RESOLUTION NO. R-2025-130

A RESOLUTION OF THE CITY COMMISSION OF THE CITY HOLLYWOOD FLORIDA, **AUTHORIZING** APPROPRIATE **OFFICIALS** CITY TO **EXECUTE** AMENDMENT NUMBER SEVENTEEN TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ("FDOT") LANDSCAPE INCLUSIVE MAINTENANCE MEMORANDUM OF AGREEMENT, WITH FDOT FOR MAINTAINING THE LANDSCAPE IMPROVEMENTS ON STATE ROAD A1A FROM THE SOUTHERN CITY LIMITS TO HOLLYWOOD BOULEVARD.

WHEREAS, the City together with the Hollywood Community Redevelopment Agency desire certain additional beautification improvements to State Road A1A to enhance the corridor aesthetic and improve the pedestrian experience; and

WHEREAS, the City will maintain the new landscape and hardscape improvements such a new sidewalks, pavers, asphalt patterned crosswalks and irrigation system; and

WHEREAS, on February 6, 2013, the City Commission passed and adopted Resolution No. R-2013-027, which authorized the execution of a Landscape Inclusive Maintenance Memorandum of Agreement ("MOA") with the Florida Department of Transportation ("FDOT") for the purpose of maintaining the landscape improvements by the City on various roads, including State Road A1A; and

WHEREAS, the MOA has been amended 16 times through various resolutions passed by the City Commission to include additional landscape improvements on various FDOT roads; and

WHEREAS, On September 14, 2021, the City Commission passed and adopted Resolution No. R-2021-234, which authorized the execution of amendment number 10 to the MOA with FDOT for the purpose of maintaining the landscape improvements by the City on State Road A1A from Hollywood Boulevard to Sheridan Street; and

WHEREAS, the Parties propose to again amend the MOU ("Amendment Number 17") to allow the City to construct additional landscape and hardscape improvements or modify an improvement as indicated in Exhibit "A" of the proposed amendment entitled "Landscape Improvements and Maintenance Boundaries," in accordance with the plans indicated in Exhibit "B" of the proposed amendment entitled "Landscape Improvement Plans"; and

WHEREAS, in order to include the modifications to the landscape improvements it is necessary to execute the Proposed Amendment; and

WHEREAS, funding for the landscape and maintenance improvements is available in account number 163.638507.55200.531170.000000.000.000.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF HOLLYWOOD, FLORIDA.

That the forgoing "WHEREAS" clauses are ratified and confirmed as Section 1: being true and correct and are incorporated in this Resolution.

That it approves and authorizes the execution, by the appropriate City officials, of the attached Amendment Number 17 to the State of Florida Landscape Inclusive Maintenance MOA with FDOT, together with such non-material changes as may be subsequently agreed to by the City Manager and approved as to form by the City Attorney.

Section 3: That this Resolution shall be in full force and effect immediately upon its passage and adoption.

PASSED AND ADOPTED this _____ day of _

2025.

PATRICIA A. CERNY,

CITY CLERK

APPROVED AS TO FORM:

DAMARIS HENLON

INTERIM CITY ATTORNEY

86030000

A₁A

STATE ROAD(s): PERMIT NO:

2023-L-491-00009

COUNTY:

BROWARD

AMENDMENT NUMBER SEVENTEEN (17) TO STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION DISTRICT FOUR (4) LANDSCAPE INCLUSIVE MEMORANDUM OF AGREEMENT

THIS AMENDMENT Number	Seventeen (17) to the	Agreement dated February 26, 2013
made and entered into this	day of	2025 by and between the
Department of Transportation I	hereinafter called the	DEPARTMENT and the CITY OF
HOLLYWOOD, a municipal corpo	ration of the State of Flo	rida, hereinafter called the AGENCY.

WITNESSETH

WHEREAS, the parties entered into the Landscape Inclusive Maintenance of Agreement dated, February 26, 2013 ("Original Agreement") for the purpose of maintaining the landscape and hardscape improvements by the AGENCY on various roads including A1A; and,

WHEREAS, the DEPARTMENT and the AGENCY have agreed to have additional landscape and hardscape installed by permit within the City of Hollywood on A1A / So. Ocean Drive in accordance with the above referenced Agreement; and,

NOW THEREFORE, for and in consideration of mutual benefits that flow each to the other, the parties covenant and agree as follows:

- 1. Per section 8, page 6 of the Original Agreement, the DEPARTMENT will allow THE AGENCY to construct additional landscape and hardscape improvements or to modify an improvement located as indicated in **Exhibit "A"**, on **A1A** (**South Ocean Drive**) from **M.P. 0.774 to M.P. 2.615**, in accordance with the plans as attached as **Exhibit "B"**.
- 2. The AGENCY shall agree to maintain the additional landscape and hardscape improvements described above according to Section I of **Exhibit "C"** Maintenance Plan of the Original Agreement.
- 3. **SECTION II**: <u>SPECIFIC PROJECT SITE MAINTENANCE REQUIREMENTS AND RECOMMENDATIONS</u>
- Fallen palm fronds shall be removed from walking surface within 24 hours.
- Sabal Palms, Thatch Palms, Royal Palms and Date Palms shall be pruned as needed to remove dead and/or damaged fronds only. Healthy green fronds are not to be removed.
- Do not remove fronds from self-cleaning palms, unless damaged. Palms with persistent fronds shall only have dead fronds removed, do not remove any green fronds. If it is deemed necessary to prune a palm's fronds, no fronds shall be trimmed above 3 o'clock and 9 o'clock on the horizontal plane.
- Canopy Trees are intended to be maintained mature height of 30' to 35', and a mature spread of 30' to 35'.

SECTION NO.(s): STATE ROAD(s): 86030000

PERMIT NO:

A1A

COUNTY:

2023-L-491-00009 BROWARD

- Groundcover and shrub horizontal growth shall be maintained to prevent foliage from growing beyond the limits of the planting areas shown on the plan. Maintain a 12" setback from the foliage to the edge of curb, pavement, sidewalk and/or other hardscape improvements.
- Groundcover and shrub vertical height shall be maintained as follows:
 - o Horizontal Cocoplum between 18" and 24", (full to ground)
 - o Silver Buttonwood between 24" and 30", (full to ground)
 - o Sand Cordgrass between 24" and 30", (full to ground)
 - o Emerald Blanket Natal Plum between 12" and 18", (full to ground)
 - o Golden Creeper between 12" and 18", (full to ground)
 - o Beach Sunflower between 6 and 12" (full to ground)
- Evaluate plant material on a <u>quarterly</u> basis for pests, diseases, drought stress or general decline. If required, follow the integrated pest management program established by the Agency to ensure healthy plants.
- Canopy Trees are intended to be maintained mature height of 30', and a mature spread
 of 30'.
- Sidewalk pavers shall be pressure cleaned at once annually.
- Concrete pavers shall be inspected on a <u>quarterly</u> basis for the aesthetic appearance
 and safety conditions. Address any issues identified by repairing or replacing those
 specific locations. To maintain the overall aesthetic appearance and safety of the
 concrete pavers they shall be cleaned on a <u>yearly</u> basis to prevent mold, dirt, oil, and
 gum build up. Joints and cracks in concrete, patterned concrete or asphalt, concrete
 pavers, concrete curbs, expansion joints, catch basins, gutter areas, etc. shall be
 inspected on a quarterly to keep those areas free of weeds.
- Concrete Tree Grates shall be inspected on a <u>quarterly</u> basis for the aesthetic
 appearance and safety conditions. Address any issues identified by repairing or
 replacing those specific locations. To maintain the overall aesthetic appearance and
 safety of the tree grates, they shall be cleaned on a yearly <u>basis</u> to prevent mold, dirt, oil,
 and gum build up.
- Inspect the irrigation system performance on a <u>quarterly</u> basis to ensure the system is providing 100% coverage, does not have sections of low pressure, heads and valves are clean and clear of debris and any damaged irrigation components (i.e., spray nozzles, spray heads, valve boxes, etc.) are repaired or replaced.
- 4. Except as modified by this Amendment, all terms and conditions of the original Agreement and all Amendments thereto shall remain in full force and effect.

LIST OF EXHIBITS FOR AMENDMENT #17

Exhibit A - Landscape Improvements and Maintenance Boundaries

Exhibit B - Landscape Improvement Plans

Exhibit C - Resolution

STATE ROAD(s):

86030000 A1A

PERMIT NO:

2023-L-491-00009

COUNTY: BROWARD

In Witness whereof, the parties hereto have executed with this Amendment effective the day and year written and approved.

CITY OF HOLLYWOOD	•
a municipal corporation of the State of Florida	
•	Attest:
•	
·	
By:	
By: Josh Levy, Mayor	Patricia A. Cerny, MMC
Josh Levy, Mayor	City Clerk
·	Oity Olerk
Data	
Date:	Annual 22 to Famor
	Approved as to Form;
	Damaris Henlon,
	Interim City Attorney
	•
	•
STATE OF FLORIDA	
DEPARTMENT OF TRANSPORTATION	
	·
By:	Date:
John P. Krane (or designee)	
Director Development Transportation	
Bileotor Bevelopment Transportation	
•	
Attest:	
Alia Chanel (or designee)	
Executive Secretary	
Level D. C.	•
Legal Review:	
Pamela Eidelberg (or designee)	
Office of the General Counsel	

86030000 A1A

STATE ROAD(s): PERMIT NO:

2023-L-491-00009

COUNTY:

BROWARD

EXHIBIT A

LANDSCAPE IMPROVEMENTS AND MAINTENANCE BOUNDARIES

I. INCLUSIVE LIMITS OF MAINTENANCE ON STATE ROAD A1A (SOUTH OCEAN DRIVE):

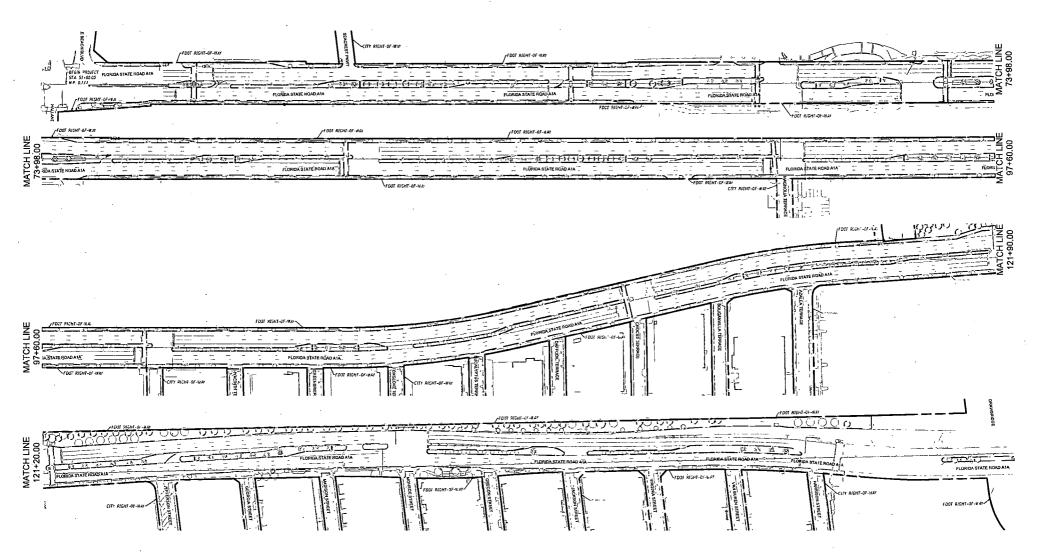
Section 86030000

(SR 858 / Hallandale Beach Blvd.) M.P. 0.79 to (Dania Beach Blvd.) M.P. 5.380 except; (600' north of SR 858 / Hallandale Beach Blvd.) M.P. 0.90 to (100' north of Diplomate Property) M.P. 1.220 which will continue to be maintained under separate agreement.

II. PERMIT LANDSCAPE MAINTENANCE LIMITS FOR AMENDMENT #17:

A1A (South Ocean Drive) from North of Hallandale Beach Blvd. (M.P.0.774) to South of Hollywood Blvd. (2.615)

*See Attached Map





LANDSCAPE IMPROVEMENTS MAINTENANCE BOUNDARY MAP

CITY OF HOLLYWOOD STATE ROAD <u>A1A</u> FDOT PERMIT <u>#2023-L-491-00009</u> (12/06/2024)



STATE ROAD(s):

PERMIT NO:

COUNTY:

86030000

A1A

2023-L-491-00009 BROWARD

EXHIBIT B

LANDSCAPE IMPROVEMENT PLANS

The AGENCY agrees to install the landscape improvements in accordance with the plans and specifications attached hereto and incorporated herein.

Please see attached plans prepared by:

Jonathan D. Haigh, PLA, ASLA

Kimely-Horn and Associates, Inc.

1920 Wekiva Way

West Palm Beach, FL 33411

Dated:

December 6, 2024

CITY OF HOLLYWOOD COMMUNITY REDEVELOPMENT AGENCY (CRA)

CONTRACT PLANS

INDEX OF LANDSCAPE PLANS

79 - 95

 SHEET NO.
 SHEET DESCRIPTION

 21
 LANDSCAPE COVER SHEET

 22
 FDOT GENERAL NOTES

 23 - 41
 HARDSCAPE PLANS

 43 - 60
 TREE DISPOSITION PLANS NOT INCLUDED

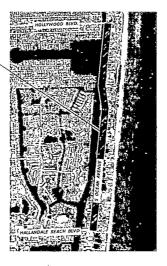
 61 - 78
 LANDSCAPE PLANS

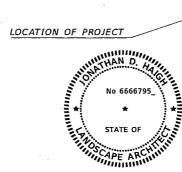
IRRIGATION PLANS

STATE ROAD NO. A1A
SOUTH OCEAN DR (SR A1A)
FROM NORTH OF HALLANDALE BEACH BLVD
TO
SOUTH OF HOLLYWOOD BLVD
HOLLYWOOD, FL

LANDS CAPE PLANS

PROJECT LIMITS
BEGIN MP: 0.774
END MP: 2.615





THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

LANDSCAPE PLANS LANDSCAPE ARCHITECT OF RECORD:

JONATHAN D. HAIGH, PLA. NO.: 6666795 KIMLEY-HORN AND ASSOCIATES, INC. CONSULTING LANDSCAPE ARCHITECT 1920 WEKIVA WAY, SUITE 200 WEST PALM BEACH, FL 33411 (561) 845-0665

PERMIT HUMBER: #2023-L-491-00009 SECTION HUMBER: 86170 STATE ROAD: SR-AIA

PLANS REFERENCE 2023 FDOT DESIGN HANUAL, FY 2022-23 STANDARD PLANS

REFER TO APPROVED DESIGN VARIANCE REPORADOU PERMIT #2021-1-49-00003 FOR THE PROPOSED AND EISTING RADSDET REES (EXPECTED DIMETER REALER THIM # 4T 6 ABOVE GROUND LEVEL WITHIN 1HE 1-5' LISERAL GF521 FROM FACE DO CUMB PER FOR CHAPTER 25', THIC COMPATIONAL UGATH POLES WITHIN THE 1-5 LISERAL OFFSET FROM FACE OF CUMB PER FOR CHAPTER 215', AND THE EXISTING TREES WITHIN THE LIMITS OF CLEAR SIGNIT LOCAS PER FOR CHAPTER 215'.

POSTED SPEED: 35 M.P.H.

MMOA EXHIBIT SET - NOT FOR CONSTRUCTION

FDOT PERMIT #2023-L-491-00009

FDOT PERMIT RECORD SET DECEMBER 2024

TALLMASSEE

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LANDSCAPE COVER SHEET

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SHEET NUMBER

- ANY PLANT MATERIAL SUBSTITUTION WITHIN OR IMPACTING THE FOOT RIGHT OF WAY WHETHER REQUESTED BY THE CONTRACTOR, OWNER, LANDSCAPE ARCHITECT OR OTHER WILL NEED TO GET APPROVAL FROM THE FDOT DISTRICT LANDSCAPE
- PATTERNED PAVEMENT INSTALLATION SHALL COMPLY WITH CURRENT FOOT STANDARD SPECIFICATION 523. FRICTION TESTING WILL BE REQUIRED AT INTERVALS IN ACCORDANCE WITH FDOT FM 5-592, ASTM E274, OR ASTM E1911. ALL COSTS FOR FRICTION TESTING WITHIN TRAVEL WAY ARE THE RESPONSIBILTY OF THE AGENCY.
- CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE DONE TO FOOT PROPERTY DURING DEMOLITION, RELOCATION AND/OR INSTALLATION ACTIVITIES AT HIS SOLE EXPENSE.
- OWNERSHIP OF ALL SUITABLE EXCAVATED MATERIALS, AS DETERMINED BY THE DEPARTMENT, SHALL REMAIN IN THE DEPARTMENT UNTIL A FINAL ACCEPTANCE OF THE PERMITTED PROJECT IS FULFILLED. EXCAVATED MATERIALS SHALL BE HAULED BY THE PERMITTEE. AT THEIR COST AND EXPENSE FROM THE SITE TO THE BROWARD OPERATIONS CENTER OR STOCKPILED IN THOSE AREAS AS DIRECTED BY THE DEPARTMENT, INCLUDING ASPHALT MILLINGS.
- PERMITTEE WILL RESTORE THE RIGHT OF WAY AS A MINIMUM, TO ITS ORIGINAL CONDITION OR BETTER IN ACCORDANCE WITH FOOT LATEST STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION OR AS DIRECTED BY THE RESIDENT OPERATIONS ENGINEER
- RESTRICTED HOURS OF OPERATION FOR LANE CLOSURES WILL BE FROM 9:00 AM TO 3:30 PM, (MONDAY-FRIDAY), UNLESS OTHERWISE APPROVED BY THE OPERATIONS ENGINEER, OR DESIGNEE.
- PERMITTEE WILL COORDINATE (I.E. PRE-CONSTRUCTION MEETINGS, INSPECTIONS, FINAL ACCEPTANCE OF WORK, ETC.) WITH FOOT BROWARD OPERATIONS CENTER PERMITTING DEPARTMENT COORDINATION WILL INCLUDE PRE-CONSTRUCTION. CERTIFICATION ACCEPTANCE AND FINAL APPROVAL IS CONTINGENT UPON CONFORMITY OF ALL WORK COMPLETED ACCORDING TO THIS PERMIT AND
- ALL MATERIALS AND CONSTRUCTION WITHIN THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN (FDOT) RIGHT-OF-WAY SHALL CONFORM TO THE "LATEST VERSION OF FDOT STANDARD PLANS FOR ROADS AND BRIDGE CONSTRUCTION AND LATEST VERSION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL MAINTENANCE OF TRAFFIC M.O.T. FOR THIS PROJECT WILL BE IN COMPLIANCE WITH THE DEPARTMENTS CURRENT EDITION OF THE FDOT STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION INDICES. (102-600 SERIES) AND THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (NUTCD). THE OPERATIONS ENGINEER OR HIS DESIGNEE RESERVES THE RIGHT TO DIRECT THE REMOVAL/RELOCATION/MODIFICATION OF ANY TRAFFIC DEVICE(S) AT THE PERMITTEE'S SOLE EXPENSE. SPECIAL ATTENTION WILL BE GIVE TO INDICES 102-611, 102-612, 102-613, 102-614, 102-615, 102-616, AND
- 10. IT IS THE PERMITTEE'S RESPONSIBILITY TO OBTAIN FINAL ACCEPTANCE OF PERMITTED WORK (COMPLETED) AND THE RESTORATION OF THE RIGHT-OF-WAY FROM THE FDOT PRIOR TO USAGE.
- 11 GOVERNING STANDARD PLANS

FLORIDA DEPARTMENT OF TRANSPORTATION, FY 2023-24 STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION AND APPLICABLE INTERIM REVISIONS (IRS) ARE AVAILABLE AT THE FOLLOWING WEBSITE: HTTPS://WWW.FDOT.GOV/DESIGN/STANDARDPLANS

12. GOVERNING STANDARD SPECIFICATIONS

FLORIDA DEPARTMENT OF TRANSPORTATION, FY 2023-24 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AT THE FOLLOWING WERSITE-

HTTPS://WWW.FDOT.GOV/PROGRAMMANAGMENT/IMPLEMENTED/SPECBOOKS

13. ARCHITECTURAL PAYERS INSTALLATION FOR SIDEWALKS, MEDIANS, DRIVEWAYS, OR ROADWAYS WITHIN THE FDOT RIGHT OF WAY SHALL COMPLY WITH CURRENT FDOT STANDARD SPECIFICATION 526 ONLINE REFERENCE: HTTPS://FDDTWWW.BLOB.CORE.WINDOWS.NET/SITEFINITY/DOCS/DEFAULT-SOURCE/PROGRAMMANAGEMENT/IMPLEMENTED/SPECBOOKS/ FY-2023-24/FY2023-24EBOOK.PDF7SFYRSN=6B694I6D_6

FDOT IRRIGATION NOTES

- FDOT REQUIRES 24-HOUR EMERGENCY ACCESS TO WATER SOURCE.
- CONTRACTOR SHALL PROVIDE FOOT DISTRICT OPERATIONS HANAGER WITH A SET OF "AS-BUILT" IRRIGATION PLANS. 2.
- CUTTING/PATCHING THE ROADWAY SURFACE IS PROHIBITED AS A PART OF THE SCOPE OF THIS PROJECT
- PERMITTEE'S REPRESENTATIVE & AN FOOT INSPECTOR MUST BE ON SITE DURING ALL BORING ACTIVITIES. UPON COMPLETION OF THE BORING ACTIVITIES, PERMITTEE SHALL PROVIDE ALL DOCUMENTATION TO BE IN ACCORDANCE WITH FOOT STANDARD SPECIFICATIONS, SECTION 555 OR 556, WHICHEVER IS APPLICABLE.
- PERMITTEE'S CONTRACTORS THAT ARE PERFORMING DIRECTIONAL DRILLING AND/OR JACK AND BORE ACTIVITIES SHALL PROVIDE THE DEPARTMENT (PERMITS OFFICE) PROOF OF A PROPER STATE CONTRACTOR'S LICENSE AND CERTIFICATE OF LIABILITY INSURANCE PRIOR TO ANY COMMENCEMENT OF PERMITTED WORK.
- PERMITTEE WILL ENSURE THAT ALL LOCATES HAVE BEEN PERFORMED PRIOR TO SCHEDULING OF ANY BORING ACTIVITIES. THIS SHALL INCLUDE SOFT DIGS TO VERIFY VERTICAL & HORIZONTAL ALIGNMENT.
- SLEEVING MUST BE 36° BELOW THE ROADWAY, VERIFY WITH FOOT MAINTENANCE THAT SLEEVING/DIRECTIONAL BORE IS PERMITTED AT THIS TIME. A NEWLY RESURFACED ROAD CANNOT BE DISTURBED FOR 5 YEARS

FOOT PLANTING NOTES

FOR THE PORTION OF LANDSCAPE PLANT MATERIAL THAT WILL BE INSTALLED WITHIN THE FDOT RIGHT OF WAY. LANDSCAPE INSTALLATION SHALL COMPLY WITH CURRENT APPLICABLE FDOT MAINTENANCE SPECIFICATION 580. ONLINE

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FOR THE PORTION OF LANDSCAPE PLANT MATERIAL THAT WILL BE INSTALLED WITHIN THE FDOT RIGHT OF WAY REFER TO THE FOOT STANDARD PLANS INDEX 580-001 LANDSCAPE INSTALLATION. ONLINE REFERENCE:

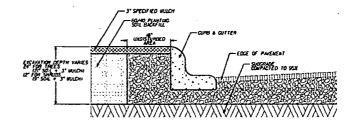
HTTPS://FOOTWWW.BLOB.CORE.WINDOWS.NET/SITEFINITY/DOCS/DEFAULT-SOURCE/DESIGN/STANDARDPLANS/2023/ IDX/580-001.PDF?

- CYPRESS MULCH IS NOT PERMITTED ON FOOT RIGHT OF WAY. HULCH PERMITTED TO BE USED ARE HARDWOOD MULCH (CONTAINING NO CYPRESS PRODUCTS), RECYCLED MULCH OR APPROVED EQUAL, CERTIFIED BY THE MULCH AND SOIL COUNCIL IMSC) SUBMIT PROOF OF CERTIFICATION TO THE FOOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTOR UPON INSPECTION.
- IT IS RECOMMENDED TO VERIFY THE EXISTING SOIL CONDITIONS FOR THE MEDIANS TO BE PLANTED PRIOR TO FINALIZING THE CONSTRUCTION DOCUMENTS, IF THE EXISTING SUB-GRADE IS COMPACTED ROAD BASE, IT IS RECOMMENDED TO SPECIFY REPLACING WITH PLANTING SOIL AS FOLLOWS:
- a. CONTRACTOR SHALL PRESERVE A CONTINUOUS BAND OF UNDISTURBED COMPACTED SUB-BASE 18" FROM THE BACK OF CURB (SEE DETAIL BELOW).

b. THE CONTRACTOR SHALL INSURE THAT ALL UNSUITABLE SOIL INCLUDING CONCRETE, PAVEMENT, ROAD BASE, STONES OVER 3". DIAMETER AND ALL CONSTRUCTION DEBRIS, IS REMOVED FROM MEDIAN AREA TO BE PLANTED AND REPLACED WITH SPECIFIED PLANTING SOIL, E.G., 60% SAND AND 40% MUCK

C. AREAS TO BE PLANTED WITH SHRUBS AND/ OR GROUND COVERS: REMOVE COMPACTED SOIL TO A DEPTH OF 12' AND REPLACE WITH SPECIFIED PLANTING SOIL. PLANTING SOIL SHALL COME UP TO 4" FROM TOP OF CURB, RESERVING SPACE FOR 3" COMPACTED MILICH AND 1" CLEAR FROM TOP OF CURR

d. PLANTING PITS FOR TREES AND PALMS: REMOVE COMPACTED SOIL WITHIN THE AREA OF EACH PLANTING PIT TO A DEPTH OF 24" FROM THE TOP OF CURB. PLANTING SOIL SHALL COME UP TO 4" FROM TOP OF CURB. RESERVING SPACE FOR 3" COMPACTED MULCH, AND I" CLEAR FROM TOP OF CURB.



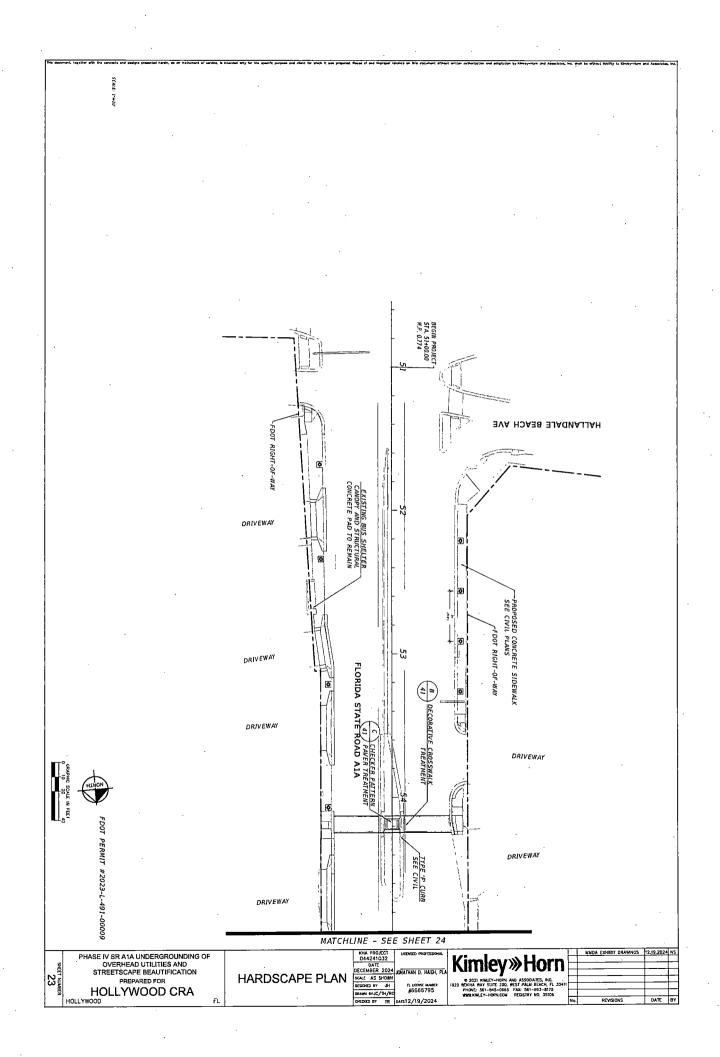
- THE IRRIGATION SYSTEM SHALL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY AND SAFELY MEETS THE WATER NEEDS OF THE SYSTEM. STORM WATER, RECLAIM WATER, OR GREY WATER IRRIGATION SHALL BE USED WHENEVER
- 9. THE CONTRACTOR SHALL PROVIDE FDOT DISTRICT OPERATIONS MANAGER WITH A SET OF "AS-BUILT" IRRIGATION PLANS.
- SHOULD THE EXISTING IRRIGATION SYSTEM NOT BE FUNCTIONAL FOR A PERIOD OF TIME DURING CONSTRUCTION ENSURE THAT MEASURES ARE TAKEN TO WATER THE EXISTING PLANT MATERIAL AND SOD. THIS MAY INCLUDE PORTIONS OF THE RIGHT OF WAY OUTSIDE OF THE RENOVATION AREA DEPENDING HOW THE SYSTEM IS ZONED.
- 11. 100% COVERAGE MUST BE ACHIEVED WITHIN THE RIGHT OF WAY WHERE IRRIGATION MODIFICATIONS OCCUR.
- TO FASURE THE ENTIRE EXISTING IRRIGATION SYSTEM IS RESTORED TO FULLY FUNCTIONAL CONDITION, THE CONTRACTOR AND NAINTAINING AGENCY ARE TO PERFORM A PRE-CONSTRUCTION VISUAL INSPECTION AND PERFORMANCE TEST TO DOCUMENT THE CONDITION OF THE EXISTING SYSTEM, ANY REPAIRS THAT ARE REQUIRED TO THE EXISTING SYSTEM TO REMAIN WILL BE PERFORMED BY THE MAINTAINING AGENCY PRIOR TO CONSTRUCTION. ANY EXISTING OR PROPOSED COMPONENTS THAT ARE DAMAGED DURING CONSTRUCTION OR THE WARRANTY PERIOD WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ENTIRE SYSTEM MUST BE RESTORED TO THE SAME CONDITION IT WAS IN BEFORE THE START OF CONSTRUCTION

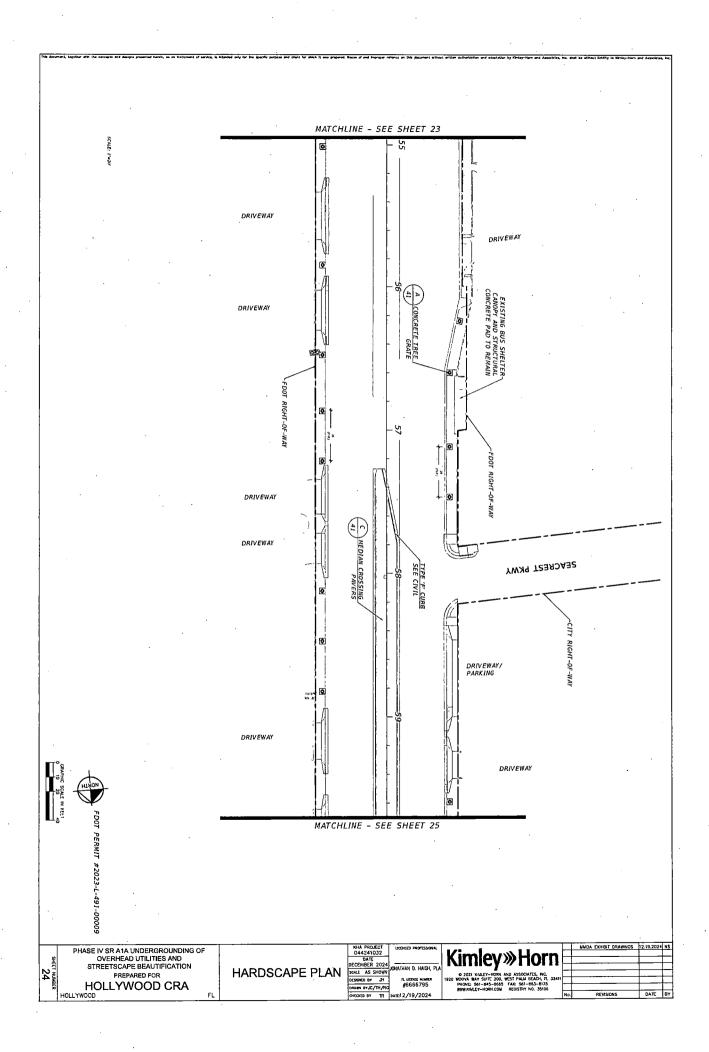
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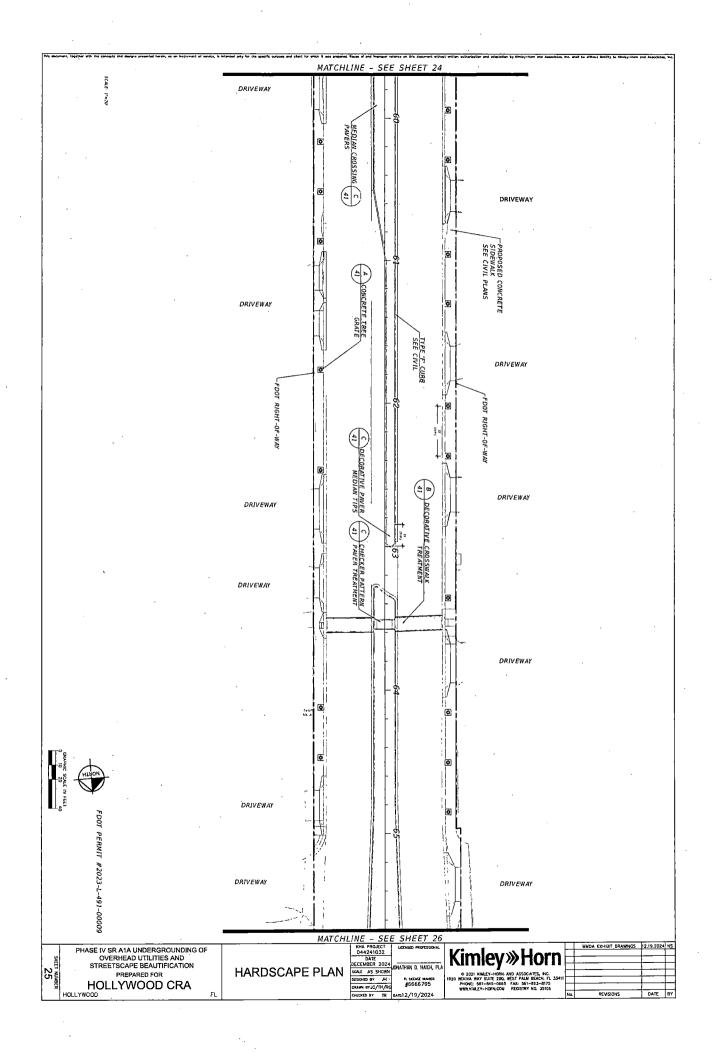
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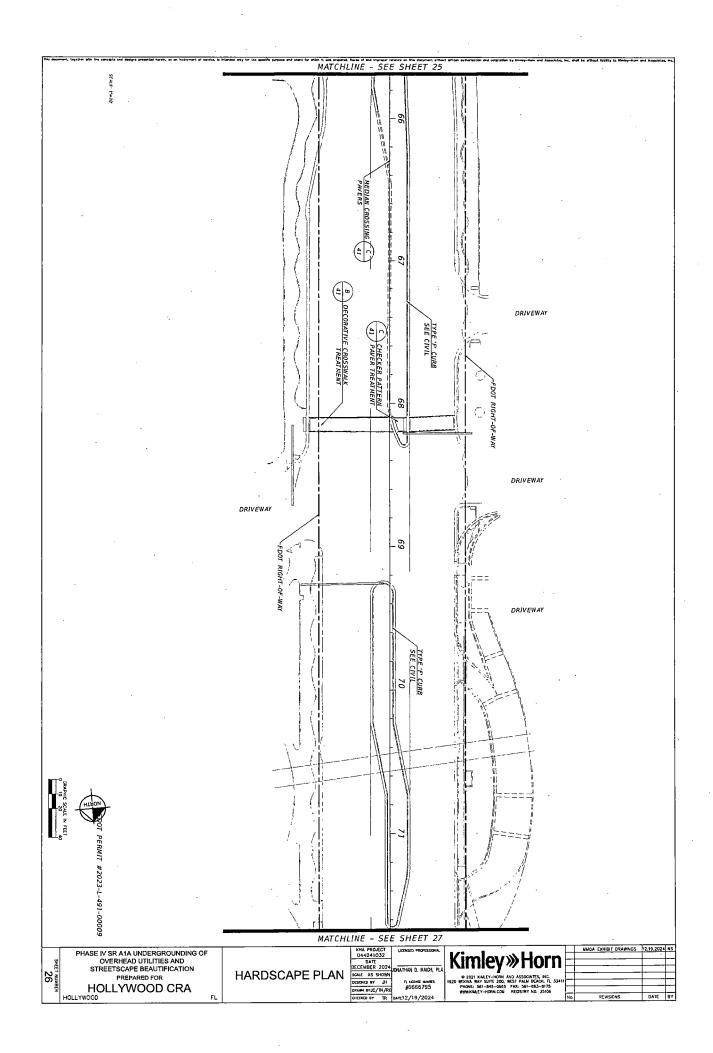
PHASE IV SR A1A UNDERGROUNDING OF OVERHEAD UTILITIES AND STREETSCAPE BEAUTIFICATION CR.A HOLLYWOOD

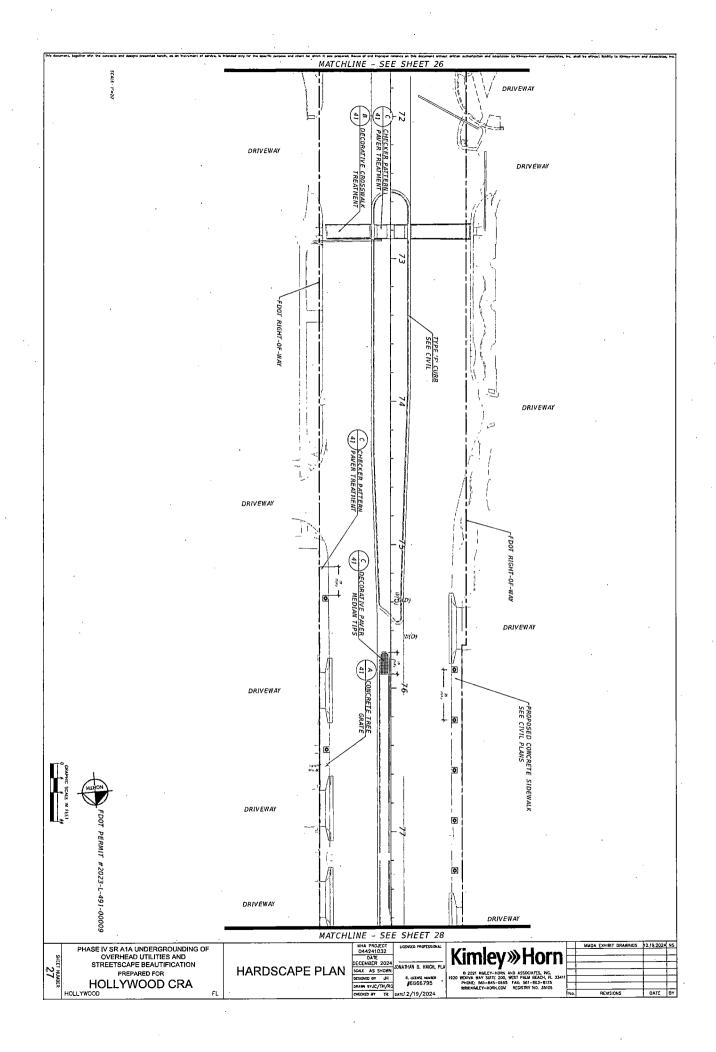
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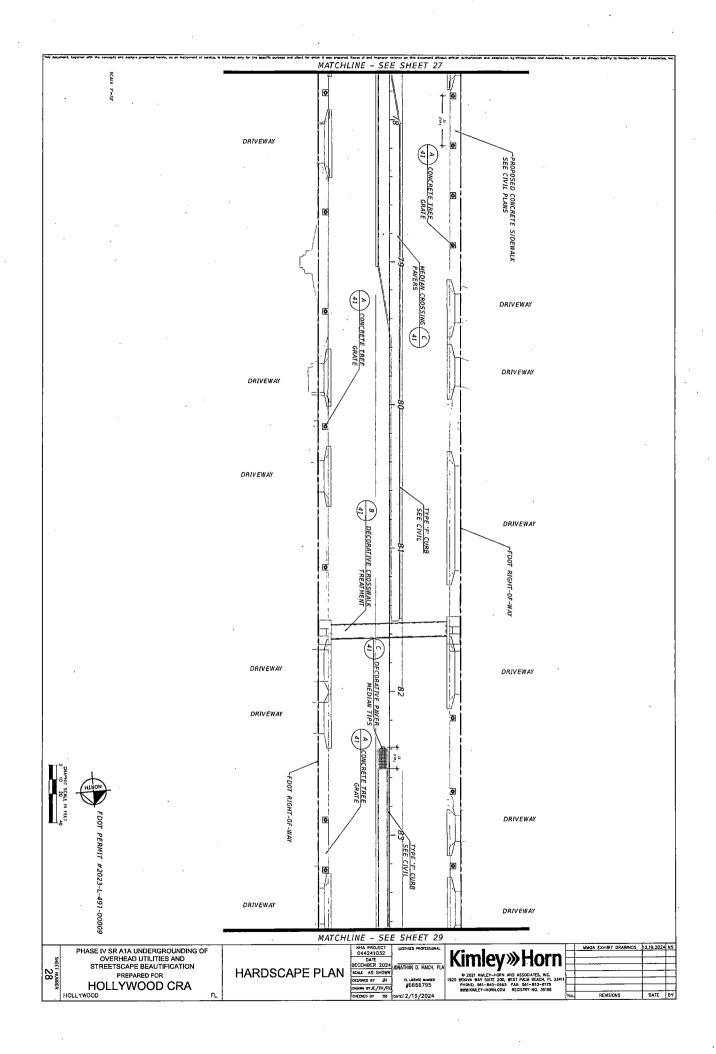


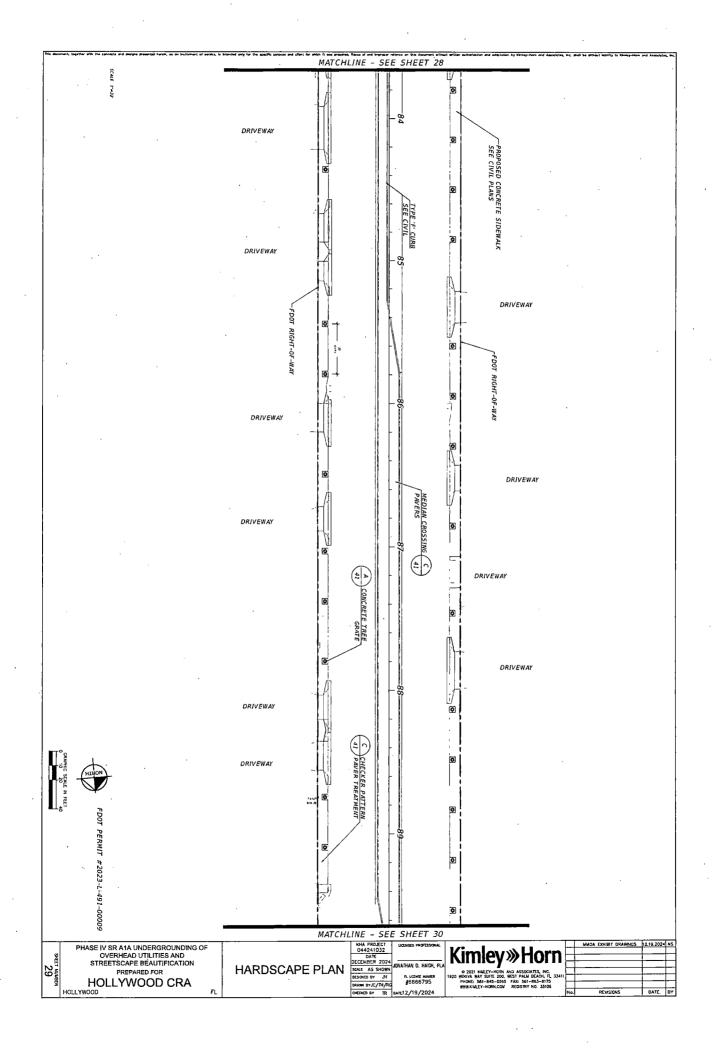


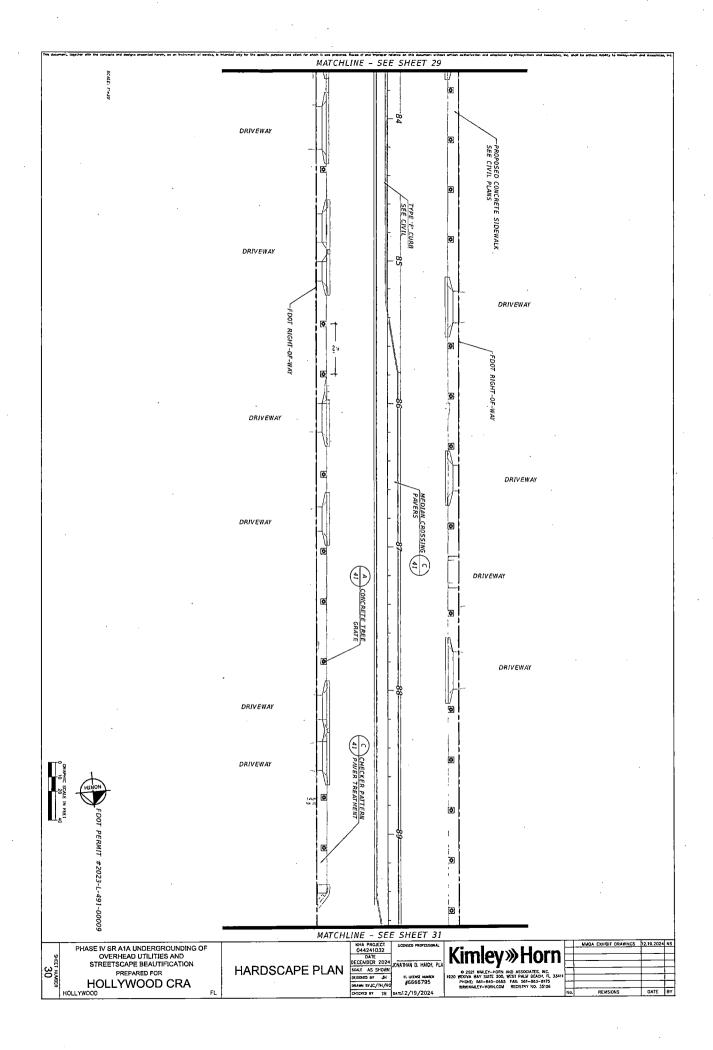


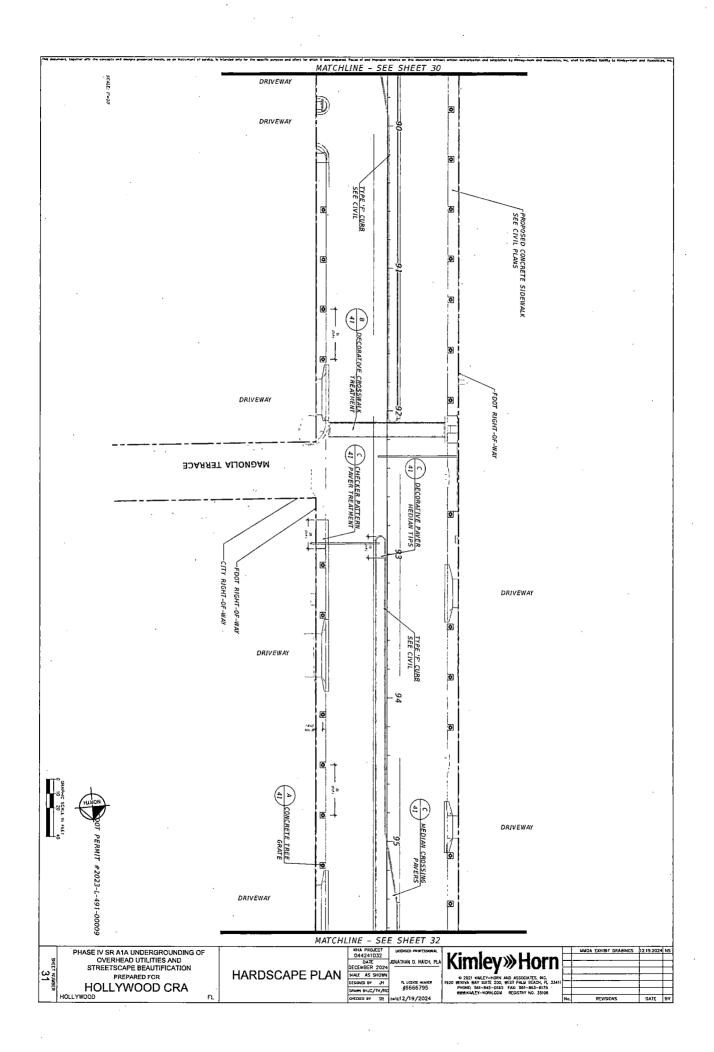


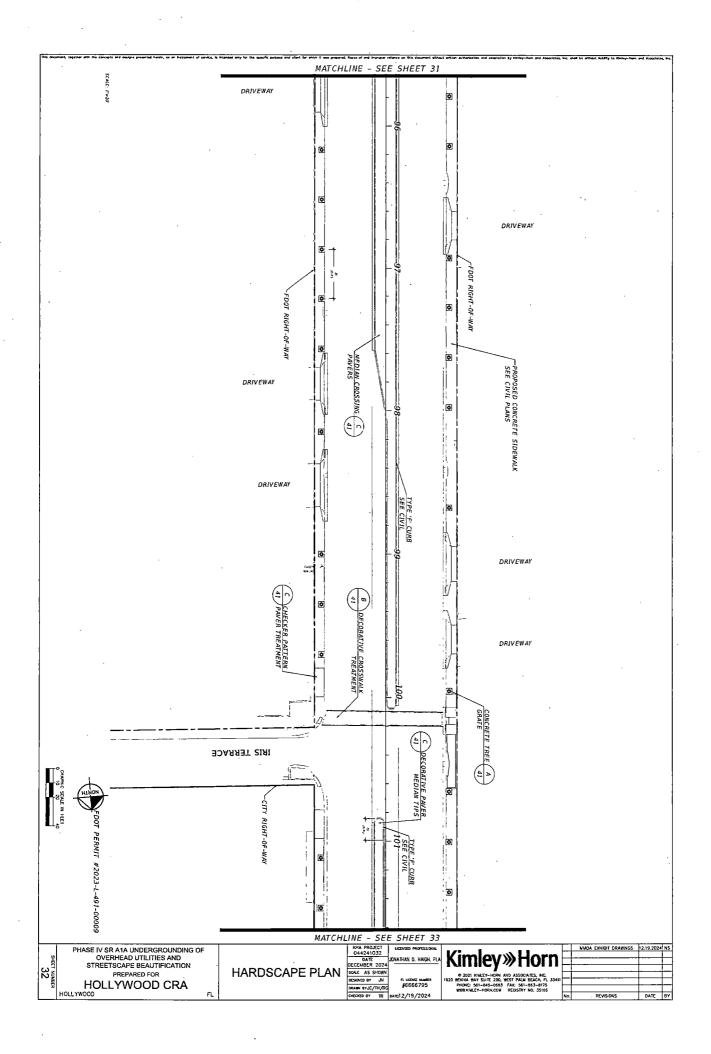


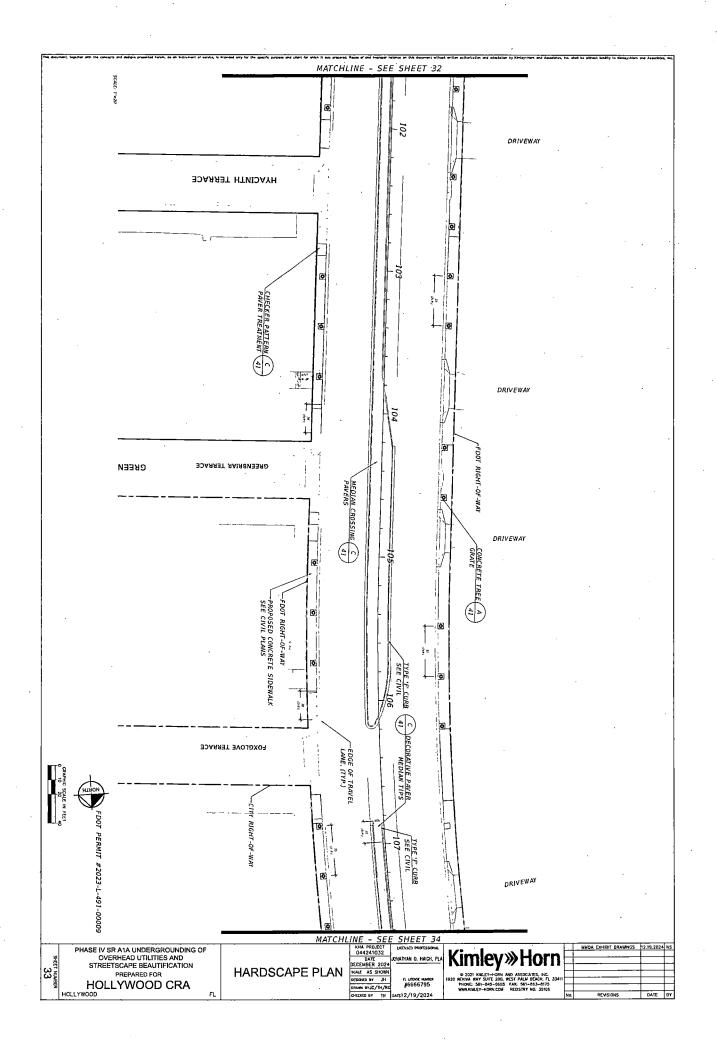


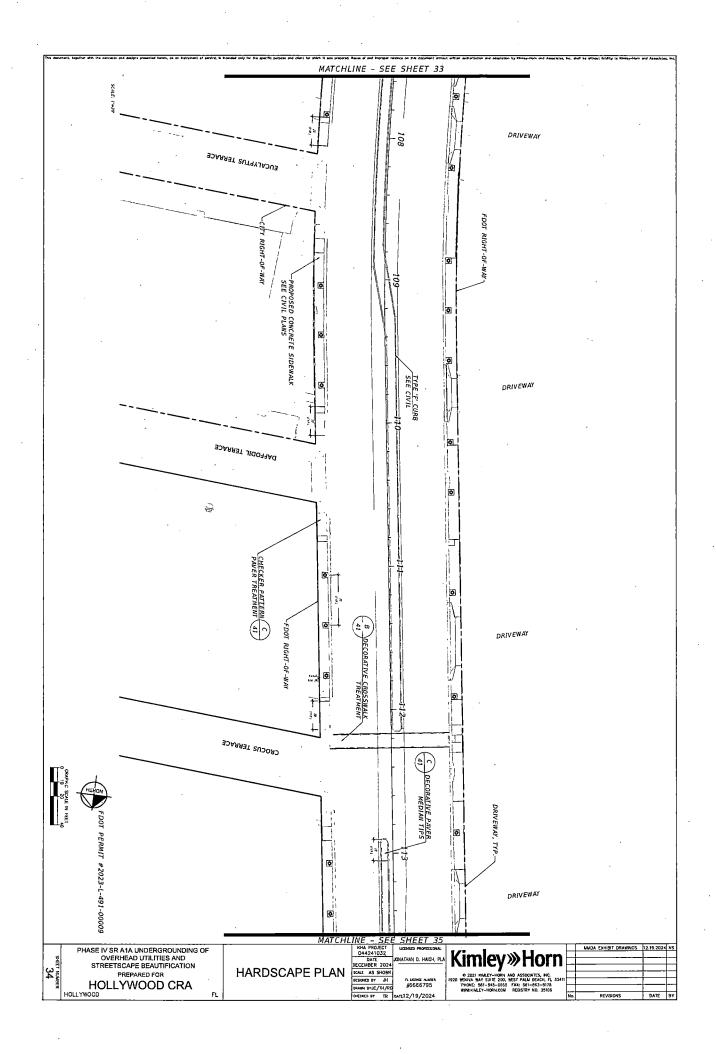


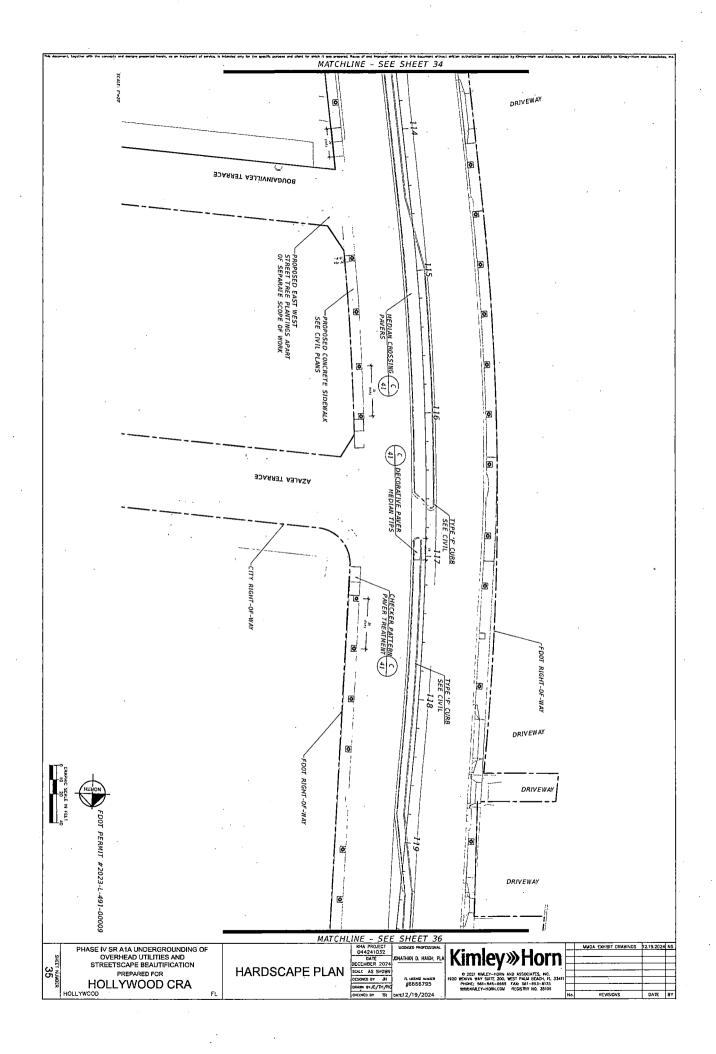


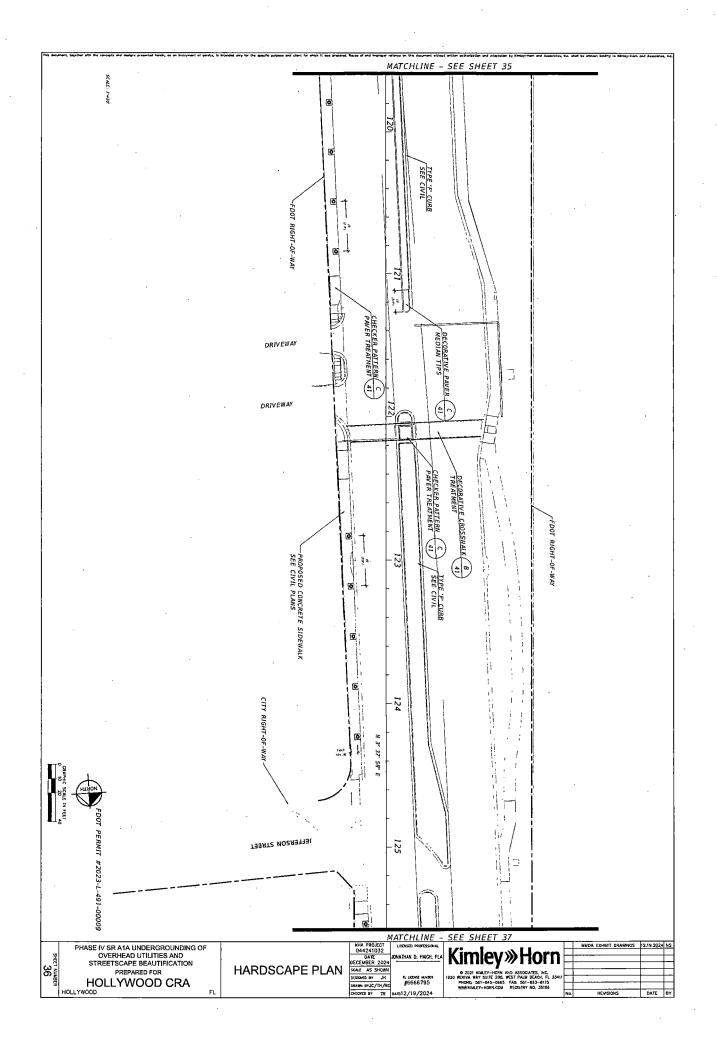


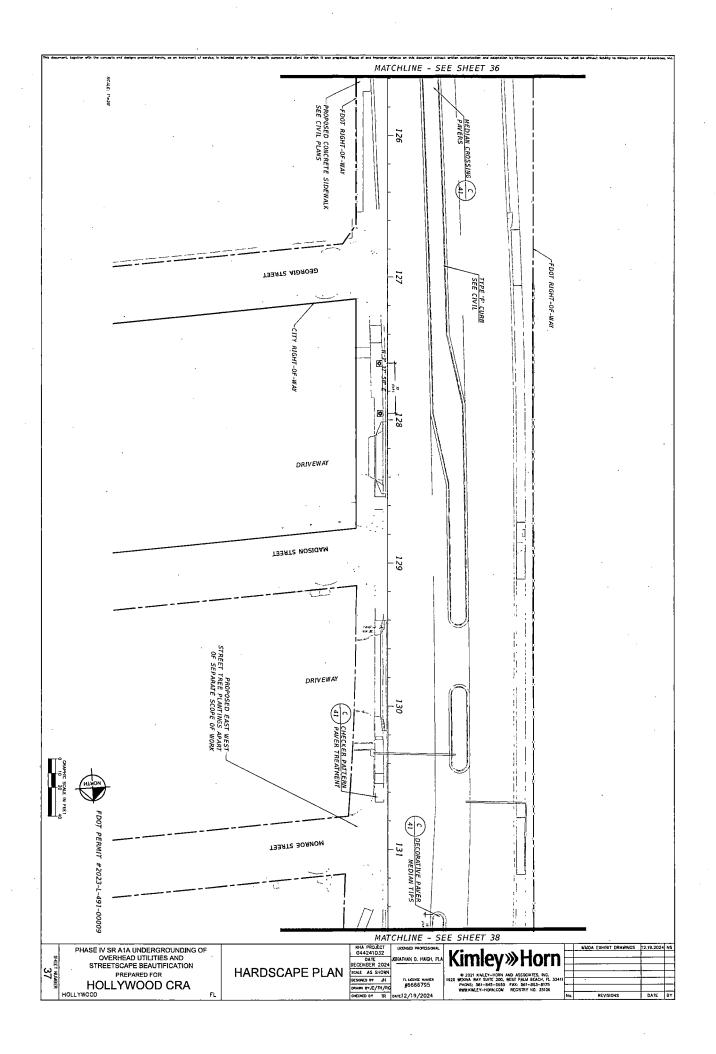


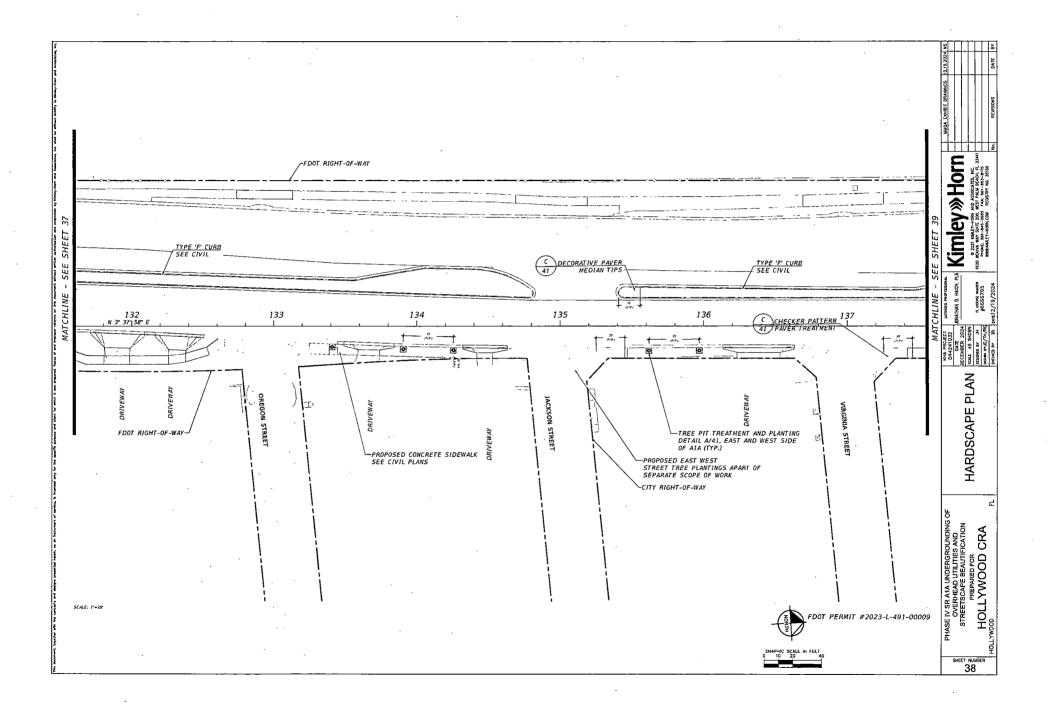


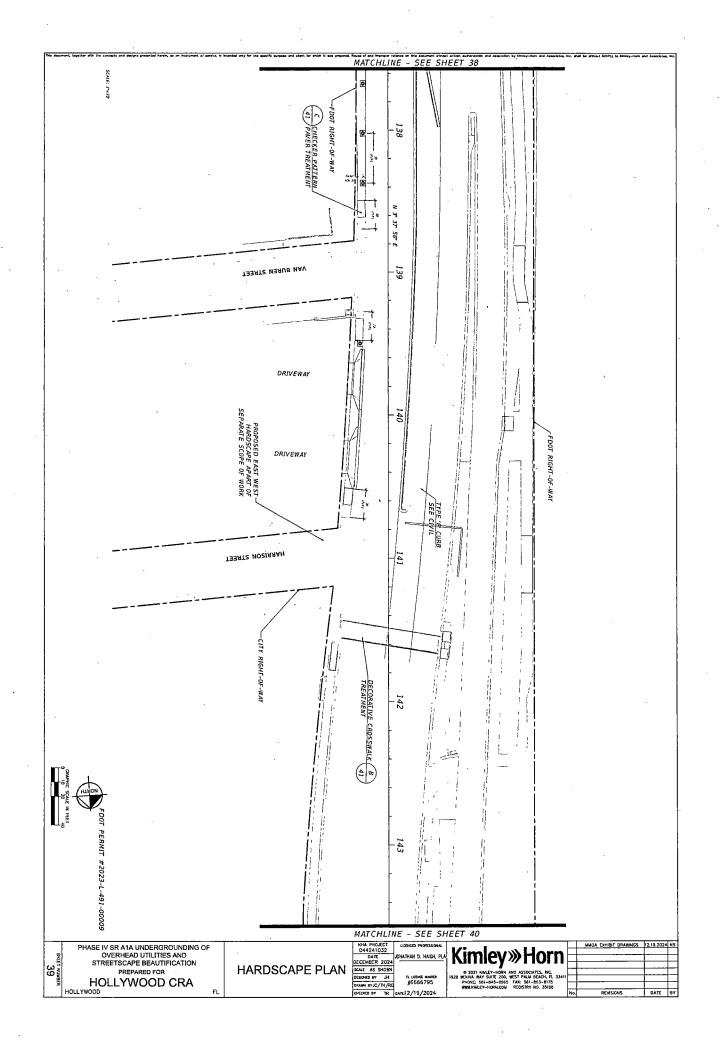


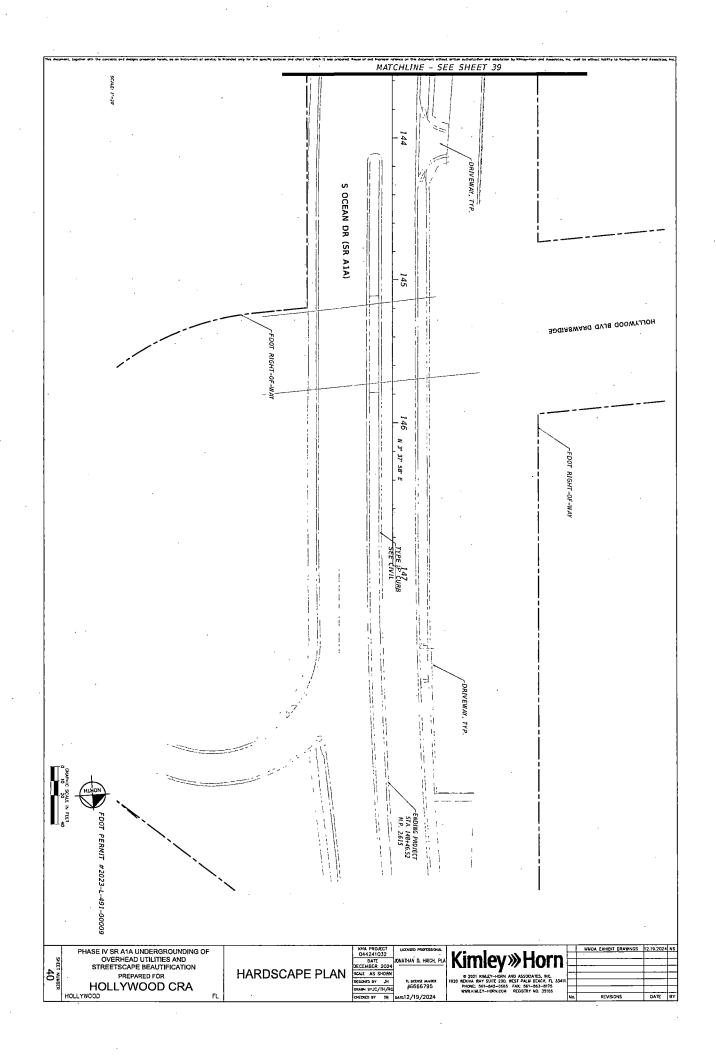


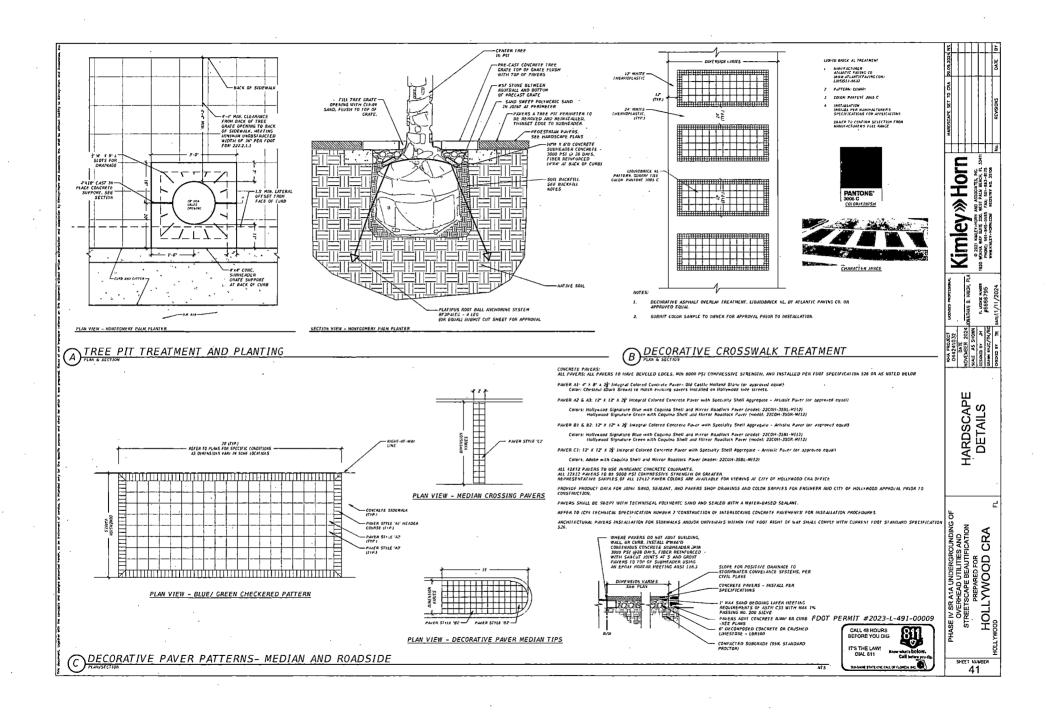


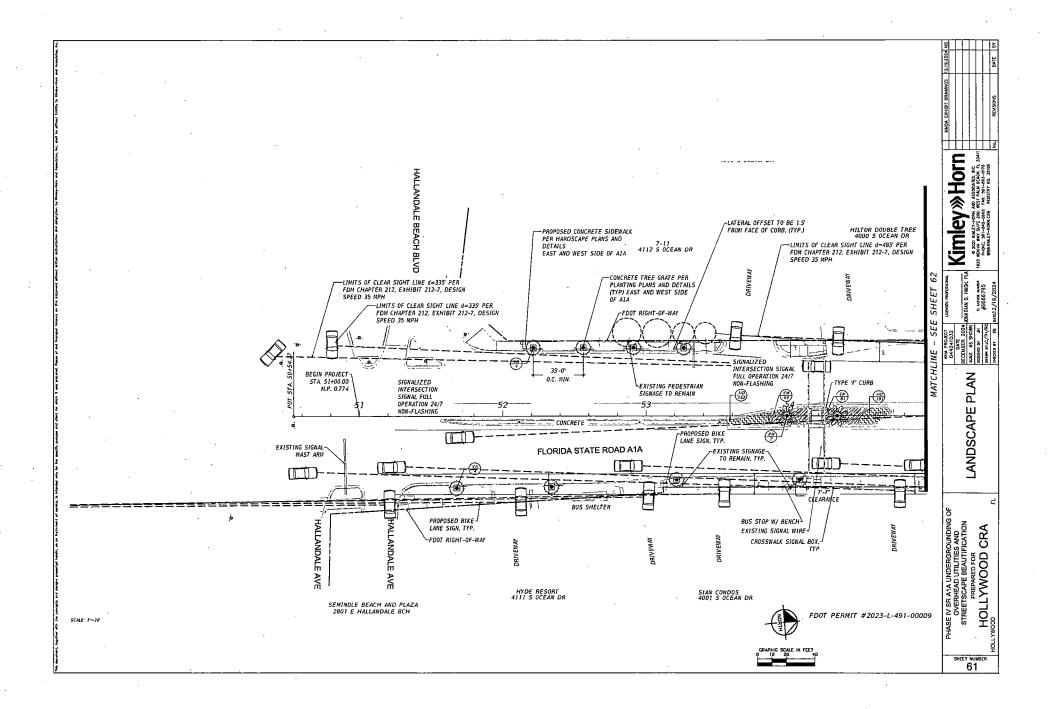


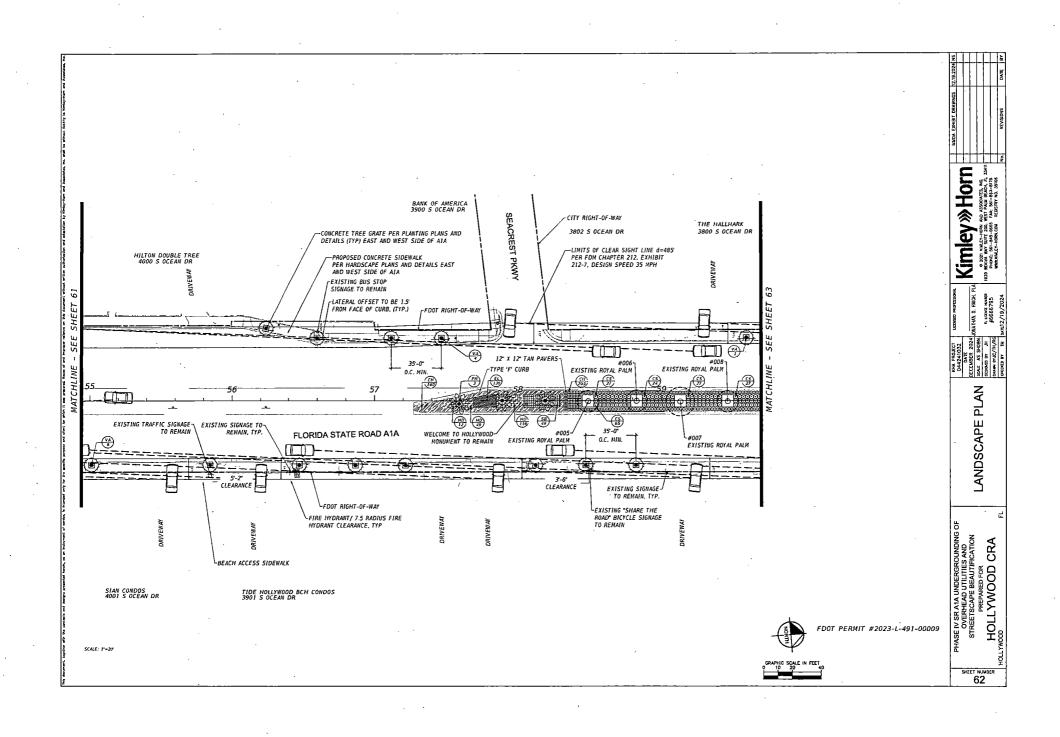


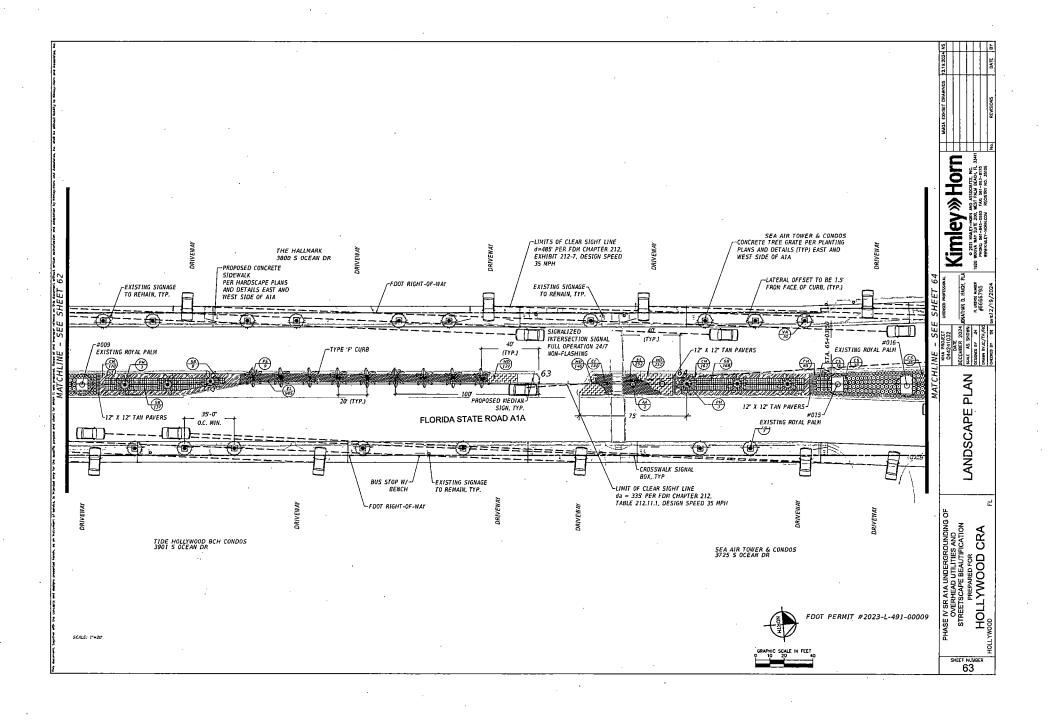


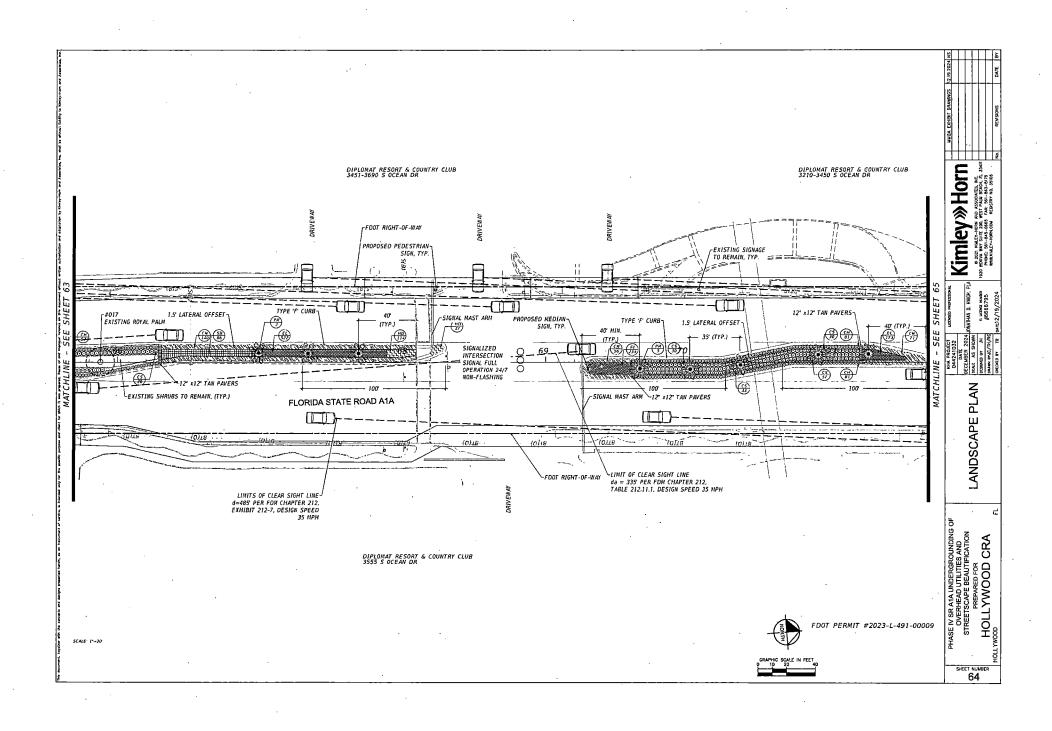


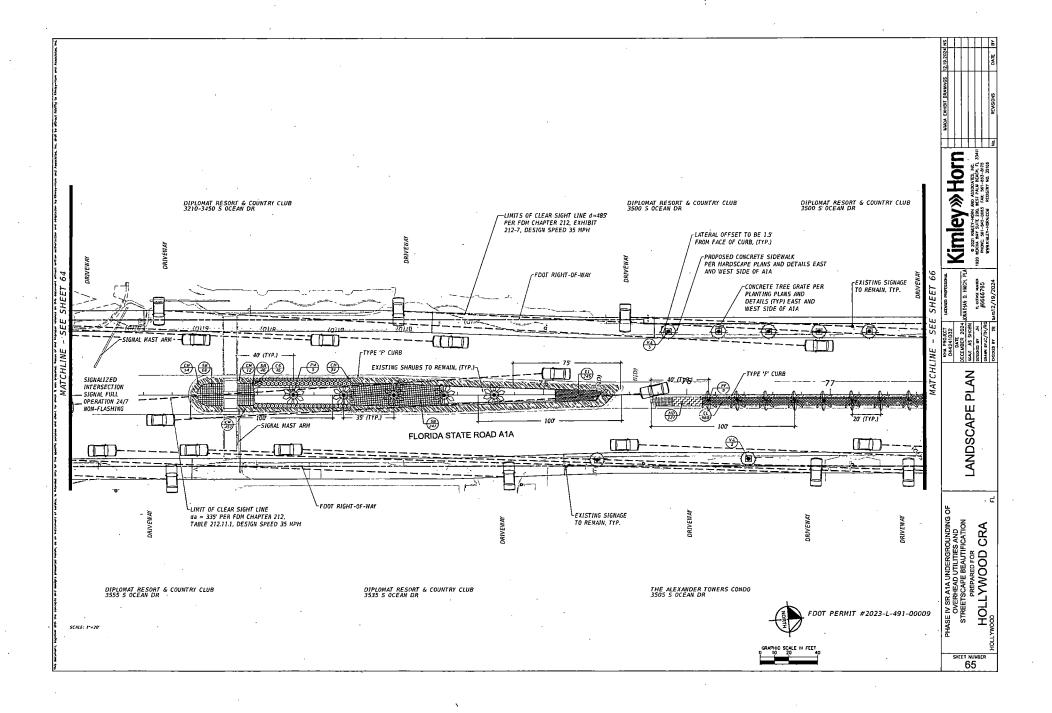


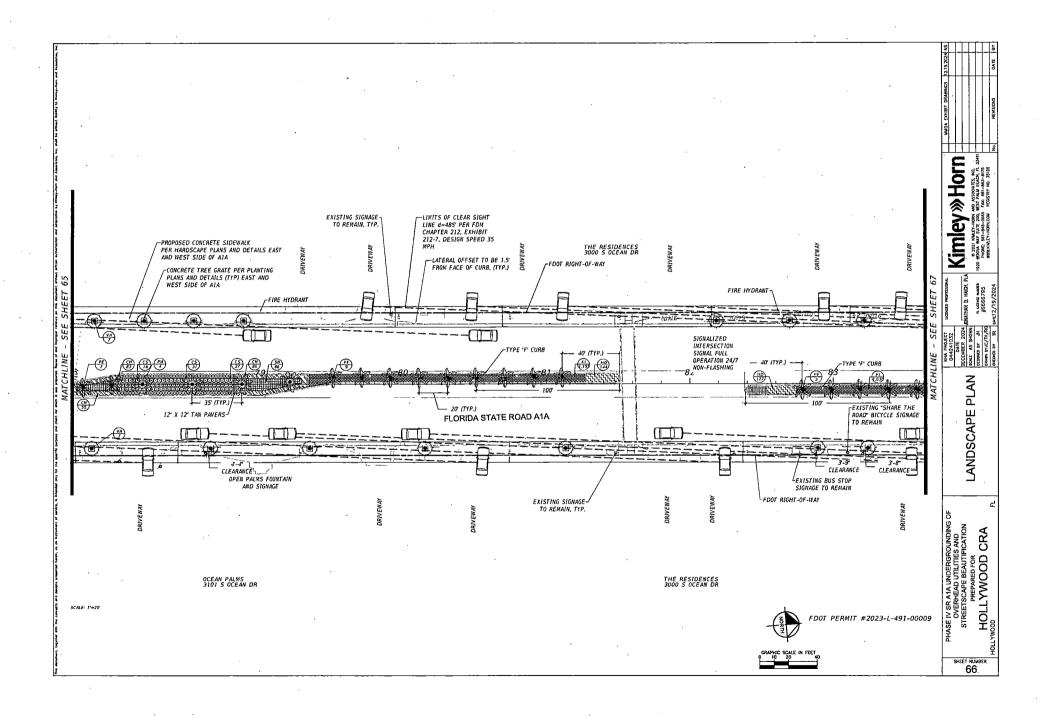


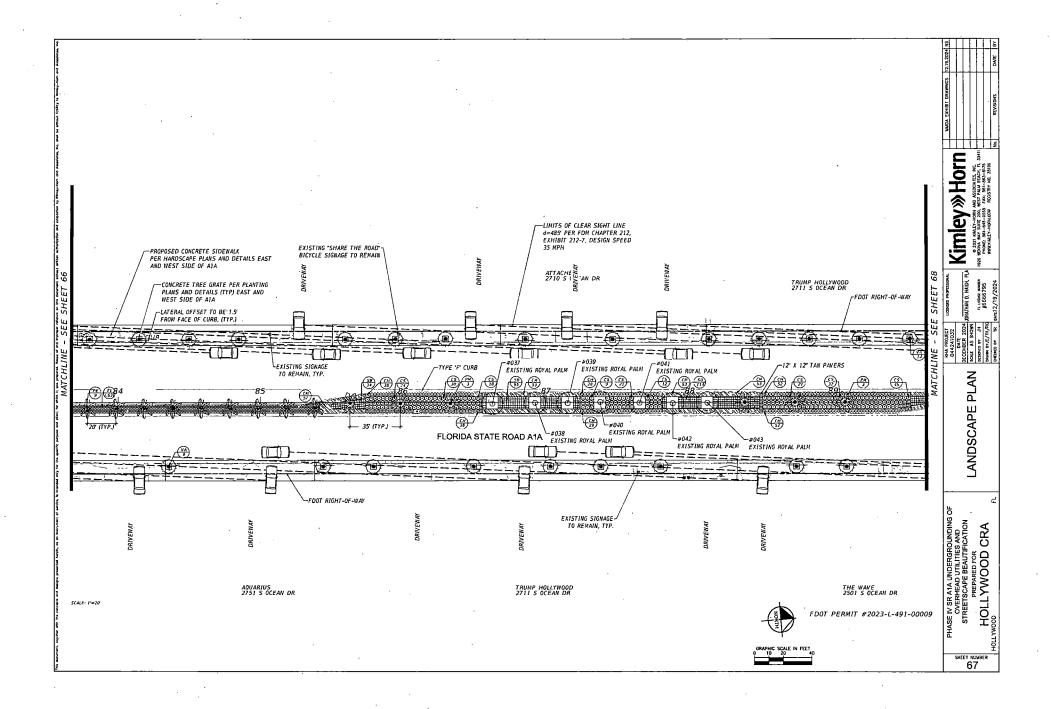


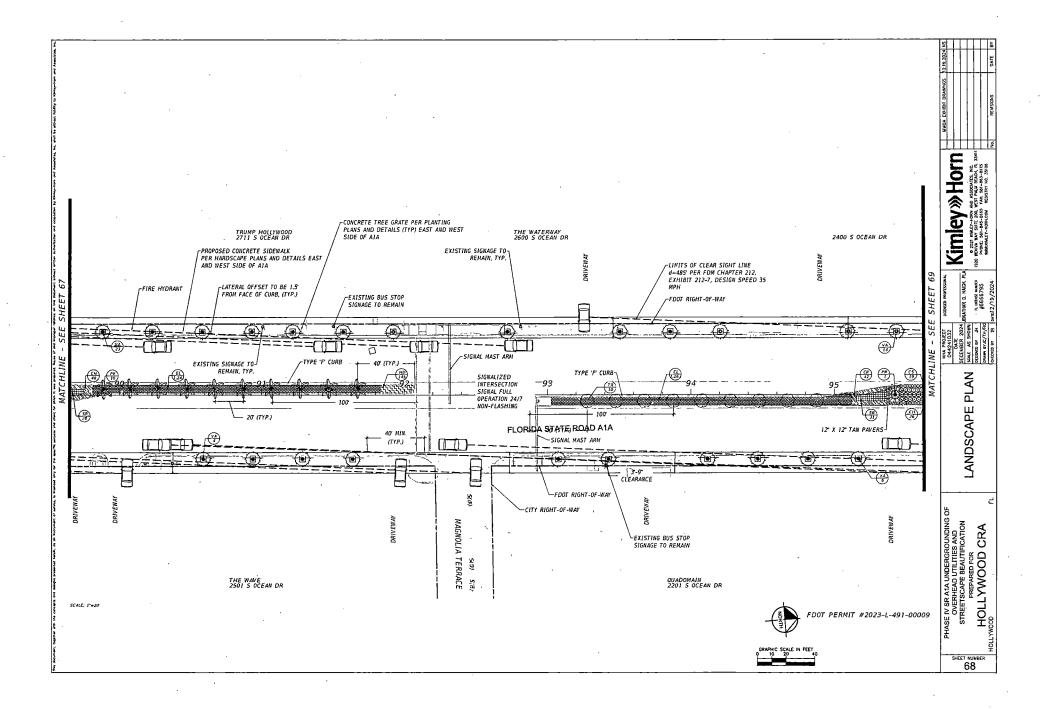


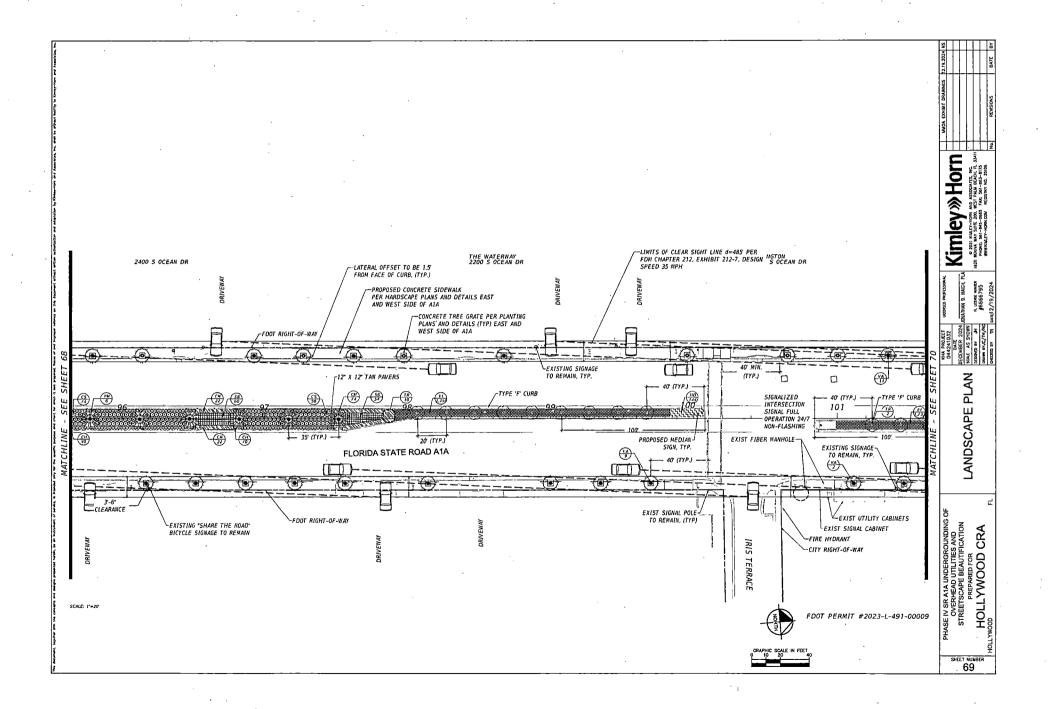


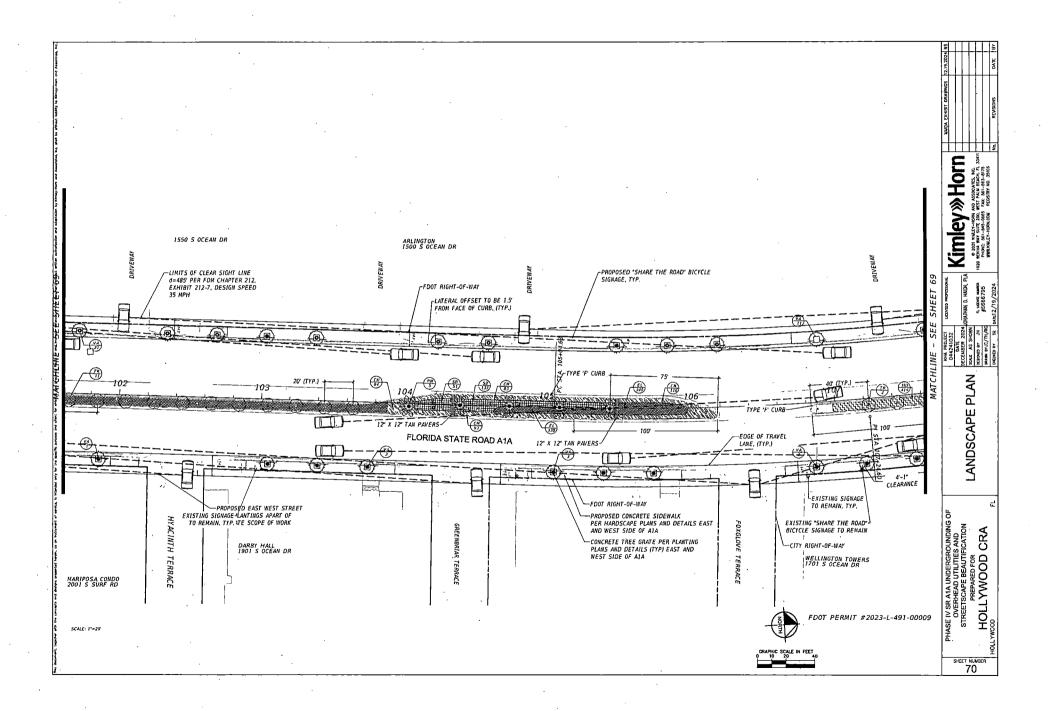


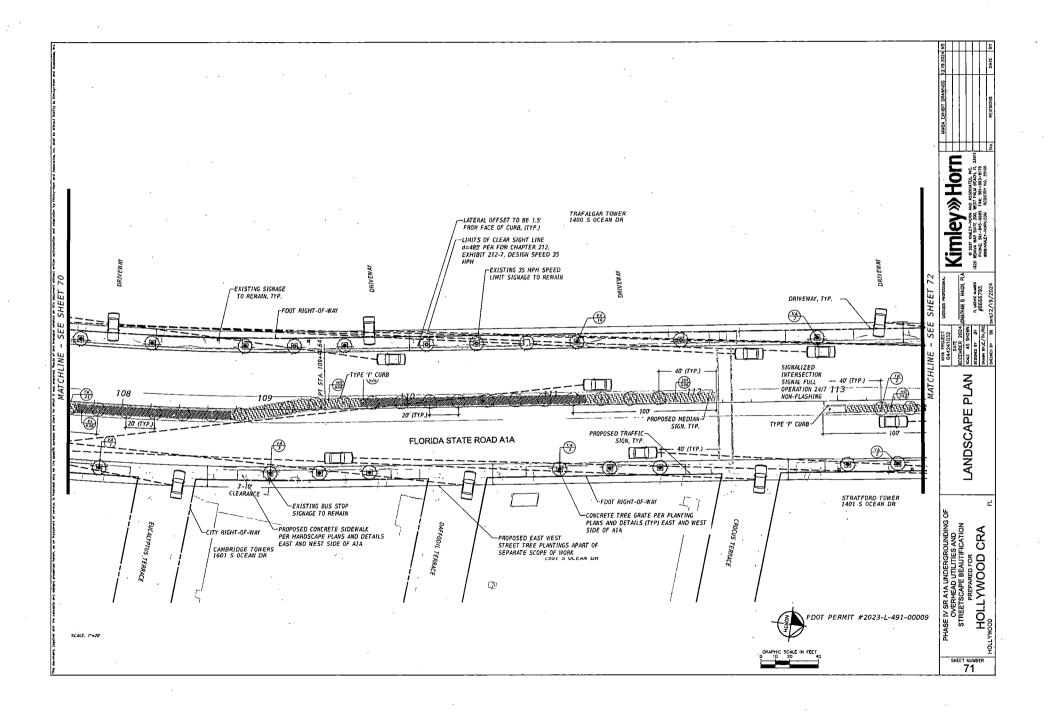


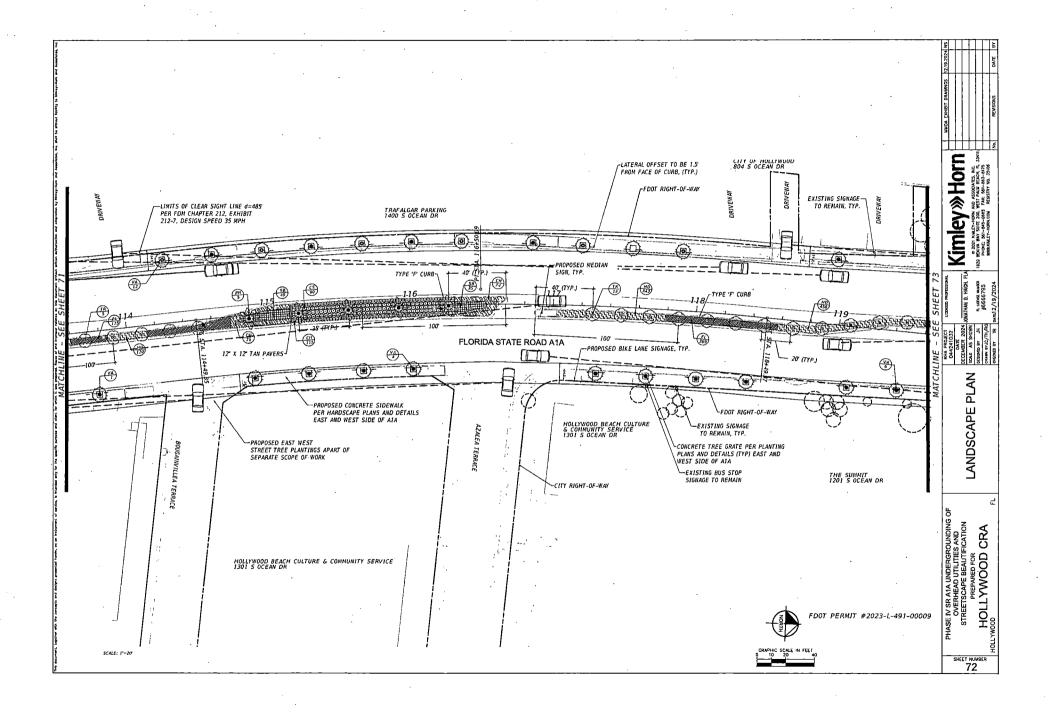


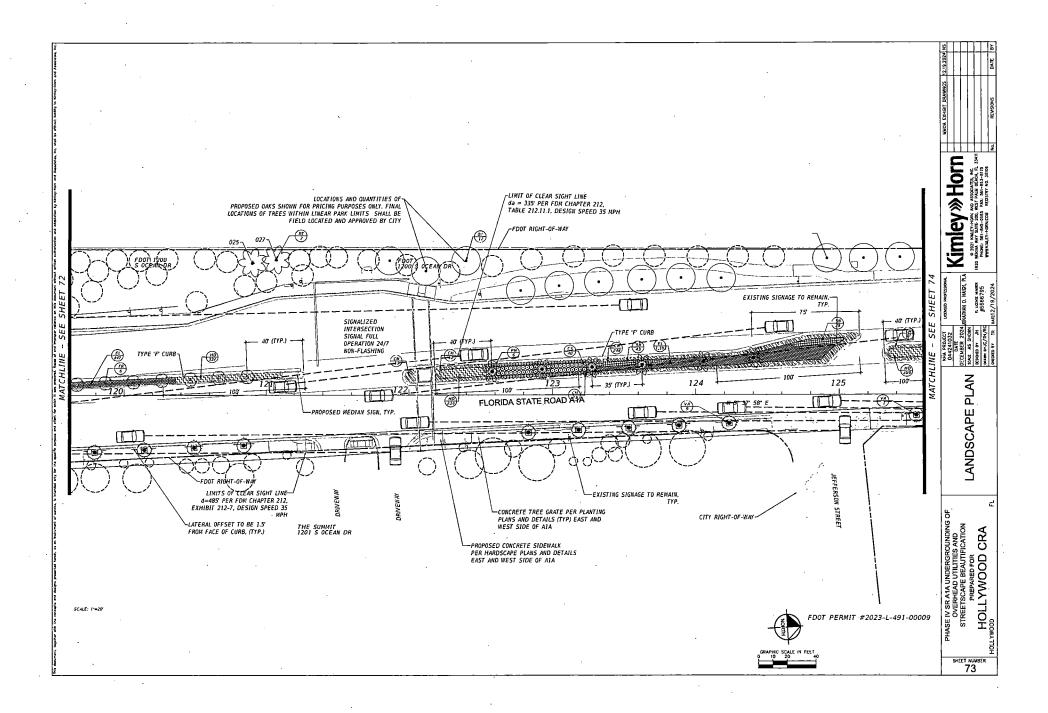


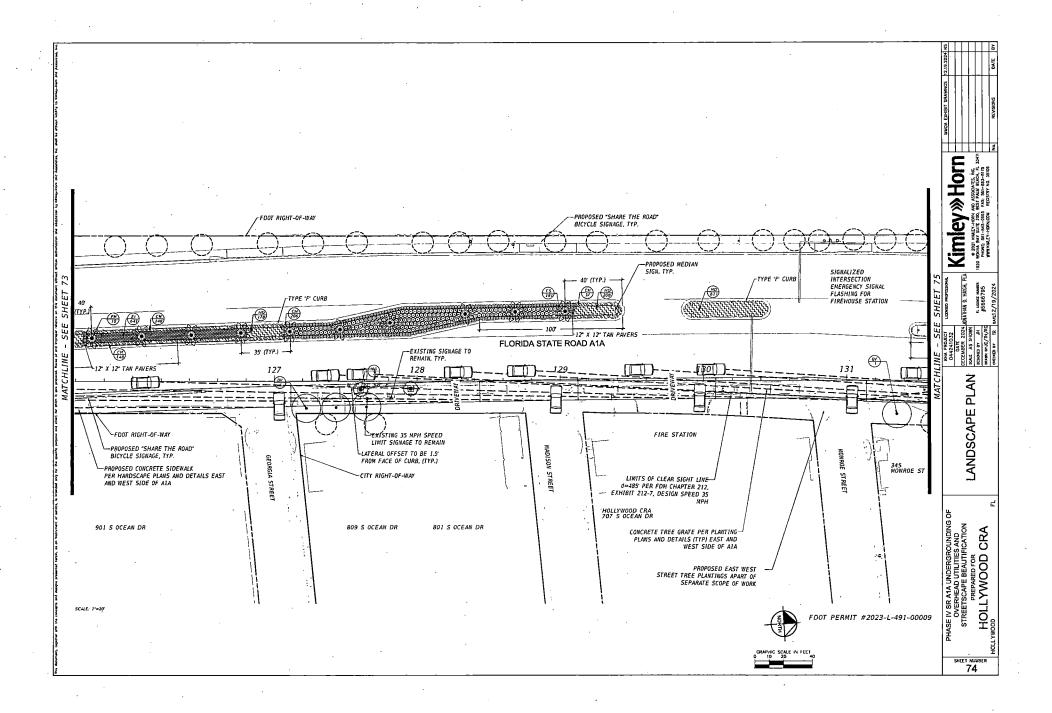


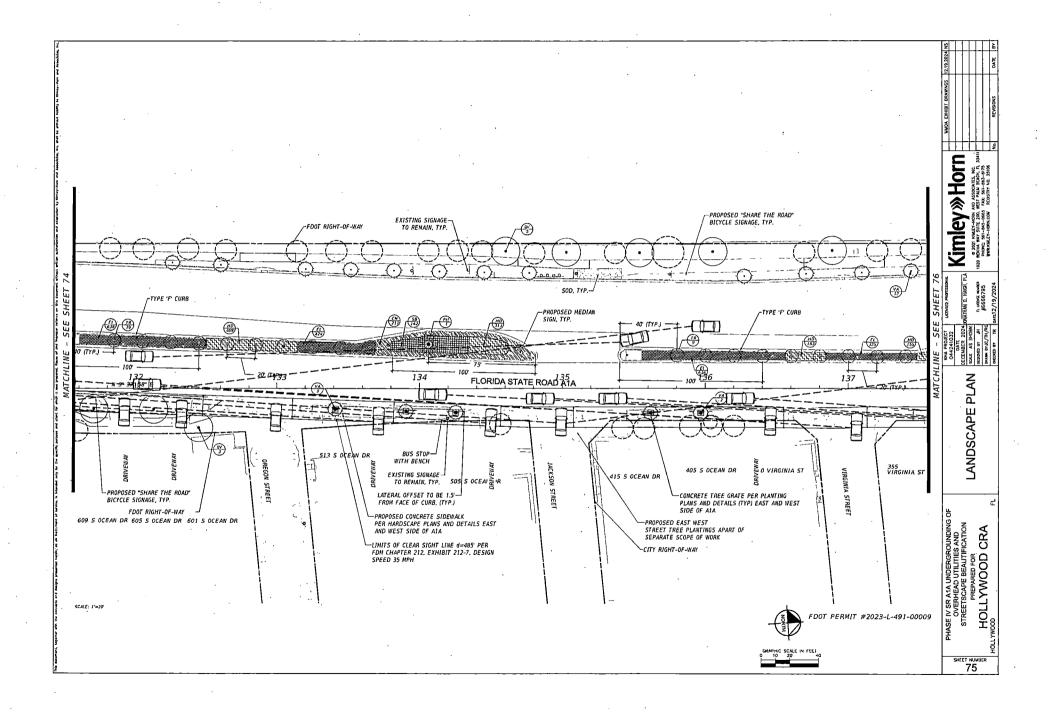


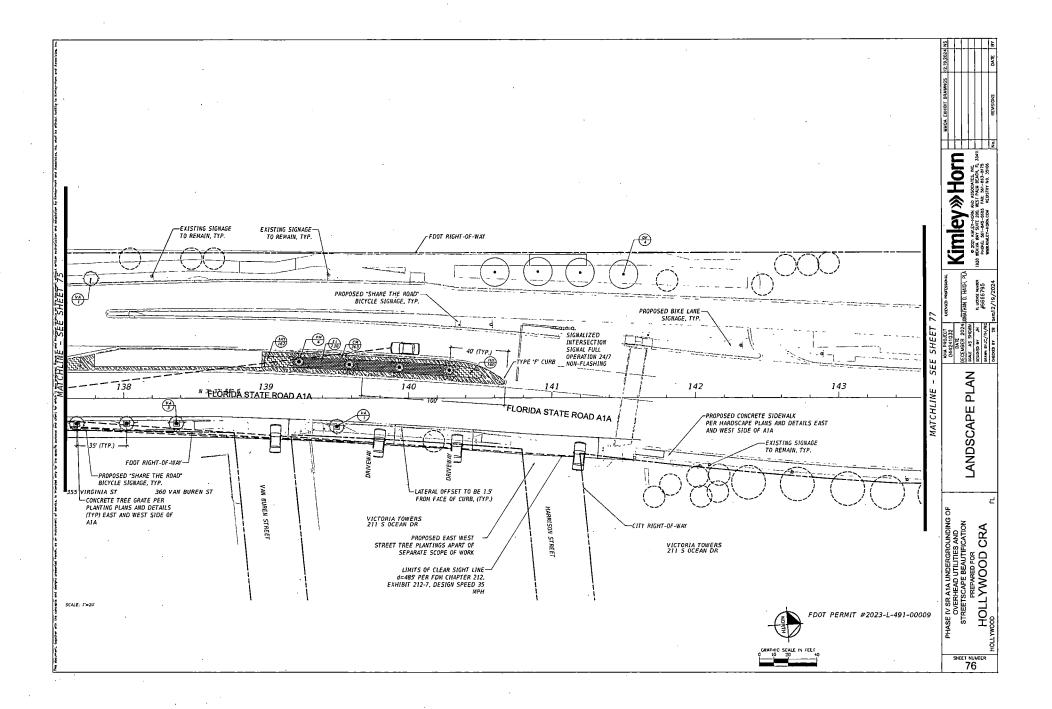


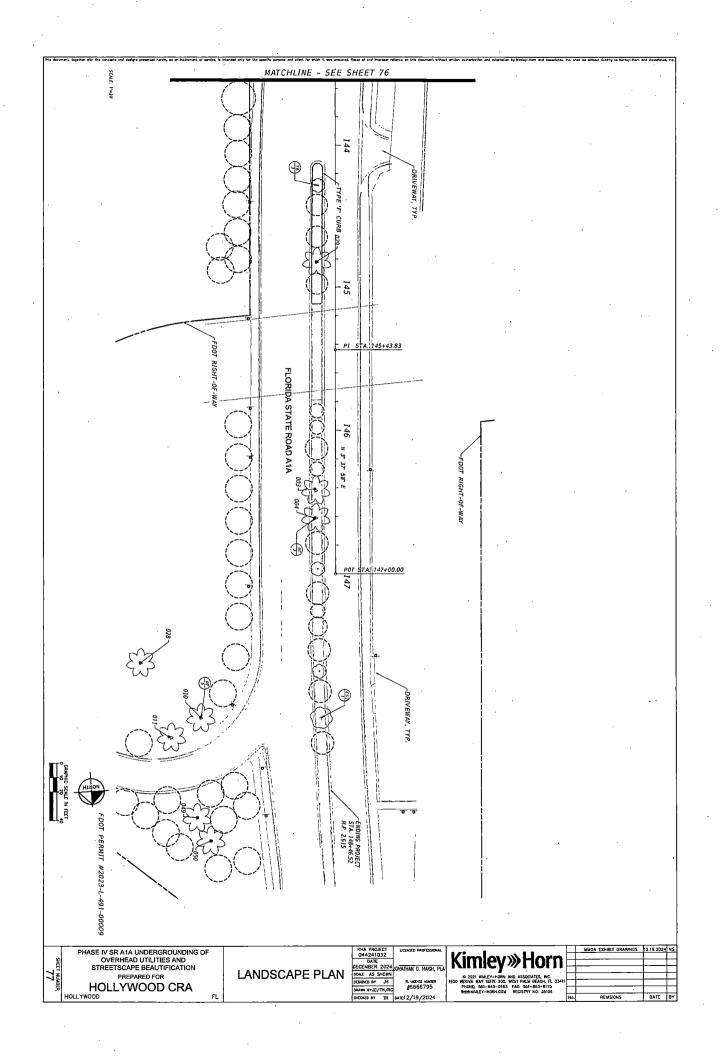












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AND COMPLETE INSTRUCTIONS

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THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMEMDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.

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A PARK STREETS AND SETS SHALL CHOUGH TO THOSE MOLECULO STATE STATES. AND SETS SHALL SOU HITTURE PHANTING ARADIM TOR THAT FITS SHALL CONSIST OF 70% CLEAN FLORIDA MICK. ADD RIV. PARTS CLEAN SAND, IT SHALL COMMAN THREE 13 TO TINE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETMEEN \$5 AND 7.0 - SUBHIT SANDLE AND PH TESTING RESULTS OR APPROPRIA.

PRAIT FOR USE IN PREPARING SOIL MIATURE FOR BACKFILING PLANT PITS LL, AND OT A VERN HIGH ORGANIC CONFERT DENNEY FRON TLORIDA, SOURCES; E OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OFHER LITTER, FREE OF ROOMS, UT GROWN HAM ? IN ANT DIRECTION, AND OTHER EXTRAMEDUS OR TOXIC MAITER

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EDOT PERMIT #2023-L-491-00009 PHASE IV SR A1A UNDERGROUNDING OF OVERHEAD UTILITIES AND STREETSCAPE BEAUTIFICATION

LANDSCAPE PLAN

MARIERAKE RUESANE AD ITAN CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTEMANCE FOLLOWING THE INITIAL SO-DAT MAINTERINACE PERIOD ON A COST-PER-MANTH BASTS.

M CONTETION OF ALL PLANTING WORK AND REFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL WONE ALL HATERAL COURPERT, AND DEBISS RESULTING FROM HIS WONE, ALL HAVED AREAS WALL BE REPORT-CLEASED AND THE STREET THA A REAL AND ACCEPTABLE CONDITION AS PROPED OF THE DINKERS, AUTHORIZED REPRESENTATIVE. KHA PROJECT 044241032 DATE DECEMBER 2024 SCALE AS SHOWN DESIGNED BY JH #6666795

ELL PLANTIGG ABEAS SIALL BE GRADED AND MAINTAINED FOR POSITIO BRAINGET SI SURFACE/SUBSURANE STORM DANNY SYSTEMS. AREAS ADJACENT TO BUILD UNKAS SMALL STOPE MAIN FRON THE BUILDINGS, REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES.

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LATS COLLETED FROM WILD OR METHE STANDS SHALL BE CHASIDRED HUSSERF GROWN HILER HERT HAVE BEEN SELECKSELLER RE-STAINSHEED IN A LINGERF OWN MOOD REPOLLER DIEMSERF CUITIONAL PRACTICES FOR A HIMHUM OF TWO (2) GROWN'S SEASONS AND HAVE RITAMUED DIEMSERF KORD, AND TOP GROWN TO INDICATE HULL RECOVERY FARM TRANSPLANTING HITO THE RUBSERF KOW.

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. CENERAL MATERIALS LISTED BELOW SHALL BE SUBMITTED FÖR APPROVAL DELIVERY OF MATERIALS MAY COMMENCE.

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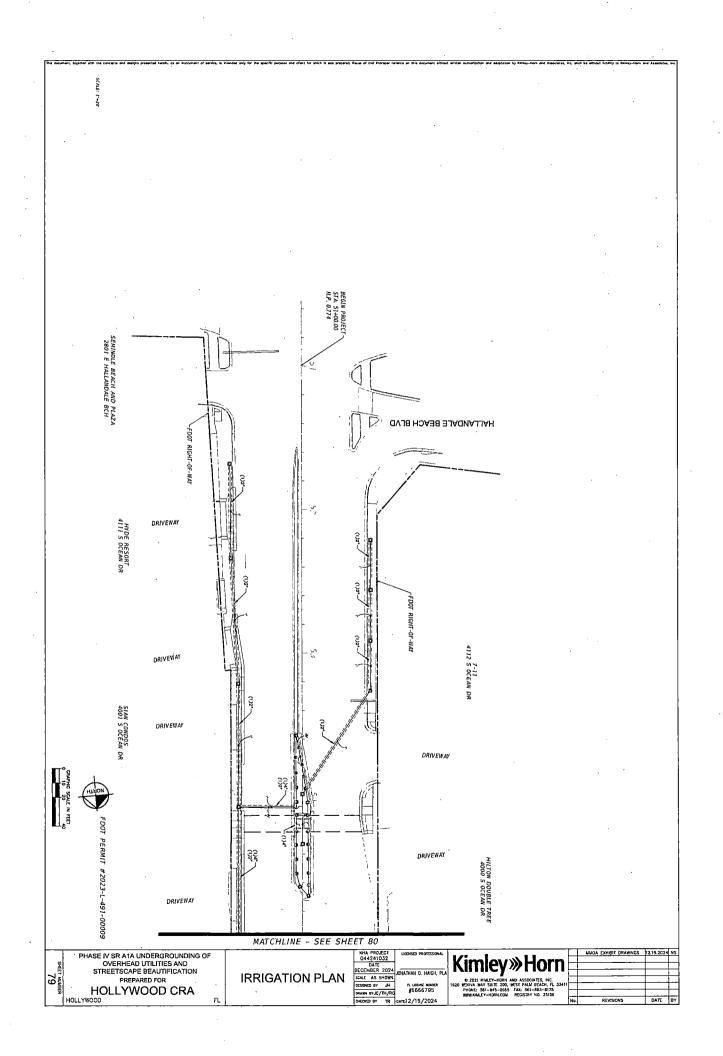
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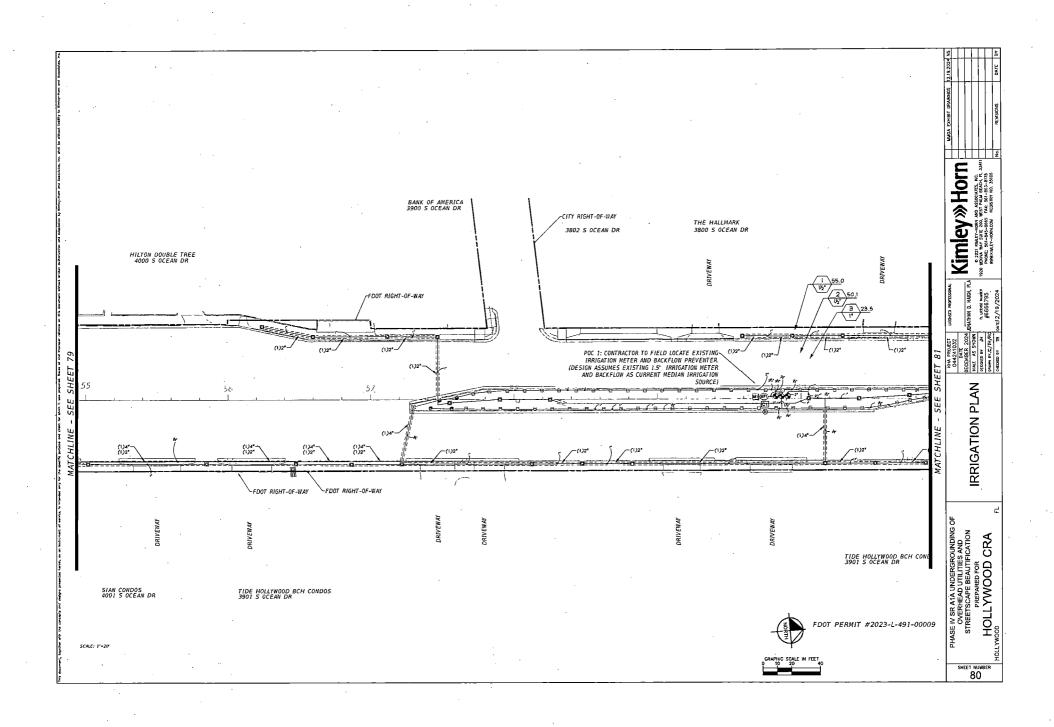
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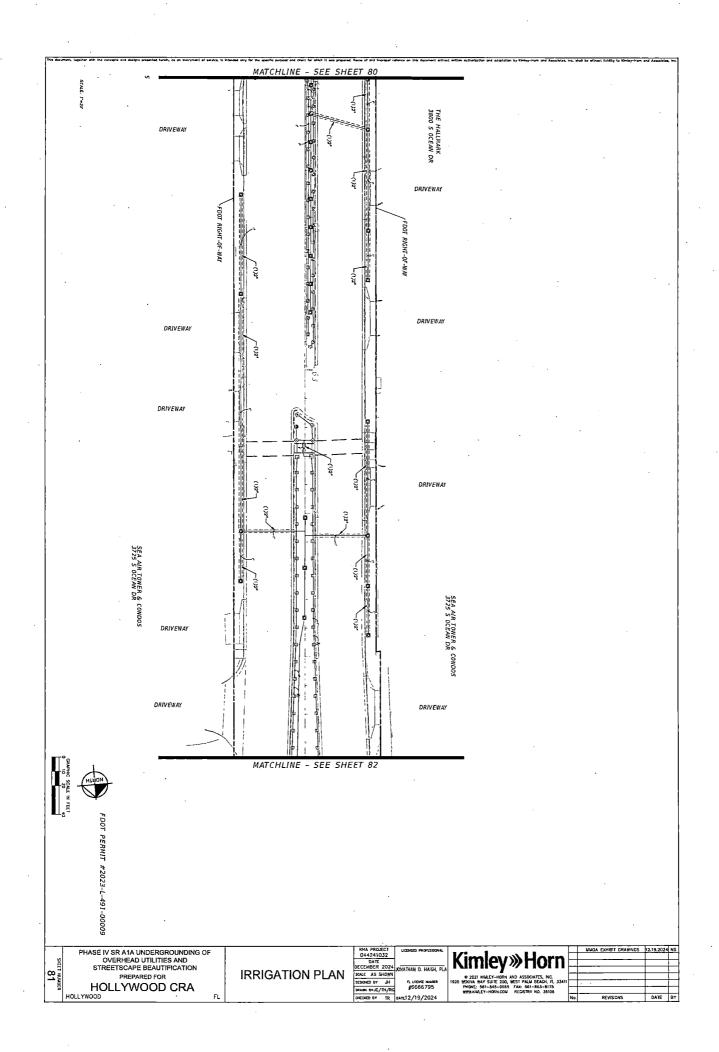
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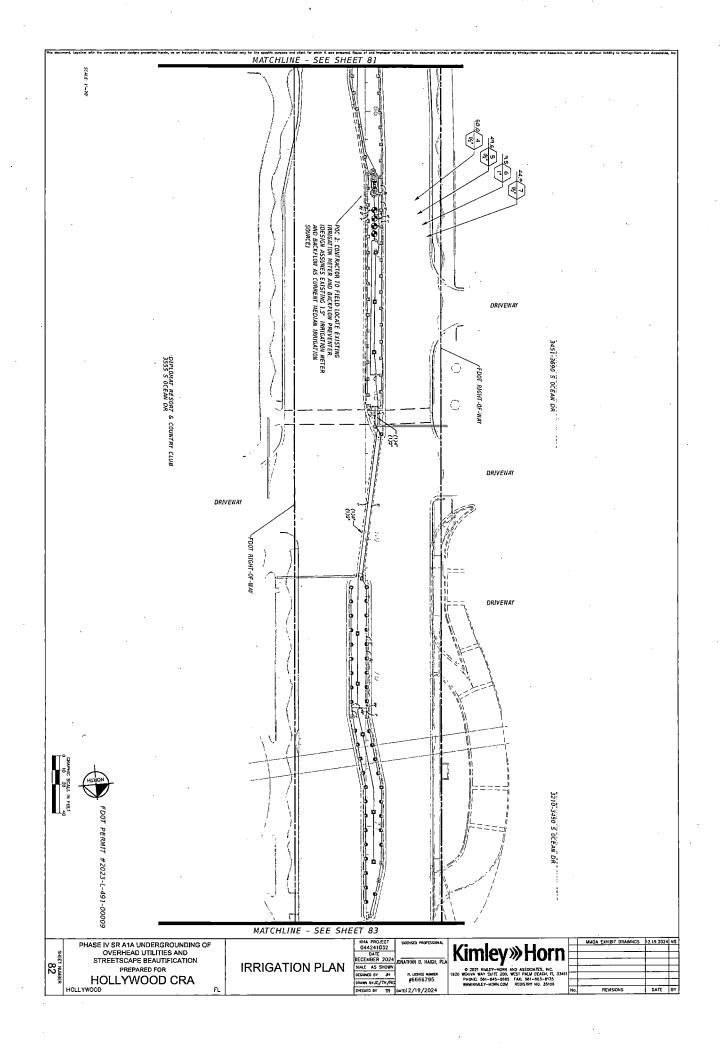
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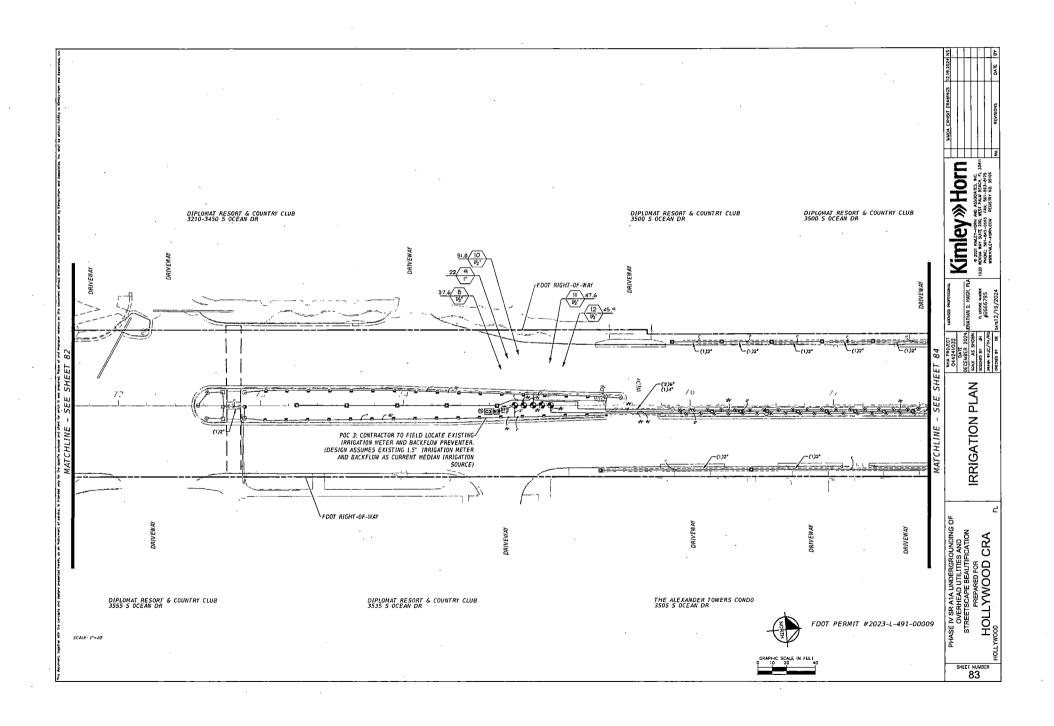
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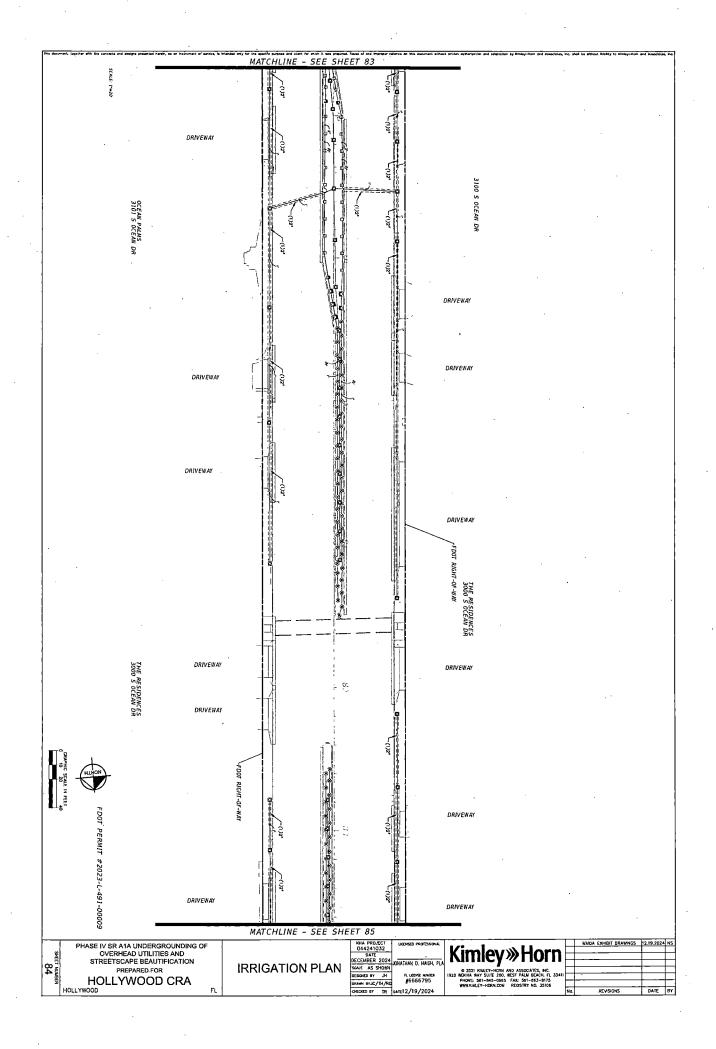


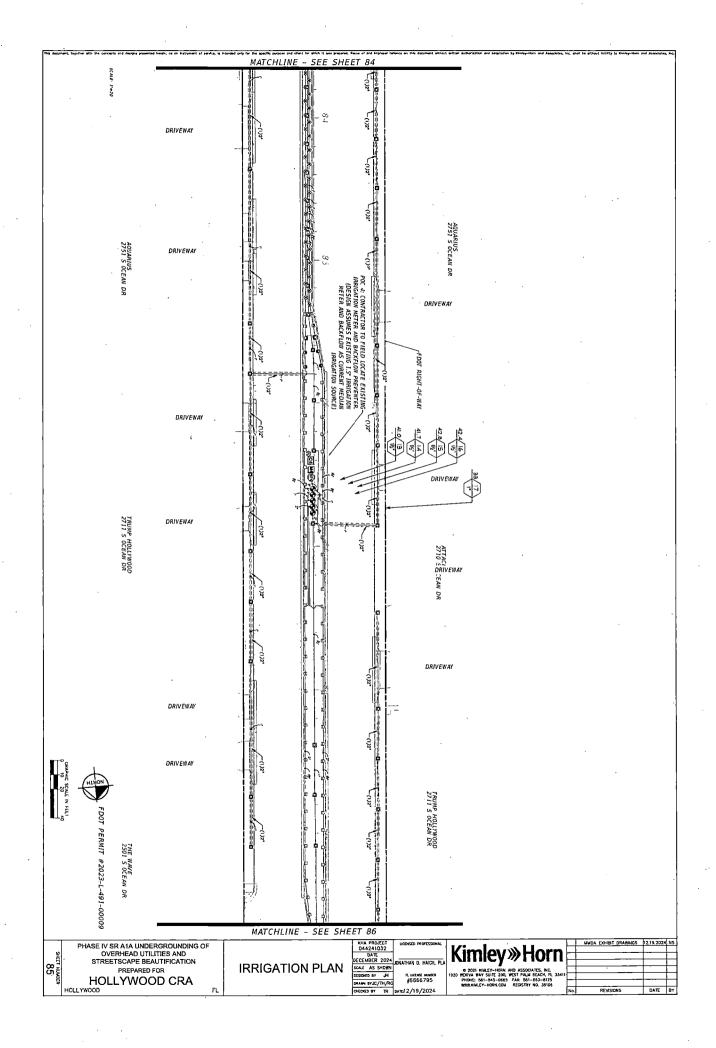


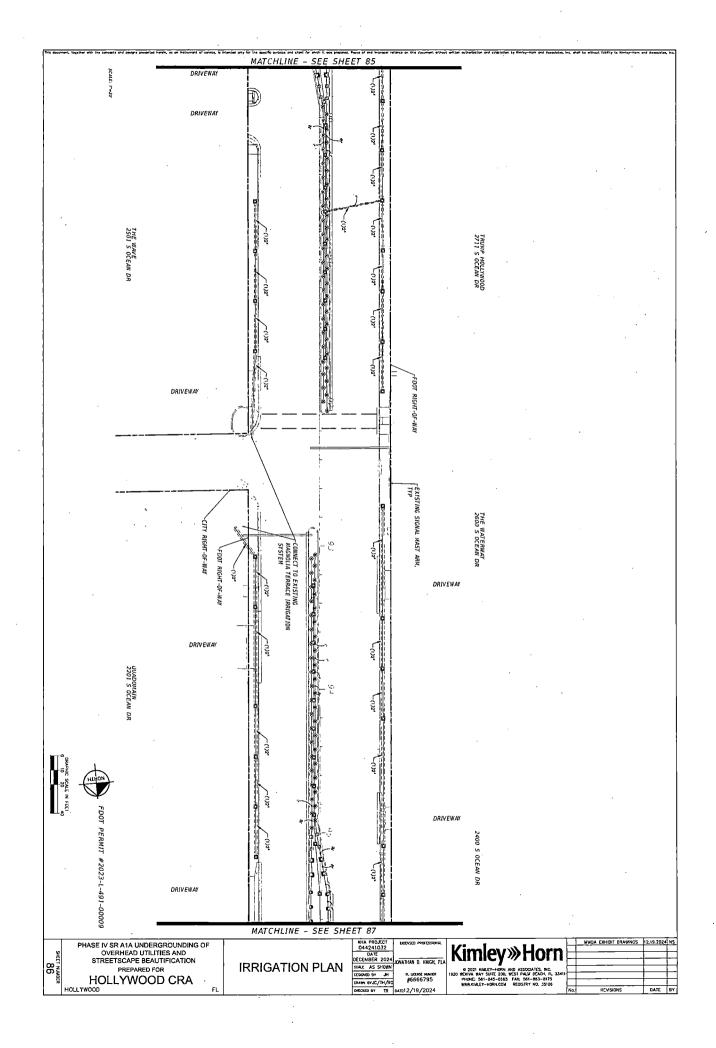


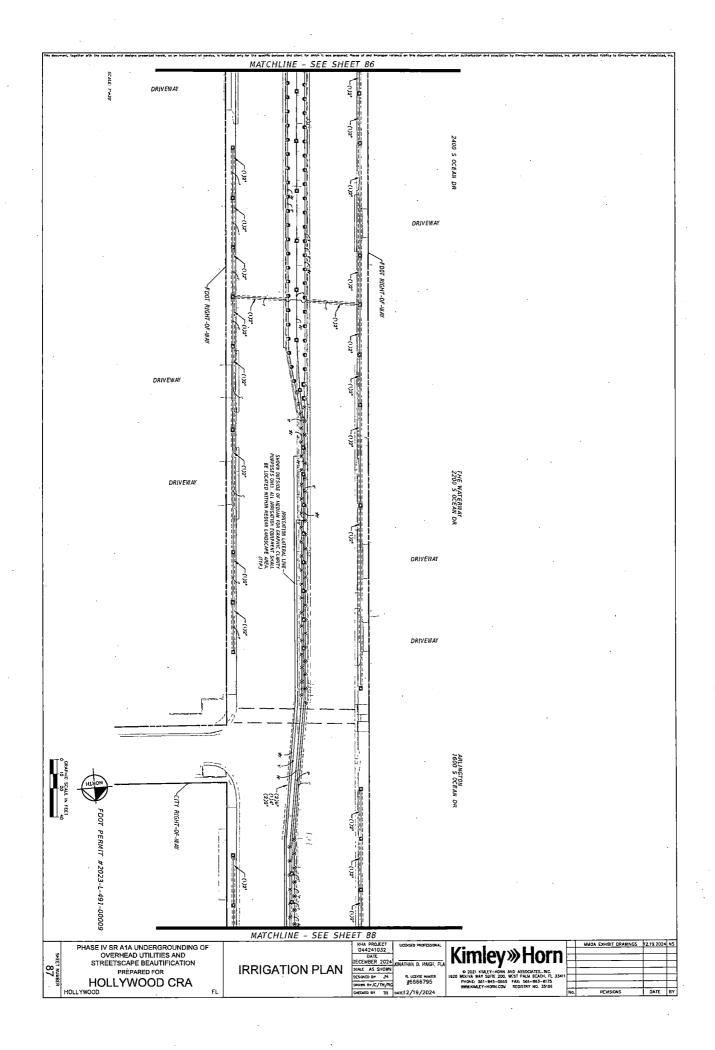


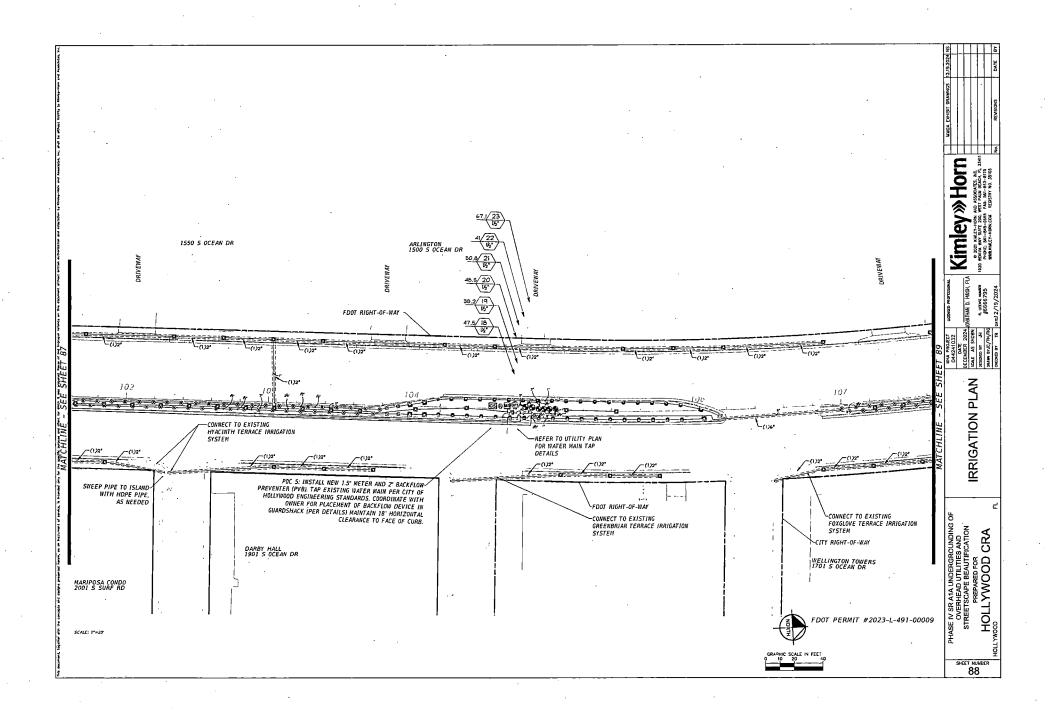


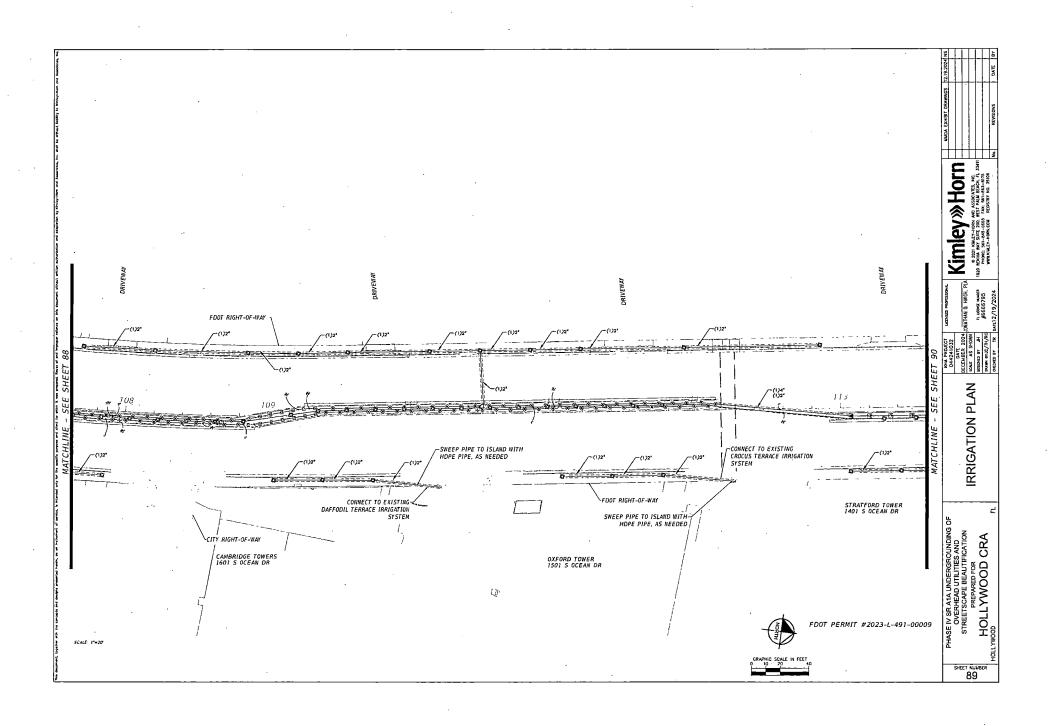


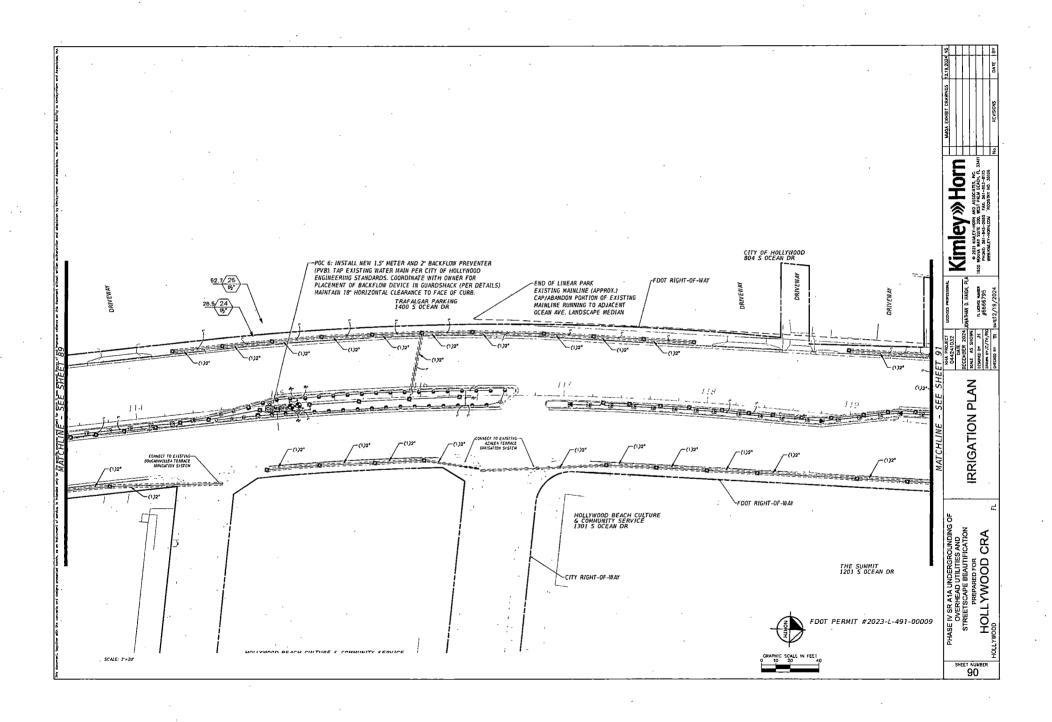


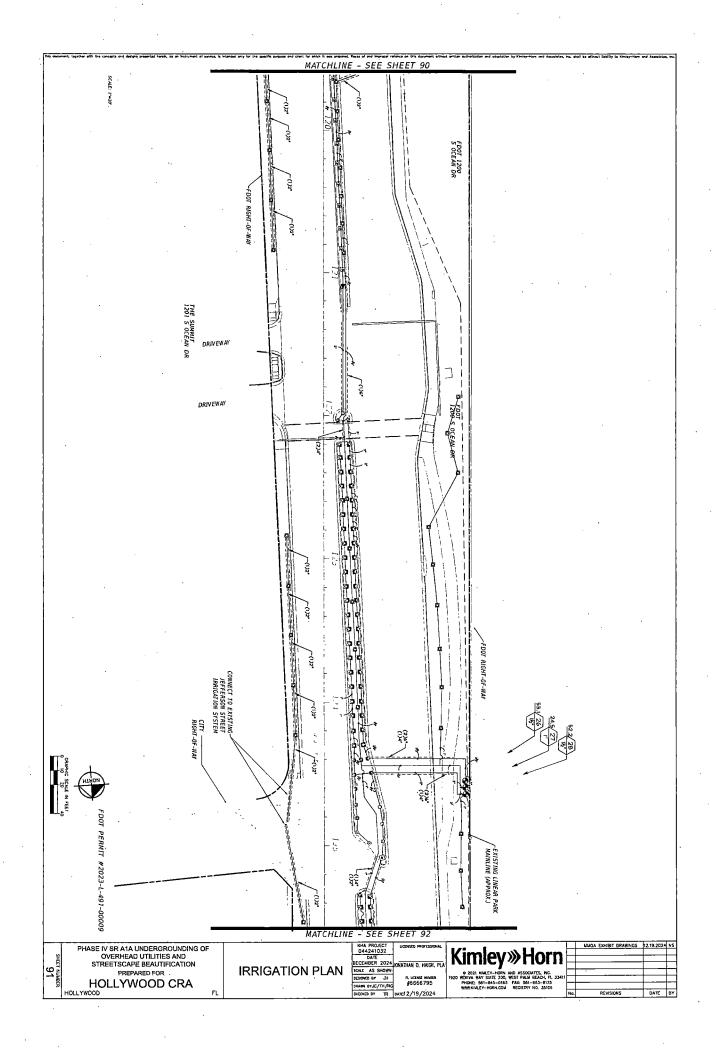


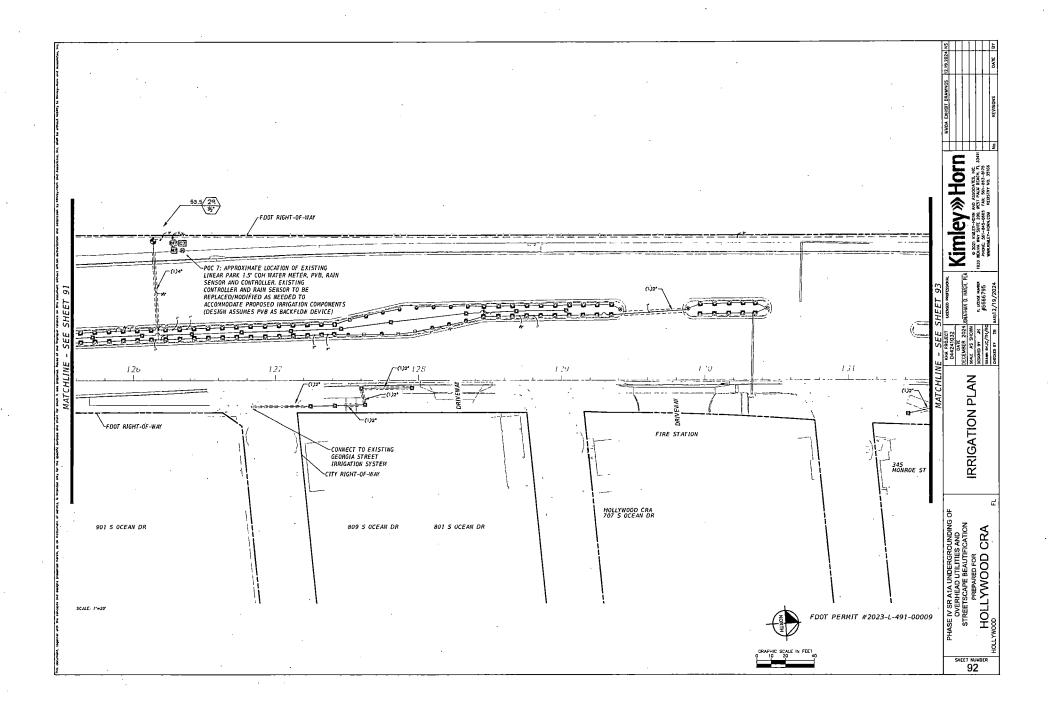


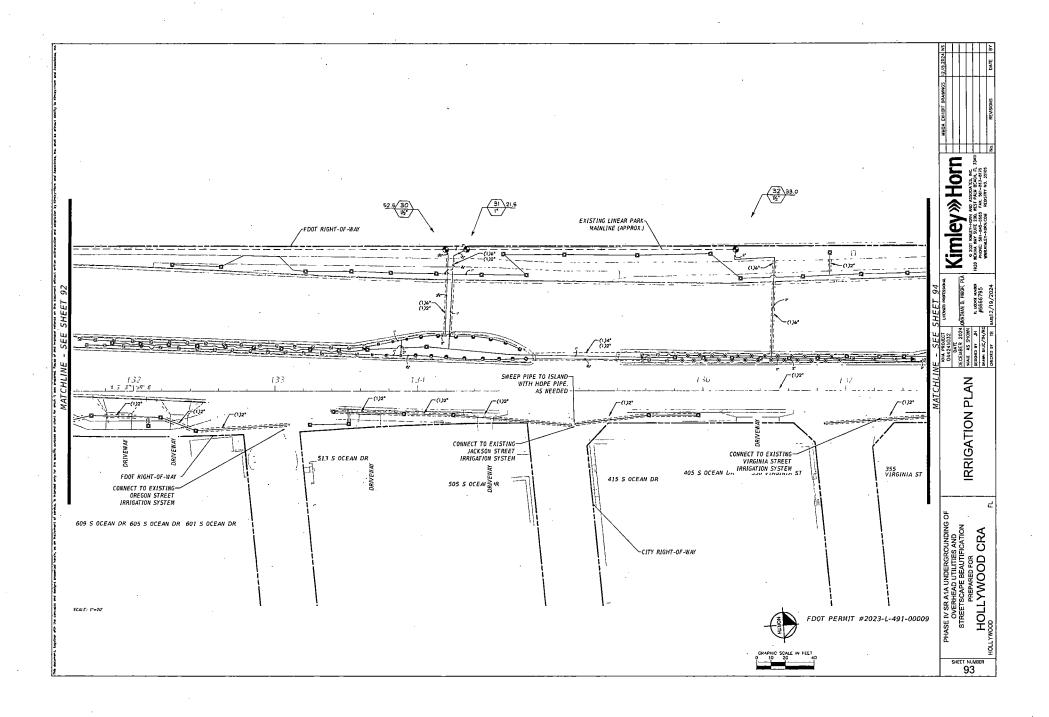


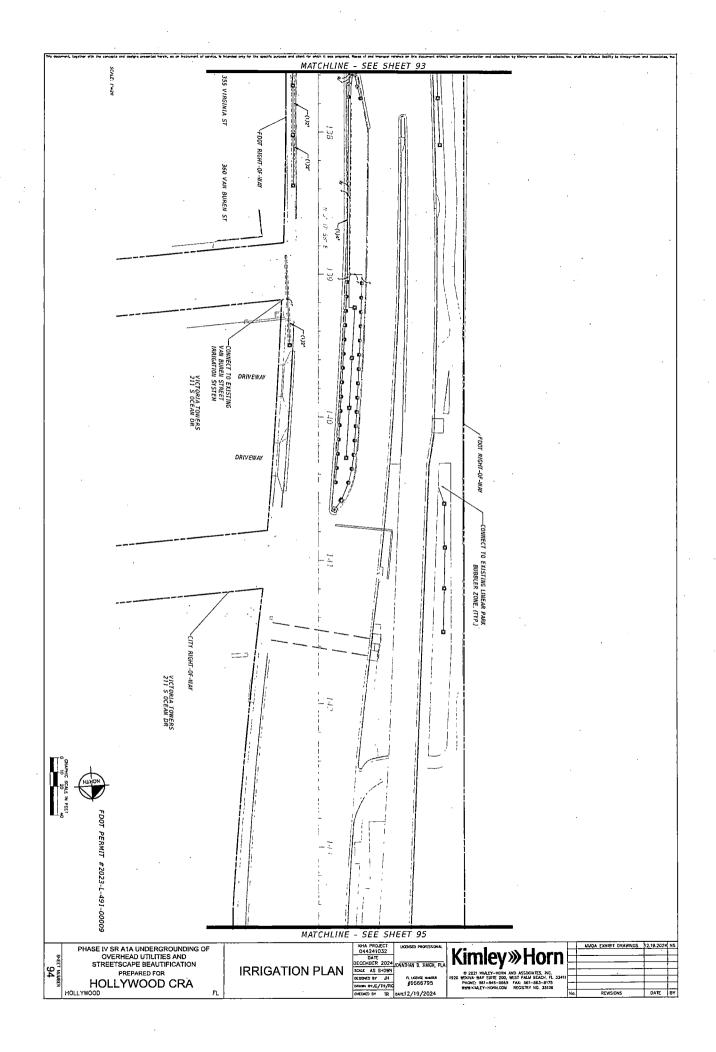


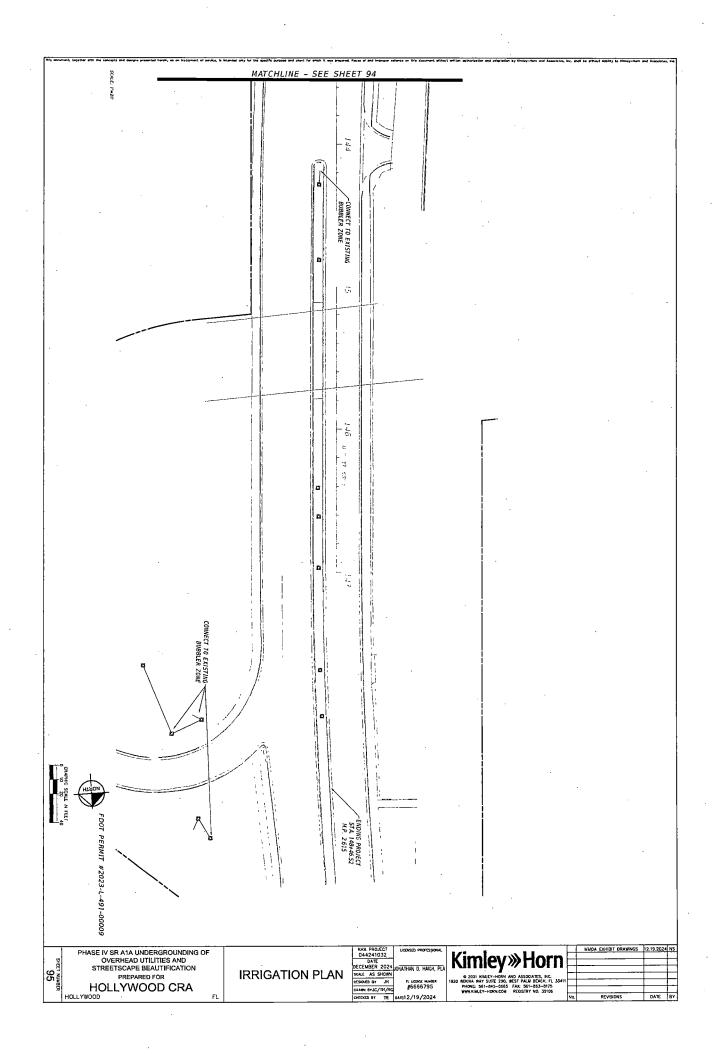












SECTION NO.(s): STATE ROAD(s):

86030000 A1A

PERMIT NO:

2023-L-491-00009

COUNTY:

BROWARD

EXHIBIT C

RESOLUTION

This Exhibit forms an integral part of the LANDSCAPE MAINTENANCE MEMORANDUM OF AGREEMENT between the FLORIDA DEPARTMENT OF TRANSPORTATION and the AGENCY.

Please see attached

RESOLUTION NO. R-2025-130

A RESOLUTION OF THE CITY COMMISSION OF THE CITY HOLLYWOOD FLORIDA, **AUTHORIZING** APPROPRIATE **OFFICIALS** CITY TO **EXECUTE** AMENDMENT NUMBER SEVENTEEN TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ("FDOT") LANDSCAPE INCLUSIVE MAINTENANCE MEMORANDUM OF AGREEMENT, WITH FDOT FOR MAINTAINING THE LANDSCAPE IMPROVEMENTS ON STATE ROAD A1A FROM THE SOUTHERN CITY LIMITS TO HOLLYWOOD BOULEVARD.

WHEREAS, the City together with the Hollywood Community Redevelopment Agency desire certain additional beautification improvements to State Road A1A to enhance the corridor aesthetic and improve the pedestrian experience; and

WHEREAS, the City will maintain the new landscape and hardscape improvements such a new sidewalks, pavers, asphalt patterned crosswalks and irrigation system; and

WHEREAS, on February 6, 2013, the City Commission passed and adopted Resolution No. R-2013-027, which authorized the execution of a Landscape Inclusive Maintenance Memorandum of Agreement ("MOA") with the Florida Department of Transportation ("FDOT") for the purpose of maintaining the landscape improvements by the City on various roads, including State Road A1A; and

WHEREAS, the MOA has been amended 16 times through various resolutions passed by the City Commission to include additional landscape improvements on various FDOT roads; and

WHEREAS, On September 14, 2021, the City Commission passed and adopted Resolution No. R-2021-234, which authorized the execution of amendment number 10 to the MOA with FDOT for the purpose of maintaining the landscape improvements by the City on State Road A1A from Hollywood Boulevard to Sheridan Street; and

WHEREAS, the Parties propose to again amend the MOU ("Amendment Number 17") to allow the City to construct additional landscape and hardscape improvements or modify an improvement as indicated in Exhibit "A" of the proposed amendment entitled "Landscape Improvements and Maintenance Boundaries," in accordance with the plans indicated in Exhibit "B" of the proposed amendment entitled "Landscape Improvement Plans"; and

WHEREAS, in order to include the modifications to the landscape improvements it is necessary to execute the Proposed Amendment; and

WHEREAS, funding for the landscape and maintenance improvements is available in account number 163.638507.55200.531170.000000.000.000.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF HOLLYWOOD, FLORIDA.

That the forgoing "WHEREAS" clauses are ratified and confirmed as Section 1: being true and correct and are incorporated in this Resolution.

That it approves and authorizes the execution, by the appropriate City officials, of the attached Amendment Number 17 to the State of Florida Landscape Inclusive Maintenance MOA with FDOT, together with such non-material changes as may be subsequently agreed to by the City Manager and approved as to form by the City Attorney.

Section 3: That this Resolution shall be in full force and effect immediately upon its passage and adoption.

PASSED AND ADOPTED this _____ day of _

2025.

PATRICIA A. CERNY,

CITY CLERK

APPROVED AS TO FORM:

DAMARIS HENLON

INTERIM CITY ATTORNEY