

ATTACHMENT III
Previous Resolution

RESOLUTION NO R-2008-401

(05-P-72d)

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA, APPROVING THE SITE PLAN FOR PHASE I OF THE SHERIDAN STATIONSIDE VILLAGE PLANNED DEVELOPMENT (APPROVED BY ORDINANCE NO O-2007-35); AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Hollywood Zoning and Land Development Regulations requires that all development projects which are located in a Planned Development District (PD) must receive site plan approval from the City Commission prior to the issuance of any building permits, and

WHEREAS, on December 19, 2007, Ordinance No O-2007-35 was passed and adopted by the City Commission, which approved the rezoning and Master Development Plan for the property generally located at north of Taft Street, south of Sheridan Street, east of the CSX railway and west of I-95, with approximately 38.32 net acres/40.37 gross acres, to PD (for the project known as "Sheridan Stationside Village", and

WHEREAS, on December 17, 2008, Ordinance No O-2008-35 was passed and adopted by the City Commission, which approved the rezoning of Parcel "B" (approximately 13 acres) and an amendment to the Master Development Plan to include the property generally located north of Taft Street, south of Sheridan Street, east of CSX railway and west of I-95 (portion of Sheridan Stationside Village, south of the City of Hollywood water tower) into the PD; and

WHEREAS, an application was filed with the Office of Planning requesting site plan approval for the construction of a Phase I of the mixed use development consisting of approximately 639 residential units, 300,000 sq ft. retail, 115,000 sq ft. office and an 800 space FDOT parking garage, for property generally located north of Taft Street, south of Sheridan Street, east of the CSX railway and west of I-95, Hollywood, Florida, for the project known as Sheridan Stationside Village, as more specifically described in Exhibit "A" attached hereto and incorporated herein by reference; and

WHEREAS, the final site plan submitted by the Applicant was reviewed by the Technical Advisory Committee ("TAC") on July 7, 2008, and the TAC found the final site plan to be substantially compliant with all regulations as set forth in Chapter 162 of the Hollywood Code of Ordinances and have recommended approval of the final site plan with the following conditions:

1) Prior to the issuance of the first certificate of occupancy for a principal structure, the Developer will complete the improvements to the Water Tower site as reflected in Exhibit A and provide 5 paved parking spaces, appropriate lighting and sod

2) The Developer will contribute \$100,000 to the City as its contribution to the City's construction of a reuse water line from an agreed upon point of connection at the project to the corner of North Park Road and Taft Street (hereinafter referred to as the "reuse line extension"), pursuant to the following terms

a) The Developer will post a letter of credit in the amount of \$100,000 prior to the issuance of a building permit for a principal structure;

b) in the event the City has not completed construction of the reuse line extension at the time the project is eligible for its first certificate of occupancy for a principal structure, the City will return the Developer's letter of credit and the Developer will have no further obligation to fund the reuse line extension,

c) in the event the City has completed construction of the reuse line at any time prior to the date that the project is eligible for its first certificate of occupancy, then the City will advise the Developer that it has 30 days to pay the City \$100,000 or the City will draw down upon and apply the letter of credit.

Notwithstanding the foregoing, in the event the City is unable to fund the balance of the cost of construction of the reuse line extension, the Developer agrees to enter into a "Front-ending Agreement" with the City whereby any costs of constructing the reuse line extension which are in excess of the \$100,000 contribution provided by this condition are paid to the City prior to the issuance of the first building permit for a principal structure with the understanding that the City will re-pay such front-end funding over a period of 10 years either through cash payments or credits against reuse water utilization and service charges otherwise attributable to the project.

3) The Developer must ensure that the City SCADA system be operational at all times during and after construction operations. As needed, the developer shall properly mount the SCADA antenna to assure that the system is fully operational at all times.

4) The Developer hereby acknowledges that there are existing telecommunication facilities located on the City's water tower which are leased by a telecommunication provider from the City. In the event that the development of the project site interferes with the operation of such telecommunication facilities, Applicant/Developer shall lease to the City additional rooftop space for the relocation of these telecommunication facilities and agrees that the City may sublease the rooftop space to the telecommunication provider in order for the City to meet its contractual obligations. Such relocation shall require the Applicant/Developer to provide separately metered electrical service.

5) In the event that any City wireless facilities must be relocated due to the development of the project in any phase, the Applicant/Developer shall coordinate the relocation of the facilities with City staff and provide new locations on the development site. In the event of such location, the Applicant/Developer shall lease to the City rooftop space pursuant to a lease which is for a term consistent with the Developers lease from FDOT and substantially in the form attached hereto and entitled Telecommunications Lease Agreement ("Lease") which is incorporated herein by reference as Exhibit "C". The lease of rooftop space shall include but not be limited to addressing the City's SCADA facilities, and wireless internet network equipment currently located on the water tower. The cost for the relocation of said facilities shall be borne by the Applicant/Developer. Applicant/Developer shall provide City with separately metered electrical service and space within an air-conditioned room to mount a rack of equipment associated with any and all rooftop antenna.

6) In full satisfaction of the requirements of Section 161.07(G) of the City Code of Ordinances for the 1,050 residential units permitted pursuant to the approved PD, prior to the issuance of the first certificate of occupancy, the Developer will:

- a) upon completion of the park improvements more particularly described below, dedicate the 6 acre park subject to the Developer retaining drainage and access rights,
- b) construct or cause to be constructed the park improvements as depicted on the site plan attached hereto as Exhibit B,
- c) convey the Coral Rock house in an "as is" condition, and
- d) contribute \$50,000 to the City for its use in renovating and maintaining the Coral Rock house.

7) Prior to the issuance of any permits, the Developer and the City will enter into a Tree Mitigation Agreement which provides, among other things, that tree mitigation fee credits will be granted for improvements to the 6 acre park which the Developer and City agree contribute to long term viability and public enjoyment of the existing and relocated tree canopy, its understory and related amenities, which creditable improvements may include, but not be limited to, costs associated with removal of existing concrete pads and septic tanks, hardscape and softscape improvements, site grading, access and lighting.

8) Prior to the issuance of building permits for a principal structure for Phase I, the Developer will post a letter of credit, or other form of security acceptable to the City Attorney, as security for the completion of any required off-site improvements for which security has not already been posted in connection with the construction of such improvement. In no event is this requirement for security for the completion of offsite improvements to be construed as requiring any duplicate security and appropriate releases of security will be provided by the City at the request of the Developer

9) Prior to the issuance of a building permit for a principal structure, the Developer will submit a Declaration of Restrictions in Lieu of Unity of Title in a form acceptable to the City Attorney, which provides for the project to be developed and operated pursuant to a unified plan of development as reflected on the site plan attached hereto as Exhibit A and record such Declaration in the Public Records of Broward County; and

WHEREAS, on November 13, 2008, the Development Review Board ("DRB") passed and adopted Resolution No 05-D-72d which approved a variance to waive the requirements of Article 8 of the City of Hollywood's Zoning and Land Development Regulations to approve a signage program for Sheridan Stationside Village as well as Design Approval subject to the following condition.

That the Variance and Design Review approval are subject to any conditions the City Commission may deem necessary while considering the Site Plan, and

WHEREAS, the Office of Planning has reviewed the proposed site plan for the Sheridan Stationside Village Phase I Planned Development and is recommending approval, and

WHEREAS, the City Commission has reviewed the proposed site plan for the project and has determined that the site plan should be approved with the aforementioned conditions,

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA.

Section 1 That it hereby approves The Sheridan Stationside Village Phase I Planned Development Site Plan, attached hereto and incorporated herein by reference as Exhibit "B" with the following conditions.

1) Prior to the issuance of the first certificate of occupancy for a principal structure, the Developer will complete the improvements to the Water Tower site as reflected in Exhibit "B" and provide 5 paved parking spaces, appropriate lighting and sod

2) The Developer will contribute \$100,000 to the City as its contribution to the City's construction of a reuse water line from an agreed upon point of connection at the project to the corner of North Park Road and Taft Street (hereinafter referred to as the "reuse line extension"), pursuant to the following terms

a) The Developer will post a letter of credit in the amount of \$100,000 prior to the issuance of a building permit for a principal structure;

b) in the event the City has not completed construction of the reuse line extension at the time the project is eligible for its first certificate of occupancy for a principal structure, the City will return the Developer's letter of credit and the Developer will have no further obligation to fund the reuse line extension,

c) in the event the City has completed construction of the reuse line at any time prior to the date that the project is eligible for its first certificate of occupancy, then the City will advise the Developer that it has 30 days to pay the City \$100,000 or the City will draw down upon and apply the letter of credit.

Notwithstanding the foregoing, in the event the City is unable to fund the balance of the cost of construction of the reuse line extension, the Developer agrees to enter into a "Front-ending Agreement" with the City whereby any costs of constructing the reuse line extension which are in excess of the \$100,000 contribution provided by this condition are paid to the City prior to the issuance of the first building permit for a principal structure with the understanding that the City will re-pay such front-end funding over a period of 10 years either through cash payments or credits against reuse water utilization and service charges otherwise attributable to the project.

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8) Prior to the issuance of building permits for a principal structure for Phase I, the Developer will post a letter of credit, or other form of security acceptable to the City Attorney, as security for the completion of any required off-site improvements for which security has not already been posted in connection with the construction of such improvement. In no event is this requirement for security for the completion of offsite improvements to be construed as requiring any duplicate security and appropriate releases of security will be provided by the City at the request of the Developer

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A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA, APPROVING THE SITE PLAN FOR PHASE I OF THE SHERIDAN STATIONSIDE VILLAGE PLANNED DEVELOPMENT (APPROVED BY ORDINANCE NO O-2007-35); AND PROVIDING AN EFFECTIVE DATE

Section 2 That this resolution shall be in full force and effective immediately upon its passage and adoption

PASSED AND ADOPTED this 17 day of Dec, 2008

RENDERED this 5 day of Jan, ~~2008~~ 2009.



PETER BOBER, MAYOR

ATTEST


PATRICIA A. CERNY, MMC
CITY CLERK

APPROVED AS TO FORM & LEGALITY
for the use and reliance of the
City of Hollywood, Florida only


JEFFREY P. SHEFFEL
CITY ATTORNEY

Name		Age	Sex	Religion	Marital Status	Occupation	Education	Income	Assets	Liabilities	Net Worth
1	John Doe	35	M	Protestant	Married	Teacher	High School	\$12,000	\$10,000	\$2,000	\$12,000
2	Jane Doe	32	F	Protestant	Married	Homemaker	High School	\$12,000	\$10,000	\$2,000	\$12,000
3	Robert Smith	45	M	Catholic	Married	Engineer	College	\$18,000	\$15,000	\$3,000	\$18,000
4	Elizabeth Smith	42	F	Catholic	Married	Homemaker	College	\$18,000	\$15,000	\$3,000	\$18,000
5	William Brown	55	M	Methodist	Married	Retired	High School	\$10,000	\$8,000	\$2,000	\$10,000
6	Mary Brown	52	F	Methodist	Married	Homemaker	High School	\$10,000	\$8,000	\$2,000	\$10,000
7	James Wilson	60	M	Baptist	Married	Farmer	High School	\$8,000	\$6,000	\$2,000	\$8,000
8	Anna Wilson	58	F	Baptist	Married	Homemaker	High School	\$8,000	\$6,000	\$2,000	\$8,000
9	Charles Davis	70	M	Presbyterian	Married	Retired	High School	\$6,000	\$4,000	\$2,000	\$6,000
10	Grace Davis	68	F	Presbyterian	Married	Homemaker	High School	\$6,000	\$4,000	\$2,000	\$6,000

SHERIDAN STATION PLAT

A REPLAY OF A PORTION OF BLOCK A, "CENTRAL GOLF SECTION OF HOLLYWOOD" PLAT BOOK 9, PAGE 44, OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA, A PORTION OF THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SECTION 8, AND A PORTION OF THE NORTHWEST ONE-QUARTER (N.W. 1/4) OF SECTION 9, BOTH IN TOWNSHIP 51 SOUTH, RANGE 42 EAST, LYING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

AND DESCRIPTION:

WAXCEL, 1) that part of the $\frac{1}{2}$ of Stock, King East of the Seaboard Coastline Railroad right-of-way, Central, GOLF SECTION OF HOLLYWOOD, according to the Plat stored recorded in the Book 9 Page 44, of the Public Records of Broward County, Florida, and that portion described in the Public Records Book 2482, Page 264, and

[illegible]

WILLIAM W. GUYENON

PARCET, 2: position of the Northwest One-Quarter of Section 4 and a portion of the Northwest One-Quarter of the Northwest One-Quarter of Section 9, all in Township 51, South Range of East Branch of Osage, Florida, more particularly described as follows:

[illegible]

RESEARCH DESIGN

PARCEL 2:
North three-quarters (N 1/4) of the East half (E 1/2) of the Northwest quarter (NW 1/4) of the
Northwest corner (NW 1/4) of Section 8, Township 31 South, Range 32 East

4470

Northwest quarter (NE 1/4) of the Southeast quarter (SW 1/4) of Northwest quarter (NW 1/4) of the Northwest quarter (NW 1/4) of Section 1, Township 31 North, Range 42 East.

0517

Consolidate Remnant Right-of-Way, CENTRAL GOLF SECTION OF HOLLYWOOD, according to the Plat thereof recorded as Plat Book 3, Page 44, of the Public Records of Broward County, Florida. The Range of East, ADD the South 20 feet of the N. 1/2 of Block A, lying East of the Submerged

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The North 200 feet, and as such land lying East of the West Right-of-way line at State Road 3 and the Interstate Highway 480, as located in the North West-quarters (N.W.) of the East half (E. 1/2) of the Northwest quarter (NW 1/4) of the Northwest quarter (NW 1/4) Section 8, Township 30 South, Range 10 East, T30S, R10E, S4E.

MORTGAGER

View all men by these parameters that CITY NATIONAL BANK OF FLORIDA, a national banking association, as agent for itself, has purchased, and will continue to purchase, as their interests may appear, owner and holder of its Capital Stock, as such, on or after January 1, 2005, as Official Records Book 39780, at Page 258, of the Public Records of Broward County, Florida, shall hereby be deemed to also be in the making and filing for record of the attached just at "54-6700461 STATION PA1" and to the satisfaction shown herein.

FIELD NUMBER:

PARCEL 4
has part of the NW 1/4 of the NW 1/4 of Section 9, Township 1, Range 42 East, Zone
containing sections as follows

Acquisition of the

[illegible]

THE UNIVERSITY OF CHICAGO PRESS

that part of the Northwest quarter (NW 1/4) of the Northwest quarter (NW 1/4) of Section 9, Township 11 North, Range 42 East, lying in Broward County Florida being more particularly described as follows:

Continuation of the Northwest corner and Section 8, Twp. 36 North 48° 15' 14" East along the North
 1/4 of said Section 8, a distance of 241.80 feet, thence South 01° 04' 49" East a distance of 250.00
 feet to the POINT OF BEGINNING, thence South 13° 09' 49" West, a distance of 41.52 feet, thence
 South 88° 59' 14" West, a distance of 142.37 feet, thence North 01° 04' 49" West, a distance of 40.55
 feet, thence North 88° 59' 14" East, a distance of 137.41 feet to the POINT OF BEGINNING.

WINDY HILLS

This portion of recorded North 28th Avenue lying South right-of-way line of Swedish Street as shown on Florida Department of Transportation Right-of-Way Map, Sheet: 88370-0-02, sheets and of 4 (four) section date (6-1-1987), as vested by City of Jacksonville Ordinance _____, and recorded in Official Records Book _____, Page _____, Records of Broward County, Florida.

Paul Landsberg in the City of Hollywood, Broward County, Florida and certifying a total net area of 28,750 acres, more or less.

ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF _____

by computer-aided

NOTARY PUBLIC - STATE OF FLORIDA

STANDARD & SUTTON 100 YEARS

Sheridan Station

A TRANSIT ORIENTED DEVELOPMENT

PHASE I

FOR

**RAM DEVELOPMENT COMPANY
&
PINNACLE HOUSING GROUP**

WAKEFIELD BEASLEY & ASSOCIATES
4500 Selisbury Road, Suite 480, Jacksonville, Florida 32218
Phone 904-245-8885 fax 904-245-8554

JACOBS CARTER BURGESS
6383 N.W. 6 Way, Suite 300 Ft. Lauderdale, Florida 33309
Phone 954-315-1001 fax 954-315-1040

ROGER FRY & ASSOCIATES ARCHITECTS, P.A.
2791 Bird Avenue, Coconut Grove, Florida 33133
Phone 305-446-7787 email info@rogerfrv.com
www.rogerfrv.com

WITKIN HULTS DESIGN GROUP
307 South 21st Avenue Hollywood, Florida
Phone 954-923-9881 fax 954-923-9889
www.witkindesign.com

ARCHITECTURE 6400, INC.
A division of Stiles Corporation
300 S.E. 2nd Street, Ft. Lauderdale, Florida 33301
Phone 954-627-2150

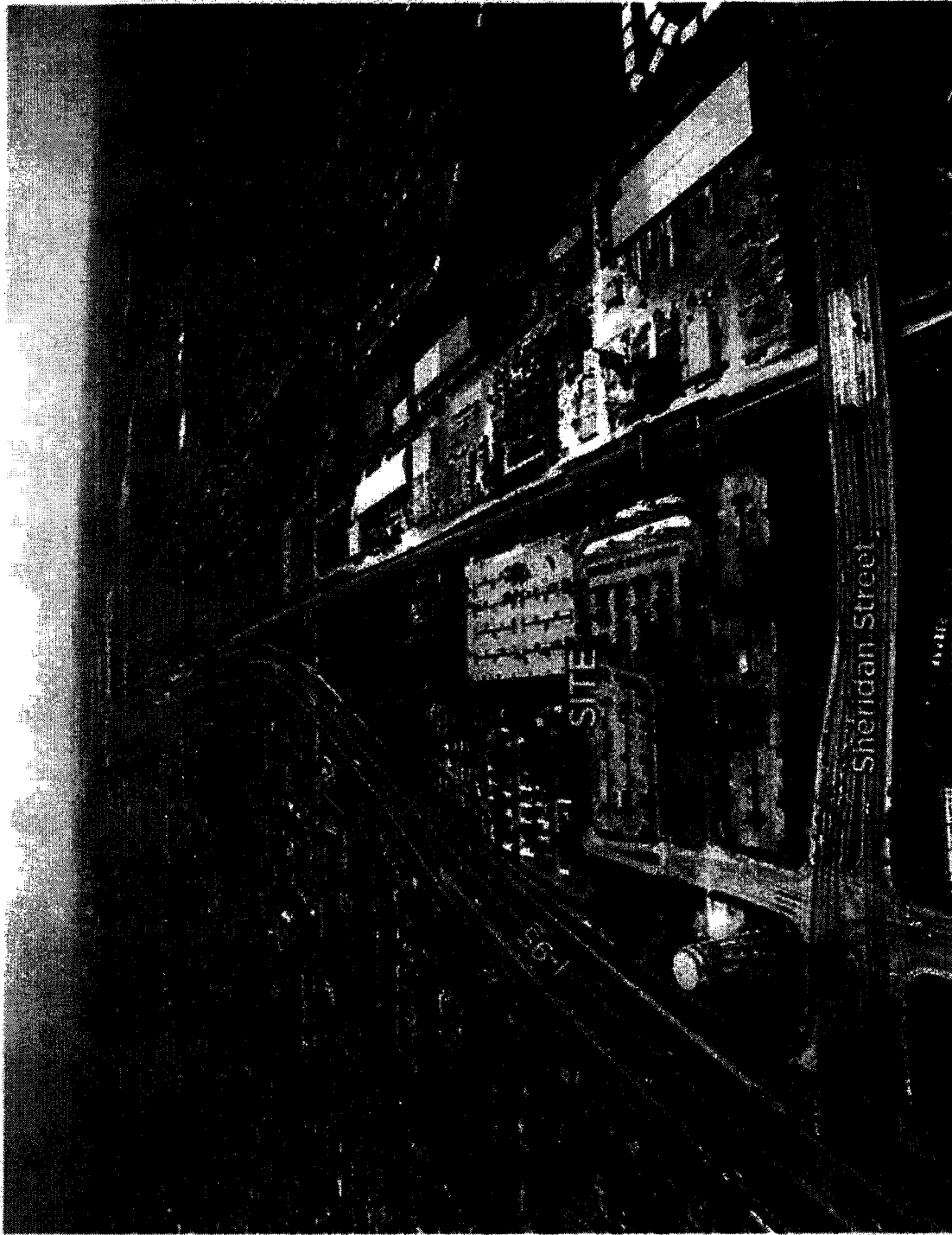
THE LIGHTING PRACTICE, INC.
600 Chestnut St. Suite 772 Philadelphia PA 19106
Phone 215 238 1844 fax 215 238 1674
www.thelightingpractice.com

SITE PLANS

[illegible][illegible][illegible]

L-1 L-2 L-3 L-4 L-5 L-6 L-7 L-8 L-9 L-10 L-11 L-12 L-13 L-14 L-15 L-16 L-17 L-18 L-19 L-20 L-21 L-22 L-23 L-24 L-25 L-26 L-27 L-28 L-29 L-30 L-31 L-32 L-33 L-34 L-35 L-36 L-37 L-38 L-39 L-40 L-41 L-42 L-43 L-44 L-45 L-46 L-47 L-48 L-49 L-50 L-51 L-52 L-53 L-54 L-55 L-56 L-57 L-58 L-59 L-60 L-61 L-62 L-63 L-64 L-65 L-66 L-67 L-68 L-69 L-70 L-71 L-72 L-73 L-74 L-75 L-76 L-77 L-78 L-79 L-80 L-81 L-82 L-83 L-84 L-85 L-86 L-87 L-88 L-89 L-90 L-91 L-92 L-93 L-94 L-95 L-96 L-97 L-98 L-99 L-100 L-101 L-102 L-103 L-104 L-105 L-106 L-107 L-108 L-109 L-110 L-111 L-112 L-113 L-114 L-115 L-116 L-117 L-118 L-119 L-120 L-121 L-122 L-123 L-124 L-125 L-126 L-127 L-128 L-129 L-130 L-131 L-132 L-133 L-134 L-135 L-136 L-137 L-138 L-139 L-140 L-141 L-142 L-143 L-144 L-145 L-146 L-147 L-148 L-149 L-150 L-151 L-152 L-153 L-154 L-155 L-156 L-157 L-158 L-159 L-160 L-161 L-162 L-163 L-164 L-165 L-166 L-167 L-168 L-169 L-170 L-171 L-172 L-173 L-174 L-175 L-176 L-177 L-178 L-179 L-180 L-181 L-182 L-183 L-184 L-185 L-186 L-187 L-188 L-189 L-190 L-191 L-192 L-193 L-194 L-195 L-196 L-197 L-198 L-199 L-200 L-201 L-202 L-203 L-204 L-205 L-206 L-207 L-208 L-209 L-210 L-211 L-212 L-213 L-214 L-215 L-216 L-217 L-218 L-219 L-220 L-221 L-222 L-223 L-224 L-225 L-226 L-227 L-228 L-229 L-230 L-231 L-232 L-233 L-234 L-235 L-236 L-237 L-238 L-239 L-240 L-241 L-242 L-243 L-244 L-245 L-246 L-247 L-248 L-249 L-250 L-251 L-252 L-253 L-254 L-255 L-256 L-257 L-258 L-259 L-260 L-261 L-262 L-263 L-264 L-265 L-266 L-267 L-268 L-269 L-270 L-271 L-272 L-273 L-274 L-275 L-276 L-277 L-278 L-279 L-280 L-281 L-282 L-283 L-284 L-285 L-286 L-287 L-288 L-289 L-290 L-291 L-292 L-293 L-294 L-295 L-296 L-297 L-298 L-299 L-300 L-301 L-302 L-303 L-304 L-305 L-306 L-307 L-308 L-309 L-310 L-311 L-312 L-313 L-314 L-315 L-316 L-317 L-318 L-319 L-320 L-321 L-322 L-323 L-324 L-325 L-326 L-327 L-328 L-329 L-330 L-331 L-332 L-333 L-334 L-335 L-336 L-337 L-338 L-339 L-340 L-341 L-342 L-343 L-344 L-345 L-346 L-347 L-348 L-349 L-350 L-351 L-352 L-353 L-354 L-355 L-356 L-357 L-358 L-359 L-360 L-361 L-362 L-363 L-364 L-365 L-366 L-367 L-368 L-369 L-370 L-371 L-372 L-373 L-374 L-375 L-376 L-377 L-378 L-379 L-380 L-381 L-382 L-383 L-384 L-385 L-386 L-387 L-388 L-389 L-390 L-391 L-392 L-393 L-394 L-395 L-396 L-397 L-398 L-399 L-400 L-401 L-402 L-403 L-404 L-405 L-406 L-407 L-408 L-409 L-410 L-411 L-412 L-413 L-414 L-415 L-416 L-417 L-418 L-419 L-420 L-421 L-422 L-423 L-424 L-425 L-426 L-427 L-428 L-429 L-430 L-431 L-432 L-433 L-434 L-435 L-436 L-437 L-438 L-439 L-440 L-441 L-442 L-443 L-444 L-445 L-446 L-447 L-448 L-449 L-450 L-451 L-452 L-453 L-454 L-455 L-456 L-457 L-458 L-459 L-460 L-461 L-462 L-463 L-464 L-465 L-466 L-467 L-468 L-469 L-470 L-471 L-472 L-473 L-474 L-475 L-476 L-477 L-478 L-479 L-480 L-481 L-482 L-483 L-484 L-485 L-486 L-487 L-488 L-489 L-490 L-491 L-492 L-493 L-494 L-495 L-496 L-497 L-498 L-499 L-500 L-501 L-502 L-503 L-504 L-505 L-506 L-507 L-508 L-509 L-510 L-511 L-512 L-513 L-514 L-515 L-516 L-517 L-518 L-519 L-520 L-521 L-522 L-523 L-524 L-525 L-526 L-527 L-528 L-529 L-530 L-531 L-532 L-533 L-534 L-535 L-536 L-537 L-538 L-539 L-540 L-541 L-542 L-543 L-544 L-545 L-546 L-547 L-548 L-549 L-550 L-551 L-552 L-553 L-554 L-555 L-556 L-557 L-558 L-559 L-560 L-561 L-562 L-563 L-564 L-565 L-566 L-567 L-568 L-569 L-570 L-571 L-572 L-573 L-574 L-575 L-576 L-577 L-578 L-579 L-580 L-581 L-582 L-583 L-584 L-585 L-586 L-587 L-588 L-589 L-590 L-591 L-592 L-593 L-594 L-595 L-596 L-597 L-598 L-599

C8	DEBILITATION PLAN
C9	NOTES AND SPECIFICATIONS
C10	CONCRETE DETAILING
C11	CHARTS, GRAPHS, SCHEMATIC & DRAINAGE PLANS
C12	CROSS-SECTIONS & DETAILS
C13	TYPICAL & SANITARY MEMBER KEY MAP
C14	MASTER WATER DISTRIBUTION PLAN
C15	CONCRETE WATER DISTRIBUTION PLAN
C16	CONCRETE MEMBER PROFILES
C17	SANITARY MEMBER DETAILS
C18	WATER DISTRIBUTION DETAILS
C19	WATER MEMBER DETAILS
C20	WATER MEMBER DETAILS
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C98	WATER MEMBER DETAILS
C99	WATER MEMBER DETAILS
C100	WATER MEMBER DETAILS



AERIAL VIEW OF EXISTING SITE

Sheridan Station

A TRANSIT ORIENTED DEVELOPMENT
www.sheridan-station.com

RAM DEVELOPMENT COMPANY
 AND PINNACLE HOUSING GROUP

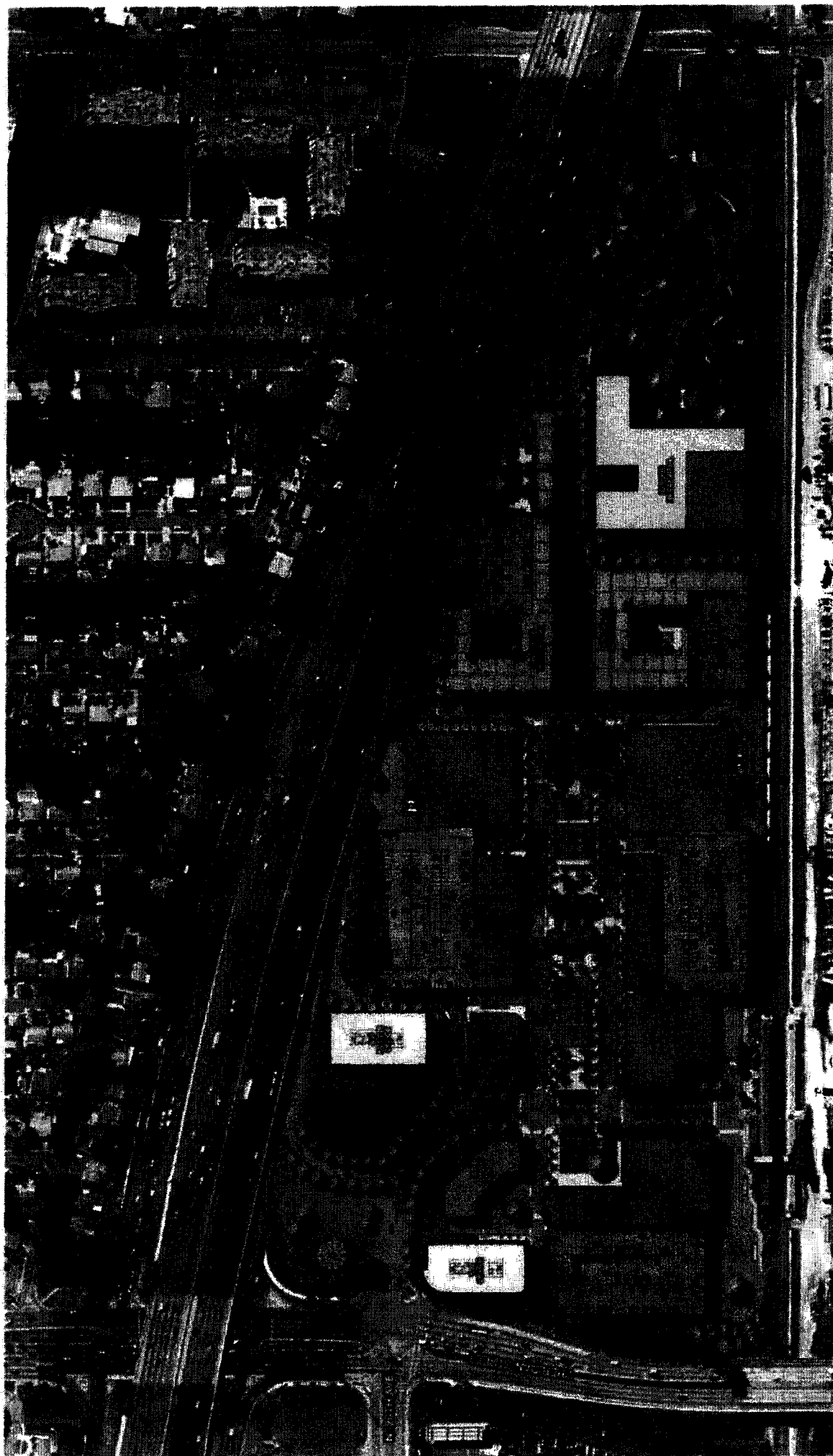
ROGER FRY & ASSOCIATES ARCHITECTS, P.A.
 2701 Bird Avenue, Coconut Grove, Florida 33133
 Phone 305 446 7787

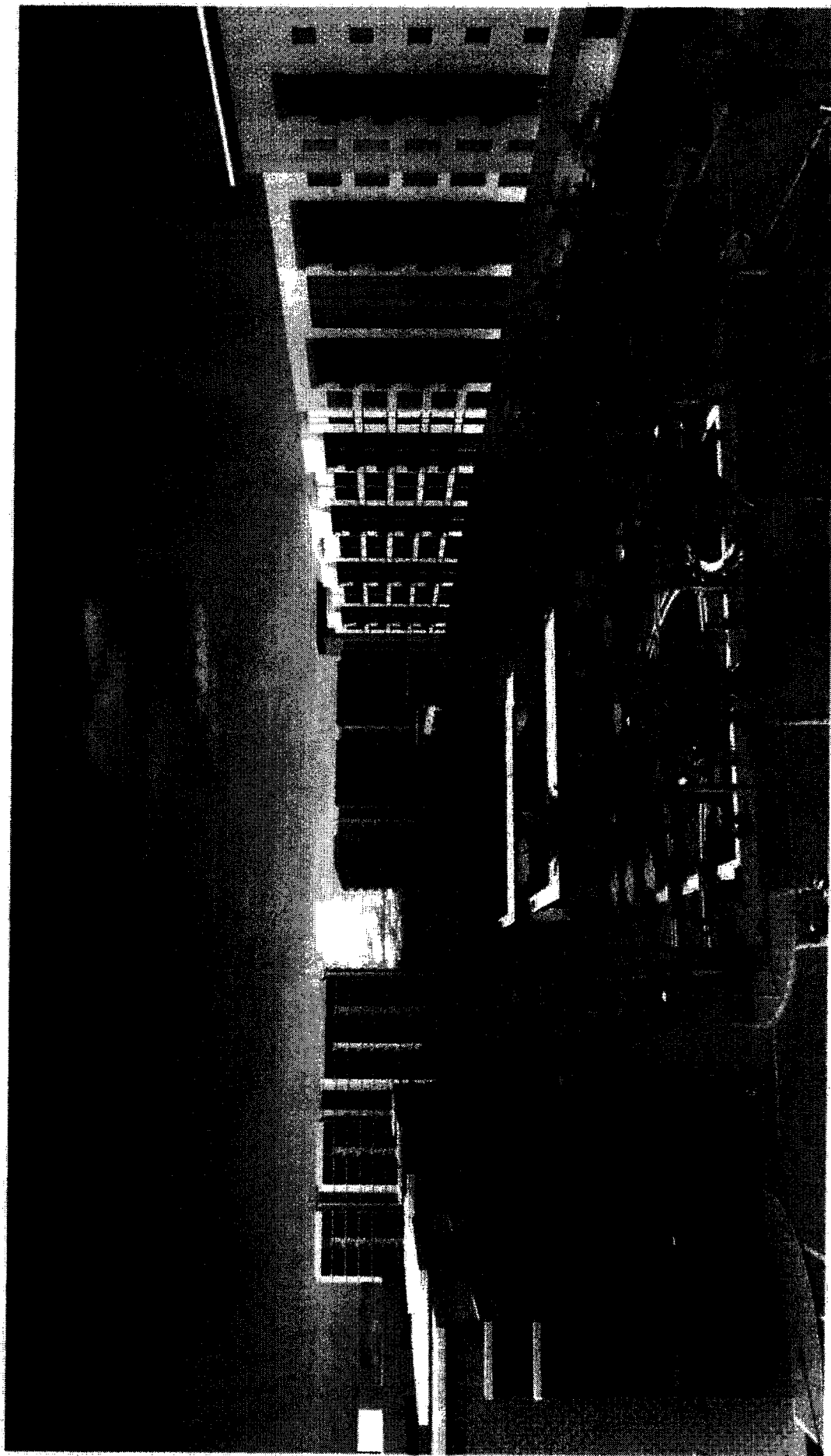
SITE PLAN

Sheridan Station

A TRANSIT ORIENTED DEVELOPMENT

RAM DEVELOPMENT COMPANY
AND PINNACLE HOUSING GROUP





Sheridan Station

A TRANSIT ORIENTED DEVELOPMENT
RAM DEVELOPMENT COMPANY
AND PINNACLE HOUSING GROUP

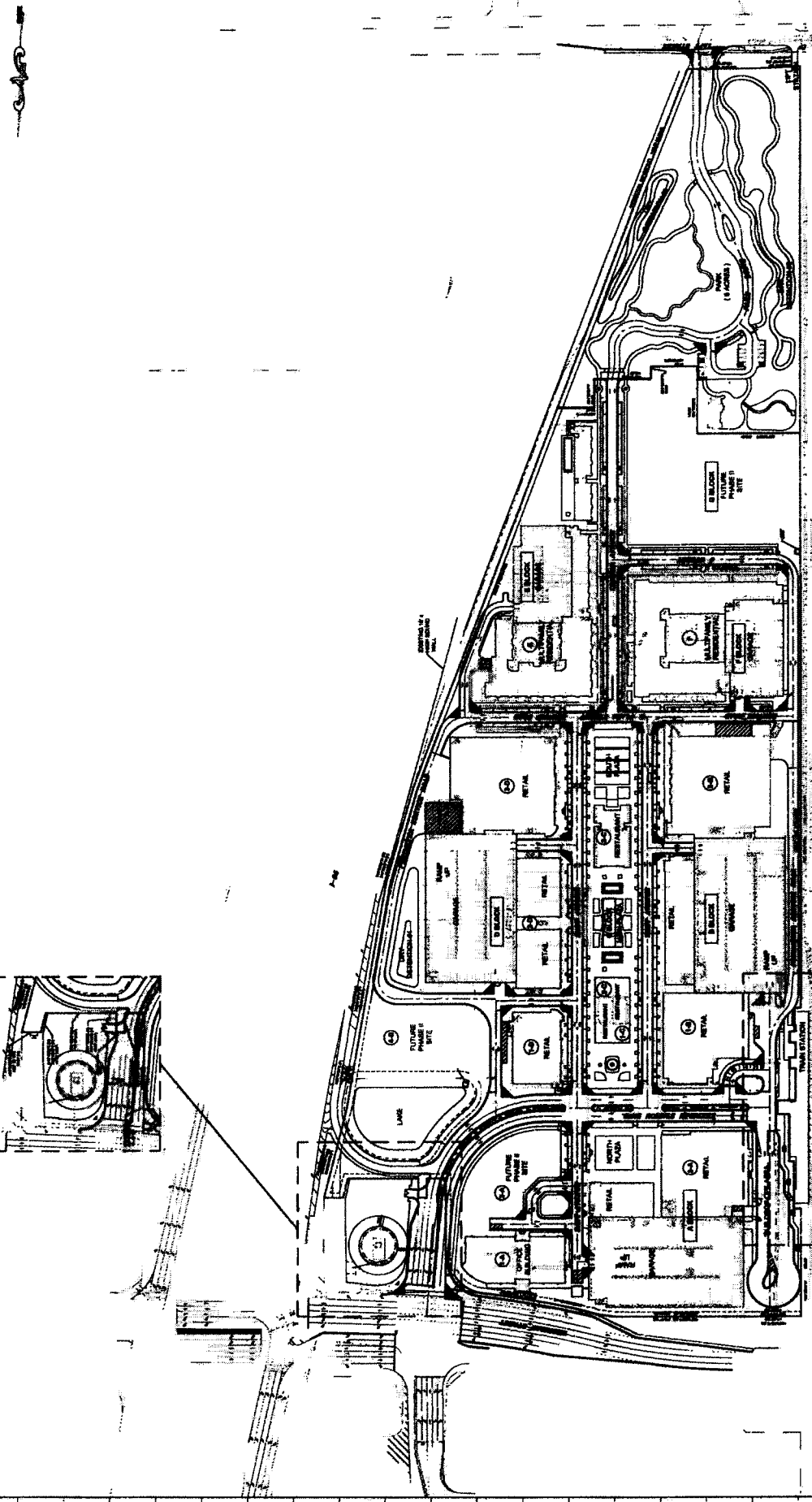
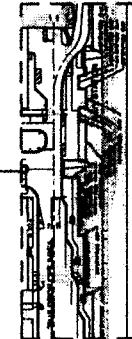
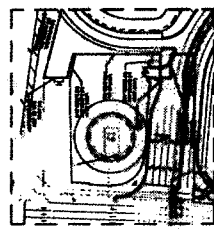
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SENIOR STATION
A TRACT DEVELOPMENT, HOLLYWOOD, FLORIDA
PLAN DEVELOPMENT AND PINNACLE HOUSING GROUP

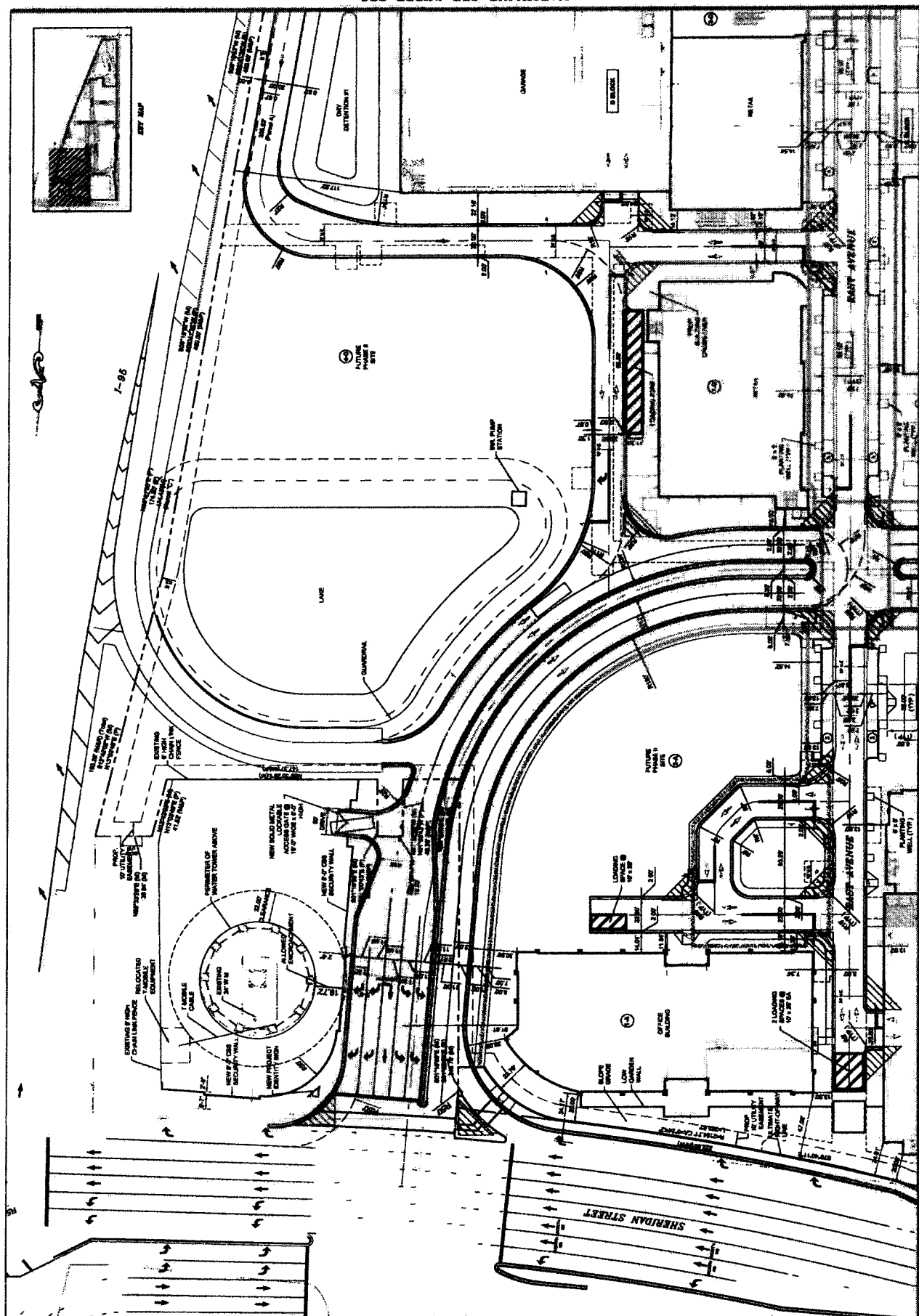
JE JACOBS
Center Engineers
Associates
WAKELAND
BRASLEY &
ASSOCIATES

DATE	NO.
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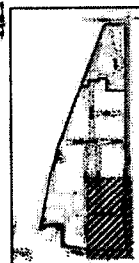
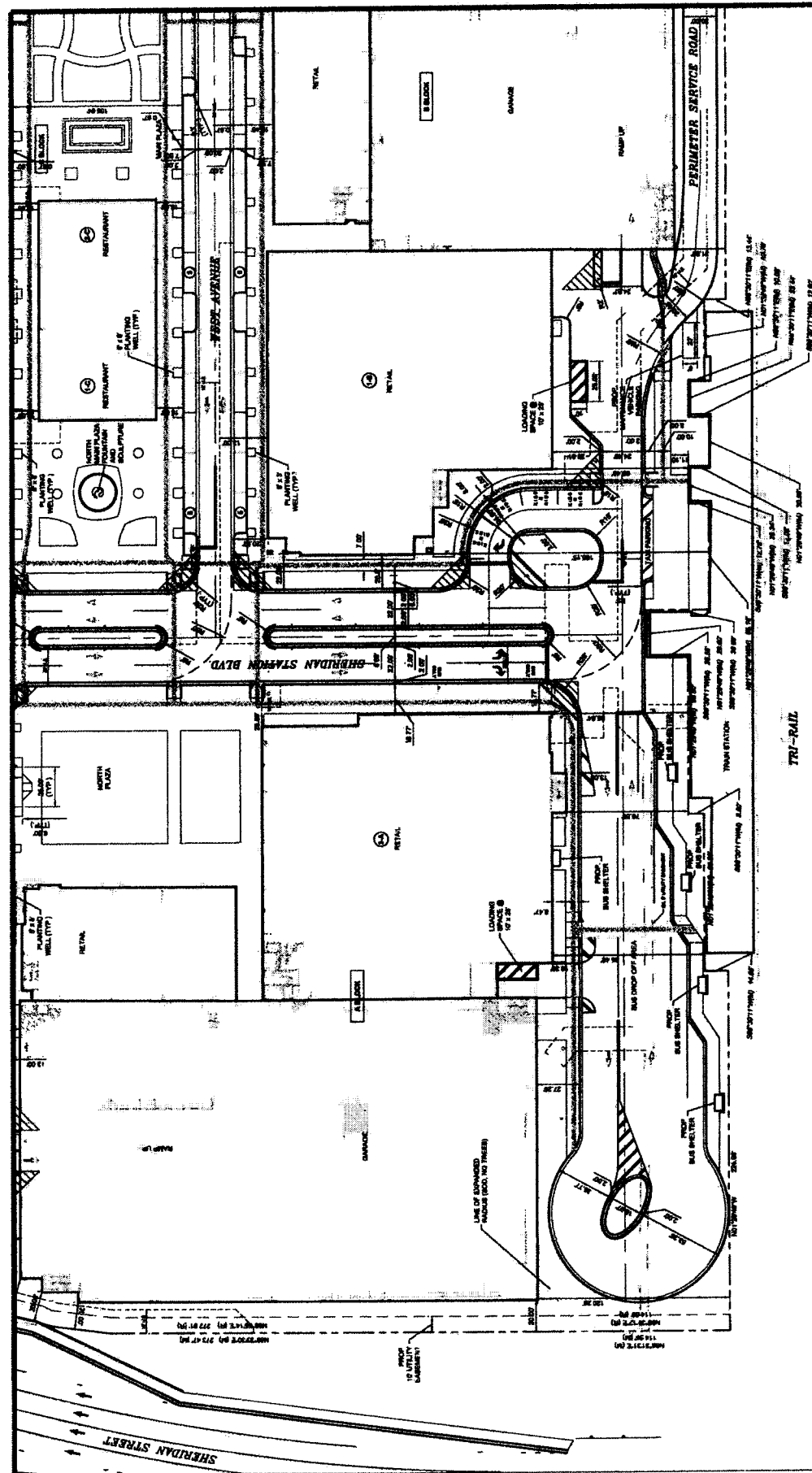
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- PAVEMENT ACCESS
- SIDEWALK
- DRIVEWAY
- DRIVE



MATCHLINE SEE SHEET SP4



MATCHLINE SEE SHEET SP3



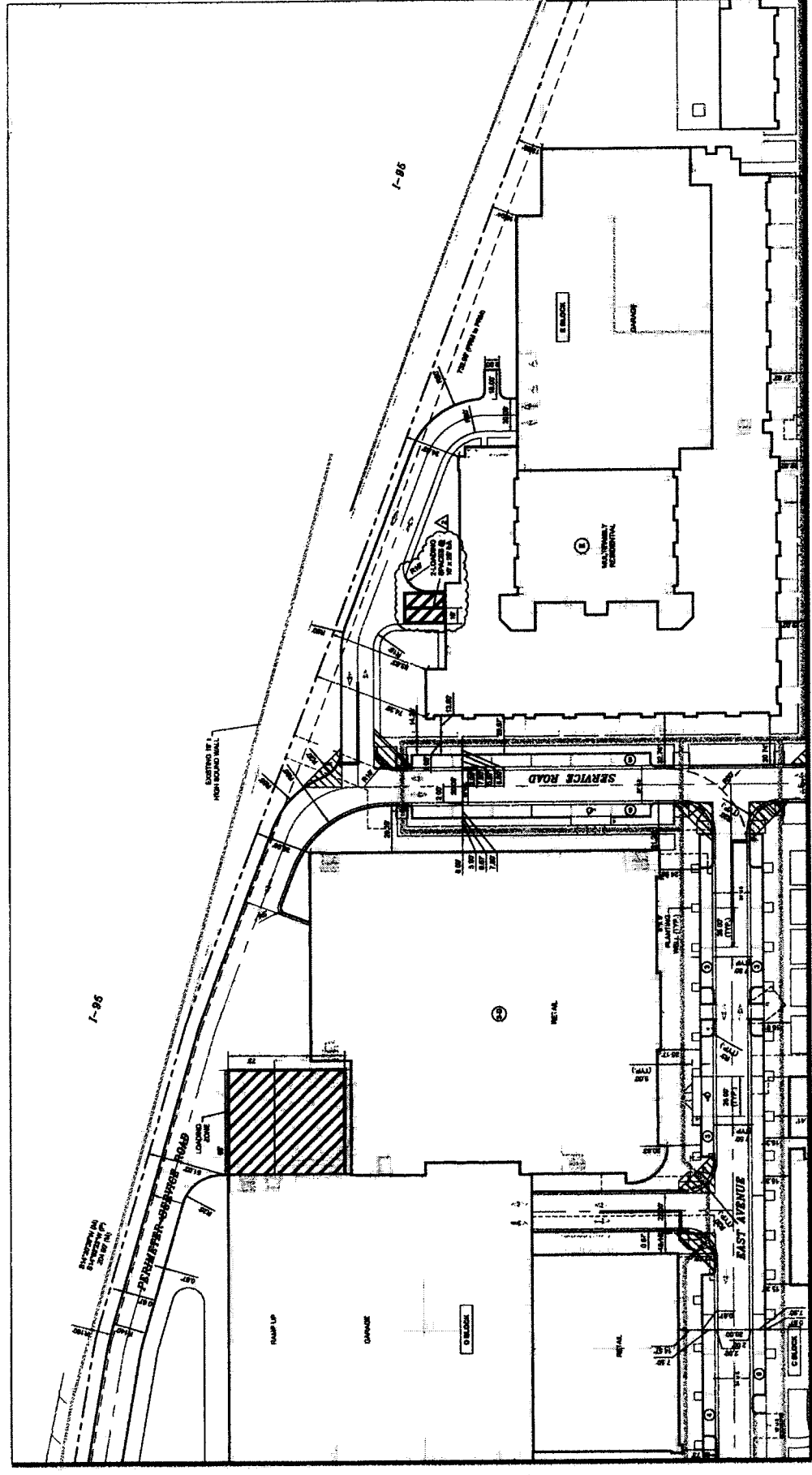
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8	10-10-61	JAC	JAC
9	10-10-61	JAC	JAC
10	10-10-61	JAC	JAC

SHELDON STATION
A TRACT OR PART THEREOF, HOLLYWOOD, FLORIDA
RAM DEVELOPMENT AND FINANCIAL GROUP

JE JACOBS
Center Engineers
WAKEFIELD
BEASLEY &
ASSOCIATES

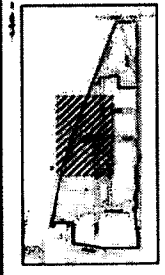
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4	10-10-61	JAC	JAC
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MATCHLINE SEE SHEET SP7

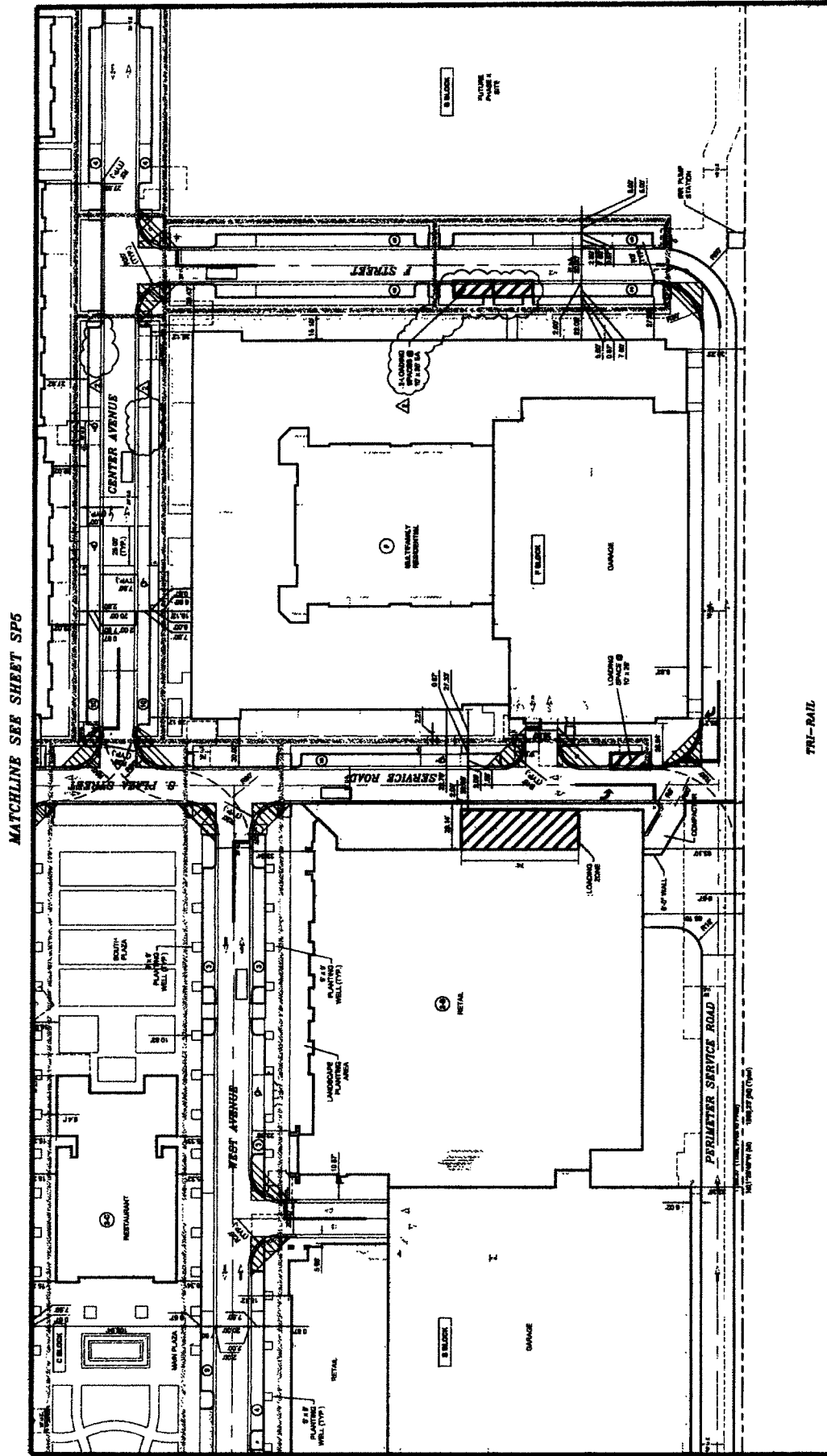


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MATCHLINE SEE SHEET SP3

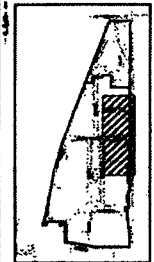


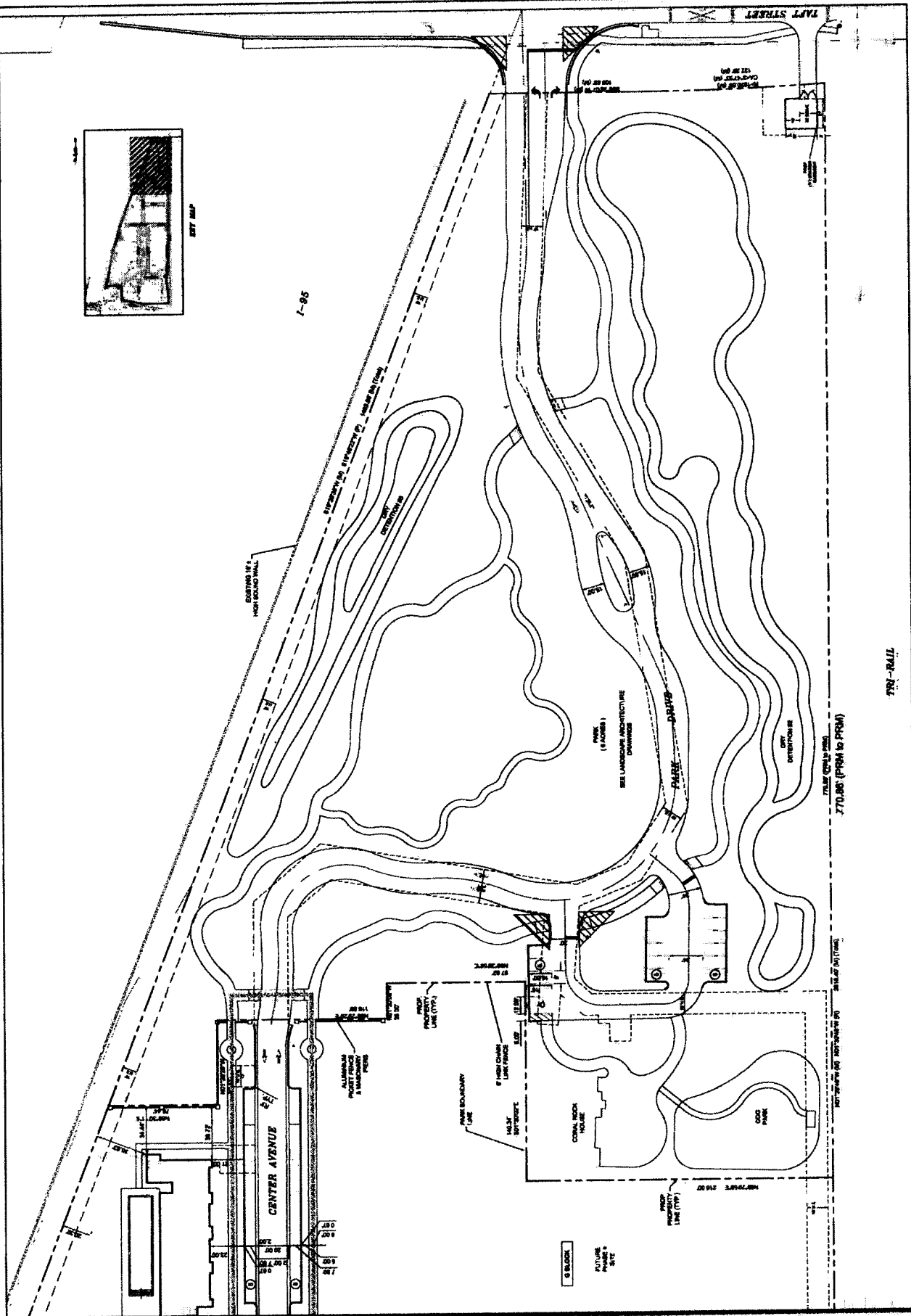
MATCHLINE SEE SHEET SP4



MATCHLINE SEE SHEET SP5

TRI-RAIL





MATCHLINE SEE SHEET SP5

MATCHLINE SEE SHEET SP6

TRAIL-RAIL

SHARED PARKING ANALYSIS

NOTE: FOR REQUIRED PARKING FOR EACH USE, SHOWN IN THESE TABLES, REFER TO TABLE 1 ON THIS SHEET FOR MINIMUM NON-SHARED PARKING REQUIREMENTS. REFER TO TABLE 2 FOR MINIMUM SHARED PARKING REQUIREMENTS FOR EACH GARAGE.

TABLE 1

[illegible]

TABLE 2

Line	City	State	Country	Latitude	Longitude	Altitude	Population	Area	Time	Notes
1	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
2	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
3	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
4	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
5	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
6	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
7	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
8	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
9	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
10	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
11	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
12	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
13	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
14	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
15	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
16	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
17	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
18	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
19	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
20	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
21	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
22	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
23	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
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25	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
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27	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
28	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
29	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
30	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
31	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
32	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
33	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
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35	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
36	Alaska	USA	USA	66° 00' N	150° 00' W	1000	1000	1000	1000	
37</										

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WAKEFIELD BEASLEY & ASSOCIATES

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Fax: 404.525.1001
www.wakefieldbeasley.com

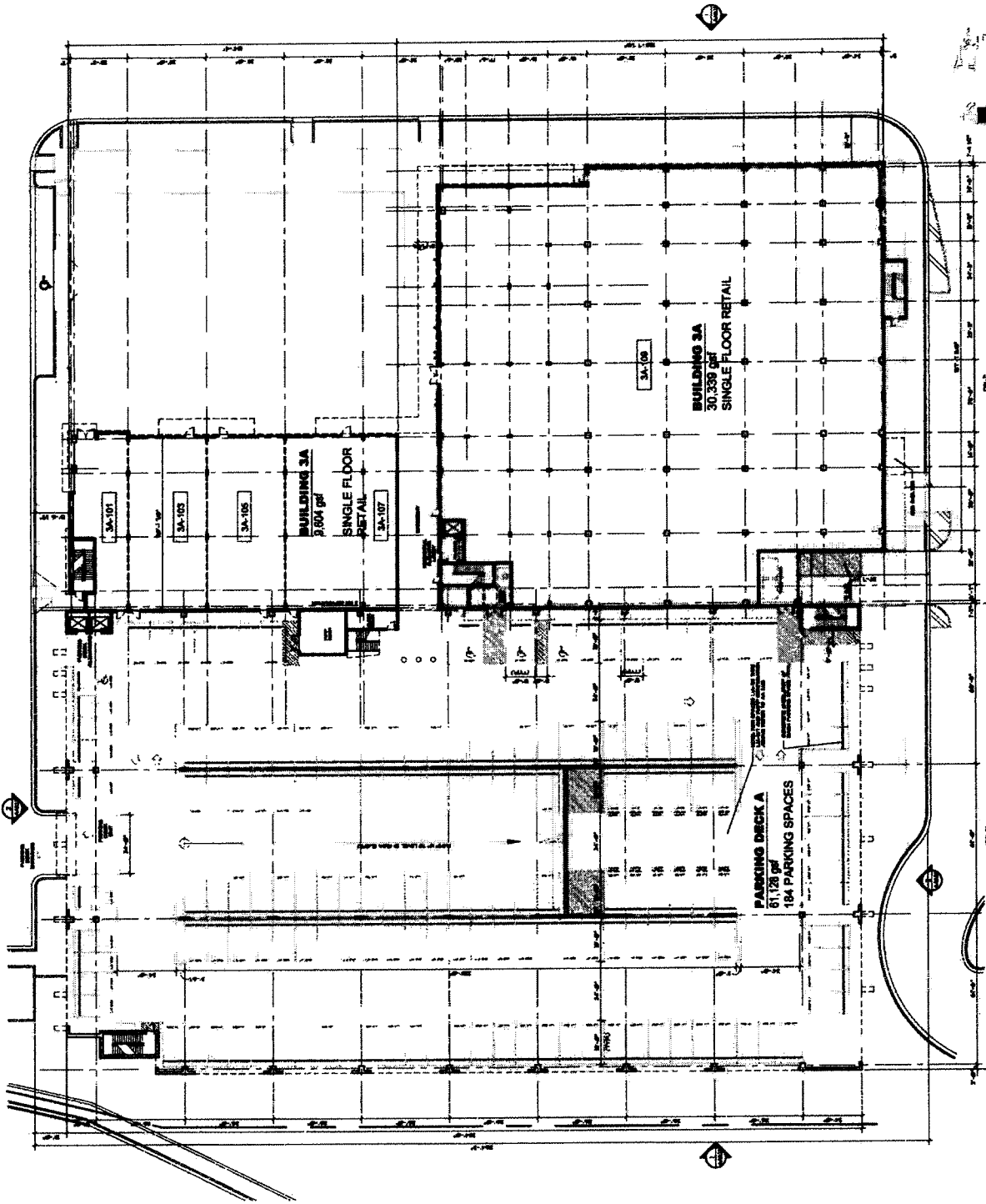
Atlanta Office:
420 Peachtree Road
Suite 400
Atlanta, GA 30308
Phone: 404.525.1000
Fax: 404.525.1001
www.wakefieldbeasley.com

Stratton Station
Pinnacle
DESIGN GROUP

ram
Development Company
A TRANSIT ORIENTED DEVELOPMENT
HOLLYWOOD, FLORIDA

DATE: 04/15/2010
DRAWN: J. BEASLEY
CHECKED: J. BEASLEY
PROJECT: STRATTON STATION
SHEET: 1A
SCALE: 1" = 20'-0"

AA 2.11A



KEY PLAN
THIS KEY PLAN IS A SUMMARY OF THE PROJECT AND IS NOT TO BE USED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE THE NECESSARY DETAILS FOR CONSTRUCTION.

Building 3A - Level 1A
Scale: 1" = 20'-0"
Ground Level Floor Plan Elevation 0'-0"

PARKING DECK SUMMARY

DECK	TYPE	SPACES	STAIRS	ELEVATION
A	Surface	184	2	0'-0"
B	Surface	184	2	0'-0"
C	Surface	184	2	0'-0"
TOTAL		552	6	

**WAKEFIELD
BEASLEY &
ASSOCIATES**

ARCHITECTS INTERIORS

Atlanta Office
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Atlanta, GA 30329
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Fax: 404.525.1001
www.wakefieldbeasley.com

Los Angeles Office
4000 Wilshire Blvd
Suite 400
Los Angeles, CA 90048
Phone: 310.555.1000
Fax: 310.555.1001
www.wakefieldbeasley.com

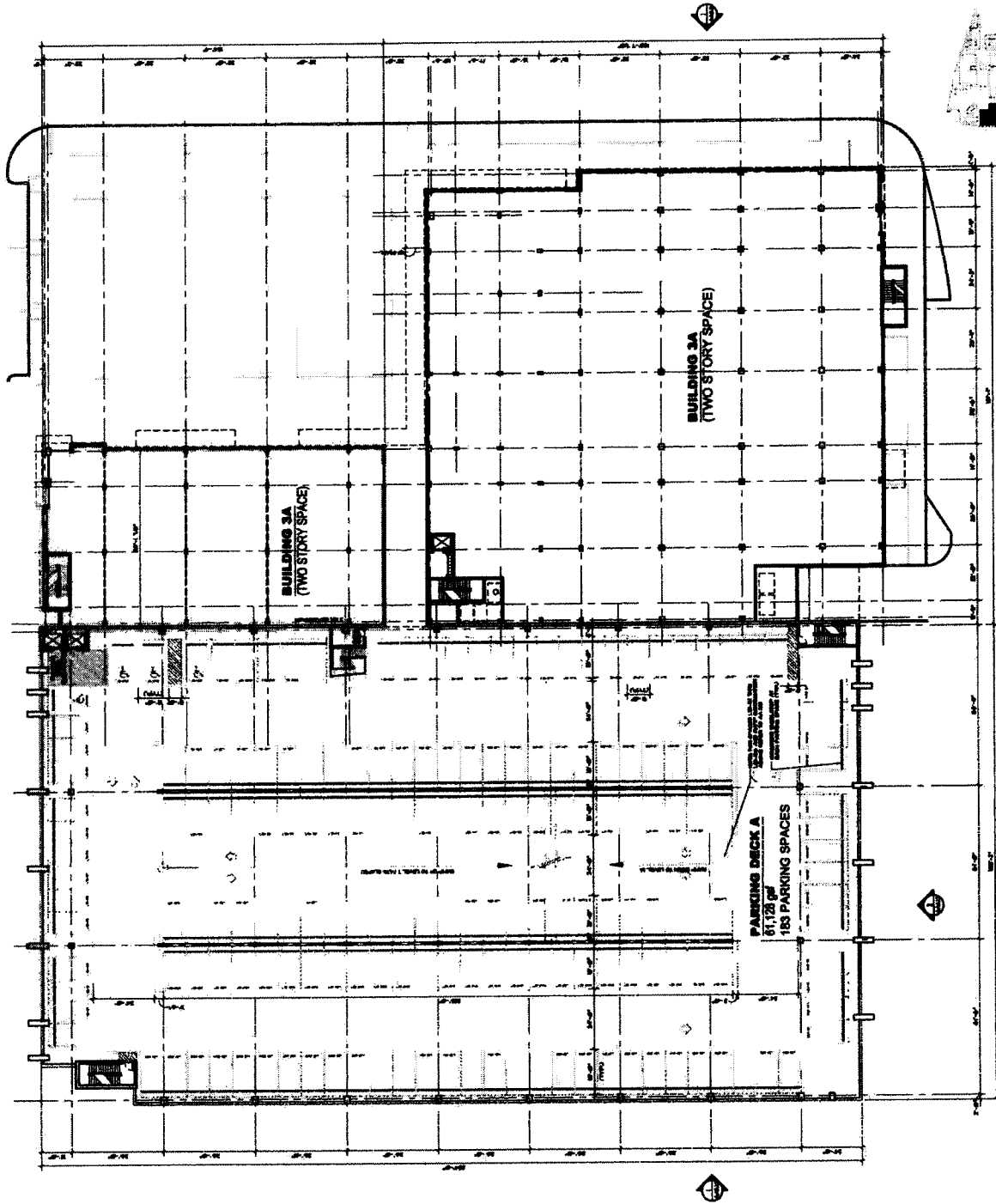
PINNACLE
A TRAMIT ORIENTED DEVELOPMENT

ram
A TRAMIT ORIENTED DEVELOPMENT
HOLLYWOOD, FLORIDA

ram
Development Company

**PARKING LEVEL 1B
FLOOR PLAN
BUILDING 3A**

AA 2.1.1B



KEY PLAN

THIS KEY PLAN IS FOR INFORMATION ONLY. IT DOES NOT REPRESENT THE EXACT LOCATION OF THE BUILDING. THE EXACT LOCATION OF THE BUILDING SHALL BE DETERMINED BY THE SURVEYOR.

Building 3A - Parking Level 1B
Level 1B Floor Plan Elevation 12'-0"

SCALE: 1" = 20'-0"

**WAKEFIELD
BEASLEY &
ASSOCIATES**

ARCHITECTS INTERIORS

4000 N. 10th Ave.

1000 N. 10th Ave.

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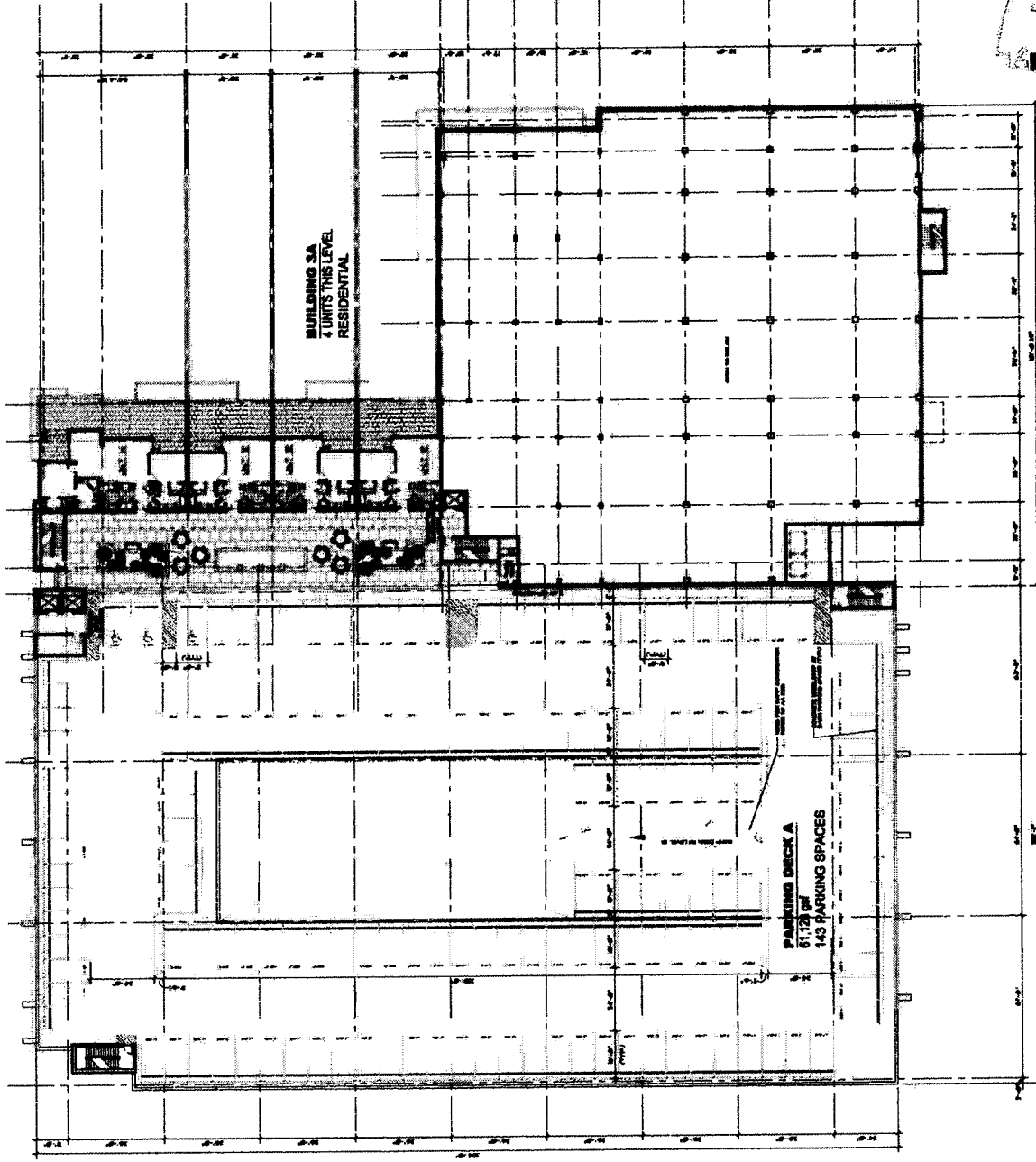
1000 N. 10th Ave.

Striden Station
Pinnacle
DESIGN GROUP

ram
Development Company
A TRANSIT ORIENTED DEVELOPMENT
HOLLYWOOD, FLORIDA

Sheet 2 of 2
Level 2 Floor Plan
PARKING DECK A ROOF
BUILDING 3A

AA 2.1.2



Building 3A - Level 2 / Parking Deck A Roof
Scale: 1" = 20'-0"
Level 2 Floor Plan Elevation 23'-4"

KEY PLAN

THIS PLAN IS A PART OF A DEVELOPMENT AND IS NOT TO BE USED IN ISOLATION. IT IS TO BE USED IN CONJUNCTION WITH THE OTHER PLANS AND SPECIFICATIONS OF THE PROJECT. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE ARCHITECT.

NOTE: THE PLUGGER IS DESIGNED AND MANUFACTURED TO MEET ALL APPLICABLE STANDARDS AND REGULATIONS. THE PLUGGER IS NOT A SUBSTITUTE FOR OTHER SAFETY DEVICES OR EQUIPMENT. ALWAYS USE PROPER INSTALLATION TECHNIQUES. SEE INSTRUCTIONS FOR DETAILED INFORMATION.

WAKEFIELD BEASLEY & ASSOCIATES

ARCHITECTS INTERIORS

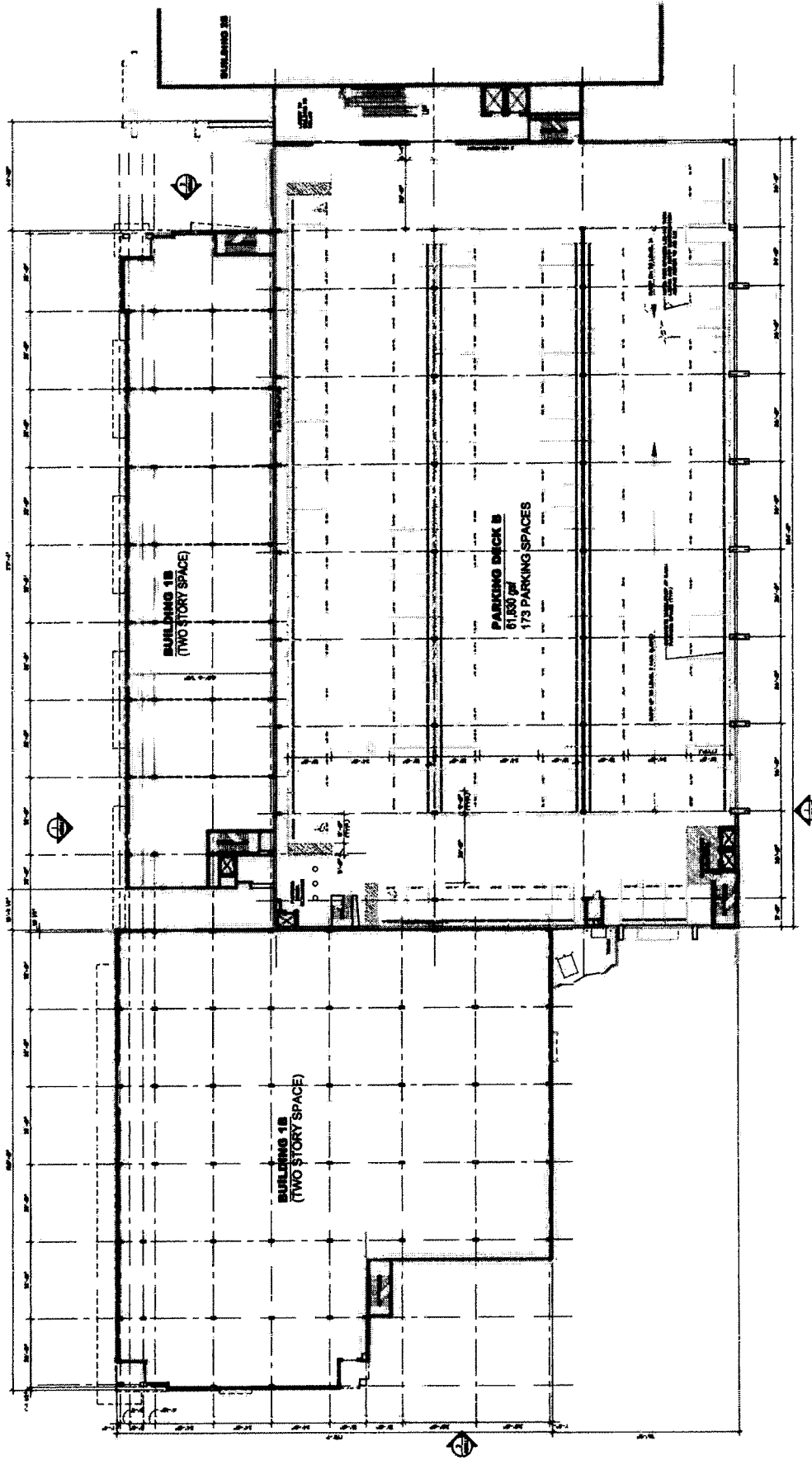
Atlanta Office
1155 Peachtree Street, N.E.
Atlanta, GA 30309
Phone: 404.525.1000
Fax: 404.525.1001
www.wakefieldbeasley.com

Washington Office
4000 Sully Road, N.W.
Washington, D.C. 20007
Phone: 202.462.4000
Fax: 202.462.4001
www.wakefieldbeasley.com

Shepherd Station
A TRANSIT ORIENTED DEVELOPMENT
HOLLWOOD, FLORIDA
ram
Development Company
PINNACLE HOUSING GROUP

ram
Development Company
PINNACLE HOUSING GROUP

AB 2.1.1B
PARKING LEVEL 1B
FLOOR PLAN
BUILDING 1B



Building 1B - Parking Level 1B
Scale: 1" = 20'-0"
Parking Level 1B Floor Plan Elevation 12'-0"

KEY PLAN
THIS PLAN IS A PRELIMINARY DESIGN AND SHOULD BE USED FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE FINAL DESIGN SHALL BE DETERMINED BY THE ARCHITECT AND ENGINEER.

THIS PLAN IS A PRELIMINARY DESIGN AND SHOULD BE USED FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE FINAL DESIGN SHALL BE DETERMINED BY THE ARCHITECT AND ENGINEER.

WAKEFIELD
BEASLEY &
ASSOCIATES

ARCHITECTS INTERIORS

4100 North 1st Street

1700 North 1st Street

1700 North 1st Street

1700 North 1st Street

1700 North 1st Street

1700 North 1st Street

1700 North 1st Street

1700 North 1st Street

1700 North 1st Street

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SHARDEN
STATION

A TRANSIT ORIENTED DEVELOPMENT
HOLLYWOOD, FLORIDA

ram
Development Company

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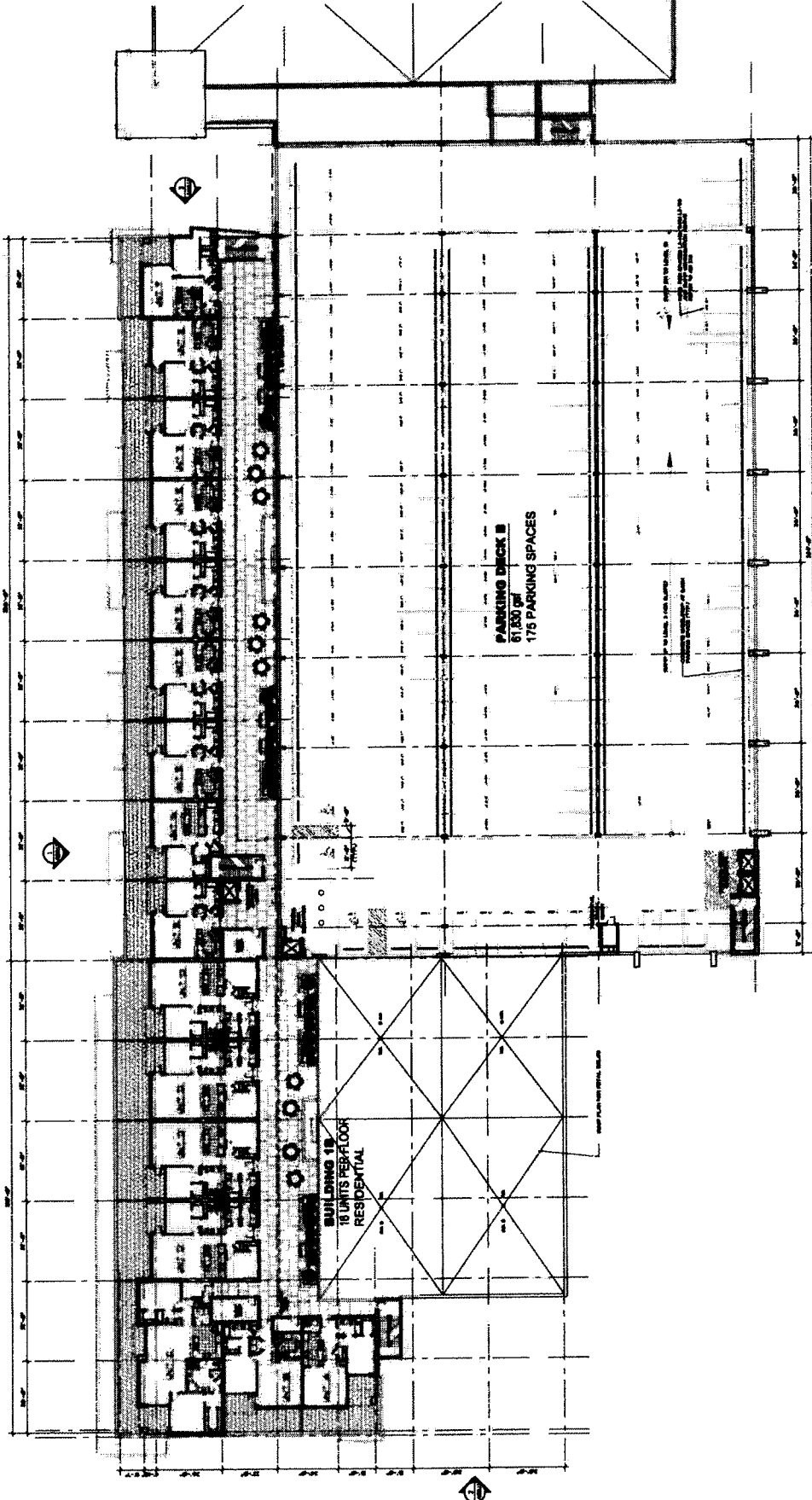
scale: 1" = 20'-0"
Level 2 Floor Plan - Elevation 23'-4"

Building 1B - Level 2

KEY PLAN

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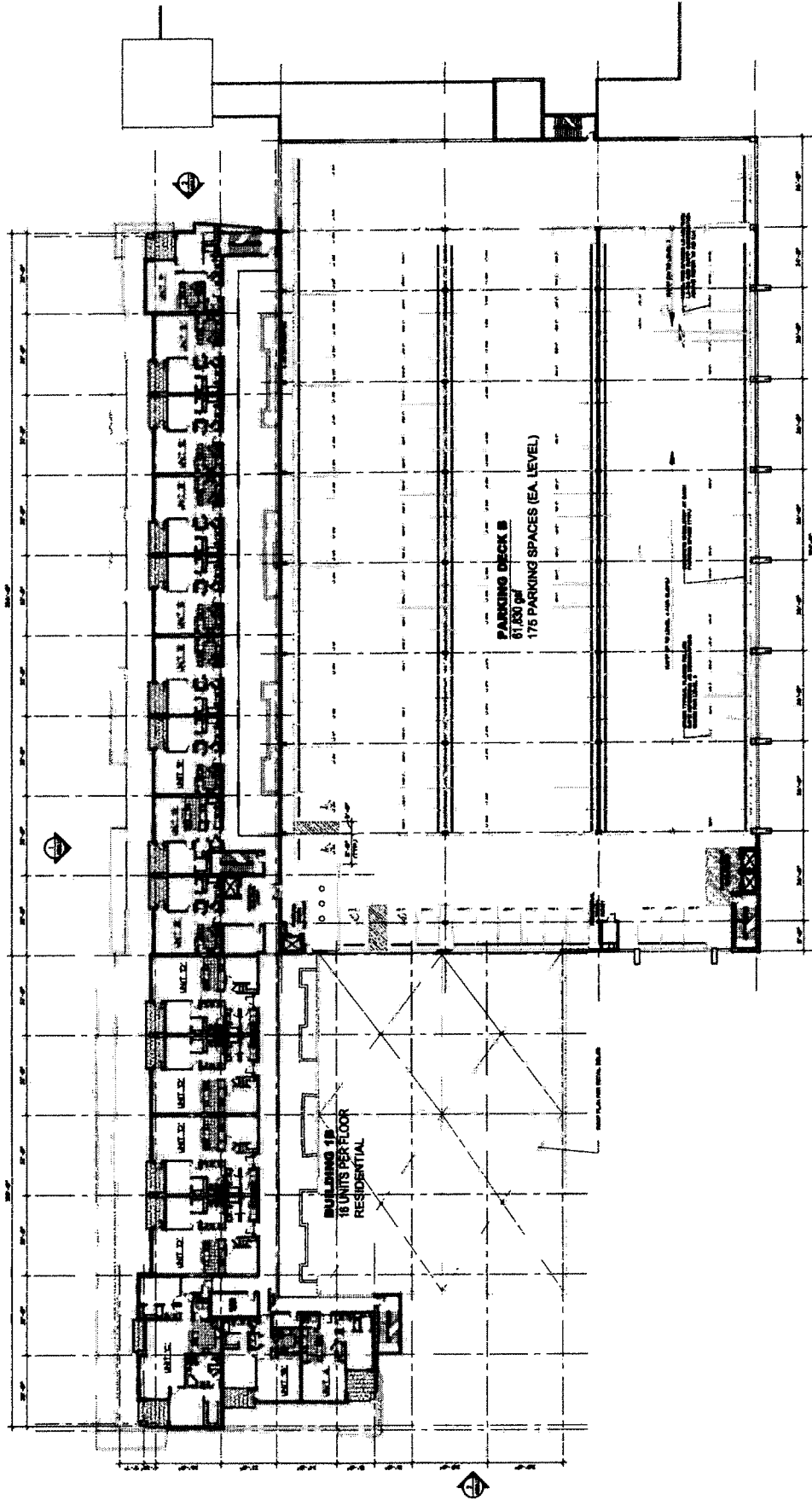
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AB 2.13
LEVELS 3, 4 and 5
TYP FLOOR PLAN
BUILDING B



Building 1B - Level 3, 4 and 5

Scale: 1" = 20'-0" Elevation 55'-4" Level 3 Floor Plan Elevation 34'-0" Level 4 Floor Plan Elevation 44'-8" Level 5 Floor Plan

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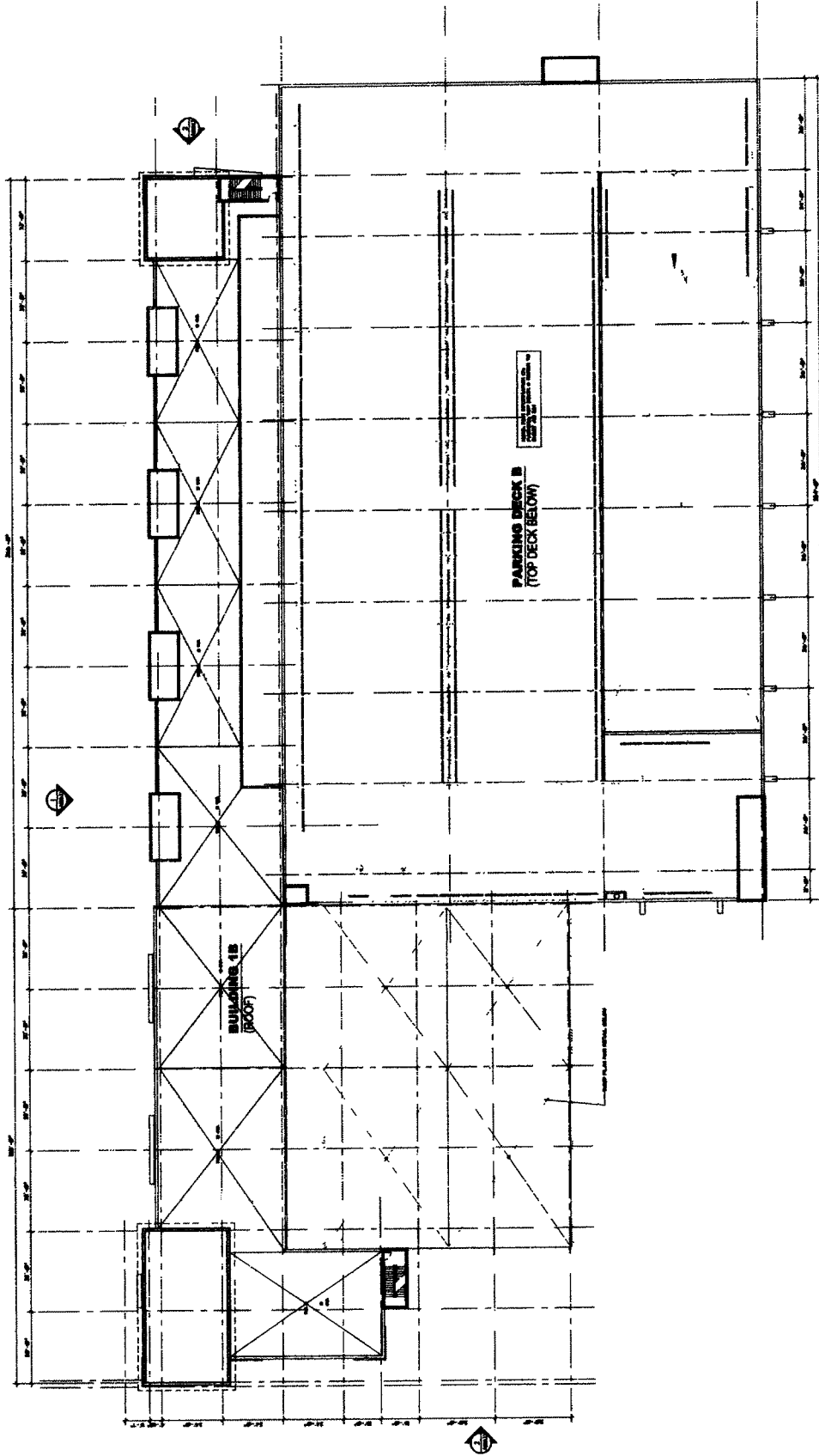
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ram
Development Company
Pinnacle
HOUSE NO. 000

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HOUSE NO. 000

ROOF PLAN
BUILDING 1B

AB 2.15



Building 1B - Roof

Scale: 1" = 20'-0"
Roof Plan Elevation Varies

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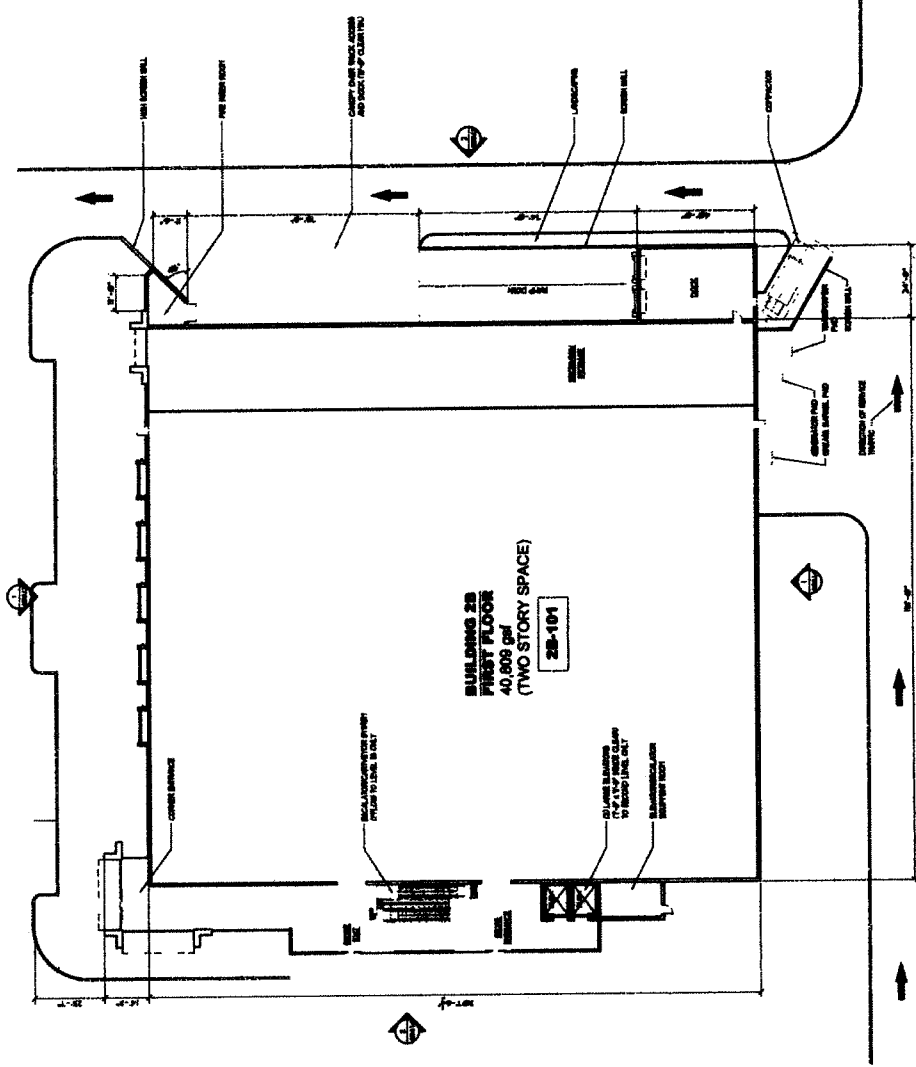
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AB 2.1.6



Building 2B - Level 1A

Scale: 1" = 20'-0"
Parking Level 1A Floor Plan Elevation 0'-0"

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NOTES TO ARCHITECT:
SEE EXISTING BUILDING

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BY: [Signature]
REASON: [Text]

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Silverdän Station

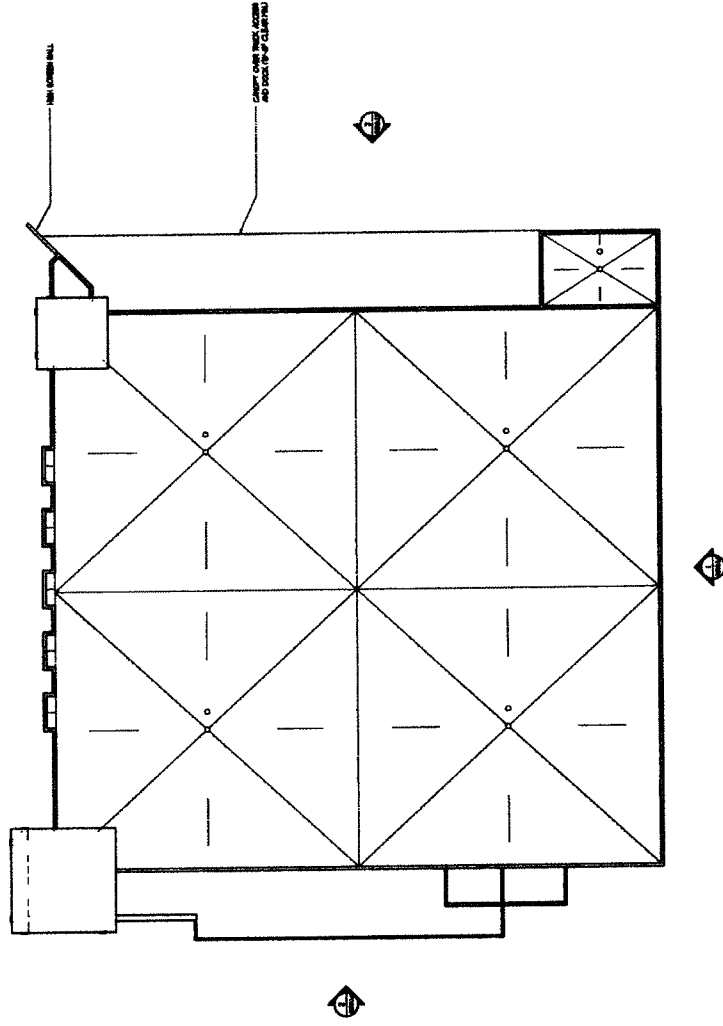
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Secretary

[illegible]

ROOF PLAN
BUILDING 2B

AB 2.1.7



Building 2B - Roof Plan

Level 2 Floor Plan Elevation 23'-4"

scale: 1" = 20'-0"

KEY PLAN

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HOLLYWOOD, FLORIDA
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Answers

[illegible]

**GROUND LEVEL
FLOOR PLAN
BUILDINGS 1D, 2D**

AD 2.1.1a



KEY PLAN

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level
scale: 1" = 20'-0"
Ground Level Floor Plan Elevation 0'-0"

Building 1D, 2D - Ground Level

[illegible]

LEVEL	CLEARING	ELEVATION
1	120 SPACERS	10'-0"
2	75 SPACERS	15'-0"
3	145 SPACERS	20'-0"
4	145 SPACERS	25'-0"
5	120 SPACERS	30'-0"
THE TOTAL SPACERS		

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PINNACLE
DESIGN GROUP

Shirhan Station
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HOLLYWOOD, FLORIDA

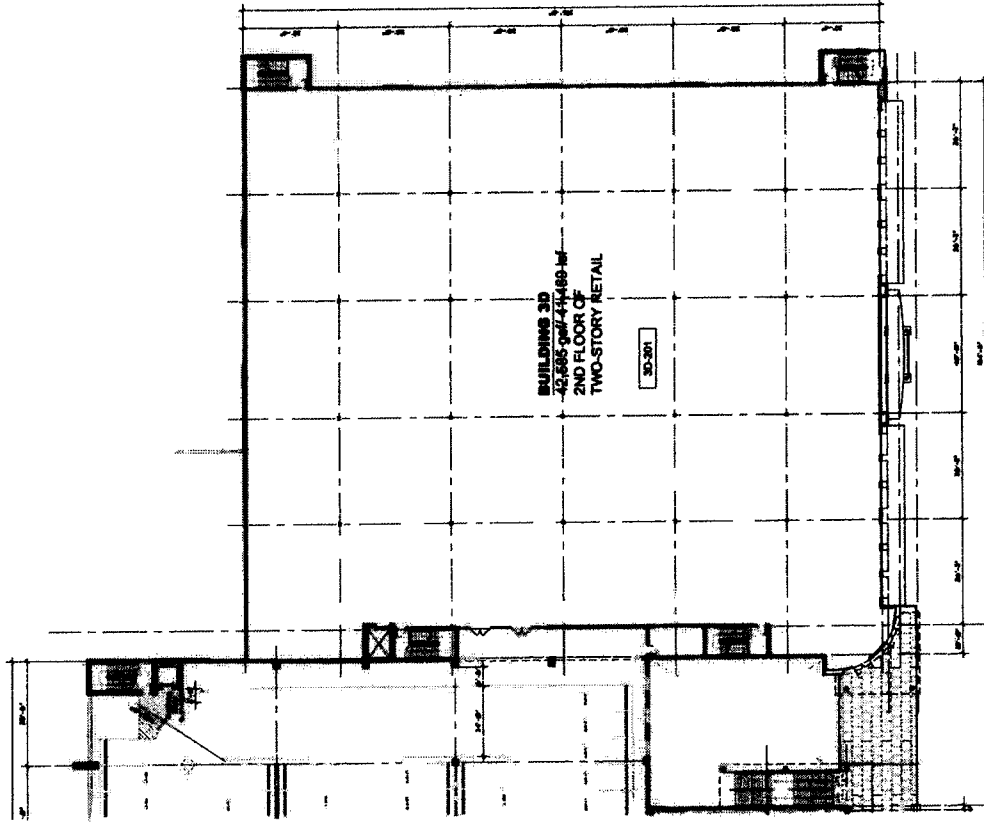
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770.240.1001

AD 2
10/1/2009
10/1/2009

SECOND LEVEL
FLOOR PLAN
BUILDING 3D

AD 2.1.2b



Building 3D - Level 2

Scale: 1" = 20'-0"
Second Level Floor Plan Elevation 18'-0"

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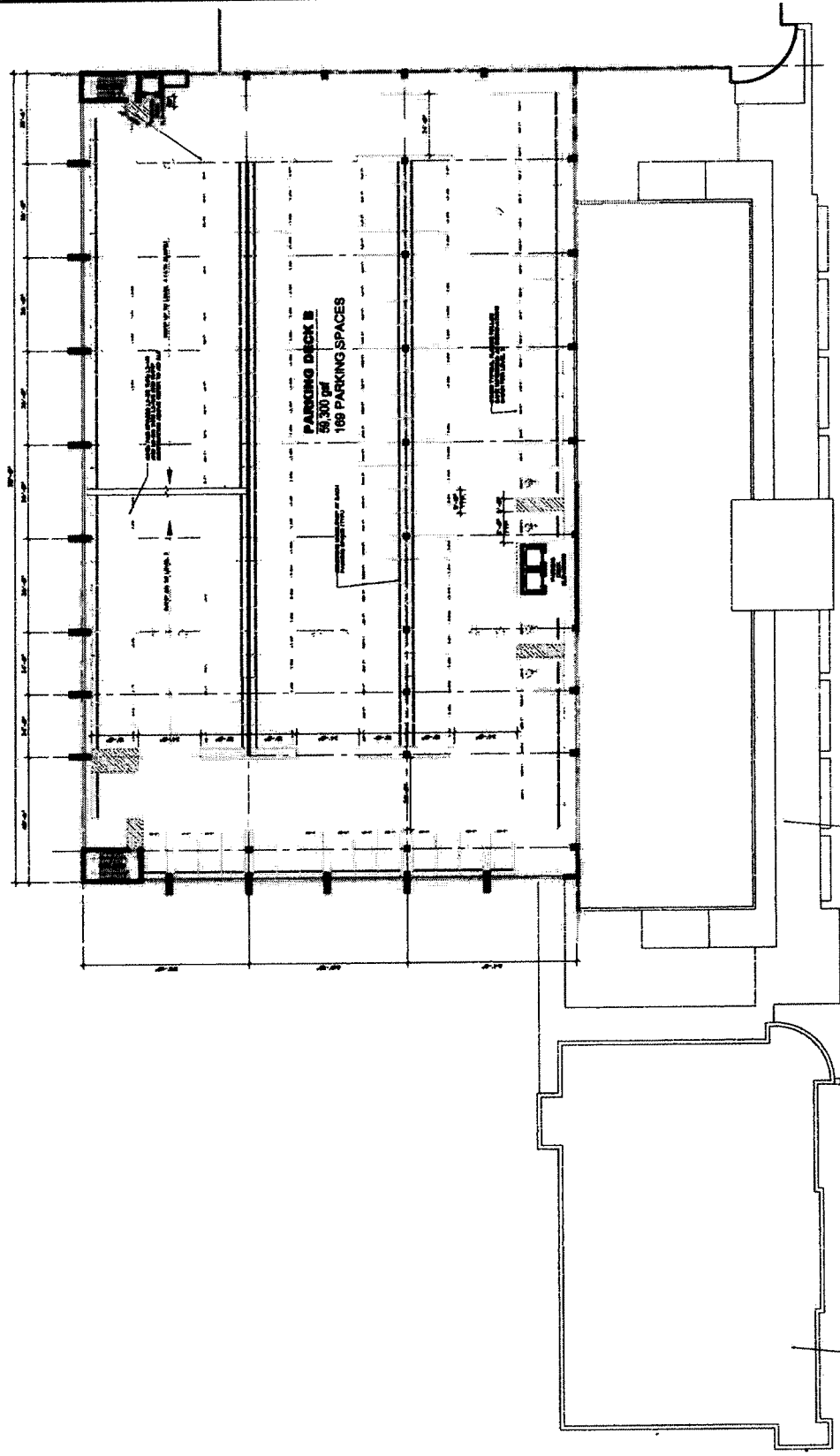
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HOLLYWOOD, FLORIDA

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AD 2.1.3
LEVELS 3 AND 4
FLOOR PLAN
PARKING DECK D

AD 2.1.3



Parking Deck D - Levels 3 and 4

Third Level Floor Plan Elevation 26'-5" Fourth Level Floor Plan 39'-4"

Scale: 1" = 20'-0"

KEY PLAN
NOTE: THIS PLAN IS A SUMMARY OF THE DESIGN. IT DOES NOT SHOW ALL DETAILS. FOR MORE INFORMATION, SEE THE FULL SET OF DRAWINGS.

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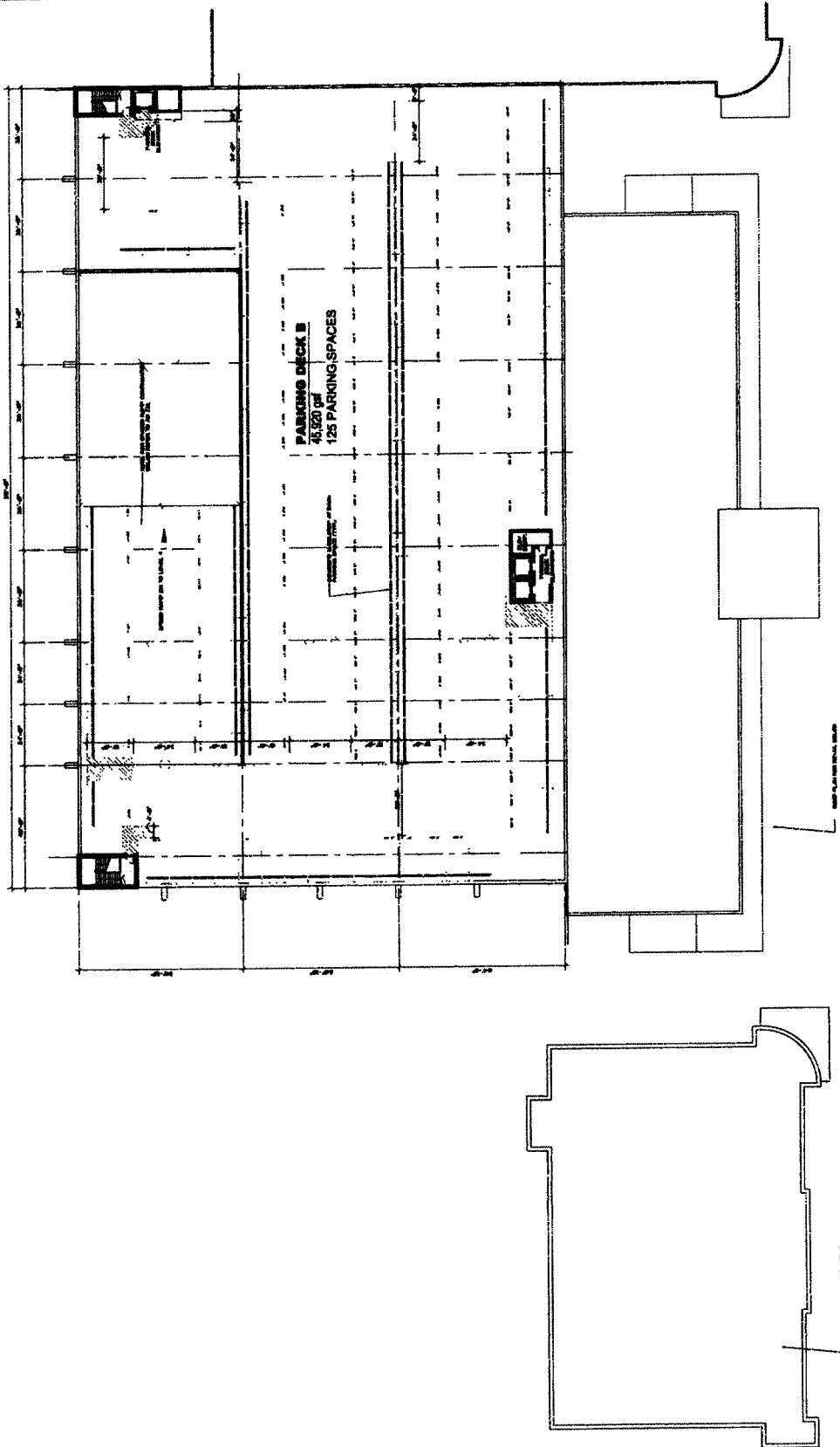
Stratton Station
Pinnacle
Housing Group

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Development Company
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HOLLYWOOD, FLORIDA

Project	AD 2.1.4
Design Team	Wakefield Beasley & Associates
Scale	1" = 20'-0"
Sheet	AD 2.1.4
Revision	
Rev	1
By	WBA
Date	01/10/2000
Project	AD 2.1.4
Design Team	Wakefield Beasley & Associates
Scale	1" = 20'-0"
Sheet	AD 2.1.4
Revision	
Rev	1
By	WBA
Date	01/10/2000

ROOF PLAN PARKING DECK D

AD 2.1.4



Parking Deck D - Roof Plan

Scale: 1" = 20'-0"
Fifth Level Floor Plan Elevation 50'-0"

KEY PLAN

THIS PLAN IS A PART OF THE ARCHITECTURAL RECORD FOR THE PROJECT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN.

THIS PLAN IS A PART OF THE ARCHITECTURAL RECORD FOR THE PROJECT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN.

Atlanta Office:
6165 Peachtree Parkway
Building 202, Suite 200
Norcross, Georgia 30092
770 449 5000 ext. 200
770 449 7000 int.

Jacksonville Office:
4530 Salisbury Road
Suite 400
Jacksonville, Florida 32216
904 745 6165 ext. 200
904 745 6000 int.

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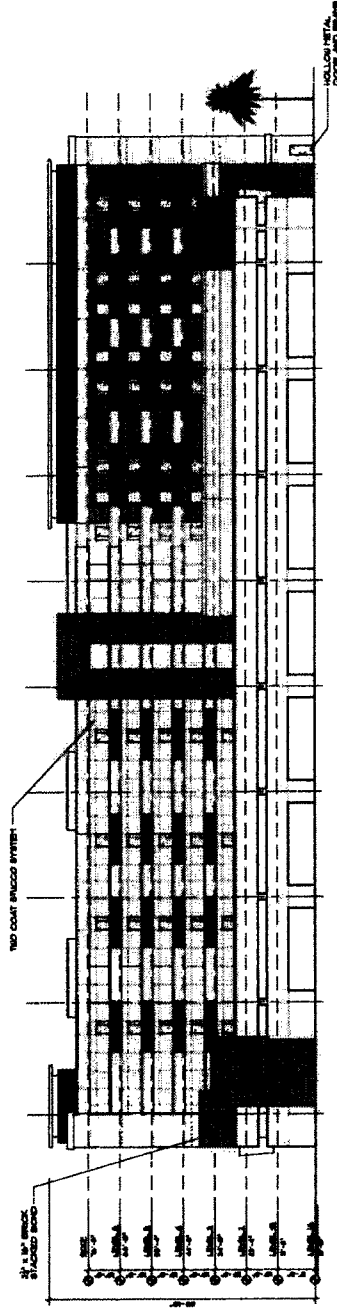
ram
Development Company
A TRAVEL ORIENTED DEVELOPMENT
HOLLYWOOD, FLORIDA

Shengyong

DATE	July 12
BY SPECIAL AGENT	ST-10000-0000
SUBJECT	ST-10000-0000

**EXTERIOR
ELEVATIONS
BUILDING 3A**

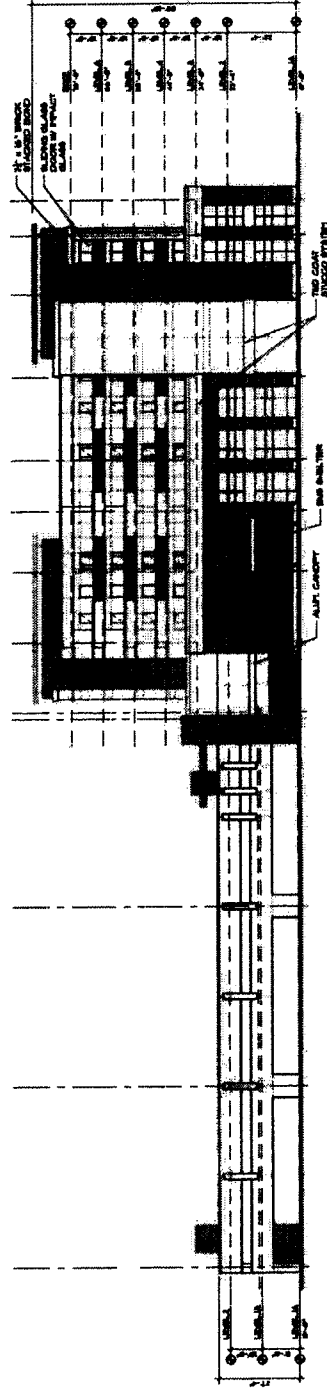
AA 3.1.2



Building 3A - North Elevation

Scale: 1" = 20'-0"

Schematic Elevation



Building 3A - West Elevation

scale: 1" = 20'-0"

WAKEFIELD
BEASLEY &
ASSOCIATES

ARCHITECTS INTERIORS

Atlanta Office
515 Peachtree Avenue
Atlanta, GA 30308
404 525 8800
FAX 404 525 8801

Atlanta Office
620 Peachtree Avenue
Atlanta, GA 30308
404 525 8800
FAX 404 525 8801

PINNACLE
DESIGN GROUP

ram
A TRANSIT ORIENTED DEVELOPMENT
HOLLYWOOD, FLORIDA
Development Company

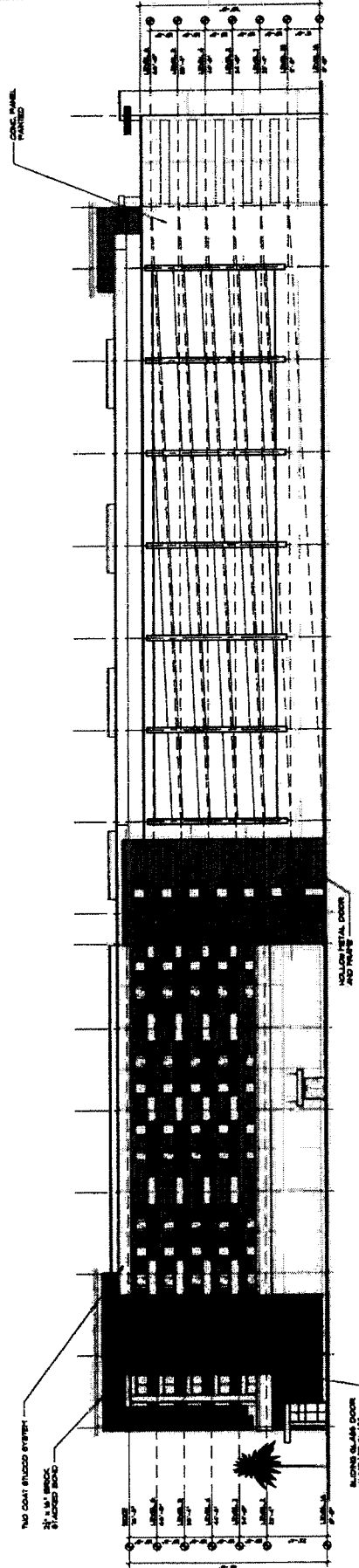
AB 3.12
EXTERIOR
ELEVATION
BUILDING B

AB 3.12

Building 1B - West Elevation

1

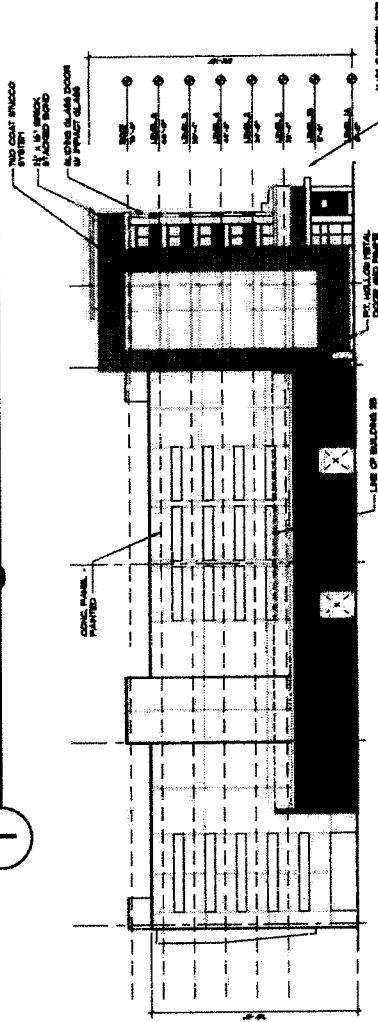
Scale: 1" = 20'-0"
Schematic Elevation



Building 1B - South Elevation

2

Scale: 1" = 20'-0"
Schematic Elevation



WAKEFIELD
BEASLEY &
ASSOCIATES

ARCHITECTS INTERIORS

Atlanta Office:
200 Peachtree Building
Atlanta, GA 30338
Phone: 404.525.1000
Fax: 404.525.1001
www.wakefieldbeasley.com

Atlanta Office:
400 Peachtree Building
Atlanta, GA 30338
Phone: 404.525.1000
Fax: 404.525.1001
www.wakefieldbeasley.com

Sheridan Station
Development Company
1000 Peachtree Street, N.E.
Atlanta, GA 30309
Phone: 404.525.1000
Fax: 404.525.1001
www.sheridanstation.com

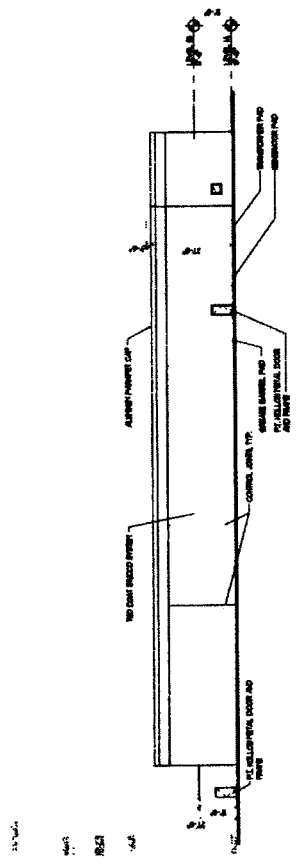
Sheet No.	AB 3.1.4
Project No.	2007-000
Revision	
By	
Check	
Date	

EXTERIOR ELEVATIONS

AB3.1.4

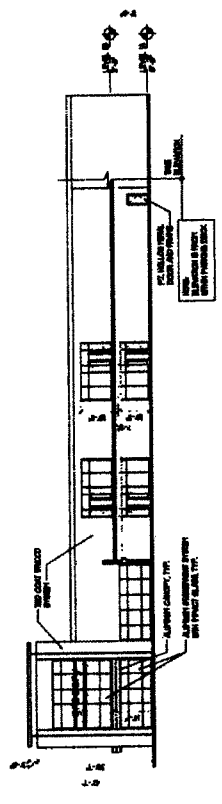
Building 2B - West Elevation

Scale: 1" = 20'-0"
Schematic Elevation



Building 2B - North Elevation

Scale: 1" = 20'-0"
Schematic Elevation



WAKEFIELD
BEASLEY &
ASSOCIATES

ARCHITECTS INTERIORS

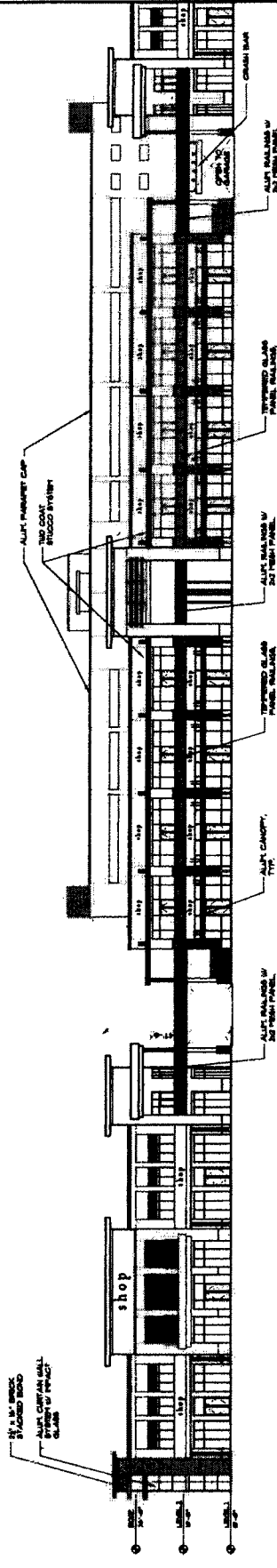
Atlanta Office
135 Peachtree Avenue
Atlanta, GA 30309
Phone: 404.525.1000
Fax: 404.525.1001
www.wakefieldbeasley.com

Los Angeles Office
1000 Wilshire Blvd.
Suite 1000
Los Angeles, CA 90017
Phone: 213.680.1000
Fax: 213.680.1001
www.wakefieldbeasley.com

SHARDEN STATION
A TRANSPORT ORIENTED DEVELOPMENT
HOLLYWOOD, FLORIDA
Development Company
Pinnacle
HOUSING GROUP

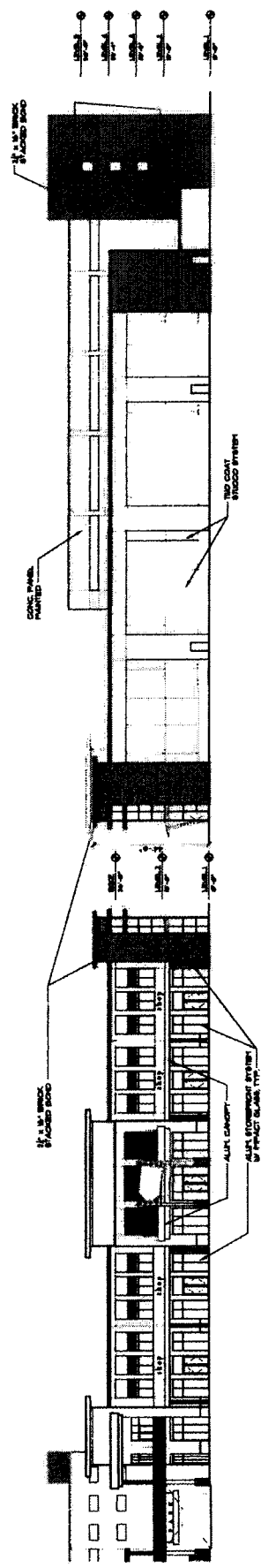
ram
Development Company
HOLLYWOOD, FLORIDA

EXTERIOR
ELEVATIONS
BDCS 1D, 2D, 3D
AD 3.1.1



① Building 1D - West Elevation scale 1" = 20'-0" Schematic Elevation

② Building 2D - West Elevation scale 1" = 20'-0" Schematic Elevation



③ Building 3D - West Elevation scale 1" = 20'-0" Schematic Elevation

④ Building 3D - South Elevation scale 1" = 20'-0" Schematic Elevation

WAKEFIELD BEASLEY & ASSOCIATES

ARCHITECTS INTERIORS

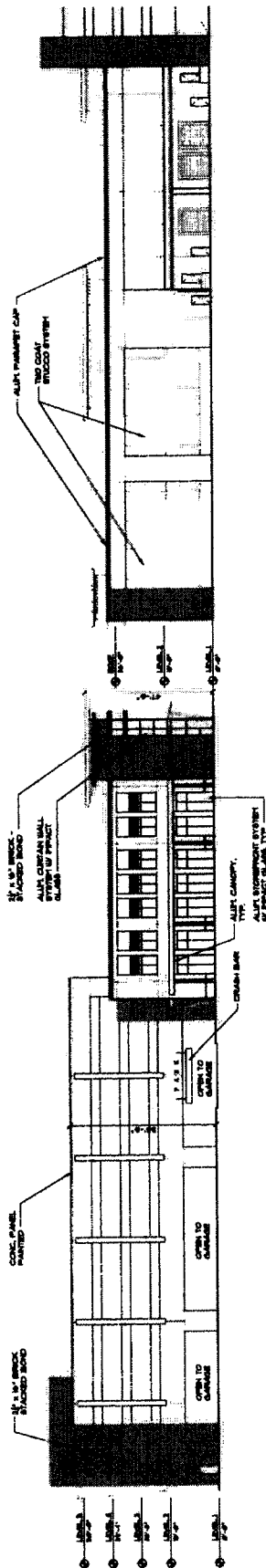
Atlanta Office:
188 Peachtree Parkway
Atlanta, GA 30329
Phone: 404.525.1000
Fax: 404.525.1001
www.wakefieldbeasley.com

Atlanta Office:
400 Peachtree Street, NW
Atlanta, GA 30308
Phone: 404.525.1000
Fax: 404.525.1001
www.wakefieldbeasley.com

Sherridan Station
Pinnacle
Development Company
A TRAVANT ORIENTED DEVELOPMENT
HOLLYWOOD, FLORIDA

ram
Development Company

AD 31.2
EXTERIOR
ELEVATIONS
BDS 1D, 2D, 3D
SHEET 1A



1 Building 1D - North Elevation

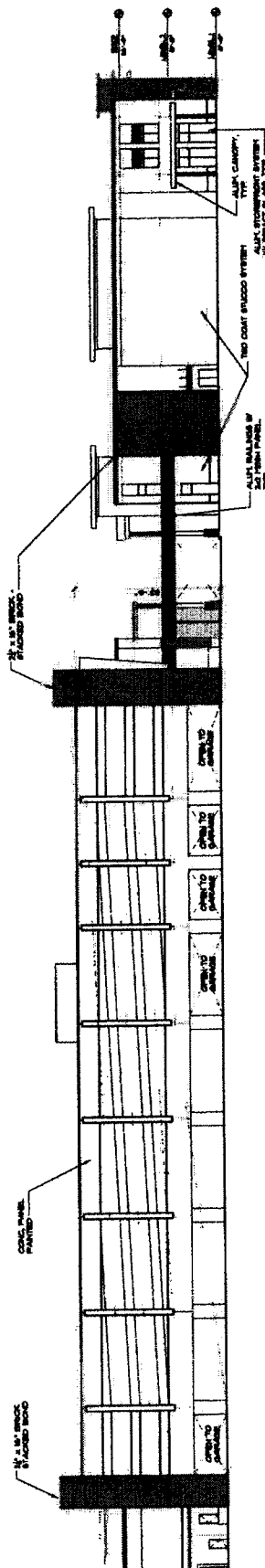
scale: 1" = 20'-0"

Schematic Elevation

2 Building 3D - East Elevation

scale: 1" = 20'-0"

Schematic Elevation



3 Building 2D - East Elevation

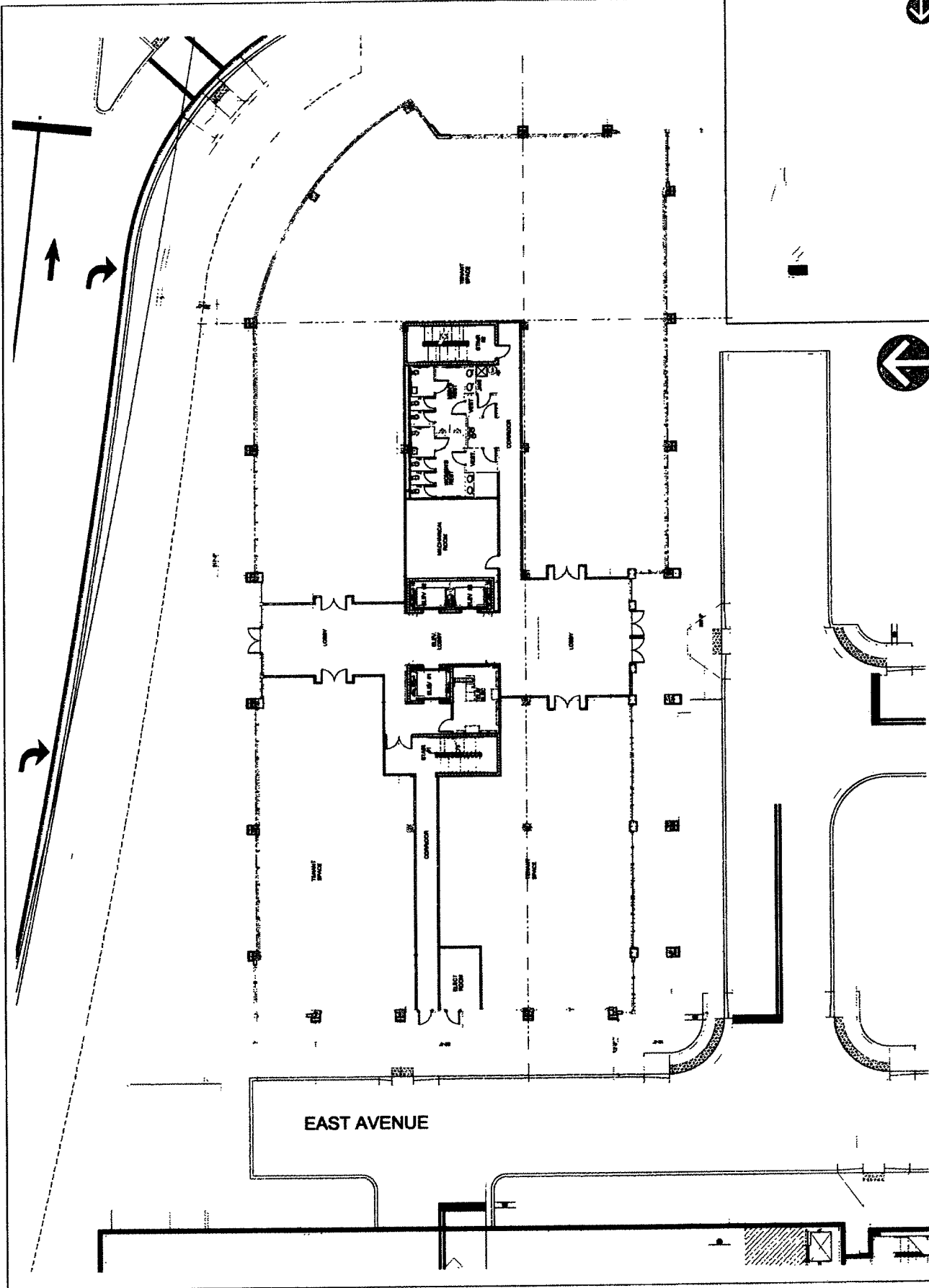
scale: 1" = 20'-0"

Schematic Elevation

4 Building 1D - East Elevation

scale: 1" = 20'-0"

Schematic Elevation



01 KEY PLAN SCALE 1/8" = 1'-0" 02 SCALE 1/4" = 1'-0" GROUND FLOOR PLAN



A1a-1.1

GROUND FLOOR PLAN

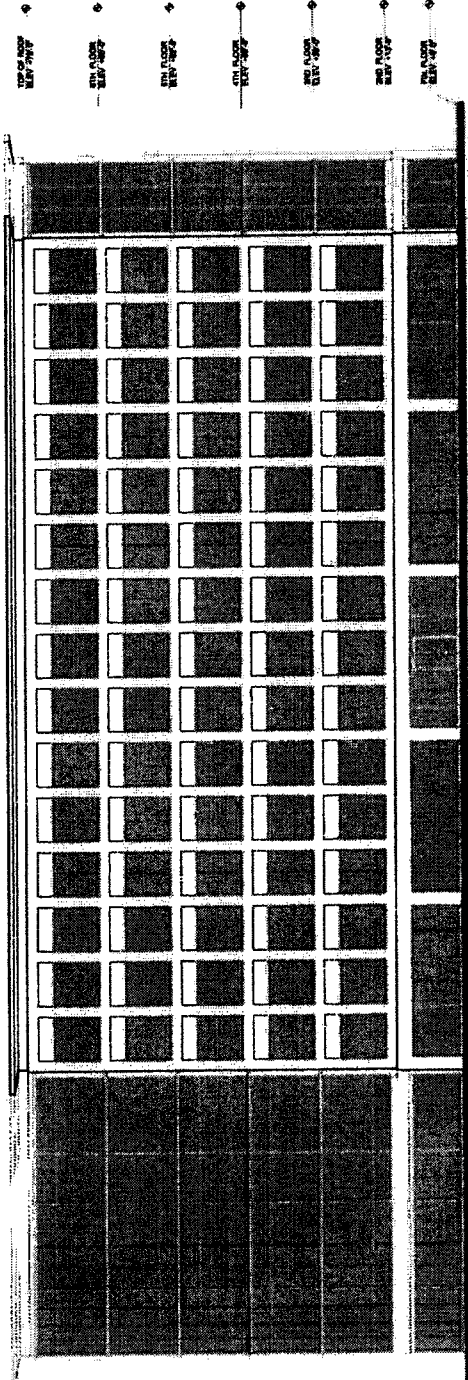
PROPOSED OFFICE BUILDING FOR
SHERIDAN STATION
OFFICE BUILDING
 HOLLYWOOD, FLORIDA
 A Division Of Stone Corporation
 300 S.E. 2nd Street
 Fort Lauderdale, Florida 33301
 954 627-9180
 P.L. REG # AA-000881
Architects 6400 inc.



NORTH ELEVATION

SCALE 1/4" = 1'-0"

01

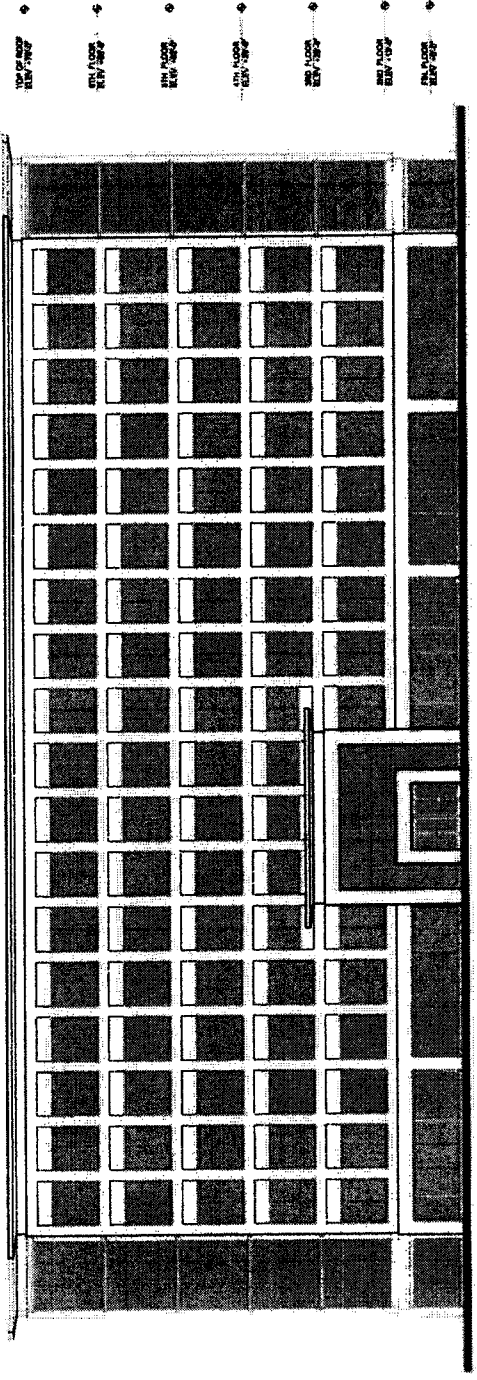


2nd Floor
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99th Floor
100th Floor

SOUTH ELEVATION

SCALE 1/4" = 1'-0"

02



2nd Floor
3rd Floor
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10th Floor
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93rd Floor
94th Floor
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97th Floor
98th Floor
99th Floor
100th Floor

PROJECT NO.
SHEET NO.
DATE
PROJECT NAME
SHEET TITLE

A1a-2.1

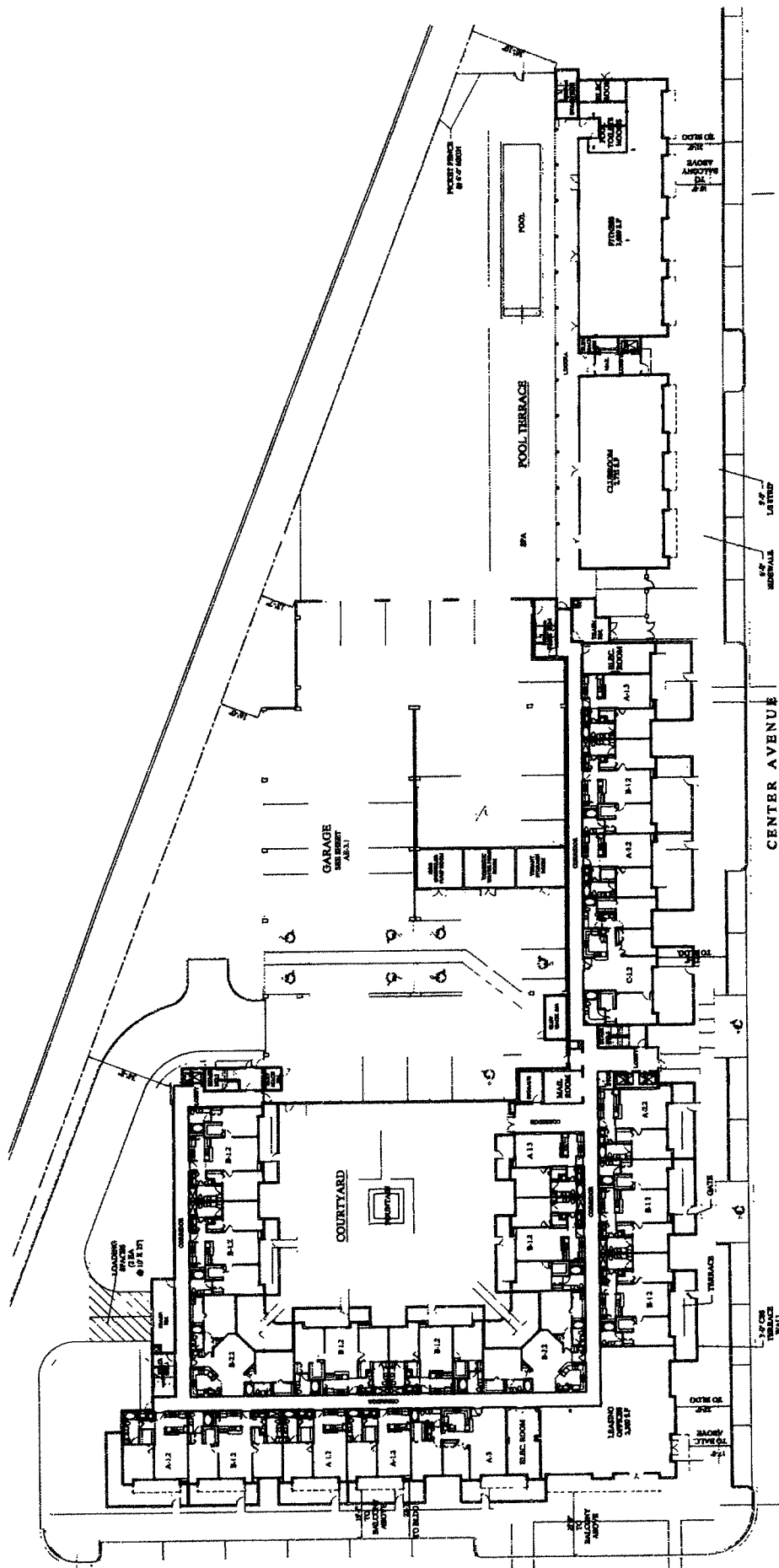
PROPOSED NORTH AND SOUTH ELEVATIONS

PROPOSED OFFICE BUILDING FOR
Ram Development Company & Pinnacle Housing Group
SHERIDAN STATION
OFFICE BUILDING
HOLLYWOOD, FLORIDA
A Division Of Sbas Corporation
300 S.E. 2nd Street
Fort Lauderdale, Florida
954 627-9180
33301
FL REG # AA-000881



NOTES

1. ALL AIR CONDITIONING EQUIPMENT WILL BE LOCATED ON ROOF OF BUILDING
2. POOL TO BE PROVIDED W/ 4" HI FENCE & SELF LATCHING GATE



Shiridian Station
 DEVELOPMENT CO.
 A TRANSIT ORIENTED DEVELOPMENT
 HOUSING GROUP
 PINNACLE
 HOUSING GROUP
 ARCHITECTS
 ARCHITECTS
 3-1-08
 AE-1.1

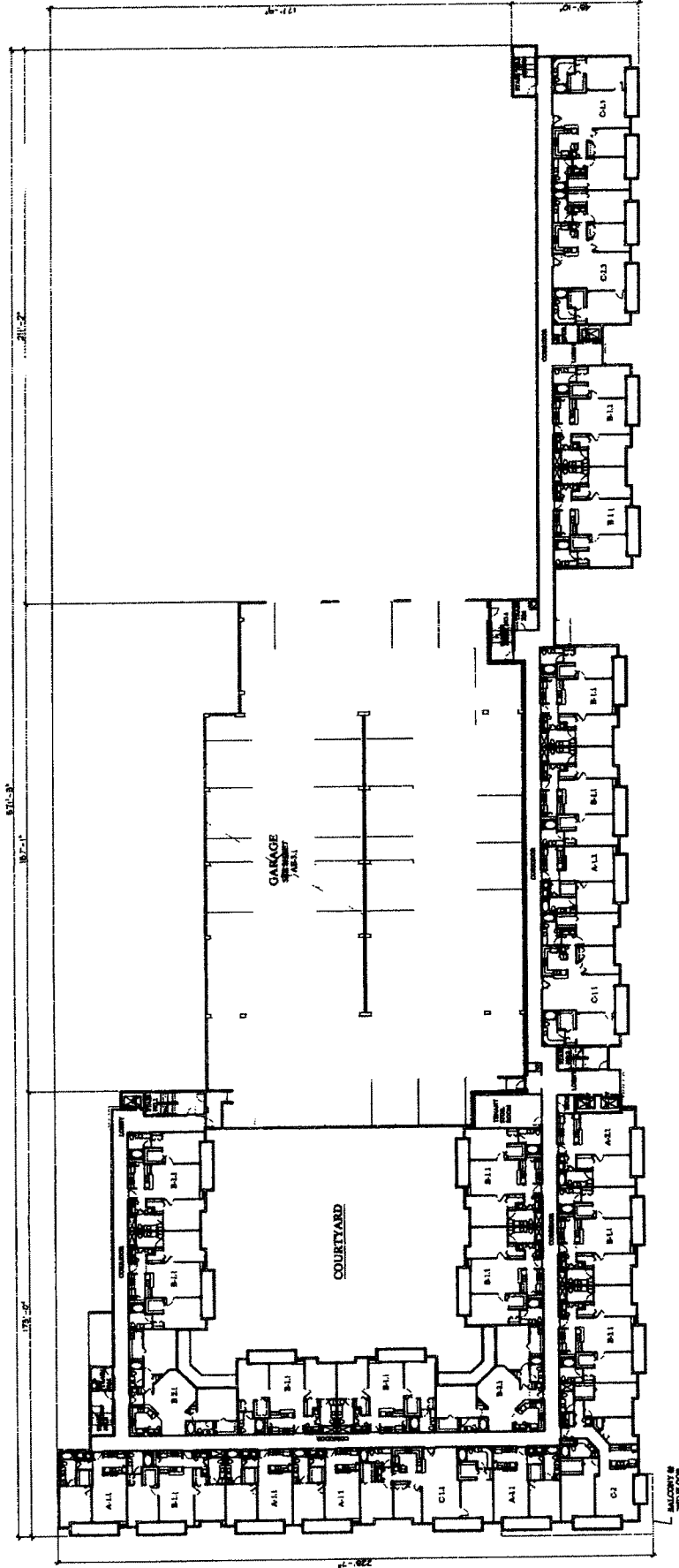


PLAN @ GROUND FLOOR
 BUILDING E
 SCALE 1/8" = 1'-0"

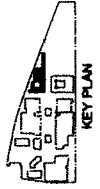


KEY PLAN

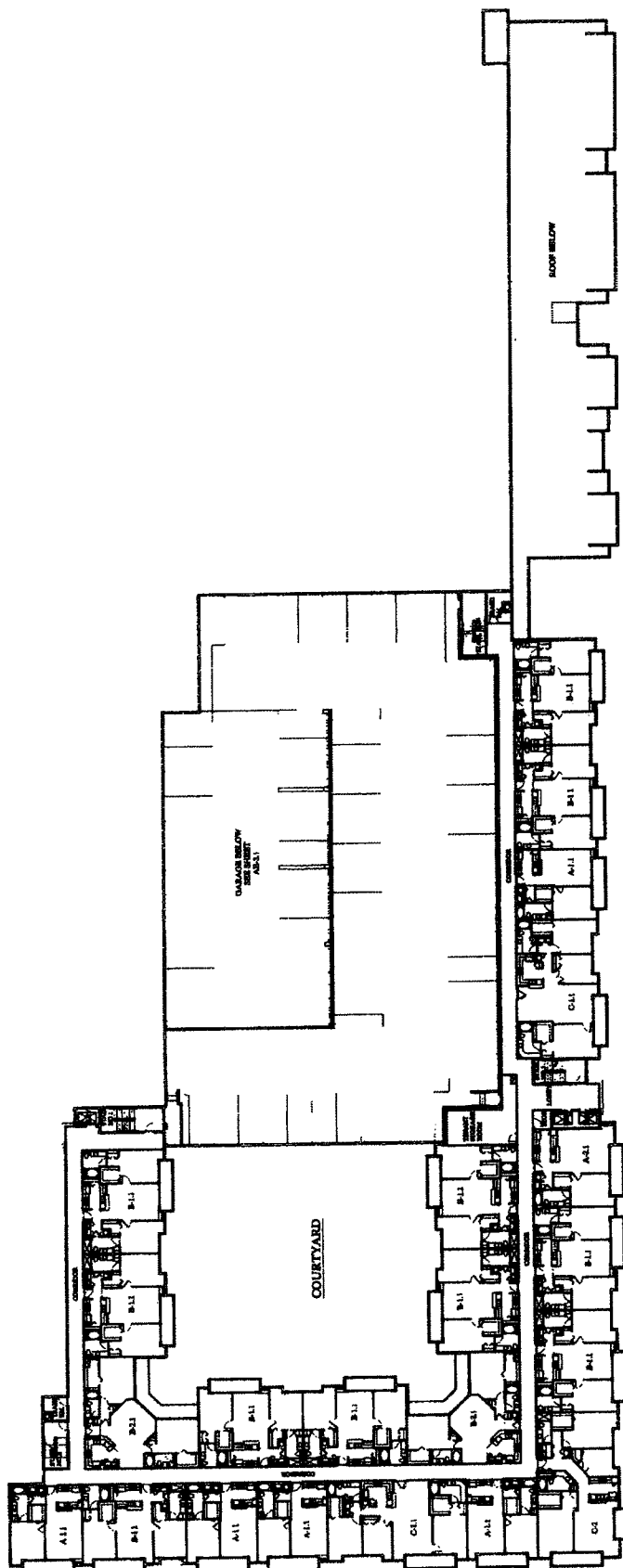
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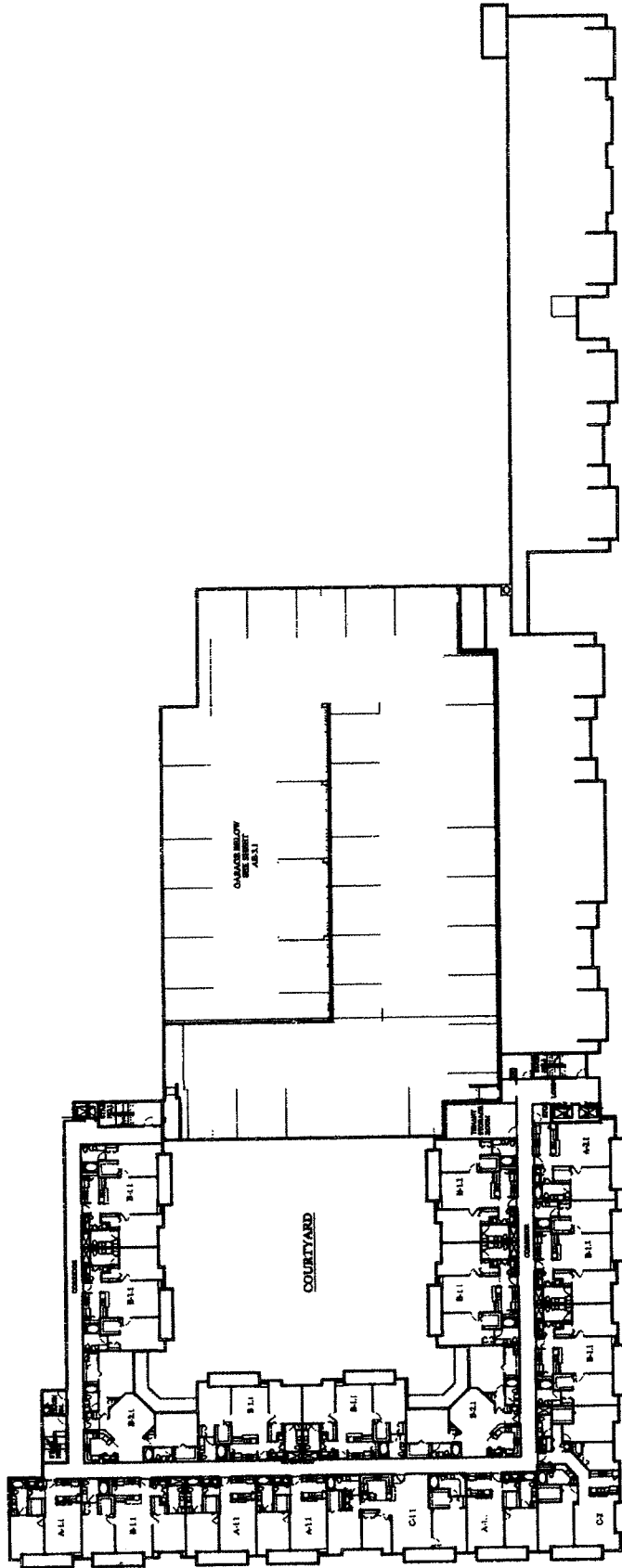


PLAN @ TYPICAL FLOORS 2-7
BUILDING E
SCALE: 1"=20'



Shelton Station DEVELOPMENT A TRANSIT ORIENTED COMMUNITY	PRINCIPAL DEVELOPMENT CO. PRINCIPAL HOUSING GROUP ROBERT FRY ARCHITECTS ARCHITECTS P.A. 2001 BROADWAY NEW YORK, NY 10001 TEL: 212-693-1111 FAX: 212-693-1112	DRAWN 2-11-09 AE-T2
--	--	---------------------------



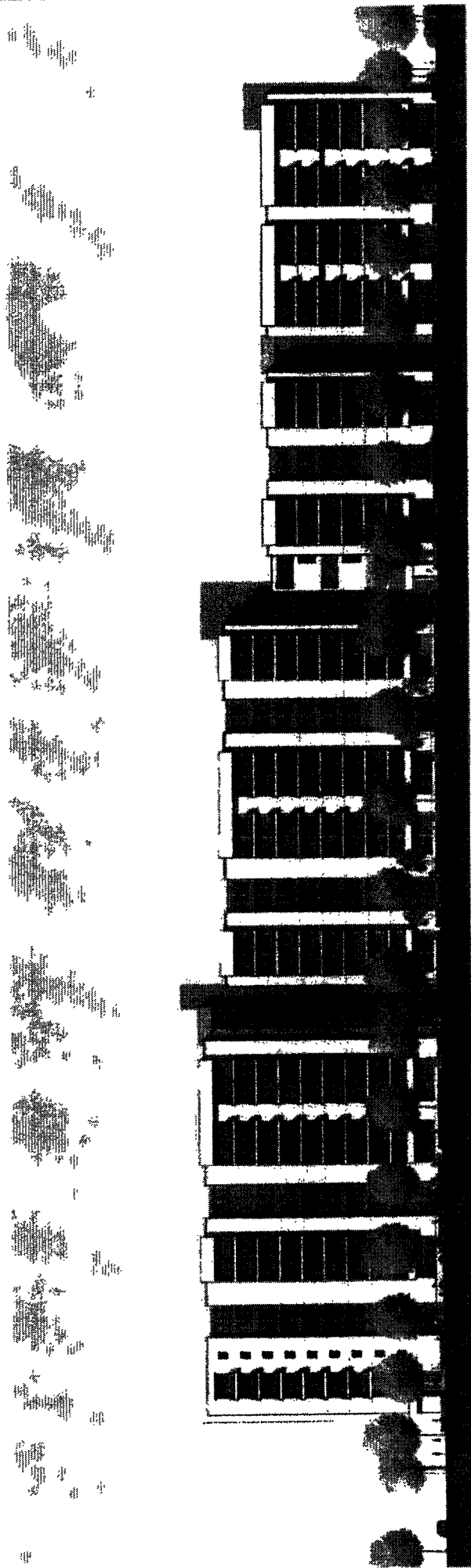


PLAN @ 10TH FLOOR
BUILDING E
SCALE: 1"=20'



KEY PLAN

Shawhan Station A TRANSIT ORIENTED DEVELOPMENT HOLMWOOD, PA.	DATE: 03/14/00 BY: JLM
DEVELOPMENT CO. PINNACLE HOUSING GROUP	ARCHITECT PENN STATE ARCHITECTS, P.A. ARCHITECT 1000 UNIVERSITY DRIVE UNIVERSITY PARK, PA 16802 TEL: 814/863-1234 FAX: 814/863-1235
DATE: 03/14/00 BY: JLM	PROJECT NO. AE-14



BUILDING E
CENTER AVENUE ELEVATION

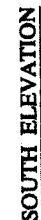
Sheridan Station

A TRANSIT ORIENTED DEVELOPMENT
www.sheridan-station.com

RAM DEVELOPMENT COMPANY
AND PINNACLE HOUSING GROUP

ROGER FRY & ASSOCIATES ARCHITECTS, P.A.
2751 Bird Avenue, Coconut Grove, Florida 33133
Phone 305 446 7787

- ① LEVITT TAPROOTS STUDIO
- ② ALVIN WARDROBE
- ③ ALVIN WARDROBE
- ④ ALVIN WARDROBE
- ⑤ ALVIN WARDROBE
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- ㊿ ALVIN WARDROBE



NORTH ELEVATION
(SOUTH PLAZA STREET)

BUILDING E ELEVATIONS

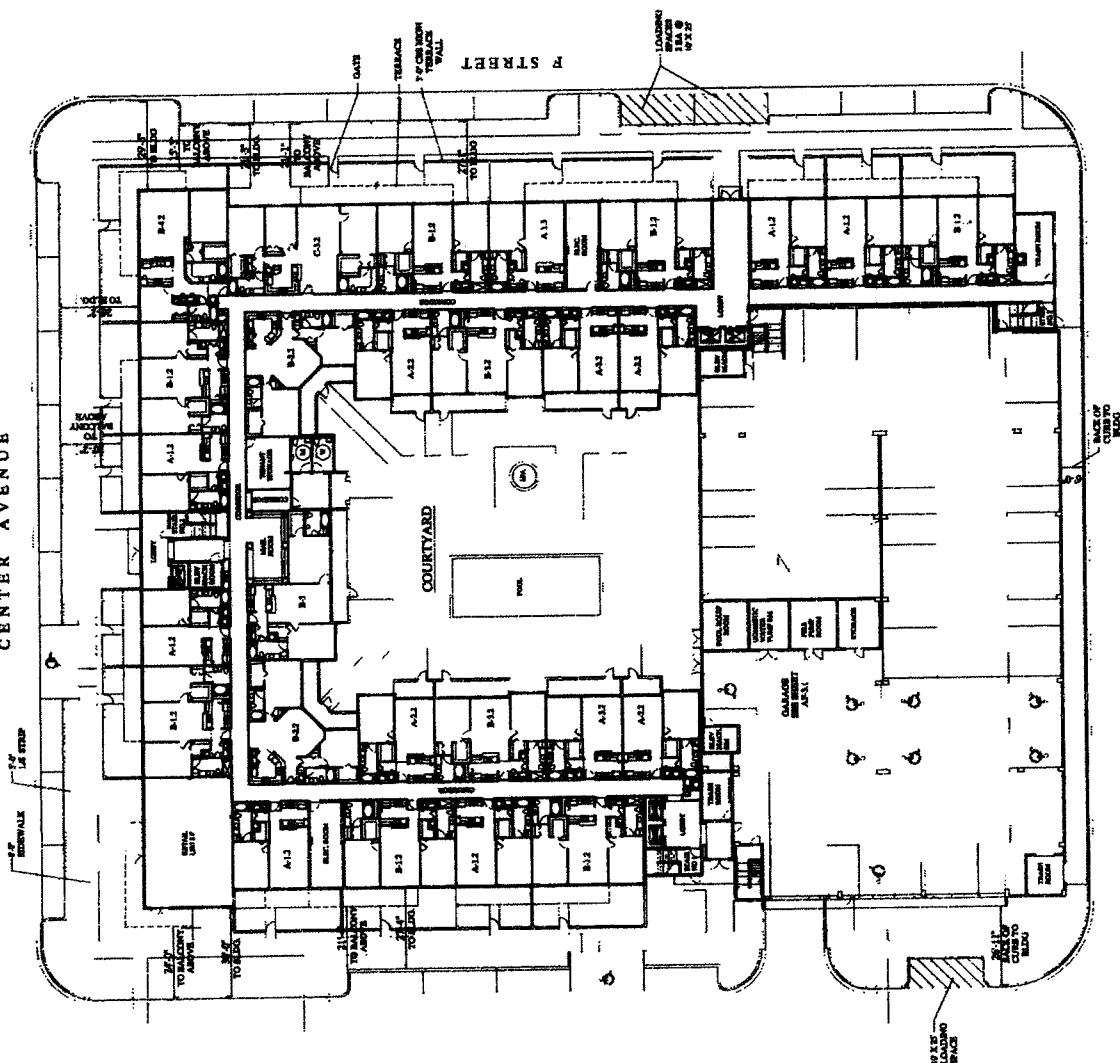
SCALE, 1"=20'

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	00
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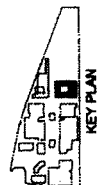
NOTES

ALL AIR CONDITIONING
EQUIPMENT SHALL BE LOCATED ON
ROOF OF BUILDING

CENTER AVENUE



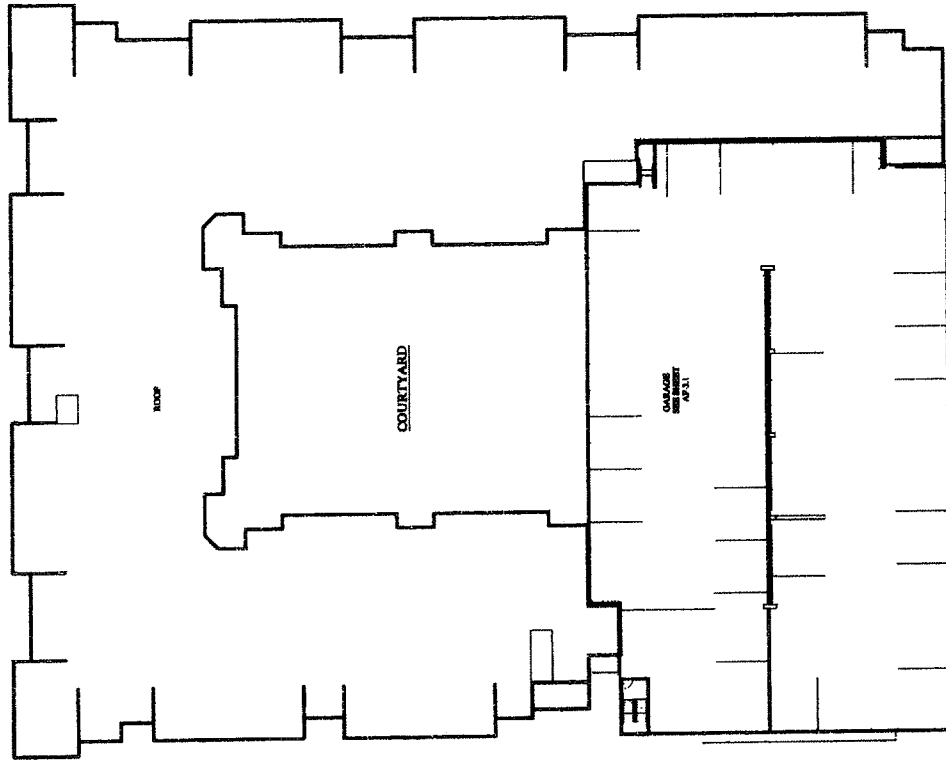
PLAN @ GROUND FLOOR
BUILDING F
SCALE: 1/8" = 1'-0"



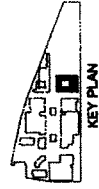
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Shelton Station
A TRANSIT ORIENTED
DEVELOPMENT
BIRMINGHAM, AL

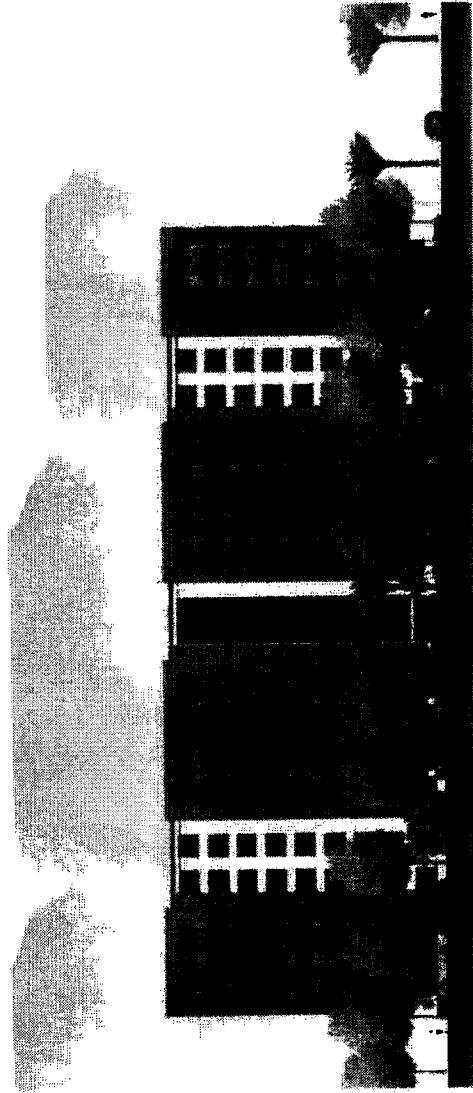
DEVELOPMENT CO.
PINNACLE
HOUSING GROUP
ARCHITECTS
ARCHITECTS P.A.
ARCHITECT
BIRMINGHAM, AL
35203
3-31-08



ROOF PLAN @
BUILDING F
SCALE: 1"=20'



REVISIONS	DATE	BY	DESCRIPTION
1	10/1/08	AF-13	ISSUED FOR PERMIT
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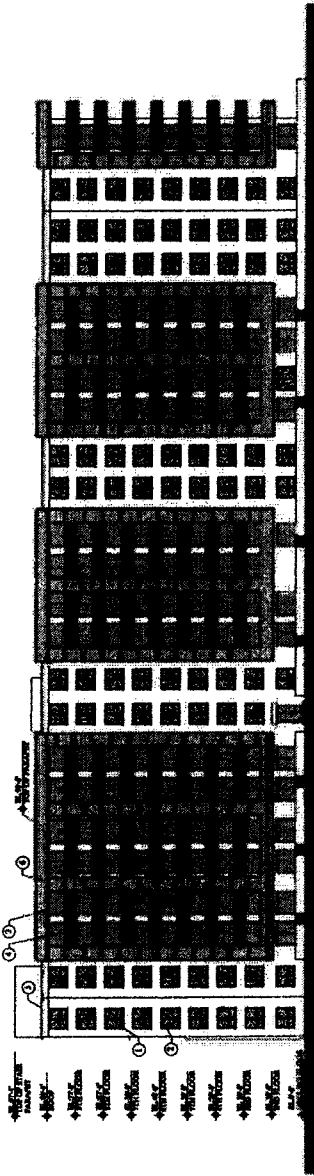
BUILDING F
CENTER AVENUE ELEVATION

ROGER FRY & ASSOCIATES ARCHITECTS, P.A.
2791 Bird Avenue, Coconut Grove, Florida 33133
phone 305 446 7787

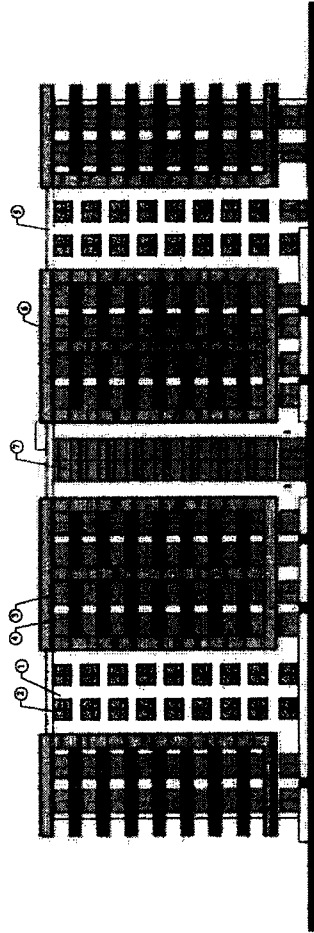
Sheridan Station
A TRAVEL ORIENTED DEVELOPMENT
www.sheridan-station.com
RAM DEVELOPMENT COMPANY
AND PINNACLE HOUSING GROUP

MATERIAL LEGEND

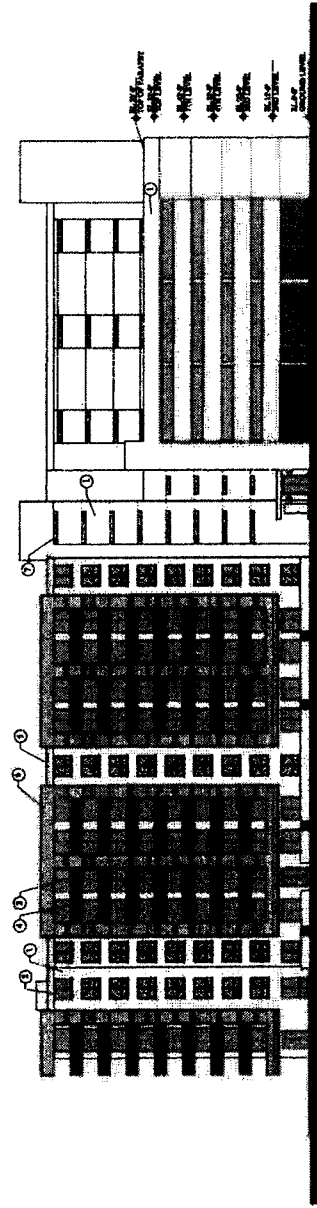
- ① LIGHT BROWN STUCCO
- ② ALUM. WINDOW
- ③ ALUMINUM SLIDING DOOR
- ④ ALUM. SILLING
- ⑤ BRICK (RANDOM-LINE)
- ⑥ BRICK (RANDOM-LINE)
- ⑦ ALUM. STORMDOOR (SCREEN & DOOR)
- ⑧ LOW VARIETY BRICK - 7 1/2" WIDE
- ⑨ ALUM. GATE
- ⑩ STUCCO DOOR LAM
- ⑪ CARBON BROWN SECURITY GLASS
- ⑫ ALUMINUM SECURITY ROCKET PANEL



SOUTH ELEVATION
(F STREET)



EAST ELEVATION
(CENTER AVENUE)



NORTH ELEVATION
(SOUTH PLAZA ST.)

BUILDING F ELEVATIONS

SCALE: 1"=20'

REVIEW MATERIAL	REVIEW SECURITY	REVIEW MATERIAL	REVIEW MATERIAL	REVIEW MATERIAL	REVIEW MATERIAL
LEADING	LEADING	LEADING	LEADING	LEADING	LEADING
ALUM. WINDOW	ALUM. WINDOW	ALUM. WINDOW	ALUM. WINDOW	ALUM. WINDOW	ALUM. WINDOW
ALUMINUM SLIDING DOOR	ALUMINUM SLIDING DOOR	ALUMINUM SLIDING DOOR	ALUMINUM SLIDING DOOR	ALUMINUM SLIDING DOOR	ALUMINUM SLIDING DOOR
ALUM. SILLING	ALUM. SILLING	ALUM. SILLING	ALUM. SILLING	ALUM. SILLING	ALUM. SILLING
BRICK (RANDOM-LINE)	BRICK (RANDOM-LINE)	BRICK (RANDOM-LINE)	BRICK (RANDOM-LINE)	BRICK (RANDOM-LINE)	BRICK (RANDOM-LINE)
ALUM. STORMDOOR (SCREEN & DOOR)	ALUM. STORMDOOR (SCREEN & DOOR)	ALUM. STORMDOOR (SCREEN & DOOR)	ALUM. STORMDOOR (SCREEN & DOOR)	ALUM. STORMDOOR (SCREEN & DOOR)	ALUM. STORMDOOR (SCREEN & DOOR)
LOW VARIETY BRICK - 7 1/2" WIDE	LOW VARIETY BRICK - 7 1/2" WIDE	LOW VARIETY BRICK - 7 1/2" WIDE	LOW VARIETY BRICK - 7 1/2" WIDE	LOW VARIETY BRICK - 7 1/2" WIDE	LOW VARIETY BRICK - 7 1/2" WIDE
ALUM. GATE	ALUM. GATE	ALUM. GATE	ALUM. GATE	ALUM. GATE	ALUM. GATE
STUCCO DOOR LAM	STUCCO DOOR LAM	STUCCO DOOR LAM	STUCCO DOOR LAM	STUCCO DOOR LAM	STUCCO DOOR LAM
CARBON BROWN SECURITY GLASS	CARBON BROWN SECURITY GLASS	CARBON BROWN SECURITY GLASS	CARBON BROWN SECURITY GLASS	CARBON BROWN SECURITY GLASS	CARBON BROWN SECURITY GLASS
ALUMINUM SECURITY ROCKET PANEL	ALUMINUM SECURITY ROCKET PANEL	ALUMINUM SECURITY ROCKET PANEL	ALUMINUM SECURITY ROCKET PANEL	ALUMINUM SECURITY ROCKET PANEL	ALUMINUM SECURITY ROCKET PANEL

Shelton
Khalil

ARCHITECTS
A PARTNERSHIP

DEVELOPMENT

TEAM

DEVELOPMENT CO.

DEVELOPMENT CO.

DEVELOPMENT CO.

DEVELOPMENT CO.

DEVELOPMENT CO.

DEVELOPMENT CO.

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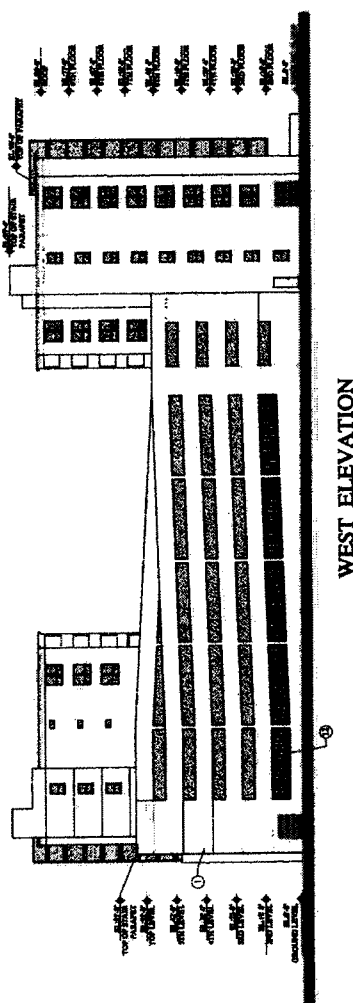
DEVELOPMENT CO.

DEVELOPMENT CO.

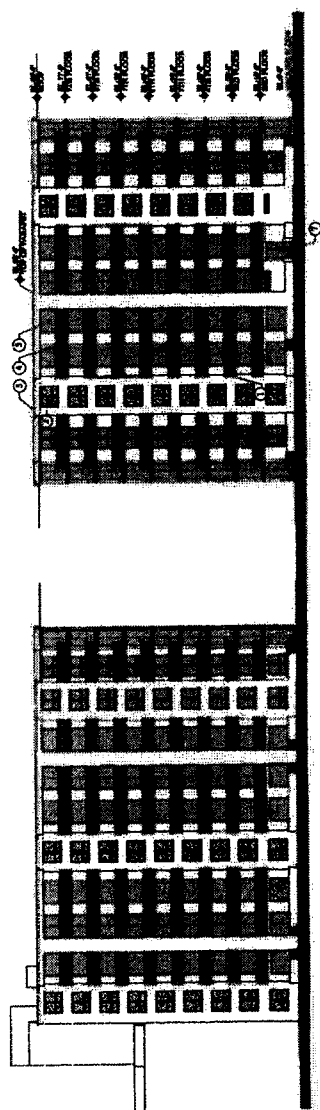
DEVELOPMENT CO.

DEVELOPMENT CO.

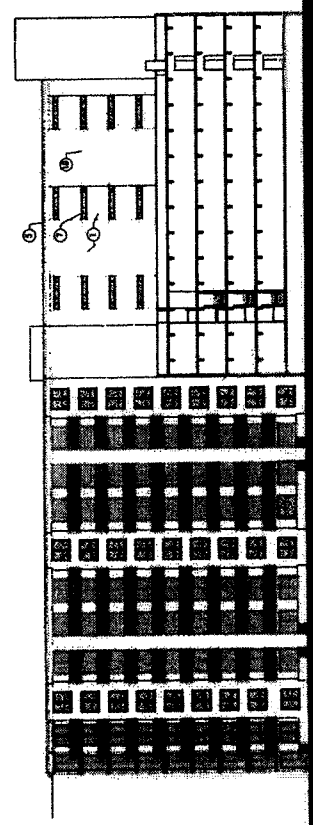
DEVELOPMENT CO.

[illegible]

WEST ELEVATION



SOUTH COURTYARD ELEVATION



NORTH COURTYARD ELEVATION

BUILDING F ELEVATIONS

SCALE: 1"=20'

[illegible]

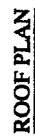
1. LIGHTING @ ALL GARAGE FLOORS TO HAVE A MINIMUM AVERAGE RATIO OF NO GREATER THAN 4:1
2. ALL PARKING SPACES TO BE PROVIDED W/ CONC. WHEEL STOPS.
3. ALL PARKING SPACES 9'X18' W/ 24" O' DRIVES



OF BLOCK GARAGE

GARAGE PARKING	
REGULAR SPACES:	305
H/C SPACES:	8
TOTAL SPACES	313

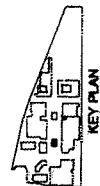
[illegible]



FLOOR PLAN
FLOOR AREA: 9,332 S.F.



ELEVATIONS



KEY PLAN

RESTAURANT 1C & 2C

SCALE: 100 = 1.0

International Station A TRANSIT ORIENTED DEVELOPMENT HOLLYWOOD, FL.	RAM DEVELOPMENT CO.	PINNACLE HOUSING GROUP ROGER RAY & ASSOCIATES ARCHITECTS, P.A. ALLIANCE ROGER RAY, AIA 1700 WEST AVENUE, SUITE 200 HOLLYWOOD, FL 33020 305/966-1100 305/966-1101	MARKET NUMBER AIC-1 8-10-28 RAM
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WEST
(EAST ELEVATION SAME
EXCEPT REVERSED)

SOUTH

ELEVATIONS

KEY PLAN

RESTAURANT 3C

SCALE: 1/8" = 1'-0"

Shattuck Station A TRANSIT ORIENTED DEVELOPMENT NELL WOOD, FL.	RAM DEVELOPMENT CO.	PINNACLE HOUSING GROUP ROGER FRY & ASSOCIATES, P.A. 441 TAMMERS ROADER PK. #6 COOK COUNTY, ILL 60018 TEL: 312-464-7767 rfr@pinnacle.com	ALVING 8-10-08 1:30 PM MEETING ROOMS
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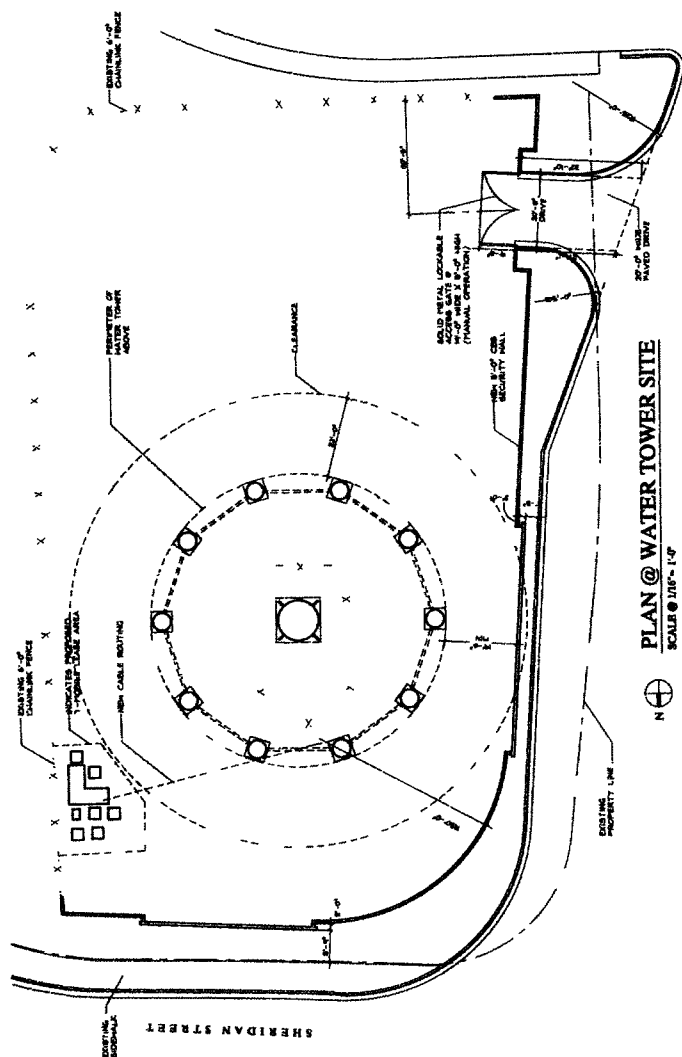
ROOF PLAN

LEAST AVEENUE

WEST AVENUE

FLOOR PLAN

FLOOR AREA: 8,153 S.F.



ENTRY WALL DETAILS

 American Station A TRAVEL ORIENTED DEVELOPMENT HOLI WOODS, FL.	RAM DEVELOPMENT CO. PINKNACLE HOUSING GROUP ROGER FRY & ASSOCIATES ARCHITECTS, P.A. SUZANNE FRY ARCHITECT 10000 N. W. 11th AVE. DOWNSIDE DRIVE, N.E. 2nd FL. MIAMI, FL 33137 TEL: 305-555-7700 FAX: 305-555-7701	AW: 8-10-08 ALVINO
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COLOR LEGEND	
232	
COLORS BY BENJAMIN MOORE	



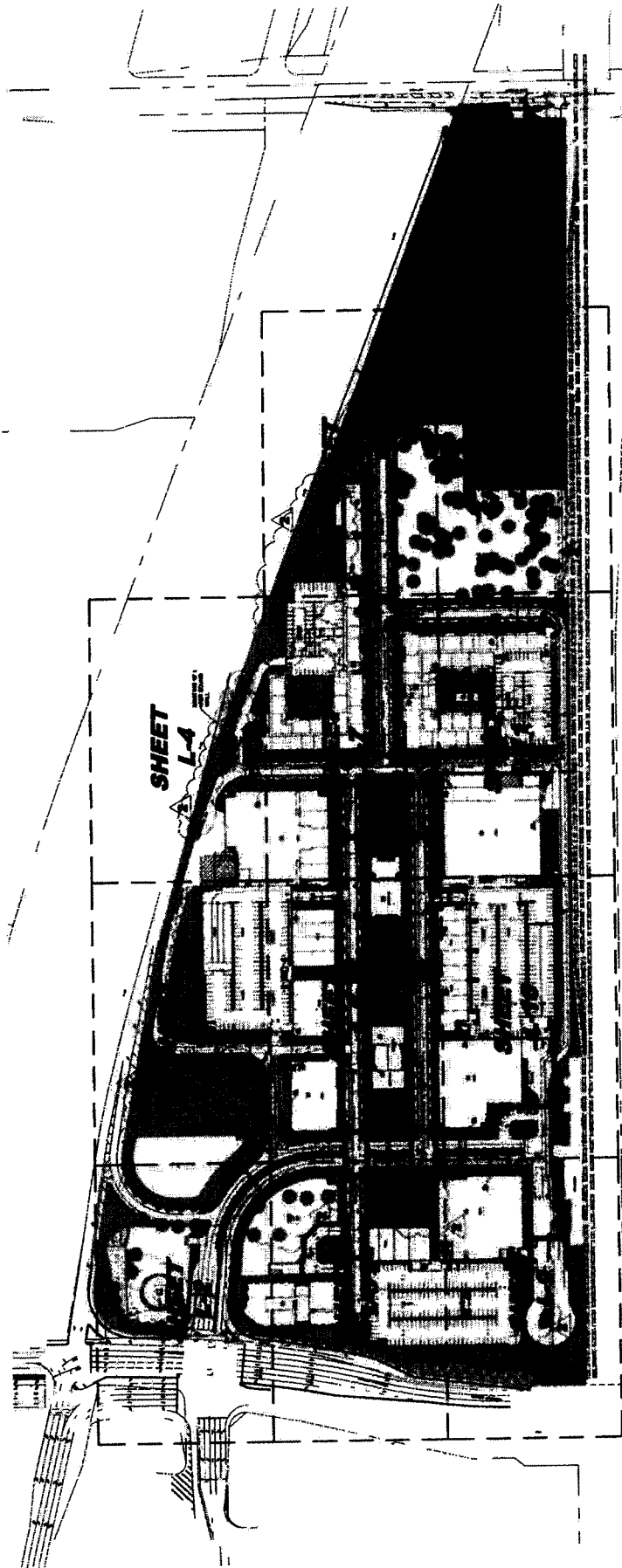
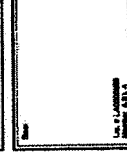
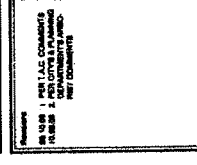
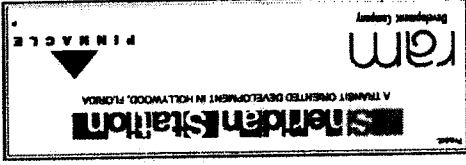
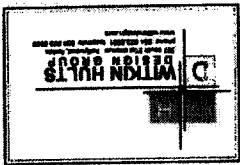
ELEVATION @ SHERIDAN STREET



ELEVATION @ SHERIDAN STATION BOULEVARD

**ENTRY WALL
PROPOSED BUILDING COLORS**

Sheridan Station A TRANSIT ORIENTED DEVELOPMENT PHASE 1A	
DEVELOPMENT CO. PINNACLE HOUSING GROUP 10000 AVENUE ALEXANDRIA, VA 22304-1000	DATE 3-11-08
ARCHITECT MOORE JOHNSON 10000 AVENUE ALEXANDRIA, VA 22304-1000	SHEET NUMBER AW-1



LANDSCAPE KEY/ SYMBOLS & SCHEDULE

TREES & PALMS		DESCRIPTION
SYMBOL	QUN	PROPOSED NATURAL
80	QUN	CLIMBING LIMO 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
37	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
37	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
40	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
143	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
55	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
39	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
106	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
53	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
199	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
12	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
6	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
72	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
10	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
13	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
131	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
124	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
114	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
35	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK

SHRUBS AND GROUND COVER		PROPOSED NATURAL
SYMBOL	QUN	PROPOSED NATURAL
80	QUN	CLIMBING LIMO 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
37	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
37	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
40	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
143	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
55	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
39	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
106	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
53	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
199	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
12	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
6	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
72	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
10	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
13	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
131	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
124	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
114	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK
35	QUN	FLORIDA BURNING 18'-19' HT. 4.5" DBH. 6' CLEAR TRUNK

NOTE: ALL TREES TO BE RELOCATED ARE TO BE APPROVED BY CITY'S ARBORIST PRIOR TO RELOCATION AND BUILDING PERMIT.



L-2

Project Name: **SHERRIDAN STATION**
Drawing Title: **LANDSCAPE PLAN FOR CENTRAL SITE**
Date: 08/21/09
Scale: 1" = 40'
Drawn by: [blank]
Checked by: [blank]

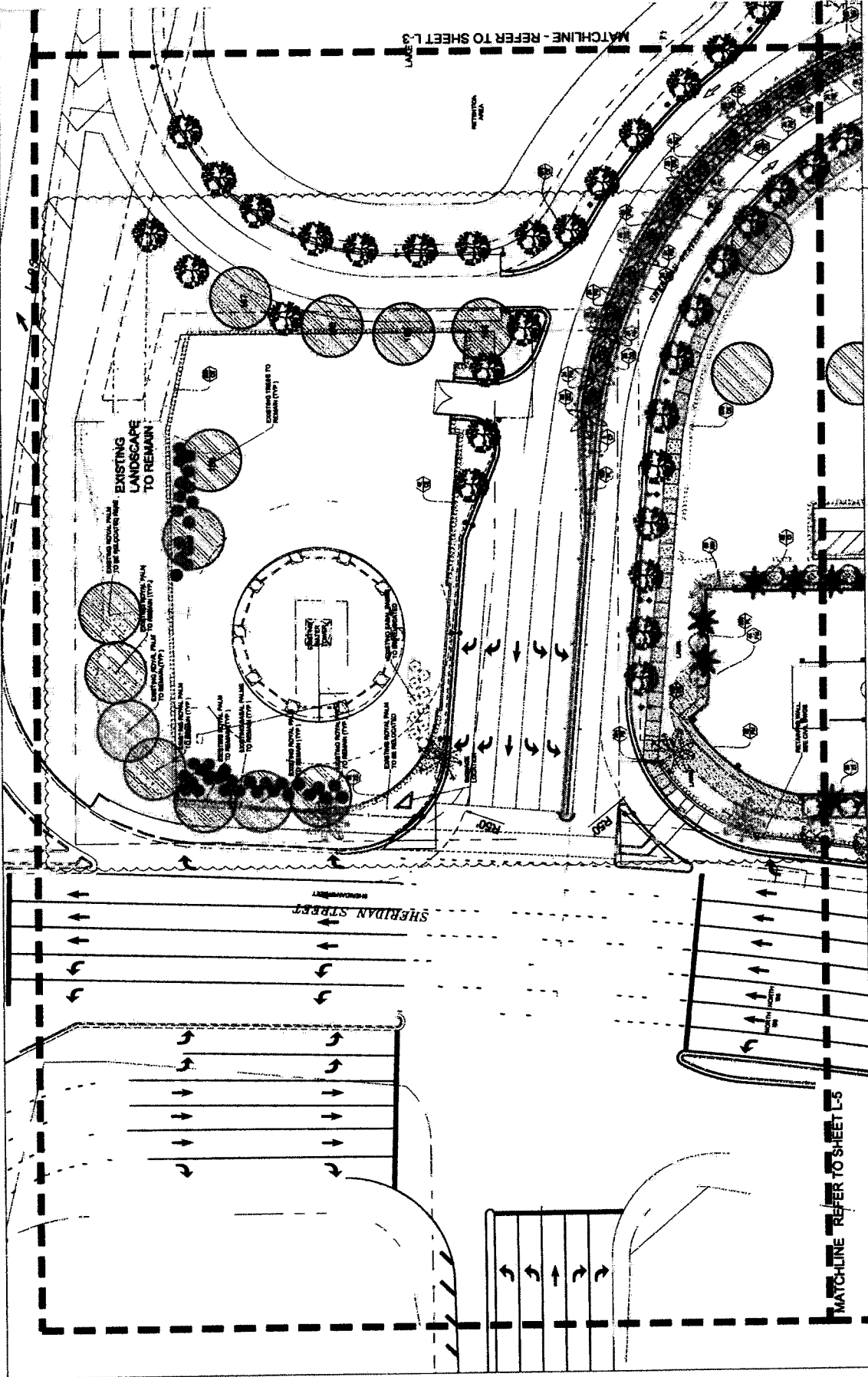
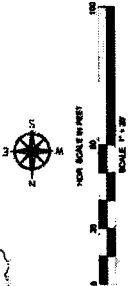
LA 14-00000
Landscape Architecture

FOR L.A.C. CONSTRUCTION
THIS DRAWING IS A PRELIMINARY
DESIGN AND IS NOT TO BE USED
FOR CONSTRUCTION

ram
Development Company

Sheridan Station
A TRAM-ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA
Pinnacle
Pinnacle

WATKINS HILL 19
WATKINS GROUP



WITVIN & ASSOCIATES
 LANDSCAPE ARCHITECTS
 10000 W. BAYVIEW BLVD., SUITE 100
 MIAMI, FL 33147
 TEL: 305-556-1100
 FAX: 305-556-1101

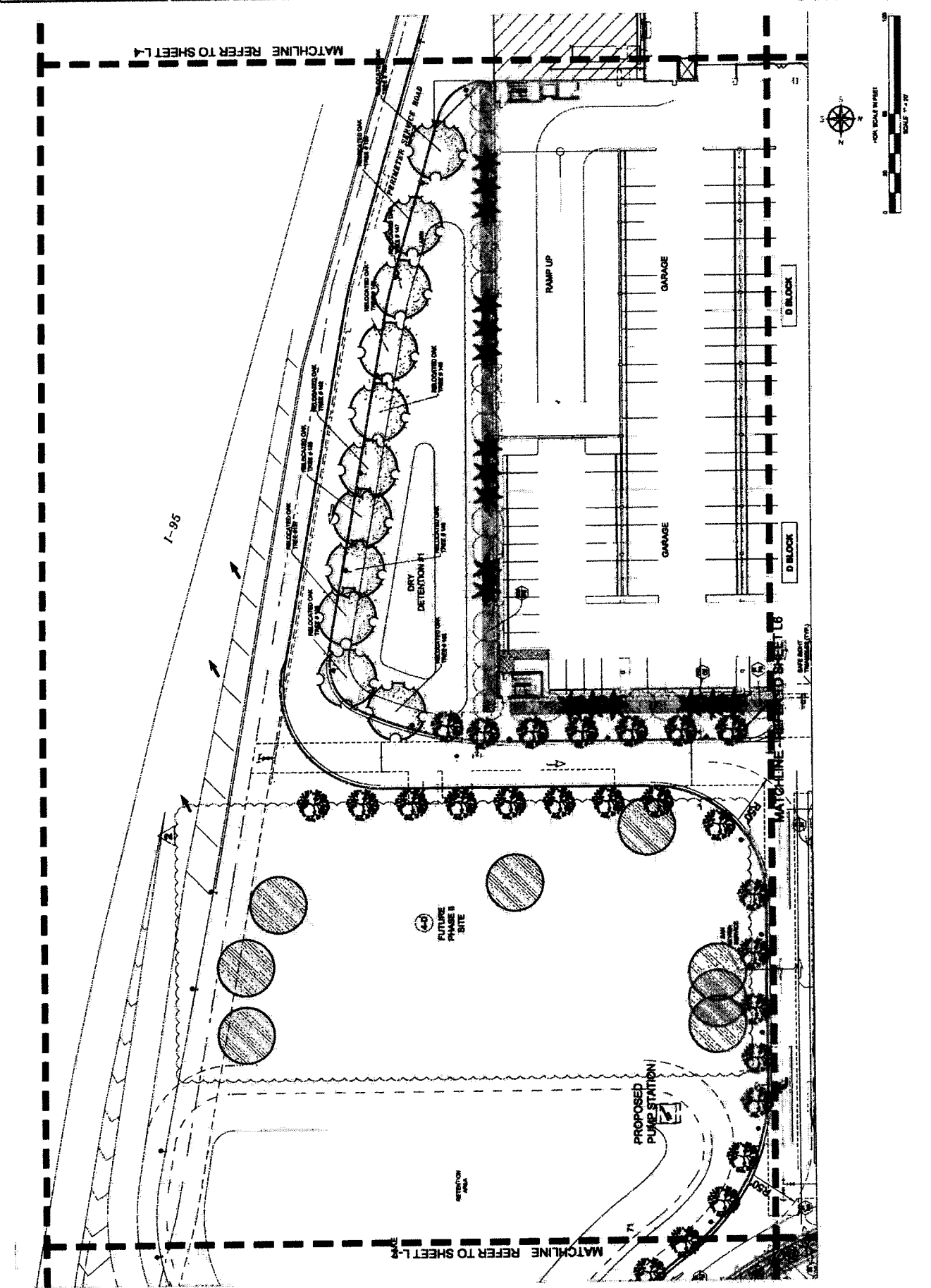
ram
 Residential Architecture
 10000 W. BAYVIEW BLVD., SUITE 100
 MIAMI, FL 33147
 TEL: 305-556-1100
 FAX: 305-556-1101

Shepherd Station
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 Pinnacle
 Development Company

PROJECT
 SHEPHERD STATION
 10000 W. BAYVIEW BLVD., SUITE 100
 MIAMI, FL 33147
 TEL: 305-556-1100
 FAX: 305-556-1101

DATE
 10/1/95
 10/1/95
 10/1/95
 10/1/95

L-3
 Project Name: SHEPHERD STATION
 Date: 10/1/95
 Scale: 1" = 40'
 Drawing No.: L-3
 Sheet No.: 1



L-4

Project Name: PINE BLVD. DEVELOPMENT
Location: PINE BLVD. & WILSON BLVD.
Date: 10/15/10
Scale: 1" = 40'
Sheet No.: L-4

10/15/10

10/15/10

10/15/10

ram

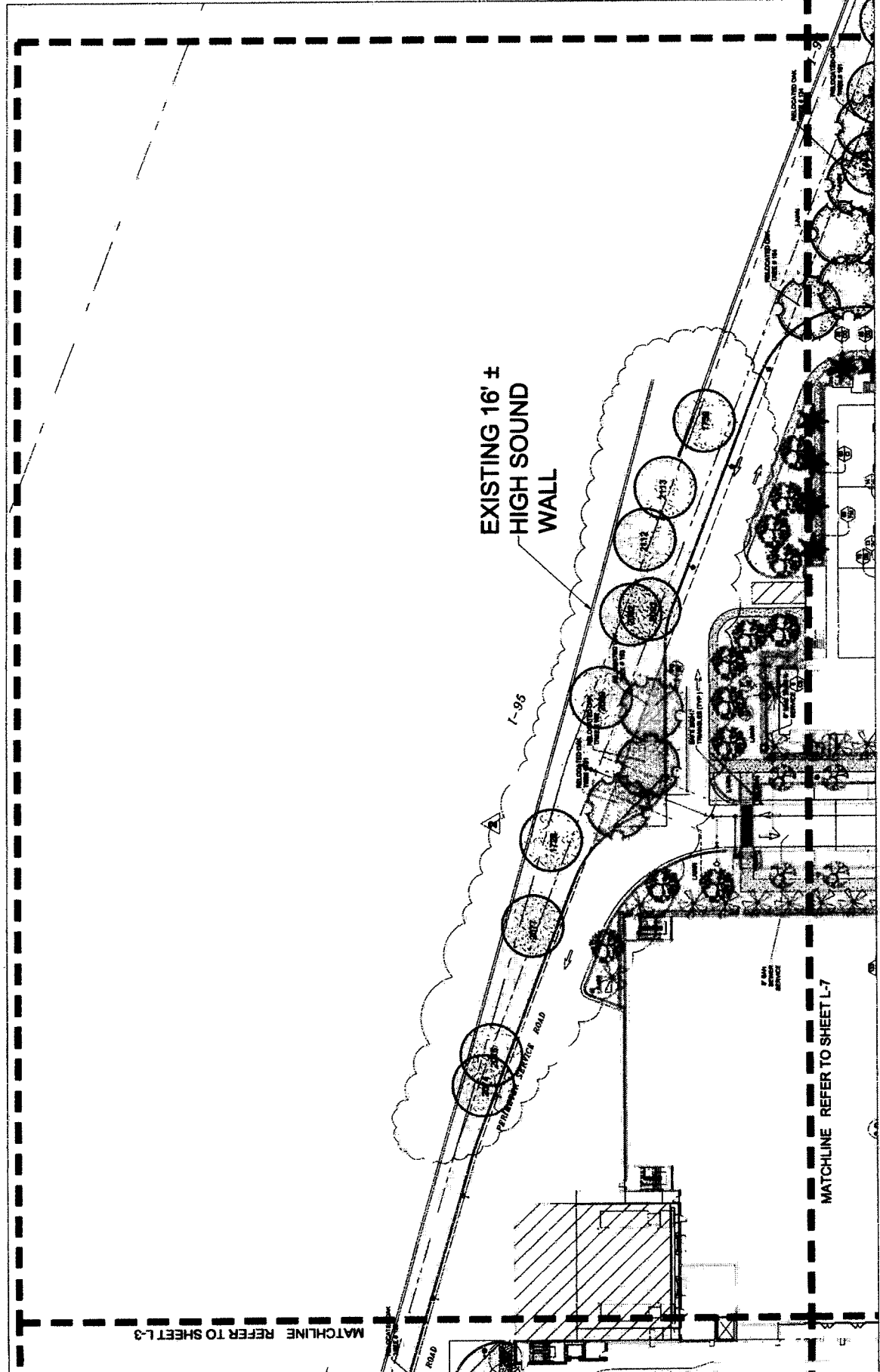
Shepherd Station

A TRAMWAY ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA

Pinnacle

10/15/10

10/15/10



WILSON HILLS
 PROJECT NO. 100-1000000000
 SHEET NO. 100-1000000000

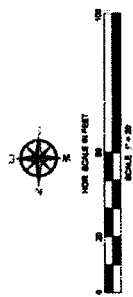
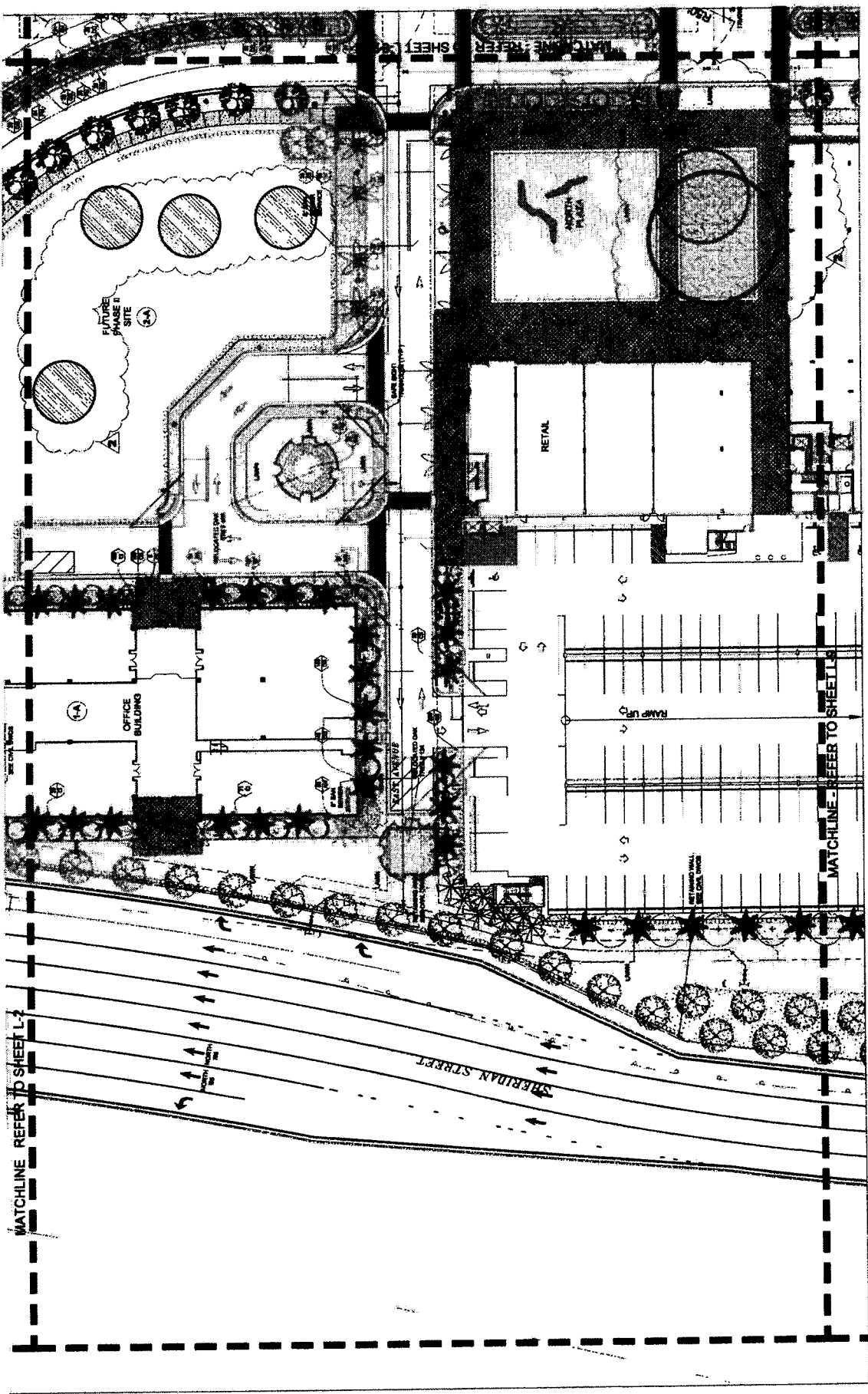
FOR THE CITY OF WILSON HILLS
 PROJECT NO. 100-1000000000
 SHEET NO. 100-1000000000

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 A TRAVEL ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA
 Pinnacle
 Development Company

FOR THE CITY OF WILSON HILLS
 PROJECT NO. 100-1000000000
 SHEET NO. 100-1000000000

FOR THE CITY OF WILSON HILLS
 PROJECT NO. 100-1000000000
 SHEET NO. 100-1000000000

L-5
 Project Name: 100-1000000000
 Date: 10/10/00
 Drawn: 10/10/00
 Checked: 10/10/00
 Project No. 100-1000000000



L-6

Project Name: SHEDDEN STATION
Location: HOLLYWOOD, FLORIDA
Date: 9/21/08
Sheet: 1 of 2
Sheet No.

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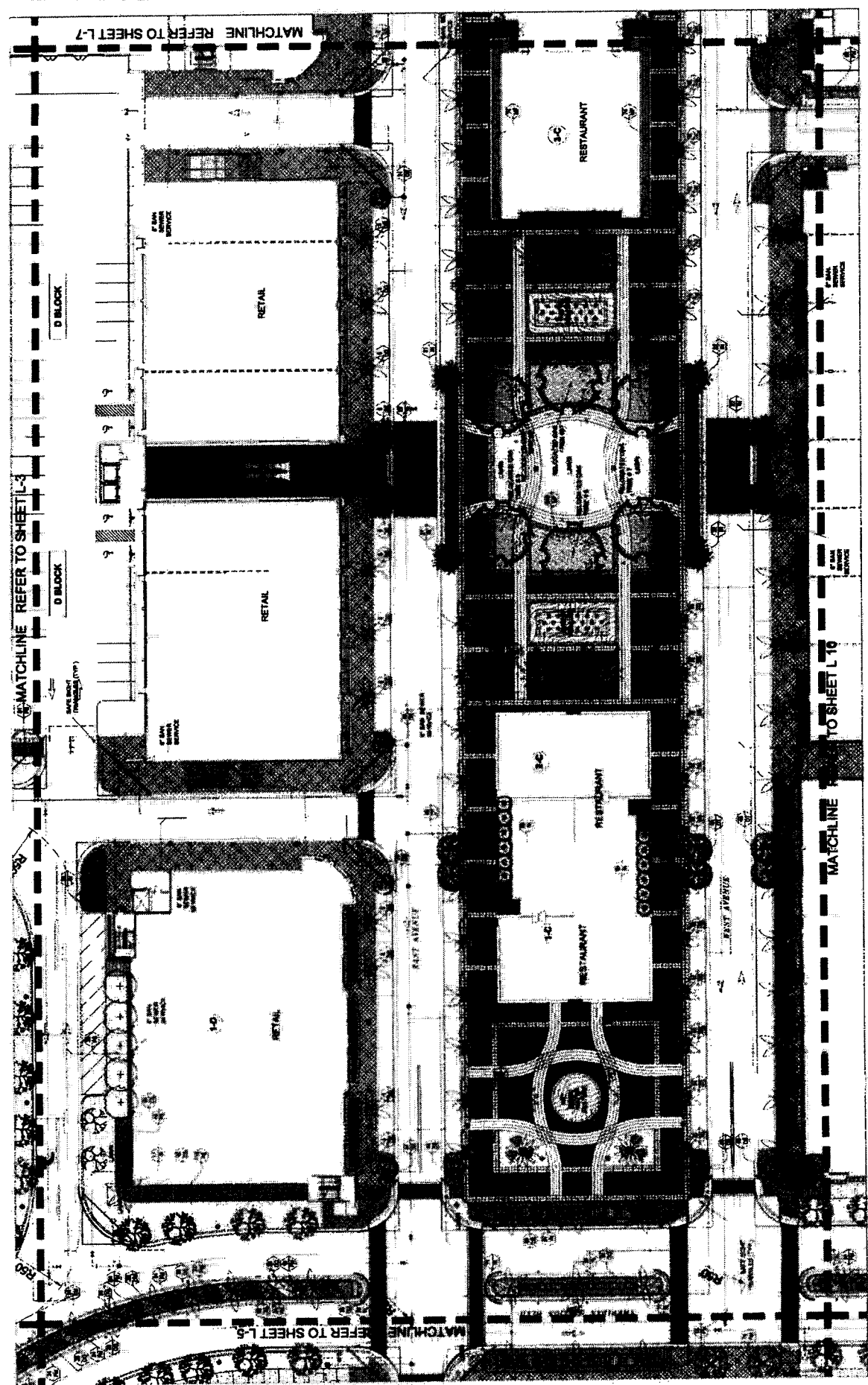
1/4" = 1'-0"

1/4" = 1'-0"

Shedden Station
A TRAMWAY ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA
ram
Development Company
Pinnacle
1000

1/4" = 1'-0"

1/4" = 1'-0"



L-7

Project Name: PINE JAWBERRY
Location: 10000 W. CENTRAL AVE.
Date: 01/14/08
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Checked by: [blank]

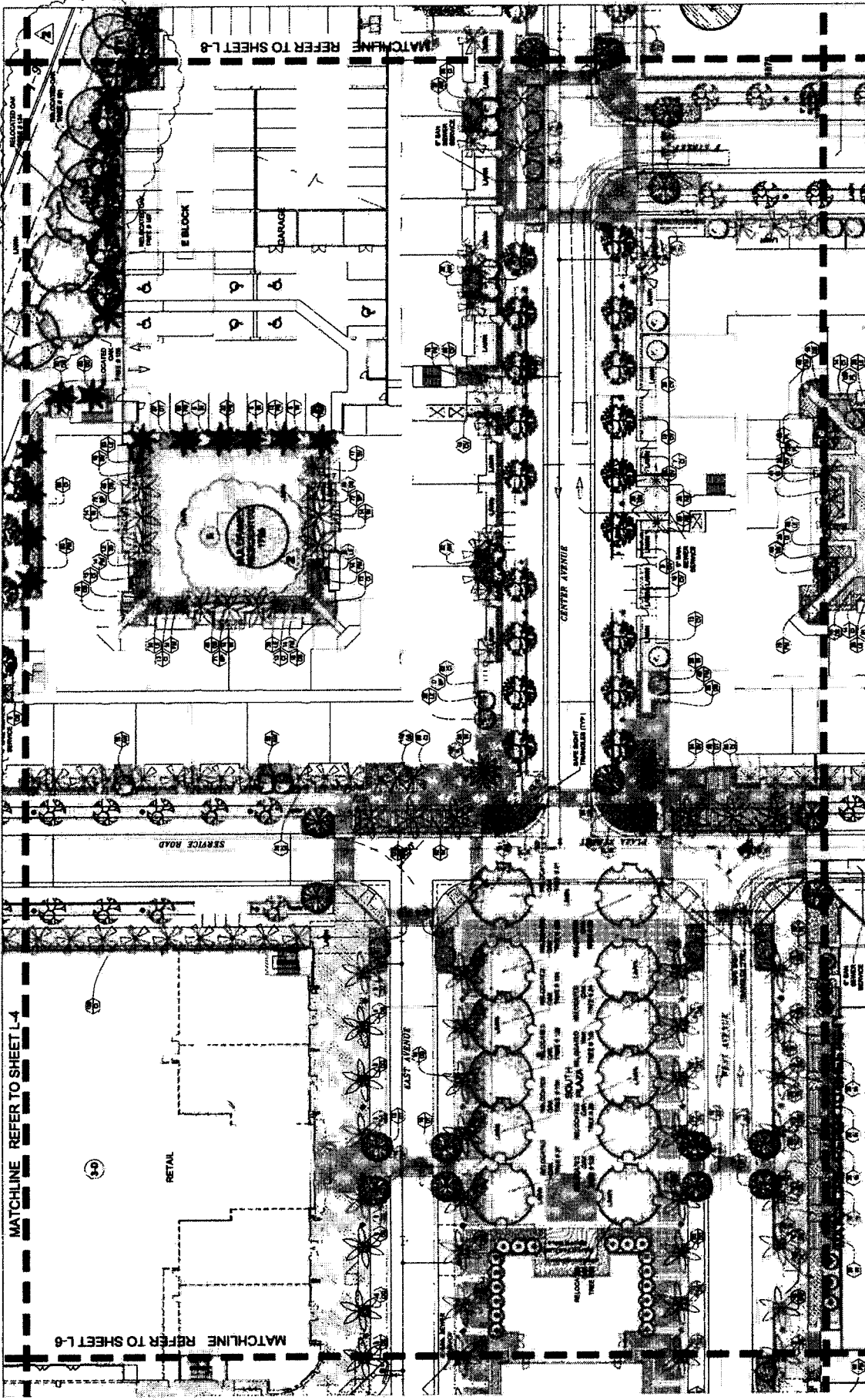
U.S. LANDSCAPE ARCHITECT
PINE JAWBERRY, LLC

REVISIONS
1. PRELIMINARY COMMENTS
2. PRELIMINARY COMMENTS
3. PRELIMINARY COMMENTS
4. PRELIMINARY COMMENTS
5. PRELIMINARY COMMENTS

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Pinnacle Group

Shepherd Station
A TRAVEL ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA
Pinnacle Group

WITKIN HULTS
DESIGN GROUP
P.C.
10000 W. CENTRAL AVE., SUITE 100
HOUSTON, TEXAS 77055
713.861.1111
www.witkinhults.com



WILSON HUTTS
ARCHITECTS
1000 N. W. 10th Ave.
Suite 100
Fort Lauderdale, FL 33304
Phone: (954) 573-1111
Fax: (954) 573-1112
www.wilsonhutt.com

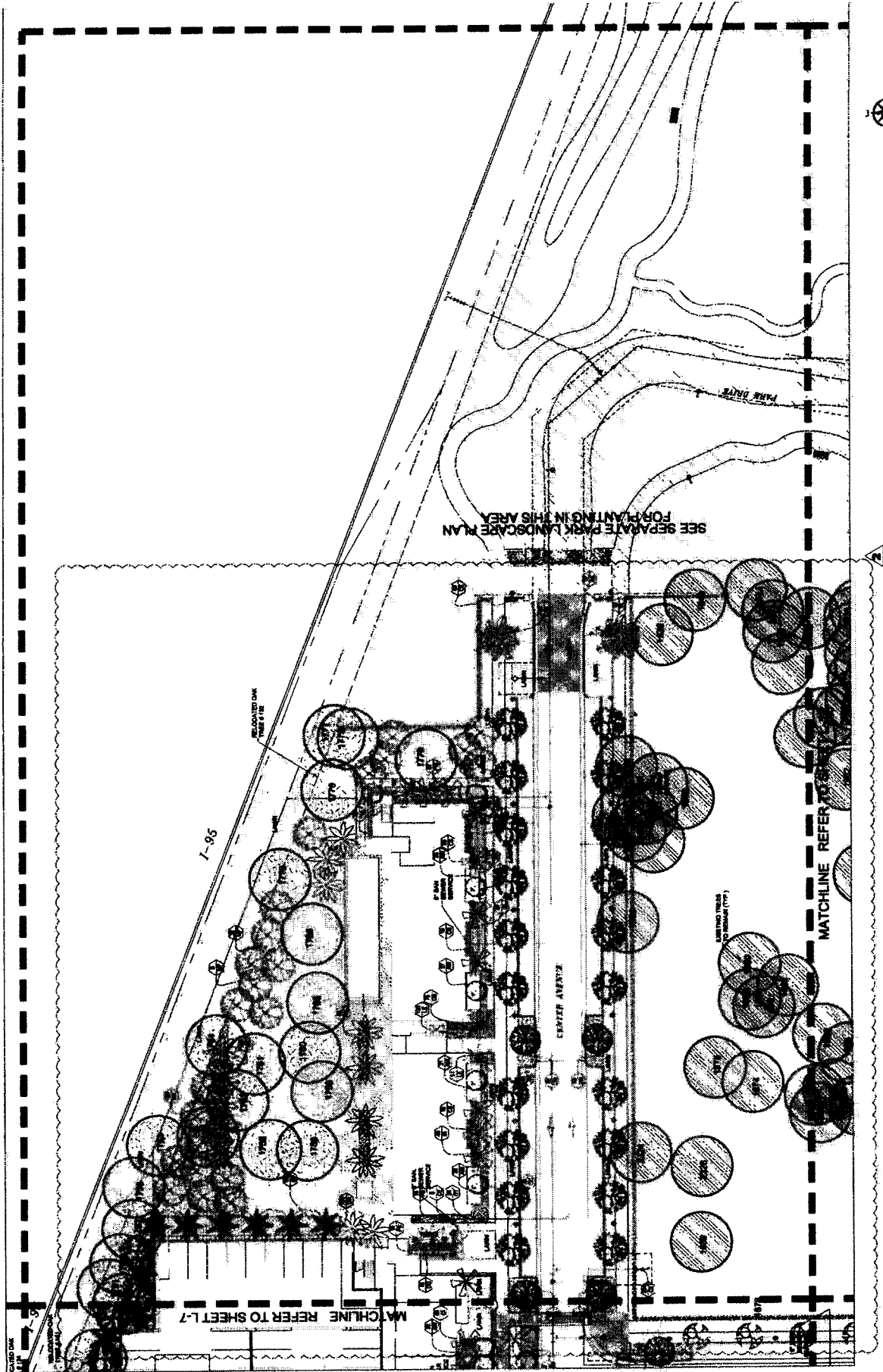
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landscape
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FOR THE CLIENTS
FOR THE ARCHITECTS
FOR THE LANDSCAPE ARCHITECTS
FOR THE ENGINEERS
FOR THE PLANNERS
FOR THE CONSTRUCTION

FOR THE CLIENTS
FOR THE ARCHITECTS
FOR THE LANDSCAPE ARCHITECTS
FOR THE ENGINEERS
FOR THE PLANNERS
FOR THE CONSTRUCTION

L-8
Project Name: Pinnacle
Client: Pinnacle
Date: 9/10/08
Scale: 1" = 40'
Drawn by: [Signature]
Checked by: [Signature]
Title: [Signature]



WITNESS
 I, **WITNESS**, do hereby certify that the above is a true and correct copy of the original as submitted to me for recording.

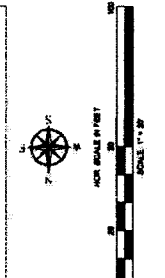
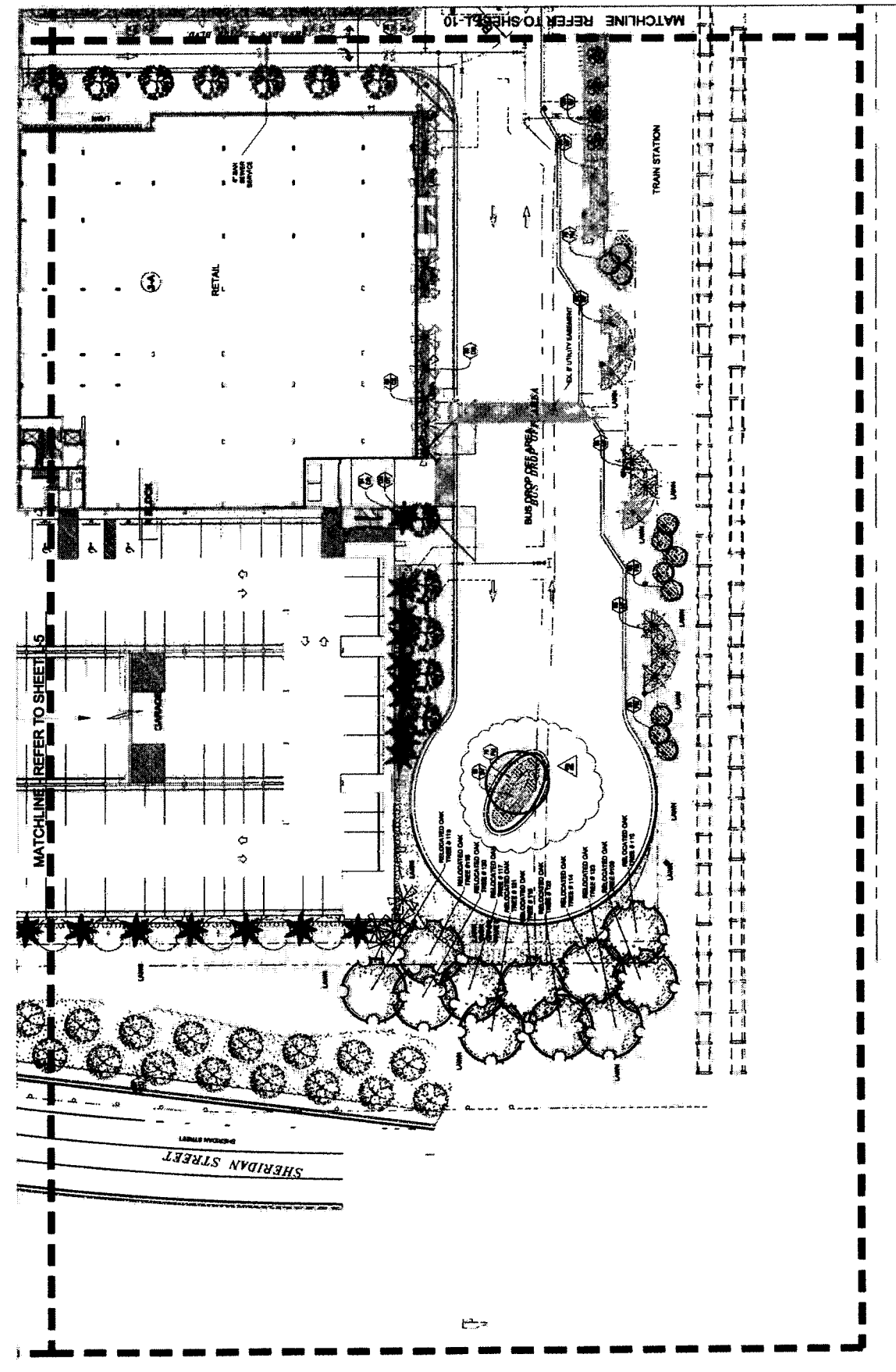
WITNESS
 I, **WITNESS**, do hereby certify that the above is a true and correct copy of the original as submitted to me for recording.

Sheridan Station
 A TRANSIT ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA
Pinnacle
 Pinnacle Company

ram
 ram
 ram

ram
 ram
 ram

L-9
 Project Name: Pinnacle
 Project Location: Hollywood, FL
 Date: 9/11/18
 Sheet: 1 of 10
 Drawn by: [Name]
 Checked by: [Name]



L-10

Project Name: **Shedden Station**
Location: **10000 W. 10th Ave., Fort Lauderdale, FL 33309**
Date: **07/14/08**
Scale: **1" = 40'**
Drawn by: **SS**
Sheet No:

See L-10

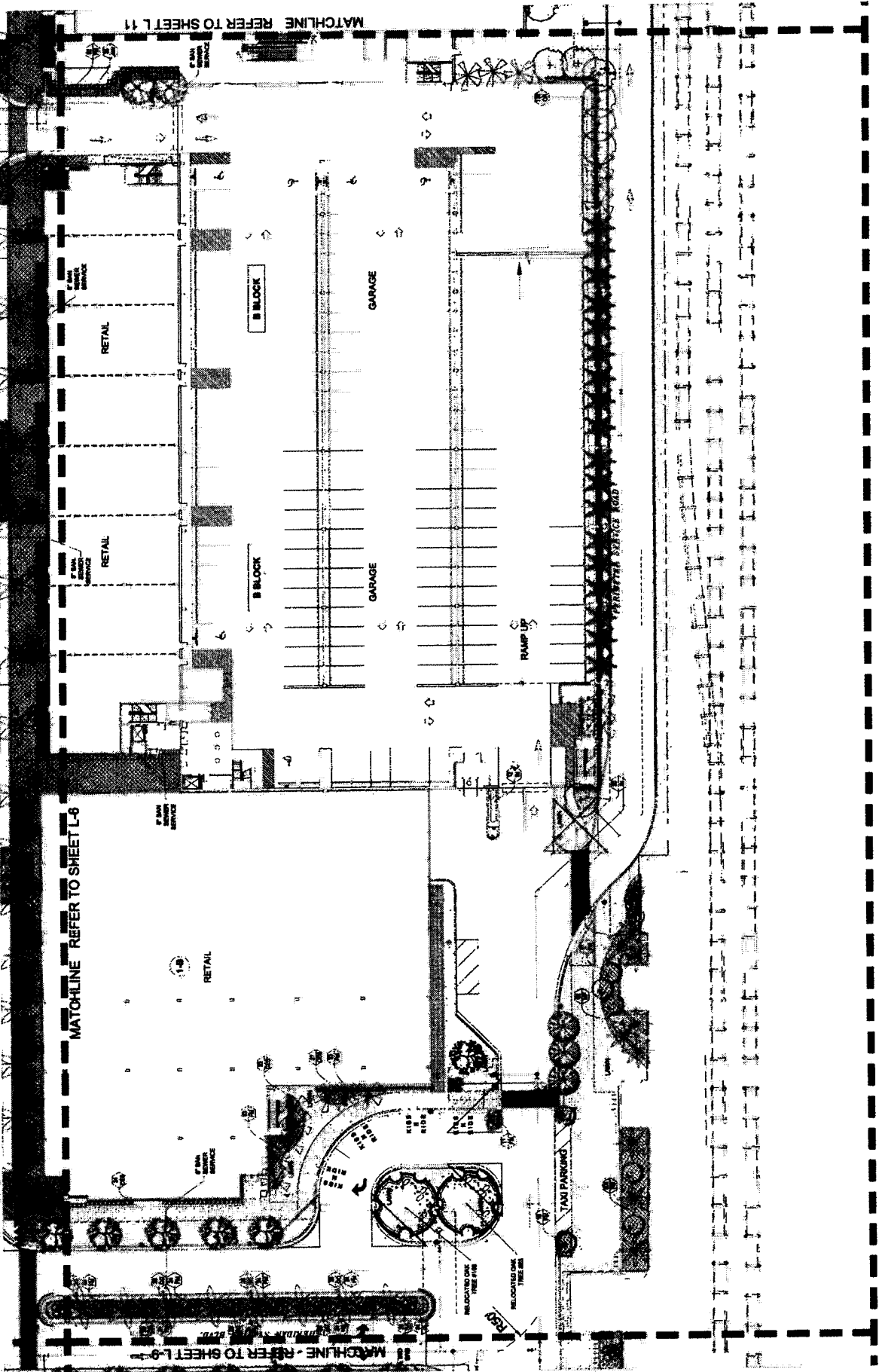
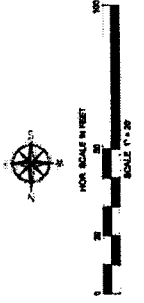
See L-10

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Development Company

Shedden Station
A TRAMSTATION DEVELOPMENT IN HOLLYWOOD, FLORIDA

PINNACLE
TRC 004

WITKIN HULLIS
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Fort Lauderdale, FL 33309
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Fax: (954) 571-1112
www.witkinhullis.com



WITKIN HULTS
DESIGN GROUP
www.witkinhults.com
10000 W. 11th Avenue, Suite 100
Denver, CO 80202

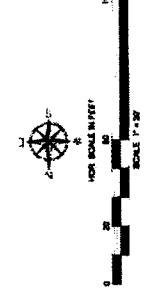
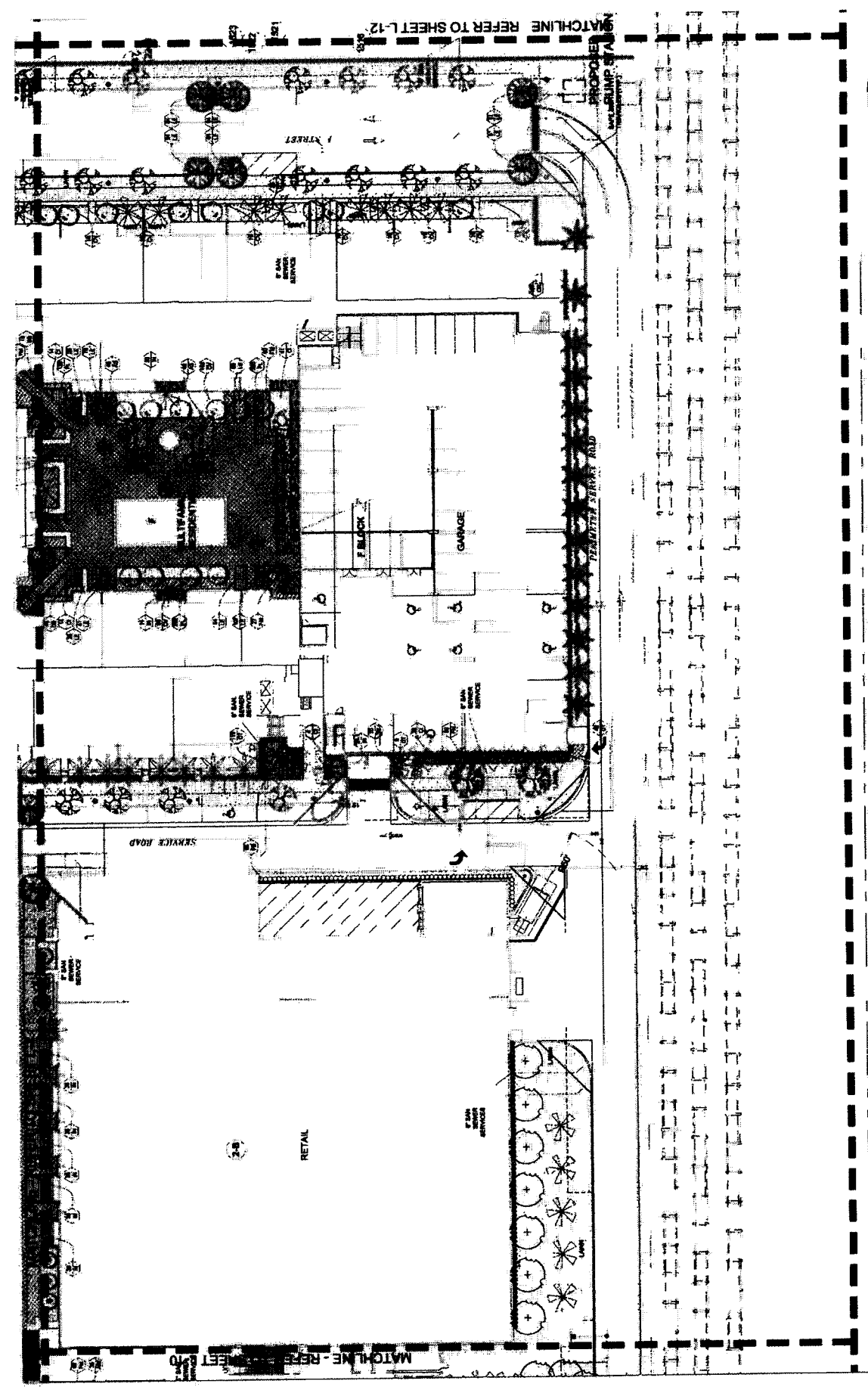
ram
A TRUST ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA
Pinnacle
10000 W. 11th Avenue, Suite 100
Denver, CO 80202

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Denver, CO 80202

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Pinnacle
10000 W. 11th Avenue, Suite 100
Denver, CO 80202

L-11
Project Name: PRELIMINARY
LANDSCAPE PLAN
FOR OVERALL SITE
Date: 03/11/08
Scale: 1" = 20'
Drawn by: [blank]
Checked by: [blank]
Sheet No: [blank]



WITKIN HULTS
DESIGN GROUP
ARCHITECTS

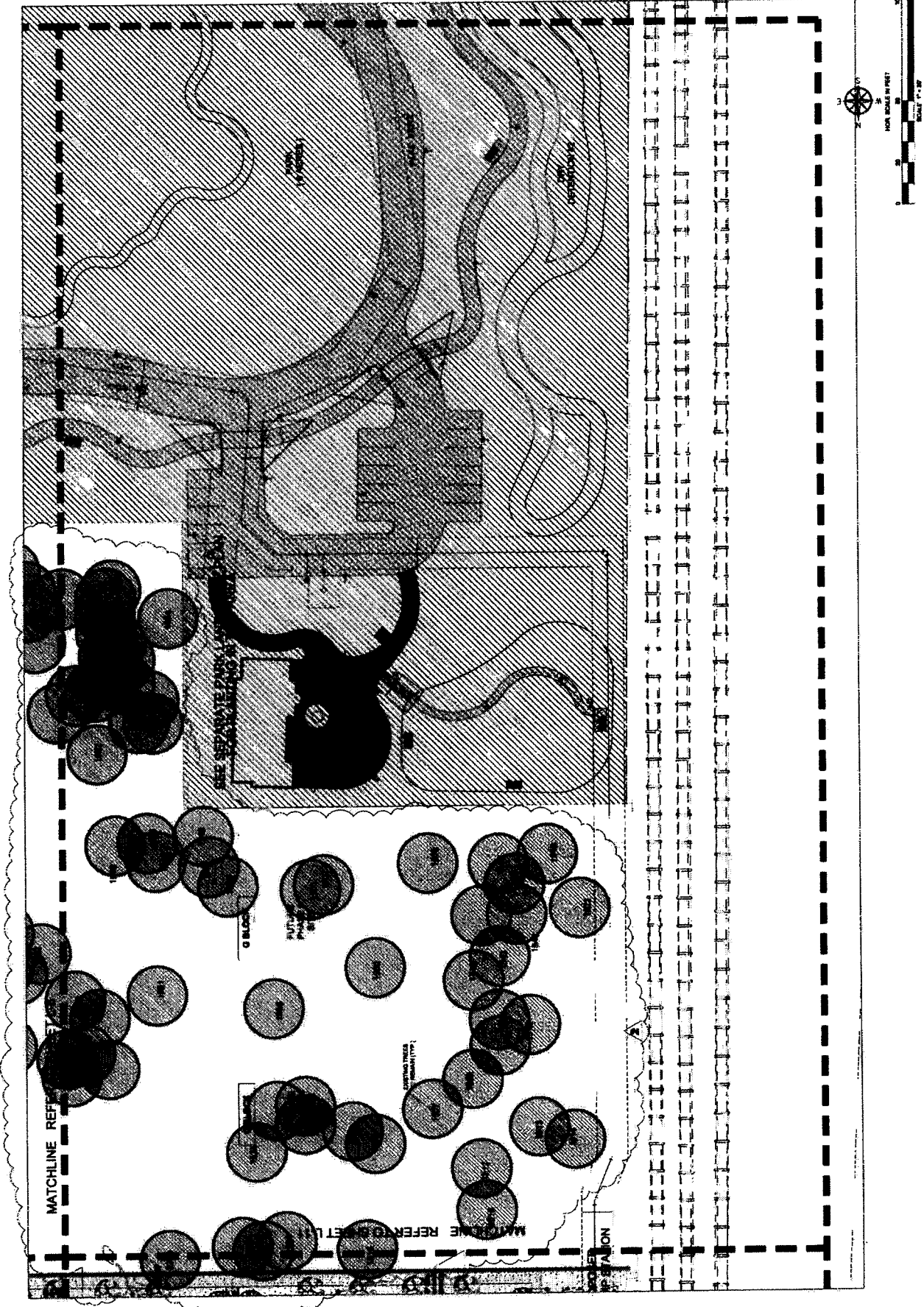
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Sladden Station
A TRAMWAY ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA
Pinnacle
Landscape Company

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DATE: 10/1/04
DRAWN BY: J. H. HULTS
CHECKED BY: J. H. HULTS

L-12
Project Name: Sladden Station
Landscape Plan
FOR CONCEPT SITE
Date: 10/1/04
Drawn by: J. H. HULTS
Checked by: J. H. HULTS



WITKIN HULTS
DESIGN GROUP

ARCHITECTS AND LANDSCAPE ARCHITECTS
1000 WEST 10TH AVENUE, SUITE 200
DENVER, COLORADO 80202
TEL: 303.733.1100
WWW.WITKINHULTS.COM

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Development Company

Stanheden Station
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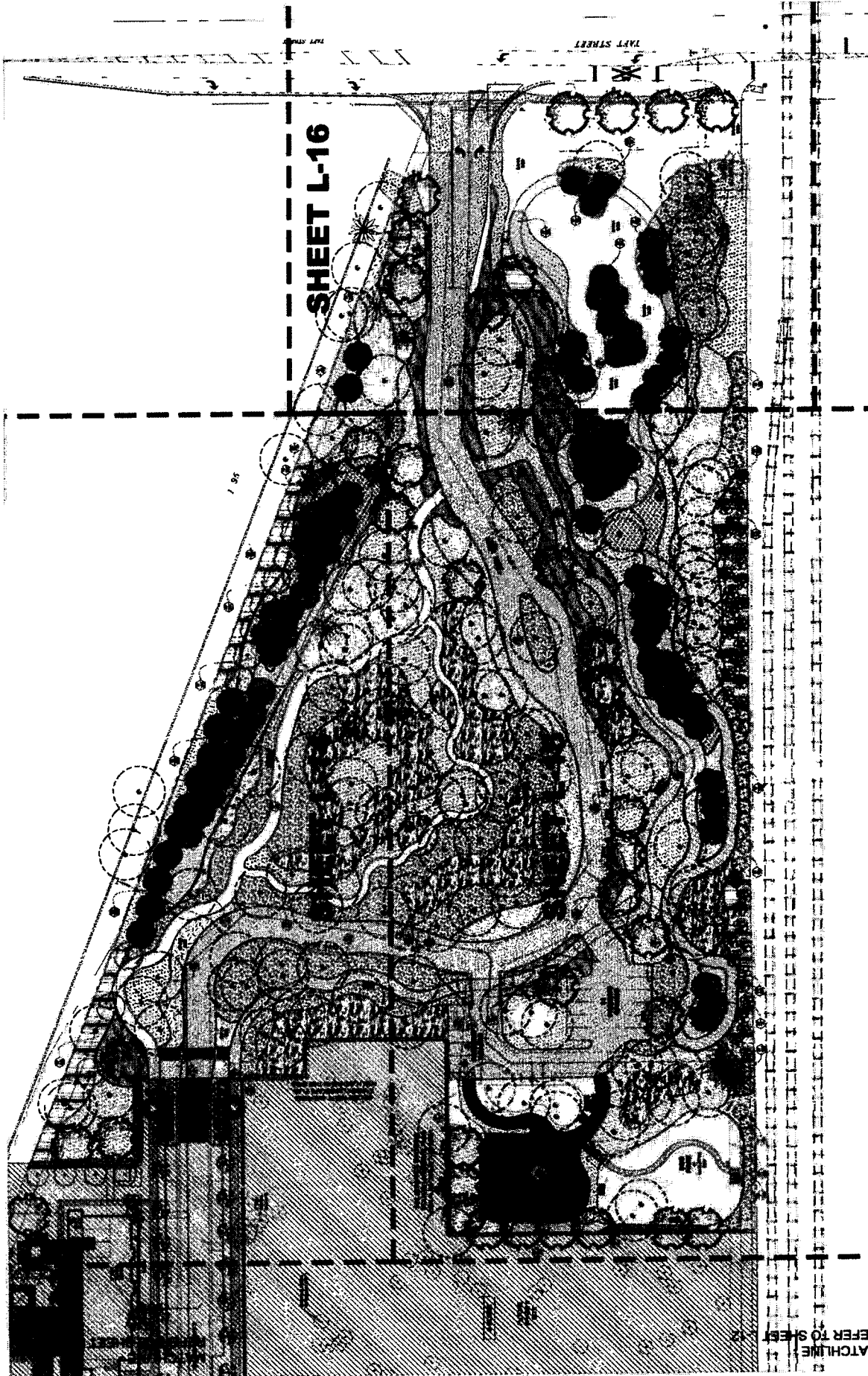
Pinnacle
1980 N

DATE: 10/15/08
PROJECT: L-13

L-13 LANDSCAPE PLAN
PROJECT: L-13

L-13

Project Name: PRELIMINARY
Landscape Plan
for Okomo Park
Date: 10/15/08
Scale: 1" = 20'
Sheet No.: 16
Total No.: 18



OVERALL OKOMO PARK LANDSCAPE PLAN
REFER TO SHEET L-15 FOR OKOMO PARK LANDSCAPE SCHEDULE



REFER TO SHEET L-15
MATCHLINE

WILKIN HULTS
DESIGN GROUP

ARCHITECTS
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SUITE 200
DALLAS, TEXAS 75202
PHONE: 214.750.1234
FAX: 214.750.1235
WWW.WILKINHULTS.COM

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Sheridan Station

Development Company

NO TO BE POSTED COMMENTS

NO TO BE POSTED COMMENTS

L-14

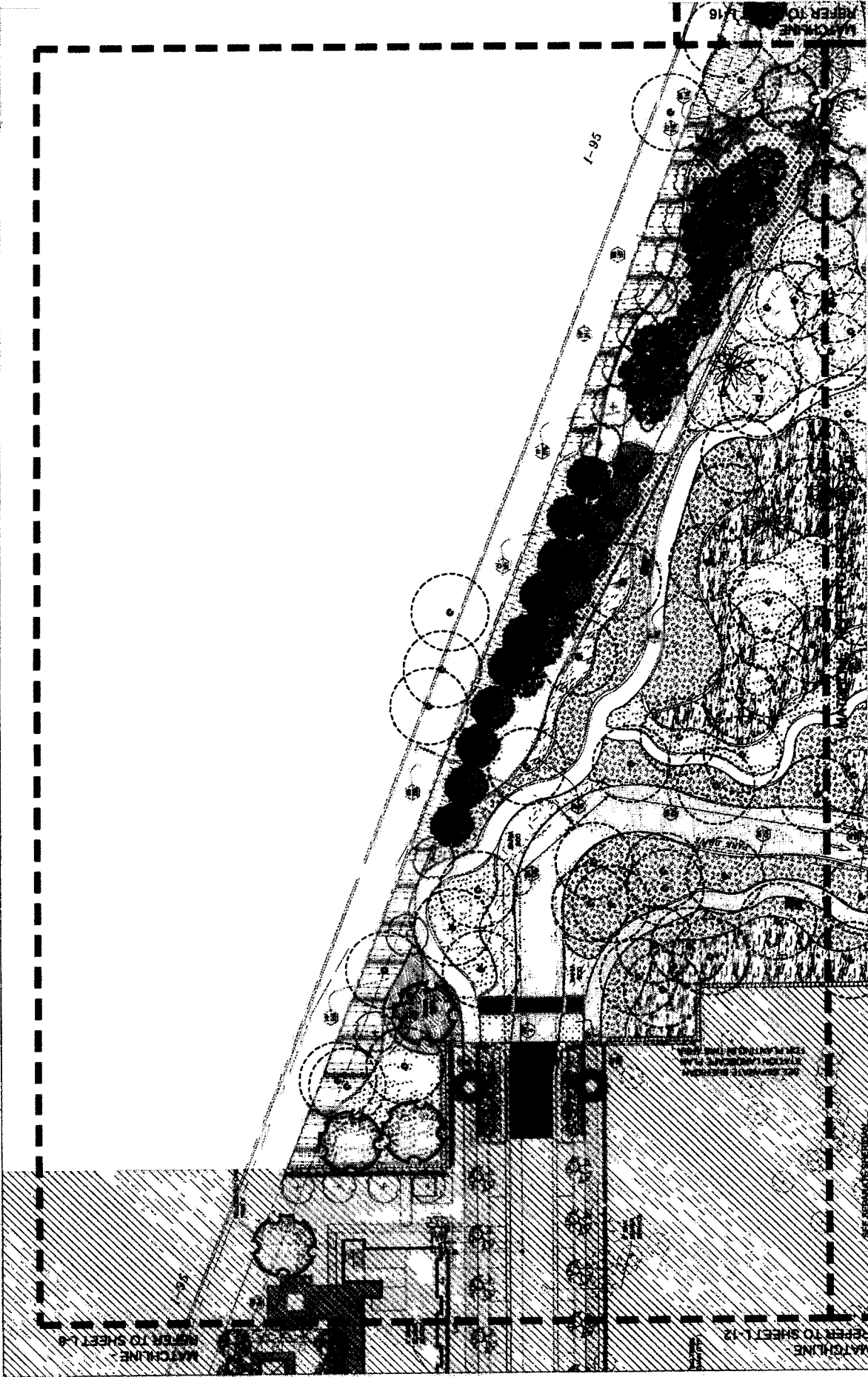
Project Name: OKOMO PARK LANDSCAPE ARCHITECTURE FOR OKOMO PARK

Date: 01/21/08

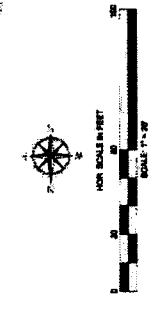
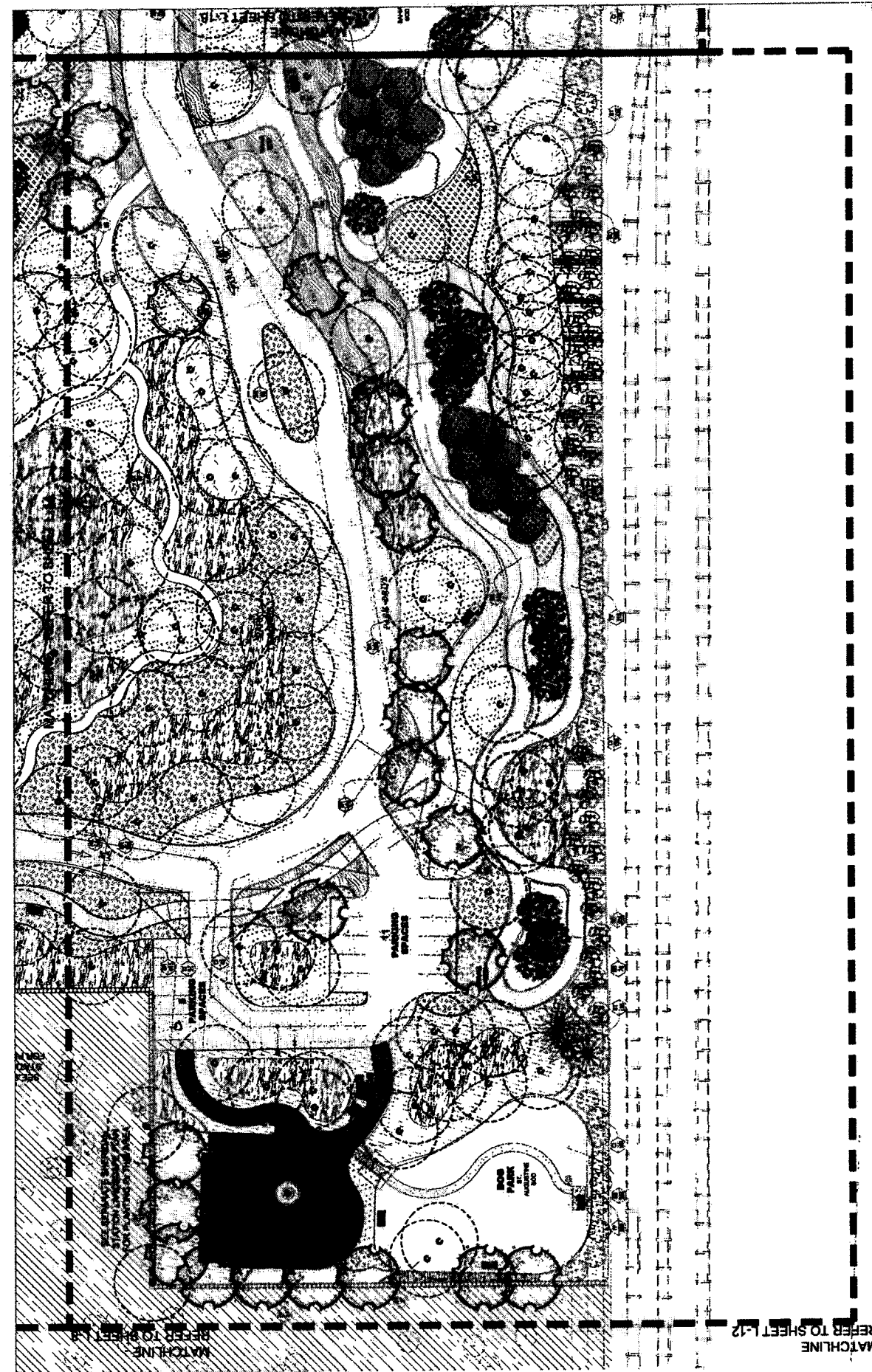
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Sheet No.: [blank]



REFER TO SHEET L 16 FOR OKOMO PARK LANDSCAPE SCHEDULE



REFER TO SHEET L-16 FOR OKOMO PARK LANDSCAPE SCHEDULE

WILSON HILLS

LANDSCAPE ARCHITECTS

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HOUSTON, TEXAS 77060

PHONE (713) 865-1111

FAX (713) 865-1112

ram

Development Company

5000 N. WILSON HILLS

HOUSTON, TEXAS 77060

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FAX (713) 865-1112

Shelden Station

A TRAVEL ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA

Pinnacle

L-15

LANDSCAPE PLAN

DATE: 07/01/00

SCALE: 1" = 20'

PROJECT NO. 00-0000

SHEET NO. 15

NO. 15 OF 15 L&S COMMENTS

NO. 15 OF 15 L&S COMMENTS

[illegible]

SYMBOL	QUAN	PROPOSED MATERIAL	DESCRIPTION
46	QUINCE LIMBO	19 HT. X 8 SPL. 3" CAL. 3 M.L.	
	"BURERIA AMAROURA	F.O. FF	
	"ACES RUBRA	14 HT. X 5 SPL. X 3" CAL. 5 M.M.L.	
30	RED MAPLE	48 GALLONS FF	
	"CONOCARPUS ERECTUS	14 HT. X 5 SPL.	
18	GREEN AUTUMNWOOD	48 GALLONS FF	
	"CORDA SEBESTENA	19 HT. CLEAR TRUNK	
36	ORANGE GERBER TREE	F.O. FROM BROWARDHORS	
	"HYDROGELS PALM	12" CA. HT., 5 TRUNKS PER PLANT MIN.	
6	"ACER GINNAME UNRIGHT	F.G. & B.B. FF	
	"CONOCARPUS ERECTUS SERIES 8	14 HT. QA	
38	SAVIER AUTUMNWOOD	F.G. IN FF	
	"RELOCATED QUINQUEL VIRGINIANA	SEE TREE DEPOSITION PLAN	
36	RELOCATED LIVE OAK		
	"NOYSTONE ELATA	12" 16 HT. TRIPLE OA	
17	FLORIDA ROYAL PALM	F.G. 5 B.B. FF.	
	"TANDEM DOTTCHAM	5 HT. X 2 SPL. TRIPLE	
46	"BALD CYPRESS	F.O. FF	
	EXISTING PALMS TO REMAIN	SEE TREE DEPOSITION PLAN	
9	EXISTING TREES TO REMAIN	SEE TREE DEPOSITION PLAN	
149			



PLANTING NOTES:
(See plant specification and details for additional information)

1. All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades & Standards for Nursery Plants

- ed time.

3. All areas marked "LAWY" shall be sold seedless with 25 Augustin Purpurem solid and plastic. See limit on plan. All areas marked "Belle Green" shall be sold seedless with Populatus rubrum. All seed is to be sold "low", light, and not even along planting beds.
4. All plants are to be top dressed with a minimum 3" layer of manure mulch. Eucalyptus mulch is optional.

6. Planting plans shall take precedence over plant list in case of discrepancies

8. No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and / or deletions to the plant material must be approved by the project engineer.

7. Landscape Contractor is responsible for providing their own square footage takeoffs and field verifications for 100 % and coverage for all areas specified.

8. All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.

9. All trees in lower strata are to receive a 24" diameter matched sawcut at the base of the canopy.

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- be wet flush with top of curb. Provide adequate vent to within 5' of top of curb.

12. Planting soil for topsoil and boulders shall be 50/50 mix, namakadee free by Morris Magic soil, Yallah, Florida. Planting soil for structural beds to be composed of 50% Canadian peat moss, 20% soil free coarse sand and 30% Aerolite

- 13 Tree and shrub jobs will be supplemented with "Agilcon Plus", 21 grain size with a 20-10-5 analysis, as a substitute application accepted by Landscapes America. Calver is manufacturer's standard containers showing weight, analysis and name of manufacturer.

GENERAL NOTES.

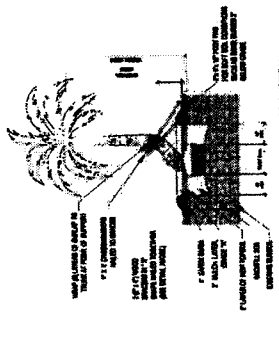
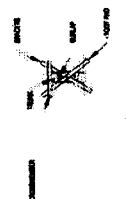
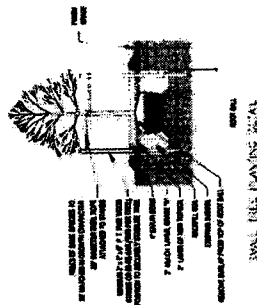
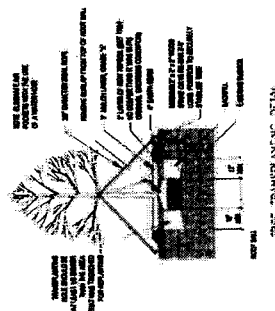
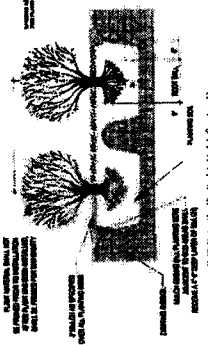
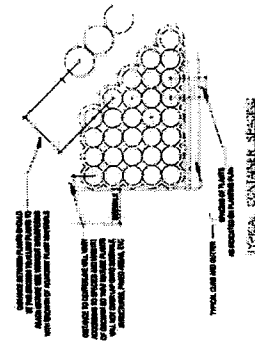
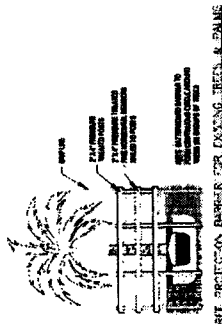
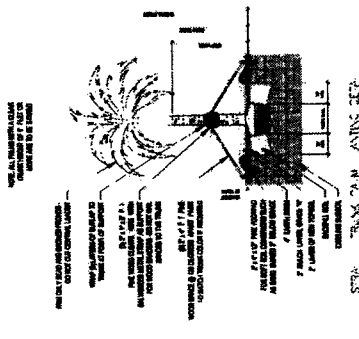
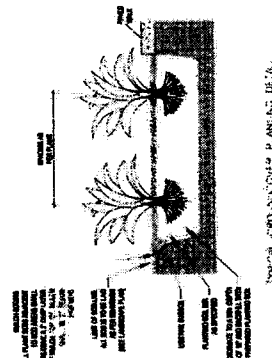
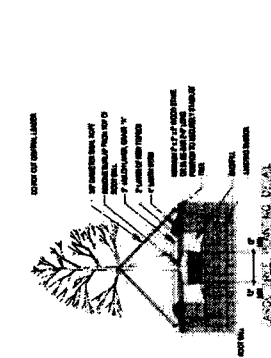
1. The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).

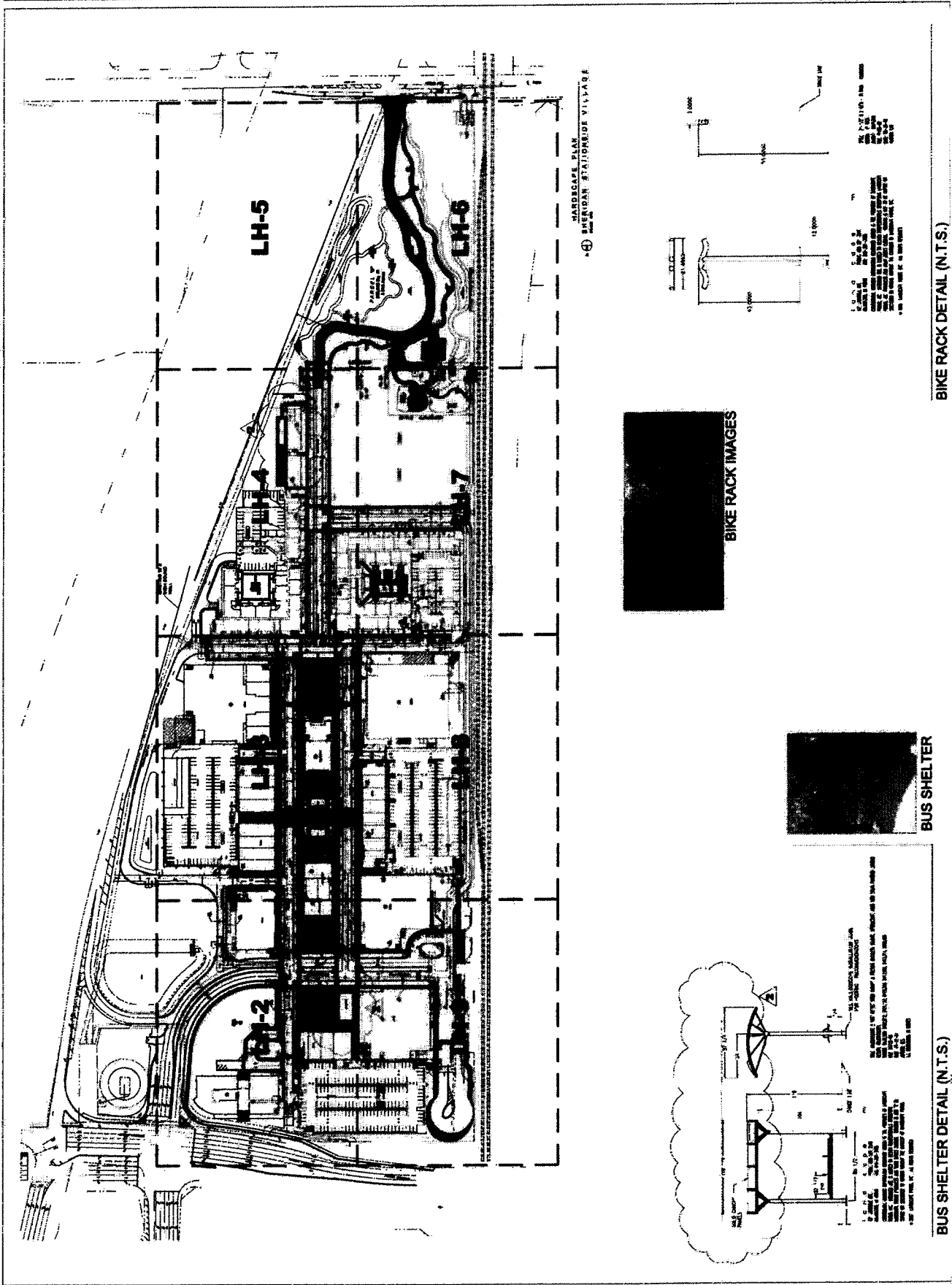
2. Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to the construction with the work.

3. All unattended and unattended two pills are to be properly handled and flagged during installation.

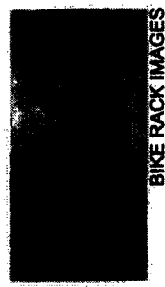
4. All planting plans are issued as directives for site layout. Any deviations, site changes or alterations are to be brought to the attention of the Landscape Architect for confirmation prior to installation.

**NO SUBSTITUTIONS WILL BE
PERMITTED WITHOUT
THE APPROVAL OF THE CITY
OF HOLLYWOOD'S LANDSCAPE
REVIEWER.**

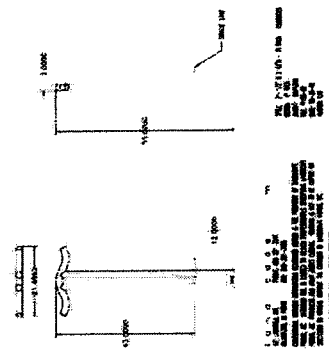




HANDSCAPE PLAN
BAYVIEW STATION VILLAGE



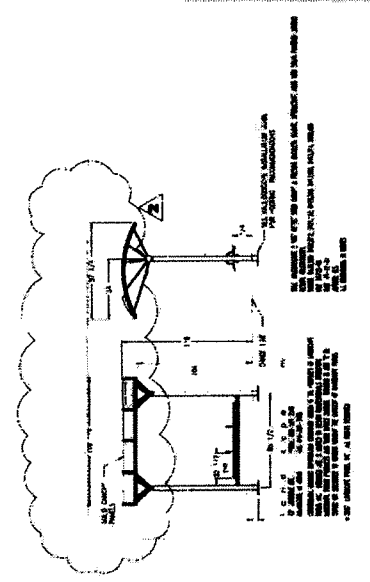
BIKE RACK IMAGES



BIKE RACK DETAIL (N.T.S.)



BUS SHELTER



BUS SHELTER DETAIL (N.T.S.)

ram
Development Company

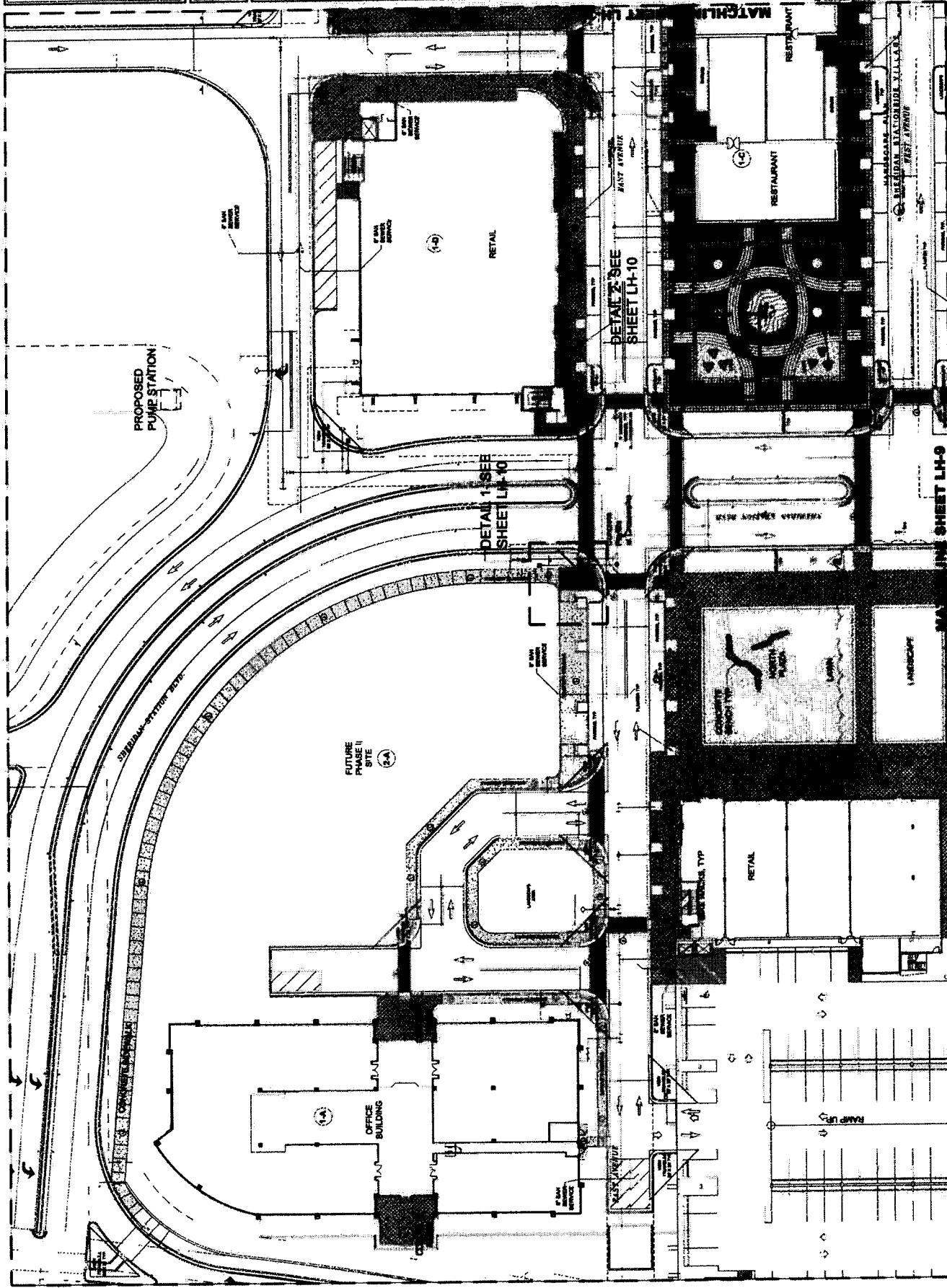
Shepherd Station
A TRAMWAY ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA

Pinacle
THE P.C. COMPANY
P.O. BOX 1000
HOLLYWOOD, FL 33022

WITTON HILLS
P.O. BOX 1000
HOLLYWOOD, FL 33022

LH-2

PROJECT NAME: SHEPHERD STATION
DATE: 08/01/00
DRAWN BY: JAC
CHECKED BY: JAC
APPROVED BY: JAC



8" FT

MATCHLINE SHEET LH-4

8" WIDE
COMPACTED
CRUSHED STONE
SIDEWALK

22" WIDE
ASPHALT
ROAD

8" WIDE
COMPACTED
CRUSHED STONE
PATH

760.94' (PRM to PRM)

1-95

MATCHLINE SHEET LH-3

HARDSCAPE PLAN
SUNSHINE STATIONSIDE V I ADF
1-95

MATCHLINE SHEET LH-3

LH-5

Project Name: HARDSCAPE PLAN
Date: 03/11/08
Author: JLB/CKH
Checked by: JPB
Project No:

Scale: 1" = 10' (Horizontal)
1" = 10' (Vertical)

Notes:
1. SEE SHEET LAC COMMENTS

Shelden Station
A TRANSIT ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA

ram
Pinnacle
Pinnacle Group

Notes:
1. SEE SHEET LAC COMMENTS

WATSON HILLS
Notes:
1. SEE SHEET LAC COMMENTS

WTKIN HULTS
DESIGN GROUP

Pinnacle

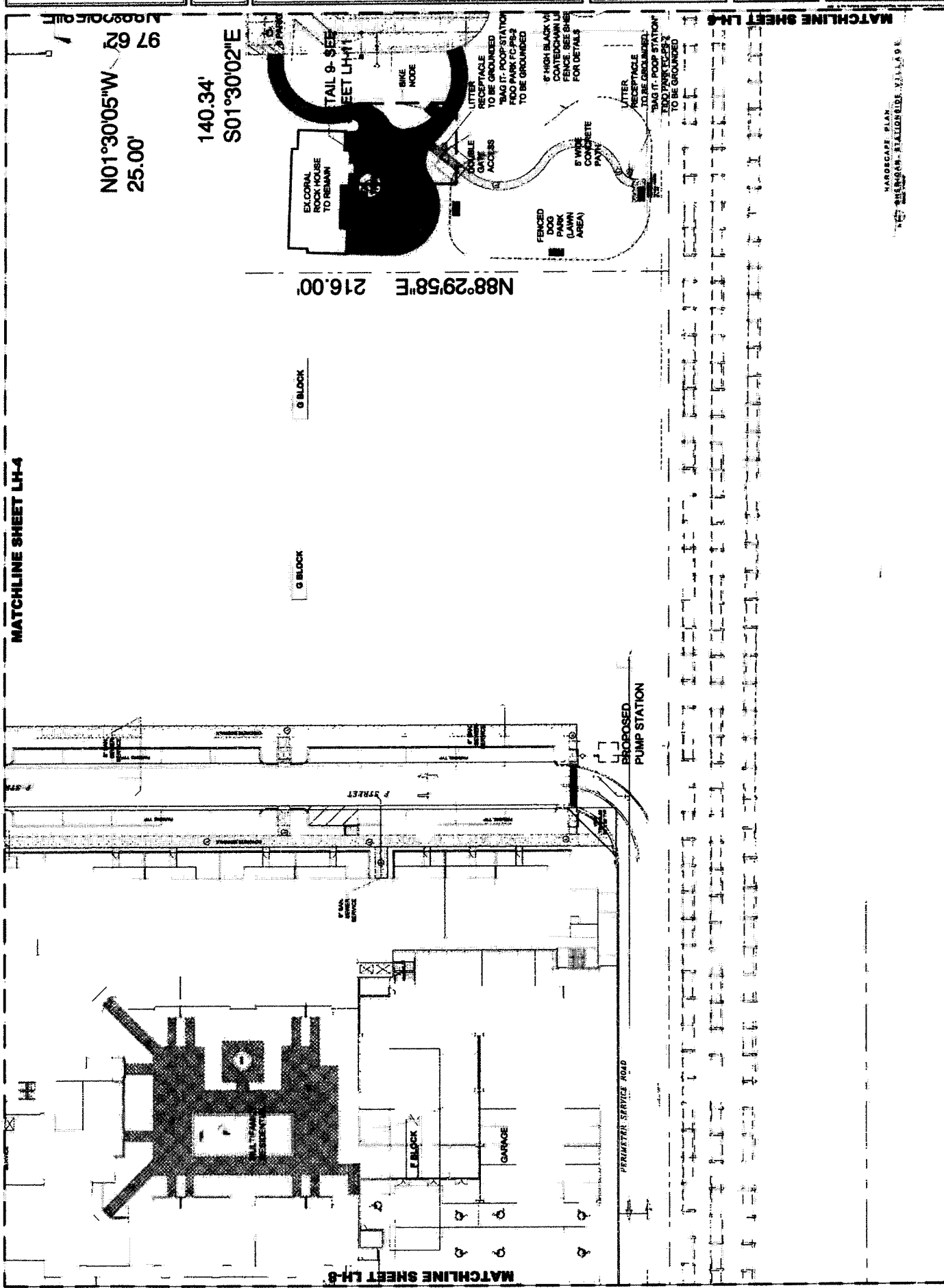
ram

Shelden Station

LH-7

Project Name: NAROGAPE PLAN
Date: 03/18
Scale: AS SHOWN
Drawn by: JPE
Check by:

ALL DIMENSIONS IN FEET AND INCHES
UNLESS OTHERWISE NOTED



WTKIN HULTS
DESIGN GROUP

Pinnacle

ram

Shelden Station

LH-7

Project Name: NAROGAPE PLAN
Date: 03/18
Scale: AS SHOWN
Drawn by: JPE
Check by:

ALL DIMENSIONS IN FEET AND INCHES
UNLESS OTHERWISE NOTED

LH-8

Project Name: SHERIDAN VILLAGE
Date: 05/18
Scale: AS SHOWN
Drawn by: JAC
Check by: JAC

See SCHEDULE
Notes 1-10

SEE SCHEDULE
Notes 1-10

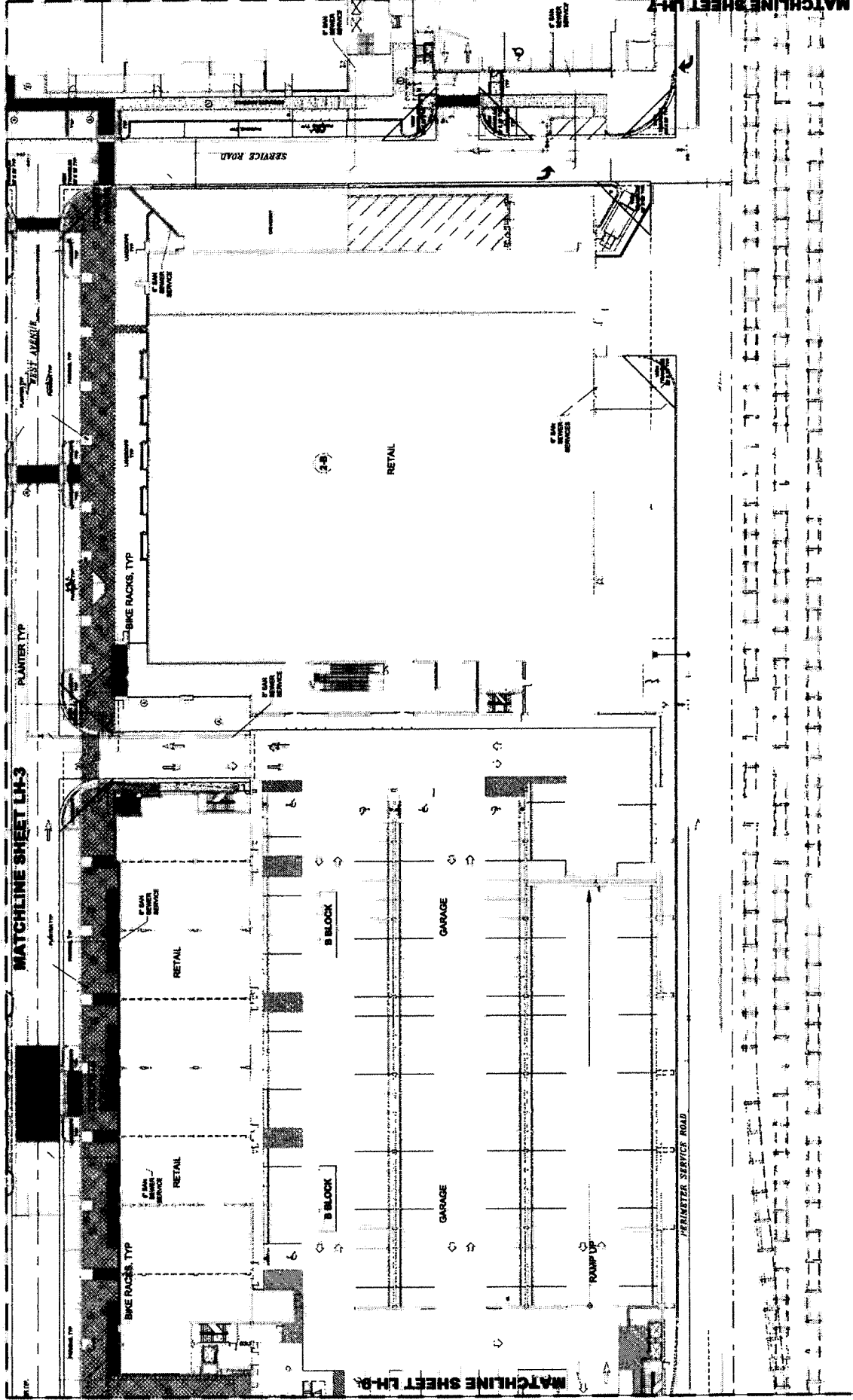
ram
Pinnacle
A THAUGHT INSPIRED DEVELOPMENT IN HOLLYWOOD, FLORIDA

Sheridan Station
A THAUGHT INSPIRED DEVELOPMENT IN HOLLYWOOD, FLORIDA

PINNACLE

WITKIN HULL
ARCHITECTS
1000 15TH AVENUE, SUITE 1000
MIAMI, FLORIDA 33136
TEL: 305.575.1100
WWW.WITKINHULL.COM

HARDSCAPE PLAN
SHERIDAN STATION VILLAGE



WATSON HILLS
 10000 WATSON HILLS BLVD
 SUITE 100
 HOLLYWOOD, FL 33024
 (305) 975-1111

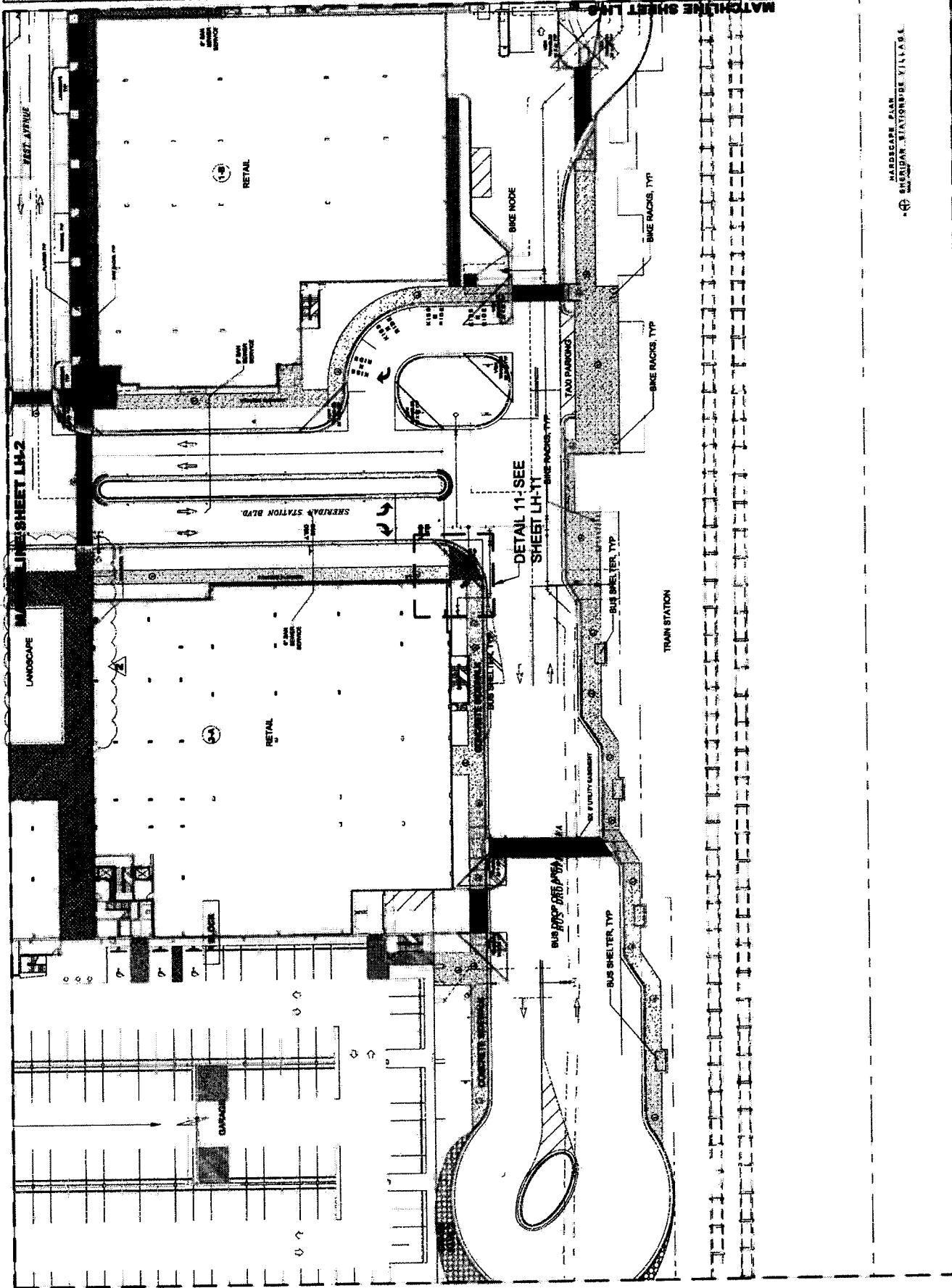
ram
 A THREAT-ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA
 Pinnacle
 Pinnacle Company

ram
 A THREAT-ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA
 Pinnacle
 Pinnacle Company

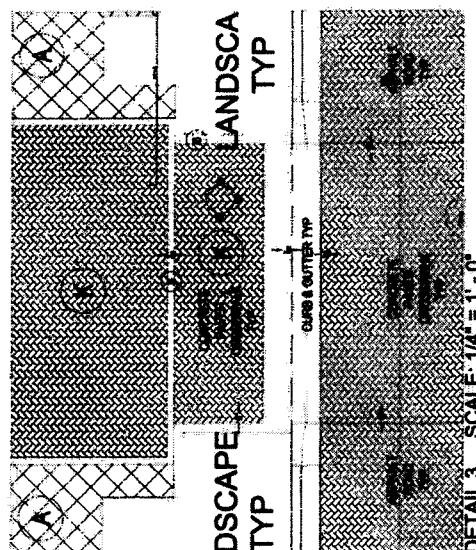
ram
 A THREAT-ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA
 Pinnacle
 Pinnacle Company

ram
 A THREAT-ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA
 Pinnacle
 Pinnacle Company

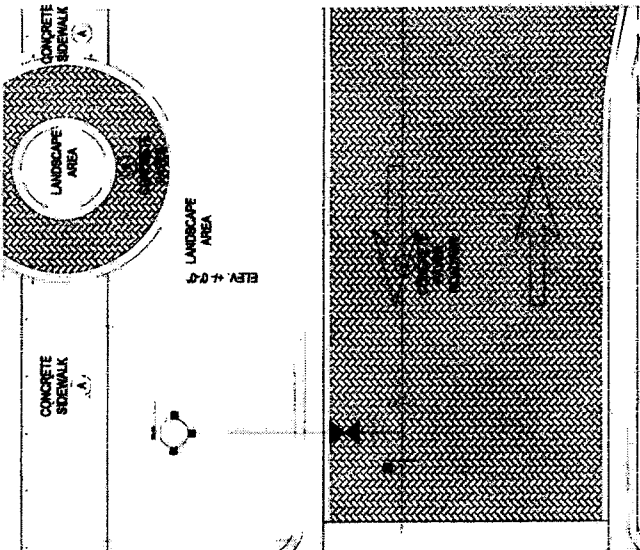
LH-9
 Project Name: HARDSCAPE PLAN
 Date: 03/11/10
 Scale: AS SHOWN
 Drawn by: JPB
 Check by: N/A



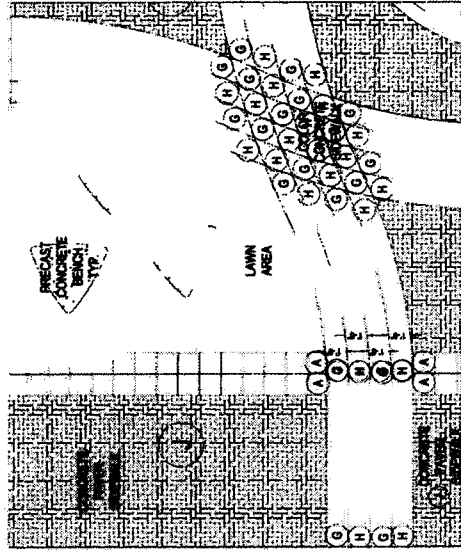
HARDSCAPE PLAN
 SHERIDAN STATION VILLAGE



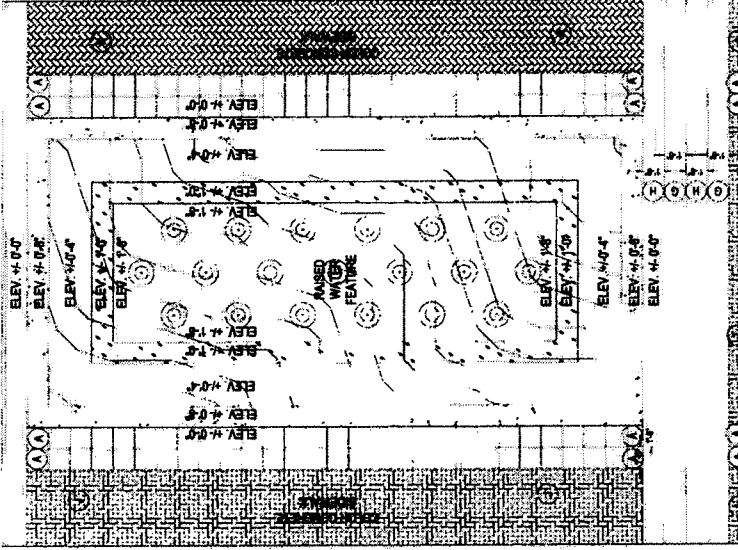
DETAIL 3 SCALE: 1/4" = 1'-0"



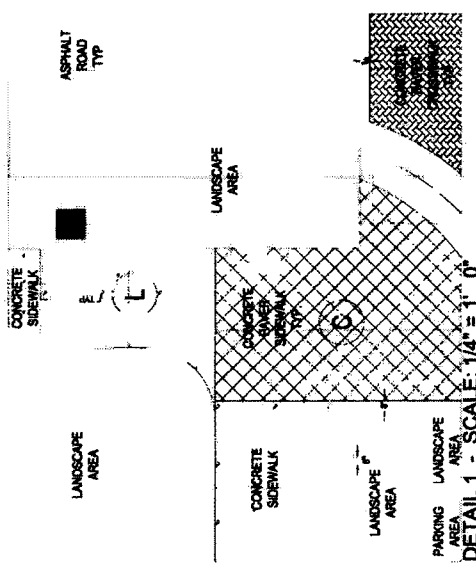
DETAIL 6 - SCALE: 1/4" = 1' 0"



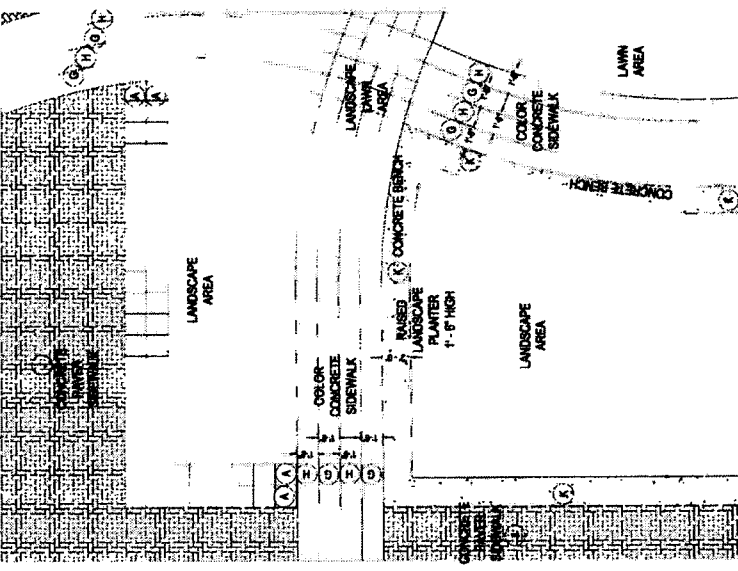
DETAIL 2 - SCALE: 1/4" = 1' 0"



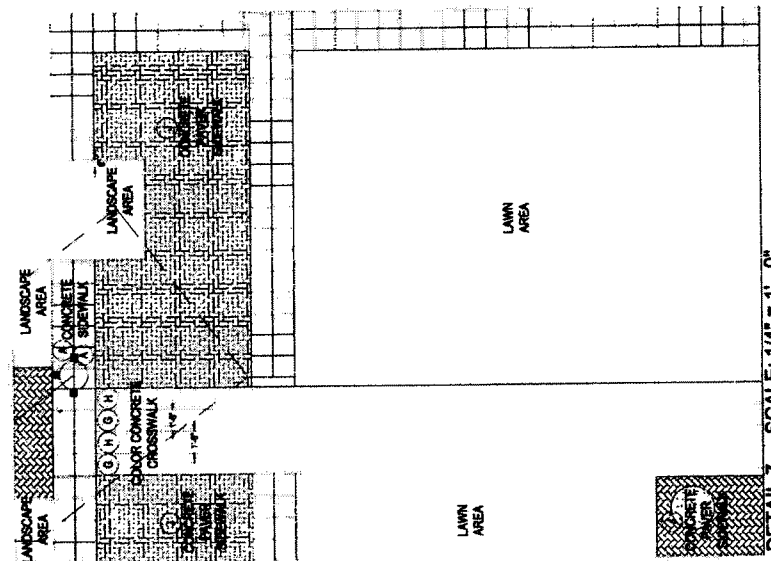
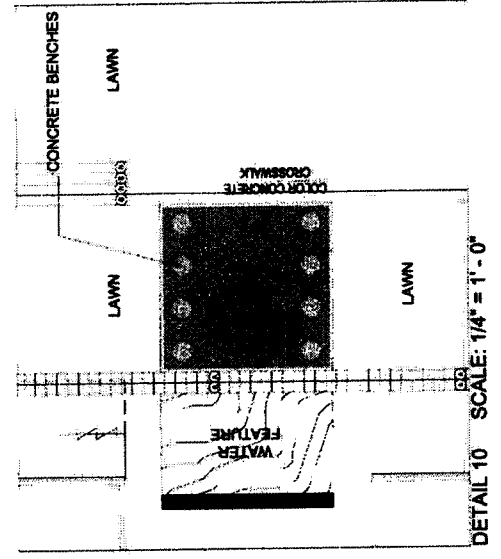
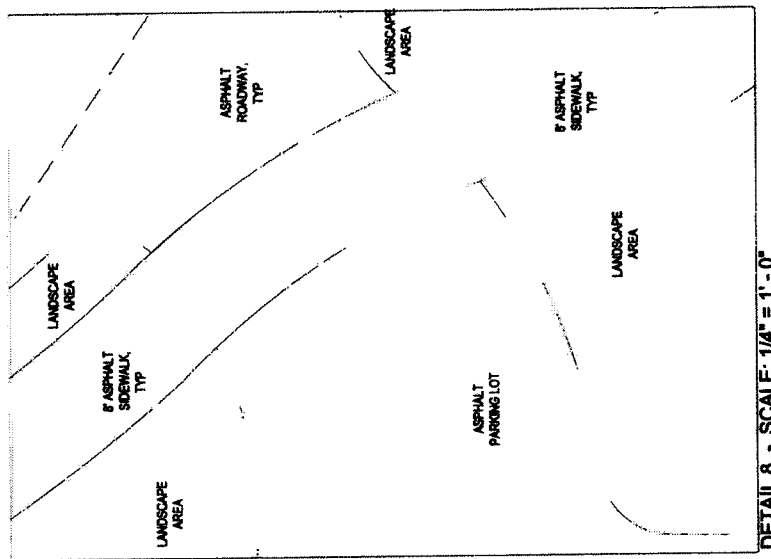
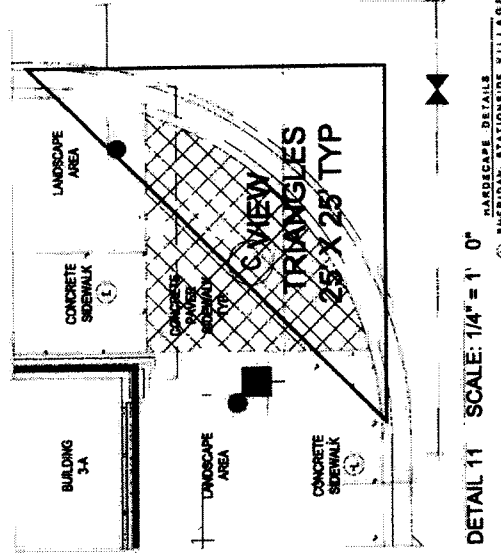
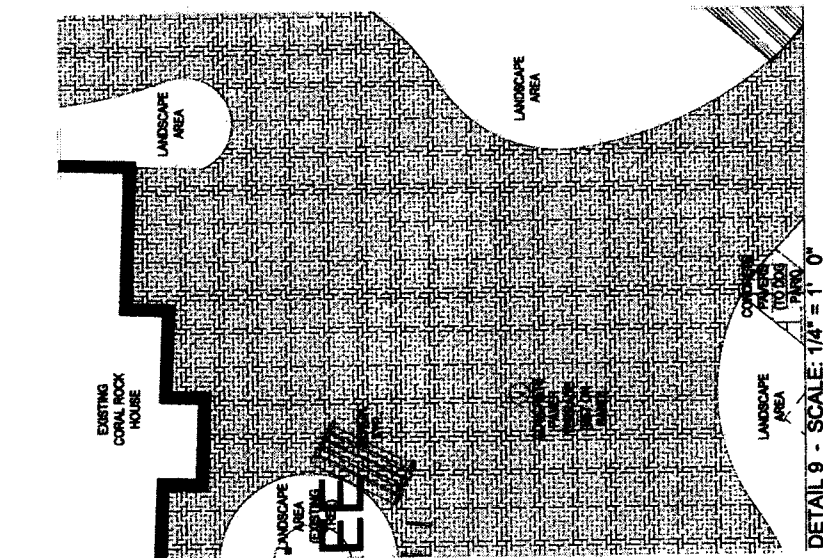
DETAIL 5 - SCALE: 1/4" = 1' 0"



AREA
DETAIL 1 - SCALE: 1/4" = 1' 0"



DETAIL 4 - SCALE: 1/4" = 1' 0"



- ## PAYING LEGEND

- (A) Type: CONCRETE PAVER**
PATTERNING: 4P
 Size: 15"x15"x2½"
 Color: P-3
 TAN CORAL
 Manufacturer: Varcon Power

(B) Type: CONCRETE BAND
 Size: 8" WIDE
 Color:
 NATURAL GREY

(C) Type: CONCRETE PAVER
PATTERNING: 4P
 Size: 12"x12"x2½"
 Color: P-33
 TAN CORAL
 Manufacturer: Varcon Power

(D) Type: CONCRETE PAVER
PATTERNING: 4P
 Size: 14"x14"x2½"
 Color: P-44
 BROWN
 Manufacturer: Varcon Power

(E) Type: CONCRETE PAVER
PATTERNING: 2F
 Size: 15"x15"x2 3/8"
 Color: 2F
 CORAL
 P-3 TAN CORAL
 Manufacturer: Varcon Power

(F) Type: CONCRETE BAND
 Size: 8" W
 Color:
 NATURAL GREY

(G) Type: CONCRETE BAND
 Size: 11" x 4"
 Color: C-2 WESTWOOD
 BROWN
 Manufacturer: SCOPFELD

(H) Type: CONCRETE BAND
 Size: 11" x 4"
 Color: C-1 LIMESTONE
 BROWN
 Manufacturer: SCOPFELD

(I) Type: CONCRETE PAVER
PATTERNING: 4P
 Size: 15"x15"x2½"
 Color: P-3
 TAN CORAL
 Manufacturer: Varcon Power

(J) Type: CONCRETE PAVER
PATTERNING: 4P
 Size: 15"x15"x2½"
 Color: P-3
 TAN CORAL
 Manufacturer: Varcon Power

(K) Type: BELLTONE PAVER
PATTERNING: 4P
 Size: 15"x15"x2½"
 Color: 4P HONEYCOMB
 Manufacturer: Varcon Power

(L) Type: CONCRETE MINORALS
 Size: 9" O.C.
 Color:
 NATURAL GREY

FOLLOW MANUFACTURER'S GUIDELINES FOR INSTALLATION INSTRUCTIONS

11 PA

DOUBLE
GATE
ACCESS

LITTER
RECEPTACLE
TO BE GROUNDED
"BAG IT- POOP STATION"
FIDO PARK FC-PS-2
TO BE GROUNDED

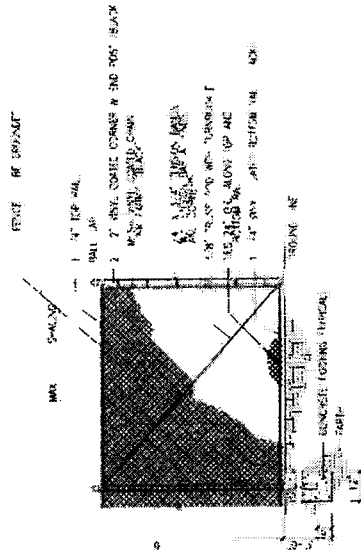
FENCED
DOG
PARK
(LAWN
AREA)

6' HIGH BLACK VINYL
COATED CHAIN LINK
FENCE. SEE SHEET LH-12
FOR DETAILS

5' WIDE
CONCRETE
PATH

LITTER
RECEPTACLE
TO BE GROUNDED
"BAG IT- POOP STATION"
FIDO PARK FC-PS-2
TO BE GROUNDED

CONCRETE
WALKWAY
W 4' WIDE



FENCING
1" X 12" X 1/2" CONCRETE CURB

- NOTES
1. THE DRAWING IS THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
 2. THE USER OF THIS DRAWING IS TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DATE: 11/11/11

11/11/11



DOG PARK EQUIPMENT BY:
MANUFACTURER: FIDO PARK
(1-800-444-2779)
OR EQUAL
TO BE GROUNDED

DOG PARK DETAILS
SHERIDAN STATION, VILLAGE

LH-12

11/11/11

ram

Sheridan Station

A TRAVEL ORIENTED DEVELOPMENT IN HOLLYWOOD, FLORIDA

Pinnacle

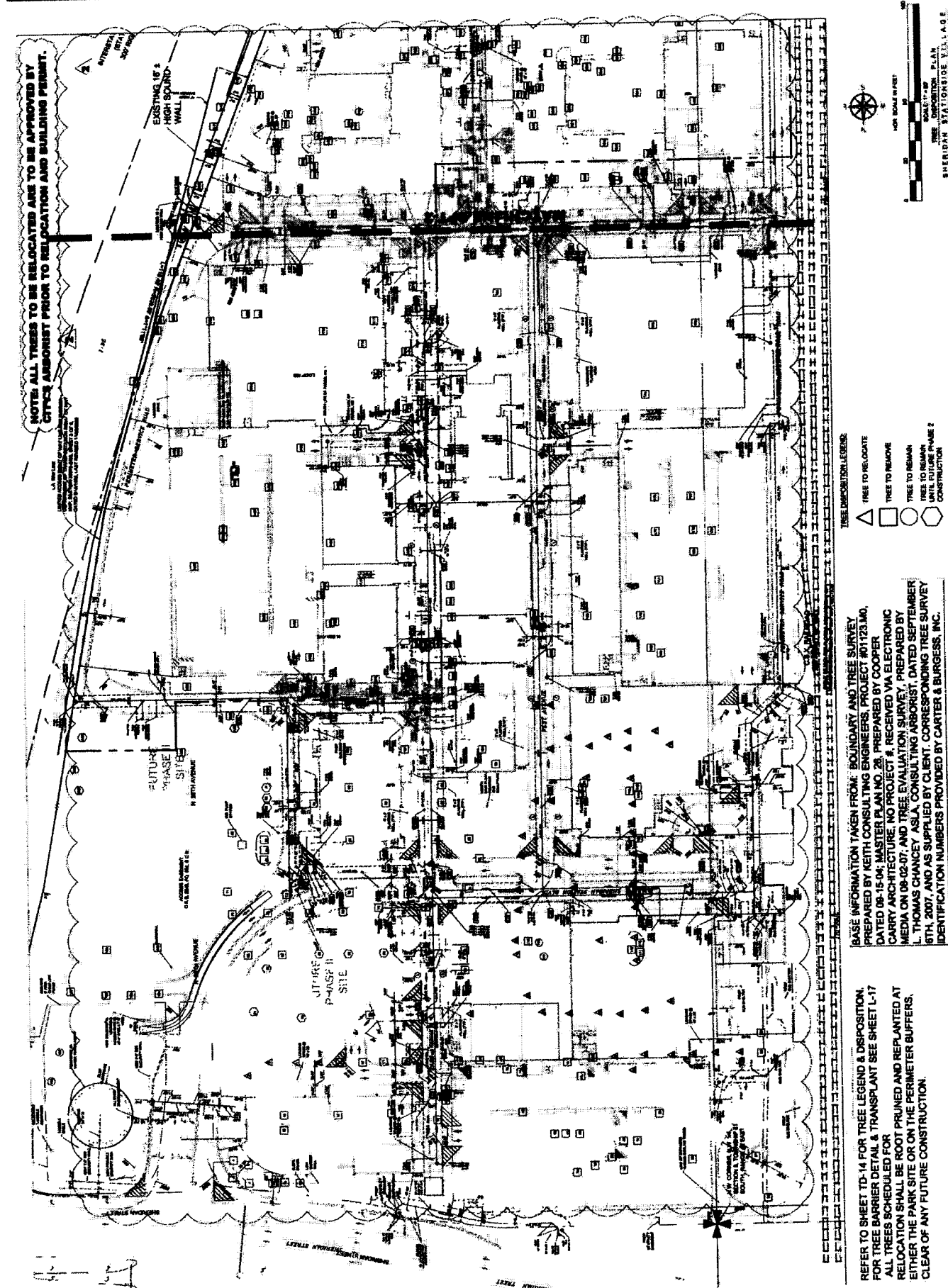
WILSON HULLS

SHERIDAN STATION
Ram Development Company
& Pinnacle Housing Group

PROJECT NO. 08-15-04
DATE: 08-15-04
DRAWN BY: [blank]
CHECKED BY: [blank]
APPROVED BY: [blank]

SPT-1

PROJECT NAME: SHERIDAN STATION
DATE: 08-15-04
DRAWN BY: [blank]
CHECKED BY: [blank]
APPROVED BY: [blank]



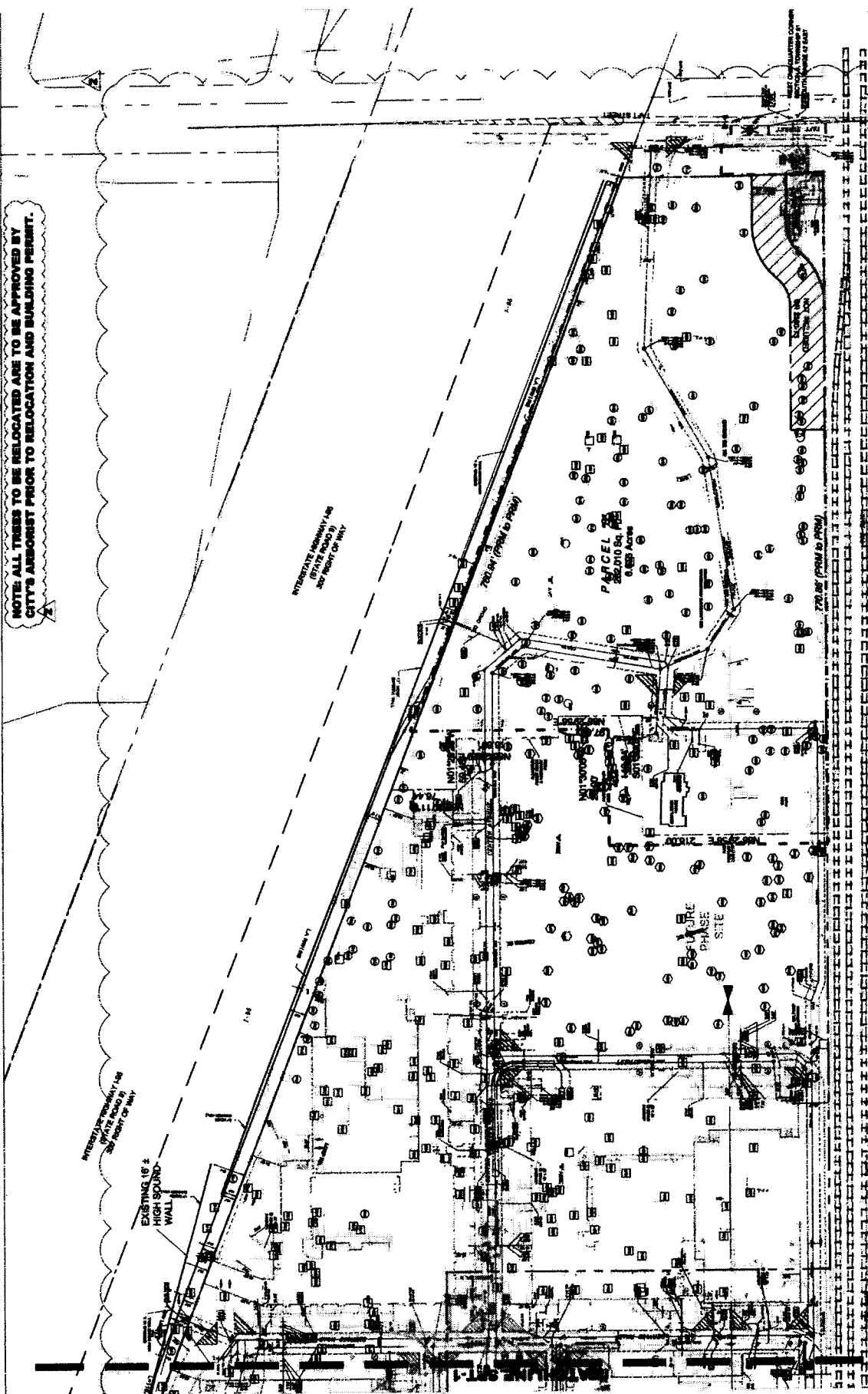
NOTES: ALL TREES TO BE RELOCATED ARE TO BE APPROVED BY CITY ARBORIST PRIOR TO RELOCATION AND BUILDING PERMIT.

- TREE DISPOSITION LEGEND:
- △ TREE TO RELOCATE
 - TREE TO REMOVE
 - TREE TO REMAIN
 - TREE TO REMAIN UNTIL FUTURE PHASE 2 CONSTRUCTION

BASE INFORMATION TAKEN FROM: BOUNDARY AND TREE SURVEY PREPARED BY KEITH CONSULTING ENGINEERS, PROJECT #01123.MD, DATED 08-15-04; MASTER PLAN NO. 28, PREPARED BY COOPER CARRY ARCHITECTURE, NO PROJECT #, RECEIVED VIA ELECTRONIC MEDIA ON 08-02-07; AND TREE EVALUATION SURVEY, PREPARED BY L. THOMAS CHANCEY ASLA, CONSULTING ARBORIST, DATED SEPTEMBER 6TH, 2007, AND AS SUPPLIED BY CLIENT. CORRESPONDING TREE SURVEY IDENTIFICATION NUMBERS PROVIDED BY CARTER & BURGESS, INC.

REFER TO SHEET TD-14 FOR TREE LEGEND & DISPOSITION. FOR TREE BARRIER DETAIL & TRANSPLANT SEE SHEET L-17. ALL TREES SCHEDULED FOR RELOCATION SHALL BE ROOT PRUNED AND REPLANTED AT EITHER THE PARK SITE OR ON THE PERIMETER BUFFERS, CLEAR OF ANY FUTURE CONSTRUCTION.

NOTE: ALL TREES TO BE RELOCATED ARE TO BE APPROVED BY CITY'S ARBORIST PRIOR TO RELOCATION AND BUILDING PERMIT.



- TREE DISPOSITION LEGEND:
- △ TREE TO RELOCATE
 - TREE TO REMOVE
 - TREE TO REMAIN
 - TREE TO REMAIN UNTIL FUTURE PHASE 2 CONSTRUCTION

BASE INFORMATION TAKEN FROM: BOUNDARY AND TREE SURVEY PREPARED BY KEITH CONSULTING ENGINEERS, PROJECT #01123.M0, DATED 08-15-04; MASTER PLAN NO. 28, PREPARED BY COOPER CARRY ARCHITECTURE, NO PROJECT #, RECEIVED VIA ELECTRONIC MEDIA ON 08-02-07; AND TREE EVALUATION SURVEY, PREPARED BY L. THOMAS CHANCEY, ASLA, CONSULTING ARBORIST, DATED SEPTEMBER 5TH, 2007 AND AS SUPPLIED BY CLIENT, CORRESPONDING TREE SURVEY IDENTIFICATION NUMBERS PROVIDED BY CARTER & BURGESS, INC.

REFER TO SHEET TD-14 FOR TREE LEGEND & DISPOSITION. FOR TREE BARRIER DETAIL & TRANSPLANT SEE SHEET L-17. ALL TREES SCHEDULED FOR RELOCATION SHALL BE ROOT PRUNED AND REPLANTED AT EITHER THE PARK SITE OR ON THE PERIMETER BUFFERS, CLEAR OF ANY FUTURE CONSTRUCTION.

SPT-2

Project Name: SHERIDAN STATION
 Date: 08-15-04
 Drawn: [Name]
 Checked: [Name]
 Project No: [Number]

Project Location: [Address]
 Project Description: [Description]
 Project Status: [Status]

SHERIDAN STATION
 Farm Development Company
 & Pinnacle Housing Group

WATSON HILLS
 [Logo]

EXISTING TREE DISPOSITION PLAN

NOTE: ALL TREES TO BE RELOCATED ARE TO BE APPROVED BY CITY'S ARBORIST PRIOR TO RELOCATION AND BUILDING PERMIT.

ALL NATIVE TREES NOTED TO BE REMOVED LOCATED ON PHASE 2 OF CONSTRUCTION ARE TO REMAIN IN PLACE UNTIL PHASE 2 CONSTRUCTION BEGINS BUT ARE ACCOUNTED ON THESE PLANS FOR MITIGATION PURPOSES.

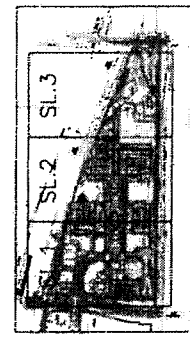
SHERIDAN STATION
Raim Development Company
& Pinnacle Housing Group

RECOMMENDED BY
CITY OF HOLLYWOOD
DATE: 11/11/2014

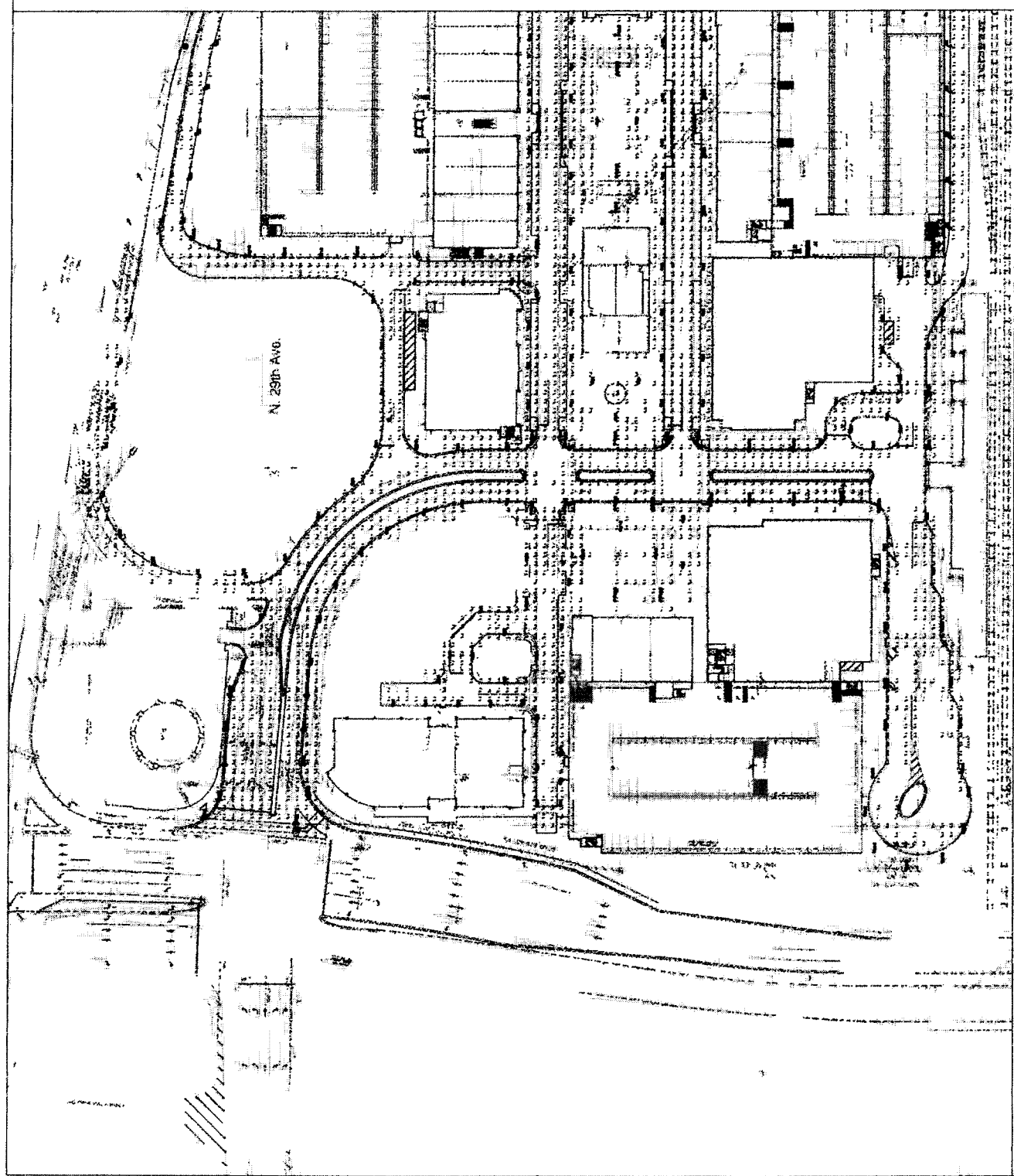
SPT-3

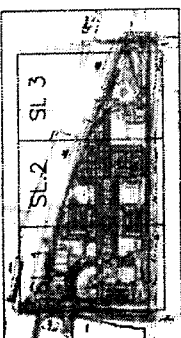
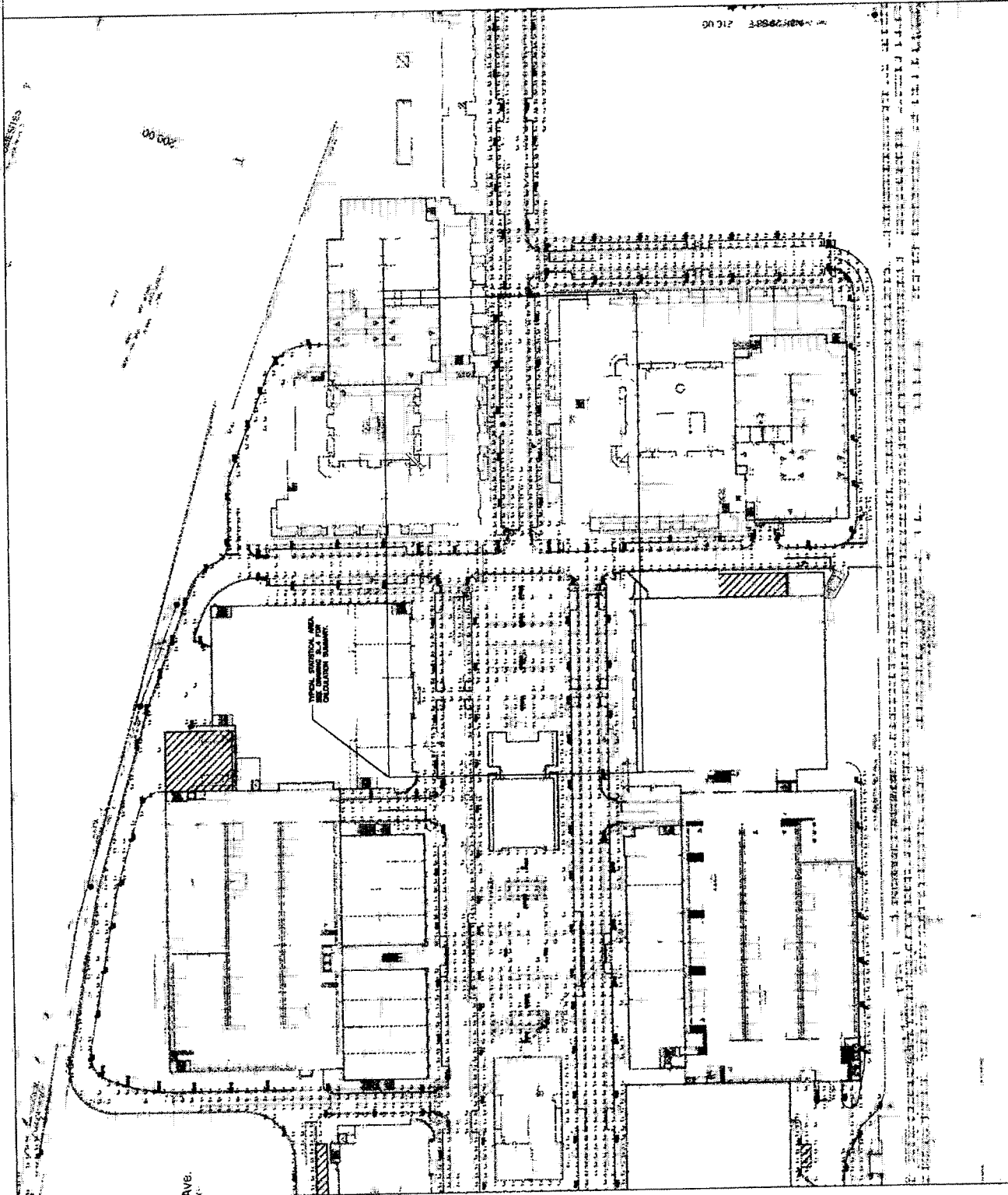
DATE: 11/11/2014
BY: [Signature]
FOR: [Signature]

NOT FOR
 CONSTRUCTION
 FOR TOWNSHIP
 REVIEW ONLY



KEY PLAN



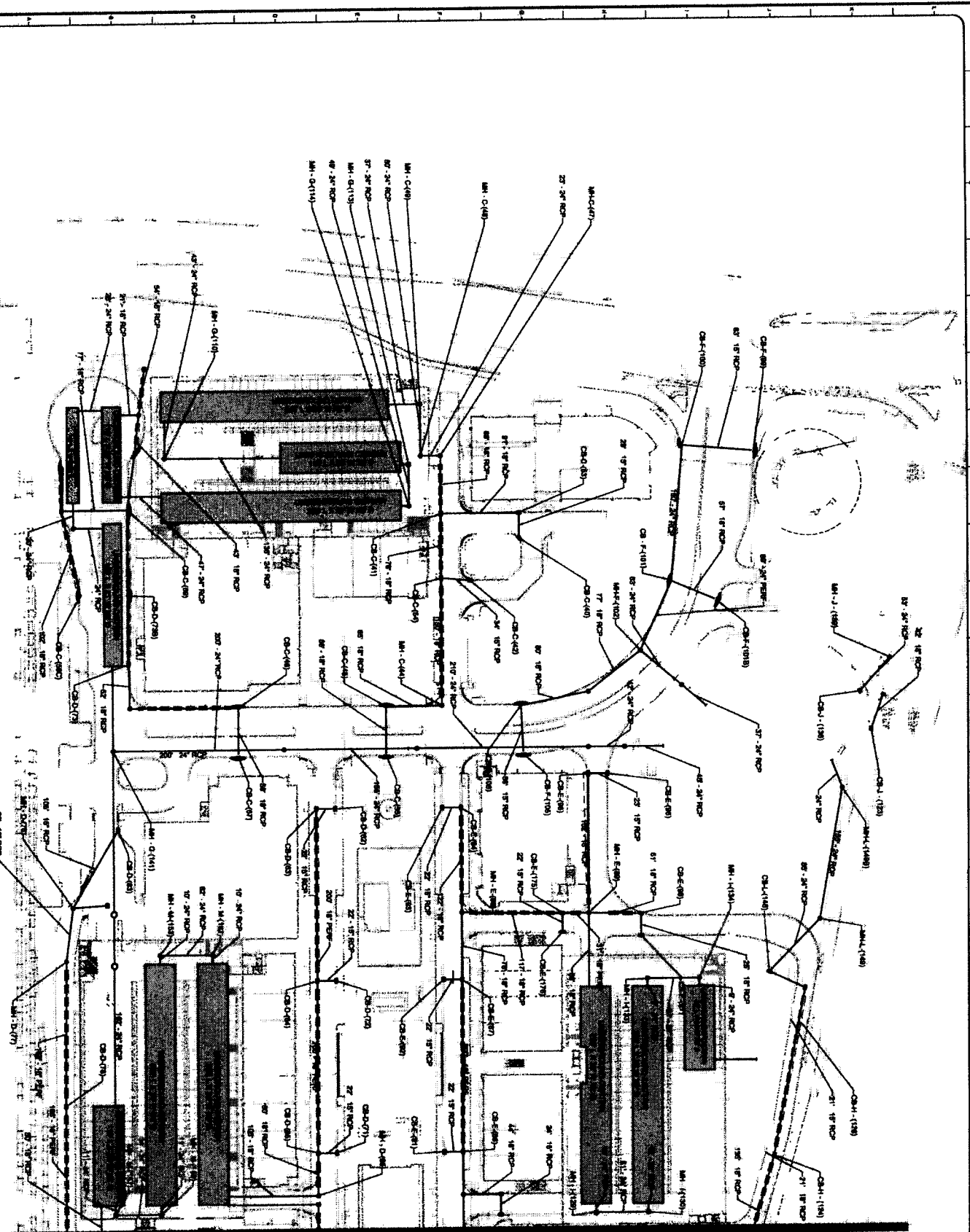


KEY PLAN

NOT FOR
CONSTRUCTION
FOR TOWNSHIP
REVIEW ONLY



ADVISOR: OWNER	SHERIDAN STATION
DEVELOPMENT CO.	RAM DEVELOPMENT CO.
HOUSING GROUP	PINNACLE HOUSING GROUP
ARCHITECT	ROGER FRY & ASSOCIATES ARCHITECTS, P.A.
DATE	NOV 19 2008
SCALE	SL 1



MATCHLINE SEE SHEET C3b FOR CONTINUATION

C3a - 68

DATE	10/1/88
BY	JAC
CHECKED BY	JAC
APPROVED BY	JAC
SCALE	AS SHOWN
PROJECT	SHERIDAN STATION
SHEET NO.	68
TOTAL SHEETS	70

SHERIDAN STATION
 A TRANSIT ORIENTED DEVELOPMENT, HOLLYWOOD, FLORIDA
RAM DEVELOPMENT and PINNACLE HOUSING GROUP
MASTER DRAINAGE & KEY SHEET
KEY MAP

JE

JACOBS
 Carter Burgess
INCORPORATED
 1000 N. W. 10th Avenue
 Suite 1000
 Fort Lauderdale, FL 33304
 Phone: (305) 555-1000
 Telex: 555100 JACB

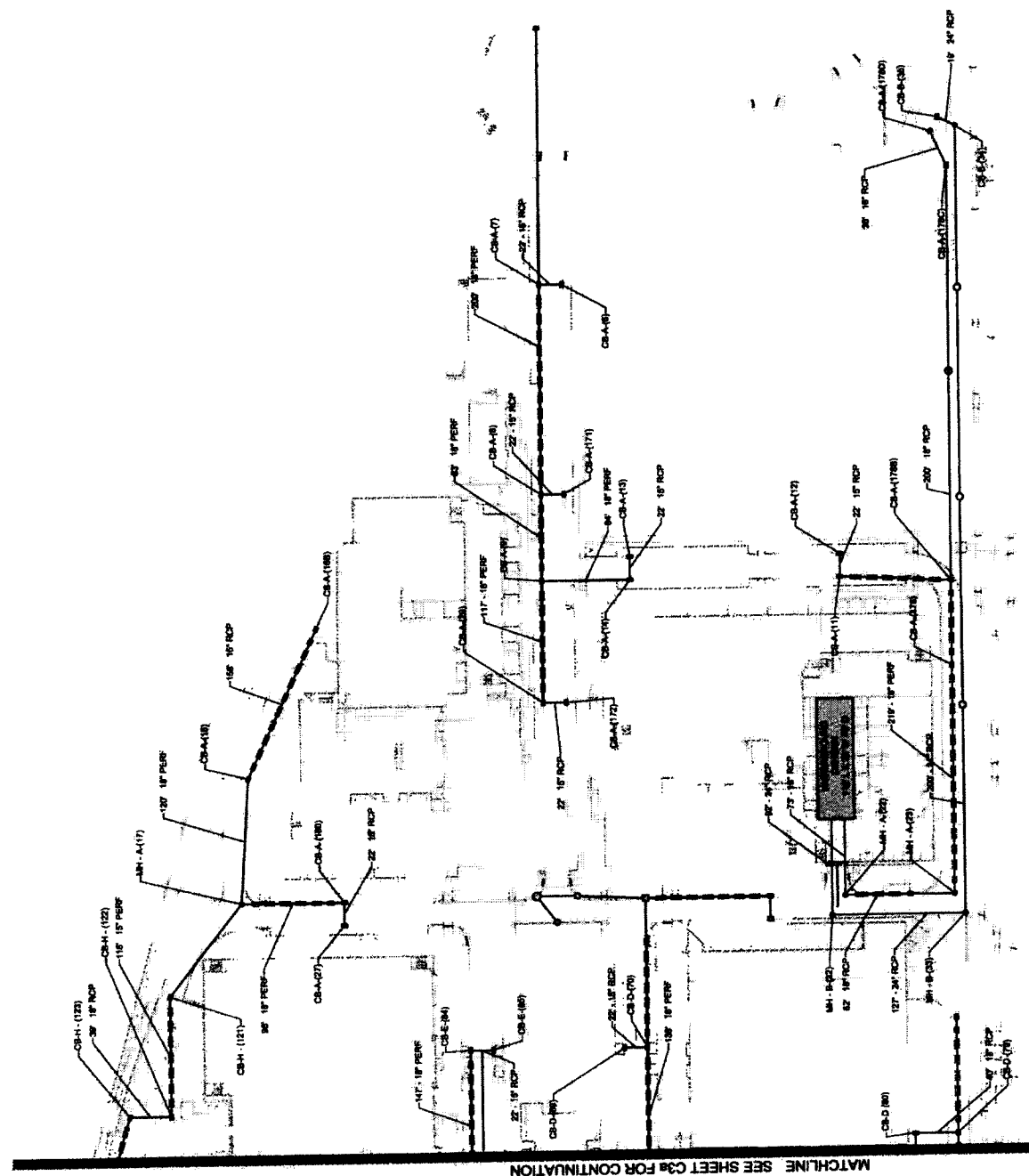
NO.	DATE	APPROVAL	REVISION

SHERIDAN STATION
A TRANSIT ORIENTED DEVELOPMENT, BELLWOOD, FLORIDA
PLAN DEVELOPMENT AND PINNACLE HOUSING GROUP
MASTER DRAINAGE & KEY MAP
KEY MAP



NO.	DATE	REVISION
1	01-10-10	ISSUED FOR THE BELLWOOD STATION
2	01-10-10	ISSUED FOR THE BELLWOOD STATION
3	01-10-10	ISSUED FOR THE BELLWOOD STATION
4	01-10-10	ISSUED FOR THE BELLWOOD STATION
5	01-10-10	ISSUED FOR THE BELLWOOD STATION
6	01-10-10	ISSUED FOR THE BELLWOOD STATION
7	01-10-10	ISSUED FOR THE BELLWOOD STATION
8	01-10-10	ISSUED FOR THE BELLWOOD STATION
9	01-10-10	ISSUED FOR THE BELLWOOD STATION
10	01-10-10	ISSUED FOR THE BELLWOOD STATION

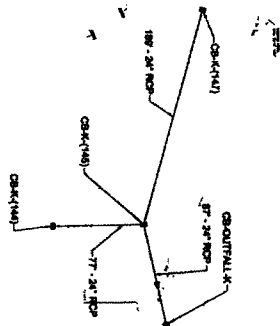
MATCHLINE SEE SHEET C3-6 FOR CONTINUATION



MATCHLINE SEE SHEET C3-6 FOR CONTINUATION



MATCHLINE SEE SHEET C3b FOR CONTINUATION



C3c - 68

NO.	DATE	BY	REVISION
1	11-17-68	JB	1.0
2	11-17-68	JB	1.1
3	11-17-68	JB	1.2
4	11-17-68	JB	1.3
5	11-17-68	JB	1.4
6	11-17-68	JB	1.5
7	11-17-68	JB	1.6
8	11-17-68	JB	1.7
9	11-17-68	JB	1.8
10	11-17-68	JB	1.9

SHERIDAN STATION
A TRANSIT ORIENTED DEVELOPMENT, HOLLYWOOD, FLORIDA
RAM DEVELOPMENT and PINNACLE HOUSING GROUP
MASTER DRAINAGE & KEY SHEET
KEY MAP

JACOBS
Carter Burgess
JACOBS ENGINEERING GROUP, INC.
1000 JACOBS DRIVE
SUITE 100
HOUSTON, TEXAS 77057
713/865-2700
A 5010-CJA 8/87 7/88

NO.	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

EXHIBIT "C"

TELECOMMUNICATIONS LEASE AGREEMENT

THIS LEASE AGREEMENT ("Lease") made and entered into [ENTER EFFECTIVE DATE OF AGREEMENT] by and between [ENTER NAME OF LANDLORD] (hereinafter referred to as "Lessor") whose notice address is [ENTER NOTICE ADDRESS], and [ENTER NAME OF TENANT], (hereinafter referred to as "Lessee"), whose address is [ENTER NOTICE ADDRESS].

WHEREAS, [ENTER NAME OF TENANT] owns a certain rights to rooftop space in the building located at [ENTER PROPERTY ADDRESS], and

WHEREAS, [ENTER NAME OF TENANT] desires to install, maintain and operate the Antenna Equipment on portions of the roof of the Building in the exact locations specified by Lessor (such locations being referred to as the "Site");

NOW, THEREFORE, in consideration of the promises and the mutual obligations of the parties herein made and undertaken, the parties do hereby mutually agree as follows:

-
1. **Lease of Premises.** Lessor leases to Lessee a non-exclusive portion of the Site consisting of cabinet space in an air-conditioned room, rooftop space, and such easements as are necessary for the installation of the antennas and equipment (such antennas and equipment being referred to as "Antenna Equipment").
 2. **Permitted Use.** Subject to the terms and conditions of this Lease, Lessor hereby grants Lessee the non-exclusive right to install, maintain and operate the Antenna Equipment on the Site, provided the Antenna Equipment (i) does not adversely affect the structure of the Building, the roof of the Building, the warranty for the roof of the Building or the safety of the Building (ii) does not adversely affect the electrical, mechanical or any other system of the Building or the functioning thereof; (iii) does not adversely interfere with the operation of the Building or the provision of services or utilities to other current or future Lessees in the Building.
 3. **Compliance with Law** Lessee and its sub Lessee's shall install, maintain and operate the Antenna Equipment in compliance with all present and future rules and regulations of any local, State or Federal authority having jurisdiction with respect thereto, including, without limitation, the rules and regulations of the Federal Communications Commission ("FCC"), the Federal Aviation Administration ("FAA"), and the rules and regulations of any other governmental and quasi-governmental authorities having appropriate jurisdiction over the Building or Lessee's use of the Antenna Equipment.

4 **Installation Procedures.** The installation of the Antenna Equipment shall be done at Lessor's sole expense subject to the following:

- (i) The Antenna Equipment shall be clearly marked to show Lessee's name, address, and telephone number, the name of the person to contact in case of emergency, FCC call sign, frequency and location, if applicable.
- (ii) Lessee shall obtain all permits, licenses, authorizations and approvals that may be required in order to install the Antenna Equipment at the sole expense of Lessor
- (iii) All work performed at the Building in connection with the installation and modification of the Antenna Equipment shall be performed at Lessor's expense by Lessee's employees or by licensed and insured contractors.
- (iv) Lessor shall install any screen or other covering for the Antenna Equipment that Lessor in its reasonable discretion may require in order to camouflage or conceal the Antenna Equipment, provided the installation of the screen or other covering does not interfere with the operation of the antenna.
- (v) The Antenna Equipment shall not be more than ten (10) feet in height and not more than the weight that Lessor shall determine is appropriate for the roof (which Lessor shall specify to Lessee upon Lessee's written request).

5. **Maintenance and Repair** Lessee shall, at its sole cost and expense, maintain the Antenna Equipment in good working order throughout the term of this agreement. All maintenance work shall be performed by Lessee's employees or by certified contractors, and shall be performed in accordance with all applicable laws and regulations. Upon the expiration or earlier termination of this Lease, Lessee shall remove the Antenna Equipment from the Building (and restore the Site and the Building areas affected to the condition existing prior to installation of the Antenna Equipment, normal wear and tear accepted) as Lessee's sole cost and expense. The removal shall be performed by a certified contractor in a workmanlike manner

6. **Rent.** Lessee shall pay Lessor as rent for the Site during the first year of this Lease and all subsequent years of this Lease the sum of Ten and no/100 Dollars (\$10) per annum.

7 **Term.** The initial term of this Lese shall be coterminous with the Lessor's lease with the Florida Department of Transportation which commences on _____ and expires on _____, unless terminated sooner as hereinafter provided. Lessee covenants and understands that this Lease Agreement does not give Lessee the right to an automatic holdover after the expiration of the term of this Lease. Lack of notice by Lessor regarding the expiration of the term shall not be construed by Lessee as Lessor's consent to an automatic renewal of this Lease Agreement. Lessor and Lessee are free to bargain in good faith regarding additional terms. Any further agreement between Lessor

and Lessee shall be reduced to writing, signed by both parties, and attached to this Lease as an amendment to this Lease.

8. **Access.** Lessor shall provide to Lessee sufficient access to the Site and affected areas of the base Building for the maintenance and operation of the Antenna Equipment. Access to the Site or other areas of the Building will be available by telephoning the property manager for the Building, the number for which property manager shall be provided to Lessee upon request from time to time.
- 9 **Utilities.** Lessor shall provide Lessee with separately metered utility routes for the Antenna Equipment and Lessee shall pay for any usage of all utilities required by Lessee at the Site. If available, Lessee shall have the right to connect the electrical circuit for the Antenna Equipment to the emergency generator servicing the building.
10. **Sublease.** In the event that the Lessor's structures cause interference with the current telecommunication provider's facilities then Lessee may sublease rooftop space to the existing telecommunication provider and Lessor agrees to cover all costs associated with moving telecommunication provider's facilities.
11. **Indemnification.** Except to the extent resulting directly from the gross negligence or willful misconduct of Lessor, Lessee shall indemnify and save Lessor harmless from and against any and all loss, costs, liabilities, damages, judgments, and expenses (including reasonable attorney's fees) in connection with claims resulting from bodily injury or death of any person, or from damage to any property sustained by any person, including Lessee, arising from the installation, operation, maintenance, or removal of the Antenna Equipment. Lessee agrees to indemnify and hold Lessor and all other persons or entities having facilities located at the Site harmless from all costs of any damage done to Lessor's or other persons facilities or equipment located at the Building that may occur as a result of the installation, operation, maintenance, or removal of the Antenna Equipment.
12. **Assumption of Risks.** Lessee covenants and agrees that the installation, operation and removal of the Antenna will be at its sole risk. Lessor shall not be liable to Lessee for any loss, damage or expense arising from any damage to the Antenna Equipment that may be occasioned by, through, or in connection with any acts or omissions of Lessor, Lessor's agents or employees. Lessee hereby assumes the risk of the inability to operate Lessee's Antenna Equipment as a result of any structural or power failure at the Building or failure of Lessee's Antenna Equipment for any reason whatsoever and agrees to indemnify and hold Lessor harmless from all damages and costs of defending any claim or suit for damages of any kind including business interruption (and reasonable attorney's fees) asserted against Lessor by reason of such failure.
13. **Waiver of Subrogation.** Lessor and Lessee hereby release the other and their respective officers and employees from any claims or portion of claims covered by their respective property insurance policies of the applicable insurance coverage which either party may have against the other and their respective officers and employees for loss or damage to the building and improvements in which the Site is situated, or to the contents thereof,

and any personal property stored or placed therein by either party, caused by any of the perils enumerated in the fire and extended coverage insurance policies covering the building and improvements in which the Site is located whether such loss or damage was caused by the negligence of either of them or their respective officers or employees. Lessee agrees to maintain fire and extended coverage insurance covering its equipment to be placed on the Site pursuant to this agreement on a replacement cost basis. Lessor and Lessee each agree to take any necessary action to make this release effective and binding upon their respective insurance carriers so that such carrier might otherwise have against either of the parties hereto, to their respective officers and against either of the parties hereto, or their respective officers and employees.

14. **Governing Law** This Lease Agreement shall be governed in all respects by the laws of the State of Florida.
15. **Quiet Enjoyment.** Lessor covenants with Lessee that Lessee, having performed its covenants and agreements herein set forth, shall have quiet and peaceable possession of the Leased Premises on the terms and conditions herein provided.
16. **Entire Agreement.** This Lease Agreement constitutes the entire agreement between the parties hereto.

IN WITNESS WHEREOF, this instrument has been executed in multiple counterparts by the parties on this _____ day of _____, 2008

LESSOR:

[ENTER NAME OF LANDLORD]

Witness as to Lessor

Witness as to Lessor

By

LESSEE.

City of Hollywood, a municipal corporation
of the State of Florida

Attest:

Patricia A. Cerny, MMC City Clerk

Aproved as to form & legality for the use
and reliance of the City of Hollywood, Florida
only

Jeffrey P. Sheffel, City Attorney

By _____
Cameron D. Benson, City Manager or
his designee, Director of Information
Technology