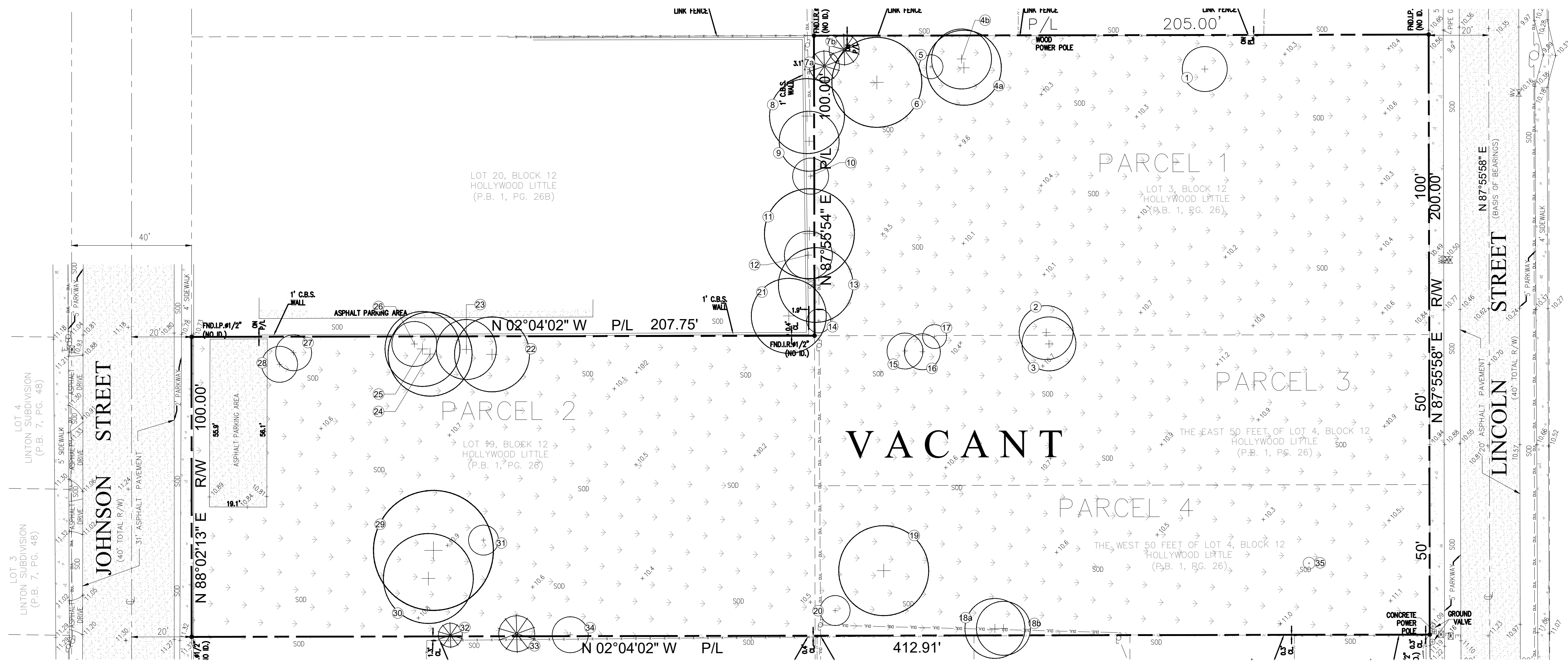


ATTACHMENT A
Application Package Part
III



GRAPHIC SCALE
 NORTH 0' 20' 40' 60'

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Sheet Number:
L-01

Date: JUNE 26, 2024
 Scale: 1" = 20'-0"
 Drawn By: AEMMEP
 Approved By: AEM
 Project No: 202339

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Project Name:
LINCOLN PARK RESIDENCES
 2219-25 LINCOLN STREET
 HOLLYWOOD, FL 33020

Sheet Title:
SITE AERIAL PROPERTY SURVEY

Rev	Date	Description
1		
2		
3		
4		
5		
6		

LANDSCAPE ARCHITECTURE
 LAND PLANNING
 URBAN DESIGN
 2300 E. OAKLAND PARK BLVD. SUITE 300
 FORT LAUDERDALE, FLORIDA 33308 USA
 TEL: 954.533.8299
 www.andresmontero.com





LANDSCAPE ARCHITECTURE
 LAND PLANNING
 URBAN DESIGN
 2309 E. OAKLAND PARK BLVD. SUITE 300
 FORT LAUDERDALE, FLORIDA 33309 USA
 TEL: 954.533.8299
 www.andresmontero.com

Rev	Date	Description
1	10/1/24	REVISED DRAWING TO ADDRESS CITY COMMENTS
2		
3		
4		
5		
6		

Sheet Title:
TREE DISPOSITION PLAN

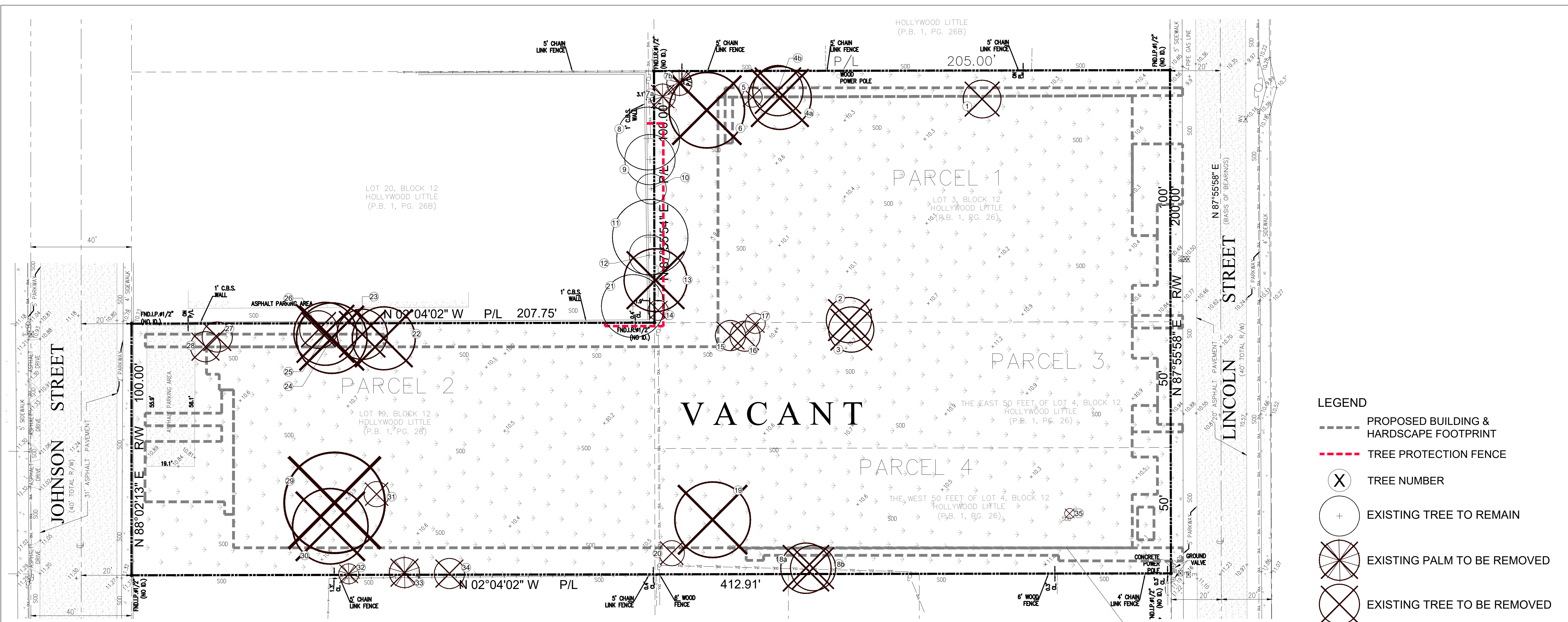
Project Name:
LINCOLN PARK RESIDENCES
 2219-25 LINCOLN STREET
 HOLLYWOOD, FL 33020

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Date: JUNE 26, 2024
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 Approved By: AEM
 Project No: 202339

Sheet Number:
L-02



LEGEND

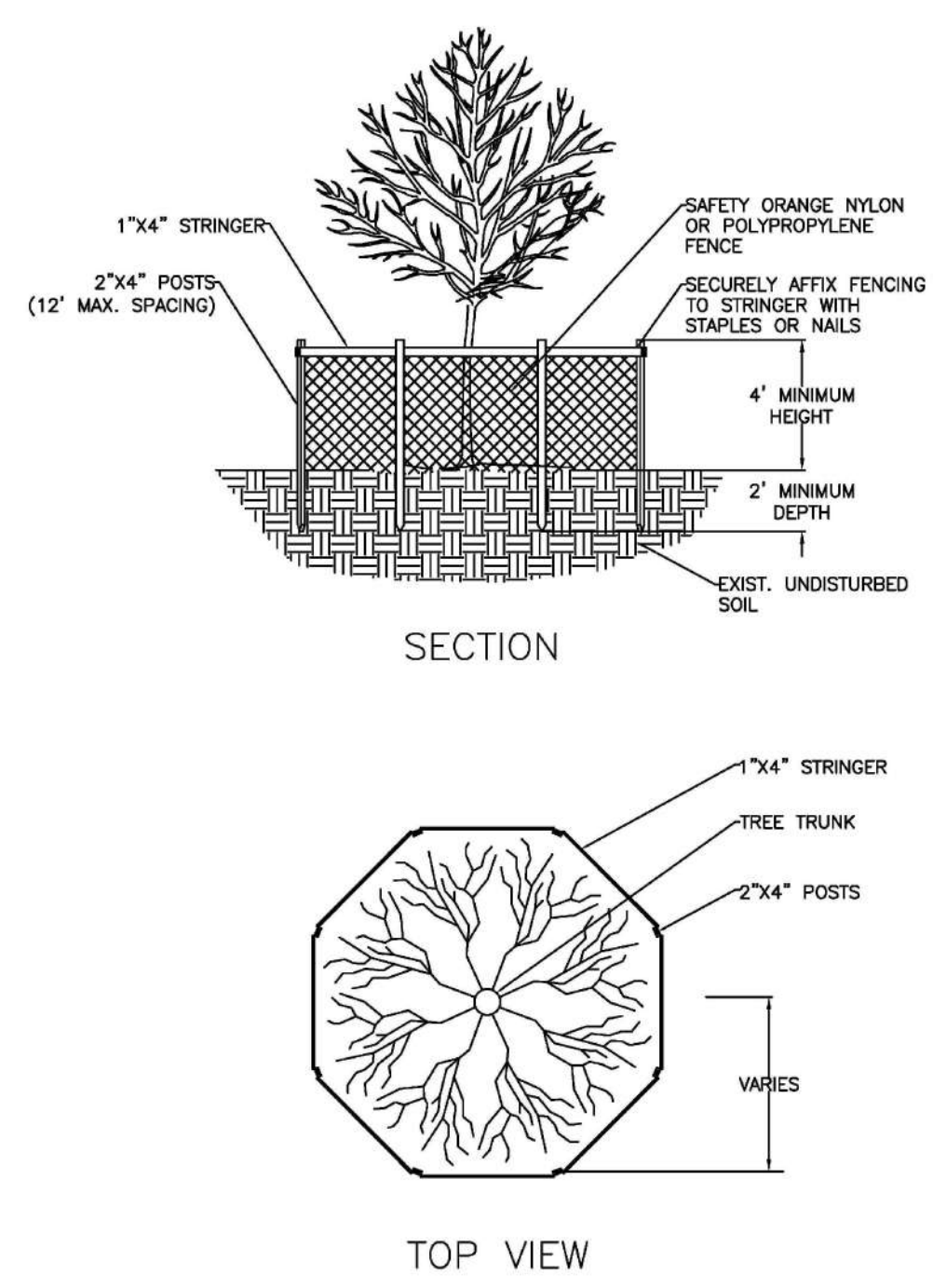
- PROPOSED BUILDING & HARDSCAPE FOOTPRINT
- - - TREE PROTECTION FENCE
- (X) TREE NUMBER
- (+) EXISTING TREE TO REMAIN
- (X with diagonal lines) EXISTING PALM TO BE REMOVED
- (X with horizontal lines) EXISTING TREE TO BE REMOVED

PROPOSED BUILDING & HARDSCAPE OUTLINE

NOTES:

- THE APPROXIMATE LOCATION, SIZE AND CONDITIONS OF THE EXISTING TREES/PALMS WITHIN THE PROJECT LIMITS HAS BEEN COLLECTED FROM THE EXISTING TREE SURVEY AND THE ARBORIST REPORT PREPARED BY:
 ALISON WALKER
 FL. CERTIFIED ARBORIST ISA FL-9317A
 Ph: 786.525.7883
 info@treage.com
- EXISTING TREES TO REMAIN TO BE PROTECTED DURING CONSTRUCTION - SEE EXISTING TREE PROTECTION FENCE DETAIL CITY OF HOLLYWOOD - SHEET L-02
- CONTRACTOR SHALL OBTAIN A TREE REMOVAL PERMIT PRIOR TO THE REMOVAL OF TREES/PALMS PROPOSED TO BE REMOVED.

TREE #	BOTANICAL NAME	COMMON NAME	DBH (in)	HEIGHT (ft)	CANOPY (ft)	CRZ/TPZ (ft)	CONDITION	COMMENTS	STATUS
1	Bursera simaruba	Gumbo Limbo	3+3+3+3+2+4	7	15	N/A	Poor	Undersize	REMOVE
2	Bursera simaruba	Gumbo Limbo	6+6+6+6+7	20	18	N/A	Moderate		REMOVE
3	Persea americana	Avocado Tree	16+12.8	24	18	N/A	Poor		REMOVE
4a	Cupaniopsis anacardioides	Carrotwood	10.5+9	30	25	N/A	Moderate	Prohibit Tree	REMOVE
4b	Cupaniopsis anacardioides	Carrotwood	10.7+11	25	20	N/A	Poor	Prohibit Tree	REMOVE
5	Bursera simaruba	Gumbo Limbo	4	28	8	N/A	Poor		REMOVE
6	Bursera simaruba	Gumbo Limbo	25	35	30	15	Fair		REMOVE
7a	Sabal palmetto	Sabal Palm	no CT	10	10	3	Fair		REMOVE
7b	Sabal palmetto	Sabal Palm	no CT	10	10	3	Fair		REMOVE
8	Schinus terebinthifolius	Brazilian Pepper tree	~12+10	25	25	N/A	Poor	Prohibit Tree, Outside of property	REMAIN
9	Bursera simaruba	Gumbo Limbo	11.8	18	10	8	Poor	Outside of property	REMAIN
10	Bursera simaruba	Gumbo Limbo	8.4+3.5+3	20	12	N/A	Poor	Outside of property	REMAIN
11	Cupaniopsis anacardioides	Carrotwood	15	20	30	N/A	Poor	Prohibit Tree, Outside of property	REMAIN
12	Bursera simaruba	Gumbo Limbo	11.7	20	16	8	Moderate	Outside of property	REMAIN
13	Schinus terebinthifolius	Brazilian Pepper tree	18	20	25	N/A	Poor	Prohibit Tree	REMOVE
14	Bursera simaruba	Gumbo Limbo	9.2	20	8	N/A	Poor		REMOVE
15	Bursera simaruba	Gumbo Limbo	4+3.1	14	12	6	Moderate		REMOVE
16	Schinus terebinthifolius	Brazilian Pepper tree	2+2	10	12	N/A	Poor	Prohibit Tree	REMOVE
17	Bursera simaruba	Gumbo Limbo	6.6	8	8	N/A	Poor		REMOVE
18a	Cupaniopsis anacardioides	Carrotwood	18.1	20	20	N/A	Moderate	Prohibit Tree	REMOVE
18b	Cupaniopsis anacardioides	Carrotwood	13.3	18	18	N/A	Moderate	Prohibit Tree	REMOVE
19	Mangifera indica	Mango	14+8+19+22+23	30	30	N/A	Fair-Mood		REMOVE
20	Bursera simaruba	Gumbo Limbo	4.8	10	10	4	Poor		REMOVE
21	Schinus terebinthifolius	Brazilian Pepper tree	20	25	25	N/A	Poor	Prohibit Tree, Outside of property	REMAIN
22	Swietenia mahagoni	Mahogany	9+10.5	25	25	12	Fair		REMOVE
23	Cupaniopsis anacardioides	Carrotwood	8.3	20	20	N/A	Moderate	Prohibit Tree	REMOVE
24	Quercus virginiana	Live Oak	13.2	28	28	9	Fair		REMOVE
25	Quercus virginiana	Live Oak	11.4	25	25	8	Moderate		REMOVE
26	Cupaniopsis anacardioides	Carrotwood	7.8	15	15	N/A	Moderate	Prohibit Tree	REMOVE
27	Cupaniopsis anacardioides	Carrotwood	5	12	12	N/A	Poor	Prohibit Tree	REMOVE
28	Cupaniopsis anacardioides	Carrotwood	4+3	12	12	N/A	Poor	Prohibit Tree	REMOVE
29	Quercus virginiana	Live Oak	23.5	40	40	N/A	Poor	Diseased/Dying Mitigate at 50% as per City Comment	REMOVE
30	Persea americana	Avocado Tree	20+15.4	30	30	N/A	Poor		REMOVE
31	Quercus virginiana	Live Oak	10+9	10	10	N/A	Poor/Dead	Dead/Mitigate at 50% as per City Comment	REMOVE
32	Pychosperma elegans	Solitaire Palm	3.3	8	8	3	Good		REMOVE
33	Archontophoenix alexandrae	King Palm	7.8	12	12	3	Fair		REMOVE
34	Citrus spp.	Citrus	3+3+4+4	12	12	6	Fair-Mood		REMOVE
35		DEAD TREE - appears to be a Seagrape that is resprouting at the base							REMOVE



- NOTES:**
- BARRICADE CIRCLE TO BE CENTERED ON TREE TRUNK(S). FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.
 - TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT EXISTING, RELOCATED AND NEW TREES IN CONSTRUCTION AREAS. THE PROTECTIVE BARRIER SHALL BE PLACED AROUND THE TREE AT A DISTANCE OF 6 FEET FROM THE TREE TRUNK OR AT THE CANOPY DRIP LINE, WHICHEVER IS GREATER OR AS SHOWN ON LANDSCAPE PLAN.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	TREE PROTECTION DETAIL	DRAWING NO.: L-08
APPROVED: JG		

GRAPHIC SCALE
 NORTH 0' 20' 40' 80'

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LANDSCAPE ARCHITECTURE
 LAND PLANNING
 URBAN DESIGN
 2300 E. OAKLAND PARK BLVD. SUITE 300
 FORT LAUDERDALE, FLORIDA 33308 USA
 TEL: 954.533.8229
 WWW.AMPLANDSCAPE.COM

By:	AEM/MP
Rev. Date:	10/17/24
Description:	REVISED DRAWING TO ADDRESS CITY COMMENTS FROM JULY 2, 2024
1	
2	
3	
4	
5	
6	

Sheet Title:
LANDSCAPE PLAN

Project Name:
LINCOLN PARK RESIDENCES
 2219-25 LINCOLN STREET
 HOLLYWOOD, FL 33020

SEAL / SIGNATURE

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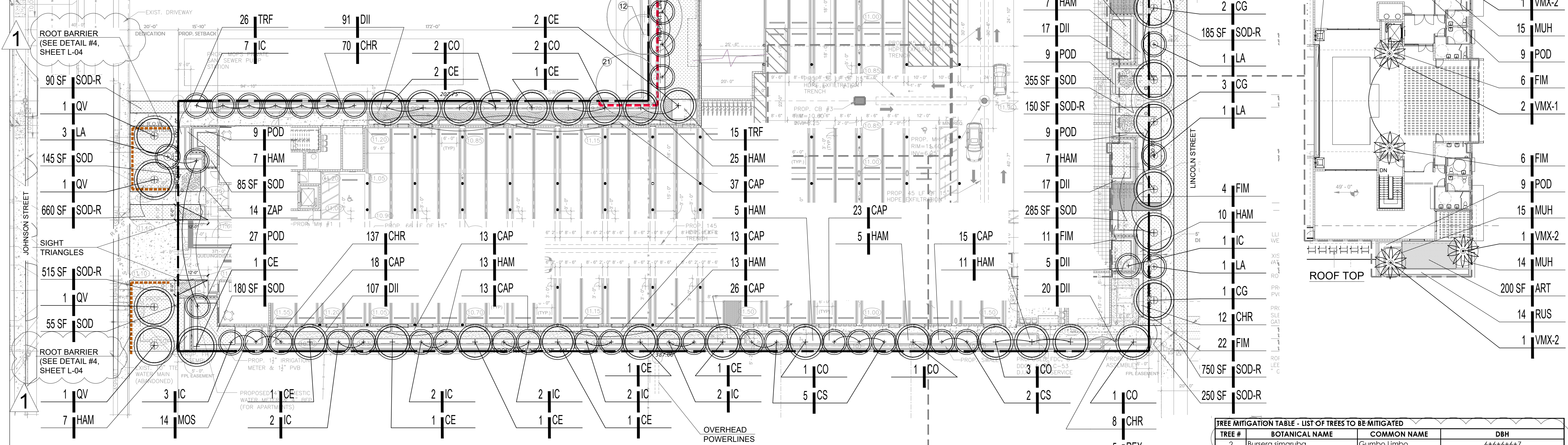
Date: JUNE 26, 2024
 Scale: 1" = 20'-0"
 Drawn By: AEM/MEP/GMP
 Approved By: AEM
 Project No: 202339

Sheet Number:
L-03

- LEGEND**
- TREE PROTECTION FENCE
 - ROOT BARRIER
 - (X) TREE NUMBER
 - (+) NEW TREE
 - (*) NEW PALM
 - (+/-) EXISTING TREE TO REMAIN (Outsite Property Line)

- NOTES:**
- TREE PROTECTION FENCE MIGHT BE TEMPORARILY ADJUSTED AT TREES TO ALLOW FOR CONSTRUCTION OF HARDSCAPE AND BUILDINGS.
 - REQUIRED SCREENING HEDGES SHALL BE PLANTED AND MAINTAINED TO FORM A CONTINUOUS VISUAL SCREEN.
 - IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.
 - ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES/PALMS THAT ARE PLANTED WITHIN FIVE (5) FEET OF UNDERGROUND UTILITIES OR UTILITY EASEMENT. SEE DETAIL #4 ON SHEET L-04.
 - REQUIRED TREES SHALL BE A MINIMUM TWELVE (12) FEET IN HEIGHT WITH A TWO (2) INCH DBH AT PLANTING.
 - WITHIN VISIBILITY TRIANGLES, LANDSCAPE SHALL MAINTAIN TO PROVIDE CLEAR VISIBILITY WITHOUT OBSTRUCTION FROM AN AREA BETWEEN 2 FEET AND 6.5 FEET ABOVE AVERAGE ELEVATION OF THE INTERSECTION.
 - TREES IN THE SWALE AREA MUST HAVE AT LEAST A 6.5 FOOT CLEARANCE ABOVE GRADE AT ALL TIMES.
 - 3" OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN ALL LANDSCAPE AREAS COVERED BY TREES SHRUBS AND GROUNDCOVERS.

- CITY OF HOLLYWOOD NOTES:**
- ALL LANDSCAPING SHALL BE WARRANTED FOR 1 YEAR AFTER FINAL INSPECTION.
 - NO LANDSCAPE SUBSTITUTIONS SHALL BE MADE WITHOUT THE CITY OF HOLLYWOOD APPROVAL.
 - NO TREE REMOVAL OR PLANTING ALLOWED UNTIL SUBPERMITS ARE FULLY APPROVED BY CITY.



TREE MITIGATION TABLE - LIST OF TREES TO BE MITIGATED

TREE #	BOTANICAL NAME	COMMON NAME	DBH
2	Bursera simaruba	Gumbo Limbo	6+6+6+6+7
3	Persea americana	Avocado Tree	16+12.8
5	Bursera simaruba	Gumbo Limbo	4
6	Bursera simaruba	Gumbo Limbo	25
14	Bursera simaruba	Gumbo Limbo	9.2
15	Bursera simaruba	Gumbo Limbo	4+3.1
17	Bursera simaruba	Gumbo Limbo	6.6
19	Mangifera indica	Mango	14+8+19+22+23
20	Bursera simaruba	Gumbo Limbo	4.8
22	Swietenia mahagoni	Mahogany	9+10.5
24	Quercus virginiana	Live Oak	13.2
25	Quercus virginiana	Live Oak	11.4
29	Quercus virginiana	Live Oak	11.75 (50% as per City Comment)
30	Persea americana	Avocado Tree	20+15.4
31	Quercus virginiana	Live Oak	9.5 (50% as per City Comment)
Total tree DBH to be mitigated			303" DBH

PALMS TO MITIGATE

7a	Sabal palmetto	Sabal Palm	
7b	Sabal palmetto	Sabal Palm	
32	Ptychosperma elegans	Soiltaire Palm	
33	Archontophoenix alexandrae	King Palm	
Total Palms to be mitigated			4 PALMS
TOTAL NUMBER OF REPLACEMENT TREES FOR MITIGATION			303" DBH + 4 PALMS

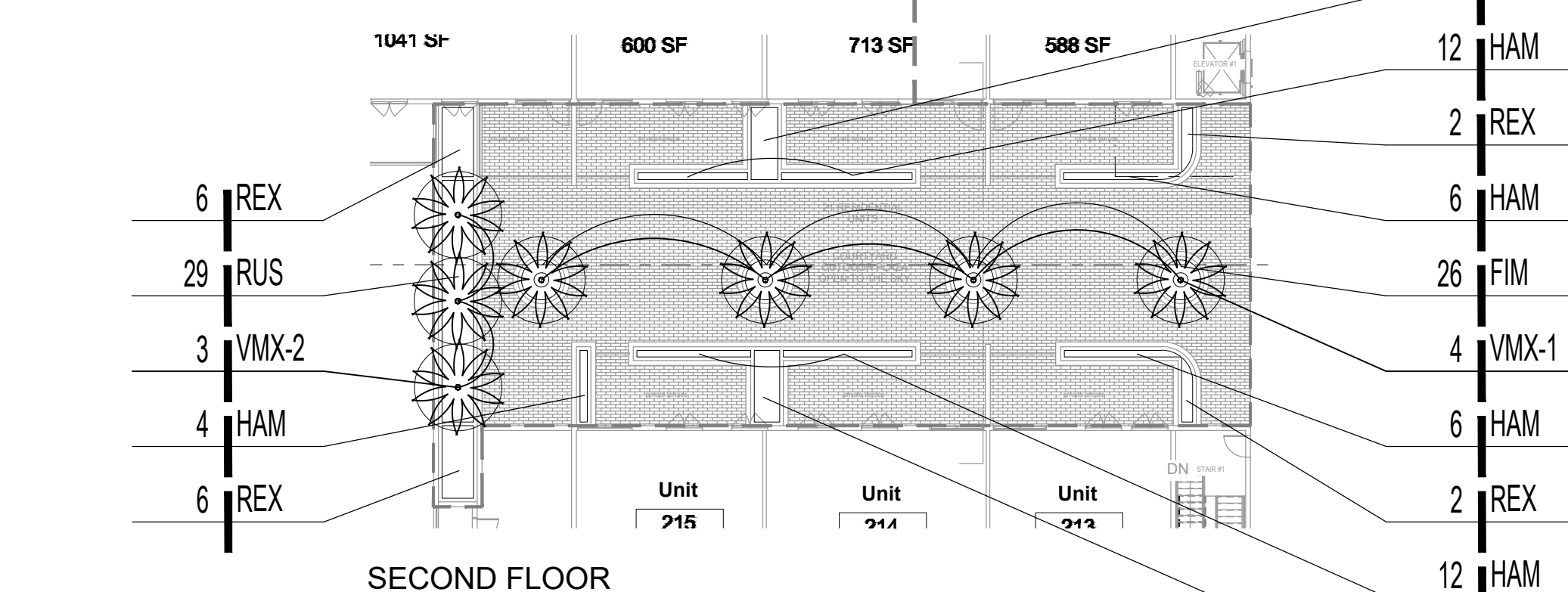
NEW TREES & PALMS TO MITIGATE

10	Conocarpus erectus	Green Buttonwood	16" ht. Std. 4" DBH x 6' Sprd.
11	Coccoloba diversifolia	Pigeon Plum	16" ht. Std. 4" DBH x 6' Sprd.
4	Lagerstroemia 'Natchez'	Crape Myrtle	14" ht. Std. 3.5" DBH x 6' Sprd.
13	Veitchia montgomeryana	Montgomery Palm	14" O.A. Double & Triple
Total new tree DBH & palms to mitigate removed trees			98" DBH + 13 Palms
MITIGATION SHORTFALL			205" DBH = 102.5 TREES (205/2)

Note: Tree mitigation shortfall to be addressed by a monetary contribution to the city's tree trust fund by the property owner. 102.5 trees @ \$350 each = \$35,875

Plant List

QT	code	species	common name	drought tolerance	native	specifications	container size	spacing
TREES								
13	CE	Conocarpus erectus	Green Buttonwood	High	yes	16" ht. Std. 4" DBH x 7' Sprd. 6' CT	FG	as shown
8	CG	Caesalpinia granadillo	Bridalveil	Medium	no	14" ht. Std. 3" DBH x 7' Sprd. 6' CT	65 Gal.	as shown
19	CS	Conocarpus erectus 'sericeus'	Silver Buttonwood	High	yes	12" ht. Std. 2.5" DBH x 5' Sprd. 6' CT	FG	as shown
14	CO	Coccoloba diversifolia	Pigeon Plum	High	yes	16" ht. Std. 4" DBH x 6' Sprd. 6' CT	FG	as shown
22	IC	Ilex cassine	Dahoon Holly	High	yes	12" ht. Std. 2.5" DBH x 5' Sprd. 6' CT	FG	as shown
14	LA	Lagerstroemia 'Natchez'	Crape Myrtle 'Natchez'	High	no	14" ht. Std. 3.5" DBH. 6' Sprd. 6.5' CT	FG	as shown
4	QV	Quercus virginiana	Live Oak	High	yes	16" ht. Std. 4" DBH. 6' Sprd. 6.5' CT	FG	as shown
PALMS								
6	VMX-1	Veitchia montgomeryana	Montgomery Palm	Medium	no	14" O.A. height/Triple	FG	as shown
7	VMX-2	Veitchia montgomeryana	Montgomery Palm	Medium	no	14" O.A. height/Double	FG	as shown
SHRUBS, GROUNDCOVERS & VINES								
275	CAP	Capparis cynophallophora	Jamaican Caper	High	yes	18" ht x 18" spr.	3 Gal.	24" O.C.
313	CHR	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	Medium	yes	30" O.A.	7 Gal.	30" O.C.
40	CLF	Clusia flava	Small Leaf Clusia	High	yes	30" Hl.	7 Gal.	30" O.C.
265	DII	Dietes iridioides	African Iris	Medium	no	18" O.A./ Full Clump	1 Gal.	24" O.C.
96	FIM	Ficus microcarpa 'Green Island'	Green Island Ficus	High	no	18" O.A.	7 Gal.	24" O.C.
176	HAM	Hamelia nodosa	Dwarf Firebush	Medium	yes	30" ht x 24" spr.	7 Gal.	36" O.C.
14	MOS	Monstera deliciosa	Swiss Cheese Plant	Low	no	16" O.A.	3 Gal.	30" O.C.
58	MUH	Muhlenbergia capillaris	Pink Muhly Grass	High	yes	30" O.A./ Full Clump	3 Gal.	30" O.C.
87	LOR	Loropetalum chinense	Chinese Fringe Flower	High	no	30" ht x 24" spr.	7 Gal.	30" O.C.
63	POD	Podocarpus macrophyllus	Podocarpus	High	no	5' Ht. x 30" spr.	15 Gal.	30" O.C.
26	REX	Rhapis excelsa	Lady Palm	Medium	no	30" O.A. Clump, Full	7 Gal.	36" O.C.
75	RUS	Russelia equisetiformis	Firecracker Bush	Medium	no	24" O.A./1.25ft HT	3 Gal.	30" O.C.
41	TRF	Tripsacum floridanum	Dwarf Fakahatchee Grass	Medium	yes	24" O.A./ Full Clump	3 Gal.	30" O.C.
14	ZAP	Zamia pumila	Coontie	High	yes	24" O.A./ Full Clump	7 Gal.	30" O.C.
SOD								
2590	SOD	Stenotaphrum secundatum	St. Augustine Grass		yes	Staggered Panels		
2850	SOD-R	Stenotaphrum secundatum	St. Augustine Grass		yes	Staggered Panels		
400	ART	Artificial turf						



LANDSCAPE CALCULATIONS - Lincoln Park Residence. Hollywood

SITE AREA DATA:		SF	ACRES
Dixie Highway Medium Intensity Multi-Family District Use		DH-2	
NET LOT AREA		58,784	1.35
		REQUIRED	PROVIDED
PROJECT DATA:			
MIN. PERVIOUS AREA (20%)		20%	20.79%
PERIMETER LANDSCAPE - STREET TREE (300 Lf of street frontage)			
A	100 Lf of street frontage at 1 tree per 30 Lf (Johnson St.)	4	4
B	200 Lf of street frontage at 1 tree per 30 Lf (Lincoln St.)	7	7
C	5 Lf foot landscape buffer at 1 tree per 20 Lf (875 Lf)	44	44
D	Required trees (1 tree per 1,000 SF of pervious area of property)	12	12
NATIVE TREES		60%	75%
NATIVE SHRUBS		50%	73%

GRAPHIC SCALE

1" = 20'-0"

Sunshine State One Call

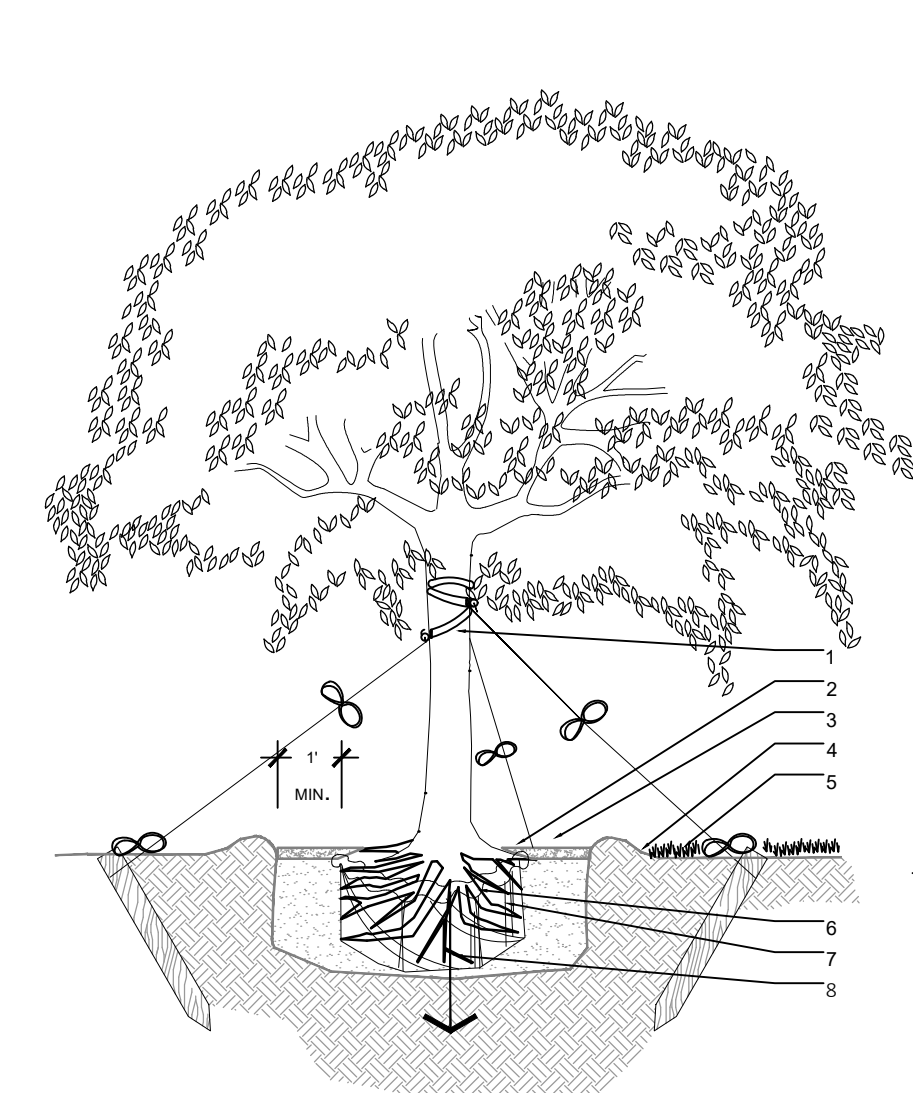
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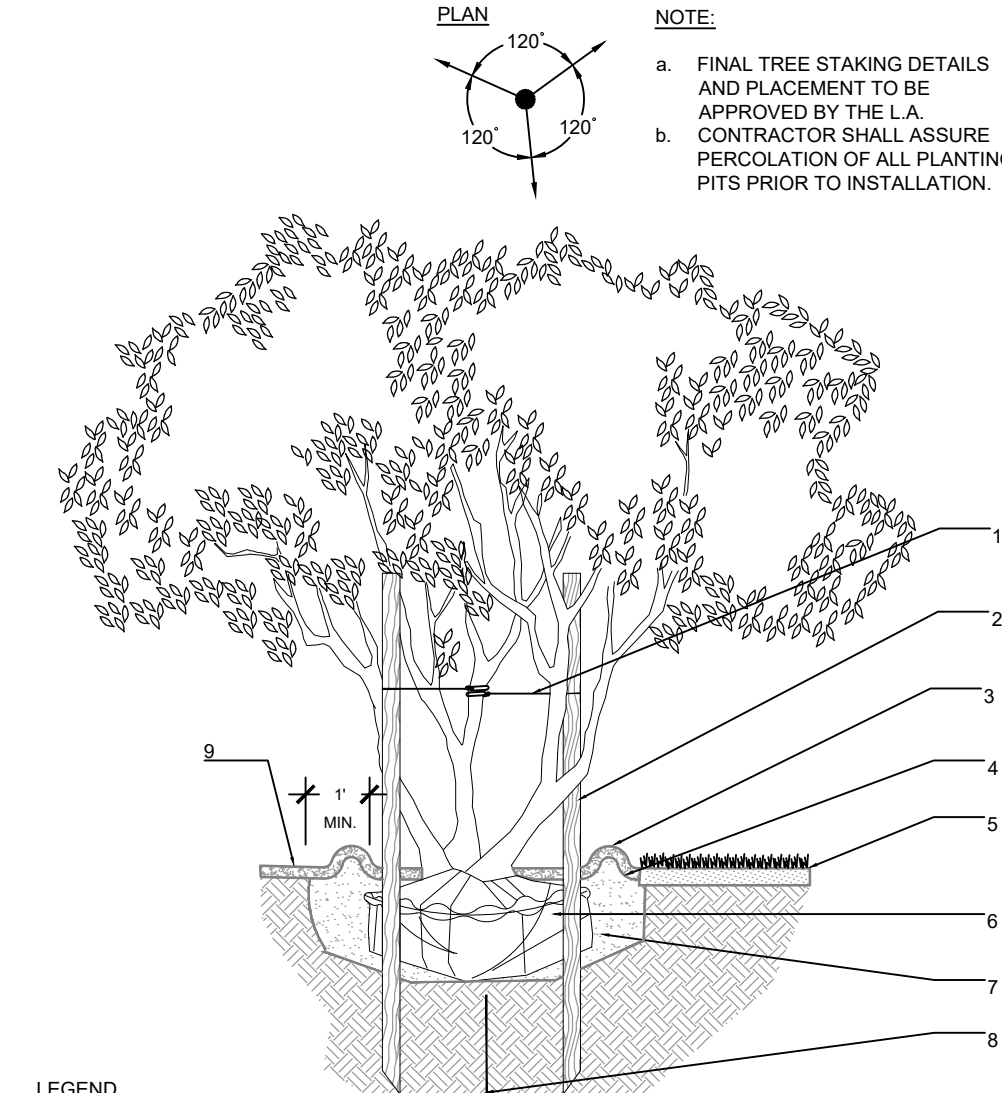
GENERAL NOTES:

- Before construction begins, the Landscape Contractor is responsible for locating all underground utilities and must avoid damaging any services during construction. If any damage occurs by the fault of the Contractor, the necessary repairs must take place at the Landscape Contractor's expense and under the supervision of the Owner's representative.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
- The Landscape Contractor shall be responsible for examining fully both the site and bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure by the Landscape Contractor to report such condition or for errors on the part of the Landscape Contractor at the time of bidding.
- All dimensions to be field checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Landscape Architect.
- Contractor shall be responsible for removing all existing and imported limerock and limerock sub-base from all landscape planting areas to a minimum depth of 36" or to native soil. Contractor is responsible to backfill these planting areas to rough finished grade with clean topsoil from an on-site source or an imported source.
- All planting beds shall be excavated to a minimum size and depth as shown in the planting details for trees, shrubs, and groundcovers, and backfilled with suitable soil unless specified otherwise. All plant material shall be planted in planting soil that is delivered to the site in a loose, clean, and friable condition. The planting soil shall be of the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and topsoil. It shall provide a good, pliable, and thoroughly mixed medium with adequate aeration, drainage, and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
- Contractor to test all tree pits with water before planting to assure proper drainage percolation is available.
- All proposed trees and plant materials shall be graded as Nursery Grade Florida No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and standards for Nursery Plants", most current edition. All planting shall be done in accordance with the Florida Nurserymen's and Grower's Association approved practices.
- All trees/palms and shrubs shall be fertilized with "Agriform" 20-10-5 planting tablets as per the manufacturer's specifications at the time of installation and prior completion of pit backfilling also in conjunction with note #5. Tablets to be placed uniformly around the root mass at a depth that is between the middle and bottom of root mass at an application rate of: One (1) - 21 gram tablet for 1 gal container, two (2)- tablets for 3 gal container, three (3)- tablets for 5 gal container, four (4)-tablets for 7 gal container, three (3)-tablets for each 1/2 inch of tree caliper, and seven (7) tablets for palms. Ground Cover areas shall receive fertilization with "Ozmocote" time release fertilizer as per manufacturer's specification.
- All plant beds shall receive a 3" layer of organic mulch, which is to be watered-in after installation. Mulch should be at least six (6) inches away from any portion of a structure or tree trunk and three (3) inches away from the base of shrubs. The use of Cypress mulch is discouraged.
- All plant material shall be thoroughly watered in at the time of planting and until landscape material is established. No dry material shall be permitted.
- The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant list quantities, the contractor shall notify the owner's representative/Landscape Architect prior to bidding or installation of the project.
- Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
- All tree and shrub locations shall be approved by Landscape Architect prior to planting.
- Plant material shall be bid as specified unless unavailable, at which time the Landscape Architect shall be notified in writing of intended changes.
- All questions concerning the plan set and/or specifications shall be directed to the Landscape Architect.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by the Landscape Contractor at no additional cost.
- There shall be no additions, deletions, or substitutions without written approval of the Landscape Architect.
- All screening hedges shall be planted and maintained in a way that they form a continuous visual screen. Screening hedges at VUA to be maintained at a minimum height of thirty (30) inches unless specified otherwise to meet local codes.
- All plant material to have one (1) year warranty from final acceptance by the Owner or Owner's representative.
- Existing sod shall be removed as necessary to accommodate new plantings.
- All existing trees on site shall be protected from damage during construction - See existing tree protection fence detail.
- Any existing landscape and hardscape areas that are unnecessarily disturbed during the landscape installation shall be restored to their original conditions by the Landscape Contractor.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of all debris generated during the installation of this project.
- The Landscape contractor shall fine grade all lawn and planting areas prior to plant material installation. Fine grading shall consist of final finished grading of lawn and planting areas that have been rough graded by others.
- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- Prior to sod installation, the Landscape Contractor shall clear the area of debris, weeds and remove any bumps and depressions within the area to be sodded.
- All landscape areas to have a positive drainage away from buildings and structures. Finished grade of landscape areas to be at or below the grade of adjacent sidewalks, slabs, or VUA
- All shade and medium trees installed within 5' of a public infrastructure shall utilize a root barrier system unless specified otherwise.
- In addition to these requirements the Landscape Contractor shall comply with all local landscape codes and requirements as part of this base bid and contract in order to satisfy the review and approval of the governing agency.



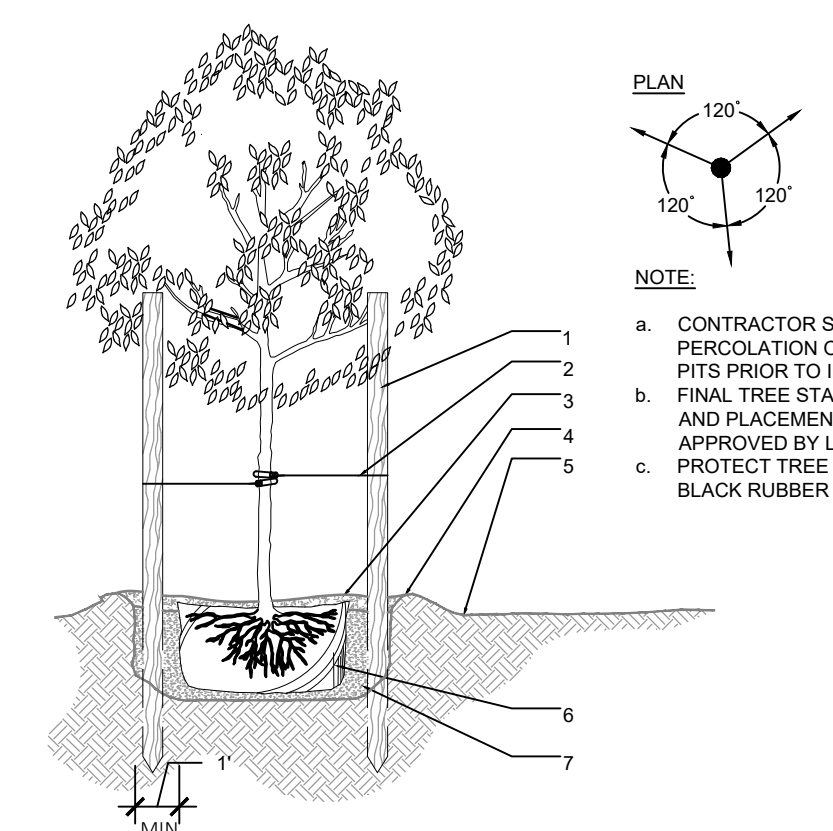
- LEGEND**
- 2" NYLON STRAPPING WR/RUBBER HOSE-WRAPPED 360 AROUND TRUNK BEFORE TYING- WRAP @ LATERAL BRANCH
 - 3" MULCH AS SPECIFIED MIN. 24" FROM TRUNK
 - SOIL BERM TO HOLD WATER
 - 2"x4"x8" STAKES BURIED 3" BELOW FINISHED GRADE
 - FINISHED GRADE - SOD CONDITION (SEE GRADING PLAN)
 - B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 - PREPARED PLANTING SOIL AS SPECIFIED
 - AUGER PER SPECS FOR PERCOLATION

1 LARGE TREE SECTION d-Large tree.dwg SCALE: N.T.S



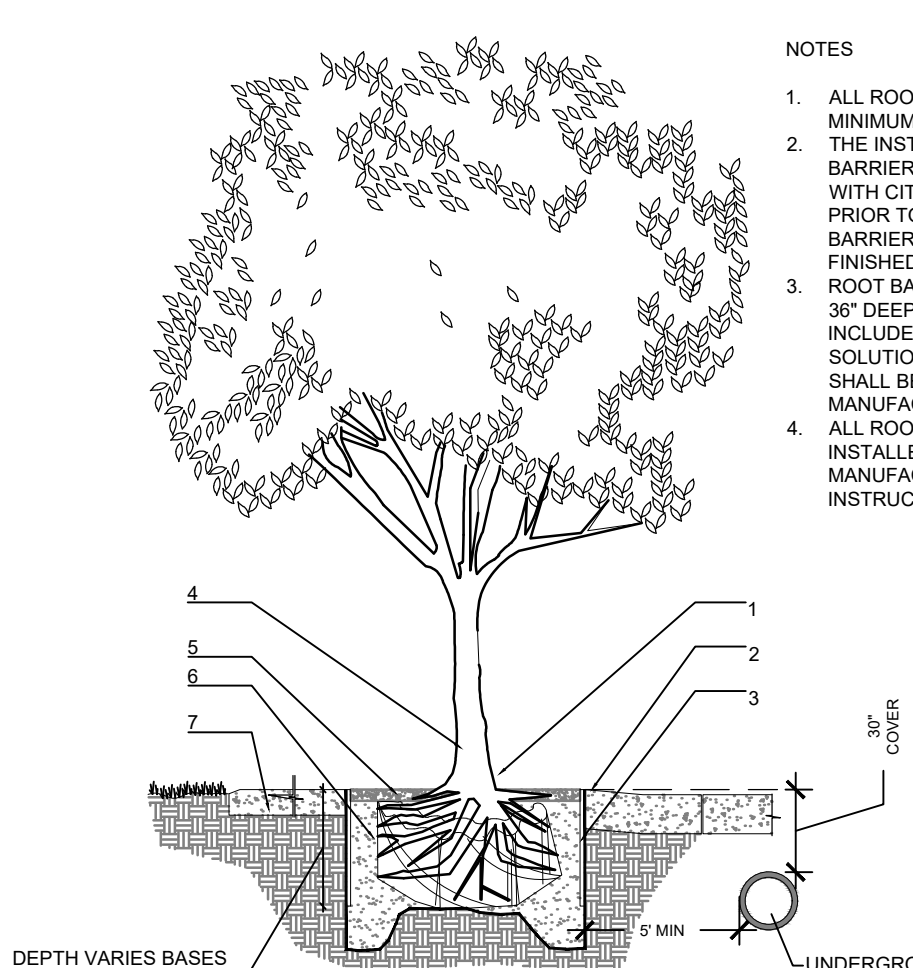
- LEGEND**
1. THREE 2"x4"x8" STAKES SPACE EVENLY AROUND TREE PAINTED BROWN.
 - #10 GAUGE WIRE.
 - 3" MINIMUM OF MULCH.
 - SOIL BERM TO HOLD WATER.
 - FINISHED GRADE (SEE GRADING PLAN).
 - B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
 - PREPARED PLANTING SOIL AS SPECIFIED.

2 MULTI-TRUNK TREE SECTION d-Multi-trunk tree.dwg SCALE: N.T.S



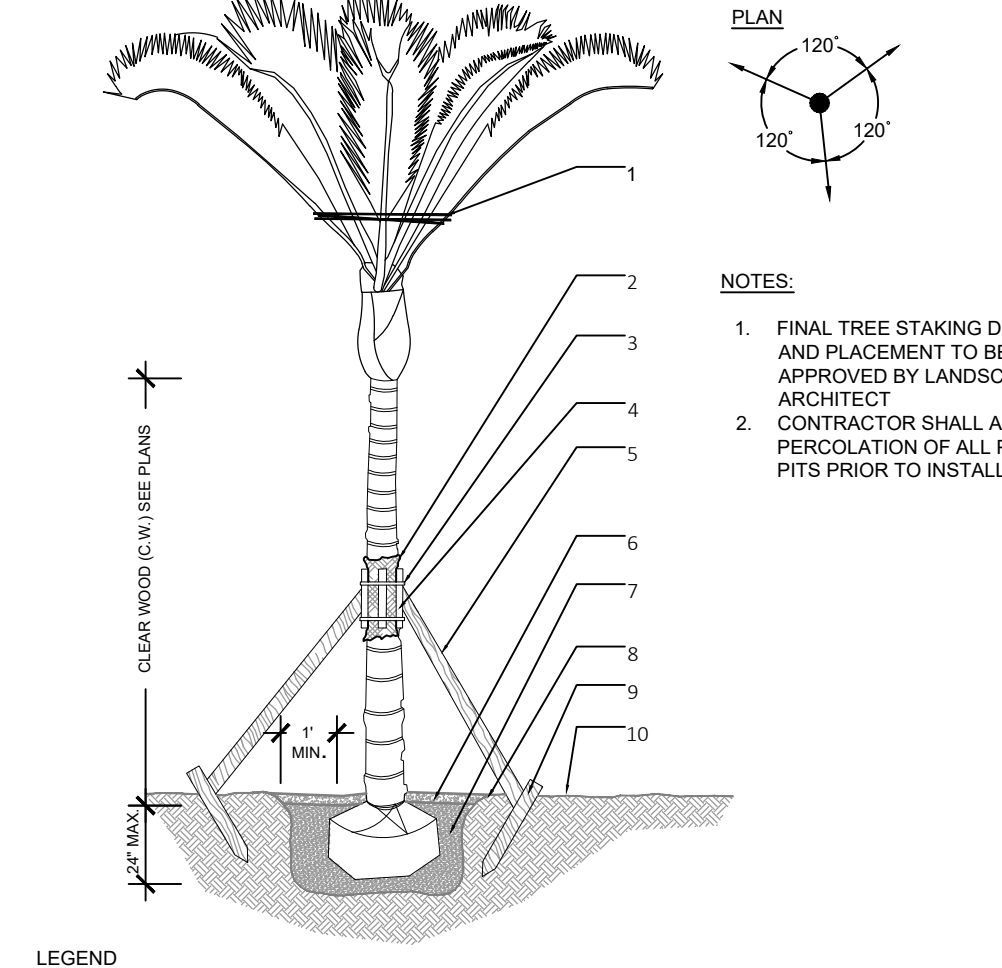
- LEGEND**
1. PLANT MATERIAL SHALL BE PLANTED 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOT BALL.
 - 3" MINIMUM OF MULCH.
 - SOIL BERM TO HOLD WATER
 - MINIMUM DEPTH OF 12" PLANTING SOIL FOR GROUNDCOVER BED
 - EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
 - FINISHED GRADE (SEE GRADING PLAN)
 - PREPARED PLANTING SOIL AS SPECIFIED.

3 SMALL TREE SECTION d-Small tree.dwg SCALE: N.T.S



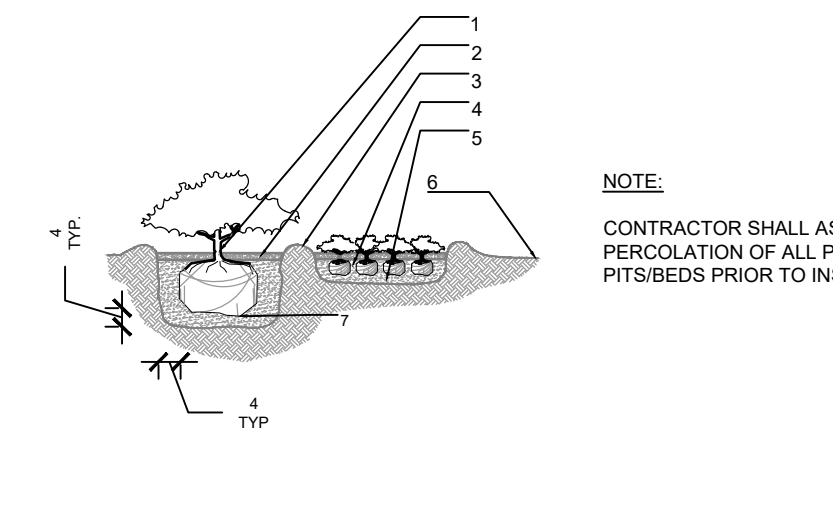
- LEGEND**
- SET ROOT-TRUNK COLLAR FLUSH 1" ABOVE FINISHED GRADE.
 - SIDEWALK OR PAVERS
 - 18" ROOT BARRIER. EXTEND A MINIMUM 6' IN BOTH DIRECTION FROM THE CENTERLINE OF THE TREE.
 - CENTER TREE IN PLANTER OPENING.
 - MULCH.
 - BACKFILL WITH TOPSOIL OR AMENDED TOPSOIL.
 - CONCRETE SIDEWALK.

4 ROOT BARRIER INSTALLATION SECTION d-2006-Root barrier.dwg SCALE: N.T.S



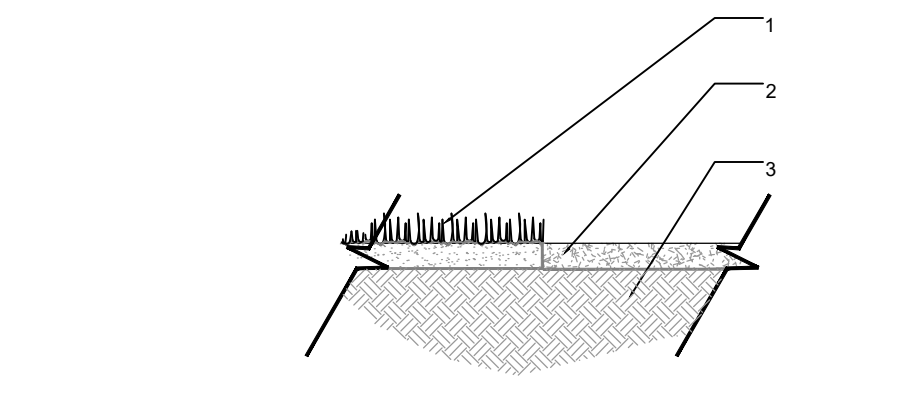
- LEGEND**
- PRUNE AND TIE FRONDS WITH HEMP TWINE.
 - TWO LAYERS OF BURLAP TO PROTECT TRUNK
 - TWO STEEL BANDS TO SECURE BATTONS.
 - THREE 2" X 4" X 18" WOOD BATTONS.
 - 3/2" X 4" LUMBER POLE BRACES. NAIL, DRILL AND NAIL IF NECESSARY TO BATTONS & 2" X 4" STAKES. FLAG AT MIPPOINT.
 - 3" MIN. MULCH. SEE SPECIFICATIONS.
 - PREPARED PLANTING SOIL AS SPECIFIED. PALMS SHALL BE PLANTED WITH THE TOP OF ROOTBALL AT FINISHED GRADE.
 - BERM SOIL TO HOLD WATER.
 - 2" X 4" X 3' WOOD STAKES.
 - FINISH GRADE

5 SMALL PALM SECTION d-Small palm.DWG SCALE: N.T.S



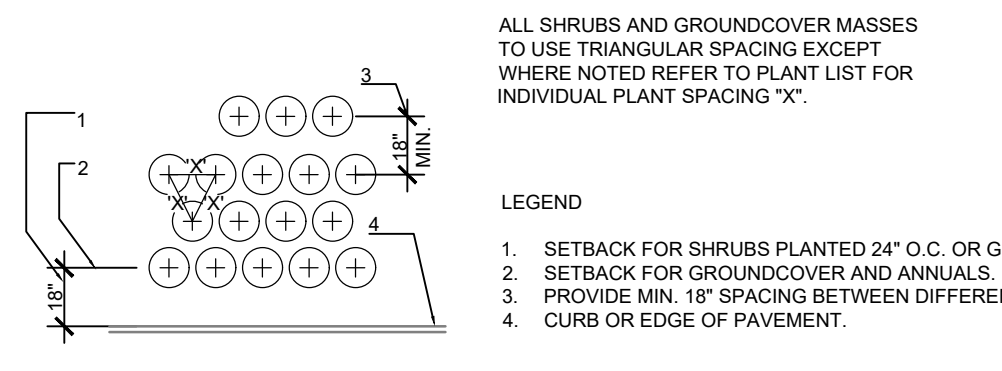
- LEGEND**
- SETBACK FOR SHRUBS PLANTED 24" O.C. OR GREATER.
 - SETBACK FOR GROUNDCOVER AND ANNUALS.
 - PROVIDE MIN. 18" SPACING BETWEEN DIFFERENT PLANT TYPES.
 - CURB OR EDGE OF PAVEMENT.

6 SHRUBS & GROUNDCOVERS SECTION d-Shrubs and groundcovers.DWG SCALE: N.T.S



- LEGEND**
- SOD (PROVIDE CLEAN, SMOOTH EDGE BETWEEN SOD AND MULCHED AREAS).
 - 3" DECORATIVE MULCH (SEE SPECIFICATIONS)
 - PLANTING SOIL (FINE RAKED AND FREE OF WEEDS AND OTHER DELETERIOUS MATERIALS. SEE SPECIFICATIONS)

7 MULCH SECTION d-Mulch.DWG SCALE: N.T.S



8 TYPICAL PLANT SPACING SECTION d-Typical spacing.DWG SCALE: N.T.S



LANDSCAPE ARCHITECTURE
URBAN DESIGN
 2308 E OAKLAND PARK BLVD. SUITE 300
 FORT LAUDERDALE, FLORIDA 33308 USA
 TEL: 954.533.8209
 www.andresmontero.com

Rev	Date	Description
1		
2		
3		
4		
5		
6		

LANDSCAPE DETAILS & GENERAL NOTES

LINCOLN PARK RESIDENCES
 2219-25 LINCOLN STREET
 HOLLYWOOD, FL 33020

Project Name:
 Project No.:
 Date: JUNE 26, 2024
 Scale: N.T.S
 Drawn By: AEM/MEP/GMP
 Approved By: AEM
 Project No: 202339

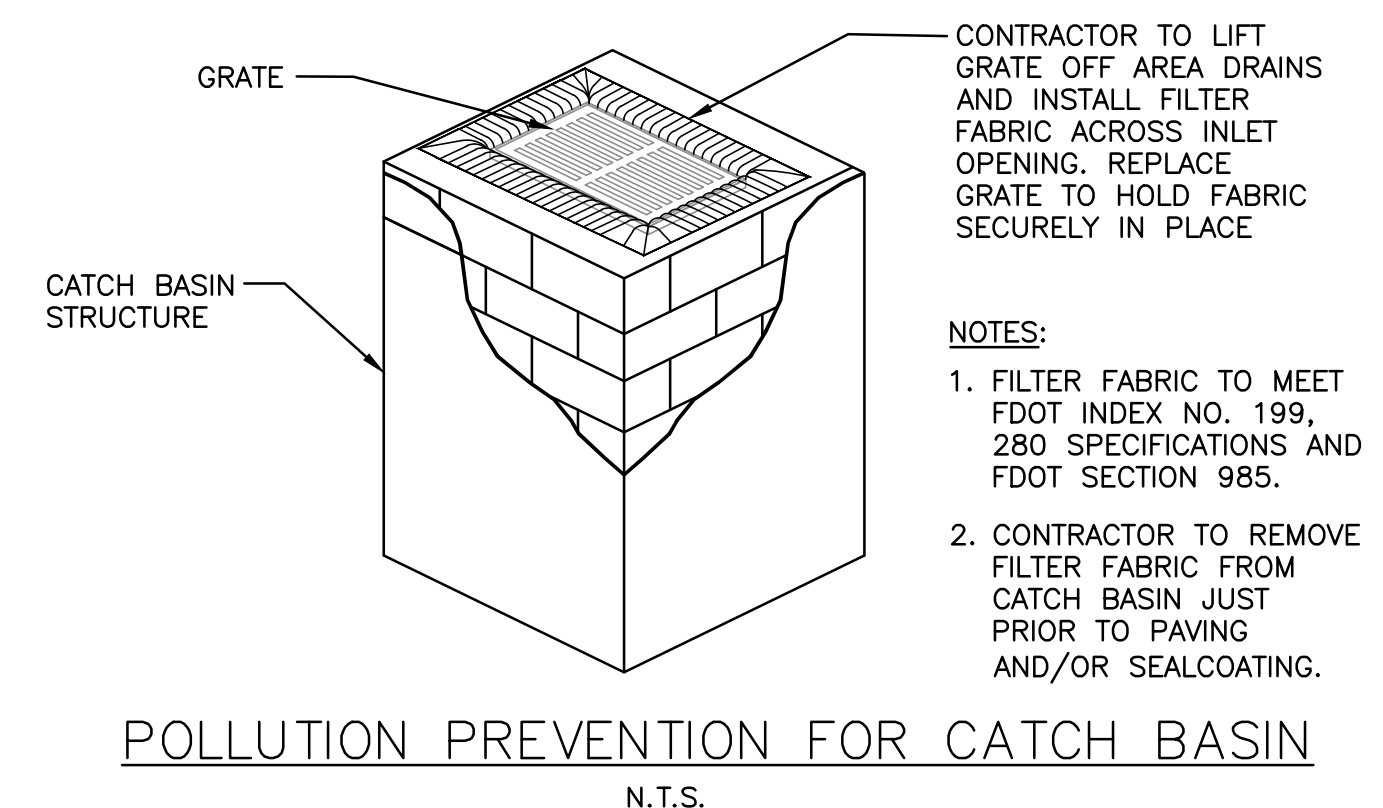
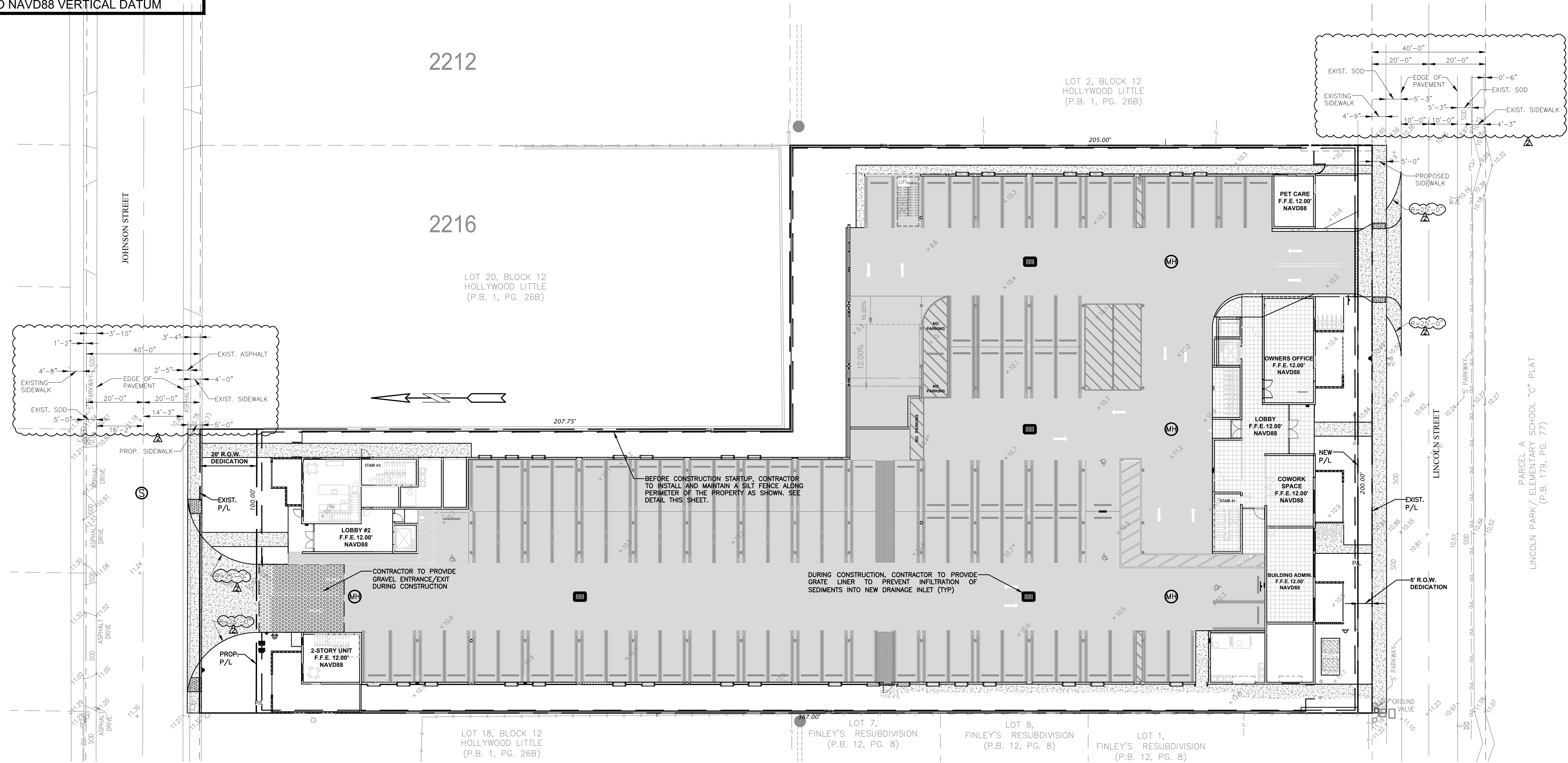
Sheet Number:
L-04

Sunshine State One Call

 Know what's below.
 Call before you dig.

SIGN OF SUBMITTAL - NOT FOR CONSTRUCTION

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

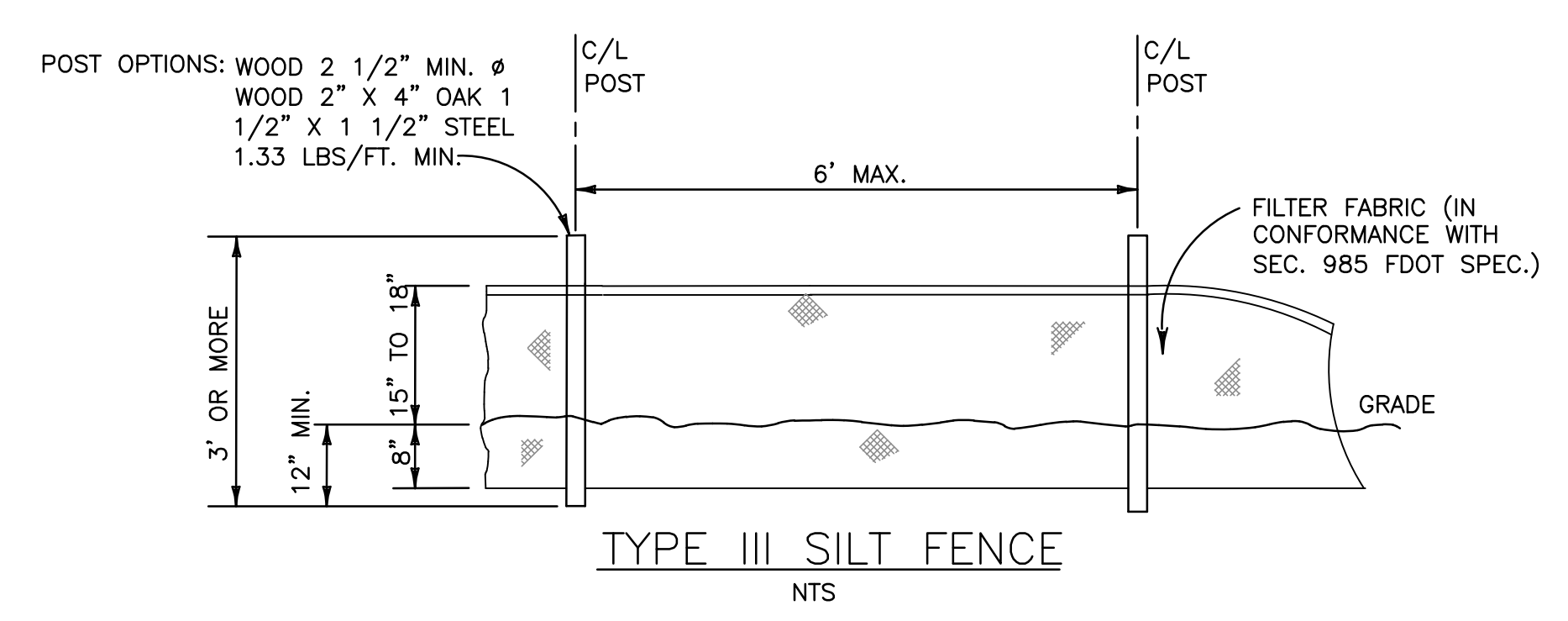


CONTRACTOR TO LIFT GRATE OFF AREA DRAINS AND INSTALL FILTER FABRIC ACROSS INLET OPENING. REPLACE GRATE TO HOLD FABRIC SECURELY IN PLACE

NOTES:

1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.

- BMP NOTES:**
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
 2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
 3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
 4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
 5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
 6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
 7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
 9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
 10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
 11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



EROSION & SEDIMENT CONTROL PLAN
SCALE: 1"=20'

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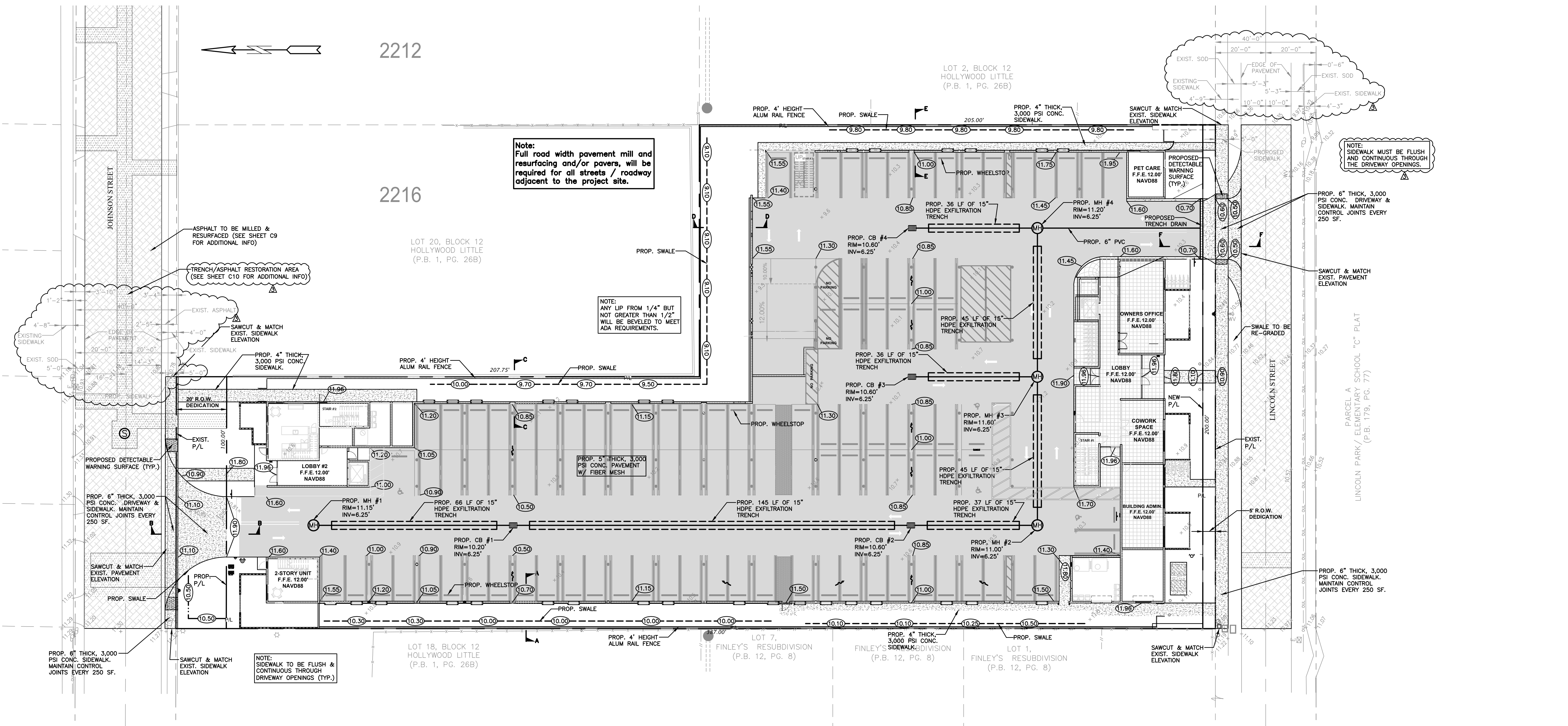
NO.	DATE	DESCRIPTION
1	9-24-24	TAC REVIEW COMMENTS
2	11-13-24	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyreng@gmail.com
CA# 31158

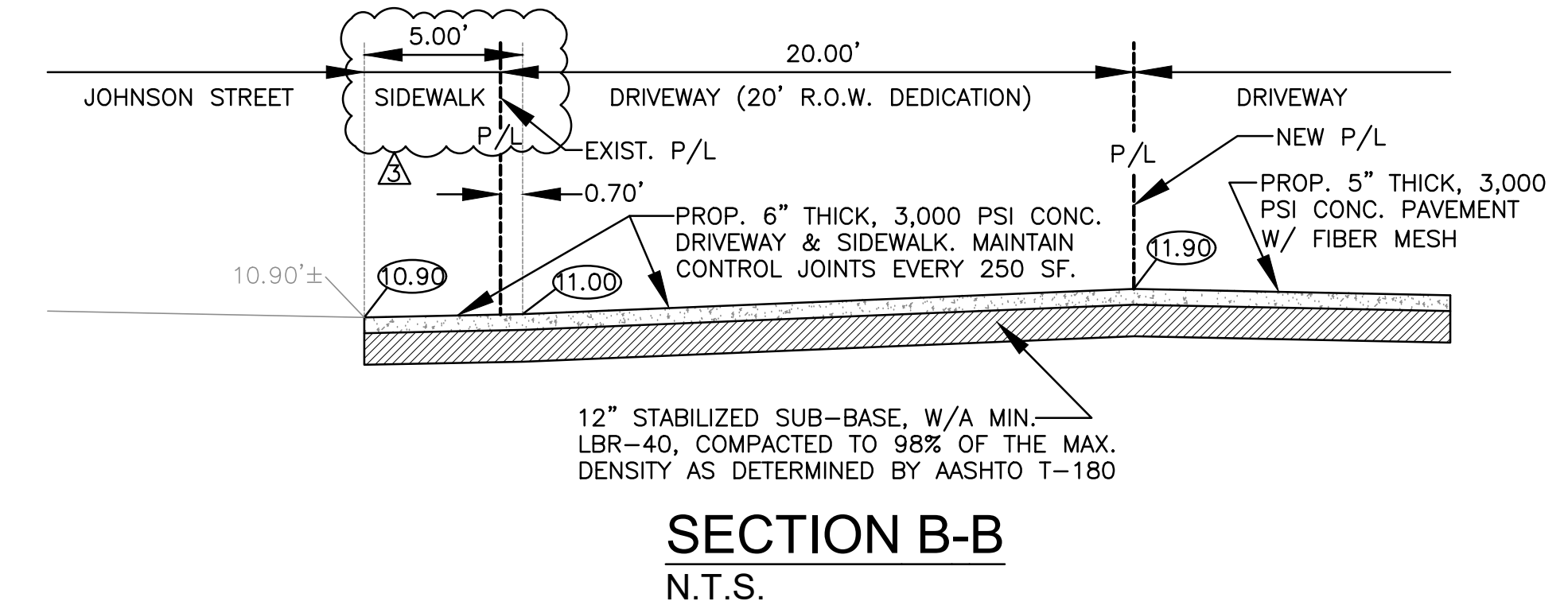
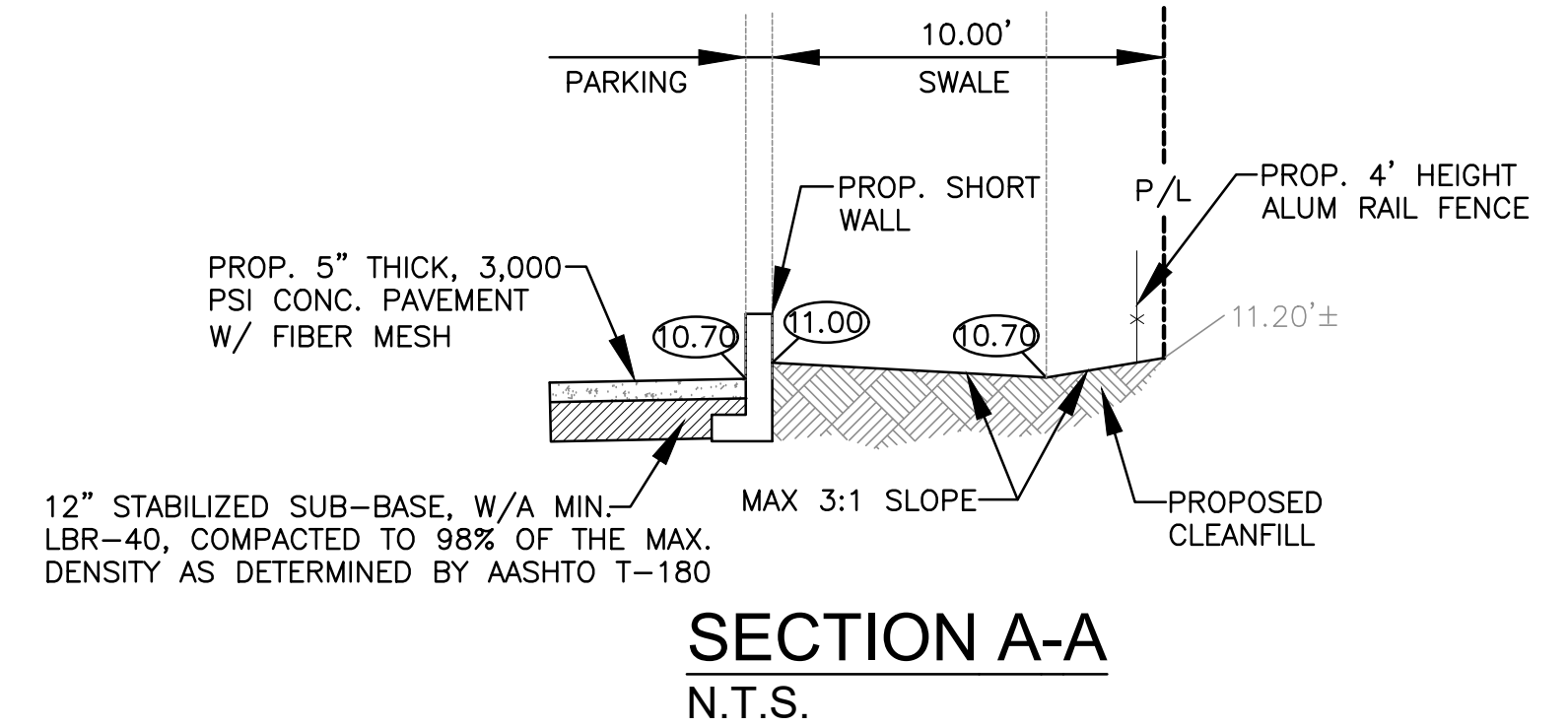
Lincoln Park Residences
2219 LINCOLN STREET
HOLLYWOOD, FL 33020

P.E.#: 76036
DATE: 1/11/24
SCALE: 1"=20'
SHEET NO.: C1
1 OF 13
PROJECT NO.: 24-01

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM



- NOTES:
- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
 - 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
 - 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
 - 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
 - 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
 - 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
 - 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.



LEGEND

	PROPOSED CONCRETE		EXISTING WATER METER
	PROPOSED ONSITE CONC. PAVEMENT		EXISTING WATER VALVE
	PROPOSED GRADE		PROPOSED BFP DEVICE
	EXISTING ELEVATION		EXISTING SAN. SEWER MH
	PROPOSED CATCH BASIN		EXISTING FIRE HYDRANT
	EXISTING CATCH BASIN		ASPHALT TO BE MILLED & RESURFACED
	PROPOSED WATER METER		TRENCH/ASPHALT RESTORATION AREA



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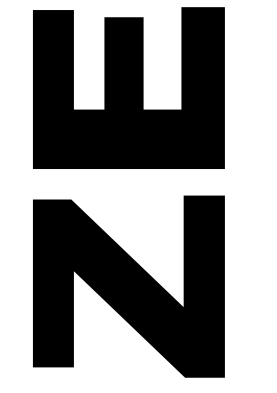
PAVING, GRADING & DRAINAGE PLAN

SCALE: 1"=20'

REVISIONS

NO.	DATE	DESCRIPTION
1	4-19-24	TAC REVIEW COMMENTS
2	9-24-24	TAC REVIEW COMMENTS
3	11-13-24	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#: 31158



LINCOLN PARK RESIDENCES
2219 LINCOLN STREET
HOLLYWOOD, FL 33020

P.E.#: 76036
DATE: 1/11/24
SCALE: 1"=20'
SHEET NO.: C2
2 OF 13
PROJECT NO.: 24-01

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

GENERAL CONDITION NOTES :

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.

2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:

FLORIDA POWER & LIGHT CO., CONSTRUCTION BELLSOUTH COMCAST TECO LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

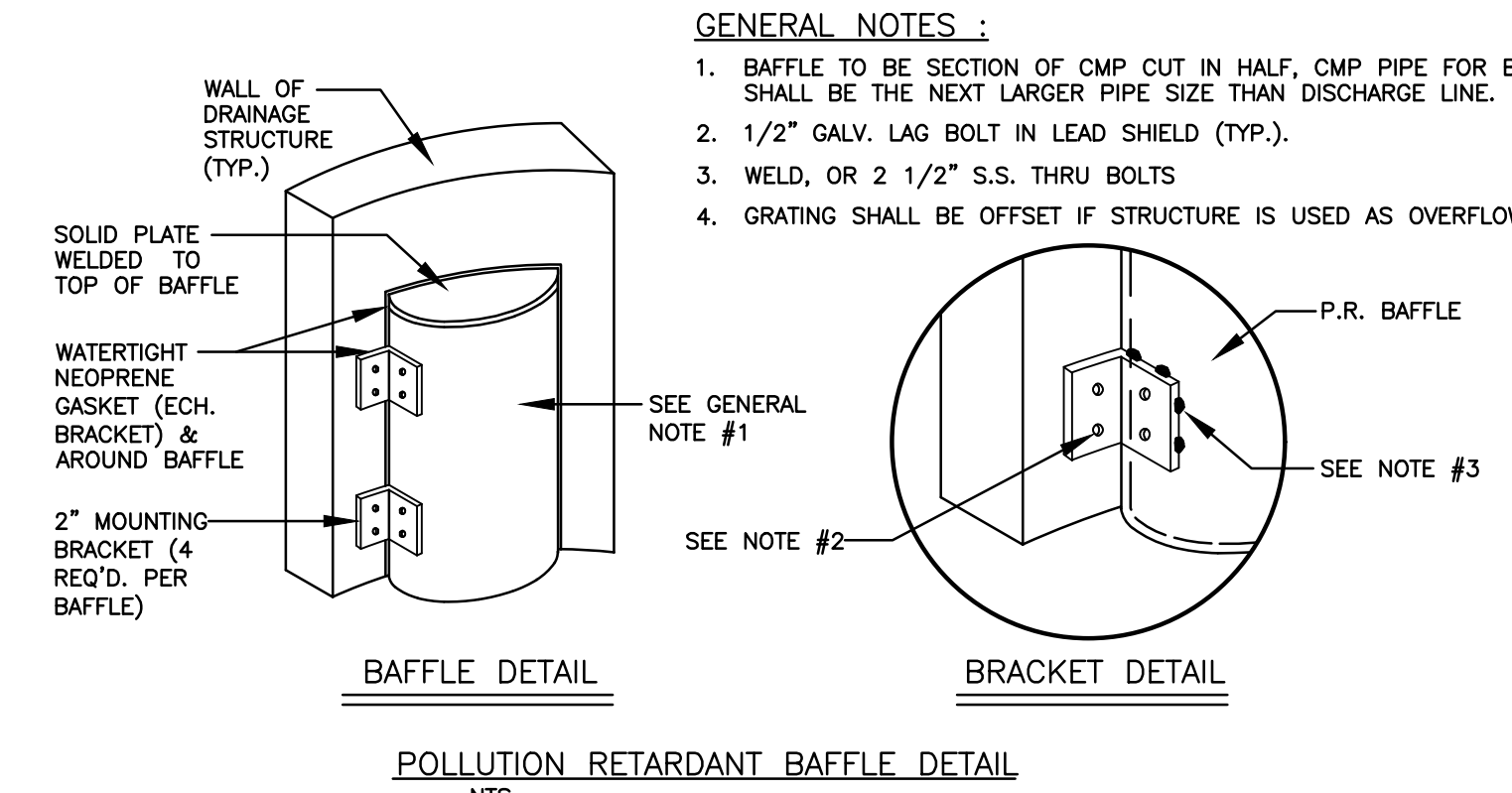
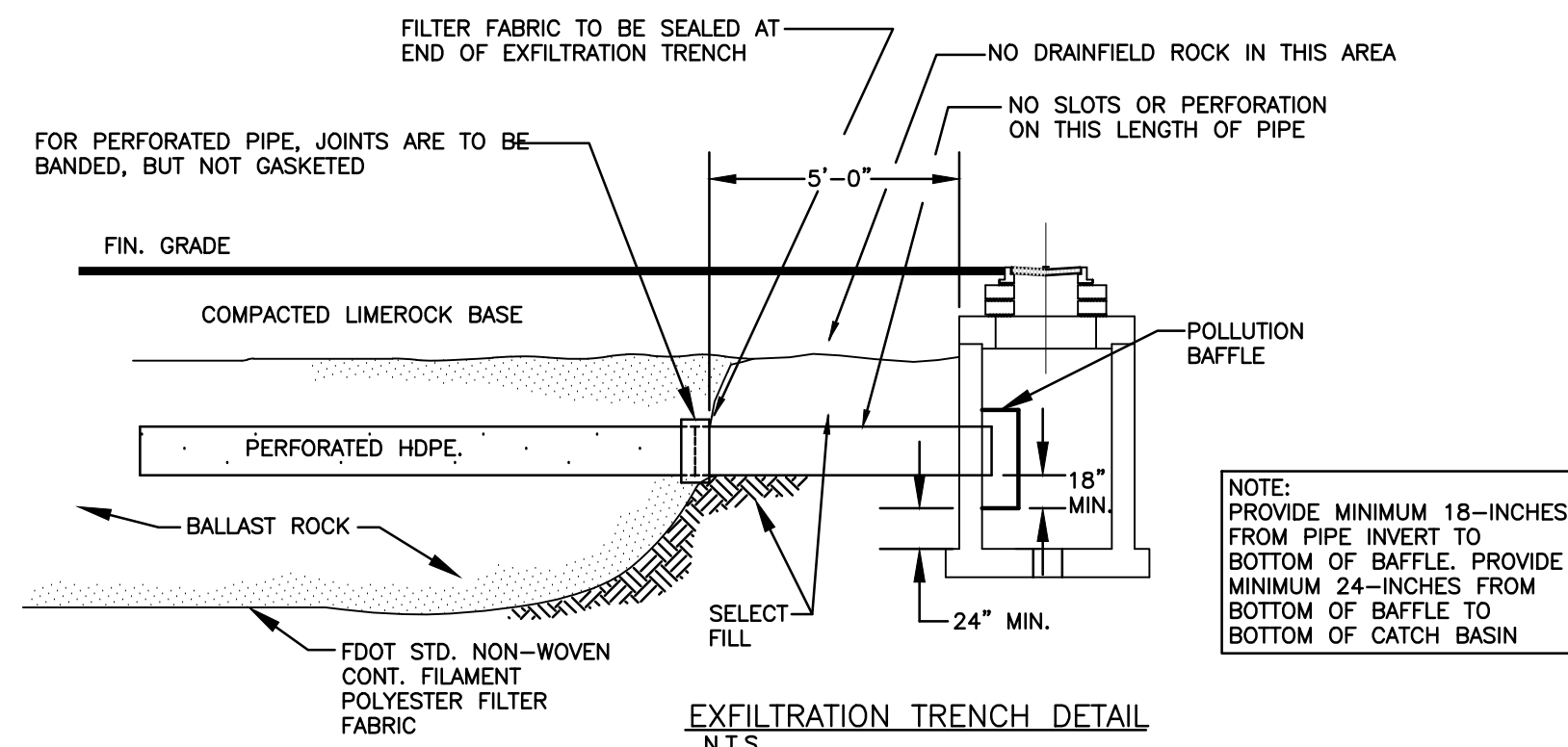
PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS :
RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
PVC = POLYVINYLCHLORIDE PIPE
PCMP = PERFORATED CMP, FDOT SECTION 945
DIP = DUCTILE IRON PIPE
HDPE = HIGH DENSITY POLYETHYLENE PIPE.

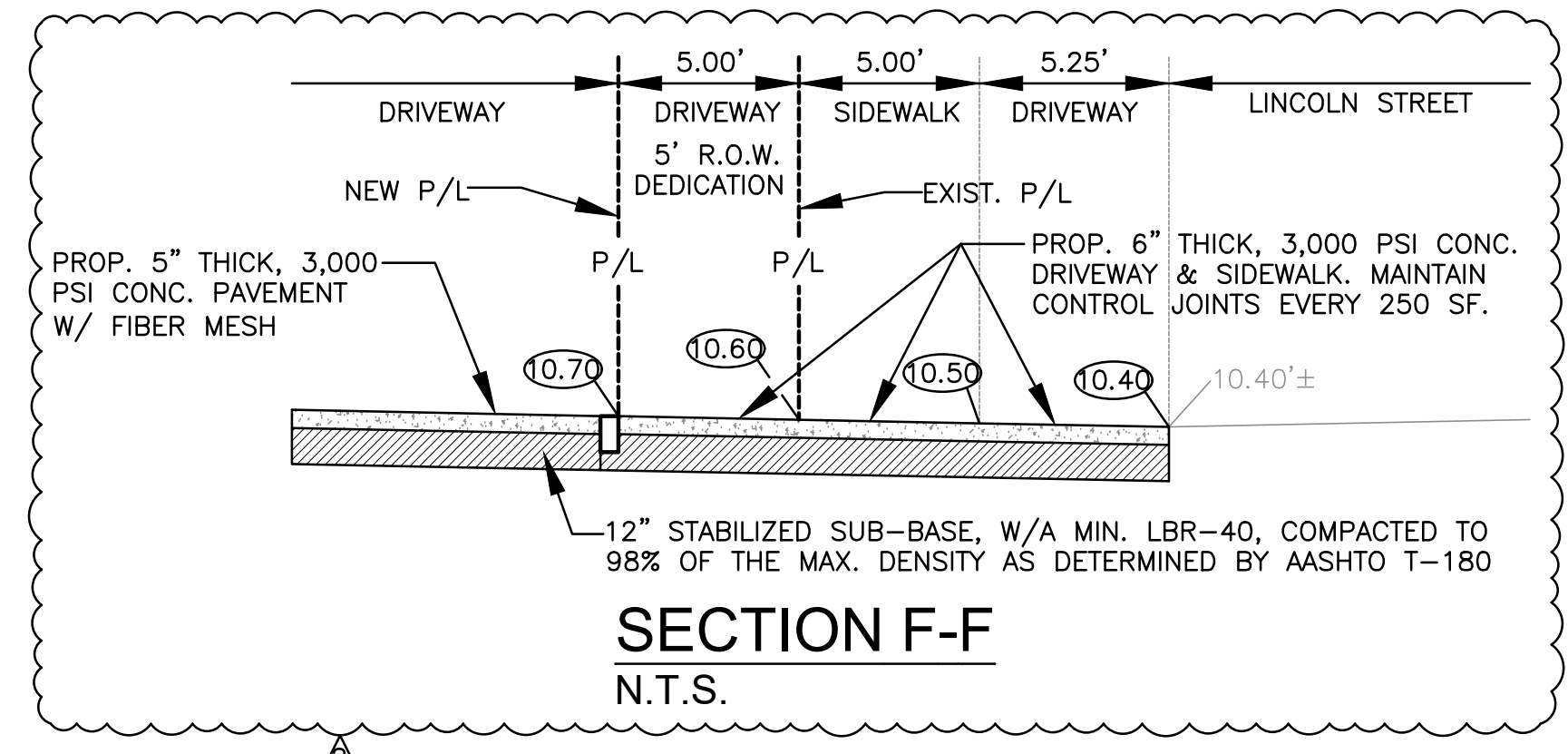
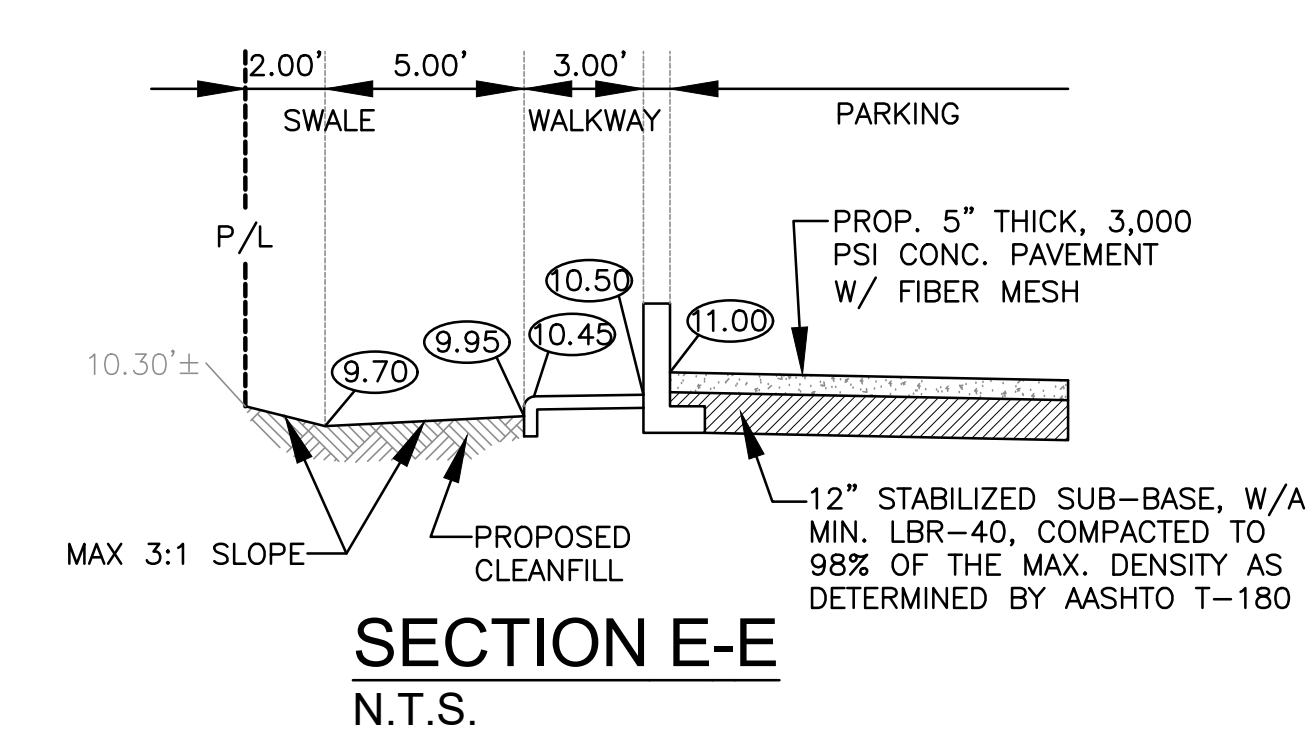
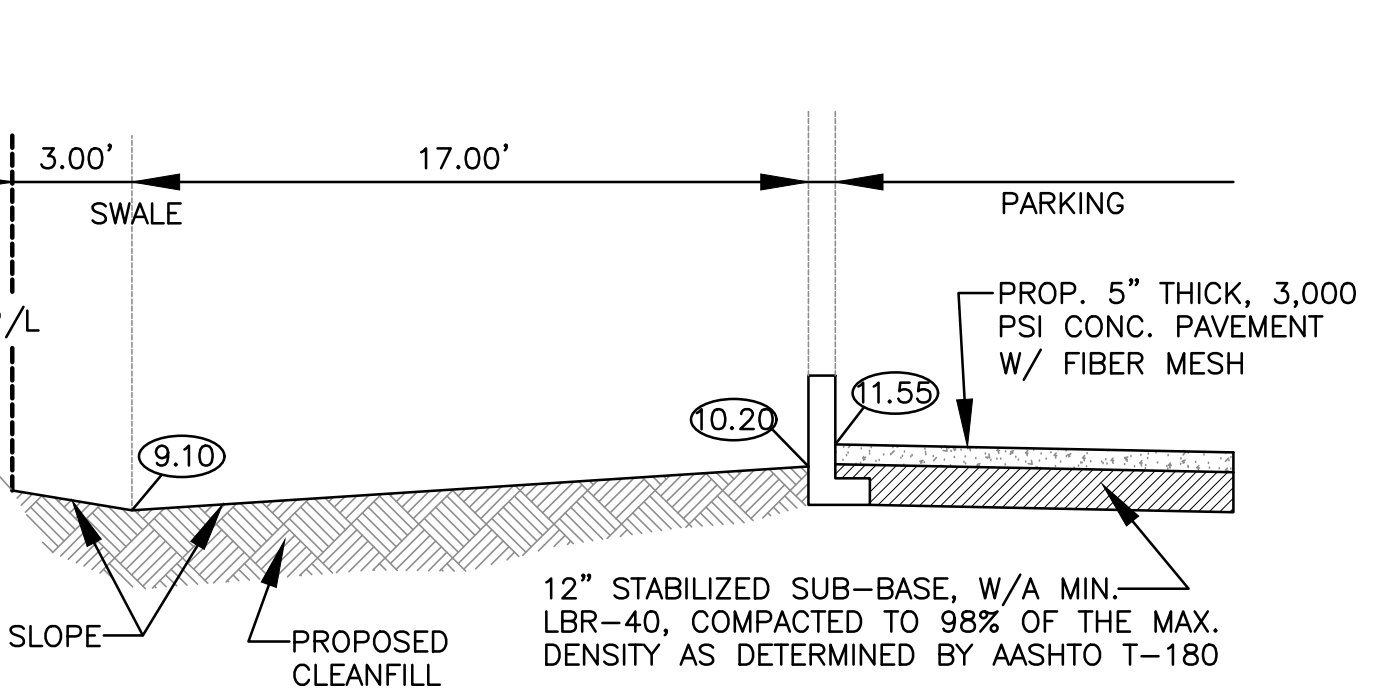
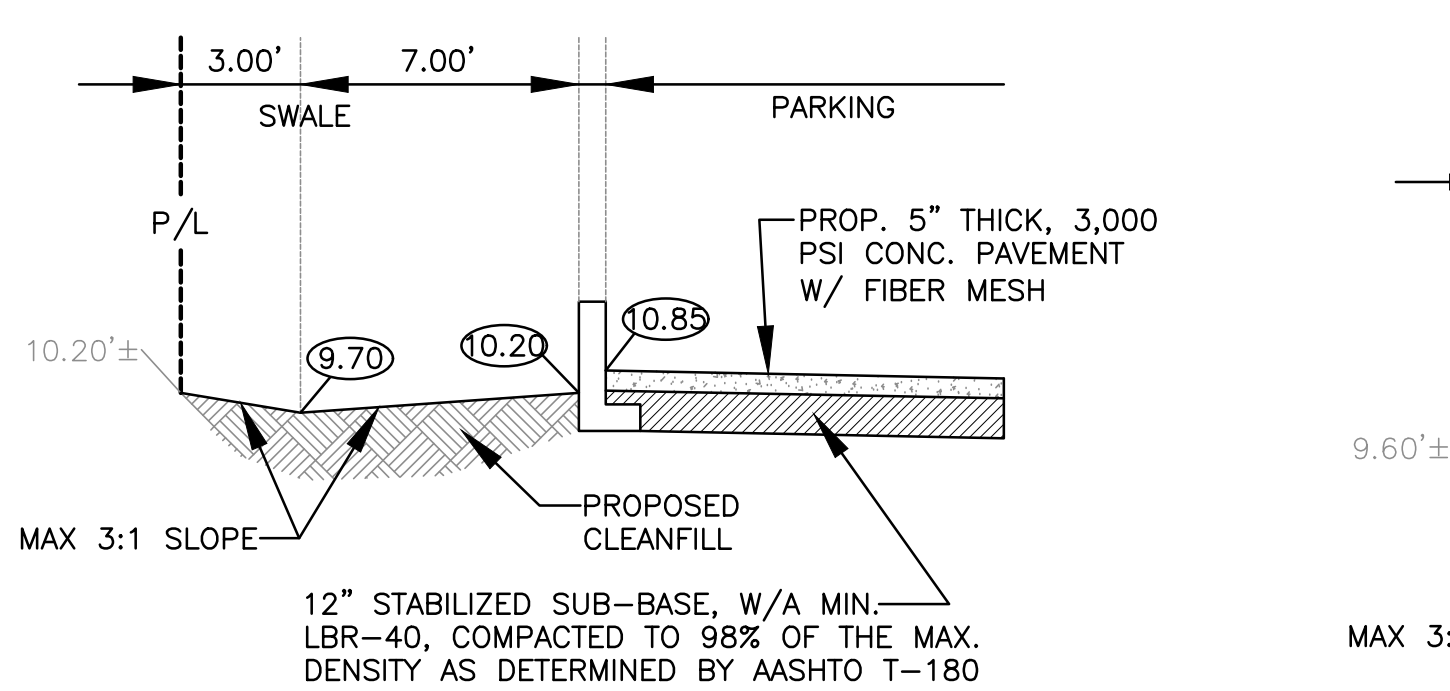
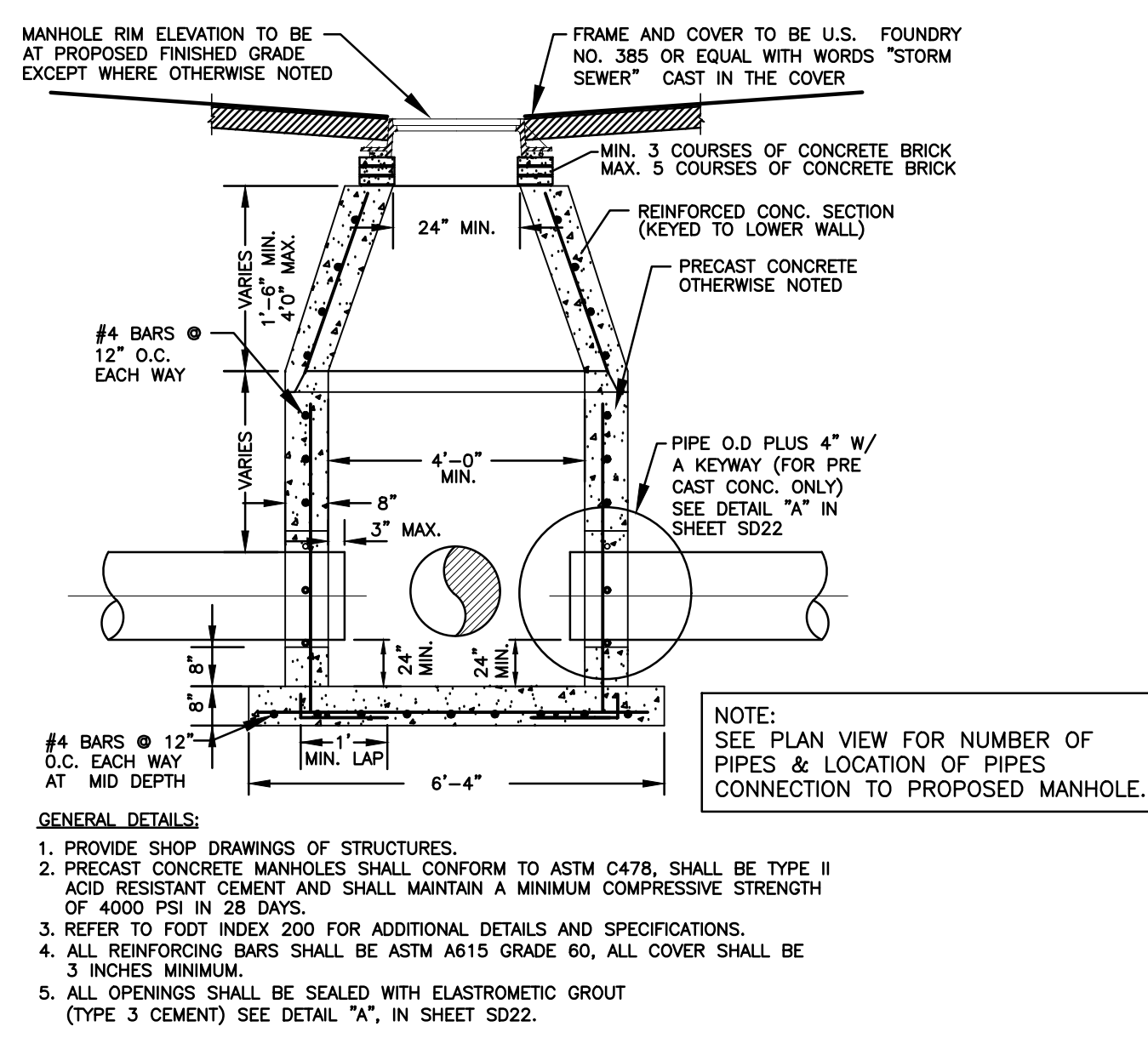
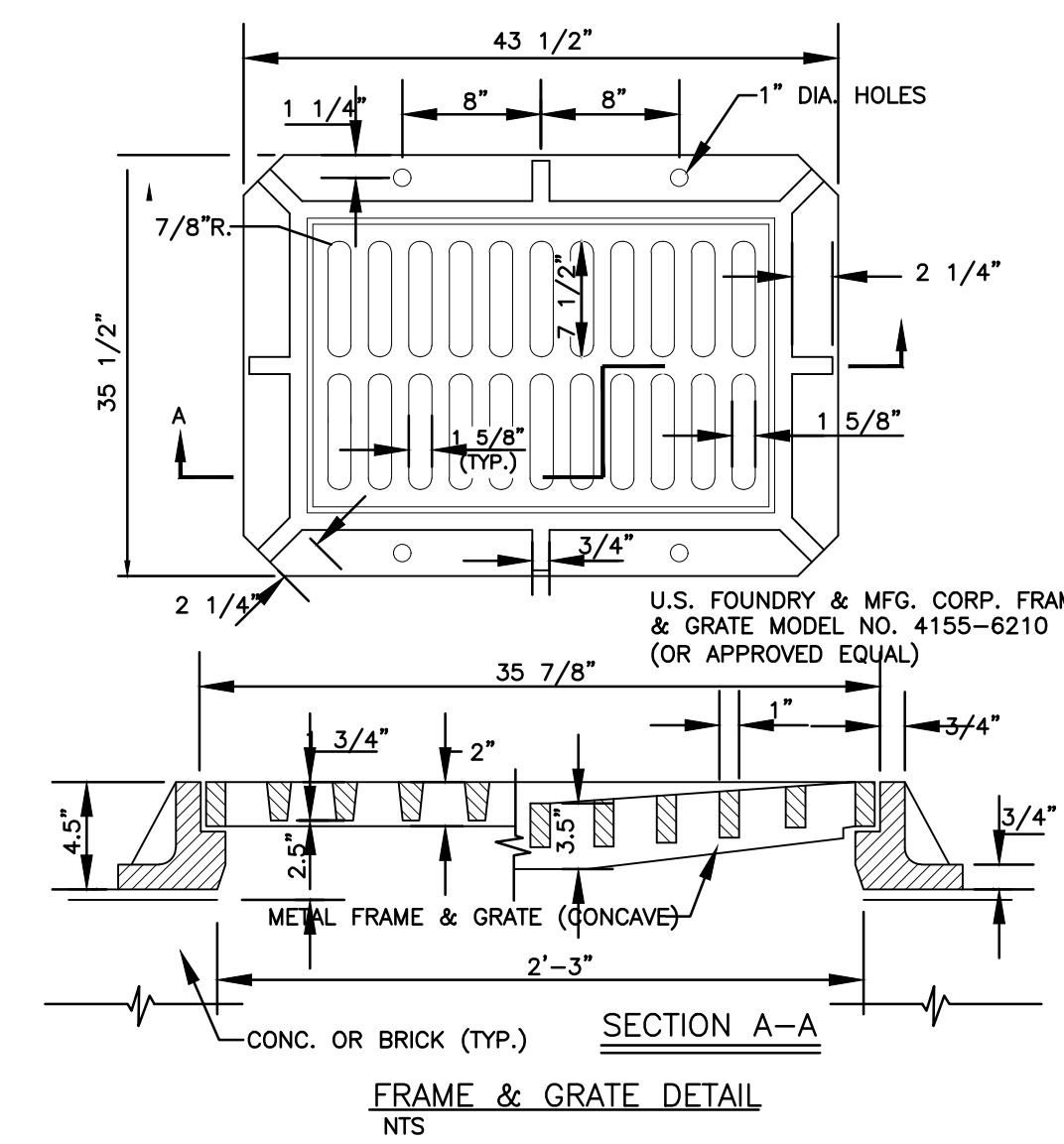
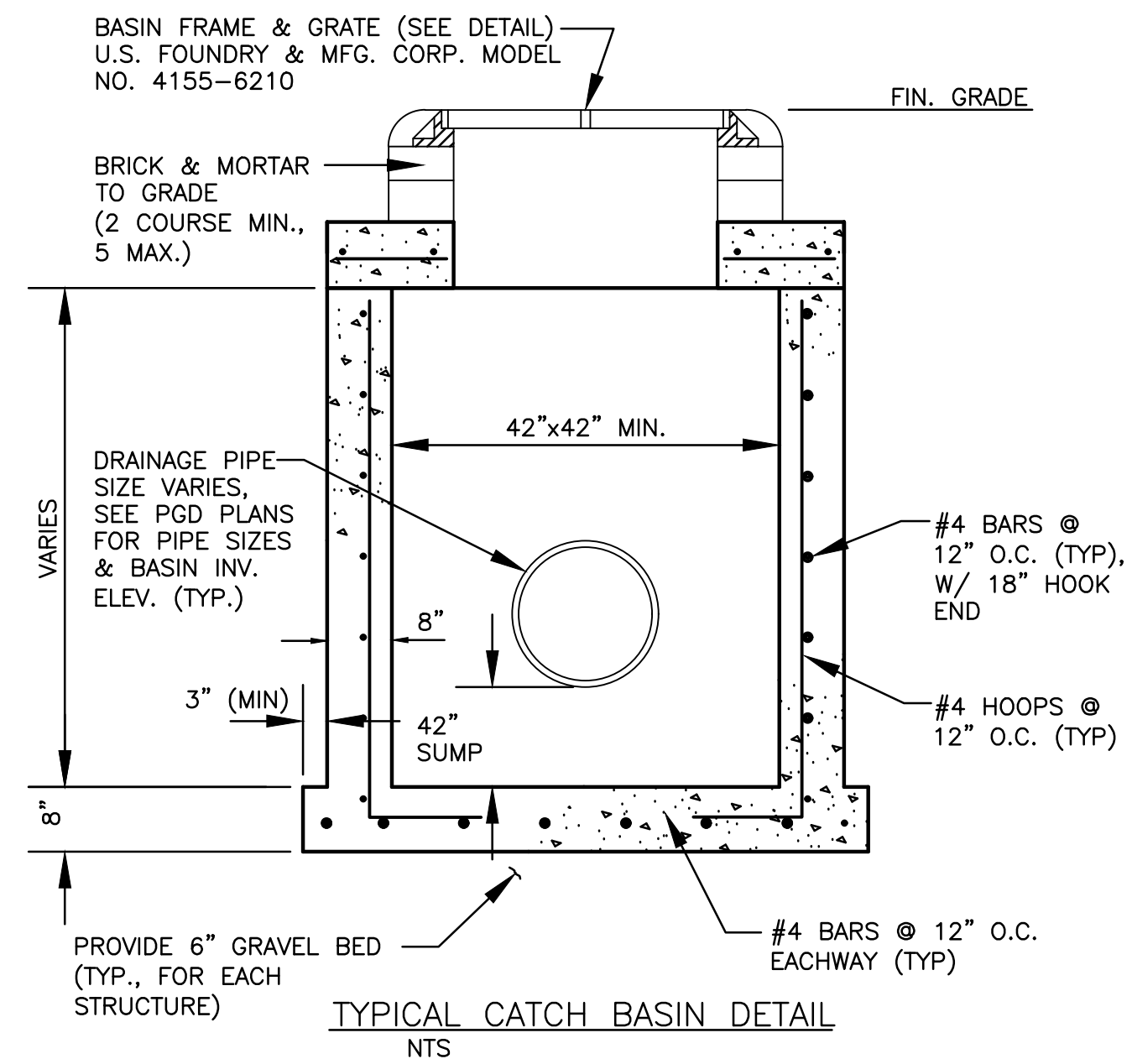
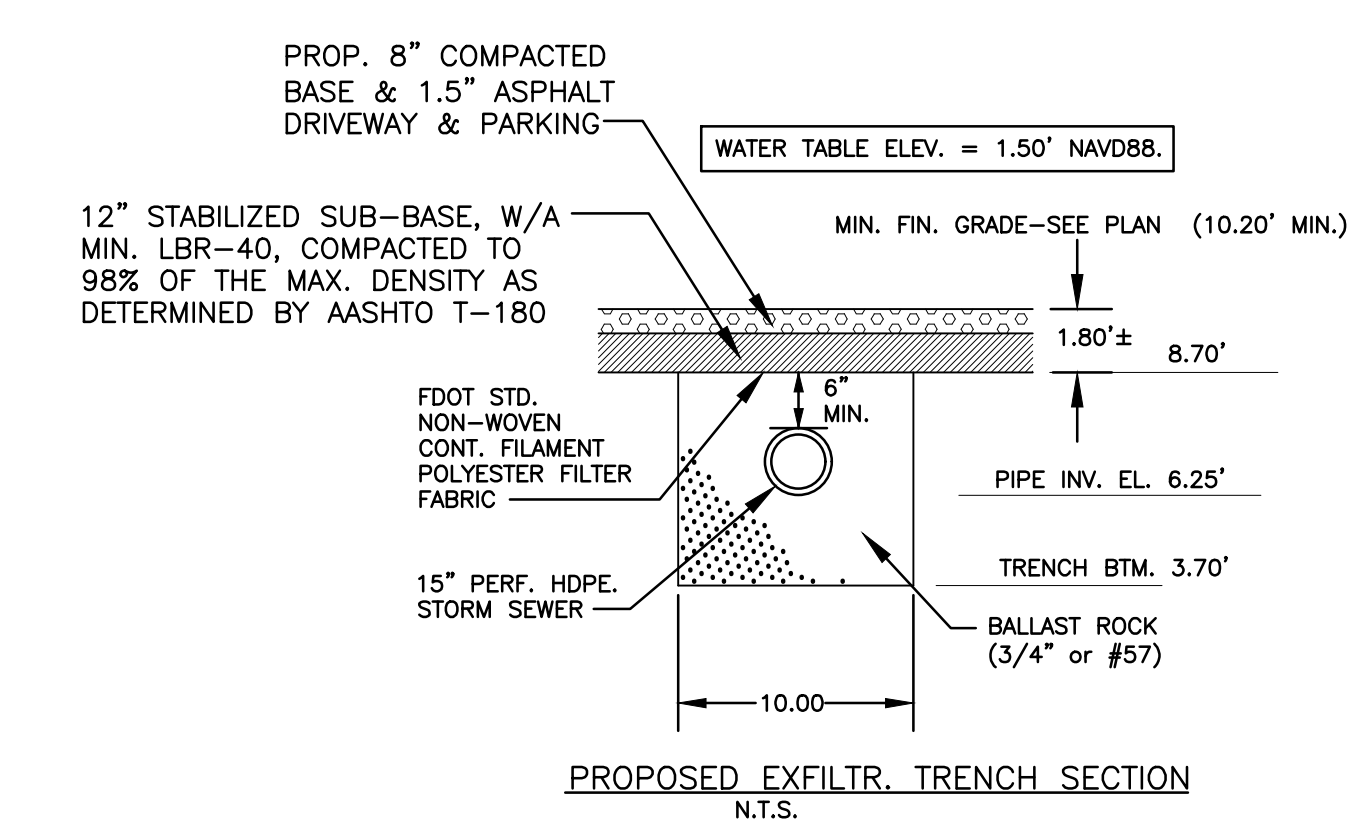
15. ASPHALT - BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1. PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-48-75 (1982). RATE = 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE = 0.02 TO 0.08 GALS./S.Y.

DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

- PAVEMENT MARKING & SIGNING STANDARD NOTES :**
1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
 2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
 3. STOP BARS SHALL BE 24" WHITE.
 4. ALL SITE PAVEMENT MARKINGS SHALL BE PAINT. (UNLESS INDICATED OTHERWISE)
 5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.



- GENERAL NOTES :**
1. BAFFLE TO BE SECTION OF CMP CUT IN HALF. CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE LINE.
 2. 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
 3. WELD, OR 2 1/2" S.S. THRU BOLTS
 4. GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.



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CIVIL DETAILS I
SCALE: N.T.S.

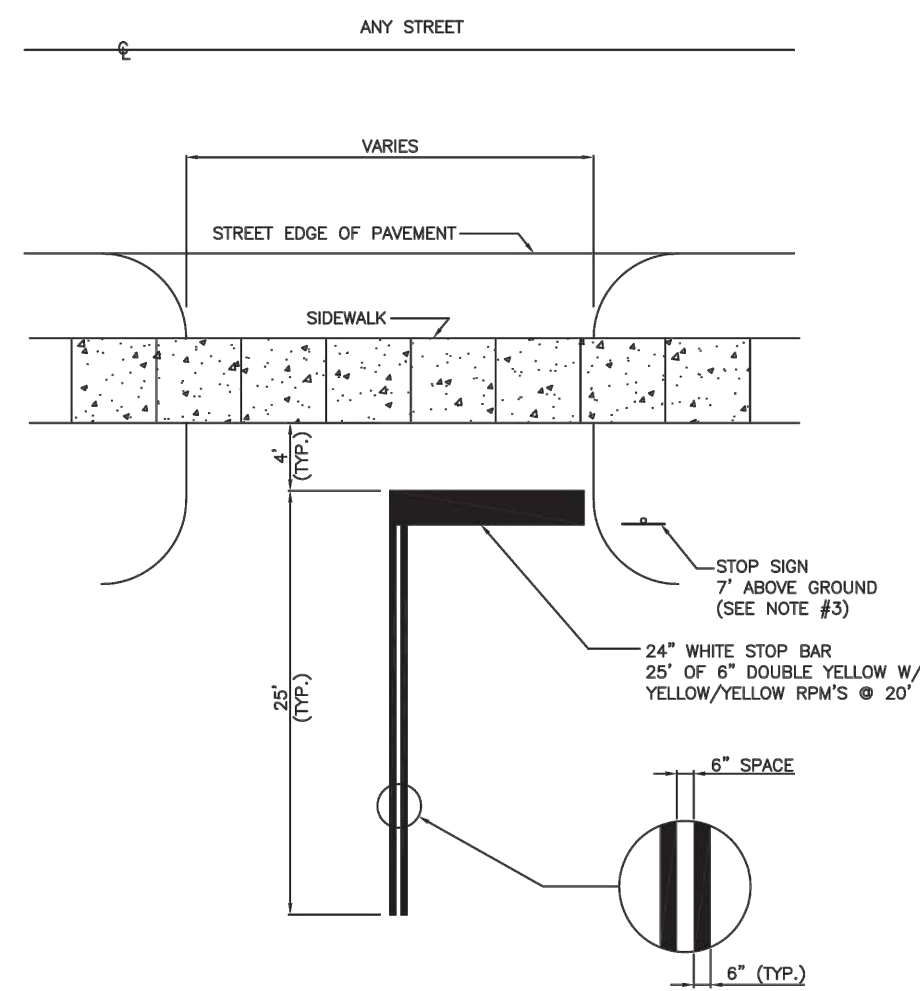
NO.	DATE	DESCRIPTION
1	9-24-24	TAC REVIEW COMMENTS
2	11-13-24	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@engmail.com
CA# 31158

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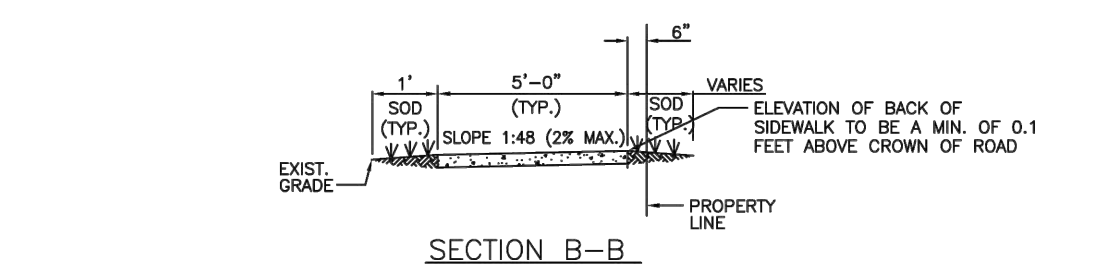
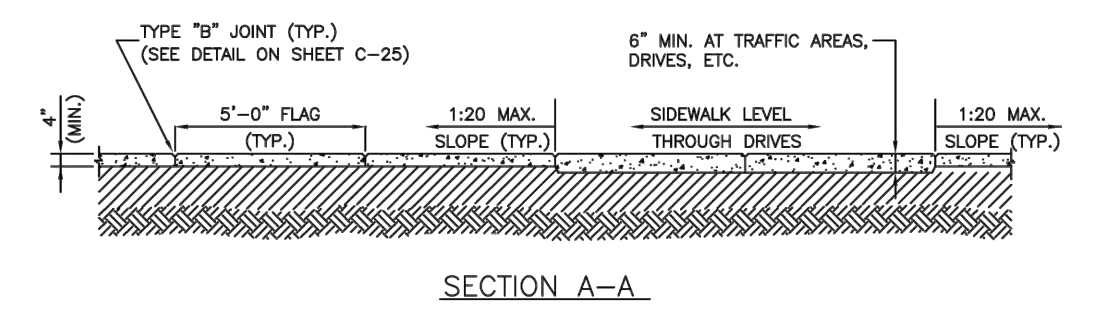
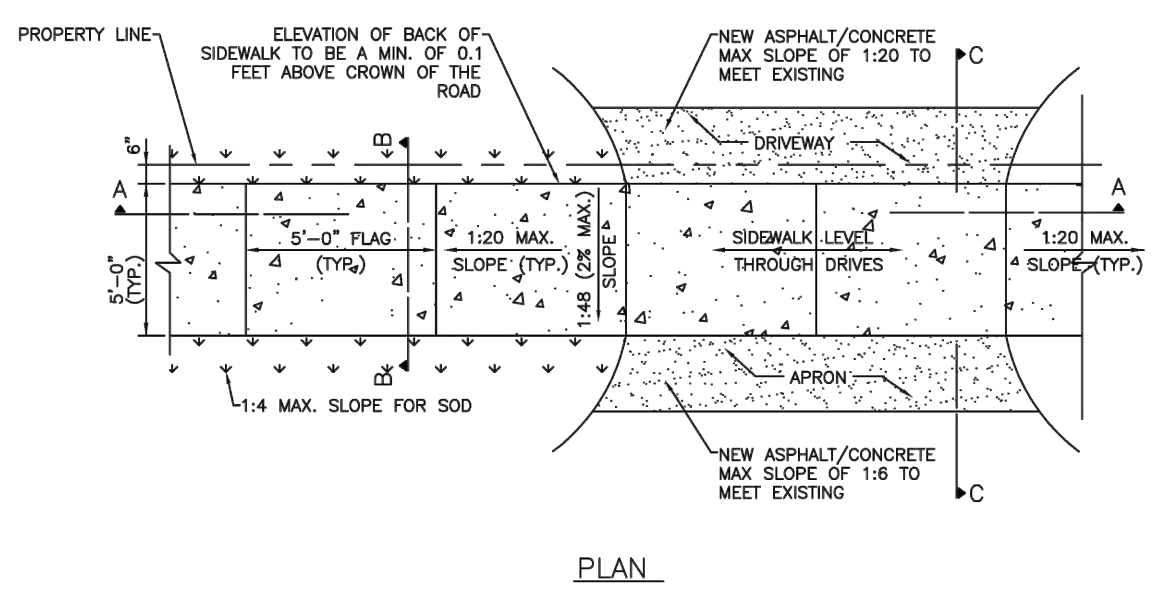
LINCOLN PARK RESIDENCES
2219 LINCOLN STREET
HOLLYWOOD, FL 33020

P.E.#: 76036
DATE: 1/11/24
SCALE: N.T.S.
SHEET NO.: C3
3 OF 13
PROJECT NO.: 24-01



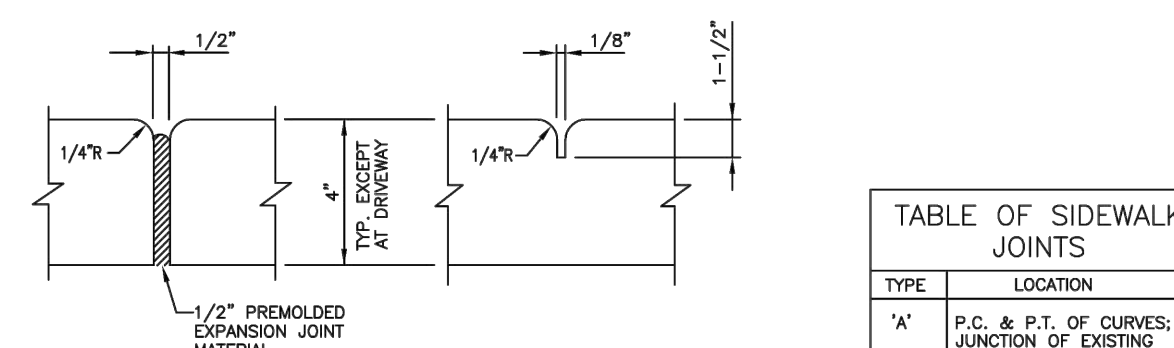
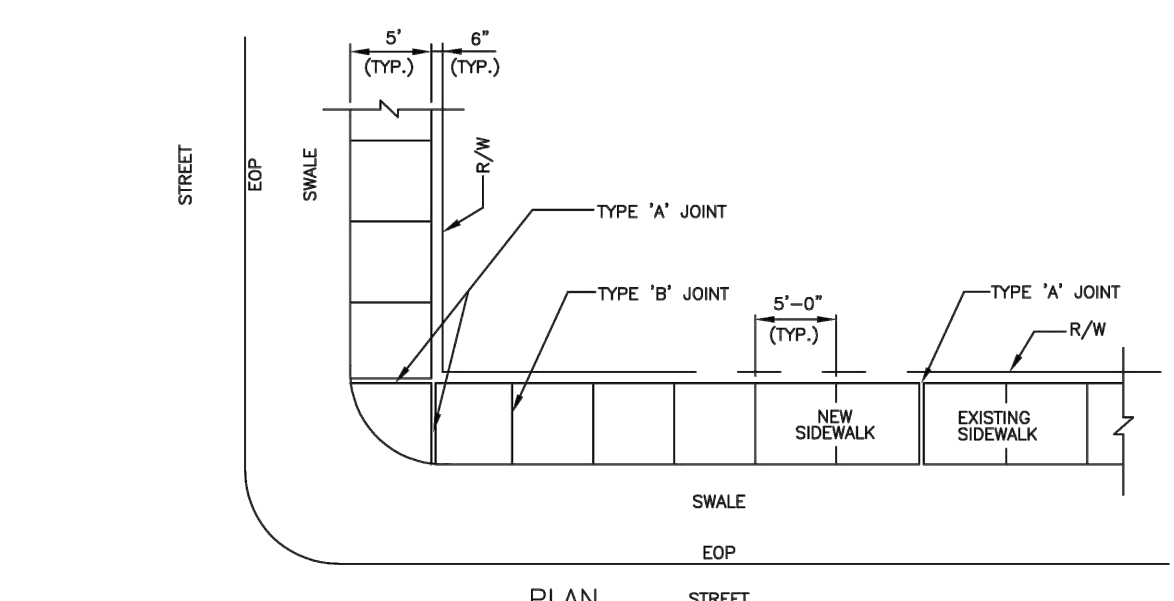
- NOTES:
- USE TRAFFIC GRADE PAINT OR THERMOPLASTIC WHEN REQUIRED BY THE CITY ENGINEER.
 - ALL SIGNAGE AND MARKING SHALL BE IN ACCORDANCE WITH MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARD.
 - REFER TO STOP SIGN AND STREET IDENTIFICATION ASSEMBLY TYPICAL DETAILS FROM BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (LATEST EDITION).

	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: --
	DRAWN: EG	PARKING LOT EXIT-ENTRANCE DETAIL	DRAWING NO.: C-20
	APPROVED: JG		



- NOTE:
- ALL SIDEWALK CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE ADA STANDARDS.
 - LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF THE SIDEWALK.
 - ALL SIDEWALKS CROSS SLOPES SHALL BE 1:48 (2% MAX.); AND, RUNNING SLOPES 1:20 MAX.

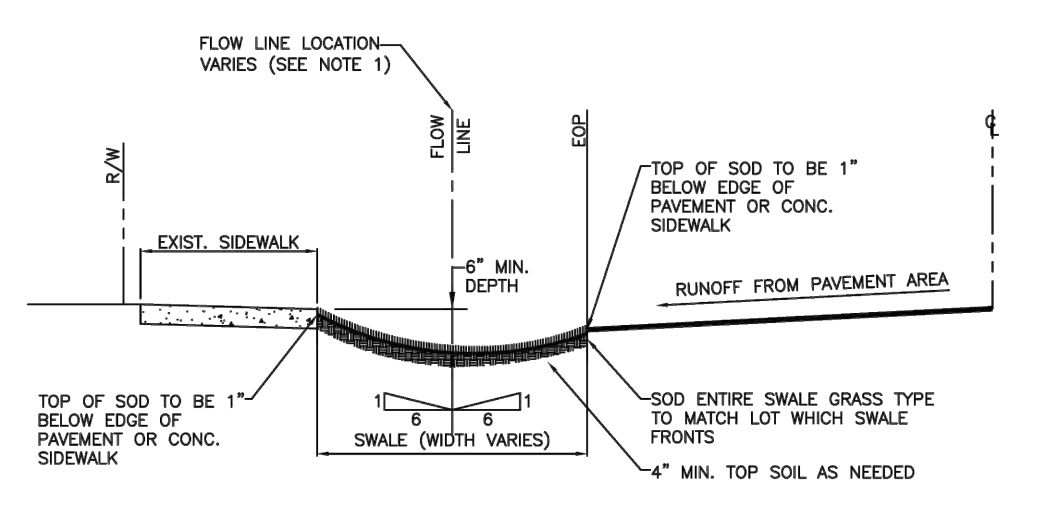
	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: --
	DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (1 OF 3)	DRAWING NO.: C-23
	APPROVED: JG		



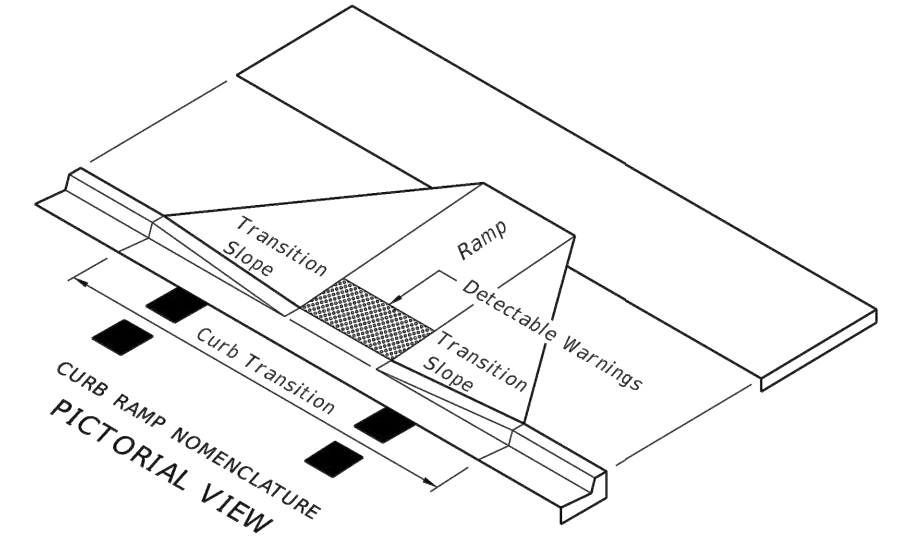
TYPE	LOCATION
"A"	P.C. & P.T. OF CURVES; JUNCTION OF EXISTING AND NEW SIDEWALKS; WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES.
"B"	5' CENTER TO CENTER ON SIDEWALKS.

- NOTES:
- CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
 - USE OF FIBER REINFORCED CEMENT IS PROHIBITED.
 - SIDEWALK LONGITUDINAL AND CROSS SLOPES SHALL MEET ADA STANDARDS.
 - SIDEWALK CURB RAMP SHALL BE PROVIDED AT ALL DESIGNATED PEDESTRIAN CROSSING AT INTERSECTIONS PER FDOT STANDARD PLANS INDEX NO. 522-002.
 - THE VERTICAL DEVIATION OF THE COVER/SLAB OF A GIVEN UTILITY BOX/STRUCTURE SHALL NOT BE MORE THAN 4" DIFFERENCE IN HEIGHT/ELEVATION OF THE FINISHED SIDEWALK SURFACE.
 - 4" THICK MINIMUM (TYP.); 6" THICK AT DRIVEWAYS, EXTENDED TWO FEET ON BOTH SIDES BEYOND THE DRIVE.

	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: --
	DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (3 OF 3)	DRAWING NO.: C-25
	APPROVED: JG		



	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: --
	DRAWN: EG	TYPICAL SWALE GRADING	DRAWING NO.: C-33
	APPROVED: JG		

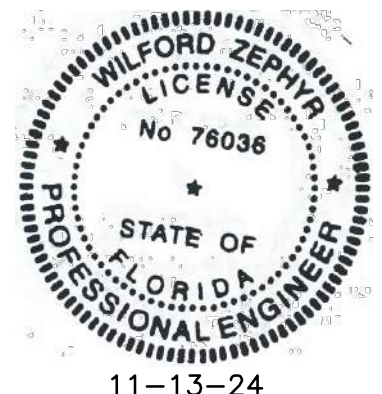


LEGEND

Detectable Warnings

- GENERAL NOTES
- Sidewalk curb ramps shall be constructed at locations that will provide continuous unobstructed pedestrian circulation path to pedestrian areas, elements and facilities within the right of way and to accessible pedestrian routes on adjacent sites. Curbed facilities with sidewalks and those without sidewalks are to have curb ramps constructed for all intersections and turnouts with curbed returns. To accommodate curb ramps, partial curb returns are to extend to the limits prescribed in Index No. 515. Ramps constructed at locations without sidewalks are to have a landing constructed at the top of each ramp, see LANDINGS FOR CURB RAMP WITHOUT SIDEWALKS.
 - When altering existing pedestrian facilities, where existing restricted conditions preclude the accommodation of a ramp slope of 1:12, a ramp slope between 1:12 and 1:10 is permitted for a rise of 6" maximum. Where compliance with the requirements for cross slope cannot be fully met, the minimum feasible cross slope shall be provided. Ramp slopes are not required to exceed 15' in length.
 - If sidewalk curb ramps are located where pedestrians must walk across the ramp, then provide transition slopes to the ramp; otherwise a sidewalk curb may be required.
 - All sidewalks, ramps, and landings with a cross slope of 0.02 shown in this Index are 0.02 maximum. All ramp slopes shown in this Index as 1:12 are 1:12 maximum. Landings shall have slopes less than or equal to 0.02 in any direction.
 - Grade breaks at the top and bottom of ramps shall be parallel to each other and perpendicular to the direction of the ramp slope.
 - Where a sidewalk curb ramp is constructed within existing curb, curb and gutter and/or sidewalk, the existing curb or curb and gutter shall be removed to the nearest joint beyond the curb transition or to the extent that no remaining section of curb or curb and gutter is less than 5' long. Existing sidewalks shall be removed to the nearest joint beyond the transition slope or to the extent that no remaining section of sidewalk is less than 5' long. For CONCRETE SIDEWALK details refer to Index 310.
 - Sidewalk curb ramp alpha-identifications are for reference purposes (plans, permits, etc.). Alpha-identifications CR-1 and CR-2 were intentionally omitted.
 - Detectable warnings shall extend the full width of the ramp and to a depth of 2'. Detectable warnings shall be constructed in accordance with Specification Section 527. For the layout of detectable warnings, refer to the TYPICAL PLACEMENT OF DETECTABLE WARNINGS details. Detectable warnings shall not be provided on transition slopes.
 - When detectable warnings are placed on a slope greater than 5%, domes shall be aligned with the centerline of the ramp; otherwise domes are not required to be aligned.
 - Detectable warnings shall be required on sidewalks at:
 - Intersecting roads,
 - Median Crossings greater than or equal to 6' in width,
 - Railroad Crossings,
 - Signalized driveways.
 - Detectable Warnings - Acceptance Criteria:
 - Color and texture shall be complete and uniform.
 - 90% of individual truncated domes shall be in accordance with the Americans with Disabilities Act Standards for Transportation Facilities, Section 705.
 - There shall be no more than 4 non-compliant domes in any one square foot.
 - Non-compliant domes shall not be adjacent to other non-compliant domes.
 - Surfaces shall not deviate more than 0.10' from a true plane.
 - Detectable warnings shall be installed no greater than 5' from the back of curb or edge of pavement.
 - Detectable warnings shall not be installed over grade breaks.

LAST REVISION 07/01/13	DESCRIPTION:		FDOT 2014 DESIGN STANDARDS	INDEX NO. 304	SHEET NO. 1 of 7
			DETECTABLE WARNINGS AND SIDEWALK CURB RAMP		



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P.E.#:76036

DATE: 1/11/24

SCALE: N.T.S.

SHEET NO.: C4

4 OF 13

PROJECT NO.: 24-01

CIVIL DETAILS II

SCALE: N.T.S.

NO.	DATE	DESCRIPTION	TAC REVIEW COMMENTS
1	11-13-24		

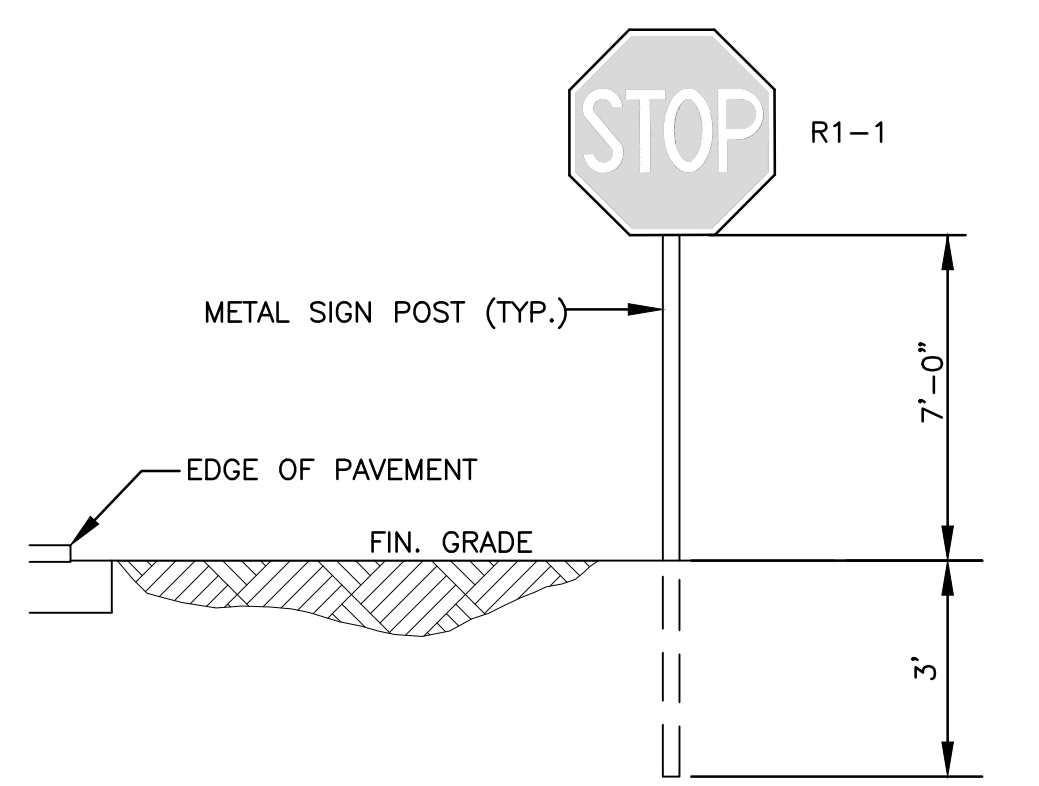
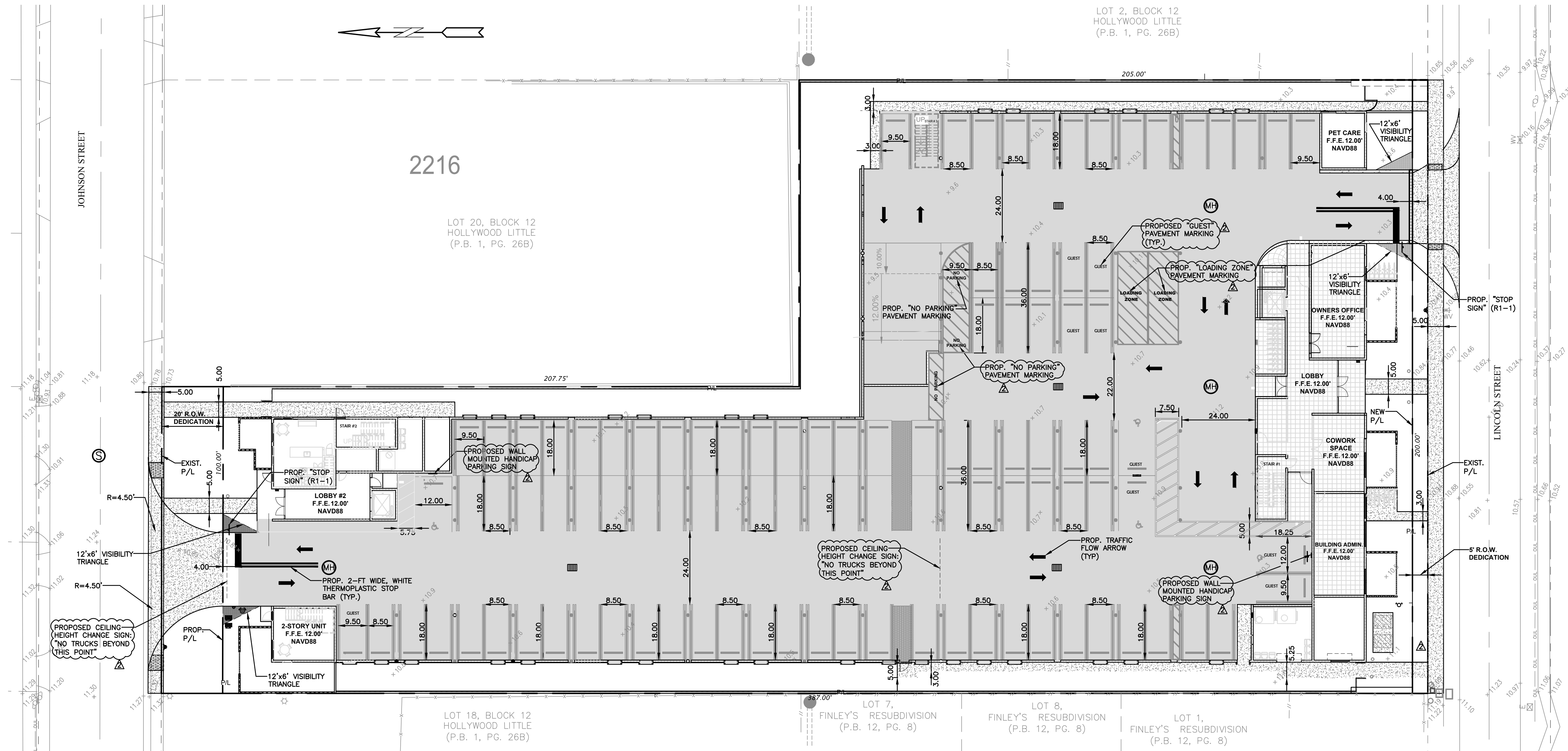
ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyreng@gmail.com
CA#: 31158

ZE

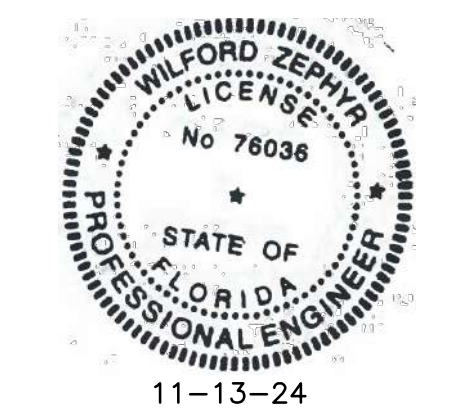
LINCOLN PARK RESIDENCES
2219 LINCOLN STREET
HOLLYWOOD, FL 33020

BCTED NO. XXXXXXX



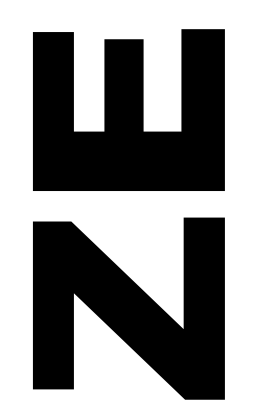
TYPICAL SIGN INSTALLATION DETAILS

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REVISIONS	
NO.	DESCRIPTION
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2	9-24-24 TAC REVIEW COMMENTS
3	11-13-24 TAC REVIEW COMMENTS

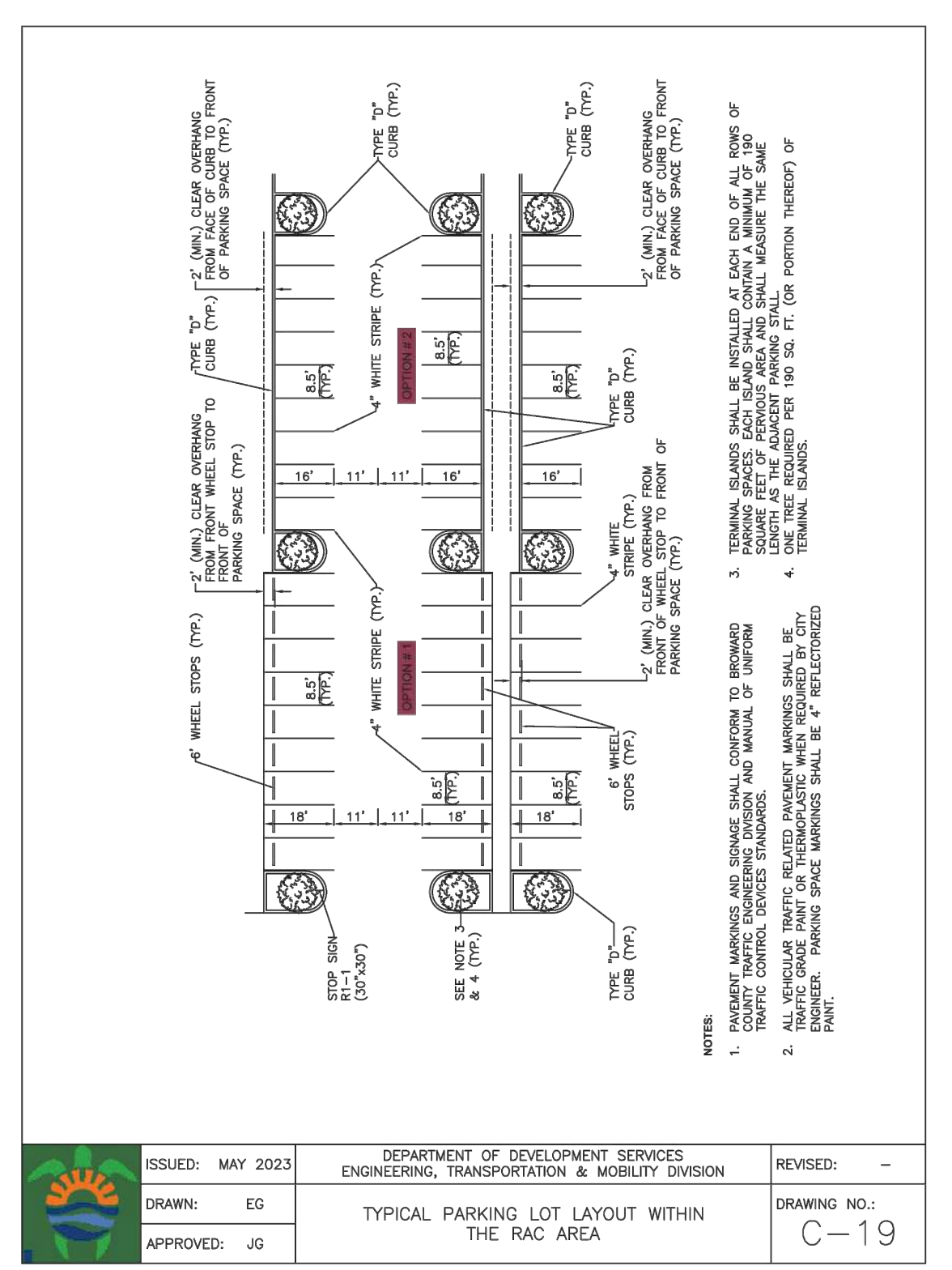
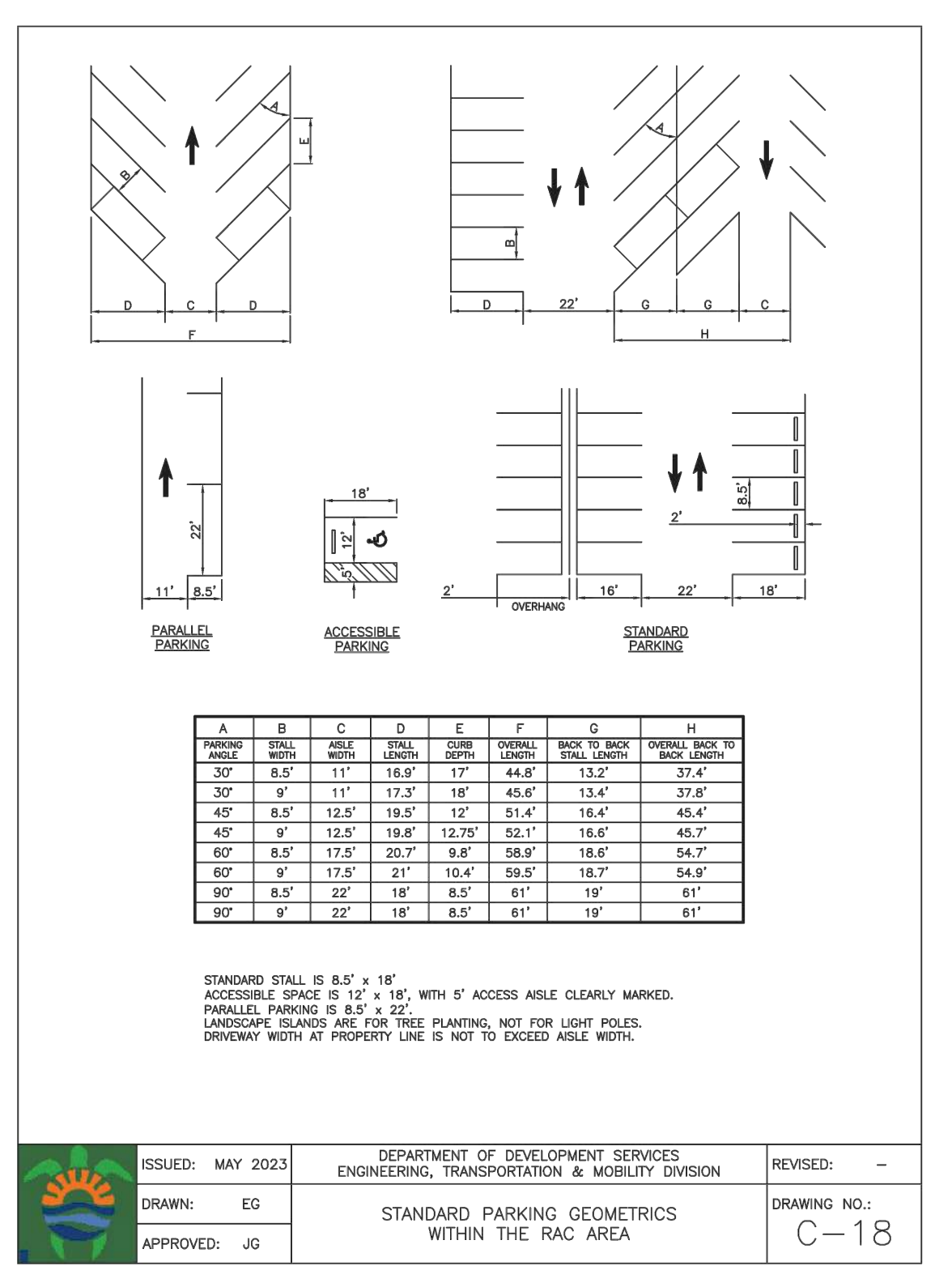
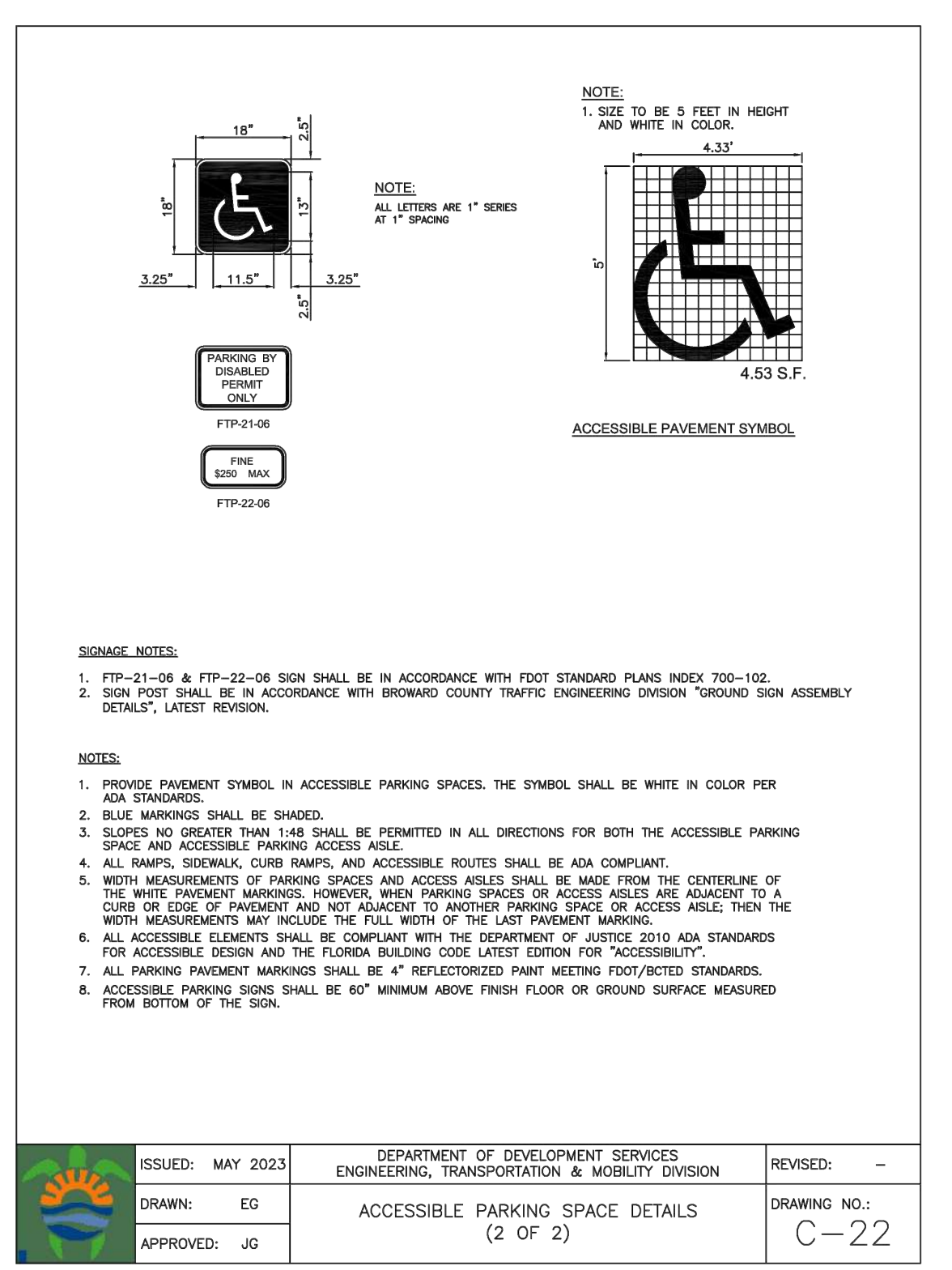
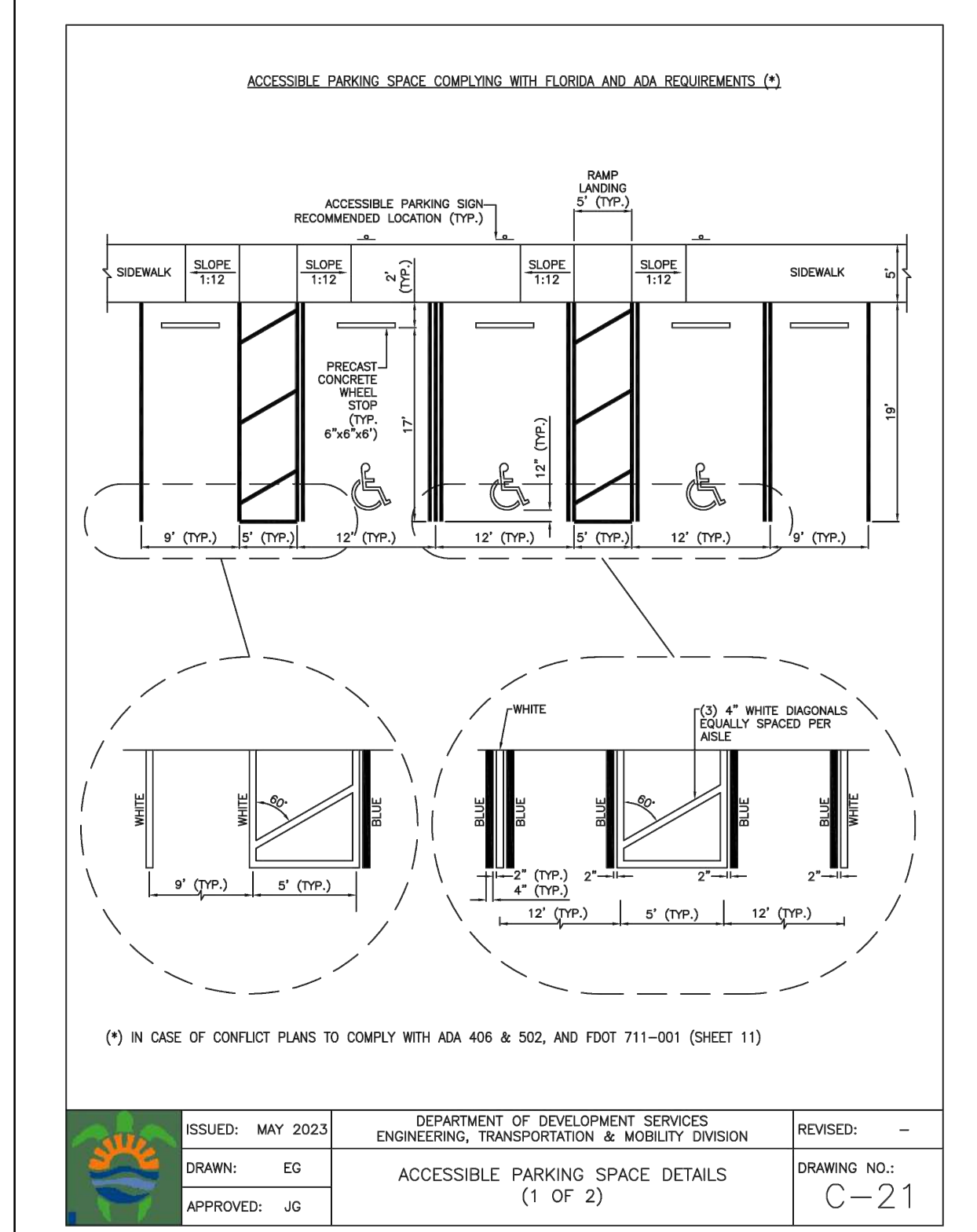
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WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyreng@gmail.com
CA#: 31158



LINCOLN PARK RESIDENCES
2219 LINCOLN STREET
HOLLYWOOD, FL 33020

P.E. #76036
DATE: 1/11/24
SCALE: 1"=20'
SHEET NO.: C5
5 OF 13
PROJECT NO.: 24-01

- LEGEND**
- PROPOSED CONCRETE
 - PROPOSED ONSITE CONC. PAVEMENT
 - PROPOSED GRADE
 - EXISTING ELEVATION
 - PROPOSED CATCH BASIN
 - EXISTING CATCH BASIN
 - PROPOSED WATER METER
 - EXISTING WATER METER
 - EXISTING WATER VALVE
 - PROPOSED BFP DEVICE
 - EXISTING SAN. SEWER MH
 - EXISTING FIRE HYDRANT

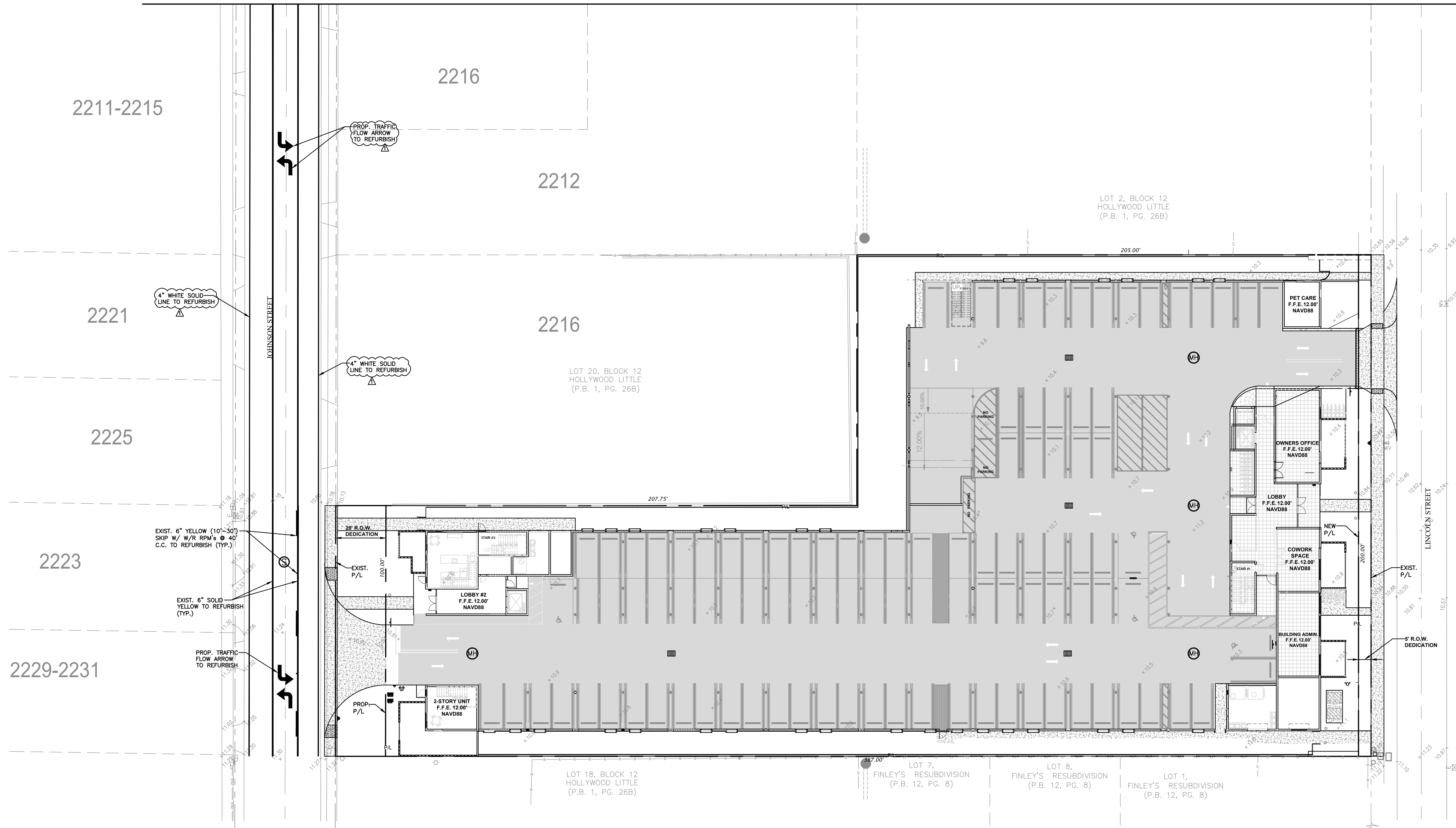
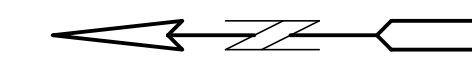


PAVEMENT MARKINGS & SIGNAGE PLAN
SCALE: 1"=20'

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

BCTED NO. XXXXXXXX

MATCH LINE (SEE SHEET C7)



LEGEND

- | | | | |
|--|----------------------|--|------------------------|
| | PROPOSED CONCRETE | | EXISTING WATER METER |
| | PROPOSED ASPHALT | | EXISTING WATER VALVE |
| | PROPOSED GRADE | | PROPOSED BFP DEVICE |
| | EXISTING ELEVATION | | EXISTING SAN. SEWER MH |
| | PROPOSED CATCH BASIN | | EXISTING FIRE HYDRANT |
| | EXISTING CATCH BASIN | | |
| | PROPOSED WATER METER | | |



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R.O.W. PAVEMENT MARKINGS PLAN I
 SCALE: 1"=40'

NO.	DATE	DESCRIPTION	TAC REVIEW COMMENTS
1	9-24-24		

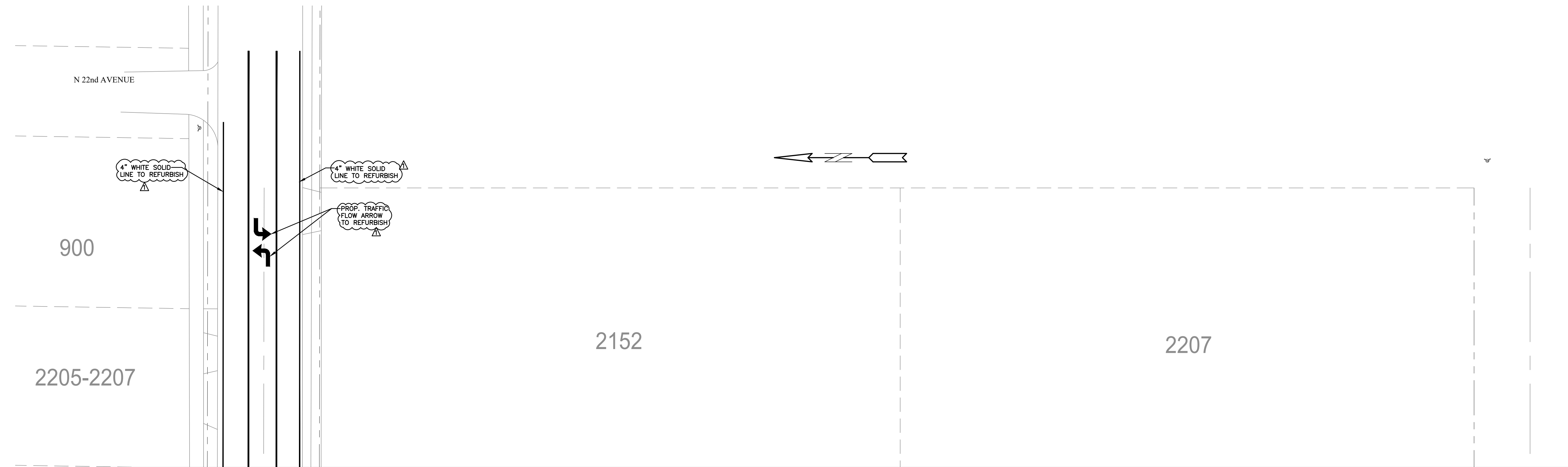
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 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyr@gmail.com
 CA#: 31158

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 2219 LINCOLN STREET
 HOLLYWOOD, FL 33020

P.E.#: 76036
 DATE: 1/11/24
 SCALE: 1"=20'
 SHEET NO.: C6
 6 OF 13
 PROJECT NO.: 24-01

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

BCTED NO. XXXXXXXX



MATCH LINE (SEE SHEET C6)

LEGEND

- | | | | |
|--|----------------------|--|------------------------|
| | PROPOSED CONCRETE | | EXISTING WATER METER |
| | PROPOSED ASPHALT | | EXISTING WATER VALVE |
| | PROPOSED GRADE | | PROPOSED BFP DEVICE |
| | EXISTING ELEVATION | | EXISTING SAN. SEWER MH |
| | PROPOSED CATCH BASIN | | EXISTING FIRE HYDRANT |
| | EXISTING CATCH BASIN | | |
| | PROPOSED WATER METER | | |



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R.O.W. PAVEMENT MARKINGS PLAN I
 SCALE: 1"=40'

NO.	DATE	DESCRIPTION	TAC	REVIEW COMMENTS
1	9-24-24			

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 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyreng@gmail.com
 CA#: 31158



LINCOLN PARK RESIDENCES
 2219 LINCOLN STREET
 HOLLYWOOD, FL 33020

P.E.#: 76036
 DATE: 1/11/24
 SCALE: 1"=20'
 SHEET NO.: C7
 7 OF 13
 PROJECT NO.: 24-01

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

BCTED NO. XXXXXXX

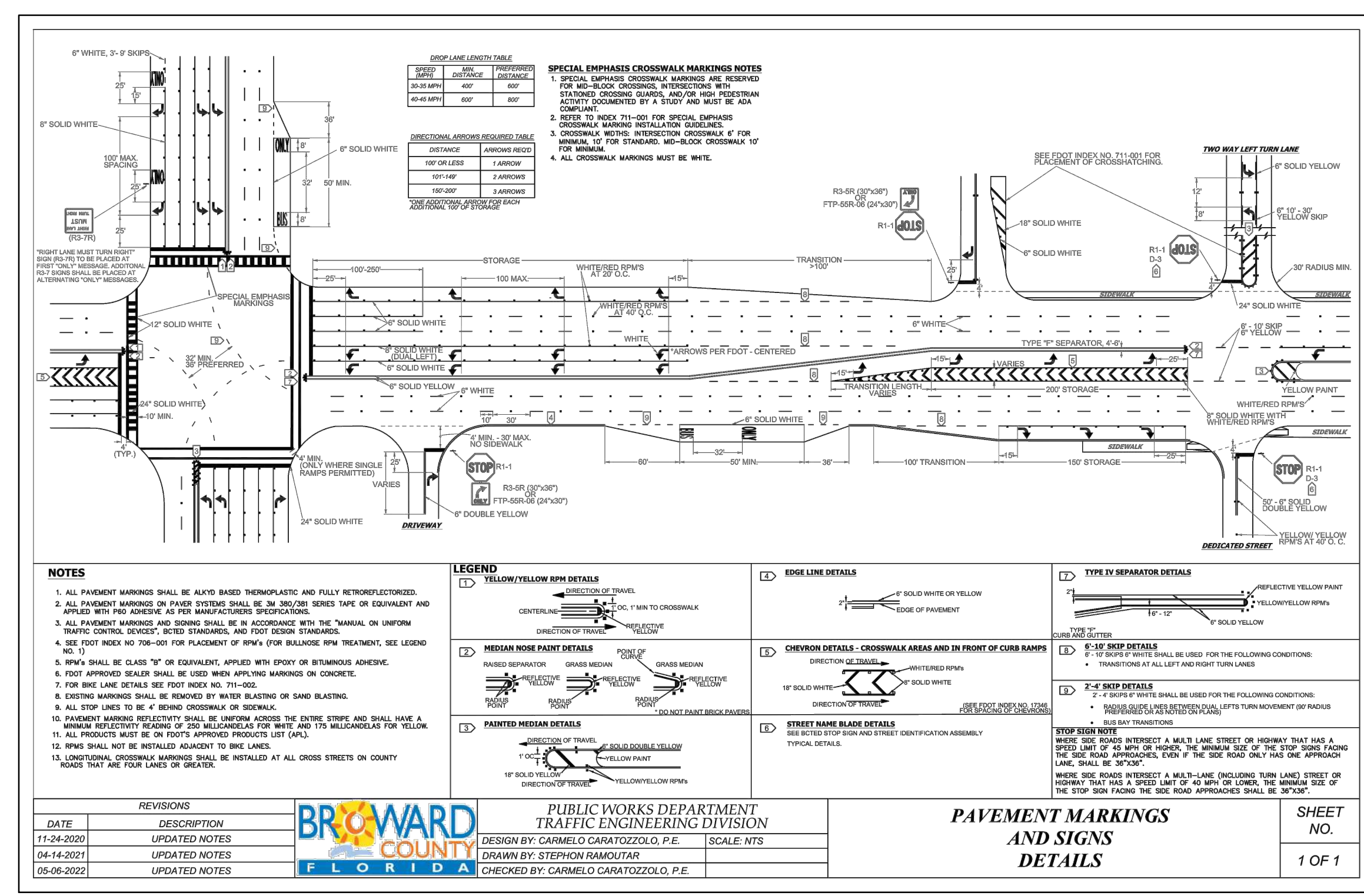
NO.	DATE	REVISIONS DESCRIPTION

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 HOLLYWOOD, FL
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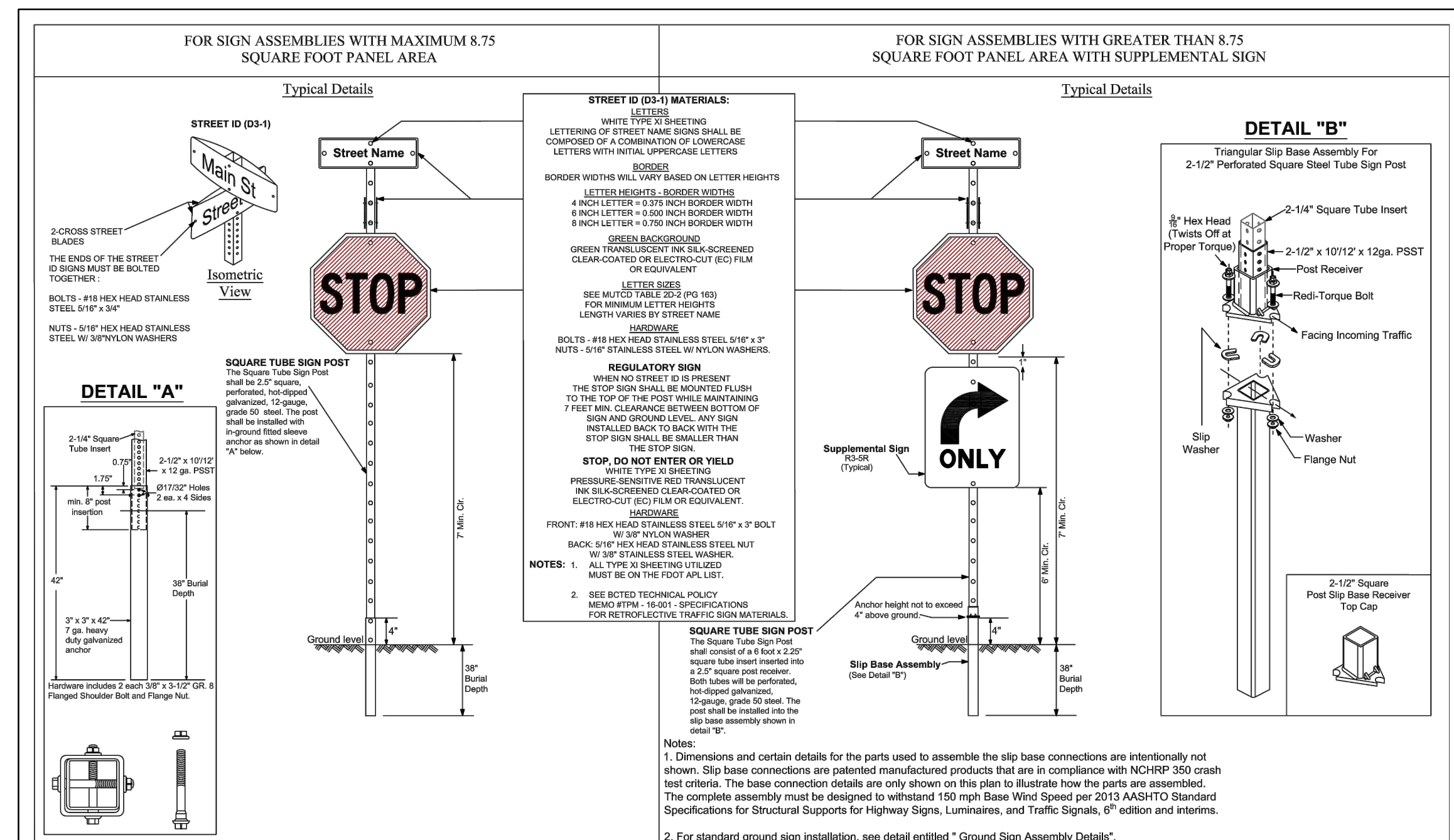
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 2219 LINCOLN STREET
 HOLLYWOOD, FL 33020

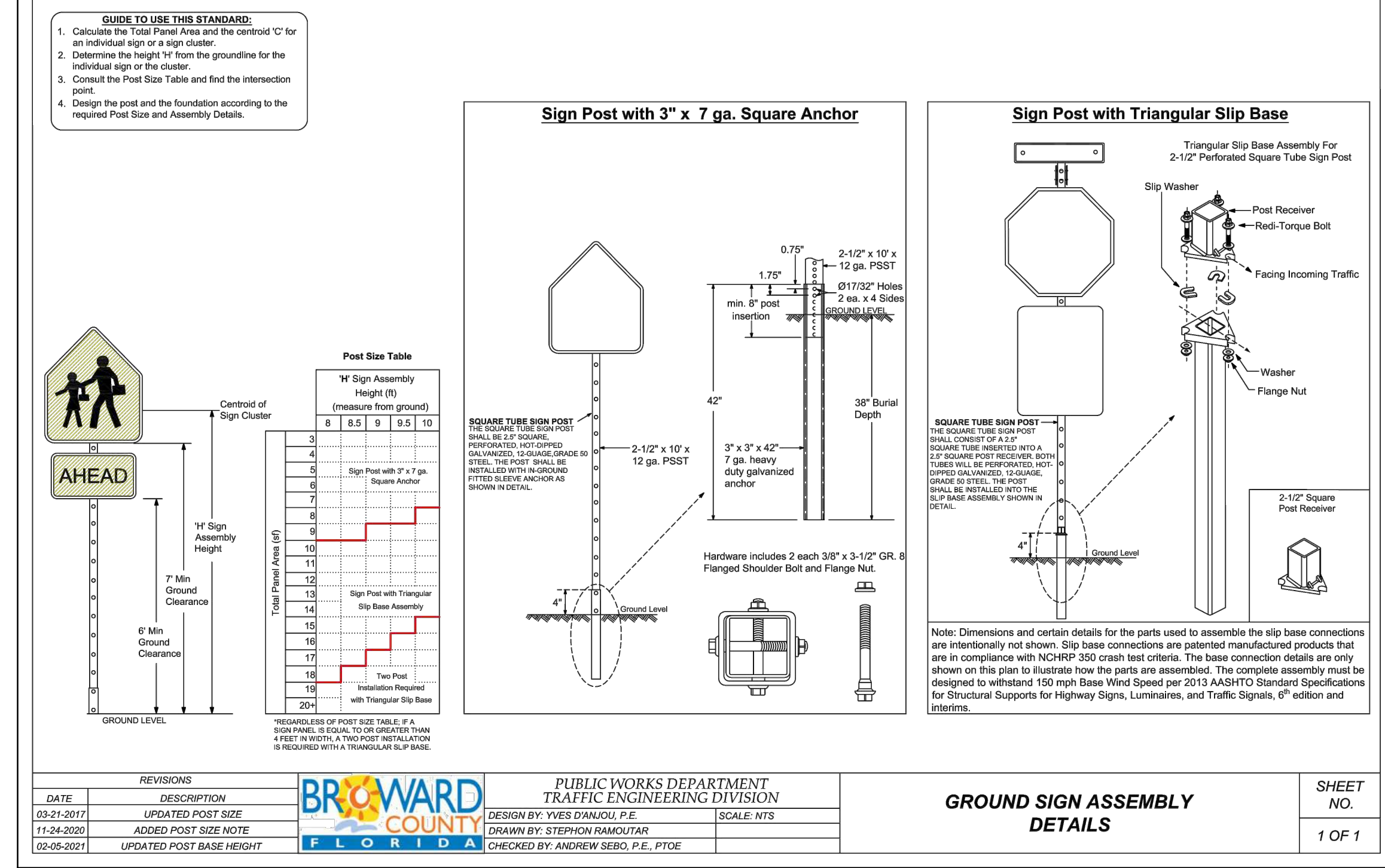
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 DATE: 1/11/24
 SCALE: N.T.S.
 SHEET NO.: C8
 8 OF 13
 PROJECT NO.: 24-01



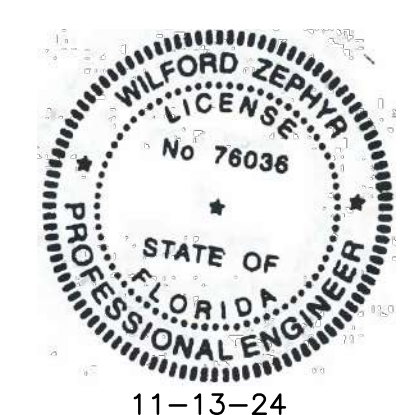
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02-05-2021	UPDATED POST BASE HEIGHT	CARMELO CARATOZZOLO, P.E.	STEPHON RAMOUTAR	N.T.S.
06-22-2022	UPDATED SIGN POST NOTES	CARMELO CARATOZZOLO, P.E.	STEPHON RAMOUTAR	N.T.S.



DATE	DESCRIPTION	DESIGN BY	CHECKED BY	SCALE
02-28-2020	ADDED ISOMETRIC VIEW	CARMELO CARATOZZOLO, P.E.	STEPHON RAMOUTAR	N.T.S.
02-05-2021	UPDATED POST BASE HEIGHT	CARMELO CARATOZZOLO, P.E.	STEPHON RAMOUTAR	N.T.S.
06-22-2022	UPDATED SIGN POST NOTES	CARMELO CARATOZZOLO, P.E.	STEPHON RAMOUTAR	N.T.S.



DATE	DESCRIPTION	DESIGN BY	CHECKED BY	SCALE
02-28-2020	ADDED ISOMETRIC VIEW	CARMELO CARATOZZOLO, P.E.	STEPHON RAMOUTAR	N.T.S.
02-05-2021	UPDATED POST BASE HEIGHT	CARMELO CARATOZZOLO, P.E.	STEPHON RAMOUTAR	N.T.S.
06-22-2022	UPDATED SIGN POST NOTES	CARMELO CARATOZZOLO, P.E.	STEPHON RAMOUTAR	N.T.S.



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R.O.W. PAVEMENT MARKINGS PLAN DETAILS I
 SCALE: N.T.S.

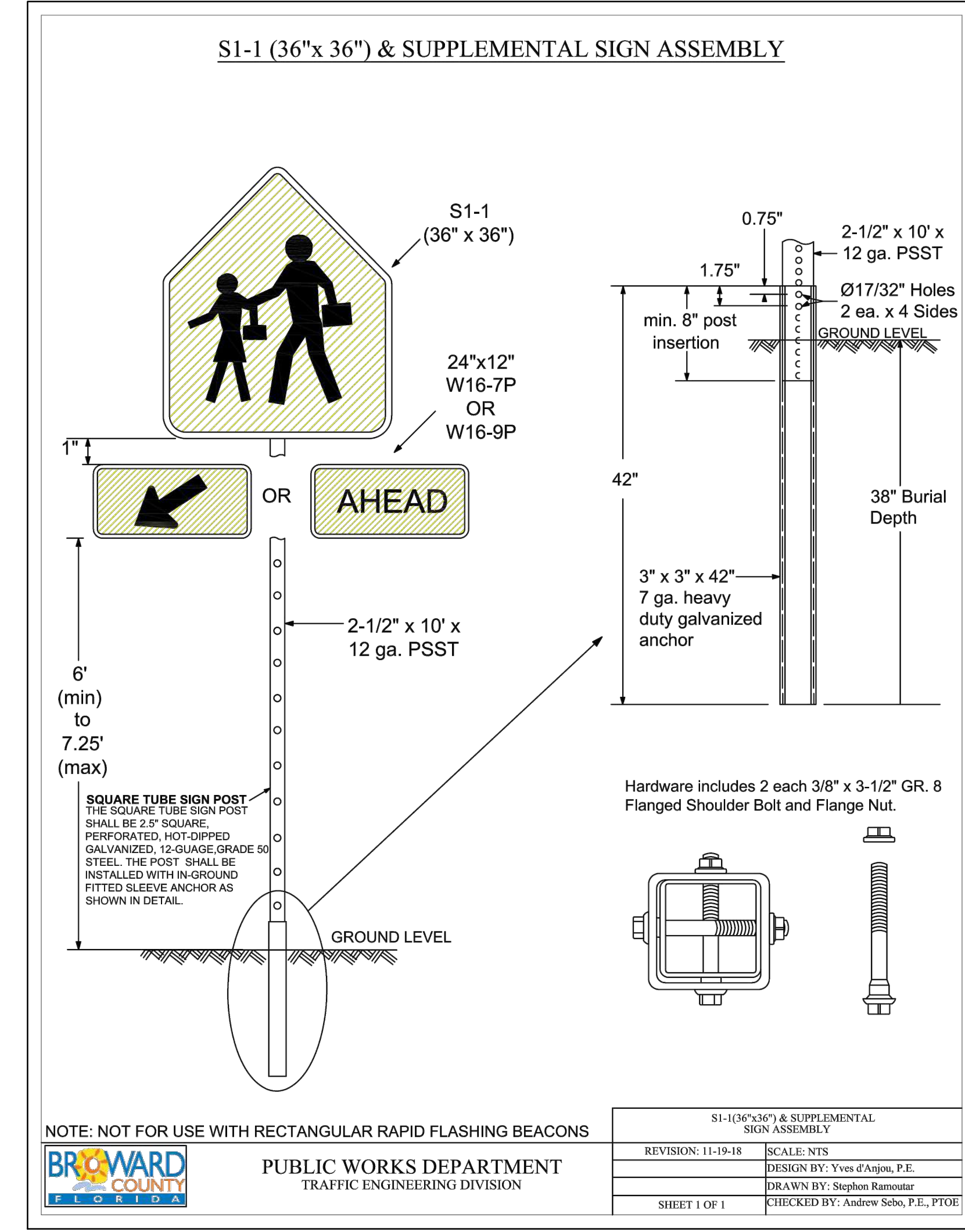
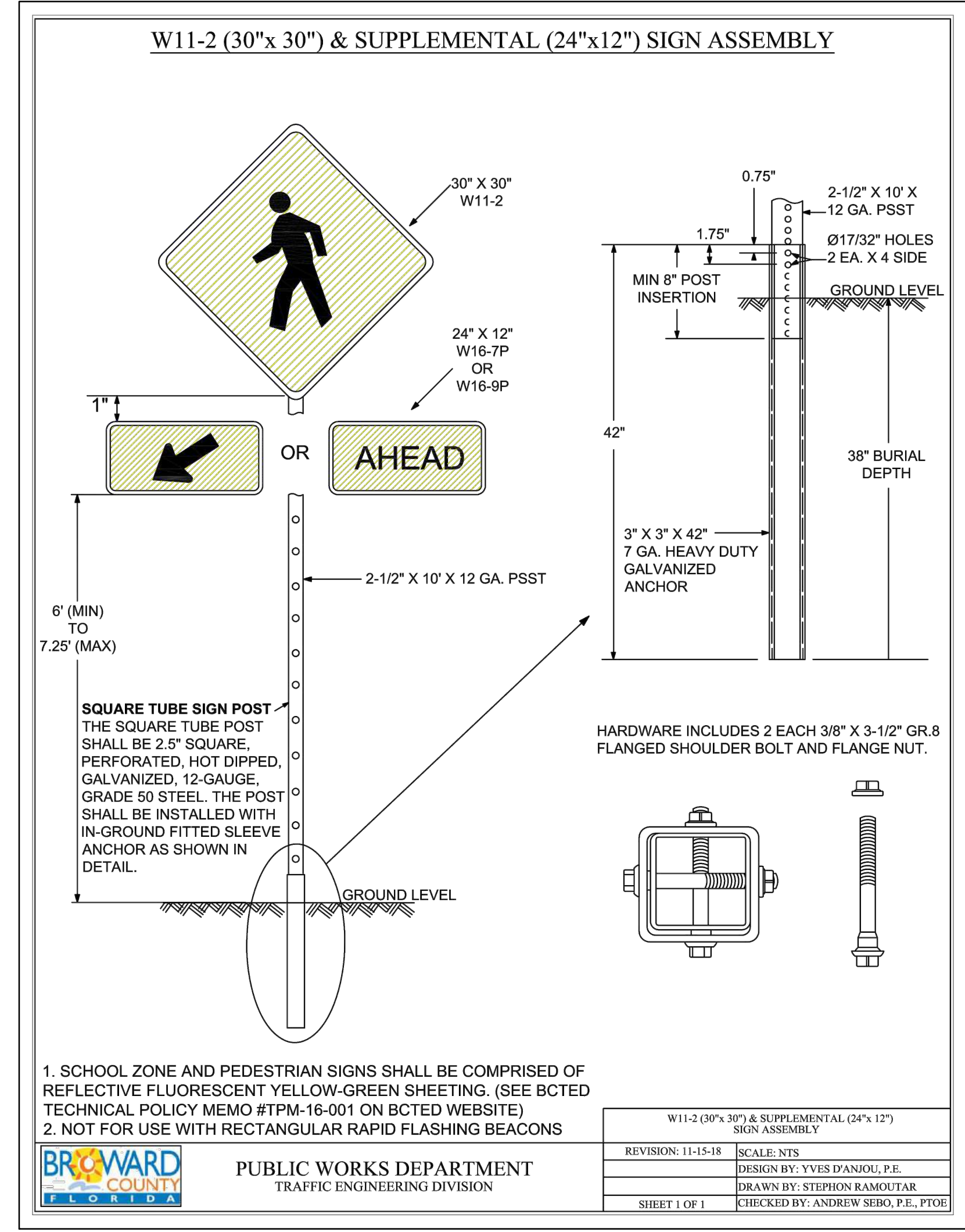
NO.	DATE	REVISIONS DESCRIPTION

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 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyreng@gmail.com
 CA#: 31158

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LINCOLN PARK RESIDENCES
 2219 LINCOLN STREET
 HOLLYWOOD, FL 33020

P.E.#: 76036
 DATE: 1/11/24
 SCALE: N.T.S.
 SHEET NO.: C9
 9 OF 13
 PROJECT NO.: 24-01

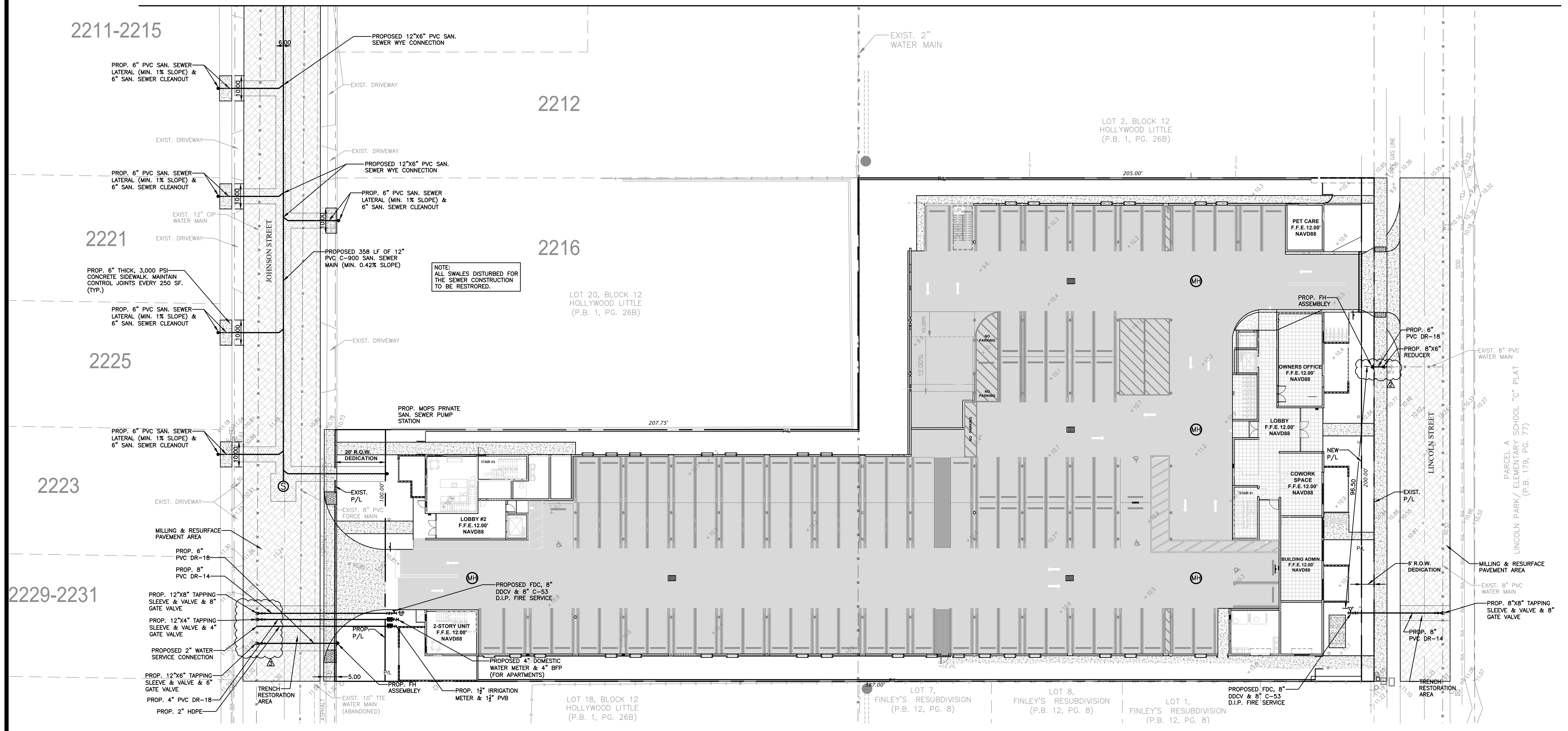


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MATCH LINE (SEE SHEET C11)



NOTE: ALL SWALES DISTURBED FOR THE SEWER CONSTRUCTION TO BE RESTORED.

NOTE: UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE AS DEFINED BY FLORIDA STATUTE 633.102.

Note: Full road width pavement mill and resurfacing and/or pavers, will be required for all streets / roadway adjacent to the project site.

FIRE DEPT. NOTES:
 1. UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE AS DEFINED BY FLORIDA STATUTE 633.102.
 2. WATER SUPPLY AND ANY NEW HYDRANTS SHALL BE IN PLACE PRIOR TO ACCUMULATION OF COMBUSTIBLE MATERIALS PER NFPA 1 (2018 Ed.) SECTION 16.4.3.1.1.



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LEGEND

	PROPOSED CONCRETE		EXISTING WATER METER
	PROPOSED ONSITE CONC. PAVEMENT		EXISTING WATER VALVE
	PROPOSED GRADE		PROPOSED BFP DEVICE
	EXISTING ELEVATION		EXISTING SAN. SEWER MH
	PROPOSED CATCH BASIN		EXISTING FIRE HYDRANT
	EXISTING CATCH BASIN		ASPHALT TO BE MILLED & RESURFACED
	PROPOSED WATER METER		TRENCH/ASPHALT RESTORATION AREA

WATER & SEWER PLAN
 SCALE: 1"=20'

REVISIONS

NO.	DATE	DESCRIPTION
1	4-19-24	TAC REVIEW COMMENTS
2	9-24-24	TAC REVIEW COMMENTS
3	11-13-24	TAC REVIEW COMMENTS

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 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyr@gmail.com
 CA#: 31158

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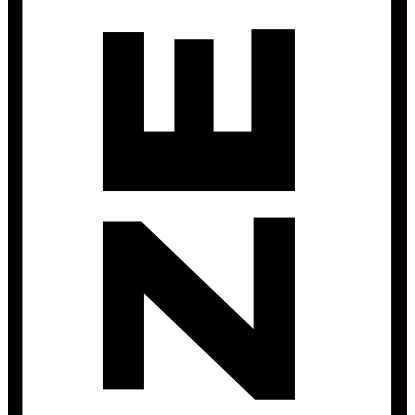
LINCOLN PARK RESIDENCES
 2219 LINCOLN STREET
 HOLLYWOOD, FL 33020

P.E.#: 76036
 DATE: 1/11/24
 SCALE: 1"=20'
 SHEET NO.: C10
 10 OF 13
 PROJECT NO.: 24-01

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

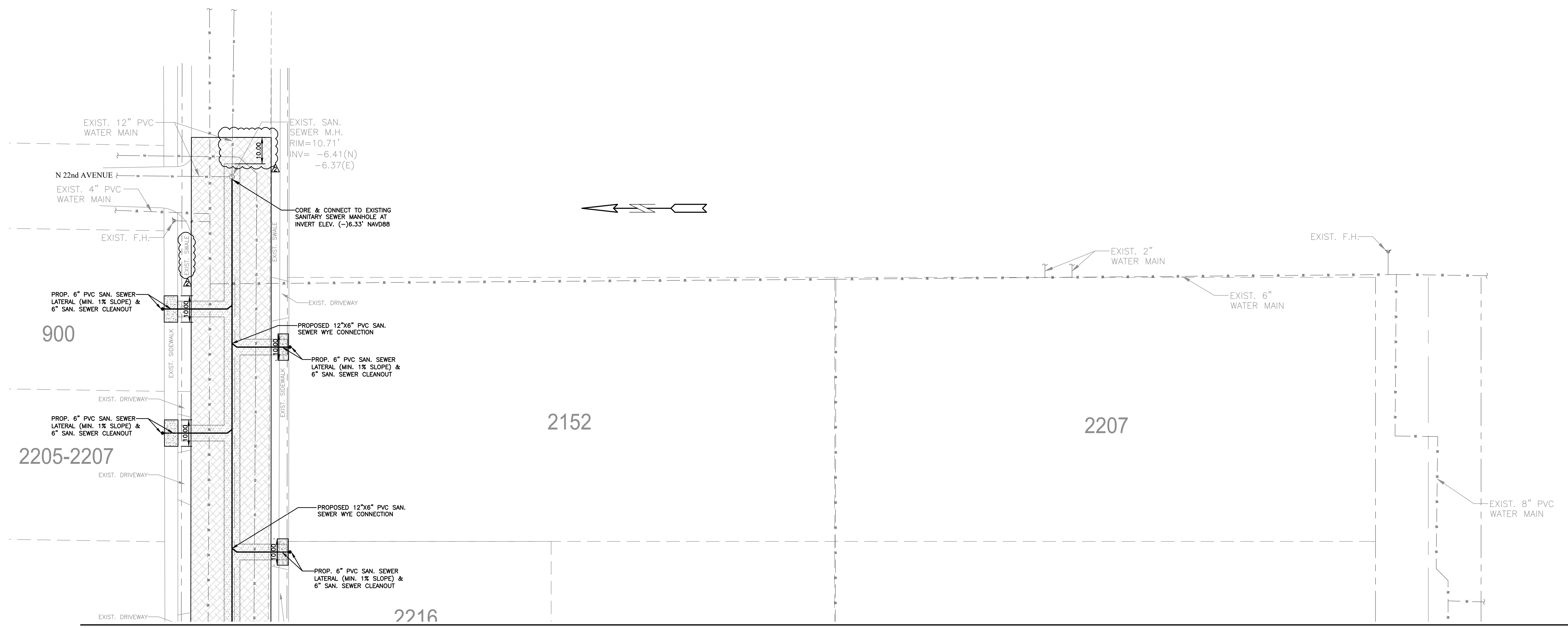
NO.	DATE	DESCRIPTION
1	4-19-24	TAC REVIEW COMMENTS
2	11-13-24	TAC REVIEW COMMENTS

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 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
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 HOLLYWOOD, FL 33020

P.E.#: 76036
DATE: 1/11/24
SCALE: 1"=20'
SHEET NO.: C11
11 OF 13
PROJECT NO.: 24-01

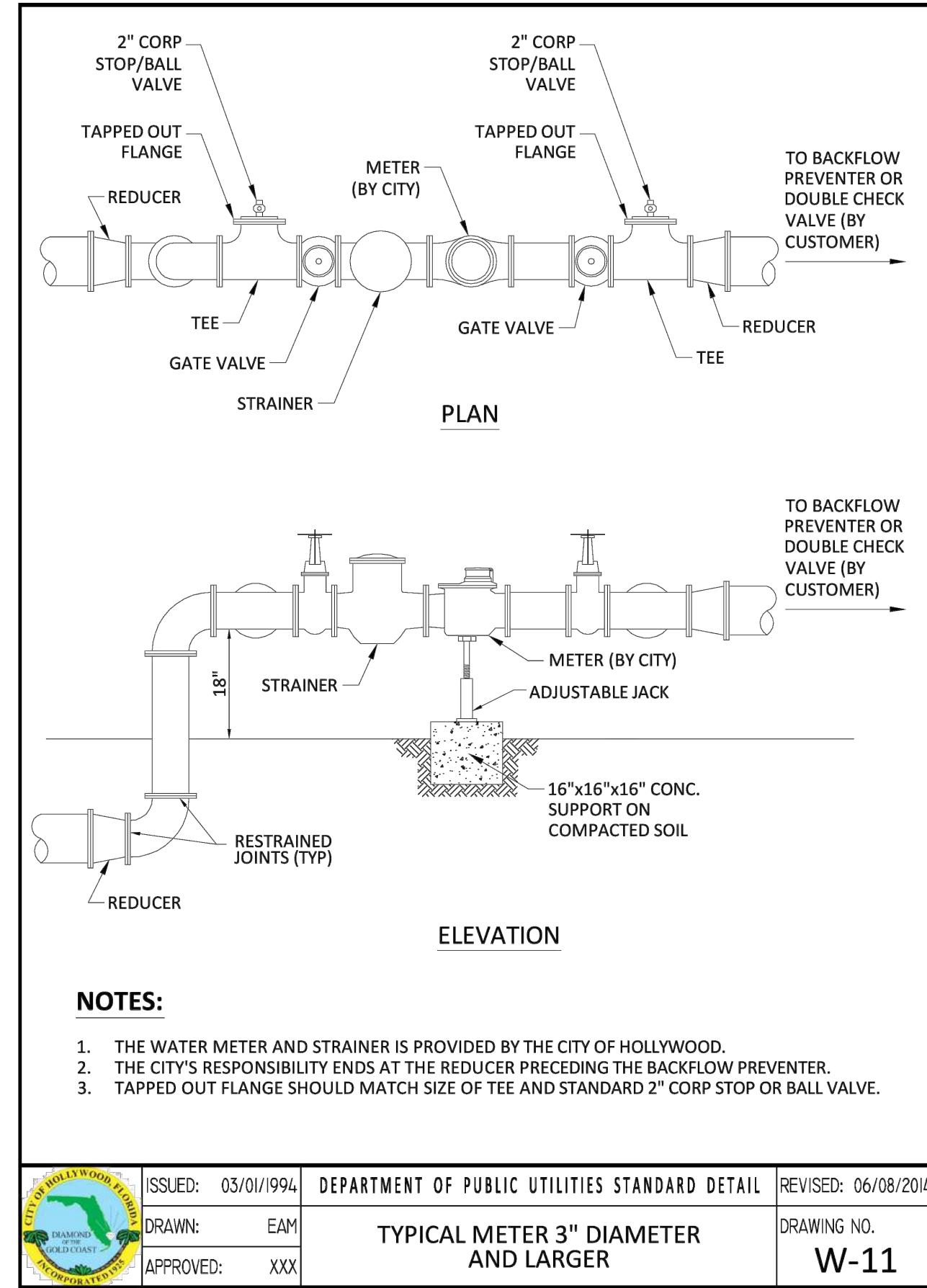
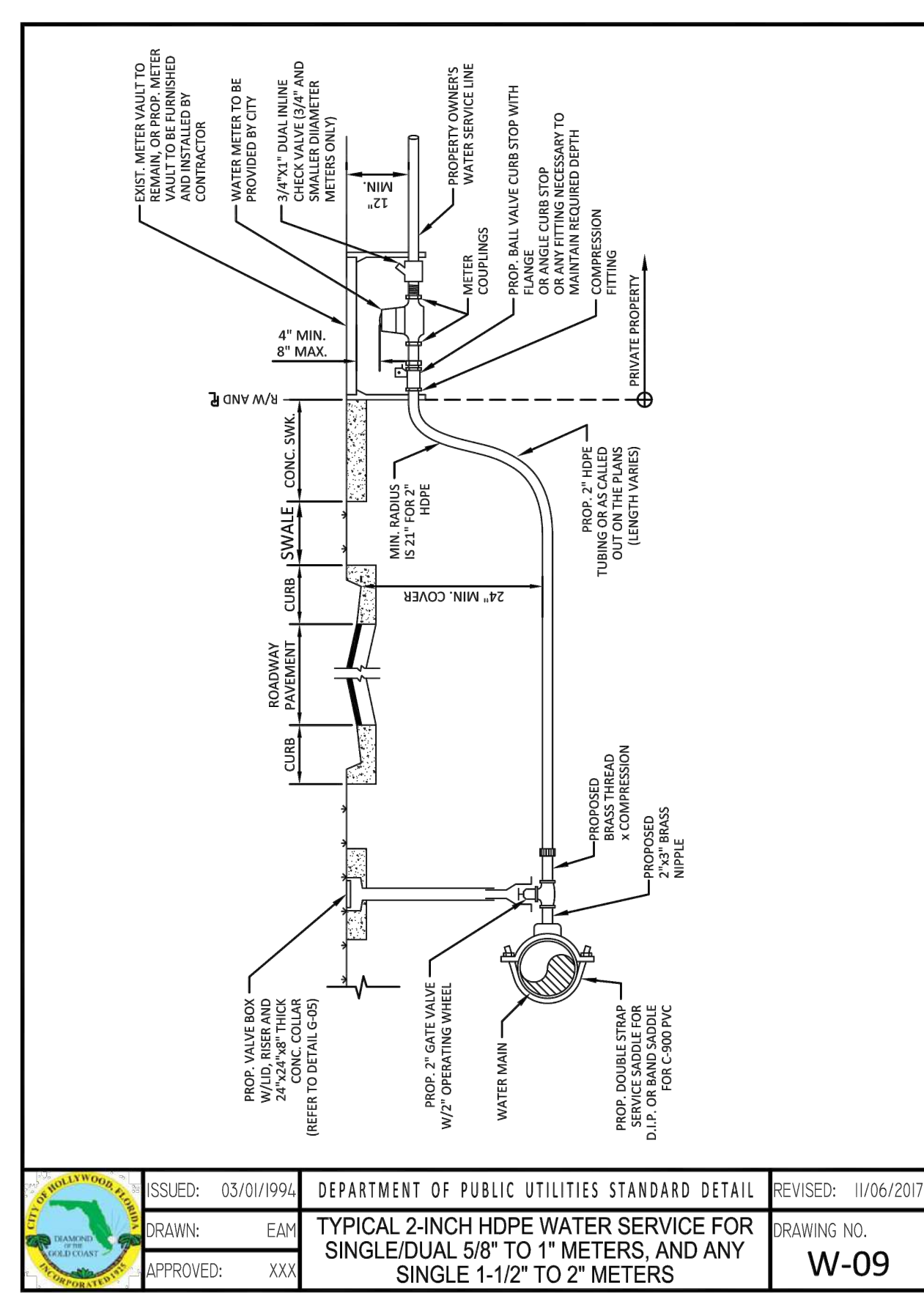
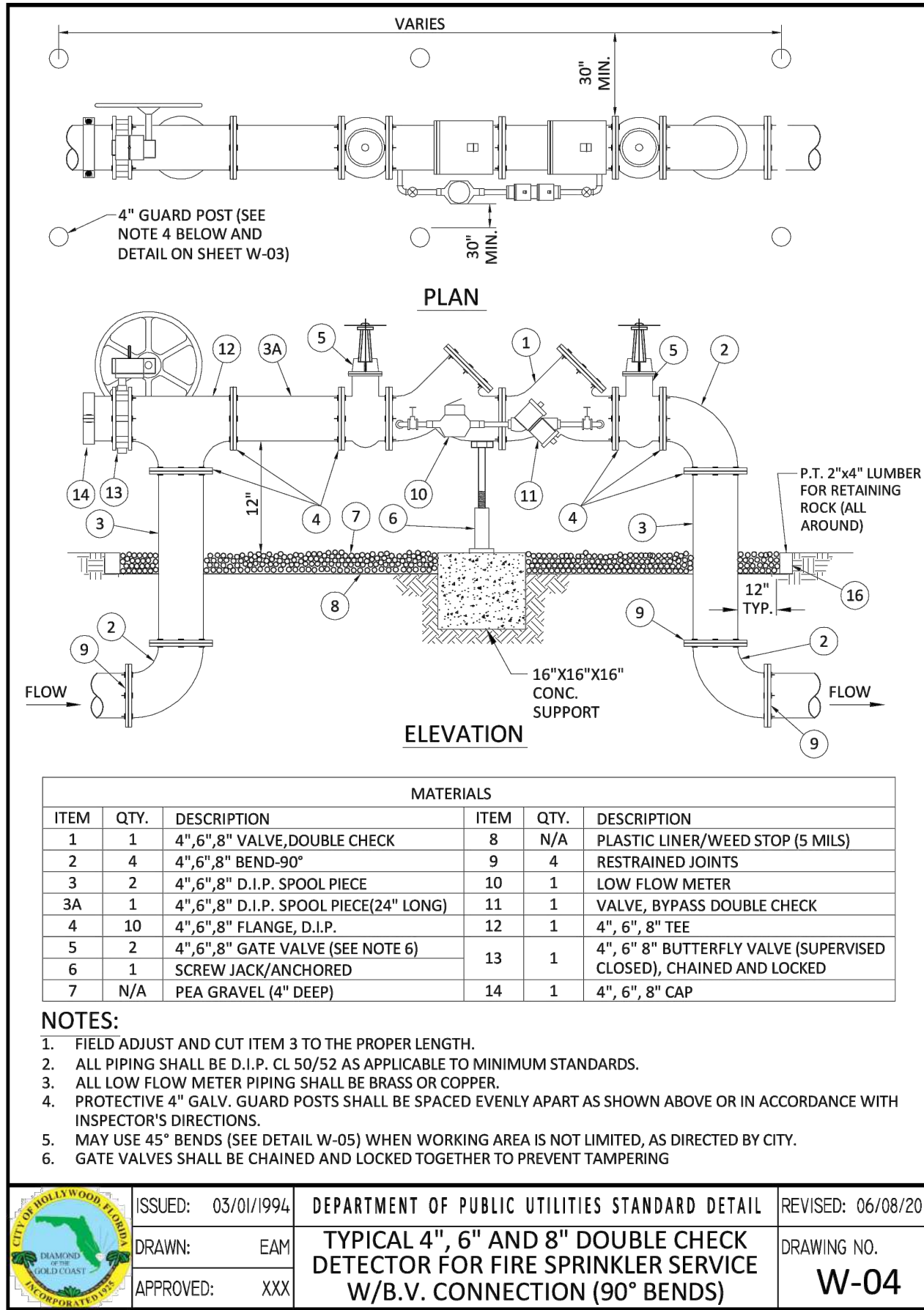
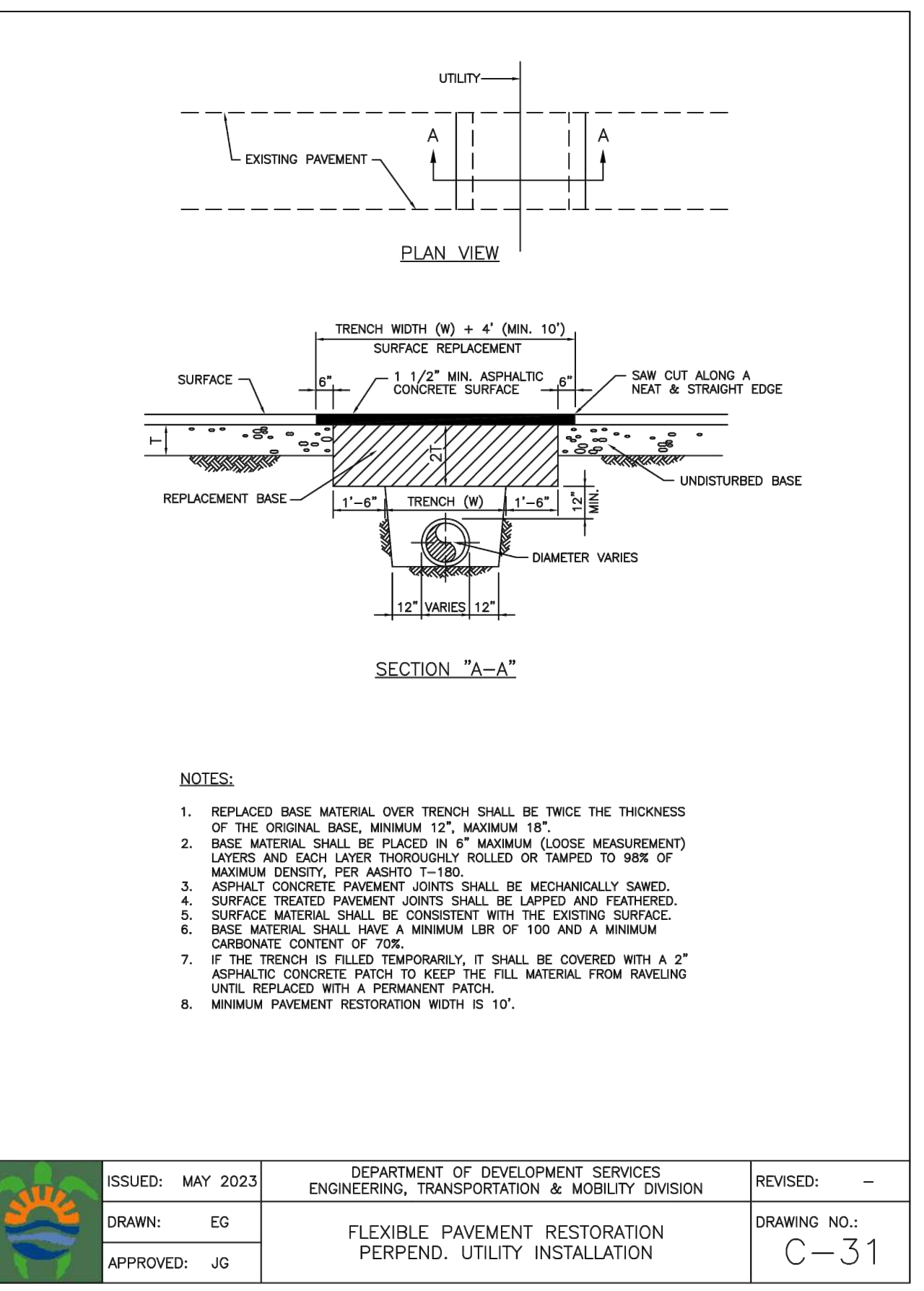
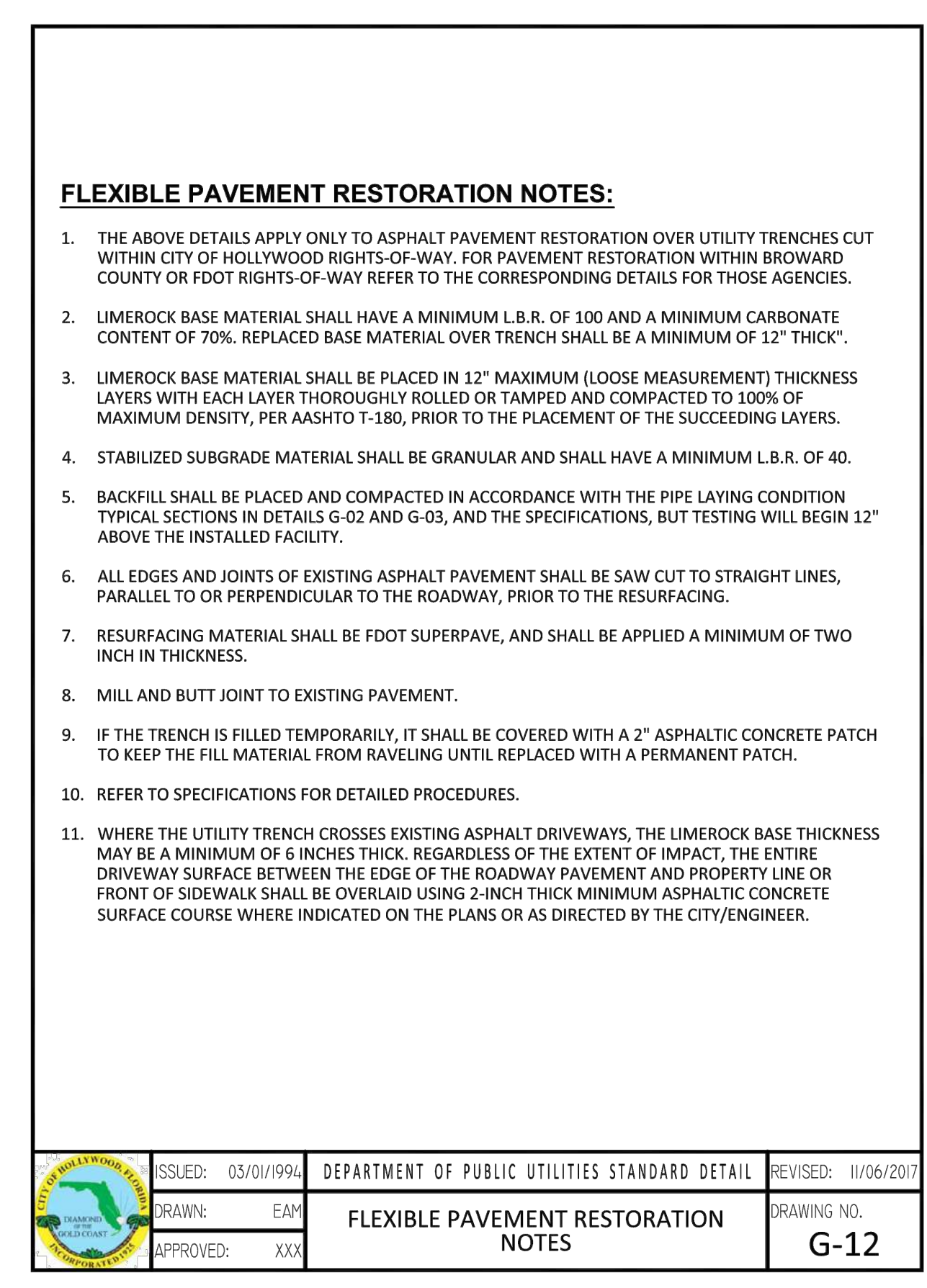
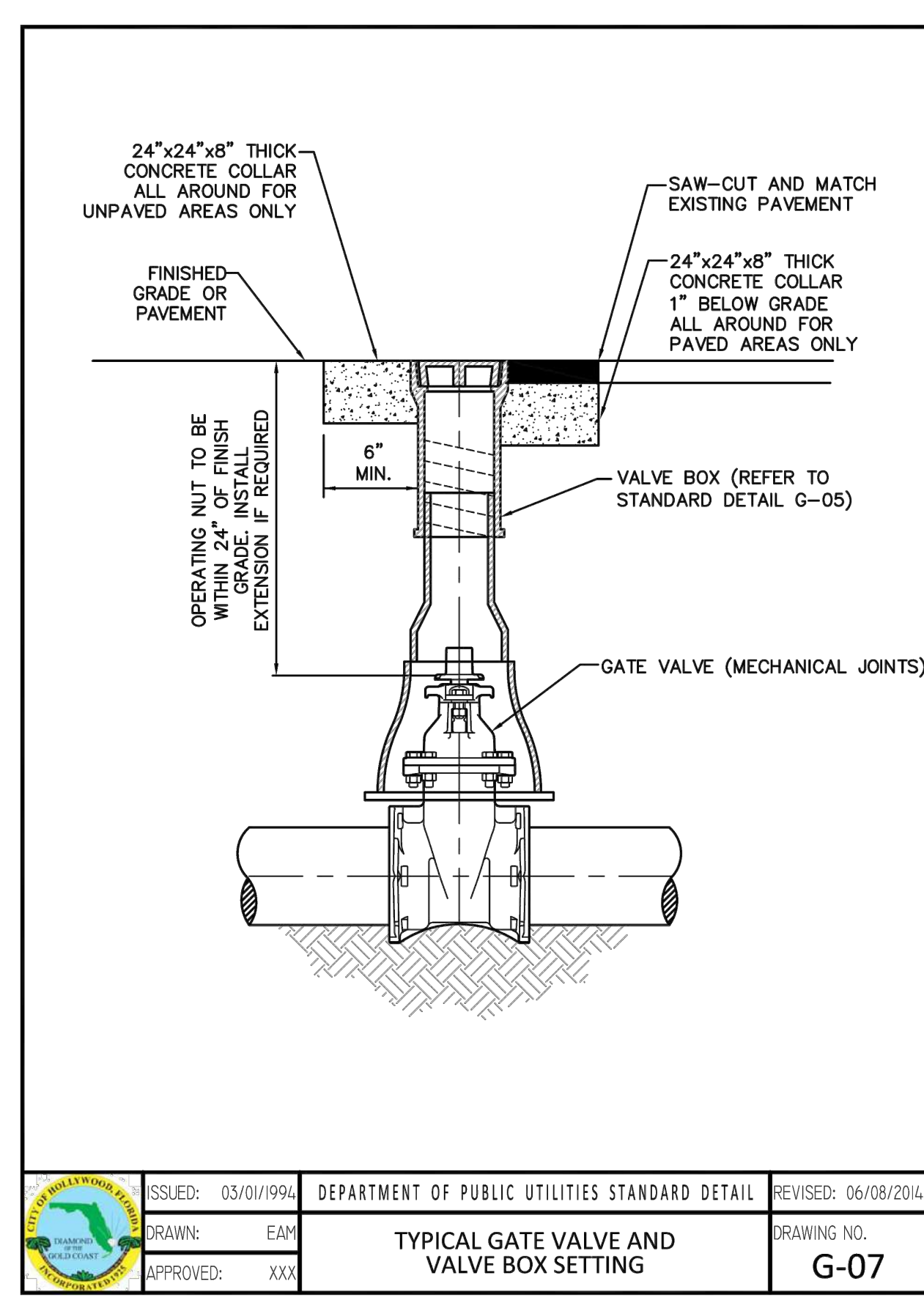
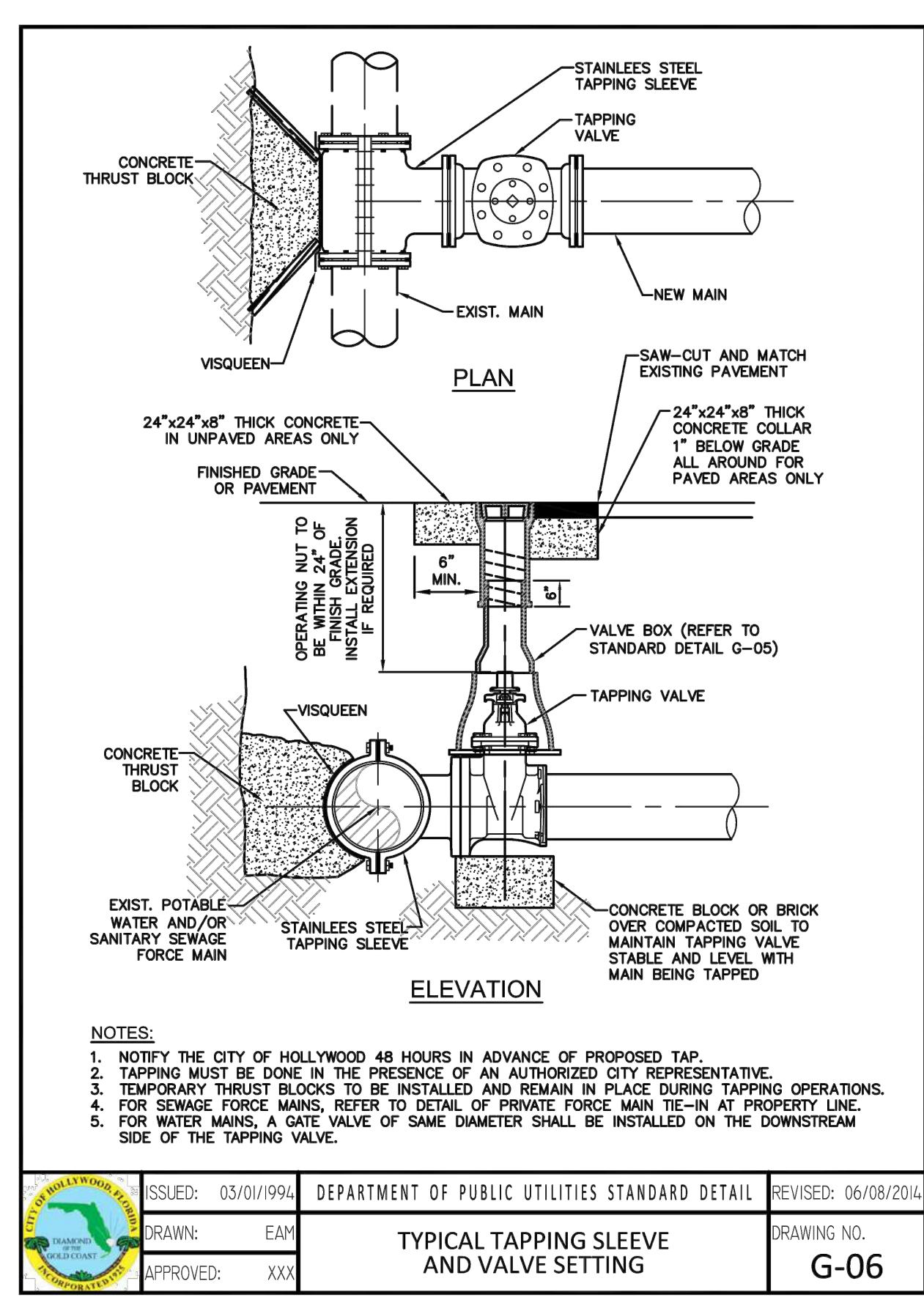
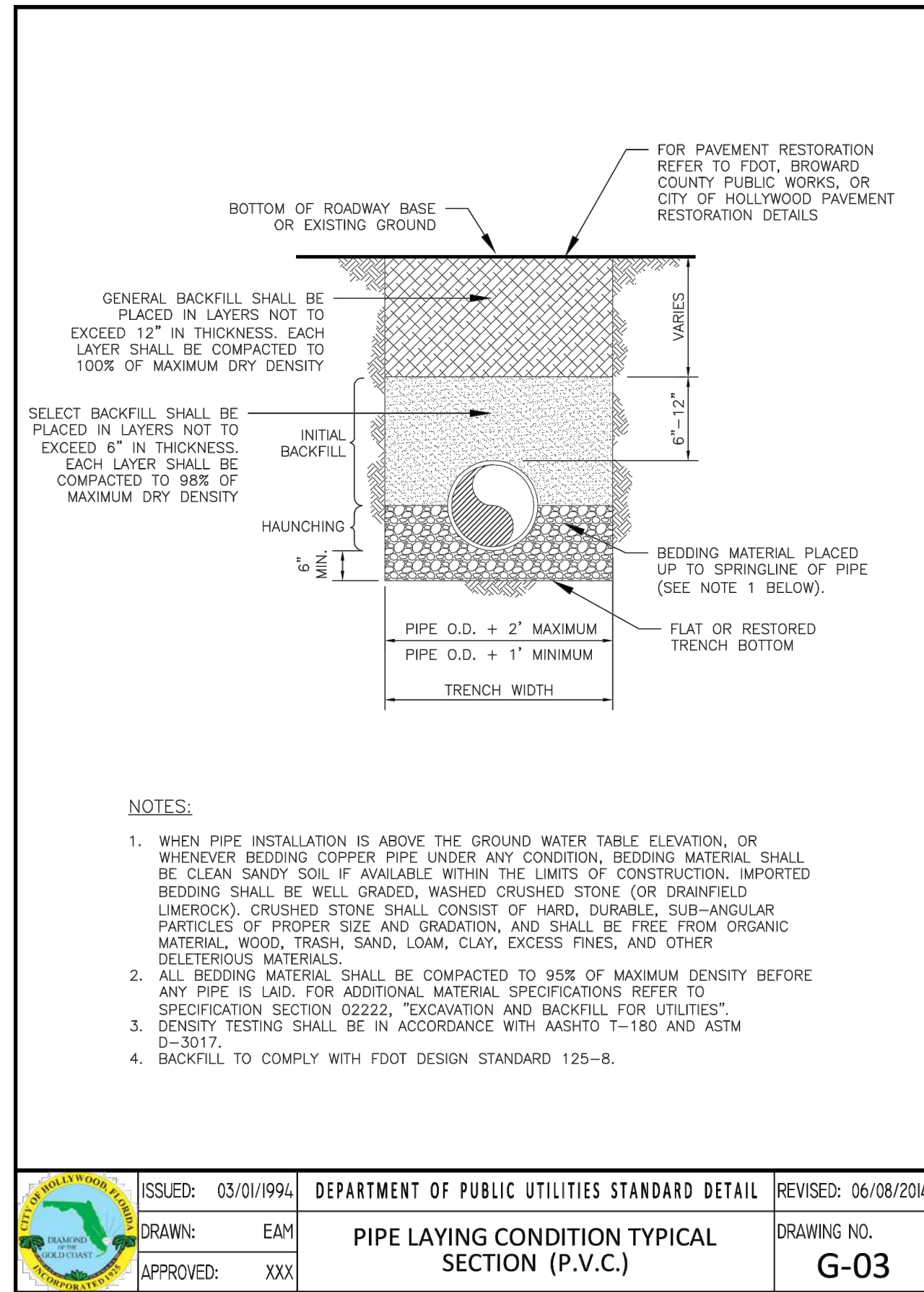


MATCH LINE (SEE SHEET C10)



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WATER & SEWER PLAN
 SCALE: 1"=20'



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WATER & SEWER PLAN & DETAILS I

SCALE: N.T.S.

REVISIONS	
NO.	DATE

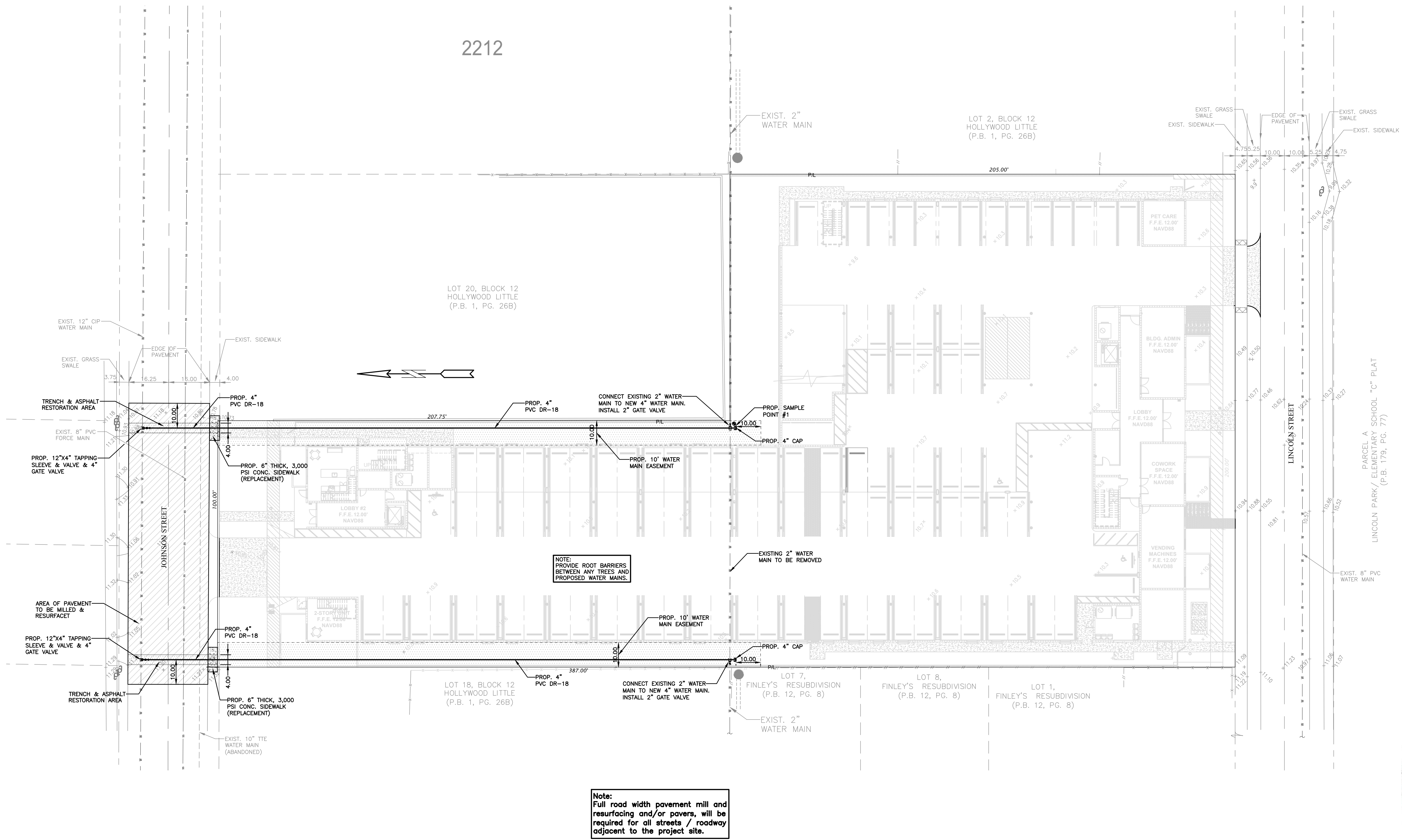
ZEPHYR ENGINEERING
 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyreng@gmail.com
 CA#: 31158

ZE

LINCOLN PARK RESIDENCES
 2219 LINCOLN STREET
 HOLLYWOOD, FL 33020

P.E.#: 76036
 DATE: 1/11/24
 SCALE: N.T.S.
 SHEET NO.: C12
 12 OF 13
 PROJECT NO.: 24-01

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM



NOTE: PROVIDE ROOT BARRIERS BETWEEN ANY TREES AND PROPOSED WATER MAINS.

Note: Full road width pavement mill and resurfacing and/or pavers, will be required for all streets / roadway adjacent to the project site.

LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT

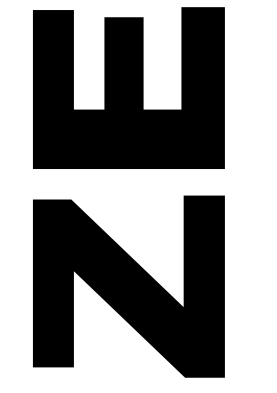


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WATER MAIN RELOCATION PLAN
 SCALE: 1"=20'

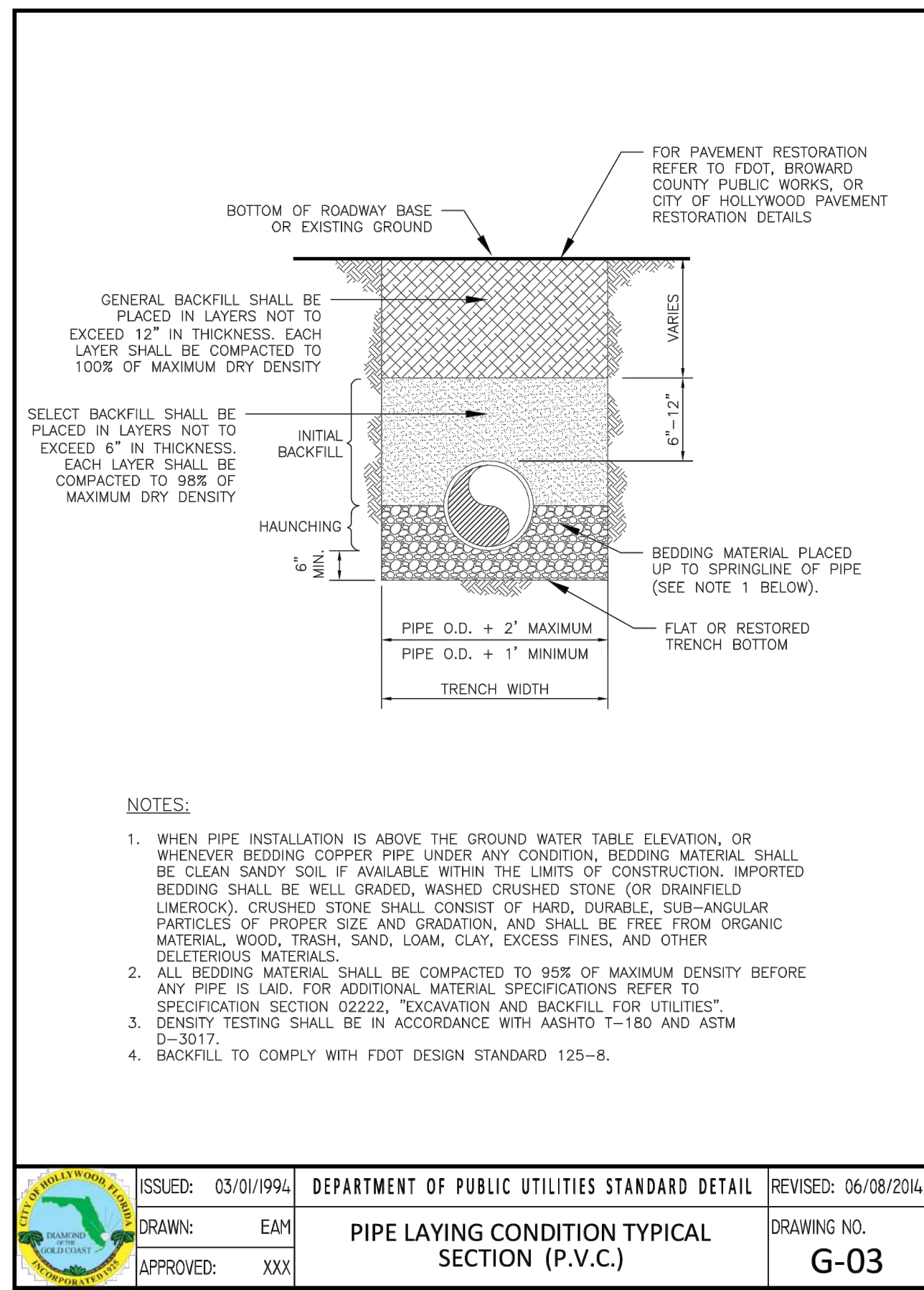
NO.	DATE	DESCRIPTION	TAC REVIEW COMMENTS
1	4-19-24		

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 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyr@gmail.com
 CA#: 31158

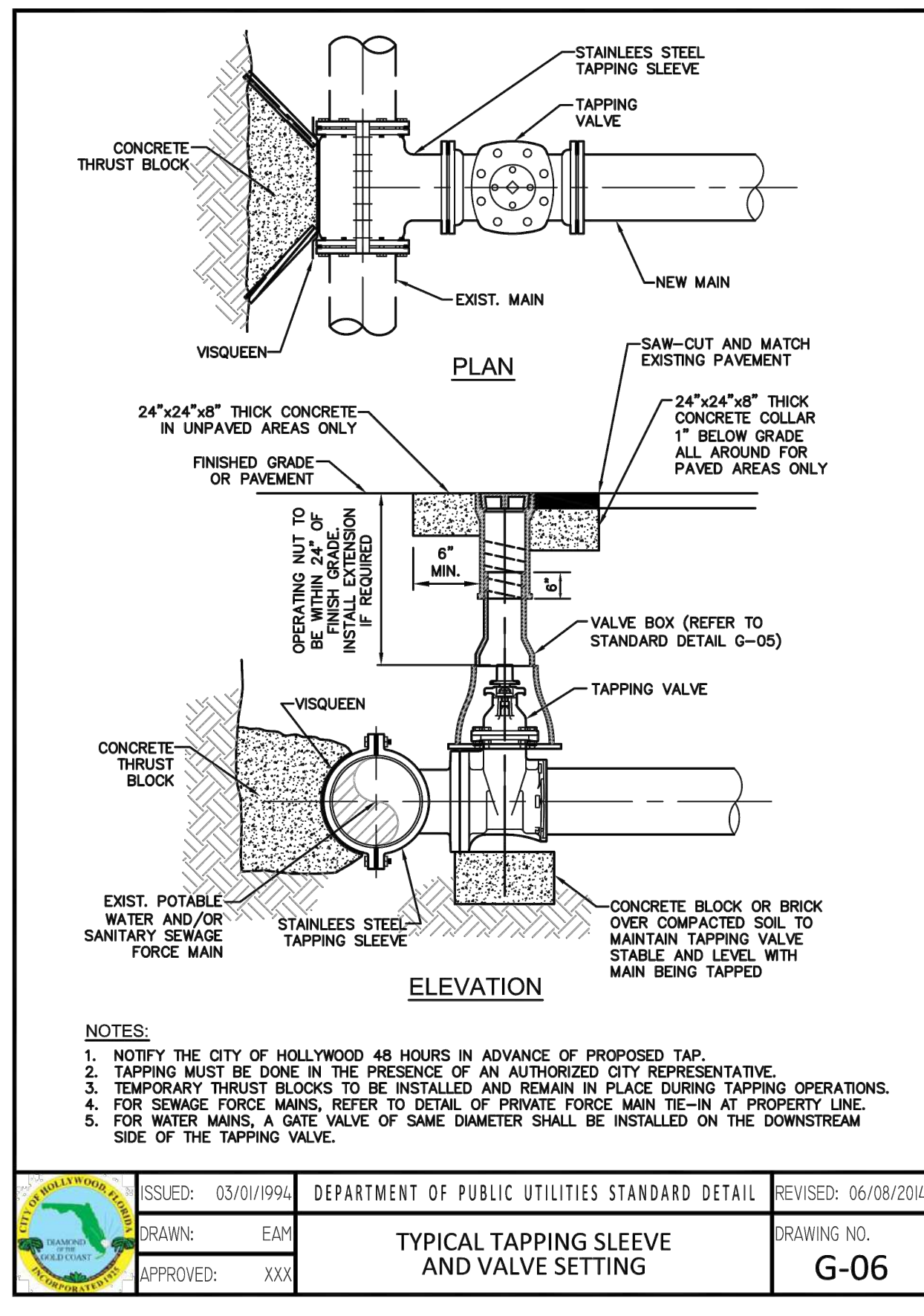


WATER MAIN RELOCATION PLAN FOR
 LINCOLN PARK RESIDENCES
 2219 LINCOLN STREET
 HOLLYWOOD, FL 33020

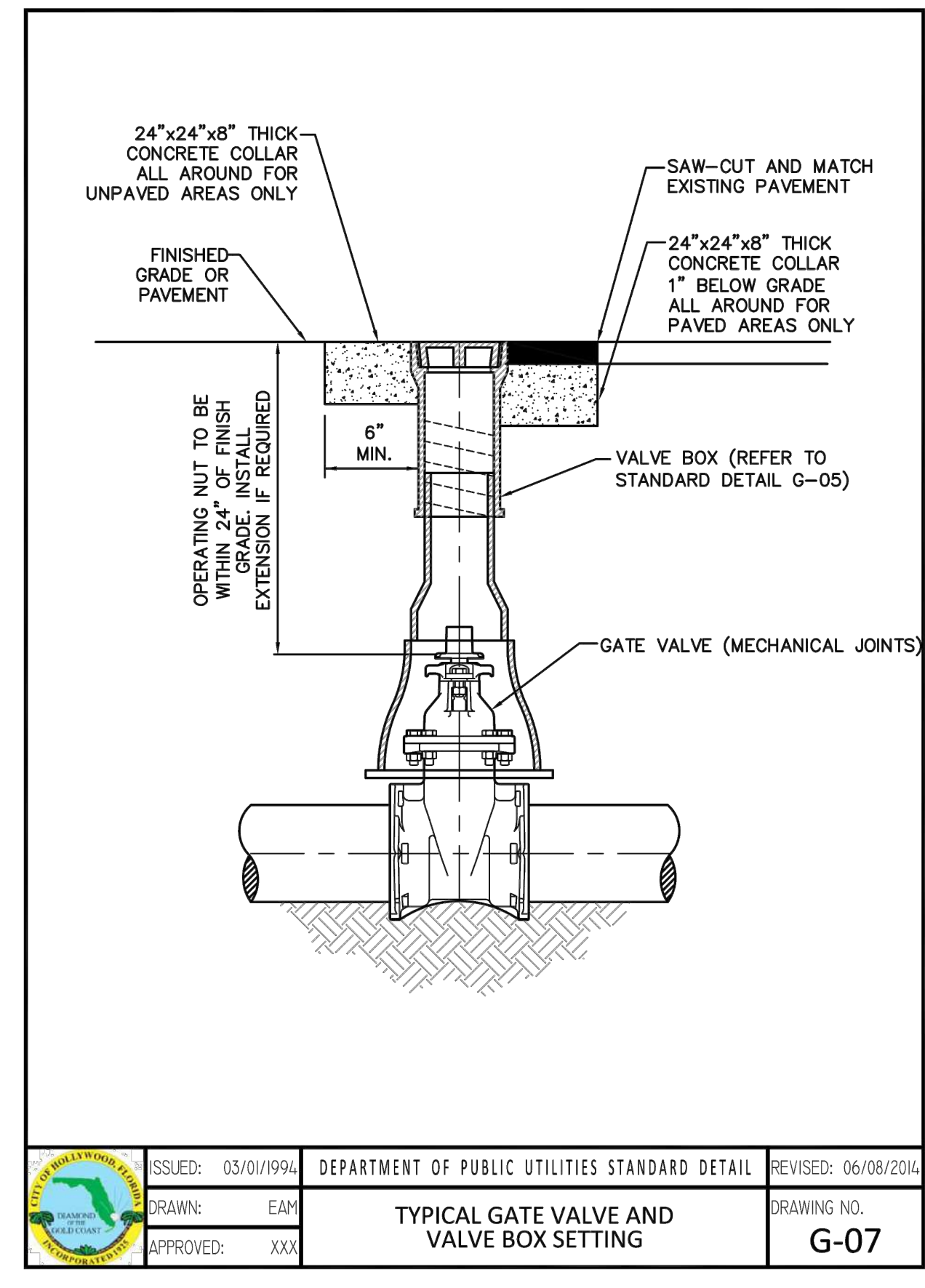
P.E.#: 76036
 DATE: 9/16/24
 SCALE: 1"=20'
 SHEET NO.: C1
 1 OF 4
 PROJECT NO.: 24-01WM



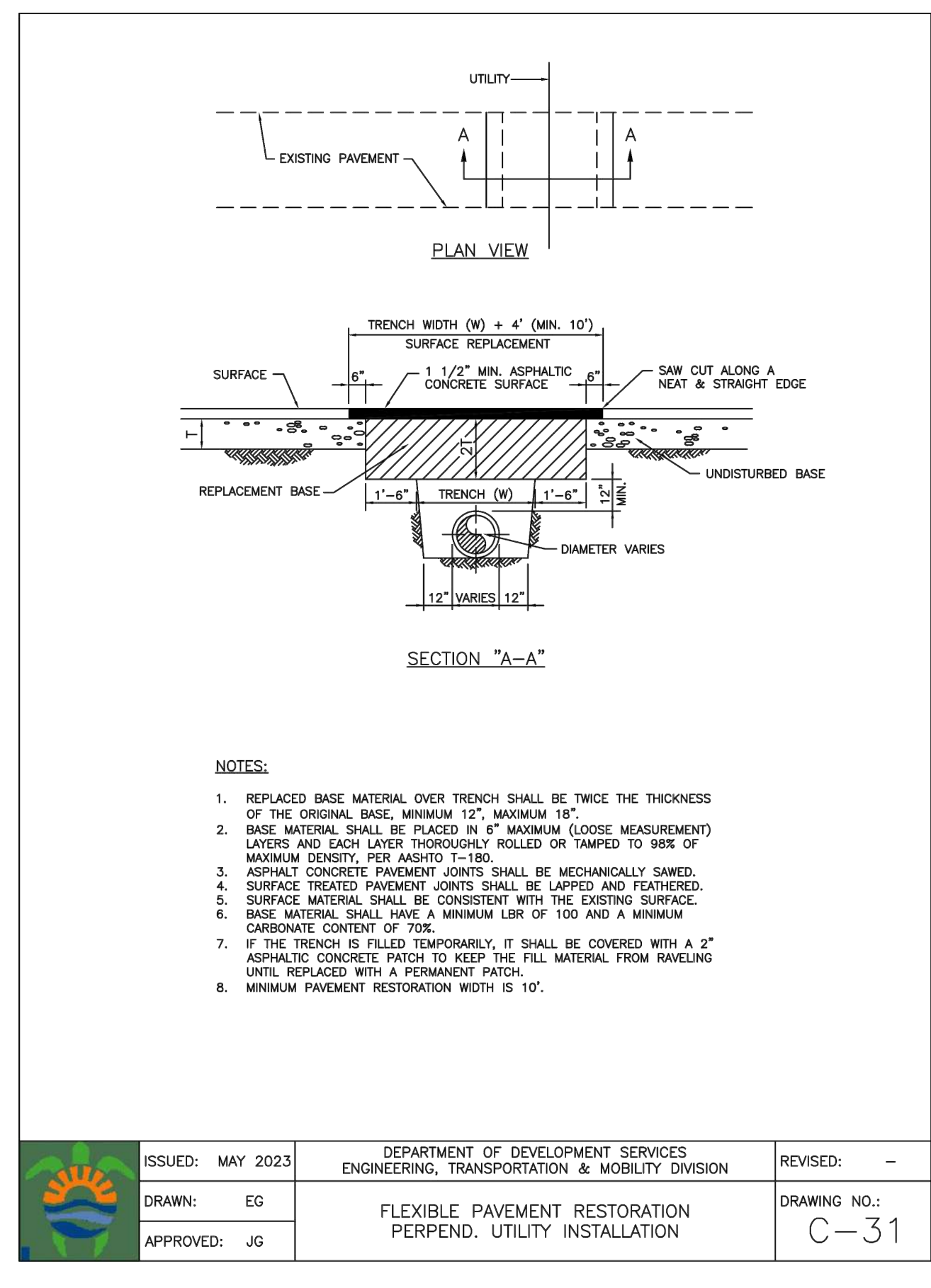
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	PIPE LAYING CONDITION TYPICAL SECTION (P.V.C.)	DRAWING NO. G-03
APPROVED: XXX		



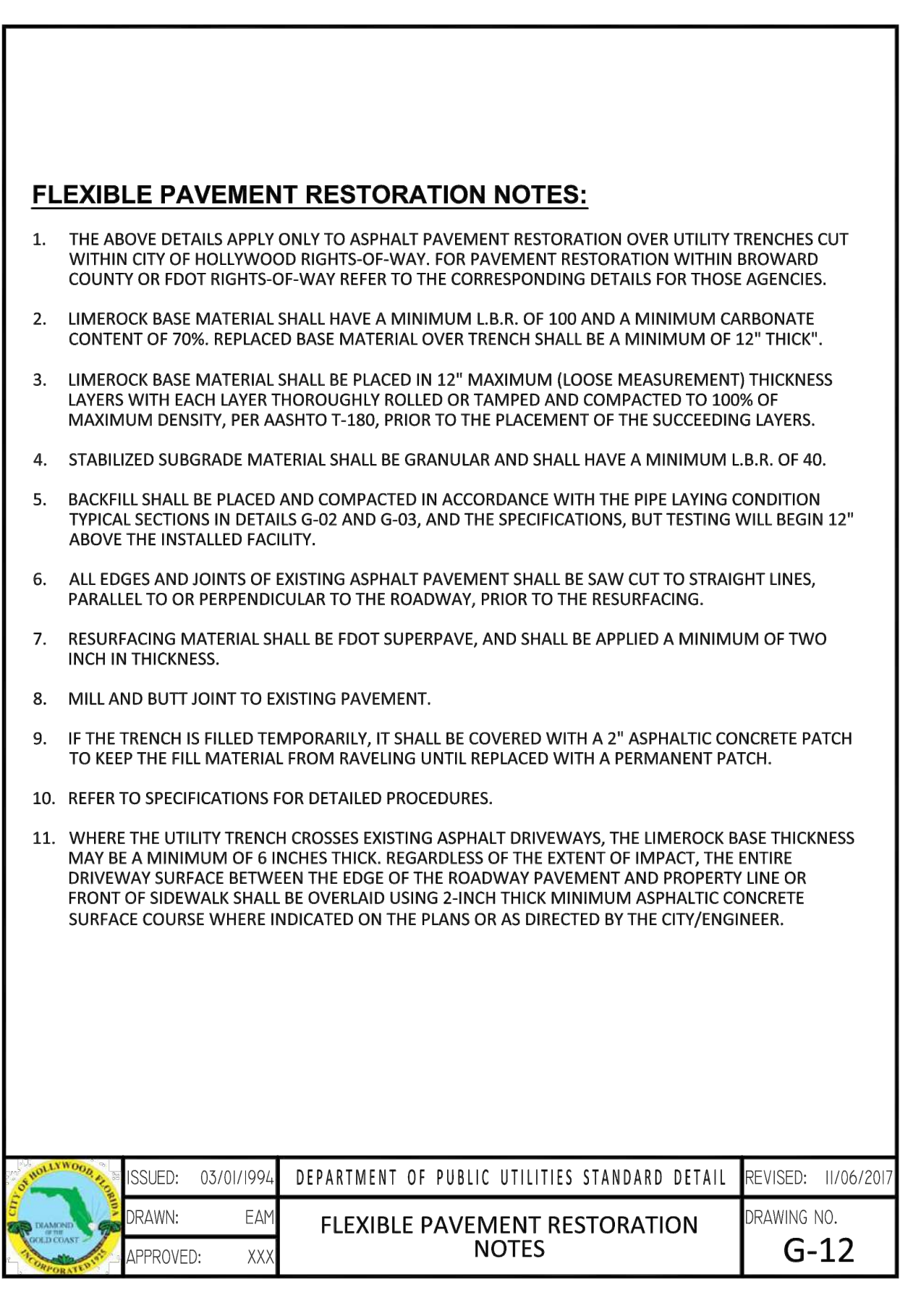
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL TAPPING SLEEVE AND VALVE SETTING	DRAWING NO. G-06
APPROVED: XXX		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL GATE VALVE AND VALVE BOX SETTING	DRAWING NO. G-07
APPROVED: XXX		



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	FLEXIBLE PAVEMENT RESTORATION PERPEND. UTILITY INSTALLATION	DRAWING NO. C-31
APPROVED: JG		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	FLEXIBLE PAVEMENT RESTORATION NOTES	DRAWING NO. G-12
APPROVED: XXX		



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UTILITY DETAILS

SCALE: N.T.S.

REVISIONS	
NO.	DATE

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA#: 31158

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WATER MAIN RELOCATION PLAN FOR
LINCOLN PARK RESIDENCES
2219 LINCOLN STREET
HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 9/16/24

SCALE: N.T.S.













SHEET NO.: C2

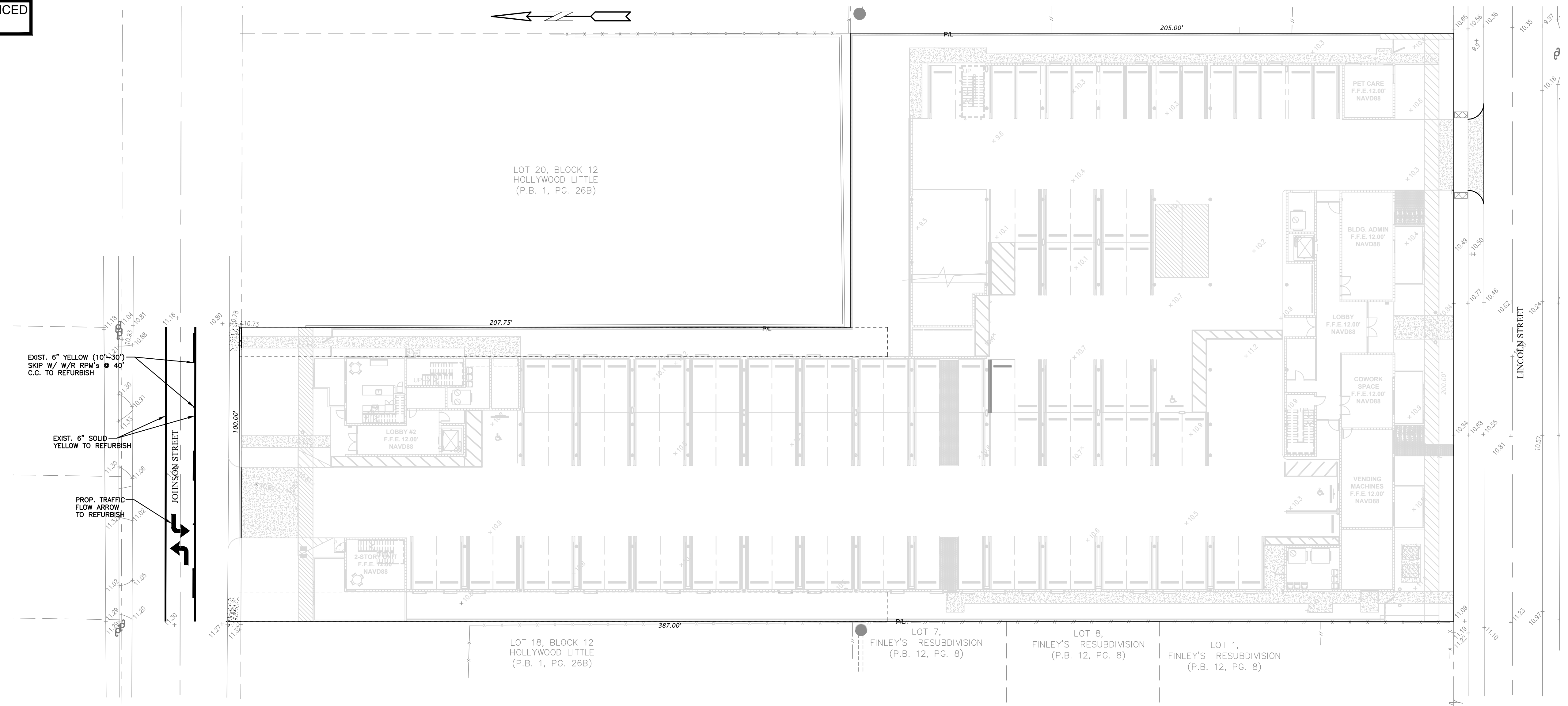
2 OF 4

PROJECT NO.: 24-01WM

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

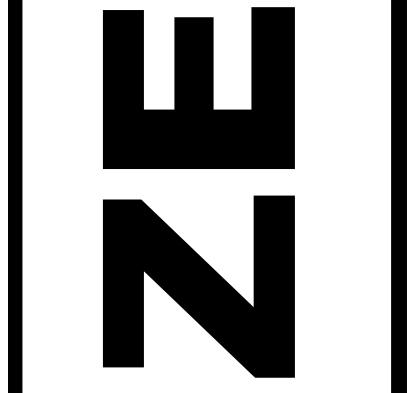
LEGEND

-  PROPOSED CONCRETE
-  PROPOSED ASPHALT
-  PROPOSED GRADE
-  EXISTING ELEVATION
-  PROPOSED CATCH BASIN
-  EXISTING CATCH BASIN
-  PROPOSED WATER METER
-  EXISTING WATER METER
-  EXISTING WATER VALVE
-  PROPOSED BFP DEVICE
-  EXISTING SAN. SEWER MH
-  EXISTING FIRE HYDRANT



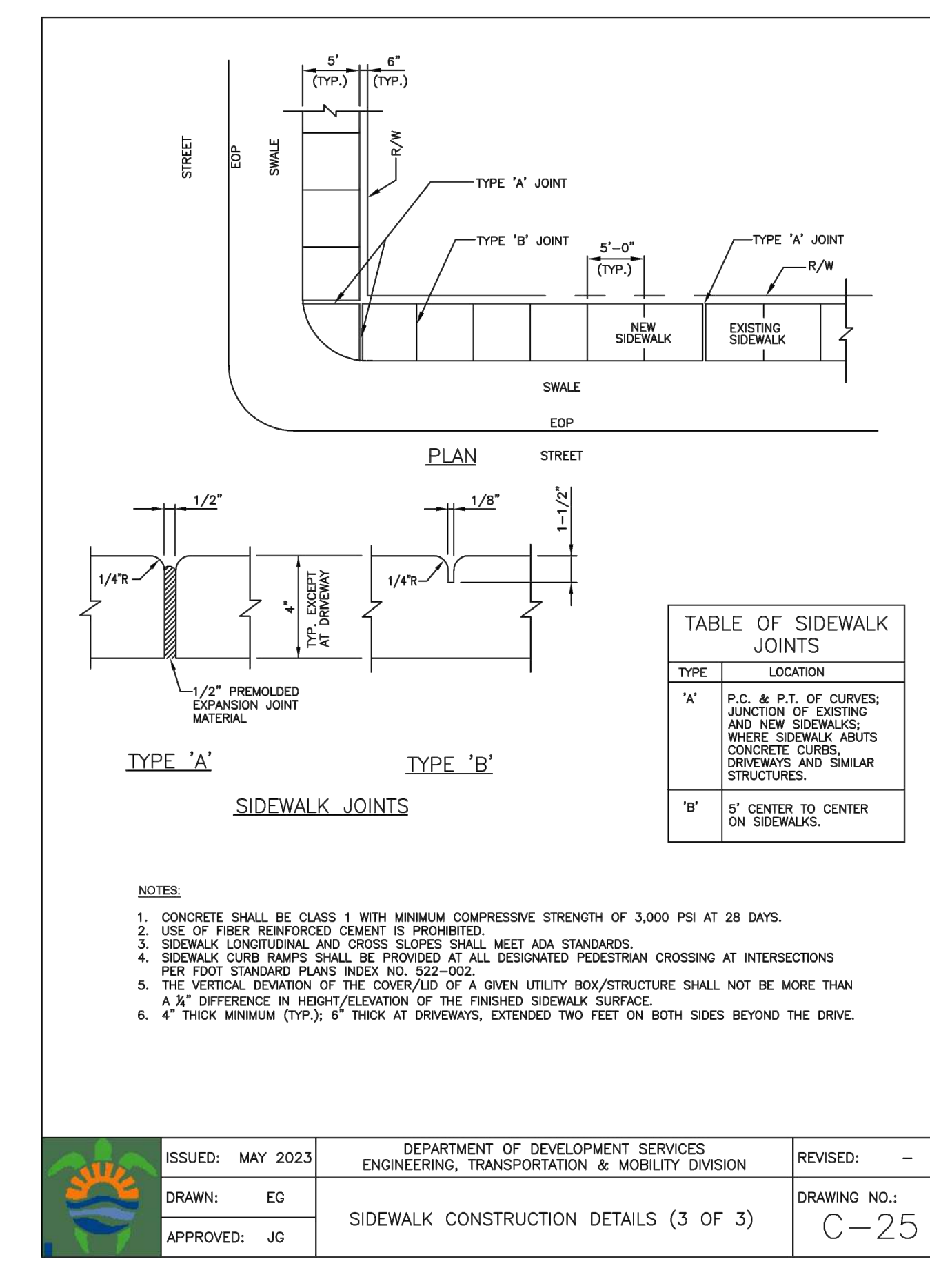
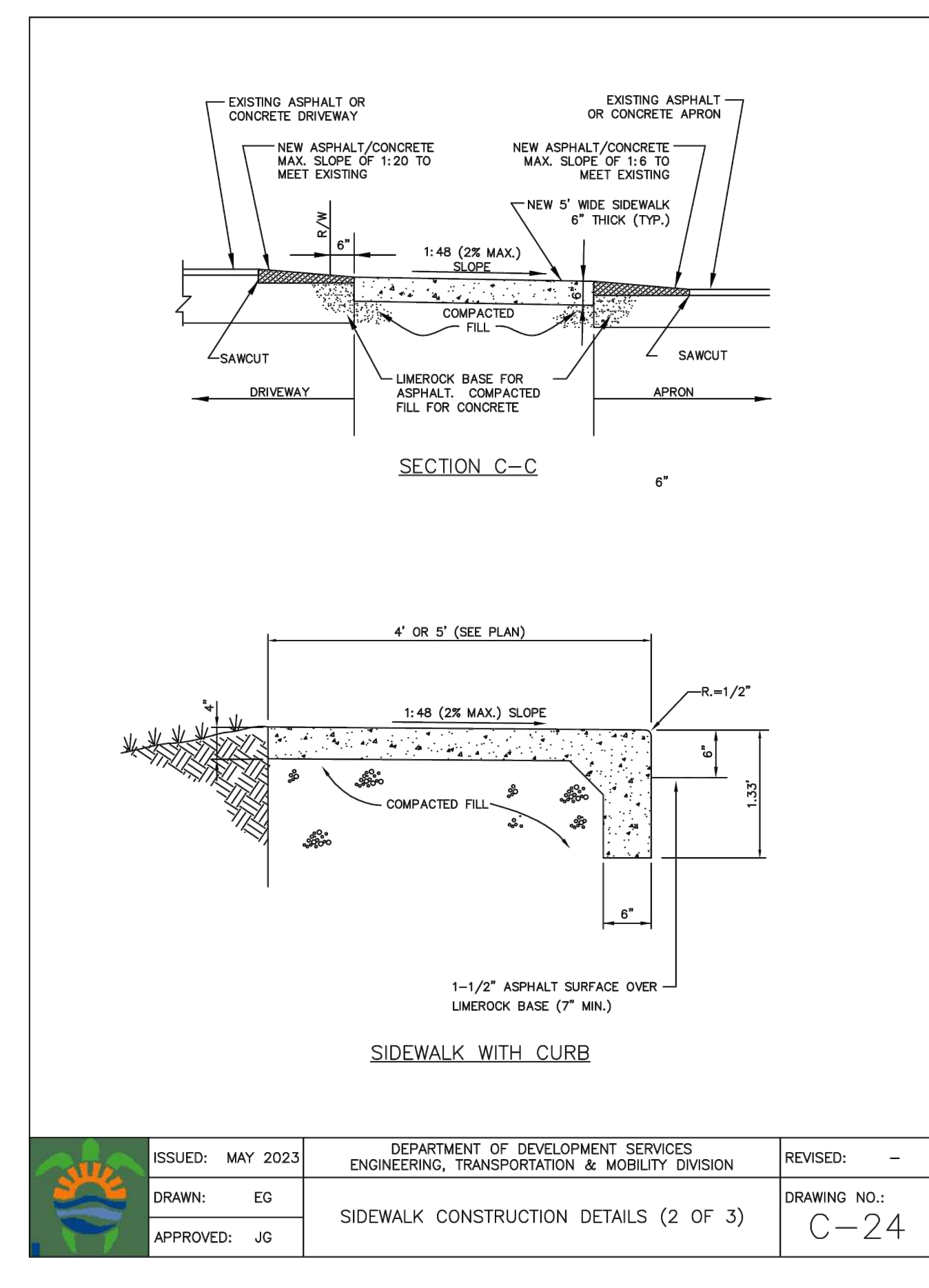
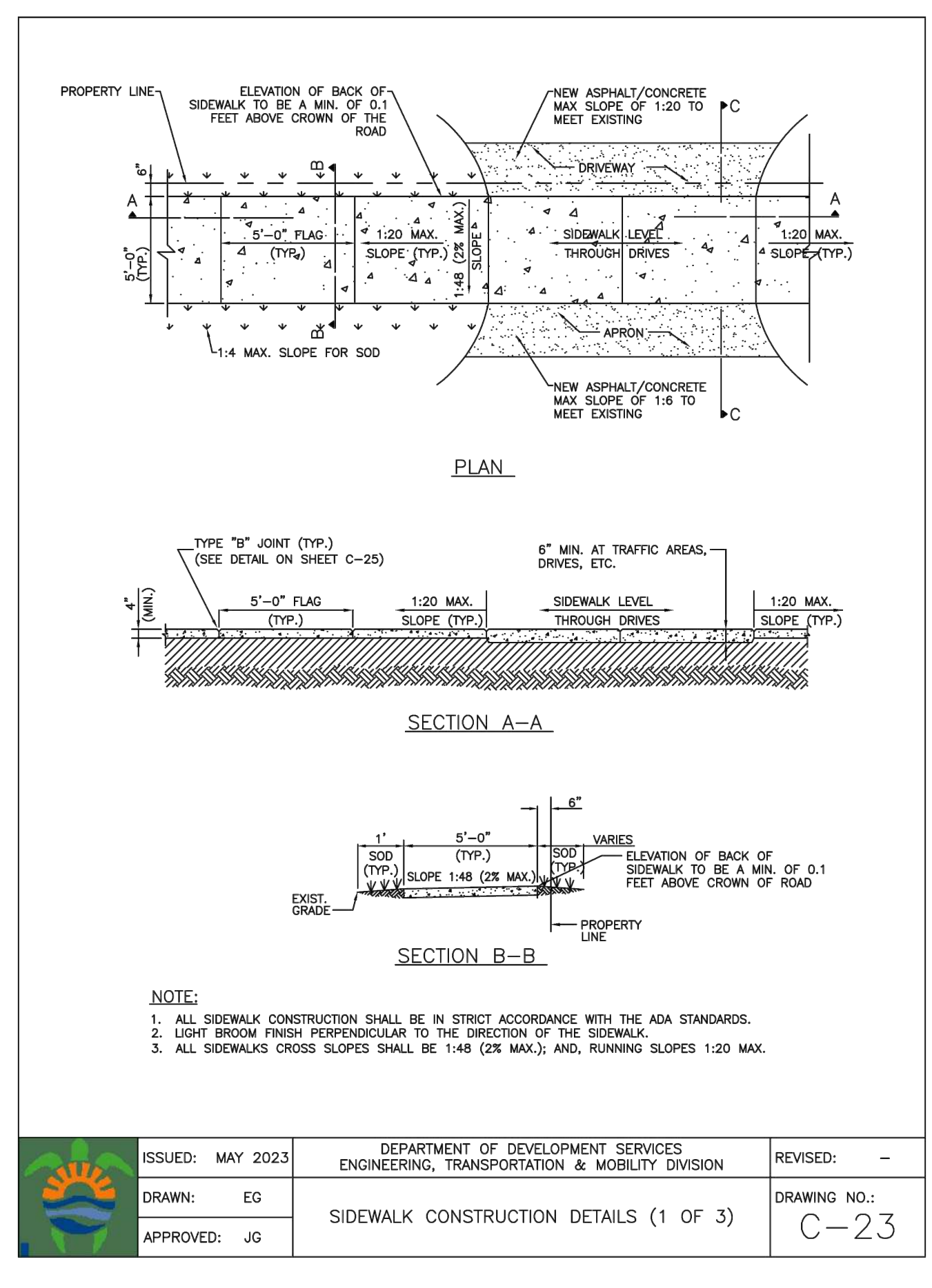
NO.	DATE	REVISIONS DESCRIPTION

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 wzephyr@gmail.com
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WATER MAIN RELOCATION PLAN FOR
 LINCOLN PARK RESIDENCES
 2219 LINCOLN STREET
 HOLLYWOOD, FL 33020

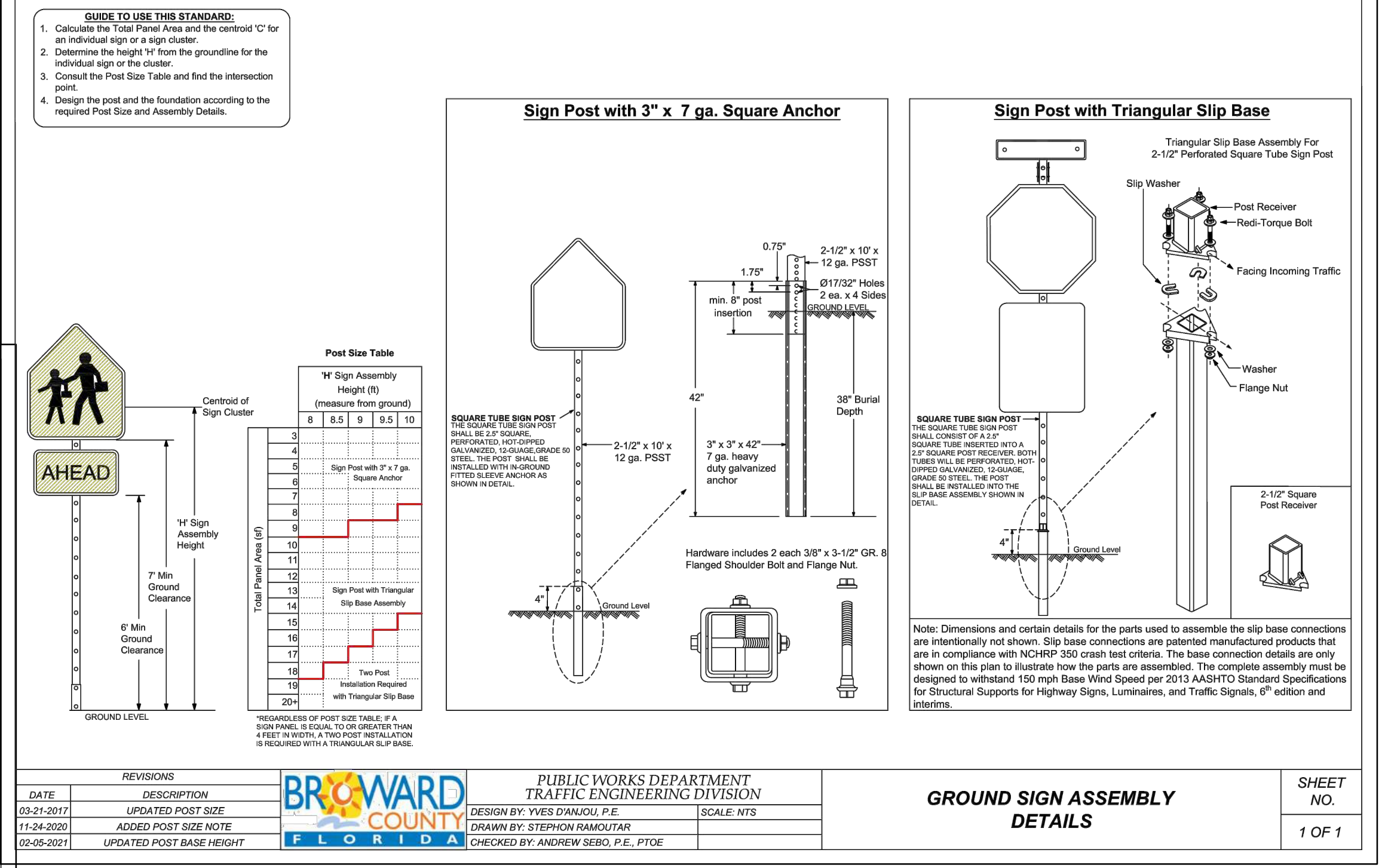
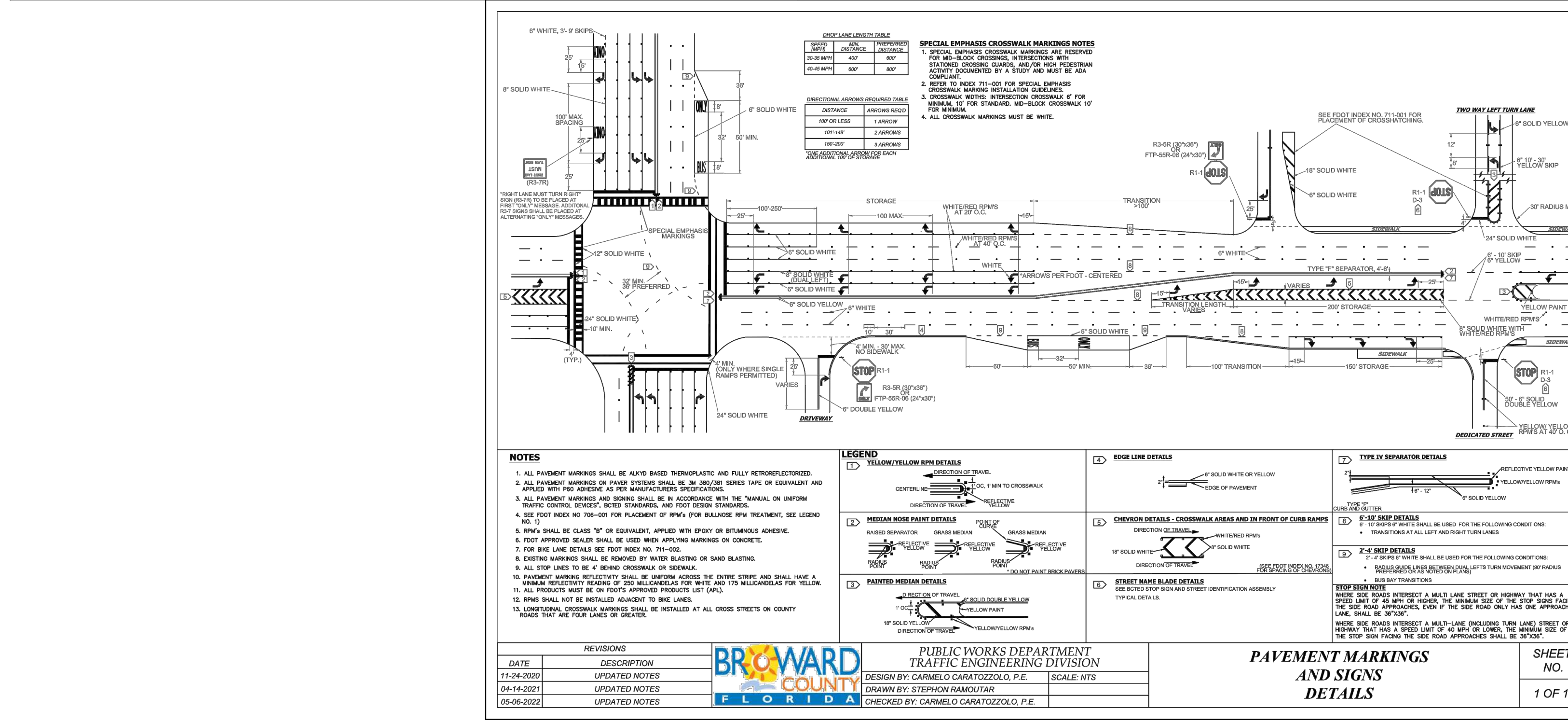
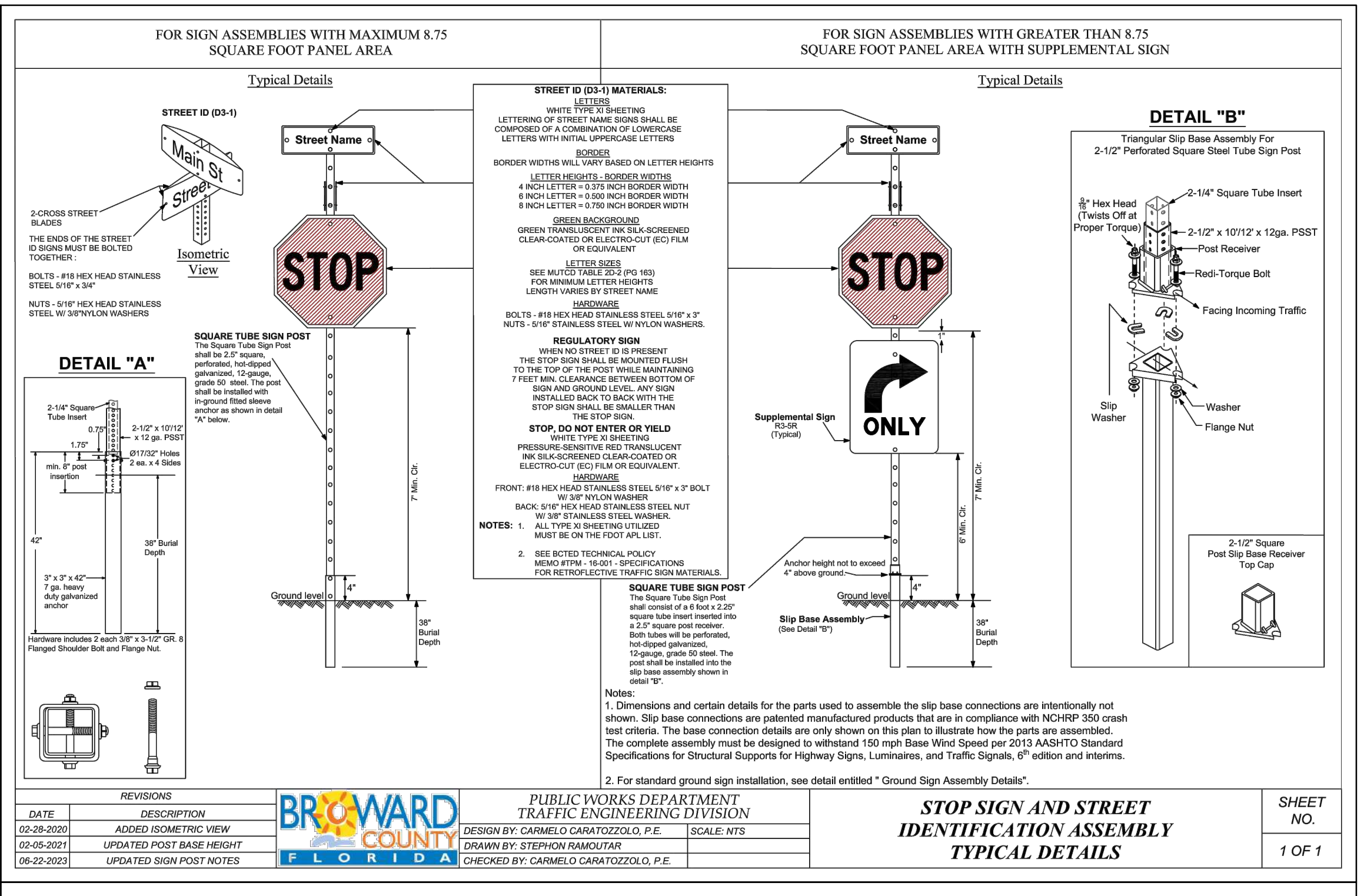
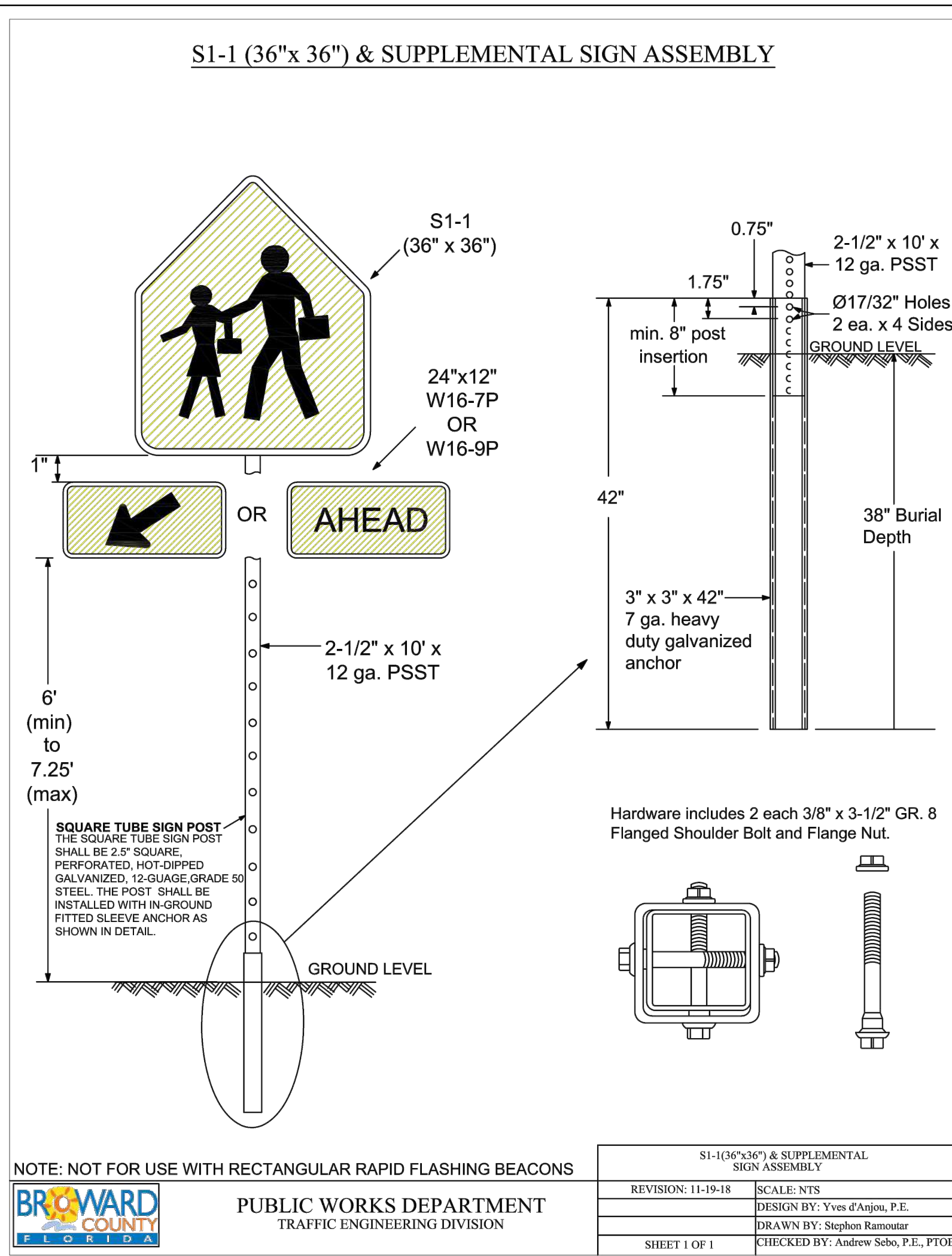
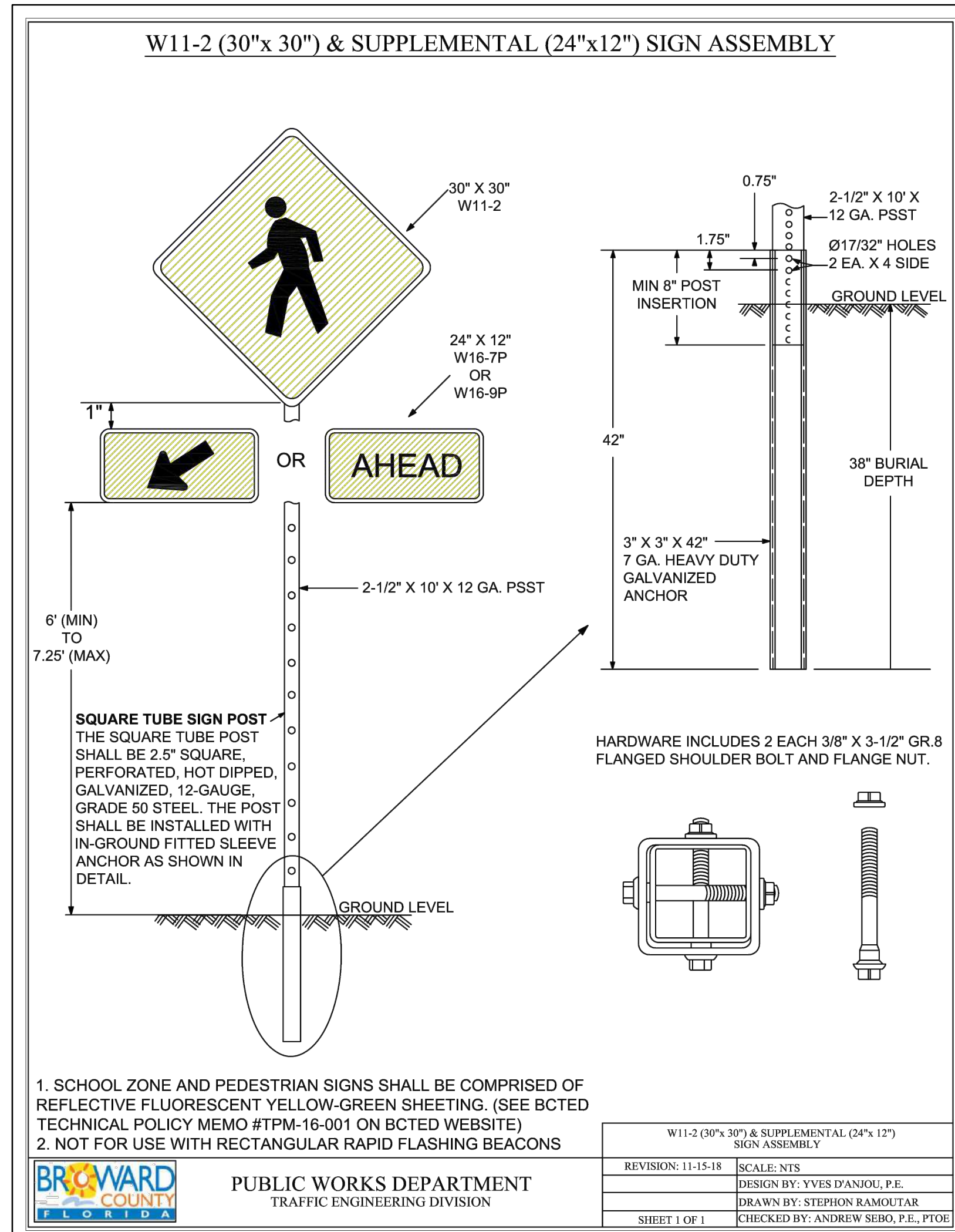
DATE: 9/16/24
SCALE: 1"=20'
SHEET NO.: C3
3 OF 4
PROJECT NO.: 24-01WM



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R.O.W. PAVEMENT MARKINGS PLAN
 SCALE: 1"=40'





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HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA#: 31158

REVISIONS

NO.	DATE	DESCRIPTION

WATER MAIN RELOCATION PLAN FOR LINCOLN PARK RESIDENCES
2219 LINCOLN STREET
HOLLYWOOD, FL 33020

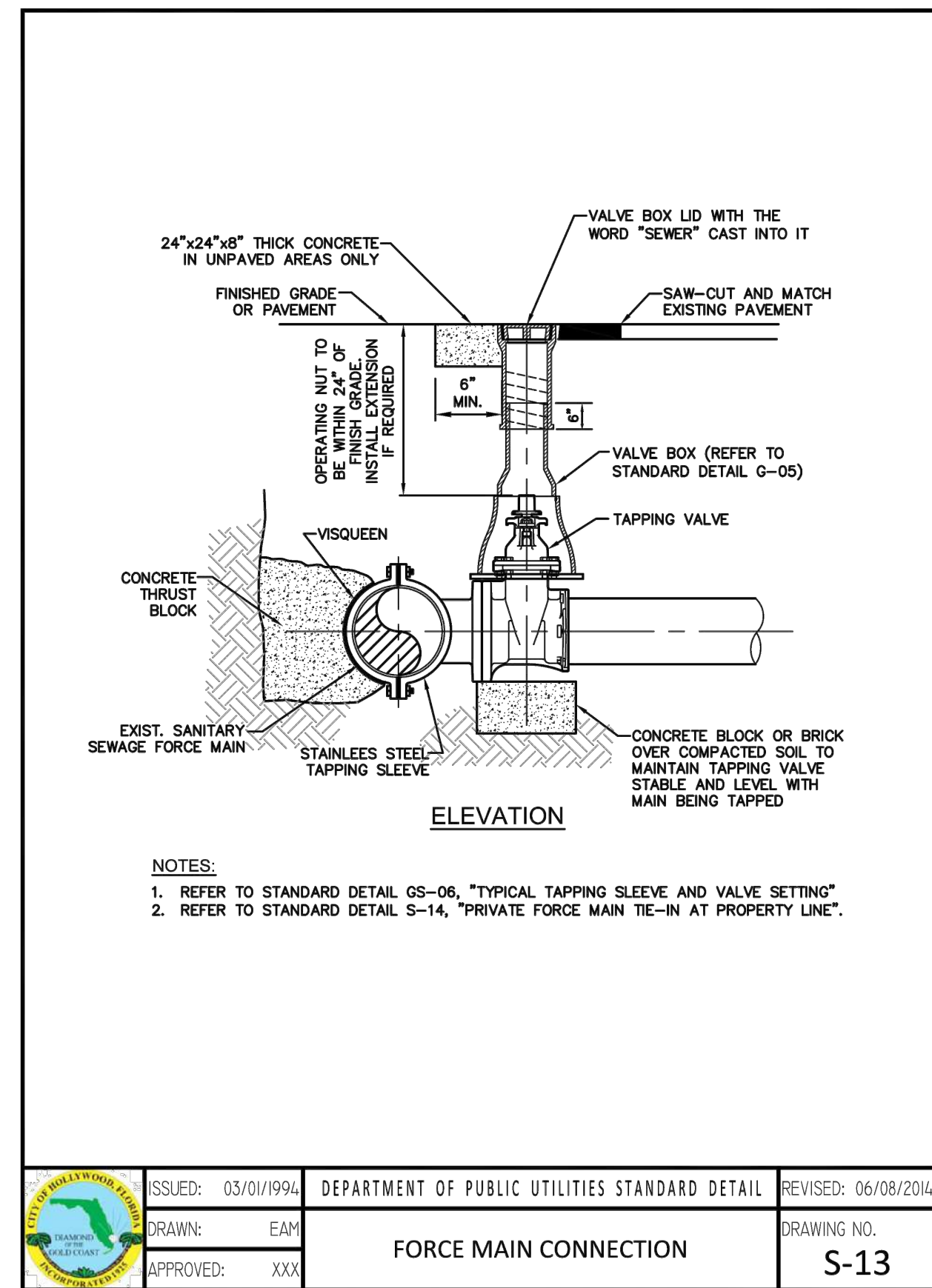
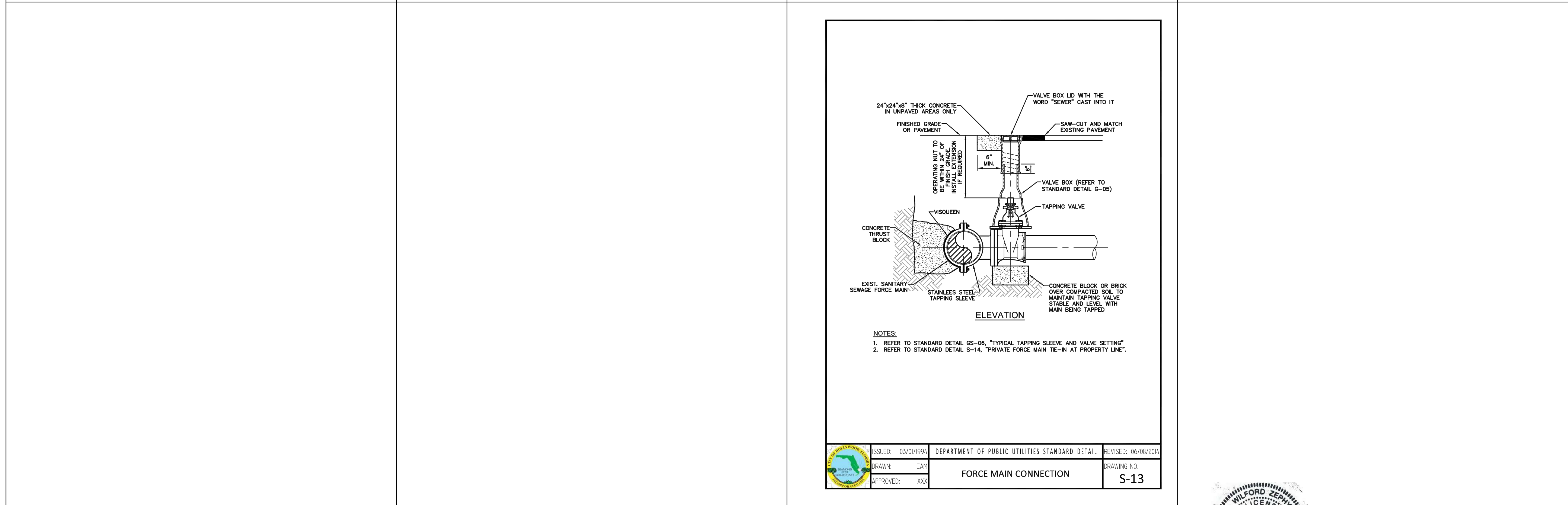
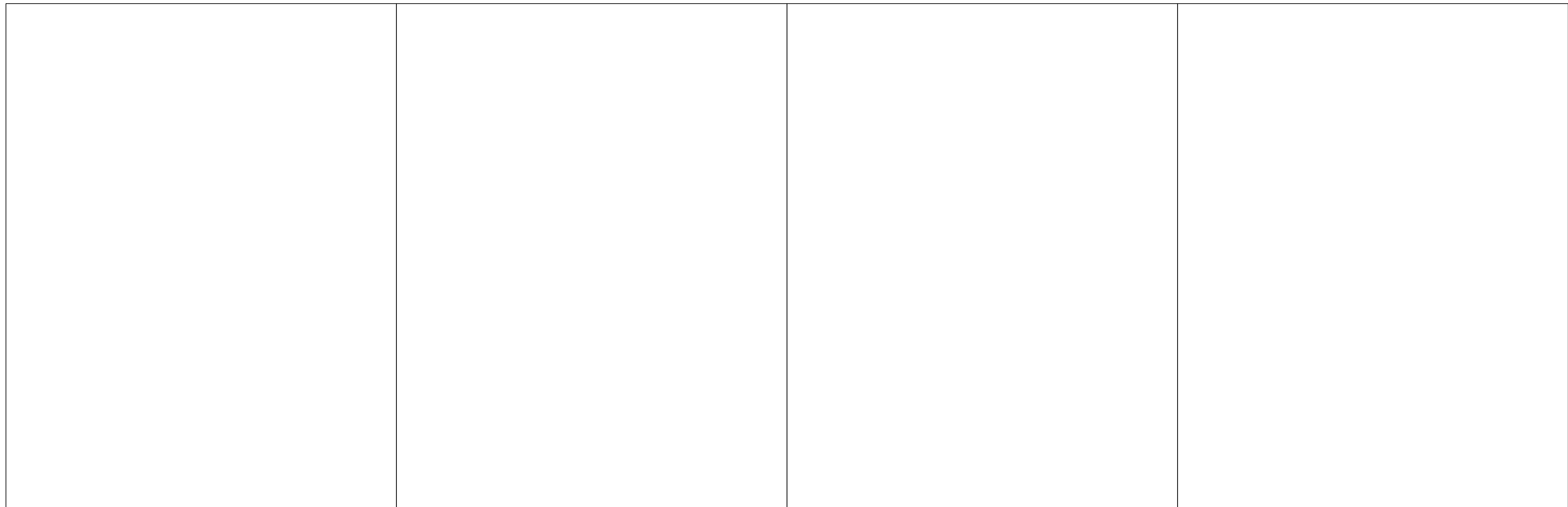
STATE OF FLORIDA PROFESSIONAL ENGINEER
No. 76036
9-16-24

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R.O.W. PAVEMENT MARKINGS PLAN DETAILS
SCALE: N.T.S.

P.E.#: 76036
DATE: 9/16/24
SCALE: N.T.S.
SHEET NO.: C4
4 OF 4
PROJECT NO.: 24-01WM



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	FORCE MAIN CONNECTION	DRAWING NO. S-13
APPROVED: XXX		

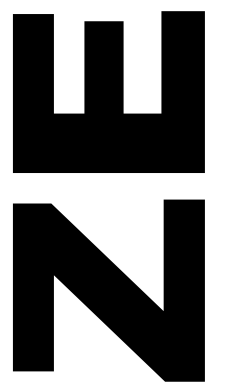


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WATER & SEWER PLAN & DETAILS II
 SCALE: N.T.S.

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING
 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyreng@gmail.com
 CA#: 31158



LINCOLN PARK RESIDENCES
 2219 LINCOLN STREET
 HOLLYWOOD, FL 33020

P.E.#: 76036
DATE: 1/11/24
SCALE: N.T.S.
SHEET NO.: C13
13 OF 13
PROJECT NO.: 24-01

ARCHITECTURAL DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT

SKLARchitecture



2219 Lincoln Street, Hollywood, FL

We are pleased to submit the design criteria for our proposed development at 2219 Lincoln St. which aligns with the guidelines outlined in Article 5.3.I.4 of the City of Hollywood Code, The architectural and design components, compatibility, scale/massing, and landscaping aspects have been carefully considered to ensure the project contributes positively to the neighborhood's character and functionality.

Project Overview

The proposed development at 2219 Lincoln Street is a contemporary residential building with dual prominent street frontages: Lincoln Street to the south and Johnson Street to the north. Our design for a leading Brazilian real estate development company for this four-story structure will include:

- **111 residential units** comprising a mix of one- and two-bedroom apartments.
- **152 parking spaces** across two levels.

The design emphasizes innovation, sustainability, and aesthetic integration, enhancing Hollywood's urban landscape and contributing to its beauty and community vitality.

1. Architectural and Design Components

Our design incorporates architectural elements that align with the building's mass and enhance the pedestrian experience. Key features include:

- Aesthetic symmetrical facade using high-quality materials that balance form and function.

The building blends modern and natural materials, such as:

- **Wood slats** to add warmth and reflect a natural theme.
- **Aluminum grills with leaf motifs** for artistic detail and texture.
- Sustainability: The design incorporates eco-friendly elements, including:
 - Photovoltaic **solar panels** to improve energy efficiency.
 - Certification at the **National Green Building Standards Gold Level**, reflecting commitment to sustainability and environmental stewardship.

- Design elements inspired by the characteristic styles of the surrounding neighborhood to create a cohesive architectural language.

- **Dual Frontage:** The building features entrances on both Lincoln and Johnson Streets, each with a dedicated lobby and elevator for seamless access.
- Consideration for functionality through thoughtful entryways, window placements, and transitions between indoor and outdoor spaces.

ARCHITECTURE
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& Residential

Interior
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& Design

Urban
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Architectural
Design of
Children's
Environments

Development
Consulting

2310 Hollywood Blvd.

Hollywood

Florida 33020

Tel: 954.925.9292

Fax: 954.925.6292

email:

mail@sklarchitect.com

WEBSITE:

www.sklarchitect.com

AA 0002849

IB 0000894

NCARB CERTIFIED



Ari Sklar, A.I.A.
Oscar Sklar, A.I.A.



- **Breezeway:** A U-shaped floor plan includes an open breezeway from Lincoln Street, creating a welcoming main entrance and along with a central courtyard natural air and light to flow through the property.

2. Compatibility

We have prioritized a harmonious relationship between the proposed building and existing structures in the area by:

- Reflecting the established architectural language and composition of adjacent buildings.
- Ensuring the design contributes to the continuity and character of the streetscape.
- Aligning the project with the adopted vision and guidelines for the neighborhood.

The architecture draws inspiration from the lush Brazilian Rainforest, focusing on natural and sustainable elements to establish a harmonious connection between the building and its surroundings.

We are also facing the main entrance towards the Beachside Montessori School on Lincoln St, acknowledging this important facility.

3. Scale and Massing

The building's proportions and geometries are consistent with the new zoning proposed in this area, ensuring the project fits seamlessly into its context. Specific considerations include:

- Proportionate height and width to maintain a balanced streetscape.
- Simple, clean compositions that relate to the site's lot coverage and adjacent structures.
- A form that reflects the adopted vision for the area while maintaining a pedestrian-friendly environment.
- This development exemplifies high-quality, thoughtfully designed housing that aligns with Hollywood's aspirations for urban revitalization. The project enhances the neighborhood's vibrancy while respecting the local fabric, we have provided usable and active spaces at the ground level to create an engaging and pedestrian friendly street frontage.

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2310 Hollywood Blvd.

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Tel: 954.925.9292

Fax: 954.925.6292

email:

mail@sklarchitect.com

WEBSITE:

www.sklarchitect.com

4. Landscaping

The landscaping plan integrates a variety of native and compatible plants to enhance the property's aesthetic and environmental sustainability.

- Mature trees and significant vegetation on-site will be planted to maintain the area's natural character.
- Landscaped areas are designed to complement the building's features and connect seamlessly with adjacent paved areas.

AA 0002849

IB 0000894

NCARB CERTIFIED



Ari Sklar, A.I.A.

Oscar Sklar, A.I.A.



- Green spaces are thoughtfully placed to support the pedestrian experience and improve overall site functionality.

Key features include:

- **Ground-Level Landscaping:** Enhances curb appeal and integrates greenery into the urban streetscape.
- **Second-Level Courtyard:** Provides interior units with serene, landscaped views, fostering tranquility and connection to nature.
- **Rooftop Garden:** Elevates the project’s aesthetic and environmental benefits while enhancing resident amenities.

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Design of
Children’s
Environments

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Consulting

This proposal is crafted with the utmost care to align with the city’s design guidelines and contribute to the neighborhood’s growth and vibrancy.

The 2219 Lincoln Street project sets a new benchmark for residential architecture in Hollywood. With its Brazilian-inspired design principles, sustainable features, and community-focused amenities, it promises to be a transformative addition to the City’s urban landscape.

Should you have any questions or require further details, we would be happy to provide additional information.

Thank you for your consideration.

Very Truly Yours

Ari L. Sklar, AIA, NCARB, LEED AP
Architect, President

2310 Hollywood Blvd.

Hollywood

Florida 33020

Tel: 954.925.9292

Fax: 954.925.6292

email:

mail@sklarchitect.com

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AA 0002849

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