

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 08/21/2023

Location Address: 1834-1840 Mayo Street

Lot(s): 1 & 2 Block(s): 2 Subdivision: Alden Manor

Folio Number(s): 5142 2233 0110 & 5142 2233 0120

Zoning Classification: FH-2 Land Use Classification: R.A.C.

Existing Property Use: Single Family Sq Ft/Number of Units: 1,446 s.f. & 1,049 s.f.

Is the request the result of a violation notice? () Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: _____

Number of units/rooms: 49 units Sq Ft: 45,000 s.f.

Value of Improvement: 8,000,000 Estimated Date of Completion: July 2025

Will Project be Phased? () Yes ☒ No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: 1840 Mayo Street LLC

Address of Property Owner: 1833 S. Ocean Drive #1209 Hallandale Beach, Blvd #1209

Telephone: 954-274-5651 Fax: _____ Email Address: lazar081@yahoo.com

Name of Consultant/Representative/Tenant (circle one): Luis La Rosa- Registered Architect

Address: 9000 Sheridan Street Suite 158, Pembroke Pines, FL 33024 Telephone: 954-862-2248

Fax: _____ Email Address: llarosa@larosaarchitects.com

Date of Purchase: 3-14-2023 Is there an option to purchase the Property? Yes () No ☒

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Angela Strimbu Date: _____

PRINT NAME: Angela Strimbu Date: 08/20/2023

Signature of Consultant/Representative: Luis La Rosa Date: _____

PRINT NAME: Luis La Rosa- Registered Architect Date: 08/20/2023

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

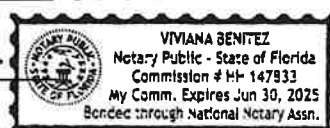
I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing Luis La Rosa to be my legal representative before the TAC-2 (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 20 day of August 2023

[Signature]
Notary Public

State of Florida

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

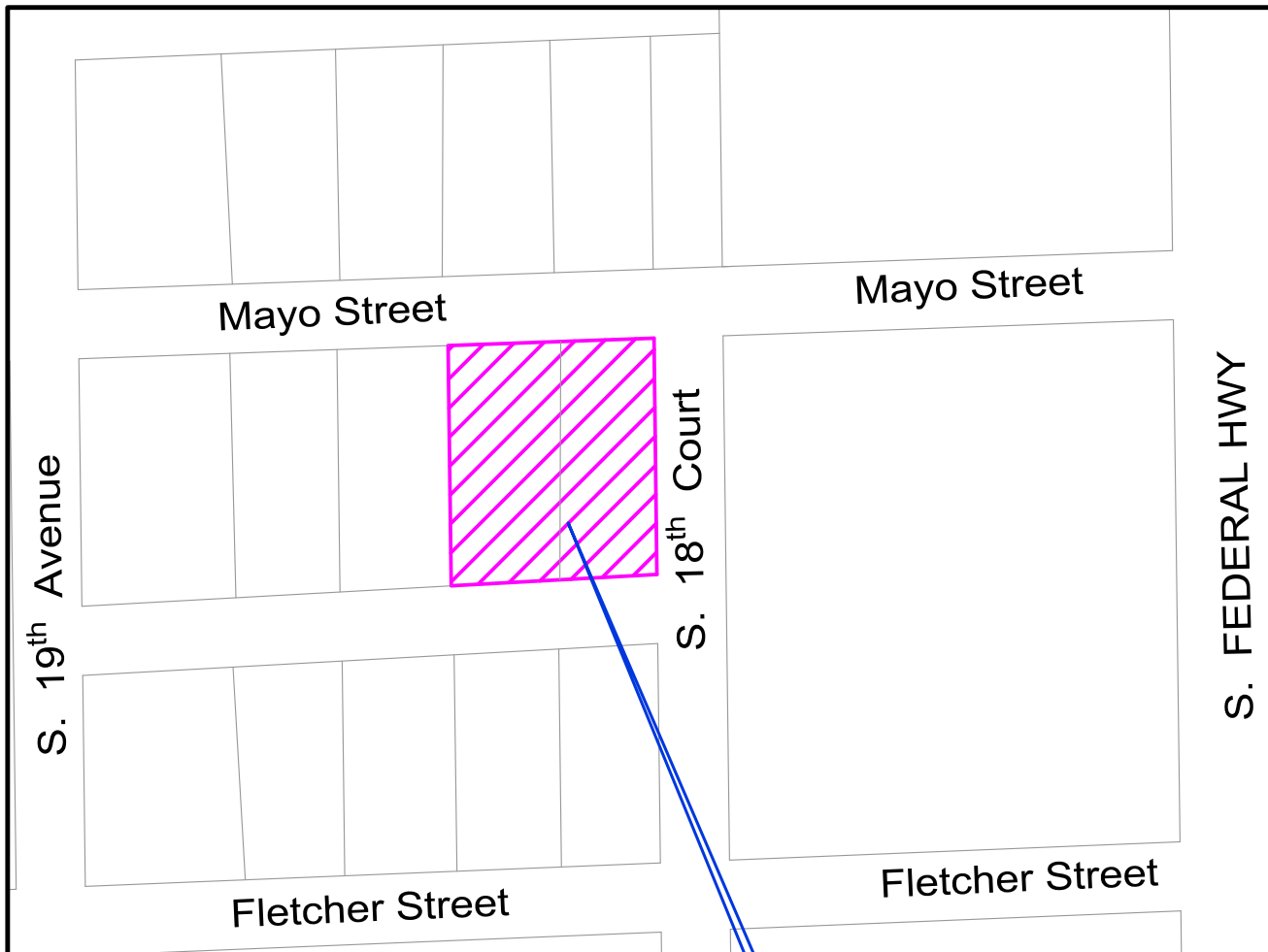
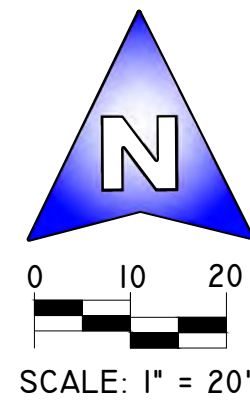


Angela Strimbu
Signature of Current Owner

Angela Strimbu
Print Name

ALTA / NSPS LAND TITLE SURVEY

A PARCEL OF LAND LYING AND BEING A PORTION OF THE NORTHWEST 1/4 OF SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST,
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.



1 VICINITY MAP

Not to Scale



Project Location

2 PROPERTY ADDRESS

1834-1840 Mayo Street, Hollywood, Florida 33020
Folio parcel: 5142 22 33 0120 and 5142 22 33 0110

3 LEGAL DESCRIPTION

Lot 1, Block 2, **ALDEN MANOR**, according to the plat thereof, as recorded in Plat Book 24, Page 8, of the Public Records of Broward County, Florida.
Lot 2, Block 2, **ALDEN MANOR**, according to the plat thereof, as recorded in Plat Book 24, Page 8, of the Public Records of Broward County, Florida.

4 AREA TABULATION

Net Area of subject parcel: 16 321.33 SqFt (+/-0.37 Acres)
Gross Area of subject parcel: 20 216.92 SqFt (+/-0.46 Acres)

5 ZONING INFORMATION

Zoning District: FH-2 (as per City Hollywood Zoning Map)
<https://map.gridics.com/us/fl/hollywood>

7 CERTIFICATIONS

I hereby certify to: 1840 May Street LLC

That this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Optional Items 1, 2, 3, 4, 5, 6, Zoning information as per City of Hollywood zoning map (Zoning report not provided), 7 (a), 8, 11 (utilities by observed aboveground visible evidence), 13, 17, 18 and 19 of Table A thereof.

Date of Plat or Map: May 3rd, 2023

Odalys C. Bello-Iznaga
Professional Surveyor & Mapper # 6169
State of Florida

6 SURVEYOR'S REPORT

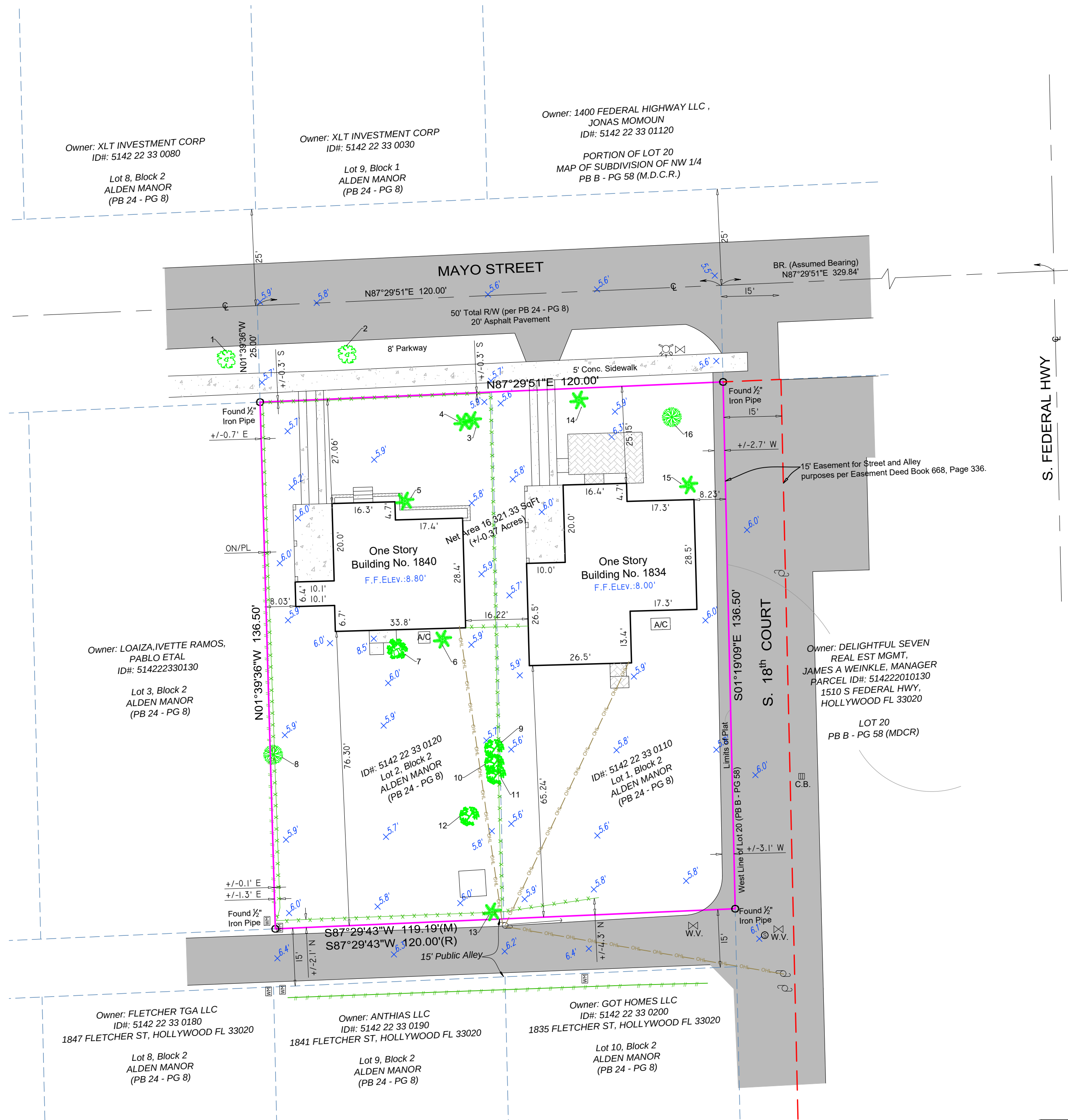
- This ALTA/NSPS Survey has been made on the ground on May 3rd, 2023 under my supervision and direction employing adequate instrumentation and survey personnel. Proper survey principles, field procedures and techniques were applied while conducting this survey. Field findings results and its relationship to instruments of record investigated are represented herein.
- This map of an ALTA Survey has been prepared in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by the American Land Title Association (ALTA) and the National Society of Professional Surveyors (NSPS) effective February 23rd, 2021.
- This ALTA Survey correctly depicts the lands contained within the subject property as herein described and accurately shows the location and type of all visible above-ground improvements, evidence of utilities and any other relevant matters affecting these lands. Underground utilities and footings have not been located. The legal description of this property prepared by the undersigned Professional Land Surveyor forms a mathematically closed geometric figure. Distances and directions along the boundary lines as reestablished based on the horizontal position of survey monuments and control points recovered and traversed during the field site work are in consistency with distances and directions from the recorded plats used for the preparation of this survey.
- Except as listed herein there are no other visible easements, right of ways and servitudes of which the undersigned has knowledge of that might affect these lands and there are no other observable above ground potential encroachments by the improvements on this property upon adjoining parcels, streets, easements or right of ways. Excavation and/or a private utility locate request might be necessary for a detailed location of underground utilities.
- There is no observable evidence of site usage as solid waste dump, swamp and/ or sanitary landfill on this lot and/or on the immediately adjoining parcels.
- This property has access to and from a duly dedicated and accepted public Right of Way: Mayo Street - along the North property line and a platted 15 feet public alley- along the South property line. Additionally this property abuts a 15 feet Easement for Street and Alley purposes, as per Easement Deed Book 668, Page 336, for S 18th Court, along the East property line.
- No evidence of recent earth moving work, building construction or additions have been observed in the process of conducting the field work.
- No evidence of wetland field designations were present at the time of the survey.
- FLOODPLAIN INFORMATION:** As scaled from Federal Insurance Rate Map (FIRM) of Community No. 125113 (City of Hollywood), Panel 0732, Suffix H, revised on August 18th, 2014, this real property falls in Zone "X". As defined by FEMA, Zone "X" is an area of minimal flood hazard, outside the Special Flood Hazard Area (SFHA) and higher than the elevation of the 0.2-percent-annual-chance flood. Mandatory flood insurance purchase requirements and floodplain management standards apply. This determination is obtained directly from FEMA - the undersigned assumes no responsibility for any flooding occurrence in this area.
- HORIZONTAL LOCATION AND ACCURACY:** The lands surveyed had been located on the ground with a precision that, based on a direct distance tested between two (2) corners, does not exceed the maximum allowable Relative Positional Precision for ALTA/NSPS Land Title Survey, which equals 2 cm (0.07 feet) plus 50 parts per million. The accuracy obtained by field measurements (redundant measurements) and office calculations meets and exceeds the customary minimum horizontal feature accuracy (linear) for an urban area being equal to 1 foot in 7,500 feet.
- VERTICAL CONTROL AND ACCURACY:** The elevations as shown are referred to the North American Vertical Datum of 1988 (NAVD 1988). Official Broward County Single Average Conversion Factor (ACF) from NGVD 1929 to NAVD 1988 datum is (-) 1.51 feet or (minus 1.51 feet). The closure in feet, as computed, meets the standard of plus or minus 0.05 feet times the squared root of the loop distance in miles. Elevation are based on a level loop from and to the following official Bench Marks:
Bench Mark # 1: National Geodetic Survey Bench Mark BM 1135, Elevation = 10.770 feet (NGVD29)
Bench Mark # 2: National Geodetic Survey Bench Mark BM 1080, Elevation = 9.130 feet (NGVD29)
- This ALTA Survey meets and exceeds the minimum Standards of Practice as set forth by the Florida Board of Land Surveyors and Mappers, in the applicable provisions of Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. As defined in Section 5J-17.050 this survey is a "Boundary Survey".
- This survey map and the copies thereof, are not valid without the original signature and raised seal on the digital signature of the undersigning Florida Licensed Land Surveyor & Mapper. Additions or deletions to this survey map are prohibited.
- The intended plotting scale for this survey map is 1": 20'. Data is expressed in U.S. Survey Foot.
- References to "Deed", "Record" or "Plat" pertain to documents and instruments of record as part of the pertinent information used for this survey work. These lands are subject to additional restrictions of record that were not furnished to the undersigning registered surveyor or are not reflected on the Commitment for Title Insurance provided. The instruments of record investigated in the preparation of this survey are recorded in the Public Records of Broward County, unless otherwise shown.
- North arrow direction is based on an assumed Meridian. The bearing structure depicted herein is based on the assumed bearing along the Center Line of Mayo Street being N87°29'51"E.
- While preparing this survey the undersigned examined and reviewed the Ownership and Encumbrance Report (O&E), dated May 19th, 2023 prepared by Carusi Law that searched public records from January 9th, 1948 thru April 21th, 2023 at 11:00 AM. According to said O&E Report there are no active encumbrances that affect this parcel. The following restrictions of record were listed therein:

Item # 1: Restrictions contained in Deed Book 613, Page 149, Public Records of Broward County, Florida. (Restrictions are of blanket nature, not plotted herein).
Item #2: Lien recorded against Lazar Holdings LLC in Instrument Number 117818204, Public Records of Broward County, Florida. (Not a survey related matter).

TREE LOCATION CHART					
Tree #	Common Name	Scientific Name	Trunk Diameter at Breast Height DBH(in)	Approximate Height (ft)	Approximate Canopy (ft)
1	Live Oak	Quercus Virginiana	14	30	22
2	Live Oak	Quercus Virginiana	12	28	18
3	Palm	Arecaceae	6	10	6
4	Palm	Arecaceae	6	10	6
5	Palm	Arecaceae	4	32	6
6	Palm	Arecaceae	15	15	10
7	Mango Tree	Mangifera Indica	6	12	12
8	Unidentified	Unidentified	6	15	12
9	Royal Poinciana	Delonix regia	4	18	10
10	Royal Poinciana	Delonix regia	14	18	13
11	Royal Poinciana	Delonix regia	4	18	10
12	Royal Poinciana	Delonix regia	13	20	14
13	Palm	Arecaceae	4	30	6
14	Palm	Arecaceae	12	12	10
15	Palm	Arecaceae	12	20	16
16	Unidentified	Unidentified	48	40	32

* Dimensions are approximate. The identification of the trees shown herein has not been based on a Certified Arborist Report.

9 IMPROVEMENTS SKETCH



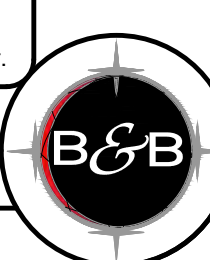
LEGEND, SYMBOLS & ABBREVIATIONS	
CONCRETE (CONC.) WOOD DECK COVERED AREA PAVERS SLAB / DRIVEWAY TILE SLAB / DRIVEWAY ASPHALT PAVEMENT CHAIN LINK FENCE (CLF) WOOD FENCE (WF) IRON METAL BARS FENCE (IF) PLASTIC FENCE (PF) METAL FENCE (MF) OVERHEAD UTILITY LINES	WATER VALVE POWER POLE GUY ANCHOR WATER METER CONC. LIGHT POLE WELL ELECTRIC BOX STREET SIGN SANITARY MANHOLE DRAINAGE MANHOLE MANHOLE FIRE HYDRANT CABLE BOX (CATV) FPL TRANSFORMER CATCH BASIN OR INLET EXISTING ELEVATION PERMANENT REFERENCE MONUMENT PROPERTY CORNER PERMANENT CONTROL POINT AIR CONDITIONER PAD BASE BUILDING LINE BENCH MARK BEARING REFERENCE CALCULATED CONCRETE BLOCK STRUCTURE CENTER LINE
CITY OF MIAMI MUNICIPAL ATLAS X-X ELEVATION ENCROACHMENT FINISHED FLOOR ELEVATION (FF) FIELD MEASURED ELEVATION (FM) MONUMENT LINE OFFICIAL RECORD BOOK PLAT BOOK POINT OF CURVATURE POINT OF COMPOUND CURVE POINT OF INTERSECTION POINT OF REVERSE CURVE	PSM = PROFESSIONAL SURVEYOR AND MAPPER PT = POINT OF TANGENCY R = RECORD RSE = RANGE TWO = TOWNSHIP TBN = TEMPORARY BENCH MARK TWS = TOWNSHIP MDCR = MIAMI-DADE COUNTY RECORDS BCR = BROWARD COUNTY RECORDS

Additions and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authenticated electronic signature and seal of the undersigning Florida licensed Surveyor and Mapper.

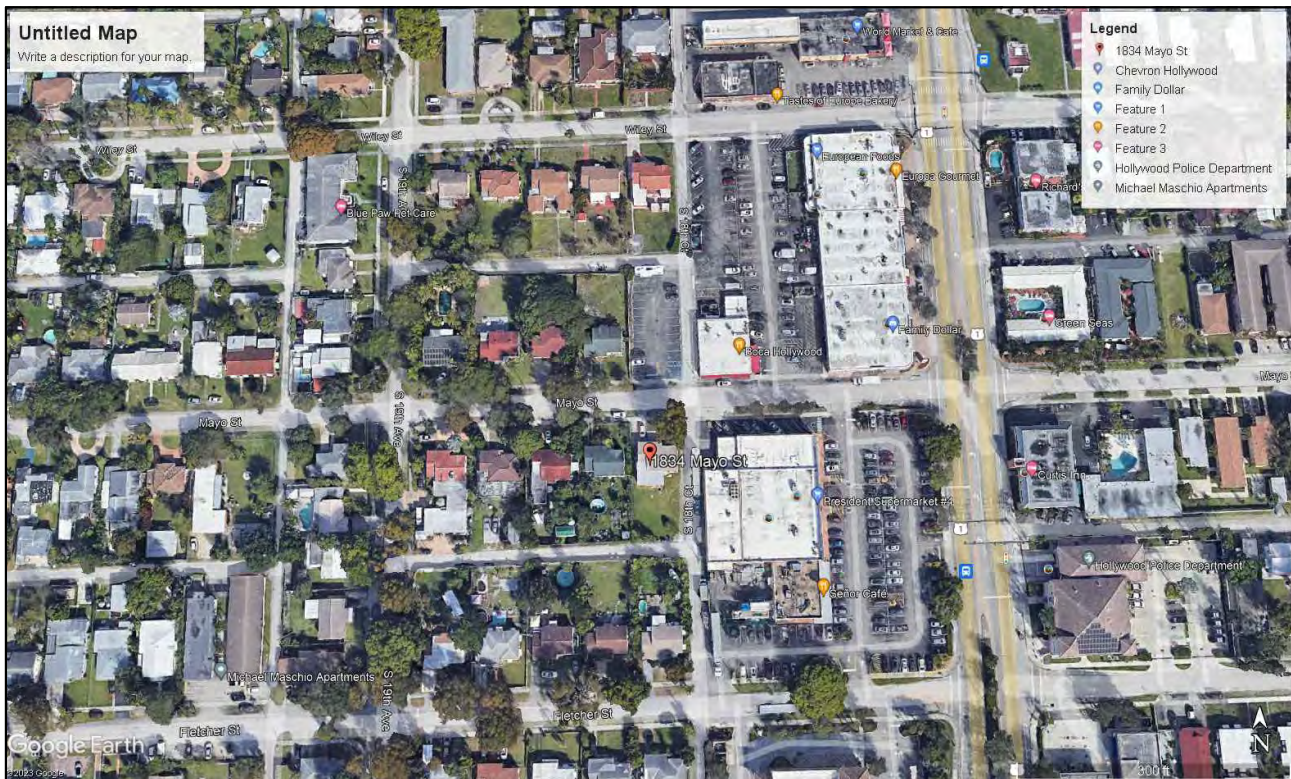
QA/QC BY: OCBI	DRAWN BY: UR
FIELD DATE: 05/03/2023	UPDATED DATE: N/A

8 PROJECT NUMBER 22980 Page 1 of 1

BELLO & BELLO LAND SURVEYING
12230 SW 131 AVENUE • SUITE 201 • MIAMI FL 33186
LBH7262 • Phone: 305.251.9606 • Fax: 305.251.6057
e-mail: info@belloland.com • www.bellolandsurveying.com



PROPOSED 49-UNITS MULTI FAMILY DEVELOPMENT FOR::
1840 MAYO STREET LLC
1834-1840 MAYO STREET
HOLLYWOOD, FLORIDA 33020



LOCATION MAP



SHEET INDEX

COVER SHEET	
SURVEY	
SP-1.1	LOCATION PLAN GENERAL NOTES SITE DATA SITE PLAN
SP-1.2	BUILDING CALCULATION DUMPSTER DETAIL TYP. HANDICAP DETAIL TYP. PARKING DETAIL DIAGRAM F.A.R. CALCULATION DIAGRAM PERVIOUS & IMPERVIOUS.
SP-1.3	SITE ELEVATIONS
C-1.1	PAVING, GRADING, WATER & SEWER PLAN
C-1.2	GENERAL DETAILS
C-1.3	GENERAL DETAILS
C-1.4	PAVEMENT MARKINGS PLAN
C-1.5	EROSION CONTROL PLAN
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A-1.1	FIRST FLOOR PLAN
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A-1.3	3RD, 4TH & 5TH TYP. FLOOR PLAN
A-1.4	SIX FLOOR PLAN & SUN DECK
A-1.5	SEVEN FLOOR PLAN
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A-1.7	ENLARGED UNITS
A-1.8	ENLARGED UNITS
A-2.1	NORTH ELEVATION
A-2.2	WEST ELEVATION
A-2.3	SOUTH ELEVATION
A-2.4	EAST ELEVATION

TAC-1 MEETING DATE: June 19, 2023
TAC-2 MEETING DATE: September 5, 2023



LLR Architects, Inc.

ARCHITECTURE & PLANNING

12980 SW 52 STREET
MIRAMAR, FLORIDA 33027

(O)- 305-403-7926
(F)- 305-403-7928
E-MAIL: LLAROSA@LAROSAARCHITECTS.COM

AYLWARD ENGINEERING
CIVIL ENGINEERING

3222 RIDGE TRACE
DAVIE, FLORIDA 33328

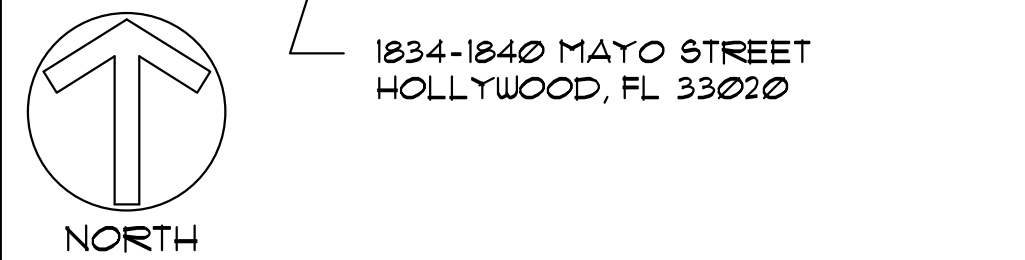
(O)- 954-424-5852
E-MAIL: AYLWARDENGINEER@GMAIL.COM

BRANDON M. WHITE- ASLA
LANDSCAPE ARCHITECTURE

1708 SW JOY HAVEN ST
PORT ST. LUCIE, FL 34983
(O)-772-834-1357







SCALE: N.T.S.

WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2020, (6TH EDITION), FLORIDA FIRE PREVENTION CODE 2020-6TH, EDITION AND ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.

2. THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT.

3. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

4. THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERRABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.

5. TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.

6. ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.

7. ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.

8. BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANY AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF WORK OF THE CONTRACTOR.

9. ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, MATCHING AND ALIGNING ALL SURFACED WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFRESHED AS REQUIRED TO LIKE-NEW CONDITION.

10. THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COSTS TO THE OWNER. SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).

11. ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.

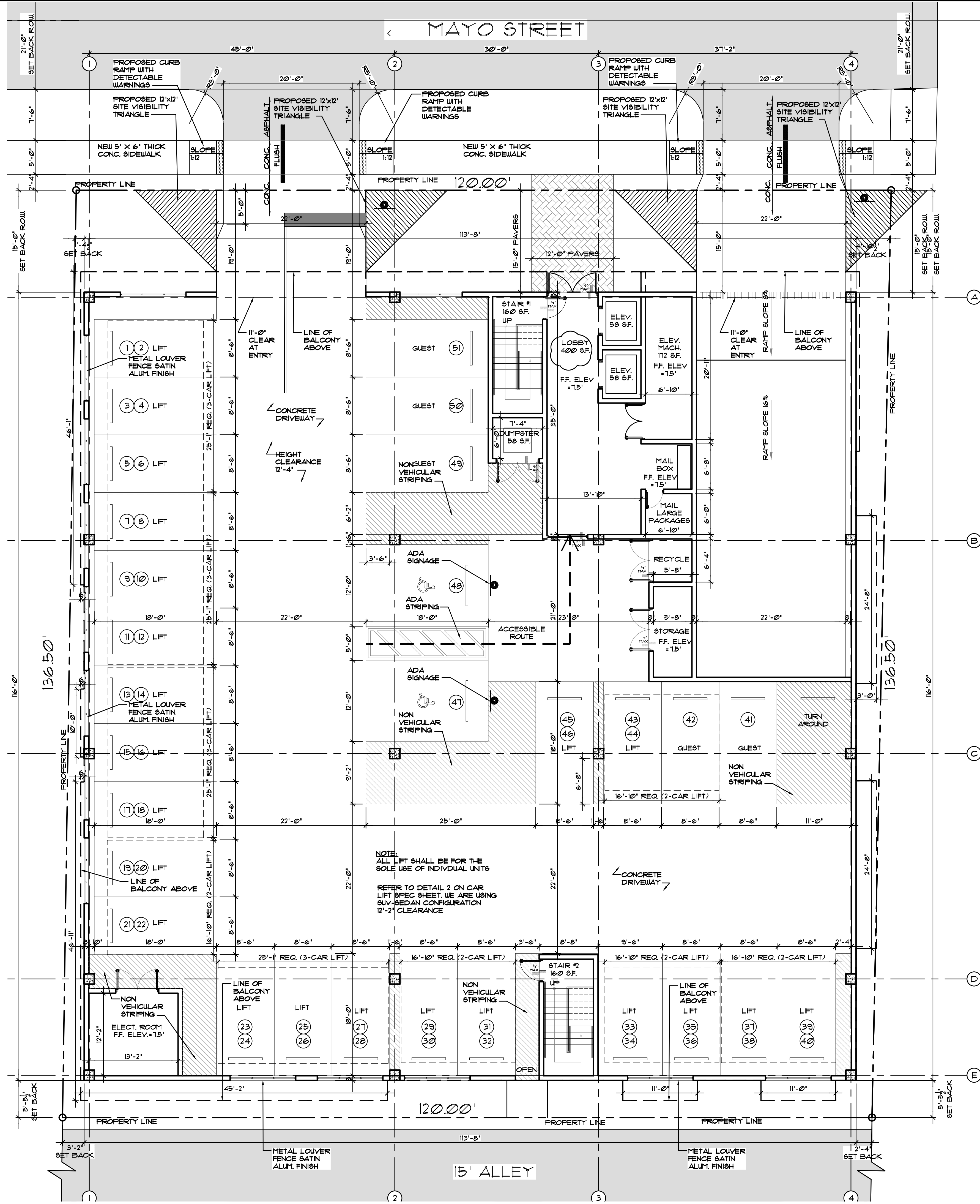
12. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.

13. SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS.

2 GENERAL NOTES

3 PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"



SITE CALCULATIONS:

TOTAL NET AREA:	16,321.33 SF. OR 0.37 ACRES
TOTAL GROSS AREA:	20,216.92 SF. OR 0.46 ACRES
BUILDING FOOTPRINT AREA	13,696 SF.
DRIVEWAY	528 SF.
CONC. SLAB	90 SF.
TOTAL IMPERVIOUS AREA=	14,314 SF. (87.8%)
TOTAL PERVIOUS AREA=	2,007.33 SF. (12.2%)

F.A.R. CALCULATIONS:

16,321.33 SF. X 3.0 =	48,963.99 SF.
-----------------------	---------------

1ST FLOOR (NOT DUMPSTER, ELEV. MACHINE, MAIL ROOM, RECYCLE ROOM, STORAGE & ELECTRICAL ROOM)	620 SF.
2ND FLOOR (NOT TRASH CHUTE, MAIL ROOM, RECYCLE ROOM, STORAGE & ELECTRICAL ROOM)	1,445 SF.
3RD FLOOR (NOT TRASH CHUTE, JAN. & TERRACE)	11,739 SF.
4TH FLOOR (NOT TRASH CHUTE, JAN. & OPEN)	11,739 SF.
5TH FLOOR (NOT TRASH CHUTE, JAN. & OPEN)	11,739 SF.
6TH & 7TH FLOOR (DUPLEX) (NOT TRASH CHUTE, OPEN & SUN DECK)	8,626 SF.

F.A.R. PROVIDED	45,968 SF.
F.A.R. ALLOWED	48,963.99 SF.

ZONING DESIGNATION: DH-3

PARKING CALCULATIONS:

	REQUIRED	PROVIDED
(3)-(2)STUDIOS= 4X1= 3 PARKING SPACES	3.0	3.0
24-(1) BEDROOM= 24X1= 24 PARKING SPACE	24.0	24.0
22-(2) BEDROOMS=22X1.5= 33 PARKING SPACE	33	44.0 SEE NOTE-1
1-GUEST SPACE FOR EVERY 10 UNITS-(49)=	5.0	5.0
TOTAL PARKING SPACES	65	78

TOTAL LIFTS USED = 22
ADA PARKING STALLS - 3 REQUIRED/ 4-PROVIDED

NOTE:
1. LIFTS ARE DESIGNATED TO EACH 2-BEDROOM UNIT

SETBACK CALCULATIONS:

	REQUIRED	PROVIDED
ALL-FRONTAGES	15'	15'-0"
REAR	5'	5'-6"
SIDE-INTERIOR	0'	3'-0"
SIDE-ALLEY	5'	5'-0"
AT GRADE PARKING SETBACKS		N- 19'-0" S- 6'-2" E- 7'-2" W- 3'-8"

HEIGHT CALCULATIONS:

	REQUIRED	PROVIDED
MAX. HEIGHT ALLOWED:	10 STORIES OR 140'	81'-9' TOP OF ROOF
LAND. USE DESIGNATION: RAC		

- NOTE:
1. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW & MAY BE SUBJECT TO BOARD APPROVAL.
2. THE MAX LIP AT GROUND FLOOR DOORS IS 1/2". ANY LIP GREATER THAN 1/4" WILL BE BEVELED TO MEET A.D.A. REQUIREMENT.
3. REFER TO DETAIL 2 ON SPECIFICATION SHEET FOR CAR LIFTS. WE ARE USING AM S.U.V.-SEDAN CONFIGURATION WHICH REQUIRES A 12'-2" CLEARANCE.
4. MAX. FOOT CANDLE LEVEL @ ALL PROPERTY LINES (MAX. 5' ALLOWED).
5. OWNER TO INSTALL ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE, PLEASE SEE ORDINANCE 02016-02.
6. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & LAND DEVELOPMENT REGULATION.
7. OWNER TO PROVIDE HIGH ALBEDO MATERIALS TO LIMIT ABSORPTION OF REDUCE URBAN HEAT ISLAND EFFECT.
8. MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL).
9. A BI-DIRECTIONAL AMPLIFIER IS REQUIRED FOR THIS BUILDING DEPENDING PER NFPA 1, 1110 AND BROWARD AMENDMENT 1182
10. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN
11. LAND SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.

GREEN BUILDING PRACTICE

THIS PROJECT REQUIRES A GREEN BUILDING CERTIFICATION. WE WILL BE PROVIDING A CERTIFICATION THROUGH THE GREEN BUILDING COUNCIL.

4 SITE DATA



LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIRAMAR, FLORIDA 33027

(OFF.) - 305-403-7926
(CELL) - 786-543-0851
E-MAIL: LLAROSAMIRAROSAARCHITECTS.COM

Luis LaRosa-Registered
Architect
AR#-0017852
AA#-26003693

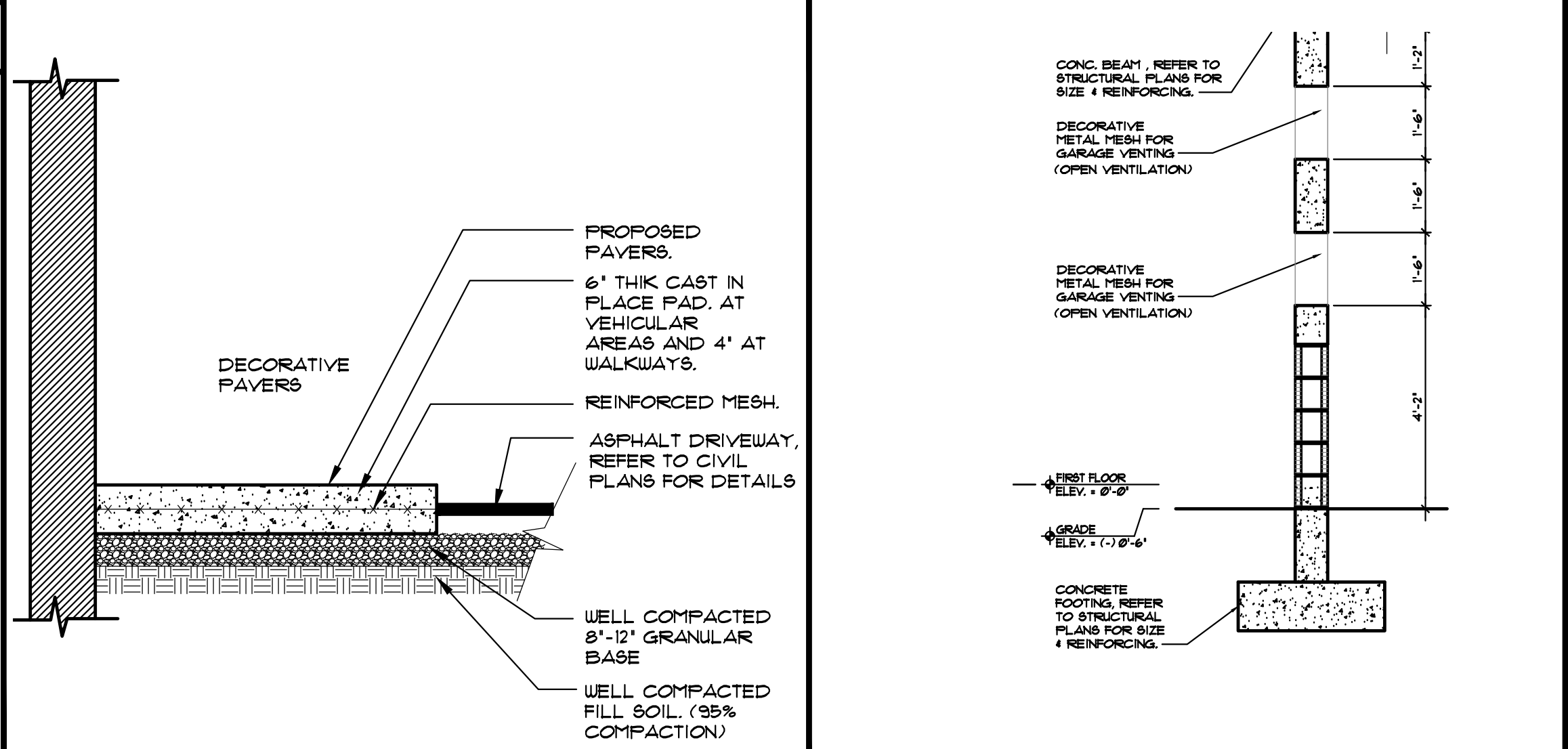
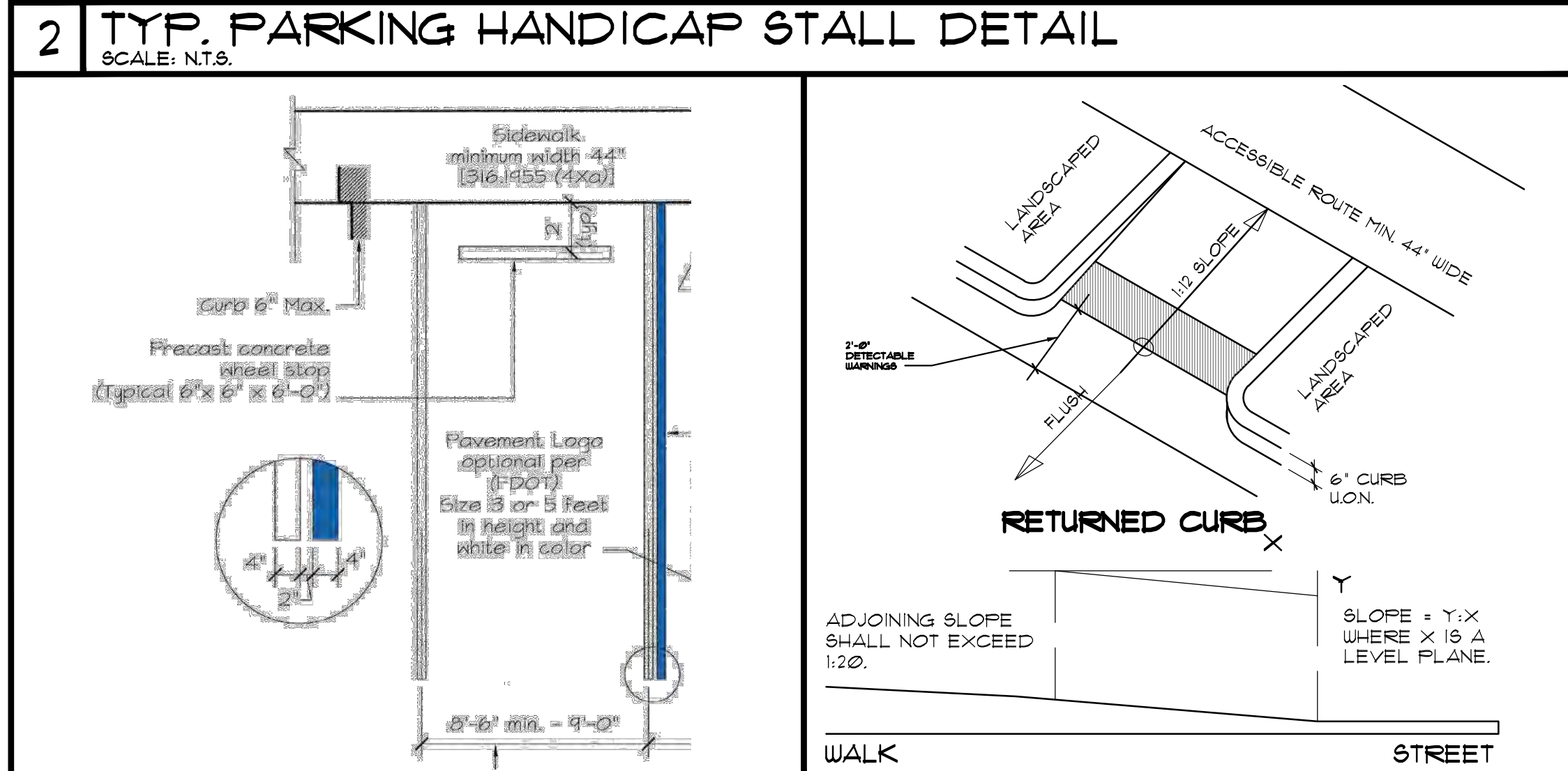
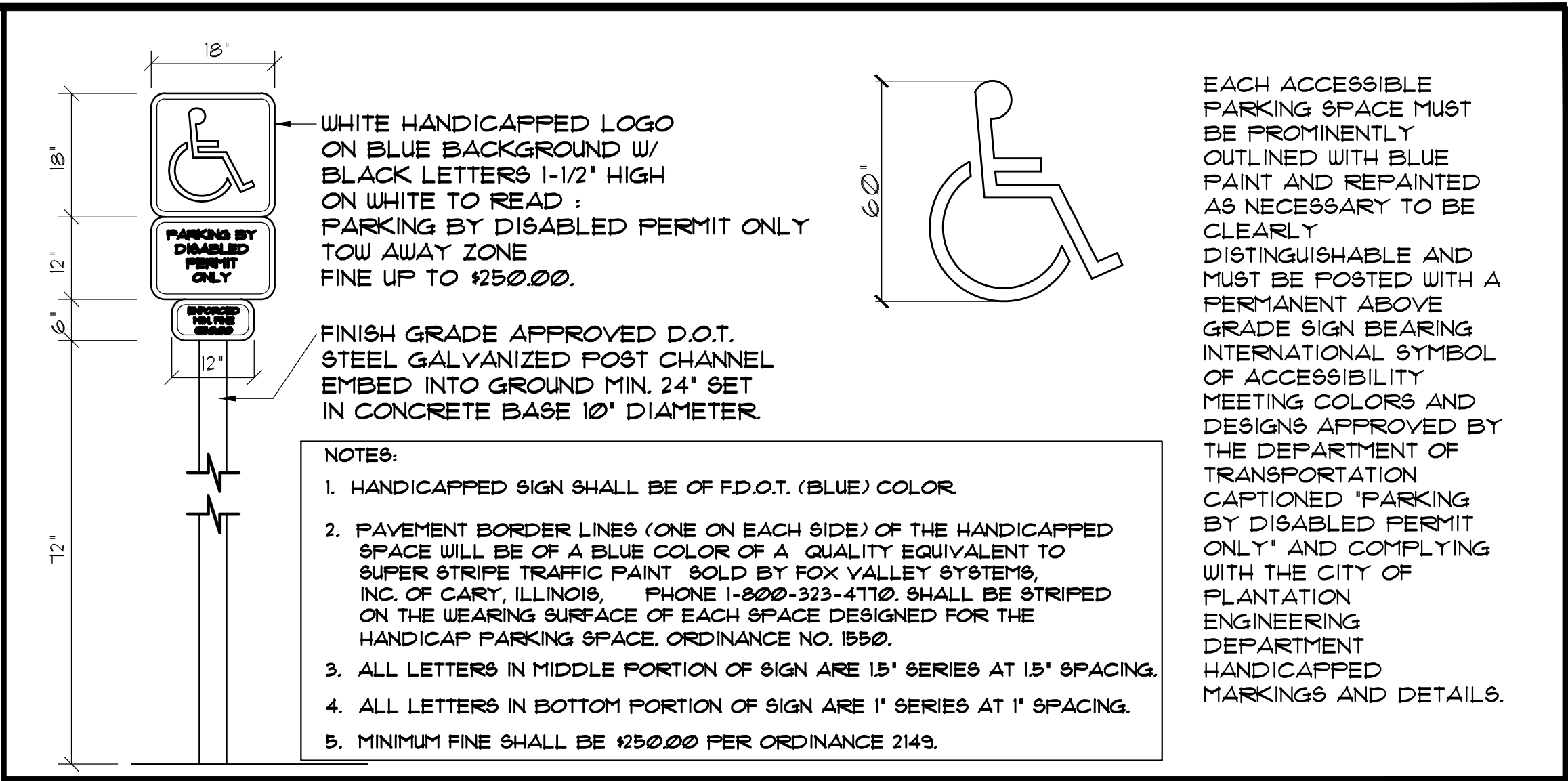
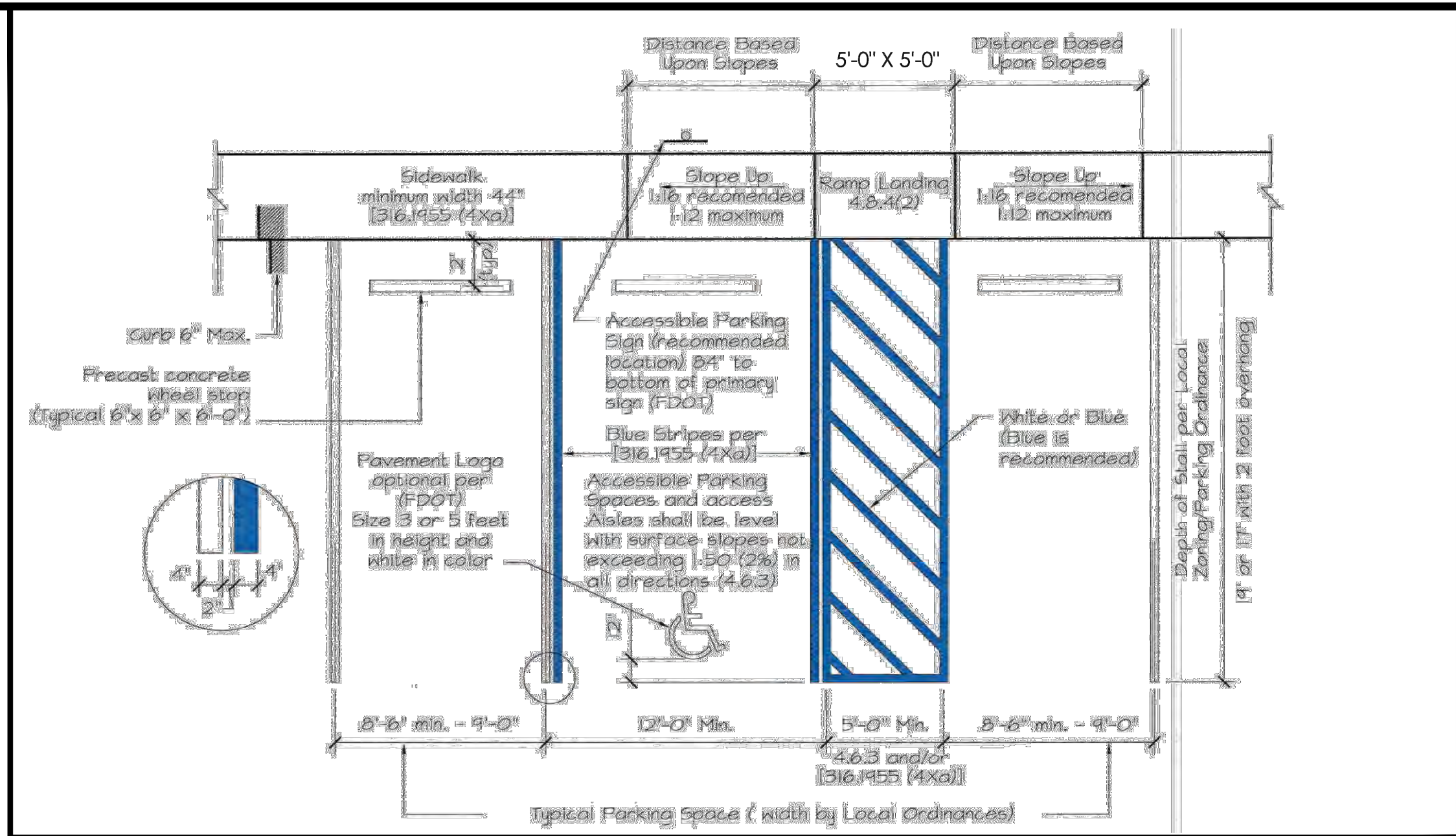
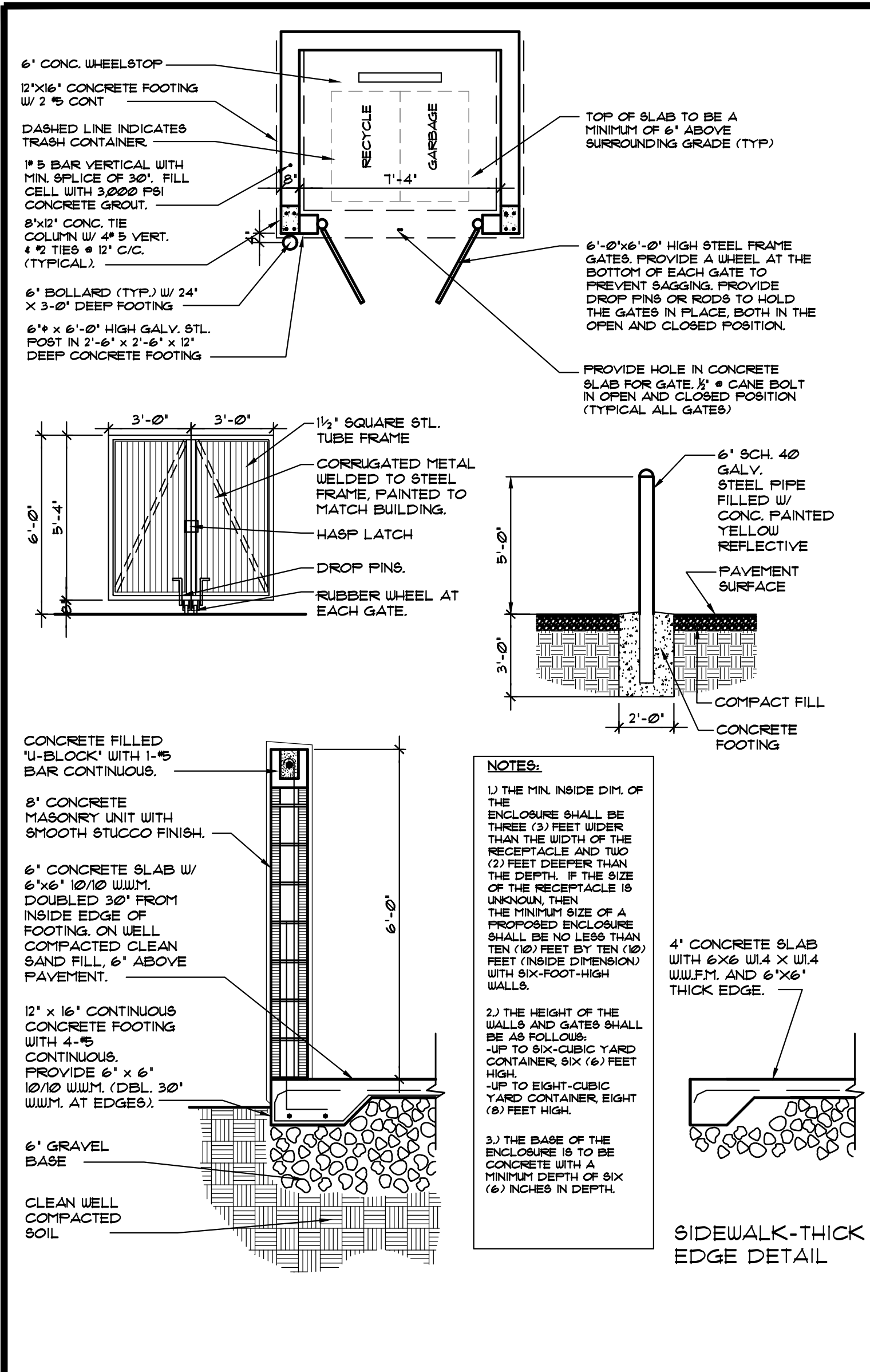
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PROPOSED 49-UNIT MULTI-FAMILY DEVELOPMENT FOR:
1840 MAYO STREET LLC
1834-1840 MAYO STREET
HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

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CHECKED	L.L.R
DATE	04-10-2023
SCALE	AS NOTED
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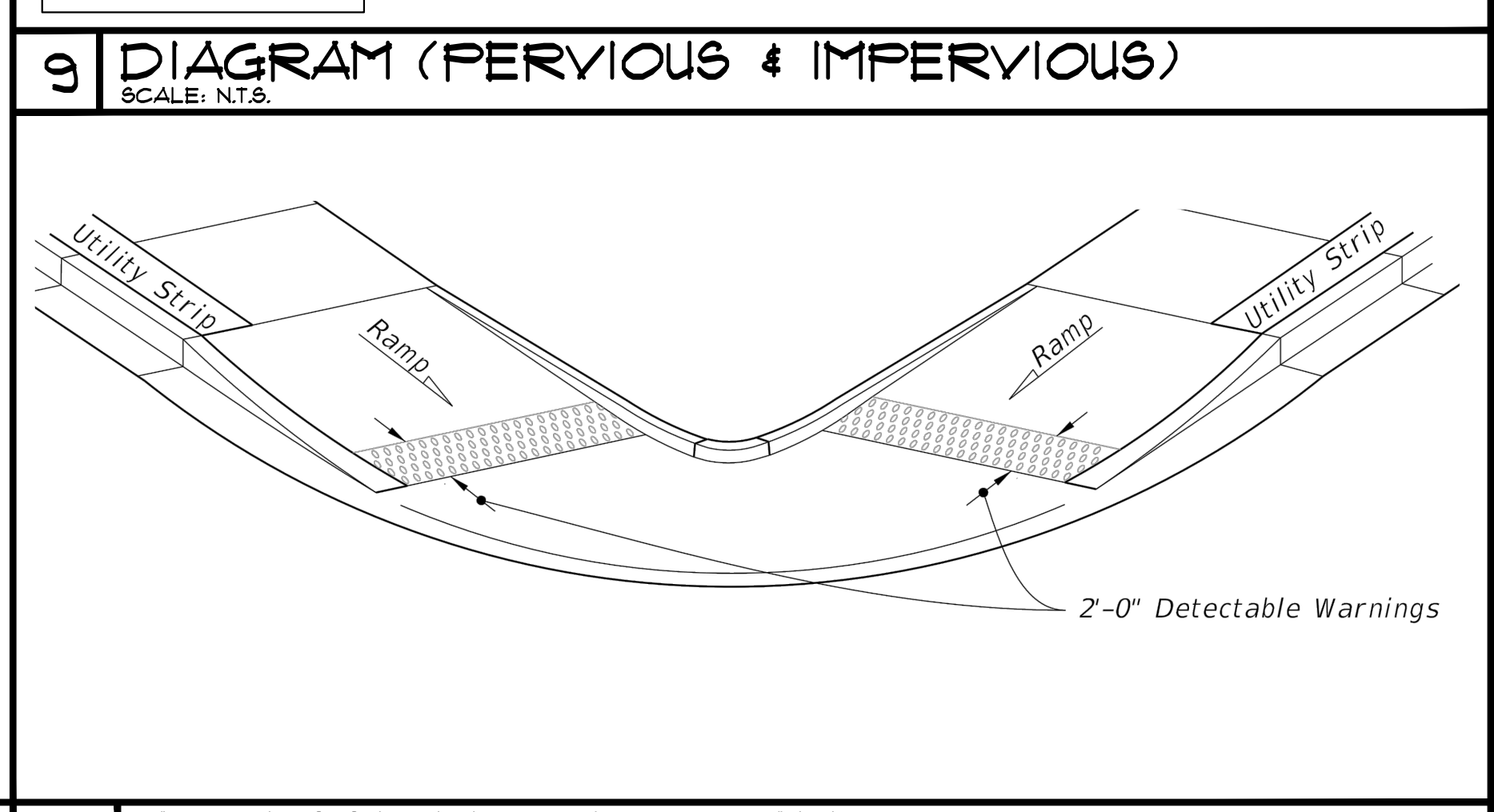
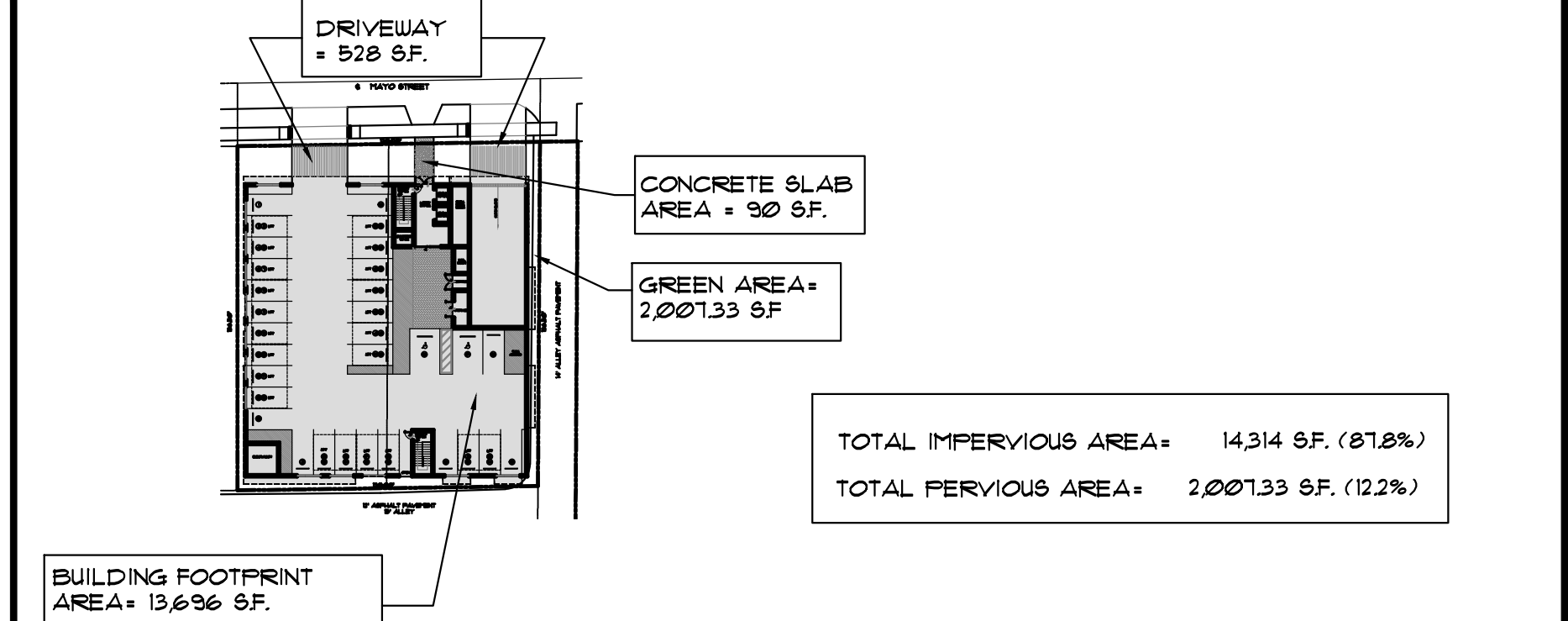
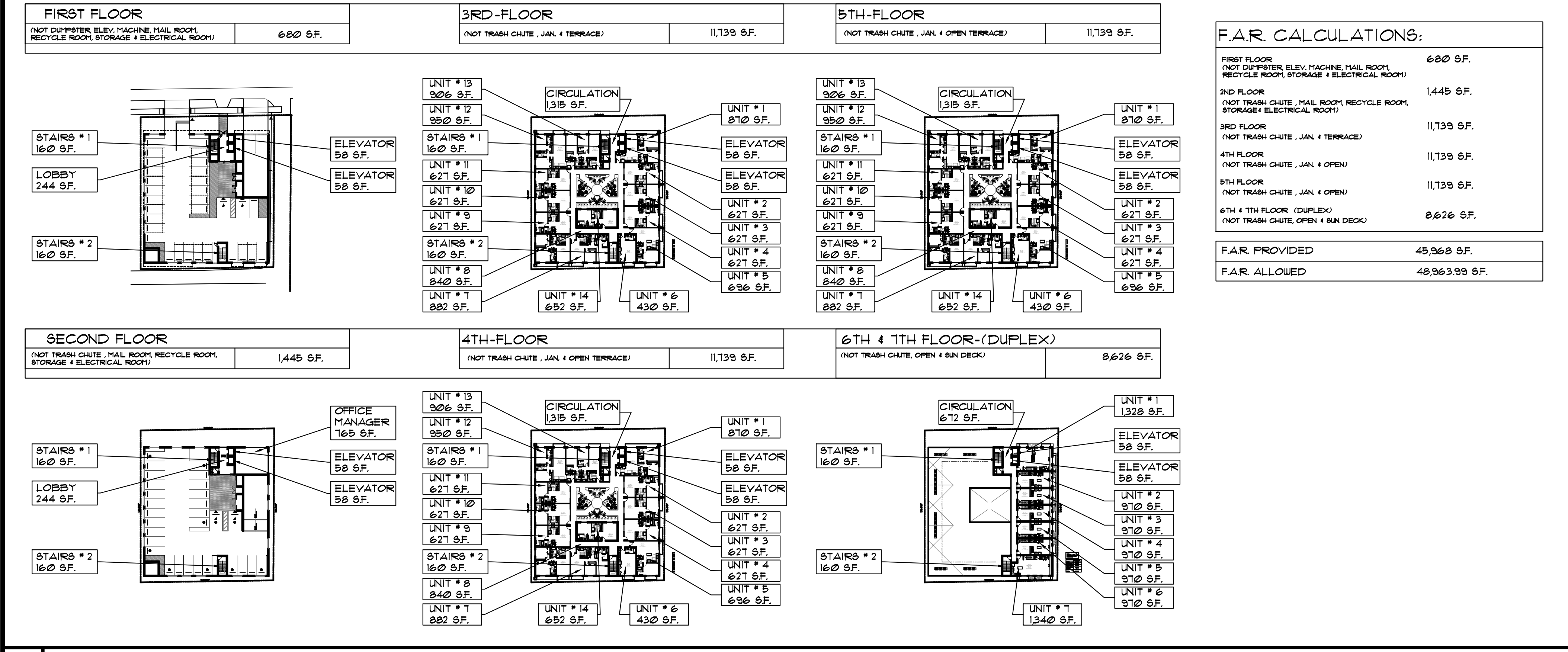
1 DUMPSTER ENCLOSURE DETAIL
SCALE: 1/4"=1'-0"

2 TYP. PARKING STALL DET.
SCALE: N.T.S.

4 ACCESSIBLE CURB RAMP
SCALE: N.T.S.

6 WALKWAY DETAIL
SCALE: N.T.S.

7 DET. OF SCREEN WITH WALL
SCALE: N.T.S.



8 DIAGRAM (F.A.R. CALCULATIONS)
SCALE: N.T.S.

10 ACCESSIBLE CURB RAMP
SCALE: N.T.S.

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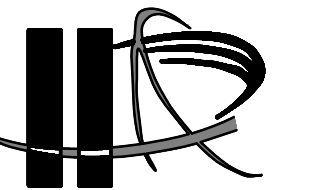


1 | PROPOSED SOUTH ELEVATION/SITE ELEVATION

SCALE: 3/32"=1'-0"

BUILDING CALCULATION														
	UNIT # 1 (TWO BED.)	UNIT # 2 (ONE BED.)	UNIT # 3 (ONE BED.)	UNIT # 4 (ONE BED.)	UNIT # 5 (ONE BED.)	UNIT # 6 (STUDIO.)	UNIT # 7 (TWO BED.)	UNIT # 8 (TWO BED.)	UNIT # 9 (ONE BED.)	UNIT # 10 (ONE BED.)	UNIT # 11 (ONE BED.)	UNIT # 12 (TWO BED.)	UNIT # 13 (TWO BED.)	UNIT # 14 (TWO BED.)
1ST. FLOOR COMMON AREA=	-	-	-	-	-	-	-	-	-	-	-	-	-	680 SF.
2ND. FLOOR COMMON AREA=	-	-	-	-	-	-	-	-	-	-	-	-	-	680 SF.
OFFICE MANAGER=	-	-	-	-	-	-	-	-	-	-	-	-	-	765 SF.
TOTAL GROSS AREA=														1,445 SF.
3RD. FLOOR LIVING AREA=	870 SF.	627 SF.	627 SF.	627 SF.	636 SF.	430 SF.	882 SF.	840 SF.	627 SF.	627 SF.	627 SF.	950 SF.	906 SF.	652 SF.
BALCONY AREA=	96 SF.				33 SF.	33 SF.	33 SF.	33 SF.				33 SF.	33 SF.	
TOTAL UNIT AREA=	966 SF.	627 SF.	627 SF.	627 SF.	729 SF.	463 SF.	915 SF.	873 SF.	627 SF.	627 SF.	627 SF.	983 SF.	939 SF.	652 SF.
COMMON AREA=														1,751 SF.
TOTAL GROSS AREA=														12,333 SF.
4TH. FLOOR LIVING AREA=	870 SF.	627 SF.	627 SF.	627 SF.	636 SF.	430 SF.	882 SF.	840 SF.	627 SF.	627 SF.	627 SF.	950 SF.	906 SF.	652 SF.
BALCONY AREA=	96 SF.				33 SF.	33 SF.	33 SF.	33 SF.				33 SF.	33 SF.	
TOTAL UNIT AREA=	966 SF.	627 SF.	627 SF.	627 SF.	729 SF.	463 SF.	915 SF.	873 SF.	627 SF.	627 SF.	627 SF.	983 SF.	939 SF.	652 SF.
COMMON AREA=														1,751 SF.
TOTAL GROSS AREA=														12,333 SF.
5TH. FLOOR LIVING AREA=	870 SF.	627 SF.	627 SF.	627 SF.	636 SF.	430 SF.	882 SF.	840 SF.	627 SF.	627 SF.	627 SF.	950 SF.	906 SF.	652 SF.
BALCONY AREA=	96 SF.				33 SF.	33 SF.	33 SF.	33 SF.				33 SF.	33 SF.	
TOTAL UNIT AREA=	966 SF.	627 SF.	627 SF.	627 SF.	729 SF.	463 SF.	915 SF.	873 SF.	627 SF.	627 SF.	627 SF.	983 SF.	939 SF.	652 SF.
COMMON AREA=														1,751 SF.
TOTAL GROSS AREA=														12,333 SF.
6TH. + 7TH FLOOR DUPLEX=	1,303 SF.	945 SF.	945 SF.	945 SF.	945 SF.	945 SF.	1,290 SF.							
BALCONY AREA=	25 SF.	25 SF.	25 SF.	25 SF.	25 SF.	25 SF.	50 SF.							
TOTAL UNIT AREA=	1,328 SF.	970 SF.	970 SF.	970 SF.	970 SF.	970 SF.	1,340 SF.							
COMMON AREA=														1,108 SF.
TOTAL GROSS AREA=														8,626 SF.
TOTAL GROSS AREA=														47,750 SF.

2 | BUILDING CALCULATION



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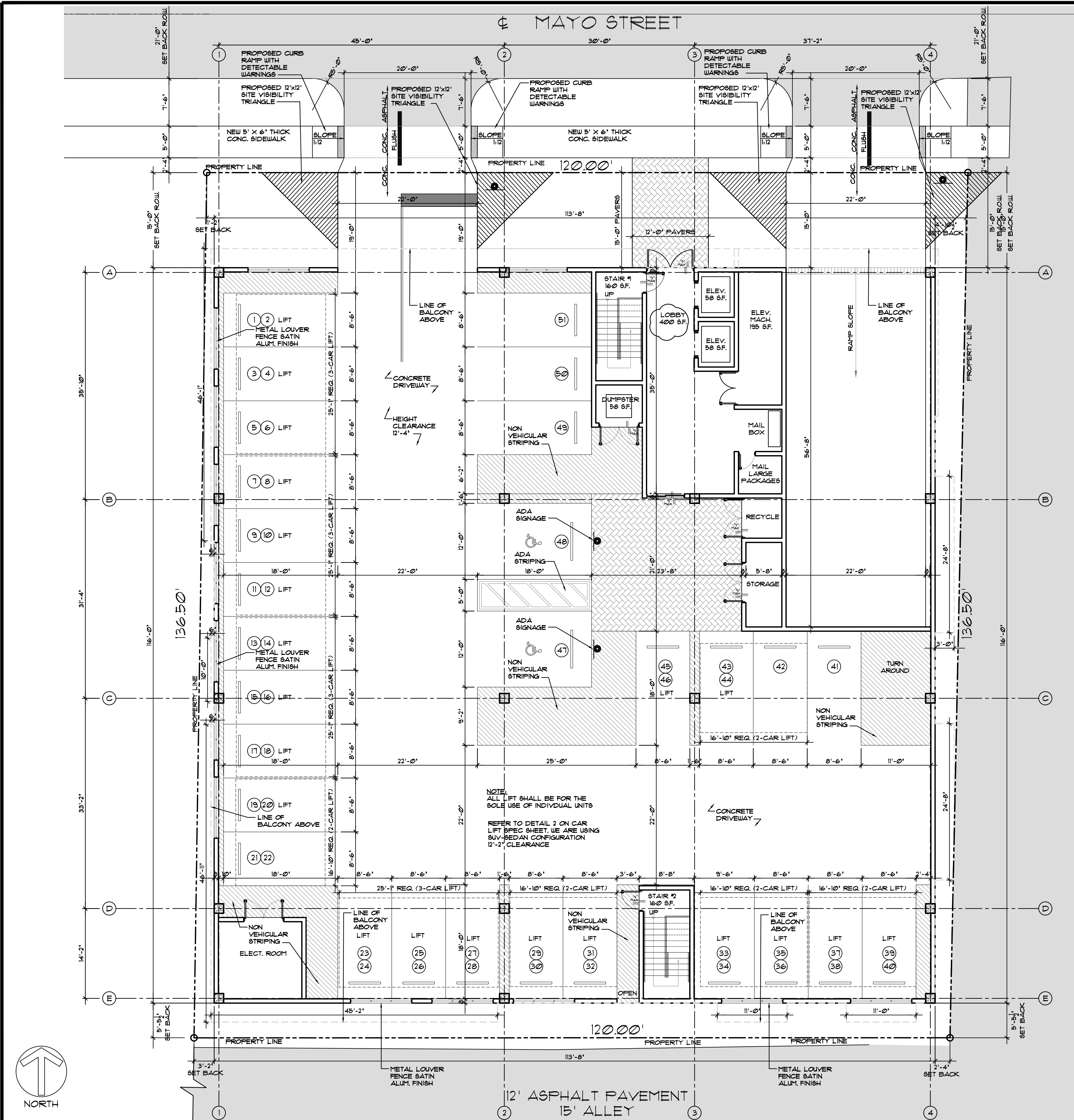
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SEAL: AR 0017852
LUIS LA ROSA

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SP-1.3

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1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

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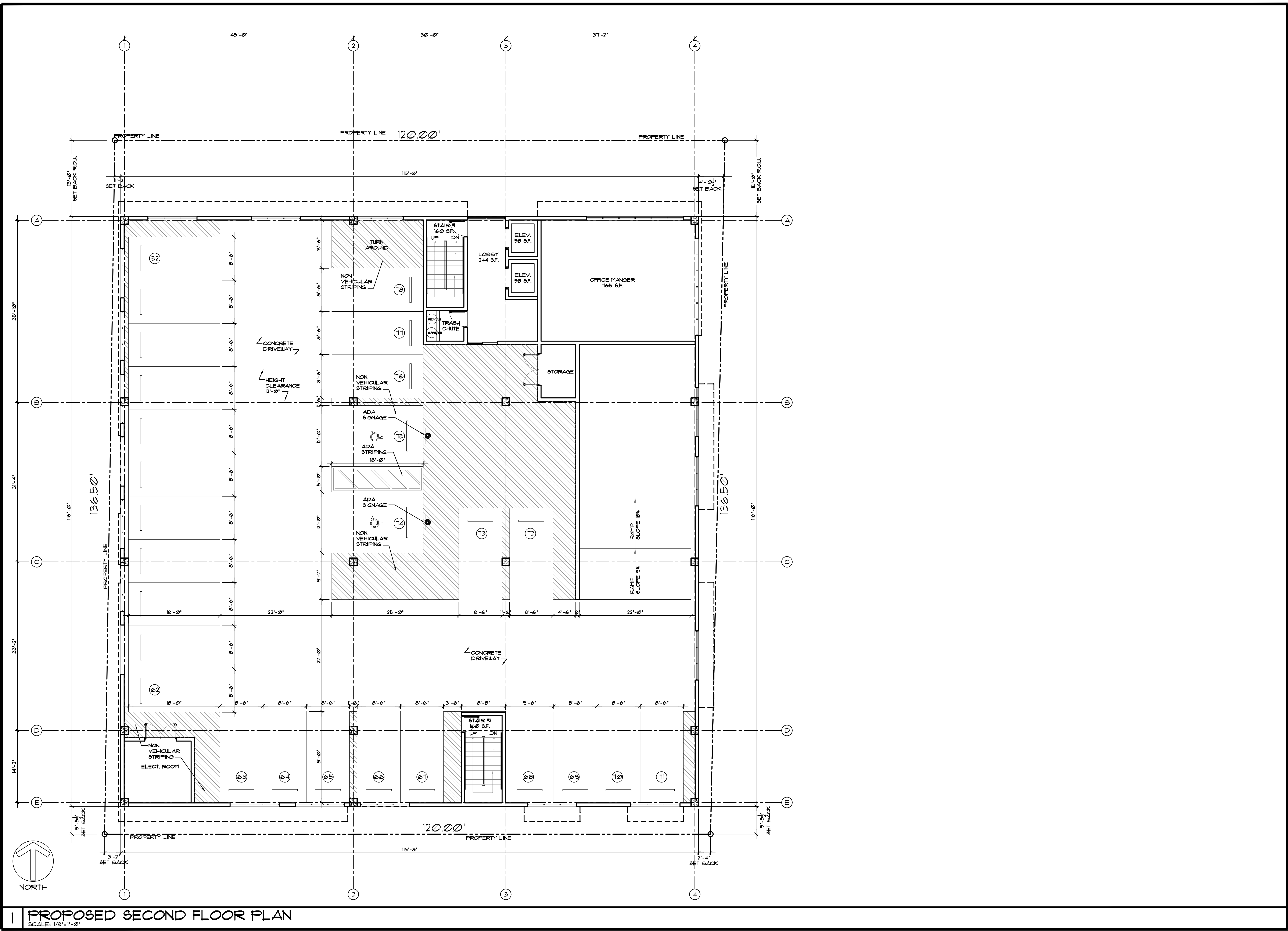
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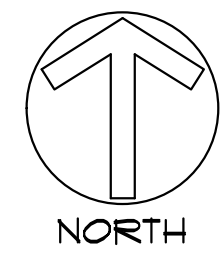
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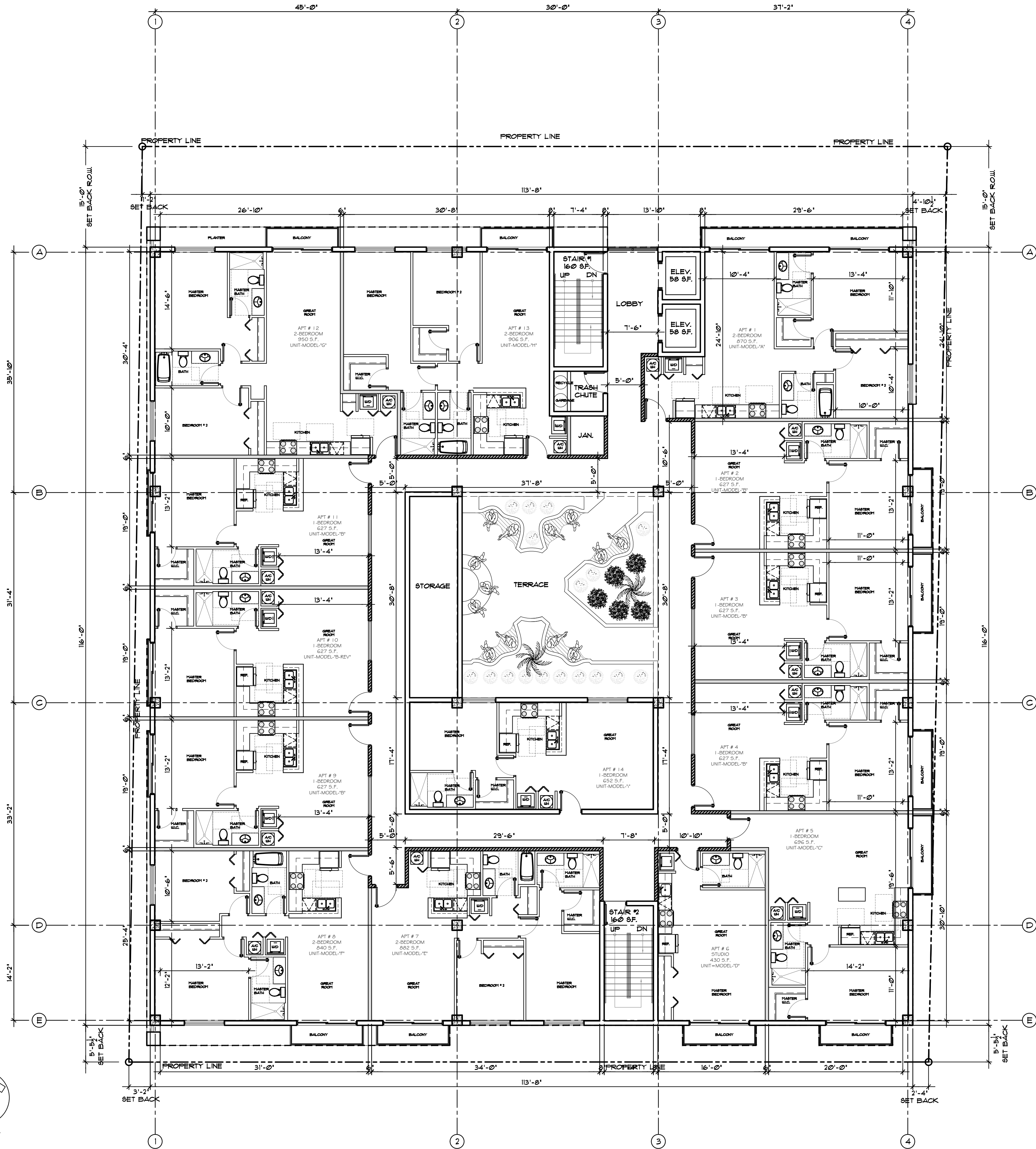
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SHEET	
A-1.2	
OF	SHEETS



1 PROPOSED 3RD, 4TH & 5TH TYP. FLOOR PLAN

SCALE: 1/8"=1'-0"



NOTE:
REFER TO SHEET A-1.1 &
A-1.2 FOR ENLARGED
PROTOTYPES

STUDY	TOTAL UNITS
1 BEDROOM	24 UNITS
2 BEDROOMS	15 UNITS
2 BEDROOMS DUPLEX	1 UNITS
TOTAL	40 UNITS



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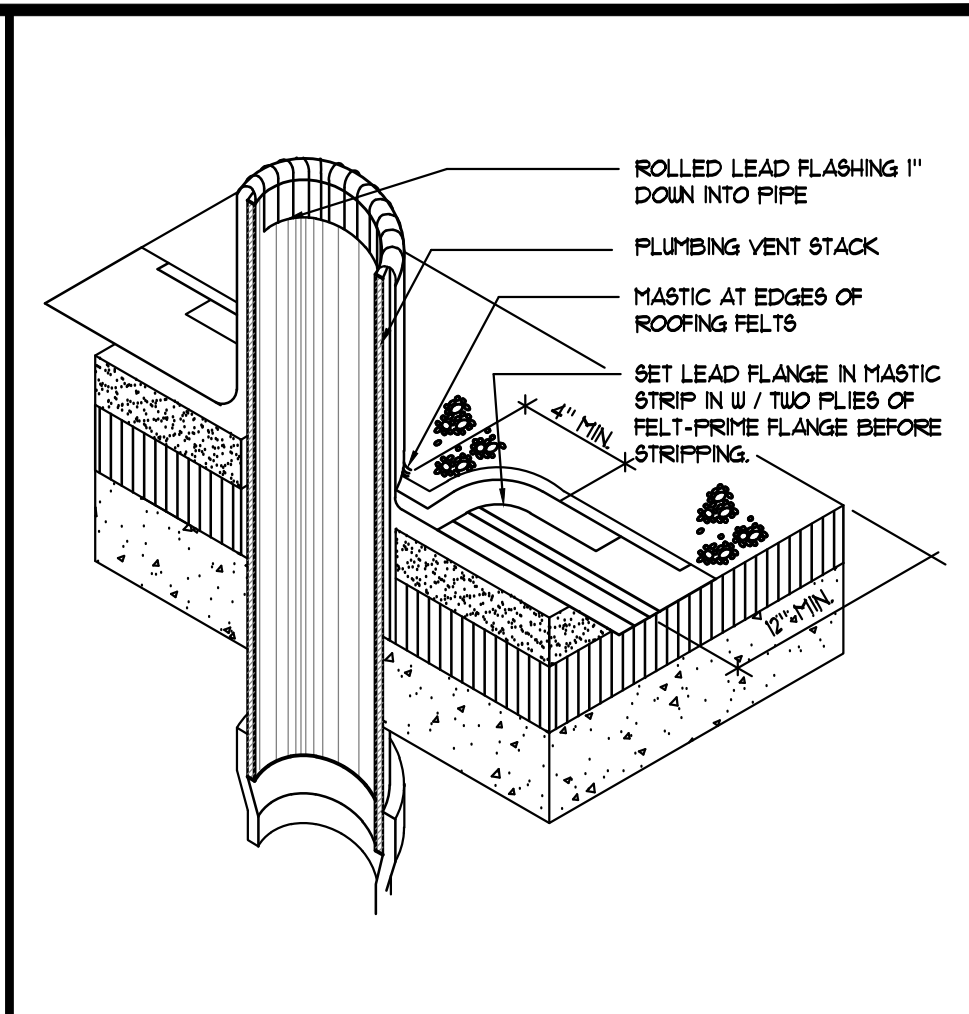
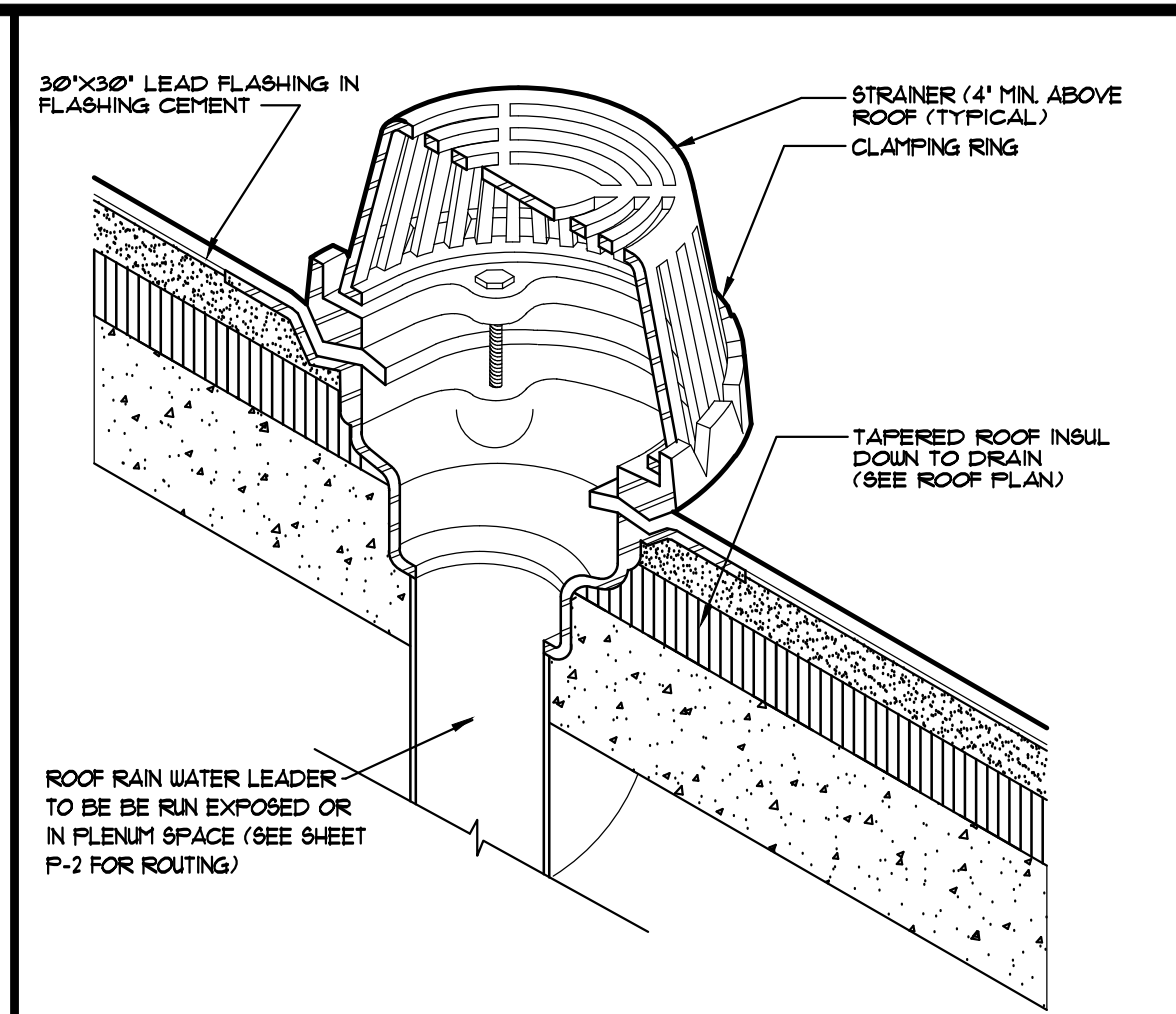
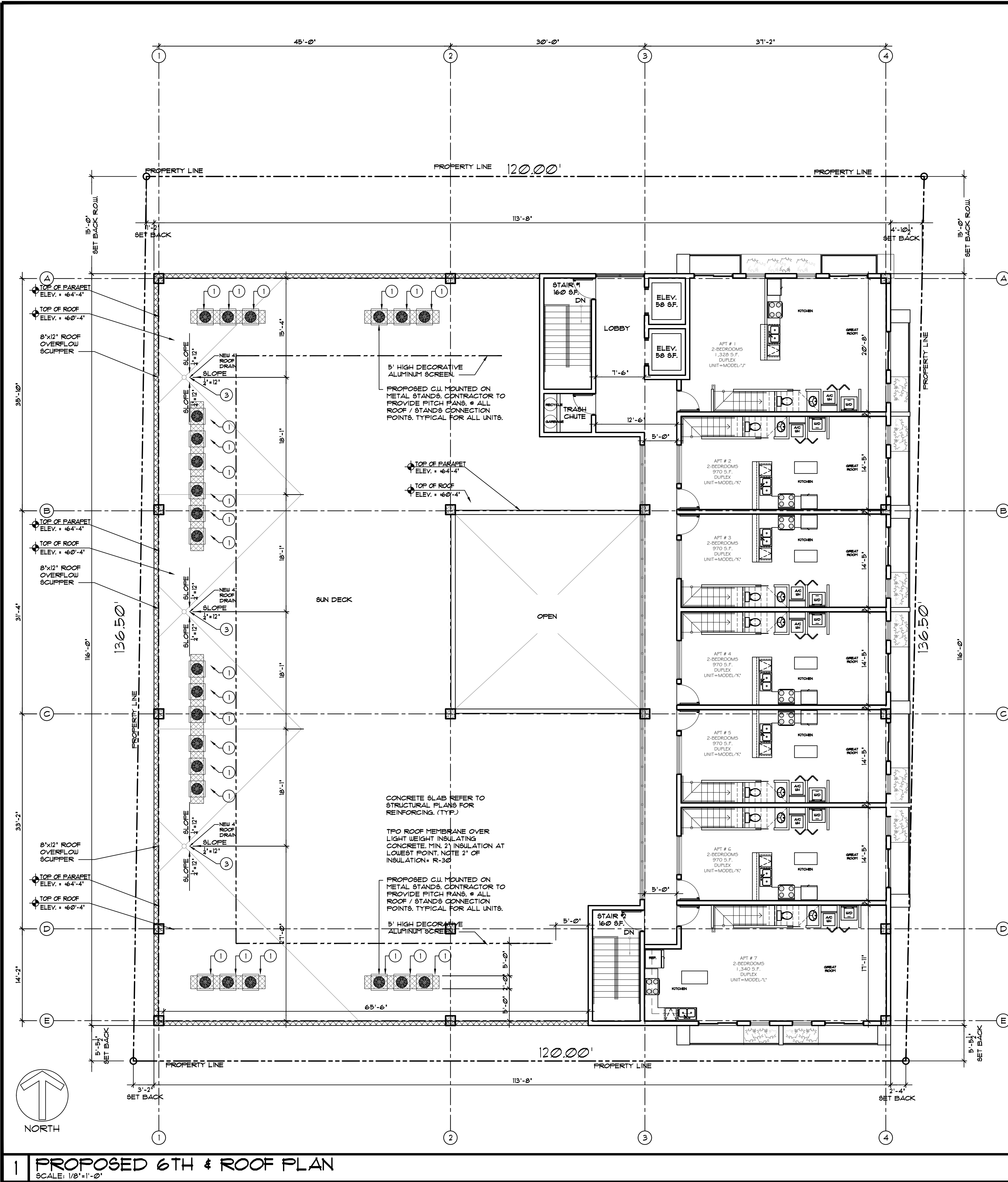
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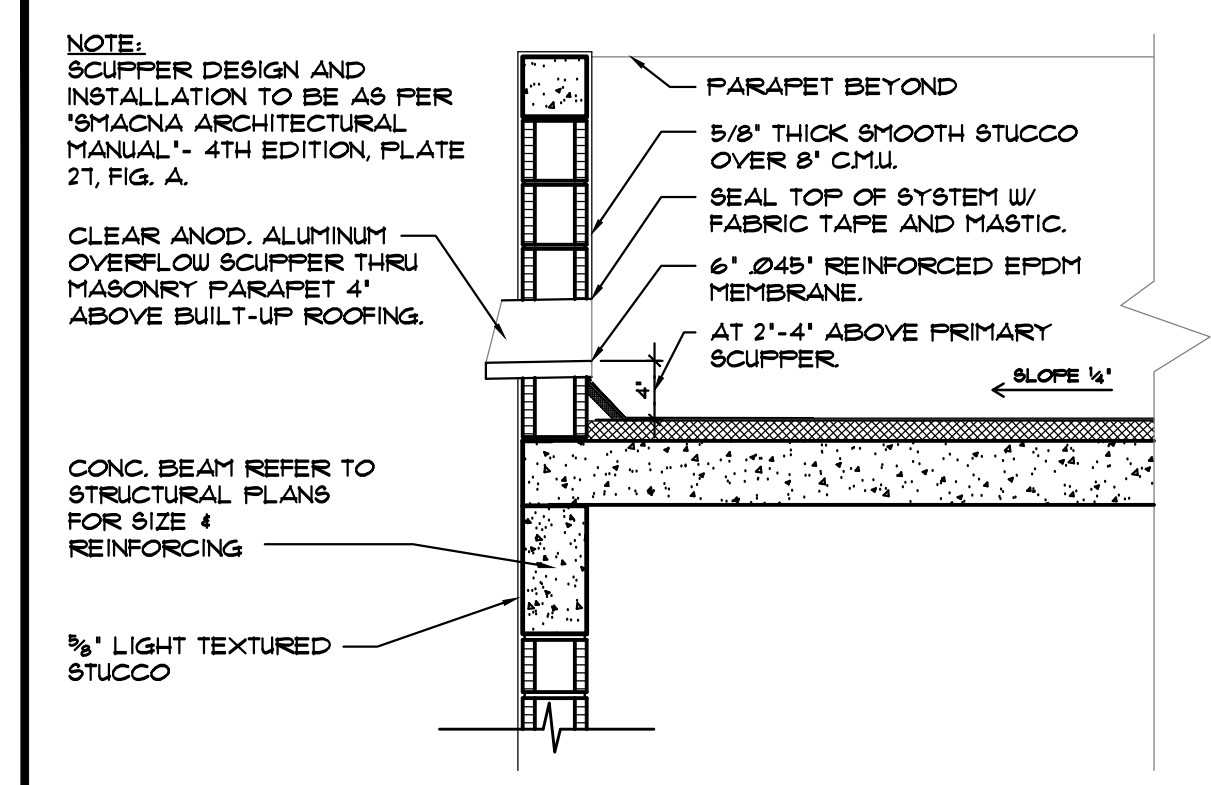
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A-1.3
OF SHEETS

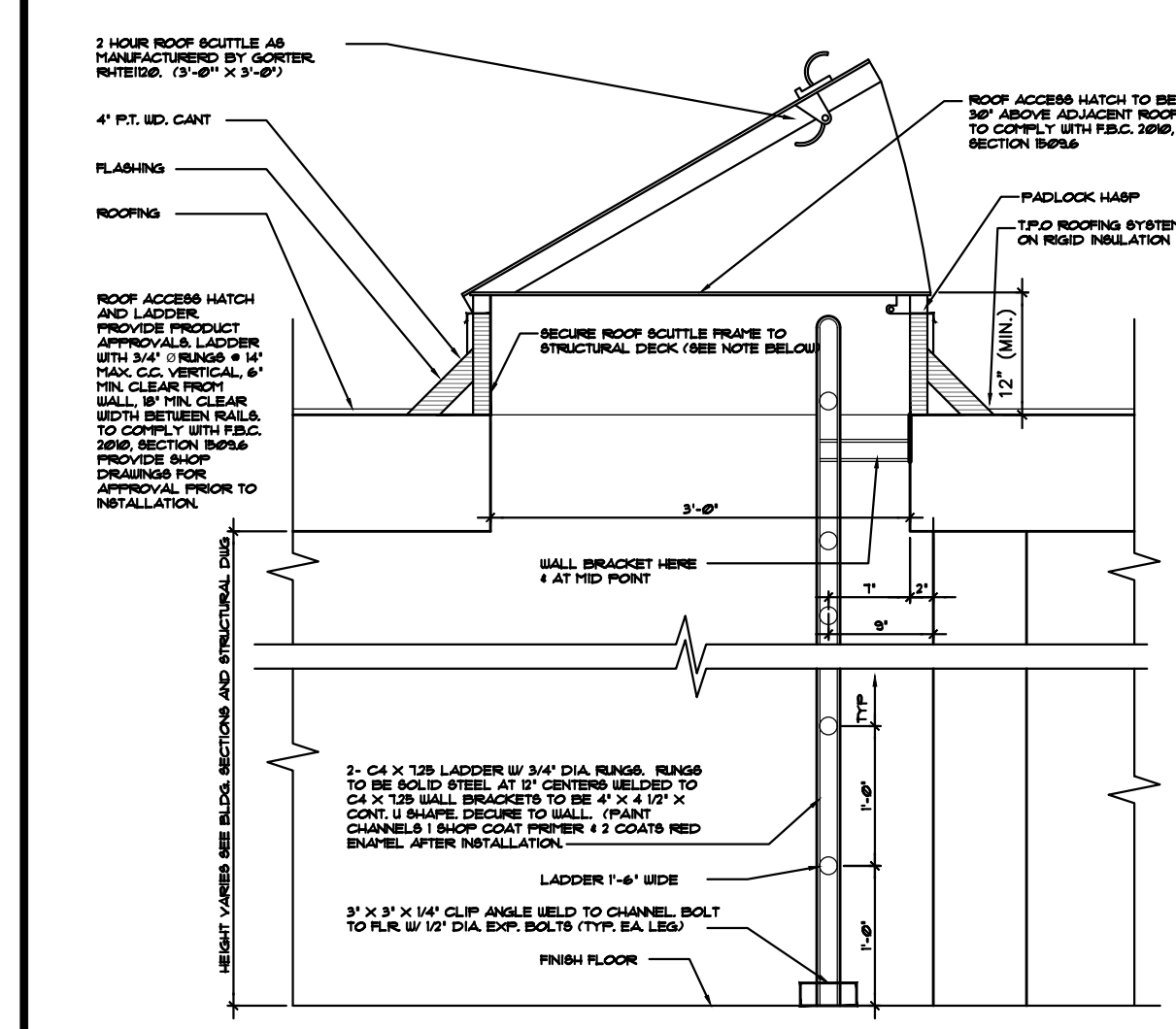


2 DETAIL-ROOF DRAIN
SCALE: N.T.S.

3 TYP. VENT THRU ROOF
SCALE: N.T.S.



4 ROOF SCUPPER DETAIL
SCALE: 1/2"=1'-0"



5 ROOF HATCH DETAIL
SCALE: 1/2"=1'-0"

NOTE:
REFER TO SHEET A-11 &
A-18 FOR ENLARGED
PROTOTYPES

STUDY	TOTAL UNITS
1 BEDROOM	3 UNITS
2 BEDROOMS	24 UNITS
2 BEDROOMS DUPLEX	15 UNITS
2 BEDROOMS DUPLEX	1 UNITS
TOTAL	43 UNITS

ROOF PLAN KEY NOTES:

- A/C COMPRESSOR (SEE MECH. DIAG'S)
- ROOF ACCESS HATCH (SEE DETAIL 5/A-16 AND STR. DIAG'S)
- RUL. SEE DETAIL 2/A-16 (SEE PLUMBING DIAG'S)
- N/A
- EMERGENCY OVER FLOW SCUPPERS, F.B.C. SECTION 1503.4.2 (5' RAINFALL RATE)
1" HEAD X 12" WEIR = 632 SQ. FT.
PROVIDE 2" PER AREA = 1384 SQ. FT.
(MAX. ROOF AREA PER RUL. = 1290 SQ. FT.)

NOTE: ROOF SLOPE 1/4" PER 1'-0" MIN. AS PER F.B.C. 5TH EDITION 2014 BUILDING SECTION 1503.2.1.

AS PER F.B.C. 5TH EDITION (2014) BUILDING 1503.4.2) OVER FLOW SCUPPERS IN PARAPETS TO BE NOT LESS THAN 2' NOR MORE THAN 4' ABOVE LOWEST POINT OF ROOF LEVEL.

ROOF SYSTEM IS DESIGNED TO PREVENT THE ACCUMULATION OF MORE THAN 5" OF WATER ON ANY PORTION OF ROOF AS PER F.B.C. 5TH EDITION 2014 BUILDING SECTION 1503.4.2 & 1616.3

6 ROOF PLAN KEY NOTES
SCALE: 1/2"=1'-0"

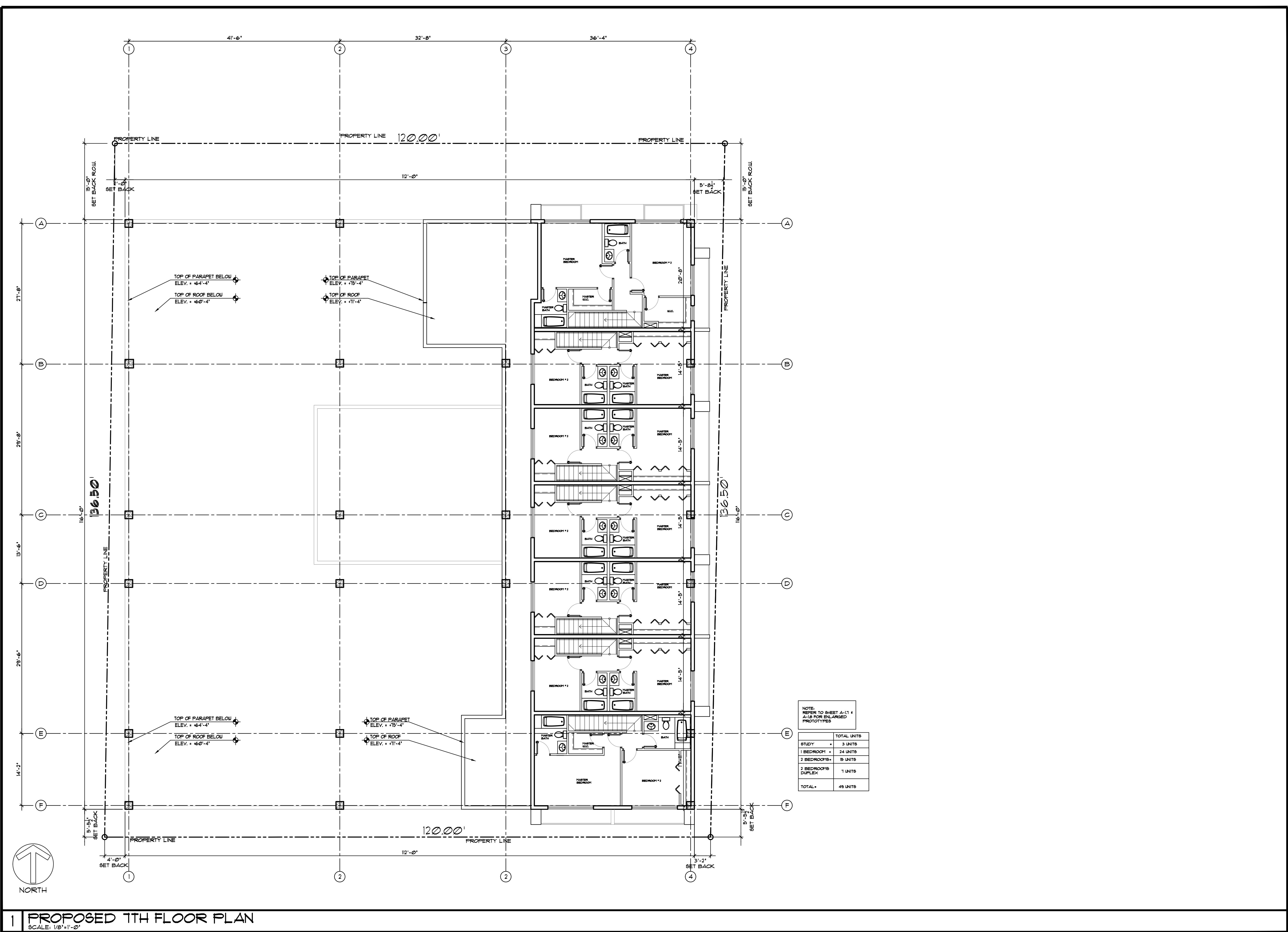
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1 PROPOSED 7TH FLOOR PLAN
SCALE: 1/8"=1'-0"



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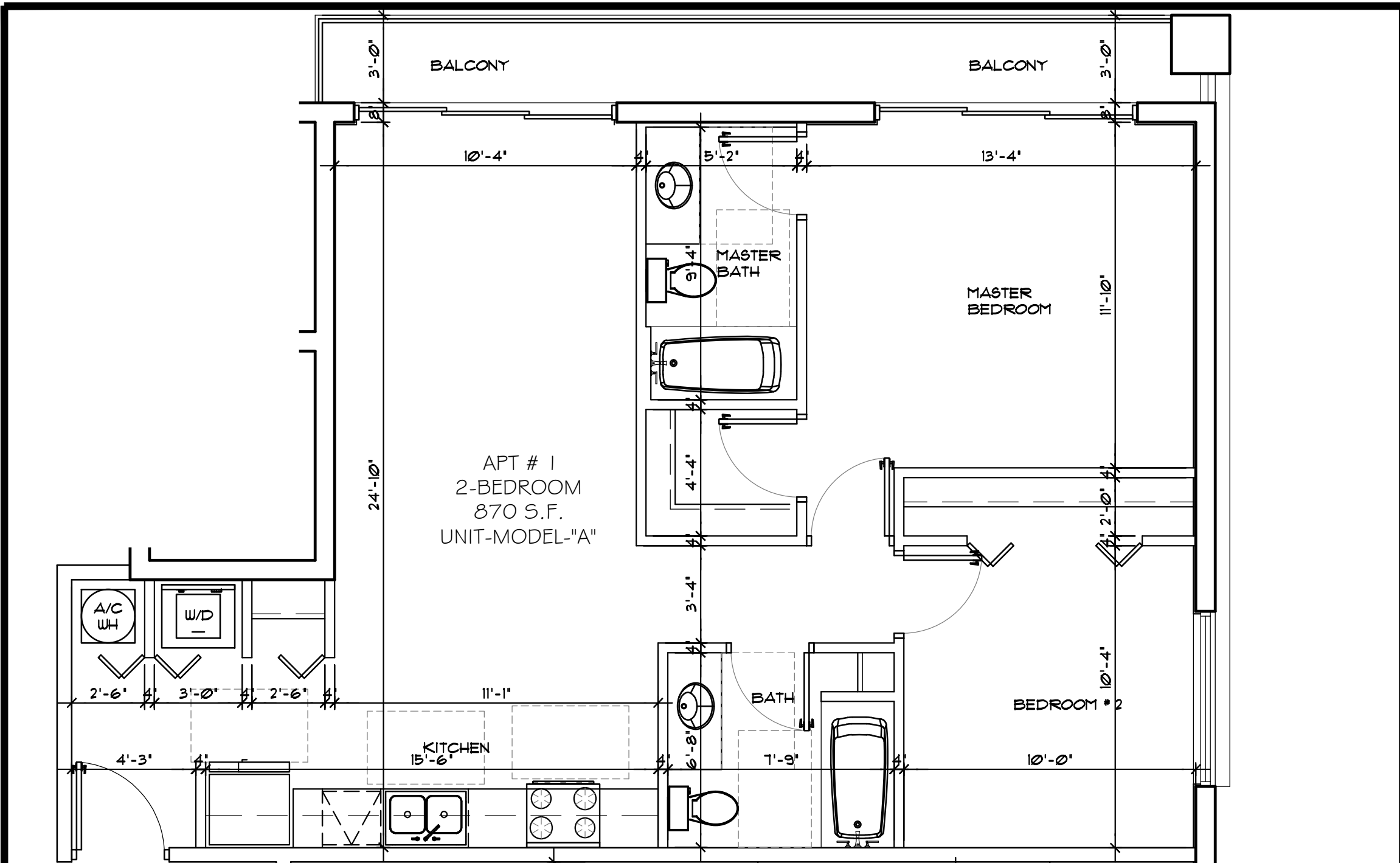
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A-1.5

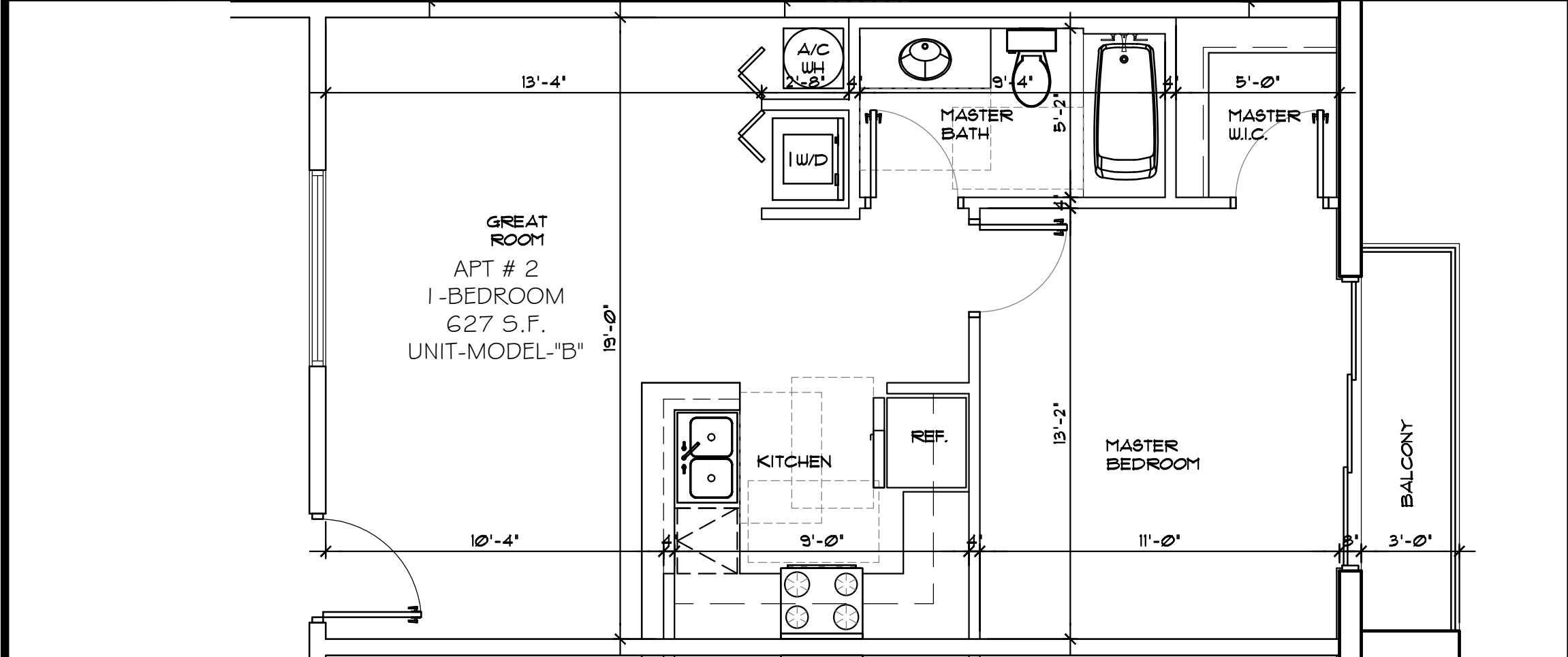
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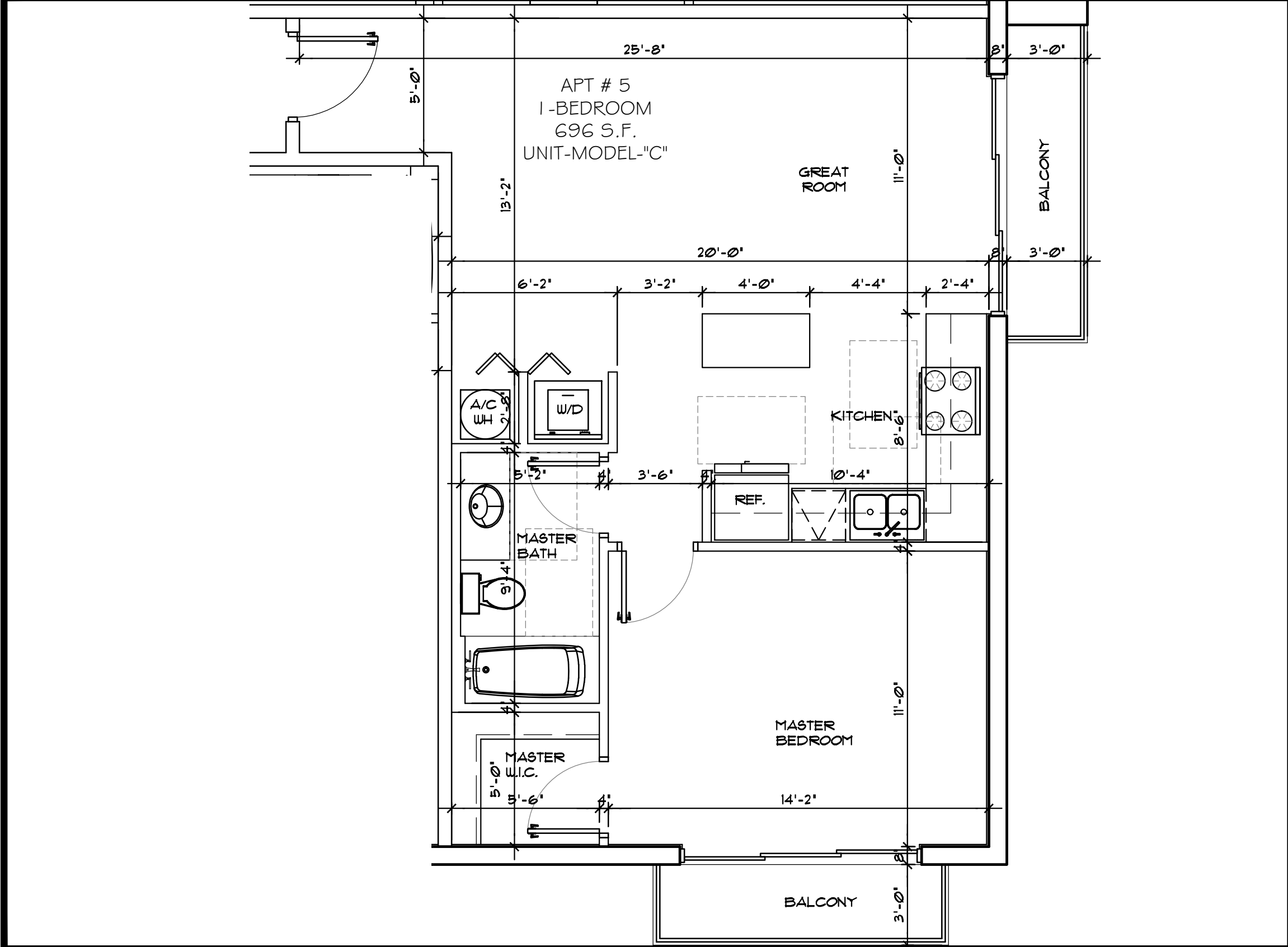
- ## 6 ROOF PLAN KEY NOTES



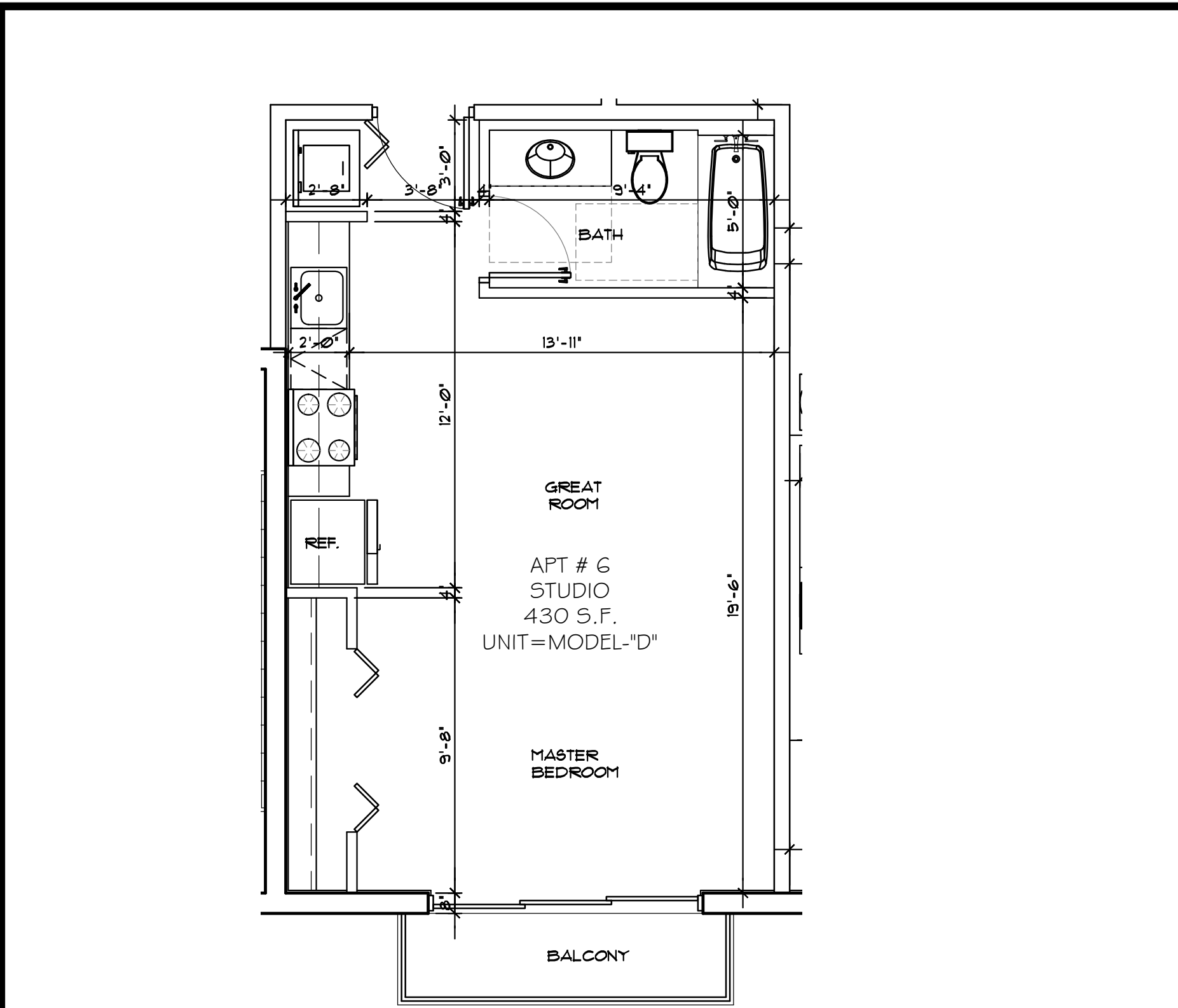
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SCALE: 1/4"=1'-0"



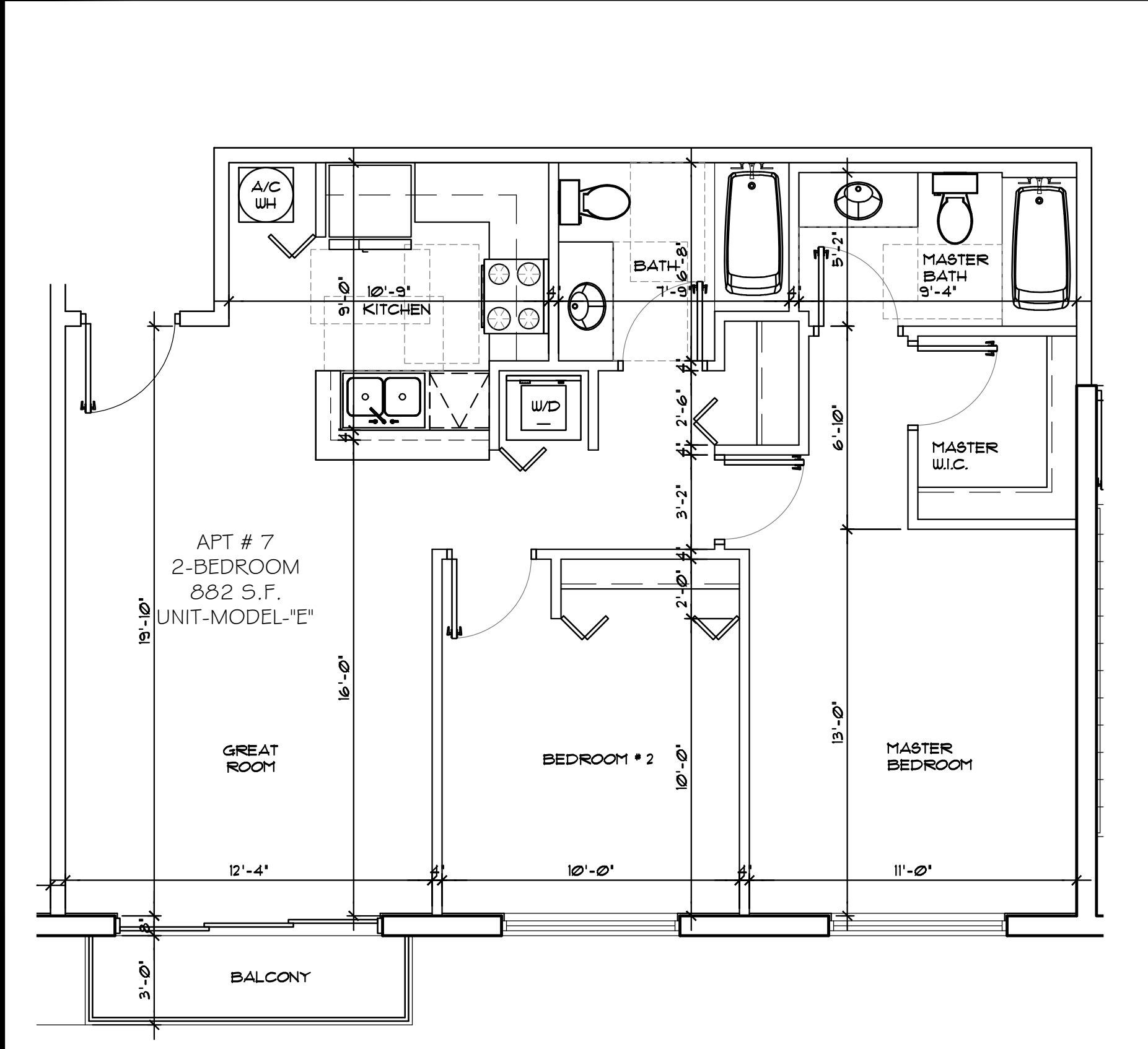
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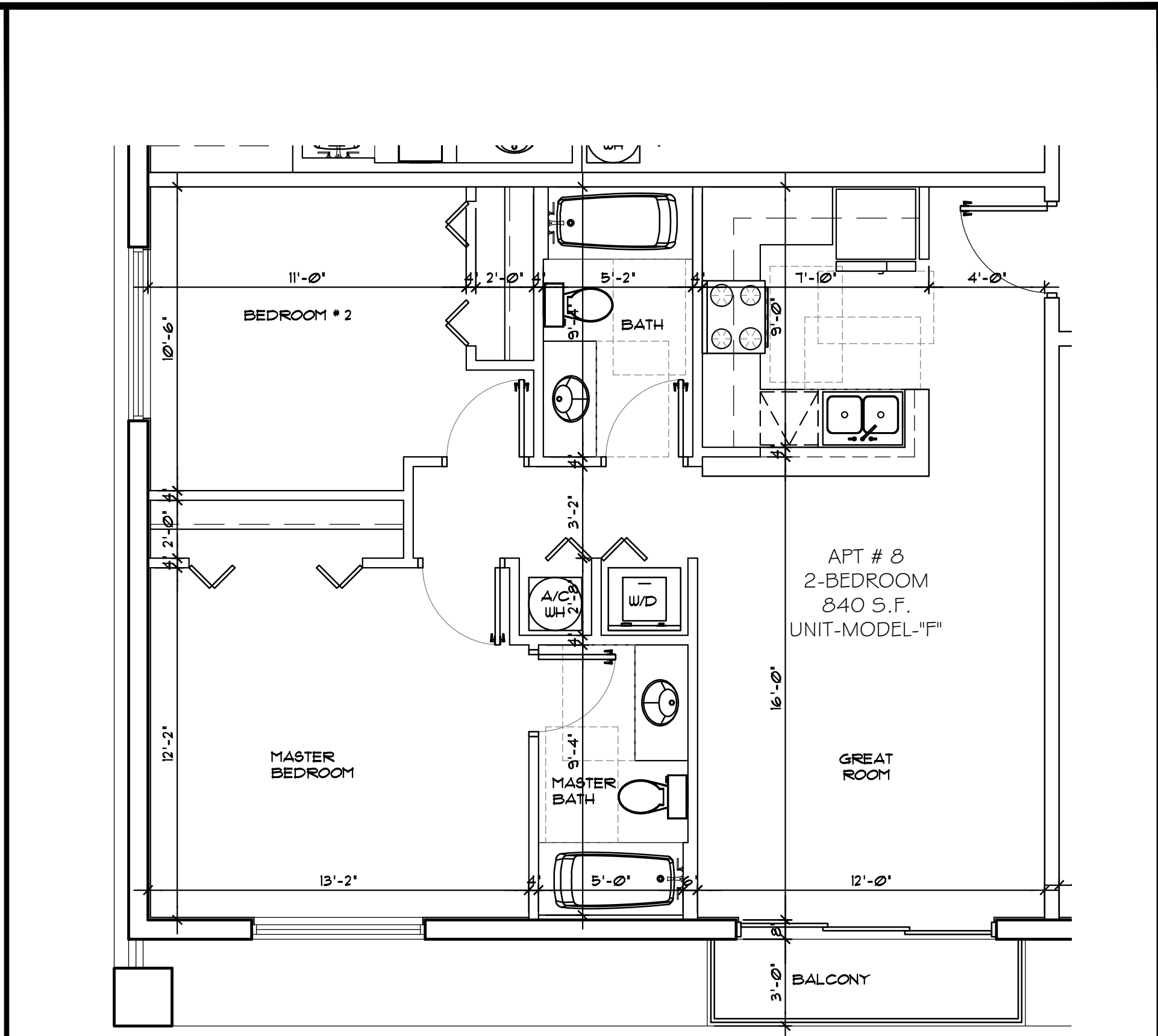
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SCALE: 1/4"=1'-0"



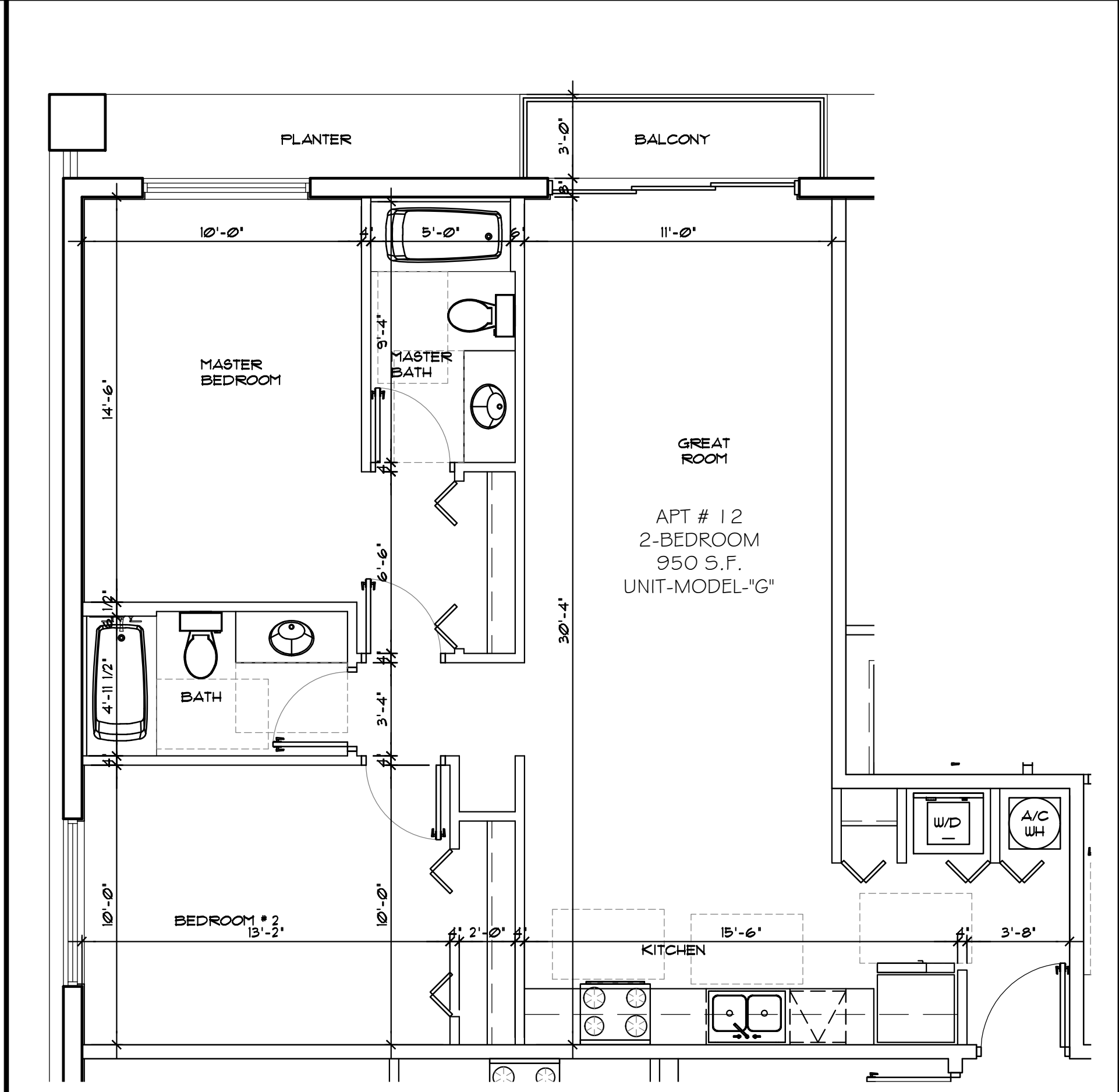
4 | **PROTOTYPE-D-**
SCALE: 1/4"=1'-0"



5 | **PROTOTYPE-E-**
SCALE: 1/4"=1'-0"



6 | **PROTOTYPE-F-**
SCALE: 1/4"=1'-0"



7 | **PROTOTYPE-G-**
SCALE: 1/4"=1'-0"



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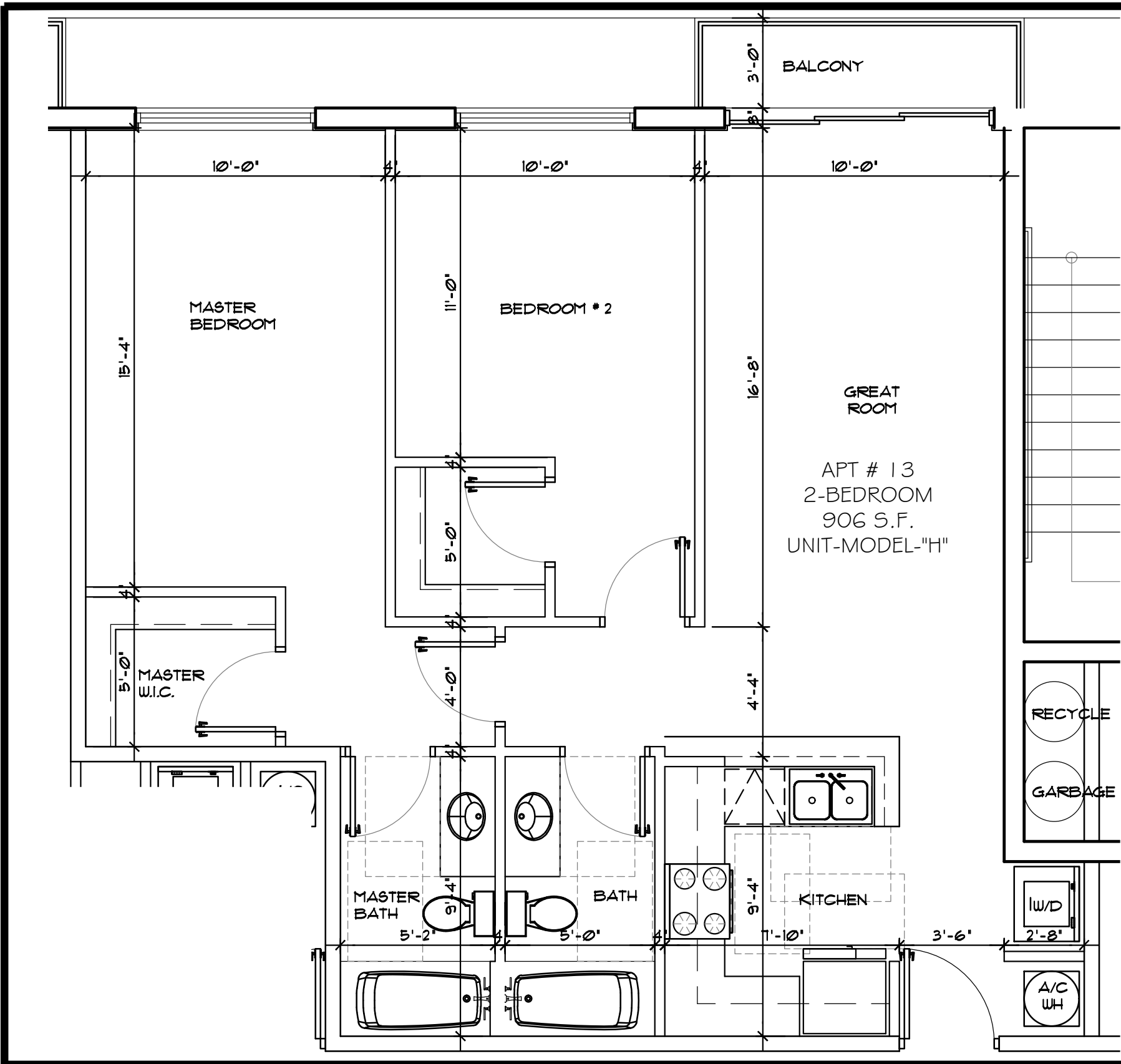
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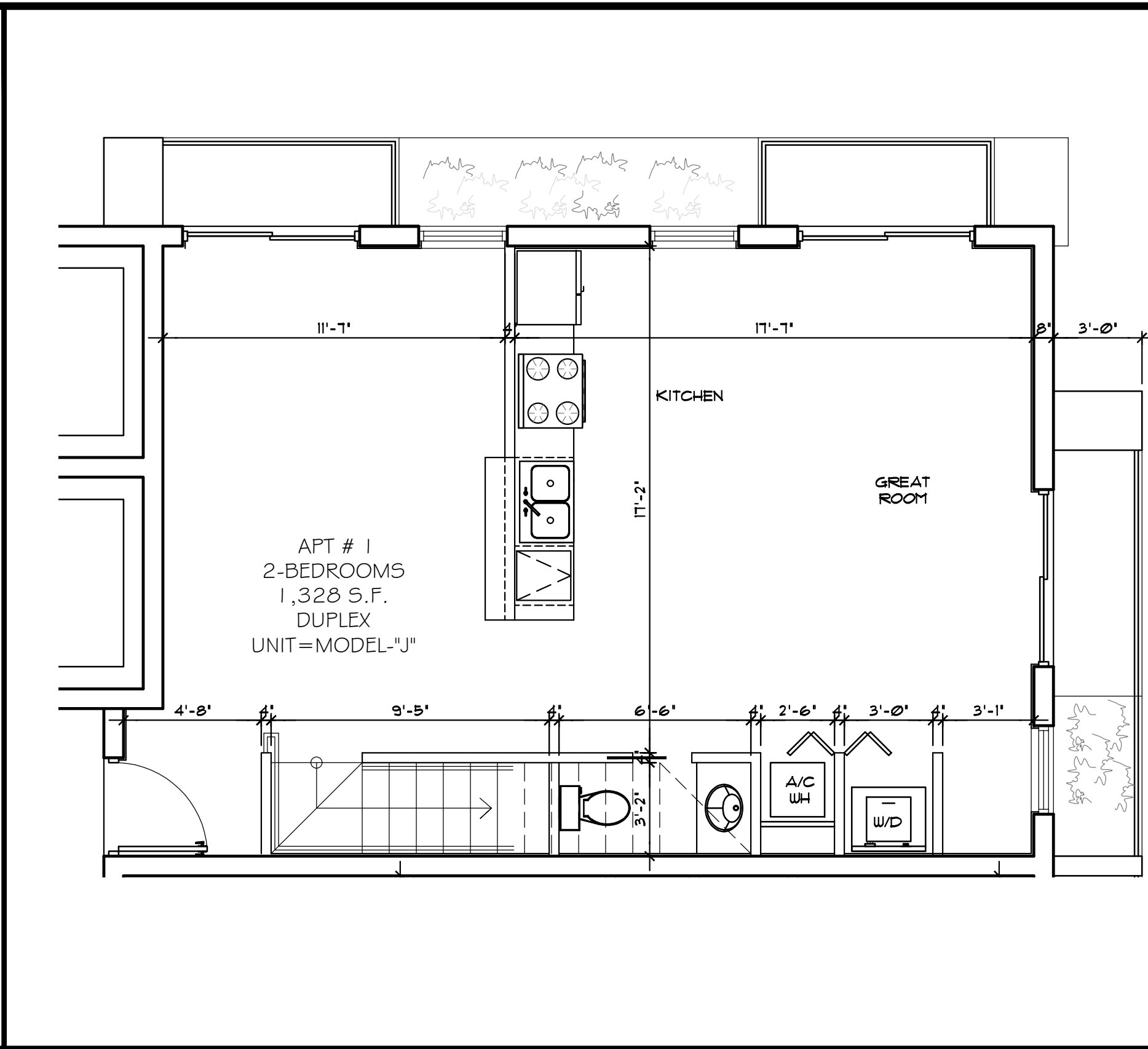
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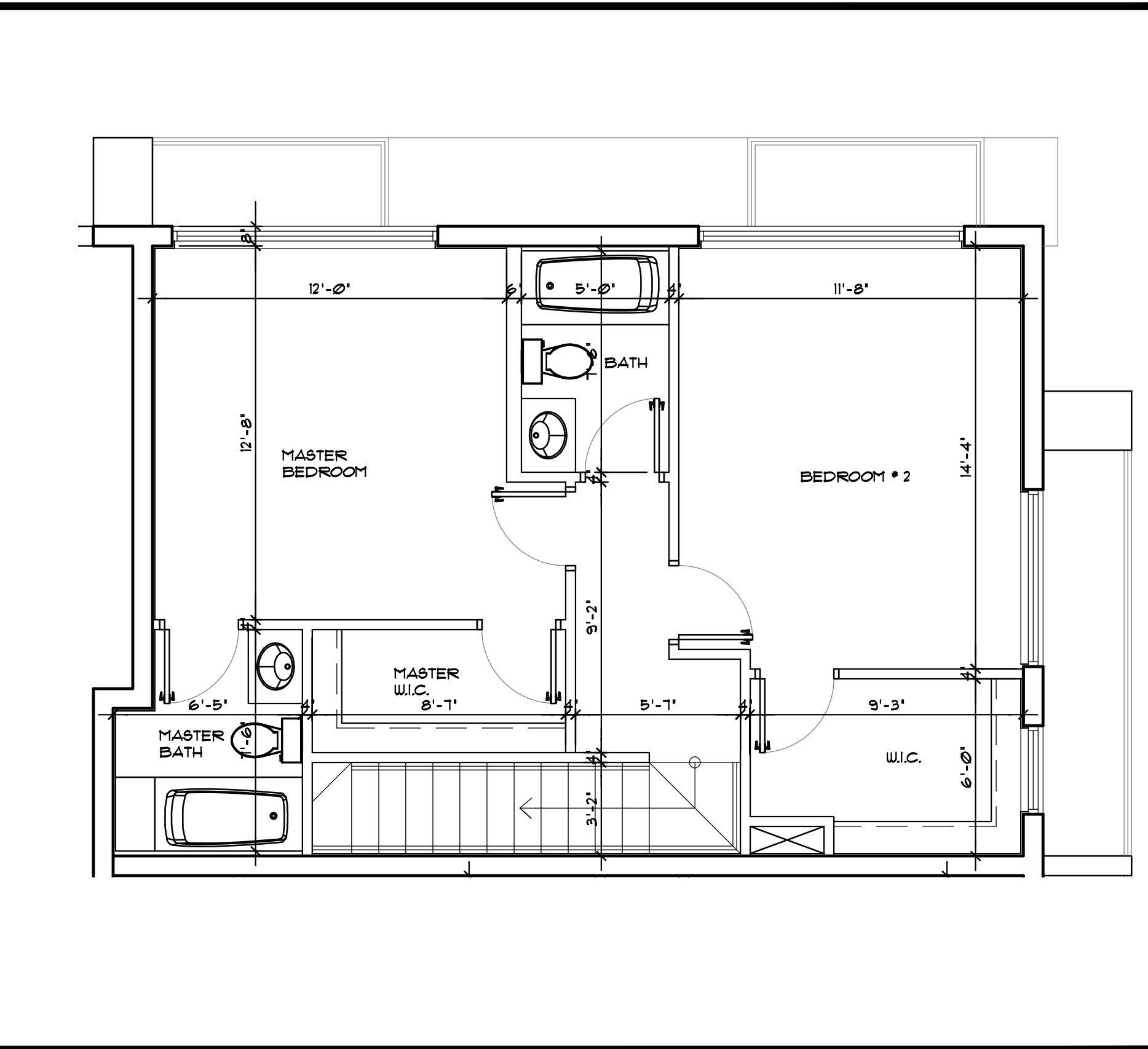
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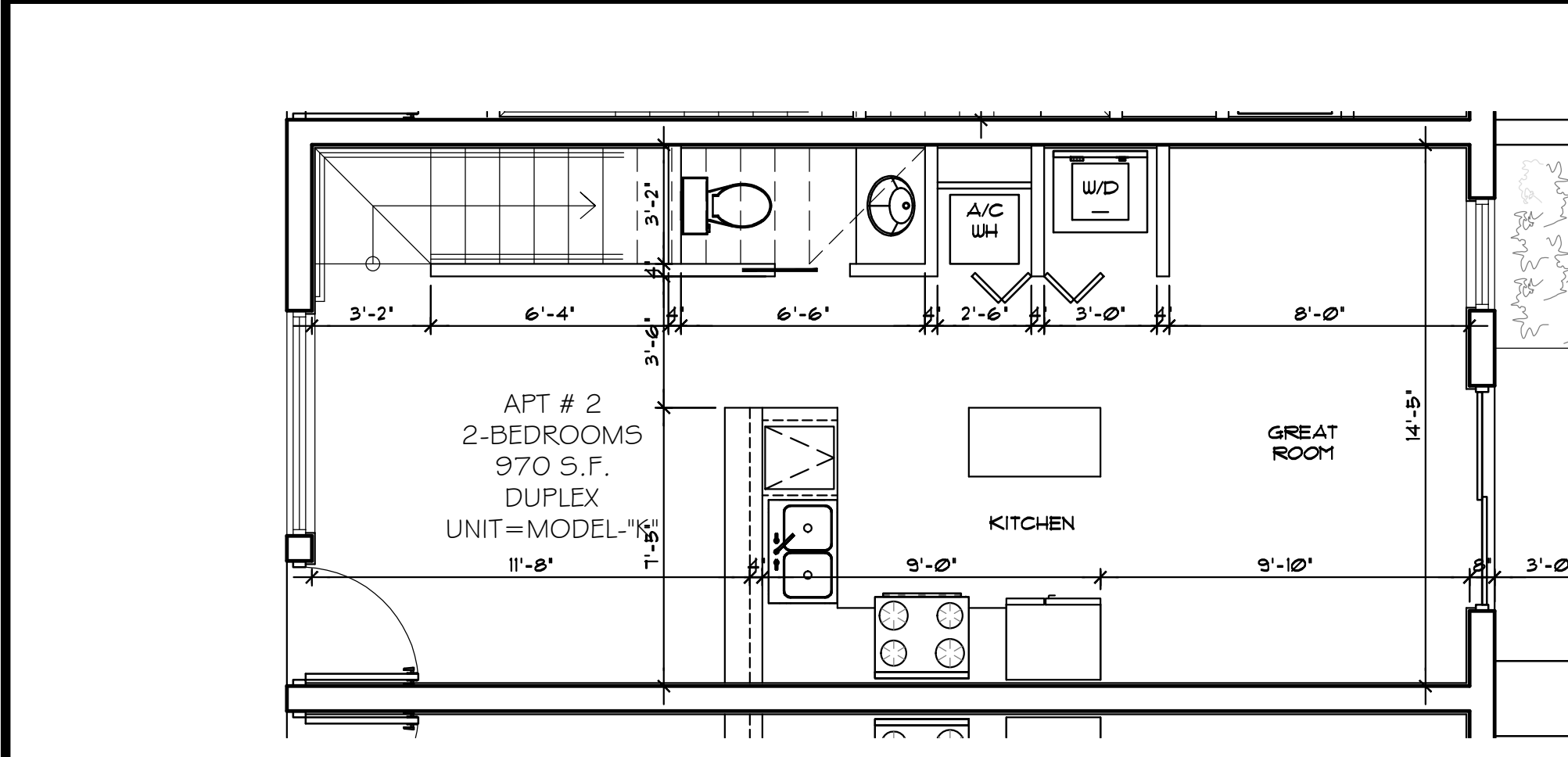
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SCALE: 1/4"=1'-0"



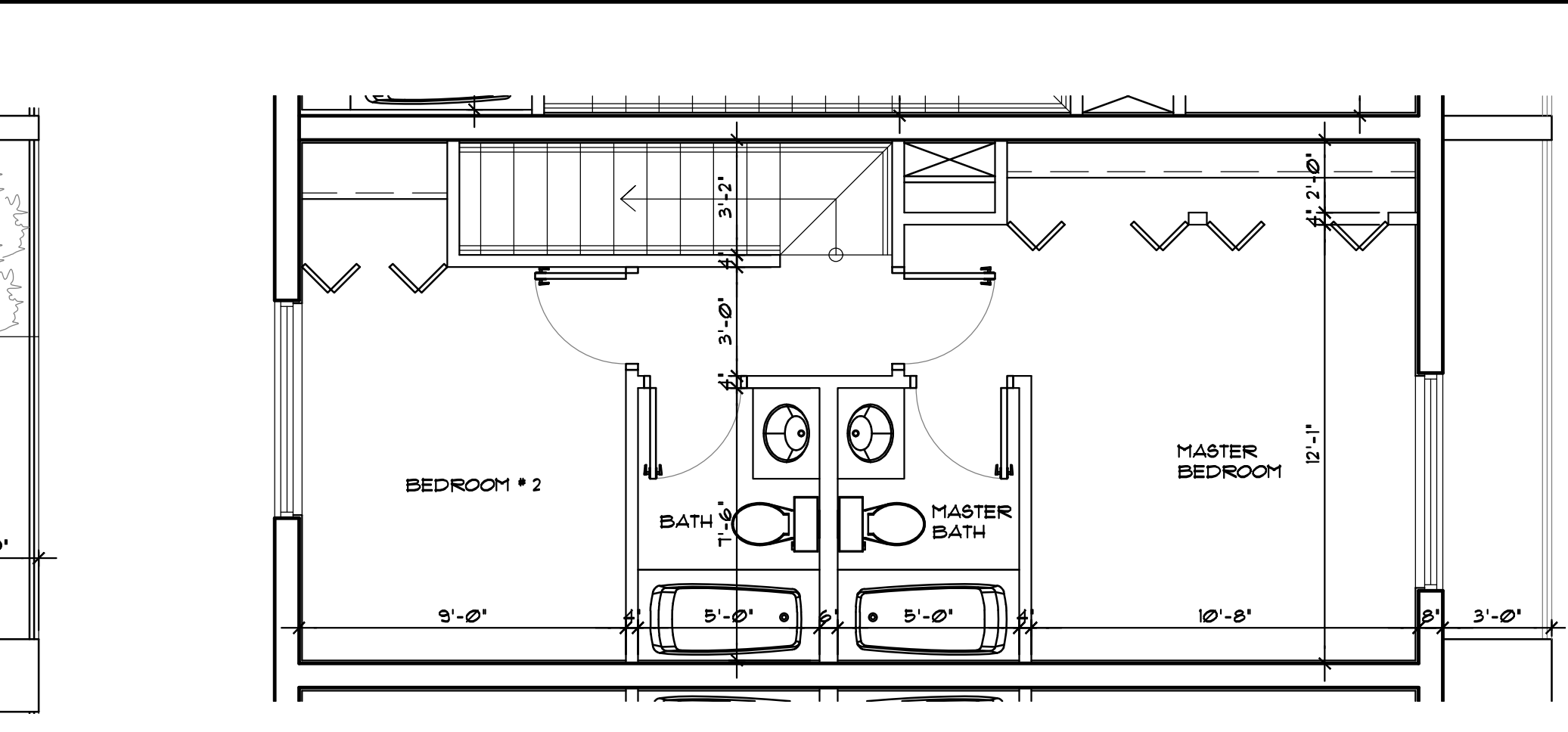
2 | **PROTOTYPE-J- (DUPLEX)**
SCALE: 1/4"=1'-0"



3 | **PROTOTYPE-K- (DUPLEX)**
SCALE: 1/4"=1'-0"



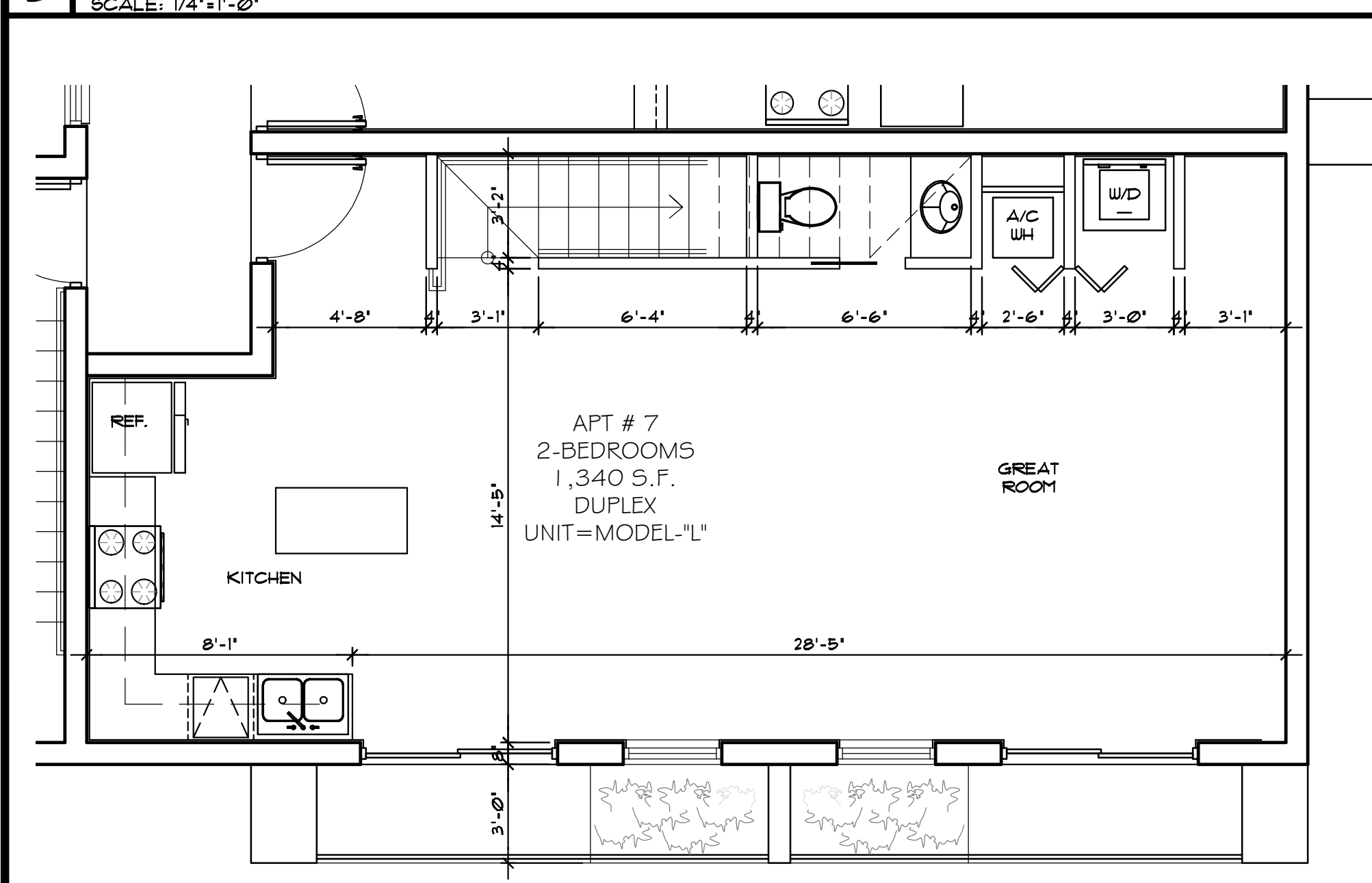
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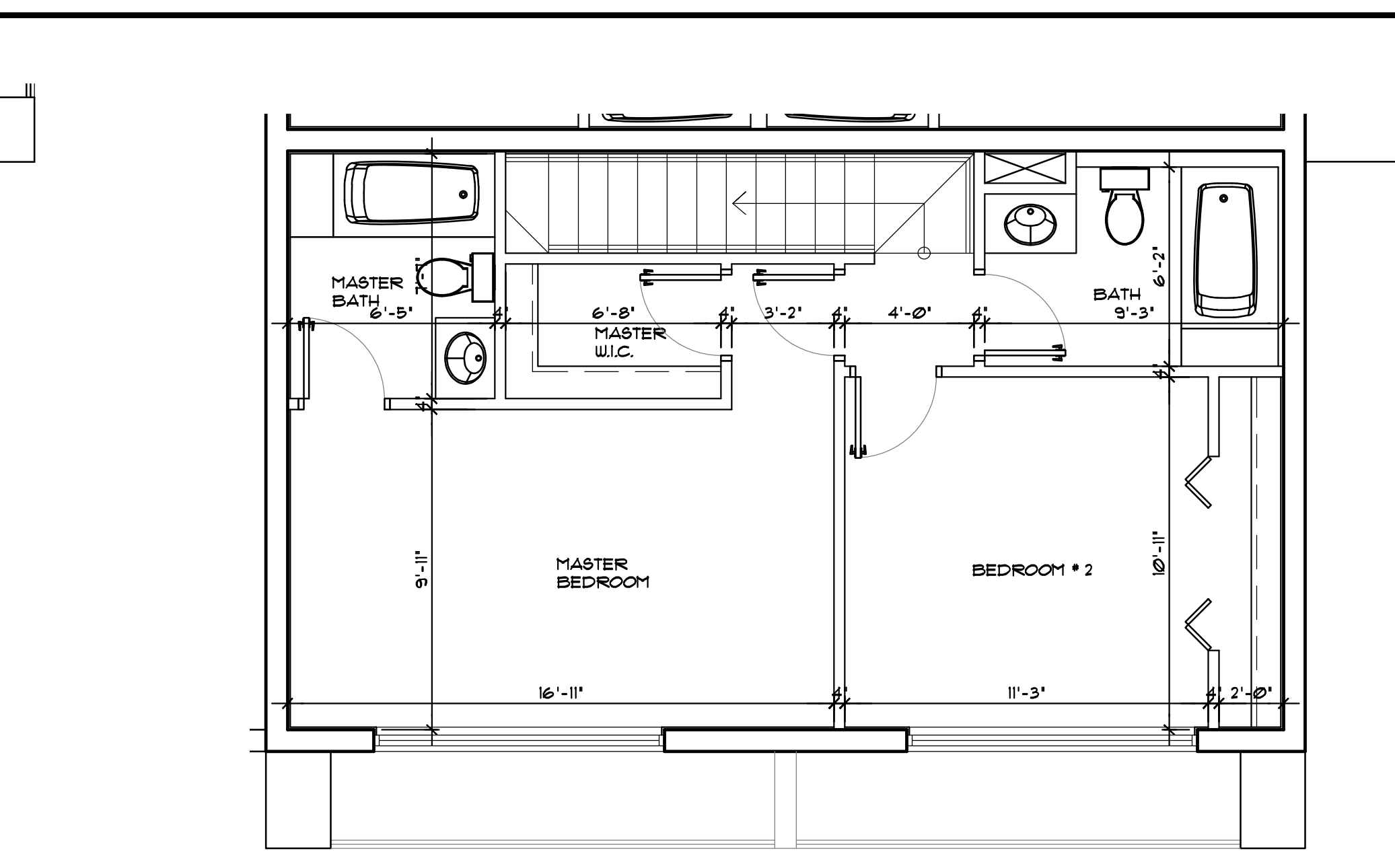
5 | **PROTOTYPE-M- (DUPLEX)**
SCALE: 1/4"=1'-0"



6 | **PROTOTYPE-N- (DUPLEX)**
SCALE: 1/4"=1'-0"



7 | **PROTOTYPE-O- (DUPLEX)**
SCALE: 1/4"=1'-0"



8 | **PROTOTYPE-P- (DUPLEX)**
SCALE: 1/4"=1'-0"



9 | **PROTOTYPE-Q- (DUPLEX)**
SCALE: 1/4"=1'-0"

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- MATERIAL LEGEND:**
- ① - PLASTER
 - ② - METAL SCREEN TYPE B-SILVER "PERFORATED"
 - ③ - METAL SCREEN VERTICAL BAFFLE
 - ④ - IMPACT GLASS
 - ⑤ - PORCELAIN TILE "WOOD"
 - ⑥ - GLASS GUARDRAILS
 - ⑦ - STUCCO
 - ⑧ - IMPACT RESISTANT CASHEM WINDOW
 - ⑨ - IMPACT RESISTANT SLIDING GLASS DOORS
 - ⑩ - EXTERIOR LIGHT FIXTURE



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 OF SHEETS

REVISION:	BY:

PROPOSED 49-UNIT MULTI-FAMILY DEVELOPMENT FOR:
1840 MAYO STREET LLC
1834-1840 MAYO STREET
HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	C.C.
CHECKED	LLR
DATE	04-10-2023
SCALE	AS NOTED
JOB. NO.	023-009
SHEET	A-2.2

MATERIAL LEGEND
① PLASTER
② METAL SCREEN TYPE B-SILVER PERFORATED
③ METAL SCREEN VERTICAL BATTLE
④ IMPACT GLASS
⑤ PORCELAIN TILE 'WOOD'
⑥ GLASS GUARDRAILS
⑦ STUCCO
⑧ IMPACT RESISTANT CASERENT WINDOW
⑨ IMPACT RESISTANT SLIDING GLASS DOORS
⑩ EXTERIOR LIGHT FIXTURE



- MATERIAL LEGEND:
- ① - FLASSTONE
 - ② - METAL SCREEN TYPE B-SILVER 'PERFORATED'
 - ③ - METAL SCREEN VERTICAL BAFFLE
 - ④ - IMPACT GLASS
 - ⑤ - PORCELAIN TILE 'WOOD'
 - ⑥ - GLASS GUARDRAILS
 - ⑦ - STUCCO
 - ⑧ - IMPACT RESISTANT CASHEMENT WINDOW
 - ⑨ - IMPACT RESISTANT SLIDING GLASS DOORS
 - ⑩ - EXTERIOR LIGHT FIXTURE



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Luis LaRosa-Registered
Architect
AR# - 0017852
AA# - 26003693

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A-2.3
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A-2.4
OF SHEETS

- MATERIAL LEGEND
- ④ - FLAGSTONE
 - ⑤ - METAL SCREEN TYPE B-SILVER 'PERFORATED'
 - ⑥ - METAL SCREEN VERTICAL SLAT
 - ⑦ - IMPACT GLASS
 - ⑧ - PORCELAIN TILE 'WOOD'
 - ⑨ - GLASS GUARDRAILS
 - ⑩ - STUCCO
 - ⑪ - IMPACT RESISTANT CASEMENT WINDOW
 - ⑫ - IMPACT RESISTANT SLIDING GLASS DOORS
 - ⑬ - EXTERIOR LIGHT FIXTURE



GENERAL NOTES:

1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSO), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
6. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY ECSO AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSO IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
10. THE CONTRACTOR SHALL NOTIFY ECSO IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION. OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	GENERAL NOTES		DRAWING NO. G-00
APPROVED: XXX			

GENERAL NOTES (CONTINUED):

12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
13. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
14. CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSO UNLESS OTHERWISE NOTED ON THE DRAWINGS.
19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSO FIELD ENGINEER.
20. THE CONTRACTOR SHALL NOT ENCRoACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
22. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSO FIELD ENGINEER.
25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
26. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSO.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)		DRAWING NO. G-00.1
APPROVED: XXX			

GENERAL NOTES (CONTINUED):

27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
32. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTling OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
39. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
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APPROVED: XXX			

GENERAL NOTES (CONTINUED):

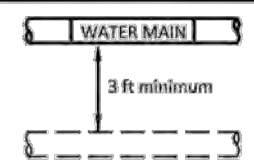
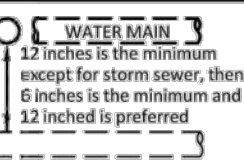
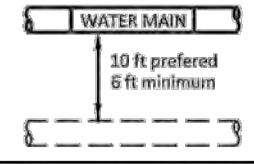
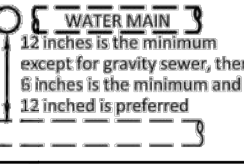
40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).



41. WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
42. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
43. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSO SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
- PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
 - THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
 - PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
 - ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"

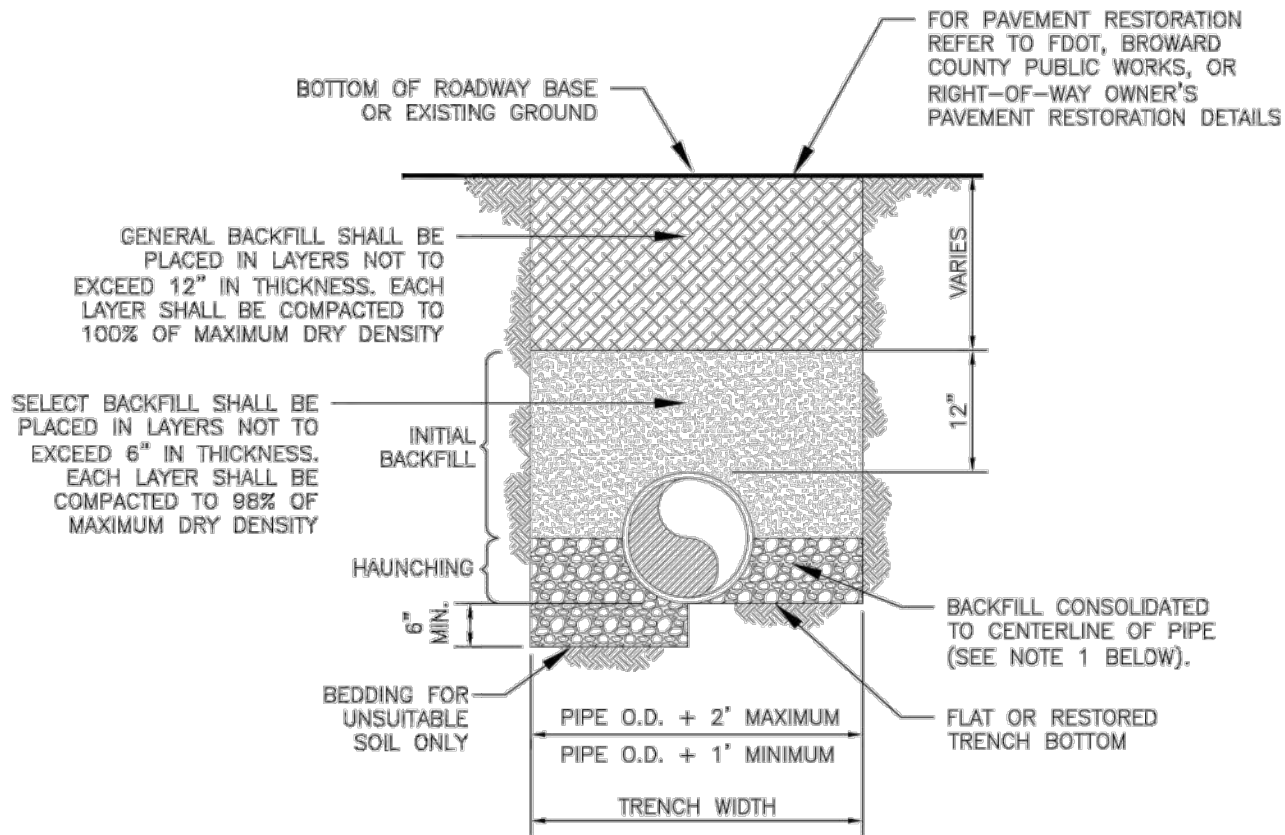
	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)		DRAWING NO. G-00.3
APPROVED: XXX			

WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)			Alternate 3 ft minimum 
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER			Alternate 6 ft minimum 
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum		

1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
2. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
3. 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
4. 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
5. A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
6. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
7. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
8. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

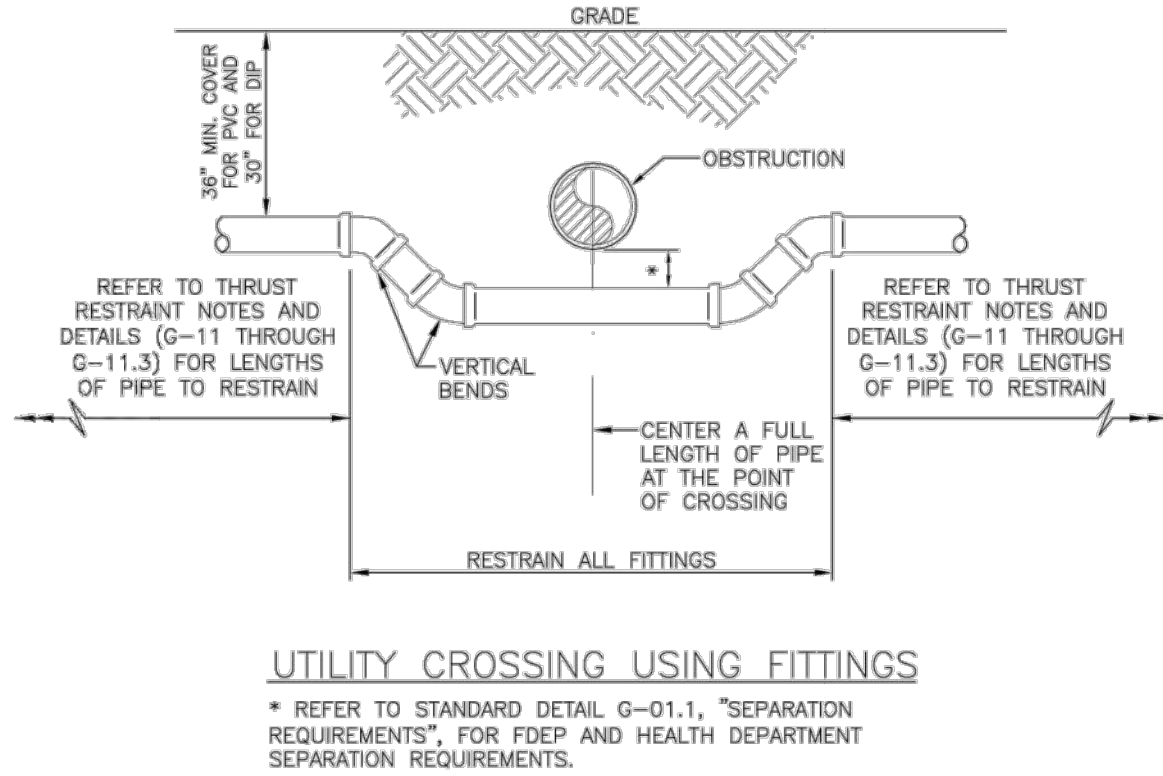
	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
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NOTES:

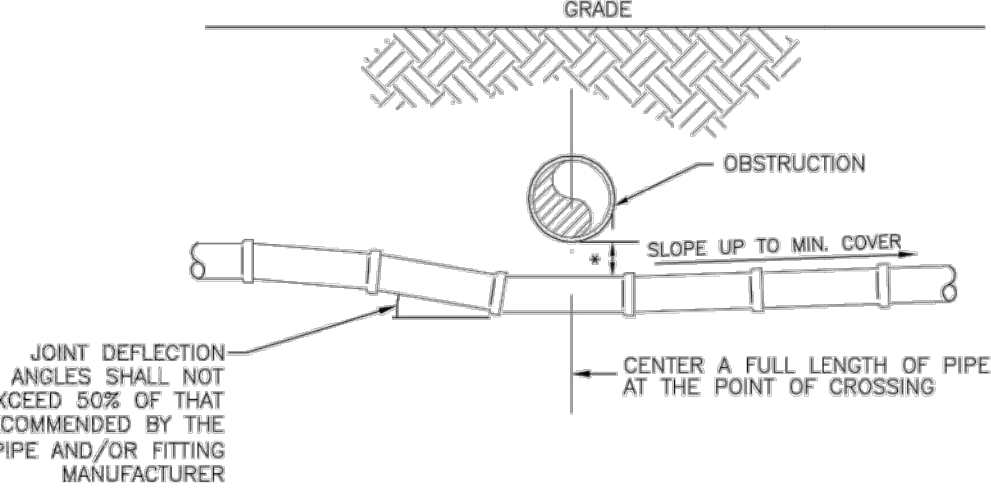
1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL-GRADED, WASHED CRUSHED STONE (OR GRANFELD LIMEROCK), CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
3. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-8.

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APPROVED: XXX			



UTILITY CROSSING USING FITTINGS

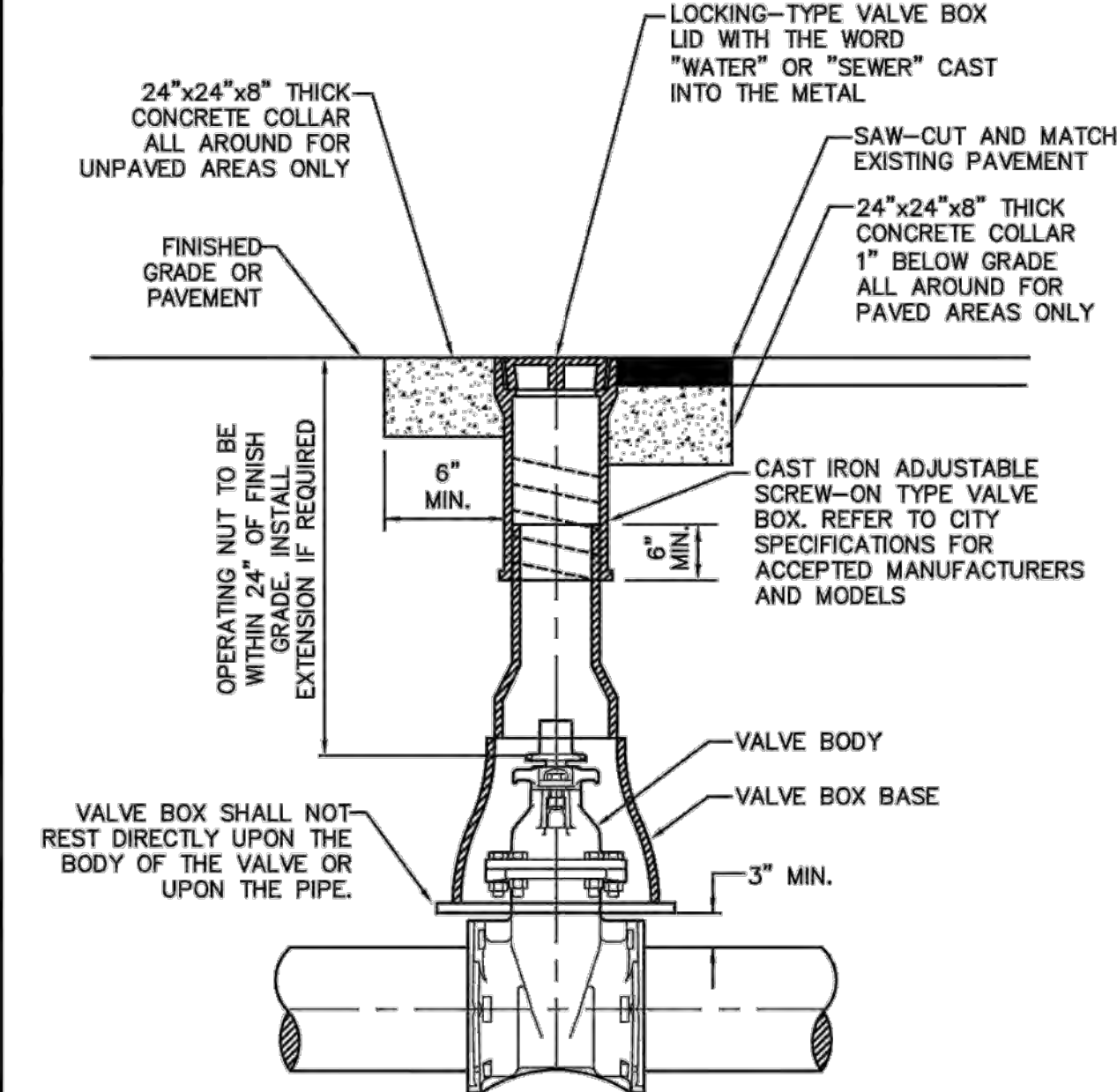
* REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.



UTILITY CROSSING USING JOINT DEFLECTIONS

* REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.

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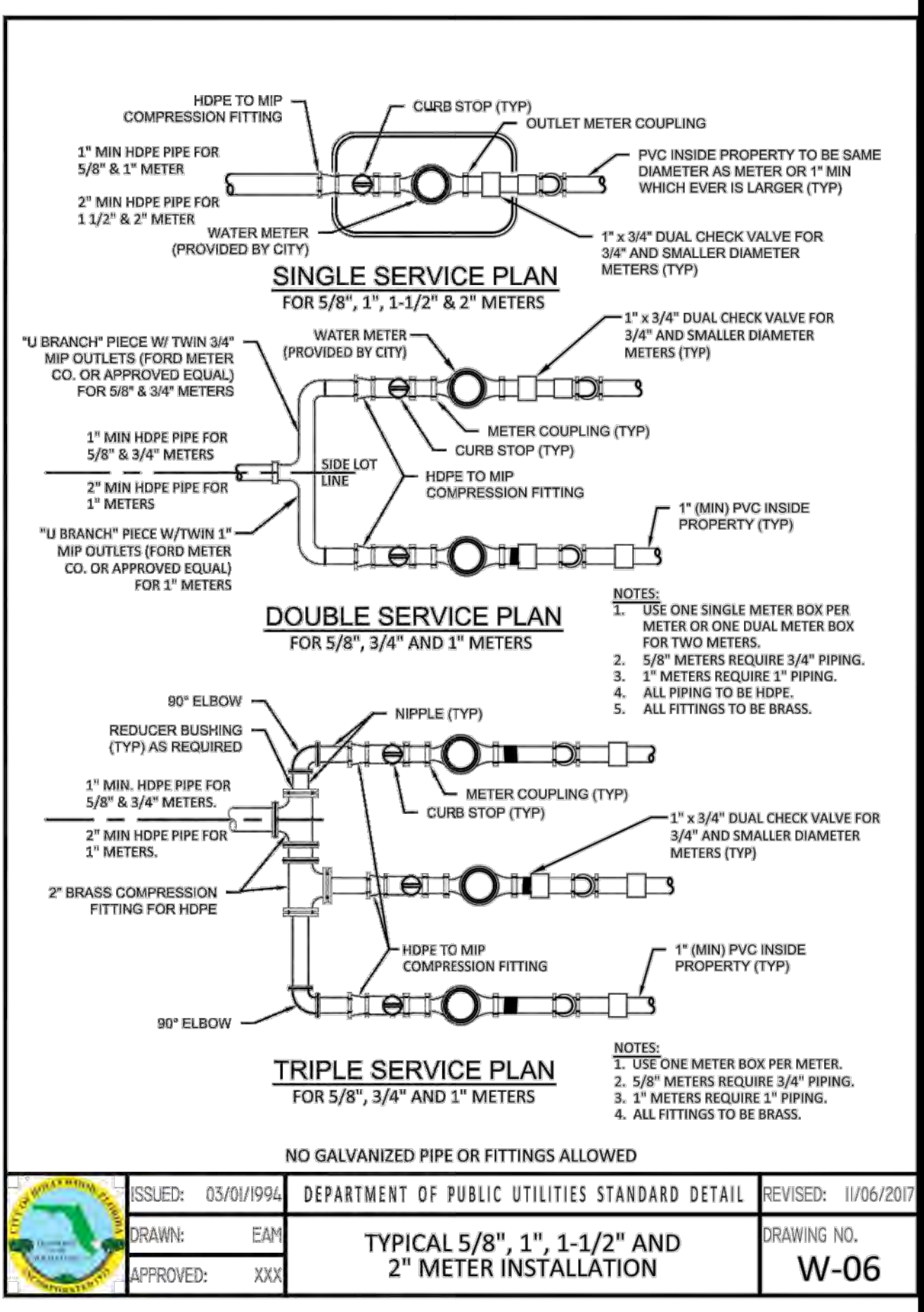
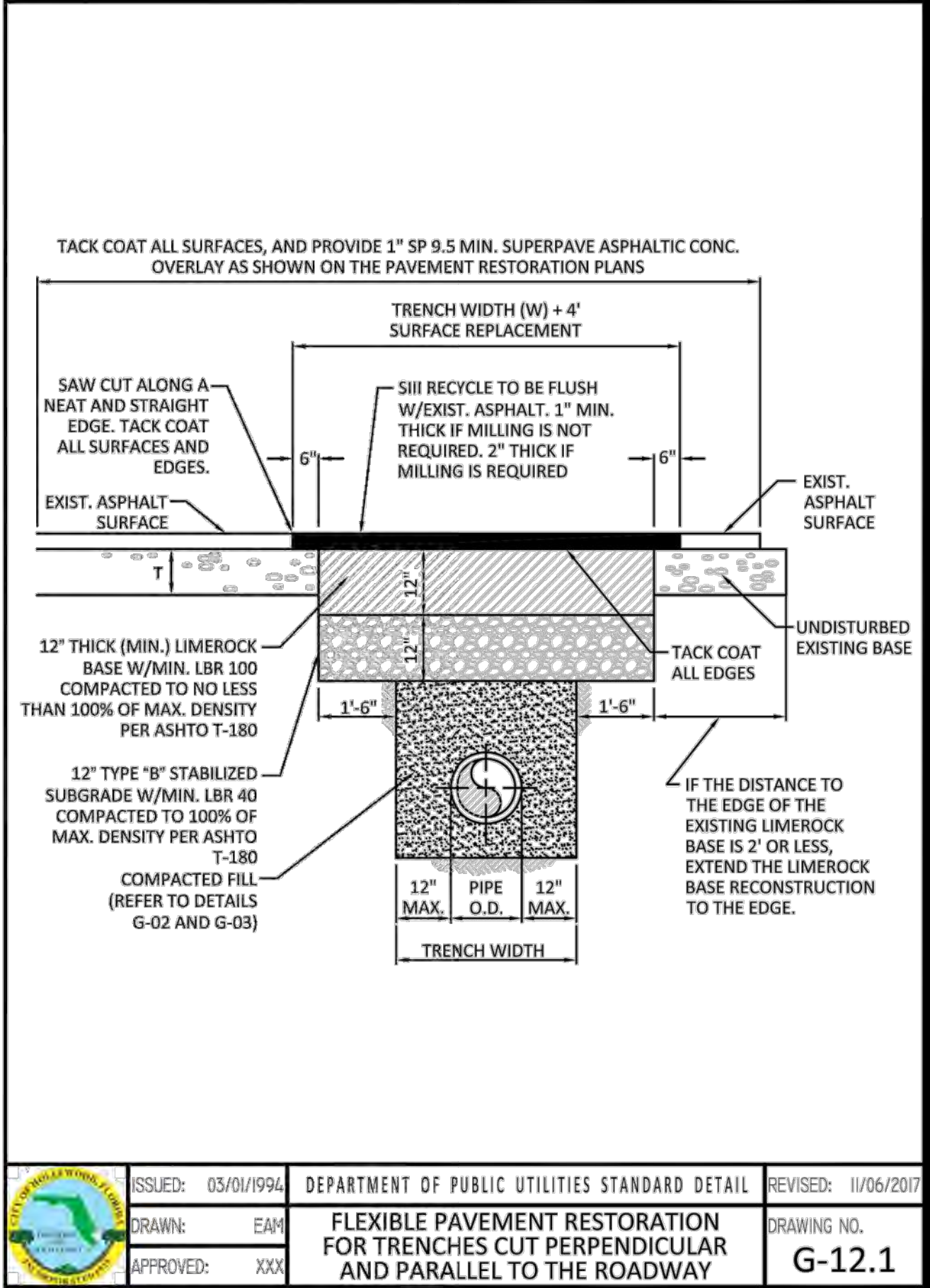
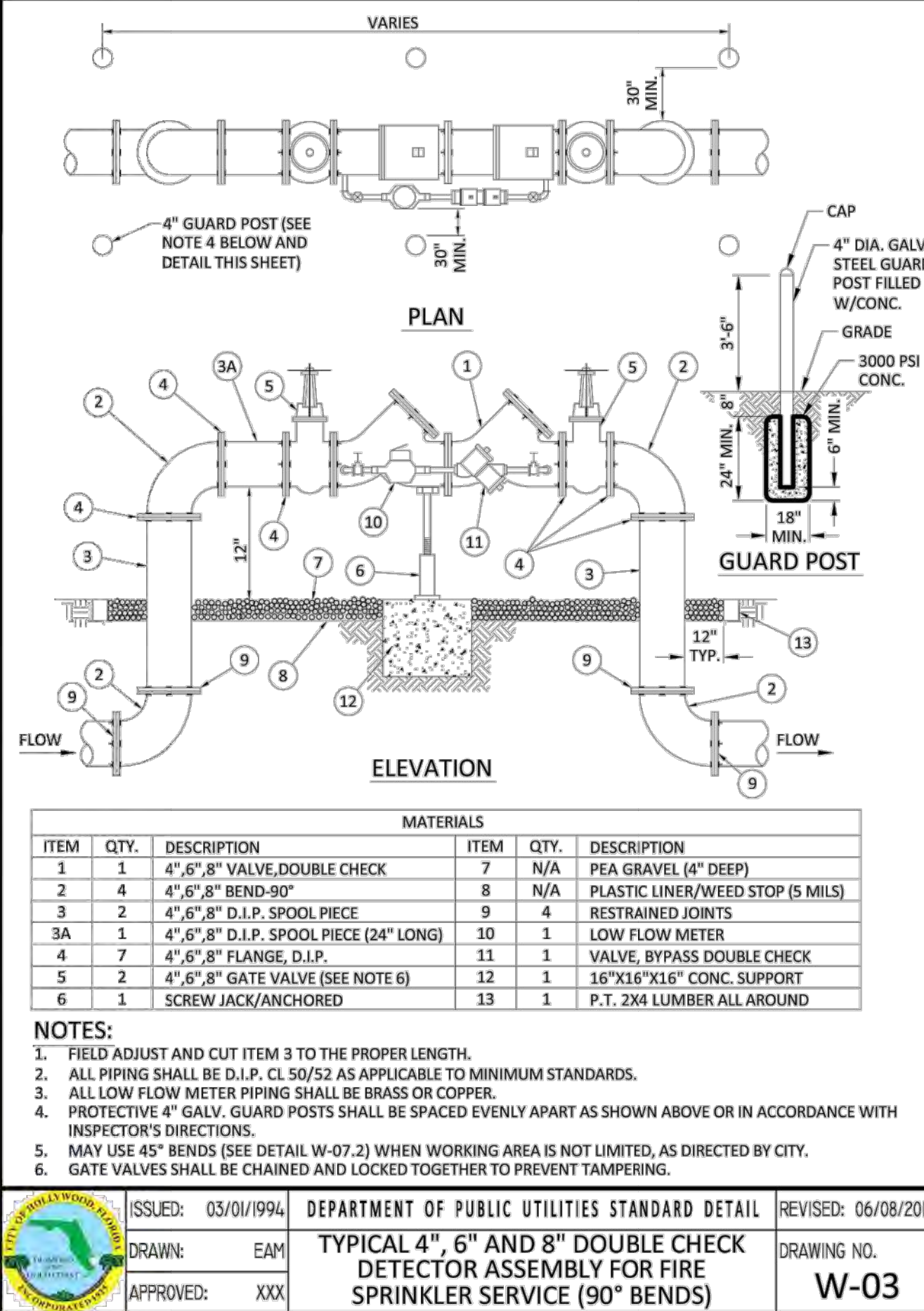
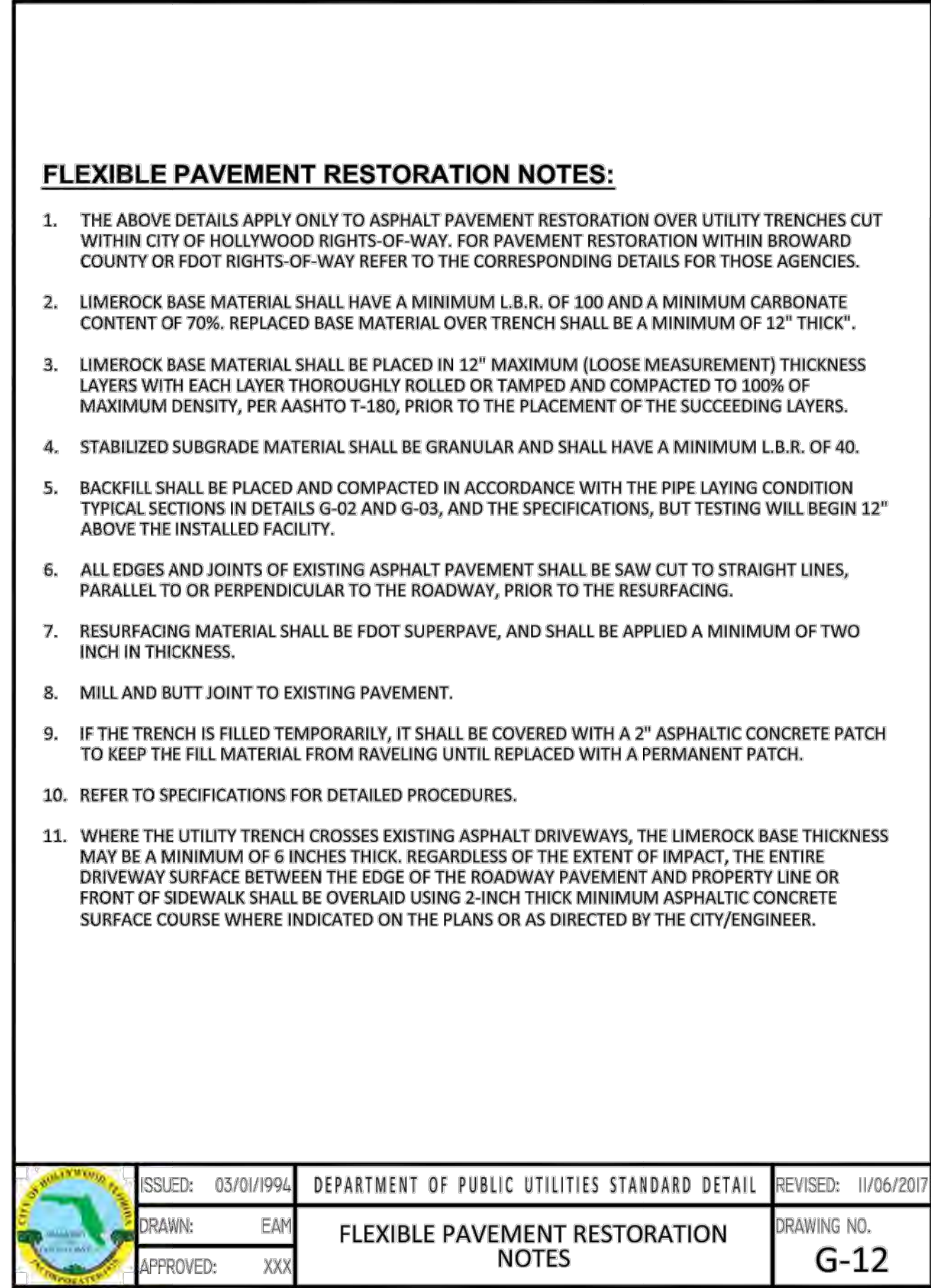
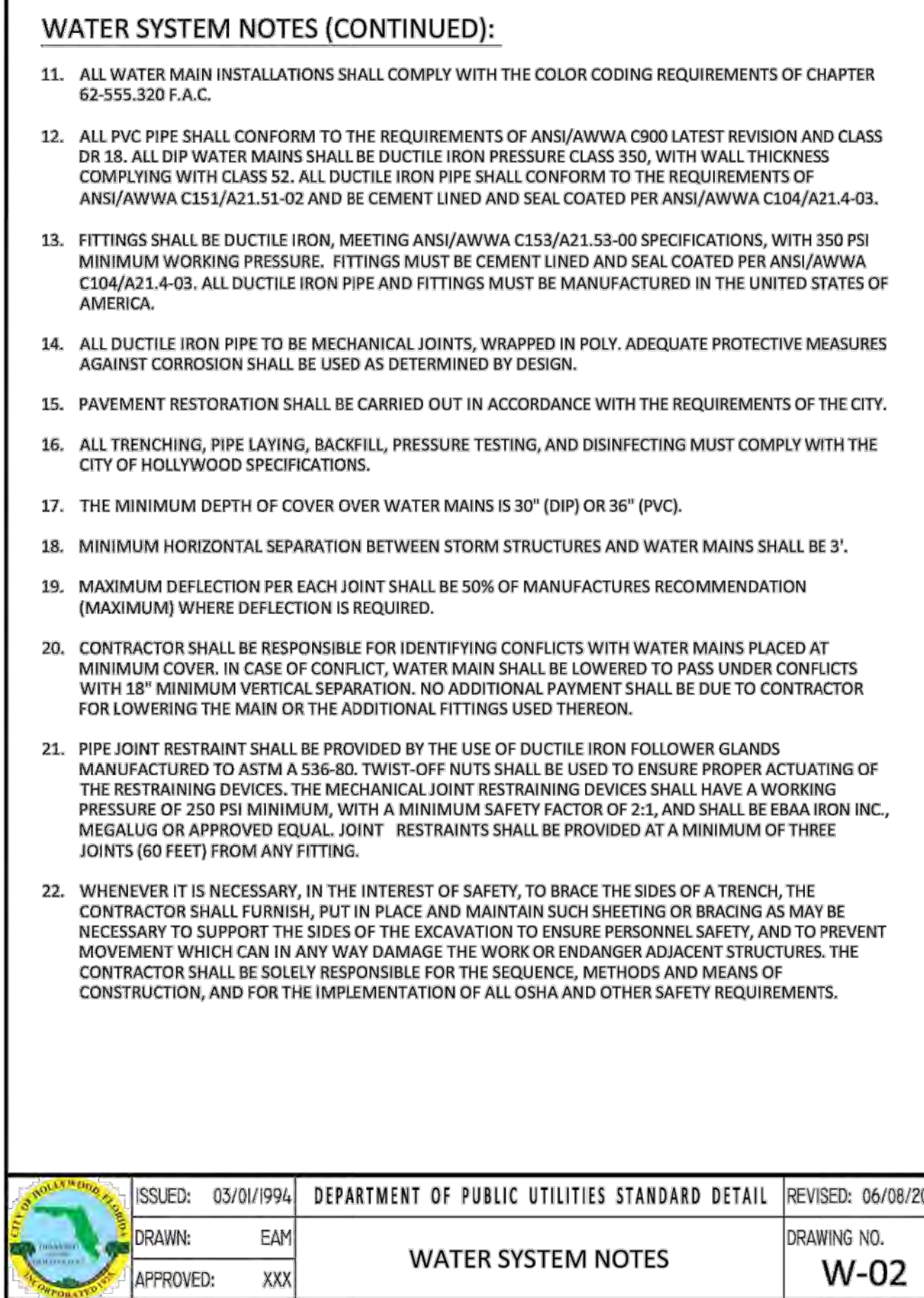
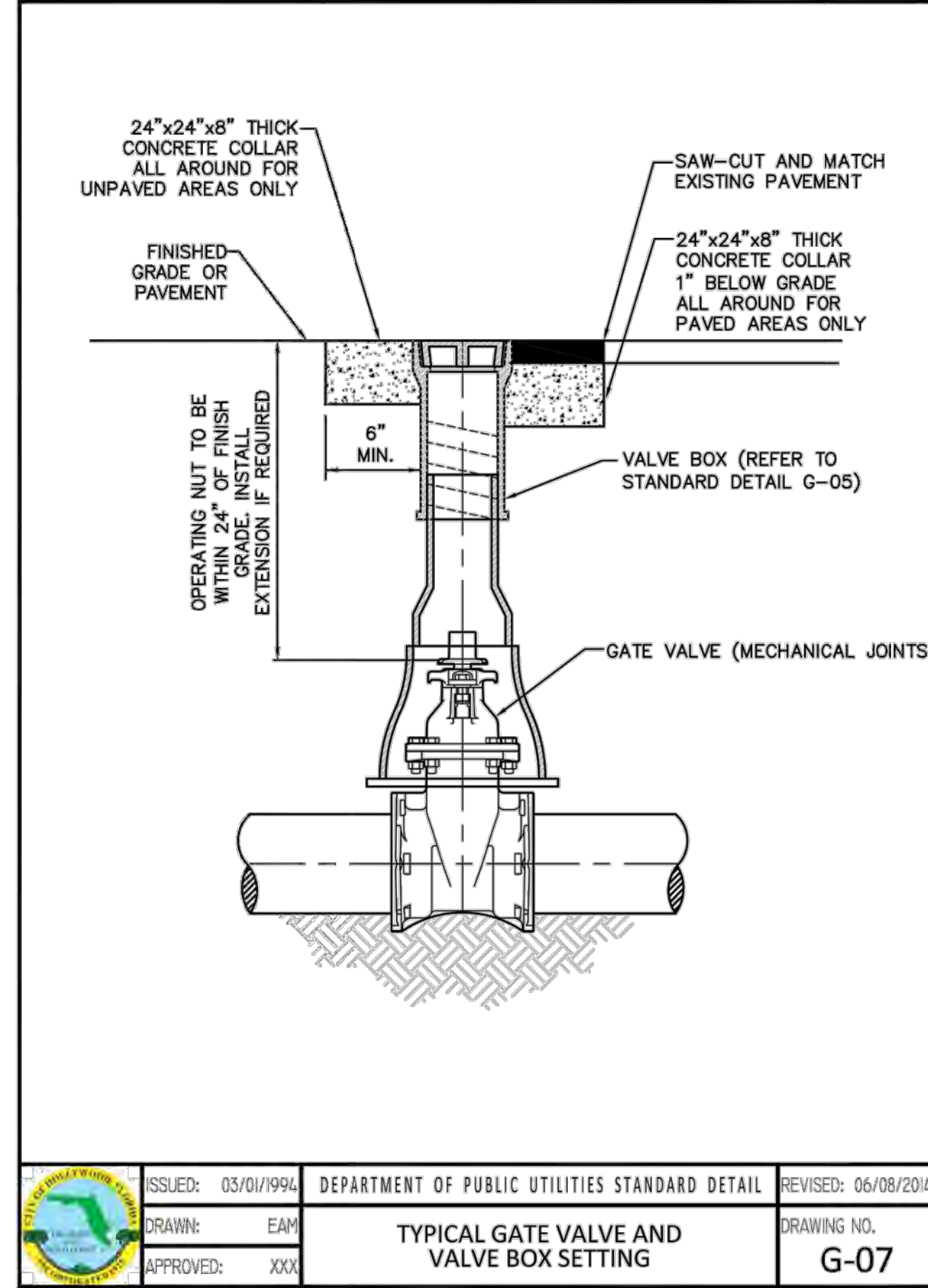
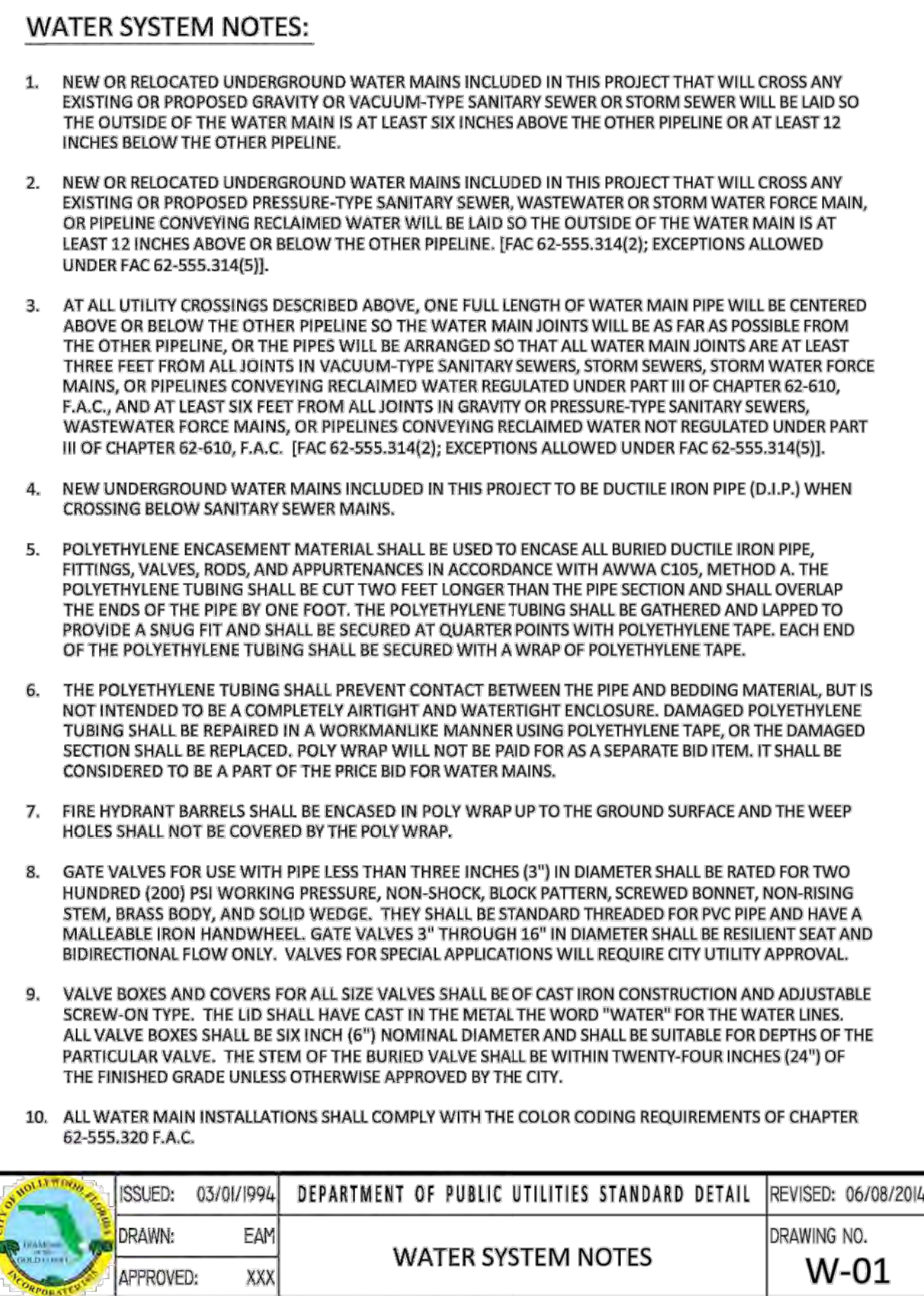
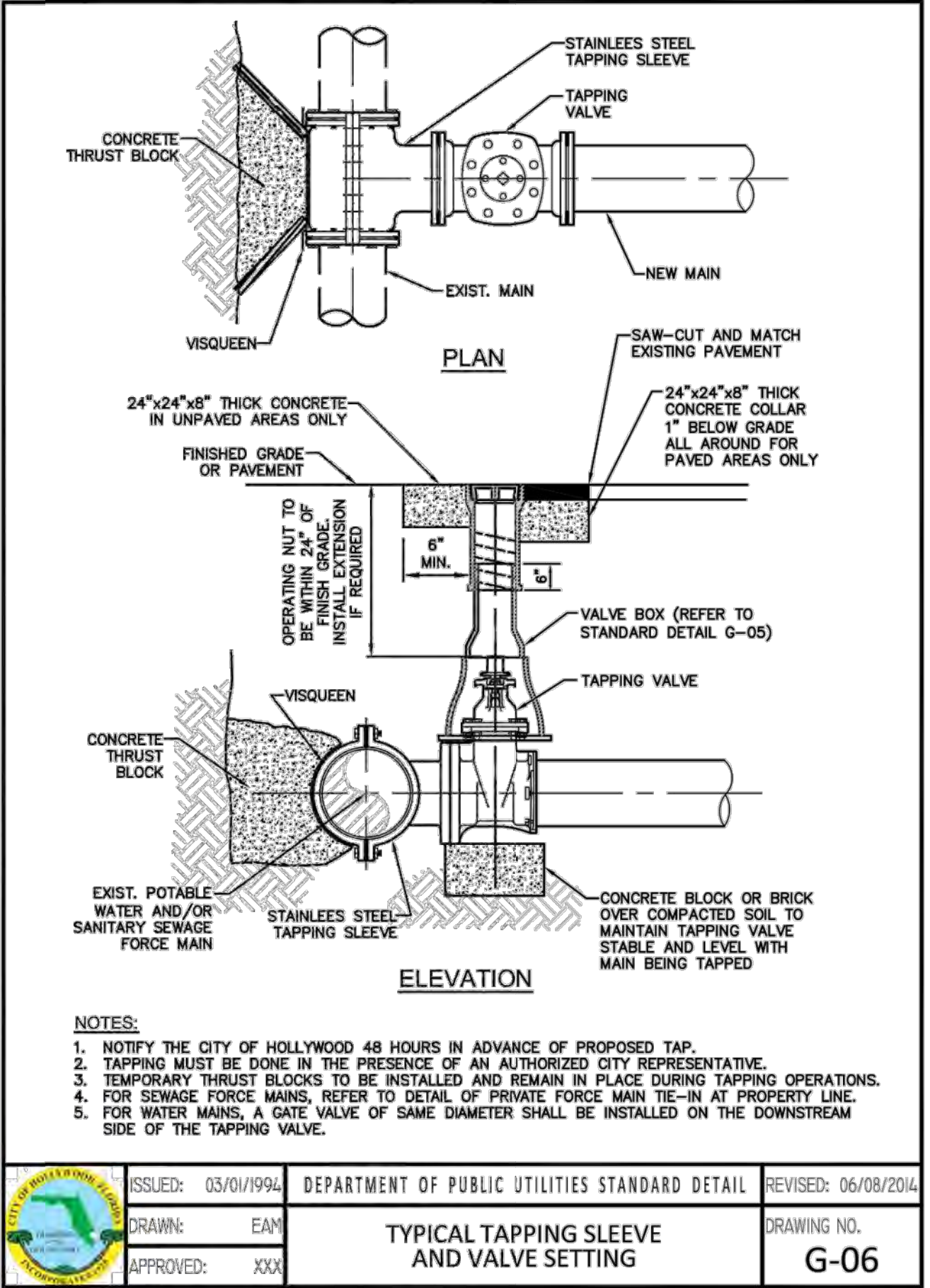
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Lucia LaRosa Registered Architect
AR# - 0017852
AA# - 28003693

REVISION:	BY:

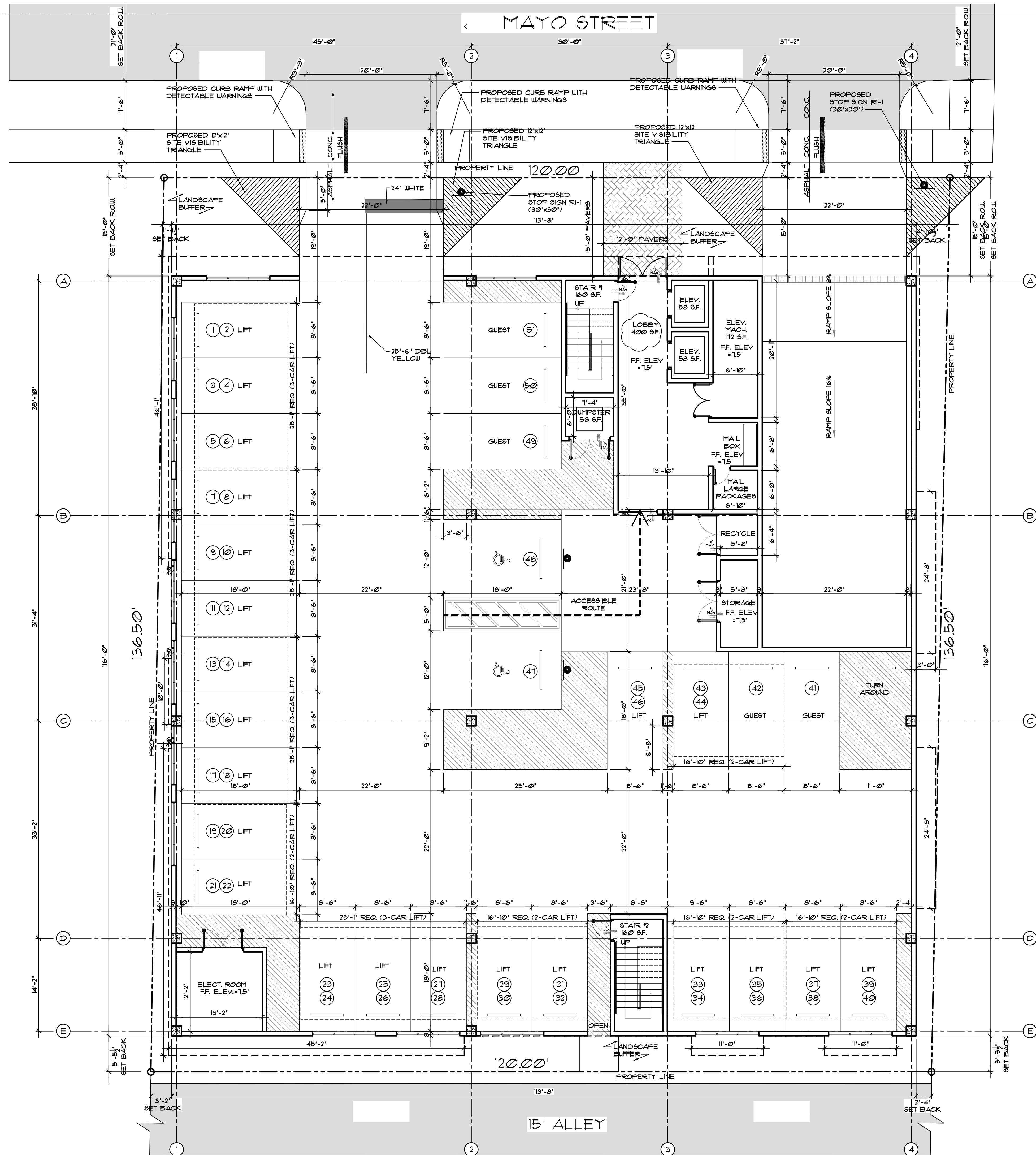
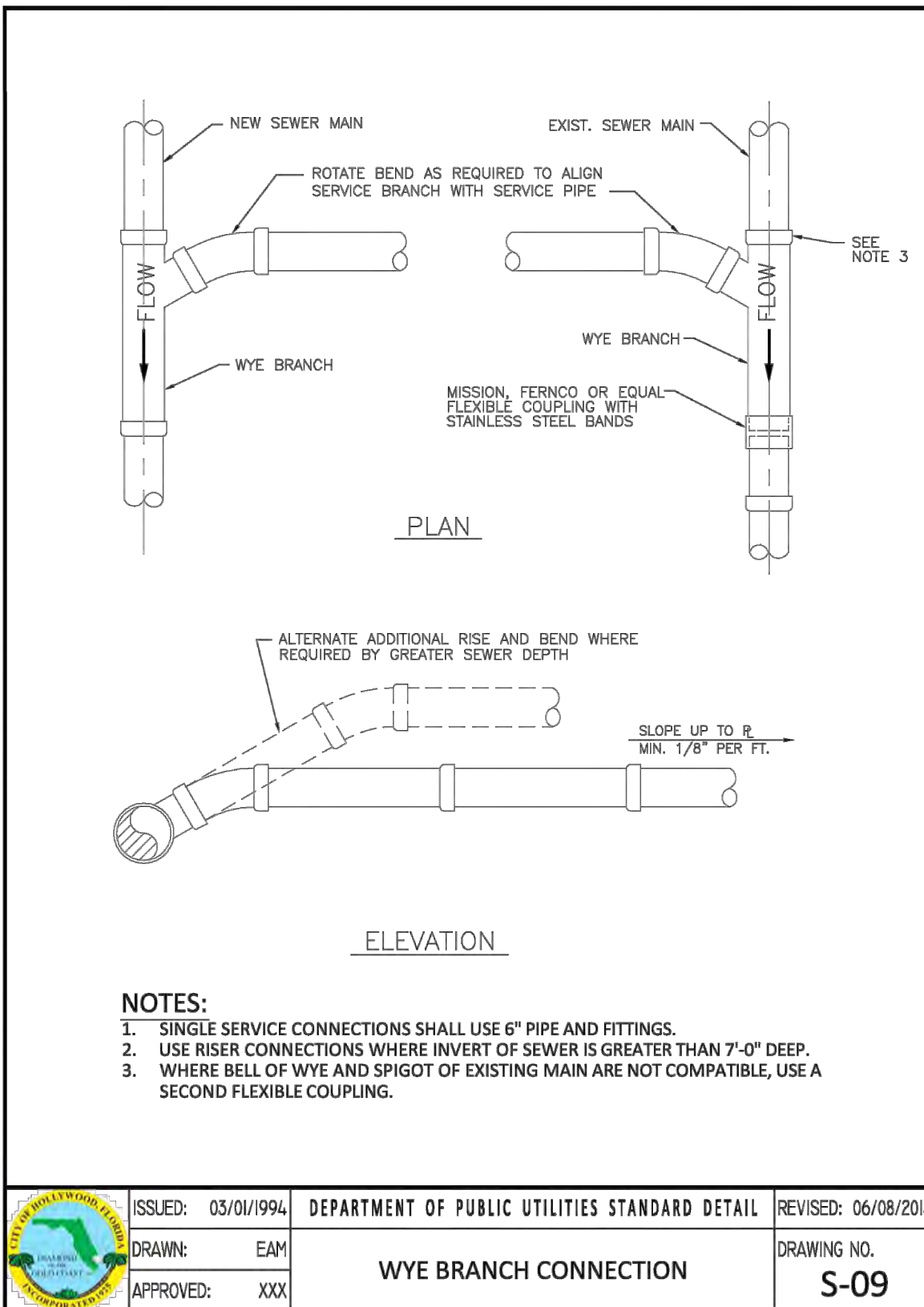
PROPOSED 49-UNIT MULTI-FAMILY DEVELOPMENT FOR:
1840 MAYO STREET LLC
1834-1840 MAYO STREET
HOLLYWOOD, FLORIDA 33020

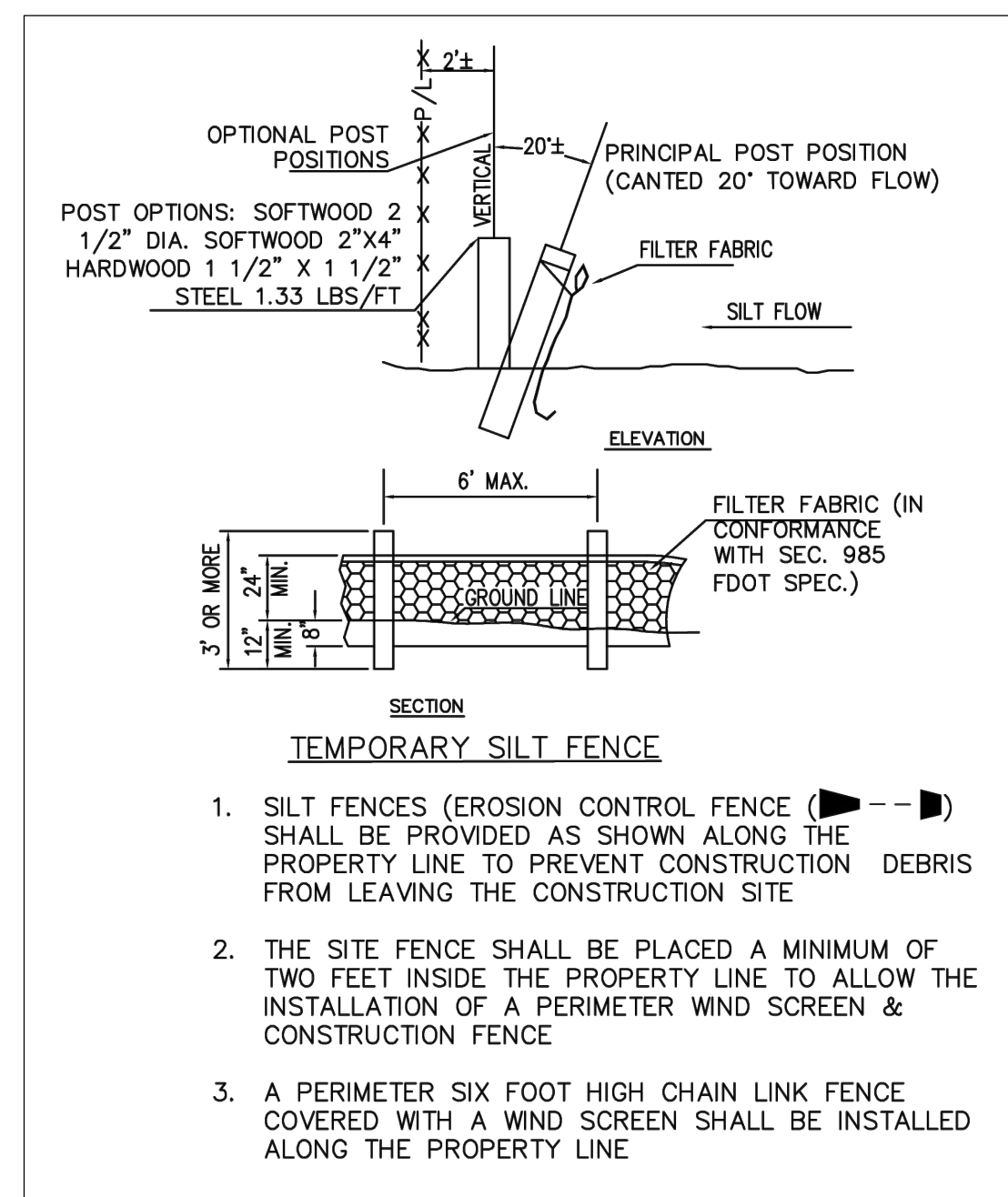
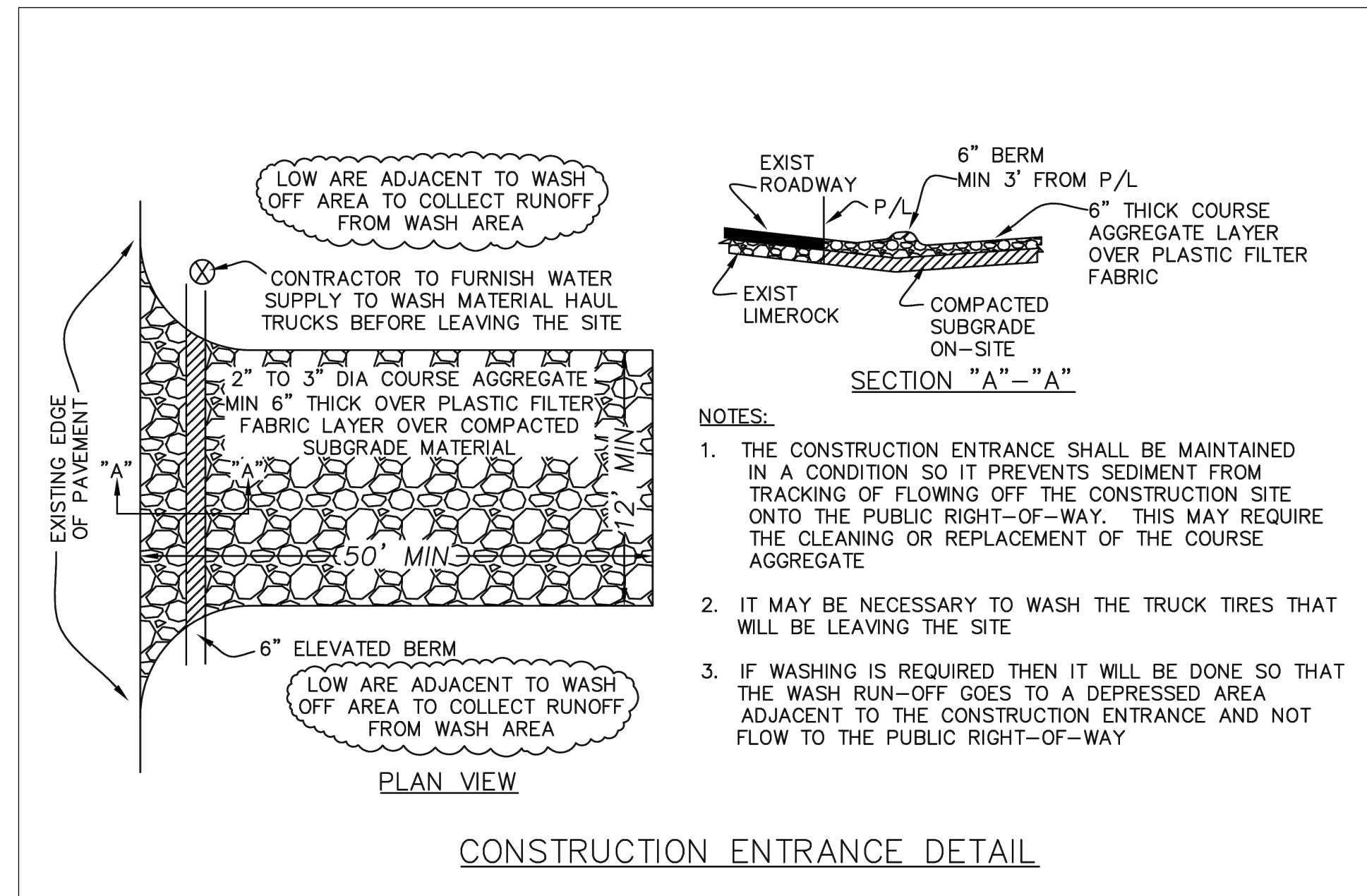
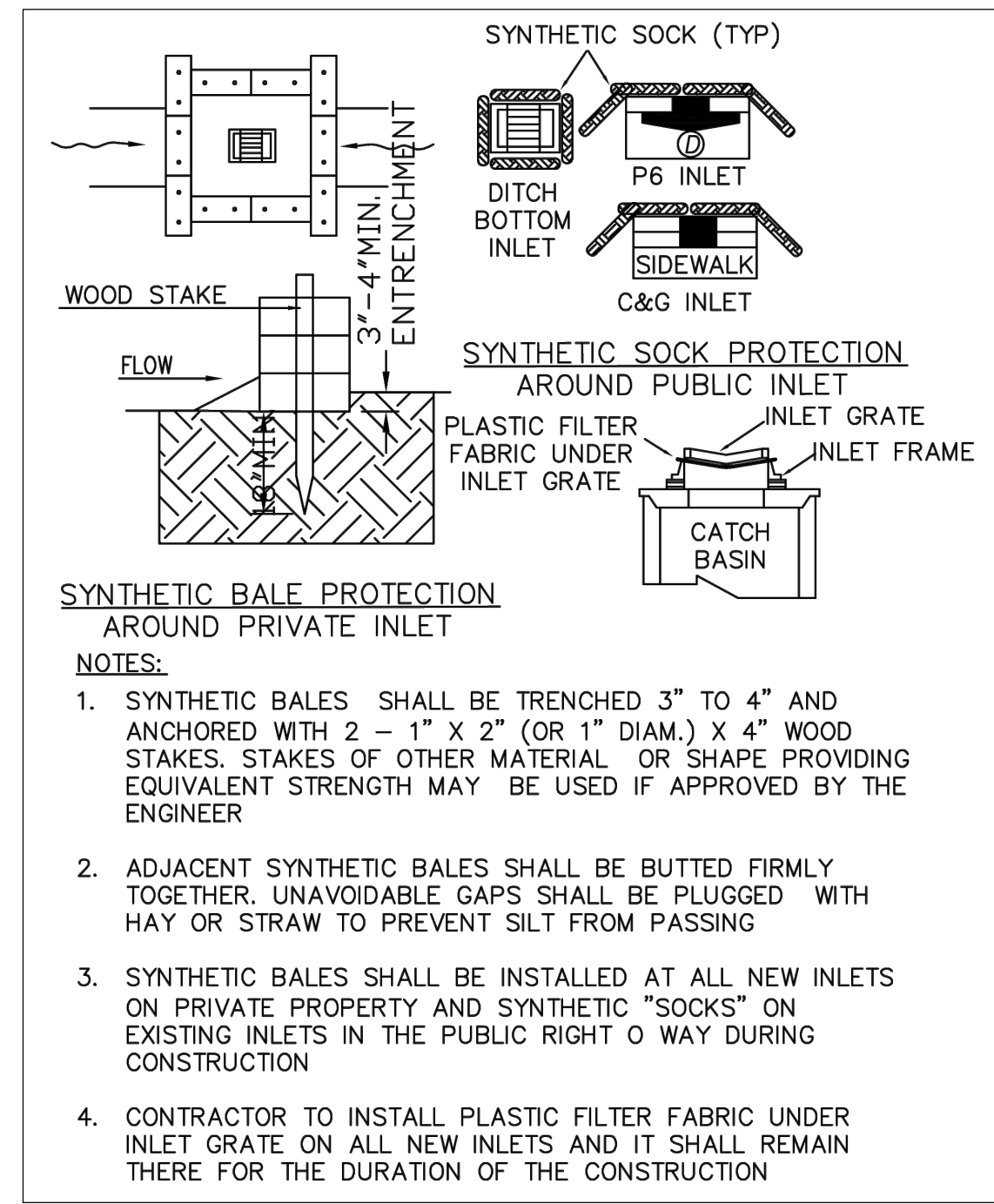
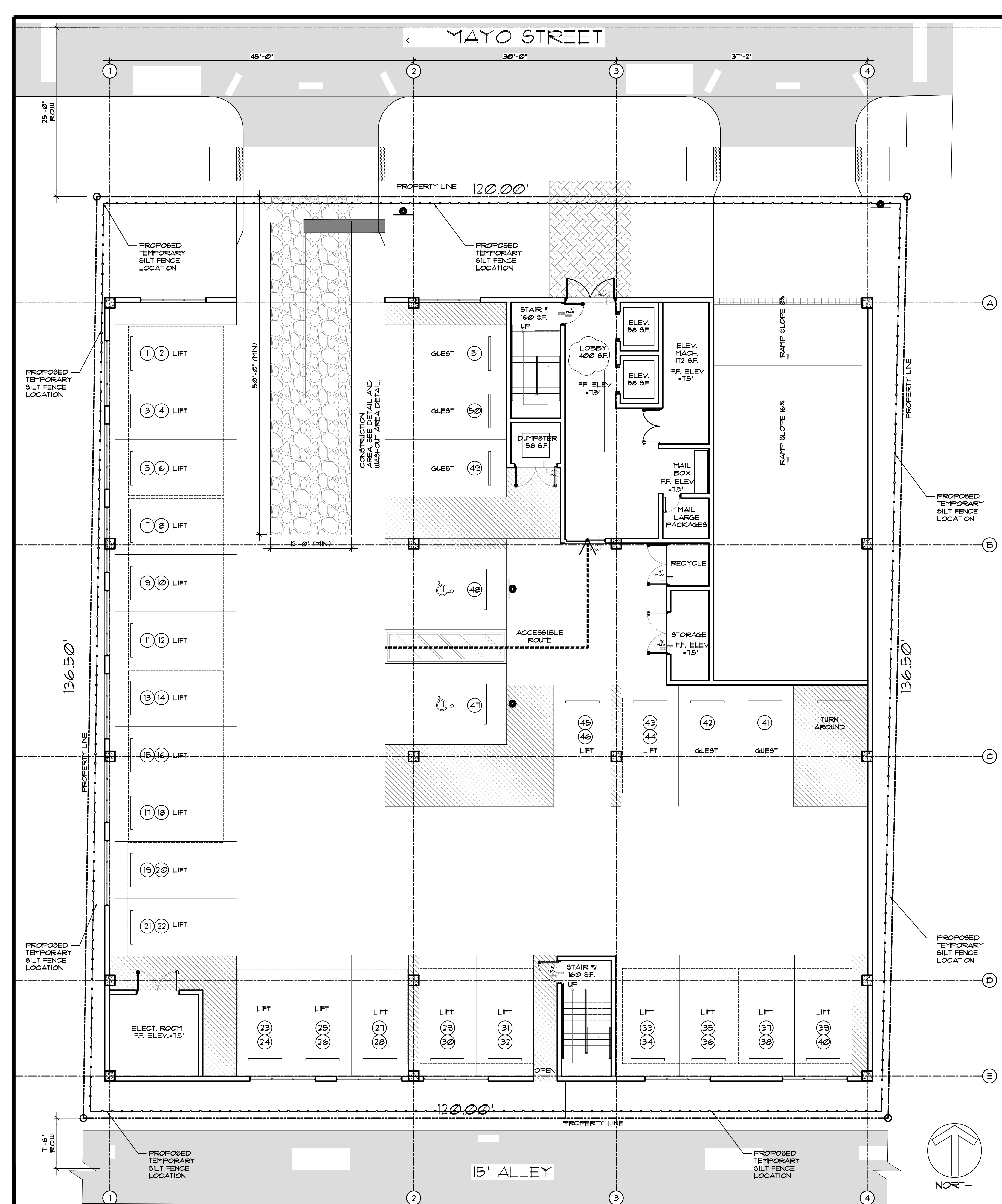
SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	LLR
DATE	04-10-2023
SCALE	AS NOTED
JOB. NO.	023-009
SHEET	

C-1.3

OF SHEETS







LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIRAMAR, FLORIDA 33027
(OFF.) - 305-403-7926
(CELL) - 786-543-0851
E-MAIL: LLR@SHRARCHITECTS.COM

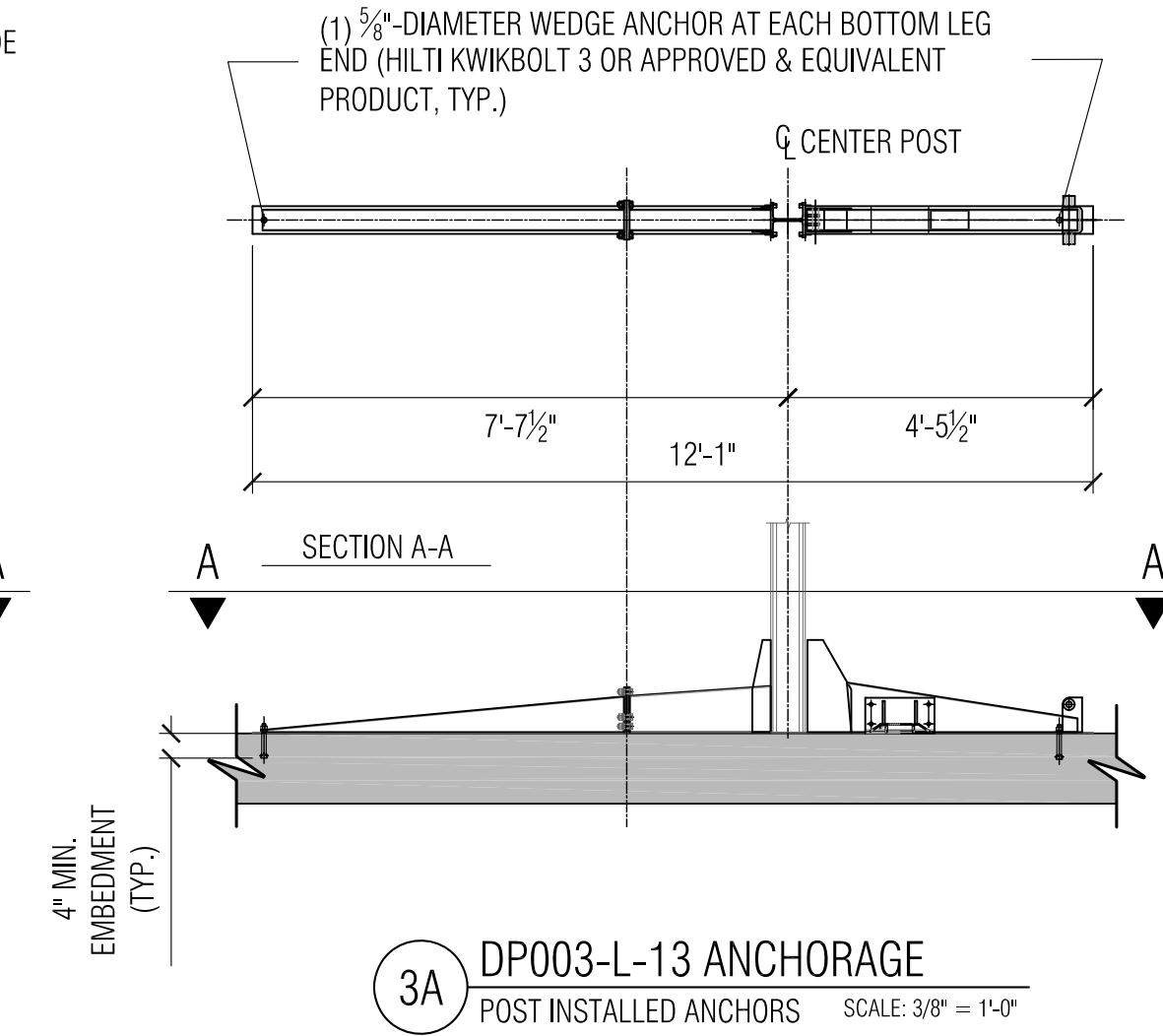
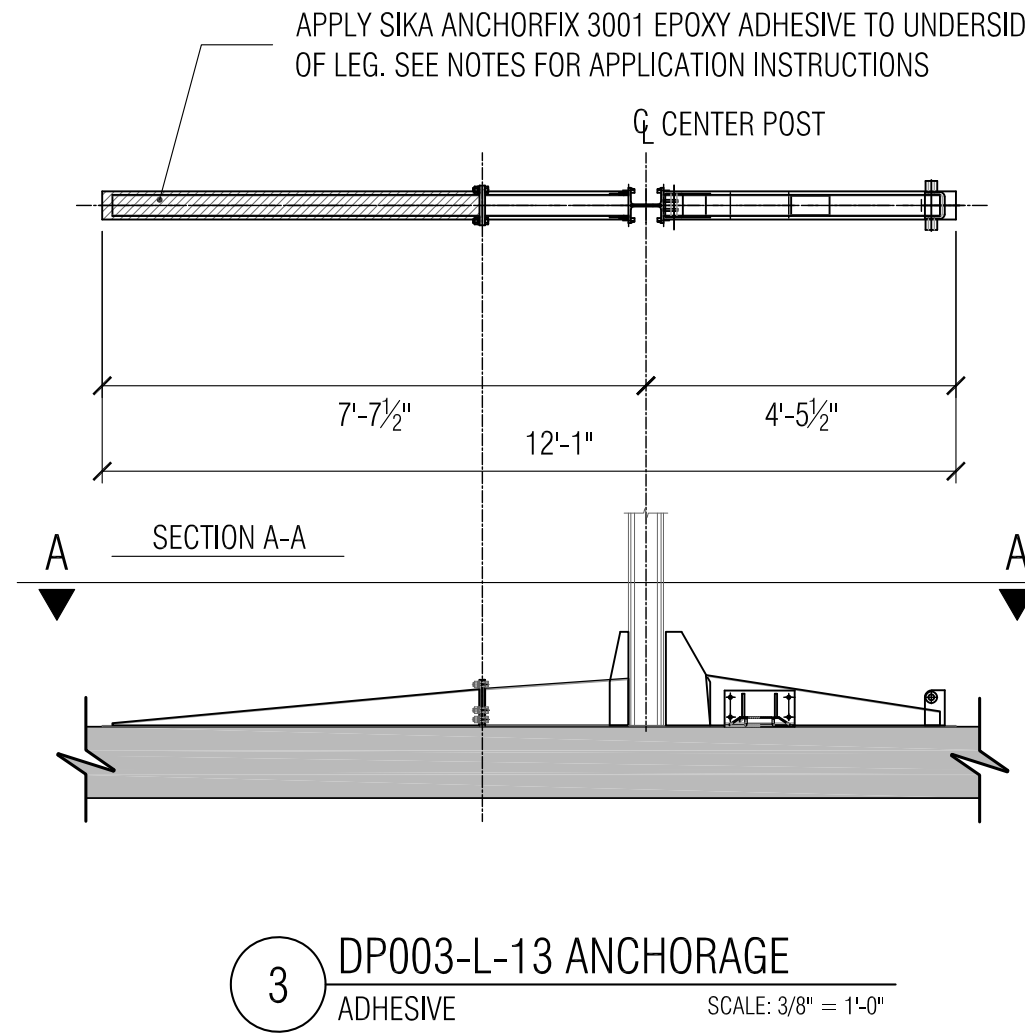
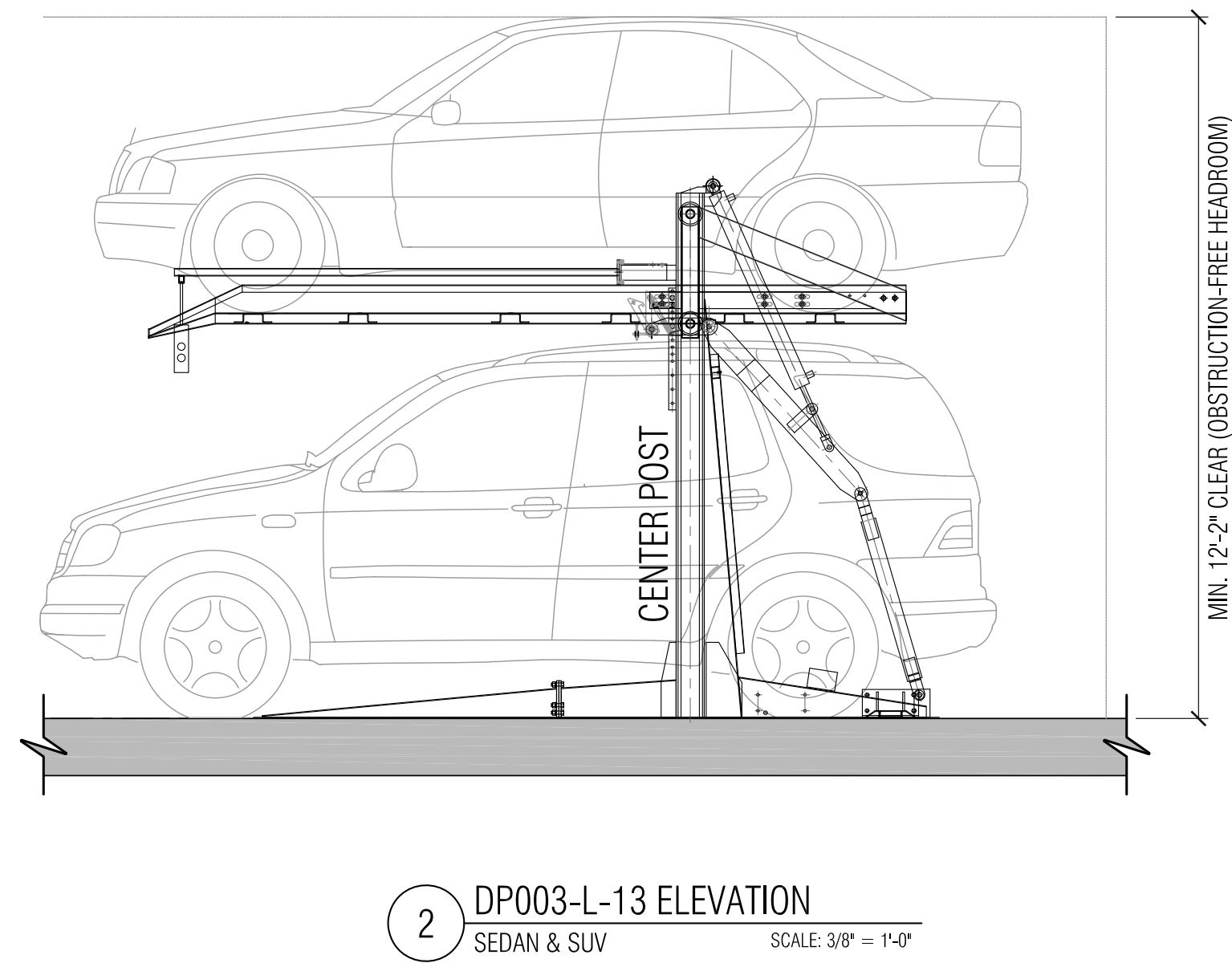
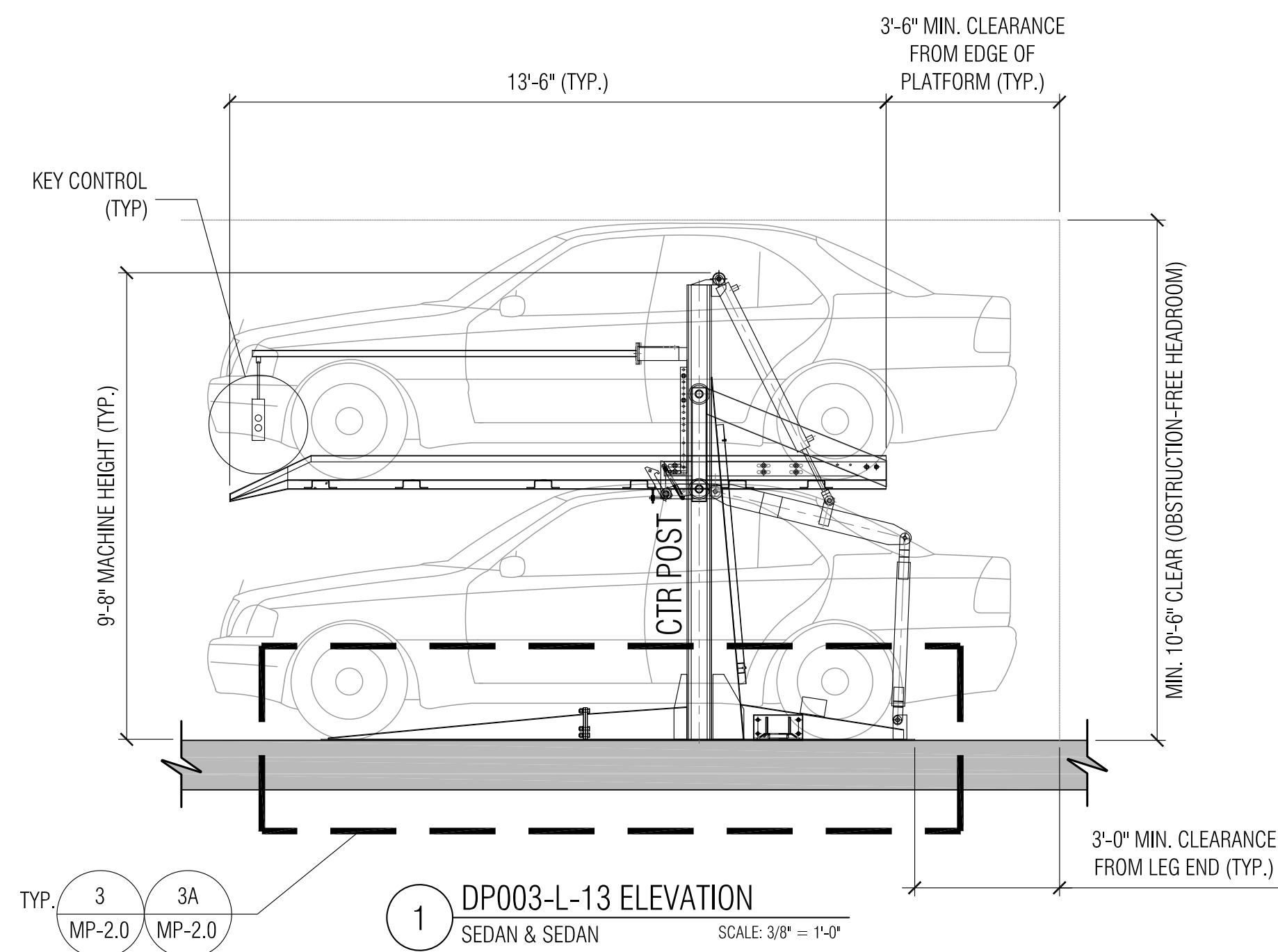
Luis LaRosa-Registered
Architect
AR#-0017852
AA#-26003693

REVISION:	BY:

PROPOSED 49-UNIT MULTI-FAMILY DEVELOPMENT FOR:
1840 MAYO STREET LLC
1834-1840 MAYO STREET
HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

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SHEET	



ESTIMATED WEIGHT OF DOUBLE STACKER=3000#
CAR LIFT CAPACITY=6000#

RECOMMENDED CLEARANCES FOR DP003

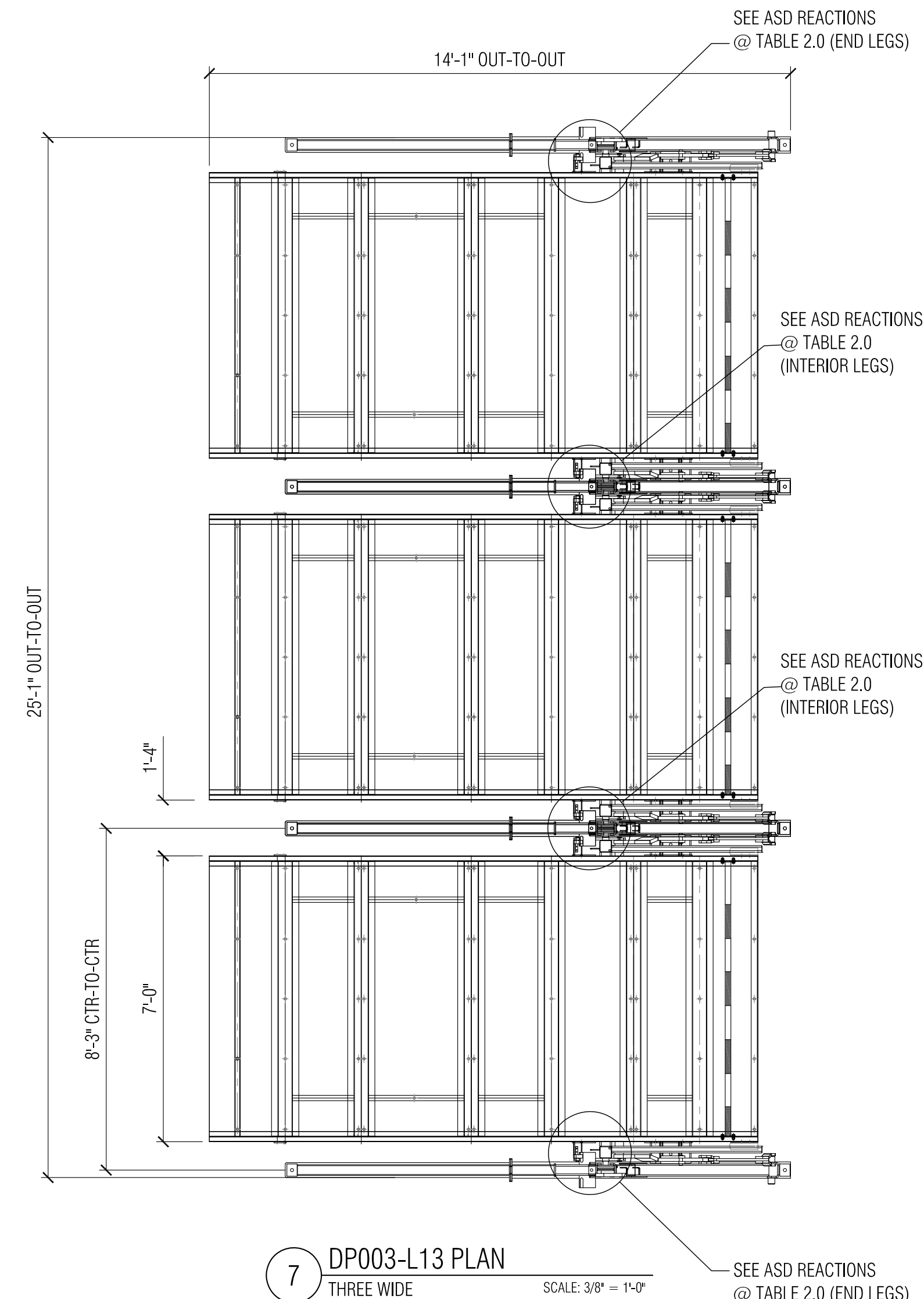
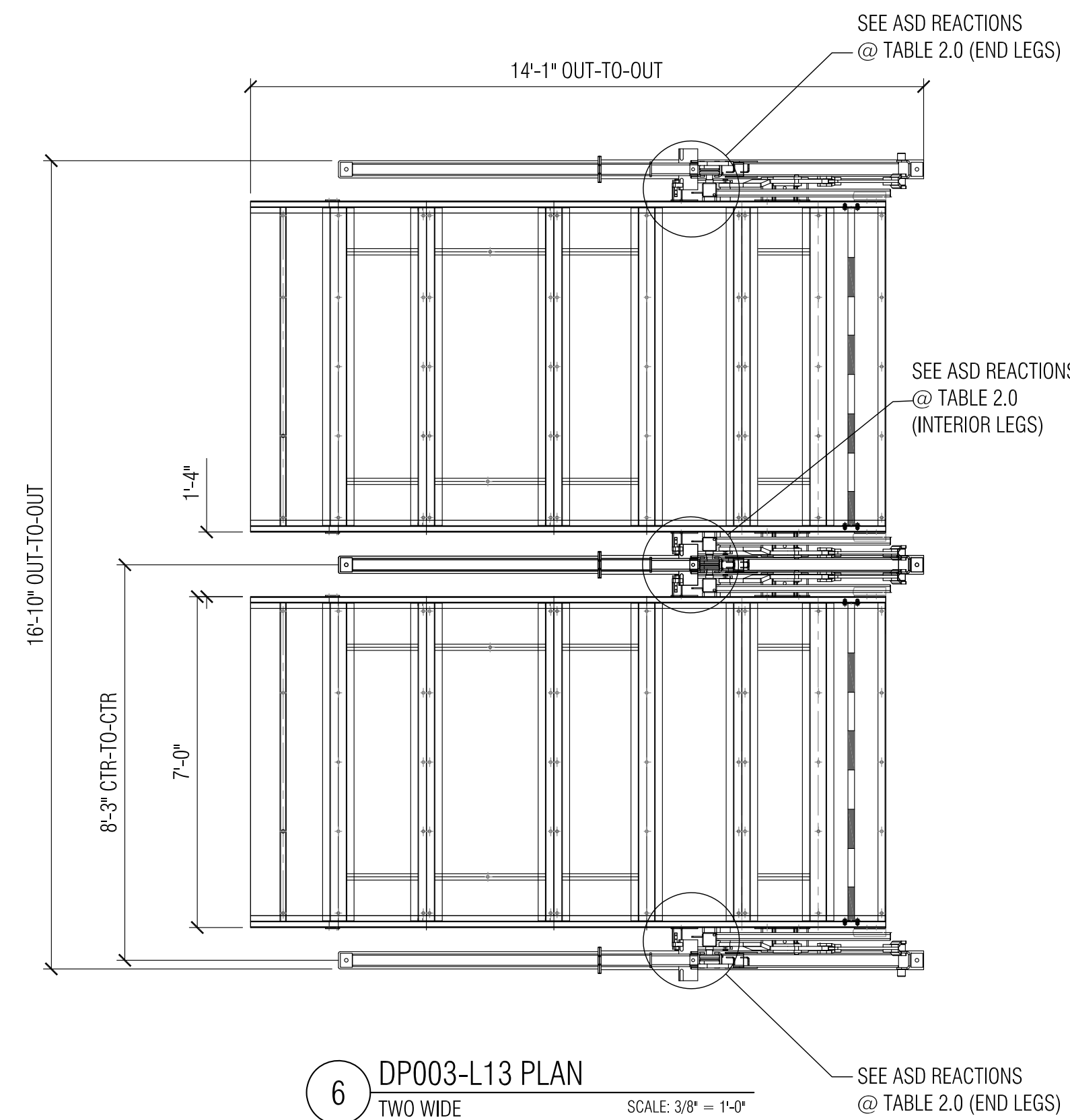
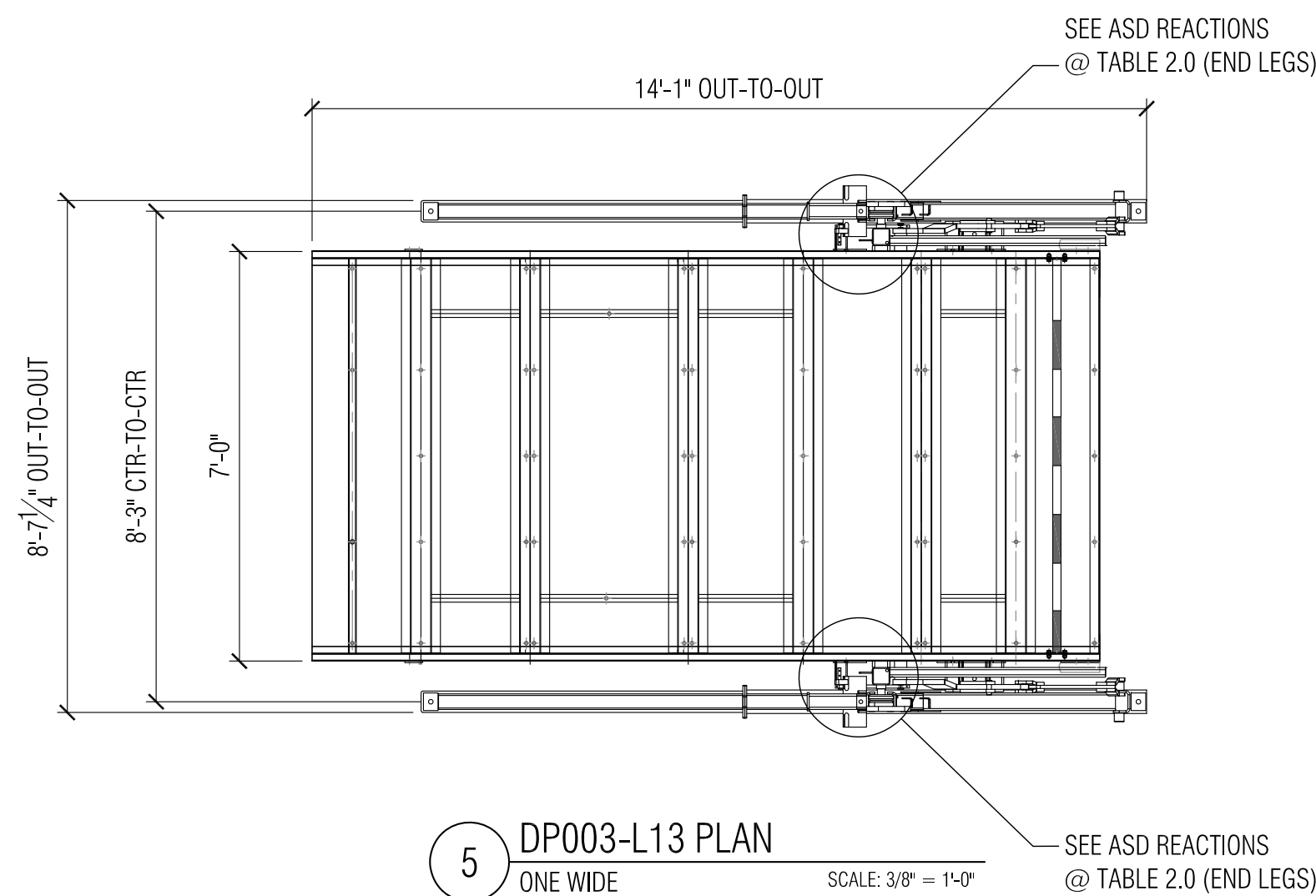
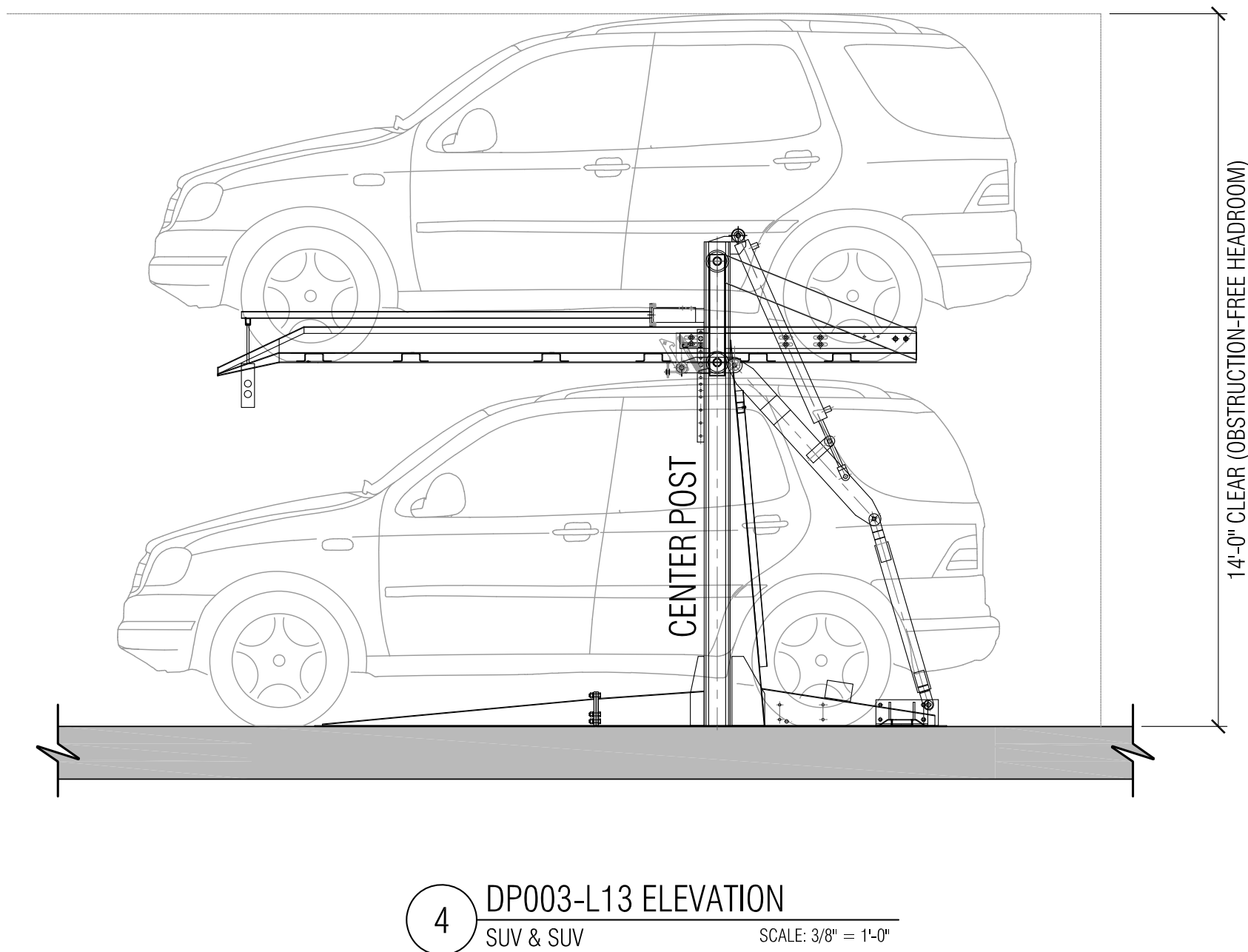
STACKED VEHICLE TYPES	TOTAL HEIGHT REQUIREMENT
SEDAN + SEDAN	10'-6"
SUV + SEDAN	12'-2"
SUV + SUV	14'-0"

TABLE 2.0 - ASD REACTIONS AT CENTER POST:

	LOADED WITH VEHICLE (w/20% Impact Factor)	UNLOADED(LIFT SELF WEIGHT)
END LEGS:	5,000 lbs	1,500 lbs
INTERIOR LEG:	10,000 lbs	3,000 lbs
AREA LOAD:	150 psf	40 psf

ANCHORAGE NOTES:
1. USE ADHESIVE FOR POST TENSION SLAB (DETAIL 3).
2. USE POST INSTALLED ANCHORAGE FOR REINFORCED CONCRETE SLAB (DETAIL 3A).

CAR LIFTS ON SLOPES NOTE:
1. THE MAXIMUM ALLOWABLE SLOPE WHICH CAN BE HANDLED BY THE PARKING LIFT IS 6%.
2. PARKING LIFTS SHOULD NOT BE PLACED WHERE ONE LEG SITS ON A SLOPED SURFACE AND THE OTHER ON A FLAT SURFACE.



REVISION	DATE

PARKPLUS
HIGH DENSITY VEHICLE STORAGE
Leaders in high density parking systems

PARK PLUS FLORIDA, INC.
1111 OLD GRIFFIN ROAD
DANIA BEACH, FL 33004
TEL: +1-954-929-7511
FAX: +1-954-929-7512
www.parkplusinc.com

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REPRODUCTION OF THESE DRAWINGS SHALL NOT BE REPRODUCED OR COPIED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN CONSENT.

VIRAPHONH VICTOR SOUKAMNEUTH, P.E.
FLORIDA PE #78074

CERTIFICATE OF AUTHORIZATION #31097

BEARING	LOCATION PLAN

PROJECT NAME

PROJECT NUMBER
XXXXFL

TITLE

DRAWN	CHECKED	CHECKED	DATE
FM	EP	VS	XX/XX/XXXX
SCALE		DRAWING NUMBER	
AS NOTED			



July 25, 2023

Luis La Rosa, A.I.A., President
LLR Architects, Inc.
9000 Sheridan Street, Suite 158
Pembroke Pines, Florida 33024

Via Email Only

Dear Mr. La Rosa:

Re: Platting requirements for a parcel legally described as Lots 1 and 2, Block 2, "Alden Manor," according to the Plat thereof, as recorded in Plat Book 24, Page 8, of the Public Records of Broward County, Florida. This parcel is generally located on the south side of Mayo Street, between South 19 Avenue and Federal Highway/U.S. 1, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. A majority of the lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.38 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.

Luis La Rosa
July 25, 2023
Page Two

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Dawn Teetsel at your convenience.

Respectfully,



Barbara Blake Boy
Executive Director

BBB:DBT

cc/email: George Keller, City Manager
City of Hollywood

Andria Wingett, Interim Director, Development Services
City of Hollywood

