite will over look the pool area and the existing tennis court. The other spaces upstairs have been reconfigured into additional bedrooms. As we are working with the original massing of the existing building, the new proposed design will function similarly as it is today, with some additional spaces and renovations to make the structure more aesthetically modern and contemporary in design, which in turn will speak to other neighboring homes of the same architectural style.

Please feel free to contact us with any questions or concerns.

Sincerely,

Eneida Pinon, RA
FL License: AR99209
Eneidapinon7@gmail.com





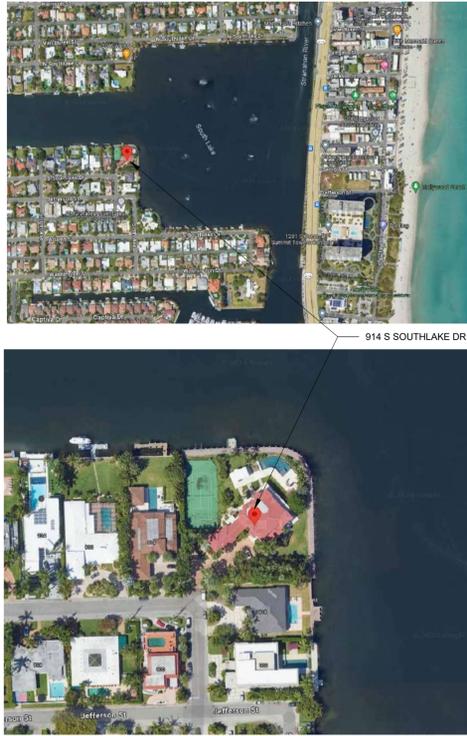




FRONT ENTRY VIEW



LOCATION MAPS



PROJECT INFORMATION

BUILDING ADDRESS: 914 S SOUTHLAKE DRIVE, HOLLYWOOD, FL 33019
PARCEL ID NUMBER: 514214024920
LEGAL DESCRIPTION: HOLLYWOOD LAKES SECTION 1-32 B PARCEL OF LAND AS DESC'D IN OR 134/124 BLK 77 TOGETHER WITH LOT 17 & 18 TOGETHER WITH TR OF LAND LYING BETWEEN LOTS 18,19 & LAKE BLK 59
ZONING: RS-9 SINGLE FAMILY RESIDENCE
OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3
CONSTRUCTION TYPE: V-B
LEVEL OF ALTERATION: LEVEL 3

SCOPE OF WORK

REMODEL OF A TWO-STORY SINGLE FAMILY RESIDENCE AND DRIVEWAY, INCLUDING A NEW TWO-STORY ADDITION AND EXPANSION. ALL NEW MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL SYSTEMS PROVIDED FOR REMODEL.

THE DRAWINGS COMPRISE THE CONTRACT DOCUMENTS OUTLINING THE INTENT OF THE ARCHITECT, AND MAY BE SUPPLEMENTED BY FURTHER INFORMATION ISSUED BY ARCHITECT. THE DRAWINGS ARE ARRANGED IN GENERAL TO SPECIFIC ORDER, FOLLOWING A TOP TO BOTTOM, RIGHT TO LEFT FORMAT. CONTRACTORS ARE ADVISED TO READ AND FAMILIARIZE THEMSELVES WITH THE INFORMATION, AS WELL AS THE GENERAL LEGENDS CONTAINED IN THE G SERIES OF DRAWINGS, PRIOR TO REVIEW OF THE PLANS, ELEVATIONS AND DETAILS. ADVISE THE ARCHITECT WHERE INTENT IS NOT CLEARLY PERCEIVED, PRIOR TO PROCEEDING WITH WORK.

APPLICABLE CODES

BUILDING FLORIDA BUILDING CODE 8TH EDITION (2023) - RESIDENTIAL, EXISTING & BUILDING
ENERGY CODE FLORIDA BUILDING CODE 8TH EDITION (2023) - ENERGY CONSERVATION
PLUMBING FLORIDA BUILDING CODE 8TH EDITION (2023) - PLUMBING
MECHANICAL FLORIDA BUILDING CODE 8TH EDITION (2023) - MECHANICAL
ELECTRICAL FLORIDA BUILDING CODE 8TH EDITION (2023) - ELECTRICAL
 2023 NATIONAL ELECTRICAL CODE (NEC) / NFPA-70
FIRE/LIFE SAFETY FLORIDA FIRE PREVENTION CODE 8TH EDITION (2023)
 NFPA 101, NFPA 1023 EDITION (CHAPTER 42), & STATE STATUTES, 2023 EDITION (ADOPTED REFERENCED PUBLICATIONS FOUND HEREIN.)
WIND LOADS ASCE 7-10 WIND AS PER FBC 170 MPH / EXPOSURE C / CATEGORY II

DRAWING INDEX

A001	Cover Sheet	NO	NO
A010	Site Plan Existing / Demolition	NO	NOT TO SCALE
A101	Site Plan - Dim. B/W	O.A.	OVERALL
A201a	First Floor Plan - Demolition	O.C.	OBSCURE
A201b	First Floor Plan - Dimensioned	O.S.	ON CENTER
A202a	Second Floor Plan - Demolition	O.D.	OUTSIDE DIAMETER
A202b	Second Floor Plan - Dimensioned	OFF.	OFFICE
A203	Roof Plan	OPNG.	OPENING
A301	Front - Repr. Elevation	OPPOS.	OPPOSITE
A302	Side - Elevation	PLATE	PLASTER
A303	Southlake St. Contextual Street Elevation	PLYWD.	PLYWOOD

CONSTRUCTION NOTES, SPECIFICATIONS & GENERAL REQUIREMENTS

ARCHITECT'S STATUS:

A. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE OR SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

CODES:

A. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, PLUMBING, LIFE SAFETY AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND BRING ANY DISCREPANCY BETWEEN THE CODES AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.

THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-14 EDITION), (AMERICAN INSTITUTE OF STEEL CONSTRUCTION INC. AISC 13th EDITION), BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530-13/ASCE 5-13/TMS 402-16), BUILDING CODE REQUIREMENTS AND NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (ANSI/NFPA NDS-2018).

B. THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE.

PERMITS:

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS AND FOR THEIR RESPECTIVE COSTS

JOB CONDITIONS:

A. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTAL OF BID AND / OR CONTRACT NEGOTIATIONS, AND HE SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING FOR CLARIFICATION. BIDS SHALL NOT BE SUBMITTED OR CONSTRUCTION CONTRACTS NEGOTIATED BY THE CONTRACTOR PRIOR TO CLARIFICATION OF THE INTENT OF THE CONSTRUCTION DOCUMENTS WHERE SUCH INTENT IS IN DOUBT. BACK CHARGES WILL NOT BE ACCEPTED.

B. DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS. DO NOT SCALE DRAWINGS.

C. IF WORK IS BEING PERFORMED IN AN EXISTING BUILDING AND / OR AS AN ADDITION OR ALTERATION(S) TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH REFERENCE TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING PRIOR TO THE SUBMISSION OF BIDS OR CONTRACT NEGOTIATIONS. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY TRADES, SUPPLIERS, SUBCONTRACTORS AND OTHER PROVIDERS TO INSURE THAT THE WORK, WHEN COMPLETED WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.

D. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL AND NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.

WORK NECESSARY TO COMPLETE CONSTRUCTION:

A. IT IS THE PURPOSE OF THESE PLANS AND SPECIFICATIONS TO DESCRIBE A COMPLETE AND FINISHED PROJECT OTHER THAN ITEMS MARKED "N.I.C" (NOT IN CONTRACT)

CLEAN UP / REPAIR:

A. THE CONTRACTOR SHALL MAINTAIN THE PREMISE CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, RAIN/NOT OVER-SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

B. THE CONTRACTOR SHALL REPAIR AND / OR REPLACE ALL ITEMS DAMAGED BY THE PROCESS OF CONSTRUCTION AND SHALL FINISH ALL PATCHWORKS AND REPAIRS TO MATCH ADJACENT AREAS AND SURFACES.

CLIMATE & GEOGRAPHIC DESIGN CRITERIA:

A. PER 2020 FBC-RESIDENTIAL, TABLE R301.2(1), "SUBJECT TO DAMAGE" FROM WEATHERING IS CLASSIFIED AS **NEGOTIABLE**. THERMITE DAMAGE IS CLASSIFIED AS **VERY HEAVY**. SEE ADDITIONAL NOTES UNDER EARTHWORK.

EARTH WORK:

A. PERFORM ALL WORK IN CONFORMANCE WITH THE FINAL SOILS, COMPACTION AND GEOTECHNICAL REPORTS.

B. FOUNDATIONS SHALL BE MONOLITHIC OR SPREAD FOOTINGS BASED ON A SOIL BEARING CAPACITY OF 2500 PSF. FINAL WRITTEN VERIFICATION SHALL BE SENT TO THE OWNER AND ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

C. AFTER STANDARD CLEANING AND GRUBBING HAS BEEN COMPLETED AND APPROVED, APPLY VIBRATORY COMPACTOR WITH A MINIMUM OF FOUR PASSES.

D. SOIL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557) TO A DISTANCE OF 6 FEET BEYOND ALL BUILDING EDGES. AT LEAST ONE FIELD DENSITY TEST SHALL BE PERFORMED FOR EACH 2500 SQUARE FEET OF AREA. DENSITY TESTS ARE TO BE MADE 12 INCHES BELOW THE COMPACTED SURFACES. RESULTS OF PROCTOR TEST(S) AND FIELD DENSITY TEST(S) SHALL BE FURNISHED TO THE ARCHITECT/ENGINEER.

E. FILL SHALL BE CLEAN, WELL GRADED SAND, CLASSIFICATION SW PER ASTM D2487-08 (75) WITH LESS THAN 12% PASSING 200 SIEVE. FILL MATERIAL SHALL BE PLACED IN LIFTS OF NOT MORE THAN 12" AND COMPACTED AS ABOVE.

F. TERMITE PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 1816 OF THE FL BUILDING CODE 2020.

CONCRETE:

A. GENERAL: ALL CONCRETE WORK SHALL CONFORM TO ALL RECOMMENDATIONS AND REQUIREMENTS OF ACI 318-14.

B. PORTLAND CEMENT: ASTM C-150 TYPES I OR II. LOW ALKALI. SILL TESTED AND CERTIFIED. USE TYPE V CEMENT FOR SOIL CONTAINING SULFATE CONCENTRATIONS OF MORE THAN 0.2 PERCENT.

C. WATER: FROM DOMESTIC SOURCES, CLEAN, POTABLE, AND FREE FROM ALL ORGANIC OR OTHER DELETERIOUS MATERIALS.

D. AGGREGATES: ASTM C-33 FOR SLABS ON GRADE.

E. SAND: ASTM C-33 FOR SLABS ON GRADE.

F. FOUNDATIONS: INSTALL AS INCLUDED IN THESE DWGS. OR AS AMENDED BY THE FINAL SOILS REPORT.

G. VAPOR BARRIER: BENEATH SLABS TO BE 6 MIL. POLYETHYLENE.

H. CONCRETE SHALL BE READY MIX & HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI FOR FOOTINGS & SLABS ON GRADE & 3,000 PSI FOR BEAMS, COLUMNS AT 28 DAYS. ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318-14) THE ACI DETAILING MANUAL (ACI 315 LATEST EDITION), AND THE SPECS. FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 308 LATEST EDITION). CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY THE LATEST ACI SPECIFICATIONS. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A-185, UNLESS OTHERWISE SPECIFIED. PLACE FABRIC 2" CLEAR FROM TOP OF THE SLAB IN SLAB ON GRADE. LAP ALL W/F WITH A MINIMUM OF 6 INCHES (N.O.). ALL REINFORCING STEEL SHALL BE MANUF. FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615 GRADE 60. LAP ALL BARS MINIMUM 48 DIA. (N.O.) ON DRAWINGS. ALL HOOKS SHOWN IN REINFORCEMENT SHALL BE ACI RECOMMENDED HOOKS (N.O.).

REINFORCING STEEL:

A. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, EXCEPT WHERE MORE EXACTING REQUIREMENTS ARE SPECIFIED IN THE CONTRACT DOCUMENTS.

B. MINIMUM CONCRETE COVERAGE OF REINFORCING STEEL.
 * SLAB ON VAPOR BARRIER 2" (ELEVATED 1 1/2")
 * BEAMS AND COLUMNS 1 1/2"
 * FORMED CONCRETE BELOW GRADE 2"
 * INFORMED BELOW GRADE 3"
 * FOOTING 3" CLEAR AT BOTTOM & SIDES 2" CLEAR OF TOP

WALLS 3" CLEAR OUTSIDE FACE, 1 1/2" CLEAR INSIDE
 * SLABS 3/4" CLEAR AT TOP (INTERIOR), 1 1/2" CLEAR AT TOP (EXTERIOR)
 * BEAMS 1 1/2" CLEAR TO STIRRUPS
 * COLUMNS 1 1/2" CLEAR TO TIRES

C. REINFORCING MESH: ON-GRADE BUILDING SLABS SHALL BE ACI-318 ELECTRICALLY WELDED WIRE FABRIC, SIZES AND GAUGES AS SHOWN ON THE DRAWINGS.

D. GENERAL BEAM NOTES:
 1) SCHEDULE HOOPS OR STIRRUPS SHALL BE PLACED AT EACH END OF BEAM (N.O.)
 2) BUNDLE ALL STR. BEAM TOP BARS IN PAIRS OVER SUPPORT W/ TOP BARS FROM ADJ. BEAMS.
 3) ALL TIE BEAM REINFORCING SHALL EXTEND INTO SPAN OF ANY ADJ. STR. BEAM PER STANDARD ASTM BENDING DIAGRAM.

4) THE BEAM DEPTHS ARE MIN. AND MAY BE INCREASED (8" MAX.) TO FIT BLOCK WORK AND WINDOW AND DOOR HEADS.
 5) DROP BOTTOM OF THE BEAMS, AS REQUIRED, AT WINDOW & DOOR HEADS (28" MAX. BEAM DEPTH) & #2 ABOVE BOTTOM, IF DROP EXCEEDS 8" U.N.O. ON PLANS.
 6) ALL ADDED LONGITUDINAL BEAM REINFORCING SHALL EXTEND 6" MIN. INTO SUPPORT U.N.O.

TRUSSES:

A. THE TRUSS LAYOUT SHOWN ON CONSTRUCTION DOCUMENTS IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL THE FINAL TRUSS MFG. LAYOUT. THIS FRAMING SCHEME (DIRECTION OF TRUSSES, MAJOR G.T. BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND MAKE STRUCTURAL REVISIONS ACCORDINGLY. FINAL SIGNED AND SEALED ENGINEERING TRUSS DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO POURING OF FOUNDATION.

B. WOOD ROOF TRUSSES ARE TO BE DESIGNED FOR THE WOOD FABRICATOR BY A PROFESSIONAL SPECIALTY ENGINEER REGISTERED IN THE STATE OF FLORIDA. TRUSS FABRICATOR TO PROVIDE PRE-FABRICATED HANGERS AS REQUIRED.

C. DESIGN, FABRICATION, AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS.

D. DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD ROOF TRUSSES PER TPI 1-2007; DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED PARALLEL CHORD TRUSSES PER PCT 80; HANDLING, INSTALLATING, RESTRAINING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES PER BCSI 2015 EDITION

CONCRETE UNIT MASONRY:

A. THIS PROJECT IS DESIGNED AS ENGINEERED UNIT MASONRY. STRUCTURAL DESIGN SHALL BE IN ACCORDANCE WITH ACI 530-13/ASCE 5-13/TMS 402-16. BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND THE COMMENTARY ON BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.

B. REINFORCING STEEL: LAP REINFORCING NOT LESS THAN 48 BAR DIAMETERS AT SPLICE IN WALL REINFORCING. LAP HORIZONTAL REINFORCING A MINIMUM OF 16" AROUND CORNERS. HORIZONTAL BARS SHALL BE TIED TO VERTICAL BARS AS THE WORK PROGRESSES AND SHALL BE EMBEDDED IN GROUT. PLACING OF HORIZONTAL REINFORCING IN JOINTS OR MORTAR WILL NOT BE PERMITTED EXCEPT FOR WIRE JOINT REINFORCING.

C. FOUNDATION DOWELS: SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL TO 6 VERTICAL TO ALIGN WITH BLOCK CORE.

D. CLEAN OUT OPENINGS SHALL BE PROVIDED AT BOTTOM OF GROUTED CELLS. SEAL AFTER CLEANING AND INSPECTION.

E. MASONRY UNITS SHALL BE ASTM C-90 TYPE II WITH MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI ON NET AREA OF INDIVIDUAL UNITS. ALL CMU SHALL BE LAID IN A FULL BED OF MORTAR IN RUNNING BOND U.N.O. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615 GRADE 60.

F. ALL MORTAR SHALL BE TYPE S IN ACCORDANCE WITH ASTM SPECIFICATION C-270 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS. NO TESTING FOR MORTAR STRENGTH IS REQUIRED FOR THIS PROJECT.

G. GROUT SHALL BE A HIGH SLUMP MIX (8"-11") IN ACCORDANCE WITH ASTM SPECIFICATION C-476 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI. NO TESTING FOR GROUT STRENGTH IS REQUIRED FOR THIS PROJECT.

H. PROVIDE 9 GAUGE HORIZONTAL JOINT REINFORCEMENT (LADDER TYPE ONLY) AT EVERY SECOND COURSE FOR ALL EXTERIOR WALLS.

I. ALL CONCRETE MASONRY BEARING AND SHEAR WALLS **MUST BE INSPECTED BY A QUALIFIED ENGINEER JUST PRIOR TO POURING OF THE FOUNDATION, 1ST & 2ND FLOOR TIE BEAMS.** CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "SPECIFICATION FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY" PUBLISHED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION.

STRUCTURAL STEEL:

A. WORKMANSHIP: WORK SHALL COMPLY WITH A.I.S.C. LRFD 15TH EDITION, UNLESS MORE EXACTING REQUIREMENTS ARE SPECIFIED IN THE CONTRACT DOCUMENTS.

B. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERRECTED IN ACCORDANCE WITH THE LATEST AISC CODE. STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A36. ALL STEEL TUBING & PIPE SHALL CONFORM TO ASTM SPECIFICATION A-500 GRADE B (70" & 48KSI). ALL STEEL TO HAVE A SHOP COAT OF RUST INHIBITIVE PAINT. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY WELDERS QUALIFIED, AS DESCRIBED IN "AMERICAN WELDING SOCIETY'S STANDARD QUALIFICATION PROCEDURE" (AWS D1.1), TO PERFORM THE TYPE OF WORK REQUIRED. ALL STEEL WELDING RODS SHALL BE E70XX E.T. ELECTRODES. CRETE MASONRY PUBLISHED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION.

RESIDENTIAL POOL SAFETY ACT - CHAPTER 45 OF THE 2023 FBC RESIDENTIAL

A. ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL MEET THE REQUIREMENTS OF RESIDENTIAL POOL SAFETY ACT SECTION R4501.17.1-9.

B. ALL DOORS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL ARE TO BE SELF CLOSING AND SELF LATCHING. LATCH MECHANISM SHALL BE MOUNTED AT 54" A.F.F. (MIN).

C. THE G.C. IS TO VERIFY THAT ALL ACCESS TO THE POOL AREA MEET THE SWIMMING POOL SAFETY ACT.

ROUGH CARPENTRY:

A. ALL BEAMS INSTALLED WITH CROWN UP UNLESS OTHERWISE NOTED. CANTILEVERED BEAMS SHALL BE INSTALLED WITH CROWN DOWN.

B. 3" MINIMUM BEARING BY BEAMS AND GIRDERS ON MASONRY OR CONCRETE.

C. PROVIDE 4"x4" POSTS OR (2) 2"x4" STUDS MINIMUM UNDER ALL BEAMS AND HEADERS UNLESS OTHERWISE NOTED.

D. ALL SUB-SILLS, OVER 8'-0" IN LENGTH SHALL BE DOUBLE 2"x4"s.

E. DOUBLE 2"x4"s, SPIKED TOGETHER W/ 16'S @ 5' O/C STAGGERED MAY BE USED IN LIEU OF 4"x4" POSTS WHERE CONTAINED WITHIN WALLS UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS.

F. ALL LUMBER IN DIRECT CONTACT WITH STEEL OR CONCRETE SHALL BE PRESSURE TREATED, HAVE AN APPROVED SEPARATING MATERIAL OR HAVE A GALVANIZED ANCHOR SEAT.

G. BUILDING PAPER: FEDERAL SPECIFICATIONS U0A-790. INSTALL UNDER ROOFING AND TRIM AND CAREFULLY APPLY SO AS TO FORM A WATERTIGHT MEMBRANE. EACH COURSE OF PAPER SHALL OVERLAP THE COURSE BENEATH IT 6" MINIMUM, WHERE PAPER MEETS ANY OPENING, THE PAPER SHALL BE CAREFULLY LAPPED OVER THE FRAME TO PREVENT THE PASSAGE OF WATER BEHIND THE FRAME. INSTALL SILKA KRAFT PAPER AT EXTERIOR DOORS AND WINDOW FRAMES.

H. ALL BEARING PARTITIONS SHALL BE SECURED TO ADJACENT PARTITIONS, AND SHALL HAVE AT LEAST A DOUBLE STUD POST AT ALL ENDS, CORNERS AND EACH SIDE OF ALL WINDOW AND DOOR OPENINGS.

I. ROOF SHEATHING: 1/2" 3/2" THICK STANDARD PLYWOOD SHEATHING, EXTERIOR GLUE, C-D GRADE, 4 PLY, INDES 240. APA GRADE TRADEMARKED, APPLY WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER JOINTS.

J. HANGERS, FRAMING ANCHORS AND FASTENERS: STAMPED AND FABRICATED STEEL OF THE TYPE INDICATED. NAILS TO BE THOSE FURNISHED OR RECOMMENDED BY MANUFACTURER FOR THIS SPECIFIC USE. NAILS SHALL BE FULLY DRIVEN IN ALL HOLES IN THE ANCHOR, ALL HANGERS AND ANCHORS SHALL BE GALVANIZED.

K. DRAFT-STOPPING: IN FLOOR AND CEILING ASSEMBLIES NOT TO EXCEED 1,000 S.F. IN ATTICS FOR AREAS OVER 3,000 S/F

L. FIRE-BLOCKING: INSTALL IN CONCEALED SPACES BOTH VERTICAL AND HORIZONTAL, SUCH AS BUT NOT LIMITED TO, STUD WALLS, FURRED SPACES, SOFFITS, DROP CEILINGS, COVES, STAIR STRINGERS (TOP AND BOTTOM) OPENINGS FOR VENTS, PIPES, DUCTS, CHIMNEYS, FLOOR JOISTS OR TRUSSES.

SHOP DRAWINGS:

A. THE CONTRACTOR SHALL SUBMIT THREE COPIES OF ALL SHOP DRAWINGS, ALL FABRICATED ITEMS AND EQUIPMENT FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION AND COMMENCEMENT OF THE WORK.

B. CABINET SUPPLIER SHALL PROVIDE SHOP DRAWINGS.

C. WINDOW AND DOOR SUPPLIER SHALL PROVIDE SHOP DRAWINGS.

SECTION AND DETAILS

ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE U.N.O.

PLUMBING FIXTURES:

A. ALL SHOWER HEADS SHALL HAVE ANTI-SCALDING PROTECTION

TIMBER

A. STRUCTURAL TIMBER TO BE SOUTHERN PINE #2 (MIN.) STRESS GRADE LUMBER OR APPROVED EQUAL. THE MIN. ALLOWANCE PROPERTIES ARE AS FOLLOWS:
 * FB = 1,150 PSI
 * FV = 90 PSI
 * E = 1,800,000 PSI AND PRESSURE TREATED FOR USE AGAINST CONCRETE AND MASONRY.

B. ALL TIMBER AND TIMBER CONSTRUCTION SHALL COMPLY WITH SPECIFICATIONS AND CODES AS SPECIFIED BELOW:
 AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, TIMBER CONSTRUCTION MANUAL; NATIONAL FOREST PRODUCTS ASSOCIATION, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION; AMERICAN PLYWOOD ASSOCIATION, PLYWOOD DESIGN SPECIFICATION; AMERICAN WOOD PRESERVATION ASSOCIATION STANDARDS; NATIONAL LUMBER MANUFACTURERS ASSOCIATION, NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS.

C. ALL TIMBER CONNECTIONS ARE TO BE MADE USING PREFABRICATED CONNECTORS. TOE NAILING WILL NOT BE PERMITTED. SUBMIT MANUFACTURER'S DATE FOR APPROVAL. FASTENERS TO BE AS MANUFACTURED BY USP OR SIMPSON.

D. LUMBER USED FOR LOAD SUPPORTING SHALL HAVE GRADE MARKS COMPLYING WITH AND PROCEDURES AND AGENCIES APPROVED BY US PROCEDURE PS 20-94.

E. PLYWOOD: PRODUCT STANDARD PS-17-3 AND RULES FOR DFPA GRADE TRADEMARKS OF AMERICAN PLYWOOD ASSOCIATION.

F. MARKINGS: WOOD AND LUMBER SHALL BE MARKED WITH ITS GRADE AND PLYWOOD WITH ITS GRADE TRADEMARK IN ACCORDANCE WITH THE REFERENCED STANDARDS. A PIECE WITH DEFECTS SHALL NOT BE USED REGARDLESS OF GRADING.

G. EXTERIOR PLYWOOD SHEATHING SHALL BE GROUP I STANDARD (C-D) EXT-DFPA (F-C) EXT-DFPA, STRUCTURAL I (C-D) EXT-DFPA OR STRUCTURAL I (C-C) EXT-DFPA.

DOORS AND WINDOWS:

A. PER FBC 406.3.2.1 DOOR OPENINGS BETWEEN THE GARAGE AND DWELLING TO BE SOLID CORE NOT LESS THAN 1 3/8" THICK OR BE IN COMPLIANCE WITH FBC 716.5.3 WITH RE PROTECTIVE FILLS NOT LESS THAN 20 MINUTES. DOORS SHALL BE SELF CLOSING AND SELF LATCHING.

B. DOORS CONTAINING GLAZING MATERIAL NOT GREATER THAN 9 SQUARE FEET IN SURFACE AREA SHALL BE CLASSIFIED AS CATEGORY I AND SHALL BE CAPABLE OF WITHSTANDING A 150 FOOT-POUND IMPACT TEST.

C. DOORS, BATH & SHOWER ENCLOSURES, AND SLIDING GLASS DOORS CONTAINING GLAZING MATERIAL GREATER THAN 9 SQUARE FEET IN SURFACE AREA SHALL BE CLASSIFIED AS CATEGORY I AND SHALL BE CAPABLE OF WITHSTANDING A 400 FOOT-POUND IMPACT TEST.

D. THE GLAZING IN SLIDING AND SWINGING DOORS AND IN SHOWER OR TUB ENCLOSURES INCLUDING ANY GLAZING WITHIN 60 INCHES OF THE FINISHED FLOOR IN WALLS SURROUNDING TUB & SHOWER ENCLOSURES SHALL BE SAFETY GLAZED FOR CATEGORY II GLAZING PRODUCTS.

E. GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER SHALL BE SAFETY GLAZING WHERE THE GLASS OR MIRRORS ARE LESS THAN 60" ABOVE THE FLOOR OF THE TUB OR SHOWER.

F. EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. THEY SHALL PROVIDE A CLEAR OPENING OF NOT LESS 20" WIDE, 24" HIGH AND 5.7 SQUARE FEET MINIMUM AREA. THE BOTTOM OF OPENING SHALL NOT BE MORE THAN 44" ABOVE FLOOR AND LATCH AT 54" ABOVE FLOOR (MAX). PER 2017 FBC-RESIDENTIAL, SECTION R310.

G. WINDOW UNITS SHALL DISP. LABELS SHOWING COMPLIANCE WITH THE FL ENERGY CODE.

H. ALL NEW SINGLE-FAMILY HOUSES, DUPLEXES, TRI-PLEXES, CONDOMINIUMS AND TOWNHOUSES SHALL PROVIDE AT LEAST ONE BATHROOM, LOCATED WITH MAX. POSSIBLE PRIVACY, WHERE BATHROOMS ARE PROVIDED ON HABITABLE GRADE LEVELS, WITH A DOOR THAT HAS A MIN. 20" CLEAR OPENING. HOWEVER, IF ONLY A TOILET ROOM IS PROVIDED, AN GRADE LEVEL, SUCH TOILET ROOMS SHALL HAVE A CLEAR OPENING OF NOT LESS THAN 28 INCHES. PER 2017 FBC-RESIDENTIAL, SECTION R302.1.1.

THERMAL MOISTURE PROTECTION:

A. INSULATION: INSULATION SHALL BE PROVIDED AND INSTALLED PER FBC 2017 ENERGY CONSERVATION CODE. PRESCRIPTIVE REQUIREMENTS INCLUDE:
 MINIMUM OF R-30 CLO INSUL. IN CLIMATE ZONE 1, R-38 G.L. INSUL. IN CLIMATE ZONE 2, MASONRY WALLS A MINIMUM OF R-4 IN CLIMATE ZONE 1, R-6 IN CLIMATE ZONE 2. FRAME WALLS A MINIMUM OF R-13 IN BOTH CLIMATE ZONE 1 & 2.
 VERIFY REQUIRED INSULATION VALUES TO BE INSTALLED AGAINST FBC ENERGY CONSERVATION ENERGY CALCULATIONS AS SUBMITTED.

B. ROOF / TILE: TILE SHALL BE AS SHOWN ON DRAWINGS AND AS SELECTED BY ARCHITECT/DESIGNER. INSTALLATION SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND FLORIDA BUILDING CODE 2017. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL FURNISH A ROOFERS WRITTEN GUARANTEE COVERING WORKMANSHIP. MATERIAL MANUFACTURERS GUARANTEE FOR REPLACEMENT OF THE SAME AT NO COST TO THE OWNER WITHIN WARRANTY PERIOD.

PROJECT TEAM

DESIGN ARCHITECT	ARCHITECT OF RECORD	GENERAL CONTRACTOR
LEO ROMANO	ENEIDA PINON PLLC	BUSS CONSTRUCTION SERVICES LLC
ADDRESS: R. 131, TR. ST. SUL. GOIMANIA - GO. 74993-200, BRAZIL +55 62 3086-1968 MARIANA ROMANO MAR@LEOROMANO.COM.BR	ADDRESS: 9099 NW 165TH TERRACE, MIAMI LAKES, FL 33018 305-351-7750 ENEIDA PINON ENEIDAPINON7@GMAIL.COM	ADDRESS: 21036 VIA EDEN BOCA RATON, FL 33433 561-305-4135 JORGE SAUZER PFERMO@BUSSCONSTRUCTIONSERVICES.COM
STRUCTURAL ENGINEER	CIVIL ENGINEER	
ARMANDO J. AGUILAR, PE	SZAUER ENGINEERING, INC.	
ADDRESS: 15805 MIAMI LAKEWAY N, #143 MIAMI LAKES, FL 33014 786-457-2431 ARMANDO AGUILAR AGUILARSTRUCTURAL@GMAIL.COM	ADDRESS: 7251 WEST PALMETTO PARK ROAD, STE 100 BOCA RATON, FLORIDA 33433 561-716-0159 JORGE SAUZER JSZAUER@SZAUERENG.COM	
MEP ENGINEER	LANDSCAPE	
ONE MORE DESIGN, LLC	ANDRES MONTERO LANDSCAPE ARCHITECTURE	
ADDRESS: 5916 SW 82ND STREET, MIAMI, FL 33143 305-495-1114 JAVIER		

FLOOD CRITERIA LEGEND

FEMA FLOOD ZONE:	AE	LOWEST ADJACENT GRADE:	EL +0.66' NAVD
CURRENT FIRM PANEL (2014):	12011C0588H	HIGHEST ADJACENT GRADE:	EL +5.51' NAVD
PROPOSED FEMA PANEL: (EFFECTIVE JULY 31, 2024)	12011C0588J	HIGHEST CROWN OF ROAD:	EL +1.95' NAVD
FEMA PROPOSED BFE:	EL +8.00' NAVD		
DESIGN FLOOD ELEVATION:	EL +9.00' NAVD		

EXISTING FINISHED FIRST FLOOR ELEVATION: EL +7.05' NAVD
PROPOSED FINISHED FIRST FLOOR ELEVATION: EL +9.00' NAVD

EXISTING GARAGE FIRST FLOOR ELEVATION: EL +4.50' NAVD
PROPOSED GARAGE FIRST FLOOR ELEVATION: EL +5.50' NAVD

LOWEST ELEVATION OF EQUIPMENT PADS: EL +9.00' NAVD

LOT COVERAGE

LOT AREA	EXISTING	ADDITION	REMOVED	TOTAL PROPOSED	ALLOWED
LOT AREA	48,650 SF	-	-	48,650 SF	-
BUILDING COVERAGE AREA	5,789 SF	+ 3,836 SF	- 0 SF	9,625 SF	-
IMPERVIOUS SURFACE AREA	20,905 SF	+ 8,425 SF	- 10,242 SF	19,088 SF	-
IMPERVIOUS AREA	26,694 SF	+ 12,261 SF	- 10,242 SF	28,713 SF	29,190 SF MAX
	54.8%	+ 25.2%	- 21.0%	59.0%	60% MAX

BUILDING FLOOR AREA

SPACE	FIRST FLOOR	SECOND FLOOR	TOTALS
A/C FLOOR AREA	4,648 SF	3,111 SF	7,759 SF
GARAGE	627 SF	N/A	627 SF
COVERED TERRACE - PORCH	930 SF	91 SF	1,021 SF
UNCOVERED TERRACE - PORCH	924 SF	780 SF	1,704 SF
GROSS FLOOR AREA	7,129	3,982 SF	11,111 SF

SPACE	FIRST FLOOR	SECOND FLOOR	TOTALS
A/C FLOOR AREA	8,338 SF	5,532 SF	13,870 SF
GARAGE	551 SF	N/A	551 SF
COVERED TERRACE - PORCH	1,114 SF	N/A	1,114 SF
UNCOVERED TERRACE - PORCH	932 SF	2,352 SF	3,284 SF
GROSS FLOOR AREA	10,935 SF	7,884 SF	18,819 SF

BUILDING HEIGHT

BASE FLOOD ELEVATION (EFFECTIVE JULY 31, 2024): EL +8' NAVD

PROPOSED FINISHED FIRST FLOOR ELEVATION: EL +9' NAVD

MAX BUILDING HEIGHT ALLOWED (2) STORIES (FROM BFE): 30 FT
 (THE HEIGHT IS DETERMINED AS THE VERTICAL DISTANCE FROM THE ESTABLISHED GRADE OF THE PLOT UPON WHICH A BUILDING IS LOCATED TO THE HIGHEST POINT OF THE ROOF SURFACE FOR A FLAT ROOF)

MAX BUILDING HEIGHT ALLOWED: EL +38.00' NAVD

PROPOSED BUILDING HEIGHT (2 STORIES): 27'-6" (FROM BFE) / EL +35.50' NAVD

BUILDING SETBACKS

FRONT:	25' - 0"	PROPOSED:	40' - 0" (SOUTH)
SIDE/INTERIOR:	50' - 0" FOR BOTH SIDES	PROPOSED:	31' - 2" (WEST)
REAR (OR LAKESIDE):	25' - 0"	PROPOSED:	28' - 1" (NORTH) & 26' - 4" (EAST)

ADDITIONAL SETBACKS

POOL:	MIN 6' - 0" FROM REAR/SIDE PROPERTY LINE
WALKWAYS:	MIN 3' - 0" FROM PROPERTY LINE
DRIVEWAYS:	MIN 3' - 0" FROM PROPERTY LINE

PARKING

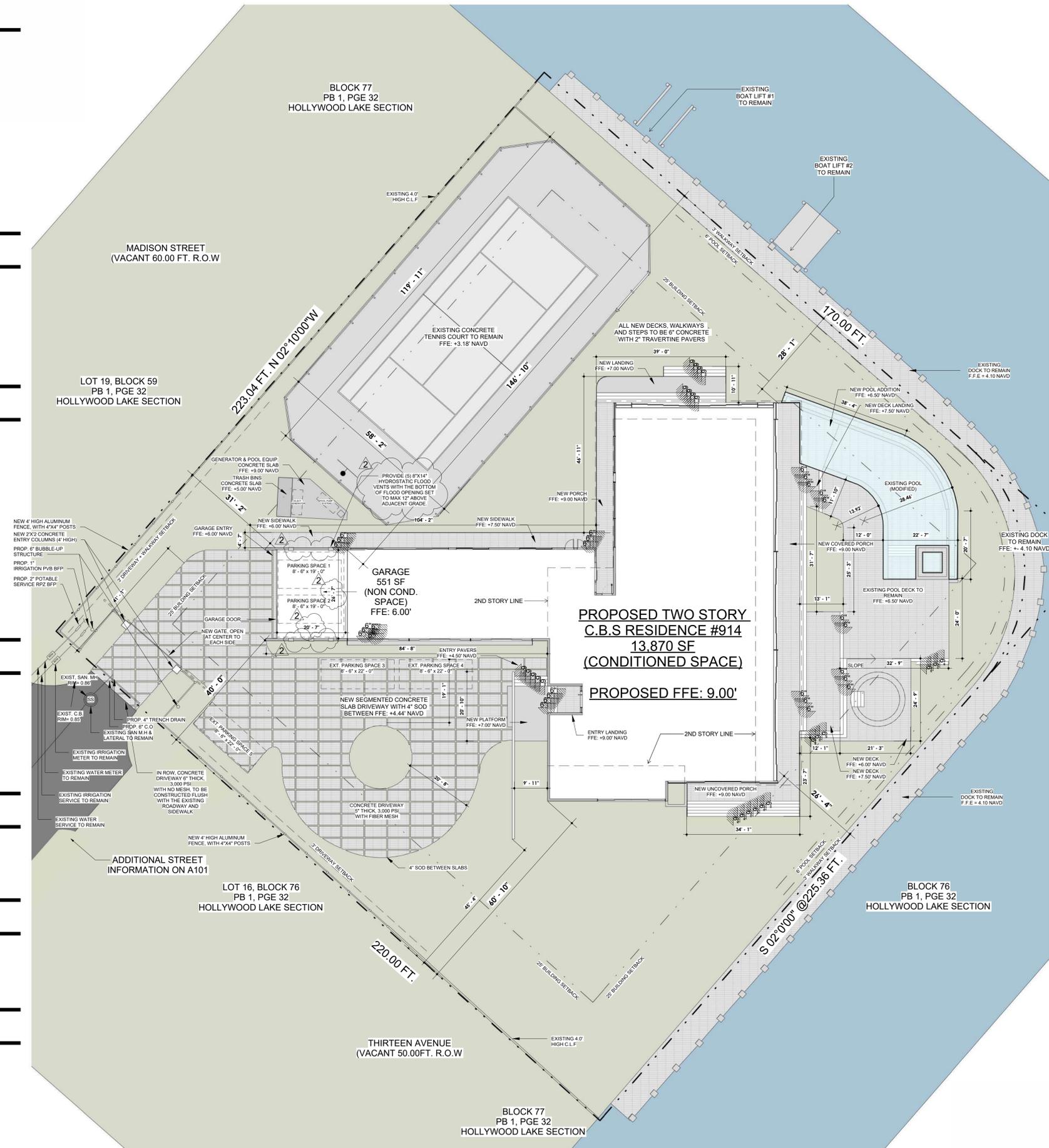
PARKING REQUIRED: 2 PER 2000 SF, THEN 1 PER 500 SF (MAXIMUM 5 SPACES)
PARKING PROVIDED: 5 SPACES

GARAGE

TWO CAR SPACE GARAGE MIN REQUIREMENTS: 21' - 0" WIDE BY 19' - 0" LONG.
TWO CAR SPACE GARAGE PROVIDED: 26' - 7" WIDE BY 21' - 1" LONG.

GARAGE SETBACKS:

FRONT:	25' - 0"	PROPOSED:	40' - 0" (SOUTH)
SIDE/INTERIOR:	50' - 0" FOR BOTH SIDES	PROPOSED:	31' - 2" (WEST)
REAR (OR LAKESIDE):	20' - 0"	PROPOSED:	146' - 10" (NORTH)



Site Plan
 ESC: 1/16" = 1'-0"

1. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL SITE INFORMATION AND CALCULATIONS.
2. ALL CONSTRUCTION MATERIALS BELOW EL. +9.00' NAVD TO BE CONCRETE OR BLOCK.
3. ALL ELECTRICAL AND MECHANICAL EQUIPMENT WILL BE LOCATED ABOVE EL. +9.00' NAVD.
- CONTRACTOR TO ASSESS SITE CONDITIONS AND PREPARE FINAL GRADING PLAN SO THAT ALL WATER SHALL BE RETAINED WITHIN THE PROPERTY LINES.

914 Southlake Residence

914 S Southlake Drive
 Hollywood, FL 33019

Eneida Pinon PLLC
 Architecture and Design

9099 NW 165th Terrace Tel 305.331.7759
 Miami Lakes, FL 33018
 USA

Date	Description
07/09/24	HPB
07/31/24	HPB COMMENTS
08/13/24	HPB COMMENTS

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
914 Southlake Residence
 Project Number
24008
 Description
Site Plan

Scale
 As indicated

A100.

DRAWING NO. _____ OF _____

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914 Southlake Residence

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Date	Description
07/09/24	HPB
1 07/31/24	HPB COMMENTS
2 08/13/24	HPB COMMENTS

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
914 Southlake Residence
Project Number
24008

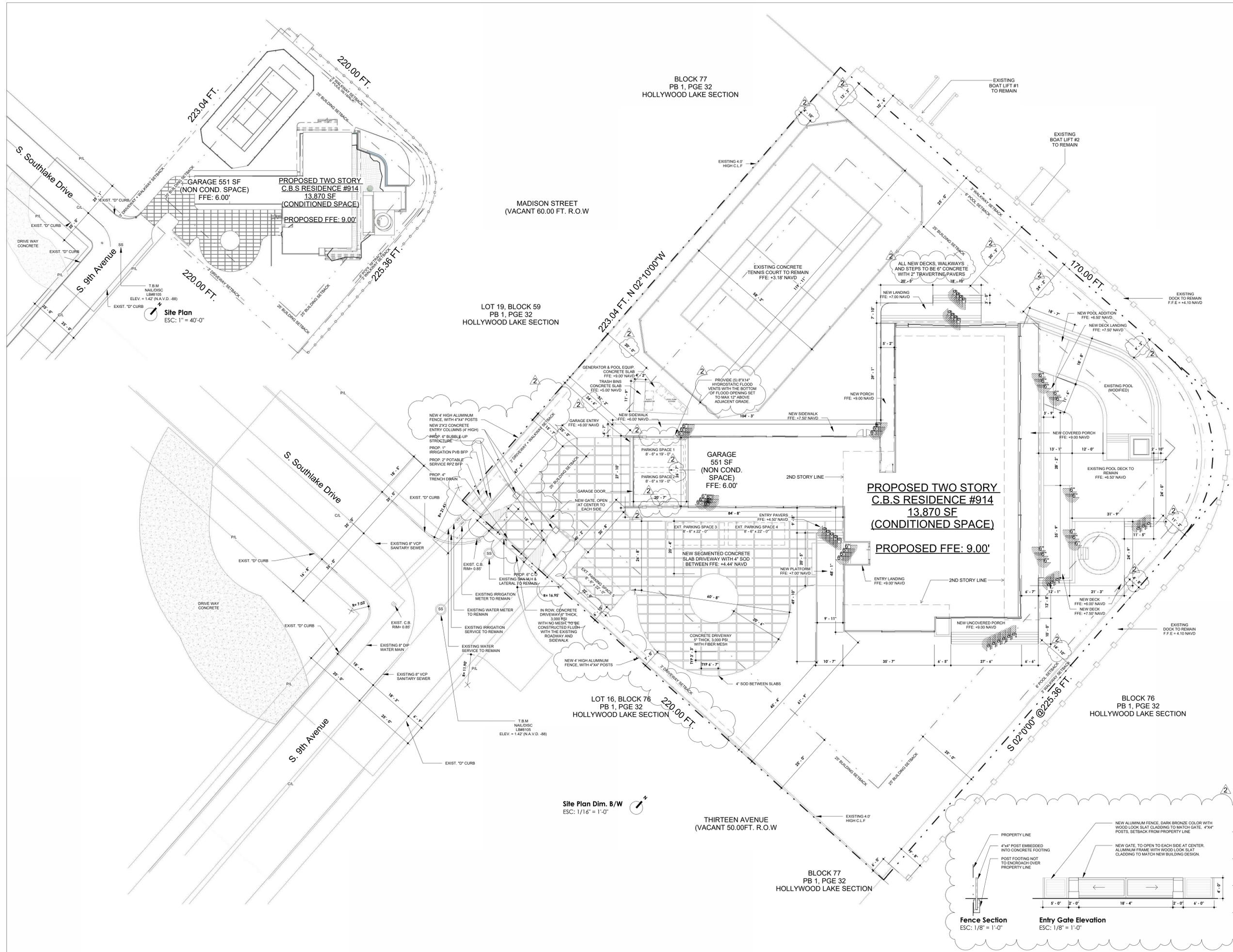
Description
Site Plan - Dim. B/W

Scale
As indicated

A101.

DRAWING NO. _____ OF _____

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Site Plan Dim. B/W
ESC: 1/16" = 1'-0"

Fence Section
ESC: 1/8" = 1'-0"

Entry Gate Elevation
ESC: 1/8" = 1'-0"

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07/09/24	HPB
1 07/31/24	HPB COMMENTS

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Project Name
914 Southlake Residence
Project Number
24008

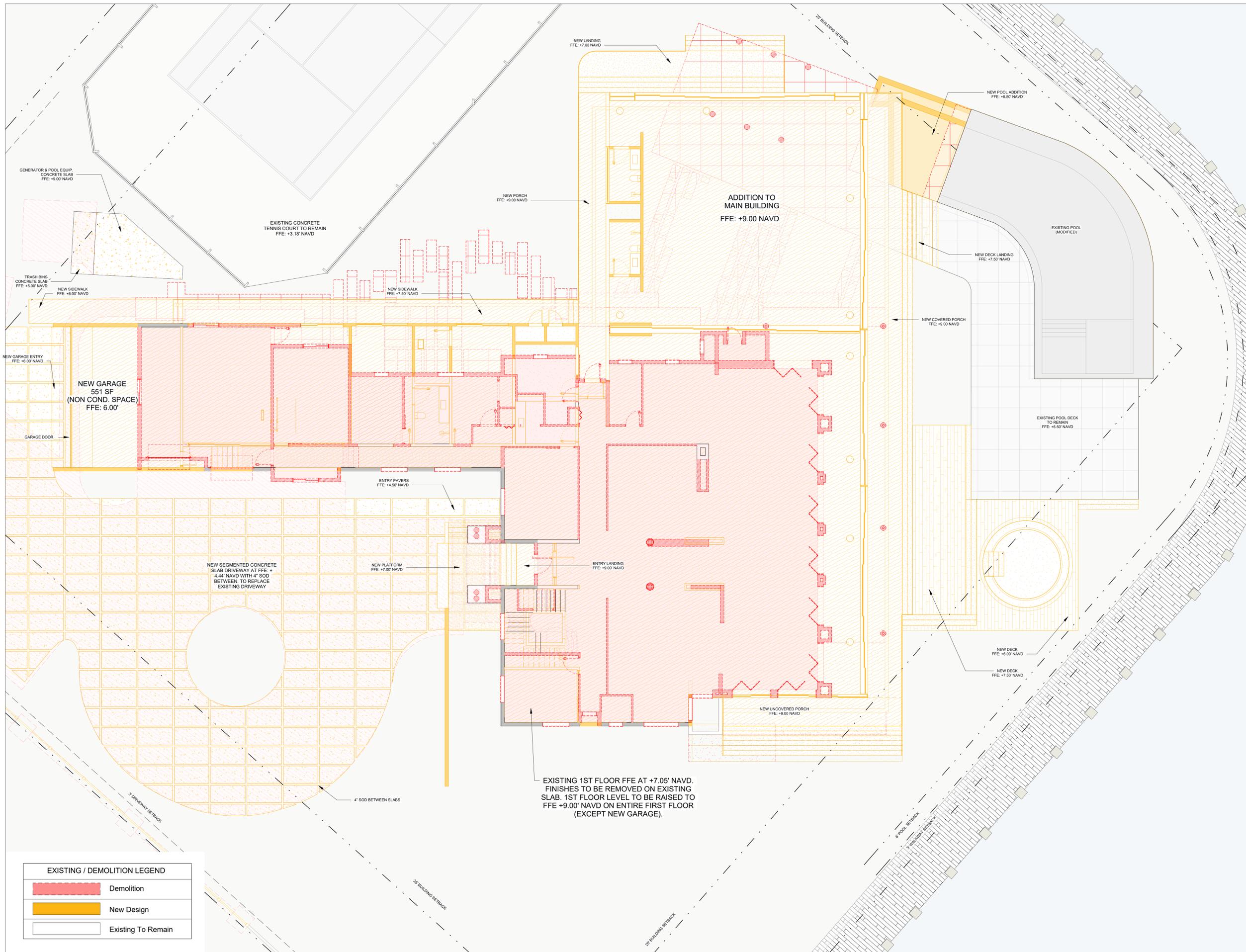
Description
First Floor Plan - Demolition

Scale
As indicated

A201a.

DRAWING NO. _____ OF _____

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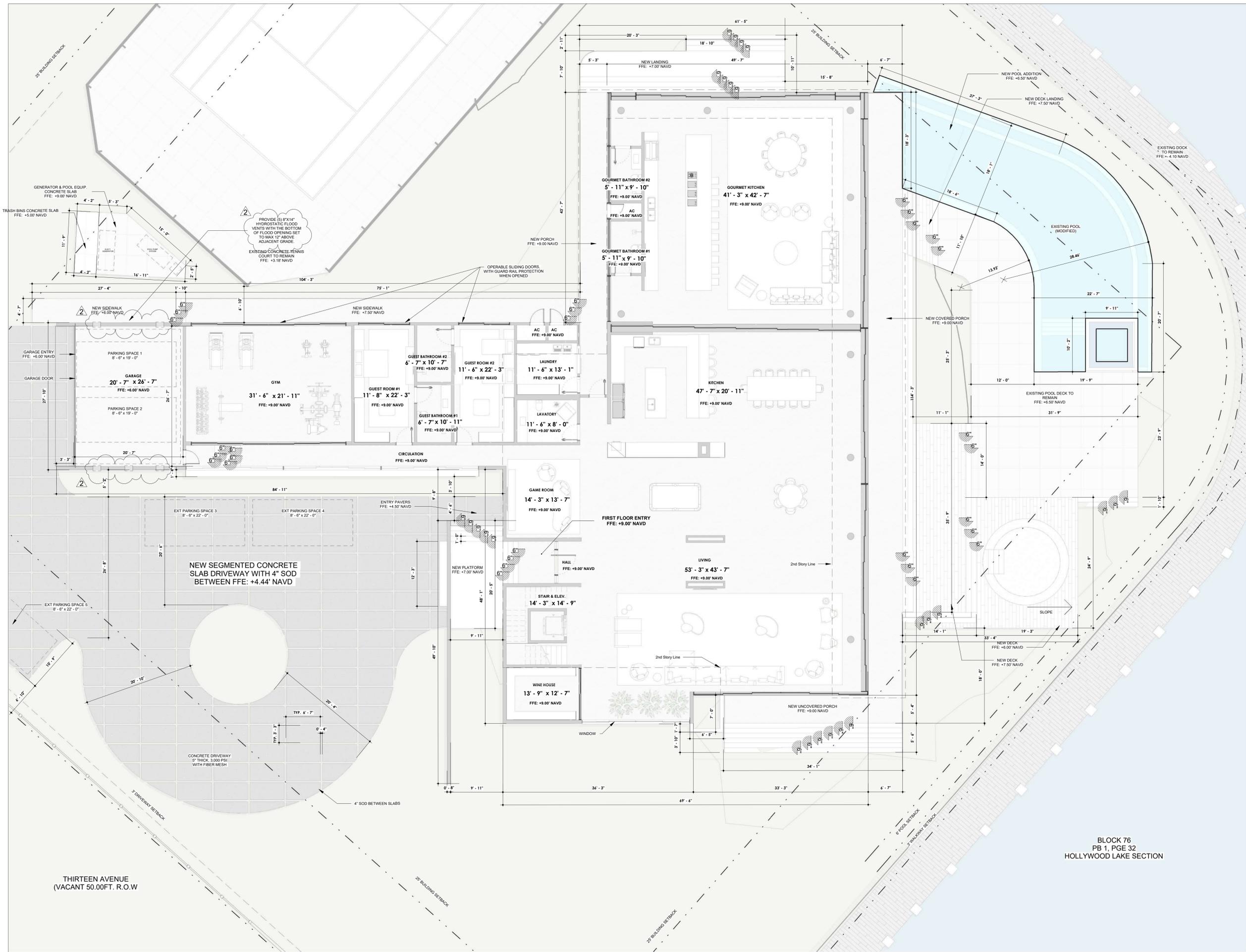


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USA



Date	Description
07/09/24	HPB
1 07/31/24	HPB COMMENTS
2 08/13/24	HPB COMMENTS

Seal / Signature
NOT FOR CONSTRUCTION

Project Name
914 Southlake Residence
Project Number
24008
Description
First Floor Plan - Dimensioned

Scale
1/8" = 1'-0"

A201b.
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USA

△	Date	Description
	07/09/24	HPB
1	07/31/24	HPB COMMENTS

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
914 Southlake Residence

Project Number
24008

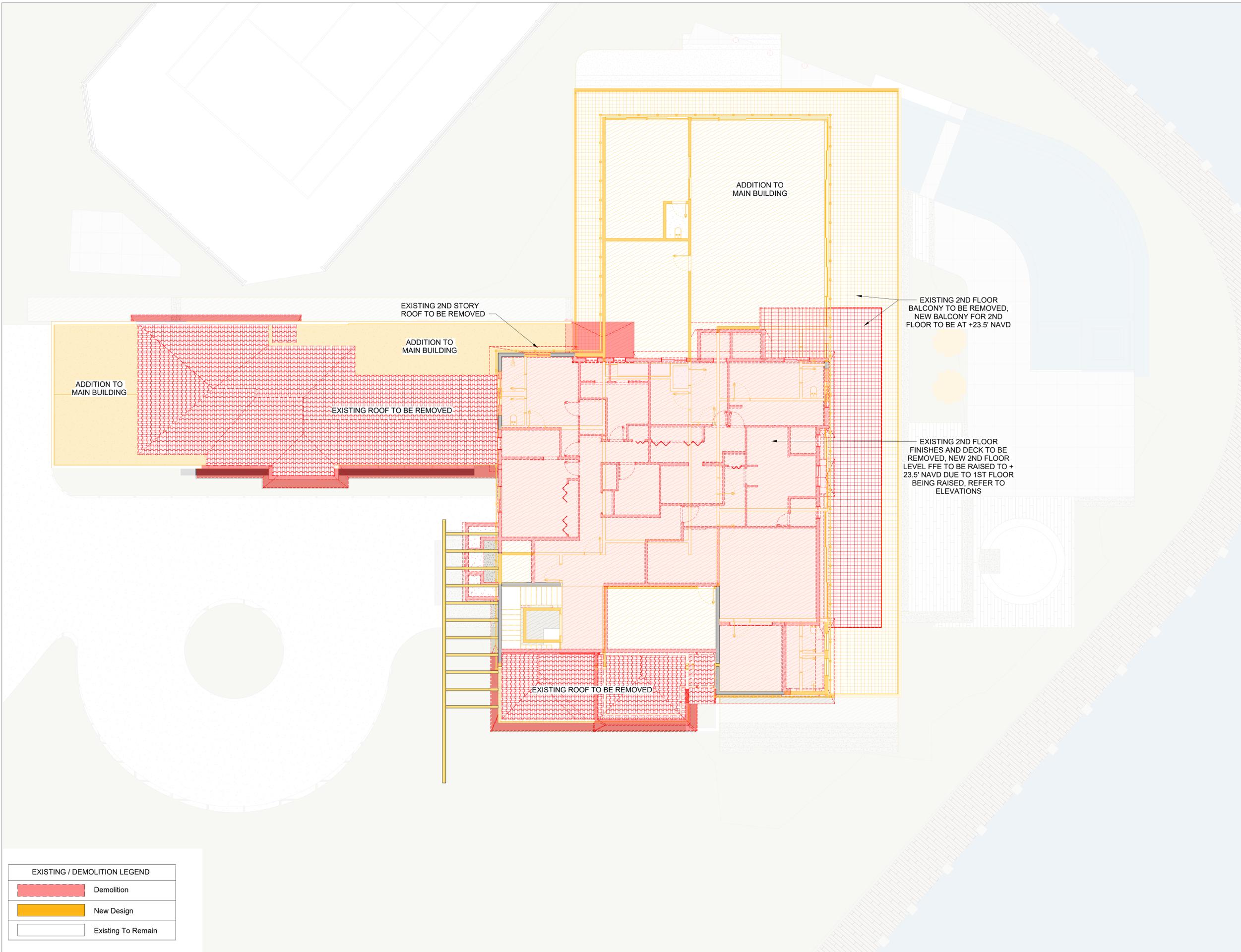
Description
Second Floor Plan - Demolition

Scale
As indicated

A202a.

DRAWING NO. _____ OF _____

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EXISTING / DEMOLITION LEGEND	
	Demolition
	New Design
	Existing To Remain

Second Floor - Demolition
ESC: 1/8" = 1'-0"

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Date	Description
07/09/24	HPB
1 07/31/24	HPB COMMENTS

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
914 Southlake Residence
Project Number

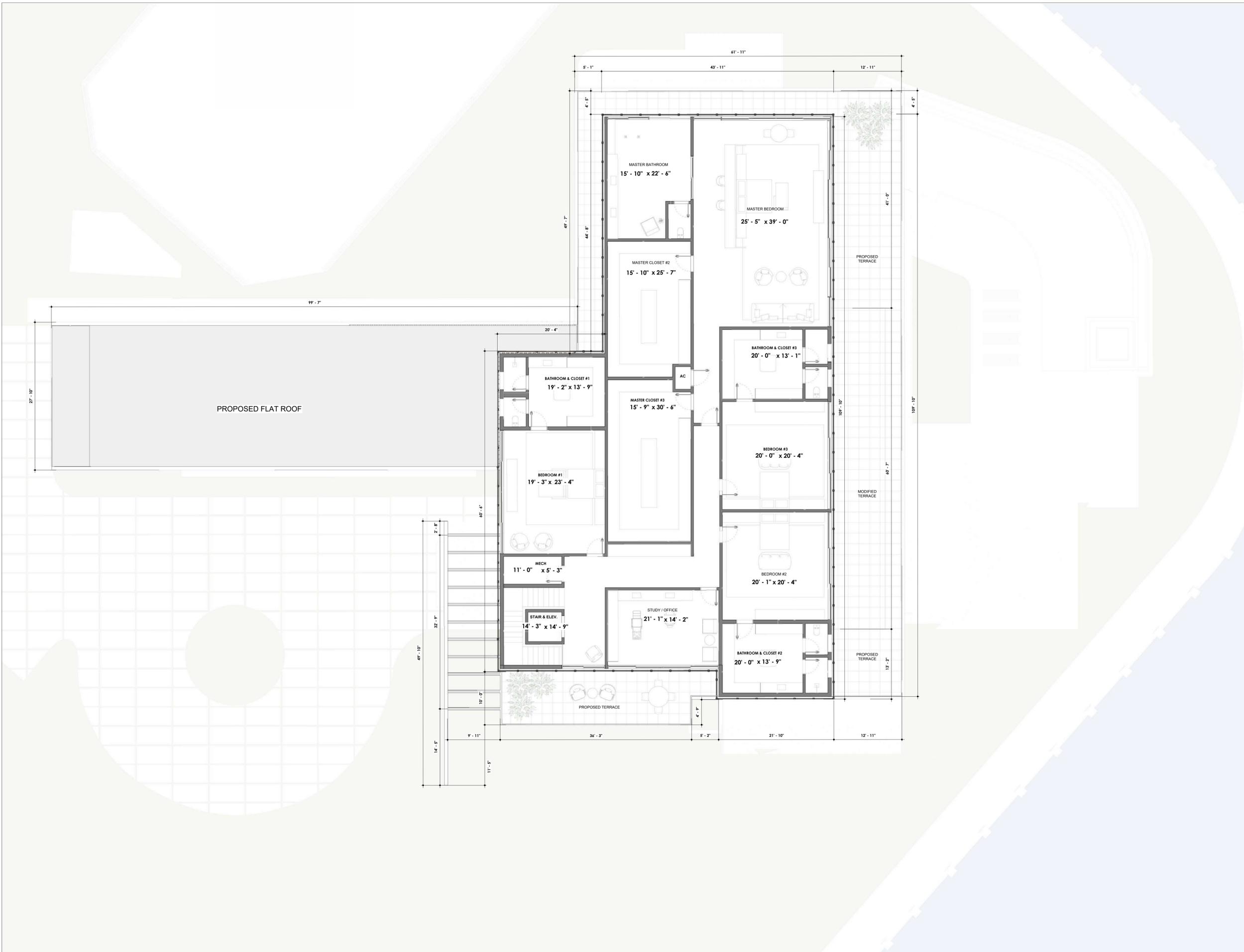
24008
Description
Second Floor Plan - Dimensioned

Scale
1/8" = 1'-0"

A202b.

DRAWING NO. _____ OF _____

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Second Floor - Dimensioned
ESC: 1/8" = 1'-0"

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USA

△ Date	Description
1 07/31/24	HPB COMMENTS

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
914 Southlake Residence

Project Number
24008

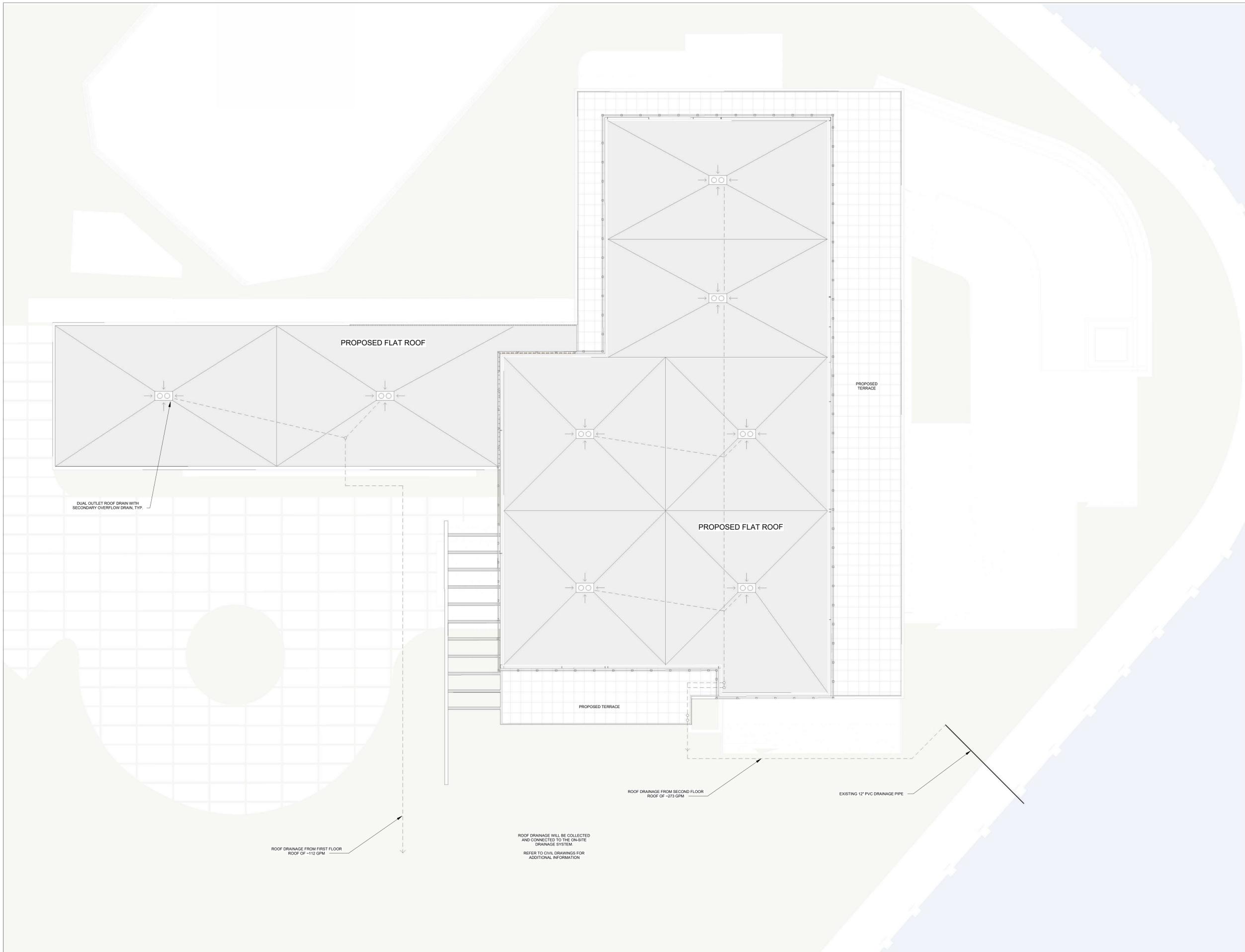
Description
Roof Plan

Scale
1/8" = 1'-0"

A203.

DRAWING NO. ____ OF ____

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MATERIALS AND PROFILES

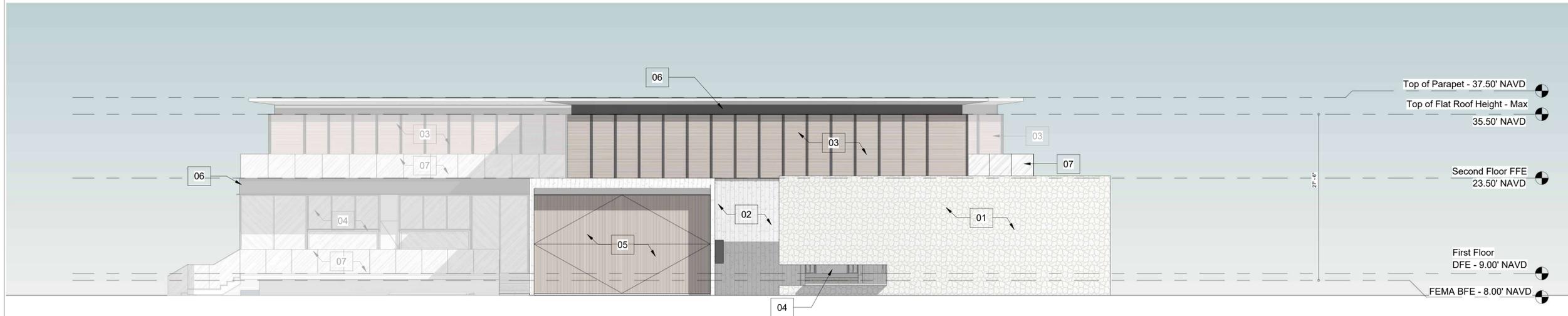
01	NATURAL ROUND EXTERIOR VENEER STONE
02	EXTERIOR STAMPED CONCRETE FINISH (WOOD PLANK STAMP)
03	IMPACT RATED ALUMINUM SLAT SYSTEM WITH FAUX WOOD FINISH (NEWTECHWOOD ALLUSIONS ALUMINUM SLAT SYSTEM OR SIMILAR)
04	IMPACT RATED GLASS DOOR (EURO-WALL OR SIMILAR)
05	IMPACT RATED GARAGE DOOR WITH WOOD SLAT CLADDING (RENLITA DOOR OR SIMILAR WITH NEWTECHWOOD CLADDING)
06	EXTERIOR WALL WITH STUCCO - BLACK FINISH
07	IMPACT RATED GLASS PANEL GUARD RAIL

914 Southlake Residence

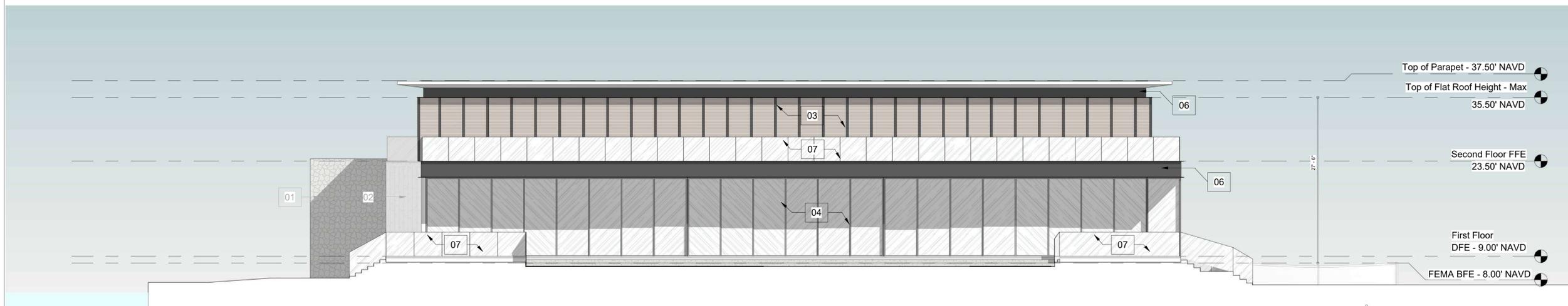
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Hollywood, FL 33019

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Miami Lakes, FL 33018
USA



Front (West) Elevation
ESC: 1/8" = 1'-0"



Rear (East) Elevation
ESC: 1/8" = 1'-0"

△ Date	Description
07/09/24	HPB
1 07/31/24	HPB COMMENTS

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
914 Southlake Residence
Project Number
24008
Description
Front - Rear Elevation

Scale
As indicated

A301.

DRAWING NO. _____ OF _____

MATERIALS AND PROFILES

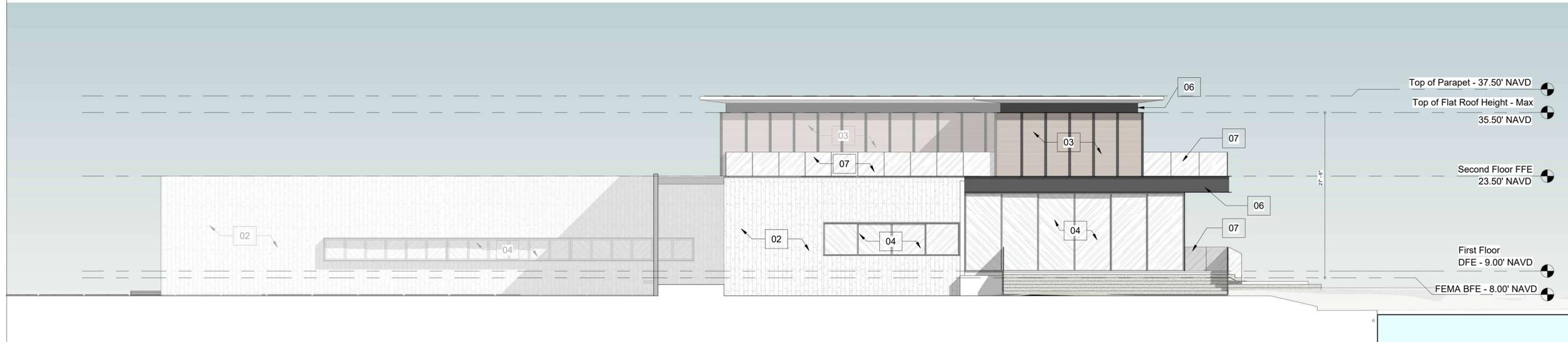
01	NATURAL ROUND EXTERIOR VENEER STONE
02	EXTERIOR STAMPED CONCRETE FINISH (WOOD PLANK STAMP)
03	IMPACT RATED ALUMINUM SLAT SYSTEM WITH FAUX WOOD FINISH (NEWTECHWOOD ALLUSIONS ALUMINUM SLAT SYSTEM OR SIMILAR)
04	IMPACT RATED GLASS DOOR (EURO-WALL OR SIMILAR)
05	IMPACT RATED GARAGE DOOR WITH WOOD SLAT CLADDING (RENLITA DOOR OR SIMILAR WITH NEWTECHWOOD CLADDING)
06	EXTERIOR WALL WITH STUCCO - BLACK FINISH
07	IMPACT RATED GLASS PANEL GUARD RAIL

**914 Southlake
Residence**

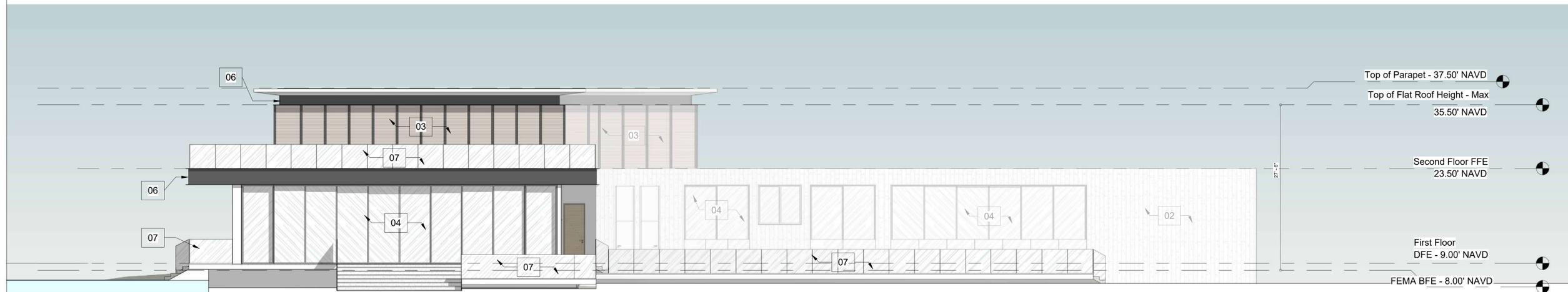
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Hollywood, FL 33019

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USA



Side (South) Elevation
ESC: 1/8" = 1'-0"



Side (North) Elevation
ESC: 1/8" = 1'-0"

Date	Description
07/09/24	HPB
1 07/31/24	HPB COMMENTS

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
**914 Southlake
Residence**
Project Number
24008
Description
Sides - Elevation

Scale
As indicated

A302.

DRAWING NO. ____ OF ____

914 Southlake Residence

914 S Southlake Drive
Hollywood, FL 33019

Eneida Pinon PLLC
Architecture and Design

9099 NW 165th Terrace Tel 305.331.7759
Miami Lakes, FL 33018
USA

△ Date	Description
07/09/24	HPB
1 07/31/24	HPB COMMENTS



Seal / Signature

NOT FOR CONSTRUCTION

Project Name

914 Southlake

Residence

Project Number

24008

Description

Southlake St. Contextual Street
Elevation

Scale

1" = 20'-0"

A303.

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GENERAL PROVISIONS

- 1. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.
2. ALL CONSTRUCTION ACTIVITIES IN WORK AREAS TO BE LOCATED TO DISTURB AREAS ARE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGE FROM SMALL AND LARGE CONSTRUCTION ACTIVITIES.
3. BASE SURVEY INFORMATION INCLUDING BUT NOT LIMITED TO ELEVATIONS, EASEMENTS, RIGHTS OF WAY, AND OTHER TOPOGRAPHIC INFORMATION HAS BEEN PREPARED BY OTHER PROFESSIONALS.
4. THE SET OF PLANS MAY CONTAIN DRAWINGS PREPARED BY OTHER PROFESSIONALS WHICH CANNOT STATE THE NAME, ADDRESS, AND LOGO OF THE PROFESSIONAL.
5. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL, TESTING, INSPECTIONS OR APPROVAL FOR ANY WORK (OR ANY PART THEREOF) PLANS OR REGULATIONS OF ANY PUBLIC BODY.
7. PROTECT NEIGHBORHOOD PROPERTY OWNERS, AND OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL, TESTING, INSPECTIONS, AND RECORDS.
9. IN ADDITION TO QUALITY CONTROL, TESTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING TESTING RESULTS.
10. ANY DESIGN OR TESTING LABORATORY UTILIZED BY THE CONTRACTOR SHALL BE AN INDEPENDENT LABORATORY ACCEPTABLE TO THE OWNER AND THE ENGINEER.
11. TESTING RESULTS SHALL BE PROVIDED TO THE OWNER/ENGINEER AND THE ENGINEER.
12. THE ENTIRE PROJECT SITE SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE WORK.
13. UTILITY GENERAL NOTES

- 1. THE UTILITY DATA SHOWN ON THESE PLANS WAS LOCATED BY THE RESPECTIVE UTILITY OR IS BASED ON UTILITY DRAWINGS, MAPS, OR FIELD RECONNAISSANCE.
2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUALITY CONTROL, TESTING, INSPECTIONS OR APPROVAL FOR ANY WORK (OR ANY PART THEREOF) PLANS OR REGULATIONS OF ANY PUBLIC BODY.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUALITY CONTROL, TESTING, INSPECTIONS OR APPROVAL FOR ANY WORK (OR ANY PART THEREOF) PLANS OR REGULATIONS OF ANY PUBLIC BODY.

EXCAVATION, TRENCHING, AND FILL

- 1. THE CONTRACTOR SHALL RECOGNIZE AND ADOPT ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT AND SUBORDINATE ANY AGENCY ORDER OR STATE ORDER CONCERNING THE PROVISIONS OF THIS CONTRACT.
2. POND EXCAVATE AND GRADE ANY EXISTING STORMWATER PONDS AT THE START OF SITE GRADING ACTIVITIES.
3. POND EXCAVATION SHALL RESULT IN A FINISHED POND HAVING SLOPE AND DIMENSIONS THAT ARE IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS.
4. FIELD CUTOFF TESTING PROCEDURES: A ONE TEST PER EACH 1000 SQUARE FEET OR FRACTION THEREOF PER 100' OF GENERAL BACKFILL.
5. TRENCHING AND EXCAVATION: TRENCHES SHALL BE EXCAVATED TO THE PROPOSED FINISHED GRADE.
6. TRENCHING AND EXCAVATION: TRENCHES SHALL BE EXCAVATED TO THE PROPOSED FINISHED GRADE.
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AS-BUILT DRAWING REQUIREMENTS

- 1. AS-BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER THREE WEEKS PRIOR TO FINAL INSPECTION.
2. AT THE COMPLETION OF THE WORK, DELIVER THE DRAWINGS DOCUMENTING AS-BUILT INFORMATION MEASURED BY A LICENSED SURVEYOR.
3. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS FOR ALL UTILITIES AND STORM STRUCTURES INCLUDING BUT NOT LIMITED TO MANHOLES, INLETS AND CLEANOUTS.
4. DISTANCE AND/OR PITCH BETWEEN STRUCTURES.
5. STORMWATER POND TOP OF BERM AND POND BOTTOM ELEVATIONS INCLUDING ALL DIMENSIONS INCLUDING BUT NOT LIMITED TO HORIZONTAL DIMENSIONS.
6. STORMWATER CONTROL STRUCTURE DIMENSIONS INCLUDING ALL ELEVATIONS, TOP OF BERM, SLOPE, GRADES, GRATES, AND SHIMMERS.
7. STORMWATER CONVEYANCE SYSTEMS INCLUDING DIMENSIONS, ELEVATIONS, TOP OF BERM, SLOPE, GRADES, GRATES, AND SHIMMERS.
8. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS OF ALL UTILITIES, FITTINGS, CONNECTION POINTS, ETC.
9. VERTICAL ELEVATIONS OF ALL PIPES AT CROSSINGS OF PIPES AND OTHER WATER MAINS.
10. UTILITY VERIFICATION: THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
11. AS-BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER THREE WEEKS PRIOR TO FINAL INSPECTION.

EROSION AND SEDIMENT CONTROL

- 1. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PROVIDED AND INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. MAINTAIN TEMPORARY EROSION CONTROL SYSTEMS AS DIRECTED BY OWNER OR GOVERNMENT AUTHORITIES TO CONTROL EROSION AND SEDIMENT DURING LIFE OF CONTRACT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL MEASURES.
4. CONTRACTOR SHALL BE REQUIRED TO INCORPORATE PERMANENT EROSION CONTROL FEATURES INTO PROJECT AS EARLIEST PRACTICE.
5. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS REPRESENT A PROPOSED EROSION CONTROL SYSTEM.
6. SMALL ALL DISTURBED AREAS WITHIN 10 DAYS OF INITIAL DISTURBANCE.
7. INSPECT EVERY TWO WEEKS DURING CONSTRUCTION.
8. AREAS TO BE PAVED SHALL BE TREATED WITH A BITUMINOUS PRIME COAT AND SANDS TO REMAIN WHEN PAVING IS SCHEDULED TO OCCUR MORE THAN 48 HOURS AFTER INSTALLATION.
9. TRAFFIC CONTROL

- 1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (MOT) PLAN PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (MOT) PLAN PRIOR TO CONSTRUCTION.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (MOT) PLAN PRIOR TO CONSTRUCTION.

SITE PREPARATION

- 1. UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THE PROPERTY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

GRADING

- 1. GRADING SHALL BE ACCORDING TO THE PLANS AND THE REQUIREMENTS OF THE ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (MOT) PLAN PRIOR TO CONSTRUCTION.

WATER AND RECLAIMED WATER DISTRIBUTION SYSTEMS

- 1. THE ENTITY THAT WILL OPERATE AND MAINTAIN THE SEWER SYSTEM SHOWN ON THESE PLANS IS THE CITY OF HOLLYWOOD, FLORIDA.
2. ALL WATER AND RECLAIMED WATER PIPES SHALL BE EITHER DUCTILE IRON PIPE (DIP) UNLESS OTHERWISE NOTICED ON THE DRAWINGS.
3. INSTALL ALL WATER AND RECLAIMED WATER AT A MINIMUM 36 INCHES OF COVER.
4. BURRED DUCTILE IRON PIPE SHALL CONFORM TO ANSII A2001.10 AND A2001.10.1.
5. 12" DUCTILE IRON PIPE SHALL CONFORM TO ANSII A2001.10 AND A2001.10.1.
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PRECAST STRUCTURES AND APPURTENANCES

- 1. ALL MANHOLES SHALL BE PRECAST CONSTRUCTION.
2. BASE SHALL BE ONE-PIECE PRECAST BASE SECTION CONCRETE OF INTEGRALLY CAST BASE.
3. RISES SHALL BE PRECAST REINFORCED CONCRETE FOR ASTM C476.
4. UNLESS OTHERWISE NOTICED, CONCRETE SHALL BE 3000 PSI.
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- 1. MATERIALS AND CONSTRUCTION METHODS FOR THE ROADWAY AND PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2013-22 EDITION.
2. ROADWAY PAVING, BASE, AND SUBGRADE THICKNESSES SHALL BE IN ACCORDANCE WITH DETAILS ON THESE DRAWINGS.
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- 1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE LATEST SUPPLEMENTAL EDITION OF FOOT ROADWAY AND TRAFFIC DEVICE STANDARDS, STANDARD NO. 1030, 1180, 1180.1, 1180.2, 1180.3, 1180.4, 1180.5, 1180.6, 1180.7, 1180.8, 1180.9, 1180.10, 1180.11, 1180.12, 1180.13, 1180.14, 1180.15, 1180.16, 1180.17, 1180.18, 1180.19, 1180.20, 1180.21, 1180.22, 1180.23, 1180.24, 1180.25, 1180.26, 1180.27, 1180.28, 1180.29, 1180.30, 1180.31, 1180.32, 1180.33, 1180.34, 1180.35, 1180.36, 1180.37, 1180.38, 1180.39, 1180.40, 1180.41, 1180.42, 1180.43, 1180.44, 1180.45, 1180.46, 1180.47, 1180.48, 1180.49, 1180.50, 1180.51, 1180.52, 1180.53, 1180.54, 1180.55, 1180.56, 1180.57, 1180.58, 1180.59, 1180.60, 1180.61, 1180.62, 1180.63, 1180.64, 1180.65, 1180.66, 1180.67, 1180.68, 1180.69, 1180.70, 1180.71, 1180.72, 1180.73, 1180.74, 1180.75, 1180.76, 1180.77, 1180.78, 1180.79, 1180.80, 1180.81, 1180.82, 1180.83, 1180.84, 1180.85, 1180.86, 1180.87, 1180.88, 1180.89, 1180.90, 1180.91, 1180.92, 1180.93, 1180.94, 1180.95, 1180.96, 1180.97, 1180.98, 1180.99, 1180.100.
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- 8. INSTALL WARNING TAPE ALONG ALL SEWER PIPES. TAPE SHALL BE 6-INCH WIDE VINYL CONTINUOUS TAPE, COLORED GREEN WITH BLACK LETTERING CODED AND WORDED "CAUTION: SEWER BURIED BELOW".
9. CONNECTIONS TO EXISTING SEWER SHALL BE CONDUCTED IN SUCH A MANNER THAT THE EXISTING SEWER REMAINS IN OPERATION.
10. PROVIDE LIGHT SOURCE AND MIRRORS FOR LAMPING OF SEWER.
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GENERAL EROSION & SEDIMENTATION CONTROL NOTES

- A. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- B. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- C. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- D. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND / OR GRADING SHALL BE PERMITTED.
- E. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. CONTRACTOR SHALL CONSTRUCT TEMPORARY BERM ON DOWNSTREAM SIDES.
- F. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- G. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- H. DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- I. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGHOUT THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- J. ALL DENuded f BARE AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS / GRAIN VARIETIES, STRAW / HAY MULCH WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS.
- K. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEED, SODDED, AND / OR VEGETATED IMMEDIATELY, AND NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND / OR LANDSCAPE PLAN.
- L. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE ONLY USE INGRESS / EGRESS LOCATIONS AS PROVIDED
- M. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- N. CONTRACTOR OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- O. ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- P. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- Q. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- R. GENERAL CONTRACTOR IS TO DESIGNATE / IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- S. WHEN INSTALLATION OF SILT FENCE IS PERFORMED, THE CONTRACTOR SHALL STABILIZE THE DISTURBED AREA ALONG THE DOWNWARD SLOPE BY SEEDING OR MULCHING AS CONDITIONS WARRANT.

BMP MAINTENANCE EROSION NOTES

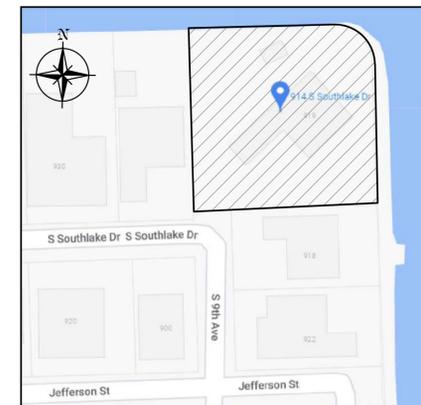
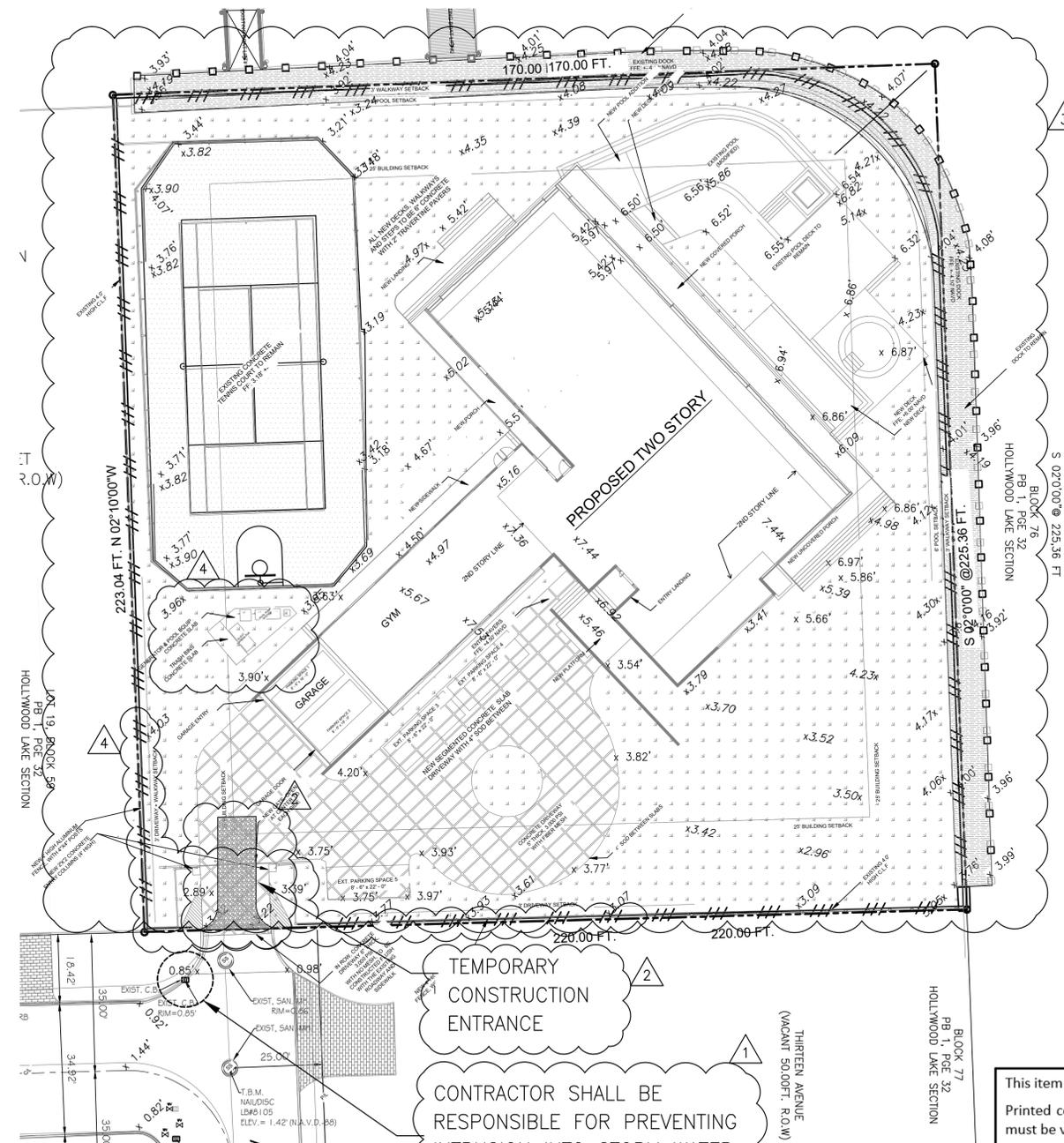
- 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- 2. ALL SEEDED \ SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED \ RESODDED AS NEEDED.
- 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- 6. OUTLET STRUCTURES SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
- 7. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. AND DEBRIS AND I OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

WASHING AREAS

VEHICLES SUCH AS CEMENT OR DUMP TRUCKS AND OTHER CONSTRUCTION EQUIPMENT SHOULD NOT BE WASHED AT LOCATIONS WHERE THE RUNOFF WILL FLOW DIRECTLY INTO A WATERCOURSE OR STORM WATER CONVEYANCE SYSTEM. SPECIAL AREAS SHOULD BE DESIGNATED FOR WASHING VEHICLES. THESE AREAS SHOULD BE LOCATED WHERE THE WASH WATER WILL SPREAD OUT AND EVAPORATE OR INFILTRATE DIRECTLY INTO THE GROUND, OR WHERE RUNOFF CAN BE COLLECTED IN A TEMPORARY HOLDING OR SEEPAGE BASIN. WASH AREAS SHOULD HAVE GRAVEL BASES TO MINIMIZE MUD GENERATION.

SYMBOLS LEGEND

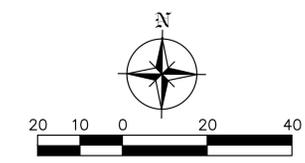
- PROPERTY LINE/LIMITS OF DISTURBANCE
- /// /// /// /// /// PROPOSED SILT FENCE



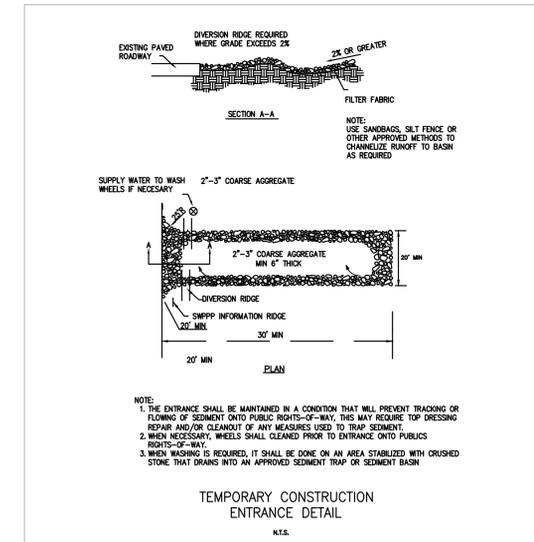
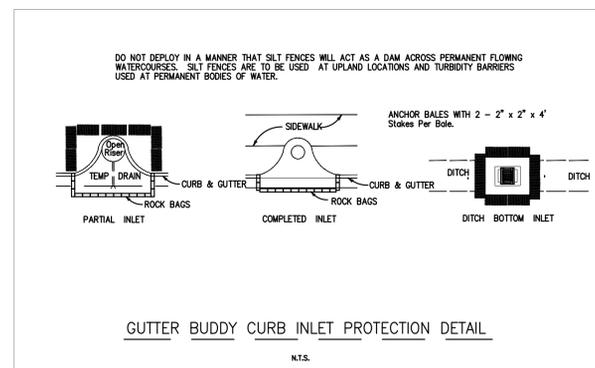
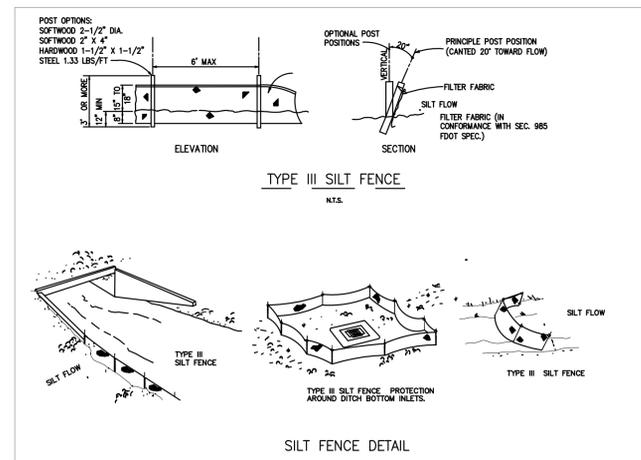
LOCATION MAP
N.T.S.

CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT INTRUSION INTO STORM WATER INLETS DURING CONSTRUCTION, WHEN APPLICABLE.

NOTE:
ALL ELEVATIONS ARE RELATIVE TO THE NAVD 88 DATUM



This item has been digitally signed and sealed by Jorge Szauder, PE. On August 9, 2024.
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Szauder Engineering
Civil Engineers
7251 W Palmetto Park Road Suite 100
Boca Raton, FL 33433
Phone: (561) 716-0159
Certificate of Authorization Number 30129

Reviews:

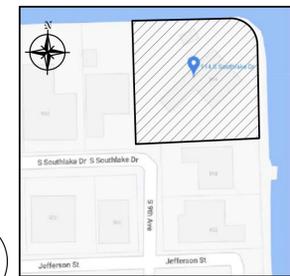
1	CITY COMMENTS 06/27/2024	J.S.
2	CITY COMMENTS 07/25/2024	J.S.
3	CITY COMMENTS 08/01/2024	J.S.
4	CITY COMMENTS 08/08/2024	J.S.

Client: _____
Project: **914 S SOUTHLAKE RESIDENCE**
914 S Southlake Dr, Hollywood, Florida.

EROSION CONTROL PLAN

FLA. REG. P.E. # 62579

Designed by: **JORGE M. SZAUDER**
Drawn by: **JJANSE**
Reviewed & Sealed: **JORGE M. SZAUDER**
Date: **MAY 2024**
Scale: **AS SHOWN**
Job #: _____
Sheet: _____



LOCATION MAP
N.T.S.

NOTE:
 ALL ELEVATIONS ARE RELATIVE TO THE NAVD 88 DATUM

Surface Water Management Calculations for Casa Miami - 914 South Southlake Dr

Proposed is the remodeling of a single Family Home on a 1.12 acre lot, located at 914 S. Southlake Drive, Hollywood, Florida. The proposed drainage system will be designed to meet with the City of Hollywood and Broward County requirements to retain on-site the pre vs. post run-off difference for a 25-year, 72-hour storm event. The proposed drainage system will consist of swales/retention areas.

STORMWATER RETENTION CALCULATIONS

LANDUSE BREAKDOWN

Table 1 summarizes the proposed landuse breakdown of the project

Table 1 - Site Landuse Breakdown

Description	Existing Site	Proposed Site
Total Site Area (ac):	1.12	1.12
Roof Area (ac):	0.17	0.22
Impervious Area (ac):	0.43	0.44
PerVIOUS Area (ac):	0.52	0.46

SOIL STORAGE

SITE
 Soil Storage (S) was calculated to be 1.94 inches over the entire site for the Existing Conditions (see soil storage calculations attached)
 Soil Storage (S) was calculated to be 1.78 inches over the entire site for the Proposed Conditions (see soil storage calculations attached)

RUNOFF CALCULATIONS

$Q=(P+0.2S)/(P+0.8S)$

Design Frequency	Precipitation P (in)	SITE				Runoff Volume (Ac-ft)	Runoff Volume (Ac-ft)	Δ Pre vs Post
		Existing Soil Storage S (in)	Runoff Q (in)	Runoff Volume (Ac-ft)	Proposed Soil Storage S (in)			
5y-1h	3.28	1.94	1.73	0.16	1.78	1.82	0.17	0.01
25y-3d	13	1.94	10.93	1.02	1.78	11.08	1.03	0.01
100y-3d	16	1.94	13.88	1.29	1.78	14.05	1.31	0.02

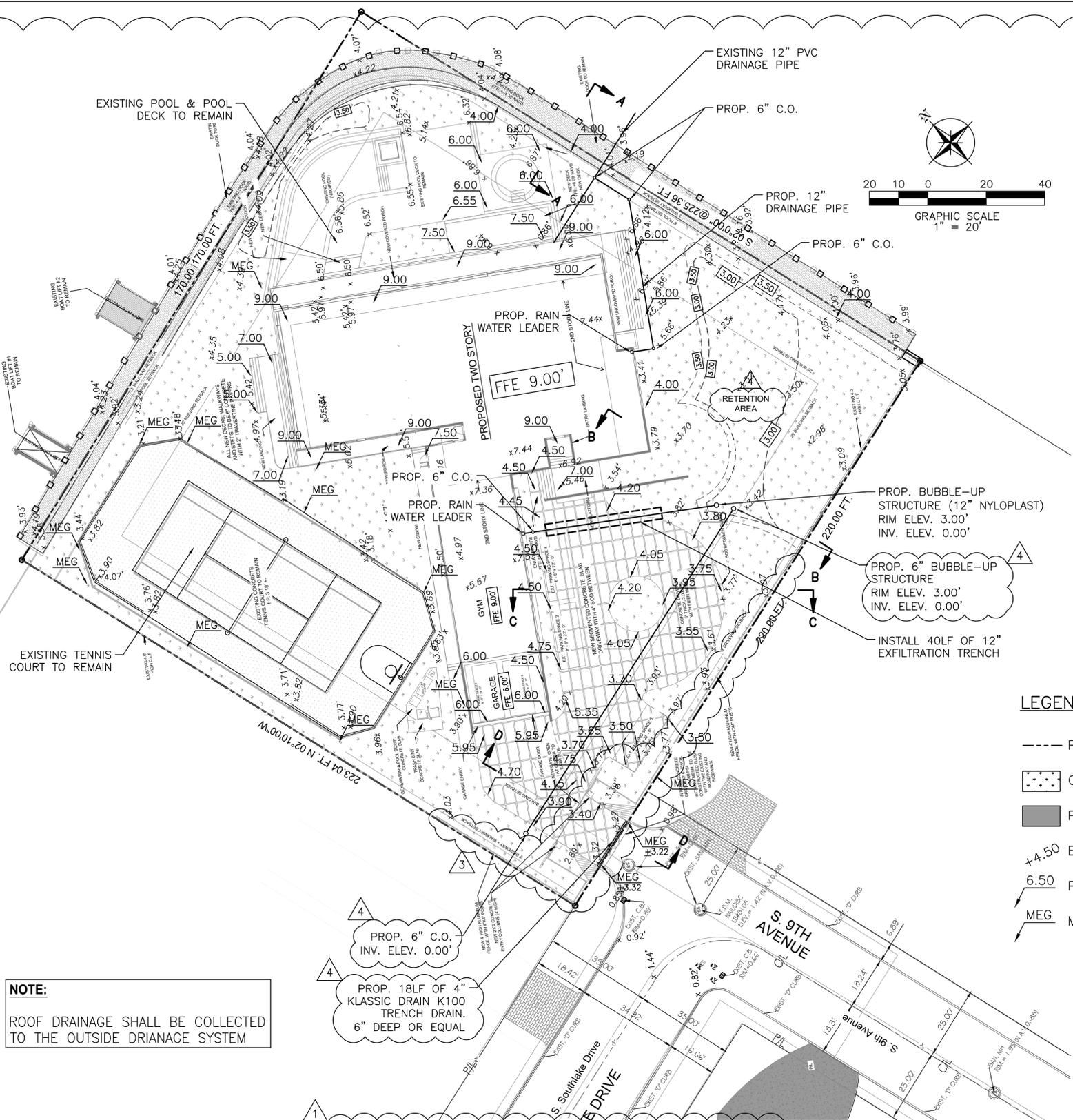
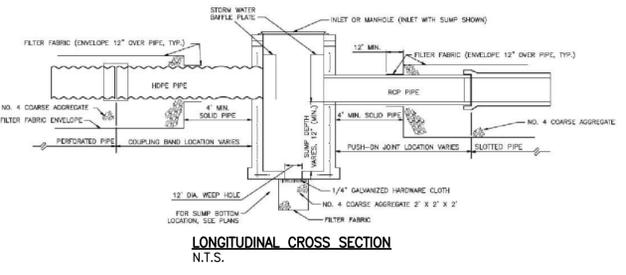
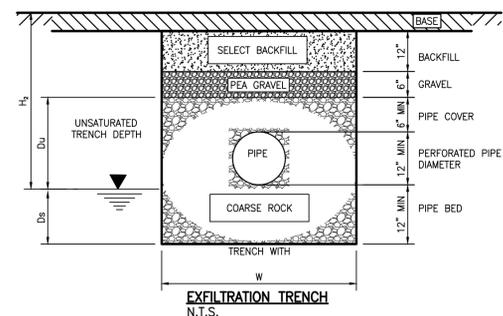
SWALE / RETENTION AREA CALCULATIONS

The retention system is designed to retain the runoff produced by a 5y-1h storm event of 3.28"
 5y-1h runoff volume = 0.17 ac-ft > Δ Pre vs Post (0.02 ac-ft)
 Total Swale area (Green Area) reserved for stormwater retention = 0.086 ac @ 12" deep w 3:1 slope = 0.086 ac-ft
 Total Swale area (Green Area) reserved for stormwater retention = 0.085 ac @ 6" deep w 3:1 slope = 0.04 ac-ft
 Green Area = 0.08 ac @ 3.5' - 4.0' = 0.02 ac-ft
 Tennis Court = 0.15 ac @ 0.4' deep = 0.06 ac-ft
 Total Retention Volume = 0.21 ac-ft > 0.17 ac-ft **OK**

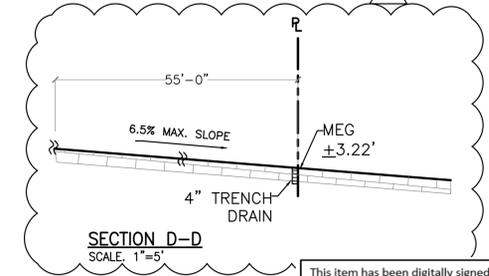
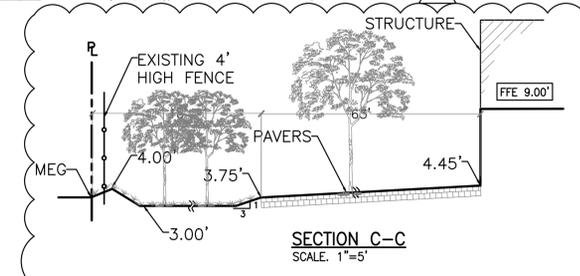
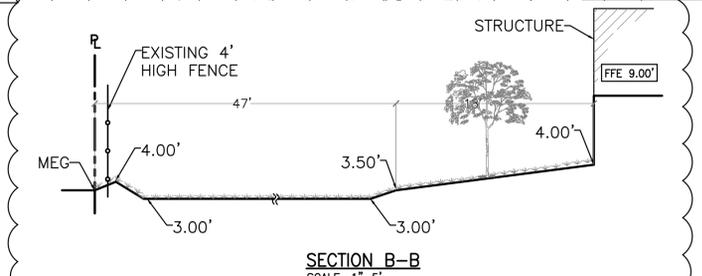
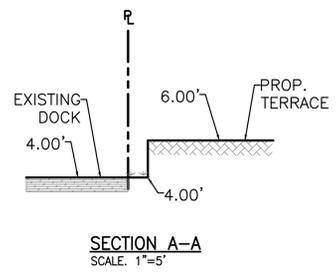
The retention system will provide enough capacity to retain the runoff from a 5y-1h storm event in excess of the difference in runoff from the pre vs post conditions for the 25y-3d and the 100y-3d storm events

LEGEND:

- PROPERTY LINE
- GRASS
- PAVERS
- +4.50 EXISTING ELEVATIONS
- 6.50 PROP. ELEVATIONS
- MEG MATCH EXISTING GRADE



NOTE:
 ROOF DRAINAGE SHALL BE COLLECTED TO THE OUTSIDE DRAINAGE SYSTEM



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Reviews:

1	CITY COMMENTS 06/27/2024	J.S.
2	CITY COMMENTS 08/01/2024	J.S.
3	CITY COMMENTS 08/08/2024	J.S.
4	CITY COMMENTS 08/13/2024	J.S.

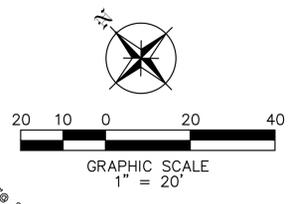
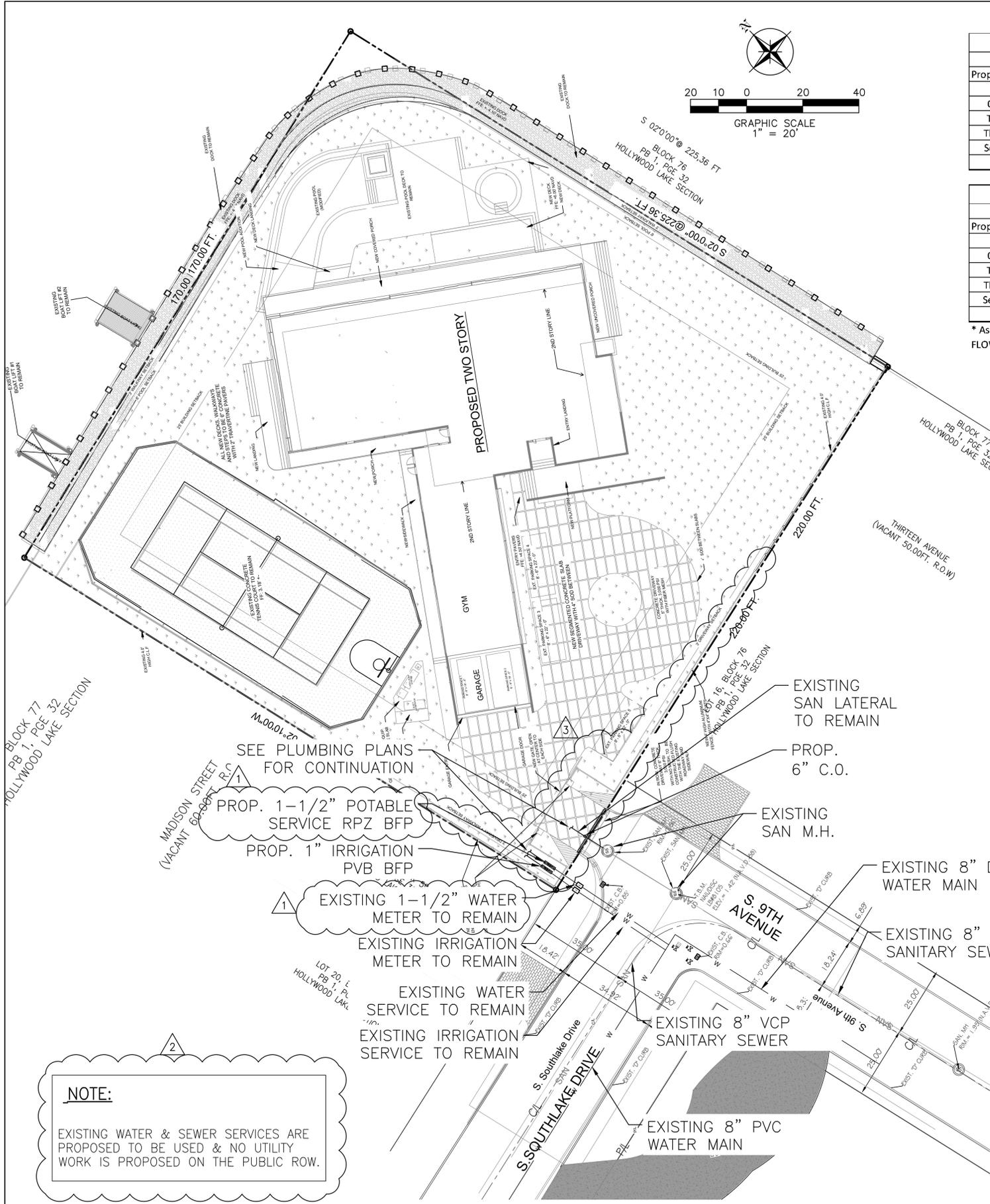
Client: 914 S SOUTHLAKE RESIDENCE
 Project: 914 S SOUTHLAKE RESIDENCE
 Client: 914 S Southlake Dr, Hollywood, FL.

Plan Description: PAVING, GRADING & DRAINAGE

Seal: JORGE SZAUER
 FLA. REG. P.E. # 62579

Designed by: JORGE M. SZAUER
 Drawn by: JJANSE
 Revised & Sealed: JORGE M. SZAUER
 Date: MAY 2024
 Scale: AS SHOWN
 Job N°:

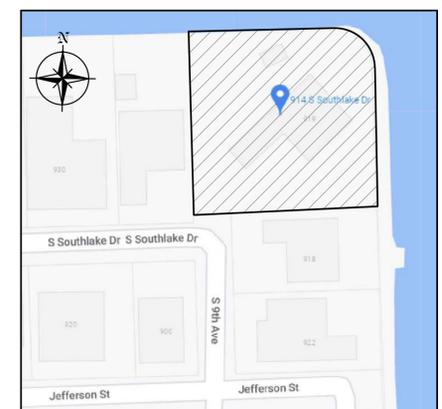
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Waste Water Generation				
Use	Quantity	Generation Rate*	ERU	Demand
Proposed				
Residential				
One Bedroom	0	100 GPD	-	-
Two Bedroom	0	200 GPD	-	-
Three Bedroom	0	300 GPD	-	-
Seven Bedroom	1	400 + 11*60 GPD	7.21	1,060 GPD
		Total Proposed	7.21 ERU @ 147 GPD	1,060 GPD

Potable Water Consumption				
Use	Quantity	Generation Rate*	ERU	Demand
Proposed				
Residential				
One Bedroom	0	-	-	-
Two Bedroom	0	-	-	-
Three Bedroom	0	-	-	-
Seven Bedroom	1	7.21	7.21	1,334 GPD
		7.21 ERU @ 185 GPD	Total Proposed	7.21 ERU @ 185 GPD
				1,334 GPD

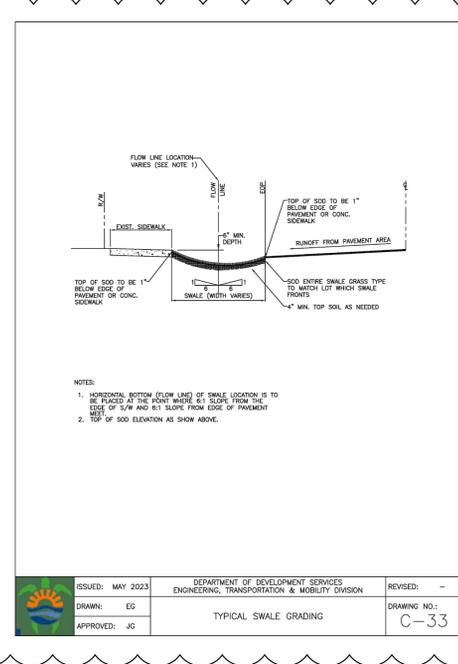
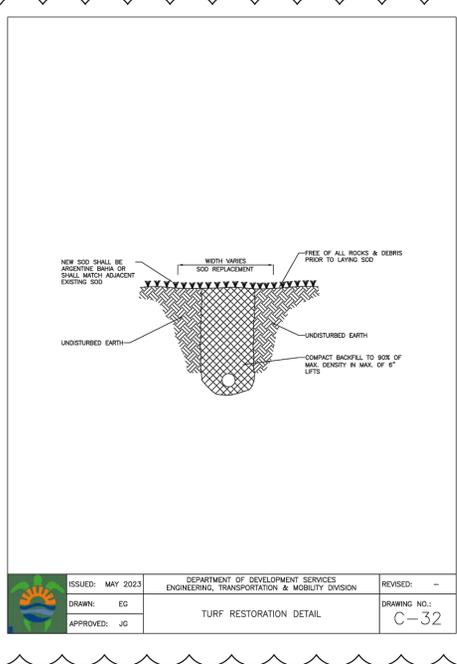
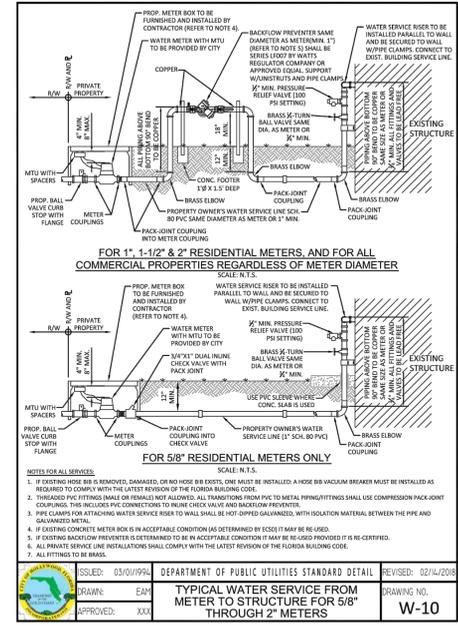
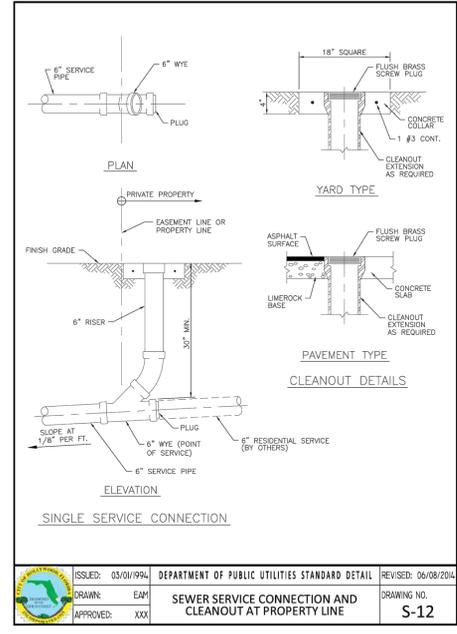
* As per the Florida Administrative Code: Chapter 64E-6.008 Table I for System Design, ESTIMATED SEWAGE FLOW. ERU = Equivalent Residential Unit



LOCATION MAP
N.T.S.

Szauer Engineering
Civil Engineers
7251 W Palmetto Park Road Suite 100
Boca Raton, FL 33433
Phone: (561) 716-0159
Certificate of Authorization Number 30129

Reviews:
 A CITY COMMENTS 06/27/2024 J.S.
 B CITY COMMENTS 08/01/2024 J.S.
 C CITY COMMENTS 08/08/2024 J.S.



NOTE:
EXISTING WATER & SEWER SERVICES ARE PROPOSED TO BE USED & NO UTILITY WORK IS PROPOSED ON THE PUBLIC ROW.

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Client:
Project:
914 S SOUTHLAKE RESIDENCE
914 S Southlake Dr, Hollywood, Florida.

Plan Description:
UTILITIES

Seal:
JORGE SZAUER
FLA. REG. P.E. # 62579

Designed by:
JORGE M. SZAUER

Drawn by:
JJANSE

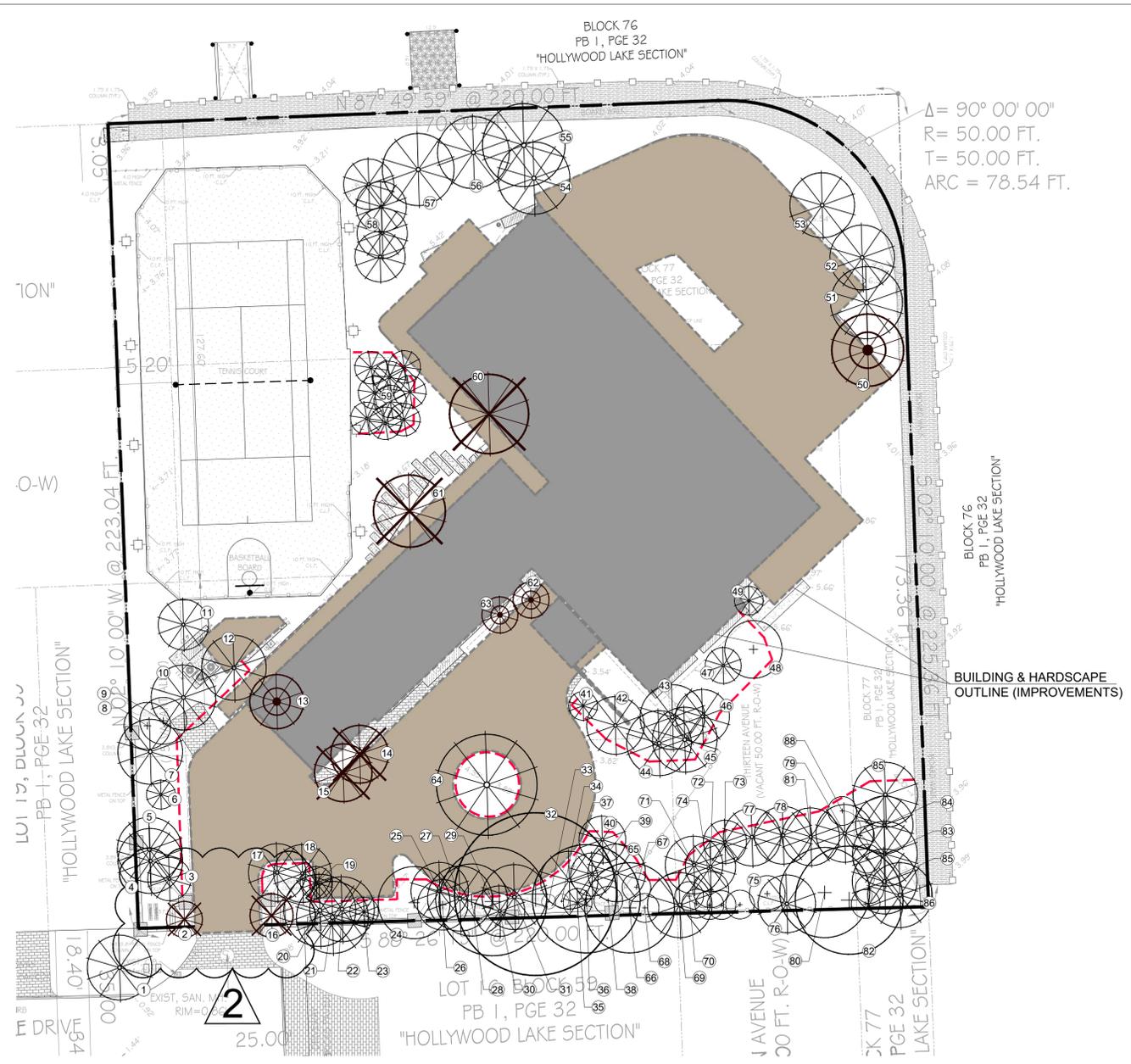
Reviewed & Sealed:
JORGE M. SZAUER

Date:
MAY 2024

Scale:
AS SHOWN

Job No.:

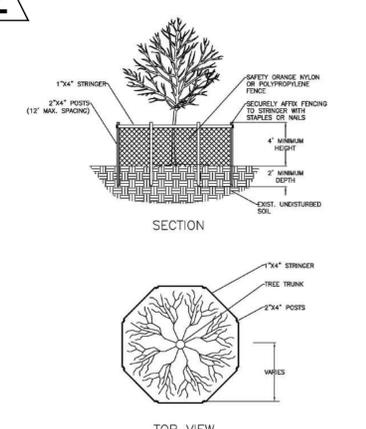
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TREE DISPOSITION TABLE

TREE #	BOTANICAL NAME	COMMON NAME	DBH (in.)	CLEAR TRUNK (ft.)	HEIGHT (ft.)	SFR (sq. ft.)	CONDITION	COMMENTS	STATUS
1	Roystonia regia	Royal Palm	18	30	18			Outside of Property	Remain
2	Phoenix roebelenii	Pygmy Date Palm	4.6,4		10	10	Good	Triple	Remove
3	Phoenix roebelenii	Pygmy Date Palm	4.5,4		13	12	Good	Triple	Remove
4	Roystonia regia	Royal Palm	15	32	44	18	Good		Remain
5	Roystonia regia	Royal Palm	14	34	46	18	Good		Remain
6	Phoenix roebelenii	Pygmy Date Palm	4		13	8	Good		Remain
7	Roystonia regia	Royal Palm	18	29	41	18	Good		Remain
8	Conocarpus erectus	Green Buttermwood	5		13	13	Good		Remain
9	Conocarpus erectus	Green Buttermwood	5		13	13	Good		Remain
10	Roystonia regia	Royal Palm	21	35	47	18	Good		Remain
11	Roystonia regia	Royal Palm	9	9	18	14	Good		Remain
12	Roystonia regia	Royal Palm	15,15	29	41	18	Good	Double	Remain
13	Bismarckia nobilis	Bismarckia Palm	9	11	19	15	Good		Relocate
14	Washingtonia robusta	Washingtonia Palm	14	28	40	16	Fair		Remove
15	Washingtonia robusta	Washingtonia Palm	11	28	40	16	Fair		Remove
16	Phoenix roebelenii	Pygmy Date Palm	4,4,5		13	12	Good	Triple	Remove
17	Washingtonia robusta	Washingtonia Palm	12	39	51	16	Fair		Remain
18	Washingtonia robusta	Washingtonia Palm	12	42	54	16	Fair		Remain
19	Phoenix roebelenii	Pygmy Date Palm	4,3		6,5,5	9	Good	Double	Remain
20	Phoenix roebelenii	Pygmy Date Palm	15	26	38	20	Fair		Remain
21	Phoenix roebelenii	Pygmy Date Palm	15	11	23	20	Good		Remain
22	Roystonia regia	Royal Palm	14	26	38	18	Good		Remain
23	Ptychosperma elegans	Alexander Palm	4	18	26	8	Good		Remain
24	Conocarpus erectus	Green Buttermwood	12,16,7,7		40	20	Fair		Remain
25	Washingtonia robusta	Washingtonia Palm	10	26	38	16	Fair		Remain
26	Conocarpus erectus	Green Buttermwood	6,5		25	14	Fair	Double	Remain
27	Roystonia regia	Royal Palm	11	35	47	18	Good		Remain
28	Conocarpus erectus	Green Buttermwood	14,13		30	20	Fair		Remain
29	Conocarpus erectus	Green Buttermwood	8,15		30	30	Fair	Double	Remain
30	Ptychosperma elegans	Alexander Palm	4	11	19	14	Good		Remain
31	Roystonia regia	Royal Palm	11	22	34	18	Good		Remain
32	Conocarpus erectus	Green Buttermwood	13,18		30	45	Fair	Double	Remain
33	Conocarpus erectus	Green Buttermwood	5		11	4	Fair		Remain
34	Conocarpus erectus	Green Buttermwood	6		11	4	Fair		Remain
35	Roystonia regia	Royal Palm	7	16	24	15	Good		Remain
36	Conocarpus erectus	Green Buttermwood	4		45	30	Fair		Remain
37	Washingtonia robusta	Washingtonia Palm	10	39	52	16	Fair		Remain
38	Conocarpus erectus	Green Buttermwood	5		16	8	Fair		Remain
39	Washingtonia robusta	Washingtonia Palm	6		10	16	13	Fair	Remain
40	Phoenix roebelenii	Pygmy Date Palm	4		9	11	13	Fair	Remain
41	Phoenix roebelenii	Pygmy Date Palm	4		7,5	12	8	Good	Remain
42	Washingtonia robusta	Washingtonia Palm	12	47	59	16	Fair		Remain
43	Roystonia regia	Royal Palm	20	47	59	18	Good		Remain
44	Washingtonia robusta	Washingtonia Palm	11	63	75	16	Fair		Remain
45	Washingtonia robusta	Washingtonia Palm	11	40	52	16	Fair		Remain
46	Washingtonia robusta	Washingtonia Palm	14	47	59	15	Poor		Remain
47	Phoenix roebelenii	Pygmy Date Palm	6	7,5	15	10	Fair		Remain
48	Conocarpus erectus	Silver Buttermwood	5,7		15	16	Fair		Relocate
49	Thrinax radiata	Florida Titch Palm	3,4,3		17,18	10	Fair		Relocate
50	Phoenix sylvestris	Silver Date Palm	20	8	18	20	Good		Relocate
51	Cocos nucifera	Coconut Palm	10	18	28	20	Good		Remain
52	Cocos nucifera	Coconut Palm	9	16	25	18	Good		Remain
53	Cocos nucifera	Coconut Palm	5	16	25	18	Good		Remain
54	Cocos nucifera	Coconut Palm	7	13	23	20	Good		Remain
55	Cocos nucifera	Coconut Palm	9	23	33	23	Good		Remain
56	Cocos nucifera	Coconut Palm	8	22	32	20	Good		Remain
57	Cocos nucifera	Coconut Palm	9	24	34	20	Good		Remain
58	Acoelohaphe wrightii	Parrot Palm	4 Cluster		16 EA	14 EA	Good		Remain
59	Ptychosperma elegans	Alexander Palm	3,3,3,3,3,3,3,3		16 EA	9 EA	Good		Remain
60	Roystonia regia	Royal Palm	18	29	41	22	Good		Remove
61	Cocos nucifera	Coconut Palm	10	26	38	20	Good		Remove
62	Chamosopogon humilis	European Fan Palm	5	11	16	10	Good		Relocate
63	Acoelohaphe wrightii	Parrot Palm	Cluster		20	10	Good		Remain
64	Phoenix reclinata	Senegal Date Palm	Cluster		22	28	Good		Remain
65	Washingtonia robusta	Washingtonia Palm	10	35	47	16	Fair		Remain
66	Ficus benjamina	Weeping Fig	84		39	25	Poor		Remain
67	Conocarpus erectus	Green Buttermwood					Poor	Reduced Canopy - Storm Damage	Remain
68	Ficus benjamina	Weeping Fig	Hedge				Poor	Overgrown Hedge	Remain
69	Roystonia regia	Royal Palm	20	32	44	18	Good		Remain
70	Ficus benjamina	Weeping Fig	Hedge				Poor	Overgrown Hedge	Remain
71	Washingtonia robusta	Washingtonia Palm	8	32	44	16	Fair		Remain
72	Washingtonia robusta	Washingtonia Palm	6	12	24	14	Fair		Remain
73	Washingtonia robusta	Washingtonia Palm	10	32	44	16	Fair		Remain
74	Conocarpus erectus	Green Buttermwood	11,11,6		32	35	10	Fair	Remain
75	Conocarpus erectus	Green Buttermwood	10		15	10	Fair		Remain
76	Washingtonia robusta	Washingtonia Palm	9	32	44	16	Fair		Remain
77	Washingtonia robusta	Washingtonia Palm	10	35	47	16	Fair		Remain
78	Washingtonia robusta	Washingtonia Palm	11	35	47	16	Fair		Remain
79	Washingtonia robusta	Washingtonia Palm	13	32	44	16	Fair		Remain
80	Conocarpus erectus	Green Buttermwood	11,13		35	25	18	Fair	Remain
81	Washingtonia robusta	Washingtonia Palm	12	39	51	16	Fair		Remain
82	Conocarpus erectus	Green Buttermwood	18,10		35	30	Fair		Remain
83	Cocos nucifera	Coconut Palm	9	31	41	18	Fair		Remain
84	Ateco catechu	Catechu Palm	5	7	16	16	Fair		Remain
85	Cocos nucifera	Coconut Palm	4	15	25	18	Fair		Remain
86	Ateco catechu	Catechu Palm	6	13	23	16	Fair		Remain
87	Cocos nucifera	Coconut Palm	8	16	26	18	Fair		Remain
88	Conocarpus erectus	Green Buttermwood	Hedge				Fair	Overgrown Hedge	Remain

2



NOTES:

- THE APPROXIMATE LOCATION AND SIZE OF THE EXISTING TREES/PALMS WITHIN THE PROJECT LIMITS HAVE BEEN COLLECTED FROM A SITE VISIT BY THE LANDSCAPE ARCHITECT AND THE EXISTING PROPERTY SURVEY PREPARED BY: MARFEL SURVEYORS, INC. 300 SW 134TH WAY SUITE 401-E. PEMBROKE PINES, FL 33027 Ph: 954.404.0141
- EXISTING TREES TO REMAIN TO BE PROTECTED DURING CONSTRUCTION - SEE EXISTING TREE PROTECTION FENCE DETAIL CITY OF HOLLYWOOD - SHEET L-01
- TREE REMOVAL AND TREE RELOCATION REQUIRE PERMIT FROM THE CITY OF HOLLYWOOD. CONTRACTOR SHALL OBTAIN A TREE REMOVAL PERMIT FOR TREES/PALMS PROPOSED TO BE REMOVED, PRIOR TO DEVELOPMENT OF THE SITE.
- RELOCATION OF TREES OR PALMS SHALL BE DONE IN COMPLIANCE WITH STANDARDS SET FORTH IN THE MOST RECENTLY PUBLISHED EDITION OF THE AMERICAN NATIONAL STANDARDS INSTITUTE ANSI A-300 STANDARDS. THIS REQUIREMENT INCLUDES ALL PROCEDURES, TECHNIQUES, STANDARDS FOR MINIMUM ROOT BALL SIZE, AND ANY OTHER STANDARDS INCLUDED IN ANSI A-300 STANDARDS.

LEGEND

- (X) TREE NUMBER
- (+) EXISTING TREE TO REMAIN
- (Circle with cross) EXISTING PALM TO REMAIN
- (Circle with dot) EXISTING PALM TO BE RELOCATED
- (Circle with slash) EXISTING PALM TO BE REMOVED
- (---) TREE PROTECTION FENCE
- (---) BUILDING & HARDSCAPE FOOTPRINT (IMPROVEMENTS)

GRAPHIC SCALE
NORTH 0° 20° 40° 60°

Sunshine State One Call 811
Know what's below. Call before you dig.



LANDSCAPE ARCHITECTURE
URBAN PLANNING
LAND DESIGN
2308 E. OAKLAND PARK BLVD. SUITE 300
FORT LAUDERDALE, FLORIDA 33308 USA
TEL: 954.533.8209
www.andresmontero.com

Rev.	Date	Description
1	7/31/24	REVISED DRAWING TO ADDRESS IPPE COMMENTS
2	8/8/24	REVISED DRAWING TO ADDRESS IPPE COMMENTS FROM 8/7/2024
3		
4		
5		
6		

Sheet Title:
**PROPERTY SURVEY
TREE DISPOSITION
PLAN**

Project Name:
PRIVATE RESIDENCE
914 S. SOUTHLAKE DR.
HOLLYWOOD, FL 33019

DATE OF FLORIDA REGISTRATION: 04/20/03

Date: JULY 9, 2024
Scale: 1" = 20'-0"
Drawn By: AEM/MEP
Approved By: AEM
Project No: 202412

Sheet Number:
L-01

PERMIT SET - NOT FOR CONSTRUCTION



LANDSCAPE ARCHITECTURE
 LAND PLANNING
 URBAN DESIGN
 2309 E. OAKLAND PARK BLVD. SUITE 300
 FORT LAUDERDALE, FLORIDA 33308 USA
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Rev.	Date	Description
1	7/31/24	REVISED DRAWING TO ADDRESS IPHS COMMENTS
2	8/8/24	REVISED DRAWING TO ADDRESS IPHS COMMENTS FROM 8/7/2024
3		
4		
5		
6		

ILLUSTRATIVE SITE PLAN

PRIVATE RESIDENCE
 914 S. SOUTHLAKE DR.
 HOLLYWOOD, FL 33019

Project Name:
 ANDRES MONTERO, P.C.A., A.S.A.
 STATE OF FLORIDA
 REGISTRATION: LA669673
 SEAL / SIGNATURE

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Date: JULY 9, 2024
 Scale: 1" = 20'-0"
 Drawn By: AEM/MEP
 Approved By: AEM
 Project No: 202412

Sheet Number:
L-02

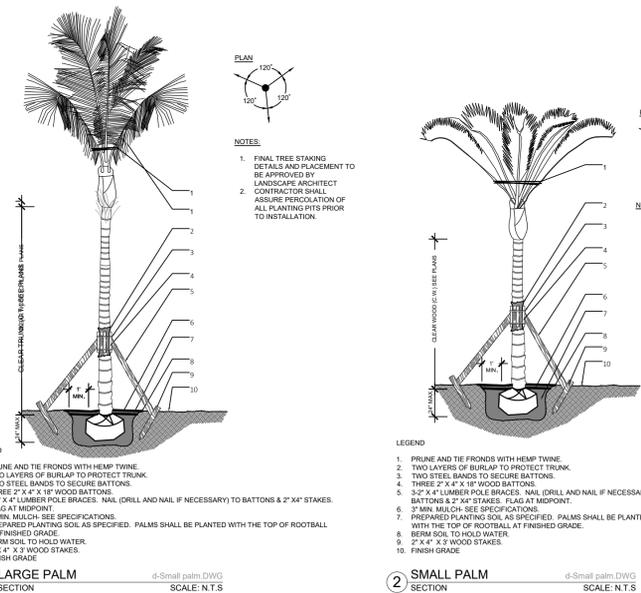
	REQUIRED	PROVIDED
NET LOT AREA: 48,785 SF		
MINIMUM PERVIOUS AREA 40%	19,514 SF	19,937 SF (40.86%)

- NOTES:
- ALL LANDSCAPING SHALL BE WARRANTED FOR 1 YEAR AFTER FINAL INSPECTION.
 - NO LANDSCAPE SUBSTITUTIONS SHALL BE MADE WITHOUT THE CITY OF HOLLYWOOD APPROVAL.
 - TREE REMOVAL AND TREE RELOCATION REQUIRE PERMIT FROM THE CITY OF HOLLYWOOD
 - RELOCATION OF TREES OR PALMS SHALL BE DONE IN COMPLIANCE WITH STANDARDS SET FORTH IN THE MOST RECENTLY PUBLISHED EDITION OF THE AMERICAN NATIONAL STANDARDS INSTITUTE ANSI A-300 STANDARDS. THIS REQUIREMENT INCLUDES ALL PROCEDURES, TECHNIQUES, STANDARDS FOR MINIMUM ROOT BALL SIZE, AND ANY OTHER STANDARDS INCLUDED IN ANSI A-300 STANDARDS.
 - TREE PROTECTION FENCE MIGHT BE TEMPORARILY ADJUSTED AT TREES TO ALLOW FOR CONSTRUCTION OF HARDSCAPE AND BUILDINGS.
 - WITHIN VISIBILITY TRIANGLES, LANDSCAPE SHALL BE MAINTAIN TO PROVIDE CLEAR VISIBILITY WITHOUT OBSTRUCTION FROM AN AREA BETWEEN 2 FEET AND 6.5 FEET ABOVE AVERAGE ELEVATION OF THE INTERSECTION.
 - EXISTING 100% AUTOMATIC IRRIGATION SYSTEM TO BE ADJUSTED/REPAIR WITHIN THE AREA OF THE PROPOSED IMPROVEMENTS TO ACCOMMODATE NEW PLANTINGS.

- LEGEND
- TREE PROTECTION FENCE
 - HEDGES
 - SHRUBS & GROUNDCOVERS
 - SOD
 - ⊗ NUMBER EXISTING PALM RELOCATED

TREE #	BOTANICAL NAME	COMMON NAME	DBH (in.)	CLEAR TRUNK (ft.)	HEIGHT (ft.)	SPR. (ft.)	CONDITION
EXISTING TREES TO BE RELOCATED							
13	Bismarckia nobilis	Bismarckia Palm	9	11	19	15	Good
50	Phoenix sylvestris	Silvester Date Palm	20	8	18	20	Good
62	Chamaerops humilis	European Fan Palm	5	11	16	10	Good
EXISTING TREES TO REMOVED							
14	Washingtonia robusta	Washingtonia Palm	14	28	40	16	Fair
15	Washingtonia robusta	Washingtonia Palm	11	28	40	16	Fair
60	Roystonea regia	Royal Palm	18	29	41	22	Good
61	Cocos nucifera	Coconut Palm	10	26	38	20	Good
Total Palms to be mitigated			4 PALMS				

Note: Tree mitigation to be addressed by a monetary contribution to the city's tree trust fund by the property owner.



PERMIT SET - NOT FOR CONSTRUCTION