

RESOLUTION NO. R-2015-230

(14-DJPV-90)

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA, CONSIDERING THE REQUEST FOR MODIFICATION FROM THE PARKING REQUIREMENTS, VARIANCE, DESIGN, AND SITE PLAN APPROVAL FOR THE CONSTRUCTION OF A MIXED-USE DEVELOPMENT PROJECT, CONSISTING OF 134 UNITS, KNOWN AS "JED TOWER," LOCATED AT 1817 TAYLOR STREET; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Hollywood's Zoning and Land Development Regulations require that all development projects which are located in a PD (Planned Development District) must receive Modifications, Variance, Design, and Site Plan approval from the City Commission prior to the issuance of any building permits; and

WHEREAS, on July 13, 2006, the Development Review Board passed and adopted Resolution No. 04-DV-79 which approved a Variance and Design, and on September 6, 2006, the City Commission passed and adopted Resolution No. R-2006-283 which approved a Site Plan for the project then known as "1 and Taylor Condominium Planned Development Master Plan;" and

WHEREAS, the Variance, Design and Site Plan approvals have all expired; and

WHEREAS, due to the economic environment and fluctuation in market conditions, there has been a change in ownership of the subject property; and

WHEREAS, JED Equities, LLC. (the "Applicant"), in File Number 14-DJPV-90, applied for Design, and Site Plan approval for the construction of a mixed-use development project consisting of 134 units, now known as "JED Tower Planned Development Master Plan," located at 1817 Taylor Street, as more particularly described in Exhibit "A" attached hereto and incorporated herein by reference; and

WHEREAS, the Applicant also applied for a Variance to waive the required 25 foot peripheral landscaped setback from all external streets; and

WHEREAS, the Applicant also applied for Modifications from the parking requirements to reduce the parking requirement for studio units to provide one space/unit; to reduce the required parking stall length to provide 18 feet; to allow tandem spaces to count towards fulfilling the parking requirement; to reduce the required driveway width to provide 22 feet; and to reduce the loading space requirement from three spaces to two spaces; and

WHEREAS, the Department of Planning Staff, reviewed of the Applicant's request for Design review in accordance with the criteria set forth in Section 5.3.I.4.a.(1) through (4) of the Zoning and Land Development Regulations and have recommended that the City Commission approve the Design; and

WHEREAS, the Technical Advisory Committee in accordance with Article 6 of the Zoning and Land Development Regulations reviewed the Applicant's request for Site Plan and recommended approval of the Site Plan with the following conditions:

- a. That prior to issuance of a Certificate of Occupancy, the Applicant shall submit to the City, the Condominium Documents approved by the State, which include notification to perspective property owners that: the parking garage shall be fully operated by valet services at all times;
- b. A Unity of Title or Unity of Control, in a form acceptable to the City Attorney, be submitted prior to the issuance of permits and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C); and

WHEREAS, the Department of Planning Staff, reviewed the Applicant's request for a Variance to waive the required 25 foot peripheral landscaped setback from all external streets in accordance with the criteria set forth in Section 5.3.F.1. a. through e. of the Zoning and Land Development Regulations and have recommended that the City Commission approve the Variance; and

WHEREAS, the Department of Planning Staff, after review of the Applicant's request for Modifications from the parking requirements set forth in Article 7 of the Zoning and Land Development Regulations to reduce the parking requirement for studio units to provide one space/unit; to reduce the required parking stall length to provide 18 feet; to allow tandem spaces to count towards fulfilling the parking requirement; to reduce the required driveway width to provide 22 feet; and to reduce the loading space requirement from three spaces to two spaces; and have recommended that the City Commission approve the requested Modifications; and

WHEREAS, the City Commission has reviewed the proposed Design for JED Towers in accordance with the criteria set forth In Section 5.3.I.4.a.(1) through (4) of the City's Zoning and Land Development Regulations, along with the Staff's recommendation and have determined that the Design should be approved/approved with conditions/denied; and

WHEREAS, the City Commission has reviewed the proposed Site Plan for the JED Towers in accordance with the review standards set forth in Article 6 of the Zoning and Land Development Regulations, along with Technical Advisory Committee's recommendation and have determined that the Site Plan should be approved/approved with the conditions/denied as set forth herein; and

WHEREAS, the City Commission has reviewed the proposed Variance of the 25 foot landscape setbacks for JED Towers in accordance with the criteria set forth in Section 5.3.F.1.a. through e. of the City's Zoning and Land Development Regulations, along with the Staff's recommendation and have determined that the Variance should be approved/approved with conditions/denied; and

WHEREAS, the City Commission has reviewed the proposed Modifications from the parking requirements set forth in Article 7 of the Zoning and Land Development Regulations, along with Staff's recommendation and have determined that the Modifications should be approved/approved with conditions/denied;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, and all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the Design criteria set forth in Section 5.3.4.I.a.(1) through (4) of the City's Zoning and Land Development Regulations, the City Commission finds the necessary criteria have been met, and the Design is hereby approved.

Section 2: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, and all submitted written and oral testimony received during the public hearing from all parties and speakers, and consideration of the Site Plan review standards set forth in Article 6 of the Zoning and Land Development Regulations, along with Staff's recommendation, the City Commission finds that the necessary review standards have been met, and the Site Plan attached hereto and incorporated herein by reference as Exhibit "B", is hereby approved with the following conditions:

- a. That prior to issuance of a Certificate of Occupancy, the Applicant shall submit to the City, the Condominium Documents approved by the State, which include notification to perspective property owners that: the parking garage shall be fully operated by valet services at all times; and
- b. A Unity of Title or Unity of Control, in a form acceptable to the City Attorney, be submitted prior to the issuance of permits and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C).

Section 3: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, and all submitted written and oral testimony received during the public hearing from all parties and speakers, and consideration of the Variance criteria set forth in Section 5.3.F.1.a through e. of the

City's Zoning and Land Development Regulations, to eliminate the 25 foot peripheral landscaped setback from all external streets, the City Commission finds the necessary criteria have been met, and the Variance is hereby approved.

Section 4: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the City Commission finds the necessary criteria have been met, and the Modification from the parking requirements set forth in Article 7 of the Zoning and Land Development Regulations, is hereby approved.

Section 5: That the Applicant shall have up to 24 months from the date of Design approval to apply for all necessary building permits required to proceed with construction. Failure to submit an application within the required time period shall render all approvals null and void.

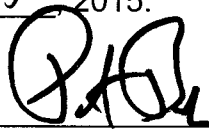
Section 6: That the Applicant shall have up to 24 months from the date of Site Plan approval to apply for all necessary building permits required to proceed with construction. Failure to submit an application within the required time period shall render all approvals null and void.

Section 7: That the Applicant shall have up to 24 months from the date of the Variance approval to apply for a valid construction permit. Failure to submit an application within the requested time period shall render all approvals null and void.

Section 8: That this resolution shall be in full force and effect immediately upon its passage and adoption.

PASSED AND ADOPTED this 8 day of July, 2015.

RENDERED this 20 day of August, 2015.



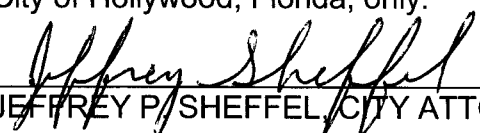
PETER BOBER, MAYOR

ATTEST:



PATRICIA A. CERNY, MMC, CITY CLERK

APPROVED AS TO FORM & LEGALITY
for the use and reliance of the
City of Hollywood, Florida, only.



JEFFREY P. SHEFFEL, CITY ATTORNEY

EXHIBIT A

LOTS 9, 10, 11, 12, 13, 14 AND 15 LESS THE EAST 15.00 FEET AND THAT PART INCLUDED IN THE EXTERNAL AREA FORMED BY A 15.00 FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF SAID LOT 15 AND TANGENT TO A LINE WHICH IS 15.00 FEET WEST OF AN PARALLEL TO THE EAST LINE OF SAID LOT 15, BLOCK 44, OF "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



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marianocorral@comcast.net

CIVIL ENGINEER

CLIFFORD LOUTAN

SUN-TECH ENGINEERING INC.

1600 W. OAKLAND PARK BOULEVARD # 202

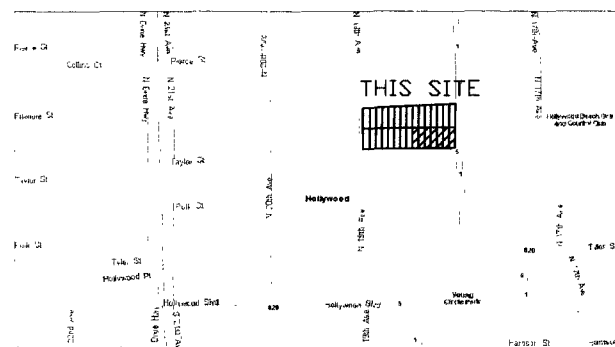
FORT LAUDERDALE, FLORIDA 33311

TEL. (954) 777-3123

cloutan@suntecheng.com

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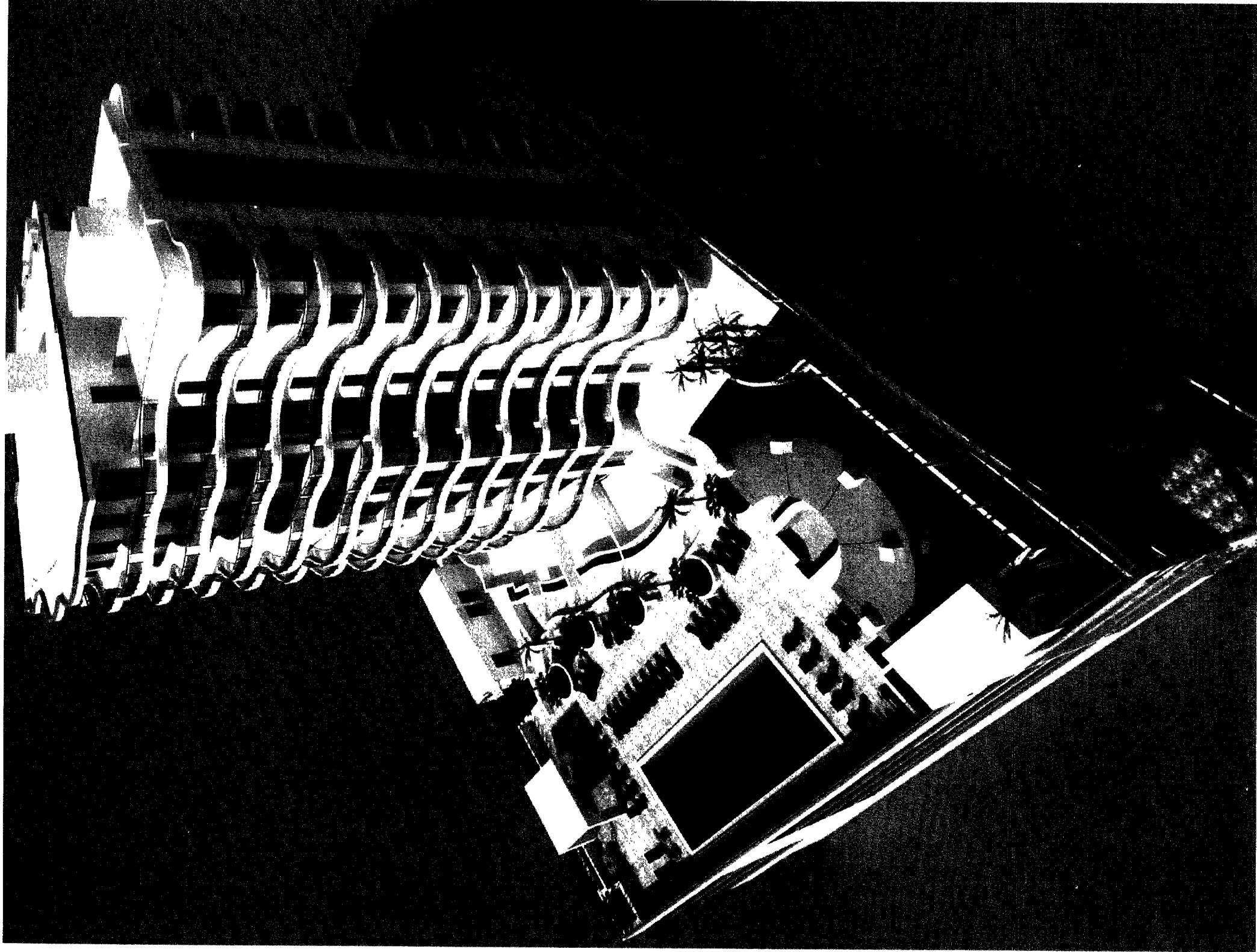


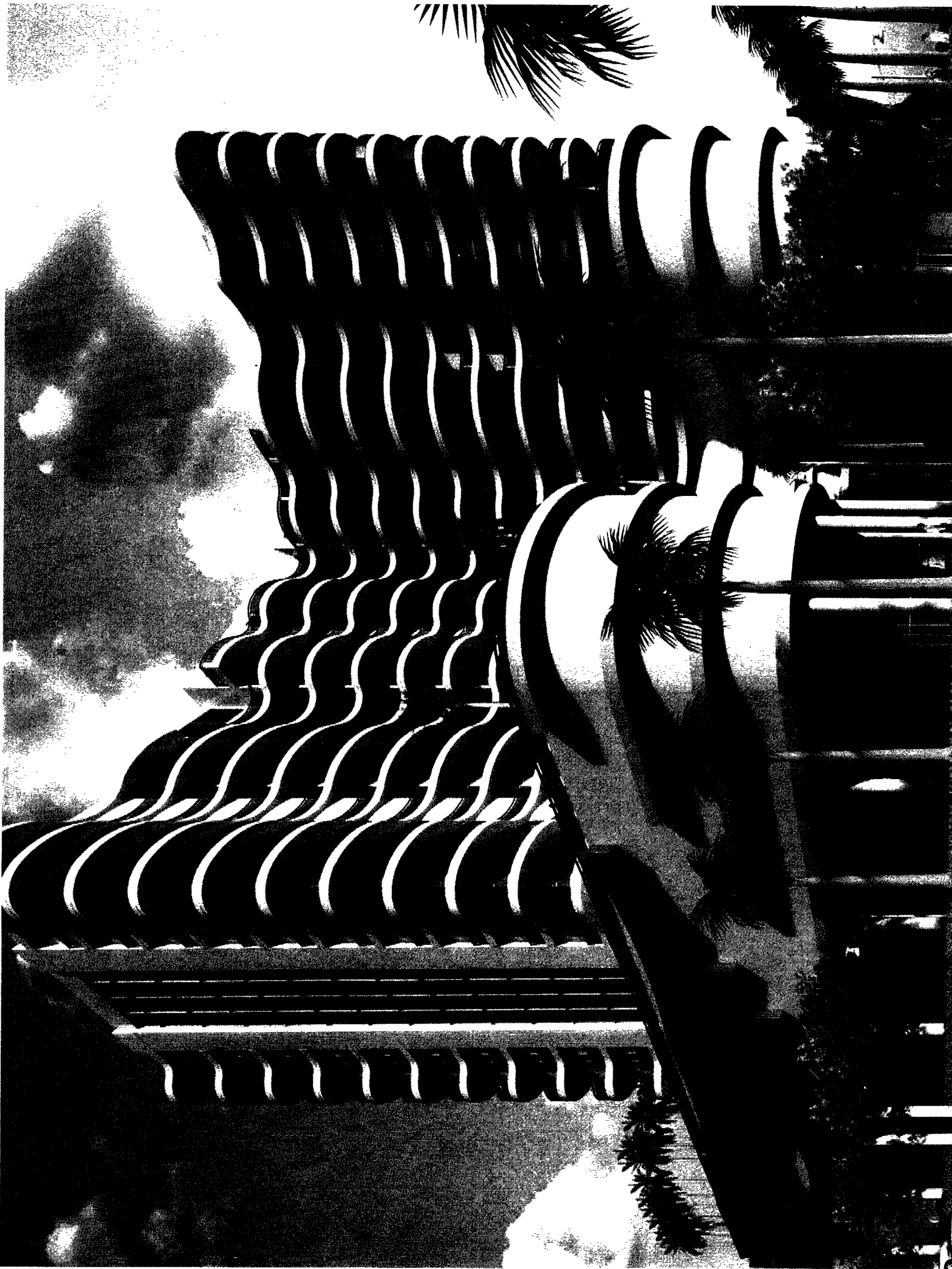
SUBMITTAL TO CITY COMMISSION

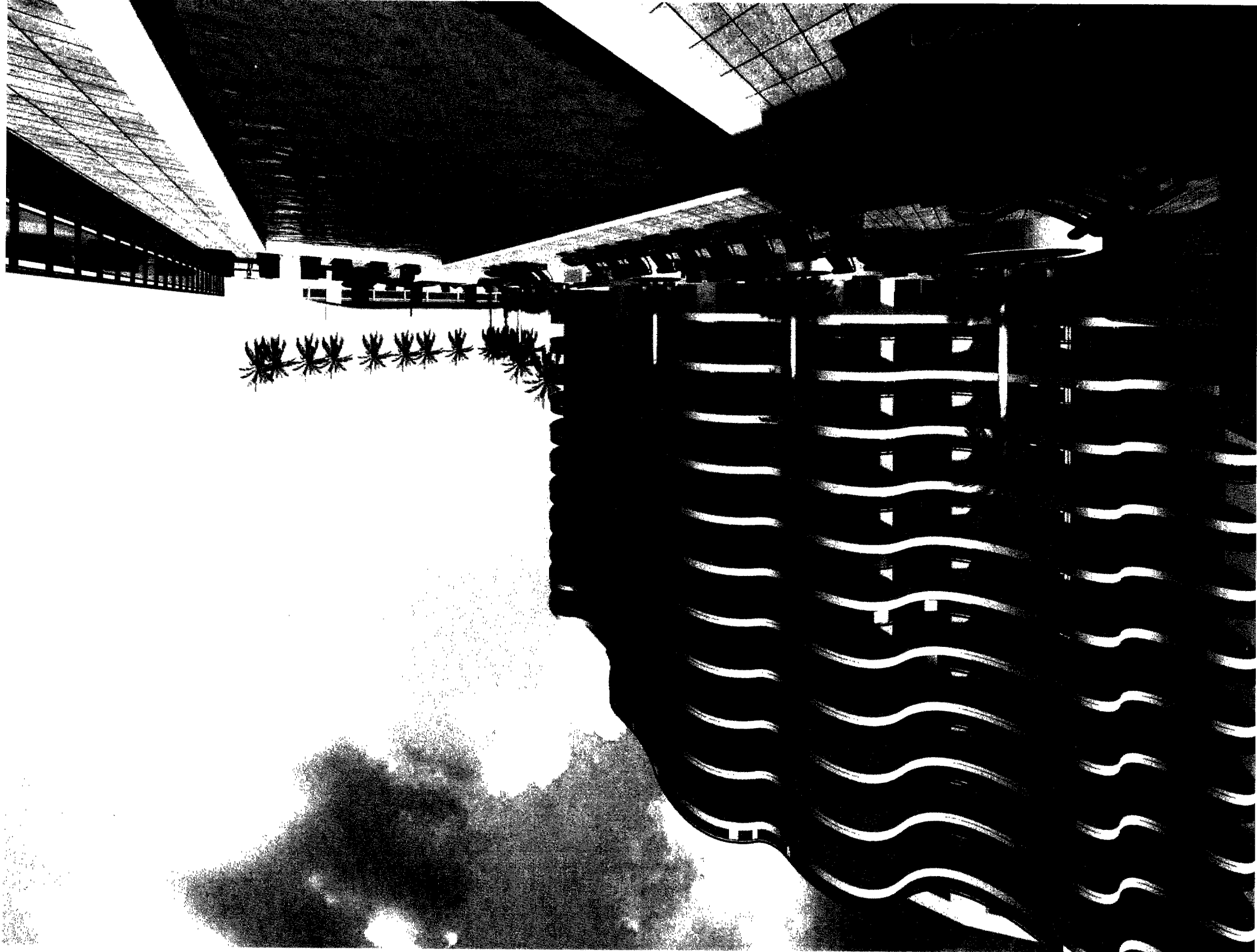
JED TOWER

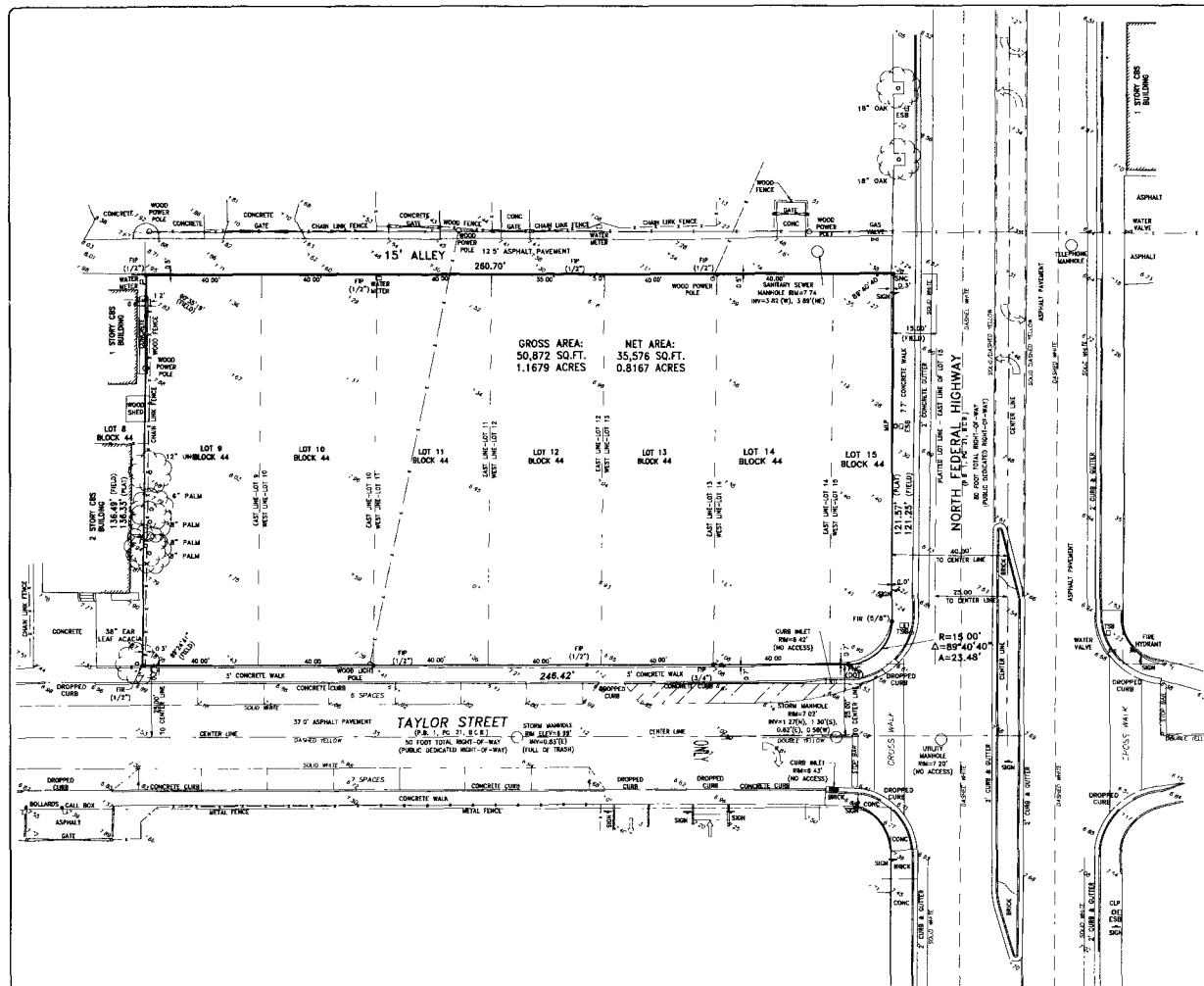
FOR:
JED EQUITIES LLC.

LOCATED AT:
1817 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033







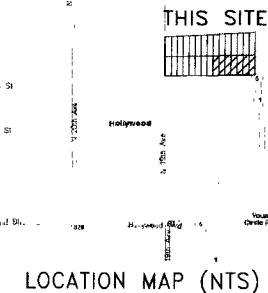


LAND DESCRIPTION:

LOTS 9, 10, 11, 12, 13, 14 AND 15 LESS THE EAST 15.00 FEET AND THAT PART INCLUDED IN THE EXTERNAL AREA FORMED BY A 15.00 FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF SAID LOT 15 AND TANGENT TO A LINE WHICH IS 15.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID LOT 15, BLOCK 44, OF "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGEND

BCR	BROWARD COUNTY RECORDS	SIR	SET IRON ROD & CAP #6448
CKD	CHECKED BY	FND	FOUND NAIL & DISC
DWN	DRAWN BY	ALTA	AMERICAN LAND TITLE ASSOCIATION
FB/PG	FIELD BOOK AND PAGE	ACSM	AMERICAN CONGRESS ON SURVEYING & MAPPING
FIP	FOUND IRON PIPE	CB	CATCH BASIN
FIR	FOUND IRON ROD	B.C.R.	BROWARD COUNTY RECORDS
ORB	OFFICIAL RECORDS BOOK	-X-	WOOD/CHAIN LINK FENCE
PB	PLAT BOOK	WPP	WOOD POWER POLE
PG	PAGE	CLP	CONCRETE LIGHT POLE
SQ.FT.	SQUARE FEET	MLP	METAL LIGHT POLE
△	CENTRAL ANGLE	CPP	CONCRETE POWER POLE
R	RADIUS	ESB	ELECTRIC SERVICE BOX
ARC	ARC DISTANCE	-E-	OVERHEAD UTILITY LINES
---/---	NON VEHICULAR ACCESS LINE	UNK	UNKNOWN TREE TYPE



NOTES:

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED
- SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON THE OWNERSHIP & ENCUMBRANCES REPORTS, LISTED HEREON, ISSUED BY ATTORNEYS' TITLE FUND SERVICES, LLC.
a) (FUND FILE NO.: 10-2014-109061)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014.
b) (FUND FILE NO.: 10-2014-109062)-EFFECTIVE DATE FROM JULY 30, 2010 TO NOVEMBER 8, 2013.
c) (FUND FILE NO.: 10-2014-109063)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014.
THERE ARE NO PLOTTABLE ENCUMBRANCES
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- BENCHMARK DESCRIPTION: CITY OF HOLLYWOOD BENCHMARK @ TAYLOR STREET & 18TH AVENUE. ELEVATION = 9.55'(NGVD29) - 8.04'(NAVD88)
- NET AREA (TO R/O/W LINES & PROPERTY LINES) = 35,576 SQ.FT. (0.8167 ACRES)
GROSS AREA (TO CENTERLINE OF R/O/W) = 50,872 SQ.FT. (1.1679 ACRES)

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0569 H
ZONE	0.2 PCT
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	08/18/14

SURVEYOR'S CERTIFICATION

THAT (A) THIS SURVEY WAS PREPARED UNDER MY SUPERVISION; (B) THE LEGAL DESCRIPTION OF THE PROPERTY AS SET FORTH HEREIN, AND THE LOCATION OF ALL IMPROVEMENTS, FENCES, EASEMENTS, ROADWAYS, RIGHTS OF WAY AND SETBACK LINES WHICH ARE EITHER VISIBLE OR OF RECORD IN BROWARD COUNTY, FLORIDA (ACCORDING TO OWNERSHIP AND ENCUMBRANCES REPORTS, FUND FILE NUMBER: 10-2014-109061, FROM JULY 30, 2010 TO OCTOBER 6, 2014, (FUND FILE NO.: 10-2014-109062)-EFFECTIVE DATE FROM JULY 30, 2010 TO NOVEMBER 8, 2013, AND (FUND FILE NO.: 10-2014-109063)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014), ARE ACCURATELY REFLECTED HEREON; AND (C) THIS SURVEY ACCURATELY DEPICTS THE STATE OF FACTS AS THEY APPEAR ON THE GROUND. THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ("ALTA"), THE AMERICAN CONGRESS ON SURVEYING AND MAPPING ("ACSM") AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS ("NSPS") IN 2011, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 11 (A), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT:

THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ALTA, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS"

DATED: 11/17/14 FOR THE FIRM BY: Richard E. Cousins
RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION No. 4188.

COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION: LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT:
JED EQUITIES, LLC

TAYLOR STREET & NORTH FEDERAL
HIGHWAY, HOLLYWOOD, FL

ALTA/ACSM LAND
TITLE SURVEY

REVISIONS		DATE	FB/PG	DWN	CKD
UPDATED SURVEY		08/29/14	SECTION	40	REC
UPDATED ALTA/ACSM LAND TITLE SURVEY		11/17/14	SECTION	40	REC
ADDITIONAL LOCATION					

PROJECT NUMBER: 4816-04
SCALE: 1" = 20'

SHEET
1 OF 1
SHEET

BUILDING FLOOR AREAS																		
FLOOR	1ST	2ND	3RD	4TH	5TH	6TH	7TH	8TH	9TH	10TH	11TH	12TH	14TH	15TH	16TH	17TH	18TH	TOTAL
GROSS BUILDING (INT. AREA) INCL. STAIRS, ELEV., CORR.	1500B	5795				12,690	12,690	12,690	12,690	12,690	12,690	12,690						165,998
GARAGE	995Q	1411Q	30,465	30,465	30,465													115,455
TERRACE / BALCONIES						17,775	2,025	2,025	2,025	2,025	2,025	2,025						49,660
AREA SUBTOTALS	24,958	19,905	30,465	30,465	30,465	30,465	14,715	14,930	14,930	14,930	14,930	14,930		14,715	14,715	14,715	14,715	330,613

[illegible]

TYPE "F" CURB
NTS

PAVER
DETAIL (TYPE "D")
NTS.

PAVER DETAIL
NTS

NOTE :
ALL HG ACCESS ROUTE PAVEMENT
TO BE PAINTED IN BLUE

6' EXTENDED TIME STOP
2' COLUMN
12'-0"
8'-0"
2'-0"
TYP. COLUMN
TYP. COLUMN

**TYP PARKING ADJACENT
TO A WALL & COLUMNS**

N.T.S.

TYP PARKING ADJACENT
TO A WALL & COLUMNS

Diagram illustrating the required dimensions and features for a wheelchair accessible parking space:

- Handicap Sign:** A sign with the word "HANDICAP" and a wheelchair symbol is required. The sign is 5'-0" high and 12"-18" wide. It is mounted on a post that is 12"-18" high. The sign is 5'-0" from the front of the space and 12"-18" from the side of the space.
- Dimensions:**
 - Overall width: 8'-6"
 - Overall length: 12'-0"
 - Front of space: 5'-0"
 - Side of space: 12'-0"
 - Back of space: 5'-0"
- Other Features:**
 - A "TREE STOP" is indicated on the left side of the space.
 - A "4' WIDE (BLUE) AS PER. REQUIRED" area is indicated on the right side of the space.
 - A "4' WIDE (BLUE) AS PER. REQUIRED" area is indicated on the right side of the space.
 - A "4' WIDE (BLUE) AS PER. REQUIRED" area is indicated on the right side of the space.
 - A "4' WIDE (BLUE) AS PER. REQUIRED" area is indicated on the right side of the space.

HANDICAP PARKING DETAIL
& TYP. PARKING
NTS.

Diagram of a handicapped parking sign with dimensions and specifications:

- Sign Dimensions:** 24" high, 12" wide.
- Top Sign:** Contains the International Symbol of Access (wheelchair icon).
- Bottom Sign:** Contains the text: "PARKING BY DISABLED PERMIT ONLY", "UP TO \$ 200.00 FINE", and "6'-4" MAX. A.F.F." (with a downward arrow).
- Specifications:**
 - PAINT DOT MENTS (on the top sign)
 - LOOK UP COUNTRY ORDINANCE
 - WHITE ON BLUE BACKGROUND
 - BLACK LETTERS IN WHITE BACKGROUND (on the bottom sign)
 - NOTE: SIGN MUST BE AT THE BOTTOM AND THE BOTTOM SIGN MUST BE AT LEAST 4" ABOVE GRADE

HANDICAP SIGN DETAIL
N.T.S.

1. PARKING SHALL BE 100% VALET PARKING 24 HOURS / 7 DAYS
2. * 9' 30" N.A.V.O. = ELEV. +11.0
3. AS PER ARTICLE 4.14 SECTION E-4 OF ZONING AND LAND DEVELOPMENT REGULATION ALL UTILITIES WILL BE UNDERGROUND UNLESS EXEMPTED
4. * HYDRANT ARE LOCATED ON THE CIVIL PLANS.
5. RETAIL / COMMERCIAL FINISH FLOOR TO BE 6' ABOVE CROWN OF THE ROAD ELEVATION REFER TO THE CIVIL DWGS
6. ALL STREET SCAPE / LANDSCAPING & STREET LIGHTING IS PART OF THIS SITE PLAN THIS WILL BE COORDINATED WITH CRA DIRECTOR
7. MAIL WILL BE DELIVERED TO THE INDIVIDUAL RETAIL TENANTS MAIL TO THE CONDOMINIUM WILL BE DELIVERED TO A CENTRAL MAIL ROOM IN THE AMENITY
8. PARKING GARAGE STRUCTURE & THE CONDOMINIUM BUILDING WILL BE FULLY FIRE SPRINKLERED TYPE 1 CONSTRUCTION DUE TO TANDDEM PARKING THE FIRE SPRINKLER SYSTEM WILL BE EXTRA HAZARD DESIGN
9. BUILDING WILL BE DESIGN AS A LEED BUILDING WITH A CERTIFICATION ONLY
10. CONDO DOGS WILL PROVIDE A CLAUSE STATING THAT NO GAS BBQ GRILLS WILL BE PERMITTED
11. PROVIDE SAFETY RADIO ENHANCEMENT SYSTEM REPEATER
12. ALL SIGNAGE WILL COMPLY WITH ZONING & LAND DEVELOPMENT REGULATIONS 7 A SEPARATE SUBMITTAL WILL BE PROVIDED
13. ALL SIGNS WHICH ARE ELECTRICALLY ILLUMINATED SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT & INSPECTION SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN
14. THESE ARE THE FOLLOWING EXTERNAL LEVELS OF ILLUMINATION
 - PARKING LOTS 2-4 fc
 - WALKING SURFACES 1 fc
 - RECREATIONAL AREAS 2-4 fc
 - BUILDING ENTRYWAYS 5 fc
15. ALL EXTERIOR LIGHTING SHALL BE CONTROLLED BY PHOTOCELLS AND TIMERS
16. MAXIMUM LIGHTING LEVELS AT PROPERTY LINES SHALL BE A MAXIMUM 3/4" ON THE WEST SIDE OF THE PROPERTY LINE ADJACENT TO RESIDENTIAL
17. ALL EXTERIOR LIGHT FIXTURES WILL BE FABRICATED FROM POLYCARBONATE BREAK RESISTANT MATERIALS
18. ALL EXTERIOR DOORS SHOULD BE DESIGNED FOR "HEAVY DUTY" AND GRADE III APPLICATIONS
19. ALL PLANT MATERIAL PARTICULARLY TREE FOLIAGE SHOULD NOT INTERFERE WITH OR OBSCURE EXTERIOR LIGHTING
20. TRASH RECYCLING BINS WILL BE PROVIDED
21. ALL OVERHEAD ELECTRICAL LINES WILL BE RELOCATED UNDERGROUND

[illegible]

JED TOWER
1917 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033

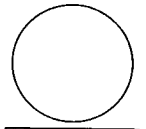
JED EQUITIES LLC.
CITY COMMISSION SUBMITTAL

salazararchitectural
group

URBAN PLANNING

SALAZAR ARCHITECTURAL GROUP
SAG GROUP INC. - www.SalazarArchitecturalGroup.com
4920 5TH AVE. SUITE 100
MAMI PLAZA 30100
TEL: 702-852 Salazar.sag@world.com

Signed and Sealed by
GABRIEL SALAZAR
AR # 0009297



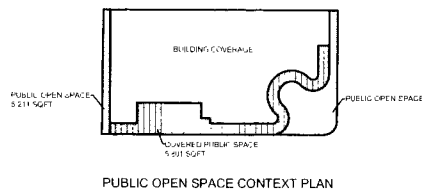
Job No. 230
Project Manager J.O.
Drawn by J.O.
Scale AS NOTED
Date 04-22-2015

SHEET No

SP-1

MODIFICATIONS TO P.D.		
DESCRIPTION	REQUIRED	PROPOSED
PARKING STALL SIZE	8.5' X 19'	8.5' X 18'
DRIVEWAY WIDTH	24'	22'
TANDEM PARKING		96
PARKING RATIO FOR STUDIO UNITS	1.5 SP/UNIT	1.0 SP/UNIT
PARKING VARIANCE	67.5 SP/UNIT	45 SP/UNIT 22.5 LESS
AIR RIGHT ENCROACHMENT INTO TAYLOR STREET		1'-6"
MINIMUM SEPARATION BETWEEN INGRESS & EGRESS DRIVEWAYS	50'	14'3"

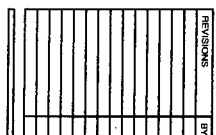
VARIANCES		
DESCRIPTION	REQUIRED	PROPOSED
LANDSCAPE SETBACK ALONG STREET	25'	0' TAYLOR ST 10' US-1



PUBLIC OPEN SPACE CONTEXT PLAN

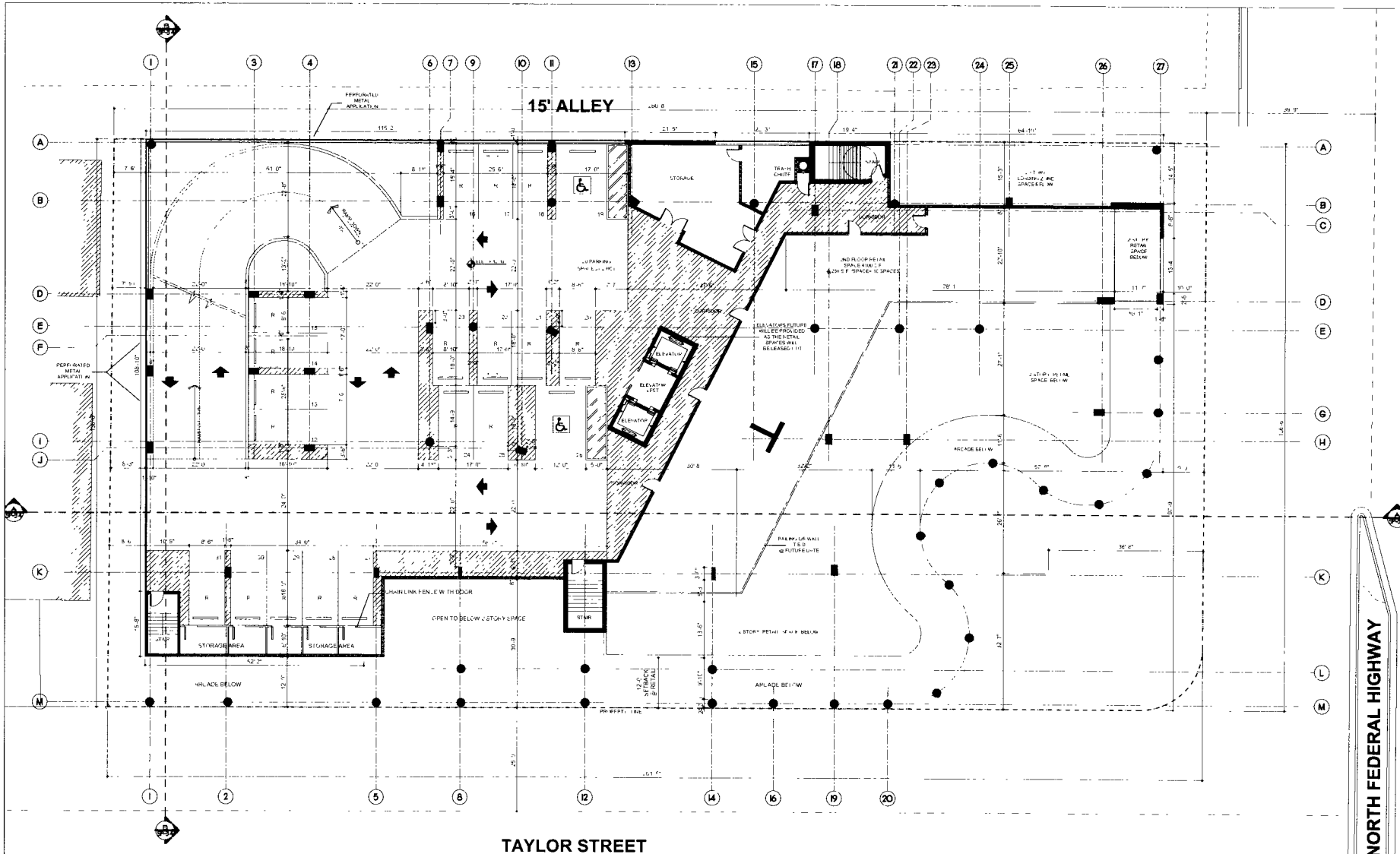
LAND DESCRIPTION:

LOTS 9, 10, 11, 12, 13, 14 AND 15 LESS THE EAST 15.00 FEET AND THAT PART INCLUDED IN THE EXTERNAL AREA FORMED BY A 15.00 FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF SAID LOT 15 AND TANGENT TO A LINE WHICH IS 15.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID LOT 15, BLOCK 44, OF "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



Signed and Sealed by
CAREEL SALAZAR
AR # 0009297

FIRST FLOOR PLAN
SCALE: 3/32



- PARKING LEGEND**
- 1 RETAIL PARKING SPACE
 - 2 GUEST PARKING SPACE
 - 3 HOA PARKING SPACE
 - 4 LOADING ZONE PARKING SPACE
 - 5 TANDEN PARKING SPACE
 - 6 PARKING SPACE UNITS
 - 7 PARKING SPACE UNITS AVAILABLE
 - 8 TANDEN PARKING SPACE AVAILABLE

PARKING COUNT	RETAIL	GUEST	HOA	UNITS	TOTAL
PARKING 1ST FLOOR	11 SPACES				11 SPACES
PARKING 2ND FLOOR	26 SPACES				26 SPACES
PARKING 3RD FLOOR	19 TANDEN SPACES	10 TANDEN SPACES	33 TANDEN SPACES	45 STANDARD SPACES	77 SPACES
PARKING 4TH FLOOR		17 TANDEN SPACES		45 STANDARD SPACES	62 SPACES
PARKING 5TH FLOOR				44 STANDARD SPACES	44 SPACES
PARKING TOTAL	56 SPACES	27 SPACES	33 SPACES	162 SPACES	218 SPACES

BUILDING AREA	SQFT
RETAIL & STORAGE	4795
GARAGE & SERVICE	15110
TOTAL AREA	20005



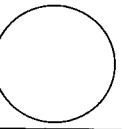
SECOND FLOOR PLAN
SCALE: 3/32

REVISIONS	BY

JED TOWER
187 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033
JED EQUITIES, LLC.
CITY COMMISSION SUBMITTAL

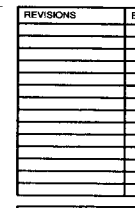
salazararchitecturalgroup
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SALAZAR ARCHITECTURAL GROUP, LLC
3840 GROUP, INC. - www.salazararchitecturalgroup.com
4000 N. W. 10TH AVE. SUITE 200
FORT LAUDERDALE, FL 33304
(954) 584-0000 salazar@salazararchitecturalgroup.com

Signed and Sealed by
GABRIEL SALAZAR
AR # 0009297



Job No. 230
Project Manager J.O.
Drawn by J.O.
Scale AS NOTED
Date 04-22-2015

SHEET No.
SP-2.2



JED TOWER
1817 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033

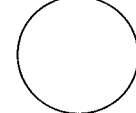
JED EQUITIES LLC,
CITY COMMISSION SUBMITTAL

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3101 NW 7th Ave. SUITE 102
MIAMI, FLORIDA 33136

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GABRIEL SALAZAR
AR # 0009297



Job No. 230
Project Manager J.O.
Drawn by J.O.
Scale AS NOTED
Date 04-13-2015

SHEET No.

SP-2.5

PARKING COUNT	TOTAL	GUEST	HOA	UNITS	TOTAL
PARKING 1ST FLOOR	11 SPACES				11 SPACES
PARKING 2ND FLOOR	20 SPACES				20 SPACES
PARKING 3RD FLOOR	10 STANDARD SPACES	10 TANDEM SPACES	03 STANDARD SPACES	45 STANDARD SPACES	77 SPACES
PARKING 4TH FLOOR		17 TANDEM SPACES		45 STANDARD SPACES	77 SPACES
PARKING 5TH FLOOR				15 TANDEM SPACES	
				45 STANDARD SPACES	77 SPACES
				30 TANDEM SPACES	
				02 AVAILABLE SPACE TANDEM	
				00 AVAILABLE SPACE TANDEM	
PARKING TOTAL PROVIDED	30 SPACES	27 SPACES	03 SPACES	192 SPACES	260 SPACES

BUILDING AREA	SQFT
GARAGE & SERVICE	30465
TOTAL AREA	30465



FIFTH FLOOR PLAN
SCALE: 3/32

JED TOWER
1617 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033


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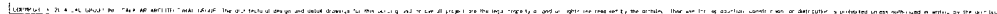
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170 BN 72ND AVE SUITE 102



SHEET No

SP-2.6



JED TOWER
1817 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033

JED EQUITIES, L.L.C.

CITY COMMISSION SUBMITTAL

Signed and Sealed by
GABRIEL SALAZAR
AR # 0009297

SHEET No

SP-3.1

SOUTH ELEVATION
SCALE: 1/16"=1'-0"

[illegible]

JED TOWER
1817 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033

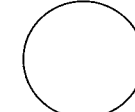
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GG GROUP INC. - www.SalazarArchitecturalGroup.com
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GABRIEL SALAZAR
AR # 0009297

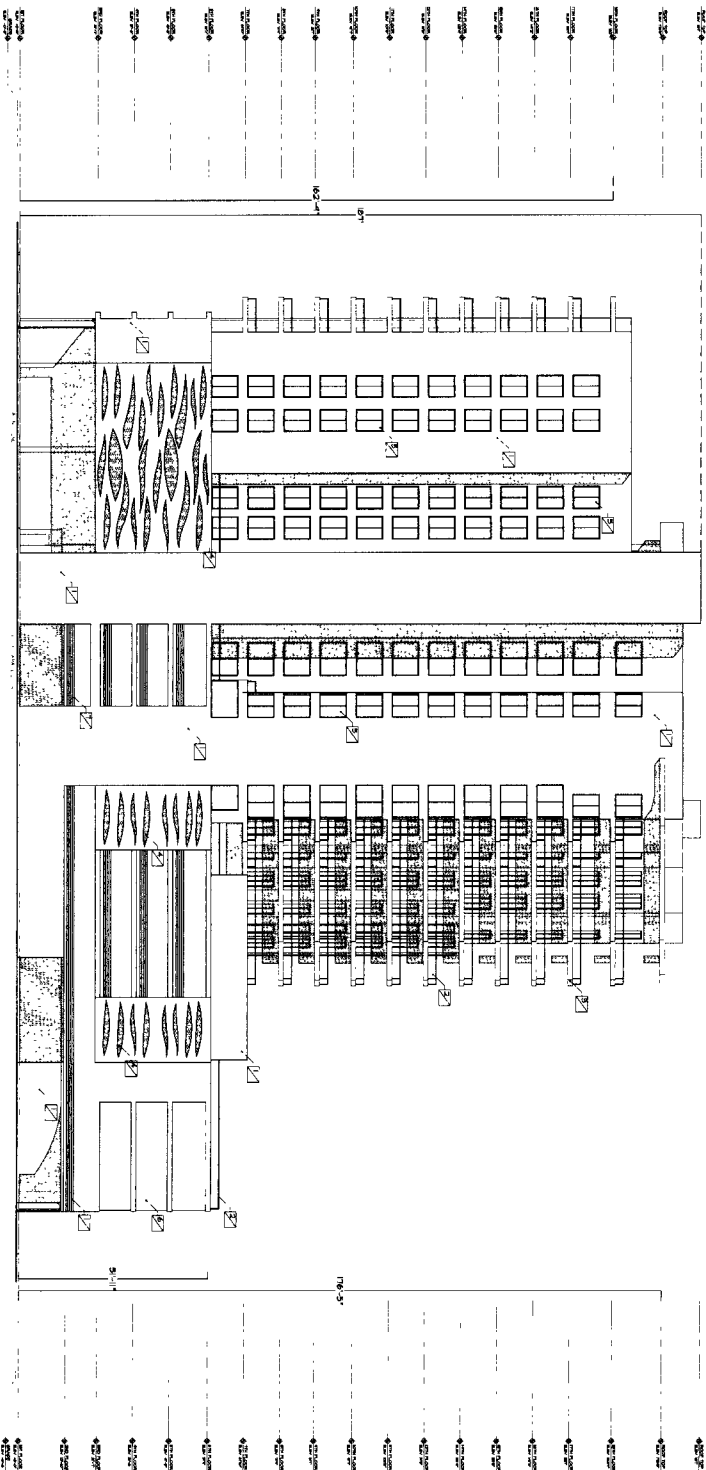


Job No. _____ 23
Project Manager _____ J.C.
Drawn by _____ J.C.
Scale _____ AS NOTED
Date _____ 04-22-201

SHEET No. _____

SP-3.2

ELEVATION LEGEND	
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<input checked="" type="checkbox"/>	GLASS RAILING
<input checked="" type="checkbox"/>	CONC. SLAB EXTENSION
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NORTH ELEVATION
SCALE: 1/16"=1'-0"

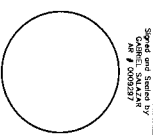
REVISIONS	BY

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1817 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033

JED EQUITIES LLC.
CITY COMMISSION SUBMITTAL

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MIAMI, FLORIDA 33155
TEL: 305-932-0000



Special and Listed by
AS 100000000

Job No. 234
Project Manager J.O.
Drawn by AS/ARCHITECT
Scale 1/16"=1'-0"

SP-3.3

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Date _____

SP-3.4



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1817 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033

JED EQUITIES LLC.
CITY COMMISSION SUBMITTAL

JED TOWER
1817 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033

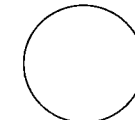
JED EQUITIES LLC.
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GABRIEL SALAZAR
AR # 0009297



Job No. 23
Project Manager J C
Drawn by J C
Scale AS NOTED
Date 04-22-201

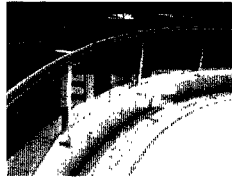
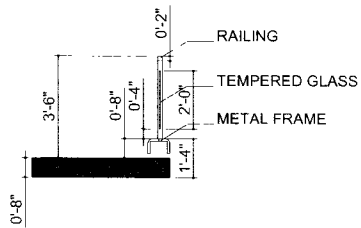
SHEET No.

SP-3.5

SP-3.5

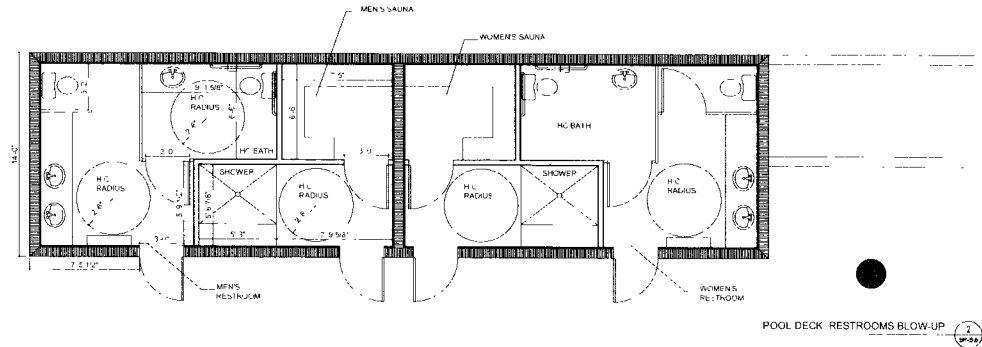
SECTION B-B
SCALE 1/16"=1'0"

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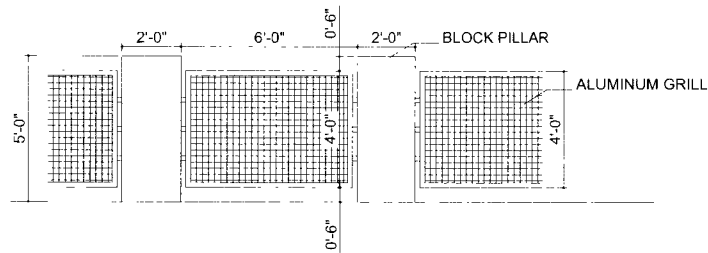
TYPICAL BALCONY RAILING DETAIL

SP-3.6



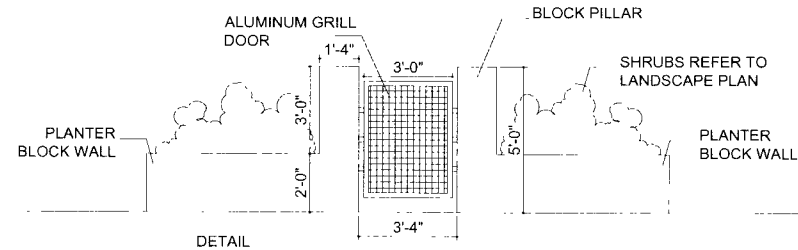
POOL DECK RESTROOMS BLOW-UP

2
SP-3.6



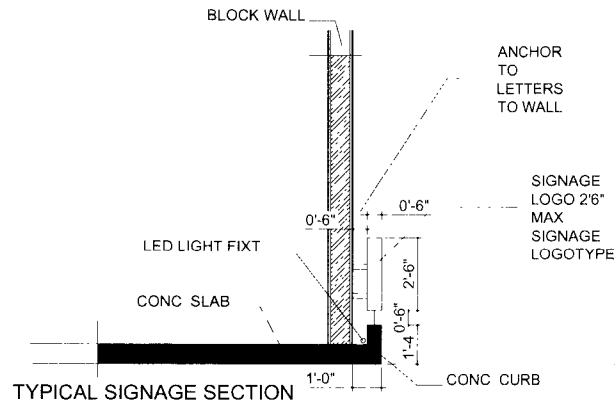
TYPICAL FENCE BETWEEN TERRACES DETAIL

3
SP-3.6

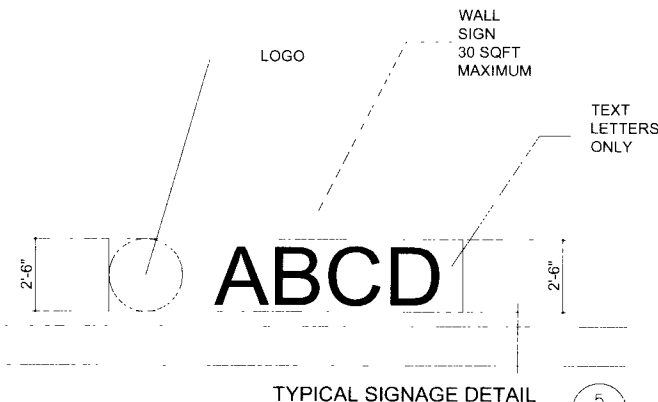


TYPICAL PLANTER+GATE @ POOL TERRACES DETAIL

4
SP-3.6



TYPICAL SIGNAGE SECTION



TYPICAL SIGNAGE DETAIL

5
SP-3.6

REVISIONS	BY

JED TOWER
1817 "A" OR "B" STREET, HOLLYWOOD, FL 33033
JED EQUITIES LLC.
CITY COMMISSION SUBMITTAL

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URBAN PLANNING
1817 "A" OR "B" STREET, HOLLYWOOD, FL 33033
JED EQUITIES LLC.
CITY COMMISSION SUBMITTAL

Signed and Sealed by
FABRIC, SALAZAR
ARCHITECTS
APR 8 2015

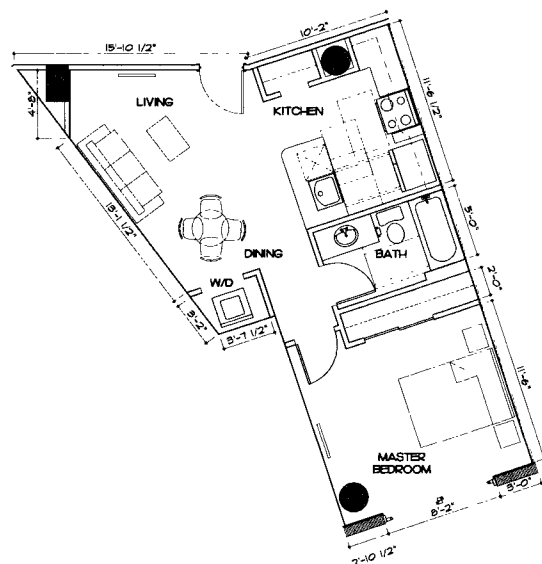


Job No. 290
Project Manager J.O.
Drawn by J.O.
Scale AS NOTED
Date 04-22-2015

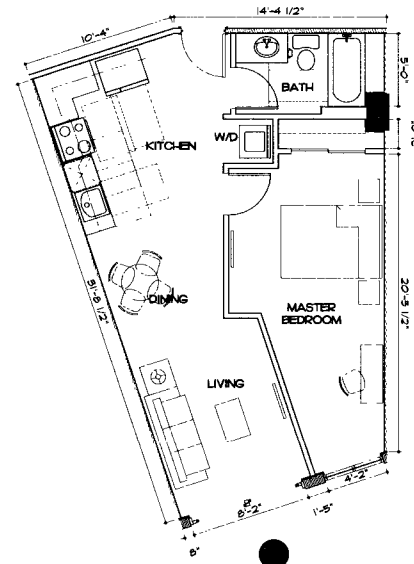
SHEET No.
SP-3.6

JED TOWER
1817 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033

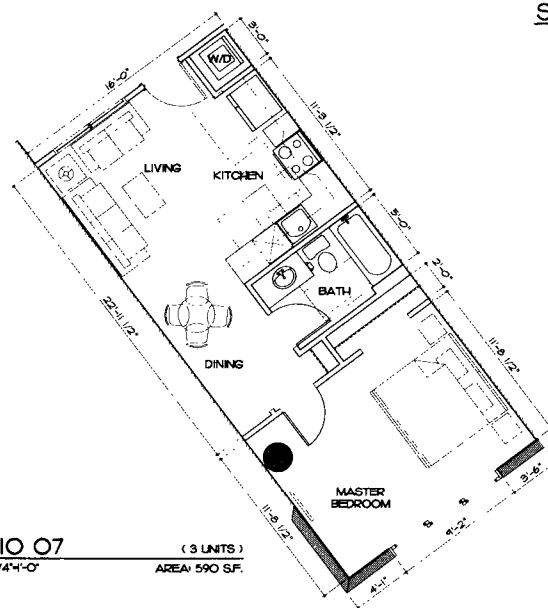
JED EQUITIES LLC
CITY COMMISSION SUBMITTAL



STUDIO 05 (7 UNITS)
SCALE 1/4"=1'-0" AREA: 620 S.F.



STUDIO 06 (7 UNITS)
SCALE 1/4"=1'-0" AREA: 630 SF.



STUDIO 07 (3 UNITS)
SCALE 1/4"=1'-0" AREA: 590 S.F.

[illegible]

JED TOWER
1817 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033

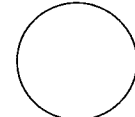
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AAG GROUP INC. • www.SalazarArchitecturalGroup.com
170 SW 72ND AVE SUITE 102
MIAMI, FLORIDA 33156

Signed and Sealed by
GABRIEL SALAZAR
AR # 0009297

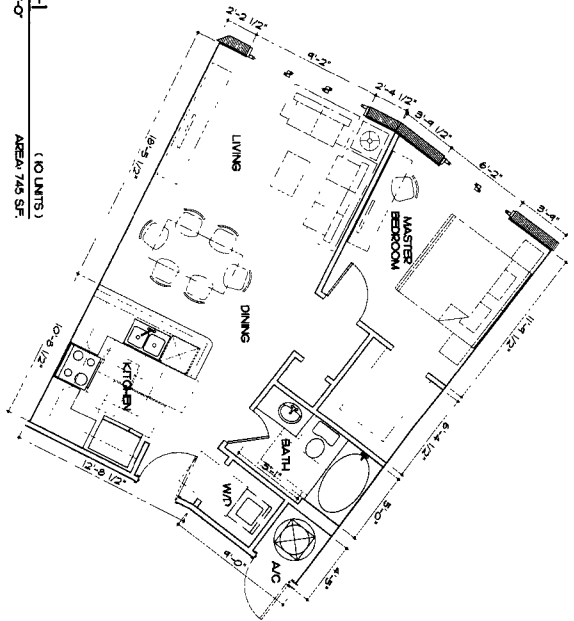


Job No. 230
Project Manager J O
Drawn by J O
Scale AS NOTED
Date 04-22-2015

SHEET No. _____

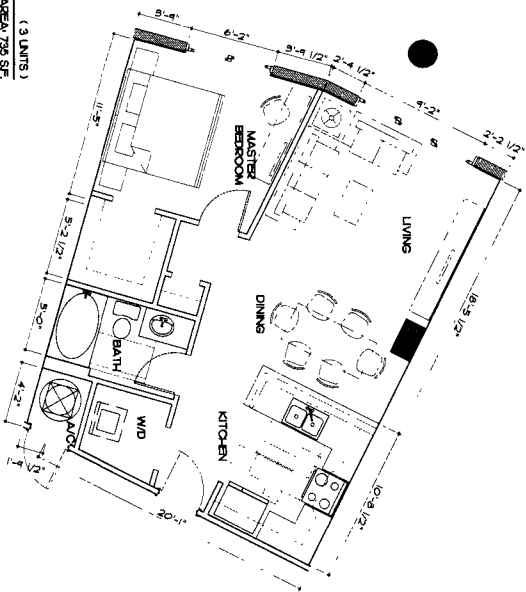
SP-4.2

UNIT A-1 (10 UNITS)
SCALE 1/4"=0' AREA: 745 S.F.

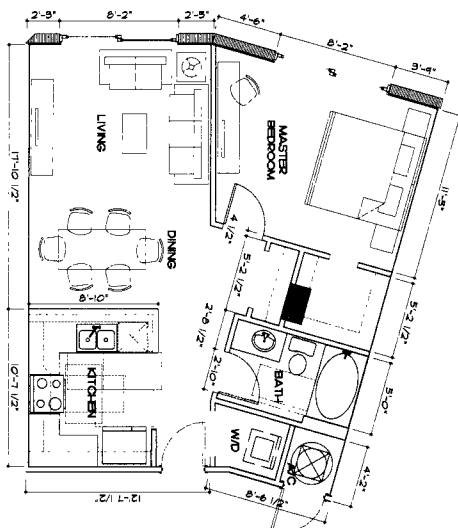


UNIT A-1 (10 UNITS)
SCALE 1/4"=1'-0" AREA: 745 S.F.

UNIT A-20 (3 UNITS)
SCALE 1/4"=0' AREA 735 SF.



UNIT A-3 (3 UNITS)
SCALE 1/4"=1'-0" AREA 740 S.F.



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CITY COMMISSION SUBMITTAL

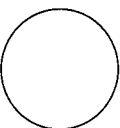
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4070 SW 72nd AVE. SUITE 102
MIAMI FLORIDA 33155

Signed and Sealed to
GABRIEL SALAZAR



Job No _____ 230
Project Manager _____ JO
Drawn by _____ JO
Scale _____ AS NOTED
Date _____ 04-13-2016

SP-4.3

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[illegible]

1200 sq. ft. ranch-style house. The layout includes a front porch (8'-0" x 12'-0"), a living room (12'-0" x 12'-0") with a fireplace, a dining room (10'-0" x 12'-0") with a table and chairs, a kitchen (10'-0" x 12'-0") with a sink, stove, and refrigerator, a master bedroom (12'-0" x 12'-0") with a walk-in closet and a private bathroom, a second bedroom (12'-0" x 12'-0") with a walk-in closet, a second bathroom, and a central hallway. The overall dimensions are 36'-0" wide by 28'-0" deep.

[illegible]

SP-4.4

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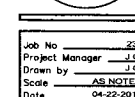
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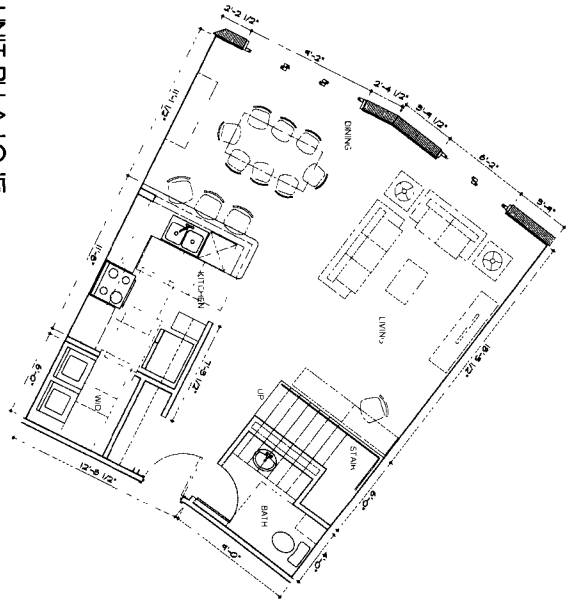
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5th 72nd AVE. SUITE 102

AR 0009297

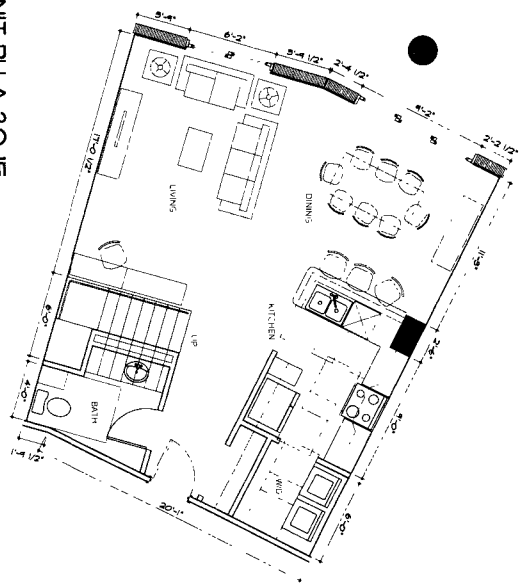


SP-4.5

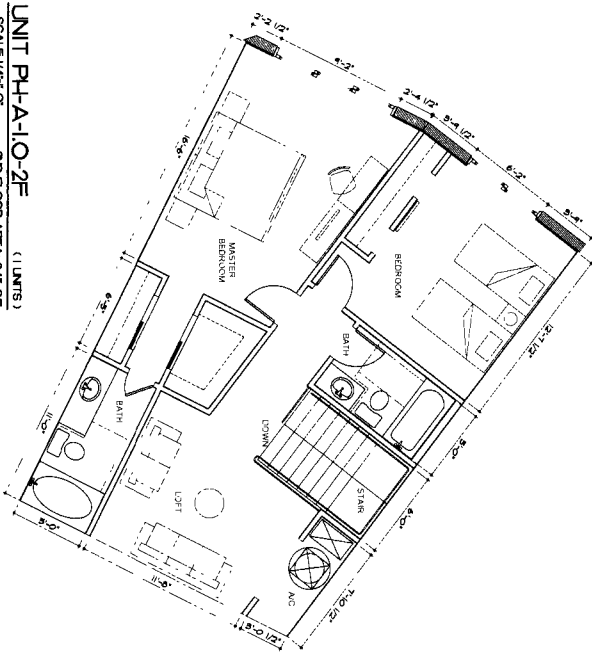
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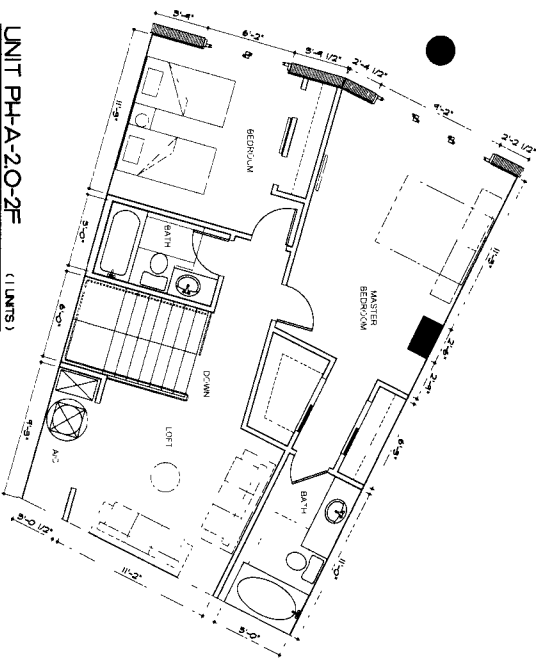
UNIT PH-A-10-1F (1 UNITS)
SCALE 1/4"=1'-0" 1ST FLOOR AREA 745 SF.



UNIT PH-A-20-1F (1 UNITS)
SCALE 1/4"=1'-0" 1ST FLOOR AREA 735 SF.



UNIT PH-A-10-2F (1 UNITS)
SCALE 1/4"=1'-0" 2ND FLOOR AREA 645 SF.



UNIT PH-A-20-2F (1 UNITS)
SCALE 1/4"=1'-0" 2ND FLOOR AREA 645 SF.

REVISIONS	BY

JED TOWER
1817 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033
JED EQUITIES LLC.
CITY COMMISSION SUBMITTAL

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4875 NW 74th AVE SUITE 102
MIAMI, FLORIDA 33155
(786) 556-9023 gsalazar@salazargroup.com

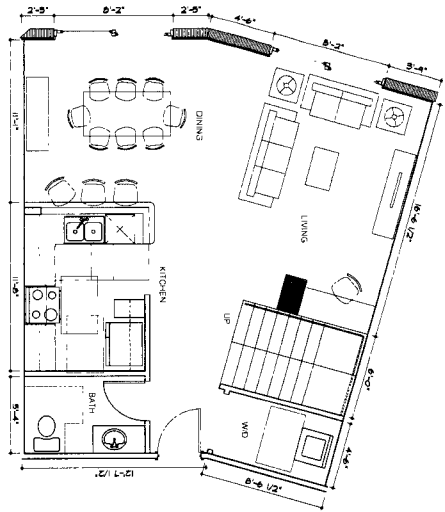
Sign and Seal of
Professional Engineer
for # 0009257

Job No. 230
Project Manager JLO
Drawn by JAS/SC/ELC
Scale 1/4"=1'-0"
Date 04.13.2014

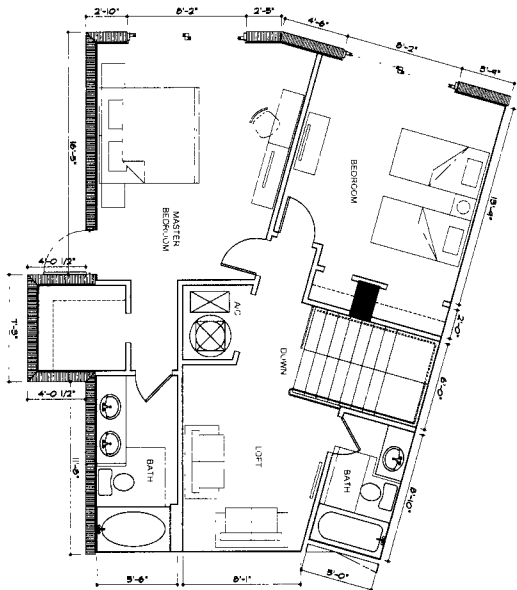
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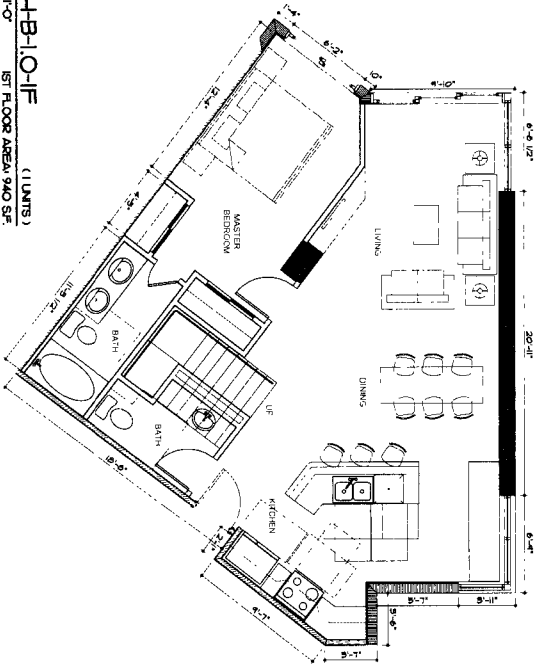
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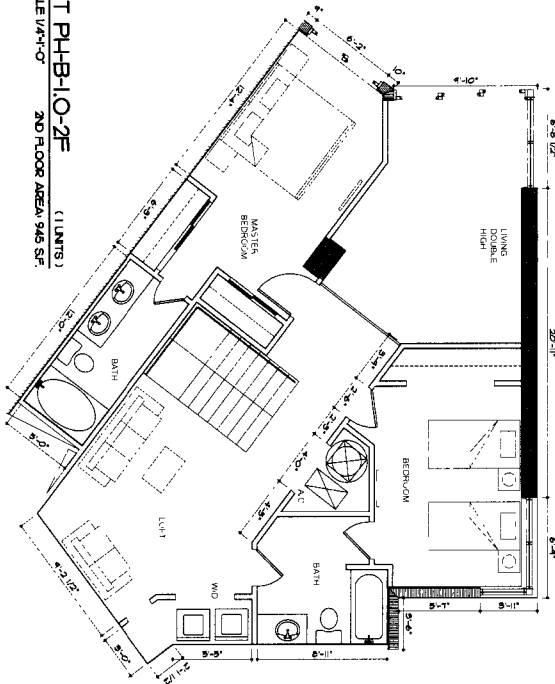
UNIT PH-A-3.0-1F (1 UNIT)
SCALE 1/4"=1'-0"
1ST FLOOR AREA 740 SF.



UNIT PH-A-3.0-2F (1 UNIT)
SCALE 1/4"=1'-0"
2ND FLOOR AREA 895 SF.



UNIT PH-B-1.0-1F (1 UNIT)
SCALE 1/4"=1'-0"
1ST FLOOR AREA 940 SF.



UNIT PH-B-1.0-2F (1 UNIT)
SCALE 1/4"=1'-0"
2ND FLOOR AREA 945 SF.

REVISIONS	DATE

JED TOWER
1817 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033
JED EQUITIES LLC.
CITY COMMISSION SUBMITTAL

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URBAN PLANNING
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3443 GROUP WAY, SUITE 101
MIAMI, FLORIDA 33133
TEL: 305.555.1234
FAX: 305.555.1235
WWW.SALAZARARCHITECTURALGROUP.COM

Sealed and signed by
[Signature]
DATE: 09/28/2018
BY: 0000000000

Job No: 238
Project Manager: J.S.
Drawn by: J.S.
Check by: J.S.
Date: 09/28/2018

SP-4.7

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JED EQUITIES LLC.
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JED TOWER
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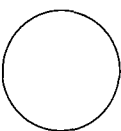
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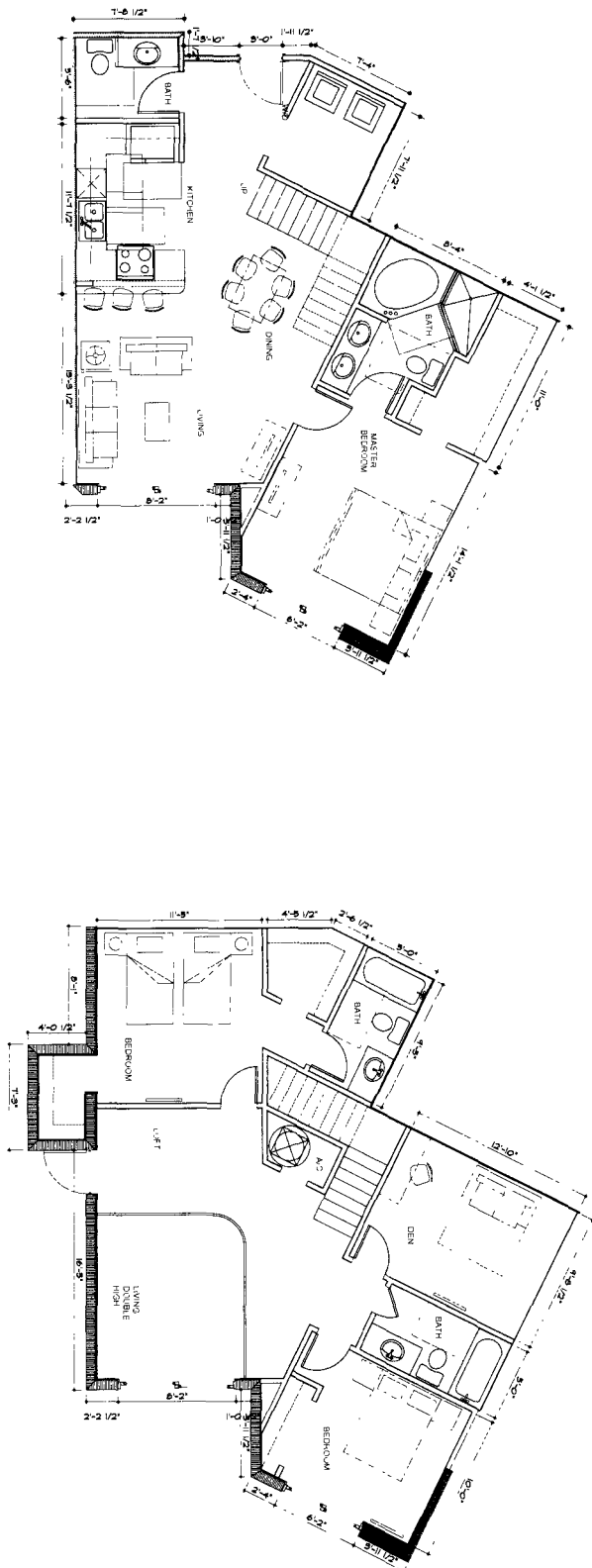
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MIAMI, FL 33149

Signed and Sealed by
GABRIEL SALAZAR
AR # 0009297



Job No. 230
Project Manager J O
Drawn by J O
Scale AS NOTED
Date 04-22-2015

SP-4.8

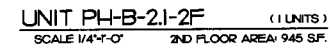
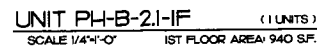


UNIT PH-B-2.0-1F (1 UNITS)
SCALE 1/4"=0' 1ST FLOOR AREA 940 SF.

UNIT PH-B-2.0-2F (1 UNITS)
SCALE 1/4"=1'-0" 2ND FLOOR AREA: 905 SF.

JED TOWER
1817 TAYLOR STREET, HOLLYWOOD, FLORIDA 33039

JED EQUITIES LLC.
CITY COMMISSION SUBMITTAL



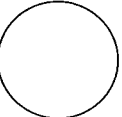
salazararchitectural
group

URBAN PLANNING

SALAZAR ARCHITECTURAL GROUP

SAG GROUP INC. www.SalazarArchitecturalGroup.com
10000 W. CENTURY BLVD. SUITE 102
MARIETTA, GA 30066
(770) 206-0022 • psalazar@saggroup.com

Signed and Sealed by
GABRIEL SALAZAR
AR # 0009297



Job No. 230
Project Manager JO
Drawn by JO
Scale AS NOTED
Date 04-22-2015

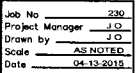
SHEET No

SP-4.9

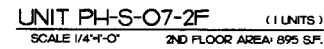
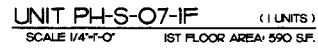
JED TOWER
1817 TAYLOR STREET, HOLLYWOOD, FLORIDA 33033

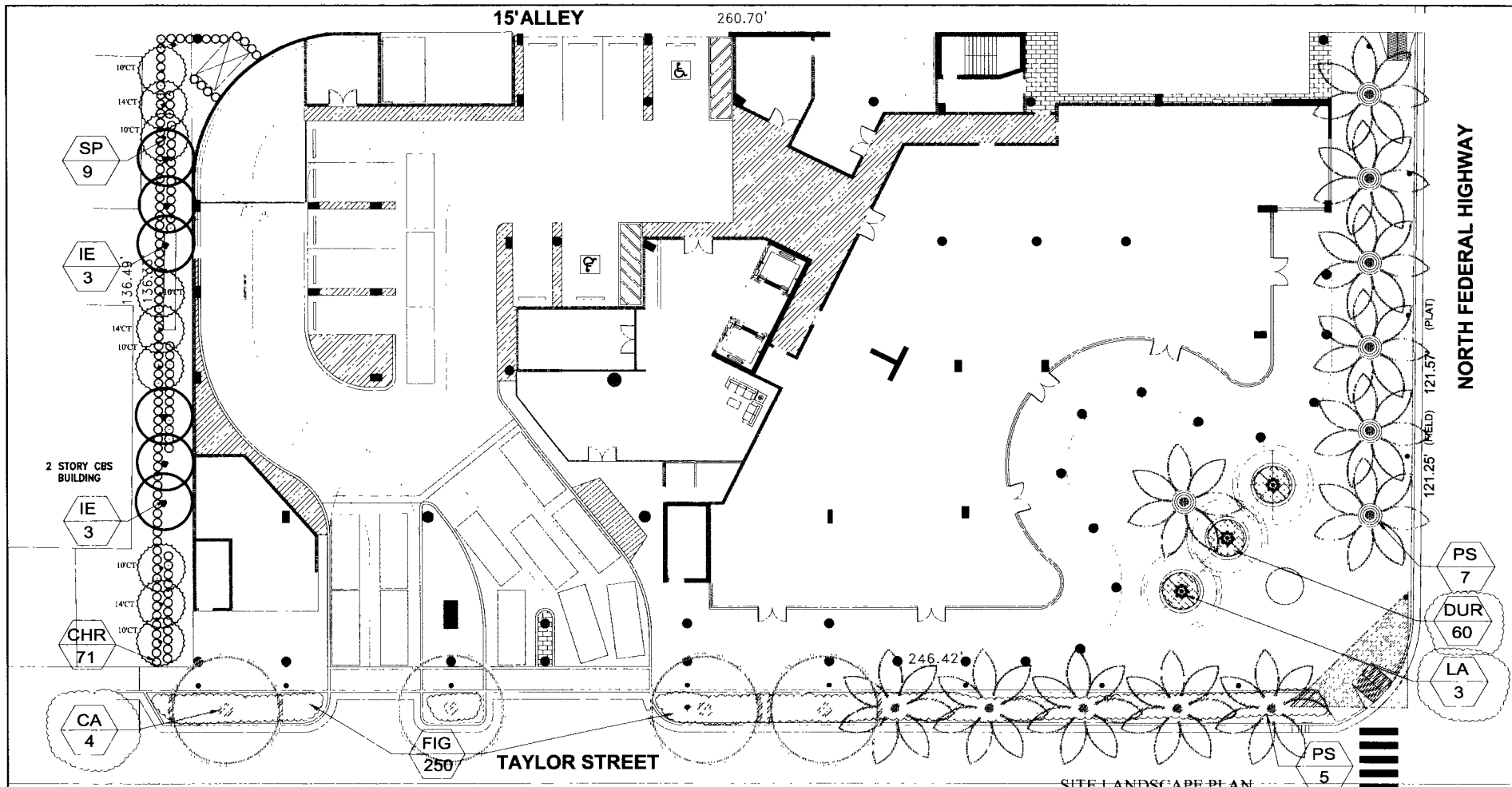
JED EQUITIES LLC,
CITY COMMISSION SUBMITTAL

Signed and Sealed by
GABRIEL SALAZAR
AR # 0009297



SP-4.10





PLANT LIST FOR: JED TOWER

BOTANICAL NAMES/COMMON NAMES								XERISCAPE REQ.		REMARKS
KEY	QUANT.	HGT	SPR	CAL PER DBH HGT.	TYPE L, M, F, S	FLOWERS FRUITS	TOLERANCE			
							SALT	DROUGHT		
NATIVE PLANTS - TREES AND PALMS										FLORIDA # 1 MATERIAL
CA	4	Calophyllum inochyllum / Beauty Leaf	11'	6'	2"	Medium		HIGH	HIGH	Native Tree for small spaces
LA	3	Lagerstromia indica / Grape Myrtle Tuscarossa	16'	8'	3"	Medium		Low	Medium	45 Gallons From Cherry Tree lake
IE	6	Ilex opaca "EAST PALATKA" American Holly E Palatka	15'	8'	5" cal	Large	acorns	Medium	HIGH	Good Tree with narrow space-Native
PS	12	Phoenix Sylvestris / Sylvester Date Palm	22'		8'-10' GW	PALM		HIGH	HIGH	GOOD ACCENT PALM
SP	9	Sabal palmetto / Sabal Palm = 3 trees	14'-24'	DA		PALM		MEDIUM	HIGH	Food for wildlife and Refuge - 16@8' c- 16@10' ct 10@12' ct, 10@14' ct

PLANT LIST

KEY	QUANT	BOTANICAL NAMES/COMMON NAMES	HGT	SPR	Spacing	TEXTURE Course Medium or Fine	Flowers Or Fruit	XERISCAPE REQ.		REMARKS
								TOLERANCE		
								SALT	DROUGHT	
								HIGH	MED	FLORIDA # 1 MATERIAL
DUR	40	Duranta repens / Yellow Duranta	18'	15'	10"	Fine-Med		Medium	High	Very Colorful- Does not require too much water once established
CHR	74	Chrysobalanus horizontalis / Horizontal Cocoplum	24'	20'	24' oc	Medium	Fruit	HIGH	High	Native Shrub- grows to max. of 3' high
FIG	250	Ficus microcarpa / Green Island Ficus	18'	18'	24' oc	Fine		HIGH	HIGH	Great: SHRUB for urban areas and tight spaces- can be sheer and maintain at 24" high

SITE LANDSCAPE PLAN

SCALE: 1"=10'-0"

ZONING : PD LOT SIZE : 35,544.96 = 0.816 ACRES

PERIMETER BUFFER: 1 TREE @50' OC (136' / 50'=3 TREES

PROVIDED: 6 TREES AND 9 SABAL PALMS-NATIVE- WEST SIDE

PROVIDED: 3 TREES AND 1 PHOENIX SYLVESTRIS- FRONT OF BLDG.

TOTAL FOR SITE: 13 TREES INCLUDING PALMS

STREET TREES: 1 TREE @ 50' OC.

STREET TREES REQUIREMENTS: 1 @ 50' OC. (367') / 50' = 8 TREES

PROVIDED: 16 TREES

AMOUNT OF TOTAL TREES COMBINED: 29 TREES

OPEN SPACE REQ: 40%

PROVIDED 55% INCLUDING GROUND AND POOL DECK AREA

6TH FLOOR

ALL LANDSCAPE AREAS WILL HAVE 100%

AUTOMATIC IRRIGATION SYSTEM WITH 100%

COVERAGE AND 100% OVERLAP.

MC
Mariano Corral
Landscape Architect
Landscape Architecture
Civil/Structural Design
Land Planning
Urban Design
Member of the American Society
of Landscape Architects

JED TOWER
HOLLYWOOD, FLORIDA

Consultant

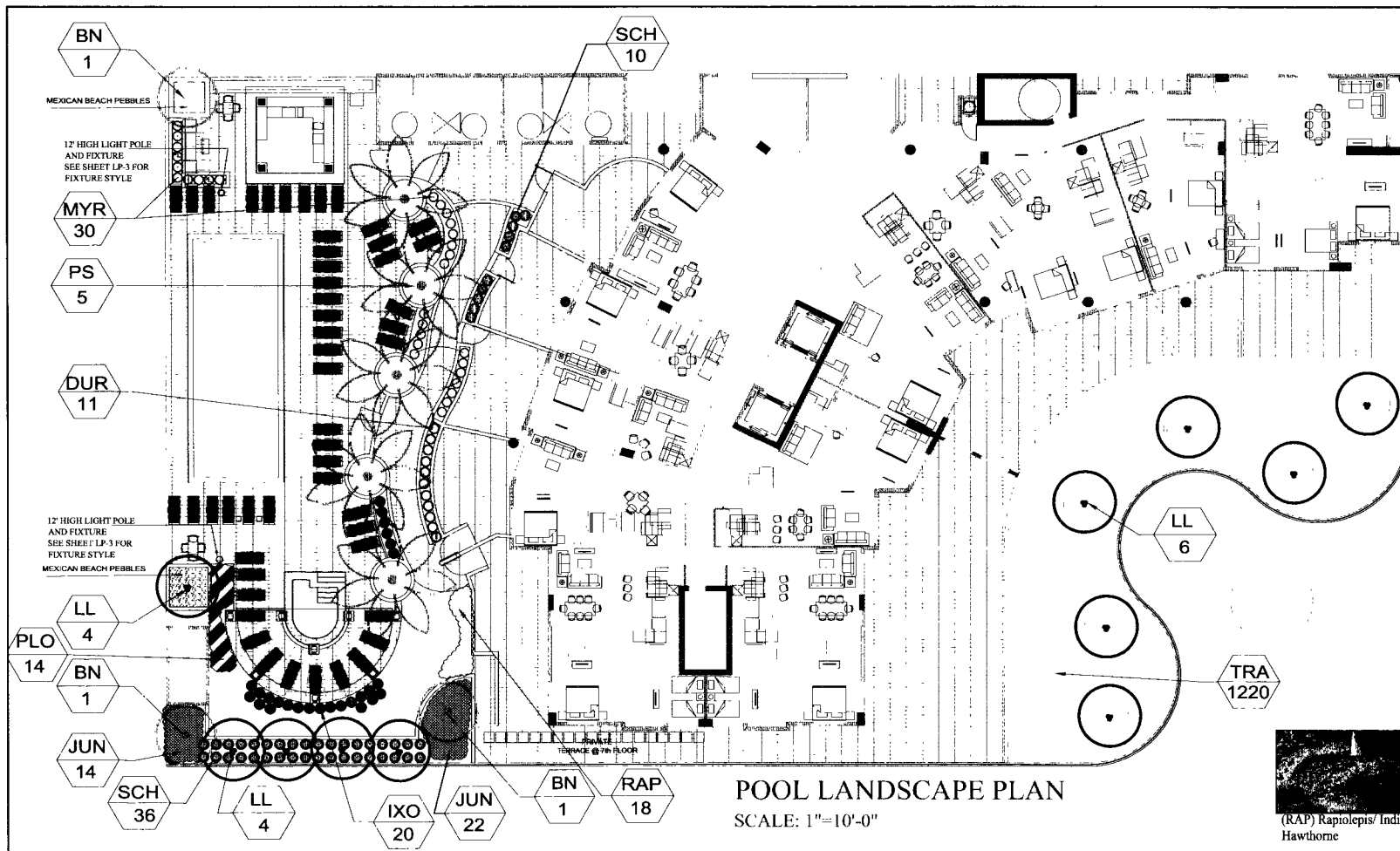


SCALE:
AS SHOWN
PROJECT NUMBER: 09-2014-M
DATE: 10-06-14
REVISIONS:
SECOND TAC SUBMITTAL 01-20-15
THIRD TAC SUBMITTAL 04-03-15
FOURTH TAC SUBMITTAL 04-20-15
FIFTH TAC SUBMITTAL 04-27-15

SEAL:
LJC-P LA 666671
SHEET NUMBER:

LP-1

611
Know what's below
Call before you dig
IT'S THE LAW!



POOL LANDSCAPE PLAN

SCALE: 1"=10'-0"

PLANT LIST FOR - POOL AREA

PLANT LIST FOR - POOL AREA											
KEY	QUANT.	BOTANICAL NAMES/ COMMON NAMES	HGT	SPR	CALIPER	TYPE	FLOWERS	XERISCAPE REQ.		REMARKS	
								TOLERANCE			
					DBH HGT.	L, M, F, S	FRUITS	SALT	DROUGHT		
TREES and PALMS								HIGH	MED	LOW	FLORIDA # 1 MATERIAL
BN	4	Bismarkia nobilis / Bismarkia Palm	14'			Palm		Med	Med		5' GW
LL	11	Ligustrum japonicum / Japanese Privet	14'	8"	multi-trunk	Medium	white	HIGH	HIGH		TO MATCH
PS	5	Phoenix Sylvestris* / Sylvester Date Palm	22'		8'-10' GW	FALM		HIGH	HIGH		GOOD ACCENT PALM
DUR	11	Duranta Gold Mound / Yellow Duranta	24"	24"	24"	Medium/fine		med	med		Good looking low shrub for tight spaces and leaf color
MYR	30	Myrcanthes fragrans / Simpson's Stopper	24"	20"	24" oc	Medium	Fruit	HIGH	HIGH		Gets large must be maintained for control
PLO	14	Microsorium scolopendrium/ Wart Fern	18"	8"	24" oc	Medium	Fern	HIGH	HIGH		Excellent native fern adjacent to wetlands
IXO	20	Ixora NORA GRANT / Large Leave Ixora	24"	20"	30" oc	Medium	Pink	Medium	Medium		Best shrub for continous flower-and as a filler
JUN	36	Jasminum simplicifolium / Wax Jasmine	18"	8"	20"	Medium	Pink	Medium	Medium		Continous bloomer- hardy plant in planters
RAP	18	Rapiolepis indica /Dwarf Indina Hawthorne	18"	8"	20"	Medium	Pink	Medium	Medium		Adds color to landscape areas
TRA	1220	Trachelospermum asiaticum dwarf/ Dwarf jasmine	16"	6"	18" oc	fine		Medium	HIGH		Excellent groundcovers that grows up 18" in height-makes a carpet like look
SCH	45	Shefflera albicollis / Dwarf Schefflera Gold Capella	24"	20"	24" oc	Medium		Medium	High		Shrub grows to a max ht. of 4' - can be sheered and leaf colr is the interest on this plant



(PS) SYLVESTER DATE PALM



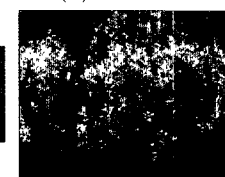
(BN) BISMARKIA PALM



(LL) LIGUSTRUM TREE



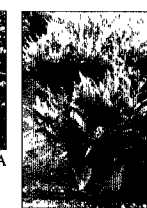
(RAP) Rapiolepis/ Indian Hawthorne



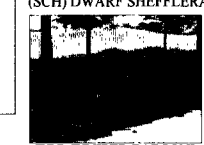
(MYR) MYRSINE SIMPSON STOPPER



(SCH) DWARF SHEFFLERA



(PLO) WART FERN



(JUN) JUNIPER PARSONI

MC
Mariano Corral
Landscape Architect
Landscape Architecture
Civil/Costume Design
Landscape Planning
Urban Design
Member of the American Society
of Landscape Architects
ARCHITECTURE
DESIGN
CONSTRUCTION

RED TOWER
HOLLYWOOD, FLORIDA

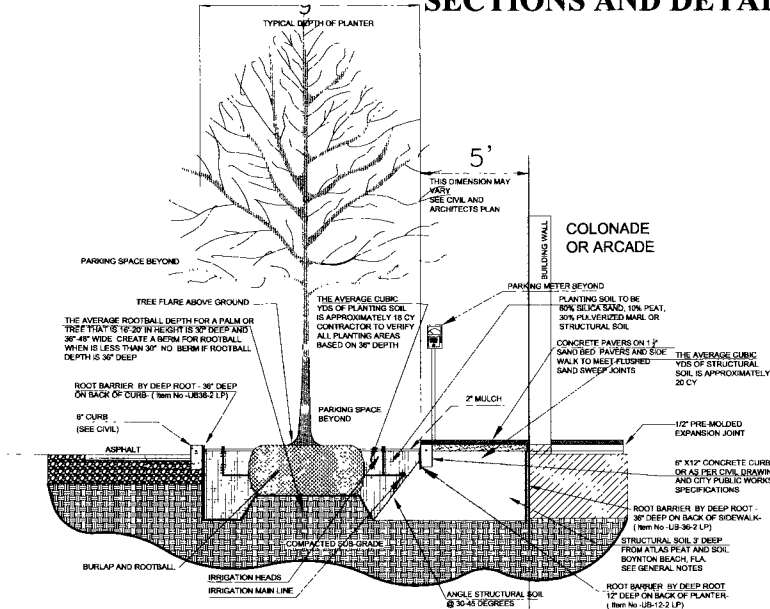
Consultant

SCALE:
AS SHOWN
PROJECT NUMBER
09-2014-M
DATE:
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REVISIONS:
SECOND TAC SUBMITTAL
01-20-15
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04-03-15

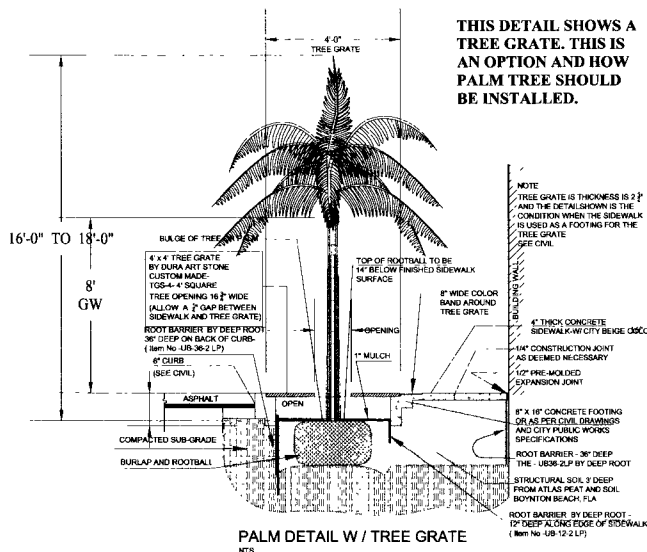
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Know what's below.
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SECTIONS AND DETAILS

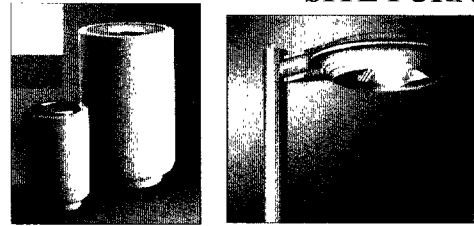
SITE FURNISHINGS



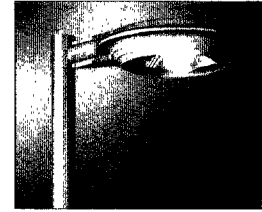
TYP. SECTION TAYLOR STREET



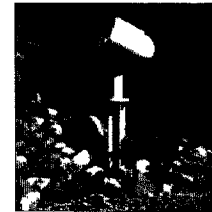
TYP. SECTION FEDERAL HIGHWAY



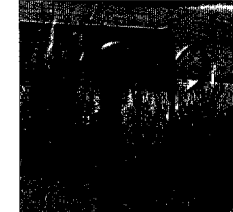
**SITE FURNISHING
STONE TRASH RECEPTACLE**



**GARDCO - CIRCA LIGHT - CR-20
FIXTURE W/ LED ON A 12\"/>**



**BEGA TREE FLOOD
LIGHT**



**BEGA BOLLARD LIGHT
FOR WALKWAYS AND
PATHS**

General Notes and Instructions:

Attention: Owner, General Contractor, City Reviewer, Landscape Contractor and any individual involved in this project

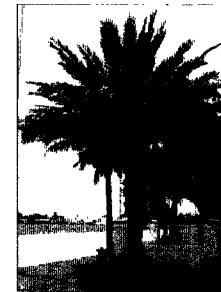
The notes below are unconditional and there shall be no excuses that it has not been read or overlooked or followed

- The Plans are copyrighted and it is the ownership of Mariano Corral, Landscape Architect for all the designs shown. Therefore, no copies or reproductions shall be made without his approval. If any design is to be made, it shall be made and submitted to the architect for review and approval. If any design is to be made, it shall be made and submitted to the architect for review and approval.
- All photographs are the property of Mariano Corral, Landscape Architect. Any reproduction, in any form, without his consent shall be prohibited, doing so will be subjected to penalties and fines to the full extent of the law. However, the City may reproduce plans as needed to comply with regulations, for the general public to review.
- These drawings are for the sole purpose of this project. In the event of any unanticipated development without the knowledge of Landscape Architect, the contractor owner shall be liable for any penalties and fines to the full extent of the law.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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PAGE TWO

- All plant materials to be Florida #1 or better as set by the State of Florida Grades and Standards 1998.
- Before planting, the contractor shall ensure that the plant materials are of the correct size, species, and condition. The contractor shall ensure that the plant materials are of the correct size, species, and condition.
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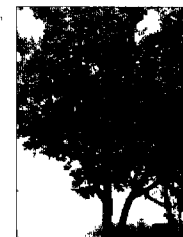
PHOTOS OF PLANT MATERIALS FOR GROUND LEVEL



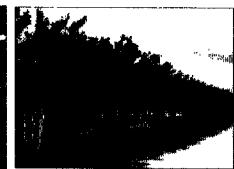
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PALM



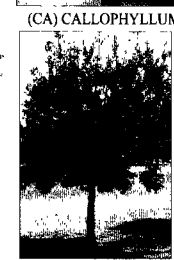
(SP) SABAL PALM



(CHR) COCOPLUM



(LA) CRAPE MYRTLE



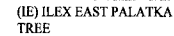
(CA) CALLOPHYLLUM



(FIG) GREEN ISLAND FICUS



(DUR) DURANTA



(IE) ILEX EAST PALATKA
TREE



Mariano Corral
Landscape Architect

Landscape Architecture
Civil Engineering
Urban Design
Interior Design
Landscape Architecture

ASSOCIATION WITH
CITY OF HOLLYWOOD

CONSULTANT

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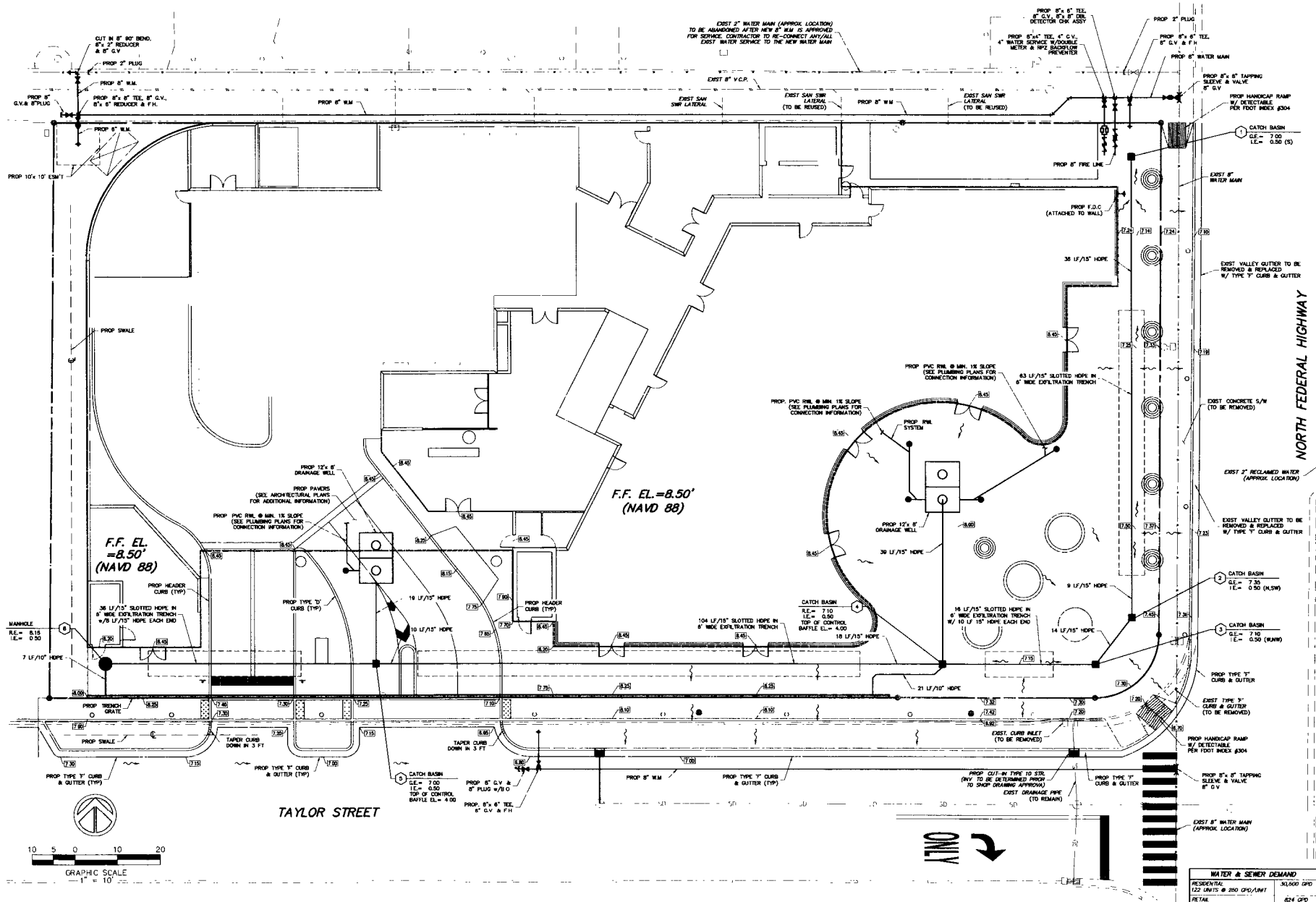
CONSULTANT

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CONSULTANT



FILE: K:\PROJECTS\14-3667\DWG\14-3667-01.dwg
PLOT DATE: 4/20/2015 5:25 PM BY: Andy Williamson
JAWST (C)

NOTE: SOURCE OF IRRIGATION
WILL BE POTABLE WATER

WATER & SEWER DEMAND	
RESIDENTIAL 122 UNITS @ 200 GPD/UNIT	24,400 GPD
RETAIL 8240 SF @ 10 GPD/100 SF	824 GPD
TOTAL	25,224 GPD

Sun-Tech Engineering, Inc.
Engineers, Planners & Surveyors
1520 Webb Oakwood Park Boulevard
Tampa, FL 33611
www.suntecheng.com
Tel: 813-777-3114
Fax: 813-777-3114

REVISIONS

NO.	DATE	DESCRIPTION

JED TOWERS

FLORIDA

SCHEMATIC SITE ENGINEERING PLAN

DATE

Dec 2014

SCALE

1" = 10'

DESIGNED BY

CRL

DRAWN BY

AEV

JOB NUMBER

14-3667

SHEET No

C1

SEAL

Apr 20 2015

CLIFFORD R. LUTHER, P.E.
FL. REG. NO. 36889

