

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of digitally signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee (per review)

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

**CLICK HERE FOR
FORMS, CHECKLISTS, &
MEETING DATES**

APPLICATION TYPE:

- ☒ Technical Advisory Committee
☐ City Commission

☐ Variance/Special Exception Requested

- ☐ Administrative Approvals
☐ Historic Preservation Board
☐ Planning and Development Board

PROPERTY INFORMATION

Location Address: 2022 MAYO LLC

Lot(s): 10 Block(s): 2 Subdivision: Alden Manor

Folio Number(s): 514222330200

FH-2

Zoning Classification: FH-2 Land Use Classification: R.A.C.

Existing Property Use: Single Family Sq Ft/Number of Units: 1,048 / 1

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide

File/Resolution/Ordinance No.: _____

DEVELOPMENT PROPOSAL

Explanation of Request: 15-unit Multi-Family Apartment building

Phased Project: Yes / No ☒ Number of Phases: _____

Project	Proposal
Units/rooms (# of units)	15 (Area: 18,495 S.F.)
Proposed Non-Residential Uses	S.F.
Open Space (% and SQ.FT.)	13% (Area: 1,037 S.F.)
Parking (# of spaces)	23 (Area: S.F.)
Height (# of stories)	5 stories (55 FT.)
Gross Floor Area (SQ. FT)	31,350 s.f.

Name of Current Property Owner: 2022 MAYO LLC

Address of Property Owner: 3241 SW 44 ST FORT LAUDERDALE, FL 33312

Telephone: 9548424626 Email Address: rhinvestmentus@gmail.com

Applicant Luis La Rosa

☒ Consultant ☐ Representative ☐ Tenant (check one)

Address: 9000 Sheridan Street Suite 158 Telephone: 7865430851

Email Address: llarosa@larosaarchitects.com

Email Address #2: _____

Date of Purchase: 8/23/23 Is there an option to purchase the Property? Yes ☐ No ☒

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign as approved by the Division of Planning & Urban Design. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Gil Betzau Date: 1-4-24

PRINT NAME: Gil Betzau Date: _____

Signature of Consultant/Representative: Wm La Rosa Date: 1-5-24

PRINT NAME: Wm La Rosa Date: _____

Signature of Tenant: _____ Date: _____

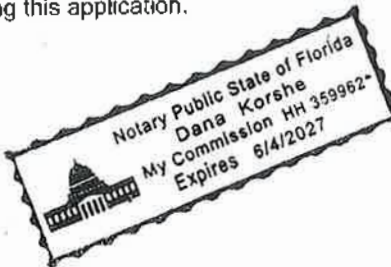
PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 1 day of 5-24

[Signature]
Notary Public
State of Florida



Gil Betzau
Signature of Current Owner

Gil Betzau
Print Name

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

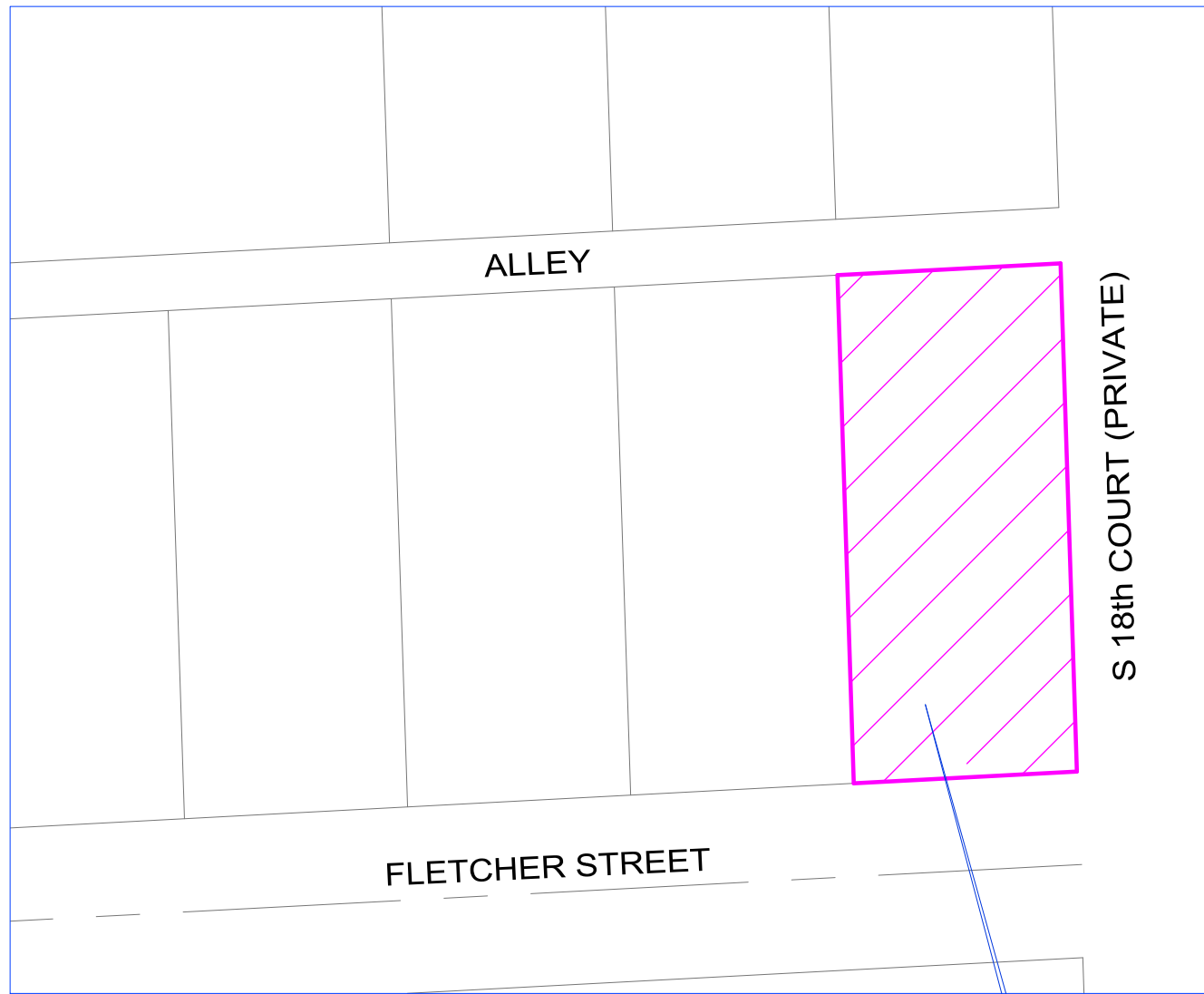
ALTA / NSPS LAND TITLE SURVEY

A PARCEL OF LAND LYING AND BEING A PORTION OF THE N.W. 1/4 IN SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

0 10 20

SCALE: 1" = 20'

9 SURVEY MAP



1 VICINITY MAP

Not to Scale

2 PROPERTY ADDRESS

1835 Fletcher Street, Hollywood, Florida 33020
Parcel Id: 5142223302200

3 LEGAL DESCRIPTION

Lot 10, Block 2, **ALDEN MANOR**, according to the plat thereof, as recorded in Plat Book 24, Page 8, of the Public Records of Hollywood, Broward-County, Florida.

4 AREA TABULATION

Net Area of subject parcel: +/-8,190.0 SqFt (+/-0.18 Acres) (As measured in the field).
Gross Area of subject parcel: +/-9,688.0 SqFt (+/-0.22 Acres) (Calculated to include up to center line of Abutting right of way(s)).

5 ZONING INFORMATION

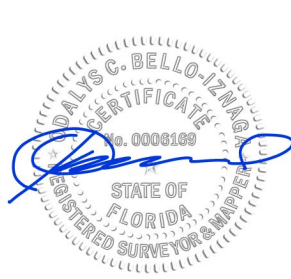
Zoning District: FH-2 Federal Highway Medium-High-Intensity Mixed-Use District (as per City of Hollywood Interactive Zoning Map) (A Zoning Report has not been provide to Surveyor).

7 CERTIFICATIONS

I hereby certify to: Miami-Dade County, a Political Subdivision of the State of Florida; National Title and Abstract Company ; Old Republic National Title Insurance Company. That this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Optional Items 1, 2, 3, 4, 5, 6, 7 (a), 8, 11 (utilities by observed aboveground visible evidence), 13, 14, 16, 17, 18 and 19 of Table A thereof.

Date of Plat or Map: December 01st, 2023

Date of Completion: December 15th, 2023



Digitally signed by Odalys C Bello
DN: c=US, o=Bello and Bello Land
Surveying Corp.,
dnQualifier=A01410C000001884E3B
67E800DD40A, cn=Odalys C Bello
Date: 2023.12.15 15:33:50 -05'00'

Odalys C. Bello-Iznaga
Professional Surveyor & Mapper # 6169
State of Florida

SURVEY LEGEND

- Vicinity Map
- Property Address and Tax Folio
- Legal Description
- Area Tabulation
- Zoning Information
- Surveyor's Report
- ALTA/NSPS Certification
- Project / Survey Number.
- Survey Map

TREE CHART					
Tree #	Common Name	Scientific Name	Trunk Diameter at Breast Height DBH(in) (+/-)	Approximate Height (ft)(+/-)	Approximate Canopy (ft)(+/-)
1	Palm	Unknown	8	12	15
2	Palm	Unknown	7	11	9
3	Palm	Unknown	7	11	6
4	Unknown	Unknown	15	32	10
5	Palm	Unknown	7	8	11
6	Palm	Unknown	7	11	8
7	Palm	Unknown	7	11	8
8	Palm	Unknown	8	13	7
9	Unknown	Unknown	5	15	12
10	Mango Tree	Mangifera Indica	15	25	20
11	Coconut Palm	Cocos nucifera	12	25	10
12	Coconut Palm	Cocos nucifera	6	12	6
13	Palm	Unknown	5	12	8
14	Unknown	Unknown	12	15	10

Note: Tree Location Survey has not been performed based on a Certified Arborist Report. Common names and scientific names were determined to the best our knowledge.

6 SURVEYOR'S REPORT

- This ALTA/NSPS Survey has been made on the ground on December 1st, 2023 under my supervision and direction employing adequate instrumentation and survey personnel. Proper survey principles, field procedures and techniques were applied while conducting this survey. Field findings results and its relationship to instruments of record investigated are represented herein.
- This map of an ALTA Survey has been prepared in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by the American Land Title Association (ALTA) and the National Society of Professional Surveyors (NSPS) effective February 23, 2021.
- This ALTA Survey correctly depicts the lands contained within the subject property as herein described and accurately shows the location and type of all visible above-ground improvements, evidence of utilities and any other relevant matters affecting these lands. Underground utilities and footings have not been located. Existing trees have not been located. The legal description of this property forms a mathematically closed geometric figure. Distances and directions along the boundary lines as reestablished based on the horizontal position of survey monuments and control points recovered and traversed during the field site work are in consistency with distances and directions from records.
- Except as listed herein there are no other visible easements, right of ways and servitudes of which the undersigned has knowledge of that might affect these lands and there are no other observable above ground potential encroachments by the improvements on this property upon adjoining parcels, streets, easements or right of ways. Excavation and/or a private utility locate request might be necessary for a detailed location of underground utilities.
- There is no observable evidence of site usage as solid waste dump, swamp and/ or sanitary landfill on this lot and/or on the immediately adjoining parcels.
- This property has access to and from a duly dedicated and accepted public Right of Ways: Fletcher Street - along the South property line, and a 15' wide Public Alley along the North property line.
Note that there is a roadway (apparently "PRIVATE" being S 18th Court running along the East Line of the subject property that the undersigned surveyor did not investigate and is not aware it's about the ownership and maintenance. The undersigned has no knowledge of proposed changes in street right of way lines for the above mentioned public right of way(s).
- No evidence of recent earth moving work, building construction or additions have been observed in the process of conducting the field work.
- No evidence of wetland field designations were present at the time of the survey.
- FLOODPLAIN INFORMATION:** As scaled from Federal Insurance Rate Map (FIRM) of Community No. 120113 (City of Hollywood), Panel 0732, Suffix H, revised on Sept 11th, 2009, this real property falls in Zone "X". As defined by FEMA, Zone "X" is an area of minimal flood hazard, outside the Special Flood Hazard Area (SFHA) and higher than the elevation of the 0.2-percent-annual-chance flood. Mandatory flood insurance purchase requirements and floodplain management standards apply. This determination is obtained directly from FEMA - the undersigned assumes no responsibility for any flooding occurrence in this area.
- HORIZONTAL LOCATION AND ACCURACY:** The lands surveyed had been located on the ground with a precision that, based on a direct distance tested between two (2) corners, does not exceed the maximum allowable Relative Positional Precision for ALTA/NSPS Land Title Survey, which equals 2 cm (0.07 feet) plus 50 parts per million. The accuracy obtained by field measurements (redundant measurements) and office calculations meets and exceeds the customary minimum horizontal feature accuracy (linear) for an urban area being equal to 1 foot in 7,500 feet.
- VERTICAL CONTROL AND ACCURACY:** The elevations as shown are referred to the North American Vertical Datum of 1988 (NAVD 1988), Official Broward County Single Average Conversion Factor (ACF) from NGVD 1929 to NAVD 1988 datum is (-) 1.605 feet or (minus 1.605 feet). The closure in feet, as computed, meets the standard of plus or minus 0.05 feet times the squared root of the loop distance in miles. Elevation are based on a level loop from and to the following official Bench Marks:
Bench Mark # 1: Broward County Engineering Division Bench Mark 1135, Elevation = 10.77 feet (NGVD29)
Description: "Square" cut in South edge of concrete sidewalk and at center of sidewalk leading to Stevens funeral home, residence #315 Pembroke Road, Hollywood, 100' East of N.W. 4 Avenue, 38' South of centerline of asphalt Pembroke Road, 60' East of a power pole. B.M. found 4-6-2000 mark is 100' east of east edge of pavement of N.W. 4th Avenue.
Bench Mark # 2: Broward County Engineering Division Bench Mark 1080, Elevation = 9.13 feet (NGVD29)
Description: "Square" cut in Northeast corner of concrete stoop in front of residence #405 northwest Dixie Highway, Hallandale, 23' west of centerline of Dixie Highway, 23' North of a power pole 3' East of building.
- This Survey meets and exceeds the minimum Standards of Practice as set forth by the Florida Board of Land Surveyors and Mappers, in the applicable provisions of Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. As defined in Section 5J-17.050 this survey is a "Boundary Survey".
- This survey map and the copies thereof, are not valid without the original signature and raised seal of the undersigning Florida Licensed Land Surveyor & Mapper. Additions or deletions to this survey map are prohibited.
- The intended plotting scale for this survey map is 1": 20'. Data is expressed in U.S. Survey Foot.
- References to "Deed", "Record" or "Plat" pertain to documents and instruments of record as part of the pertinent information used for this survey work. These lands are subject to additional restrictions of record that were not furnished to the undersigning registered surveyor or are not reflected on the Ownership and Encumbrance Repor provided. The instruments of record investigated in the preparation of this survey are recorded in the Public Records of Broward County, unless otherwise shown.
- North arrow direction is based on an assumed Meridian. The bearing structure depicted herein is based on the assumed bearing along the Center Line of Fletcher Street being S87°17'52"W
- This survey has been made based on and upon an examination of said Ownership and Encumbrance Report (the O&E Report) provided by the client, issued by Carusi Law, prepared by Daniel S. Carusi, Esq., and dated December 7th, 2023. Upon review and examination of instruments of record listed on said O&E Report, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affect these lands have been noted and/or represented on this survey and the following applies:

Active Encumbrances listed: NONE

Restrictions/Easements listed:

Item # 1: All matters contained on the Plat of **ALDEN MANOR**, as recorded in Plat Book 24, Page 8, Public Records of Broward County, Florida. (does apply, depicted on survey)

Item # 2: Restriction contained in Deed Book 613, Page 149, Public Records of Broward County, Florida. (Not a survey related matter)

Additions and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authenticated electronic signature and seal of the undersigning Florida licensed Surveyor and Mapper.

QA/QC BY: O.C.B.I

DRAWN BY: I.C

FIELD DATE: 12/01/2023

UPDATED DATE: N/A

8 PROJECT NUMBER

23482 Page 1 of 1

BELLO & BELLO LAND SURVEYING

12230 SW 131 AVENUE • SUITE 201 • MIAMI FL 33186
LBH7262 • Phone: 305.251.9606 • Fax: 305.251.6057
e-mail: info@belloland.com • www.bellolandsurveying.com





February 26, 2024

Luis La Rosa, A.I.A., President
LLR Architects, Inc.
9000 Sheridan Street, Suite 158
Pembroke Pines, Florida 33024

Via Email Only

Dear Mr. La Rosa:

Re: Platting requirements for a parcel legally described as Lot 10, Block 2, "Alden Manor," according to the Plat thereof, as recorded in Plat Book 24, Page 8, of the Public Records of Broward County, Florida. This parcel is generally located on the north side of Fletcher Street, between South 19 Avenue and Federal Highway/U.S. 1, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. A majority of the lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.19 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

Luis La Rosa
February 26, 2024
Page Two

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Dawn Teetsel at your convenience.

Respectfully,

A handwritten signature in blue ink, appearing to read 'BBB', with a stylized flourish extending from the bottom right.

Barbara Blake Boy
Executive Director

BBB:DBT

cc/email: George R. Keller, Jr., CPPT, City Manager
City of Hollywood

Andria Wingett, Director, Development Services
City of Hollywood





LLR Architects Inc.

March 4, 2024

City of Hollywood

***RE: 2022 Mayo LLC
1835 Fletcher Street
Hollywood, FL 33020
File Number: 24-DP-02***

Preliminary Site Plan Review

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



LLR Architects Inc.

A. APPLICATION SUBMITTAL

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. Application Form:

- a. The correct project address should be indicated on the development application. Please resubmit the application.

Response: Revised application

- b. Put the date of the Preliminary TAC meeting date on the cover sheet.

Response: Provided on Cover Sheet

2. Ownership & Encumbrance Report (O&E):

- a. Indicate the report was searched from the time of platting or 1953 (earliest of the two).

Response: Revised

- b. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.

Response: Acknowledged

- c. Indicate the listed encumbrances are abutting the property boundary necessary for legal access to the property.

Response: No Encumbrances

- d. Ensure O&E addresses the requirements on the TAC submittal checklist:

<http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>

Response: Acknowledged

3. Alta Survey:

- a. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.

Response: Acknowledged



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4. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Plat determination letter shall be for all properties in this project.

Response: Provided with submittal. No re-platting required.

5. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration Website:

<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactApplication1.pdf>

Response: We have applied BCSB

6. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

Response: Provided on Cover Sheet

7. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

a. Parkside Civic Association

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

Response: Acknowledged

8. Additional comments may be forthcoming.

9. Provide written responses to all comments with next submittal.



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B. ZONING

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. Indicate past, current, and future meeting dates as they happen (in addition to submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

Response: Provided on Cover Sheet

2. Site Plan:

a. Include a note on the site plan indicating that all changes to the design will require planning review and may be subject to Board approval.

Response: Provided, on sheet SP-1.1

b. Clearly indicate the property line, with a darker line weight.

Response: Provided, refer to SP-1.1

c. Dimension all balcony setbacks to all property lines. Per Sec. 4.6.B.3.a.(9)(i), balconies may encroach a maximum of 75% into the required setback.

Response: Provided, no balconies into setbacks in this project.

d. Provide dimensions for stairs and elevators.

Response: Provided on all Floor Plan Sheets

e. Are parking spaces enclosed? Please provide details of the parking facility.

Response: Refer to notes on SP-1.1, A-1.1 & A-2.1, A-2.4

f. If columns exist, please Indicate columns are at least 3ft from the entrance to a parking space for both sides of the parking lot.

Response: Proposed columns do not encroach into any Parking Space

g. Indicate concrete car stops (6ft long) for parking spaces on the site plan. SP 1.1

Response: Added note on sheet SP-1.1 & A-1.1



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h. Label the guest parking spaces, handicap, and electric vehicle charging stations. Please provide at least one space dedicated for a electric vehicle charging station.

Sec 151.154

The city shall require each person or entity desiring to construct a new commercial or residential structure to construct the infrastructure necessary for future installation of an electric vehicle charging station within be included in such project. Minimally, the following shall be installed: an empty three-quarter-inch raceway from the branch circuit panel board to a location in the garage or a designated parking area, with a two-gang junction box with a blank plate; or a fully functional electric vehicle-charging station.

Response: Provided, refer to sheet SP-1.1

i. Indicate provided parking in your parking calculations.

Response: Provided, refer to sheet SP-1.1

j. Tandem parking spaces must be assigned to one unit. Please note parking tandem parking and single parking assignments in the tabulator data.

Response: The parking spaces slide & lift are accessible to any tenant using dedicated "FOB". There are no dedicated spaces only for guests.

k. According to your site plan and parking calculations, it appears that there is not enough parking provided for the 15-unit multifamily development. Please explain carousel parking arrangement.

Response: The parking spaces slide & lift are accessible to any tenant using dedicated "FOB". There are no dedicated spaces only for guests.

3. Site calculations:

a. Per Sec. 4.6.B.3.a.(7), include the minimum required and provided dwelling unit sizes and cumulative averages. Provide a breakdown of all units per floor, including balcony area.

Response: Provided, refer to sheet SP-1.1

b. Include the provided FAR as a ratio, not just the overall provided square footage.

Response: Provided, refer to sheet SP-1.1

c. The common areas: corridors, stairs, elevators, gym, all shall be counted towards FAR.

Response: Revised accordingly, refer to sheet SP-1.1(No GYM amenities only open terrace)



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d. Tandem spaces can only be counted toward one unit, ensure tandem spaces are called out on parking statistics table.

Response: No tandem spaces provided

e. Provide VUA calculation. Please see section 4.6(3)(d)(3) of the code.

Response: Provided, refer to Sheet SP-1.2

4. Work with the City's Landscape Architect to ensure that all landscape requirements are met.

Response: Ok



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C. ARCHITECTURE AND URBAN DESIGN

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. Provide a rendering of all the sides.

Response: To be provided

2. Indicate and demonstrate access to the dumpster on site plan.

Response: Provided, refer to sheet SP-1.1

3. Work with the Building Department to ensure that adequate ventilation is provided for the parking garage.

Response: Ok



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D. SIGNAGE

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. Provide note on Site Plan: “All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.”

Response: Provided, refer to Sheet SP-1.1



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E. LIGHTING

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

N/A



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F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. As per the City of Hollywood's green building ordinance in Chapter 151, the project will require a third party green building certification since this project has more than 20,000 square feet of total floor area. USGBC's LEED certification or Florida Green Building Coalition certification are the minimum standards. Include which third party certification program this project has chosen in a note on the site plan and provide green registration documentation with next submittal.

Response: Acknowledged note added on sheet SP-1.1

2. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces. Recommend to locate the charging stations in the visitor parking spaces.

Response: Provided, refer to Sheet SP-1.1

3. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved and remove the list of Green Building Practices.

Response: Ok



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G. ENGINEERING

Azita Behmardi, Deputy Director (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

Revision Procedure:

-Any revisions applied to the plans shall be numbered and bubbled/clouded.

-In an 8.5"x11" revision summary, identify each revision by providing the plan sheet number, revision cloud / bubble number and a narrative describing each change or how a comment is being addressed.

1. Provide a signed and sealed survey from the surveyor.

Response: To be provided

2. Per the survey, South 18 Court is "apparently private". Please provide documentation to confirm ownership is private. Currently, utility poles and overhead power lines exists along this area.

Response: Ok

3. Provide a plat determination letter from the Broward County Planning Council.

Response: To be provided

4. Provide an overall site plan with the following information:

- a. Existing right-of-way width dimension and show limits of the rights-of-way on all streets/alleys adjacent to the site. (i.e., swales, sidewalk curbs, curb, include dimensions.)

Response: Provided, refer to sheet SP-1.1

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



LLR Architects Inc.

b. Include and show all surrounding elements of the site on plans, as applicable, i.e., adjacent alley, road, properties and their primary use, limits of rights-of-way on both sides of adjacent streets or alleys including any curb cuts, edge of pavement, swale, sidewalks, etc.

Response: Provided, refer to sheet SP-1.1

c. All features of City streets and alleys within full right-of-way on both sides from property line to adjacent property lines.

Response: Provided, refer to sheet SP-1.1

d. Provide setbacks following City of Hollywood Land Development Code, Article 4.6.

Response: Provided, refer to sheet SP-1.1

5. Please label the property line on all sheets.

Response: Provided

6. Driveway openings shown on plans excess the allowable width by code, a variance will be required. Such variance would be supported by Engineering to provide for the required separate ingress and egress.

Response: Variance will be provided

7. Please list all and any variances being requested on the cover sheet and clearly call them out on the plan. (i.e., curb cuts)

Response: Provided on Cover Sheet

8. Please identify the apron radius flares proposed for the curb cut.

Response: Provided

9. Please show on plans for the existing curb cut to be removed and for rights-of-way to be restored.

Response: No existing curbs along Fletcher Street

10. Please provide ADA detectable warning pad for sidewalk connecting to the 18th Court.

Response: Provided, refer to sheet SP-1.1

11. Please provide in plans the standard FDOT details for the ADA detectable warning pads.

Response: : Provided, refer to sheet SP-1.2



LLR Architects Inc.

12. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference state, the transition is flush.

Response: Provided, refer to sheet SP-1.1

13. Please indicate on plans if a garage door/gate is being proposed. If so, please show the type of gate being proposed and how it operates, i.e., keypad, fod, barcode scanner, etc., will be in place to allow entrance and exit from the parking garage.

Response: No garage door/gate to be proposed

14. On site and civil plans, please provide dimensions for the vehicular queueing space. This space should be 19' by 8.5' minimum and should be measured after the property line and before any parking stalls.

Response: Provided, refer to sheet SP-1.1

15. Please provide landing pad and walk path for Stairs 1 and 2.

Response: Concrete landing provided, refer to SP-1.1

16. Please call out all materials for the walkways, sidewalks, drive aisles and vehicular parking areas. Ensure the material requirements align with City of Hollywood Code. This applies to the ADA accessible route connection between building and sidewalk in the public right of way.

Response: Revised accordingly

17. On site plan, sheet SP 1.1, the parking area calls out for an asphalt driveway. However, on civil plans, sheet C-1.1, the parking area is divided between asphalt and concrete. Please clarify.

Response: Corrected accordingly

18. Please provide a pavement marking plan for both on and off-site. These pavement markings are to comply with the City of Hollywood Standard Details in addition to Broward County Traffic Engineering Division Standard details. Please provide any applicable details in the plan set. Ensure pavement markings across plan sets are identical.

Response: Provided, refer to sheet C-1.4

19. On sheet C-1.1, cross section A-A calls out for an asphalt approach of 7'6". However, no measurements are added to site plan regarding the same features and dimensions. Please provide details.

Response: Revised accordingly



LLR Architects Inc.

20. Please provide all applicable Standard City of Hollywood details: <https://www.hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan>.

Response: Provided

21. Show all vehicular turning radius to and from the property; include inside radius, centerline radius and outside radius.

Response: Provided

22. In the parking calculations table, include the required number of ADA accessible spaces and number of ADA spaces being provided.

Response: Provided, refer to sheet SP-1.1

23. Provide visibility triangles as per City Code, Chapter 155.12. For properties in which the property line is located less than 12 feet from the street, the visibility triangle area is delineated by a line connecting points measured 12 feet along the property line from the intersection of the access way and 12 feet along the access way from the intersection of the property line. For properties in which the property line is located more than 12 feet from the street, the visibility triangle area is delineated by a line connecting points measured 6 feet along the property line from the intersection of the accessway and 12 feet along the property line.

Response: Provided, refer to SP-1.1

24. Please indicate location for recycling on this site.

Response: Trash-chute provide o each floor and dumpster location on 1st floor

25. Please consider providing bicycle parking on site.

Response: Provided, refer to sheet Sp-1.1

26. Please provide all dimensions to parking stalls 22-23 in the same way they were provided to parking stalls 20-21.

Response: Provided

27. Parking stalls 3-4, 5-6, 7-8, 9-10, 12-13, 14-15, 16-17, and 18-19 are calling out the placement of a parkplus-ls lift sliding system 2-levels high. Model No. LS2HOD. However, measurements were provided following the City of Hollywood standard details of a minimum of 18' by 8'-5", whereas the lift requires a minimum of 19'-9" by 8'-2 1/2". Please provide specifications of a parking lift system that can be accommodated within the parking stalls.

Response: Corrected accordingly



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28. Applicant is proposing ingress/egress to back Alley. Please modify access configuration to egress only. Full access, ingress and egress is to be reviewed and considered.

Response: Corrected accordingly, refer to SP-1.1

29. For the Alley egress, please provide the appropriate pavement marking and traffic sign following City of Hollywood and Broward County Traffic Engineering Division (BCTED) standard details.

Response: Provided

30. BCTED approval will be required for all pavement markings being restored in the ROW. Please provide a plan showing the proposed pavement markings to be restored.

Response: Ok

31. For utilities work within City rights-of-way, ROW permit will be required at the time of permit.

Response: Ok

32. MOT plans required at the time of City Building Permit review.

Response: Ok

33. All outside agency permits are required at the time of City Building Permit review.

Response: Ok

More comments may follow upon review of the requested information.

H. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3900

Clarissa Ip, City Engineer (cip@hollywoodfl.org) 954-921-3915

6 – Plan page LS-01 appears to have a tree (labeled LN-C 1) which could pose an access issue with regard to the fire DDCV and the FDC. --- Please coordinate with the civil engineer (see page C-1.1).

Response: Corrected accordingly

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LLR Architects Inc.

I. UTILITIES

Alicia Verea-Feria, Floodplain Development Review Administrator (averea-feria@hollywoodfl.org) 954921-3302

1. All existing utilities within all the adjacent rights-of-way shall be labeled with size and material on plans. 'Existing 4" Sanitary' along 15' alley should read 'Existing 8" VCP Sanitary'. Please contact Juan Picon at jpicon@hollywoodfl.org to request City's utility atlas information and update plans accordingly.

Response: Corrected, refer to sheet C-1.1

2. Proposed 6" Water Main extension is not necessary. Water shall be connected to the existing 8" DIP WM along S 18th Ct or 4" DIP WM within the alley to the north.

Response: Corrected accordingly

3. Verify size and location of existing sewer lateral. May need to install new 6-inch lateral due to condition and capacity.

Response: Revised accordingly

4. Fireline '4" DDCV Assembly' is called out without proposed fire line shown.

Response: Corrected accordingly

5. Proposed cleanout shall include concrete aprons when in grass areas.

Response: Provided, refer to sheet C-1.1

6. Water meter(s) shall not be located within sidewalk.

Response: Corrected accordingly

7. This site currently resides within FEMA Flood Zone X. The proposed Finished Floor Elevations (FFE) shall comply with the greatest of the following three (3) conditions, as applicable.

a. Section 154.50 of the City's Code of Ordinances requires the minimum FFE for residential shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential areas, OR

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Response: Revised accordingly

b. Broward County Preliminary 2019 FEMA Flood Maps (as recommended), available online via the following link:

<https://bcgis.maps.arcgis.com/apps/View/index.html?appid=ea44837317bd47eaa>

5373ce3e2f01b6e; OR

Response: Ok

c. Broward County Future Conditions 100-year Flood Map 2060, in effect as of July 2021, available online via the following

link: <https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacda62575e817380>

Response: Ok

8. Indicate FFE for all enclosed areas on the ground floor.

Response: Provided

9. Note Lobby shall be floodproofed up to elevation 9.5' NAVD88.

Response: Corrected accordingly

10. Additional proposed and existing grades shall be shown along property limits.

Response: Provided

11. Elevations on cross-sections shall match elevations on plan view. Existing grades range 6'+/- NAVD88. Proposed grades indicate 7.5'+/- at property limits. Perimeter cross-sections across all property limits shall match adjacent property grades or provide retaining wall due to elevation difference.

Response: Corrected accordingly

12. Provide additional cross-section through north driveway.

Response: Provided

13. Cross sections shall indicate maximum swale depth of 6-inches with maximum 3:1 slope and label landscape areas within swale areas.



LLR Architects Inc.

Response: Corrected.

14. Provide catch basin and french drain details along with rim and invert elevations.

Response: Provided, refer to C-1.1

15. Label trench drain shown across driveway along north property line and illustrate in corresponding cross section.

Response: No trench drain on north property

16. Transverse Section elevations do not match elevations shown on plan view.

Response: Corrected

17. Provide preliminary drainage calculations.

Response: To be provided

18. Ensure all stormwater is retained onsite.

Response: Ok

19. Permit approval from outside agencies will be required.

Response: Ok

20. Landscape plans shall coordinate with civil plans to accommodate drainage features.

Response: Ok

21. Additional comments may follow upon further review of requested items.

Response: OK

J. BUILDING

Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490

Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335

1. No comments received.

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K. FIRE

Chris Clinton, Fire Marshal (cclinton@hollywoodfl.org) 954-967-4404

Marcy Hofle, Deputy Fire Marshall (mhofle@hollywoodfl.org) 954-967-4404

1 - Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. --- A complete architectural review will be completed during formal application of architectural plans to the building department.

Response: Ok

2 - Cite on the plans (page SP 1.1) and show the use of the current codes for this project:

Florida Fire Prevention Code (8th Ed.)

NFPA 1 (2021 Ed.)

NFPA 101 (2021 Ed.)

Response: Corrected accordingly

3 - Water supply shall meet the requirements of NFPA 1 (2021 Ed.) Section 18.4.5.3. --- To determine the minimum fire flow required for firefighting purposes, a Hydrant Flow Test will need to be scheduled through our Underground Utilities Department via email. ---
underground@hollywoodfl.org

After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building.

For your convenience, I have attached a sample Fire Flow Calculation letter which can be used as a template.

Response: Fire Flow Calculation will be provided on separated letter attached in this submittal.

4 - On plan page C-1.1, provide the DDCV size for the fire line, the size of the fire line, and also the type of pipe used for the fire line from the water supply to the building.

Response: Provided.

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5 - Any stacked parking in the garage will require a fire sprinkler design category of Extra Hazard Group II as per NFPA 13 (2019 Ed.) Section 4.3.6 --- Extra hazard (Group 2) occupancies shall be defined as occupancies or portions of other occupancies with moderate to substantial amounts of flammable or combustible liquids or occupancies where shielding of combustibles is extensive.

NFPA 13 (2019 Ed.) Section A.4.3.6 (9) --- Car stackers and car lift systems with 2 cars stacked vertically.

Response: Acknowledged

6 - Plan page LS-01 appears to have a tree (labeled LN-C 1) which could pose an access issue with regard to the fire DDCV and the FDC. --- Please coordinate with the civil engineer (see page C-1.1).

Response: Corrected accordingly



LLR Architects Inc.

L. PUBLIC WORKS

Annalie Holmes, Public Works Director (aholmes@hollywoodfl.org) 954-967-4207

Daniel Millien, Environmental Services Manager (dmillien@hollywoodfl.org) 954-967-4207

1. Approved with no comment.



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M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. No Comments received.



LLR Architects Inc.

N. COMMUNITY DEVELOPMENT

Ryon R. Coote, Community Development Manager (RCoote@hollywoodfl.org) 954-924-2958

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No Comments received.

O. ECONOMIC DEVELOPMENT

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Joann Hussey, Interim Director (jhussey@hollywoodfl.org) 954-924-2922

***Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org)
954924-2922***

P. POLICE DEPARTMENT

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e-mail: llarosa@larosaarchitects.com



LLR Architects Inc.

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

ISSUE:

Crime Prevention Through Environmental Design Blueprint Review/Recommendations.

EXPLANATION:

The following recommendations were developed during the Crime Prevention Through Environmental Design review of the blueprints for “1835 Fletcher St- Hollywood,

Florida”- Preliminary.

RECOMMENDATION:

*****Note: Application is substantially compliant.**

Note: Crime Prevention Recommendations: The following are the reviews and recommendations for the CPTED review of the blueprints for “1835 Fletcher St - Hollywood, Florida” – Preliminary.

Note: Blueprint Crime Prevention Observations/Recommendations per ACPI (American Crime Prevention Institute) reference the addressed premises.

CPTED Strategies

Examples of clear border definition may include fences, shrubbery of signs in exterior areas.

Response: Acknowledged

External Lighting

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Parking lots, vehicle roadways, pedestrian walkways and building entryways should have “adequate” levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

-Parking Lots	3-5	foot candles
-Walking Surfaces	3	foot candles
-Recreational Areas	2-3	foot candles
-Building Entryways	5	foot candles

Response: Acknowledged

- o These levels may be subject to reduction in specific circumstances where after hours use is restricted.

Response: Acknowledged

- o The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.
- o Exterior lighting should be controlled by automatic devices (preferably by photocell).
- o Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.

Response: Acknowledged

- o Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.

Response: Acknowledged

- o Light fixtures below 10’ in grade should be designed to make access to internal parts difficult (i.e. security screws, locked access panels).

Response: Acknowledged

Landscaping: o Make sure all landscaping is trimmed and well maintained. o Make sure that landscaping does not obstruct the natural surveillance (visibility) of the area.

Response: Acknowledged

- o Plant height appropriate shrubbery along walkways as to not obstruct visibility or allow individuals to hide behind.

Response: Acknowledged



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- o Plants/Shrubbery should not be more than 2ft in height.

Response: Acknowledged

- o Tree canopies should not be lower than 6ft in height.

Response: Acknowledged

Building(s) Perimeter Doors o Exterior doors not used as designated entry points, should be locked to prevent entry from the exterior. o Ideally, exterior doors should be equipped with electronic propped door alarms, which announce either locally and/or at the security office.

- o Lobby should be accessible to residents only.

Response: Acknowledged

- o Lobby should remain locked after hours

Response: Acknowledged

- o Electrical, Mechanical, Pump Room, Maintenance Rooms, should be kept locked when not in use.

Response: Acknowledged

- o Parking Garage should be accessible to residents only. Guests can be given access by residents.

Response: Acknowledged

Internal Circulation and Control o There should not be recessed areas in corridors that could be used for hiding or loitering.

Response: Acknowledged

- o Convex mirrors should be used in corners and in stairwells. o Stairwells should have closed area at first level, to prevent someone from hiding beneath stairs.

Response: Acknowledged

- o Glass elevator is recommended so residents can see out/in.

Response: Acknowledged

- o Garbage room should be locked when not in use o Roof should remain locked when not in use.



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Response: Acknowledged

- o Trash Chute should remain locked when not in use
- o Mailbox area should be well lit.

Response: Acknowledged

- o Janitors closet should remain locked when not in use.

Response: Acknowledged

- o Trained staff to use carousel parking

Response: Acknowledged

Corridors

- o Corridors should be well-lighted with no dark areas. o Increased light, reflective paint colors, and graphics on hallway wall surfaces should be used to increase the perception of openness and constant movement.

Response: Acknowledged

General locations

- o Mechanical, electrical, HVAC, or other equipment located outside the building should be surrounded by a protective enclosure. Ex. Dumpster Enclosures.

Response: Acknowledged

CCTV

- o CCTV provides surveillance that can detect criminal activity and record the footage, which can be useful in an investigation. Conspicuous CCTV is another type of deterrent to a criminal. There are some difficulties in monitoring parking facilities because of shadows, spaces between parked vehicles; and columns, ramps, and walls in parking garages; that is why lighting is also essential in these areas.

Response: Acknowledged

Fencing



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- o (If used) Wrought iron fencing provides for natural surveillance within and onto the property. Ex. Parking lot and to establish a defined border definition of the entire property.

Response: Acknowledged

Non-Pedestrian Building Entry Points o Sturdy fencing should enclose locations where gas and electric utilities enter buildings.

- o Locations where gas and electric utilities enter buildings should be well lighted.

Response: Acknowledged

Signage

- o Ensure proper signage is posted throughout property.
- o Sundeck should have hours of operation posted

Response: Acknowledged

- o Sundeck should have rules and regulations posted

Response: Acknowledged

Q. DOWNTOWN AND BEACH CRA

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LLR Architects Inc.

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

1. Not Applicable.

R. PARKING

Angela Kelsheimer, Parking Manager (akeisheimer@hollywoodfl.org) 954-921-3548

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1. Comments forthcoming in separate memo.

S. ADDITIONAL COMMENTS

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. Park Impact Fee Application Required.
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e-mail: llarosa@larosaarchitects.com



LLR Architects Inc.

Response: Acknowledged

2. Provide School Capacity Availability Determination Letter of approval.

Response: Acknowledged

3. Additional comments may be forthcoming.

The Technical Advisory Committee finds this application substantially compliant with the requirements of Preliminary Review; therefore, the Applicant should submit for Final TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

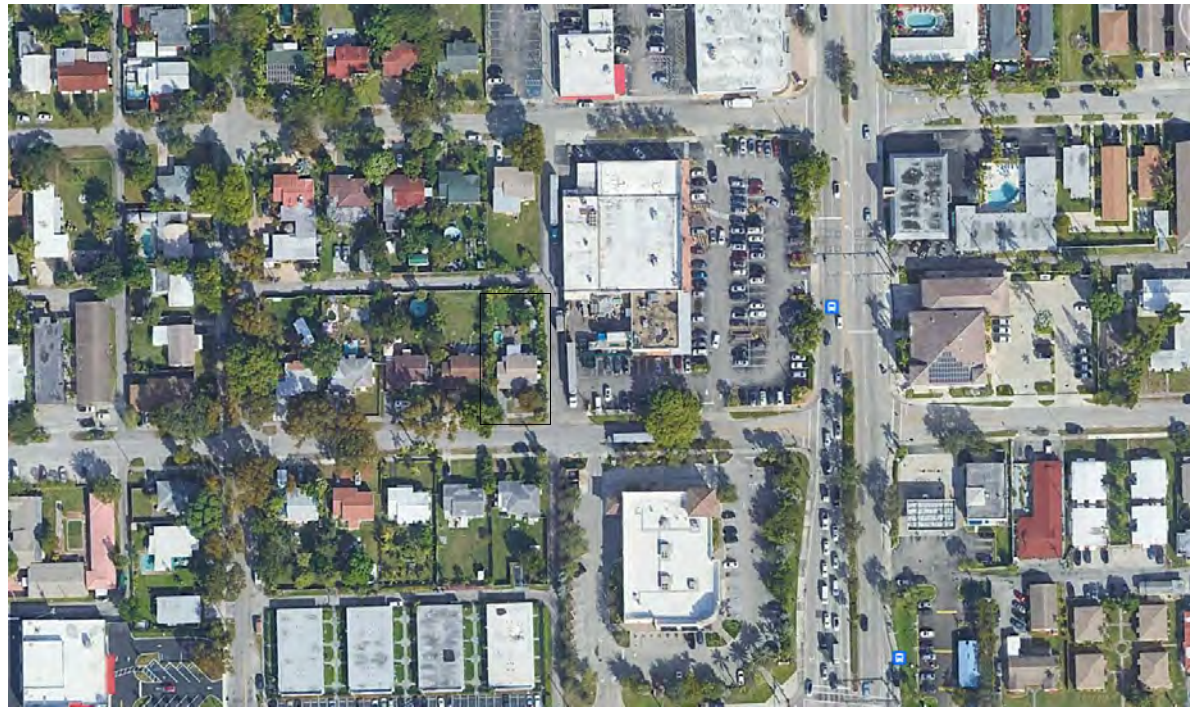
Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471. Sincerely,

Reginald White

Planning Administrator

C: Luis La Rosa; llarosa@larosaarchitects.com



LOCATION MAP

PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER STREET

1835 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020



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Luis LaRosa-Registered
Architect
AR#-0017852

AYLWARD ENGINEERING
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SHEET INDEX

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A-2.5	PROPOSED AXONOMETRIC VIEW

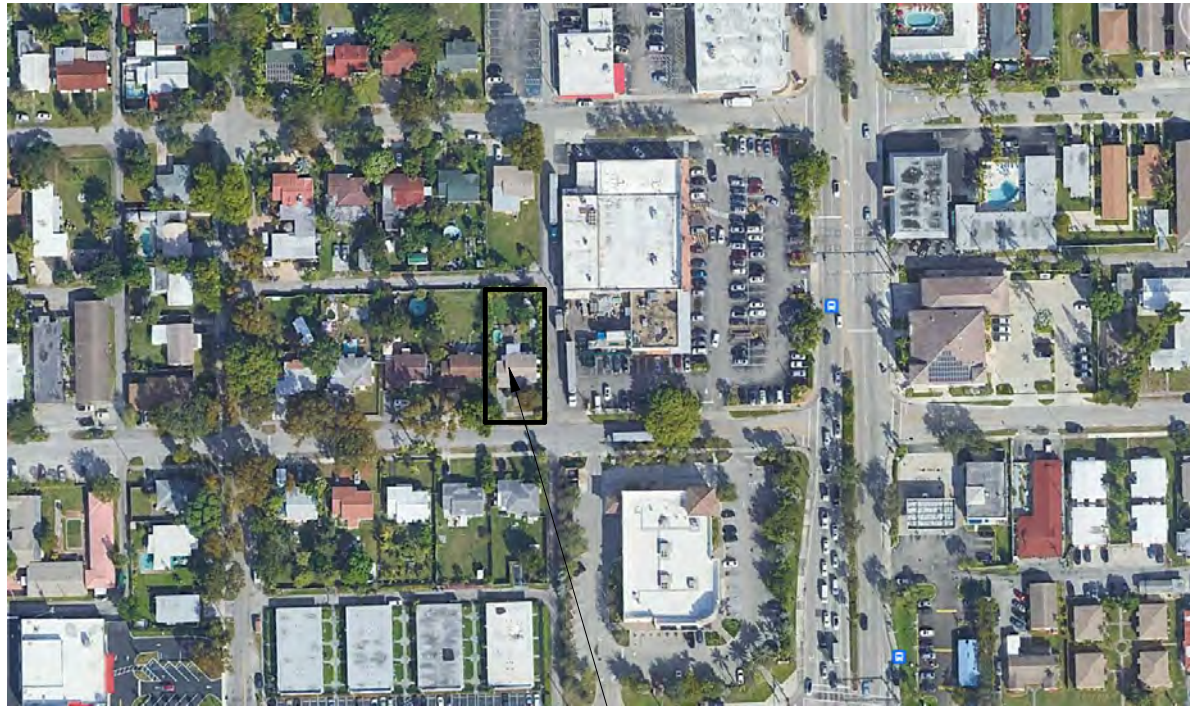
PACO MEETING: OCTOBER, 2023

TAC 1 MEETING: JANUARY 22, 2024

TAC 2 MEETING:

VARIANCES:

1-VARIANCE REQUESTED FOR 22' CURB CUT.
CODE ALLOWED 18'(30%).



1835 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

1 LOCATION PLAN

1. WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2023-8th . EDITION, FLORIDA FIRE PREVENTION CODE 2020 (8TH EDITION), WITH BROWARD COUNTY AMENDMENTS. NFPA-1 & 101, 2021 EDITION. APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.

2. THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT.

3. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

4. THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.

5. TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.

6. ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.

7. ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.

8. BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANT AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF WORK OF THE CONTRACTOR.

9. ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, MATCHING AND ALIGNING ALL SURFACED WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFINISHED AS REQUIRED TO LIKE-NEW CONDITION.

10. THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NNOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COSTS TO THE OWNER SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).

11. ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.

12. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.

13. SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS.

2 GENERAL NOTES

SITE CALCULATIONS:

TOTAL SITE AREA:
NET AREA= 8,100 SF or 0.18 ACRES

BUILDING FOOTPRINT AREA 6,270 SF
DRIVEWAY 463 SF
CONC. SLAB 330 SF

TOTAL IMPERVIOUS AREA= 7,063 SF (87.2 %)

TOTAL PERVIOUS AREA= 1,037 SF (12.8 %)

FAR CALCULATION

FAR ALLOWED= 8,100 X 3.0= 24,300 SF
FIRST FLOOR= 311 SF
(LOBBY,ELEV, STAIR)
2ND FLOOR= 5,797 SF
(LOBBY,ELEV, STAIR,UNITS)
3RD FLOOR= 5,797 SF
(LOBBY,ELEV, STAIR,UNITS)
4TH FLOOR= 5,797 SF
(LOBBY,ELEV, STAIR,UNITS)
5TH FLOOR= 4,856 SF
(LOBBY,ELEV, STAIR,UNITS,SUN DECK)

FAR PROVIDED= 22,558 SF/2.78 FAR RATIO

1st floor	unit size	2nd floor	unit size	3rd floor	unit size	4th floor	unit size	5th floor	unit size
COMMON AREAS	311	201	1362	301	941	401	941	501	1362
		202	1362	302	1362	402	1362	502	1253
		203	1253	303	1253	403	1253	503	1303
		204	1303	304	1303	404	1303	COMMON AREAS	938
Totals	311		5,797		5,797		5,797		4,856

- OWNER TO INSTALL ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE, PLEASE SEE ORDINANCE O 2016-02.
- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & LEND DEVELOPMENT REGULATION.
- OWNER TO PROVIDE HIGH ALBEDO MATERIALS TO LIMIT ABSORPTION OF REDUCE URBAN HEAT ISLAND EFFECT.
- MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL).
- A BI-DIRECTIONAL AMPLIFIER IS REQUIRED FOR THIS BUILDING DEPENDING PER NFPA 1, 11.10 AND BROWARD AMENDMENT 118.2
- GLAZING FOR HALLWAY TO PROVIDE NATURAL LIGHT INTO COMMON AREAS.
- BIKE RACK TO BE INSTALLED AS SHOWN
- WHITE ROOF TO REFLECT LIGHT.

GREEN BUILDING PRACTICE

THIS PROJECT REQUIRES A GREEN BUILDING CERTIFICATION. WE WILL BE PROVIDING A CERTIFICATIONS THROUGH THE GREEN BUILDING COUNCIL.

PARKING CALCULATIONS:

	REQUIRED	PROVIDED
3-(1) BEDROOM=3x1= 3 PARKING SPACE	3	
12-(3) BEDROOMS=12x1.5= 18 PARKING SPACE	18	
(1 ADA PARKING REQ. 1 PROVIDED)		
GUEST PARKING SPACES (1 SPACE FOR EVERY 10 UNITS FOR 30 UNITS)=	2.0	
TOTAL PARKING SPACES	23.0	23

NOTE:
1. CAROUSEL IS DESIGNATED TO 3-BEDROOM UNIT(18 PARKING SPACES)

MINIMUM & AVERAGE DWELLING UNIT SIZE TABLE

	REQUIRED	PROVIDED
MINIMUM DWELLING UNIT SIZE	400 S.F.	941 S.F.
MINIMUM CUMULATIVE AVERAGE UNIT SIZE	650 S.F.	1,233 S.F.

SETBACK CALCULATIONS:

	REQUIRED	PROVIDED
FRONT	10'	15'-0"
REAR ALLEY	5'	5'-0"
SIDE ALLEY	N	3'-0"
SIDE INTERIOR	0'	3'-3"

HEIGHT CALCULATIONS:

	REQUIRED	PROVIDED
MAX. HEIGHT ALLOWED:	10 STORIES OR 140'	55'-0" TOP OF ROOF

LAND. USE DESIGNATION: RAC

ZONING DESIGNATION: FH-2

NOTE:
1. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW & MAY BE SUBJECT TO BOARD APPROVAL.

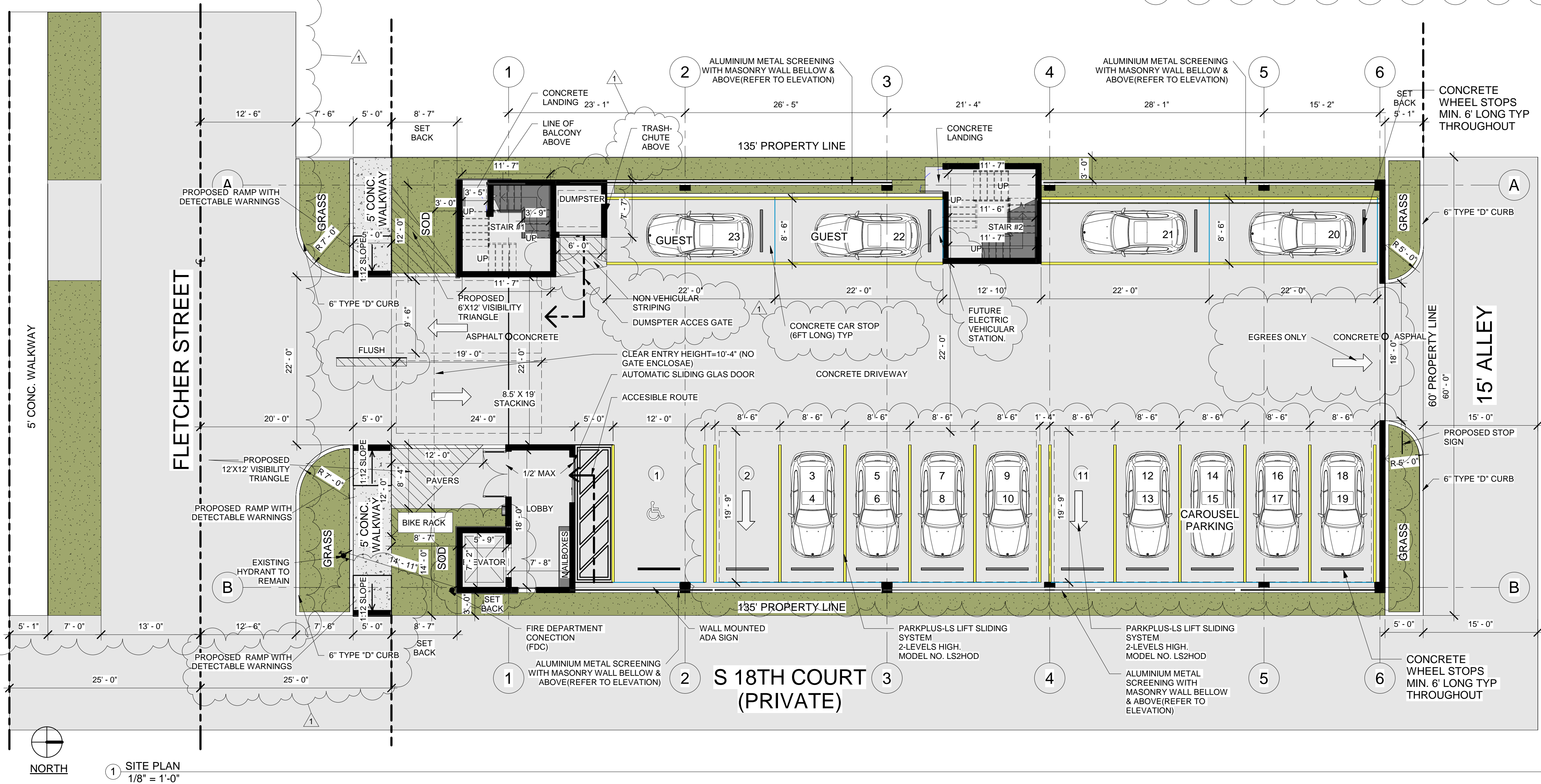
2. THE MAX LIP AT GROUND FLOOR DOORS IS 1/2". ANY LIP GREATER THAN 1/4" WILL BE BEVELED TO MEET A.D.A. REQUIREMENT.

3. REFER TO DETAIL 2 ON SPECIFICATION SHEET FOR CAR LIFTS. WE ARE USING AM S.U.V.-SEDAN CONFIGURATION WHICH REQUIRES A 12'-2" CLEARANCE.

4. ALL STREETS & ALLEYS ADJACENT TO SITE (MONROE STREET, NORTH ALLEY & WEST ALLEY) TO BE MILLED & RESURFACED (FOR FULL WIDTH OF ROAD LENGTH OF PROPERTY).

5."ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN."

2 SITE & BUILDING DATA



1 SITE PLAN
1/8" = 1'-0"

4 SITE PLAN

Revision			
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1	TAC 2	3/1/24	A. G.

PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER
1835 FLETCHER STREET HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN: A.G.
CHECKED: LLR
DATE: 10/3/2023
SCALE: AS NOTED
JOB NO.: 023-041
SHEET:

SP 1.1

OF: SHEETS:

FIRST FLOOR= 311 SF
2ND FLOOR= 5,817 SF
3RD FLOOR= 5,817 SF
4TH FLOOR= 5,817 SF
5TH FLOOR= 4,901 SF

The floor plan of the second floor shows a large open area on the left with a circular feature and a staircase. To the right of this area is a large room with a circular feature and a staircase. The right side of the floor is divided into several smaller rooms, including a large room with a circular feature and a staircase, and a smaller room with a circular feature and a staircase. The plan also shows a large room with a circular feature and a staircase, and a smaller room with a circular feature and a staircase.

The floor plan shows a central corridor with multiple exits. Rooms are labeled with numbers: 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200. Blue arrows indicate the flow of movement between rooms.

6 VUA PLAN
1" = 30'-0"

DRIVEWAY
342 SF

BUILDING FOOTPRINT
6,433 SF

DRIVEWAY
120 SF

60' - 0"

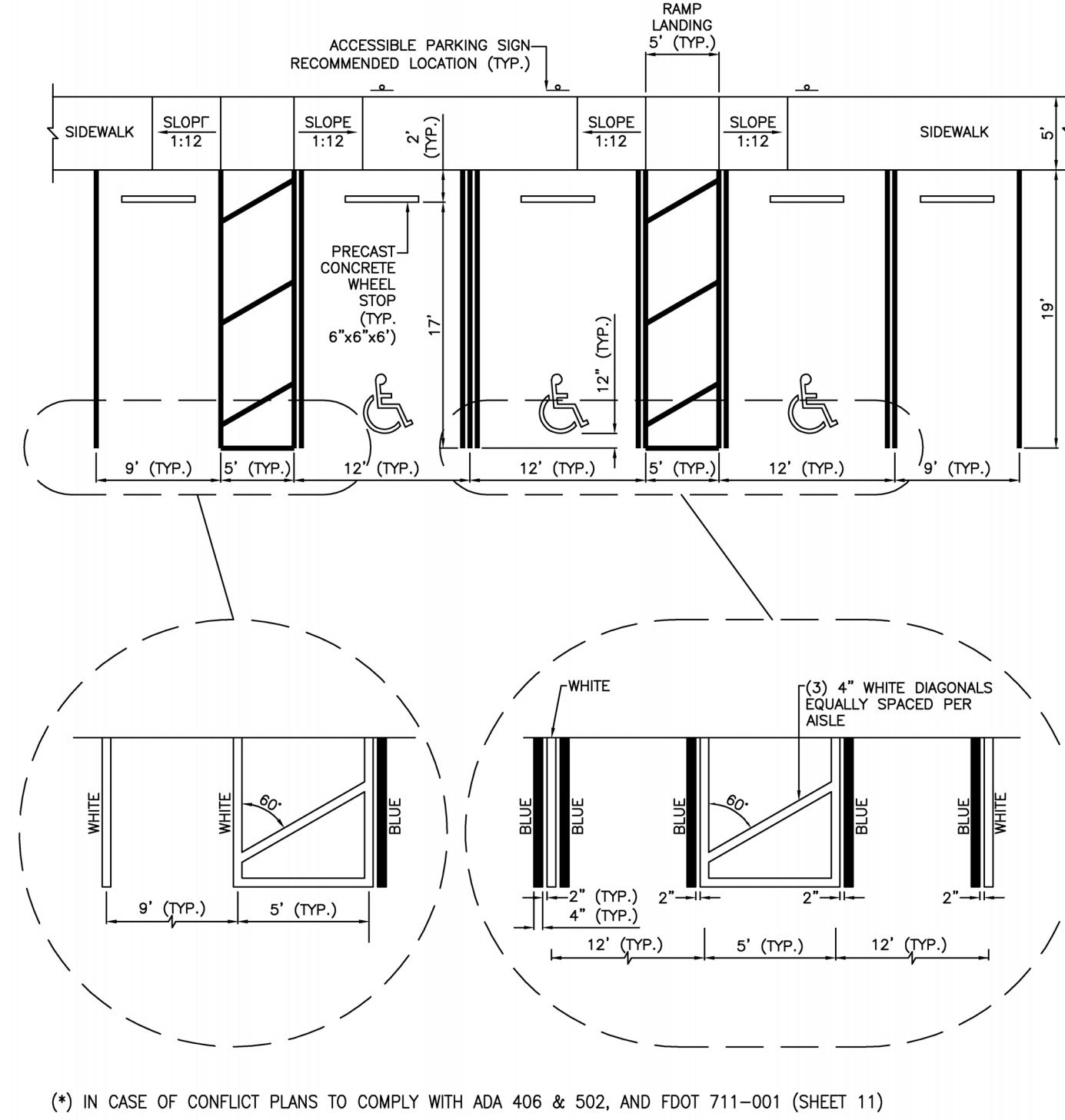
135' - 0"

CONCRETE SLAB
119 SF

LOT AREA: 8,100 S.F.

TOTAL IMPERVIOUS AREA: 7,014 SF(86.5%)

TOTAL PERVIOUS AREA: 1,086 SF(13.5%)



PROPERTY LINE

ELEVATION OF BACK OF SIDEWALK TO BE A MIN. OF 0.1 FEET ABOVE CROWN OF THE ROAD

NEW ASPHALT/CONCRETE MAX. SLOPE OF 1:20 TO MEET EXISTING

UNDRIVEWAY

6" MIN. AT TRAFFIC AREAS, DRIVES, ETC.

1:20 MAX. SLOPE (TYP.)

6"-0" FLAG (TYP.)

1:4 MAX. SLOPE FOR SOD

APPROX.

NEW ASPHALT/CONCRETE MAX. SLOPE OF 1:18 TO MEET EXISTING

1:20 MAX. SLOPE (TYP.)

EXIST. DRIVE

EXIST. DRIVE

PROPERTY LINE

VARIES

ELEVATION OF BACK OF SIDEWALK TO BE A MIN. OF 0.1 FEET ABOVE CROWN OF ROAD

SECTION B-B

NOTE:

1. ALL SIDEWALK CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE ADA STANDARDS.
2. LIGHT BROWN FINGER PERPENDICULAR TO THE DIRECTION OF THE SIDEWALK.
3. ALL SIDEWALK CROSS SLOPES SHALL BE 1:40 (2% MAX.) AND RUNNING SLOPES 1:20 MAX.

PLAN

TYPE "B" JOINT (TYP.)

DEE DENT ON SHEET C-25)

6"-0" FLAG (TYP.)

1:20 MAX. SLOPE (TYP.)

SIDEWALK LEVEL THROUGH DRIVES

1:20 MAX. SLOPE (TYP.)

SECTION A-A

CONCRETE FILLED
'U-BLOCK' WITH 1-1/2
BAR CONTINUOUS.

2' CONCRETE
MASONRY UNIT WITH
SMOOTH STUCCO FINISH.

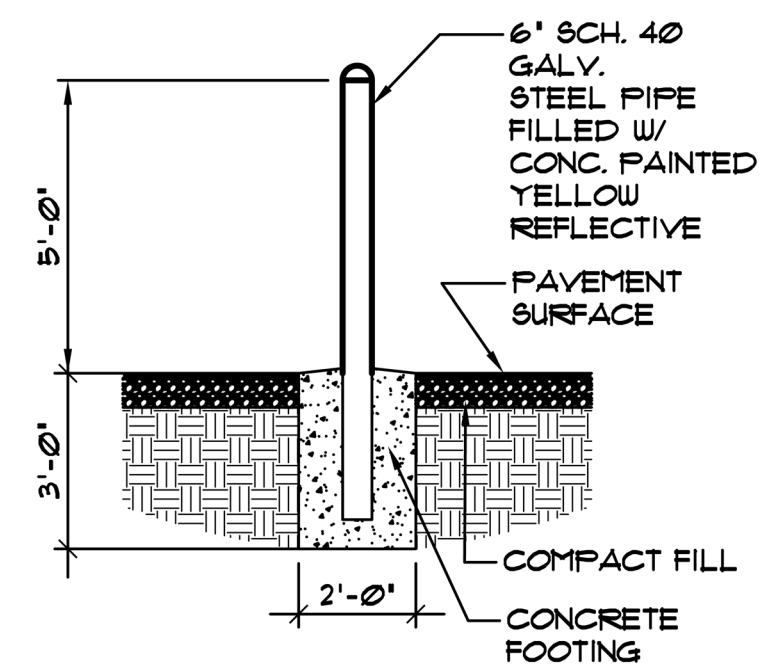
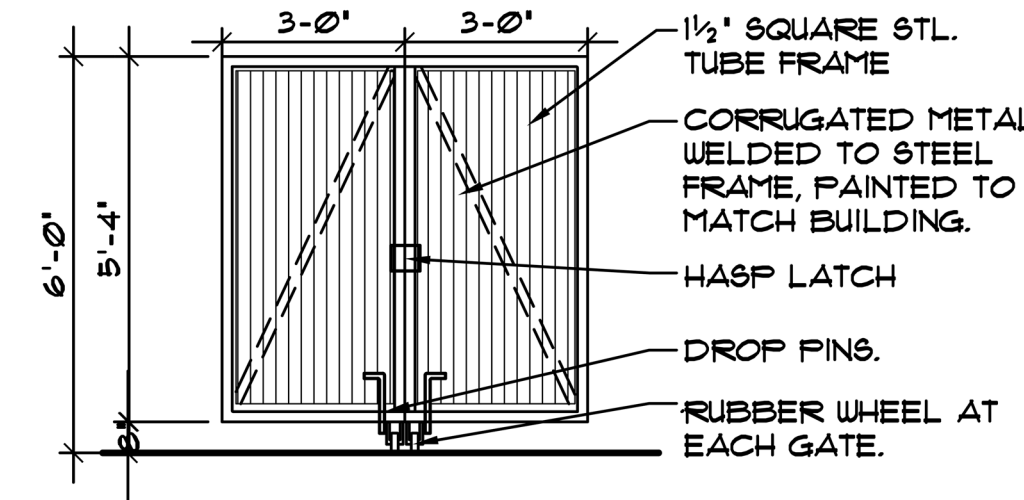
6" CONCRETE SLAB W/
6"x6" 10/10 W.W.M.
DOUBLED 30" FROM
INSIDE EDGE OF
FOOTING. ON WELL
COMPACTED CLEAN
SAND FILL, 6" ABOVE
PAVEMENT.

12" x 16" CONTINUOUS
CONCRETE FOOTING
WITH 4-#5
CONTINUOUS.
PROVIDE 6" x 6"
10/10 W.W.M. (DBL. 30"
W.W.M. AT EDGES).

6" GRAVEL
BASE

CLEAN WELL
COMPACTED
SOIL

6' 0"



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-Registered Architect
#0017852

#	REV	DATE	BY
1	TAC 2	3/1/24	A. G.

PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER
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SEAL: AR 0017852
LUIS LA ROSA

OF: SHEETS:

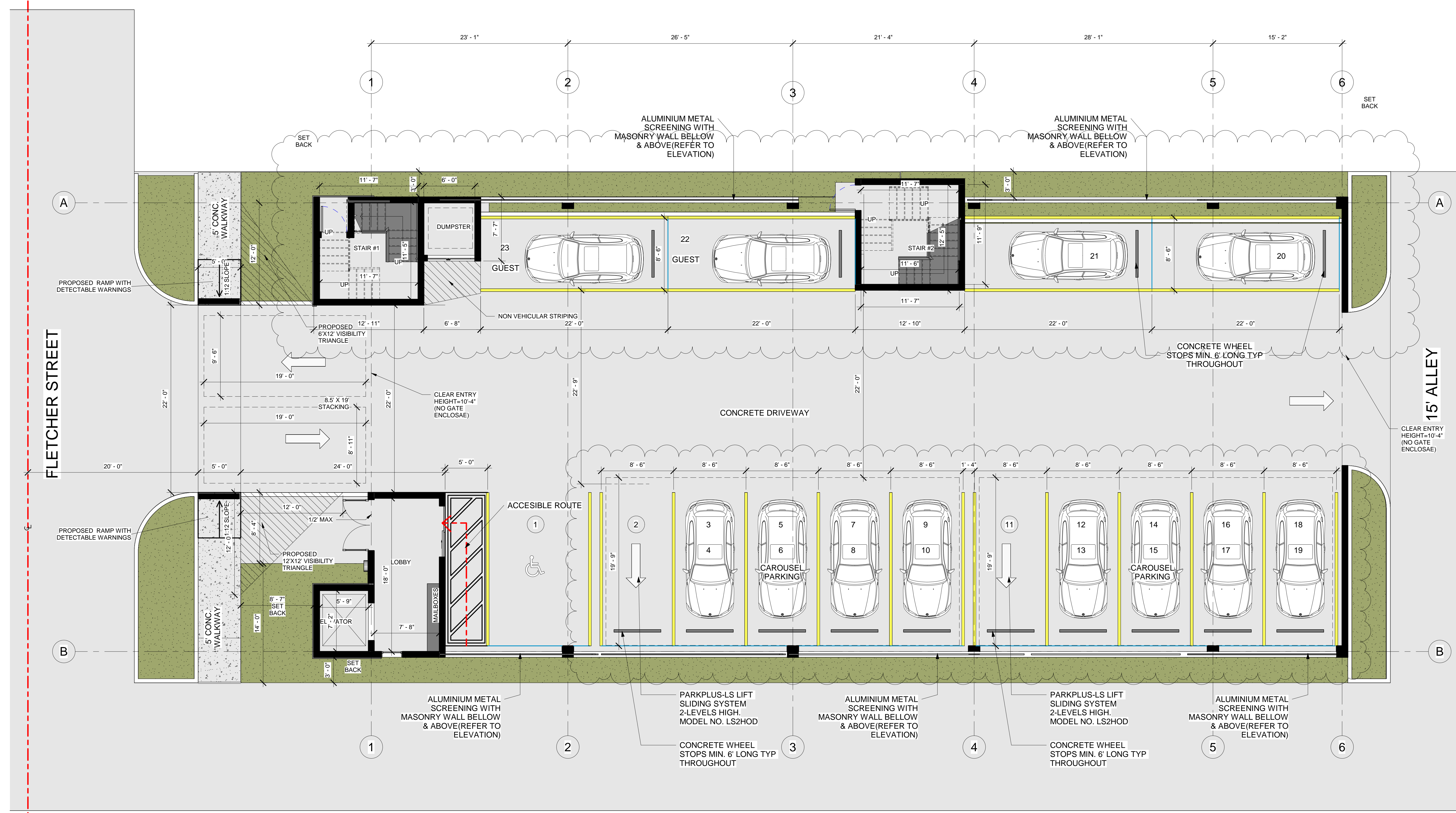
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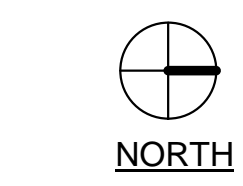
DRAWN: A.G.
CHECKED: L.L.R.
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OF: SHEETS:



FLETCHER STREET

15' ALLEY



1 FIRST FLOOR
3/16" = 1'-0"

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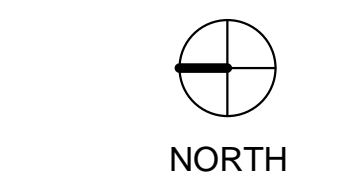
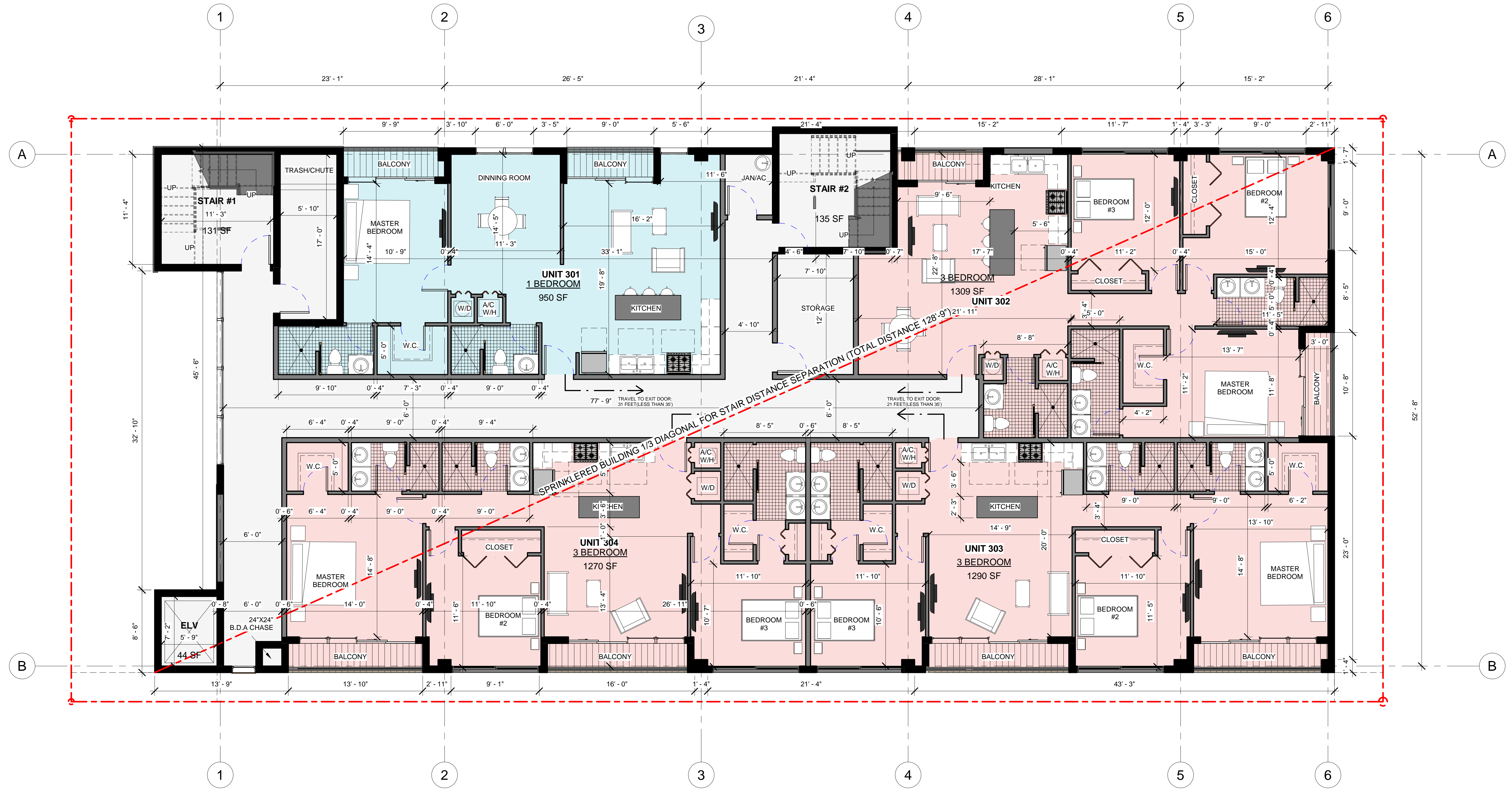
1 2ND FLOOR PLAN
3/16" = 1'-0"

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1 3RD FLOOR PLAN
3/16" = 1'-0"

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OF: SHEETS:

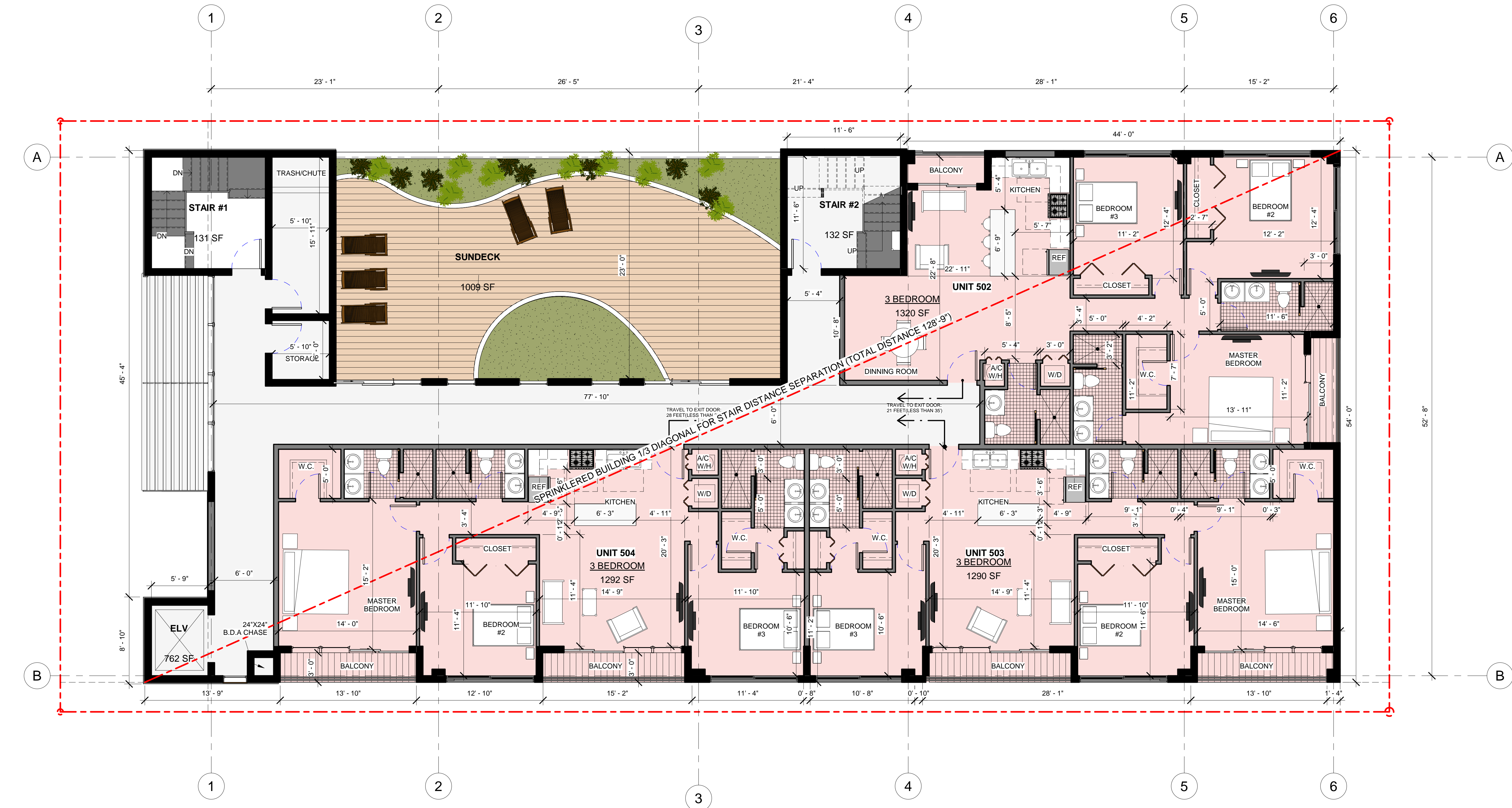


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1 5TH FLOOR
3/16" = 1'-0"



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AR 0017852
La Rosa

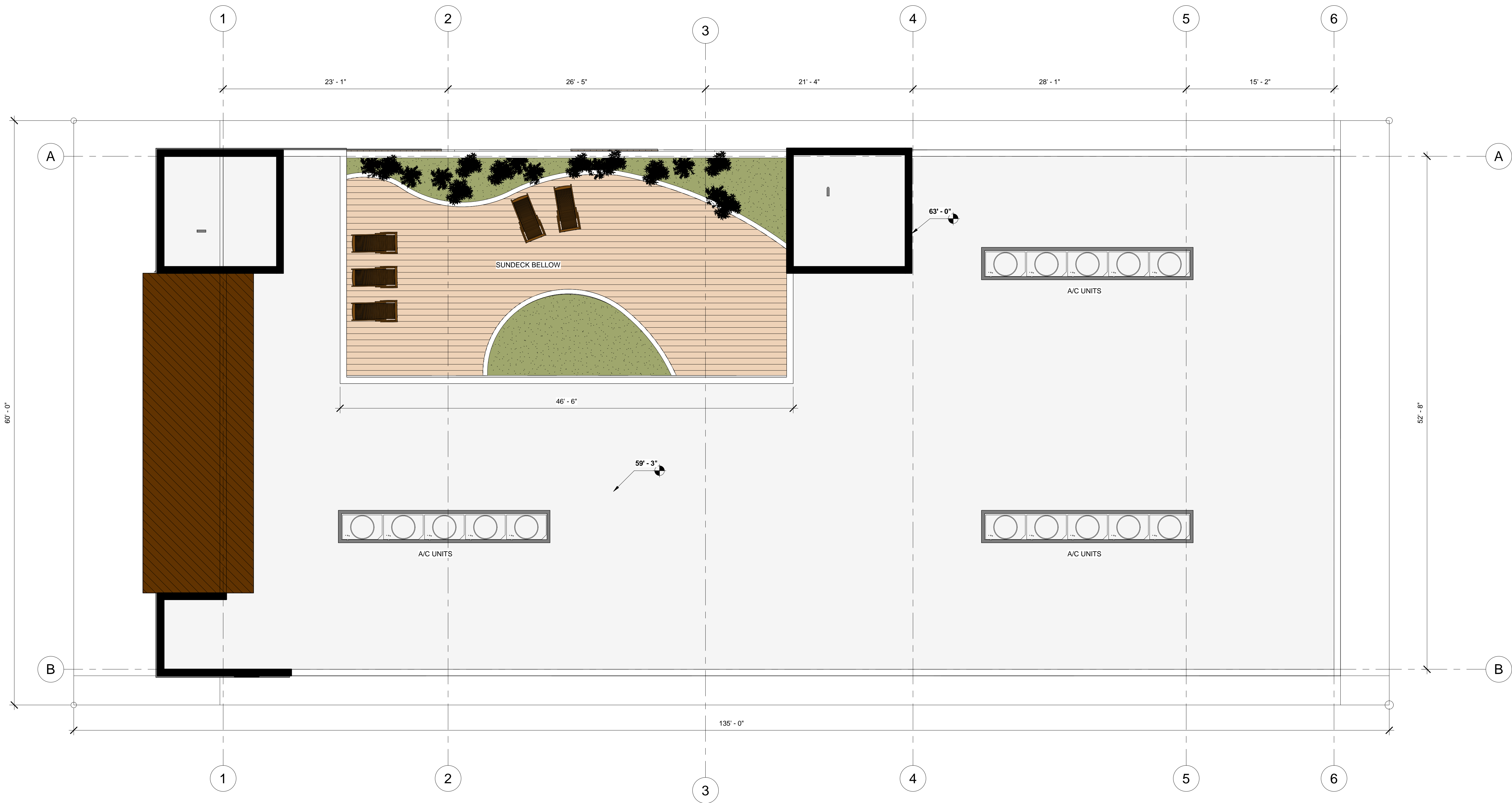
-Registered Architect

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1 6TH FLOOR/ROOF PLAN
3/16" = 1'-0"

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1	TAC 2	3/1/24	A. G.

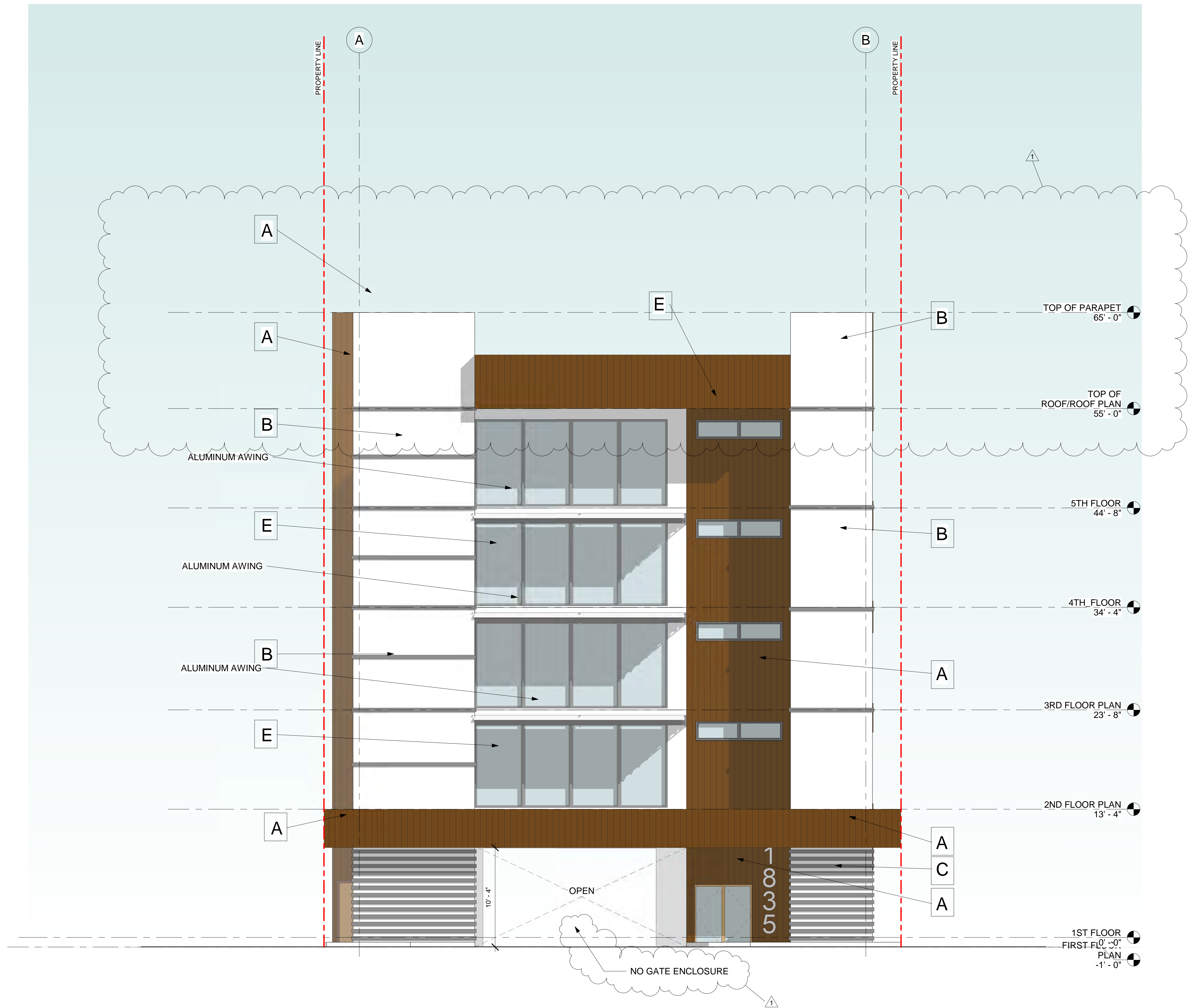
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OF:	SHEETS:

MATERIAL LEGEND

	A
PORCELAIN WOOD (VERTICAL)	
	B
STUCCO FINISH PAINTED COLOR: SW 9541 WHITE SNOW	
	C
METAL SILVER	
	D
ALUMINIUM GUARDRAILS	
	E
CLEAR GLASS	



1 PROPOSED NORTH ELEVATION
3/16" = 1'-0"



1 PROPOSED WEST ELEVATION
3/16" = 1'-0"



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OF: SHEETS:

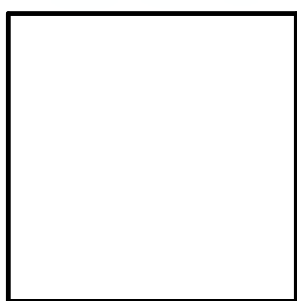
MATERIAL LEGEND

A




PORCELAIN WOOD
(VERTICAL)

B




STUCCO FINISH PAINTED
COLOR: SW 9541
WHITE SNOW

C




METAL SILVER

D

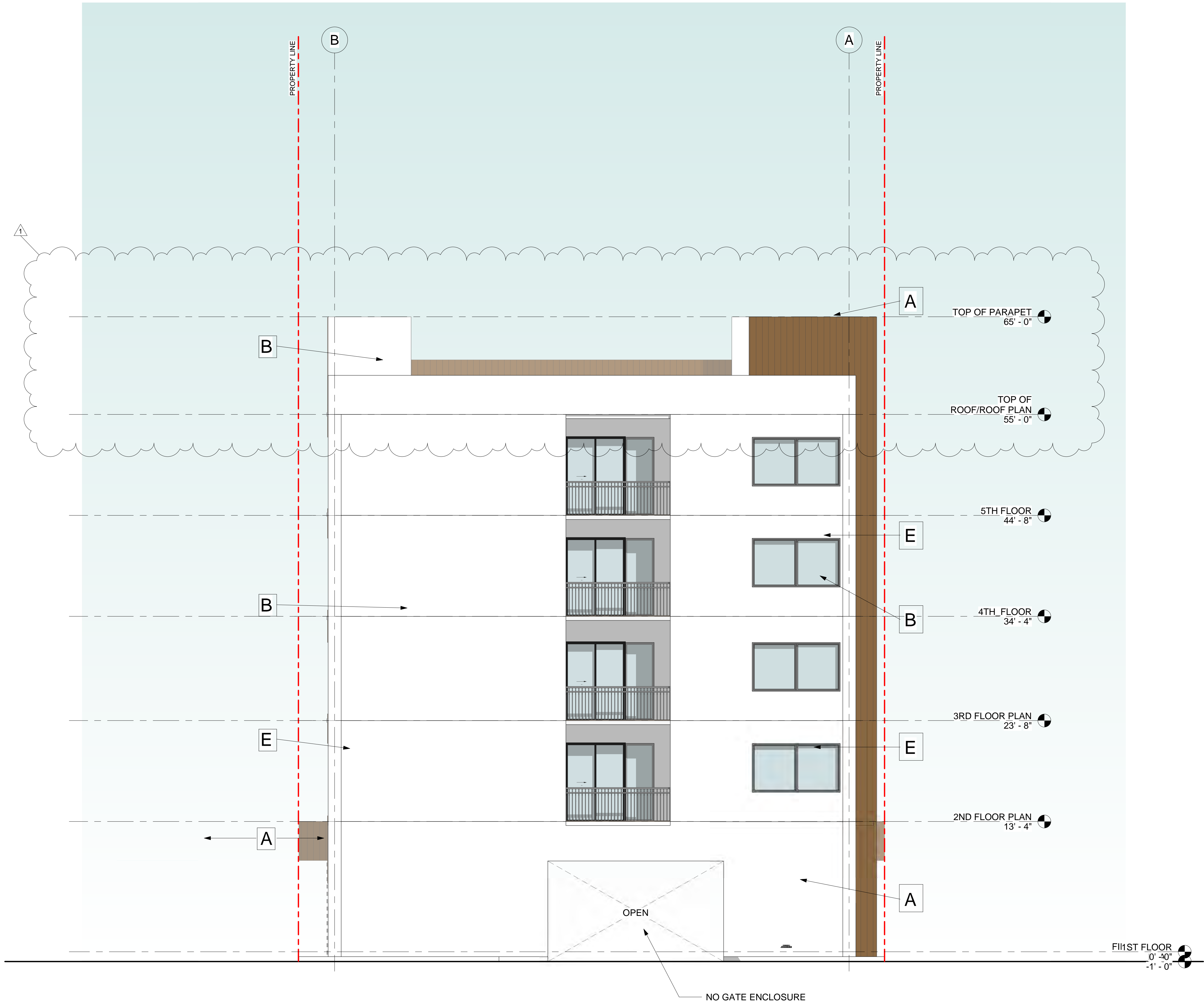


ALUMINIUM GUARDRAILS

E



CLEAR GLASS



1 PROPOSED SOUTH ELEVATION
3/16" = 1'-0"



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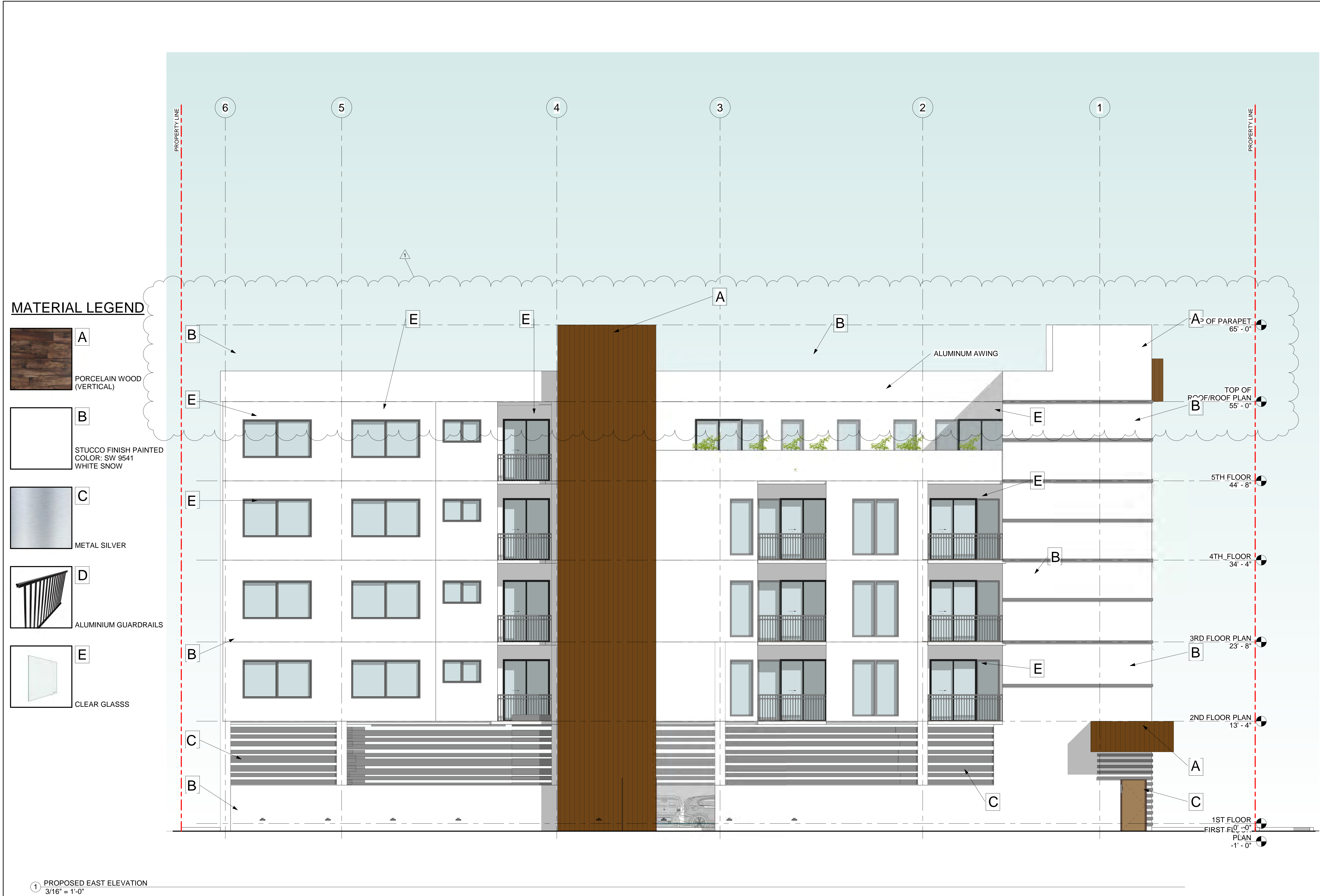
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LAURA A. ROSA

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OF:	SHEETS:





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A 2.5

OF: SHEETS: