

APPLICATION DATE: 9-16-24

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
 Planning and Development Board Historic Preservation Board Special Exception
 City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: 2609 N 26th AVENUE, Hollywood FL 33020

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 5142 04 12 0590 AND 5142 04 12 0594

Zoning Classification: Oakwood Plaza PD Land Use Classification: OAKWOOD ACTIVITY CENTER

Existing Property Use: VACANT Sq Ft/Number of Units: 280 UNITS

Is the request the result of a violation notice? Yes No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 20-L-32, 23-Z-57 AND 24-DP-31b

DEVELOPMENT PROPOSAL

Explanation of Request: PROPOSED MULTIFAMILY PROJECT WITH 280 UNITS

Phased Project: Yes No Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: 280 #Rooms <input type="text"/>
Proposed Non-Residential Uses	<input type="text"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text"/> (Area: <input type="text"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text"/>)
Height (# of stories)	(# STORIES) <input type="text"/> (<input type="text"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<input type="text"/> S.F.) FT.)

Name of Current Property Owner: Oakwood Plaza LP & Oakwood Business Center L P

Address of Property Owner: 1 Oakwood Blvd., Ste 70, Hollywood, FL 33023

Telephone: (954) 598-1450 Email Address: breynolds@kimcorealty.com

Applicant Greg Wilfong, Kimley-Horn Consultant Representative Tenant

Address: 445 24th St., Ste 200, Vero Beach, FL 32960 Telephone: 772-794-4119

Email Address: greg.wilfong@kimley-horn.com

Email Address #2: _____

Date of Purchase: 1993 Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: *Brandon Reynolds* Date: 9-9-24

PRINT NAME: Brandon Reynolds, Authorized Agent Date: _____

Signature of Consultant/Representative: *Greg Wilfong* Date: 9-9-24

PRINT NAME: Greg Wilfong Date: 9-9-24

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for this retail shopping center Oakwood Plaza to my property, which is hereby made by me or I am hereby authorizing Kimley-Horn and Greenspoon Marder to be my legal representative before the TAC and PBD (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 9 day of September 2024

Rose Osborne
 Notary Public
 State of Florida



Brandon Reynolds

Signature of Current Owner

Brandon Reynolds, Authorized Agent

Print Name

My Commission Expires 10-4-2027 (Check One) Personally known to me, OR Produced Identification _____

September 15, 2024
147507129

The City of Hollywood
Department of Development Services
Engineering, Transportation and Mobility Division
Planning and Urban Design Division
2600 Hollywood Blvd., Room 315
Hollywood, FL 33020-4807
954-921-3471

RE: *Request for Additional Information*
Project: Oakwood Plaza East, 2608 26th Avenue
Subject: Pre-TAC
TAC File: 24-DP-31B
Proposed Multifamily Project with 283 Rooms

Kimley-Horn and Associates, Inc. (Kimley-Horn) is in receipt of the review comments, dated July 9, 2024, for the Oakwood Plaza East project. The staff comments are shown below, followed by our responses.

1. Provide a plat determination letter from the Broward County Planning Council.

Response: A plat determination has been provided from prior LUPA application.

2. The ALTA survey is not signed and sealed. Provide a signed and sealed ALTA survey.

Response: The ALTA survey is signed on the first sheet see plans.

3. The architectural plans are not signed and sealed. Please provide signed and sealed architectural plans.

Response: Signed and sealed Architectural plans to be provided.

4. The O&E report is not signed. Please provide a signed report.

Response: The O&E Report is not required to be signed see updated O&E report.

5. Add the full width of all Right-of-Ways and the dimension from the centerline to the property line on the survey and on the site plan.

Response: The existing right of way is shown on the Site Plan Sheet C-200. Since the roadway is an easement there is no centerline

6. Please list all variances being requested on the cover sheet and clearly call them out on the plan (i.e. setbacks to walkways, curb cuts etc.), as applicable.

Response: There is no requested variances.

7. Provide a signed and sealed Paving, Grading, and Drainage Plan (PGD).

Response: The plans are digitally signed and sealed.

8. For the parking garage, fully dimension all parking stalls (depth for all stalls) and drive aisles/ramps on plans. Including the vehicle turn around stalls (standard parking stall requirements of 8.5'x19' applied), pedestrian areas, and non-vehicular areas. A typical length dimension may be used for each group of parking; however, the width of each parking space is required in the garage. The width should be the clear width of the parking space (i.e. face of column to face of column and show the striping on each side of the column).

Response: Please refer to the architectural plan sheets for provided dimensions indicating the clear width of the parking spaces in garage.

9. For the parking garage, for parking stalls with obstruction on one side, minimum stall width shall be 9.5' and 10.5' with obstruction on both sides. Please revise the design as required.

Response: Please refer to architectural plan sheets for revised garage.

10. For the parking garage, a 3-foot column setback is required from the edge of the parking space to the face of the column. Please show all columns and dimension the setback at each column as applicable.

Response: Please refer to plans for provided dimensions for the parking garage.

11. Label all walls inside the parking garage. Include a legend and hatching to clarify proposed columns, walls, nonvehicular use areas, etc.

Response: Please refer to architectural plan sheets for provided legend, hatching and labeled walls for clarification.

12. Number the parking spaces in consecutive order so that the total number of parking spaces is consistent with the total number indicated in the parking table.

Response: Please refer to the architectural plans for provided parking spaces consecutively numbered.

13. On Level 5 on Sheet A-2.6, there is an arrow pointing to the right then a double line. Clarify if the double lines represent a wall. Provide a turnaround space.

Response: Sheet A-2.6 is reflecting the parking level below. Refer to sheet A-2.5, which is the last parking level, for requested information. The double lines represent the wall where the parking level end, and the arrow pointing to the right is indicating the ramp below on level 4.

14. Label the setback dimensions with 'setback' on the site plan.

Response: The setback dimensions are shown on the Site Plan Sheet C-200 on the plan and in a table.

15. Fully dimension the items within the ROW on the site plan and PGD (i.e. centerline to new property line, full width of the ROW, new sidewalk, swale, etc.).

Response: The right of way dimensions for the private driveway is labeled there is no centerline see Sheet C-200.

16. Fully dimension the site plan including room interiors.

Response: The First Floor Plan shows all the room interiors, the background is shown on the Site Plan Sheet C-200.

17. Label all rooms on the site plan.

Response: The architectural plan label all the rooms, the Site Plan shows the background of only level one, see Sheet C-200.

18. Number the stairs throughout the architectural plans and civil plan sheets.

Response: Please refer to the architectural plans for numbered stairs.

19. Label and dimension the access drive.

Response: The access driveways are labeled on the Site Plan Sheet C-200 and First Floor plan.

20. The structure of the building is located inside the existing access easements. Please clarify.

Response: There is an existing easement plan sheet C-150 that shows in color all the easements. The easements allow for portions of the building and improvements to be within the easement see plans.

21. Show all existing and proposed easements on the site plan.

Response: The easements are shown on the Site Plan Sheet C-200 but are also shown on the Existing Easement Plan Sheet C-150 in color which demonstrates it better.

22. A signed and sealed sketch and legal description for new easements are required at the time of building permitting. Executed easements are also required at that time.

Response: Acknowledged

23. There is a top of bank delineation line located inside what appears to be the building delineation on the site plan. Please address this issue. Show all proposed improvements on the site plan and PGD plan.

Response: The top of bank is shown on the Paving Grading and Drainage Plans Sheet C-300-C-302. We are proposing a sheet pile wall and new sidewalk with limited filling.

24. Provide an elevation for the dock and reference what sheet it may be located on the site plan.

Response: The elevation of the dock is shown on the Paving Grading and Drainage Plan sheets C-300 thru C-302

25. There are doors from the vault room opening directly to the access drive. Provide a distance from the building to the back of curb and provide a pathway to the sidewalk for safe access to the vault room and leaving the vault room. Similarly with the trash room.

Response: Please refer to sheet A-2.1 for provided pathway to the sidewalk for safe access to the vault room.

26. Dimension the 36-inch clear space on the sidewalk(s) from the edge of the doorways to the back of curb.

Response: Please refer to sheet A-2.1 for provided dimension.

27. Provide details (i.e. curb cuts, concrete pads, etc.) for the 'loading / staging area/ pick up area) as shown on EX-1. It is shown in the access drive. Provide a designated space outside of the access drive.

Response: Please refer to A-2.1 & Ex-1 for provided designated space for loading, staging area.

28. The narrative indicates that loading shall be visually screened from public view; however, this it is shown outside of the building. Please clarify.

Response: Please refer to sheet A-2.1 for revised plan providing loading spaces inside the building next to the trash staging area.

29. The site legend has general callouts. Please label improvements on the site plan such as existing or proposed and clarify if the existing easements are to remain or be abandoned and label the new easements. This includes a UE for the meters as applicable per the Utility Department.

Response: The existing easements are shown on Sheet C-150, new meters will have easements if required.

30. Dimension and label the new sidewalk along with project property line.

Response: The Site Plan Sheet C-200 shows all dimensions.

31. Provide cross sections at the four sides of the property line showing how the proposed improvements connect to the existing conditions.

Response: See Paving Grading and Drainage Plans Sheets C-300 thru C-302 for cross sections.

32. Show and label bicycle rack locations and provide details. Include concrete slabs as applicable.

Response: The owner does not wish to install bike racks they are optional in the PD Guidelines.

33. Confirm if there is a trash chute and label on the plans as applicable.

Response: Correct there is a labeled trash chute located on every level. Please refer to architectural plans.

34. An exhibit with the refuse truck was provided, EX-1. Please include the vehicle routing of the truck.

Response: Please refer to EX-1 for routing of the truck.

35. Show the adjacent La Qunita Inn existing driveway connection since the refuse truck will utilize the access connection.

Response: The survey has been updated to show the adjacent property see ALTA survey and revised plans.

36. Clarify where the metal awning is located with respect to the site plan. Confirm that the elevations are project specific. Indicate the direction of the elevations (i.e. N, S, E, W).

Response: Please refer to the sheet A-3.1 West Elevation and A-3.2 North Elevation for clarification.

37. All driveway access shall have visibility triangles at the intersection of the property line and the driveway. Please show on plans all visibility triangles at all driveway accesses. A visibility triangle is an area adjacent to a driveway and the private property line where the driveway intersects a street/alley. If the property line is less than 12 feet from the edge of pavement in the rights-of-way provide a 12'X12' visibility triangle along the property line and driveway within the private property. If the distance is greater than 12 feet provide a 12' (along driveway on private property) X 6' (along property line) visibility triangle. All fences, walls, bushes, hedges, and any other landscaping or plant material, within the view triangle shall provide unobstructed cross visibility at a level between 30 inches and 72 inches above ground level. Be sure to include the dimension from the edge of pavement to the property line on the site plan.

Response: The driveway triangles have been added to the plans.

38. Indicate if there will be any fence or security gate at the driveway. If so, please indicate the type of gate and how it operates (remote, sensor, card reader, etc.). Be sure to provide space required for gate's operation and provide sufficient vehicle queueing. All vehicle queueing shall be within private property (8.5'x19' minimum). Show and label the queueing space, as applicable

Response: Please refer to sheet A-2.1 indicating the gate located at the beginning of the ramp leading to level 2. The gate will be operated with sensor for resident.

39. Label the vertical clearance at the entrances.

Response: Please refer to elevations sheets for labeled entrances.

40. Please identify the apron radius flares. Flares are to be on both sides of the apron, semicircular in shape and a minimum of 3 feet wide.

Response: See updated site plan sheet C-200.

41. Label radii at the entrances and around the landscape islands.

Response: See updated site plan Sheet C-200.

42. Dimension the curb cuts at the property line.

Response: The curb cuts are on a private driveway.

43. There is an 8-foot dimension for one of the landscape islands in the ROW and appears to include the curb. Please dimension the interior of the landscape island excluding the curb.

Response: The dimensions of the planter has been included.

44. Show and label all turning radii entering the garage, access drive, connection to La Quinta Inn and throughout the parking garage at each level.

Response: The Site Plan shows the radius of the curbs, the parking garage is only using striping.

45. Dimension the fire lane striping and the remaining portion of the North lane on N. 26th Avenue. The clear width of a drive lane shall be a minimum of 12-feet wide.

Response: The Fire Lane has been adjusted to maintain 12' minimum width along N 26th Avenue.

46. Clarify the need for the striping in the ROW around the landscape islands. If this to meet turning radii, the provide the truck routings.

Response: See updated Site Plan Sheet C-200.

47. Provide the required and provided ADA parking spaces on C-200.

Response: The required ADA parking spaces are shown on the Site Plan Sheet C-200 and Floor Plan Sheet.

48. Show, label, and dimension the loading space(s). Add the information to the parking table along with guest, EV, bicycle, etc. spaces, as applicable.

Response: Please refer to sheet A-2.1 for provided information.

49. Show and callout all proposed curb offsite and onsite, including inside the parking garage. Identify any areas where a 3-foot nose down curb is applicable and call out the beginning and end of the transition and provide a detail (i.e. at the sidewalk connection South of the project in the ROW).

Response: See updated site plan sheet C-200 and Floor Plan Sheet.

50. Show detectable warning strips on the site and civil plans. Include the standard FDOT detectable warning strip detail in the civil plan set. There does not appear to be a detectable warning strip at the NW corner of Oakwood Blvd and N. 26th Avenue, please include a detectable warning strip at that location.

Response: See updated site plan sheet C-200.

51. Provide ADA accessible routes between ADA accessible parking and building access and accessible route to the public rights-of-way. Please add a note on the site plan and the Paving, Grading, and Drainage (PGD) Plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference in elevation, then the transition is considered flush and shall be labeled as such on the site plan and PGD plan. Show the accessible routes on site plan and PGD.

Response: This note has been added to the Paving Grading and Drainage Plans Sheets C-300 thru C-302.

52. Please identify the location of the ADA signage, please consider wall mounting the signage to not encroach into the clear space of the parking stall. The signage symbols shall be shown on the civil plans and shown and called out on the site plan and pavement marking and signage plans.

Response: See updated site plan sheet C-200 and Floor Plan Sheet.

53. Provide a legend and hatching for all materials on the site plan to be consistent with the PGD plan. Separate the full pavement restoration hatch from the milling and resurfacing.

Response: See Striping and Signage Plan and Pavement Delineation Plans in plan set.

54. Please clearly identify material for the parking lot, the driveway, and the driveway apron.

Response: See Pavement Delineation Plan Sheet C-206.

55. Include the information below as applicable to the project on the PDG Plan for the walkways, drive aisles and vehicular parking areas. Ensure the material requirements align with City of Hollywood Code:

a. Concrete:

Concrete driveways on private property will be 5-inch thick, 3,000 PSI with fiber mesh while the portion of the driveway located with psi, with no metal or fiber mesh and will be constructed flush with the existing roadway and sidewalk. The entire driveway will maintain control joints located every 250 sq.ft and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

b. Pavers:

Paver driveways require a minimum 2 3/8th inch pavers placed over a 1-1/2 inch sand base and compacted subbase. In addition to a Minimum 6-inch edge restraint (concrete border) is required around perimeter to interlock pavers. The driveway is to be constructed flush with the existing roadway and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

c. Asphalt:

Asphalt driveway is required to be a minimum 6-inch limerock base, tack coat, and 1-inch layer of S-III asphalt. The driveway is to be constructed flush with the existing roadway and the existing asphalt in the City ROW will be sawcut for a clean straight edge in the ROW (Outside of the property lines) will be a minimum of 6 inches thick, 3,000

Response: This note has been added to the Paving Grading and Drainage Plans Sheets C-300 thru C-302.

56. Provide civil plans for the proposed work indicating items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking, and signage plans and details. Show location of existing water and sewer mains on plans and show how you are planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width pavement mill and resurface is required for adjacent road to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set.

Response: See revised Civil Plans for the information.

57. All roads and alleys adjacent to the property are to be milled and resurfaced. Add a note on the Site plan and PGD plan, provide hatching to show limits and add dimensions from the property line to show the extent(s).

Response: See Pavement Delineation Plan Sheet C-206.

58. Please provide a pavement marking plan for both on and off-site and for each. These pavement markings are to comply with the City of Hollywood Standard Details in addition to the Broward

County Traffic Engineering Division Standard details. Please provide any applicable details in the plan set. Ensure pavement markings across plan sets are identical.

Response: See Pavement Marking and Signage Plan Sheet C-205.

59. Pavement marking and signage plans shall be provided for all levels of the parking garage.

Response: Please refer to Architectural plans for provided pavement marking and signage of the parking garage.

60. A civil plan showing all offsite improvements is required.

Response: The plans show all offsite improvements along Private Driveway.

61. Identify the ADA striping on the site and civil plans per the city's Accessible Parking Space Details (i.e. show ADA symbols in the correct direction, striping, etc.).

Response: See updated site plan sheet C-200 and Floor Plan Sheet.

62. Please include the latest standard City of Hollywood details in the plan set. Applicant is using old standards. <https://www.hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan> include all applicable details.

Response: See updated detail sheets provided.

63. BCTED approval will be required for all pavement markings being restored in the ROW. Please provide a plan showing the proposed pavement markings to be restored.

Response: N 26th Avenue Striping and Private Driveway are within City of Hollywood we are not certain this is required.

64. Traffic impact analysis is required, coordinate with Rick Mitinger, Transportation Engineer, 954-921-3900 or rmitinger@hollywoodfl.org and begin process to development an analysis methodology. Traffic analysis should include site access locations, trips generated by the project and all committed trips of future projects, trip distribution and impact to the roadway network. Provide a review of existing and future multimodal transportation impacts and needs. Include a review of existing and future transportation related improvements and amenities such as street and pedestrian lighting, bus shelter, bike facility and/or sidewalks. Traffic study reviews are done on a cost recovery basis by a City's traffic engineering consultant.

CONSULTANT COST RECOVERY FEE TABLE

Traffic Transportation Related Cost Recovery Fees Table			
a) Administrative Processing Fee: 5% of Initial Deposit			
b) Initial Deposit and Minimum Balance:			
Project Size	Initial Deposit	Minimum Account Balance	Administrative Fee
Less than 10 Acres	\$5,000	\$1,000	\$250
10 Acres to Less than 30 Acres	\$8,000	\$1,600	\$400
30 Acres & Over	\$12,000	\$2,400	\$600

*Resolution R-2015-209.

A minimum payment of \$5,250 can be made to begin the review upon receipt of the study. Payments can be made online via link at <https://apps.hollywoodfl.org/PaymentCenter/EngineeringPayment.aspx>.

Here is information to be inputted when an online payment is made.

Application Type = Others

Permit # = Site Address

Notes = Traffic Review Cost Recovery Fee

Payments to the Engineering, Transportation & Mobility Division

Questions about payments for Engineering, Transportation & Mobility services? Please call Customer Service at (954) 921-3900 for assistance.

On this page, you can make a one time credit card payment for Engineering, Transportation & Mobility services.

Payment Amount

Amount \$

Payment Details

Application Type --- Select One --- v

Permit #

Notes

Response: The traffic study is included.

65. For utilities work within City rights-of-way, ROW permit will be required at the time of permit.

Response: Acknowledged.

66. MOT plans required at the time of City Building Permit review.

Response: Acknowledged.

67. All outside agency permits are required at the time of City building permit review.

Response: Acknowledged.

68. This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.

Response: Acknowledged.

69. Additional comments may follow upon review of the requested information.

Response: Acknowledged.

Should you have any additional questions please do not hesitate to contact me at (772) 794-4119 or greg.wilfong@kimley-horn.com.

Sincerely,



Greg Wilfong, P.E.
Project Manager

September 16, 2024
147507129

The City of Hollywood
Development Services Planning Division
2600 Hollywood Blvd., Room 315
Hollywood, FL 33020-4807
954-921-3471

RE: *Request for Additional Information*
Project: Phase 2 Oakwood Plaza
Subject: Preliminary Site Plan Review for an 8-story, 282-unit Residential Apartment Building with an Internalized Parking Structure
File Number: 24-DP-31B

Kimley-Horn and Associates, Inc. (Kimley-Horn) is in receipt of the review comments, dated July 15, 2024, for the Phase 2 Oakwood Plaza project. The staff comments are shown below, followed by our responses.

APPLICATION SUBMITTAL

Cameron Palmer, Principal Planner (cpalmer@hollywoodfl.org) 954-921-3471

1. Application Form:
 - a. On the Application, provide proposed GROSS FLOOR AREA
 - b. Ensure an updated application form is submitted with the FTAC submission

Response: The application has been updated and included in the submittal package.

2. Ownership & Encumbrance Report (O&E):
 - a. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.
 - b. Ensure O&E addresses the requirements on the TAC submittal checklist: <http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>

Response: Acknowledged.

3. Alta Survey:
 - a. ALTA Survey must reference the submitted O&E report.
 - b. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.

Response: The survey has been updated to show the current O&E Report. We have included an Easement Plan to show existing easements and information about them.

4. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

Response: The cover sheet has been updated see Sheet C-000.

5. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

- North Central Hollywood Civic Association
- Oakwood Hills Homeowners Association
- Liberia Homeowners Association

Response: We are planning on having the meeting soon, prior to Planning Development Board as required.

6. Pursuant to Ordinance 2023-09, at the time of submittal of the first site plan application for the first phase of development on the Subject Property, and with each site plan application submittal for subsequent phases of development, the Applicant shall submit an updated Master Development Plan for all land within the Planned Development District. The updated **Master Development Plan** shall address: all requirements for Master Development Plans as enumerated in Section 4.15. F .3 of the City of Hollywood Zoning and Land Development Regulations.
 - a. Certified boundary survey; **PROVIDED**
 - b. General schematic representation of the land uses with densities, intensities, along with a table of computation which depicts parking, building height and site coverage;
 - c. Approximate delineation of internal circulation, with hierarchical classification of streets; **PARTIALLY PROVIDED**
 - d. Points of connection of the local streets to the trafficways, including general indication of the necessary improvements to the trafficways to accommodate the local trips generated by the Planned Development; **NOT PROVIDED**
 - e. General location and size of any community facility included within the Planned Development such as parks, schools, fire stations, community center, etc.; **NOT APPLICABLE**
 - f. Indication of existing vegetation and all other natural features within the Planned Development together with general plans for the conservation or mitigation thereof; **NOT PROVIDED**
 - g. Schematic depiction of existing and proposed surface water management elements, including wetlands, retention facilities, drainage easement and swales; and **NOT PROVIDED**
 - h. Schematic depiction of the water distribution and wastewater collection facilities and drainage system, including easements. **NOT PROVIDED**

Response: Based on our meeting we updated the Master Development Plan to include the maximum density amounts for all the phases and development information for phase 1 and 2.

The Master Development Plan Package will contain the following items from the current plan set:

- **Master Development Plan with the Maximum Density Table added and Phase 1 and Phase 2 project information.**
 - **Survey for current project**
 - **Site Plan for current project**
 - **Grading and Drainage Plans for current project**
 - **Utility Plan for current project**
7. Pursuant to Ordinance 2023-09, At the time of submittal of the first site plan application for the first phase of development, the Applicant shall submit legal documents to constitute evidence of the unified control of the entire area within the proposed Planned Development, which shall be reviewed and certified by the City Attorney and Director of Development Services.

Response: The documentation will be provided as required.

8. Pursuant to Ordinance 2023-09, submit the **Phasing Plan** with each submission in the PD. Please provide rationale in the **Planning Rationale Report** on how the proposed submission will achieve the overarching vision of the Activity Center. Coordination with other concurrent application request for the PD is strongly encouraged, and adequate coordination information will be required in the Planning Rationale Report.

Response: The Planning Rationale has been updated adding more information about the project phasing see updated report.

9. The Master Plan document speaks to **PD Entertainment District** (pg. 34) and the location of public spaces therein, please identify the intended location of this district on the revised Master Plan submission (pursuant to the Ordinance, an updated Master Plan must be submitted with each phase of development). Ensure the proposed development does not have negative effects on the other anticipated districts of the PD.

Response: The planning rationale report has been updated; we are not proposing an entertainment district for this project.

10. Provide density and square footage tracking sheet (format to be provided by Planning staff) as required by Broward County for development applications within Activity Centers.

Response: The documentation will be provided as required.

11. Additional comments may be forthcoming.

Response: Acknowledged.

12. Provide written responses to all comments with next submittal.

Response: Acknowledged.

ANTICIPATED CONDITIONS OF APPROVAL

13. Pursuant to Section 4.15(E) The City shall be allowed access on privately owned roads, easements and common open space to ensure the police and fire protection of the area, to meet emergency needs, to conduct City services and to generally insure the health, safety and welfare of the residents of the Planned Development. Final Site Plan approval will include this provision as a condition to approval.

Response: Acknowledged.

14. Due to the nature of PD and its improvements (private), a maintenance and responsible party agreement shall be provided with each respective Site Plan. Please provide the required agreement with the FTAC submission.

Response: An agreement will be submitted shortly.

15. The Oakwood Plaza will be maintained up to the minimum standards, included within a declaration of covenants restrictions and easements as administered by the Master Developer.

Response: Acknowledged.

16. Master Developer approval is required to be submitted prior to the submittal of the building permit submittal.

Response: The applicant is the Master Developer so no additional approval is required.

17. Any permit, building or similar, submitted by a third-party applicant requires approval in writing by the PD Master Developer prior to submittal to the City of Hollywood.

Response: Acknowledged.

ZONING

Cameron Palmer, Principal Planner (cpalmer@hollywoodfl.org) 954-921-3471

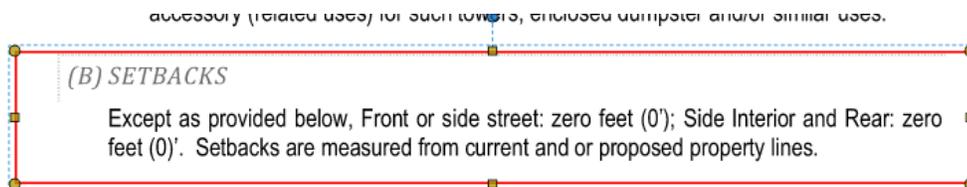
- 1. Setbacks. Ordinance 2023-09 does not provide a waiver or reduction to the stipulated setback requirements of Section 4.15 within the PD district:
 - a. Internal streets. There shall be a setback of not less than 25 feet in depth abutting all public road rights-of-way within a Planned Development District.
 - b. External streets. There shall be a peripheral landscaped setback from all external streets of the Planned Development of not less than 25 feet in depth.

The Ordinance includes the following condition:

“3. At the time submittal of the first site plan application for the first phase of development on the Subject Property, and with each site plan application submittal for subsequent phases of development, the Applicant shall submit documentation demonstrating each phase of development's compliance with all requirements of Section 4.15 "PD Planned Development District" of the City of Hollywood Zoning and Land Development Regulations.”

Planning Staff is conferring with the City's Attorney Office to further discuss the interpretation of the above.

Response: The setbacks zero feet (0') per the PD see below snap shot.



(1) Except where required to meet applicable Fire Codes and/or utility and drainage easements, no building setback is required from internal property/lot lines, and/or other structures within the PD. Setbacks shall be measured from the face of curb to the face of the building. This standard shall apply to all parcels, lots or similar including corner lots, multiple frontage lots and through lots.

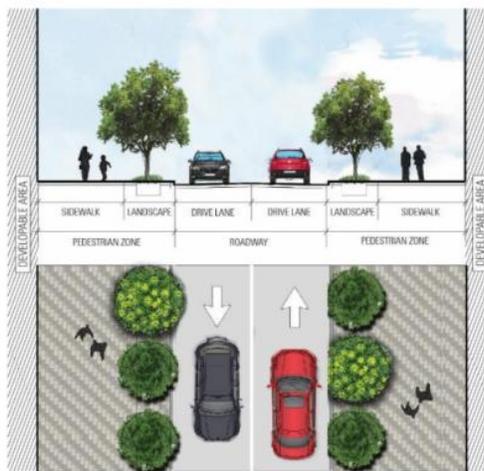
We also showed a comparison at the back of the Oakwood Plaza PD Guidelines in Appendix A see page 52 of the pdf and snap shot below.

Oakwood Development Code Comparison for 4.15	
City of Hollywood Zoning Code Section 4.15	Oakwood Plaza PD Development Standards
<p>3 Minimum lot area, distance between structures, frontage and setbacks.</p> <p>a. No minimum lot size shall be required within a Planned Development.</p> <p>b. No minimum distance between structures shall be required within a Planned Development, except as required by the Florida Building Code. The appropriate distance between structures shall be evaluated on an individual development basis by the City Commission, upon recommendation of the Planning and Development Board, after considering the type and character of the building types within a development.</p> <p>c. Each dwelling unit or other permitted use shall have access to a public street, either directly or indirectly, via an approach, private road, pedestrian way, court or other area dedicated to public or private use of a common easement guaranteeing access. Permitted uses are not required to front on a dedicated road. The City shall be allowed access on privately owned roads, easements and common open space to insure the police and fire protection of the area, to meet emergency needs, to conduct City services and to generally insure the health, safety and welfare of the residents of the Planned Development.</p> <p>d. There are no required setbacks or yards except for the following:</p> <ol style="list-style-type: none"> 1. Internal streets. There shall be a setback of not less than 25 feet in depth abutting all public road rights-of-way within a Planned Development District. 2. External streets. There shall be a peripheral landscaped setback from all external streets of the Planned Development of not less than 25 feet in depth. 	<p>a. No minimum lot size is required</p> <p>b. Building separation shall meet the applicable Florida Building Code for requirements for separation and the adopted BAC.</p> <p>c. The site connects to Stirling Road, N 26th Avenue, and Sheridan Street through the privately owned Oakwood Blvd. All future development will indirectly connect to the public street network through privately owned streets. The City will be allowed access to the property to provide life safety services and conduct required City services to insure the health, safety, and welfare of the residents and visitors of the development.</p> <p>(1) Lot Size Standards (acreage/sq.ft.): No minimum lot size is required.</p> <p>(2) Lot Width/Depth: No minimum lot width and/or depth is required.</p> <p>(3) The maximum lot (building) coverage shall be 90 percent.</p> <p>(4) This standard shall not be applied to lease areas which tend to reflect the building pad site only and not the full lot in which the building may be located.</p> <p>(5) The maximum impervious coverage shall be 90 percent.</p> <p>Front or side street: 0' Side Interior and Rear: 0'</p> <p>2. Buffers and setbacks shall be identified on the Site Plans. Buffers and setbacks shall be measured from the external PD property line or at the right-of-way line.</p> <p>4. Buildings are not required to be relocated if the setback is reduced due to future right-of-way dedication(s) after the building has been constructed.</p>
<p>4 Maximum height of structures. No maximum height of structures shall be required within a</p>	<p>Building Height: Maximum: 30 stories/300'; this provides flexibility considering the different uses proposed and the</p>

The ordinance is 2022-04?

2. Pursuant to Section 7.1, back-out parking is not permitted directly into a street or alley. Pursuant to the ZLDRs Section 4.15, unless expressly provided in the PD Master Plan document parking and loading standards shall adhere to the standards provided in Article 7 of the ZLDRs.

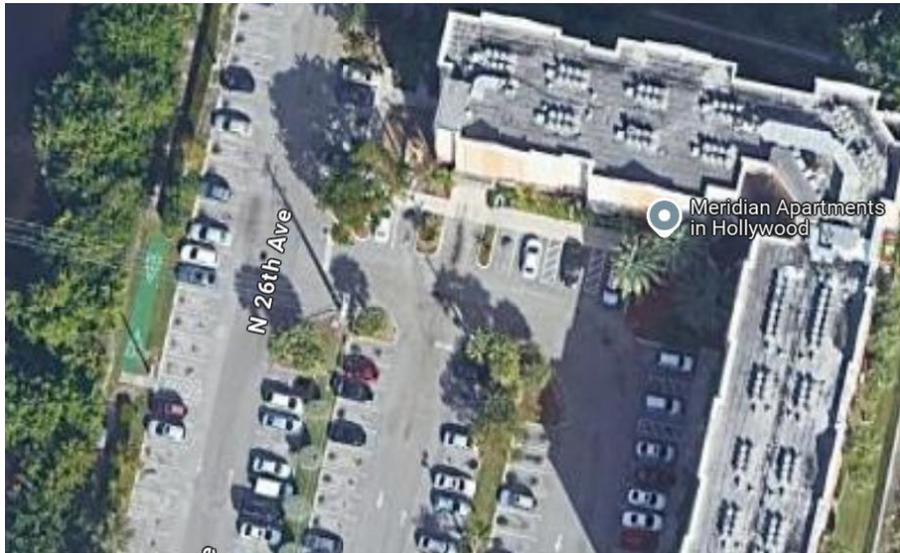
Response: The private roadway along our frontage is a Minor Roadway. Based on the Oakwood Plaza PD Guidelines page 30. There is also perpendicular parking further north on this same road see picture below.



MINOR STREET SECTION

Standard for Minor Roadways:

- i. The Minor roadways shall consist of the following:
 - a. Drive lane shall be a minimum of eleven feet (11') wide. If separated by medians or traffic separators, fifteen feet (15') clear drive aisles are required for fire truck access.
 - b. One-way drives shall be fifteen feet (15') wide
 - c. Bike lane is not required
 - d. Street parking is allowed, and can be parallel, angled, or perpendicular
- ii. A pedestrian zone may be provided between the travel lanes and the building



- 3. Pursuant to Article 7, 1 EV charging station is required as it is not expressly exempted in the PD Master Plan.

Response: There are no proposed electric vehicles stalls, please see revised plans. Based on the new senate bill, SB 1084, which has been adopted EV stalls are not required according to this. Please see below snapshot and copy of SB 1084.

ENROLLED
2024 Legislature

CS for CS for SB 1084, 1st Engrossed

20241084er

204 366.94 Electric vehicle charging stations.—
 205 (2) The regulation of electric vehicle charging stations is
 206 preempted to the state.
 207 (a) A local governmental entity may not enact or enforce an
 208 ordinance or regulation related to electric vehicle charging
 209 stations.
 210 (b) The Department of Agriculture and Consumer Services
 211 shall adopt rules to provide ~~definitions, methods of sale,~~
 212 ~~labeling requirements, and price posting~~ requirements for
 213 electric vehicle charging stations to allow for consistency for
 214 consumers and the industry.

4. Please demonstrate compliance with the VUA landscaping standards of 8% (exclusive of perimeter buffers) pursuant to page 19 of the PD Master Plan. Please use a shaded diagram to denote areas included in VUA calculation.

Response: The parking garage is not required to meet the VUA landscaping requirements based on the Oakwood Plaza PD Guidelines see Page 39 below

forty feet (40) on center (max) spacing at road edges, planted in a min 4 x4 tree grate, tree planter or as part of a landscaped strip at the road edge.

- (4) Landscaping within non-buffer areas shall be consistent with the following:
 1. Parking structures and garages shall be exempt from landscaping requirements
 2. An area, or combination of areas equal to 8% of the total vehicular use area (VUA), exclusive of perimeter buffers, is required to be devoted to interior VUA landscaping. This standard shall be applied on the overall PD. and is not required for each block, parcel, or individual development. Furthermore, the VUA standard only applies to surface parking and or driveways serving such areas; no VUA is required for parking garages or similar.
 3. Required landscape for non-buffer landscape areas, inclusive of interior VUA landscaping:

5. Article 9 provides, Required hedges or perimeter screening. Within the exterior perimeter buffer strips, a hedge, decorative fence or wall, berm, or other durable landscaped visual barrier, shall be installed at a height of not less than 24 inches. If such visual barrier is of nonliving material, its height, design, location and material of construction must be approved by the Department of Planning and Development Services and the equivalent of one shrub or vine shall be planted along each 10 linear feet of said barrier. When abutting a public street or alley right-of-way, said barrier, if of nonliving material, shall be installed at a distance of not less than 5 feet from adjacent right-of-way lines, and the required shrubs shall be planted between the barrier and adjacent public alley or street right-of-way. Minimum sizes required spacing and recommended species are set forth in the City of Hollywood Landscape Manual. All screening material installed must comply with § 155.12(D) of the City Code of Ordinances.

Response: See updated landscaping plans.

6. Site Plan:
 - a. Include a note on the site plan indicating that all changes to the design will require planning review and may be subject to Board approval.
 - b. Provide the square footage of the building in the Statistics Table.
 - c. Pursuant to the PD Master Plan, Parking overhangs are not permitted in structured parking areas.
 - d. Please provide number of bicycle parking or storage in the Statistics Table.
 - e. Pedestrian zone can include the following:
 - Light poles given that ADA compliance is provided and met.
 - Street trees, shrubs, and ground cover.

- Site furnishings, including but not limited to benches, tables, chairs, potted plants, and trash receptacles.
 - Interconnectivity, ramps, sidewalk connections, planters, etc.
- f. Landscaping is encouraged as a tool to enhance the pedestrian experience, beautification, delineation of access, features, architecture, and environmental enhancement.

Response: See updated Site Plan Sheet C-200 and First Floor Plan. We are not proposing bike racks at this time.

7. Demonstrate standards for MINOR ROADWAYS are satisfied with the proposed development, including:
- a. A pedestrian zone may be provided between the travel lanes and the building areas. The pedestrian zone, if utilized shall be at least ten feet (10') measured from the back of curb and shall consist of landscaped areas and sidewalk / pedestrian areas.
 - b. Pedestrian zone can include the following:
 - i. Light Poles given that ADA compliance is provided and met.
 - ii. Street trees, which may be in tree grates, planters and similar. Street tree, shrub, and ground cover quantities shall be consistent with Section 8.
 - iii. Site furnishings, including and not limited to, benches, tables, chairs, potted plants and trash receptacles
 - iv. Art installations, including sculptures
 - v. Water features
 - vi. Bicycle rentals and racks
 - vii. Interconnectivity, ramps, sidewalk connections, planters
 - viii. Canopies, trellis and fabric awnings that are cantilevered and provide a minimum nine feet (9') high clear
 - ix. Outdoor dining providing a clear zone
 - x. Kiosks (such as retail or other appropriate type)
 - xi. Totems

Response: We are proposing 5' wide sidewalk along our proposed frontage and around the rear and side a decorative fence. Within the amenity area we have a pool, site furnishings, lights and other private amenities see Hardscaping Plans and Details.

8. Demonstrate compliance with the additional criteria for roadway design as it pertains to Bike lanes, to be provided *within a striped area and/or pavement markings (sharrows) may be provided. Where provided, on-road bike lanes shall be a minimum of four feet (4') wide. Sharrows are intended for use on one-way drives or single drive aisles separated by medians. Lanes upon which a sharrow may be provided shall be a minimum of fifteen feet (15') wide and sharrows shall be marked on the pavement. Sharrows and bike lanes may be painted white or green.*

Response: Minor Roadways are not required to have a bike lane see Oakwood Plaza PD Guidelines page 30, a snap shot is provided below.



MINOR STREET SECTION

Standard for Minor Roadways:

- i. The Minor roadways shall consist of the following:
 - a. Drive lane shall be a minimum of eleven feet (11') wide. If separated by medians or traffic separators, fifteen feet (15') clear drive aisles are required for fire truck access.
 - b. One-way drives shall be fifteen feet (15') wide
 - c. Bike lane is not required
 - d. Street parking is allowed, and can be parallel, angled, or perpendicular

Standard for Minor Roadways:

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 - a. Drive lane shall be a minimum of eleven feet (11') wide. If separated by medians or traffic separators, fifteen feet (15') clear drive aisles are required for fire truck access.
 - b. One-way drives shall be fifteen feet (15') wide
 - c. ~~Bike lane is not required~~
 - d. Street parking is allowed, and can be parallel, angled, or perpendicular
- ii. A pedestrian zone may be provided between the travel lanes and the building

9. Work with the City's Landscape Architect to ensure that all landscape requirements are met. Please demonstrate compliance with all standards of Article 9, § 9.5.

Response: Acknowledged.

ARCHITECTURE AND URBAN DESIGN

Cameron Palmer, Principal Planner (cdiaz@hollywoodfl.org) 954-921-3471

1. Identify the elevations as North, South, East and West. Include a north arrow in the Key Plan for elevations.

Response: Please refer to Elevation sheets for updates and North arrow included.

2. Please indicate if blank garage walls are visible from any right of way, it is unclear from the elevations. All facades are to be architecturally treated. Blank walls are not permitted.

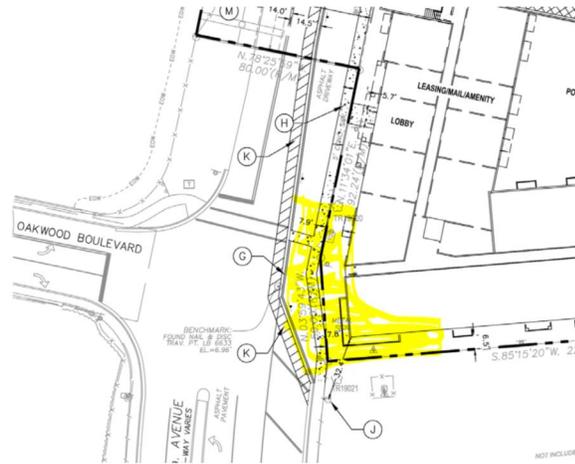
Demonstrate compliance with Section 7, subsection 11 (page 35 of PD Master Plan) provides:

(11) The design and outward appearance of parking facilities and structures (garages) shall incorporate design elements of the PD. Structured parking shall be considered a building and be held to the same requirements noted for buildings. Such uses must be screened landscape features, hardscape features including but not limited to pedestrian facilities, benches, signage, kiosks (retail or other), or similar. Parking structures /facades shall be screened by either liner buildings not to exceed two stories in height or through the use of building design/architectural features; such features shall not exceed 50 percent of the façade to allow for increased light and ventilation.

Response: Building facades are Architecturally treated. Please refer to sheet A-3.2 for the pedestrian sight line section showing "Blank walls" not visible to pedestrian.

3. The PD Master Plan document provides:
 - a. **Building facades shall be designed to continue the character established by the front or primary building facade. Buildings located at an internal roadway corner shall feature a distinct corner element.**
 - b. **Building facades shall include articulation of the building facade to reduce the overall mass of the walls. This articulation shall include:**
 1. **Façade projections and recesses that may be coordinated with changes in wall color or material**
 2. **Variation in overall building height**
 3. **Arcade/colonnade, Canopies or Balconies**

Please demonstrate compliance with the PD Master Plan building design requirements outlined above, specifically the distinct and elevated treatment of corner lots and corner elements. Staff does not note any distinct façade treatments for corners. Staff recommends setting back the development at the southern corner of the property to provide a pedestrian feature or gateway element with associated elevated landscaping and hardscaping elements. See highlighted area suggested below:



Please see precedent images (locations throughout Broward County) below:



Response: On the southern corner of the property, we added bollards, corner balcony with sign opportunity as distinct corner Element.

4. Pursuant to Section 22.0 of the PD Master Plan (pg19) Project entrances shall provide enhanced landscaping and design, please demonstrate compliance and consider coinciding the implementation of this requirement with the response to comment #4 of this section.

Response: We are showing enhancement see revised elevations and landscaping plans.

5. Demonstrate (through discussion and diagrams) how the architectural language of this proposal integrates within an overarching PD cohesive architectural design scheme. Provide discussion on how the proposal aligns with other development proposals in the PD in terms of consistency of materiality, architectural elements, color, and building articulations.

Response: The architecture for the proposed building harmoniously embraces the overall intent of the building and other structures part of the proposed building by its contemporary style and slide materials which are compatible to the surrounding areas.

6. Ensure that all plumbing, mechanical and electrical fixtures and equipment are indicated on Site Plan and Elevations.

Response: Please refer to sheet A-2.8 for roof equipment, and Elevation sheets for electrical/light fixtures.

7. The Master Plan provides that Sidewalks shall:

Pedestrian crossings will be highlighted by changes in material, finish treatment, and or elevation, including, but not limited to, stamped or colored concrete and pavers. Striping may also be used. In addition, appropriate pedestrian treatments, such as handicap ramps will be provided at all intersections and pedestrian crossings, where needed, to accommodate the mobility needs of patrons.

Please demonstrate compliance and provide discussion in the Planning Rationale Report.

Response: We are showing proposed sidewalks along N 26th Avenue and pedestrian striping see planning rationale report.

8. Please demonstrate compliance with PUBLIC SPACES section of the Master Plan document with regards to distinct corner or gateway treatments of lots along the periphery of the PD (such as the subject site) and provide discussion in the Planning Rationale Report. See precedent images below:



Response: Architecturally the corner is being embraced by creating an iconic corner with higher level materials and articulation including signage.

9. Please identify which Buffer type is being implemented as per Sec (8) Landscaping-Buffering of the PD Master Plan. demonstrate compliance with all applicable landscaping requirements and provide discussion in the Planning Rationale Report.

Response: Our project is fronted by a private driveway so no landscaping buffers are required.

10. The city's art in public places ordinances require new developments of 20,000 square feet or more to contribute art, payment, or a combination of payment and art prior to the issuing of building permits. Please choose one of the following commitments below:

- In-lieu Public Art Fee: 1% of the cost of the proposed development project, as an "in lieu" public art fee, with a minimum payment of \$5,000.00.
- Placement of Artwork on Site: Placement of Artwork on the site of the development project, with a minimum value of 1% of the cost of the proposed development project, which shall not be less than \$5,000.00.
- Combination of In-lieu Public Art Fee and Placement of Artwork on Site: Placement of Artwork on the site of the development project when valued and combined with a payment of a public art fee, totals 1% of the cost of the proposed development project, which shall not be less than \$5,000.00.

Response: Acknowledged, a payment will be made.

SIGNAGE

Cameron Palmer, Principal Planner (cpalmer@hollywoodfl.org) 954-921-3471

1. Provide the following note: "All signage shall be in compliance with the Oakwood Sign Regulations."

Response: A note has been included on the Site Plan Sheet C-200.

2. The types of signs permitted within Oakwood Plaza include, monument, pylon, and pedestal signs, blade signs and letters fixed directly to building walls, projecting and hanging signs, and neon and dynamic LED Digital Display signs for media uses; billboard and similar signage types as regulated by FDOT are also permitted. Digital signs oriented to FDOT right of way shall follow FDOT requirements.

Response: Acknowledged we will comply with the Oakwood Plaza PD Guidelines.

3. Please refer to Oakwood Sign Regulations.

Response: Acknowledged.

LIGHTING

Cameron Palmer, Principal Planner (cpalmer@hollywoodfl.org) 954-921-3471

1. Provide note on Site Plan: "Maximum foot candle level at all property lines maximum 0.5 if adjacent to residential".

Response: A note has been included on the Site Plan Sheet C-200.

GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Cameron Palmer, Principal Planner (cpalmer@hollywoodfl.org) 954-921-3471

1. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces.

Response: There are no proposed electric vehicles stalls, please see revised plans. Based on the new senate bill, SB 1084, which has been adopted EV stalls are not required according to this. Please see below snapshot and copy of SB 1084.

ENROLLED
2024 Legislature

CS for CS for SB 1084, 1st Engrossed

20241084er

204 366.94 Electric vehicle charging stations.-
205 (2) The regulation of electric vehicle charging stations is
206 preempted to the state.
207 (a) A local governmental entity may not enact or enforce an
208 ordinance or regulation related to electric vehicle charging
209 stations.
210 (b) The Department of Agriculture and Consumer Services
211 shall adopt rules to provide ~~definitions, methods of sale,~~
212 ~~labeling requirements, and price-posting~~ requirements for
213 electric vehicle charging stations to allow for consistency for
214 consumers and the industry.

2. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved and remove the list of Green Building Practices.

Response: Acknowledged.

ENGINEERING

Azita Behmardi, Deputy Director Development Services (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

1. See ATTACHMENT 1.

Response: Acknowledged.

LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3900

Clarissa Ip, City Engineer (cip@hollywoodfl.org) 954-921-3915

1. No landscape plans provided. Satellite images show existing trees/palms.

Response: See landscaping and hardscaping plans for this submittal.

2. Provide a Tree disposition plan and landscape plan on separate sheets by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate.

Response: See landscaping and hardscaping plans for this submittal.

3. According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual, Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criterion may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. Palms must be 8' CT min.

Response: See landscaping and hardscaping plans for this submittal.

4. Provide sight triangles on plans at intersection of driveway and property line – Sec. 155.12 (d).

Response: See landscaping and hardscaping plans for this submittal.

5. Native plant requirements; as per zoning regulations.

Response: See landscaping and hardscaping plans for this submittal.

6. Label all sides of property weather there are 'Existing Overhead Powerlines' or 'No Overhead Powerlines'. Provide FPL approved trees for planting under powerlines.

Response: These overhead powerlines are being undergrounded.

7. Add note: 'Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.'

Response: Acknowledged.

8. Above ground equipment: Where required for screening purposes, hedge shall be planted at equipment height for visual screening.

Response: Acknowledged.

9. Add note: All landscaping shall be warranted for 1 year after final inspection.

Response: Acknowledged.

10. Provide site requirements as per project zoning.

Response: See landscaping and hardscaping plans for this submittal.

11. Add note: 100% irrigation coverage shall be provided.

Response: Acknowledged.

More comments may follow upon review of the requested information.

We encourage you to reach out for any questions or clarification at fperez@hollywoodfl.org or 954-921-3900. Favio Perez

Response: Acknowledged.

UTILITIES

Alicia Vereia-Feria, Floodplain Development Review Administrator (averea-feria@hollywoodfl.org) 954-921-3302

Response:

1. Submit civil engineering plans for initial review. Provide a Paving, Grading, and Drainage Plan showing existing and proposed site elevations and drainage, and also provide a Utilities Plan indicating existing and proposed water and sewer connections.

Response: Full Civil Plans have been provided.

2. Utilities Plan shall include the City's latest applicable standard Water and Sewer details. The details are available on the City's website via the following link: <http://www.hollywoodfl.org/1169/Standard-Details-and-Public-Notices>.

Response: These details have been included into our Civil Plans see Utility Detail Sheets.

3. Show Water and Sewer demand calculations on proposed utilities plans.

Response: The Water and Sewer Demands have been shown on the Utility Plan. We have also included a letter with calculations.

4. The proposed Finished Floor Elevations (FFE) shall comply with the greatest of the following three (3) conditions, as applicable.

Response: Acknowledged we are using 8.50' NAVD 88 which is higher than all three requirements.

5. Include proposed FFE on Paving, Grading and Drainage Plan.
 - a. Section 154.50 of the City's Code of Ordinances requires the minimum FFE for residential shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential use.
 - b. Broward County Preliminary 2024 FEMA Flood Maps (as recommended), available online via the following link: <https://experience.arcgis.com/experience/942f6643838344f08ff450b0bc1b731a/page/Page/>; OR

- c. Broward County Future Conditions 100-year Flood Map 2060 (in effect as of July 2021), available online via the following link:
<https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacda62575e817380>

Response: Acknowledged we are using 8.50' NAVD 88 which is higher than all three requirements.

6. Indicate Finished Floor Elevation (FFE) for all enclosed areas on the ground floor and garage.

Response: Acknowledged we are using 8.50' NAVD 88 which is higher than all three requirements.

7. Provide perimeter cross-sections across all property limits including transition areas meeting adjacent property grades. Cross-sections shall demonstrate on-site stormwater runoff retention.

Response: The Paving Grading and Drainage Plans show cross sections see sheet C-300 thru C-302.

8. Provide preliminary drainage calculations including pre and post development ensuring all stormwater is retained onsite.

Response: See attached Drainage Report.

9. Indicate how roof drainage will be collected and connected to the on-site drainage system.

Response: The roof drainage is going to enter the underground concrete vault see Paving and Grading and Drainage Plan that has a summary of the drainage system.

10. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features. Proposed landscaping shall not obstruct onsite stormwater runoff retention.

Response: The landscaping plans have been included and coordinated.

11. Submit Erosion Control Plan.

Response: An erosion control package has been included.

12. Permit approval from outside agencies will be required.

Additional comments may follow upon further review of requested items

Response: Acknowledged.

BUILDING

Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490 Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335

1. Amend narrative item 18.0 Sidewalks: Provide the term “tactile warnings” in Section (4).

Response: The “tactile warnings” information has been added to the Planning Rationale under Section 18 Sidewalks.

2. Amend narrative item 21.0 Parking Item ii: Provide declaratory statement of compliance for parking to the 2023 Florida Accessibility Code.

Response: A note as added to the Planning Rationale under Section 21.

Please see Sheet A-1 for the following three comments (3-5):

3. The Accessible Route from Accessible Parking to the Building goes off-site on the Western side of the project. Please explain.

Response: We added a future sidewalk for pedestrians to enter our site instead of having nothing.

4. Please demonstrate where the Accessible Route to the Building connects with the public way/sidewalk.

Response: See attached Site Plan sheet C-300 and First Floor Plan.

5. Provide tactile warnings wherever the Accessible Route enters a vehicular way.

Response: Tactile warnings devices are shown at allot driveways see Site Plan sheet C-200.

6. The structure is considered by the FBC to be a Threshold Building by definition. As such the building will be permitted and inspected in compliance with a Structural Inspection Plan prepared by the Special Threshold Inspector (Engineer/Architect) for each building. The Structural Inspection Plan must be submitted for review prior to the issuance of the building permit(s).

Response: Acknowledge, Threshold building inspection should be conducted prior issuance of the building permit.

7. Resolve the conflict in the plans between Sheets A-2.1, which shows 282 Dwelling Units, and Sheet EX-1 which shows 224 Units. This could result in a 58 unit shortfall in your Trash Management Plan.

Response: Please refer to Ex-1 for updated dwelling unit number, 280 DU’s.

FIRE

Chris Clinton, Fire Marshal (cclinton@hollywoodfl.org) 954-967-4404

Marcy Hofle, Deputy Fire Marshall (mhofle@hollywoodfl.org) 954-967-4404

1. Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. --- A complete architectural review will be completed during formal application of architectural plans to the building department.

Response: Acknowledged.

2. Water supply shall meet the requirements of NFPA 1 (2021 Ed.) Section 18.4.5.3. --- To determine the minimum fire flow required for firefighting purposes, a Hydrant Flow Test will need to be scheduled through our Underground Utilities Department via email. --- underground@hollywoodfl.org

After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building.

For your convenience, I have attached a sample Fire Flow Calculation letter which can be used as a template.

Response: A fire flow calculations letter has been provided.

3. Ensure on the plans that there is a fire hydrant within 100 feet of fire department connections as required by NFPA 14 (2019 Ed.) Section 6.4.5.4 --- "Fire department connections shall be located not more than 100 ft (30.5 m) from the nearest fire hydrant connected to an approved water supply."

Plan page C-400 shows an existing hydrant to the north of the proposed FDC, but this existing hydrant is in the adjacent building's parking lot. --- It is highly recommended that a new hydrant be installed in a location which does not have the possibility of having delayed or no access at all (future gate install?).

Response: An additional fire hydrant has been added on the north side. The FDC is within 100' see Utility Plan Sheet C-400.

4. Water supply and any new hydrants shall be in place prior to accumulation of combustible materials per NFPA 1 (2021 Ed.) Section 16.5.3.1.1. --- Provide a note on the plans.

Response: See Utility Plan Sheet C-400 for notes.

5. Provide a note on civil drawing all underground fire main work must be completed by fire protection contractor holding a Class I, II, or V license per FS 633.102.

Response: See Utility Plan Sheet C-400 for notes.

6. Be advised that NFPA 1 (2021 edition) Section 11.10.2 requires that minimum radio signal strength for fire department communications shall be maintained at a level determined by the

AHJ for all new and existing buildings. --- If at any time (including the construction phase), Fire Department personnel determine that the minimum radio signal strength is not being met, a Two-Way Radio Communication Enhancement system may be required to be installed as determined by the AHJ.

Fire Flow Calculations

(sample of format to be used)

Based on Type II (222) construction.

As per NFPA 1 (2018 Ed.) Section 18.4.4.2 --- "The fire flow area of a building constructed of Type I (443), Type I (332), and Type II (222) construction shall be the area of the three largest successive floors."

The total area of the three largest successive floors is 24,228 square feet, and as per NFPA 1 (2018 Ed.) Table 18.4.5.2.1, the fire flow required is 1,750 gpm for a duration of 2 hours.

As per NFPA 1 (2018 Ed.) Section 18.4.5.3.2, the required fire flow shall be reduced by 75 percent when the building is protected throughout by an approved automatic sprinkler system. The resulting fire flow shall not be less than 1000 gpm.

$$1,750 \text{ gpm} \times 75\% = 1,312.5 \text{ gpm (Fire Flow Credit)}$$

$$1,750 \text{ gpm} - 1,312.5 \text{ gpm} = 437.5 \text{ gpm}$$

As per NFPA 1 (2018 Ed.) Section 18.4.5.3.2, the fire flow shall not be less than 1,000 gpm.

Response: See Utility Plan Sheet C-400 for notes, fire flow report and calculations have been included.

PUBLIC WORKS

Joseph S. Kroll, Public Works Director (Jkroll@hollywoodfl.org) 954-967-4207

Daniel Millien, Environmental Service Manager (dmillien@hollywoodfl.org) 954-967-4207

1. No comments at this time.

Response: Acknowledged.

PARKS, RECREATION, AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Applicant to submit a park impact fee application.

Response: This will be submitted at time of Building Permit.

COMMUNITY DEVELOPMENT

Ryon Coote, Community Development Director (rcoote@hollywoodfl.org) 954-921-2923

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No comments received.

Response: We are assuming there are no comments since we never received any.

ECONOMIC DEVELOPMENT

Joann Hussey, Interim Director (jhussey@hollywoodfl.org) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922

1. What type of commercial activities will take place in this new space?

Response: There are no commercial activities these are strictly residential purposes.

2. How many new jobs would be anticipated as a result of this project?

Response: We are anticipating around 4-6 jobs but could vary.

POLICE DEPARTMENT

Chantel Magrino, Police (cmagrino@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

1. EXPLANATION:

- 2.

The following recommendations were developed during the Crime Prevention Through Environmental Design review of the blueprints for "2800 Oakwood Blvd. - Hollywood, Florida – Preliminary".

RECOMMENDATION:

Note: Application is substantially compliant.

Note: Blueprint Crime Prevention Observations/Recommendations per ACPI (American Crime Prevention Institute) reference the addressed premises.

CPTED Strategies

Provide clear border definition of controlled spaces. Examples of border definition may include buildings, fences, landscaping, signs, lighting, to express ownership and define public, semi-public, and private space, natural territorial reinforcement occurs. Also, clearly mark the public paths, so it will make private areas harder for non-employees to access.

External Lighting

Parking lots, vehicle roadways, pedestrian walkways and building entryways should have “adequate” levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

Parking Lots	3-5	foot candles
Walking Surfaces	3	foot candles
Recreational Areas	2-3	foot candles
Building Entryways	5	foot candles

- These levels may be subject to reduction in specific circumstances where after-hours use is restricted.
- All entrance/exit ways should be well-lit and well-defined.
- Fully illuminate the exterior of the property at night.
- A system of lighting fixture identification should be developed.
- The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.
- Exterior lighting should be controlled by automatic devices (preferably by photocell).
- Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.
- Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.
- If exterior lights are not being used at night, exterior motions-detection lighting should be installed to detect the presence of intruders.
- Lighting fixtures selected must do more than just providing ample, glare-free lighting.
- Lighting fixtures must also be reliable, easy to maintain, able to withstand the elements and protected from vandalism.
- Loading docks, internal footpaths should be well lit.

Natural Surveillance

- Use a single, clearly identifiable, point of entry/exit.
- Maintain clear visibility from the interior/exterior of all areas of the property.
- Public entrances should be clearly defined by walkways and signage.
- Illuminate and define all entrances so that they are visible to Fire/Police Emergency Personnel and to the public.
- Designate visitor parking.
- Loading area (drop off/pickup), should be clearly visible and should not enable hiding places.
- Install a “peephole” on exterior doors to allow employees to verify deliveries.
- Avoid creating hiding places in alleys, storage yards, loading docks, etc.
- Cash registers should be located at the front of the store, near main entrance.
- Allow window signs to cover no more than 15 percent of the window.

- Consider using perpendicular parking in front of stores, rather than parallel, to allow greater visibility between cars.
- Interior shelving and displays should be no higher than five feet for increased visibility.
- Position restroom entrances to be visible from the main pedestrian areas, but away from outside exits.

Natural Access Control

- Site entrances should be easily securable.
- Entrances to parking areas should be controlled by a fence or gate.
- Keep building entrances to a minimum and well monitored.
- Dead-end spaces should be blocked by a fence or gate.
- Delivery entrances should be separate, well-marked and monitored.
- If deliveries are made, they should be made during the daytime hours.
- Common building entrances should have locks that automatically lock when the door closes.
- Employee parking should be close to the building.
- Dumpsters should be enclosed.
- Restrict access to roofs by way of dumpsters, loading docks, stacked items, ladders, etc.
- Provide rear public access to shops if rear public parking is offered.

Landscaping:

- Keep landscaping trimmed and well maintained.
- Plant height appropriate shrubbery along walkways as to not obstruct visibility or allow individuals to hide behind.
- Plants/Shrubbery should not be more than 2ft in height.
- Tree canopies should not be lower than 6ft in height.

Building(s) Perimeter Doors

- Exterior doors not used as designated entry points, should be locked to prevent entry from the exterior.
- Ideally, exterior doors should be equipped with electronic propped door alarms, which annunciate either locally and/or at the security office.
- Perimeter doors should be designed for “heavy duty” (ANSI Grade III) application.

CCTV

- CCTV provides surveillance that can detect criminal activity and record the footage, which can be useful in an investigation. Conspicuous CCTV is another type of deterrent to a criminal. There are some difficulties in monitoring parking facilities because of shadows, spaces between parked vehicles; and columns, ramps, and walls in parking garages; that is why lighting is also essential in these areas.
- Check all CCTV systems and ensure that they provide a clearly visible facial picture.

Fencing

- (If used) Wrought iron fencing provides for natural surveillance within and onto the property. Ex. Parking lot and to establish a defined border definition of the entire property.

Non-Pedestrian Building Entry Points

- Sturdy fencing should enclose locations where gas and electric utilities enter buildings.
- Locations where gas and electric utilities enter buildings should be well lit.
- Electrical service disconnects and gas valves should be equipped with locking devices.
- Dumpster areas should be enclosed and secured.

Signage

- Ensure proper signage is posted throughout the property.

The purpose of the review is to provide security recommendations. This review is only advisory and is not intended to identify all security weaknesses or to warrant the adequacy of all present and future security measures whether or not recommended.

Response: Acknowledged.

DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

1. Not applicable.

Response: Acknowledged.

PARKING

Jovan Douglas, Parking Director (jdouglas@hollywoodfl.org) 954-921-3548

Angela Kelsheimer, Parking Operation Manager (Akeilsheimer@hollywoodfl.org) 954-921-3548

Natnael Jowhar, Parking Operations Superintendent (NJowhar@hollywoodfl.org) (954-921-3548)

1. No comments received.

Response: Acknowledged, we are assuming there are no comments since none received.

Should you have any additional questions please do not hesitate to contact me at (772) 794-4119 or greg.wilfong@kimley-horn.com.

Sincerely,



Greg Wilfong, P.E.
Project Manager

Ownership and Encumbrance Report

First American Issuing Office:

First American Title Insurance Company National
Commercial Services
666 Third Avenue, 5th Floor
New York, NY 10017

File No.: 3020-1209874

Prepared For:

Kimco Realty®
6060 Piedmont Row Dr S Ste 200
Charlotte, NC 28287-3888

Update and Revision: 08/05/2024

Brought Effective Date forward; deleted Items 166 and 167; added Items 190, 191, 192, 193, 194 and 195.

Update and Revision: 05/31/2024

Brought Effective Date forward; deleted Items 161, 162 and 163; added Items 183, 184, 185, 186, 187, 188 and 189.

Legal Description:

PARCEL 1:

(LUPA EAST PARCEL)

A PARCEL OF LAND BEING A PORTION OF TRACT "C", OAKWOOD HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT [BOOK 120, PAGE 45](#), OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND A PORTION OF VACATED N. 26th. /AVENUE AS RECORDED IN OFFICIAL RECORDS [BOOK 20603, PAGE 366](#) OF SAID PUBLIC RECORDS. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT "C"; THENCE N.04°07'58"W., ALONG THE EAST LINE OF SAID TRACT "C", A DISTANCE OF 36.83 FEET; THENCE N.07°50'52"E., ALONG SAID EAST LINE, A DISTANCE OF 113.75 FEET, TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE S.85°15'20"W., A DISTANCE OF 221.11 FEET, TO A POINT ON THE WEST LINE OF SAID TRACT "C"; THENCE N.03°59'43"W., A DISTANCE OF 50.00 FEET; THENCE N.11°34'01"E., A DISTANCE OF 92.24 FEET, (THE PREVIOUS TWO COURSE BEING COINCIDENT WITH THE WEST LINE OF SAID TRACT "C"); THENCE N.78°25'59"W., A DISTANCE OF 80.00 FEET, TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF THE C-10 CANAL; THENCE N.11°34'01"E., ALONG SAID EAST RIGHT OF WAY LINE A DISTANCE OF 269.78 FEET; THENCE S.78°25'59"E., A DISTANCE OF 300.01 FEET, TO A POINT ON THE EAST LINE OF SAID TRACT "C"; THENCE S.11°34'01"W., A DISTANCE OF 261.59 FEET; THENCE S.07°50'52"W., A DISTANCE OF 86.67 FEET, (THE PREVIOUS TWO COURSES BEING COINCIDENT WITH THE SAID EAST LINE OF TRACT "C") TO THE POINT OF BEGINNING.

PARCEL 2:

(LUPA SOUTH PARCEL)

A PARCEL OF LAND BEING A PORTION OF TRACT "E", OAKWOOD HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT [BOOK 120, PAGE 45](#), OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE C-10 CANAL; THENCE S.88°27'20"W., ALONG THE SOUTH LINE OF SAID TRACT "E", A DISTANCE OF 325.00 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE CONTINUE S.88°27'20"W., ALONG SAID SOUTH LINE, A DISTANCE OF 449.41 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT ON THE EAST RIGHT-OF-

WAYLINE OF INTERSTATE I-95; THENCE N.06°21'05"E., ALONG THE WEST LINE OF SAID TRACT "E" AND THE EAST RIGHT-OF-WAY LINE OF SAID INTERSTATE I-95, A DISTANCE OF 1993.10 FEET TO THE NORTHWEST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT OF THE SOUTH RIGHT-OF-WAY LINE OF THE C-10 SPUR CANAL; THENCE N.88°32'24"E., ALONG THE NORTH LINE OF SAID TRACT "E", AND THE SOUTH RIGHT-OF-WAY LINE OF THE SAID C-10 SPUR CANAL, A DISTANCE OF 960.10 FEET TO THE NORTHEAST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE SAID C-10 CANAL; THENCE S.11°34'01"W., ALONG SAID EAST LINE OF SAID TRACT "E" AND THE WEST RIGHT-OF-WAY LINE OF THE SAID C-10 CANAL, A DISTANCE OF 1759.90 FEET; THENCE S.88°27'11"W., A DISTANCE OF 322.78 FEET; THENCE S.01°32'49"E., A DISTANCE OF 76.25 FEET; THENCE S.88°27'11"W., A DISTANCE OF 62.50 FEET; THENCE S.01°32'49"E., A DISTANCE OF 182.50 FEET TO THE TO THE POINT OF BEGINNING.

PARCEL 3:

(LUPA NORTH PARCEL)

A PARCEL OF LAND BEING A PORTION OF SECTION 4, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA; SAID PARCEL CONTAINING ALL OF OR PORTIONS OF THE FOLLOWING DESCRIBED PLATS: ALL OF LOT 1-B, HOLLYWOOD COMMERCIAL CENTER, RECORDED IN PLAT [BOOK 117, PAGE 36](#); ALL OF TRACT "A", "JOHN L.A. BOND PLAT", RECORDED IN PLAT [BOOK 111, PAGE 38](#); A PORTION OF PARCEL "A", "THE AQUA PARK", RECORDED IN PLAT [BOOK 109, PAGE 8](#); A PORTION OF PARCEL "A", COLONIAL SQUARE, RECORDED IN PLAT [BOOK 114, PAGE 32](#), ALL OF THE ABOVE DESCRIBED PLATS BEING RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E.1/4) OF SAID SECTION 4; THENCE N.87°34'11"E., ALONG THE NORTH LINE OF THE SAID NORTHEAST ONE-QUARTER (N.E.1/4), A DISTANCE OF 334.94 FEET, TO A POINT OF INTERSECTION WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF PARCEL "A", OF SAID COLONIAL SQUARE; THENCE S.01°48'26"E., ALONG SAID NORTHERLY EXTENSION, A DISTANCE OF 53.00 FEET, TO THE NORTHWEST CORNER OF PARCEL "A", OF SAID COLONIAL SQUARE, SAID POINT ALSO BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE CONTINUE S.01°48'26"E., A DISTANCE OF 677.36 FEET, TO A POINT ON A LINE 677.32 FEET SOUTH OF AND PARALLEL WITH THE SAID NORTH LINE OF PARCEL "A", OF SAID COLONIAL SQUARE; THENCE N.87°34'11"E., ALONG SAID PARALLEL LINE A DISTANCE OF 334.84 FEET, TO A POINT ON THE EAST LINE OF PARCEL "A", OF SAID COLONIAL SQUARE; THENCE S.01°48'00"E., ALONG SAID EAST LINE AND THE EAST LINE OF TRACT "A", OF SAID "JOHN L.A. BOND PLAT", A DISTANCE OF 770.97 FEET, TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE C-10 CANAL; THENCE N.59°53'00"W., A DISTANCE OF 24.81 FEET; THENCE S.30°07'00"W., A DISTANCE OF 75.00 FEET; THENCE S.59°46'55"E., A DISTANCE OF 50.00 FEET; THENCE S.30°07'00"W., A DISTANCE OF 1267.83 FEET (THE PREVIOUS 4 COURSES BEING COINCIDENT WITH THE WEST RIGHT-OF-WAY LINE OF THE C-10 CANAL), TO THE SOUTHEAST CORNER OF PARCEL "A", OF SAID "THE AQUA PARK", SAID POINT ALSO BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF THE C-10 SPUR CANAL; THENCE S.88°32'24"W., ALONG THE SOUTH LINE OF SAID PARCEL "A" AND SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 987.44 FEET, TO THE SOUTHWEST CORNER OF PARCEL "A", OF SAID "THE AQUA PARK", SAID POINT ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF INTERSTATE I-95; THENCE N.06°21'05"E., ALONG THE WEST LINE OF PARCEL "A", OF SAID "THE AQUA PARK", AND SAID EAST RIGHT-OF-WAY LINE A DISTANCE OF 2134.34 FEET; THENCE N.14°49'05"E., A DISTANCE OF 122.91 FEET; THENCE N.07°47'46"E., A DISTANCE OF 125.78 FEET, (THE PREVIOUS TWO COURSES BEING COINCIDENT WITH THE EAST RIGHT-OF-WAY LINE OF INTERSTATE I-95 AS DESCRIBED INSTRUMENT No. [114419988](#) OF SAID PUBLIC RECORDS); THENCE N.10°46'20"E., A DISTANCE OF 38.00 FEET, TO THE MOST SOUTHERLY NORTHWEST CORNER OF PARCEL "A", OF SAID "THE AQUA PARK"; THENCE N.87°35'12"E., ALONG THE MOST SOUTHERLY NORTH LINE OF PARCEL "A", OF SAID "THE AQUA PARK", A DISTANCE OF 451.20 FEET, TO A POINT ON THE MOST EASTERLY WEST LINE OF SAID PARCEL "A", OF SAID "THE AQUA PARK"; THENCE N.02°25'03"W., ALONG SAID MOST EASTERLY WEST LINE A DISTANCE OF 189.77 FEET, TO A POINT ON A LINE 53.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHWEST ONE-QUARTER (NW ¼) OF SAID SECTION 4; THENCE N.87°34'43"E., ALONG SAID PARALLEL LINE A DISTANCE OF 190.06 FEET, TO THE NORTHWEST CORNER OF LOT 1-A OF SAID HOLLYWOOD COMMERCIAL CENTER; THENCE S.01°48'53"E., ALONG THE WEST LINE OF SAID LOT 1-A, A DISTANCE OF 173.83 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1-A; THENCE N.87°43'46"E., ALONG THE SOUTH LINE OF SAID LOT 1-A, A DISTANCE OF 167.45 FEET TO THE SOUTHWEST CORNER OF LOT 1-B OF SAID HOLLYWOOD COMMERCIAL CENTER; THENCE N.01°48'40"W., A DISTANCE OF

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174.30 FEET, ALONG THE WEST LINE OF SAID LOT 1-B TO THE NORTHWEST CORNER OF SAID LOT 1-B; THENCE N.87°34'11"E., ALONG THE NORTH LINE OF SAID LOT 1-B, A DISTANCE OF 167.47 FEET TO THE POINT OF BEGINNING.

1. **Grantee(s) In Last Deed of Record:**
Oakwood Plaza Limited Partnership, a Delaware limited partnership (as to Parcels 1, 2 and 3) and Oakwood Business Center Limited Partnership, a Delaware limited partnership (as to a portion of Parcel 2)

2. **Encumbrances/Matters Affecting Title** (Includes only mortgages, liens and claims of lien (if not specifically affecting other property only), judgments (certified only), federal tax liens, bankruptcy petitions, death certificates, court orders and decrees, divorce decrees, property settlement agreements, tax warrants, incompetency proceedings and probate proceedings which may affect the title to the property described above (attach an exhibit, if necessary), (unless such document is released or satisfied of record):

(X) Exhibit Attached () Exhibit Not Attached.

<u>Type of Instrument</u>	<u>O.R. Book</u>	<u>Page or Instrument No.</u>
01. Plat of The Aqua Park	Plat Book 109	8
02. Plat of John L.A. Bond	Plat Book 111	38
03. Plat of Colonial Square	Plat Book 114	32
04. Plat of Hollywood Commercial Center	Plat Book 117	36
05. Plat of Oakwood Hills	Plat Book 120	45
06. Reservations contained in Deed	Deed Book 557	261
07. Easement	4601	627
08. Easement	4608	618
09. Easement contained in Quit Claim Deed	7551	141
10. Easement	8829	842
11. Utility Easement Deed	8999	601
12. Declaration of Covenants and Restrictions	9114	125
13. Declaration of Restrictive Covenants for Oakwood Hills Commerce Center	12859	669
14. Grants of Easements	12859	681
15. Easement Agreement	13526	14
16. Easement Agreement	14009	994
17. Amendment to Declaration of Restrictive Covenants for Oakwood Hills Commerce Center	15169	915
18. Agreement for Amendment of Notation on Plat	15201	55
19. Amendment to Easement	15731	442
20. Assignment of Easement	15809	463
21. Assignment of Permits, Licenses or Approvals in Existence with Respect to, Pertaining to, or in Connection with, that Certain Bridge Traversing the C-10 Canal	15809	473
22. Assignment	15809	488
23. Notice	16117	366

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24. Assignment of Easements contained in Quit-Claim Deed	<u>16239</u>	<u>887</u>
25. Assignment of Easements contained in Quit-Claim Deed	<u>16773</u>	<u>803</u>
26. Ordinance No. 90-25	<u>17737</u>	<u>179</u>
27. Agreement	<u>17762</u>	<u>553</u>
28. Notice of Adoption of Development Order for the Oakwood Center Development for Regional Impact	<u>18061</u>	<u>313</u>
29. Notice of Preliminary Development Agreement	<u>19477</u>	<u>917</u>
30. Declaration of Restrictive Covenants	<u>19601</u>	<u>446</u>
31. Notice of Adoption of a Development Order	<u>19683</u>	<u>124</u>
32. Second Amendment to Declaration of Restrictive Covenants for Oakwood Hills Business Center	<u>19965</u>	<u>661</u>
33. Amendment to Agreement	<u>20099</u>	<u>254</u>
34. Agreement	<u>20099</u>	<u>289</u>
35. Agreement Relating to Nonvehicular Access Lines	<u>20193</u>	<u>599</u>
36. Agreement to Place a Notation on Plat	<u>20295</u>	<u>259</u>
37. Agreement to Place a Notation on Plat	<u>20295</u>	<u>263</u>
38. Agreement Relating to Nonvehicular Ingress and Egress Lines	<u>20295</u>	<u>329</u>
39. Agreement to Place a Notation on Plat	<u>20295</u>	<u>340</u>
40. Memorandum of Lease	20319	779
41. Memorandum of Lease	<u>20543</u>	<u>906</u>
42. Declaration of Easement	<u>20553</u>	<u>360</u>
43. Resolution 93-338	<u>20553</u>	<u>369</u>
44. Amendment to Second Concurrency Agreement	<u>20744</u>	<u>757</u>
45. Memorandum of Lease	<u>20795</u>	<u>328</u>
46. Grant of Easement	<u>20818</u>	<u>58</u>
47. Declaration of Unity of Title	<u>20917</u>	<u>691</u>
48. Notice of Adoption of Development Order Amending the Development Order for the Oakwood Plaza Substantial Deviation to the Oakwood Center Development of Regional Impact	<u>21017</u>	<u>944</u>
49. Memorandum of Lease	<u>21018</u>	<u>457</u>
50. Memorandum of Lease	<u>21082</u>	<u>290</u>
51. Agreement for Amendment of Notation on Plat	21256	299
52. Agreement for Amendment of Notation on Plat	<u>21769</u>	<u>708</u>
53. Agreement for Amendment of Notation on Plat	<u>21769</u>	<u>720</u>
54. Memorandum of Lease	<u>21877</u>	<u>301</u>
55. Agreement for Easements, Covenants and Restrictions Affecting Land	<u>21877</u>	<u>304</u>
56. Third Amendment to Declaration of Restrictive Covenants for Oakwood Hills Business Center	<u>21906</u>	<u>202</u>

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57. Notice of Sewer Easement Relocation and Partial Easement Release	<u>21906</u>	<u>211</u>
58. Estoppel Certificate	<u>21906</u>	<u>216</u>
59. Amendment to Declaration of Covenants and Restrictions	<u>21990</u>	<u>352</u>
60. Easement	<u>22125</u>	<u>731</u>
61. Traffic Maintenance Easement	<u>22633</u>	<u>916</u>
62. Agreement for Amendment of Notation on Plat	<u>22692</u>	<u>606</u>
63. Corrective Easement	<u>22874</u>	<u>929</u>
64. Easement	<u>22874</u>	<u>942</u>
65. Declaration of Easement	<u>22874</u>	<u>952</u>
66. Declaration of Easement	<u>22874</u>	<u>972</u>
67. Agreement for Amendment of Notation on Plat	<u>23121</u>	<u>383</u>
68. Third Traffic Concurrency Agreement	<u>23193</u>	<u>441</u>
69. Short Form of Lease	<u>23370</u>	<u>50</u>
70. Declaration of Restrictive Covenant, Shopping Center	<u>23370</u>	<u>61</u>
71. Notice of Adoption of Development Order for the Oakwood Plaza		
Development of Regional Impact in the City of Hollywood	<u>23447</u>	<u>317</u>
72. Easement	<u>23465</u>	<u>172</u>
73. Conservation Easement	<u>23586</u>	<u>751</u>
74. Non-Exclusive Deed of Utility Easement	<u>23657</u>	<u>771</u>
75. Notice of Permit	<u>23745</u>	<u>201</u>
76. Agreement Relating to Nonvehicular Access Lines	<u>23799</u>	<u>58</u>
77. Conservation Easement	<u>24126</u>	<u>431</u>
78. Agreement for Amendment of Notation on Plat	<u>24145</u>	<u>948</u>
79. Agreement for Amendment of Notation on Plat	<u>24145</u>	<u>989</u>
80. Notice of Adoption of an Amendment to Development Order for the Oakwood Plaza Substantial Deviation to the Oakwood Center DRI in the City of Hollywood, Broward County	<u>25011</u>	<u>312</u>
81. Real Estate Mortgage, Assignment of Security and Loan Agreement	<u>25213</u>	<u>722</u>
82. Assignment of Rents and Leases	<u>25213</u>	<u>758</u>
83. Modification of Mortgage, Assignment, Security and Loan Agreement	<u>25443</u>	<u>664</u>
84. Conveyance Agreement	<u>25505</u>	<u>667</u>
85. Easement	<u>25505</u>	<u>692</u>
86. Fourth Traffic Concurrency Agreement Relating to Oakwood Plaza DRI	<u>26083</u>	<u>857</u>
87. Easement	<u>26358</u>	<u>858</u>
88. Declaration of Easements	<u>26400</u>	<u>285</u>
89. Non-Exclusive Easement for Passenger Vehicular Parking	<u>26400</u>	<u>298</u>

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90. Declaration of Restrictions	<u>26400</u>	<u>304</u>
91. Non-Exclusive Right, License and Privilege	<u>26400</u>	<u>318</u>
92. Amendment of Declaration of Easement	<u>26560</u>	<u>263</u>
93. Memorandum of Lease	<u>26637</u>	<u>506</u>
94. Agreement for Amendment of Notation on Plat	<u>26914</u>	<u>319</u>
95. Memorandum of Lease	<u>27208</u>	<u>840</u>
96. Short Form Lease Agreement	<u>27347</u>	<u>805</u>
97. Assignment of Lease	<u>27528</u>	<u>24</u>
98. Assignment of Lease and Memorandum of Lease	<u>27924</u>	<u>53</u>
99. First Amendment to Memorandum of Lease	<u>27924</u>	<u>57</u>
100. First Amendment to Agreement for Easements, Covenants and Restrictions Affecting Land	<u>27924</u>	<u>65</u>
101. Amended and Restated Memorandum of (Sub) Lease Interests	<u>28017</u>	<u>560</u>
102. Assignment of Lease	<u>28226</u>	<u>330</u>
103. Amended and Restated Memorandum of (Sub) Lease Interests	<u>28641</u>	<u>606</u>
104. Assignment of Lease	<u>28869</u>	<u>1920</u>
105. Assignment of Note, Mortgage, and Other Loan Documents	<u>29177</u>	<u>898</u>
106. Amended and Restated Mortgage, Assignment of Leases and Rents, Security Agreement and Fixture Filing	<u>29177</u>	<u>901</u>
107. Assignment of Rents and Leases	<u>29177</u>	<u>927</u>
108. Second Mortgage, Assignment of Leases and Rents, Security Agreement and Fixture Filing	<u>29181</u>	<u>1</u>
109. Notice of Adoption of Development Order for the Oakwood Plaza Development of Regional Impact in the City of Hollywood	<u>29190</u>	<u>1547</u>
110. First Amendment to the Amended and Restated Mortgage, Assignment of Leases and Rents, Security Agreement and Fixture Filing	<u>29352</u>	<u>1050</u>
111. First Amendment to Second Mortgage, Assignment of Leases and Rents, Security Agreement and Fixture Filing	<u>29352</u>	<u>1058</u>
112. Memorandum of Lease	<u>29466</u>	<u>1271</u>
113. Assignment of Lease	<u>29466</u>	<u>1279</u>
114. Memorandum of Assignment of Lease	<u>29466</u>	<u>1285</u>
115. First Amendment to Memorandum of Lease	<u>29466</u>	<u>1291</u>
116. Collateral Assignment of Lease	<u>29466</u>	<u>1296</u>
117. Assignment of Assignment of Leases and Rents	<u>29789</u>	<u>1671</u>

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118. Assignment of Beneficial Interest Under Second Mortgage, Assignment of Leases and Rents, Security Agreement and Fixture Filing	<u>29789</u>	<u>1677</u>
119. Assignment of Beneficial Interest Under Amended and Restated Mortgage, Assignment of Leases and Rents, Security Agreement and Fixture Filing	<u>29796</u>	<u>1689</u>
120. Memorandum of Lease	<u>29839</u>	<u>1176</u>
121. Corrective Declaration of Restrictions	<u>29960</u>	<u>1832</u>
122. Memorandum of Sublease	<u>31217</u>	<u>1708</u>
123. Amendment to Fourth Traffic Concurrency Agreement Relating to Oakwood Plaza DRI	<u>32379</u>	<u>1557</u>
124. Partial Release of Easement	<u>32389</u>	<u>1328</u>
125. Notice of Adoption of Development Order for the Oakwood Plaza Development of Regional Impact in the City of Hollywood	<u>32573</u>	<u>1589</u>
126. Affidavit	<u>33011</u>	<u>220</u>
127. Agreement for Amendment of Notation on Plat	<u>33030</u>	<u>27</u>
128. Amendment to Short Form Lease Agreement	<u>33257</u>	<u>334</u>
129. Lease	<u>33652</u>	<u>1991</u>
130. Amended Memorandum of Lease	<u>34028</u>	<u>1195</u>
131. Easement	<u>34412</u>	<u>234</u>
132. Memorandum of Lease	<u>34469</u>	<u>646</u>
133. Amendment to Nonvehicular Access Lines	<u>36832</u>	<u>1502</u>
134. Memorandum of Lease	<u>41358</u>	<u>1770</u>
135. Amendment to Declaration of Restrictions	<u>44865</u>	<u>313</u>
136. Notice by Landlord that Real Property is not Subject to Construction Liens for Improvements Made by Lessees	<u>45922</u>	<u>1929</u>
137. Assignment of Note and Mortgage	<u>46282</u>	<u>980</u>
138. Notice by Landlord that Real Property is not Subject to Construction Liens for Improvements Made by Lessees	<u>47023</u>	<u>1132</u>
139. Resolution No. 11-DP-22	<u>48209</u>	<u>1733</u>
140. Resolution No. 11-DP-22a	<u>48536</u>	<u>1517</u>
141. Easement	<u>48646</u>	<u>476</u>
142. Resolution No. 11-DP-22a (Re-recorded)	<u>48775</u>	<u>611</u>
143. Resolution No. 11-DP-22b	<u>48810</u>	<u>343</u>
144. Memorandum of Shopping Center Lease	<u>49101</u>	<u>1398</u>
145. Transportation Concurrency Agreement relating to Plats and Unplatted Land within the Rescinded Oakwood Plaza DRI	<u>49303</u>	<u>1500</u>
146. Amendment to Memorandum of Instrument No.	<u>112915953</u>	

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Lease

147. Assignment and Assumption of Lease	Instrument No. 113010183
148. Assignment of Leases and Rents	Instrument No. 113439895
149. Amendment to Declaration of Restrictive Covenants for Oakwood Hills Commerce Center	Instrument No. 113555356
150. Agreement for Amendment of Notation on Plat Instrument No. 113749591 Third Amended and Restated Mortgage, Security	Instrument No. 113749591
151. Memorandum of Lease	Instrument No. 114601597
152. Memorandum of Lease	Instrument No. 115061672
153. Agreement, Financing Statement, Fixture Filing and Assignment of Rents	Instrument No. 115022132
154. Agreement for Termination of Sublease	Instrument No. 117805200
155. Ordinance No. 2022-06	Instrument No. 117929776
156. Ordinance No. 2022-07	Instrument No. 117930016
157. Easement	Instrument No. 118510903
158. Assignment and Assumption of Leases	Instrument No. 118528001
159. Memorandum of Lease	Instrument No. 118528002
160. Memorandum of Lease	Instrument No. 118528003
161. Intentionally Deleted	
162. Intentionally Deleted	
163. Intentionally Deleted	
164. Notice to Contest Lien	Instrument No. 118752396
165. Declaration of Restrictive Covenants	Instrument No. 118771001
166. Intentionally Deleted	
167. Intentionally Deleted	
168. Notice of Commencement 08-08-2023	Instrument No. 119028710
169. Notice of Commencement 08-09-2023	Instrument No. 119030258
170. Notice of Commencement 08-28-2023	Instrument No. 119069154
171. Notice of Commencement 09-12-2023	Instrument No. 119097746
172. Notice of Commencement 09-12-2023	Instrument No. 119097747
173. Notice of Commencement 09-26-2023	Instrument No. 119125144
174. Notice of Commencement 10-06-2023	Instrument No. 119149502
175. Notice of Commencement 10-27-2023	Instrument No. 119196815
176. Assignment and Assumption of Easements	Instrument No. 199299909
177. Notice of Commencement 12-22-2023	Instrument No. 119300382
178. Notice of Commencement 01-08-2024	Instrument No. 119321051
179. Notice of Commencement 01-09-2024	Instrument No. 119326122

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180. Notice of Commencement 02-05-2024	Instrument No. 119374247
181. Claim of Lien 02-20-2024	Instrument No. 119399825
182. Notice of Commencement 02-22-2024	Instrument No. 119408155
183. Notice of Commencement 03-14-2024	Instrument No. 119450451
184. Notice of Commencement 04-03-2024	Instrument No. 119488757
185. Notice of Commencement 04-03-2024	Instrument No. 119488764
186. Notice of Commencement 04-03-2024	Instrument No. 119490241
187. Notice of Commencement 04-11-2024	Instrument No. 119506682
188. Notice of Commencement 05-07-2024	Instrument No. 119559604
189. Notice of Commencement 05-29-2024	Instrument No. 119600378
190. Notice of Commencement 06-03-2024	Instrument No. 119610983
191. Notice of Commencement 06-04-2024	Instrument No. 119612710
192. Notice of Commencement 06-06-2024	Instrument No. 119617845
193. Notice of Commencement 07-22-2024	Instrument No. 119695450
194. Notice of Commencement 07-22-2024	Instrument No. 119696681
195. Notice of Commencement 07-31-2024	Instrument No. 119715332

Copies of the Encumbrances/Matters Affecting Title (X) are () are not included with this Report.

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0590 (As to Parcel 1) for tax year 2023
Gross Tax: \$14,772.44 (X) Paid () Not Paid.
Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0594 (As to Parcel 1) for tax year 2023
Gross Tax: \$20,021.92 (X) Paid () Not Paid.
Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0600 (As to Parcel 1) for tax year 2023
Gross Tax: \$531.20 (X) Paid () Not Paid.
Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0610 (As to Parcel 1) for tax year 2023
Gross Tax: \$279.67 (X) Paid () Not Paid.

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Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0710 (As to Parcel 1) for tax year 2023

Gross Tax: \$330.48 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0620 (As to Parcel 2) for tax year 2023

Gross Tax: \$222,966.36 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0622 (As to Parcel 2) for tax year 2023

Gross Tax: \$93,064.45 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0623 (As to Parcel 2) for tax year 2023

Gross Tax: \$166,858.77 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0624 (As to Parcel 2) for tax year 2023

Gross Tax: \$160,643.58 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0625 (As to Parcel 2) for tax year 2023

Gross Tax: \$190.53 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0627 (As to Parcel 2) for tax year 2023

Gross Tax: \$129,965.00 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0628 (As to Parcel 2) for tax year 2023

Gross Tax: \$51,529.42 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0629 (As to Parcel 2) for tax year 2023

Gross Tax: \$188,793.38 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0631 (As to Parcel 2) for tax year 2023

Gross Tax: \$111,990.98 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0650 (As to Parcel 2) for tax year 2023

Gross Tax: \$43,757.45 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0660 (As to Parcel 2) for tax year 2023

Gross Tax: \$38,560.22 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-12-0670 (As to Parcel 2) for tax year 2023

Gross Tax: \$48,639.44 (X) Paid () Not Paid.

First American Title Insurance Company

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-00-0150 (As to Parcel 3) for tax year 2023

Gross Tax: \$150,053.87 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-00-0170 (As to Parcel 3) for tax year 2023

Gross Tax: \$161.31 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-08-0010 (As to Parcel 3) for tax year 2023

Gross Tax: \$266,338.28 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-08-0020 (As to Parcel 3) for tax year 2023

Gross Tax: \$215,491.90 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-08-0030 (As to Parcel 3) for tax year 2023

Gross Tax: \$326,626.45 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-08-0040 (As to Parcel 3) for tax year 2023

Gross Tax: \$328,761.87 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-08-0041 (As to Parcel 3) for tax year 2023

Gross Tax: \$31,351.61 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-08-0050 (As to Parcel 3) for tax year 2023

Gross Tax: \$1,867.35 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-08-0060 (As to Parcel 3) for tax year 2023

Gross Tax: \$186.09 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-08-0070 (As to Parcel 3) for tax year 2023

Gross Tax: \$135,898.38 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-09-0010 (As to Parcel 3) for tax year

Gross Tax: \$634,950.33 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-10-0030 (As to Parcel 3) for tax year 2023

Gross Tax: \$145,378.29 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Ad Valorem Real Estate Taxes for Tax Parcel Number 514204-11-0020 (As to Parcel 3) for tax year 2023

Gross Tax: \$29,043.28 (X) Paid () Not Paid.

Unpaid Taxes for Prior Years (if none, state "none"): None

Certificate

This Ownership and Encumbrance Report ("Report") is a search limited to the Official Records Books as defined in Sections 28.001(1) and 28.222, Florida Statutes, from September 10, 1946 to July 31, 2024 at 8:00 a.m.

The foregoing Report accurately reflects matters recorded and indexed in the Official Records Books of Broward County, Florida, affecting title to the property described therein. Liability for any incorrect information contained in this Report is limited (1) to the person or entity to whom the Report is directed, and (2) to a maximum of \$1,000.00 pursuant to Section 627.7843(3), Florida Statutes. This Report is not an opinion of title, title insurance policy, warranty of title, or any other assurance as to the status of title and shall not be used for the purpose of issuing title insurance.

First American Title Insurance Company



By: _____

Dated: August 06, 2024

THIS REPORT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS REPORT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.



September 14, 2024

Chris Clinton, Fire Marshal
Marcy Hofle, Deputy Fire Marshall
City of Hollywood Fire Department

Re: Oakwood Plaza East Multi-Family Project
2609 N 26TH Avenue
24-DP-31B
Fire Flow Calculations

Below is a summary of the project information:

Project Address: 2609 N 26TH Avenue
Number of Floors: 8 story
Average Floor: 29,218 s.f.
Total Size: 233,738 s.f.
Building Height: 92'
Building Type: I B- Fully sprinklered (residential)

Fire Flow Calculations:

Based on Type I-B (000) Construction:

As per NFPA 1 (2018 Ed.) Section 18.4.4.2—" The fire flow area of a building constructed of Type 1 (443), Type 1 (332), and Type II (000) construction shall be the area of the three largest successive floors."

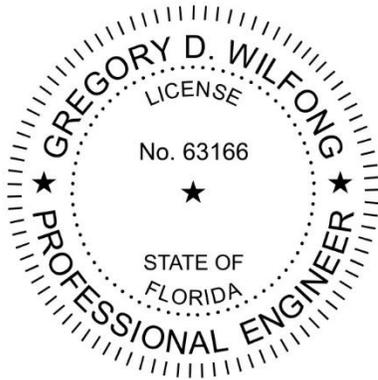
The total area of the two largest successive floors is 58,435 sf., and as per NFPA 1 (2018 Ed.) Table 18.4.5.2.1, the fire flow required is 5,250 gpm for a duration of 4 hours.

As per NFPA 1 (2018 Ed.) Section 18.4.5.3.2, the required fire flow shall be reduced by 75 percent when the building is protected throughout by and approved automatic sprinkler system. The resulting fire flow shall not be less than 1000 gpm.

$$5,250 \text{ gpm} \times 75\% = 3,937.5 \text{ gpm (Fire Flow Credit)}$$

$$5,250 \text{ gpm} - 3,937.5 \text{ gpm} = 1,312.5 \text{ gpm}$$

As per NFPA 1 (2018 Ed.) Section 18.4.5.3.2, the fire flow shall not be less than 1,000 gpm.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY D. WILFONG, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Gregory D. Wilfong, P.E.

FL PE #63166

Hydrant Flow Test Procedure

Procedure For One & Two Flow Hydrant Test:

- Establish hydrants closest to location and associated water main(s).
- Static/Residual hydrant (**P**) should be located close to location (preferably off same main as to provide future water source).
- Flow hydrant(s) (**F**) should be located off same main up and down stream from mid-point test (static/residual) hydrant.
- Note static system pressure off **P** hydrant before opening any other (note any unusual or remarkable anomalies such as high demand sources, construction, etc.)
- Flow **F1** hydrant and record GPM and residual off **P** hydrant.
- Flow **F2** hydrant and record GPM and residual off **P** hydrant.
- Flow **F1 & F2** simultaneously and record GPM separately from **F1** and **F2** and record **P** hydrant residual.

Legend:

F1 & F2 Designation shall represent first and second flowed hydrants respectively
P Designation shall represent test hydrant for static and residual distribution system pressures.

Kimberly-Horn and Associ:

DATE: 7/2/24	Time 9:00am	Static Pressure -	55psi
Residual/Static Hydrant	Address/Location	Residual Pressures	
P - Hydrant FH000634	Oakwood N 26th Ave	F-1 Only	F-2 Only
		55psi	55psi
		F-1& F-2	
Flow Hydrants	Address/Location	Flow Rate	
F-1 Hydrant (Individual) FH001940	200 Oakwood Blvd	GPM	
		1250	
F-2 Hydrant (Individual) FH002334	2620 N 26th Ave	GPM	
		1060	
F-1 Hydrant (Both Flowing)		GPM	
		1200	
F-2 Hydrant (Both Flowing)		GPM	
		1030	

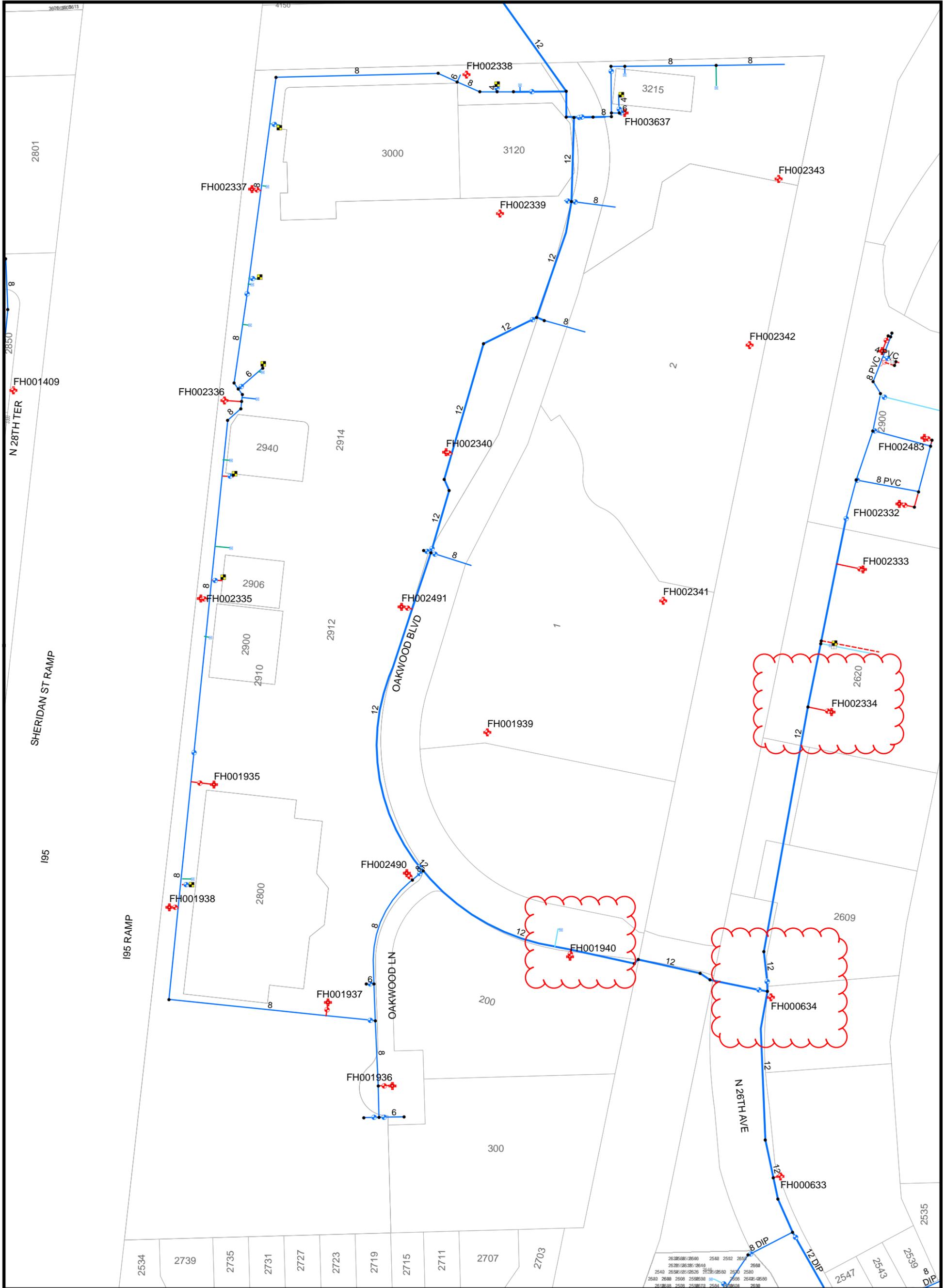


UTILITY ATLAS MAPLET



ACCESS TO INFORMATION CONTAINED WITHIN THIS DOCUMENT IS RESTRICTED UNDER FLORIDA STATUTE 119.07 SECTION 1 PARAGRAPH (EE) SUBSECTION (3). ALL PERSONS BEING PERMITTED ACCESS TO THIS DOCUMENT SHALL RESTRICT ACCESS TO OTHERS IN ACCORDANCE WITH THE ABOVE REFERENCED STATUTE. IF ANY QUESTION AS TO THE DISSEMINATION OF THIS INFORMATION EXISTS, IT SHALL BE FORWARDED TO THE DIRECTOR OF PUBLIC UTILITIES, CITY OF HOLLYWOOD FLORIDA FOR FINAL DETERMINATION.

INFORMATION PROVIDED IN THIS DOCUMENT, REGARDING SITE CONDITIONS, EXISTING STRUCTURES, AND EXISTING UNDERGROUND UTILITIES IS OFFERED SOLELY AS SUPPLEMENTAL INFORMATION. IT IS THE OWNER'S RESPONSIBILITY TO ENSURE ALL DATA IS FIELD VERIFIED AS TO ELEVATION, SIZE, AND LOCATION.





September 14, 2024

Alicia M. Vereza-Feria, CFM
 City of Hollywood
 Engineering & Construction Services
 2600 Hollywood Blvd, Room 308
 Hollywood, FL 33022
 Phone: (954)921-3302
 averea-feria@hollywoodfl.org

**Re: Oakwood Plaza East Multi-Family Project
 Water and Sewer Demands**

Dear Alicia:

Based on our meeting at the Pre-Application Conceptual Overview meeting on May 6, 2024, it was discussed that you need our proposed water and sewer demands so you could finish evaluating the existing lift station which currently serves this project.

DEVELOPMENT SUMMARY - UNIT MIX					
	Unit Types	Gross Area	Total Units	% of Totals	LEASABLE AREA (NRSF)
STUDIO	ST	480 sf	23 units	8.2%	11,040 sf
	STM	448 sf	7 units	2.5%	3,136 sf
	Sub-total		30 units	10.7%	14,176 sf
1 BD	A1	720 sf	69 units	24.6%	49,680 sf
	A1M	672 sf	13 units	4.6%	8,736 sf
	A2	826 sf	45 units	16.1%	37,170 sf
	A2H	775 sf	16 units	5.7%	12,400 sf
	A3	836 sf	7 units	2.5%	5,852 sf
	Sub-total		150 units	53.6%	113,838 sf
2 BD	B1	900 sf	22 units	7.9%	19,800 sf
	C1	1,080 sf	63 units	22.5%	68,040 sf
	C2	1,012 sf	7 units	2.5%	7,084 sf
	Sub-total		92 units	32.9%	94,924 sf
3 BD	D1	1,350 sf	8 units	2.9%	10,800 sf
	Sub-total		8 units	2.9%	10,800 sf
TOTAL UNITS			280 units	100%	233,738 sf
Gross Average Unit Area					835 sf

Based on the above information here are the proposed water and sewer impacts to the existing water

and sewer systems:

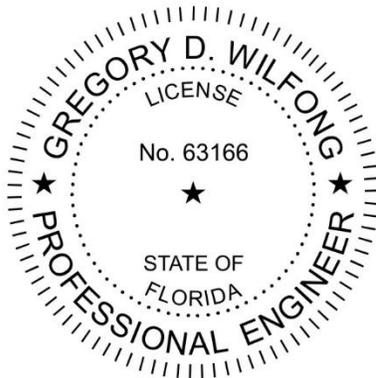
Type of Establishment (Health Department Method)	Gallons Per Day	Units	Total GPD	T*	IF	Peak Demand (GPM)
<u>Residential</u>				24	(0/5)	
Residences						
(a) single or multiple family per dwelling unit						
1 one bedroom with 750 SF or less of building area	100	112	11,200	24		46.67
2 two bedroom with 751-1200 SF of building area	200	160	32,000	24		133.33
3 three bedroom with 1201-2250 SF of building area	300	8	2,400	24		10.00
4 four bedroom with 2251-3300 SF of building area	400		-	24		-
5 for each additional bedroom or each additional 750 SF of building area or fraction thereof in a dwelling unit, system sizing shall be increased by 100 gallons per dwelling unit	100		-	24		-
(b) other per occupant	50		-	24		-
TOTAL		280	45600			190.00

Based on the calculations above this project will require 45,600 gallons per day for water and sewer to serve the project.

Please let me know if you have any questions,

Very truly yours,

KIMLEY-HORN AND ASSOCIATES, INC.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY D. WILFONG, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Gregory D. Wilfong, P.E. FL PE #63166



January 20, 2021

Greg Wilfong, P.E., Project Manager
Kimley-Horn and Associates, Inc.
445 24 Street, Suite 200
Vero Beach, Florida 32960

Via Email Only

Dear Mr. Wilfong:

Re: Platting requirements for a parcel legally described as Lot 1-B, "Hollywood Commercial Center," according to the Plat thereof, as recorded in Plat Book 117, Page 36, of the Public Records of Broward County, Florida, together with Tract A, "John L.A. Bond Plat," according to the Plat thereof, as recorded in Plat Book 111, Page 38, of the Public Records of Broward County, Florida, together with a portion of Parcel A, "The Aqua Park," according to the Plat thereof, as recorded in Plat Book 109, Page 8, of the Public Records of Broward County, Florida, together with a portion of Parcel A, "Colonial Square," according to the Plat thereof, as recorded in Plat Book 114, Page 32, of the Public Records of Broward County, Florida, together with a portion of Tracts C and E, "Oakwood Hills," according to the Plat thereof, as recorded in Plat Book 120, Page 45, of the Public Records of Broward County, Florida, together with a portion of vacated North 26 Avenue. This parcel is generally located on the east side of Interstate 95, between Stirling Road and Sheridan Street, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed mixed-use development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan. Policy 2.13.1 would not require replatting of parcels included in plats approved by the Broward County Commission and recorded after June 4, 1953. Information from the Broward County Records, Taxes and Treasury Division indicates that the above referenced plats were recorded on September 29, 1983, December 4, 1981, March 9, 1981, November 2, 1982, and August 28, 1984, respectively. Land platted after June 4, 1953 may be divided by metes and bounds and developed in accordance with local regulations and the effective land use plan, unless local regulations are more restrictive and would require platting. The City of Hollywood's platting requirements should be investigated.

It is recommended that you contact Broward County's Planning and Development Management Division at 954-357-6666, to inquire about whether additional County review, such as plat note modifications, may be required.

Greg Wilfong
January 20, 2021
Page Two

The contents of this letter are not a judgment as to whether this development proposal complies with the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality, or the development review requirements of the Broward County Land Use Plan, including concurrency requirements.

If you have any additional questions concerning the Broward County Land Use Plan's platting requirements, please contact Christina Evans, Planner, at your convenience.

Respectfully,



Barbara Blake Boy
Executive Director

BBB:CME

cc/email: Dr. Wazir Ishmael, City Manager
City of Hollywood

Shiv Newaldass, Director, Development Services
City of Hollywood





September 14, 2024

Oakwood East Multifamily Project

City of Hollywood, Broward County, FL

DRAINAGE MEMORANDUM

Prepared For:
Broward County SWM
City of Hollywood



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY D. WILFONG, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Gregory D. Wilfong, P.E. FL PE #63166

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Kimley-Horn Project #: 147507129



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APPENDICES

Appendix A.	Pre-Development Calculations
Appendix B.	Post-Development Calculations
Appendix C.	Geotechnical Report
Appendix D.	Property Appraiser Summary Report
Appendix E.	Warranty Deeds
Appendix F.	OAKWOOD Plaza Environmental Resource Permit Information
Appendix G.	Project Location Map
Appendix H.	Broward County Surface Water License Pre-Application Meeting Minutes

**OAKWOOD EAST MULTIFAMILY PROJECT
HOLLYWOOD, BROWARD COUNTY, FL
DRAINAGE SUMMARY**

1.0 INTRODUCTION

This stormwater memorandum has been prepared for Kimco Realty for the proposed Oakwood East Multifamily Development located in Hollywood, Florida. The proposed 2.42-acre development will consist of an eight-story apartment building with a five-story parking garage, as well as associated utilities, paving and drainage.

The proposed project is located within the Oakwood Plaza development, that was previously approved through the South Florida Water Management District, Permit No. 06-00639-S. The Oakwood Plaza development consists of two independent basins. The North basin being 72.04-acres and the South basin containing 39.30-acres. The proposed project lies in the south basin as an undeveloped parcel. 2.42-ac outparcel. The project site is within a FEMA Flood Zone X and Zone AH (EL 7' NAVD).

Kimley Horn and Associates, Inc. attended a pre-application meeting with Broward County Staff on June 18, 2024 to discuss the proposed project, permitting requirements and design criteria. Based on this meeting, a pre- vs post-development analysis would be required to demonstrate a reduction in discharge to the existing lake. Refer to **Appendix H** for meeting minutes.

1.1 EXISTING CONDITIONS

The site is located on the east side of Interstate 95 (I-95), north of Sheridan Street within the existing Oakwood Plaza Shopping Center. Existing drainage patterns for the project site consists of stormwater runoff sheet flowing east and freely discharging into the adjacent lake. There is an existing inlet located within the project site that is tied to the La Quinta Hotel stormwater system, which directly discharges to the adjacent lake. A project location map is provided in **Appendix G**.

The existing land use breakdowns for the project are as follows:

Table 1 – Existing Land Use Breakdown

Existing		
Parameter	Area (SF)	Area (AC)
Buildings	0	0
Pervious Area	86,526	1.98
Impervious Area	18,980	0.44
Total	105,506	2.42

2.0 DESIGN

2.1 GROUNDWATER ELEVATIONS AND FLOOD ELEVATIONS

The groundwater level was determined and set at elevation 3.5' NAVD by Broward County's Future Conditions 2070 map. The finish floor elevation is required to be at or above the BC 100-year 2024 Future Flood Elevation of 8.0' NAVD.

2.2 SOILS AND EXFILTRATION TESTING

A soil subsurface investigation was performed by Universal Engineering Sciences (UES), dated June 21, 2024. As part of the subsurface investigation, three (3) exfiltration tests to a depth of 10-feet below existing grade were performed in accordance with the South Florida Water Management District method for open-hole constant head field testing. Based on the results, the average hydraulic conductivity within the project limits is 2.38×10^{-5} ft³/sec/ft²-ft head. Refer to Appendix C the Geotechnical Report prepared by UES.

2.3 POST-DEVELOPMENT IMPROVEMENTS

The proposed development of the project site will include an eight-story apartment building with a five-story parking garage (60,416 sf). The proposed improvements associated with the development will include paving, drainage and utilities. The proposed stormwater management system will consist of interconnected catch basins that routes runoff to a series of exfiltration trenches and underground vaults for treatment and attenuation prior to discharging to the offsite lake. The underground stormwater vault system will provide the retention volume needed to meet the pre- vs post-development discharge criteria. The proposed stormwater management system will consist of 1126 ft of exfiltration trench and 1.25 ac ft of stormwater storage vaults.

The dry pretreatment requirement has been provided for in the proposed exfiltration trench. A portion of the exfiltration trench has been set 1 ft above the future ground water table with an invert of 4.5 ft-NAVD and a weir at elevation 5.5 ft-NAVD. The remaining exfiltration trench is set at an invert of 3.5 ft-NAVD with an internal weir at elevation 5.5 ft-NAVD.

The proposed area breakdowns for the area of impact are as follows:

Table 2 – Proposed Land Use Breakdown

Proposed		
Parameter	Area (SF)	Area (AC)
Buildings	60,416	1.39
Pervious Area	18,847	0.43
Impervious Area	26,243	0.60
Total	105,506	2.42

3.0 WATER QUALITY

The post-development condition will provide treatment for the proposed onsite improvements. Water quality shall be the greater of 1 in over the entire drainage area or 2.5 x % impervious.

Post-Development

$$1" \quad x \quad 2.422 \text{ ac} \quad = 2.42 \text{ ac-in} \quad = \quad 0.20 \text{ ac-ft}$$

2.5 x % impervious is as follows:

A)	2.422 – (Buildings)	= 2.422 – 1.39	=	1.04
B)	1.04 – (Pervious Area)	= 1.04 – 0.433	=	0.60
C)	% Impervious	= 0.60 / 1.04 x 100	=	58.2%
D)	2.5 x % Impervious	= 2.5 x 0.582	=	1.46-in
E)	1.46 in x 2.422	= 3.52 ac-in	=	0.29 ac-ft

2.5" x Impervious Area yields the larger quantity therefore the site must provide the 0.29 ac-ft of treatment in the post-development condition.

3.1 EXFILTRATION TRENCH DESIGN

The required pre-treatment volume shall be ½-in over the developed project is 0.10 ac-ft. This is provided in the proposed 380 lf of dry exfiltration trench which starts 1-ft above the water table at 4.50 ft-NAVD. Dry pre-treatment is met at elevation 5.50 ft-NAVD in the dry exfiltration trench.

The remaining required treatment volume is provided for at Elevation 5.50 ft-NAVD. The provided water quality shall be provided for in the 1126 lf of proposed exfiltration trench, 0.293 ac-ft of volume. Exfiltration design calculations can be found in Appendix B.

4.0 WATER QUANTITY

The proposed 1.25 ac-ft of underground storm vault and 1126 lf of exfiltration trench provide the volume of storage required to meet the pre- vs post-development discharge criteria. To analyze the function of the proposed stormwater management system, a flood routing model was developed using Interconnected Channel and Pond Routing v4.07.08 (ICPR). A pre-development model of the site was developed to determine the maximum pre-development discharge rate to the adjacent lake. This was based on the overland flow off the western edge of the property and the stormwater outfall for the La Quinta to the north.

The post-development condition calculations were performed utilizing ICPR to show that post-development discharge is less than that of the pre-development discharge. A summary of results for the maximum pre-development discharge are provided in the table below.

Table 5 – Pre-Development vs. Post-Development Flood Routing Results

Storm Event	Pre-Development		Post-Development	
	Peak Stage (NAVD)	Discharge (CFS)	Peak Stage (NAVD)	Discharge (CFS)
10-year 1-Day	4.57	12.56	5.55	0.26
25-year 3-day	4.66	12.85	6.27	4.91
100-year 3-day	5.11	14.16	6.80	6.99

The calculations of the flood routings are included in the Appendix A and B.

5.0 CONCLUSION

Based on the results for the proposed redevelopment, the proposed improvements are consistent with the Broward County design criteria.

The following is a summary of design parameters:

- Control Water Elevation = 3.50'
- 10 yr – 24 hr Peak Stage = 5.55'
- 25 yr – 72 hr Peak Stage = 6.27'
- 100 yr – 72 hr Peak Stage = 6.80'
- Minimum Inlet Elevation = 4.92'
- Finished Floor Elevation = 8.50'
- Broward County 2070 Future Conditions Average Wet Season Groundwater Elevation = 3.50'
- Broward County 100-year FEMA Flood Elevation = 8.00'

APPENDICES

APPENDIX A
Pre-Development Calculations

Design Criteria:

Estimated Seasonal High Water Level: 3.50 NAVD

Proposed Acreages

Lake Areas (A_L)	0 sf	or	0.000 ac
Roof Areas (A_R)	0 sf	or	0.000 ac
Paved Areas (A_P)	18,980 sf	or	0.436 ac
Green Areas (A_G)	86,526 sf	or	1.986 ac
<hr/> Total (A_T)	105,506 sf	or	2.422 ac

Soil Storage

Land Use Summary:

	Acres	Percent
Lake Areas (A_L)	0.000	0.00%
Roof Areas (A_R)	0.000	0.00%
Paved Areas (A_P)	0.436	17.99%
Green Areas (A_G)	1.986	82.01%
Total (A_T)	2.422	100.00%

Compacted Soil Storage per
 SFWMD Vol. IV
 Page C-III

Depth to Water Table (feet)	Water Storage (inches)
1	0.45
2	1.88
3	4.05
4	6.75

Average Pervious Grade (Elev.): 5.8
 Depth to Water Table: 2.30 ft
 Soil Compaction at Depth (S_d): 4.05 inches

Weighted S value: CN Value:
 = $S_d \times \% \text{ Pervious}$
 = 6.75×12.21 = $1000 / (S+10)$
 = **3.32 inches** = 75.07

Rainfalls

From Figure C-9, 100-Year 3-day Storm = 13.98 inches
 From Figure C-8, 25-Year 3-day Storm = 10.30 inches
 From Figure C-4, 10-Year 1-day Storm = 8.83 inches

Runoff Volume

100-Year 3-Day (Finish Floor)

Runoff (Q) = $(P-0.2S)^2 / (P+0.8S)$
 = 10.66 inches or 0.89 feet of total runoff
 Runoff Volume = Q * Project Area
 = 25.81 ac - in or 2.15 ac-ft

25-Year 3-Day

Runoff (Q) = $(P-0.2S)^2 / (P+0.8S)$
 = 7.17 inches or 0.60 feet of total runoff
 Runoff Volume = Q * Project Area
 = 17.36 ac - in or 1.45 ac-ft

10-Year 1-Day (Minimum Crown of Road)

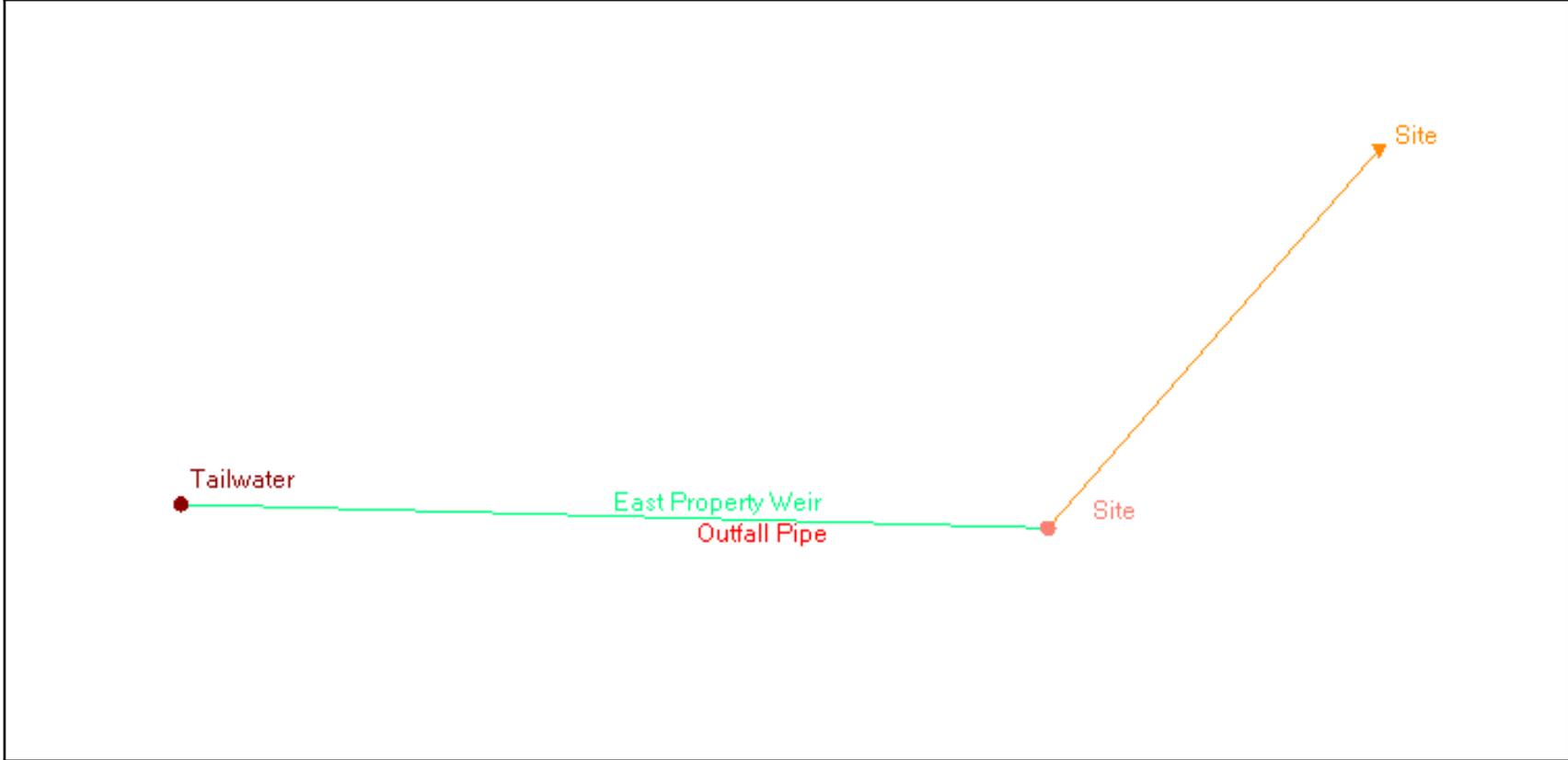
Runoff (Q) = $(P-0.2S)^2 / (P+0.8S)$
 = 5.80 inches or 0.48 feet of total runoff
 Runoff Volume = Q * Project Area
 = 14.06 ac - in or 1.17 ac-ft

Total Site Stage Storage: (From CAD)

Total Site Stage Storage
 Control Elevation = 3.5
 Finished Floor Elevation = 8.50
 Area at Control Elevation = 0.000
 Area at Top of Bank = 1.986
 Building Area = 0.000

Total Site Stages	Total Site Storage
(NAVD)	(ac)
2.50	0.00
2.60	0.00
2.70	0.00
2.80	0.00
2.90	0.00
3.00	0.00
3.10	0.00
3.20	0.00
3.30	0.00
3.40	0.00
3.50	0.00
3.60	0.00
3.70	0.00
3.80	0.00
3.90	0.00
4.00	0.00
4.10	0.00
4.20	0.00
4.30	0.00
4.40	0.00
4.50	0.01
4.60	0.01
4.70	0.02
4.80	0.03
4.90	0.04
5.00	0.06
5.10	0.09
5.20	0.19
5.30	0.25
5.40	0.33
5.50	0.42
5.60	0.52
5.70	0.64
5.80	0.76
5.90	0.91
6.00	1.06
6.10	1.06
6.20	1.25
6.30	1.44
6.40	1.65
6.50	1.86
6.60	2.08
6.70	2.30
6.80	2.53
6.90	2.76
7.00	2.99
7.10	3.23
7.20	3.46
7.30	3.70
7.40	3.93
7.50	4.17

Background Image: Pre Node Map



Simple Basin: Site

Scenario: Scenario1
 Node: Site
 Hydrograph Method: NRCS Unit Hydrograph
 Infiltration Method: Curve Number
 Time of Concentration: 10.0000 min
 Max Allowable Q: 99999999.00 cfs
 Time Shift: 0.0000 hr
 Unit Hydrograph: UH256
 Peaking Factor: 256.0
 Area: 2.4220 ac
 Curve Number: 75.1
 % Impervious: 0.00
 % DCIA: 0.00
 % Direct: 0.00
 Rainfall Name:

Comment:

Node: Site

Scenario: Scenario1
 Type: Stage/Volume
 Base Flow: 0.00 cfs
 Initial Stage: 3.50 ft
 Warning Stage: 7.50 ft

Stage [ft]	Volume [ac-ft]	Volume [ft3]
3.50	0.00	0
4.00	0.00	0
4.10	0.00	10
4.20	0.00	31
4.30	0.00	72
4.40	0.00	152
4.50	0.01	301
4.60	0.01	524
4.70	0.02	826
4.80	0.03	1210
4.90	0.04	1736
5.00	0.06	2634
5.10	0.09	3971
5.20	0.13	5795
5.30	0.19	8125
5.40	0.25	10979
5.50	0.33	14424
5.60	0.42	18377
5.70	0.52	22829
5.80	0.64	27796

Stage [ft]	Volume [ac-ft]	Volume [ft3]
5.90	0.76	33311
6.00	0.91	39442
6.10	1.06	46378
6.20	1.25	54260
6.30	1.44	62775
6.40	1.65	71702
6.50	1.86	80953
6.60	2.08	90458
6.70	2.30	100173
6.80	2.53	110071
6.90	2.76	120137
7.00	2.99	130315
7.10	3.23	140530
7.20	3.46	150759
7.30	3.70	160999
7.40	3.93	171249
7.50	4.17	181507

Comment:

Node: Tailwater

Scenario: Scenario1
Type: Time/Stage
Base Flow: 0.00 cfs
Initial Stage: 0.32 ft
Warning Stage: 7.38 ft
Boundary Stage:

Year	Month	Day	Hour	Stage [ft]
0	0	0	0.0000	0.33
0	0	0	70.0000	0.42
0	0	0	99999999.0000	0.33

Comment:

Weir Link: East Property Weir

Scenario:	Scenario1	Bottom Clip
From Node:	Site	Default: 0.00 ft
To Node:	Tailwater	Op Table:
Link Count:	1	Ref Node:
Flow Direction:	Both	Top Clip
Damping:	0.0000 ft	Default: 0.00 ft
Weir Type:	Broad Crested Vertical	Op Table:
Geometry Type:	Irregular	Ref Node:

Invert: 4.00 ft
 Control Elevation: 7.50 ft
 Cross Section: Overland Weir

Discharge Coefficients	
Weir Default:	2.800
Weir Table:	
Orifice Default:	0.600
Orifice Table:	

Comment:

Pipe Link: Outfall Pipe	Upstream	Downstream
Scenario: Scenario1	Invert: 1.56 ft	Invert: -1.64 ft
From Node: Site	Manning's N: 0.0100	Manning's N: 0.0100
To Node: Tailwater	Geometry: Circular	Geometry: Circular
Link Count: 1	Max Depth: 1.50 ft	Max Depth: 1.50 ft
Flow Direction: Both	Bottom Clip	
Damping: 0.0000 ft	Default: 0.00 ft	Default: 0.00 ft
Length: 267.00 ft	Op Table:	Op Table:
FHWA Code: 1	Ref Node:	Ref Node:
Entr Loss Coef: 0.50	Manning's N: 0.0000	Manning's N: 0.0000
Exit Loss Coef: 0.25	Top Clip	
Bend Loss Coef: 0.00	Default: 0.00 ft	Default: 0.00 ft
Bend Location: 0.00 dec	Op Table:	Op Table:
Energy Switch: Energy	Ref Node:	Ref Node:
	Manning's N: 0.0000	Manning's N: 0.0000

Comment: La Quinta Outfall

Simulation: 10 Year 24 hr
 Scenario: Scenario1
 Run Date/Time: 9/14/2024 2:05:03 PM
 Program Version: ICPR4 4.07.04

General				
Run Mode:	Normal			
	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	24.0000
	Hydrology [sec]	Surface Hydraulics [sec]	Groundwater [sec]	
Min Calculation Time:	60.0000	0.1000	900.0000	
Max Calculation Time:		30.0000		

Output Time Increments

Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Groundwater

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	60.0000

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
Reference ET Folder:
Unit Hydrograph
Folder:

Lookup Tables

Boundary Stage Set:
Extern Hydrograph Set:
Curve Number Set:

Green-Ampt Set:
Vertical Layers Set:
Impervious Set:
Roughness Set:
Crop Coef Set:
Fillable Porosity Set:
Conductivity Set:
Leakage Set:

Tolerances & Options

Time Marching: SAOR	IA Recovery Time: 24.0000 hr
Max Iterations: 6	ET for Manual Basins: False
Over-Relax Weight: 0.5 dec	
Fact:	
dZ Tolerance: 0.0010 ft	Smp/Man Basin Rain: Global
	Opt:
Max dZ: 1.0000 ft	OF Region Rain Opt: Global
Link Optimizer Tol: 0.0001 ft	Rainfall Name: ~SCSII-24
	Rainfall Amount: 8.83 in
Edge Length Option: Automatic	Storm Duration: 24.0000 hr
Dflt Damping (2D): 0.0050 ft	Dflt Damping (1D): 0.0050 ft
Min Node Srf Area (2D): 100 ft2	Min Node Srf Area (1D): 100 ft2
Energy Switch (2D): Energy	Energy Switch (1D): Energy

Comment:

Simulation: 100 Year 72 hr

Scenario: Scenario1
 Run Date/Time: 9/14/2024 2:06:19 PM
 Program Version: ICPR4 4.07.04

General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	72.0000

	Hydrology [sec]	Surface Hydraulics [sec]	Groundwater [sec]
Min Calculation Time:	60.0000	0.1000	900.0000
Max Calculation Time:		30.0000	

Output Time Increments

Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Groundwater

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	60.0000

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
 Reference ET Folder:
 Unit Hydrograph
 Folder:

Lookup Tables

Boundary Stage Set:
 Extern Hydrograph Set:
 Curve Number Set:

Green-Ampt Set:
 Vertical Layers Set:
 Impervious Set:
 Roughness Set:
 Crop Coef Set:
 Fillable Porosity Set:
 Conductivity Set:
 Leakage Set:

Tolerances & Options

Time Marching: SAOR	IA Recovery Time: 24.0000 hr
Max Iterations: 6	ET for Manual Basins: False
Over-Relax Weight: 0.5 dec	
Fact:	
dZ Tolerance: 0.0010 ft	Smp/Man Basin Rain: Global
	Opt:
Max dZ: 1.0000 ft	OF Region Rain Opt: Global
Link Optimizer Tol: 0.0001 ft	Rainfall Name: ~SFWMD-72
	Rainfall Amount: 18.00 in
Edge Length Option: Automatic	Storm Duration: 72.0000 hr
Dflt Damping (2D): 0.0050 ft	Dflt Damping (1D): 0.0050 ft
Min Node Srf Area (2D): 100 ft2	Min Node Srf Area (1D): 100 ft2
	Energy Switch (1D): Energy
Energy Switch (2D): Energy	

Comment:

Simulation: 25 Year 72 hr

Scenario: Scenario1
 Run Date/Time: 9/14/2024 2:08:26 PM
 Program Version: ICPR4 4.07.04

General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	72.0000
	Hydrology [sec]	Surface Hydraulics [sec]	Groundwater [sec]	
Min Calculation Time:	60.0000	0.1000	900.0000	
Max Calculation Time:		30.0000		

Output Time Increments

Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Groundwater

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	60.0000

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
Reference ET Folder:
Unit Hydrograph
Folder:

Lookup Tables

Boundary Stage Set:
Extern Hydrograph Set:
Curve Number Set:

Green-Ampt Set:
Vertical Layers Set:
Impervious Set:
Roughness Set:
Crop Coef Set:
Fillable Porosity Set:
Conductivity Set:
Leakage Set:

Tolerances & Options

Time Marching: SAOR	IA Recovery Time: 24.0000 hr
Max Iterations: 6	ET for Manual Basins: False
Over-Relax Weight 0.5 dec	
Fact:	
dZ Tolerance: 0.0010 ft	Smp/Man Basin Rain Global
	Opt:
Max dZ: 1.0000 ft	OF Region Rain Opt: Global
Link Optimizer Tol: 0.0001 ft	Rainfall Name: ~SFWMD-72
	Rainfall Amount: 14.00 in
Edge Length Option: Automatic	Storm Duration: 72.0000 hr
Dflt Damping (2D): 0.0050 ft	Dflt Damping (1D): 0.0050 ft
Min Node Srf Area 100 ft2	Min Node Srf Area 100 ft2

(2D):
Energy Switch (2D): Energy

(1D):
Energy Switch (1D): Energy

Comment:

Node Max Conditions [Scenario1]

Node Name	Sim Name	Warning Stage [ft]	Max Stage [ft]	Min/Max Delta Stage [ft]	Max Total Inflow [cfs]	Max Total Outflow [cfs]	Max Surface Area [ft2]
Site	10 Year 24 hr	7.50	4.57	-0.0086	13.66	12.56	2378
Tailwater	10 Year 24 hr	7.38	0.36	0.0000	12.56	0.00	0
Site	100 Year 72 hr	7.50	5.11	-0.0086	18.23	14.16	16476
Tailwater	100 Year 72 hr	7.38	0.42	0.0000	14.16	0.00	0
Site	25 Year 72 hr	7.50	4.66	-0.0086	13.77	12.85	3110
Tailwater	25 Year 72 hr	7.38	0.42	0.0000	12.85	0.00	0

APPENDIX B
Post-Development Calculations

Design Criteria:

Estimated Seasonal High Water Level: 3.50 NAVD

Proposed Acreages

Lake Areas (A_L)	0	sf	or	0.000	ac
Roof Areas (A_R)	60,416	sf	or	1.387	ac
Paved Areas (A_P)	26,243	sf	or	0.602	ac
Green Areas (A_G)	18,847	sf	or	0.433	ac
Total (A_T)	105,506	sf	or	2.422	ac

Compute Required Water Quality Volume:

1) Provide at least 1 inch over the developed project:

$$\begin{aligned}
 V_{wq} &= 1 \text{ inch} \times A_T \times 1 \text{ ft} / 12 \text{ inches} \\
 &= 1 \times 2,422 / 12 \\
 &= \boxed{0.20} \text{ ac-ft} \quad \text{or} \quad 2.42 \text{ ac-in}
 \end{aligned}$$

2) Provide 2.5" over % impervious area:

a) Site Area for water quality pervious/impervious calculation:

$$\begin{aligned}
 A_S &= A_T - (A_L + A_R) \\
 &= 2.422 - (0.00 + 1.387) \\
 &= 1.04 \text{ ac of site area for water quality pervious/impervious}
 \end{aligned}$$

b) Impervious area for water quality pervious/impervious calculation:

$$\begin{aligned}
 A_{IMP} &= A_S - A_G \\
 &= 1.04 - 0.433 \\
 &= 0.60 \text{ ac of impervious area for water quality pervious/impervious}
 \end{aligned}$$

c) Percent impervious for water quality calculation:

$$\begin{aligned}
 &= A_{IMP} / A_S \times 100\% \\
 &= 0.60 / 1.04 \times 100\% \\
 &= 58.2 \text{ \% impervious}
 \end{aligned}$$

d) For 2.5" times the percent impervious:

$$\begin{aligned}
 &= 2.5" \times \% \text{ impervious} \\
 &= 2.5 \times 0.582 \\
 &= 1.46 \text{ inches to be treated}
 \end{aligned}$$

e) Computed volume required for quality detention

$$\begin{aligned}
 V_{wq} &= \text{inches to be treated} \times (A_T - A_L) \\
 &= 1.46 \times (2.422 - 0.00) \times 1 \text{ foot} / 12 \text{ inches} \\
 &= \boxed{0.29} \text{ ac-ft} \quad \text{or} \quad 3.52 \text{ ac-in}
 \end{aligned}$$

3) Since the 0.29 ac-ft is greater than the 0.20 computed for the first inch of runoff the volume of 0.29 ac-ft controls.

Pre-Treatment Water Quality Volume:

1) Provide at 1/2 inch over the developed project:

$$\begin{aligned} V_{PRE} &= 0.5 \text{ inch} \times A_T \times 1 \text{ ft} / 12 \text{ inches} \\ &= 0.5 \times 2.42 / 12 \\ &= 0.10 \text{ ac-ft or } 1.21 \text{ ac-in} \end{aligned}$$

2) Provided Pre Treatment Water Quality

Volume provided in dry exfil at 5.5	=	0.10	ac-ft
<hr/> Total Volume Provided	=	0.10	ac-ft

Soil Storage

Land Use Summary:

	Acres	Percent
Lake Areas (A _L)	0.000	0.00%
Roof Areas (A _R)	1.387	57.26%
Paved Areas (A _P)	0.602	24.87%
Green Areas (A _G)	0.433	17.86%
Total (A_T)	2.422	100.00%

Compacted Soil Storage per
 SFWMD Vol. IV
 Page C-III

Depth to Water Table (feet)	Water Storage (inches)
1	0.45
2	1.88
3	4.05
4	6.75

Average Pervious Grade (Elev.): 7.5
 Depth to Water Table: 4.00 ft
 Soil Compaction at Depth (S_s): 6.75 inches

Weighted S value:

$$= S_s \times \% \text{ Pervious} = 6.75 \times 12.21 = 1.21 \text{ inches}$$

$$= 1000 / (S + 10) = 1000 / (6.75 + 10) = 89.24$$

Rainfalls

From Figure C-9, 100-Year 3-day Storm = 18.00 inches
 From Figure C-8, 25-Year 3-day Storm = 14.00 inches
 From Figure C-4, 10-Year 1-day Storm = 8.83 inches

Runoff Volume

100-Year 3-Day (Finish Floor)

$$\text{Runoff (Q)} = (P - 0.2S)^2 / (P + 0.8S) = 16.63 \text{ inches} \quad \text{or} \quad 1.39 \text{ feet of total runoff}$$

$$\text{Runoff Volume} = Q * \text{Project Area} = 40.28 \text{ ac-in} \quad \text{or} \quad 3.36 \text{ ac-ft}$$

25-Year 3-Day

$$\text{Runoff (Q)} = (P - 0.2S)^2 / (P + 0.8S) = 12.65 \text{ inches} \quad \text{or} \quad 1.05 \text{ feet of total runoff}$$

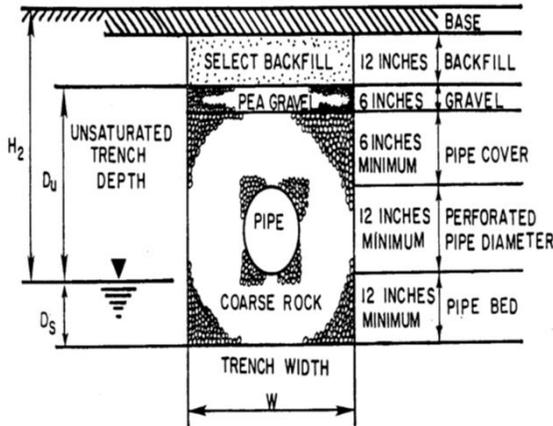
$$\text{Runoff Volume} = Q * \text{Project Area} = 30.64 \text{ ac-in} \quad \text{or} \quad 2.55 \text{ ac-ft}$$

10-Year 1-Day (Minimum Crown of Road)

$$\text{Runoff (Q)} = (P - 0.2S)^2 / (P + 0.8S) = 7.53 \text{ inches} \quad \text{or} \quad 0.63 \text{ feet of total runoff}$$

$$\text{Runoff Volume} = Q * \text{Project Area} = 18.24 \text{ ac-in} \quad \text{or} \quad 1.52 \text{ ac-ft}$$

Dry Exfiltration Trench Calculations:



Total: **380.00** LF

	Elevation (NAVD)	
Minimum Grate:		7.83 ft.
Asphalt/Base Thickness:	4.00 in.	7.50 ft.
Select Backfill:	12.00 in.	6.50 ft.
Pea Gravel Thickness:	6.00 in.	6.00 ft.
Weir Elevation		5.50 ft.
Pipe Cover:	6.00 in.	5.50 ft.
Pipe Wall Thickness:	in.	5.50 ft.
Pipe Diameter:	12.00 in.	4.50 ft.
Pipe Invert:		4.50 ft.
Seasonal High Water:		3.50 ft.
Pipe Bed (Ds):	3.00 ft.	0.50 ft.
Trench Bottom		0.50 ft.

Dry Treatment

K=HYDRAULIC CONDUCTIVITY (cfs/ft²*ft head)
 H2=DEPTH TO WATER TABLE (ft)

W=WIDTH OF TRENCH (ft)
 Du=NON-SATURATED TRENCH DEPTH (ft)
 Ds=SATURATED TRENCH DEPTH (ft)

L=LENGTH OF TRENCH
 TD=TRENCH DEPTH
 V_T=VOLUME OF TREATMENT

K=	0.0000238
H2=	2.00
Weir Elevation at H2	5.50
W=	10.00
Du=	2.00
Ds=	3.00
L=	380.00
TD=	5.00

EQUATION USED FOR THIS CALCULATION:

$$V_T (ac-ft) = \frac{V = (L) * (K * (2 * H2 * Du - Du^2 + 2 * H2 * Ds) + (1.39 * 10^{-4}) * W * Du)}{1000000} = 0.100$$

The following equations are used to determine the storage of the exfiltration trench.

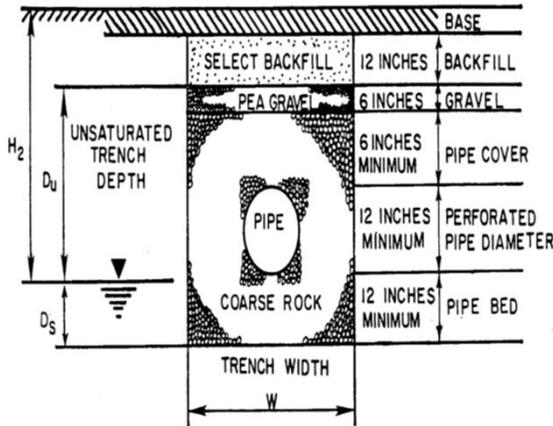
EQ. #1 $V = (L) * (K * (H2 * W + 2 * H2 * Du - Du^2 + 2 * H2 * Ds) + 1.39E10^{-4}) * W * Du$

EQ.#2 $V = (L) * (K * (2 * H2 * Du - Du^2 + 2 * H2 * Ds) + (1.39 * 10^{-4}) * W * Du)$

IF SATURATED DEPTH OF TRENCH > NON-SATURATED DEPTH OF TRENCH
 or IF THE TRENCH WIDTH IS > 2 * TOTAL TRENCH DEPTH

Treatment	
L (Equation 1)=	1.38244
L (Equation 2)=	1.201306667

Exfiltration Trench Calculations:



Total: **1126.00** LF

	Elevation (NAVD)	
Minimum Grate:		6.83 ft.
Asphalt/Base Thickness:	4.00 in.	6.50 ft.
Select Backfill:	12.00 in.	5.50 ft.
Pea Gravel Thickness:	6.00 in.	5.00 ft.
Weir Elevation		5.50 ft.
Pipe Cover:	6.00 in.	4.50 ft.
Pipe Wall Thickness:	in.	4.50 ft.
Pipe Diameter:	12.00 in.	3.50 ft.
Pipe Invert:		3.50 ft.
Seasonal High Water:		3.50 ft.
Pipe Bed (Ds):	3.00 ft.	0.50 ft.
Trench Bottom		0.50 ft.

Maximum Allowable Trench for this basin 5.28 in. over 2.422 acres: 0.66 ac-ft.

K=HYDRAULIC CONDUCTIVITY (cfs/ft²*ft head)
 H2=DEPTH TO WATER TABLE (ft)

W=WIDTH OF TRENCH (ft)
 Du=NON-SATURATED TRENCH DEPTH (ft)
 Ds=SATURATED TRENCH DEPTH (ft)
 L=LENGTH OF TRENCH
 TD=TRENCH DEPTH
 V_T=VOLUME OF TREATMENT

K=	0.0000238
H2=	2.00
Weir Elevation at H2	5.50
W=	10.00
Du=	2.00
Ds=	3.00
L=	1101.00
TD=	5.00

EQUATION USED FOR THIS CALCULATION:

$$V_T (ac-ft) = \frac{V = (L) * (K * (2 * H2 * Du - Du^2 + 2 * H2 * Ds) + (1.39 * 10^{-4}) * W * Du)}{10.47} = 0.290$$

K=HYDRAULIC CONDUCTIVITY (cfs/ft²*ft head)
 H2=DEPTH TO WATER TABLE (ft)

W=WIDTH OF TRENCH (ft)
 Du=NON-SATURATED TRENCH DEPTH (ft)
 Ds=SATURATED TRENCH DEPTH (ft)
 L=LENGTH OF TRENCH
 TD=TRENCH DEPTH
 V_S=VOLUME OF STORAGE

K=	0.0000238
H2=	2.00
Weir Elevation at H2	5.50
W=	10.00
Du=	2.00
Ds=	3.00
L=	25.00
TD=	5.00

EQUATION USED FOR THIS CALCULATION:

$$V_S (ac-ft) = \frac{V = (L) * (K * (H2 * W + 2 * H2 * Du - Du^2 + 2 * H2 * Ds) + 1.39E10^{-4} * W * Du)}{10.47} = 0.004$$

V=TOTAL VOLUME OF STORAGE

EQUATION USED FOR THIS CALCULATION:

$$V (ac-ft) = \frac{V = (L) * (K * (2 * H2 * Du - Du^2 + 2 * H2 * Ds) + (1.39 * 10^{-4}) * W * Du)}{10.47} = 0.293$$

The following equations are used to determine the storage of the exfiltration trench.

EQ. #1 $V = (L) * (K * (H2 * W + 2 * H2 * Du - Du^2 + 2 * H2 * Ds) + 1.39E10^{-4} * W * Du)$

EQ. #2 $V = (L) * (K * (2 * H2 * Du - Du^2 + 2 * H2 * Ds) + (1.39 * 10^{-4}) * W * Du)$

IF SATURATED DEPTH OF TRENCH > NON-SATURATED DEPTH OF TRENCH
 or IF THE TRENCH WIDTH IS > 2 * TOTAL TRENCH DEPTH

	Treatment	Storage
L (Equation 1)=	4.000336408	0.0454171
L (Equation 2)=	3.475526408	0.0394587

Site Stage Storage: (FROM CAD)

Note: assume linear site storage between low and high elevation and vertical storage above high elev.

Control Elevation = 2.5
 Finished Floor Elevator 7.50
 Area at Control Elevatic 0.00000
 Area at Top of Bank = 0.00000
 Building Area = 0.00

Sub-Area		Total
Low El.		Storage
High El.		
Area (ft ²)		
Area (acres)		
Stage (NAVD)	Stage (NAVD)	(ac-ft)
2.50	2.50	0.0000
2.60	2.60	0.0000
2.70	2.70	0.0000
2.80	2.80	0.0000
2.90	2.90	0.0000
3.00	3.00	0.0000
3.10	3.10	0.0000
3.20	3.20	0.0000
3.30	3.30	0.0000
3.40	3.40	0.0000
3.50	3.50	0.0000
3.60	3.60	0.0000
3.70	3.70	0.0000
3.80	3.80	0.0000
3.90	3.90	0.0000
4.00	4.00	0.0000
4.10	4.10	0.0000
4.20	4.20	0.0000
4.30	4.30	0.0000
4.40	4.40	0.0000
4.50	4.50	0.0000
4.60	4.60	0.0000
4.70	4.70	0.0000
4.80	4.80	0.0000
4.90	4.90	0.0000
5.00	5.00	0.0000
5.10	5.10	0.0000
5.20	5.20	0.0000
5.30	5.30	0.0000
5.40	5.40	0.0000
5.50	5.50	0.0000
5.60	5.60	0.0000
5.70	5.70	0.0000
5.80	5.80	0.0000
5.90	5.90	0.0000
6.00	6.00	0.0000
6.10	6.10	0.0000
6.20	6.20	0.0000
6.30	6.30	0.0000
6.40	6.40	0.0000
6.50	6.50	0.0000
6.60	6.60	0.0000
6.70	6.70	0.0000
6.80	6.80	0.0000
6.90	6.90	0.0000
7.00	7.00	0.0000
7.10	7.10	0.0000
7.20	7.20	0.0000
7.30	7.30	0.0000
7.40	7.40	0.0000
7.50	7.50	0.0000

Underground Stage Storage:

Exfiltration Trench

Control Elevation = 3.5
 FFE = 8.50
 Min. Treatment Vol. = 0.29 ac-ft
 Treatment Provided = 0.29 ac-ft

Dry Exfiltration Trench

Control Elevation = 3.5
 FFE = 8.50
 Min. Treatment Vol. = 0.10 ac-ft
 Treatment Provided = 0.10 ac-ft

Underground storage

Control Elevation = 3.5
 FFE = 8.50
 Min. Treatment Vol. = 0.00 ac-ft
 Treatment Provided = 1.25 ac-ft

Sub-Area	Total	Total
Low El.	Storage Area	Storage Area
High El.		
Area (ft ²)		
Area (acres)		
Stage (NAVD)	(ac)	(ac-ft)
2.50	0.08	0.0000
2.60	0.08	0.0000
2.70	0.08	0.0000
2.80	0.08	0.0000
2.90	0.08	0.0000
3.00	0.08	0.0000
3.10	0.08	0.0000
3.20	0.08	0.0000
3.30	0.08	0.0000
3.40	0.08	0.0000
3.50	0.08	0.0000
3.60	0.08	0.0147
3.70	0.08	0.0245
3.80	0.08	0.0342
3.90	0.08	0.0440
4.00	0.08	0.0538
4.10	0.08	0.0636
4.20	0.08	0.0734
4.30	0.08	0.0831
4.40	0.08	0.0929
4.50	0.08	0.1027
4.60	0.08	0.1125
4.70	0.08	0.1223
4.80	0.08	0.1320
4.90	0.08	0.1418
5.00	0.08	0.1516
5.10	0.08	0.1614
5.20	0.08	0.1712
5.30	0.08	0.1809
5.40	0.08	0.1907
5.50	0.08	0.2934
5.60	0.08	0.2934
5.70	0.08	0.2934
5.80	0.08	0.2934
5.90	0.08	0.2934
6.00	0.08	0.2934
6.10	0.08	0.2934
6.20	0.08	0.2934
6.30	0.08	0.2934
6.40	0.08	0.2934
6.50	0.08	0.2934
6.60	0.04	0.2934
6.70	0.07	0.2934
6.80	0.11	0.2934
6.90	0.16	0.2934
7.00	0.21	0.2934
7.10	0.28	0.2934
7.20	0.35	0.2934
7.30	0.43	0.2934
7.40	0.52	0.2934
7.50	0.62	0.2934

Sub-Area	Total	Total
Low El.	Storage Area	Storage Area
High El.		
Area (ft ²)		
Area (acres)		
Stage (NAVD)	(ac)	(ac-ft)
2.50	0.00	0.0000
2.60	0.00	0.0000
2.70	0.00	0.0000
2.80	0.00	0.0000
2.90	0.00	0.0000
3.00	0.00	0.0000
3.10	0.00	0.0000
3.20	0.00	0.0000
3.30	0.00	0.0000
3.40	0.00	0.0000
3.50	0.00	0.0000
3.60	0.00	0.0000
3.70	0.00	0.0000
3.80	0.00	0.0000
3.90	0.00	0.0000
4.00	0.00	0.0000
4.10	0.00	0.0000
4.20	0.00	0.0000
4.30	0.00	0.0000
4.40	0.00	0.0000
4.50	0.00	0.0000
4.60	0.00	0.0100
4.70	0.00	0.0150
4.80	0.00	0.0200
4.90	0.00	0.0250
5.00	0.00	0.0300
5.10	0.00	0.0350
5.20	0.00	0.0400
5.30	0.00	0.0450
5.40	0.00	0.0501
5.50	0.00	0.1001
5.60	0.00	0.1001
5.70	0.00	0.1001
5.80	0.00	0.1001
5.90	0.00	0.1001
6.00	0.00	0.1001
6.10	0.00	0.1001
6.20	0.00	0.1001
6.30	0.00	0.1001
6.40	0.00	0.1001
6.50	0.00	0.1001
6.60	0.08	0.1001
6.70	0.08	0.1001
6.80	0.08	0.1001
6.90	0.08	0.1001
7.00	0.08	0.1001
7.10	0.08	0.1001
7.20	0.08	0.1001
7.30	0.08	0.1001
7.40	0.08	0.1001
7.50	0.08	0.1001

Sub-Area	Total	Total
Low El.	Storage Area	Storage Area
High El.		
Area (ft ²)		
Area (acres)		
Stage (NAVD)	(ac)	(ac-ft)
2.50	0.08	0.0000
2.60	0.08	0.0625
2.70	0.08	0.1250
2.80	0.08	0.1875
2.90	0.08	0.2500
3.00	0.08	0.3125
3.10	0.08	0.3750
3.20	0.08	0.4375
3.30	0.08	0.5000
3.40	0.08	0.5625
3.50	0.08	0.6250
3.60	0.08	0.6875
3.70	0.08	0.7500
3.80	0.08	0.8125
3.90	0.08	0.8750
4.00	0.08	0.9375
4.10	0.08	1.0000
4.20	0.08	1.0625
4.30	0.08	1.1250
4.40	0.08	1.1875
4.50	0.08	1.2500
4.60	0.08	1.2500
4.70	0.08	1.2500
4.80	0.08	1.2500
4.90	0.08	1.2500
5.00	0.08	1.2500
5.10	0.08	1.2500
5.20	0.08	1.2500
5.30	0.08	1.2500
5.40	0.08	1.2500
5.50	0.08	1.2500
5.60	0.08	1.2500
5.70	0.08	1.2500
5.80	0.08	1.2500
5.90	0.08	1.2500
6.00	0.08	1.2500
6.10	0.08	1.2500
6.20	0.08	1.2500
6.30	0.08	1.2500
6.40	0.08	1.2500
6.50	0.08	1.2500
6.60	0.00	1.2500
6.70	0.00	1.2500
6.80	0.00	1.2500
6.90	0.00	1.2500
7.00	0.00	1.2500
7.10	0.00	1.2500
7.20	0.00	1.2500
7.30	0.00	1.2500
7.40	0.00	1.2500
7.50	0.00	1.2500

Total Site Stage Storage:

Total Site Stage Storage
 Control Elevation = 3.5
 Finished Floor Elevation = 8.50
 Area at Control Elevation = 0.000
 Area at Top of Bank = 2.422
 Building Area = 1.387

Sub-Area	Total	Total
Low EL	Site	Site
High EL	Storage	Storage
Area (ft ²)	Area	Volume
Area (acres)		
Stage (NAVD)	(ac)	(ac-ft)
2.50	0.0838	0.00
2.60	0.0838	0.06
2.70	0.0838	0.13
2.80	0.0838	0.19
2.90	0.0838	0.25
3.00	0.0838	0.31
3.10	0.0838	0.38
3.20	0.0838	0.44
3.30	0.0838	0.50
3.40	0.0838	0.56
3.50	0.0838	0.63
3.60	0.0838	0.70
3.70	0.0838	0.77
3.80	0.0838	0.85
3.90	0.0838	0.92
4.00	0.0838	0.99
4.10	0.0838	1.06
4.20	0.0838	1.14
4.30	0.0838	1.21
4.40	0.0838	1.28
4.50	0.0838	1.35
4.60	0.0838	1.37
4.70	0.0838	1.39
4.80	0.0838	1.40
4.90	0.0838	1.42
5.00	0.0838	1.43
5.10	0.0838	1.45
5.20	0.0838	1.46
5.30	0.0838	1.48
5.40	0.0838	1.49
5.50	0.0838	1.64
5.60	0.0838	1.64
5.70	0.0838	1.64
5.80	0.0838	1.64
5.90	0.0838	1.64
6.00	0.0838	1.64
6.10	0.0838	1.64
6.20	0.0838	1.64
6.30	0.0838	1.64
6.40	0.1701	1.65
6.50	0.2564	1.66
6.60	0.3814	1.68
6.70	0.4979	1.71
6.80	0.6230	1.75
6.90	0.7567	1.80
7.00	0.8990	1.85
7.10	1.0499	1.92
7.20	1.2095	1.99
7.30	1.3777	2.07
7.40	1.5546	2.17
7.50	1.7400	2.26

Simple Basin: Site

Scenario: Scenario1
 Node: Site
 Hydrograph Method: NRCS Unit Hydrograph
 Infiltration Method: Curve Number
 Time of Concentration: 10.0000 min
 Max Allowable Q: 99999999.00 cfs
 Time Shift: 0.0000 hr
 Unit Hydrograph: UH256
 Peaking Factor: 256.0
 Area: 2.4220 ac
 Curve Number: 89.2
 % Impervious: 0.00
 % DCIA: 0.00
 % Direct: 0.00
 Rainfall Name:

Comment:

Node: Control Structure

Scenario: Scenario1
 Type: Stage/Area
 Base Flow: 0.00 cfs
 Initial Stage: 1.50 ft
 Warning Stage: 7.50 ft

Stage [ft]	Area [ac]	Area [ft2]
1.50	0.0016	68
1.60	0.0016	68
1.70	0.0016	68
1.80	0.0016	68
1.90	0.0016	68
2.00	0.0016	68
2.10	0.0016	68
2.20	0.0016	68
2.30	0.0016	68
2.40	0.0016	68
2.50	0.0016	68
2.60	0.0016	68
2.70	0.0016	68
2.80	0.0016	68
2.90	0.0016	68
3.00	0.0016	68
3.10	0.0016	68
3.20	0.0016	68
3.30	0.0016	68
3.40	0.0016	68

Stage [ft]	Area [ac]	Area [ft2]
3.50	0.0016	68
3.60	0.0016	68
3.70	0.0016	68
3.80	0.0016	68
3.90	0.0016	68
4.00	0.0016	68
4.10	0.0016	68
4.20	0.0016	68
4.30	0.0016	68
4.40	0.0016	68
4.50	0.0016	68
4.60	0.0016	68
4.70	0.0016	68
4.80	0.0016	68
4.90	0.0016	68
5.00	0.0016	68
5.10	0.0016	68
5.20	0.0016	68
5.30	0.0016	68
5.40	0.0016	68
5.50	0.0016	68
5.60	0.0016	68
5.70	0.0016	68
5.80	0.0016	68
5.90	0.0016	68
6.00	0.0016	68

Comment:

Node: Site

Scenario: Scenario1
Type: Stage/Area
Base Flow: 0.00 cfs
Initial Stage: 3.50 ft
Warning Stage: 7.50 ft

Stage [ft]	Area [ac]	Area [ft2]
3.50	0.5000	21780
3.60	0.5000	21780
3.70	0.5000	21780
3.80	0.5000	21780
3.90	0.5000	21780
4.00	0.5000	21780
4.10	0.5000	21780
4.20	0.5000	21780
4.30	0.5000	21780

Stage [ft]	Area [ac]	Area [ft2]
4.40	0.5000	21780
4.50	0.5000	21780
4.60	0.5000	21780
4.70	0.5000	21780
4.80	0.5000	21780
4.90	0.5000	21780
5.00	0.5000	21780
5.10	0.5000	21780
5.20	0.5000	21780
5.30	0.5000	21780
5.40	0.5000	21780
5.50	0.5000	21780
5.60	0.5000	21780
5.70	0.5000	21780
5.80	0.5000	21780
5.90	0.5000	21780
6.00	0.5000	21780

Comment:

Node: Site Exfil

Scenario: Scenario1
Type: Stage/Volume
Base Flow: 0.00 cfs
Initial Stage: 4.00 ft
Warning Stage: 7.50 ft

Stage [ft]	Volume [ac-ft]	Volume [ft3]
3.50	0.00	0
3.60	0.01	640
3.70	0.02	1067
3.80	0.03	1490
3.90	0.04	1917
4.00	0.05	2344
4.10	0.06	2770
4.20	0.07	3197
4.30	0.08	3620
4.40	0.09	4047
4.50	0.10	4474
4.60	0.12	5336
4.70	0.14	5981
4.80	0.15	6625
4.90	0.17	7266
5.00	0.18	7910
5.10	0.20	8555
5.20	0.21	9200

Stage [ft]	Volume [ac-ft]	Volume [ft3]
5.30	0.23	9845
5.40	0.24	10489
5.50	0.39	17141
5.60	0.39	17141
5.70	0.39	17141
5.80	0.39	17141
5.90	0.39	17141
6.00	0.39	17141

Comment:

Node: Tailwater

Scenario: Scenario1
 Type: Time/Stage
 Base Flow: 0.00 cfs
 Initial Stage: 0.32 ft
 Warning Stage: 7.38 ft
 Boundary Stage:

Year	Month	Day	Hour	Stage [ft]
0	0	0	0.0000	0.33
0	0	0	70.0000	0.42
0	0	0	99999999.0000	0.33

Comment:

Drop Structure Link: CS-01		Upstream Pipe	Downstream Pipe
Scenario:	Scenario1	Invert: 1.00 ft	Invert: 1.00 ft
From Node:	Control Structure	Manning's N: 0.0100	Manning's N: 0.0100
To Node:	Tailwater	Geometry: Circular	Geometry: Circular
Link Count:	1	Max Depth: 2.00 ft	Max Depth: 2.00 ft
Flow Direction:	Both	Bottom Clip	
Solution:	Combine	Default: 0.00 ft	Default: 0.00 ft
Increments:	0	Op Table:	Op Table:
Pipe Count:	1	Ref Node:	Ref Node:
Damping:	0.0000 ft	Manning's N: 0.0000	Manning's N: 0.0000
Length:	12.00 ft	Top Clip	
FHWA Code:	1	Default: 0.00 ft	Default: 0.00 ft
Entr Loss Coef:	0.50	Op Table:	Op Table:
Exit Loss Coef:	0.25	Ref Node:	Ref Node:
Bend Loss Coef:	0.00	Manning's N: 0.0000	Manning's N: 0.0000
Bend Location:	0.00 dec		
Energy Switch:	Energy		

Pipe Comment:

Weir Component	
Weir: 1	Bottom Clip
Weir Count: 1	Default: 0.00 ft
Weir Flow Direction: Both	Op Table:
Damping: 0.0000 ft	Ref Node:
Weir Type: Sharp Crested Vertical	Top Clip
Geometry Type: Rectangular	Default: 0.00 ft
Invert: 5.50 ft	Op Table:
Control Elevation: 5.50 ft	Ref Node:
Max Depth: 0.50 ft	Discharge Coefficients
Max Width: 8.00 ft	Weir Default: 3.200
Fillet: 0.00 ft	Weir Table:
	Orifice Default: 0.600
	Orifice Table:

Weir Comment: Outfall Weir (Two chamber with weir wall)

Drop Structure Comment:

Pipe Link: Exfil Pipe	Upstream	Downstream
Scenario: Scenario1	Invert: 3.50 ft	Invert: 3.50 ft
From Node: Site	Manning's N: 0.0100	Manning's N: 0.0100
To Node: Site Exfil	Geometry: Circular	Geometry: Circular
Link Count: 1	Max Depth: 1.00 ft	Max Depth: 1.00 ft
Flow Direction: Both	Bottom Clip	
Damping: 0.0000 ft	Default: 0.00 ft	Default: 0.00 ft
Length: 980.00 ft	Op Table:	Op Table:
FHWA Code: 1	Ref Node:	Ref Node:
Entr Loss Coef: 0.50	Manning's N: 0.0000	Manning's N: 0.0000
Exit Loss Coef: 0.25	Top Clip	
Bend Loss Coef: 0.00	Default: 0.00 ft	Default: 0.00 ft
Bend Location: 0.00 dec	Op Table:	Op Table:
Energy Switch: Energy	Ref Node:	Ref Node:
	Manning's N: 0.0000	Manning's N: 0.0000

Comment:

Pipe Link: Outfall Pipe	Upstream	Downstream
Scenario: Scenario1	Invert: 3.50 ft	Invert: 3.50 ft
From Node: Site	Manning's N: 0.0100	Manning's N: 0.0100
To Node: Control Structure	Geometry: Circular	Geometry: Circular
Link Count: 1	Max Depth: 1.50 ft	Max Depth: 1.50 ft
Flow Direction: Both	Bottom Clip	
Damping: 0.0000 ft	Default: 0.00 ft	Default: 0.00 ft
Length: 267.00 ft	Op Table:	Op Table:
FHWA Code: 1	Ref Node:	Ref Node:

Entr Loss Coef: 0.50	Manning's N: 0.0000	Manning's N: 0.0000
Exit Loss Coef: 0.25	Top Clip	
Bend Loss Coef: 0.00	Default: 0.00 ft	Default: 0.00 ft
Bend Location: 0.00 dec	Op Table:	Op Table:
Energy Switch: Energy	Ref Node:	Ref Node:
	Manning's N: 0.0000	Manning's N: 0.0000

Comment:

Simulation: 10 Year 24 hr

Scenario: Scenario1
 Run Date/Time: 9/14/2024 1:48:52 PM
 Program Version: ICPR4 4.07.04

General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	24.0000

	Hydrology [sec]	Surface Hydraulics [sec]	Groundwater [sec]
Min Calculation Time:	60.0000	0.1000	900.0000
Max Calculation Time:		30.0000	

Output Time Increments

Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Groundwater

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	60.0000

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
Reference ET Folder:
Unit Hydrograph
Folder:

Lookup Tables

Boundary Stage Set:
Extern Hydrograph Set:
Curve Number Set:

Green-Ampt Set:
Vertical Layers Set:
Impervious Set:
Roughness Set:
Crop Coef Set:
Fillable Porosity Set:
Conductivity Set:
Leakage Set:

Tolerances & Options

Time Marching:	SAOR	IA Recovery Time:	24.0000 hr
Max Iterations:	6	ET for Manual Basins:	False
Over-Relax Weight	0.5 dec		
Fact:			
dZ Tolerance:	0.0010 ft	Smp/Man Basin Rain	Global
		Opt:	
Max dZ:	1.0000 ft	OF Region Rain Opt:	Global
Link Optimizer Tol:	0.0001 ft	Rainfall Name:	~SCSII-24
		Rainfall Amount:	8.83 in
Edge Length Option:	Automatic	Storm Duration:	24.0000 hr
Dflt Damping (2D):	0.0050 ft	Dflt Damping (1D):	0.0050 ft
Min Node Srf Area	100 ft2	Min Node Srf Area	100 ft2
(2D):		(1D):	
Energy Switch (2D):	Energy	Energy Switch (1D):	Energy

Comment:

Simulation: 100 Year 72 hr

Scenario: Scenario1
Run Date/Time: 9/14/2024 1:49:53 PM
Program Version: ICPR4 4.07.04

General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	72.0000

Hydrology [sec]	Surface Hydraulics	Groundwater [sec]
-----------------	--------------------	-------------------

	[sec]		
Min Calculation Time:	60.0000	0.1000	900.0000
Max Calculation Time:		30.0000	

Output Time Increments

Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Groundwater

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	60.0000

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
Reference ET Folder:
Unit Hydrograph
Folder:

Lookup Tables

Boundary Stage Set:
Extern Hydrograph Set:
Curve Number Set:

Green-Ampt Set:
Vertical Layers Set:
Impervious Set:
Roughness Set:
Crop Coef Set:
Fillable Porosity Set:
Conductivity Set:
Leakage Set:

Tolerances & Options

Time Marching: SAOR
Max Iterations: 6
Over-Relax Weight 0.5 dec
Fact:
dZ Tolerance: 0.0010 ft

Max dZ: 1.0000 ft
Link Optimizer Tol: 0.0001 ft

IA Recovery Time: 24.0000 hr
ET for Manual Basins: False

Smp/Man Basin Rain Global
Opt:
OF Region Rain Opt: Global
Rainfall Name: ~SFWMD-72

Edge Length Option: Automatic	Rainfall Amount: 18.00 in
	Storm Duration: 72.0000 hr
Dflt Damping (2D): 0.0050 ft	Dflt Damping (1D): 0.0050 ft
Min Node Srf Area (2D): 100 ft2	Min Node Srf Area (1D): 100 ft2
Energy Switch (2D): Energy	Energy Switch (1D): Energy

Comment:

Simulation: 25 Year 72 hr

Scenario: Scenario1
 Run Date/Time: 9/14/2024 1:51:50 PM
 Program Version: ICPR4 4.07.04

General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	72.0000

	Hydrology [sec]	Surface Hydraulics [sec]	Groundwater [sec]
Min Calculation Time:	60.0000	0.1000	900.0000
Max Calculation Time:		30.0000	

Output Time Increments

Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Groundwater

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	60.0000

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
 Reference ET Folder:
 Unit Hydrograph
 Folder:

Lookup Tables

Boundary Stage Set:
 Extern Hydrograph Set:
 Curve Number Set:

 Green-Ampt Set:
 Vertical Layers Set:
 Impervious Set:
 Roughness Set:
 Crop Coef Set:
 Fillable Porosity Set:
 Conductivity Set:
 Leakage Set:

Tolerances & Options

Time Marching:	SAOR	IA Recovery Time:	24.0000 hr
Max Iterations:	6	ET for Manual Basins:	False
Over-Relax Weight	0.5 dec		
Fact:			
dZ Tolerance:	0.0010 ft	Smp/Man Basin Rain	Global
		Opt:	
Max dZ:	1.0000 ft	OF Region Rain Opt:	Global
Link Optimizer Tol:	0.0001 ft	Rainfall Name:	~SFWMD-72
		Rainfall Amount:	14.00 in
Edge Length Option:	Automatic	Storm Duration:	72.0000 hr
Dflt Damping (2D):	0.0050 ft	Dflt Damping (1D):	0.0050 ft
Min Node Srf Area	100 ft2	Min Node Srf Area	100 ft2
(2D):		(1D):	
Energy Switch (2D):	Energy	Energy Switch (1D):	Energy

Comment:

Node Max Conditions [Scenario1]

Node Name	Sim Name	Warning Stage [ft]	Max Stage [ft]	Min/Max Delta Stage [ft]	Max Total Inflow [cfs]	Max Total Outflow [cfs]	Max Surface Area [ft2]
Control Structure	10 Year 24 hr	7.50	5.55	0.0010	0.41	0.26	268
Site	10 Year 24 hr	7.50	5.55	0.0010	16.66	1.36	22462
Site Exfil	10 Year 24 hr	7.50	5.55	0.0010	1.34	0.24	36491
Tailwater	10 Year 24 hr	7.38	0.36	0.0000	0.26	0.00	0
Control Structure	100 Year 72 hr	7.50	5.92	0.0010	6.98	7.01	268
Site	100 Year 72 hr	7.50	6.80	0.0010	19.10	7.96	22461
Site Exfil	100 Year 72 hr	7.50	6.80	0.0015	1.50	0.24	36491
Tailwater	100 Year 72 hr	7.38	0.42	0.0000	6.99	0.00	0
Control Structure	25 Year 72 hr	7.50	5.83	0.0010	4.91	4.92	268
Site	25 Year 72 hr	7.50	6.27	0.0010	14.78	6.25	22461
Site Exfil	25 Year 72 hr	7.50	5.83	0.0010	1.34	0.24	36491
Tailwater	25 Year 72 hr	7.38	0.42	0.0000	4.91	0.00	0

APPENDIX C
Geotechnical Report

June 21, 2024

Mr. Aron Goldstein
BOSFA Management LLC
1 Meadow Way
Lawrence, NY 11559
Phone: 516-412-6100
Email: info@bosfamanagement.com

RE: Exfiltration Tests
Oakwood Plaza Residential Tower, Hollywood
2609 North 26th Avenue, Hollywood, FL 33020
UES Project No.: 2130.2400028.0000

Dear Mr. Goldstein,

GFA International, Inc. d/b/a Universal Engineering Sciences (UES) performed three (3) exfiltration tests at the location shown in **Figure 1** for the above-mentioned project to assess the hydraulic conductivity coefficient data for the design of the drainage area. The exfiltration tests were performed in general accordance with the SFWMD Constant Head “Usual Condition” Open Hole Test Method to a depth of 10 feet below the ground surface. The calculated hydraulic conductivity coefficient for the exfiltration tests were as follows:

Exfiltration Test	Hydraulic Conductivity
EX01	$1.66 \times 10^{-5} \text{ ft}^3/\text{sec}/\text{ft}^2\text{-ft}$
EX02	$1.83 \times 10^{-5} \text{ ft}^3/\text{sec}/\text{ft}^2\text{-ft}$
EX03	$3.66 \times 10^{-5} \text{ ft}^3/\text{sec}/\text{ft}^2\text{-ft}$

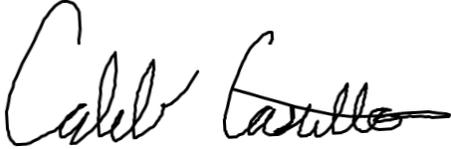
The test results are attached to this letter.

The stratification encountered during UES’s exploration are presented in the attached test logs. It should be noted that soil conditions might vary between what is depicted on the attached log and other areas of the site. The soil boring data reflect information from a specific test location only. Site specific survey staking for the test location was not provided for UES’s field exploration.

The test location was determined in the field by a project engineer by measuring distances and estimating right angles from existing site features. The latitude, longitude, and elevation noted in UES’s boring logs were taken from Google Earth. Google Earth uses WGS-84 or Local Mean Sea Level (MSL) as datum. It should be noted that elevations may not always be correct if fill is added or site grades change to a site after Google captures the image. The exfiltration location and elevations noted should, therefore, be considered approximate.

UES appreciates the opportunity to be of service to you on this project and look forward to a continued association. Please do not hesitate to contact UES if you have any questions or comments, or if UES may further assist you as your plans proceed.

Respectfully Submitted,
UES
Registry No. 4930



Caleb Castillo
Geotechnical Staff Engineer

Attachments:
Figure 1 – Test Location Plan
Hydraulic Conductivity Test Results
Test Logs

Alberto J. Mercado, P.E.
Geotechnical Department Manager
Professional Engineer #95703
State of Florida

This item has been digitally signed and sealed by [Alberto J. Mercado] on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Legend:

- Exfiltration Test



OAKWOOD PLAZA RESIDENTIAL TOWER
HOLLYWOOD, FL
UES PROJECT NO: 2130.2400028.0000

FIGURE 1 – TEST LOCATION PLAN

NOTE: BORING LOCATIONS WERE LOCATED USING A MEASURING TAPE AND EXISTING LANDMARKS AS REFERENCE POINTS. IN ADDITION, THE LATITUDE, LONGITUDE, AND ELEVATION NOTED ON THE BORING LOGS WERE TAKEN FROM GOOGLE EARTH. THEREFORE, LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE.



HYDRAULIC CONDUCTIVITY TEST RESULTS

Project name: Oakwood Plaza Residential Tower, Hollywood
Project number: 2130.2400028.0000
Date: 6/17/2024

SFWMD USUAL Open Hole Formula:

$$K = \frac{4Q}{\pi d(2H_2^2 + 4H_2D_s + H_2d)}$$

Exfiltration Number	First volume of water reading (after stabilization)	Final volume of water reading	Elapsed time	Average flow rate at constant head Q	Average flow rate at constant head Q*0.00223	Perforated casing diameter or hole diameter (d)	Water table* H ₂	Total length of bore hole	Length of bore hole below stabilized ground water (D _s)	Hydraulic Conductivity (K)
	gallon	gallon	min.	gallon/minute	ft ³ /sec	ft	ft	ft	ft	ft ³ /sec/ft ² - ft of head
EX-1	0.0	2.5	10	0.25	0.0006	0.33	4.0	10.0	6.0	1.66E-05
EX-2	0.0	2.8	10	0.28	0.0006	0.33	4.0	10.0	6.0	1.83E-05
EX-3	0.0	5.5	10	0.55	0.0012	0.33	4.0	10.0	6.0	3.66E-05

*The water table was not encountered within the explored depth. The water table has been assumed to be 6 feet below ground surface for calculation purposes.

GENERAL BH / TP / WELL - GINT STD US.GDT - 6/20/24 13:23 - C:\USERS\CASTILLO\TEAM\UES\SFL_GEO - DOCUMENTS\ACTIVE PROJECTS\2130.2400028.0000 - OAKWOOD PLAZA RESIDENTIAL TOWER, HOLLYWOOD16 - GINT\2130.2400028.0000 - OAKWOOD



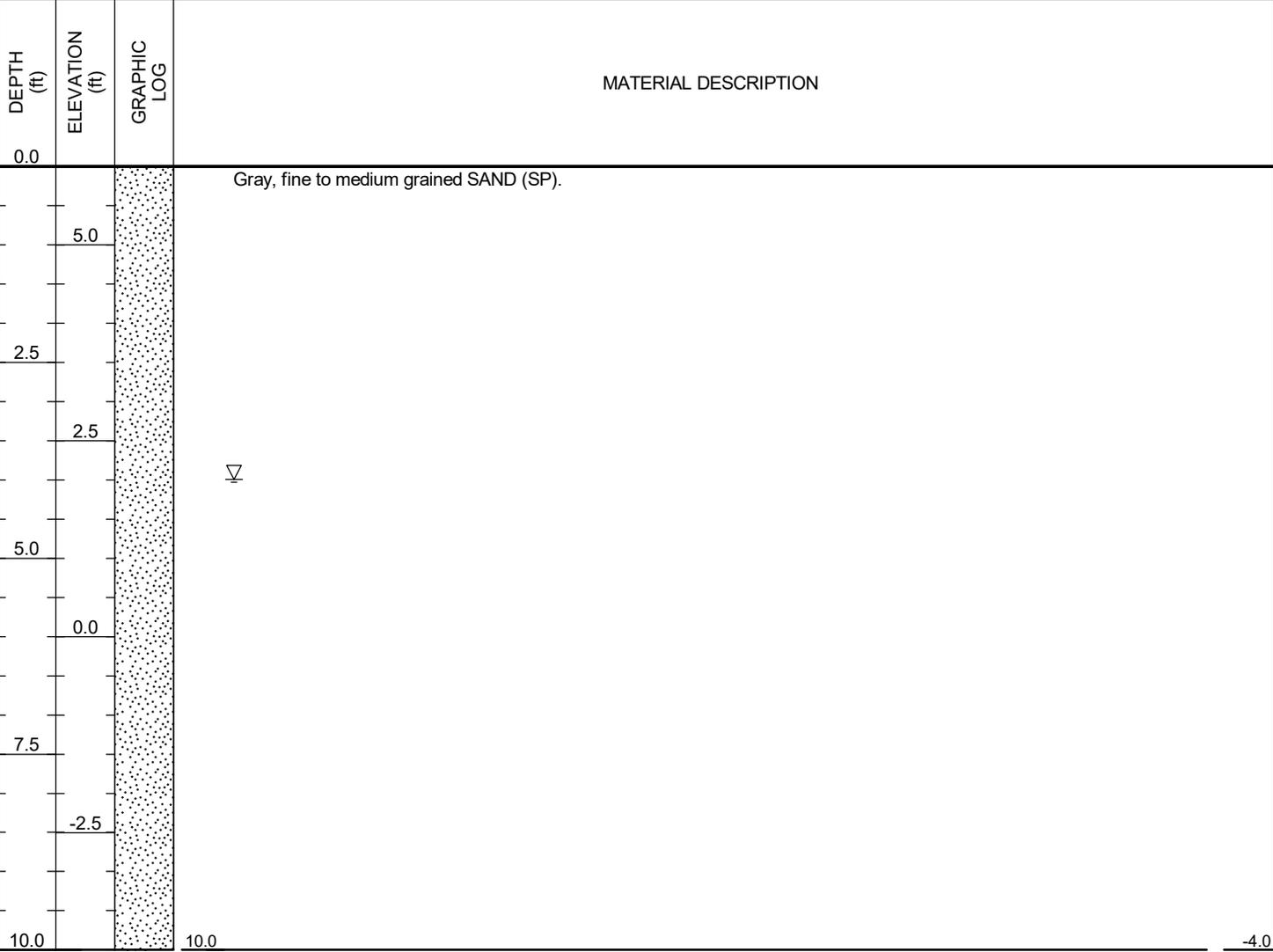
Universal Engineering Sciences

BORING NUMBER EX03

PAGE 1 OF 1

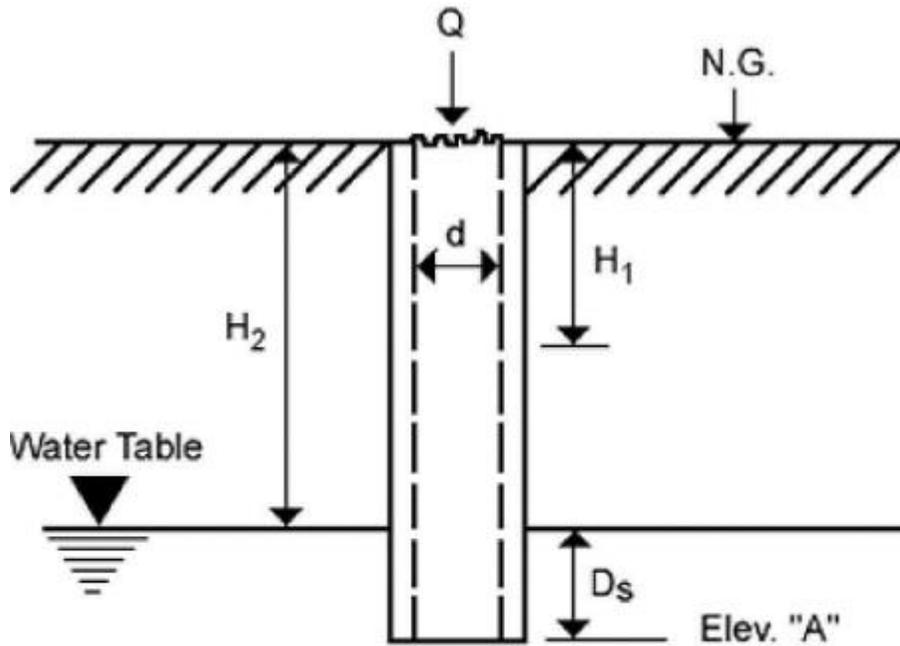
CLIENT BOSFA Management LLC
PROJECT NUMBER 2130.2400028.0000
DATE STARTED 6/17/24 **COMPLETED** 6/17/24
DRILLING CONTRACTOR UES
DRILLING METHOD Auger Boring
LOGGED BY Chris Bell **CHECKED BY** Alberto Mercado
NOTES _____

PROJECT NAME Oakwood Plaza Residential Tower, Hollywood
PROJECT LOCATION 2609 North 26th Avenue, Hollywood, FL 33020
LATITUDE 26.036703 **LONGITUDE** -80.159904
GROUND WATER LEVELS:
 ∇ **AT TIME OF DRILLING** 4.00 ft / Elev 2.00 ft
AT END OF ---
AFTER DRILLING ---



-4.0

USUAL OPEN-HOLE TEST



$$K = \frac{4Q}{\pi d (2H_2^2 + 4H_2D_s + H_2d)}$$

K = Hydraulic Conductivity (cfs/ft.² – ft. head)

Q = “Stabilized” Flow Rate (cfs)

d = Diameter of Test Hole (ft)

H₂ = Depth to Water Table (ft)

D_s = Saturated Hole Depth (ft)

Elev. “A” = Proposed Trench Bottom Elev. (ft – NGVD)

H₁ = Average Head on Unsaturated Hole Surface (ft. head)



APPENDIX D

Property Appraiser Summary Report



Site Address	N 26 AVENUE, HOLLYWOOD FL 33020	ID #	5142 04 12 0590
Property Owner	OAKWOOD PLAZA	Millage	0513
Mailing Address	% KIMCO REALTY 500 NORTH BROADWAY #201 JERICO NY 11753	Use	40-01
Abbr Legal Description	OAKWOOD HILLS 120-45 B TRACT C LESS PT DESC'D AS,BEG AT SW COR OF TRACT C,NLY & NELY 146.82,NWLY 50,NE 93.11,NW 40,NW 100,SE 260,SW 92.77, SW 86.67,SW 113.75,S 36.83,W 212.87 TO POB LESS POR DESC IN OR 26400/324 & 33061/1384		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2024 values are considered "working values" and are subject to change.

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$1,305,950		\$1,305,950	\$649,350	
2023	\$934,100		\$934,100	\$590,320	\$14,772.44
2022	\$748,180		\$748,180	\$536,660	\$12,447.58

2024* Exemptions and Taxable Values by Taxing Authority

	County	School Board	Municipal	Independent
Just Value	\$1,305,950	\$1,305,950	\$1,305,950	\$1,305,950
Portability	0	0	0	0
Assessed/SOH	\$649,350	\$1,305,950	\$649,350	\$649,350
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$649,350	\$1,305,950	\$649,350	\$649,350

Sales History			
Date	Type	Price	Book/Page or CIN
7/10/1996	SW*	\$100	25146 / 130
6/28/1989	DR*	\$100	16556 / 716
5/24/1989	SW*	\$660,000	16476 / 37

Land Calculations		
Price	Factor	Type
\$35.00	37,185	SF
\$0.10	44,763	SF
Adj. Bldg. S.F.		

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
05								
L								
1								



Site Address	2609 N 26 AVENUE, HOLLYWOOD FL 33020	ID #	5142 04 12 0594
Property Owner	OAKWOOD PLAZA LP	Millage	0513
Mailing Address	% KIMCO REALTY 500 NORTH BROADWAY #201 JERICO NY 11753	Use	40-01
Abbr Legal Description	OAKWOOD HILLS 120-45 B POR OF TR C & PT OF N 26 AVE DESC AS: COMM SE COR OF TR C, N 36.59, NE 113.75 TO POB, W 221.31, NW 50, NE 93.11, NW 40 NW 100, SE 260, SW 92.77, SW 86.67 TO POB AKA: PARCEL I		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2024 values are considered "working values" and are subject to change.

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$1,776,990		\$1,776,990	\$878,480	
2023	\$1,269,280		\$1,269,280	\$798,620	\$20,021.92
2022	\$1,015,420		\$1,015,420	\$726,020	\$16,859.64

2024* Exemptions and Taxable Values by Taxing Authority

	County	School Board	Municipal	Independent
Just Value	\$1,776,990	\$1,776,990	\$1,776,990	\$1,776,990
Portability	0	0	0	0
Assessed/SOH	\$878,480	\$1,776,990	\$878,480	\$878,480
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$878,480	\$1,776,990	\$878,480	\$878,480

Sales History			
Date	Type	Price	Book/Page or CIN
11/17/1994	SW*	\$2,842,000	22874 / 978

Land Calculations		
Price	Factor	Type
\$35.00	50,771	SF
Adj. Bldg. S.F.		

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
05								
L								
1								

APPENDIX E
Warranty Deeds

TRISone
November 9, 1994
c:\docs\spowerr.doc(doc.1)

94-571365 T#006
11-30-94 10:33AM
\$ 19894.00
DOCU. STAMPS-DEED
RECVD. BROWARD CTY
B. JACK OSTERHOLT
COUNTY ADMIN.

Prepared By, Record and Return To:
Theodore R. Stotzer, Esq.
Michael Swerdlow Companies, Inc.
200 South Park Road, Suite 200
Hollywood, Florida 33021

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made this 17th day of November, 1994, by STS LAND ASSOCIATES, L.P., a Delaware limited partnership, having its principal place of business at 200 South Park Road, Suite 200, Hollywood, Florida, 33021, hereinafter called the GRANTOR, to SFA ATLANTIS ASSOCIATES, L.P., a Delaware limited partnership, whose post office address is 200 South Park Road, Suite 200, Hollywood, Florida, 33021, hereinafter called the GRANTEE:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH, That the GRANTOR, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS and other valuable considerations paid, receipt of which is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the GRANTEE, all that certain land situate in Broward County, Florida, viz:

For a complete description of the land being conveyed hereby reference is hereby made to EXHIBIT "A" attached hereto and made a part hereof for all purposes ("Property").

Portions of Property Tax Folio Nos.:
1204-12-059
1204-12-062

Grantee's Tax I.D. No.: [REDACTED]

This conveyance is SUBJECT TO zoning, restrictions, prohibitions and other requirements imposed by governmental authority; restrictions and other matters appearing on the plat or otherwise common to the subdivision; easements of record; taxes and assessments for the year of conveyance and subsequent years; existing mortgage(s) of record; conditions, restrictions, reservations, limitations, contracts, leases, agreements and other undertakings of record or, if not of record, then which bind the Property and/or the titleholder and its interests in the Property and/or run with or are intended to run with the title to the Property.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same unto the said GRANTEE in fee simple.

AND with respect to all persons claiming by, through or under the GRANTOR, but none other, the GRANTOR hereby covenants with said GRANTEE that the GRANTOR is lawfully seized of said land in fee simple and that the GRANTOR has good right and

93-1493 PC
RECORD TO: LANDERS TITLE INSURANCE CORP.

BK 22874 PG 0978

(4) ml

lawful authority to sell and convey said land and that the GRANTOR hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the said GRANTOR, but against none other, and that said land is free of all encumbrances except as above noted.

IN WITNESS WHEREOF, the GRANTOR has caused these presents to be executed in its name, by its proper officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered in the presence of:

STS LAND ASSOCIATES, L.P.
By: Hollywood STS Associates, L.P.,
Its general partner
By: Hollywood, Inc. (Del.)
Its general Partner

C Harrison
Name: C HARRISON

By: *[Signature]*
Michael Swerdlow, President
200 South Park Road, Suite 200,
Hollywood, Florida 33021

Celeste M. Orline
Name: Celeste M. Orline

Attest: *[Signature]*
Theodore R. Stotzer, Secretary
200 South Park Road, Suite 200,
Hollywood, Florida 33021

(Corporate Seal)



STATE OF FLORIDA)
COUNTY OF BROWARD)

I HEREBY CERTIFY, that on this day, before me personally appeared MICHAEL SWERDLOW and THEODORE R. STOTZER, President and Secretary, respectively, of Hollywood, Inc. (Del.), as the general partner of Hollywood STS Associates, L.P., as the general partner of STS Land Associates, L.P., a Delaware limited partnership, on behalf of said limited partnership. They have executed the foregoing instrument and are personally known to me or have produced _____, and _____, respectively, as identification and did not take an oath.

WITNESS my hand and official seal this 17th day of November, 1994, at the County and State aforesaid.

Celeste M. Orline
NOTARY PUBLIC
Name: *Celeste M. Orline*
My Commission Expires:

(Notary Seal)
CELESTE M. ORLINE
MY COMMISSION # CC 214844 EXPIRES
August 24, 1996
BONDED THROUGH TROY FARM INSURANCE, INC.

BK 22874 PG 0979

EXHIBIT 'A'

PARCEL I:

A portion of Tract "C", OAKWOOD HILLS, according to the Plat thereof, as recorded in Plat Book 120, Page 45, of the Public Records of Broward County, Florida, more particularly described as follows:

COMMENCE at the Southeast corner of said Tract "C", thence along the East line of said Tract "C", North 04°16'36" West, 36.59 feet; thence North 07°42'14" East, 113.75 feet to the POINT OF BEGINNING; thence South 85°17'41" West, 221.31 feet to a point on the East Right-of-Way Line of North 26th Avenue; thence along said East Right-of-Way Line of North 26th Avenue, North 03°59'20" West, 50.00 feet; thence continue along said East Right-of-Way Line of North 26th Avenue, North 11°34'23" East, 93.11 feet; thence North 78°25'37" West, 40.00 feet to a point on the former centerline of North 26th Avenue (vacated by Official Records Book 20603, Page 366); thence along said former centerline of North 26th Avenue, North 11°34'23" East, 100.00 feet; thence South 78°25'37" East, 260.00 feet to a point on the aforementioned East line of Tract "C"; thence along said East line of Tract "C", South 11°34'23" West, 92.77 feet; thence continue along said East line of Tract "C", South 07°42'14" West, 86.67 feet to the POINT OF BEGINNING.

Said lands situate, lying and being in Broward County, Florida.

BK 22874 PG 0980

EXHIBIT "A"

TOGETHER WITH: (PORTION OF TRACT "E", OAKWOOD HILLS)

PARCEL II:

LAND DESCRIPTION:

A PORTION OF TRACT "E", "OAKWOOD HILLS," ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 120, PAGE 45 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT "E", THENCE ALONG THE WEST LINE OF SAID TRACT "E", NORTH $06^{\circ} 21' 22''$ EAST, A DISTANCE OF 1311.42 FEET; THENCE SOUTH $03^{\circ} 38' 38''$ EAST, A DISTANCE OF 423.09 FEET; THENCE SOUTH $37^{\circ} 42' 35''$ WEST, A DISTANCE OF 17.12 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 277.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF $20^{\circ} 50' 51''$, AN ARC DISTANCE OF 100.79 FEET, THENCE SOUTH $16^{\circ} 51' 44''$ WEST, A DISTANCE OF 214.54 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 358.00 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF $52^{\circ} 01' 04''$, AN ARC DISTANCE OF 325.02 FEET; TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 23.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF $84^{\circ} 25' 36''$, AN ARC DISTANCE OF 33.89 FEET; THENCE SOUTH $49^{\circ} 16' 16''$ WEST, A DISTANCE OF 17.49 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 164.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF $50^{\circ} 48' 44''$, AN ARC DISTANCE OF 145.44 FEET; THENCE SOUTH $01^{\circ} 32' 28''$ EAST, A DISTANCE OF 141.22 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 43.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF $50^{\circ} 42' 13''$, AN ARC DISTANCE OF 38.05 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 47.00 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF $141^{\circ} 00' 36''$, AN ARC DISTANCE OF 115.67 FEET; THENCE SOUTH $01^{\circ} 36' 42''$ EAST, A DISTANCE OF 198.40 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT "E"; THENCE ALONG SAID SOUTH LINE, SOUTH $88^{\circ} 27' 28''$ WEST, A DISTANCE OF 449.87 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA,

RECORDED IN THE OFFICIAL RECORDS BOOK
OF BROWARD COUNTY, FLORIDA
COUNTY ADMINISTRATOR

BR 22874 PG 0981

96-346616 TH001
07-17-96 11:29AM

TRB:ano
July 9, 1996
c:\deed\specwar2.a

\$ 0.70
DOCU. STAMPS-DEED

RECV. BROWARD CTY
B. JACK OSTERHOLT

COUNTY ADMIN.

PREPARED BY, RECORD AND RETURN TO:

Theodore R. Stotzer, Esq.
Michael Swerdlow Companies, Inc.
200 South Park Road, Suite 200
Hollywood, Florida 33021

MCFE →

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made this 10th day of July, 1996, by STS LAND ASSOCIATES, L.P., a Delaware limited partnership, having its principal place of business at 200 South Park Road, Suite 200, Hollywood, Florida, 33021, hereinafter called the GRANTOR, to SFA ATLANTIS ASSOCIATES, L.P., a Delaware limited partnership, whose post office address is 200 South Park Road, Suite 200, Hollywood, Florida, 33021, hereinafter called the GRANTEE:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH, That the GRANTOR, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS and other valuable considerations paid, receipt of which is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the GRANTEE, all that certain land situate in Broward County, Florida, viz:

For a complete description of the land being conveyed hereby reference is hereby made to EXHIBIT "A" attached hereto and made a part hereof for all purposes ("Property").

Property Tax Folio Nos.:

1204-01-4450	1204-01-4470	1204-01-4500
1204-01-4510	1204-01-4560	1204-01-4600
1204-01-4660	1204-01-4710	1204-01-4820
1204-01-4850	1204-01-4880	1204-01-4890
1204-01-4910	1204-01-4950	1204-01-5040
1204-12-059	1204-12-060	1204-12-061

Grantee's Tax I.D. No.: 65-0079411

This conveyance is SUBJECT TO zoning, restrictions, prohibitions and other requirements imposed by governmental authority; restrictions and other matters appearing on the plat or otherwise common to the subdivision; easements of record; taxes and assessments for the year of conveyance and subsequent years; existing mortgage(s) of record; conditions, restrictions, reservations, limitations, contracts, leases, agreements and other undertakings of record or, if not of record, then which bind the Property and/or the titleholder and its interests in the Property and/or run with or are intended to run with the title to the Property.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

BK 25146PG0130

132788

5/5N

TO HAVE AND TO HOLD, the same unto the said GRANTEE in fee simple.

AND with respect to all persons claiming by, through or under the GRANTOR, but none other, the GRANTOR hereby covenants with said GRANTEE that the GRANTOR is lawfully seized of said land in fee simple and that the GRANTOR has good right and lawful authority to sell and convey said land and that the GRANTOR hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the said GRANTOR, but against none other, and that said land is free of all encumbrances except as above noted.

IN WITNESS WHEREOF, the GRANTOR has caused these presents to be executed in its name, by its proper officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered in the presence of:

STS LAND ASSOCIATES, L.P.
BY: HOLLYWOOD STS ASSOCIATES, L.P.,
its general partner
BY: HOLLYWOOD, INC. (DEL.),
its general partner

Rhonda S. Alston
Name: Rhonda S. Alston

By: Michael Swerdlow
Michael Swerdlow, President
200 South Park Road, Suite 200
Hollywood, Florida 33021

Cecate M. Orlins
Name: Cecate M. Orlins

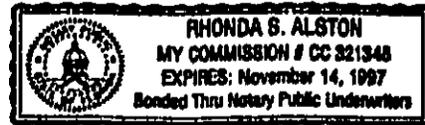
Attest: Theodore R. Stotzer
Theodore R. Stotzer, Secretary
200 South Park Road, Suite 200
Hollywood, Florida 33021

(Corporate Seal)

STATE OF FLORIDA)
COUNTY OF BROWARD)

The foregoing instrument was acknowledged before me this 10th day of July, 1996, by MICHAEL SWERDLOW and THEODORE R. STOTZER, President and Secretary, respectively, of Hollywood, Inc. (Del.), a Delaware corporation, general partner of Hollywood STS Associates, L.P., general partner of STS Land Associates, L.P., a Delaware limited partnership, on behalf of said limited partnership. They are personally known to me or have produced _____ and _____, respectively, as identification.

Rhonda S. Alston
NOTARY PUBLIC
Name: Rhonda S. Alston
Title or Rank:
Serial Number:



BR 25146PG0131

EXHIBIT "A"

PARCEL 11:

Tract "C" of OAKWOOD HILLS, according to the Plat thereof, recorded in Plat Book 120, Page 45, of the Public Records of Broward County, Florida; said lands situate, lying and being in Broward County, Florida.

Tax Folio No. 1204-12-059 (Tract "C")

TOGETHER with the Easterly Half of that portion of North 26th Avenue vacated by Official Records Book 20553, Page 369 and by instrument recorded in Official Records Book 20603, Page 366, of Broward County, Florida, contiguous to the above described Parcel.

LESS AND EXCEPT THE FOLLOWING LEGAL DESCRIPTION:

A portion of Tract "C", OAKWOOD HILLS, according to the Plat thereof, as recorded in Plat Book 120, Page 45, of the Public Records of Broward County, Florida, more particularly described as follows:

(As per Warranty Deed recorded in Official Records Book 20062, Page 729):

BEGINNING at the Southwest corner of Tract "C", said corner being on the East right-of-way line of N. 26th Avenue, said corner being on the arc of a curve concave to the East having a radius of 698.00 feet (a radial line to said point bears South 85° 52' 02" West); thence Northerly and Northeasterly along the arc of said curve and said East right-of-way line, through a central angle of 12° 03' 07" and an arc length of 146.82 feet; thence North 85° 15' 20" East, a distance of 221.11 feet to a point on the East line of said Tract "C"; thence South 07° 50' 52" West along said East line of Tract "C", a distance of 113.75 feet; thence South 04° 07' 58" East along said East line, a distance of 36.83 feet; thence South 85° 52' 02" West along the South line of said Tract "C", a distance of 212.87 feet to the POINT OF BEGINNING.

Said lands situate, lying and being in Broward County, Florida.

ALSO LESS AND EXCEPT:

A portion of Tract "C", OAKWOOD HILLS, according to the Plat thereof, as recorded in Plat Book 120, Page 45, of the Public Records of Broward County, Florida, more particularly described as follows:

COMMENCE at the Southeast corner of said Tract "C", thence along the East line of said Tract "C", North 04° 16' 36" West, 36.59 feet; thence North 07° 42' 14" East, 113.75 feet to the POINT OF BEGINNING; thence South 85° 17' 41" West, 221.31 feet to a point on the East Right-of-Way Line of North 26th Avenue; thence along said East Right-of-Way Line of North 26th Avenue, North 03° 59' 20" West, 50.00 feet; thence continue along said East Right-of-Way Line of North 26th Avenue, North 11° 34' 23" East, 93.11 feet; thence North 78° 25' 37" West, 40.00 feet to a point on the former centerline of North 26th Avenue (vacated by Official Records Book 20603, Page 366); thence along said former centerline of North 26th Avenue, North 11° 34' 23" East, 100.00 feet; thence South 78° 25' 37" East, 260.00 feet to a point on the aforementioned East line of Tract "C"; thence along said East line of Tract "C", South 11° 34' 23" West, 92.77 feet; thence continue along said East line of Tract "C", South 07° 42' 14" West, 86.67 feet to the POINT OF BEGINNING.

Said lands situate, lying and being in Broward County, Florida.

UK25146PG0132

TOGETHER WITH AND INCLUDING:

Tract "D" of OAKWOOD HILLS, according to the Plat thereof, recorded in Plat Book 120, Page 45, of the Public Records of Broward County, Florida; said lands situate, lying and being in Broward County, Florida.

Tax Folio No. 1204-12-060 (Tract "D")

TOGETHER with the Northeasterly Half of that portion of North 26th Avenue vacated by Official Records Book 20553, Page 369 and by instrument recorded in Official Records Book 20603, Page 366, of Broward County, Florida, contiguous to the above described Parcel.

AND TOGETHER WITH:

Tract "DD" of OAKWOOD HILLS, according to the Plat thereof, recorded in Plat Book 120, Page 45, of the Public Records of Broward County, Florida; said lands situate, lying and being in Broward County, Florida.

Tax Folio No. 1204-12-061 (Tract "DD")

TOGETHER with the Southerly Half of that portion of North 26th Avenue vacated by Official Records Book 20553, Page 369 and by instrument recorded in Official Records Book 20603, Page 366, of Broward County, Florida, contiguous to the above described Parcel.

AND TOGETHER WITH THE FOLLOWING EASEMENT ESTATE:

Non Exclusive Easements for Ingress and Egress and for utilities on premises described in the Declaration of Easement executed by STS Land Associates, L.P., recorded on November 30, 1994 in Official Records Book 22874, Page 972.

PARCEL 12:

Lots 16 through 24, inclusive in Block 23; Lots 7 through 24, inclusive in Block 24; Block 26; Lots 1 through 8, inclusive in Block 27; Lots 1 through 8, inclusive in Block 28; Lots 7 through 24, inclusive in Block 29; Lots 7 through 24, inclusive in Block 30; Lots 7 through 24, inclusive in Block 31; Lots 1 through 10, inclusive and Lots 22 through 30, inclusive in Block 34; Lots 1 through 11, inclusive and Lots 20 through 30, inclusive in Block 35; Lots 1 through 13, inclusive and Lots 19 through 30, inclusive in Block 36; Lots 1 through 14, inclusive and Lots 17 through 30, inclusive in Block 37; Lots 1 through 30, inclusive in Block 38; Lots 1 through 30, inclusive in Block 39; Lots 16 through 30, inclusive in Block 40; all the above being a part of LIBERIA, as recorded in Plat Book 1, at Page 34, of the Public Records of Broward County, Florida; said lands situate, lying and being in Broward County, Florida.

A/K/A CRYSTAL LAKE.

BR25146PG0133

LESS THEREFROM THE PORTIONS THEREOF AS DESCRIBED IN THE FOLLOWING CONVEYANCES REFERENCED IN THE FOLLOWING OFFICIAL BOOKS AND PAGES OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA:

OFFICIAL RECORDS BOOK & PAGES:

3909-220	3909-221	4586-269
4586-271	4586-272	7566-52
17562-217	17562-220	17562-223
17562-226	17562-229	17562-232
17562-235	17562-238	17562-241
17562-244	17562-247	17562-250
17562-253	17562-256	17562-259
17562-262	17562-265	17593-30

AND

LESS from the above described property that portion thereof vesting in the City of Hollywood, a Florida municipal corporation, by Order of Taking in the Circuit Court of Broward County, Florida, in Case No. CA 69-2533 (Warren) filed May 23, 1969 in Circuit Court Minutes Book 171, Page 556, Broward County, Florida.

Tax Folio Nos.	1204-01-4450	1204-01-4470	1204-01-4500
	1204-01-4510	1204-01-4560	1204-01-4600
	1204-01-4660	1204-01-4710	1204-01-4820
	1204-01-4850	1204-01-4880	1204-01-4890
	1204-01-4910	1204-01-4950	1204-01-5040

RECORDED IN THE OFFICIAL RECORDS BOOK
OF BROWARD COUNTY, FLORIDA
COUNTY ADMINISTRATOR

BK25146P80134

APPENDIX F

Oakwood Plaza Environmental Resource Permit Information



South Florida Water Management District

3301 Gun Club Road, West Palm Beach, Florida 33406 • (407) 686-8800 • FL WATS 1-800-432-2045

CON 24-06

Regulation Department
Application No.: 940909-9

FINAL APPROVED

December 16, 1994

DEC 16 1994

Oakwood Plaza
c/o Keith and Schnars
6500 North Andrews Avenue
Fort Lauderdale, FL 33309-2132

WPB

Dear Permittee:

**SUBJECT: Notice of Intent to Construct Works
Modification to Permit and
Stormwater Discharge Certification No.: 06-00639-S
Permittee: OAKWOOD PLAZA
Project: OAKWOOD PLAZA SOUTH
Location: BROWARD COUNTY, S5/T51S/R42E**

This letter is to notify you of the District's agency action concerning your request of September 9, 1994, to modify the above referenced Permit and Stormwater Discharge Certification. This action is taken pursuant to Rule 40E-1.606 and Chapter 40E-40, Florida Administrative Code.

Based on the information submitted which includes surface water management system design plans signed and sealed by a Florida registered Professional Engineer, a modification to the above referenced Permit and Stormwater Discharge Certification is in effect for this project subject to:

1. Not receiving a filed request for a Chapter 120, Florida Statutes, administrative hearing,
2. the attached 19 Standard Limiting Conditions,
3. 10 Exhibit(s), and
4. All Special Conditions previously stipulated by Permit Number 06-00639-S remain in effect unless otherwise revised and shall apply to the above referenced project.

Should you object to these Conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights", we will assume that you concur with the District's action.

Governing Board:

Valerie Boyd, Chairman
Frank Williamson, Jr., Vice Chairman
Annie Betancourt

William Hammond
Betsy Krant
Allan Milledge

Eugene K. Pettis
Nathaniel P. Reed
Leah G. Schad

Samuel E. Poole III, Executive Director
Michael Slayton, Deputy Executive Director

Mailing Address: P.O. Box 24680, West Palm Beach, FL 33416-4680

OAKWOOD PLAZA

Subject: Notice of Intent to Construct Works

December 16, 1994

Page 2

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that a "Notice of Rights" has been mailed to the addressee (and the persons listed in the attached distribution list) no later than 5:00 p.m. this 16th day of December, 1994, in accordance with Section 120.60(3), Florida Statutes.

Sincerely,



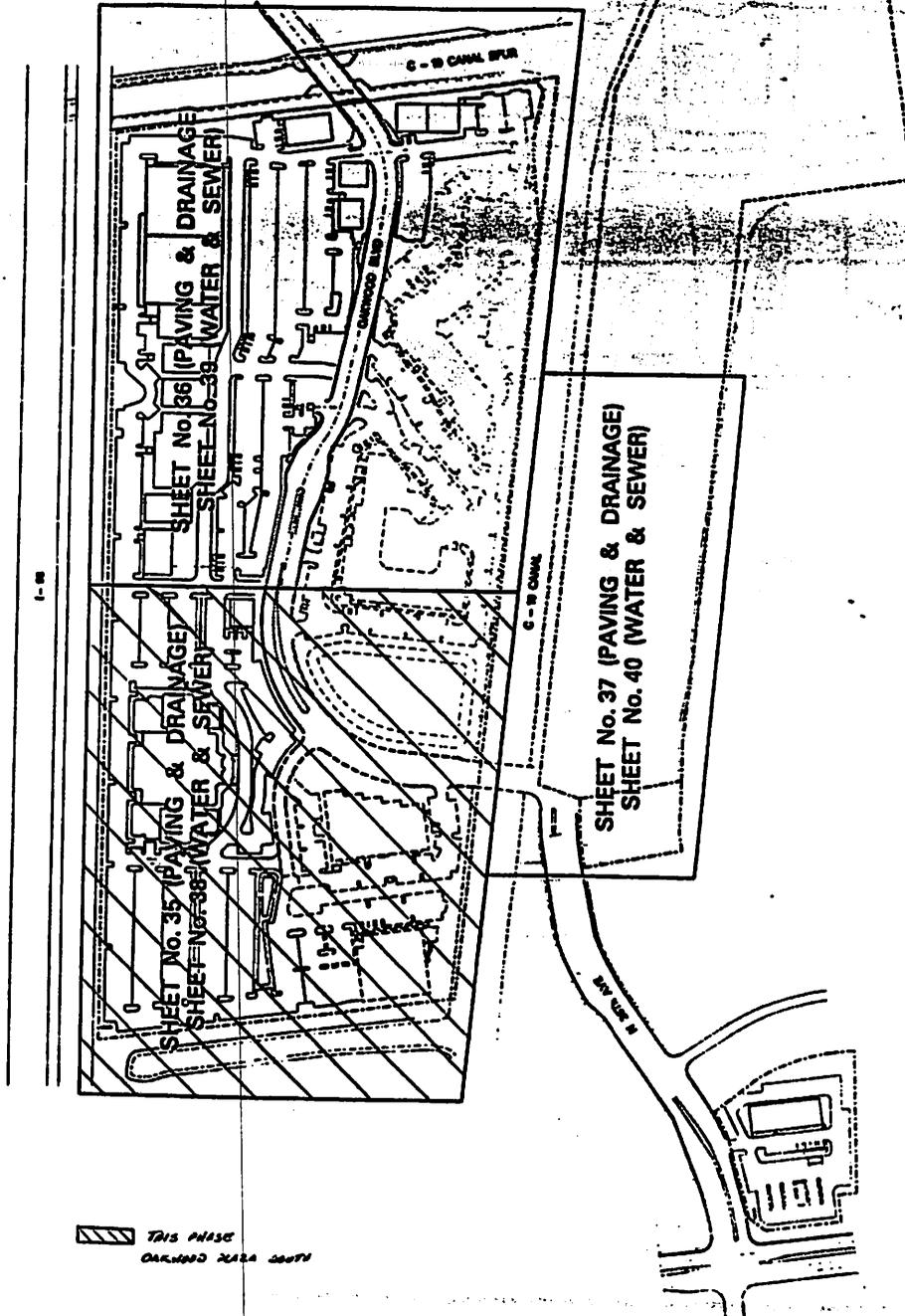
Carlos A. de Rojas, P.E.
Supv Prof - Civil Engineer
West Palm Beach Service Center

CR/e1/1d

CERTIFIED MAIL NO. Z 310 460 879
Enclosures

DATE	MAY 2001
SCALE	AS SHOWN
DRAWN BY	J.A.H.
CHECKED BY	J.A.H.

KEY MAP



THIS PHASE
 OAKWOOD PLAZA SOUTH

EXHIBIT 2

DATE: 5/20/01
 SCALE: AS SHOWN
 DRAWN BY: J.A.H.
 CHECKED BY: J.A.H.

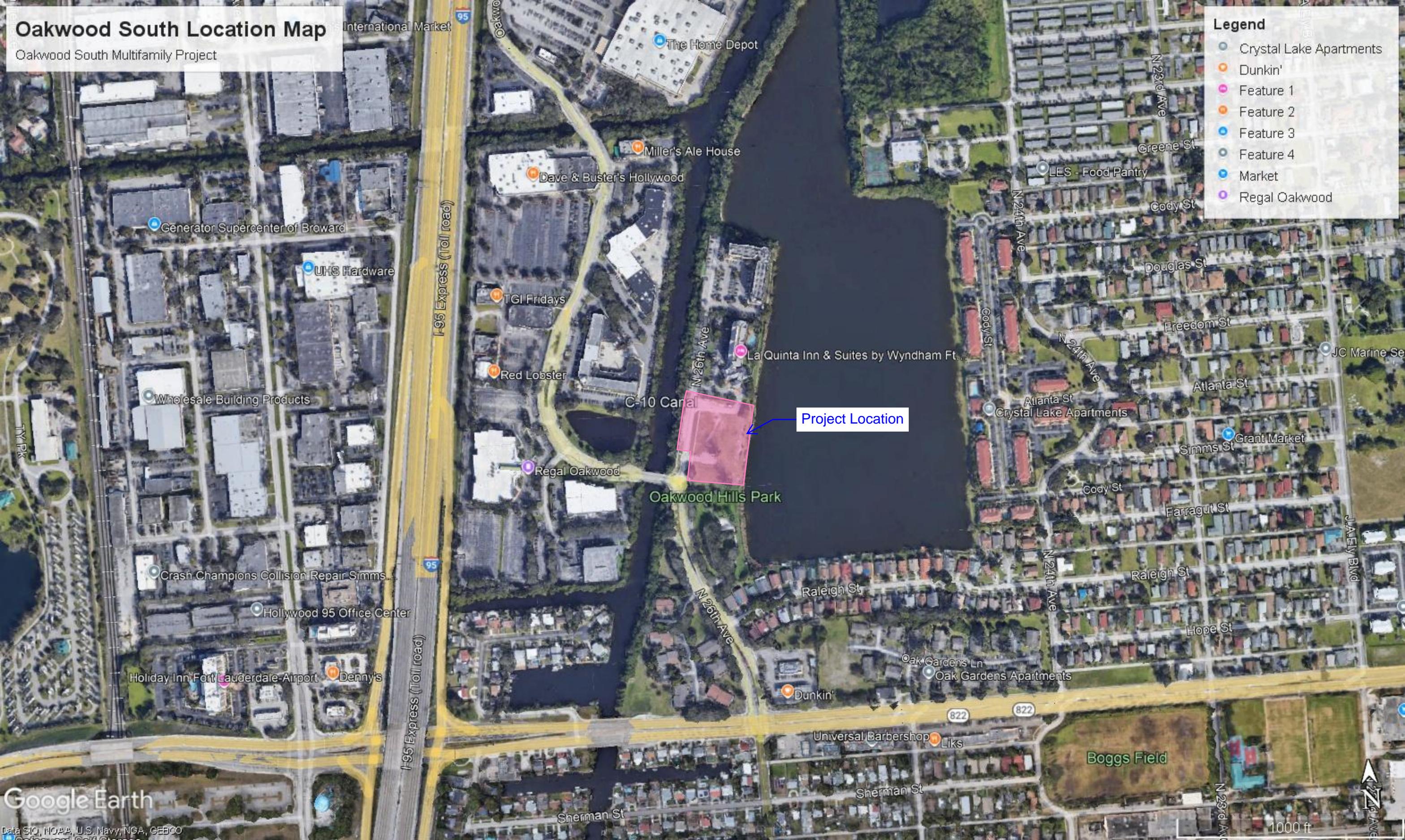
APPENDIX G
Project Location Map

Oakwood South Location Map

Oakwood South Multifamily Project

Legend

- Crystal Lake Apartments
- Dunkin'
- Feature 1
- Feature 2
- Feature 3
- Feature 4
- Market
- Regal Oakwood



Project Location

APPENDIX H

Broward County Surface Water License Pre-Application Meeting Minutes



Meeting with Broward County
Environmental Permitting Division
Surface Water Management Licensing

Giovanni Conde	gconde@broward.org
Greg Wilfong	greg.wilfong@kimley-horn.com
Sam Bischoff	samanatha.bischoff@kimley-horn.com
Tomas Perez Abeniagar	tperezabeniagar@broward.org
Gerardo Rojas	grojas@broward.org
Renzo Marengo	remarengo@broward.org

Meeting: June 18th 10:00 am to 10:30 am

- Johanna & Gerardo.
- Existing permit.
 - SWM 1994-109-0
 - ERP 940909-9
 - APP L1994-083
- Calculations show our site drains to lake to canal C-10.
- Demonstrate that we are apart of the permit & do a modification or if calculations don't show its pre vs. post new ERP.
- SWM 1997-008-0
 - Look through this set was a mod to oakwood permit.
 - Meet permit requirements.
 - New FFE. 6
 - Additional calculation with future water. 2.5' NAVD
 - Mod or pre vs. post
 - Show difference between 2.5' & current 0.5' water table.
 - Aquatics & wetlands
 - Linda Sutherland

Oakwood Plaza



**OAKWOOD PLAZA EAST
MULTIFAMILY PROJECT
PLANNING RATIONALE REPORT
SEPTEMBER 2024
CITY FILE NUMBER 24-DP-31b**

1.0 Introduction

Over the last several years our team has been obtaining approvals for the existing Oakwood Plaza Shopping Center which include approval for a Land Use Amendment change to Oakwood Activity Center and a Rezoning approval to Oakwood Plaza PD. The Oakwood Plaza PD was approved with a set of design and other objective guidelines which all future projects within the Oakwood Plaza Shopping Center are required to satisfy.

This planning rationale report will demonstrate that this project as outlined below conforms to the intent of the approved Oakwood Plaza PD Guidelines.

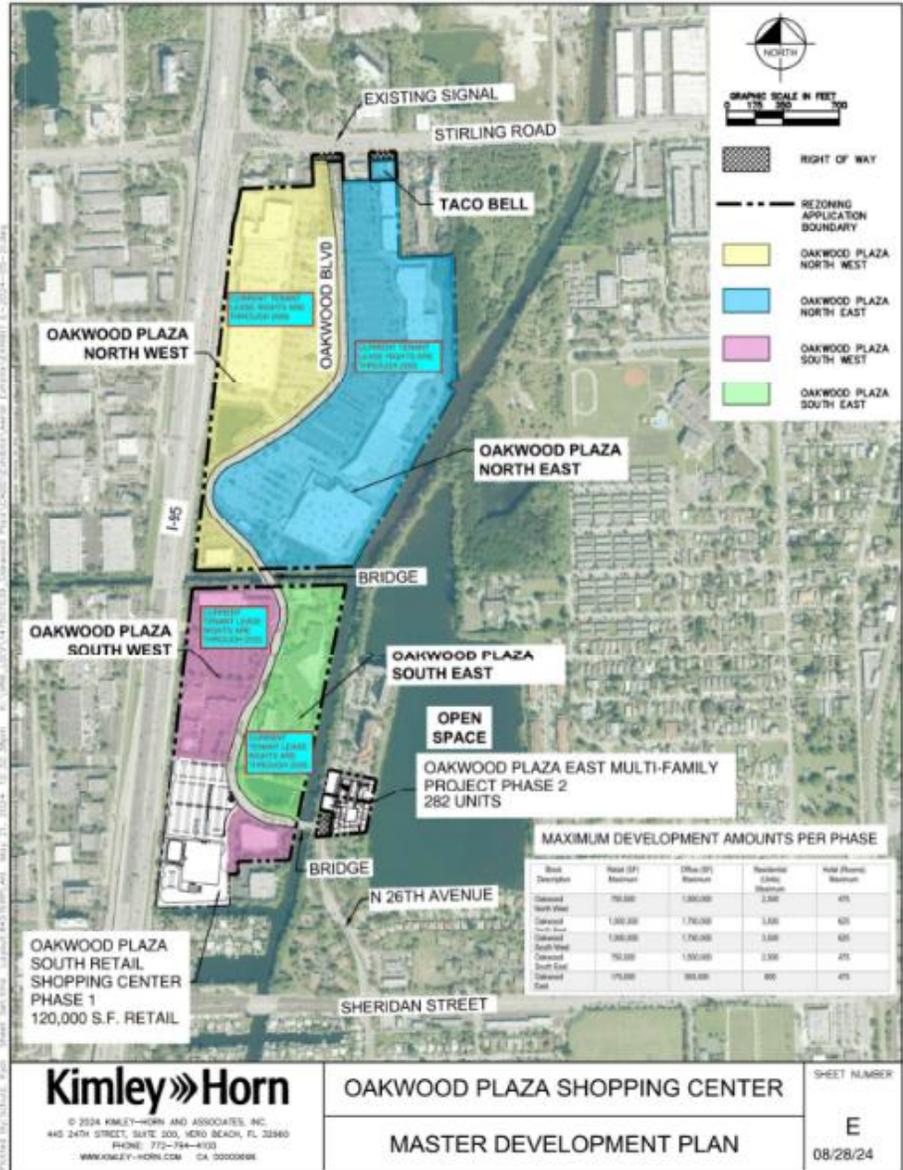
The proposed multifamily project is located at 2609 N 26th Avenue within the existing Oakwood Plaza Shopping Center PD limits. As part of the proposed project an eight-story multifamily residential building is being constructed along with associate improvements.

The following list is a status of the project:

- A pre-application conceptual overview meeting was held with staff on May 6, 2024.
- A preliminary TAC meeting was held on July 15, 2024.

1.1 Master Plan and Phasing Summary

Below is the master plan for the first phase and second phase of the Oakwood Plaza Shopping Center.



Phasing Summary:

We are confident that the development of this parcel will complement, not hinder our plans for the development of the rest of this parcel.

The type of retail envisioned for this property is relatively new and driven by providing shoppers and patrons with a substantial experience which is above the customary activities associated with consumer shopping. We believe that this use will be unique in Broward County and is expected to draw tourists and residents from through the county as well as a large portion of Miami-Dade.

Importantly, it will also serve as an amenity that will benefit the anticipated multi-family development within Oakwood Plaza. Though we cannot disclose the use at this time, we can say that the use will appeal to future residents of the area.

After the development of this parcel, the owners of this parcel anticipate, at this current moment, that the remaining parcels will be redeveloped one at a time starting from the south and advancing north towards Sterling Blvd over a period of many years, as current leasehold rights of tenants preclude further redevelopment of the site at this time.

Although we cannot predict what the future may hold, as we continue to develop Oakwood over time we anticipate that the new tenant will complement our existing entertainment and dining tenants and help attract other uses that will help Oakwood evolve into a place where people would like to live work and play.

Specifically as it relates to our next project, this use will enhance the Oakwood location to facilitate the development of the next proposed project a multi-story residential apartment project with up to 282 units located on N 26th Ave. In turn, we think this multi-story apartment project will synergize the existing southern gateway entrance with an appealing neutral and earth tone color palette, revitalize the corner of N 26th Avenue and Oakwood Boulevard and activate the existing City of Hollywood Park with many residents enjoying the Public Amenity.

Overtime the entertainment district may evolve to incorporate a variety of vertical uses including residential and office and hotel, or it may remain a horizontal mix of uses. This will evolve over time as we gain control of spaces that are currently controlled by tenants through leases for a number of years.

We anticipate that the next few phases would likely be Oakwood Plaza Southeast and Southwest, based on when leases expire. It will likely be some time before we are able to redevelop Oakwood Plaza Northeast and Northwest as the lease rights extend more than 30 years.

2.0 Site Location

The proposed project is located within the Oakwood Plaza PD East Parcel as show in the following figures below:



Figure 1 Oakwood PD Location Map

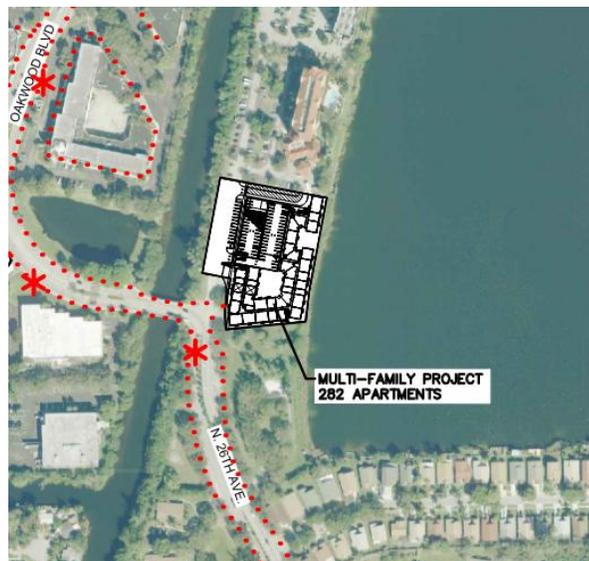


Figure 2 Proposed Project

3.0 Legal Description and Owner

The proposed project is within two separate folio numbers which include 5142-04-12-0590 and 5142-04-12-0594. A survey has been submitted showing the legal description.

The site is owned by Oakwood Plaza LP and Oakwood Business Center LP whose address is 1 Oakwood Boulevard Suite 70, Hollywood ,FL 33023.

4.0 Physical Features of the Site

The proposed project scope of improvements are approximately 2.42 acres.

The existing site is vacant with a small driveway and parking lot. Along N 26th Avenue there is existing water, sewer, electric, gas, drainage, telephone and other facilities for us to connect into for our project. Based on our current research and findings there is sufficient capacity to serve our project.

5.0 Purpose and Intent

The following sections below outline conformance to the previously approved Oakwood Plaza PD Design Guidelines.

This project has been designed with the intent to meet the following:

- Integrate uses.
 - ***The proposed multifamily project is a residential use and will integrate with the surrounding residential and hotel uses.***
- Improve mobility access and connections for all modes (bike/ped/transit/vehicle).
 - ***The multifamily residential project is proposing to a sidewalk along the frontage to connect into the existing sidewalk along N 26th Avenue. Also, we are proposing thirteen parking stalls along the street for convenience for visitors. This is consistent with the parking further up N 26th Avenue.***
- Complementary to the surrounding areas.
 - ***The proposed multifamily project is complementary to the surrounding uses and will provide housing for the residents wanting to live in this area.***

6.0 Permitted Use

The proposed multifamily residential project is consistent with the permitted use as outlined below since it's a residential project.

Permitted Uses for the Oakwood Plaza Planned Development shall be as consistent with the provisions of Section 4.15 D. Permitted Uses include (permit) the following:

(3) Residential

Specific uses include the following:

(9) Residential including multi-family/condominium.

7.0 Density/Intensity:

The following table further identifies the location, type, and maximum amount of development within Oakwood Southwest which may be developed providing that the maximum amount of 1.2 M SF of Retail, 1.89 M SF of Office, 3,800 Residential Units and 625 Hotel Rooms is not exceeded within the overall PD.

The maximum amount of development for Oakwood East is the following:

Block Description	Retail (SF) Maximum	Office (SF) Maximum	Residential (Units) Maximum	Hotel (Rooms) Maximum
Oakwood North West	750,000	1,500,000	2,500	475
Oakwood North East	1,000,000	1,750,000	3,000	625
Oakwood South West	1,000,000	1,750,000	3,000	625
Oakwood South East	750,000	1,500,000	2,500	475
Oakwood East	175,000	500,000	800	475

Based on the existing site being vacant our proposal of 282 multifamily units meets the requirements since less than the maximum of 800 units.

8.0 Lot Coverage/Lot Size Standards

The proposed multifamily project complies with the following:

- (1) Lot Size Standards (acreage/sq.ft.): No minimum lot size is required.
- (2) Lot Width/Depth: No minimum lot width and/or depth is required.
- (3) The maximum lot (building) coverage shall be 90 percent.
 - o This standard shall not be applied to lease areas which tend to reflect the building pad site only and not the full lot in which the building may be located
- (4) The maximum impervious coverage shall be 90 percent.
- (5) Corner lots, multiple frontage lots and through lots shall be permitted in the PD; setbacks shall be provided in accordance with Section (5)(B) below.

- (6) Open Space: Open space inclusive of pervious spaces as well as plazas, public spaces, sidewalks, pedestrian amenities, amenity areas, public lakes, stormwater facilities or similar shall be consistent with those standards of the LUPA.

The proposed maximum impervious area for this project is approximately 78 percent which is less than the 90 percent requirement. This is shown on our site plan sheet C-200.

9.0 Buildings:

The proposed multifamily project complies with the following:

General Building Comments and Notes:

- (1) Building Height. Maximum: 30 stories/300'; this provides flexibility considering the different uses proposed and the possible variety in floor-to-floor height requirements. Buildings exceeding 175' will require coordination and approval with the Federal Aviation Administration, Broward County Aviation Department and/or Florida Department of Transportation (Aviation Division), as applicable.
 - ***Our proposed building is only 8 stories and approximately 92' high.***
- (2) There shall be no minimum and or maximum building floorplate within the PD.
 - ***Our footprint meets this since there is no minimum or maximum.***
- (3) Buildings shall comply with the Florida Building Code, latest edition.
 - ***Our building will comply with all applicable codes.***

10.0 Building Type:

The proposed residential project complies with the Type 4 Building Type as shown below:

Building Type	Primary Use
Type 4. Residential	Residential: may include ancillary commercial (Townhouse, Low Rise, High Rise)

This building type is primarily residential and may include ancillary commercial in the low to high rise subtype. Building entrances to be located from the sidewalk or pedestrian areas. Building entrances may also be located within parking structures and internal accessways which may not necessarily be public in nature and provide access to the residents of the building.

The proposed building type is a multifamily residential building and will have connections to public sidewalks.

11.0 Setbacks

The proposed multifamily project complies with the setbacks as shown:

Except as provided below, Front or side street: zero feet (0'); Side Interior and Rear: zero feet (0)'. Setbacks are measured from current and or proposed property lines.

Buffers and setbacks shall be identified on the Site Plans. Buffers and setbacks shall be measured from the external PD property line or at the right-of-way line.

- ***Our proposed building is greater than 0' as shown on the site plan.***

12.0 Building Architecture

The proposed multifamily project complies with the building architecture as shown:

Design Intent

- i. The buildings within the PD are to be designed to create a high-quality signature character.

Building Design

- ii. Building facades shall be designed to continue the character established by the front or primary building façade.

Building Materials

- iii. The building materials will serve as a reinforcement to the objective of creating a high-quality signature character for the PD and shall consist of hard, durable materials that convey an impression of permanence and durability. Materials such as masonry, stone, Synthetic stucco, glass, metal panels, composite panels, terracotta panels, and tile.
- iv. Building materials shall be used to compliment the architectural style of the building and vary in texture and type to accentuate the public entrances / exits, façade projections and other architectural features.
- v. Glass used as an exterior material shall be clear or lightly tinted.

Jutting corners, wood composite paneled columns, and concrete fins all come together to create a high-quality signature design character. Complementary design elements such as wood composite paneled columns anchor the balconies to the ground. The largest array of wood composite paneled columns found on the front elevation emphasizes the public entry point and retail portion of the building. Corners of the structure show long decorative concrete fins that accentuate the durable jutting corners as well as frame windows and balconies. Score lines complement these signature corners by adding texture that further defines and divides architectural features. These design elements and building materials complement each other and tie the façades together creating a cohesive signature design.



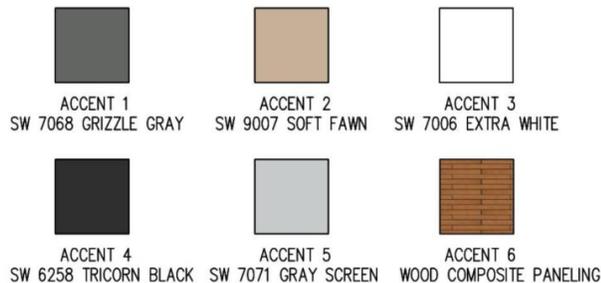
13.0 Building Colors

- i. The color palette for the exterior building materials shall compliment the architectural style and shall be neutral tones with accent colors. An accent color may be used to emphasize architectural form or material texture.

The proposed building colors are neutral and of an earth-tone palette. Base color is shown as accent 3- extra white which encompasses the majority of the building. Colors such as accent 1- grizzle gray and accent 2- soft fawn are used to define mid-size architectural design features and contributes to the signature style of the building. Colors such as accent 4- tricorn black and accent 5- gray screen are used more sparingly on specific design elements.

Below are the exterior materials from sheet A-3.1 & A-3.2.

COLOR SCHEME



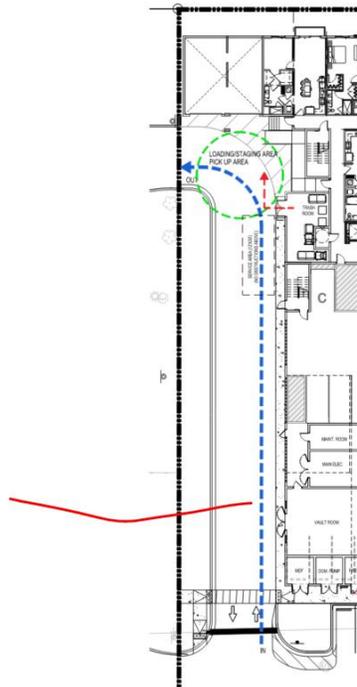
14.0 Loading Spaces

The proposed multifamily project complies with the loading requirements as shown below:

Loading shall be visually screened from public view as practical. Public rights-of-way, excluding alleys shall not be utilized for maneuvering associated with building loading access. Loading areas shall be convenient to the building(s) in which it serves. Due to the compact nature of the PD, no minimum number of loading/unloading spaces shall be required.

The proposed loading dock is screened from public view and is within the parking garage area.

- ***Here is a blow of the proposed vehicular plan sheet EX-1.***



15.0 Service Structures and Uses

The proposed multifamily project complies with the service structures and uses as shown below:

These standards are intended to guide the design and development of service structures and uses including dumpsters and HVAC units, utility boxes and other similar equipment.

Building Mechanical, Electrical, Communication and Service Equipment

- Wall-mounted mechanical, electrical, communication, and service equipment, including satellite dishes and vent pipes, shall be located in the building service area.
- Rooftop and sidewall mechanical equipment and other extensions allowed above the building height shall be concealed by or integrated within the roof form or screened from view of the public right-of-way. The following appurtenances or necessary extensions above the roofline that require screening include air conditioning units, large vents, heat pumps and mechanical equipment.

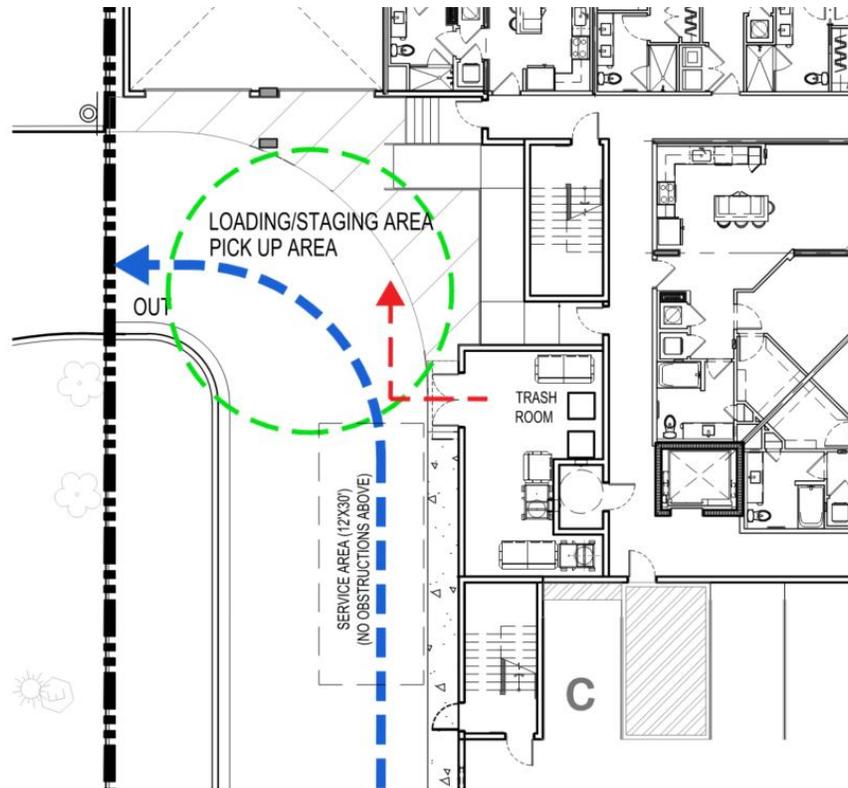
The proposed building will have a parapet wall to screen the mechanical equipment. Other equipment will be placed in rooms or in other areas that will be screened if possible.

16.0 Building Refuse Collection

- Trash dumpsters are to be located in close proximity to the building service areas. For trash dumpsters not located within an enclosed service area provide screen walls that are constructed using materials as listed in the code, complementary material as the adjacent building; landscaping can be provided to screen these areas as well in addition to required wall. Dumpsters, compactors, and similar uses shall be enclosed within buildings or screened using walls or fences to match the architecture and color of the building which it serves.
- Trash compactors attached to the building are to be located within the building service area and screened as required under building service and loading areas.
- There are no minimum or maximum trash/dumpster enclosure sizes. Pedestrian openings are not required except for residential users. Trucks accessing dumpsters are not allowed to back into public roadways or private Roadways, as where practical, and identified through signage or other similar means. Where loading/unloading is proposed within the roadway, at least one vehicular travel lane shall be preserved to ensure the flow of traffic. Dumpsters shall follow the same setback requirements as principal structures.

Vehicular service areas for multiple buildings shall be consolidated whenever practical.

The proposed building is using a trash room where the trash bins will be rolled out for pickup.



Above is a blow of sheet EX-1 Refuse Vehicle Circulation Diagram

17.0 Connectivity

The proposed multifamily project complies with the connectivity as shown below:

The existing N 26th Avenue is being maintained which is grandfathered into the PD Guidelines. The on-street parking proposed is also found further north on N 26th Avenue for the existing apartment and hotel sites.

18.0 Sidewalks

The proposed multifamily residential project complies with sidewalk section as shown below:

Sidewalks are intended to complement the overall compact urban form envisioned by Oakwood Plaza and further add to the projects, multimodal connectivity, and pedestrian scale designs. Sidewalks as referenced above serve as the main pedestrian facilities and shall be designed to create a comfortable, outdoor public space to accommodate a range of active and passive pedestrian activities. Sidewalks and pedestrian corridors within the PD shall maintain a clear unobstructed width and maximum slopes as required by the latest Florida Accessibility Code.

- (1) Sidewalks can be attached to curbs or detached.

- (2) Sidewalks shall be constructed to meet minimum density requirements set forth by the City code and as recommended by a licensed geotechnical engineer.
- (3) Pedestrian crossings will be highlighted by changes in material, finish treatment, and or elevation, including, but not limited to, stamped or colored concrete and pavers. Striping may also be used. In addition, appropriate pedestrian treatments, such as handicap ramps will be provided at all intersections and pedestrian crossings, where needed, to accommodate the mobility needs of patrons.
- (4) “Squeeze” points along sidewalks and pathways shall meet ADA requirements-

The proposed project complies with the sidewalk requirements since we are adding pathways to connect to the existing sidewalk along N 26th Avenue and Oakwood Boulevard intersection. Tactile domes, also known as truncated domes or detectable warning surfaces, are small, raised, dome-shaped bumps arranged in a grid pattern on walking surfaces. They serve as a tactile warning system to alert individuals, particularly those with visual impairments, to changes in their environment, such as approaching street crossings, curb ramps, or platform edges in transit stations.

19.0 Public Spaces

The proposed multifamily project complies with public spaces section as shown below:

Public Spaces shall also be counted towards open space standards and may be used within PD to highlight prominent areas of the project and to provide opportunities for formal and informal gatherings, pedestrian congregation and other social encounters.

(1) Water Features

Water features may be used within open space areas of the PD, within medians or within lots/blocks. The water features may include large or small fountains that are either interactive or formal.

(2) Site Amenities/Hardscape

Pedestrian-scale site amenities and hardscape features shall be included within the PD. These may include seating opportunities, such as benches, low walls and wide planter edges, pedestrian scale lighting, trash receptacles, bicycle racks, bollards, drinking fountains, kiosks, tables and chairs. Site Amenities listed below are the recommended materials within the PD; materials may be substituted with like kind materials of similar quality and or color as part of a Site Plan: It is understood that Master Developer branded items and features, i.e., those including the Master Developer’s logo, brand and or name, may be used throughout the Project and shall not count towards or be considered as signage.

- a. Tree Grate –Chinook (or other product that is ADA compliant)
- b. Bike Rack (Ring or FGP)
- c. Bench (Parc Vue or SCB 1600)
- d. Litter Bin (Chase Park or MLWR200)
- e. Lounge Furniture (Madagascar)

- f. Permanent and Retractable Bollard (Stainless)
- g. Additional Items include but not limited to (materials to be determined at Site Plan):
- h. Public Art
- i. Fountains
- j. Statuary
- k. Accent Lighting Landscape planters

The proposed project complies with the public space requirements since we are adding pedestrian lighting, sidewalks, and other architectural features around the pool area..

20.0 Public Spaces

The proposed multifamily project complies with the transit section as shown below:

Oakwood Plaza Planned Development proposes to maintain the current location and number of transit stop locations including improvements. The site circulation is (will be) laid out such that buses may route internally should transit route onsite (internal).

The proposed multifamily project is maintaining the existing transit stops along Oakwood Boulevard and N 26th Avenue.

21.0 Parking

The proposed multifamily project complies with parking section as shown below:

The Oakwood Plaza Planned Development has the ability to share parking facilities, surface, structured and on-street within and between individual uses including the respective mixed-use areas. In addition, parking facilities shall be subject to the following:

General:

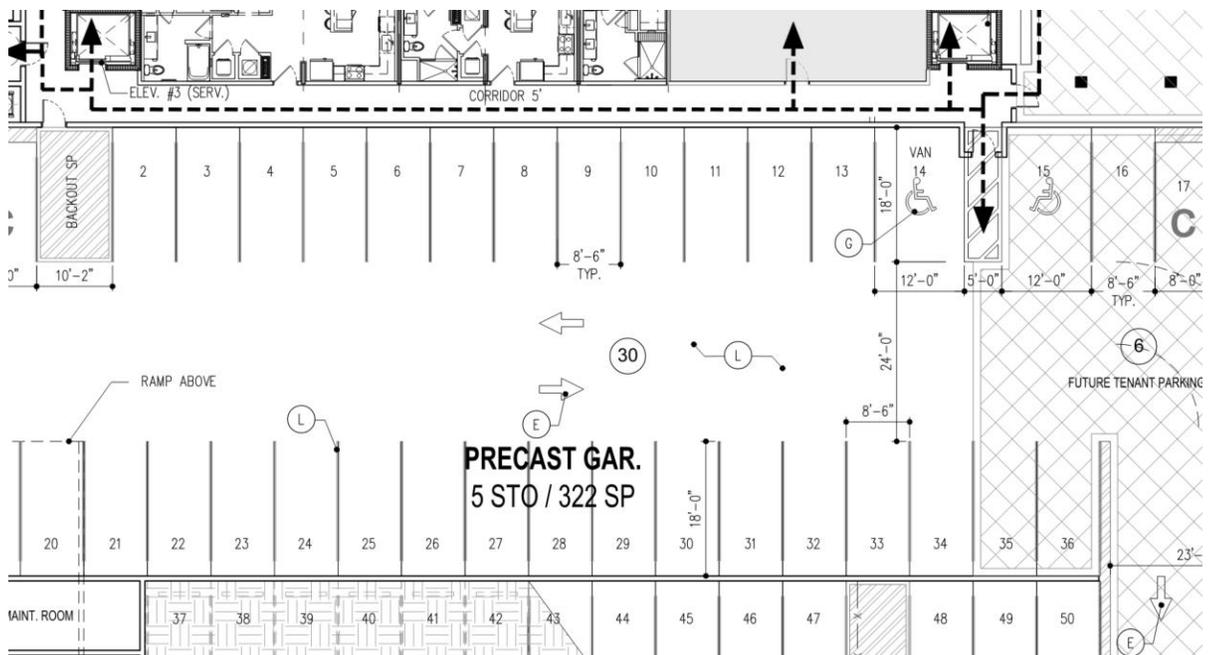
- Arrangement of spaces. Parking areas shall be so arranged that any automobile may be parked/ unparked without moving another, except for parking structures which may be designed to allow tandem parking and/or valet services.
- No parking space may encroach, hinder, or otherwise block a public roadway, internal Boulevard, or Avenues.
- Combined loading areas. Collective, joint, or combined provisions for loading areas for two or more buildings or uses may be made.
- Parking spaces may be located within required building setbacks.
- Parking facilities including spaces and drive aisles may be used for special events and temporary uses providing emergency service access is not restricted.
- Off-street parking provides surface parking within a lot located off a public roadway or internal boulevard. In general, surface parking shall be provided with 90-degree parking.

- i. 90-degree stalls with a minimum dimension of eight feet six inches (8.5') feet wide by eighteen (18) feet deep with a minimum drive-aisle of twenty-four (24) feet wide; a one-way drive aisle may be a minimum fifteen feet (15') wide. This length may be reduced to sixteen (16) feet where a two (2) foot overhang is provided over landscape. Where the two-foot overhang is provided over a sidewalk, a minimum clear width for accessibility standards shall be maintained.
- ii. Accessible spaces shall meet latest ADA requirements.

Parking will comply to the 2023 Florida Accessibility Code.

The proposed-on street parking is using a minimum of 8.5' wide x 18' deep parking stalls. The parking garage parking is using 8.5'x18' deep parking stalls with 24' wide drive aisles.

See snap shot form A-2.1 Level One Plan



Compact spaces shall be a minimum of eight feet wide (8') by sixteen (16') feet long. Compact spaces shall be marked / designated on the Site Plan and when constructed.

- The use of wheel stops is discouraged. If a curb, curb-stop, bollard or similar cannot be provided and wheel stops are used, they shall be painted, provide reflective materials, or otherwise set aside from the parking space for increased visibility. The use of wheel stops requires the Planned Development Master Developer's approval.
- Parking may be shared between uses and buildings provided the minimum parking

standard, below, is provided for the entirety of the Oakwood Plaza Planned Development.

- Parking spaces / areas may also be used for short-term pickup of people, goods or services including ride-share and mobile delivery services. Where provided, these spaces shall count towards the overall parking provided within the PD and not be excluded.

Required Number of Spaces for Parking. Due to the nature of the Oakwood Plaza PD incorporating commercial/retail, office, hotel, residential and related open spaces, it is understood that mixed use projects are intended to provide for shared infrastructure including parking facilities whether in the form of surface parking and or parking garages. The required minimum number of parking spaces for each use shall be:

Minimum Parking Standard:

(2) Residential Uses

Apartments, condominiums, townhouses, etc:

1.0 spaces per one dwelling unit ,1.5 spaces for two or more dwelling units..Due to the nature of the PD, no additional parking for guests or other shall be required.

The proposed project meets the 1.0 spaces for one dwelling unit and 1.5 spaces for two or more dwelling units.

OFF-STREET PARKING			
Required	Multifamily	# of units or SF	# Spaces
	ST, 1BD @ 1 sp/du	180 units	180
	2BD or more @ 1.5 sp/du	100 units	150 sp
	TOTAL REQUIRED	280 units	330 sp
Provided	Loading Parking	2 sp	
	Parking Garage	ADA	Standard
	Level 1	2	44 sp
	Level 2	2	67 sp
	Levels 3	1	71 sp
	Levels 4	1	71 sp
	Level 5	2	59 sp
	<i>Sub-Total</i>	8	312 sp
	TOTAL GARAGE	320 sp	
	TOTAL SURFACE PARKING	1	12
TOTAL PROVIDED	333 sp		
<i>Note: Min provided ADA spaces meet ADA Standards for Accessible</i>			

Electric Vehicle (EV) Charging Parking (if proposed):

- i. EV parking stalls are counted as part of the overall required number of parking spaces. Within mixed-use or non-residential areas, electric vehicle charging kiosks shall be allowed where parking spaces are provided.
 - **We are not included EV charging stations at this time.**

22.0 Landscaping-Buffering

The proposed multifamily project complies with the landscaping-buffering section as shown below:

Landscaping, including vehicular use areas shall be integrally designed to enhance the high-quality signature character and visual interest of the overall development while implementing Florida Friendly design principles. Landscaping shall be used and located throughout the development. Buffers and landscaping are proposed based on the intensity of development within the planned development areas. There shall be no required landscape buffers or yards between any structure, property line, lease line, boundary line and similar demising lines internal to the PD, except for the typical street and roadway cross-sections guidelines provided. Buffers along public right of way shall be grandfathered if no changes are proposed. Additional Buffering Standards:

Fences, walls, and hedges are allowed along the interior edge of the buffers as well as throughout the development. The maximum height of fences and walls is eight feet (8) based on code for non-residential zone. Barbed wire fences are prohibited. Site visibility triangles requirements shall be met.

- General Landscape Standards:
 1. Landscaping is encouraged as a tool to enhance the pedestrian experience, beautification, delineation of access, features, architecture, and environmental enhancement. In general, landscaping when used within a sidewalk shall include trees that provide shade and aesthetic enhancements without conflicting with vehicle or pedestrian movement, awnings, or signs.
 2. Landscape and Irrigation Plans are required and may be at a consistent scale as the site plans provided as part of specific submittals to the city.
 3. Root Barriers:
 - a. Trees installed within five feet (5') of utilities, or a sidewalk shall provide a root barrier; utilities and site amenities may be permitted to within seven feet, six inches (7'-6") of a tree.

4. Tree Equivalency Standards. For the purposes of calculating required trees (but not for mitigation replacement):
 - a. Five (5) Large Palms from approved list may count as 1 canopy tree. All other palms shall have eight feet (8') CT and counted as 3:1.
 - b. A grouping of three (3) palm trees with a typical DBH at maturity of less than twelve inches (12") shall be the equivalent of one (1) canopy tree.
 - c. Palms with typical DBH at maturity of less than twelve inches (12") that are specified with trunks emerging from a common root ball shall be equivalent to one (1) palm tree.
 5. Irrigation plan submittals will be provided per City Code for construction permit submittals. Irrigation will be installed prior to the certificate of occupancy.
 6. Low-volume drip irrigation may be provided in narrow landscape spaces to avoid overspray onto paved surfaces.
 7. Mitigation requirements as outline under section 106.29 will be followed except for item (C) remuneration in lieu of replacement. We are proposing that if any replacement costs are required for removing trees required prior to building permit, these costs would be allowed to be used for public art, pedestrian walkway enhancements, building façade enhancements for the public, open space amenities or other similar items for this particular project. Street Trees shall be planted along Boulevards, Drives and Avenues, per the following parameters:
 9. Boulevard street trees: One (1) Canopy tree, intermediate tree, or palm at fifty feet (50') on center (max) spacing at road edges and 40 feet on center (max) spacing within medians.
- Landscaping within non-buffer areas shall be consistent with the following:
 1. Parking structures and garages shall be exempt from landscaping requirements.
 2. An area, or combination of areas equal to 8% of the total vehicular use area (VUA), exclusive of perimeter buffers, is required to be devoted to interior VUA landscaping. This standard shall be applied on the overall PD. and is not required for each block, parcel, or individual development. Furthermore, the VUA standard only applies to surface parking and or driveways serving such areas; no VUA is required for parking garages or similar.

3. Required landscape for non-buffer landscape areas, inclusive of interior VUA landscaping:
 - a. One (1) tree or palm and ten (10) shrubs are required for every 2,000 square feet of required non-buffer landscape area, excluding specific purpose landscaped open spaces such as designated recreation spaces (including safety zones), grass amphitheaters, stormwater treatment areas, swales, or similar.
 4. Landscape islands shall be provided at the ends of a parking aisle and are encouraged throughout the surface parking areas to break up the expanses of the parking area. Islands must be of sufficient width to accommodate the plantings being proposed within them or root barriers, drip irrigation and other methods shall be implemented. Interior landscape islands may be clustered so as to provide larger, functional islands at the end caps.
 5. Terminal and intermediate islands shall generally require at least one (1) tree or palm and shall be a minimum of seven feet (7') wide (back of curb to back of curb) or as practical to provide a suitable planting area. Terminal and intermediate islands must be a minimum of seven feet (7') wide for a Canopy tree. A maximum of 20 spaces may be provided between intermediate landscape peninsulas. Wider end islands may be provided if intermediate islands are not provided.
 6. All landscaped areas adjacent to VUAs shall be protected by raised curbing.
 7. A separate buffer is not required between the vehicle use area, public right-of-way and or a building in excess of those required at the property perimeter.
- Project entrances shall provide enhanced landscaping and design; however, entrance landscapes are not required to exceed the minimum requirements of these PDs.
 - Plants
 1. The plant palette used for the Oakwood Plaza PD shall be composed of a minimum 50 percent native species and nursery stock grown within the region. Trees, shrubs and similar shall, at a minimum, meet Florida No. 1 standards. Plants that are identified as category I and II invasive species per Section 825-50 (Definitions) of the Hollywood Code of Ordinances are prohibited. Plant species should complement the design of previously installed portions within the Oakwood Plaza Planned Development, applying the design precedence observed for previously approved parking lots, buffers, building foundations, and internal roadway plantings. Plant species identified in the Hollywood Landscape Technical Manual shall be utilized for at least 75% of all plantings per landscape plan application.

- Open Space: The Design Guidelines will comply with the standards from the LUPA. Approximately 2.50 acres of open space will be incorporated into the overall 112.50 gross acres as a wet pond/dry pond or other allowed use.

The proposed multifamily residential project will have rear landscaping setback which is being maintained and minimum landscaping around the perimeter. There will be a pool and hardscaping amenities within the footprint.

23.0 Signage

The proposed signage will meet current sign program approved as part of the PD.

24.0 Lighting

The proposed lighting system will meet current PD requirements.

25.0 Utilities

Water and wastewater infrastructure is presently available to the property and provisions have been made for the connection to these systems; connection points will be coordinated with the City of Hollywood. The water service shall connect to the existing private 8-inch PVC water main. The sewer service shall connect to the existing private 8-inch PVC gravity main. Utility designs will meet City of Hollywood Water and Sewer, Broward County and Florida Department of Health and Environmental Protection Standards.

Development will comply with Florida State Statutes 633, Florida Administrative Code 69A, currently adopted NFPA codes, the currently adopted edition of The Florida Fire Prevention Code and the currently adopted edition of the Broward County Amendments to The Florida Fire Prevention Code.

Our project will comply with these requirements.

26.0 Stormwater

Stormwater design will meet the requirements as approved as part of the Oakwood Activity Center Land Use Plan Amendment.

27.0 Site Plan Submittals

Site Plan review shall follow City Article 6.22 Site Plan review process using these established PD Guidelines.

Our project will comply with these requirements.

28.0 Other Provisions

Sustainability

SFA Atlantis Associates, LP & Oakwood Business Center Ltd. Prt. (Master Developer) is committed to the long-term success of the Oakwood Plaza PD. Environmental, Social and Governance (ESG) principles are embedded into Master Developer’s design & construction process. The Master Developer will also comply with Chapters 151.150 through 151.160 of the City’s Code regarding Mandatory Green Building Practices.

- Temporary easements for construction shall be permitted on-site by the Master Developer.
- Due to the nature of PD and its improvements (private), a maintenance and responsible party agreement shall be provided with each respective Site Plan. The Oakwood Plaza will be maintained up to the minimum standards, included within a declaration of covenants restrictions and easements as administered by the Master Developer.
- Master Developer approval is required to be submitted prior to the submittal of the building permit submittal.
- Any permit, building or similar, submitted by a third-party applicant requires approval in writing by the PD Master Developer prior to submittal to the City of Hollywood.
- Redevelopment. Existing uses including those located within the PD may continue as currently approved and or developed including but not limited to building height, signage, parking, buffers, roadway networks, driveway locations, landscaping areas or other changes can be made if less than 50 percent of the total structure value and land values are made within the existing parcel areas within the redevelopment. If this requirement is met the PD Guidelines would not have to be adhered to.

Our project will comply with these requirements.

29.0 City of Hollywood Goals, Objectives and Policies

The PD is consistent with the goals, objectives, and policies of the City Land Use Plan as outlined below:

GOAL: Promoted a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing landowners to maximize the use of their property.

Our project will maximize the use by having a new eight store multifamily building which will activate the existing cooridor along N 26th Avenue.

Policy 7.24 To ensure through coordination with the South Florida Water Management District (SFWMD), the Broward County Water Resources Management Division (WRMD), and the Broward County Environmental Protection Department in the development review process to ensure that new development is required to provide adequate drainage measures to service itself and to neutralize any deficiencies which would be created by such new development.

Our project is constructing the site and drainage system to meet adopted Broward County, City of Hollywood, and FEMA requirements.

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1
2 An act relating to the Department of Agriculture and
3 Consumer Services; amending s. 366.94, F.S.;
4 preempting the regulation of electric vehicle charging
5 stations to the state; prohibiting local governmental
6 entities from enacting or enforcing such regulations;
7 amending ss. 482.111, 482.151, and 482.155, F.S.;
8 providing that a pest control operator's certificate,
9 a special identification card, and certain limited
10 certifications for pesticide applicators,
11 respectively, expire a specified length of time after
12 issuance; revising renewal requirements for such
13 certificates and cards; amending s. 482.156, F.S.;
14 revising the tasks, pesticides, and equipment that
15 individual commercial landscape maintenance personnel
16 with limited certifications may perform and use;
17 revising the initial and renewal certification
18 requirements for such personnel; amending s. 482.157,
19 F.S.; providing that a limited certification for
20 commercial wildlife management personnel expires a
21 specified length of time after issuance; revising
22 renewal certification requirements for such personnel;
23 amending s. 482.161, F.S.; authorizing the department
24 to take disciplinary action against a person who
25 swears to or affirms a false statement on certain
26 applications, cheats on a required examination, or
27 violates certain procedures under certain
28 circumstances; amending s. 482.191, F.S.; providing
29 penalties for a person who swears to or affirms a

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30 false statement on certain applications; providing
31 that cheating on certain examinations or violating
32 certain examination procedures voids an examinee's
33 exam attempt; authorizing the department to adopt
34 rules establishing penalties for such a violation;
35 authorizing the department to exercise discretion in
36 assessing penalties in certain circumstances; amending
37 s. 482.226, F.S.; requiring pest control licensees to
38 provide property owners or their agents with a signed
39 report that meets certain requirements after each
40 inspection; amending s. 487.031, F.S.; prohibiting a
41 person from swearing to or affirming a false statement
42 on certain pesticide applicator license applications,
43 cheating on a required examination, or violating
44 certain procedures; making technical changes; amending
45 s. 487.175, F.S.; providing penalties for a person who
46 swears to or affirms a false statement on certain
47 applications; providing that cheating on certain
48 examinations or violating certain examination
49 procedures voids an examinee's exam attempt; requiring
50 the department to adopt rules establishing penalties
51 for such a violation; authorizing the department to
52 exercise discretion in assessing penalties in certain
53 circumstances; amending s. 493.6113, F.S.; authorizing
54 Class "G" licensees to qualify for multiple calibers
55 of firearms in one requalification class under certain
56 circumstances; creating s. 493.6127, F.S.; authorizing
57 the department to appoint tax collectors to accept
58 new, renewal, and replacement license applications

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59 under certain circumstances; requiring the department
60 to establish by rule the types of licenses the tax
61 collectors may accept; providing an application
62 process for tax collectors who wish to perform such
63 functions; providing that certain confidential
64 information contained in the records of an appointed
65 tax collector retains its confidentiality; prohibiting
66 any person not appointed to do so from accepting an
67 application for a license for a fee or compensation;
68 authorizing tax collectors to collect and retain
69 certain convenience fees; requiring the tax collectors
70 to remit certain fees to the department for deposit in
71 the Division of Licensing Trust Fund; providing
72 penalties; amending s. 496.404, F.S.; defining the
73 term "street address"; amending s. 496.405, F.S.;
74 deleting certain fees; amending s. 496.406, F.S.;
75 revising the circumstances under which charitable
76 organizations or sponsors are exempt from specified
77 provisions; revising the information that charitable
78 organizations and sponsors must provide to the
79 department when claiming certain exemptions; amending
80 s. 496.407, F.S.; revising the information charitable
81 organizations or sponsors are required to provide to
82 the department when initially registering or annually
83 renewing a registration; revising circumstances under
84 which the department may extend the time for filing a
85 required financial statement; amending ss. 496.409,
86 496.410, 496.4101, 496.411, 496.4121, and 496.425,
87 F.S.; revising the information that professional

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88 fundraising consultants must include in applications
89 for registration or renewals of registration, that
90 professional solicitors must include in applications
91 for registration, renewals of registration, and
92 solicitation notices provided to the department and
93 that professional solicitors are required to maintain
94 in their records, that must be included in certain
95 solicitor license applications, that disclosures of
96 charitable organizations or sponsors soliciting in
97 this state must include, that must be displayed on
98 certain collection receptacles, and that a person
99 desiring to solicit funds within a facility must
100 provide in an application to the department and must
101 display prominently on his or her badge or insignia,
102 respectively, to include street addresses; reenacting
103 and amending s. 500.03, F.S.; defining the term
104 "cultivated meat"; creating s. 500.452, F.S.;
105 prohibiting the manufacture for sale, sale, holding or
106 offering for sale, or distribution of cultivated meat
107 in this state; providing criminal penalties; providing
108 for disciplinary action and additional licensing
109 penalties; providing that such products are subject to
110 certain actions and orders; authorizing the department
111 to adopt rules; amending s. 507.07, F.S.; prohibiting
112 a mover from placing a shipper's goods in a self-
113 service storage unit or self-contained unit not owned
114 by the mover unless certain conditions are met;
115 repealing s. 531.67, F.S., relating to the scheduled
116 expiration of certain provisions related to weights,

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117 measurements, and standards; amending s. 559.904,
118 F.S.; revising the information that must be provided
119 to the department on a motor vehicle repair shop
120 registration application; providing that the
121 registration fee must be calculated for each location;
122 amending s. 559.905, F.S.; revising the cost of repair
123 work which requires a motor vehicle repair shop to
124 provide a customer with a written repair estimate;
125 amending s. 570.07, F.S.; revising the amount up to
126 which the department is authorized to use to repair or
127 build structures; amending s. 570.69, F.S.; defining
128 the term "center"; deleting the definition of the term
129 "museum"; amending s. 570.691, F.S.; conforming
130 provisions to changes made by the act; amending s.
131 570.692, F.S.; renaming the Florida Agricultural
132 Museum as the Florida Agricultural Legacy Learning
133 Center; creating s. 581.189, F.S.; defining terms;
134 prohibiting the willful destruction, harvest, or sale
135 of saw palmetto berries without first obtaining
136 written permission from the landowner or legal
137 representative and a permit from the department;
138 specifying the information that the landowner's
139 written permission must include; requiring an
140 authorized saw palmetto berry dealer to maintain
141 certain information for a specified timeframe;
142 authorizing law enforcement officers or authorized
143 employees of the department to seize or order to be
144 held for a specified timeframe saw palmetto berries
145 harvested, sold, or exposed for sale in violation of

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146 specified provisions; declaring that unlawfully
147 harvested saw palmetto berries constitute contraband
148 and are subject to seizure and disposal; authorizing
149 law enforcement agencies that seize such saw palmetto
150 berries to sell the berries and retain the proceeds to
151 implement certain provisions; providing that such law
152 enforcement agencies are exempt from certain
153 provisions; requiring the law enforcement agencies to
154 submit certain information annually to the department;
155 providing criminal penalties; providing that
156 individuals convicted of such violations are
157 responsible for specified costs; defining the term
158 "convicted"; providing construction; requiring the
159 department to adopt rules; amending s. 585.01, F.S.;
160 revising the definition of the term "livestock" to
161 include poultry; amending s. 790.0625, F.S.;
162 authorizing certain tax collectors to collect and
163 retain certain convenience fees for certain concealed
164 weapon or firearm license applications; authorizing
165 such tax collectors to print and deliver replacement
166 licenses to licensees under certain circumstances;
167 authorizing such tax collectors to provide
168 fingerprinting and photography services; amending s.
169 810.011, F.S.; revising the definition of the term
170 "posted land" to include land classified as
171 agricultural which has specified signs placed at
172 specified points; amending s. 810.09, F.S.; providing
173 criminal penalties for trespassing with the intent to
174 commit a crime on commercial agricultural property

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175 under certain circumstances; defining the term
176 "commercial agricultural property"; amending s.
177 1003.24, F.S.; providing that a student's
178 participation in a 4-H or Future Farmers of America
179 activity is an excused absence from school; defining
180 the term "4-H representative"; amending ss. 379.3004,
181 812.014, and 921.0022, F.S.; conforming cross-
182 references; reenacting s. 493.6115(6), F.S., relating
183 to weapons and firearms, to incorporate the amendment
184 made to s. 493.6113, F.S., in a reference thereto;
185 reenacting s. 496.4055(2), F.S., relating to
186 charitable organization or sponsor board duties, to
187 incorporate the amendment made to s. 496.405, F.S., in
188 references thereto; reenacting s. 559.907(1)(b), F.S.,
189 relating to the charges for motor vehicle repair
190 estimates, to incorporate the amendment made to s.
191 559.905, F.S., in a reference thereto; reenacting ss.
192 468.382(6), 534.47(3), 767.01, and 767.03, F.S.,
193 relating to the definition of the term "livestock" for
194 auctions, livestock markets, dog owner's liability for
195 damages to livestock, and defenses for killing dogs,
196 respectively, to incorporate the amendment made to s.
197 585.01, F.S., in references thereto; providing
198 effective dates.

199
200 Be It Enacted by the Legislature of the State of Florida:

201
202 Section 1. Subsection (2) of section 366.94, Florida
203 Statutes, is amended to read:

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204 366.94 Electric vehicle charging stations.—

205 (2) The regulation of electric vehicle charging stations is
206 preempted to the state.

207 (a) A local governmental entity may not enact or enforce an
208 ordinance or regulation related to electric vehicle charging
209 stations.

210 (b) The Department of Agriculture and Consumer Services
211 shall adopt rules to provide ~~definitions, methods of sale,~~
212 ~~labeling requirements, and price-posting~~ requirements for
213 electric vehicle charging stations to allow for consistency for
214 consumers and the industry.

215 Section 2. Subsections (3), (4), and (10) of section
216 482.111, Florida Statutes, are amended to read:

217 482.111 Pest control operator's certificate.—

218 (3) A certificate expires 1 year after the date of
219 issuance. Annually, on or before the 1-year an anniversary of
220 the date of issuance set by the department, an individual se
221 issued a pest control operator's certificate must apply to the
222 department on a form prescribed by the department to renew the
223 for renewal of such certificate. After a grace period not
224 exceeding 30 calendar days following such expiration renewal
225 date, the department shall assess a late renewal charge of \$50
226 shall be assessed and the certificateholder must pay the late
227 renewal charge be paid in addition to the renewal fee.

228 (4) If a certificateholder fails to renew his or her
229 certificate and provide proof of completion of the required
230 continuing education units under subsection (10) within 60 days
231 after the certificate's expiration date, the certificateholder
232 may be recertified only after reexamination Unless timely

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233 ~~renewed, a certificate automatically expires 180 calendar days~~
234 ~~after the anniversary renewal date. Subsequent to such~~
235 ~~expiration, a certificate may be issued only upon successful~~
236 ~~reexamination and upon payment of the examination and issuance~~
237 ~~fees due.~~

238 (10) In order to renew ~~Prior to the expiration date of a~~
239 certificate, the certificateholder must complete 2 hours of
240 approved continuing education on legislation, safety, pesticide
241 labeling, and integrated pest management and 2 hours of approved
242 continuing education in each category of her or his certificate
243 or must pass an examination given by the department. The
244 department may not renew a certificate if the continuing
245 education or examination requirement is not met.

246 (a) Courses or programs, to be considered for credit, must
247 include one or more of the following topics:

248 1. The law and rules of this state pertaining to pest
249 control.

250 2. Precautions necessary to safeguard life, health, and
251 property in the conducting of pest control and the application
252 of pesticides.

253 3. Pests, their habits, recognition of the damage they
254 cause, and identification of them by accepted common name.

255 4. Current accepted industry practices in the conducting of
256 fumigation, termites and other wood-destroying organisms pest
257 control, lawn and ornamental pest control, and household pest
258 control.

259 5. How to read labels, a review of current state and
260 federal laws on labeling, and a review of changes in or
261 additions to labels used in pest control.

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262 6. Integrated pest management.

263 (b) The certificateholder must submit with her or his
264 application for renewal a statement certifying that she or he
265 has completed the required number of hours of continuing
266 education. The statement must be on a form prescribed by the
267 department and must identify at least the date, location,
268 provider, and subject of the training and must provide such
269 other information as required by the department.

270 (c) The department shall charge the same fee for
271 examination as provided in s. 482.141(2).

272 Section 3. Subsections (6), (7), and (8) of section
273 482.151, Florida Statutes, are amended to read:

274 482.151 Special identification card for performance of
275 fumigation.—

276 (6) A special identification card expires 1 year after the
277 date of issuance. A cardholder must apply ~~An application~~ to the
278 department to renew his or her ~~for renewal of a special~~
279 identification card ~~must be made~~ on or before the 1-year ~~an~~
280 anniversary of the date of issuance ~~set by the department~~. The
281 department shall set the fee for renewal of a special
282 identification card ~~shall be set by the department~~ but the fee
283 may not be more than \$100 or less than \$50; however, until a
284 rule setting this fee is adopted by the department, the renewal
285 fee ~~is~~ shall be \$50. After a grace period not exceeding 30
286 calendar days following such expiration ~~renewal~~ date, the
287 department shall assess a late renewal charge of \$25, which the
288 cardholder must pay ~~be paid~~ in addition to the renewal fee.

289 (7) If a cardholder fails to renew his or her card and
290 provide proof of completion of the continuing education units

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291 required by subsection (8) within 60 days after the expiration
292 date, the cardholder may be reissued a special identification
293 card only after reexamination ~~Unless timely renewed, a special~~
294 ~~identification card automatically expires 180 calendar days~~
295 ~~after the anniversary renewal date. Subsequent to such~~
296 ~~expiration, a special identification card may be issued only~~
297 ~~upon successful reexamination and upon payment of examination~~
298 ~~and issuance fees due, as provided in this section.~~

299 (8) In order to renew ~~Prior to the expiration date of a~~
300 special identification card, the cardholder must do at least one
301 of the following:

302 (a) Complete 2 hours of approved continuing education on
303 legislation, safety, and pesticide labeling and 2 hours of
304 approved continuing education in the fumigation category. ~~or~~

305 (b) Pass an examination in fumigation given by the
306 department.

307 Section 4. Paragraph (b) of subsection (1) of section
308 482.155, Florida Statutes, is amended to read:

309 482.155 Limited certification for governmental pesticide
310 applicators or private applicators.—

311 (1)

312 (b) A person seeking limited certification under this
313 subsection must pass an examination given or approved by the
314 department. Each application for examination must be accompanied
315 by an examination fee set by the department, in an amount of not
316 more than \$150 or less than \$50; and a recertification fee of
317 \$25 every 4 years. Until rules setting these fees are adopted by
318 the department, the examination fee is \$50. Application for
319 recertification must be accompanied by proof of having completed

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320 4 classroom hours of acceptable continuing education. The
321 limited certificate expires 4 years after the date of issuance.
322 If the certificateholder fails to renew his or her certificate
323 and provide proof of completion of the required continuing
324 education units within 60 days after the expiration date, the
325 certificateholder may be recertified only after reexamination.
326 The department shall provide the appropriate reference material
327 and make the examination readily accessible and available to all
328 applicants at least quarterly or as necessary in each county.

329 Section 5. Subsections (1), (2), and (3), of section
330 482.156, Florida Statutes, are amended to read:

331 482.156 Limited certification for commercial landscape
332 maintenance personnel.—

333 (1) The department shall establish a limited certification
334 category for individual commercial landscape maintenance
335 personnel to authorize them to apply herbicides for controlling
336 weeds in plant beds, driveways, sidewalks, and patios and to
337 perform integrated pest management on ornamental plants using
338 pesticides that do not have a ~~insecticides and fungicides having~~
339 ~~the~~ signal word or that have the signal word "caution" but do
340 not have ~~having~~ the signal word "warning" or "danger" on the
341 label. The application equipment that may be used by a person
342 certified pursuant to this section is limited to portable,
343 handheld application equipment and ~~3-gallon compressed air~~
344 ~~sprayers or~~ backpack sprayers but having no more than a 5-gallon
345 ~~capacity and~~ does not include any type of power equipment.

346 (2) ~~(a)~~ A person seeking limited certification under this
347 section must pass an examination given by the department. Each
348 application for examination must be accompanied by an

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349 examination fee set by rule of the department, in an amount of
350 not more than \$150 or less than \$50. Before the department
351 issues ~~Prior to the department's issuing~~ a limited certification
352 under this section, each person applying for the certification
353 must furnish proof of having a certificate of insurance which
354 states that the employer meets the requirements for minimum
355 financial responsibility for bodily injury and property damage
356 required by s. 482.071(4).

357 ~~(b) To be eligible to take the examination, an applicant~~
358 ~~must have completed 6 classroom hours of plant bed and~~
359 ~~ornamental continuing education training approved by the~~
360 ~~department and provide sufficient proof, according to criteria~~
361 ~~established by department rule.~~ The department shall provide the
362 appropriate reference materials for the examination and make the
363 examination readily accessible and available to applicants at
364 least quarterly or as necessary in each county.

365 (3) A certificate expires 1 year after the date of
366 issuance. A certificateholder must apply to the department to
367 renew his or her certificate on or before the 1-year anniversary
368 of the date of issuance. ~~The An application for recertification~~
369 ~~under this section must be made annually and be accompanied by a~~
370 recertification fee set by rule of the department, in an amount
371 of not more than \$75 or less than \$25. The application must also
372 be accompanied by proof of having completed 4 classroom hours of
373 acceptable continuing education and the same proof of having a
374 certificate of insurance as is required for issuance of this
375 certification. After a grace period not exceeding 30 calendar
376 days following such expiration date ~~the annual date that~~
377 ~~recertification is due~~, a late renewal charge of \$50 shall be

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378 assessed and must be paid in addition to the renewal fee. If a
379 certificateholder fails to renew his or her certificate and
380 provide proof of completing the required continuing education
381 units within 60 days after the expiration date, the
382 certificateholder may be recertified only after reexamination
383 ~~Unless timely recertified, a certificate automatically expires~~
384 ~~180 calendar days after the anniversary recertification date.~~
385 ~~Subsequent to such expiration, a certificate may be issued only~~
386 ~~upon successful reexamination and upon payment of the~~
387 ~~examination fees due.~~

388 Section 6. Subsection (3) of section 482.157, Florida
389 Statutes, is amended to read:

390 482.157 Limited certification for commercial wildlife
391 management personnel.—

392 (3) A certificate expires 1 year after the date of
393 issuance. A certificateholder must apply to the department to
394 renew his or her certificate on or before the 1-year anniversary
395 of the date of issuance. The ~~An~~ application ~~for recertification~~
396 ~~must be made annually and~~ be accompanied by a recertification
397 fee of at least \$75, but not more than \$150, as prescribed by
398 the department by rule. The application must also be accompanied
399 by proof of completion of the required 4 classroom hours of
400 acceptable continuing education and the required proof of
401 insurance. After a grace period not exceeding 30 calendar days
402 following such expiration ~~after the recertification renewal~~
403 ~~date, the department shall assess a late fee of \$50 in addition~~
404 ~~to the renewal fee. If a certificateholder fails to renew his or~~
405 ~~her certificate and provide proof of completing the required~~
406 ~~continuing education units within 60 days after the expiration~~

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407 date, the certificateholder may be recertified only after
408 reexamination ~~A certificate automatically expires 180 days after~~
409 ~~the recertification date if the renewal fee has not been paid.~~
410 ~~After expiration, the department shall issue a new certificate~~
411 ~~only if the applicant successfully passes a reexamination and~~
412 ~~pays the examination fee and late fee.~~

413 Section 7. Paragraphs (k) and (l) are added to subsection
414 (1) of section 482.161, Florida Statutes, to read:

415 482.161 Disciplinary grounds and actions; reinstatement.—

416 (1) The department may issue a written warning to or impose
417 a fine against, or deny the application for licensure or
418 licensure renewal of, a licensee, certified operator, limited
419 certificateholder, identification cardholder, or special
420 identification cardholder or any other person, or may suspend,
421 revoke, or deny the issuance or renewal of any license,
422 certificate, limited certificate, identification card, or
423 special identification card that is within the scope of this
424 chapter, in accordance with chapter 120, upon any of the
425 following grounds:

426 (k) Swearing to or affirming any false statement in an
427 application for a license issued pursuant to this chapter.

428 (l) Cheating on an examination required for licensure under
429 this chapter or violating a published test center or examination
430 procedure provided orally, in writing, or electronically at the
431 test site and affirmatively acknowledged by the examinee.

432 Section 8. Section 482.191, Florida Statutes, is amended to
433 read:

434 482.191 Violation and penalty.—

435 (1) It is unlawful to do any of the following:

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436 (a) Solicit, practice, perform, or advertise in pest
437 control except as provided by this chapter.

438 (b) Swear to or affirm a false statement in an application
439 for a license or certificate issued pursuant to this chapter. A
440 false statement contained in an application for such license or
441 certificate renders the application, license, or certificate
442 void.

443 (c) Cheat on an examination required for licensure under
444 this chapter or violate a published test center or examination
445 procedure provided orally, in writing, or electronically at the
446 test site and affirmatively acknowledged by an examinee.
447 Violating this paragraph renders the examinee's exam attempt
448 void. The department shall adopt rules establishing penalties
449 for examinees who violate this subsection. The department may
450 exercise discretion in assessing penalties based on the nature
451 and frequency of the violation.

452 (2) Except as provided in paragraph (1)(c), a person who
453 violates ~~any provision of this chapter~~ commits is guilty of a
454 misdemeanor of the second degree, punishable as provided in s.
455 775.082 or s. 775.083.

456 (3) A ~~Any~~ person who violates any rule of the department
457 relative to pest control commits is guilty of a misdemeanor of
458 the second degree, punishable as provided in s. 775.082 or s.
459 775.083.

460 Section 9. Subsection (3) of section 482.226, Florida
461 Statutes, is amended to read:

462 482.226 Wood-destroying organism inspection report; notice
463 of inspection or treatment; financial responsibility.-

464 (3) When an inspection ~~If periodic reinspections or~~

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465 ~~retreatments are~~ specified in wood-destroying organisms
466 preventive or control contracts is conducted or any treatment
467 covered by the wood-destroying organisms preventive or control
468 contracts is performed, the licensee shall furnish the property
469 owner or the property owner's authorized agent, ~~after each such~~
470 ~~reinspection or retreatment~~, a signed report indicating the
471 presence or absence of wood-destroying organisms covered by the
472 contract, whether treatment ~~retreatment~~ was made, and the common
473 or brand name of the pesticide used. Such report need not be on
474 a form prescribed by the department.

475 (a) If a licensee performs an inspection not specified in
476 the wood-destroying organisms preventive or control contract,
477 and the presence of wood-destroying organisms covered by the
478 contract is identified, the licensee must provide the property
479 owner or property owner's authorized agent with a signed report
480 notifying her or him of the presence of wood-destroying
481 organisms.

482 (b) A person may not perform inspections ~~periodic~~
483 ~~reinspections~~ or treatments ~~retreatments~~ unless she or he has an
484 identification card issued under s. 482.091(9).

485 Section 10. Subsection (13) of section 487.031, Florida
486 Statutes, is amended to read:

487 487.031 Prohibited acts.—It is unlawful:

488 (13) For any person to do any of the following:

489 (a) Make a false or fraudulent claim through any medium,
490 misrepresenting the effect of materials or methods used.†

491 (b) Make a pesticide recommendation or application not in
492 accordance with the label, except as provided in this section,
493 or not in accordance with recommendations of the United States

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494 Environmental Protection Agency or not in accordance with the
495 specifications of a special local need registration.†

496 (c) Operate faulty or unsafe equipment.†

497 (d) Operate in a faulty, careless, or negligent manner.†

498 (e) Apply any pesticide directly to, or in any manner cause
499 any pesticide to drift onto, any person or area not intended to
500 receive the pesticide.†

501 (f) Fail to disclose to an agricultural crop grower, before
502 ~~prior to the time~~ pesticides are applied to a crop, full
503 information regarding the possible harmful effects to human
504 beings or animals and the earliest safe time for workers or
505 animals to reenter the treated field.†

506 (g) Refuse or, after notice, neglect to comply with ~~the~~
507 ~~provisions of~~ this part, the rules adopted under this part, or
508 any lawful order of the department.†

509 (h) Refuse or neglect to keep and maintain the records
510 required by this part or to submit reports when and as
511 required.†

512 (i) Make false or fraudulent records, invoices, or
513 reports.†

514 (j) Use fraud or misrepresentation in making an application
515 for a license or license renewal.†

516 (k) Swear to or affirm a false statement in an application
517 for a license issued pursuant to this chapter.

518 (l) Cheat on an examination required for licensure under
519 this chapter or violate a published test center or examination
520 procedure provided orally, in writing, or electronically at the
521 test site and affirmatively acknowledged by the examinee.

522 (m) Refuse or neglect to comply with any limitations or

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523 restrictions on or in a duly issued license.†

524 (n)~~(l)~~ Aid or abet a licensed or unlicensed person to evade
525 ~~the provisions of~~ this part, or combine or conspire with a
526 licensed or unlicensed person to evade ~~the provisions of~~ this
527 part, or allow a license to be used by an unlicensed person.†

528 (o)~~(m)~~ Make false or misleading statements during or after
529 an inspection concerning any infestation or infection of pests
530 found on land.†

531 (p)~~(n)~~ Make false or misleading statements, or fail to
532 report, pursuant to this part, any suspected or known damage to
533 property or illness or injury to persons caused by the
534 application of pesticides.†

535 (q)~~(o)~~ Impersonate any state, county, or city inspector or
536 official.†

537 (r)~~(p)~~ Fail to maintain a current liability insurance
538 policy or surety bond required by ~~as provided for in~~ this part.†

539 (s)~~(q)~~ Fail to adequately train, as required by ~~provided~~
540 ~~for in~~ this part, unlicensed applicators or mixer-loaders
541 applying restricted-use pesticides under the direct supervision
542 of a licensed applicator.†~~or~~

543 (t)~~(r)~~ Fail to provide authorized representatives of the
544 department with records required by this part or with free
545 access for inspection and sampling of any pesticide, areas
546 treated with or impacted by these materials, and equipment used
547 in their application.

548 Section 11. Section 487.175, Florida Statutes, is amended
549 to read:

550 487.175 Penalties; administrative fine; injunction.—

551 (1) In addition to any other penalty provided in this part,

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552 when the department finds any person, applicant, or licensee has
553 violated any provision of this part or rule adopted under this
554 part, it may enter an order imposing any one or more of the
555 following penalties:

556 (a) Denial of an application for licensure.

557 (b) Revocation or suspension of a license.

558 (c) Issuance of a warning letter.

559 (d) Placement of the licensee on probation for a specified
560 period of time and subject to conditions the department may
561 specify by rule, including requiring the licensee to attend
562 continuing education courses, to demonstrate competency through
563 a written or practical examination, or to work under the direct
564 supervision of another licensee.

565 (e) Imposition of an administrative fine in the Class III
566 category pursuant to s. 570.971 for each violation. When
567 imposing a fine under this paragraph, the department shall
568 consider the degree and extent of harm caused by the violation,
569 the cost of rectifying the damage, the amount of money the
570 violator benefited from by noncompliance, whether the violation
571 was committed willfully, and the compliance record of the
572 violator.

573 (2) It is unlawful for a person to swear to or affirm a
574 false statement in an application for a license or certificate
575 issued pursuant to this chapter. A false statement contained in
576 an application for such license or certificate renders the
577 application, license, or certificate void.

578 (3) Cheating on an examination required for licensure under
579 this chapter or violating a published test center or examination
580 procedure provided orally, in writing, or electronically at the

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581 test site and affirmatively acknowledged by the examinee renders
582 the examinee's exam attempt void. The department shall adopt
583 rules establishing penalties for examinees who violate this
584 section. The department may exercise discretion in assessing
585 penalties based on the nature and frequency of the violation.

586 (4) Except as provided under subsection (3), a Any person
587 who violates ~~any provision of~~ this part or rules adopted
588 pursuant thereto commits a misdemeanor of the second degree and
589 upon conviction is punishable as provided in s. 775.082 or s.
590 775.083. For a subsequent violation, such person commits a
591 misdemeanor of the first degree and upon conviction is
592 punishable as provided in s. 775.082 or s. 775.083.

593 (5)~~(3)~~ In addition to the remedies provided in this part
594 and notwithstanding the existence of any adequate remedy at law,
595 the department may bring an action to enjoin the violation or
596 threatened violation of ~~any provision of~~ this part, or rule
597 adopted under this part, in the circuit court of the county in
598 which the violation occurred or is about to occur. Upon the
599 department's presentation of competent and substantial evidence
600 to the court of the violation or threatened violation, the court
601 shall immediately issue the temporary or permanent injunction
602 sought by the department. The injunction shall be issued without
603 bond. A single act in violation of ~~any provision of~~ this part is
604 ~~shall be~~ sufficient to authorize the issuance of an injunction.

605 Section 12. Paragraph (b) of subsection (3) of section
606 493.6113, Florida Statutes, is amended to read:

607 493.6113 Renewal application for licensure.—

608 (3) Each licensee is responsible for renewing his or her
609 license on or before its expiration by filing with the

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610 department an application for renewal accompanied by payment of
611 the renewal fee and the fingerprint retention fee to cover the
612 cost of ongoing retention in the statewide automated biometric
613 identification system established in s. 943.05(2)(b). Upon the
614 first renewal of a license issued under this chapter before
615 January 1, 2017, the licensee shall submit a full set of
616 fingerprints and fingerprint processing fees to cover the cost
617 of entering the fingerprints into the statewide automated
618 biometric identification system pursuant to s. 493.6108(4)(a)
619 and the cost of enrollment in the Federal Bureau of
620 Investigation's national retained print arrest notification
621 program. Subsequent renewals may be completed without submission
622 of a new set of fingerprints.

623 (b) Each Class "G" licensee shall additionally submit proof
624 that he or she has received during each year of the license
625 period a minimum of 4 hours of firearms requalification training
626 taught by a Class "K" licensee and has complied with such other
627 health and training requirements that the department shall adopt
628 by rule. Proof of completion of firearms requalification
629 training shall be submitted to the department upon completion of
630 the training. A Class "G" licensee must successfully complete
631 this requalification training for each type and caliber of
632 firearm carried in the course of performing his or her regulated
633 duties. At the discretion of a Class "K" instructor, a Class "G"
634 licensee may qualify for up to two calibers of firearms in one
635 4-hour firearm requalification class if the licensee
636 successfully completes training for each firearm, including a
637 separate course of fire for each caliber of firearm. If the
638 licensee fails to complete the required 4 hours of annual

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639 training during the first year of the 2-year term of the
640 license, the license is ~~shall be~~ automatically suspended. The
641 licensee must complete the minimum number of hours of range and
642 classroom training required at the time of initial licensure and
643 submit proof of completion of such training to the department
644 before the license may be reinstated. If the licensee fails to
645 complete the required 4 hours of annual training during the
646 second year of the 2-year term of the license, the licensee must
647 complete the minimum number of hours of range and classroom
648 training required at the time of initial licensure and submit
649 proof of completion of such training to the department before
650 the license may be renewed. The department may waive the
651 firearms training requirement if:

652 1. The applicant provides proof that he or she is currently
653 certified as a law enforcement officer or correctional officer
654 under the Criminal Justice Standards and Training Commission and
655 has completed law enforcement firearms requalification training
656 annually during the previous 2 years of the licensure period;

657 2. The applicant provides proof that he or she is currently
658 certified as a federal law enforcement officer and has received
659 law enforcement firearms training administered by a federal law
660 enforcement agency annually during the previous 2 years of the
661 licensure period;

662 3. The applicant submits a valid firearm certificate among
663 those specified in s. 493.6105(6)(a) and provides proof of
664 having completed requalification training during the previous 2
665 years of the licensure period; or

666 4. The applicant provides proof that he or she has
667 completed annual firearms training in accordance with the

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668 requirements of the federal Law Enforcement Officers Safety Act
669 under 18 U.S.C. ss. 926B-926C.

670 Section 13. Section 493.6127, Florida Statutes, is created
671 to read:

672 493.6127 Appointment of tax collectors to accept
673 applications and renewals for licenses; fees; penalties.-

674 (1) The department may appoint a tax collector, a county
675 officer as described in s. 1(d), Art. VIII of the State
676 Constitution, to accept new, renewal, and replacement license
677 applications on behalf of the department for licenses issued
678 under this chapter. Such appointment shall be for specified
679 locations that will best serve the public interest and
680 convenience in persons applying for these licenses. The
681 department shall establish by rule the type of new, renewal, or
682 replacement licenses a tax collector appointed under this
683 section is authorized to accept.

684 (2) A tax collector seeking to be appointed to accept
685 applications for new, renewal, or replacement licenses must
686 submit a written request to the department stating his or her
687 name, address, telephone number, each location within the county
688 at which the tax collector wishes to accept applications, and
689 other information as required by the department.

690 (a) Upon receipt of a written request, the department shall
691 review it and may decline to enter into a memorandum of
692 understanding or, if approved, may enter into a memorandum of
693 understanding with the tax collector to accept applications for
694 new or renewal licenses on behalf of the department.

695 (b) The department may rescind a memorandum of
696 understanding for any reason at any time.

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697 (3) All information provided pursuant to s. 493.6105 or s.
698 493.6113 and contained in the records of a tax collector
699 appointed under this section which is confidential pursuant to
700 s. 493.6122, or any other state or federal law, retains its
701 confidentiality.

702 (4) A person may not handle an application for a license
703 issued pursuant to this chapter for a fee or compensation of any
704 kind unless he or she has been appointed by the department to do
705 so.

706 (5) A tax collector appointed under this section may
707 collect and retain a convenience fee of \$22 for each new
708 application, \$12 for each renewal application, \$12 for each
709 replacement license, \$9 for fingerprinting services associated
710 with the completion of an application submitted online or by
711 mail, and \$9 for photography services associated with the
712 completion of an application submitted online or by mail, and
713 shall remit weekly to the department the license fees pursuant
714 to chapter 493 for deposit in the Division of Licensing Trust
715 Fund.

716 (6) A person who willfully violates this section commits a
717 misdemeanor of the second degree, punishable as provided in s.
718 775.082 or s. 775.083.

719 (7) Upon receipt of a completed renewal or replacement
720 application, a new color photograph, and appropriate payment of
721 required fees, a tax collector authorized to accept renewal or
722 replacement applications for licenses under this section may,
723 upon approval and confirmation of license issuance by the
724 department, print and deliver a license to a licensee renewing
725 or replacing his or her license at the tax collector's office.

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726 Section 14. Subsection (28) is added to section 496.404,
727 Florida Statutes, to read:

728 496.404 Definitions.—As used in ss. 496.401-496.424, the
729 term:

730 (28) "Street address" means the physical location where
731 activities subject to regulation under this chapter are
732 conducted or where an applicant, licensee, or other referenced
733 individual actually resides. The term does not include a virtual
734 office, a post office box, or a mail drop.

735 Section 15. Paragraph (d) of subsection (1), subsection
736 (3), and paragraph (a) of subsection (4) of section 496.405,
737 Florida Statutes, are amended to read:

738 496.405 Registration statements by charitable organizations
739 and sponsors.—

740 (1) A charitable organization or sponsor, unless exempted
741 pursuant to s. 496.406, which intends to solicit contributions
742 in or from this state by any means or have funds solicited on
743 its behalf by any other person, charitable organization,
744 sponsor, commercial co-venturer, or professional solicitor, or
745 that participates in a charitable sales promotion or sponsor
746 sales promotion, must, before engaging in any of these
747 activities, file an initial registration statement, and a
748 renewal statement annually thereafter, with the department.

749 (d) The registration of a charitable organization or
750 sponsor may not continue in effect and shall expire without
751 further action of the department under either of the following
752 circumstances:

753 1. After the date the charitable organization or sponsor
754 should have filed, but failed to file, its renewal statement in

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755 accordance with this section.

756 2. For failure to provide a financial statement within any
757 extension period provided under s. 496.407.

758 (3) Each chapter, branch, or affiliate of a parent
759 organization ~~that is~~ required to register under this section
760 must file a separate registration statement and financial
761 statement or report the required information to its parent
762 organization, which shall then file, on a form prescribed by the
763 department, a consolidated registration statement for the parent
764 organization and its Florida chapters, branches, and affiliates.
765 A consolidated registration statement filed by a parent
766 organization must include or be accompanied by financial
767 statements as specified in s. 496.407 for the parent
768 organization and each of its Florida chapters, branches, and
769 affiliates that solicited or received contributions during the
770 preceding fiscal year. However, if all contributions received by
771 chapters, branches, or affiliates are remitted directly into a
772 depository account that feeds directly into the parent
773 organization's centralized accounting system from which all
774 disbursements are made, the parent organization may submit one
775 consolidated financial statement on a form prescribed by the
776 department. The consolidated financial statement must comply
777 with s. 496.407 and must reflect the activities of each chapter,
778 branch, or affiliate of the parent organization, including all
779 contributions received in the name of each chapter, branch, or
780 affiliate; all payments made to each chapter, branch, or
781 affiliate; and all administrative fees assessed to each chapter,
782 branch, or affiliate. A copy of Internal Revenue Service Form
783 990 and all attached schedules filed for the preceding fiscal

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784 year, or a copy of Internal Revenue Service Form 990-EZ and
785 Schedule O for the preceding fiscal year, for the parent
786 organization and each Florida chapter, branch, or affiliate ~~that~~
787 ~~is~~ required to file such forms must be attached to the
788 consolidated financial statement.

789 (4) (a) Every charitable organization, sponsor, or parent
790 organization filing on behalf of one or more chapters, branches,
791 or affiliates that is required to register under this section
792 must pay a single registration fee. A parent organization filing
793 on behalf of one or more chapters, branches, or affiliates shall
794 total all contributions received by the chapters, branches, or
795 affiliates included in the registration statement to determine
796 registration fees. Fees shall be assessed as follows:

797 ~~1.a.~~ Ten dollars, if the contributions received for the
798 last fiscal or calendar year were less than \$5,000; ~~or~~

799 ~~b.~~ Ten dollars, ~~if the contributions actually raised or~~
800 ~~received from the public during the immediately preceding fiscal~~
801 ~~year by such organization or sponsor are no more than \$50,000~~
802 ~~and the fundraising activities of such organization or sponsor~~
803 ~~are carried on by volunteers, members, officers, or permanent~~
804 ~~employees, who are not compensated, primarily to solicit such~~
805 ~~contributions, provided no part of the assets or income of such~~
806 ~~organization or sponsor inures to the benefit of or is paid to~~
807 ~~any officer or member of such organization or sponsor or to any~~
808 ~~professional fundraising consultant, professional solicitor, or~~
809 ~~commercial co-venturer;~~

810 2. Seventy-five dollars, if the contributions received for
811 the last fiscal year were \$5,000 or more, but less than
812 \$100,000;

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813 3. One hundred twenty-five dollars, if the contributions
814 received for the last fiscal year were \$100,000 or more, but
815 less than \$200,000;

816 4. Two hundred dollars, if the contributions received for
817 the last fiscal year were \$200,000 or more, but less than
818 \$500,000;

819 5. Three hundred dollars, if the contributions received for
820 the last fiscal year were \$500,000 or more, but less than \$1
821 million;

822 6. Three hundred fifty dollars, if the contributions
823 received for the last fiscal year were \$1 million or more, but
824 less than \$10 million;

825 7. Four hundred dollars, if the contributions received for
826 the last fiscal year were \$10 million or more.

827 Section 16. Paragraph (d) of subsection (1) and paragraph
828 (a) of subsection (2) of section 496.406, Florida Statutes, are
829 amended to read:

830 496.406 Exemption from registration.—

831 (1) The following charitable organizations and sponsors are
832 exempt from the requirements of s. 496.405:

833 (d) A charitable organization or sponsor that has less than
834 \$50,000 in total contributions ~~revenue~~ during a fiscal year if
835 the fundraising activities of such organization or sponsor are
836 carried on by volunteers, members, or officers who are not
837 compensated and no part of the assets or income of such
838 organization or sponsor inures to the benefit of or is paid to
839 any officer or member of such organization or sponsor or to any
840 professional fundraising consultant, professional solicitor, or
841 commercial co-venturer. If a charitable organization or sponsor

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842 that has less than \$50,000 in total contributions ~~revenue~~ during
843 a fiscal year actually acquires total contributions ~~revenue~~
844 equal to or in excess of \$50,000, the charitable organization or
845 sponsor must register with the department as required by s.
846 496.405 within 30 days after the date the contributions reach
847 ~~revenue reaches~~ \$50,000.

848 (2) Before soliciting contributions, a charitable
849 organization or sponsor claiming to be exempt from the
850 registration requirements of s. 496.405 under paragraph (1) (d)
851 must submit annually to the department, on forms prescribed by
852 the department:

853 (a) The name, street address, and telephone number of the
854 charitable organization or sponsor, the name under which it
855 intends to solicit contributions, the purpose for which it is
856 organized, and the purpose or purposes for which the
857 contributions to be solicited will be used.

858 Section 17. Paragraph (a) of subsection (1) and subsection
859 (3) of section 496.407, Florida Statutes, are amended to read:

860 496.407 Financial statement.—

861 (1) A charitable organization or sponsor that is required
862 to initially register or annually renew registration must file
863 an annual financial statement for the immediately preceding
864 fiscal year on a form prescribed by the department.

865 (a) The statement must include the following:

866 1. A balance sheet.

867 2. A statement of support, revenue and expenses, and any
868 change in the fund balance.

869 3. The names and street addresses of the charitable
870 organizations or sponsors, professional fundraising consultant,

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871 professional solicitors, and commercial co-venturers used, if
872 any, and the amounts received therefrom, if any.

873 4. A statement of functional expenses that must include,
874 but is not limited to, expenses in the following categories:

- 875 a. Program service costs.
876 b. Management and general costs.
877 c. Fundraising costs.

878 (3) ~~Upon a showing of good cause by a charitable~~
879 ~~organization or sponsor,~~ The department may extend the time for
880 the filing of a financial statement required under this section
881 ~~by up to 180 days,~~ during which time the previous registration
882 shall remain active. The registration must ~~shall~~ be
883 automatically suspended for failure to file the financial
884 statement within the extension period.

885 Section 18. Paragraph (c) of subsection (2) of section
886 496.409, Florida Statutes, is amended to read:

887 496.409 Registration and duties of professional fundraising
888 consultant.—

889 (2) Applications for registration or renewal of
890 registration must be submitted on a form prescribed by the
891 department, signed by an authorized official of the professional
892 fundraising consultant who shall certify that the report is true
893 and correct, and must include the following information:

894 (c) The names and street ~~residence~~ addresses of all
895 principals of the applicant, including all officers, directors,
896 and owners.

897 Section 19. Paragraphs (d) and (j) of subsection (2),
898 paragraph (c) of subsection (6), paragraphs (a), (b), and (h) of
899 subsection (10), and subsection (11) of section 496.410, Florida

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900 Statutes, are amended to read:

901 496.410 Registration and duties of professional
902 solicitors.—

903 (2) Applications for registration or renewal of
904 registration must be submitted on a form prescribed by rule of
905 the department, signed by an authorized official of the
906 professional solicitor who shall certify that the report is true
907 and correct, and must include the following information:

908 (d) The names and street ~~residence~~ addresses of all
909 principals of the applicant, including all officers, directors,
910 and owners.

911 (j) A list of all telephone numbers the applicant will use
912 to solicit contributions as well as the actual street ~~physical~~
913 address associated with each telephone number and any fictitious
914 names associated with such address.

915 (6) No less than 15 days before commencing any solicitation
916 campaign or event, the professional solicitor must file with the
917 department a solicitation notice on a form prescribed by the
918 department. The notice must be signed and sworn to by the
919 contracting officer of the professional solicitor and must
920 include:

921 (c) The legal name and street ~~residence~~ address of each
922 person responsible for directing and supervising the conduct of
923 the campaign.

924 (10) During each solicitation campaign, and for not less
925 than 3 years after its completion, the professional solicitor
926 shall maintain the following records:

927 (a) The date and amount of each contribution received and
928 the name, street address, and telephone number of each

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929 contributor.

930 (b) The name and ~~residence~~ street address of each employee,
931 agent, and any other person, however designated, who is involved
932 in the solicitation, the amount of compensation paid to each,
933 and the dates on which the payments were made.

934 (h) If a refund of a contribution has been requested, the
935 name and street address of each person requesting the refund,
936 and, if a refund was made, its amount and the date it was made.

937 (11) If the professional solicitor sells tickets to any
938 event and represents that the tickets will be donated for use by
939 another person, the professional solicitor also must ~~shall~~
940 maintain for the same period as specified in subsection (10) the
941 following records:

942 (a) The name and street address of each contributor who
943 purchases or donates tickets and the number of tickets purchased
944 or donated by the contributor.

945 (b) The name and street address of each organization that
946 receives the donated tickets for the use of others, and the
947 number of tickets received by the organization.

948 Section 20. Paragraph (a) of subsection (2) of section
949 496.4101, Florida Statutes, is amended to read:

950 496.4101 Licensure of professional solicitors and certain
951 employees thereof.—

952 (2) Persons required to obtain a solicitor license under
953 subsection (1) shall submit to the department, in such form as
954 the department prescribes, an application for a solicitor
955 license. The application must include the following information:

956 (a) The true name, date of birth, unique identification
957 number of a driver license or other valid form of

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958 identification, and street ~~home~~ address of the applicant.

959 Section 21. Paragraph (c) of subsection (2) of section
960 496.411, Florida Statutes, is amended, and paragraph (e) of that
961 subsection is reenacted, to read:

962 496.411 Disclosure requirements and duties of charitable
963 organizations and sponsors.—

964 (2) A charitable organization or sponsor soliciting in this
965 state must include all of the following disclosures at the point
966 of solicitation:

967 (c) Upon request, the name and either the street address or
968 telephone number of a representative to whom inquiries may be
969 addressed.

970 (e) Upon request, the source from which a written financial
971 statement may be obtained. Such financial statement must be for
972 the immediate preceding fiscal year and must be consistent with
973 the annual financial statement filed under s. 496.407. The
974 written financial statement must be provided within 14 days
975 after the request and must state the purpose for which funds are
976 raised, the total amount of all contributions raised, the total
977 costs and expenses incurred in raising contributions, the total
978 amount of contributions dedicated to the stated purpose or
979 disbursed for the stated purpose, and whether the services of
980 another person or organization have been contracted to conduct
981 solicitation activities.

982 Section 22. Paragraph (a) of subsection (2) of section
983 496.4121, Florida Statutes, is amended to read:

984 496.4121 Collection receptacles used for donations.—

985 (2) A collection receptacle must display a permanent sign
986 or label on each side which contains the following information

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987 printed in letters that are at least 3 inches in height and no
988 less than one-half inch in width, in a color that contrasts with
989 the color of the collection receptacle:

990 (a) For a collection receptacle used by a person required
991 to register under this chapter, the name, street ~~business~~
992 address, telephone number, and registration number of the
993 charitable organization or sponsor for whom the solicitation is
994 made.

995 Section 23. Paragraph (a) of subsection (2) and subsection
996 (6) of section 496.425, Florida Statutes, are amended to read:

997 496.425 Solicitation of funds within public transportation
998 facilities.—

999 (2) Any person desiring to solicit funds within a facility
1000 shall first obtain a written permit therefor from the authority
1001 responsible for the administration of the facility.

1002 (a) An application in writing for such permit must ~~shall~~ be
1003 submitted to the authority and must state ~~shall set forth~~:

1004 1. The full name, street ~~mailing~~ address, and telephone
1005 number of the person or organization sponsoring, promoting, or
1006 conducting the proposed activities;

1007 2. The full name, street ~~mailing~~ address, and telephone
1008 number of each person who will participate in such activities
1009 and of the person who will have supervision of and
1010 responsibility for the proposed activities;

1011 3. A description of the proposed activities indicating the
1012 type of communication to be involved;

1013 4. The dates on and the hours during which the activities
1014 are proposed to be carried out and the expected duration of the
1015 proposed activities; and

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1016 5. The number of persons to be engaged in such activities.
1017 (6) Each individual solicitor shall display prominently on
1018 her or his person a badge or insignia, provided by the solicitor
1019 and approved by the authority, bearing the signature of a
1020 responsible officer of the authority and that of the solicitor
1021 and describing the solicitor by name, age, height, weight, eye
1022 color, hair color, street address, and principal occupation and
1023 indicating the name of the organization for which funds are
1024 solicited.

1025 Section 24. Effective upon this act becoming a law, present
1026 paragraphs (k) through (y) of subsection (1) of section 500.03,
1027 Florida Statutes, are redesignated as paragraphs (l) through
1028 (z), respectively, a new paragraph (k) is added to that
1029 subsection, and present paragraph (m) of that subsection is
1030 reenacted, to read:

1031 500.03 Definitions; construction; applicability.—

1032 (1) For the purpose of this chapter, the term:

1033 (k) "Cultivated meat" means any meat or food product
1034 produced from cultured animal cells.

1035 (n) ~~(m)~~ "Food" includes:

- 1036 1. Articles used for food or drink for human consumption;
1037 2. Chewing gum;
1038 3. Articles used for components of any such article;
1039 4. Articles for which health claims are made, which claims
1040 are approved by the Secretary of the United States Department of
1041 Health and Human Services and which claims are made in
1042 accordance with s. 343(r) of the federal act, and which are not
1043 considered drugs solely because their labels or labeling contain
1044 health claims;

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1045 5. Dietary supplements as defined in 21 U.S.C. s.
1046 321(ff)(1) and (2); and

1047 6. Hemp extract as defined in s. 581.217.

1048

1049 The term includes any raw, cooked, or processed edible
1050 substance; ice; any beverage; or any ingredient used, intended
1051 for use, or sold for human consumption.

1052 Section 25. Effective upon this act becoming a law, section
1053 500.452, Florida Statutes, is created to read:

1054 500.452 Cultivated meat; prohibition; penalties.-

1055 (1) It is unlawful for any person to manufacture for sale,
1056 sell, hold or offer for sale, or distribute cultivated meat in
1057 this state.

1058 (2) A person who knowingly violates this section commits a
1059 misdemeanor of the second degree, punishable as provided in s.
1060 775.082 or s. 775.083.

1061 (3) A food establishment that manufactures, distributes, or
1062 sells cultivated meat in violation of this section is subject to
1063 disciplinary action pursuant to s. 500.121.

1064 (4) In addition to the penalties provided in this section,
1065 the license of any restaurant, store, or other business may be
1066 suspended as provided in the applicable licensing law upon the
1067 conviction of an owner or employee of that business for a
1068 violation of this section in connection with that business.

1069 (5) A product found to be in violation of this section is
1070 subject to s. 500.172 and an immediate stop-sale order.

1071 (6) The department may adopt rules to implement this
1072 section.

1073 Section 26. Subsection (10) is added to section 507.07,

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1074 Florida Statutes, to read:

1075 507.07 Violations.—It is a violation of this chapter:

1076 (10) For a mover to place a shipper's goods in a self-
1077 service storage unit or self-contained storage unit owned by
1078 anyone other than the mover unless those goods are stored in the
1079 name of the shipper and the shipper contracts directly with the
1080 owner of the self-service storage unit or self-contained storage
1081 unit.

1082 Section 27. Section 531.67, Florida Statutes, is repealed.

1083 Section 28. Paragraphs (d) and (e) of subsection (1) and
1084 paragraph (a) of subsection (3) of section 559.904, Florida
1085 Statutes, are amended to read:

1086 559.904 Motor vehicle repair shop registration;
1087 application; exemption.—

1088 (1) Each motor vehicle repair shop engaged or attempting to
1089 engage in the business of motor vehicle repair work must
1090 register with the department prior to doing business in this
1091 state. The application for registration must be on a form
1092 provided by the department and must include at least the
1093 following information:

1094 ~~(d) Copies of all licenses, permits, and certifications~~
1095 ~~obtained by the applicant or employees of the applicant.~~

1096 ~~(e) Number of employees who perform repairs at each~~
1097 location or whom ~~which~~ the applicant intends to employ ~~or which~~
1098 ~~are currently employed.~~

1099 (3) (a) Each application for registration must be
1100 accompanied by a registration fee for each location calculated
1101 on a per-year basis as follows:

1102 1. If the place of business has 1 to 5 employees who

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1103 perform repairs: \$50.

1104 2. If the place of business has 6 to 10 employees who
1105 perform repairs: \$150.

1106 3. If the place of business has 11 or more employees who
1107 perform repairs: \$300.

1108 Section 29. Subsections (1) and (2) of section 559.905,
1109 Florida Statutes, are amended to read:

1110 559.905 Written motor vehicle repair estimate and
1111 disclosure statement required.—

1112 (1) When any customer requests a motor vehicle repair shop
1113 to perform repair work on a motor vehicle, the cost of which
1114 repair work will exceed \$150 ~~\$100~~ to the customer, the shop
1115 shall prepare a written repair estimate, which is a form setting
1116 forth the estimated cost of repair work, including diagnostic
1117 work, before effecting any diagnostic work or repair. The
1118 written repair estimate must ~~shall~~ also include all of the
1119 following items:

1120 (a) The name, address, and telephone number of the motor
1121 vehicle repair shop.

1122 (b) The name, address, and telephone number of the
1123 customer.

1124 (c) The date and time of the written repair estimate.

1125 (d) The year, make, model, odometer reading, and license
1126 tag number of the motor vehicle.

1127 (e) The proposed work completion date.

1128 (f) A general description of the customer's problem or
1129 request for repair work or service relating to the motor
1130 vehicle.

1131 (g) A statement as to whether the customer is being charged

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1132 according to a flat rate or an hourly rate, or both.

1133 (h) The estimated cost of repair which must ~~shall~~ include
1134 any charge for shop supplies or for hazardous or other waste
1135 removal and, if a charge is included, the estimate must ~~shall~~
1136 include the following statement:

1137

1138 "This charge represents costs and profits to the motor
1139 vehicle repair facility for miscellaneous shop
1140 supplies or waste disposal."

1141

1142 If a charge is mandated by state or federal law, the estimate
1143 must ~~shall~~ contain a statement identifying the law and the
1144 specific amount charged under the law.

1145 (i) The charge for making a repair price estimate or, if
1146 the charge cannot be predetermined, the basis on which the
1147 charge will be calculated.

1148 (j) The customer's intended method of payment.

1149 (k) The name and telephone number of another person who may
1150 authorize repair work, if the customer desires to designate such
1151 person.

1152 (l) A statement indicating what, if anything, is guaranteed
1153 in connection with the repair work and the time and mileage
1154 period for which the guarantee is effective.

1155 (m) A statement allowing the customer to indicate whether
1156 replaced parts should be saved for inspection or return.

1157 (n) A statement indicating the daily charge for storing the
1158 customer's motor vehicle after the customer has been notified
1159 that the repair work has been completed. However, ~~no~~ storage
1160 charges may not ~~shall~~ accrue or be due and payable for a period

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1161 of 3 working days from the date after ~~of~~ such notification.

1162 (2) If the cost of repair work will exceed \$150 ~~\$100~~, the
1163 shop must ~~shall~~ present to the customer a written notice
1164 conspicuously disclosing, in a separate, blocked section, only
1165 the following statement, in capital letters of at least 12-point
1166 type:

1167
1168 PLEASE READ CAREFULLY, CHECK ONE OF THE STATEMENTS BELOW, AND
1169 SIGN:

1170 I UNDERSTAND THAT, UNDER STATE LAW, I AM ENTITLED TO A
1171 WRITTEN ESTIMATE IF MY FINAL BILL WILL EXCEED \$150 ~~\$100~~.

1172
1173 I REQUEST A WRITTEN ESTIMATE.

1174
1175 I DO NOT REQUEST A WRITTEN ESTIMATE AS LONG AS THE
1176 REPAIR COSTS DO NOT EXCEED \$. . . . THE SHOP MAY NOT EXCEED THIS
1177 AMOUNT WITHOUT MY WRITTEN OR ORAL APPROVAL.

1178
1179 I DO NOT REQUEST A WRITTEN ESTIMATE.

1180
1181 SIGNED DATE

1182
1183 Section 30. Subsection (38), of section 570.07, Florida
1184 Statutes, is amended to read:

1185 570.07 Department of Agriculture and Consumer Services;
1186 functions, powers, and duties.—The department shall have and
1187 exercise the following functions, powers, and duties:

1188 (38) To repair or build structures, from existing
1189 appropriations authority, notwithstanding chapters 216 and 255,

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1190 not to exceed a cost of \$500,000 ~~\$250,000~~ per structure. These
1191 structures must meet all applicable building codes.

1192 Section 31. Section 570.69, Florida Statutes, is amended to
1193 read:

1194 570.69 Definitions; ss. 570.69 and 570.691.—For the purpose
1195 of this section and s. 570.691:

1196 (1) “Center” means the Florida Agricultural Legacy Learning
1197 Center.

1198 (2) “Designated program” means the departmental program
1199 that ~~which~~ a direct-support organization has been created to
1200 support.

1201 (3) ~~(2)~~ “Direct-support organization” or “organization”
1202 means an organization that ~~which~~ is a Florida corporation not
1203 for profit incorporated under chapter 617 and approved by the
1204 department to operate for the benefit of a museum or a
1205 designated program.

1206 ~~(3) “Museum” means the Florida Agricultural Museum, which~~
1207 ~~is designated as the museum for agriculture and rural history of~~
1208 ~~the State of Florida.~~

1209 Section 32. Subsections (1), (2), (4), (5), and (7) of
1210 section 570.691, Florida Statutes, are amended to read:

1211 570.691 Direct-support organization.—

1212 (1) The department may authorize the establishment of
1213 direct-support organizations to provide assistance, funding, and
1214 promotional support for ~~the museums and other~~ programs of the
1215 department. The following provisions ~~shall~~ govern the creation,
1216 use, powers, and duties of the direct-support organizations:

1217 (a) The department shall enter into a memorandum or letter
1218 of agreement with the direct-support organization, which must

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1219 ~~shall~~ specify the approval of the department, the powers and
1220 duties of the direct-support organization, and rules with which
1221 the direct-support organization must comply.

1222 (b) The department may authorize, without charge,
1223 appropriate use of property, facilities, and personnel of the
1224 department by the direct-support organization. The use must
1225 ~~shall~~ be for the approved purposes of the direct-support
1226 organization and may not be made at times or places that would
1227 unreasonably interfere with opportunities for the general public
1228 to use department facilities.

1229 (c) The department shall prescribe by agreement conditions
1230 with which the direct-support organization must comply in order
1231 to use property, facilities, or personnel of the department.
1232 Such conditions must ~~shall~~ provide for budget and audit review
1233 and oversight by the department.

1234 (d) The department may not authorize the use of property,
1235 facilities, or personnel of the center ~~museum~~, department, or
1236 designated program by the direct-support organization that does
1237 not provide equal employment opportunities to all persons
1238 regardless of race, color, religion, sex, age, or national
1239 origin.

1240 (2) (a) The direct-support organization may conduct programs
1241 and activities; raise funds; request and receive grants, gifts,
1242 and bequests of money; acquire, receive, hold, invest, and
1243 administer, in its own name, securities, funds, objects of
1244 value, or other property, real or personal; and make
1245 expenditures to or for the direct or indirect benefit of the
1246 center ~~museum~~ or designated program.

1247 (b) Notwithstanding ~~the provisions of~~ s. 287.025(1)(e), the

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1248 direct-support organization may enter into contracts to insure
1249 property of the center ~~museum~~ or designated programs and may
1250 insure objects or collections on loan from others in satisfying
1251 security terms of the lender.

1252 (4) A department employee, direct-support organization or
1253 center ~~museum~~ employee, volunteer, or director, or designated
1254 program may not do either of the following:

1255 (a) Receive a commission, fee, or financial benefit in
1256 connection with the sale or exchange of real or personal
1257 property or historical objects to the direct-support
1258 organization, the center ~~museum~~, or the designated program. ~~;~~ ~~or~~

1259 (b) Be a business associate of any individual, firm, or
1260 organization involved in the sale or exchange of real or
1261 personal property to the direct-support organization, the center
1262 ~~museum~~, or the designated program.

1263 (5) All moneys received by the direct-support organization
1264 shall be deposited into an account of the direct-support
1265 organization and must ~~shall~~ be used by the organization in a
1266 manner consistent with the goals of the center ~~museum~~ or
1267 designated program.

1268 (7) The Commissioner of Agriculture, or the commissioner's
1269 designee, may serve on the board of trustees and the executive
1270 committee of any direct-support organization established to
1271 benefit the center ~~museum~~ or any designated program.

1272 Section 33. Section 570.692, Florida Statutes, is amended
1273 to read:

1274 570.692 Florida Agricultural Legacy Learning Center
1275 ~~Museum~~.—The Florida Agricultural Legacy Learning Center ~~Museum~~
1276 is designated as the legacy learning center for ~~museum of~~

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1277 agriculture and rural history of this ~~the~~ state ~~of Florida~~ and
1278 is ~~hereby~~ established within the department.

1279 Section 34. Section 581.189, Florida Statutes, is created
1280 to read:

1281 581.189 Dealing in, buying, transporting, and processing
1282 saw palmetto berries.-

1283 (1) As used in this section, the term:

1284 (a) "Harvest" or "harvesting" means to dig up, remove, or
1285 cut and remove saw palmetto berries from the place where they
1286 are grown.

1287 (b) "Harvester" means a person, firm, or corporation that
1288 takes, harvests, or attempts to take or harvest saw palmetto
1289 berries.

1290 (c) "Landowner" means:

1291 1. The public agency administering any public lands; or

1292 2. The person who holds legal title to the real property
1293 from which saw palmetto berries are harvested or the person
1294 having possession, control, or use of that land which has lawful
1295 authority to grant permission to harvest saw palmetto berries
1296 from the land.

1297 (d) "Person" means an individual, a partnership, a
1298 corporation, an association, or any other legal entity.

1299 (e) "Saw palmetto berries" means the fruit of the plant
1300 *Serenoa repens*, commonly known as the saw palmetto.

1301 (f) "Saw palmetto berry dealer" means a person that
1302 purchases or otherwise obtains saw palmetto berries from a
1303 seller for the purpose of selling the saw palmetto berries at
1304 retail or for the purpose of selling the saw palmetto berries to
1305 another saw palmetto berry dealer or for both such purposes.

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1306 This term also includes a person who purchases saw palmetto
1307 berries directly from a landowner for the purpose of selling the
1308 saw palmetto berries at retail.

1309 (g) "Seller" means a person that exchanges or offers to
1310 exchange saw palmetto berries for money or for any other
1311 valuable consideration.

1312 (2) It is unlawful for any person to willfully destroy,
1313 harvest, or sell saw palmetto berries on the private land of
1314 another or on any public land without first obtaining written
1315 permission from the landowner or legal representative of the
1316 landowner and a permit from the department as provided in s.
1317 581.185. The landowner's written permission must include all of
1318 the following information:

1319 (a) The name, address, and telephone number of the
1320 landowner.

1321 (b) The start date, end date, and location, including
1322 county, of the harvest.

1323 (c) The landowner's actual or electronic signature.

1324 (3) (a) A saw palmetto berry dealer that purchases saw
1325 palmetto berries from a landowner or a person harvesting saw
1326 palmetto berries from another's property shall:

1327 1. Maintain a bill of lading, a copy of the harvester's
1328 entire permit, as provided in s. 581.185, a copy of the
1329 landowner's written permission to harvest, and all of the
1330 following:

1331 a. The name, address, and telephone number of the seller.

1332 b. The date or dates of harvesting.

1333 c. The weight, quantity, or volume and a description of the
1334 type of saw palmetto berries harvested.

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1335 d. A scan or photocopy of a valid government-issued photo
1336 identification card of such person.

1337 (b) A person required to maintain the information under
1338 paragraph (a) shall retain such records for at least 2 years
1339 from the date the harvest ends.

1340 (4) (a) When any law enforcement officer or any authorized
1341 employee of the department finds that any saw palmetto berries
1342 are being harvested, offered for sale, or exposed for sale in
1343 violation of this section, the law enforcement officer or
1344 authorized department employee may seize or order such saw
1345 palmetto berries be held at a designated location until the
1346 individual:

1347 1. Provides the officer or employee with the required
1348 permit and landowner's written permission to harvest, within 7
1349 calendar days following the seizure; or

1350 2. Legally disposes of the saw palmetto berries in
1351 accordance with this section.

1352 (b) A law enforcement officer or authorized department
1353 employee shall release the saw palmetto berries when the
1354 requirements of this section are met.

1355 (5) Unlawfully harvested saw palmetto berries constitute
1356 contraband and are subject to seizure and disposal by the
1357 seizing law enforcement agency or the department.

1358 (a) Notwithstanding any other provision of law, a law
1359 enforcement agency that seizes saw palmetto berries harvested or
1360 possessed in violation of this section or unlawfully harvested
1361 in violation of s. 581.185, or in violation of any other state
1362 or federal law, may sell such saw palmetto berries and retain
1363 the proceeds of the sale for the enforcement of this section.

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1364 Law enforcement agencies selling contraband saw palmetto berries
1365 are exempt from s. 581.185.

1366 (b) Law enforcement agencies that seize unlawfully
1367 harvested saw palmetto berries shall submit annually to the
1368 department, in the manner prescribed by department rule:

1369 1. The quantity and a description of the saw palmetto
1370 berries seized; and

1371 2. The location from which the saw palmetto berries were
1372 harvested, if known.

1373 (6) (a) A harvester that exchanges or offers to exchange saw
1374 palmetto berries with a saw palmetto dealer, seller, or
1375 processor for money or any other valuable consideration without
1376 first presenting to the saw palmetto berry dealer, seller,
1377 processor the person's entire permit, as provided in s. 581.185,
1378 or the landowner's written permission commits a misdemeanor of
1379 the first degree, punishable as provided in s. 775.082 or s.
1380 775.083.

1381 (b) A person required to maintain records as required in
1382 this section that fails to maintain such record for the time
1383 period specified in paragraph (3) (b) commits a misdemeanor of
1384 the first degree, punishable as provided in s. 775.082 or s.
1385 775.083.

1386 (c) A person that willfully destroys or harvests saw
1387 palmetto berries without first obtaining the landowner's written
1388 permission to harvest as required by subsection (2) or a permit
1389 as required by s. 581.185 commits a felony of the third degree,
1390 punishable as provided in s. 775.082, s. 775.083, or s. 775.084.

1391 (d) A saw palmetto berry dealer, buyer, processor,
1392 harvester, or seller that presents a false, forged, or altered

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1393 document purporting to be a landowner's written permission or
1394 the permit required by s. 581.185 commits a felony of the third
1395 degree, punishable as provided in s. 775.082, s. 775.083, or s.
1396 775.084.

1397 (e) A saw palmetto berry dealer, transporter, or processor
1398 that exchanges, offers to exchange for money or any other
1399 valuable consideration, or possesses unlawfully harvested saw
1400 palmetto berries commits a felony of the third degree,
1401 punishable as provided in s. 775.082, s. 775.083, or s. 775.084.

1402 (7) (a) A person convicted of a violation of this section is
1403 responsible for:

1404 1. All reasonable costs incurred by the responding law
1405 enforcement agencies and the department, including, but not
1406 limited to, investigative costs; and

1407 2. Restitution to the landowner in an amount equal to the
1408 fair market value of the saw palmetto berries unlawfully
1409 harvested.

1410 (b) For the purposes of this subsection, the term
1411 "convicted" means that there has been a determination of guilt
1412 as a result of trial or the entry of a plea of guilty or nolo
1413 contendere, regardless of whether adjudication is withheld.

1414 (8) This section does not affect any other person that
1415 legally harvests or handles saw palmetto berries from up to two
1416 plants for home or personal use.

1417 (9) The department shall adopt rules to administer this
1418 section.

1419 Section 35. Subsection (13) of section 585.01, Florida
1420 Statutes, is amended to read:

1421 585.01 Definitions.—In construing this part, where the

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1422 context permits, the word, phrase, or term:

1423 (13) "Livestock" means grazing animals, such as cattle,
1424 horses, sheep, swine, goats, other hoofed animals, poultry,
1425 ostriches, emus, and rheas, which are raised for private use or
1426 commercial purposes.

1427 Section 36. Subsections (5) and (8) of section 790.0625,
1428 Florida Statutes, are amended, and subsections (9) and (10) are
1429 added to that section, to read:

1430 790.0625 Appointment of tax collectors to accept
1431 applications for a concealed weapon or firearm license; fees;
1432 penalties.—

1433 (5) A tax collector appointed under this section may
1434 collect and retain a convenience fee of \$22 for each new
1435 application, ~~and~~ \$12 for each renewal application, \$12 for each
1436 replacement license, \$9 for fingerprinting services associated
1437 with the completion of an application submitted online or by
1438 mail, and \$9 for photographing services associated with the
1439 completion of an application submitted online or by mail, and
1440 shall remit weekly to the department the license fees pursuant
1441 to s. 790.06 for deposit in the Division of Licensing Trust
1442 Fund.

1443 (8) Upon receipt of a completed renewal application, a new
1444 color photograph, and ~~appropriate~~ required fees, a
1445 tax collector authorized to accept renewal applications for
1446 concealed weapon or firearm licenses under this section may,
1447 upon approval and confirmation of license issuance by the
1448 department, print and deliver a concealed weapon or firearm
1449 license to a licensee renewing his or her license at the tax
1450 collector's office.

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1451 (9) Upon receipt of a statement under oath to the
1452 department and payment of required fees, a tax collector
1453 authorized to accept an application for a concealed weapon or
1454 firearm license under this section may, upon approval and
1455 confirmation from the department that a license is in good
1456 standing, print and deliver a concealed weapon or firearm
1457 license to a licensee whose license has been lost or destroyed.

1458 (10) Tax collectors authorized to accept an application for
1459 a concealed weapon or firearm license under this section may
1460 provide fingerprinting and photographing services to aid
1461 concealed weapon and firearm applicants and licensees with
1462 initial and renewal applications submitted online or by mail.

1463 Section 37. Paragraph (a) of subsection (5) of section
1464 810.011, Florida Statutes, is amended to read:

1465 810.011 Definitions.—As used in this chapter:

1466 (5) (a) "Posted land" is land upon which any of the
1467 following are placed:

1468 1. Signs placed not more than 500 feet apart along and at
1469 each corner of the boundaries of the land or, for land owned by
1470 a water control district that exists pursuant to chapter 298 or
1471 was created by special act of the Legislature, signs placed at
1472 or near the intersection of any district canal right-of-way and
1473 a road right-of-way or, for land classified as agricultural
1474 pursuant to s. 193.461, signs placed at each point of ingress
1475 and at each corner of the boundaries of the agricultural land,
1476 which prominently display in letters of not less than 2 inches
1477 in height the words "no trespassing" and the name of the owner,
1478 lessee, or occupant of the land. The signs must be placed along
1479 the boundary line of posted land in a manner and in such

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1480 position as to be clearly noticeable from outside the boundary
1481 line; or

1482 2.a. A conspicuous no trespassing notice is painted on
1483 trees or posts on the property, provided that the notice is:

1484 (I) Painted in an international orange color and displaying
1485 the stenciled words "No Trespassing" in letters no less than 2
1486 inches high and 1 inch wide either vertically or horizontally;

1487 (II) Placed so that the bottom of the painted notice is not
1488 less than 3 feet from the ground or more than 5 feet from the
1489 ground; and

1490 (III) Placed at locations that are readily visible to any
1491 person approaching the property and no more than 500 feet apart
1492 on agricultural land.

1493 b. When a landowner uses the painted no trespassing posting
1494 to identify a no trespassing area, those painted notices must be
1495 accompanied by signs complying with subparagraph 1. and must be
1496 placed conspicuously at all places where entry to the property
1497 is normally expected or known to occur.

1498 Section 38. Subsection (2) of section 810.09, Florida
1499 Statutes, is amended to read:

1500 810.09 Trespass on property other than structure or
1501 conveyance.—

1502 (2) ~~(a)~~ Except as provided in this subsection, trespass on
1503 property other than a structure or conveyance is a misdemeanor
1504 of the first degree, punishable as provided in s. 775.082 or s.
1505 775.083.

1506 (a) ~~(b)~~ If the offender defies an order to leave, personally
1507 communicated to the offender by the owner of the premises or by
1508 an authorized person, or if the offender willfully opens any

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1509 door, fence, or gate or does any act that exposes animals,
1510 crops, or other property to waste, destruction, or freedom;
1511 unlawfully dumps litter on property; or trespasses on property
1512 other than a structure or conveyance, the offender commits a
1513 misdemeanor of the first degree, punishable as provided in s.
1514 775.082 or s. 775.083.

1515 (b)~~(e)~~ If the offender is armed with a firearm or other
1516 dangerous weapon during the commission of the offense of
1517 trespass on property other than a structure or conveyance, he or
1518 she commits ~~is guilty of~~ a felony of the third degree,
1519 punishable as provided in s. 775.082, s. 775.083, or s. 775.084.
1520 Any owner or person authorized by the owner may, for prosecution
1521 purposes, take into custody and detain, in a reasonable manner,
1522 for a reasonable length of time, any person when he or she
1523 reasonably believes that a violation of this paragraph has been
1524 or is being committed, and that the person to be taken into
1525 custody and detained has committed or is committing the
1526 violation. If a person is taken into custody, a law enforcement
1527 officer must ~~shall~~ be called as soon as is practicable after the
1528 person has been taken into custody. The taking into custody and
1529 detention in compliance with the requirements of this paragraph
1530 does not result in criminal or civil liability for false arrest,
1531 false imprisonment, or unlawful detention.

1532 (c)~~(d)~~ The offender commits a felony of the third degree,
1533 punishable as provided in s. 775.082, s. 775.083, or s. 775.084,
1534 if the property trespassed is a construction site that is:

1535 1. Greater than 1 acre in area and is legally posted and
1536 identified in substantially the following manner: "THIS AREA IS
1537 A DESIGNATED CONSTRUCTION SITE, AND ANYONE WHO TRESPASSES ON

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1538 THIS PROPERTY COMMITS A FELONY.”; or

1539 2. One acre or less in area and is identified as such with
1540 a sign that appears prominently, in letters of not less than 2
1541 inches in height, and reads in substantially the following
1542 manner: “THIS AREA IS A DESIGNATED CONSTRUCTION SITE, AND ANYONE
1543 WHO TRESPASSES ON THIS PROPERTY COMMITS A FELONY.” The sign must
1544 ~~shall~~ be placed at the location on the property where the
1545 permits for construction are located. For construction sites of
1546 1 acre or less as provided in this subparagraph, it may ~~shall~~
1547 not be necessary to give notice by posting as defined in s.
1548 810.011(5).

1549 (d) ~~(e)~~ The offender commits a felony of the third degree,
1550 punishable as provided in s. 775.082, s. 775.083, or s. 775.084,
1551 if the property trespassed upon is commercial horticulture
1552 property and the property is legally posted and identified in
1553 substantially the following manner: “THIS AREA IS DESIGNATED
1554 COMMERCIAL PROPERTY FOR HORTICULTURE PRODUCTS, AND ANYONE WHO
1555 TRESPASSES ON THIS PROPERTY COMMITS A FELONY.”

1556 (e) ~~(f)~~ The offender commits a felony of the third degree,
1557 punishable as provided in s. 775.082, s. 775.083, or s. 775.084,
1558 if the property trespassed upon is an agricultural site for
1559 testing or research purposes that is legally posted and
1560 identified in substantially the following manner: “THIS AREA IS
1561 A DESIGNATED AGRICULTURAL SITE FOR TESTING OR RESEARCH PURPOSES,
1562 AND ANYONE WHO TRESPASSES ON THIS PROPERTY COMMITS A FELONY.”

1563 (f) ~~(g)~~ The offender commits a felony of the third degree,
1564 punishable as provided in s. 775.082, s. 775.083, or s. 775.084,
1565 if the property trespassed upon is a domestic violence center
1566 certified under s. 39.905 which is legally posted and identified

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1567 in substantially the following manner: "THIS AREA IS A
1568 DESIGNATED RESTRICTED SITE, AND ANYONE WHO TRESPASSES ON THIS
1569 PROPERTY COMMITS A FELONY."

1570 (g)~~(h)~~ Any person who in taking or attempting to take any
1571 animal described in s. 379.101(19) or (20), or in killing,
1572 attempting to kill, or endangering any animal described in s.
1573 585.01(13) knowingly propels or causes to be propelled any
1574 potentially lethal projectile over or across private land
1575 without authorization commits trespass, a felony of the third
1576 degree, punishable as provided in s. 775.082, s. 775.083, or s.
1577 775.084. For purposes of this paragraph, the term "potentially
1578 lethal projectile" includes any projectile launched from any
1579 firearm, bow, crossbow, or similar tensile device. This section
1580 does not apply to any governmental agent or employee acting
1581 within the scope of his or her official duties.

1582 (h)~~(i)~~ The offender commits a felony of the third degree,
1583 punishable as provided in s. 775.082, s. 775.083, or s. 775.084,
1584 if the property trespassed upon is an agricultural chemicals
1585 manufacturing facility that is legally posted and identified in
1586 substantially the following manner: "THIS AREA IS A DESIGNATED
1587 AGRICULTURAL CHEMICALS MANUFACTURING FACILITY, AND ANYONE WHO
1588 TRESPASSES ON THIS PROPERTY COMMITS A FELONY."

1589 (i)1.~~(j)~~1. The offender commits a felony of the third
1590 degree, punishable as provided in s. 775.082, s. 775.083, or s.
1591 775.084, if the offender trespasses with the intent to injure
1592 another person, damage property, or impede the operation or use
1593 of an aircraft, runway, taxiway, ramp, or apron area, and the
1594 property trespassed upon is the operational area of an airport
1595 that is legally posted and identified in substantially the

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1596 following manner: "THIS AREA IS A DESIGNATED OPERATIONAL AREA OF
1597 AN AIRPORT, AND ANYONE WHO TRESPASSES ON THIS PROPERTY COMMITS A
1598 FELONY."

1599 2. For purposes of this paragraph, the term "operational
1600 area of an airport" means any portion of an airport to which
1601 access by the public is prohibited by fences or appropriate
1602 signs and includes runways, taxiways, ramps, apron areas,
1603 aircraft parking and storage areas, fuel storage areas,
1604 maintenance areas, and any other area of an airport used or
1605 intended to be used for landing, takeoff, or surface maneuvering
1606 of aircraft.

1607 (j) The offender commits a felony of the third degree,
1608 punishable as provided in s. 775.082, s. 775.083, or s. 775.084,
1609 if the offender trespasses with the intent to commit a crime on
1610 commercial agricultural property that is legally posted and
1611 identified by signs in letters of at least 2 inches at each
1612 pedestrian and vehicle entrance in substantially the following
1613 manner: "THIS AREA IS A DESIGNATED COMMERCIAL AGRICULTURAL
1614 PROPERTY, AND ANYONE WHO TRESPASSES ON THIS PROPERTY COMMITS A
1615 FELONY."

1616 1. A first-time offender who is under 18 years of age at
1617 the time he or she commits the crime specified in this paragraph
1618 must be given the option of participating in a diversion program
1619 described in s. 958.12, s. 985.125, s. 985.155, or s. 985.16 or
1620 a program to which a referral is made by a state attorney under
1621 s. 985.15.

1622 2. For the purpose of this paragraph, the term "commercial
1623 agricultural property" means property cleared of its natural
1624 vegetation or fenced for the purposes of planting, growing,

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1625 harvesting, processing, raising, producing, or storing plant or
1626 animal commercial commodities.

1627 Section 39. Subsection (5) is added to section 1003.24,
1628 Florida Statutes, to read:

1629 1003.24 Parents responsible for attendance of children;
1630 attendance policy.—Each parent of a child within the compulsory
1631 attendance age is responsible for the child's school attendance
1632 as required by law. The absence of a student from school is
1633 prima facie evidence of a violation of this section; however,
1634 criminal prosecution under this chapter may not be brought
1635 against a parent until the provisions of s. 1003.26 have been
1636 complied with. A parent of a student is not responsible for the
1637 student's nonattendance at school under any of the following
1638 conditions:

1639 (5) AGRICULTURAL SCHOOL ACTIVITIES.—

1640 (a) A student who participates in an activity or program
1641 sponsored by 4-H or Future Farmers of America (FFA) must be
1642 credited with an excused absence by the school in which he or
1643 she is enrolled in the same manner as any other excused absence
1644 is credited. Any such participation in an activity or program
1645 sponsored by 4-H or FFA may not be counted as an unexcused
1646 absence, for any day, portion of a day, or days missed from
1647 school.

1648 (b) Upon request from a school principal or the principal's
1649 designee, a 4-H or FFA representative shall provide
1650 documentation as proof of a student's participation in an
1651 activity or program sponsored by 4-H or FFA.

1652 (c) As used in this subsection, the term "4-H
1653 representative" means an individual officially recognized or

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1654 designated by the Florida Cooperative Extension Service 4-H
1655 Program as a 4-H professional or a 4-H adult volunteer.

1656
1657 Each district school board shall establish an attendance policy
1658 that includes, but is not limited to, the required number of
1659 days each school year that a student must be in attendance and
1660 the number of absences and tardinesses after which a statement
1661 explaining such absences and tardinesses must be on file at the
1662 school. Each school in the district must determine if an absence
1663 or tardiness is excused or unexcused according to criteria
1664 established by the district school board.

1665 Section 40. Paragraph (b) of subsection (2) of section
1666 379.3004, Florida Statutes, is amended to read:

1667 379.3004 Voluntary Authorized Hunter Identification
1668 Program.—

1669 (2) Any person hunting on private land enrolled in the
1670 Voluntary Authorized Hunter Identification Program shall have
1671 readily available on the land at all times when hunting on the
1672 property written authorization from the owner or his or her
1673 authorized representative to be on the land for the purpose of
1674 hunting. The written authorization shall be presented on demand
1675 to any law enforcement officer, the owner, or the authorized
1676 agent of the owner.

1677 (b) Failure by any person hunting on private land enrolled
1678 in the program to present written authorization to hunt on that
1679 ~~said~~ land to any law enforcement officer or the owner or
1680 representative thereof within 7 days after ~~of~~ demand shall be
1681 prima facie evidence of violation of s. 810.09(2)(b) ~~s.~~
1682 ~~810.09(2)(c)~~, punishable as provided in s. 775.082, s. 775.083,

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1683 or s. 775.084. However, such evidence may be contradicted or
1684 rebutted by other evidence.

1685 Section 41. Paragraph (c) of subsection (2) of section
1686 812.014, Florida Statutes, is amended to read:

1687 812.014 Theft.—

1688 (2)

1689 (c) It is grand theft of the third degree and a felony of
1690 the third degree, punishable as provided in s. 775.082, s.
1691 775.083, or s. 775.084, if the property stolen is:

1692 1. Valued at \$750 or more, but less than \$5,000.

1693 2. Valued at \$5,000 or more, but less than \$10,000.

1694 3. Valued at \$10,000 or more, but less than \$20,000.

1695 4. A will, codicil, or other testamentary instrument.

1696 5. A firearm, except as provided in paragraph (f).

1697 6. A motor vehicle, except as provided in paragraph (a).

1698 7. Any commercially farmed animal, including any animal of
1699 the equine, avian, bovine, or swine class or other grazing
1700 animal; a bee colony of a registered beekeeper; and aquaculture
1701 species raised at a certified aquaculture facility. If the
1702 property stolen is a commercially farmed animal, including an
1703 animal of the equine, avian, bovine, or swine class or other
1704 grazing animal; a bee colony of a registered beekeeper; or an
1705 aquaculture species raised at a certified aquaculture facility,
1706 a \$10,000 fine shall be imposed.

1707 8. Any fire extinguisher that, at the time of the taking,
1708 was installed in any building for the purpose of fire prevention
1709 and control. This subparagraph does not apply to a fire
1710 extinguisher taken from the inventory at a point-of-sale
1711 business.

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1712 9. Any amount of citrus fruit consisting of 2,000 or more
1713 individual pieces of fruit.

1714 10. Taken from a designated construction site identified by
1715 the posting of a sign as provided for in s. 810.09(2)(c) ~~s.~~
1716 ~~810.09(2)(d)~~.

1717 11. Any stop sign.

1718 12. Anhydrous ammonia.

1719 13. Any amount of a controlled substance as defined in s.
1720 893.02. Notwithstanding any other law, separate judgments and
1721 sentences for theft of a controlled substance under this
1722 subparagraph and for any applicable possession of controlled
1723 substance offense under s. 893.13 or trafficking in controlled
1724 substance offense under s. 893.135 may be imposed when all such
1725 offenses involve the same amount or amounts of a controlled
1726 substance.

1727
1728 However, if the property is stolen during a riot or an
1729 aggravated riot prohibited under s. 870.01 and the perpetration
1730 of the theft is facilitated by conditions arising from the riot;
1731 or within a county that is subject to a state of emergency
1732 declared by the Governor under chapter 252, the property is
1733 stolen after the declaration of emergency is made, and the
1734 perpetration of the theft is facilitated by conditions arising
1735 from the emergency, the offender commits a felony of the second
1736 degree, punishable as provided in s. 775.082, s. 775.083, or s.
1737 775.084, if the property is valued at \$5,000 or more, but less
1738 than \$10,000, as provided under subparagraph 2., or if the
1739 property is valued at \$10,000 or more, but less than \$20,000, as
1740 provided under subparagraph 3. As used in this paragraph, the

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1741 terms "conditions arising from a riot" and "conditions arising
1742 from the emergency" have the same meanings as provided in
1743 paragraph (b). A person arrested for committing a theft during a
1744 riot or an aggravated riot or within a county that is subject to
1745 a state of emergency may not be released until the person
1746 appears before a committing magistrate at a first appearance
1747 hearing. For purposes of sentencing under chapter 921, a felony
1748 offense that is reclassified under this paragraph is ranked one
1749 level above the ranking under s. 921.0022 or s. 921.0023 of the
1750 offense committed.

1751 Section 42. Paragraphs (b) and (c) of subsection (3) of
1752 section 921.0022, Florida Statutes, are amended to read:

1753 921.0022 Criminal Punishment Code; offense severity ranking
1754 chart.—

1755 (3) OFFENSE SEVERITY RANKING CHART

1756 (b) LEVEL 2

1757

Florida Statute	Felony Degree	Description
379.2431 (1) (e) 3.	3rd	Possession of 11 or fewer marine turtle eggs in violation of the Marine Turtle Protection Act.

1758

1759

379.2431 (1) (e) 4.	3rd	Possession of more than 11 marine turtle eggs in violation of the Marine
------------------------	-----	--

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1760

403.413(6)(c)

3rd

Turtle Protection Act.

Dumps waste litter exceeding 500 lbs. in weight or 100 cubic feet in volume or any quantity for commercial purposes, or hazardous waste.

1761

517.07(2)

3rd

Failure to furnish a prospectus meeting requirements.

1762

590.28(1)

3rd

Intentional burning of lands.

1763

784.03(3)

3rd

Battery during a riot or an aggravated riot.

1764

784.05(3)

3rd

Storing or leaving a loaded firearm within reach of minor who uses it to inflict injury or death.

1765

787.04(1)

3rd

In violation of court order, take, entice, etc., minor beyond state

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			limits.
1766	806.13 (1) (b) 3.	3rd	Criminal mischief; damage \$1,000 or more to public communication or any other public service.
1767	806.13 (3)	3rd	Criminal mischief; damage of \$200 or more to a memorial or historic property.
1768	810.061 (2)	3rd	Impairing or impeding telephone or power to a dwelling; facilitating or furthering burglary.
1769	<u>810.09 (2) (d)</u> 810.09 (2) (e)	3rd	Trespassing on posted commercial horticulture property.
1770	812.014 (2) (c) 1.	3rd	Grand theft, 3rd degree; \$750 or more but less than \$5,000.
1771	812.014 (2) (d)	3rd	Grand theft, 3rd degree; \$100 or more but less than \$750, taken from

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1772

812.015 (7)

3rd

unenclosed curtilage of
dwelling.

Possession, use, or
attempted use of an
antishoplifting or
inventory control device
countermeasure.

1773

817.234 (1) (a) 2.

3rd

False statement in
support of insurance
claim.

1774

817.481 (3) (a)

3rd

Obtain credit or
purchase with false,
expired, counterfeit,
etc., credit card, value
over \$300.

1775

817.52 (3)

3rd

Failure to redeliver
hired vehicle.

1776

817.54

3rd

With intent to defraud,
obtain mortgage note,
etc., by false
representation.

1777

817.60 (5)

3rd

Dealing in credit cards
of another.

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1778	817.60 (6) (a)	3rd	Forgery; purchase goods, services with false card.
1779	817.61	3rd	Fraudulent use of credit cards over \$100 or more within 6 months.
1780	826.04	3rd	Knowingly marries or has sexual intercourse with person to whom related.
1781	831.01	3rd	Forgery.
1782	831.02	3rd	Uttering forged instrument; utters or publishes alteration with intent to defraud.
1783	831.07	3rd	Forging bank bills, checks, drafts, or promissory notes.
1784	831.08	3rd	Possessing 10 or more forged notes, bills, checks, or drafts.
1785	831.09	3rd	Uttering forged notes,

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1786			bills, checks, drafts, or promissory notes.
1786	831.11	3rd	Bringing into the state forged bank bills, checks, drafts, or notes.
1787			
1787	832.05 (3) (a)	3rd	Cashing or depositing item with intent to defraud.
1788			
1788	843.01 (2)	3rd	Resist police canine or police horse with violence; under certain circumstances.
1789			
1789	843.08	3rd	False personation.
1790			
1790	843.19 (3)	3rd	Touch or strike police, fire, SAR canine or police horse.
1791			
1791	893.13 (2) (a) 2.	3rd	Purchase of any s. 893.03 (1) (c), (2) (c) 1., (2) (c) 2., (2) (c) 3., (2) (c) 6., (2) (c) 7., (2) (c) 8., (2) (c) 9., (2) (c) 10., (3), or (4)

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1792			drugs other than cannabis.
	893.147(2)	3rd	Manufacture or delivery of drug paraphernalia.
1793			
1794			
1795	(c) LEVEL 3		
1796			
	Florida	Felony	
	Statute	Degree	Description
1797			
	119.10(2)(b)	3rd	Unlawful use of confidential information from police reports.
1798			
	316.066 (3)(b)-(d)	3rd	Unlawfully obtaining or using confidential crash reports.
1799			
	316.193(2)(b)	3rd	Felony DUI, 3rd conviction.
1800			
	316.1935(2)	3rd	Fleeing or attempting to elude law enforcement officer in patrol vehicle with siren and lights activated.
1801			
	319.30(4)	3rd	Possession by junkyard of

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1802	319.33(1)(a)	3rd	Alter or forge any certificate of title to a motor vehicle or mobile home.
1803	319.33(1)(c)	3rd	Procure or pass title on stolen vehicle.
1804	319.33(4)	3rd	With intent to defraud, possess, sell, etc., a blank, forged, or unlawfully obtained title or registration.
1805	327.35(2)(b)	3rd	Felony BUI.
1806	328.05(2)	3rd	Possess, sell, or counterfeit fictitious, stolen, or fraudulent titles or bills of sale of vessels.
1807	328.07(4)	3rd	Manufacture, exchange, or possess vessel with counterfeit or wrong ID

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1808

376.302 (5)

3rd

number.

Fraud related to reimbursement for cleanup expenses under the Inland Protection Trust Fund.

1809

379.2431
(1) (e) 5.

3rd

Taking, disturbing, mutilating, destroying, causing to be destroyed, transferring, selling, offering to sell, molesting, or harassing marine turtles, marine turtle eggs, or marine turtle nests in violation of the Marine Turtle Protection Act.

1810

379.2431
(1) (e) 6.

3rd

Possessing any marine turtle species or hatchling, or parts thereof, or the nest of any marine turtle species described in the Marine Turtle Protection Act.

1811

379.2431
(1) (e) 7.

3rd

Soliciting to commit or conspiring to commit a

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1812			violation of the Marine Turtle Protection Act.
	400.9935 (4) (a) or (b)	3rd	Operating a clinic, or offering services requiring licensure, without a license.
1813			
	400.9935 (4) (e)	3rd	Filing a false license application or other required information or failing to report information.
1814			
	440.1051 (3)	3rd	False report of workers' compensation fraud or retaliation for making such a report.
1815			
	501.001 (2) (b)	2nd	Tampers with a consumer product or the container using materially false/misleading information.
1816			
	624.401 (4) (a)	3rd	Transacting insurance without a certificate of authority.
1817			

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1818	624.401 (4) (b) 1.	3rd	Transacting insurance without a certificate of authority; premium collected less than \$20,000.
1819	626.902 (1) (a) & (b)	3rd	Representing an unauthorized insurer.
1820	697.08	3rd	Equity skimming.
1821	790.15 (3)	3rd	Person directs another to discharge firearm from a vehicle.
1822	794.053	3rd	Lewd or lascivious written solicitation of a person 16 or 17 years of age by a person 24 years of age or older.
1823	806.10 (1)	3rd	Maliciously injure, destroy, or interfere with vehicles or equipment used in firefighting.
	806.10 (2)	3rd	Interferes with or assaults firefighter in performance of duty.

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1824	<u>810.09 (2) (b)</u> 810.09 (2) (c)	3rd	Trespass on property other than structure or conveyance armed with firearm or dangerous weapon.
1825	812.014 (2) (c) 2.	3rd	Grand theft; \$5,000 or more but less than \$10,000.
1826	812.0145 (2) (c)	3rd	Theft from person 65 years of age or older; \$300 or more but less than \$10,000.
1827	812.015 (8) (b)	3rd	Retail theft with intent to sell; conspires with others.
1828	812.081 (2)	3rd	Theft of a trade secret.
1829	815.04 (4) (b)	2nd	Computer offense devised to defraud or obtain property.
1830	817.034 (4) (a) 3.	3rd	Engages in scheme to defraud (Florida Communications Fraud Act), property valued at less than \$20,000.
1831			

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1832	817.233	3rd	Burning to defraud insurer.
1833	817.234 (8) (b) & (c)	3rd	Unlawful solicitation of persons involved in motor vehicle accidents.
1834	817.234 (11) (a)	3rd	Insurance fraud; property value less than \$20,000.
1835	817.236	3rd	Filing a false motor vehicle insurance application.
1836	817.2361	3rd	Creating, marketing, or presenting a false or fraudulent motor vehicle insurance card.
1837	817.413 (2)	3rd	Sale of used goods of \$1,000 or more as new.
1838	817.49 (2) (b) 1.	3rd	Willful making of a false report of a crime causing great bodily harm, permanent disfigurement, or permanent disability.
	831.28 (2) (a)	3rd	Counterfeiting a payment instrument with intent to

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			defraud or possessing a counterfeit payment instrument with intent to defraud.
1839	831.29	2nd	Possession of instruments for counterfeiting driver licenses or identification cards.
1840	836.13 (2)	3rd	Person who promotes an altered sexual depiction of an identifiable person without consent.
1841	838.021 (3) (b)	3rd	Threatens unlawful harm to public servant.
1842	860.15 (3)	3rd	Overcharging for repairs and parts.
1843	870.01 (2)	3rd	Riot.
1844	870.01 (4)	3rd	Inciting a riot.
1845	893.13 (1) (a) 2.	3rd	Sell, manufacture, or deliver cannabis (or other s. 893.03(1) (c), (2) (c)1., (2) (c)2., (2) (c)3.,

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			(2) (c) 6., (2) (c) 7., (2) (c) 8., (2) (c) 9., (2) (c) 10., (3), or (4) drugs).
1846	893.13 (1) (d) 2.	2nd	Sell, manufacture, or deliver s. 893.03 (1) (c), (2) (c) 1., (2) (c) 2., (2) (c) 3., (2) (c) 6., (2) (c) 7., (2) (c) 8., (2) (c) 9., (2) (c) 10., (3), or (4) drugs within 1,000 feet of university.
1847	893.13 (1) (f) 2.	2nd	Sell, manufacture, or deliver s. 893.03 (1) (c), (2) (c) 1., (2) (c) 2., (2) (c) 3., (2) (c) 6., (2) (c) 7., (2) (c) 8., (2) (c) 9., (2) (c) 10., (3), or (4) drugs within 1,000 feet of public housing facility.
1848	893.13 (4) (c)	3rd	Use or hire of minor; deliver to minor other controlled substances.
1849	893.13 (6) (a)	3rd	Possession of any

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1850

893.13(7)(a)8.

3rd

controlled substance other than felony possession of cannabis.

Withhold information from practitioner regarding previous receipt of or prescription for a controlled substance.

1851

893.13(7)(a)9.

3rd

Obtain or attempt to obtain controlled substance by fraud, forgery, misrepresentation, etc.

1852

893.13(7)(a)10.

3rd

Affix false or forged label to package of controlled substance.

1853

893.13(7)(a)11.

3rd

Furnish false or fraudulent material information on any document or record required by chapter 893.

1854

893.13(8)(a)1.

3rd

Knowingly assist a patient, other person, or owner of an animal in obtaining a controlled substance through deceptive, untrue,

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1855	893.13(8)(a)2.	3rd	Employ a trick or scheme in the practitioner's practice to assist a patient, other person, or owner of an animal in obtaining a controlled substance.
1856	893.13(8)(a)3.	3rd	Knowingly write a prescription for a controlled substance for a fictitious person.
1857	893.13(8)(a)4.	3rd	Write a prescription for a controlled substance for a patient, other person, or an animal if the sole purpose of writing the prescription is a monetary benefit for the practitioner.
1858	918.13(1)	3rd	Tampering with or fabricating physical evidence.

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1859 944.47 3rd Introduce contraband to
(1) (a) 1. & 2. correctional facility.

1860 944.47 (1) (c) 2nd Possess contraband while
upon the grounds of a
correctional institution.

1861 985.721 3rd Escapes from a juvenile
facility (secure detention
or residential commitment
facility).

1862

1863

1864 Section 43. For the purpose of incorporating the amendment
1865 made by this act to section 493.6113, Florida Statutes, in a
1866 reference thereto, subsection (6) of section 493.6115, Florida
1867 Statutes, is reenacted to read:

1868 493.6115 Weapons and firearms.—

1869 (6) In addition to any other firearm approved by the
1870 department, a licensee who has been issued a Class "G" license
1871 may carry a .38 caliber revolver; or a .380 caliber or 9
1872 millimeter semiautomatic pistol; or a .357 caliber revolver with
1873 .38 caliber ammunition only; or a .40 caliber handgun; or a .45
1874 ACP handgun while performing duties authorized under this
1875 chapter. A licensee may not carry more than two firearms upon
1876 her or his person when performing her or his duties. A licensee
1877 may only carry a firearm of the specific type and caliber with
1878 which she or he is qualified pursuant to the firearms training

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1879 referenced in subsection (8) or s. 493.6113(3) (b).

1880 Section 44. For the purpose of incorporating the amendment
1881 made by this act to section 496.405, Florida Statutes, in
1882 references thereto, subsection (2) of section 496.4055, Florida
1883 Statutes, is reenacted to read:

1884 496.4055 Charitable organization or sponsor board duties.—

1885 (2) The board of directors, or an authorized committee
1886 thereof, of a charitable organization or sponsor required to
1887 register with the department under s. 496.405 shall adopt a
1888 policy regarding conflict of interest transactions. The policy
1889 shall require annual certification of compliance with the policy
1890 by all directors, officers, and trustees of the charitable
1891 organization. A copy of the annual certification shall be
1892 submitted to the department with the annual registration
1893 statement required by s. 496.405.

1894 Section 45. For the purpose of incorporating the amendment
1895 made by this act to section 559.905, Florida Statutes, in a
1896 reference thereto, paragraph (b) of subsection (1) of section
1897 559.907, Florida Statutes, is reenacted to read:

1898 559.907 Charges for motor vehicle repair estimate;
1899 requirement of waiver of rights prohibited.—

1900 (1) No motor vehicle repair shop shall charge for making a
1901 repair price estimate unless, prior to making the price
1902 estimate, the shop:

1903 (b) Obtains authorization on the written repair estimate,
1904 in accordance with s. 559.905, to prepare an estimate. No motor
1905 vehicle repair shop shall impose or threaten to impose any such
1906 charge which is clearly excessive in relation to the work
1907 involved in making the price estimate.

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1908 Section 46. For the purpose of incorporating the amendment
1909 made by this act to section 585.01, Florida Statutes, in a
1910 reference thereto, subsection (6) of section 468.382, Florida
1911 Statutes, is reenacted to read:

1912 468.382 Definitions.—As used in this act, the term:

1913 (6) "Livestock" means any animal included in the definition
1914 of "livestock" by s. 585.01 or s. 588.13.

1915 Section 47. For the purpose of incorporating the amendment
1916 made by this act to section 585.01, Florida Statutes, in a
1917 reference thereto, subsection (3) of section 534.47, Florida
1918 Statutes, is reenacted to read:

1919 534.47 Definitions.—As used in ss. 534.48–534.54, the term:

1920 (3) "Livestock" has the same meaning as in s. 585.01(13).

1921 Section 48. For the purpose of incorporating the amendment
1922 made by this act to section 585.01, Florida Statutes, in a
1923 reference thereto, section 767.01, Florida Statutes, is
1924 reenacted to read:

1925 767.01 Dog owner's liability for damages to persons,
1926 domestic animals, or livestock.—Owners of dogs shall be liable
1927 for any damage done by their dogs to a person or to any animal
1928 included in the definitions of "domestic animal" and "livestock"
1929 as provided by s. 585.01.

1930 Section 49. For the purpose of incorporating the amendment
1931 made by this act to section 585.01, Florida Statutes, in a
1932 reference thereto, section 767.03, Florida Statutes, is
1933 reenacted to read:

1934 767.03 Good defense for killing dog.—In any action for
1935 damages or of a criminal prosecution against any person for
1936 killing or injuring a dog, satisfactory proof that said dog had

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1937 been or was killing any animal included in the definitions of
1938 "domestic animal" and "livestock" as provided by s. 585.01 shall
1939 constitute a good defense to either of such actions.

1940 Section 50. Except as otherwise expressly provided in this
1941 act and except for this section, which shall take effect upon
1942 this act becoming a law, this act shall take effect July 1,
1943 2024.

The School Board of Broward County, Florida
PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION (SCAD)

SITE PLAN

SBBC-3859-2024

Municipality Number: 24-DP-31b

Folio #: 514204120590, 514204 120594

Oakwood Plaza East Multifamily Project

July 11, 2024



SCAD Expiration Date: January 7, 2025

Growth Management
Facility Planning and Real Estate Department
600 SE 3rd Avenue, 8th Floor
Fort Lauderdale, Florida 33301
Tel: (754) 321-2177 Fax: (754) 321-2179
www.browardschools.com

**PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION
SITE PLAN**

PROJECT INFORMATION	NUMBER & TYPE OF PROPOSED UNITS	OTHER PROPOSED USES	STUDENT IMPACT
Date: July 11, 2024	Single-Family:		Elementary: 2
Name: Oakwood Plaza East Multifamily Project	Townhouse:		Middle: 2
SBBC Project Number: SBBC-3859-2024	Garden Apartments:		
County Project Number:	Mid-Rise: 282		High: 9
Municipality Project Number: 24-DP-31b	High-Rise:		
Owner/Developer: OAKWOOD PLAZA LP AND OAKWOOD	Mobile Home:		Total: 13
Jurisdiction: Hollywood	Total: 282		

SHORT RANGE - 5-YEAR IMPACT

Currently Assigned Schools	Gross Capacity	LOS * Capacity	Benchmark** Enrollment	Over/Under LOS	Classroom Equivalent Needed to Meet LOS	% of LOS*** Capacity	Cumulative Reserved Seats
Oakridge	605	694	459	-206	-11	69.0%	11
Attucks Middle	1,243	705	692	-675	-30	50.6%	2
South Broward High	2,297	959	2,295	-231	-9	90.9%	12

Currently Assigned Schools	Adjusted Benchmark	Over/Under LOS-Adj. Benchmark Enrollment	% LOS Cap. Adj. Benchmark	Projected Enrollment				
				24/25	25/26	26/27	27/28	28/29
Oakridge	470	-251	65.2%	440	432	423	415	406
Attucks Middle	694	-656	51.4%	673	657	638	618	599
South Broward High	2,307	-211	91.6%	2,285	2,286	2,280	2,275	2,268

Students generated are based on the student generation rates contained in the currently adopted Broward County Land Development Code. Information contained herein is current as of the date of review. A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future charter school enrollment by school level Districtwide. For more information: <https://www.browardschools.com/Page/34040>. The annual benchmark enrollment is taken on the Monday following Labor Day and is used to apply individual charter school enrollment impacts against school facility review processes.

*This number represents the higher of: 100% gross capacity or 110% permanent capacity. **The first Monday following Labor Day. ***Greater than 100% exceeds the adopted Level of Service (LOS).

CHARTER SCHOOL INFORMATION

Charter Schools within 2-mile radius	2023-24 Contract Permanent Capacity	2023-24 Benchmark Enrollment	Over/(Under)	Projected Enrollment		
				24/25	25/26	26/27
Avant Garde Academy	1,074	1,139	65	1,139	1,139	1,139
Paragon Academy Of Technology	500	142	-358	142	142	142

PLANNED AND FUNDED CAPACITY ADDITIONS IN THE ADOPTED DISTRICT EDUCATIONAL FACILITIES PLAN

School(s)	Description of Improvements
Oakridge	There are no scheduled classroom additions in the Adopted DEFP that would increase the reflected FISH capacity of the school.
Attucks Middle	There are no scheduled classroom additions in the Adopted DEFP that would increase the reflected FISH capacity of the school.
South Broward High	There are no scheduled classroom additions in the current ADEFP that would increase the reflected FISH capacity of the school.

Students generated are based on the student generation rates contained in the currently adopted Broward County Land Development Code. Information contained herein is current as of the date of review. A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future charter school enrollment by school level Districtwide. For more information: <https://www.browardschools.com/Page/34040>. The benchmark enrollment count taken on the first Monday following Labor Day is used to apply individual charter school enrollment impacts against school facility review processes.

Comments

The site plan application proposes 282 (180 one-bedroom or less and 102 two-bedroom or more) mid-rise units, which are anticipated to generate 13 (2 elementary, 2 middle, and 9 high) students into Broward County Public Schools.

The school Concurrency Service Areas (CSA) serving the project site in the 2023/24 school year include Oakridge Elementary, Attucks Middle, and South Broward High Schools. Based on the Public School Concurrency Document (PSCPD), all three schools are currently operating below the Level of Service Standard (LOS), which is established as the higher of 100% gross capacity or 110% permanent capacity. Incorporating the cumulative students anticipated from this project as well as approved and vested developments anticipated to be built within the next three years (2023/24- 2025/26), these schools are expected to maintain their current status through the 2025/26 school year. Additionally, the school capacity or Florida Inventory of School Houses (FISH) for the impacted schools reflects compliance with the class size constitutional amendment.

Charter schools located within a two-mile radius of the site in the 2023/24 school year are depicted above. Students returning, attending, or anticipated to attend charter schools are factored into the five-year student enrollment projections for District schools. Enrollment projections are adjusted for all elementary, middle, and high schools impacted by a charter school until the charter school reaches full enrollment status.

To ensure maximum utilization of the impacted CSA, the Board may utilize school boundary changes to accommodate students generated from developments in the County.

Capital Improvements scheduled in the currently Adopted District Educational Facilities Plan (DEFP), Fiscal Years 2023/24 to 2027/28 regarding pertinent impacted schools are depicted above.

This application satisfies public school concurrency on the basis that there is adequate school capacity anticipated to be available to support the project as proposed. This preliminary determination shall be valid for either the end of the current school year or 180 days, whichever is greater for a maximum of 282 (180 one-bedroom or less and 102 two-bedroom or more) mid-rise units, and conditioned upon final approval by the applicable governmental body. As such, this Preliminary School Capacity Availability Determination (SCAD) Letter will expire on January 7, 2025. This preliminary school concurrency determination shall be deemed to be void unless prior to the referenced expiration of the preliminary SCAD, notification of final approval to the District has been provided, and/or an extension of this preliminary SCAD has been requested in writing and granted by the School District. Please be advised that the expiration of the SCAD will require the submission of a new application and fee for a new public school concurrency determination. Upon the District's receipt of sufficient evidence of final approval, which shall minimally specify the number, type, and bedroom mix for the approved residential units, the District will issue and provide a final SCAD letter for the approved units, which shall ratify and commence the vesting period for the approved residential project.

Please be advised that if a change is proposed to the development, which increases the number of students generated by the project, the additional students will not be considered vested for public school concurrency.

SBBC-3859-2024 Meets Public School Concurrency Requirements

Yes No

Reviewed By:

7/11/2024

Date

Glennika D. Gordon

Signature

Glennika D. Gordon, AICP

Name

Planner

Title

ATTACHMENT B
Proposed Master Plan

Oakwood Plaza



Example project in Virginia Beach, VA. Rendering by Yves Rattier

1 FEBRUARY 20, 2020

riil
COOPER CARRY

OAKWOOD PLAZA
PLANNED DEVELOPMENT (PD)
ZONING DISTRICT
DESIGN GUIDELINES
Date: March 1, 2022
Adoption Date:

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OAKWOOD PLAZA PLANNED DEVELOPMENT - INTRODUCTION

Oakwood Plaza Planned Development (“Oakwood Plaza”, “PD” or “Project”) is an approximately 112.50 + gross acres mixed use project located within the City of Hollywood generally located on the east side of I-95, west of the existing lake, south of Stirling Road and north of Sheridan Street. (see Figure 1). The Project’s existing and proposed Zoning are provided in Figures 2 and 3 respectively. The Oakwood Plaza PD is regulated by the adopted Oakwood Activity Center Land Use Plan Amendment which has been approved by both the City of Hollywood and Broward County. The Oakwood Plaza Planned Development is a mixed-use project comprised of retail, office, hotel and residential uses, utilizing a consistent design and approach that provides for:

1. Efficient (more efficient) use of the land by horizontally and or vertically integrating uses within “blocks” and buildings;
2. Encourage a block form of development interconnected through a network of multi-modal corridors; See Sec (1) Master Development Plan below for references to “blocks”;
3. Addresses and reacts to the changing market conditions witnessed within the South Florida Region;
4. Provides an enhanced design and development pattern which minimizes potential impacts to the neighboring developments;
5. Maintains connectivity north to south consistent with the current transportation network (further described below); and
6. Provides for not only jobs producing uses but also opportunities for retail, residential resulting in increased internal capture and housing choices within the community.

The applicant is requesting approval to develop the site consistent with Section 4.15, Section 5.3.K.2 of the City’s Zoning and other Land Development Regulations with some proposed deviations as shown in code comparisons in Appendixes A-D. The Oakwood Plaza PD and corresponding, implementing standards shall control development of the Project, unless otherwise noted. The Project provides unique attributes that based on its proximity and easy access to Interstate 95 and major arterials, along with internal capture of trips minimizes traffic impacts to neighboring areas and provides appropriate buffers, setbacks and development standards to mitigate impacts to existing adjoining uses while achieving compatibility in design and development. Oakwood Plaza is an urban mixed-use project and is intended to provide greater densities and intensities than typical zoning allowances and address the development pattern identified in the Master Plan (see Figure 4). The Project also proposes a more efficient development pattern which does not contribute to sprawl or impacts typically exhibited by single use or low intensity projects.

Oakwood Plaza proposes a series of design and development standards which provide for enhanced design, unifying themes and predictability. These standards are intended provide an optional development pattern and approach by providing a planning and regulatory framework to support and enhance growth and redevelopment as it occurs within this portion of the City.

The intent of the PD is to provide a framework for planned growth and targeted economic development/ redevelopment reflecting changes in traditional suburban retail and shopping center patterns. The development standards contained herein are provided in support of the PD and are specific to the Oakwood Plaza Planned Development. The PD standards were developed as a tool for both the City and the Applicant as redevelopment occurs and recognizes those existing uses within the boundaries of the Project, as may be amended, which are intended to remain, are exempt from these standards until such time as they may be redeveloped.

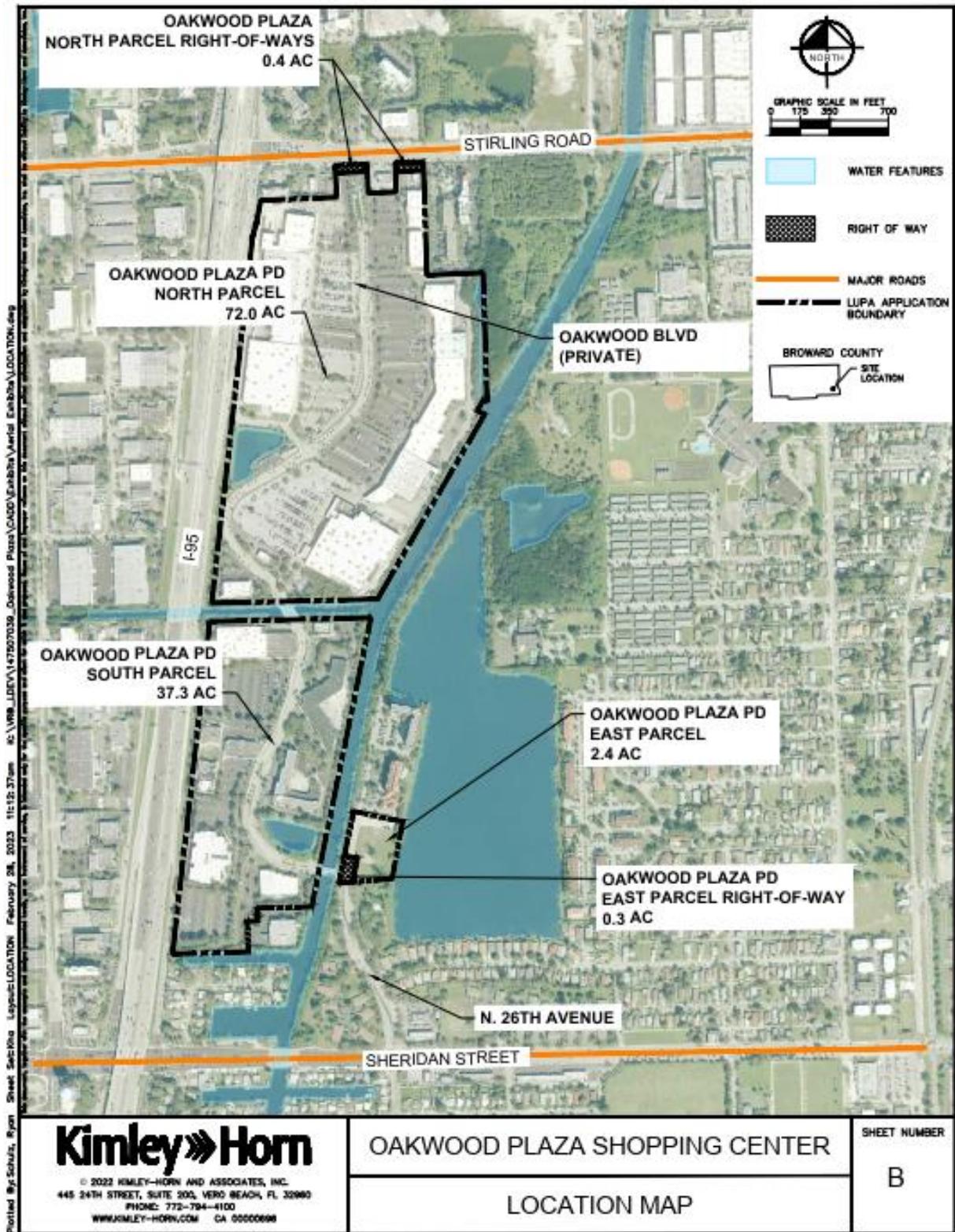
Based on criteria under Planning and Development Board Article 5.3.K.2, there are specific criteria (a-e) shown below, that are considered:

- a. That the petition for a change of zoning district will not result in spot zoning or contract zoning;
- b. That the proposed change is consistent with, and in furtherance of the Goals, Objectives and Policies of the City’s Comprehensive Plan;
- c. That conditions have substantially changed from the date the present zoning district classification was placed on the property which make the passage of the proposed change necessary;

- d. The proposed change will not adversely influence living conditions in the neighborhood; and
- e. That the proposed change is compatible with the development(s) within the same district/neighborhood.

These criteria have been met see Appendix E.

Figure 1: Location Map



LEGAL DESCRIPTION

LEGAL DESCRIPTION: NORTH LUPA PARCEL

A PARCEL OF LAND BEING A PORTION OF SECTION 4, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA; SAID PARCEL CONTAINING ALL OF OR PORTIONS OF THE FOLLOWING DESCRIBED PLATS:

ALL OF LOT 1-8, HOLLYWOOD COMMERCIAL CENTER, RECORDED IN PLAT BOOK 117, PAGE 36; ALL OF TRACT A, JOHN L.A. BOND PLAT, RECORDED IN PLAT BOOK 111, PAGE 38; A PORTION OF PARCEL A, THE AQUA PARK,

RECORDED IN PLAT BOOK 109, PAGE 8; A PORTION OF PARCEL A, COLONIAL SQUARE, RECORDED IN PLAT BOOK 114, PAGE 32, ALL OF THE ABOVE DESCRIBED PLATS BEING RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SAID SECTION 4;

THENCE N.87°34'11"E., ALONG THE NORTH LINE OF THE SAID NORTHEAST ONE-QUARTER (N.E. 1/4), A DISTANCE OF

334.94 FEET, TO A POINT OF INTERSECTION WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF PARCEL A, OF SAID COLONIAL SQUARE;

THENCE S.01°48'26"E., ALONG SAID NORTHERLY EXTENSION, A DISTANCE OF 53.00 FEET, TO THE NORTHWEST CORNER OF PARCEL A, OF SAID COLONIAL SQUARE, SAID POINT ALSO BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND;

THENCE CONTINUE S.01°48'26"E., A DISTANCE OF 677.36 FEET, TO A POINT ON A LINE 677.32 FEET SOUTH OF AND PARALLEL WITH THE SAID NORTH LINE OF PARCEL A, OF SAID COLONIAL SQUARE;

THENCE N.87°34'11"E., ALONG SAID PARALLEL LINE A DISTANCE OF 334.84 FEET, TO A POINT ON THE EAST LINE OF PARCEL A, OF SAID COLONIAL SQUARE;

THENCE S.01°48'00"E., ALONG SAID EAST LINE AND THE EAST LINE OF TRACT A, OF SAID JOHN L.A. BOND PLAT, A DISTANCE OF 770.97 FEET, TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE C-10 CANAL;

THENCE N.59°53'00"W., A DISTANCE OF 24.81 FEET; THENCE S.30°07'00"W., A DISTANCE OF 75.00 FEET; THENCE S.59°46'55"E., A DISTANCE OF 50.00 FEET;

THENCE S.30°07'00"W., A DISTANCE OF 1267.83 FEET (THE PREVIOUS 4 COURSES BEING COINCIDENT WITH THE WEST RIGHT-OF-WAY LINE OF THE C-10 CANAL), TO THE SOUTHEAST CORNER OF PARCEL A, OF SAID THE AQUA PARK, SAID POINT ALSO BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF THE C-10 SPUR CANAL;

THENCE S.88°32'24"W., ALONG THE SOUTH LINE OF SAID PARCEL A AND SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 987.44 FEET, TO THE SOUTHWEST CORNER OF PARCEL A, OF SAID THE AQUA PARK, SAID POINT ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF INTERSTATE 1-95;

THENCE N.06°21'05"E., ALONG THE WEST LINE OF PARCEL A, OF SAID THE AQUA PARK, AND SAID EAST RIGHT-OF-WAY LINE A DISTANCE OF 2134.34 FEET;

THENCE N.14°49'05"E., A DISTANCE OF 122.91 FEET;

THENCE N.07°47'46"E., A DISTANCE OF 125.78 FEET, (THE PREVIOUS TWO COURSES BEING COINCIDENT WITH THE EAST RIGHT-OF-WAY LINE OF INTERSTATE 1-95 AS DESCRIBED INSTRUMENT No. 114419988 OF SAID PUBLIC RECORDS);

THENCE N.10°46'20"E., A DISTANCE OF 38.00 FEET, TO THE MOST SOUTHERLY NORTHWEST CORNER OF PARCEL A, OF SAID THE AQUA PARK;

LEGAL DESCRIPTION:

THENCE N.87°35'12"E., ALONG THE MOST SOUTHERLY NORTH LINE OF PARCEL A, OF SAID THE AQUA PARK, A DISTANCE OF 451.20 FEET, TO A POINT ON THE MOST EASTERLY WEST LINE OF SAID PARCEL A, OF SAID THE AQUA PARK;

THENCE N.02°25'03"W., ALONG SAID MOST EASTERLY WEST LINE A DISTANCE OF 189.77 FEET. TO A POINT ON A LINE

53.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHWEST ONE-QUARTER (NW ¼) OF SAID SECTION 4;

THENCE N.87°34'43"E., ALONG SAID PARALLEL LINE A DISTANCE OF 190.06 FEET, TO THE NORTHWEST CORNER OF LOT 1-A OF SAID HOLLYWOOD COMMERCIAL CENTER;

THENCE S.01°48'53"E., ALONG THE WEST LINE OF SAID LOT 1-A. A DISTANCE OF 173.83 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1-A;

THENCE N.87°43'46"E., ALONG THE SOUTH LINE OF SAID LOT 1-A, A DISTANCE OF 167.45 FEET TO THE SOUTHWEST CORNER OF LOT 1-8 OF SAID HOLLYWOOD COMMERCIAL CENTER;

THENCE N.01°48'40"W., A DISTANCE OF 174.10 FEET, ALONG THE WEST LINE OF SAID LOT 1-8 TO THE NORTHWEST CORNER OF SAID LOT 1-8;

THENCE N.87°34'17"E., ALONG THE NORTH LINE OF SAID LOT 1-8, A DISTANCE OF 167.47 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE AND BEING WITHIN THE CITY OF HOLLYWOOD, FLORIDA AND CONTAINING 71.941 ACRES (J, 133,732 SQUARE FEET). MORE OR LESS.

NOTES:

1. THE PROPERTY SHOWN HEREON WAS NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS OF RECORD.
2. THIS SKETCH AND DESCRIPTION IS "NOT VALID" WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF FLORIDA LICENSED SURVEYOR AND MAPPER.
3. THIS SKETCH DOES NOT REPRESENT A FIELD SURVEY. (THIS IS NOT A SURVEY).
4. THE BEARINGS SHOWN HEREON ARE BASED ON N.87°34'11"E. • ALONG THE NORTH LINE OF NORTHEAST ONE-QUARTER (N.E.1/4) OF SECTIONS 4, TOWNSHIP 51 SOUTH, RANGE 42 EAST. SAID BEARING IS RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, N.A.D. 83/2011.
5. SEE SHEETS 3, 4 AND 5 FOR A GRAPHIC DEPICTION (SKETCH) OF THE PARCEL DESCRIBED HEREON.
6. EASEMENTS AND OTHER MATTERS OF RECORD ARE NOT SHOWN HEREON.

LEGAL DESCRIPTION: SOUTH LUPA PARCEL

A PARCEL OF LAND BEING A PORTION OF TRACT E, OAKWOOD HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 120, PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT E, SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE C-10 CANAL;

THENCE S.88°27'20"W., ALONG THE SOUTH LINE OF SAID TRACT E, A DISTANCE OF 325.00 FT TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND;

THENCE CONTINUE S.88°27'20"W., ALONG SAID SOUTH LINE, A DISTANCE OF 449.41 FT TO THE SOUTHWEST CORNER OF SAID TRACT E, SAID POINT ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF INTERSTATE 1-95;

THENCE N.06°21'05"E., ALONG THE WEST LINE OF SAID TRACT E AND THE EAST RIGHT-OF-WAY LINE OF SAID INTERSTATE 1-95, A DISTANCE OF 1993.10 FT TO THE NORTHWEST CORNER OF SAID TRACT E, SAID POINT ALSO BEING A POINT OF THE SOUTH RIGHT-OF-WAY LINE OF THE C-10 SPUR CANAL;

THENCE N.88°32'24"E., ALONG THE NORTH LINE OF SAID TRACT E, AND THE SOUTH RIGHT-OF-WAY LINE OF THE SAID C-10 SPUR CANAL, A DISTANCE OF 960.10 FT TO THE NORTHEAST CORNER OF SAID TRACT E, SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE SAID C-10 CANAL;

THENCE S.11°34'01"W., ALONG SAID EAST LINE OF SAID TRACT E AND THE WEST RIGHT-OF-WAY LINE OF THE SAID C-10 CANAL, A DISTANCE OF 1759.90 FT;

THENCE S.88°27'11"W., A DISTANCE OF 322.78 FT; THENCE S.01°32'49"E., A DISTANCE OF 76.25 FT; THENCE S.88°27'11"W., A DISTANCE OF 62.50 FT;

THENCE S.01°32'49"E., A DISTANCE OF 182.50 FEET TO THE TO THE POINT OF BEGINNING.

SAID LANDS \$/TUA TE AND BEING WITHIN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING

37.297 ACRES (1,624,651 SQUARE FT), MORE OR LESS.

NOTES:

1. THE PROPERTY SHOWN HEREON WAS NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS OF RECORD.
2. THIS SKETCH AND DESCRIPTION IS "NOT VALID" WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF FLORIDA LICENSED SURVEYOR AN MAPPER.
3. THIS SKETCH DOES NOT REPRESENT A FIELD SURVEY. (THIS IS NOT A SURVEY).
4. THE BEARINGS SHOWN HEREON ARE BASED ON S.88°27'20"W. ALONG THE SOUTH LINE OF TRACT "E", OAKWOOD HILLS, RECORDED IN PLAT BOOK 120, PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID BEARING IS RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, N.A.D. BJ/2011.
5. SEE SHEETS 2 AND J FOR A GRAPHIC DEPICTION (SKETCH) OF THE PARCEL DESCRIBED HEREON.
6. EASEMENTS AND OTHER MATTERS OF RECORD ARE NOT SHOWN HEREON.

LEGAL DESCRIPTION: EAST LUPA PARCEL

A PARCEL OF LAND BEING A PORTION OF TRACT C, OAKWOOD HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 120, PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND A PORTION OF VACATED

N. 26th-AVENUE AS RECORDED IN OFFICIAL RECORDS BOOK 20603, PAGE 366 OF SAID PUBLIC RECORDS. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT C;

THENCE N.04°07'58"W., ALONG THE EAST LINE OF SAID TRACT C, A DISTANCE OF 36.83 FEET;

THENCE N.07°50'52"E., ALONG SAID EAST LINE, A DISTANCE OF 173.75 FEET, TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND;

THENCE S.85°75'20"W., A DISTANCE OF 221.11 FEET, TO A POINT ON THE WEST LINE OF SAID TRACT C;

THENCE N.03°59'43"W., A DISTANCE OF 50.00 FEET;

THENCE N.11°34'07"E., A DISTANCE OF 92.24 FEET, (THE PREVIOUS TWO COURSE BEING COINCIDENT WITH THE WEST LINE OF SAID TRACT C);

THENCE N.78°25'59"W., A DISTANCE OF 80.00 FEET. TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF THE C-10 CANAL;

THENCE N.11°34'01"E., ALONG SAID EAST RIGHT OF WAY LINE A DISTANCE OF 269.78 FEET;

THENCE S.78°25'59"E., A DISTANCE OF 300.01 FEET, TO A POINT ON THE EAST LINE OF SAID TRACT C;

THENCE S. 71°34'01 "W., A DISTANCE OF 261.59 FEET;

THENCE S.07°50'52"W., A DISTANCE OF 86.67 FEET, (THE PREVIOUS TWO COURSES BEING COINCIDENT WITH THE SAID EAST LINE OF TRACT C) TO THE POINT OF BEGINNING.

SAID LANDS SITUATE AND BEING WITHIN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 2.422 ACRES (105,506 SQUARE FEET), MORE OR LESS.

NOTES:

1. THE PROPERTY SHOWN HEREON WAS NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS OF RECORD.
2. THIS SKETCH AND DESCRIPTION IS "NOT VALID" WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF FLORIDA LICENSED SURVEYOR AND MAPPER.
3. THIS SKETCH DOES NOT REPRESENT A FIELD SURVEY. (THIS IS NOT A SURVEY).
4. THE BEARINGS SHOWN HEREON ARE BASED ON N.04°07'58"W. ALONG THE EAST LINE OF TRACT "C", OAKWOOD HILLS, RECORDED IN PLAT BOOK 120, PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID BEARING IS RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM. EAST ZONE. N.A.D. 83/2011.
5. SEE SHEETS 2 OF 2 FOR A GRAPHIC DEPICTION (SKETCH) OF THE PARCEL DESCRIBED HEREON.
6. EASEMENTS AND OTHER MATTERS OF RECORD ARE NOT SHOWN HEREON.

Figure 2: Zoning Map (existing)

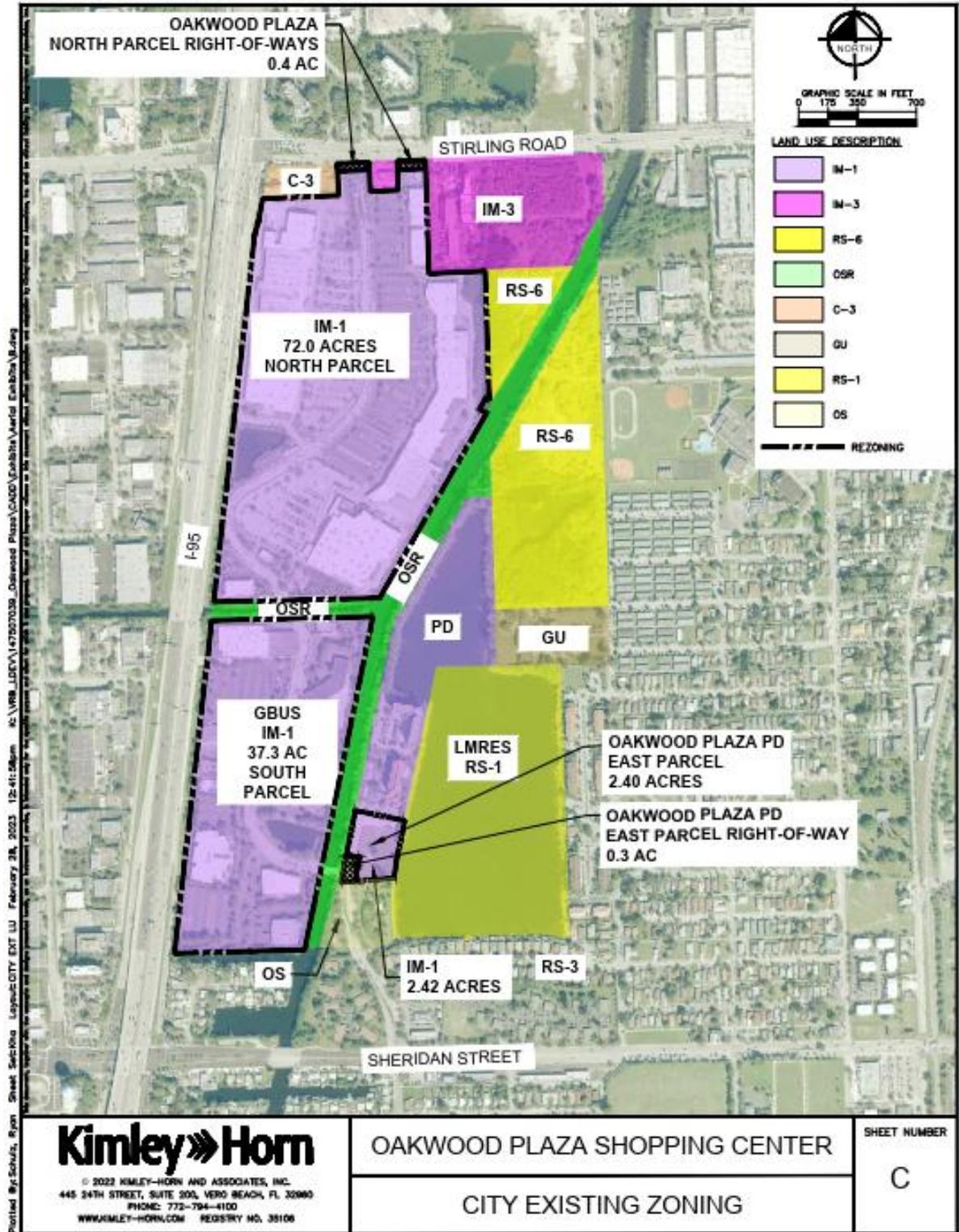
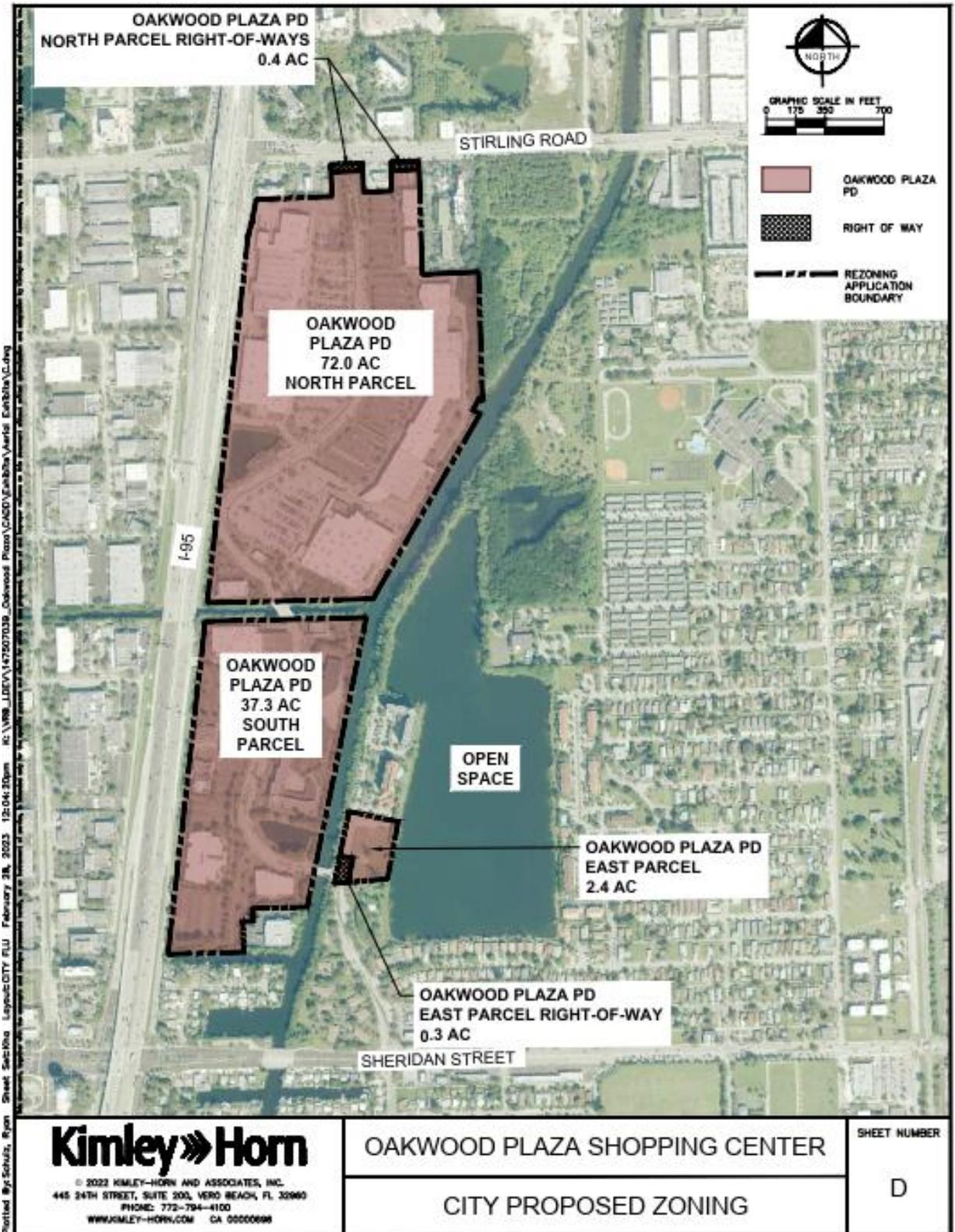


Figure 3: Zoning Map (proposed)



OAKWOOD PLAZA PLANNED DEVELOPMENT PURPOSE AND INTENT

In compliance with the City's requirements, specifically the PD standards included within Section 4.15 of the Zoning and Land Development Regulations ("Code"), the Oakwood Plaza Planned Development Master Development Plan is comprised of several components intended to provide assurance that future development of the property complies with the standards and requirements, as may be amended, and these Standards. These components are more fully described and presented throughout this document and include:

1. *A project description, purpose and intent statement.*
2. *A Master Development Plan see Exhibit E, has been provided that show the five different blocks. A summary of the uses and intensities are provided in section 3 below. A detailed site plan will be provided with formal site plan application.*
3. *A description of permitted uses.*
4. *Building development standards.*
5. *Connectivity, both internal to Oakwood Plaza and to the adjacent roadway network.*
6. *Parking, loading and access standards.*
7. *Landscape and Buffering standards.*
8. *Open Spaces including Parks, and Site Amenities.*
9. *Signage and Lighting standards.*
10. *Utilities and Stormwater provisions.*
11. *Other Provisions as may be applicable.*

The PD standards and the City's Code are a planning and development level tool that will provide the framework to effectively coordinate land use and development within the Oakwood Plaza Planned Development Project. The applicant is proposing a mixed-use development project intended to provide a compact, attractive, sustainable, and economically vital destination in this strategic location of the City. Redevelopment and revitalization of this area will support the City as a whole and provide for targeted land uses which not only increase the City's tax base but provide for a compact, connected urban form designed around "blocks" desired by the City. The urban form of the project site and the surrounding area, as it currently exists contains limited consistent design characteristics or theme. The PD are intended to:



- Create an identity for the subject property;
- Provide for a transition from the suburban form existing within the area creating an integrated mixed-use center;
- Integrate uses, either vertically, horizontally or both;
- Improve mobility access and connections for all modes (bike/ped/transit/vehicle);
- Plan a development that is complementary to the surrounding areas.

When a wide variety of uses are located in close proximity to each other, walking and bicycling become practical alternatives to automobile travel. Such areas would support objectives for improved mobility and reduced congestion. Infill development success can be enhanced by planning a mutually supportive mix of



uses. The mixing of uses can add variety and vitality to an area, making it a more attractive, interesting place to live. The PD standards have been developed based on existing site features, available infrastructure, and the development vision for Oakwood Plaza. This provides a sustainable mix of compatible land uses both internally and with adjacent properties and, more importantly, provide flexibility to best respond to current and future land uses, changes in building and development patterns, and community demographics.

Areas (lands) may be added to the overall PD through an amendment to these standards. Depending on the nature and location of these lands, they may either be incorporated into an existing (identified) Block or through the identification of a new Block with applicable development standards upon their redevelopment (assumed to be minor amendments/administrative in nature) providing the proposed modifications are contained within the boundaries of the PD as established.

(A) OAKWOOD PLAZA PLANNED DEVELOPMENT DESIGN DEVELOPMENT GUIDELINES

The following identifies the proposed development standards applicable to the Oakwood Plaza Planned Development. Certain items have been identified that are understood to constitute either a minor or major modification to the planning and site plan process. **MINOR CHANGES:** The Director, after receiving staff recommendations, may approve "minor" changes and deviations from the approved master development plan which are in compliance with the provisions and intent of this Article, and which do not depart from the principal concept of the approved master development plan. Other requested changes and deviations not considered minor changes may be approved as provided by the City Code..

SUBSTANTIAL CHANGES: The Director may determine that the requested changes and deviations from an approved master development plan constitute a substantial alteration to the character of the development and thus require that the requested changes be reviewed and approved as as provided by the City Code.

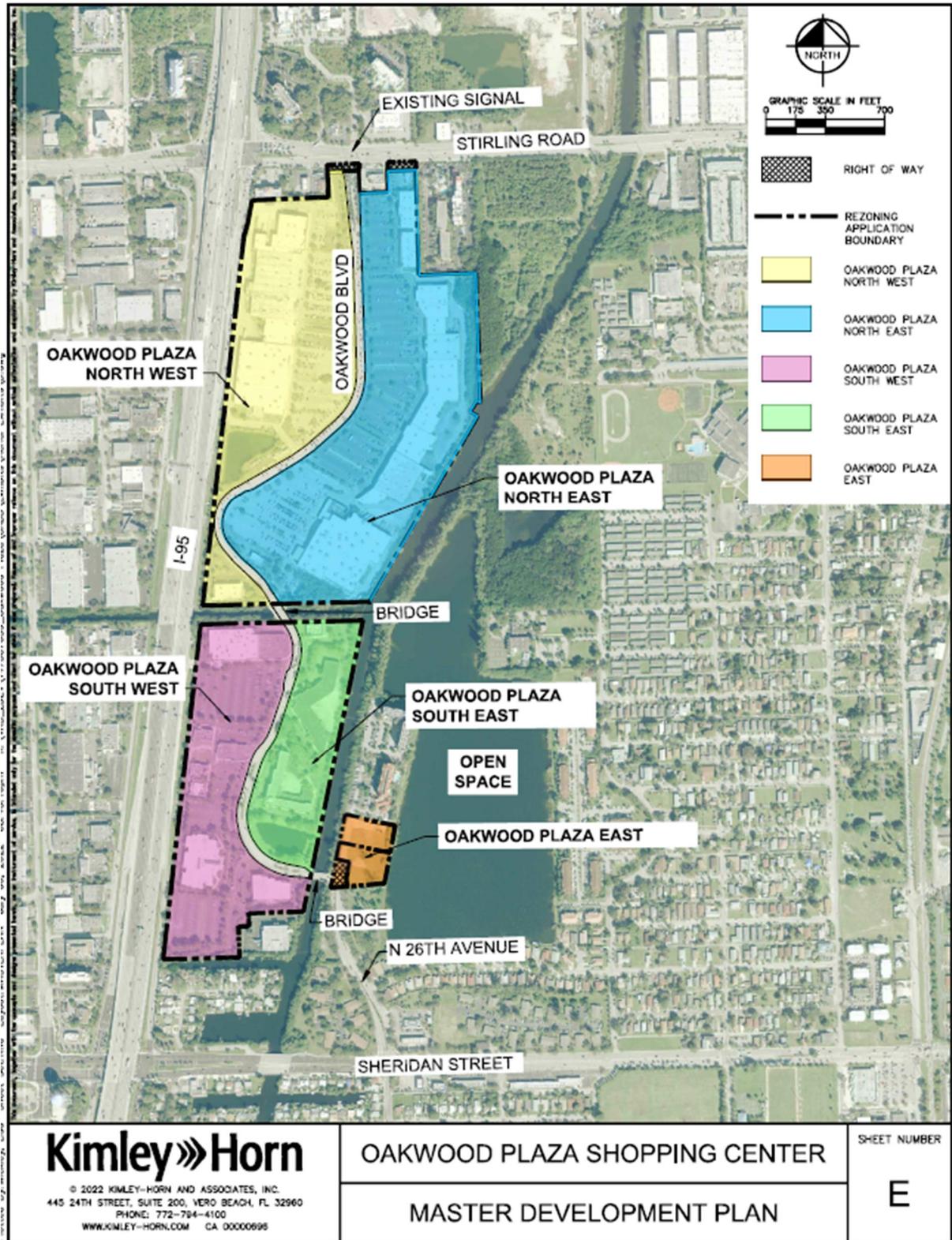
Substantial changes are changes that would not constitute:

- a. A change in the use or of the Planned Development;
- b. An increase in overall building coverage;
- c. A substantial increase in traffic generation;
- d. A reduction in required open spaces; and
- e. A reduction of off-street parking.

The Master Development Plan (“MDP”) provided in Figure 4 identifies the boundaries of the Oakwood Plaza Planned Development. The MDP depicts the locations of the “Blocks” of development including the primary development focus for each Block, subsection A of this section includes the maximum amount of development (i.e., densities and intensities), major internal roadways as defined in Section 6 below, external roadway connections and types, and generalized building types as identified in Section 5 of the PD. Due to the nature of the PD, blocks and building types, as may be provided per this PD, are understood to be generalized and for informational/reference purposes only and not intended to be binding. Certain information and supporting plans may be provided in the Appendix and are referenced as such within the respective sections where applicable. Permitted and Specific Uses are provided in Section 2 of the PD. The PD is created with an overall (total) levels of development listed in Section 3 of the PD. Based on the scale, timing and nature of the development, it is further understood that necessary infrastructure and/or amenities in the form of, but not limited to, utilities, parking, open space and stormwater management, shall not be restricted or limited to the respective Block boundary, however sufficient infrastructure will be provided to support each stage of development as it develops. Furthermore, it is understood the Oakwood Plaza PD is a redevelopment project and that it will be developed in “phases”. These PD are understood to control new development and or redevelopment only with the specific area identified for such activities and shall not apply to existing buildings, uses and or improvements which are understood to be regulated by the current development standards.

For the purposes of this PD, the use of the term “Blocks” refers to the establishment of new blocks of development based on a proposed development pattern or the identification of development areas/pods along the existing roadway network. The Blocks are intended to provide a more balanced mix of uses to increase convenience and provide greater transportation choices within the PD. In addition, convenient commercial and personal services, readily accessible to work sites and residential areas, and convenient cultural or recreational amenities can enhance the attractiveness of infill development. Space should be oriented to create activity zones and areas that promote pedestrian activity, where possible. A site plan application following these PD Guidelines will be submitted which meets the requirements at a future date.

Figure 4: Master Development Plan



(A) BLOCKS

The Master Development Plan identifies a series of “blocks” which are understood to be provided for reference purposes only and to create an illustrative of the potential redevelopment of Oakwood Plaza. Blocks may be developed using one primary building or a series of buildings arranged within the PD including edge treatments (i.e., roadways, driveways/aisles, sidewalks/mobility improvements, landscape buffers or similar). The blocks and or graphics illustrative specific blocks are not regulatory in nature and shall not be used in the determination of specific uses, density and or intensity standards or setbacks. The provisions of this PD as noted below shall govern the development and redevelopment within the boundary of the PD. The blocks, are identified on the MDP and are intended to function as the development’s main internal roadways, serving as connectivity corridors within and between the blocks and also generally serve as “dividing lines” between blocks. The development totals identified below are understood to be a reference and may be modified from time to time administratively providing the maximum development totals for Non-residential and Residential are not exceeded.

The MDP illustrates a series of Blocks which include a variety of non-residential uses including retail and may include larger scale commercial uses consistent with the current levels and types of development found on the project site. These may be in the form of a “power center” or “lifestyle center”, either as single use or series of buildings, offices, community-oriented retail uses, restaurants, as well as a mix of smaller scale buildings and uses, vertically and or horizontally.

These uses are understood to be served by interconnected (limited) surface parking and parking structures, pedestrian connections and similar facilities and parking structures. It is assumed surface parking lots are to be limited in use and may also serve as transitional use areas allowing for redevelopment of Blocks and supporting parking structures while under construction.



SEC (2) PERMITTED USES

Permitted Uses for the Oakwood Plaza Planned Development shall be as consistent with the provisions of Section 4.15 D. Permitted Uses include (permit) the following:

- (1) Retail/Commercial
- (2) Office
- (3) Residential
- (4) Hotel
- (5) Recreation
- (6) Community Facilities
- (7) Transportation
- (8) Conservation
- (9) Accessory Uses as permitted to serve the PD

Specific uses include the following:

- (1) Community meeting rooms, auditoriums, community centers, recreational facilities, libraries, halls, business center, conference center, private clubs and other places of public assembly.
- (2) Retail and service establishments including department stores, grocery stores, farmer's market, marine market, home improvement centers, major appliance stores, furniture stores, liquor stores, package stores, wine stores, retail/grocery stores with wine and liquor, micro-breweries, restaurants, billiard parlors, bars or taverns for on-premises and or off-premise consumption of alcoholic beverages, night clubs, spas, salons, beauty shops, barbershops, athletic clubs or gymnasiums, group instruction, art gallery, daycare center, pet shop, dry cleaning/laundry, deli, baked goods/bakery including those within a retail/grocery store, bowling alleys, indoor motion picture theaters, and theater for live stage productions; also includes uses utilizing a drive-thru facility, automotive parts sales. Note: with respect to liquor stores, package stores, wine stores, free-standing stores less than 10,000 square feet are permitted.
- (3) Art studios and shops, museums.
- (4) Parking lots and structures (may also be referred to as parking garage throughout the PD. See also Section (5) Building (A) Building Types – Building Type 5 Parking Structures/Garages.
- (5) Banks and financial institutions with and without drive-thru facilities.
- (6) Open-air cafes, restaurants, with or without a drive-thru facility, and bars or taverns, including those with outdoor, rooftop and or sidewalk seating areas.
- (7) Outdoor recreation, including commercial oriented recreational uses.
- (8) Outdoor performance venues, stages and similar.
- (9) Residential including multi-family/condominium.
- (10) "Aging In Place" uses, residential assisted living/adult congregate care facilities, nursing homes, rest homes, convalescent homes, homes for the aged, and assisted living facilities.
- (11) Hotels and lodging uses. Such uses shall provide internal room access only; no external individual room access is permitted.
- (12) Business, medical, dental and professional offices and laboratories.
- (13) Auto Sales, display/showrooms and related services including accessory service facilities, within a building or structure. With respect to auto sales, the intent is to provide facilities for the display and sales of high-end vehicles within a building; however, are not intended to allow surface lots for the storage of vehicles for sale. Below is a image of a possible showroom.



- (14) Medical marijuana facilities/uses where consistent with the City's requirements for such facilities
- (15) Cell phone / cellular telecommunications tower (as existing or as may be relocated within the PD.

Prohibited Uses

- (1) Unscreened parking lots and parking garages not consistent with Permitted Uses-Specific Uses (4) identified above and as designed pursuant to Section (5) Buildings below
- (2) Adult Entertainment Businesses
- (3) Tattoo Parlor/shops
- (4) Veterinary hospital, including boarding kennel (whether overnight or daily), stockyard or animal raising establishment
- (5) Industrial, Warehousing or Manufacturing use which is determined to be a principle use.
- (6) Pawn shops
- (7) Auto Salvage Facility
- (8) Agricultural uses unless such uses are associated with a "farm-to-table" use or similar which may include retail sales, restaurants.
- (9) Motels (lodging facilities with external room access(es)
- (10) Free-standing liquor stores greater than 10,000 square feet
- (11) Vehicle Storage, outdoor auto sales, and overnight parking except in association with residential and hotel uses.

SEC (3) DENSITY/INTENSITY

Consistent with the latest Land Use Plan Amendment, Oakwood Plaza Planned Development shall be entitled to develop consistent with the following residential density and non-residential intensity standards in accordance with the Oakwood Activity Center LUPA. Specifically, the PD shall be entitled to develop a maximum of:

- 1.2 M SF of Retail
- 1.89 M SF of Office
- 3,800 Residential Units
- 625 Hotel Rooms

The maximum development amounts show above are applied to the project which include the existing retail and office uses. It is understood that accessory and or ancillary uses including those within hotels including but not limited to breakfast areas, business/meeting rooms, service areas, storage, etc., shall not be included in the maximum development totals above. In addition, outdoor activity spaces, public gathering areas associated with principle uses shall not count towards a specific use's square footage.

The following table further identifies the location, type and maximum amount of development within each area (block) which may be developed providing that the maximum amount of 1.2 M SF of Retail, 1.89 M SF of Office, 3,800 Residential Units and 625 Hotel Rooms is not exceeded within the overall PD. Each block below shows a maximum amount for each use. This is shown to provide flexibility for each block. As development proceeds within each of the five blocks the ranges for retail, office, residential units and hotel rooms will fluctuate, but will not be over the maximum shown. The areas for retail, office, residential and hotel rooms if totaled together would

be over the maximum entitled development amounts, but the intent is just to provide larger amounts for the individual blocks for flexibility but will not exceed the maximum entitled amounts as adopted in the LUPA.

Block Description	Retail (SF) Maximum	Office (SF) Maximum	Residential (Units) Maximum	Hotel (Rooms) Maximum
Oakwood North West	750,000	1,500,000	2,500	475
Oakwood North East	1,000,000	1,750,000	3,000	625
Oakwood South West	1,000,000	1,750,000	3,000	625
Oakwood South East	750,000	1,500,000	2,500	475
Oakwood East	175,000	500,000	800	475

SEC (4) Building/Lot Coverage/Lot Size Standards

Building/lot coverage standards and impervious area standards apply to the Oakwood Plaza Planned Development as a whole; standards shall not be applied to individual lot(s) or development sites within the boundaries of the Planned Development. The maximum building/lot coverage standards indicated in the above table are expressed as Floor Area Ratio (FAR) and are calculated based on buildings and vertical structures only. The FAR standards do not include parking garages/structures or similar and also do not include non-habitable spaces including areas for mechanical equipment, mezzanines or similar. Impervious area standards are calculated based on buildings, vertical structures, roadways, driveways, sidewalks and parking facilities.

- (1) Lot Size Standards (acreage/sq.ft.): No minimum lot size is required.
- (2) Lot Width/Depth: No minimum lot width and/or depth is required.
- (3) The maximum lot (building) coverage shall be 90 percent.
 - o This standard shall not be applied to lease areas which tend to reflect the building pad site only and not the full lot in which the building may be located
- (4) The maximum impervious coverage shall be 90 percent.
- (5) Corner lots, multiple frontage lots and through lots shall be permitted in the PD; setbacks shall be provided in accordance with Section (5)(B) below.
- (6) Open Space: Open space inclusive of pervious spaces as well as plazas, public spaces, sidewalks, pedestrian amenities, amenity areas, public lakes, stormwater facilities or similar shall be consistent with those standards of the LUPA.



SEC (5) BUILDINGS

Building standards include those items generally pertaining to the height, perimeter setbacks and orientation; may also contain general design standards pertaining to development themes and visual appearance. As a mixed-use redevelopment project, Oakwood Plaza Planned Development has the potential for a variety of building heights and building uses according to the MDP. The building types provided in Table 2 are a template for the potential buildings within the Planned Development and are provided for reference purposes only.

General Building Comments and Notes:

- (1) Building Height. Maximum: 30 stories/300'; this provides flexibility considering the different uses proposed and the possible variety in floor-to-floor height requirements. Buildings exceeding 175' will require coordination and approval with the Federal Aviation Administration, Broward County Aviation Department and/or Florida Department of Transportation (Aviation Division), as applicable.
- (2) There shall be no minimum and or maximum building floorplate within the PD.
- (3) Buildings shall comply with the Florida Building Code, latest edition.
- (4) Building Materials shall be per those listed in subsection (E) below; additional building materials may be provided as a minor amendment to these standards. .
- (5) Building Separation: Buildings shall meet the applicable Florida Building Code requirements for separation and the adopted RAC.

(A) BUILDING TYPE

The following table provides a representative list of potential building types. Ancillary uses as noted below in Table 2 are understood to supportive in nature and include up to 49 percent of the floor area.

Table 2: Building types and Uses

Building Type	Primary Use
Type 1. Commercial	Commercial
Type 2. Office	Office: may include residential and ancillary commercial, as allowed such as live/work or other similar use.
Type 3. Hotel	Hotel: may include ancillary commercial
Type 4. Residential	Residential: may include ancillary commercial (Townhouse, Low Rise, High Rise)
Type 5. Parking Structure	Parking; may include ground floor commercial or office.
Type 6. Flex/ Other Building	All permitted uses including ancillary and accessory uses

Building Type 1 – Commercial

This building type is primarily commercial and may include an individual retail building, major retail store, part of a small retail center and may also be part of a shopping or lifestyle center. Sidewalks may include an arcade. Outdoor cafes and restaurant seating areas may be provided adjacent to the frontage.

Building Type 2 – Office

This building type is primarily office and may include residential and/or ancillary commercial. It is likely that this building type will include multiple entrances located at sidewalk level but may also be accessed from upper stories via an attached or detached parking structure.

Building Type 3 – Hotel

This building type is primarily a facility offering lodging accommodations to the general public and may provide ancillary services and other uses. These ancillary services may include commercial, restaurants, meeting rooms, entertainment and recreational facilities.

Building Type 4 – Residential

This building type is primarily residential and may include ancillary commercial in the low to high rise subtype. Building entrances to be located from the sidewalk or pedestrian areas. Building entrances may also be located within parking structures and internal accessways which may not necessarily be public in nature and provide access to the residents of the building.

Building Type 5 - Parking Structures/Garages

This building type is primarily for parking and may consist of either an independent parking structure or a parking structure with ground floor commercial, 1 to 2 story liner buildings and other similar uses and may be attached or detached. Parking garages may also be attached to the residential building and be the same height as the residential building. This is intended to allow for tenant parking on the same floor/level as their residential unit.

Building Type 6 – Flex/Other

Building Type 6 is intended to provide alternative building types which may, as part of the mixed-use nature, provide for alternative building types not identified in Building Types 1 through 5 above. Although not illustrated, Building Type 6 may be provided as part of the subsequent permitting process and may include but is not limited to industrial, park buildings, restrooms, mobility hubs, cellular telecommunication towers and accessory (related uses) for such towers, enclosed dumpster and/or similar uses.

(B) SETBACKS

Except as provided below, Front or side street: zero feet (0'); Side Interior and Rear: zero feet (0)'. Setbacks are measured from current and or proposed property lines.

- (1) Except where required to meet applicable Fire Codes and/or utility and drainage easements, no building setback is required from internal property/lot lines, and/or other structures within the PD. Setbacks shall be measured from the face of curb to the face of the building. This standard shall apply to all parcels, lots or similar including corner lots, multiple frontage lots and through lots.

- (2) Buffers and setbacks shall be identified on the Site Plans. Buffers and setbacks shall be measured from the external PD property line or at the right-of-way line.
- (3) Building Attachments as identified in Section (C) below, may encroach into the required setbacks providing they do not interfere with pedestrian, vehicular movements and proposed landscape buffer, or restrict utilities. Building Attachments included in this PD are not subject to City Code.
- (4) Buildings are not required to be relocated if the setback is reduced due to future right-of-way dedication(s) after the building has been constructed.

(C) BUILDING ATTACHMENTS

Building Attachments are generally defined as any feature secured to the façade of the building, such as awnings, loggias, arcades, or similar. Awnings, canopies, or similar shade structures may be provided and may encroach into prescribed building setbacks provided they do not interfere with pedestrian, landscaping materials, and/or vehicular movements. Graphics, including signage may be affixed to building attachments as regulated by the PD. Encroachments by awnings, overhangs and other building features into vehicular and pedestrian-ways are allowed within the PD to the extent limited by the vertical clearance standards within the development. Encroachments can include awnings, overhangs, accessory buildings, etc and will be designed in accordance with the standards established in these PD.

(D) BUILDING ARCHITECTURE

- (1) Design Intent
 - i. The buildings within the PD are to be designed to create a high-quality signature character while providing a visually interesting mixed-use development. Buildings are exempt from the specific standards of Section 4.23; buildings, building features and articulation are to be provided with the respective Site Plans and as provided below.
- (2) Building Design
 - i. Building facades shall be designed to continue the character established by the front or primary building facade. Buildings located at an internal roadway corner shall feature a distinct corner element.
 - ii. Building facades shall include articulation of the building facade to reduce the overall mass of the walls. This articulation shall include:
 1. Façade projections and recesses that may be coordinated with changes in wall color or material



- 2. Variation in overall building height
- 3. Arcade/colonnade, Canopies or Balconies
- iii. Exemption to this standard includes Service Areas. Those portions of the building enclosed or screened for service will not require articulation.
- (3) Building Materials
 - i. The building materials will serve as a reinforcement to the objective of creating a high-quality signature character for the PD and shall consist of hard, durable materials that convey an impression of permanence and durability. Materials such as masonry, stone, Synthetic stucco, glass, metal panels, composite panels, terracotta panels, and tile are encouraged.
 - ii. Building materials shall be used to compliment the architectural style of the building and vary in texture and type to accentuate the public entrances / exits, façade projections and other architectural features.
 - iii. Glass used as an exterior material shall be clear or lightly tinted. The use of reflective glass will require coordination and approval with the Federal Aviation Administration and/or Florida Department of Transportation (Aviation Division).
 - iv. Existing buildings shall be exempt from this standard until redeveloped consistent.
- (4) Building Colors

The color palette for the exterior building materials shall compliment the architectural style and shall be neutral tones with accent colors. An accent color may be used to emphasize architectural form or material texture.

Accent colors may also be used to emphasize the brand of the retail establishment in Type 1 Commercial Buildings.

(E) LOADING/UNLOADING SPACES

Loading for all proposed developments shall occur internal to the building footprint or from the alley and shall be visually screened from public view as practical. Public rights-of-way, excluding alleys shall not be utilized for maneuvering associated with building loading access. Loading areas shall be convenient to the building(s) in which it serves. Due to the compact nature of the PD, no minimum number of loading/unloading spaces shall be required. The sharing of such spaces (areas) between individual tenants, uses and buildings within the PD shall be permitted. For proposed code deviations see appendix B

(F) SERVICE STRUCTURES AND USES

These standards are intended to guide the design and development of service structures and uses including dumpsters and HVAC units, utility boxes and other similar equipment.

- (1) Building Mechanical, Electrical, Communication and Service Equipment
 - i. Wall-mounted mechanical, electrical, communication, and service equipment, including satellite dishes and vent pipes, shall be located in the building service area. Screening shall be as required under building service and loading areas per Section F Loading / Unloading Spaces.
 - ii. Rooftop and sidewall mechanical equipment and other extensions allowed above the building height shall be concealed by or integrated within the roof form or screened from view of the public right-of-way. The following appurtenances or necessary extensions above the roofline that require

screening include air conditioning units, large vents, heat pumps and mechanical equipment.

(2) Building Refuse Collection

- i. Trash dumpsters are to be located in close proximity to the building service areas. For trash dumpsters not located within an enclosed service area provide screen walls that are constructed using materials as listed in the code, complementary material as the adjacent building; landscaping can be provided to screen these areas as well in addition to required wall. Dumpsters, compactors and similar uses shall be enclosed within buildings or screened using walls or fences to match the architecture and color of the building which it serves.
- ii. Trash compactors attached to the building are to be located within the building service area and screened as required under building service and loading areas per Section F Loading / Unloading Spaces.
- iii. There are no minimum or maximum trash/dumpster enclosure sizes. Pedestrian openings are not required except for residential users. Trucks accessing dumpsters are not allowed to back into public roadways or private Roadways, as where practical, and identified through signage or other similar means. Where loading/unloading is proposed within the roadway, at least one vehicular travel lane shall be preserved to ensure the flow of traffic. Dumpsters shall follow the same setback requirements as principal structures.

(3) Vehicular service areas for multiple buildings shall be consolidated whenever practical.

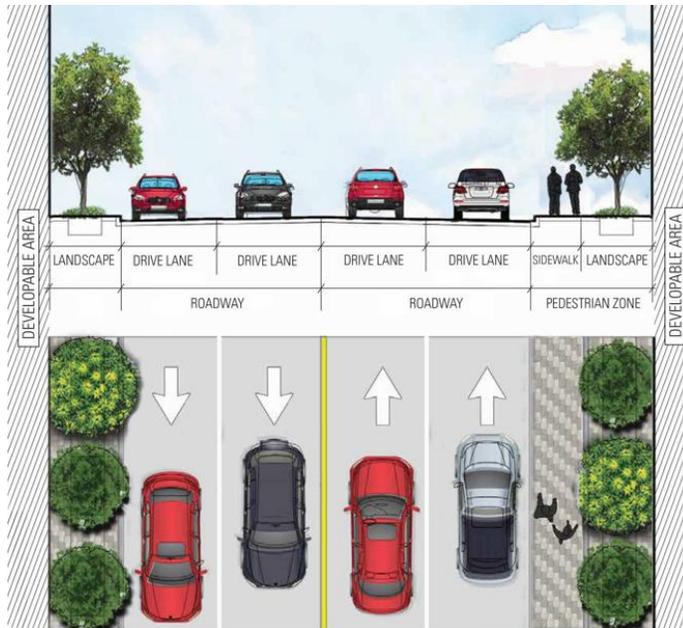
SEC (6) CONNECTIVITY

Transportation systems are understood to include facilities providing both vehicular and non-vehicular connections within the Oakwood Plaza Planned Development project including incorporating internal multi-modal opportunities. The boulevards, streets and drives (collectively referred to as the "Roadways") throughout the PD will create the framework of redevelopment by providing new developable building areas with both vehicular and pedestrian connectivity. The roadway and sidewalk networks within the PD will be privately owned and maintained, and designed to meet the criteria within these development guidelines and the applicable sections of the Planned Development will be designed to applicable roadway standards, such as FDOT and Broward County. Onsite roadways and sidewalks will be designed to these PD and the applicable portions of the City Code. There currently is a sidewalk that connects to Stirling Road and NW 26th Avenue that will remain for the future development.

Typical Roadways are understood to be constructed as redevelopment occurs and any changes to the Primary roadway shall be designed to meet the criteria outlined in this section. The existing Primary roadway as well as any existing parking and development along the existing roadway shall be grandfathered into the PD.

1. Existing Oakwood Boulevard:

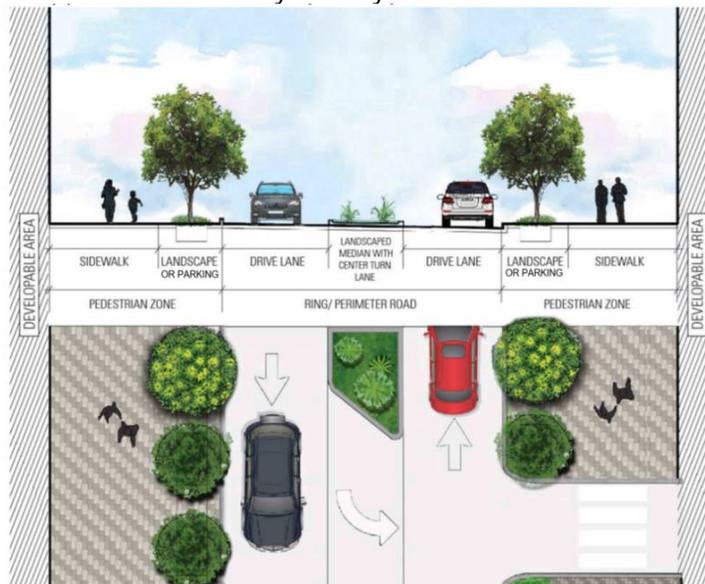
The existing four lane boulevard has two lanes in each direction with a sidewalk and landscaping as shown below. The boulevard may be used for this development.



2. Primary Roadway:

The Primary Roadway services as the central “spine” connecting the blocks to the existing arterial roadways (Stirling Road to the north and Sheridan Street to the south). The Primary Roadway shall generally conform to the following cross-section:

(1) Standards for the Primary roadway:



- i. A minimum of three lanes with one lane as a dedicated turn lane that can be a landscaped median when not utilized as a turn lane. The center lane is only required at intersections.
- ii. Although drive lanes are permitted to be a minimum of eleven feet (11') wide, for fire truck clearance purposes, one-way drive lanes separated by medians and parking shall be a minimum of fifteen feet (15') wide if included adjacent to the

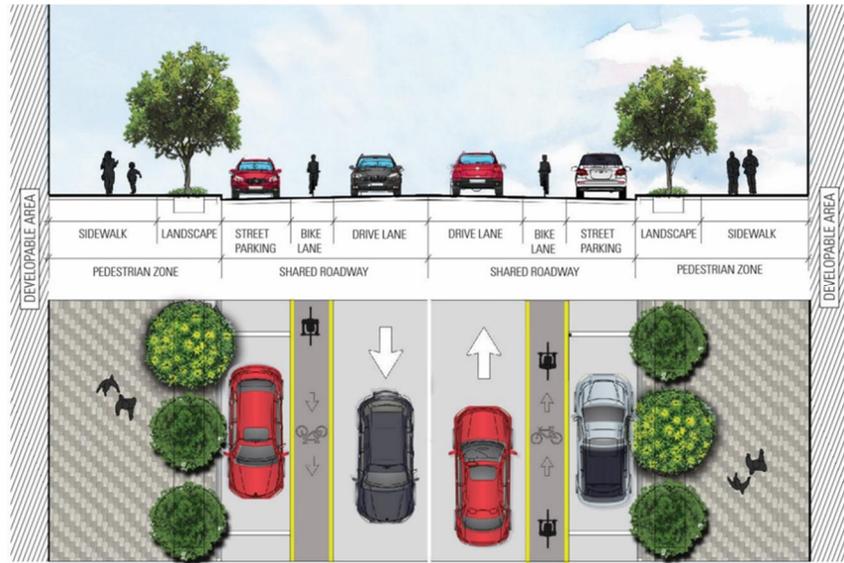
travel lane in place of landscaping. Dedicated bike lane is not required; however, may be provided.

- iii. Street parking is allowed but discouraged to maintain a consistent flow of traffic.
 - iv. A pedestrian zone may be provided between the travel lanes / parking areas and the building areas. The pedestrian zone, if utilized, shall be at least ten feet (10') measured from the back of curb and shall consist of landscaped areas and sidewalk / pedestrian areas.
 - v. Pedestrian zone can include the following:
 - a. Light Poles given that ADA compliance is provided and met.
 - b. Street trees, which may be in tree grates, planters and similar. Street tree, shrub, and ground cover quantities shall be consistent with Section 8.
 - c. Site furnishings, including and not limited to, benches, tables, chairs, potted plants and trash receptacles
 - d. Art installations, including sculptures
 - e. Water features
 - f. Bicycle rentals and racks
 - g. Interconnectivity, ramps, sidewalk connections, planters
 - h. Canopies, trellis, and fabric awnings that are cantilevered and provide a minimum nine feet (9') high clear
 - i. Outdoor dining providing a clear zone
 - j. Kiosks (such as retail or other appropriate type)
 - k. Totems
 - vi. Areas outside the limits of the PD such as existing parking and existing development are not subject to these standards and shall not be required to construct the pedestrian zone.
 - vii. The image shown above is graphical in nature and is not intended to require buildings or other improvements to be constructed outside of the PD boundary.
3. Secondary Roadways (Avenues and Boulevards)

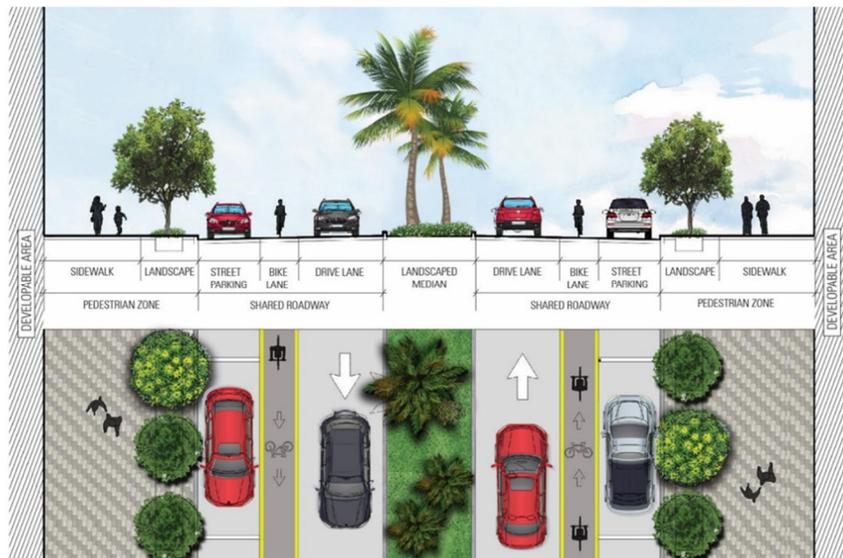
Secondary roadways are internal to the Primary roadway and shall consist of Avenues and Boulevards. The Secondary roadways are the main internal thoroughfares for vehicular, pedestrian and cyclist connectivity. Secondary roadways establish the main developable building areas. They shall be designed to meet the criteria outlined in this section.

(1) Standards for Avenues and Boulevards:

- i. Avenues shall generally conform to the following typical section:



- ii. Boulevards shall generally conform to the following typical section:



- (2) Criteria specific to Secondary roadways:

Standards for the Secondary roadway:

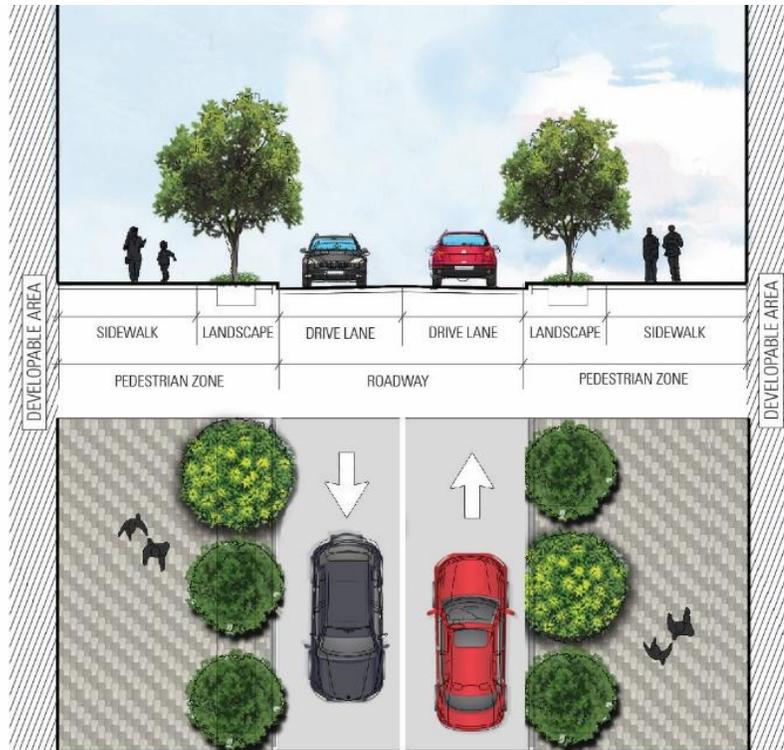
- i. Bike lane, if utilized, shall be a minimum of four feet (4')
- ii. Two lanes, one in either direction, and may be separated by a median. Drive lanes shall be a minimum of eleven feet (11') wide. Although drive lanes are permitted to be a minimum of eleven feet (11') wide, for fire truck clearance purposes, one-way drive lanes separated by medians and parking shall be a minimum of fifteen feet (15') wide.
- iii. Street parking is encouraged and can be either parallel or angled. Street parking shall be designed to meet the criteria in Section 7.

- a. A pedestrian zone may be provided between the travel lanes / parking areas and the building areas. The pedestrian zone, if utilized, shall be at least twelve feet (12') measured from the back of curb and shall consist of landscaped areas and sidewalk / pedestrian areas.
- b. Pedestrian zone can include the following:
 - i. Light Poles given that ADA compliance is provided and met.
 - ii. Street trees, which may be in tree grates, planters and similar. Street tree, shrub, and ground cover quantities shall be consistent with Section 8
 - iii. Site furnishings, including and not limited to, benches, tables, chairs, potted plants and trash receptacles
 - iv. Art installations, including sculptures
 - v. Water features
 - vi. Bicycle rentals and racks
 - vii. Interconnectivity, ramps, sidewalk connections, planters
 - viii. Canopies, trellis and fabric awnings that are cantilevered and provide a minimum nine feet (9') high clear
 - ix. Arcades (upper level extending beyond ground level) provided columns fall in landscaped areas or planters, with a minimum three feet (3') clear from back of curb and a minimum nine feet (9') high clear is maintained, and meets all ADA requirements.
 - x. Outdoor dining providing a clear zone
 - xi. Kiosks such as retail or other appropriate type)
 - xii. Totems

(3) Minor Roadways (Drives and Streets)

Minor roadways are internal to Primary and Secondary Roadways and shall consist of Streets and Drives. The Minor roadways facilitate vehicular and pedestrian circulation between various buildings within the blocks / pods established by the Primary and Secondary roadways. They shall be designed to meet the criteria outlined in this section.

- I. Two-way drives shall generally conform to the following typical section:



MINOR STREET SECTION

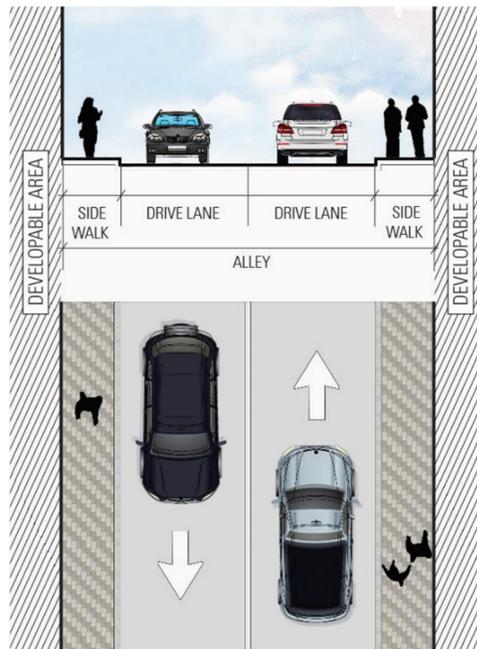
Standard for Minor Roadways:

- i. The Minor roadways shall consist of the following:
 - a. Drive lane shall be a minimum of eleven feet (11') wide. If separated by medians or traffic separators, fifteen feet (15') clear drive aisles are required for fire truck access.
 - b. One-way drives shall be fifteen feet (15') wide
 - c. Bike lane is not required
 - d. Street parking is allowed, and can be parallel, angled, or perpendicular
- ii. A pedestrian zone may be provided between the travel lanes and the building areas. The pedestrian zone, if utilized shall be at least ten feet (10') measured from the back of curb and shall consist of landscaped areas and sidewalk / pedestrian areas.
 - a. Pedestrian zone can include the following:
 - i. Light Poles given that ADA compliance is provided and met.
 - ii. Street trees, which may be in tree grates, planters and similar. Street tree, shrub, and ground cover quantities shall be consistent with Section 8.
 - iii. Site furnishings, including and not limited to, benches, tables, chairs, potted plants and trash receptacles
 - iv. Art installations, including sculptures
 - v. Water features
 - vi. Bicycle rentals and racks
 - vii. Interconnectivity, ramps, sidewalk connections, planters

- viii. Canopies, trellis and fabric awnings that are cantilevered and provide a minimum nine feet (9') high clear
- ix. Outdoor dining providing a clear zone
- x. Kiosks (such as retail or other appropriate type)
- xi. Totems

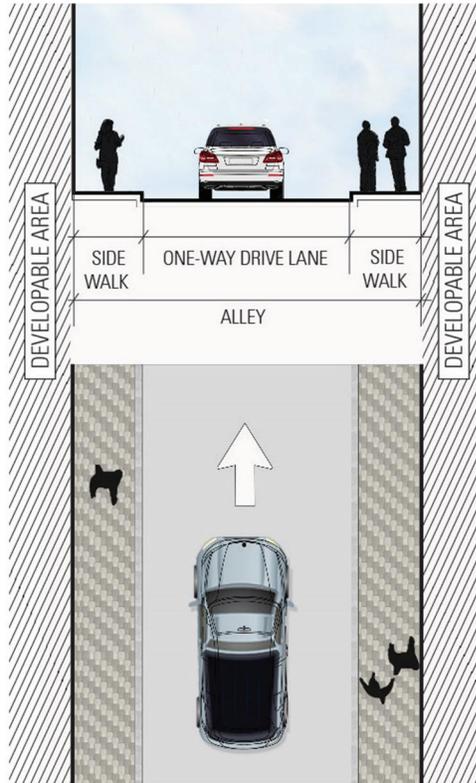
(4) Tertiary Roadways (Accessways and Alleys)

Tertiary roadways are internal to the Primary, Secondary and Minor roadways and shall consist of Accessways and Alleys. The Tertiary roadways provide access to internal areas of the developable areas such as parking lots, garages, service areas, loading areas and pick-up areas. They shall be designed to meet the criteria outlined in this section.



- i. Two-way accessways shall generally conform to the following typical section:

- ii. One-way accessways shall generally conform to the following typical section:



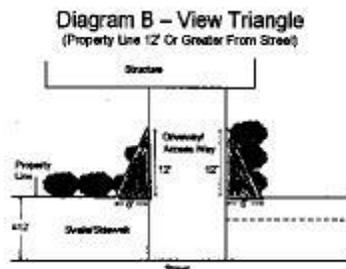
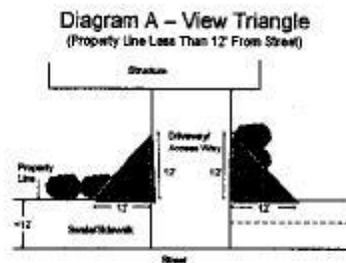
- iii. Criteria specific for Tertiary roadway design:
 - i. One-way accessways and alleys shall be a minimum of fifteen feet (15') wide.
 - ii. Two-way accessways and alleys shall be a minimum of twenty-two feet (22') wide.
 - iii. Tertiary roads are primarily for vehicular access and service, thus pedestrians are encouraged to use other roadways
 - a. Sidewalks shall be a minimum of five feet (5'), and can be reduced to three feet (3') if not used for accessible ingress/egress
 - b. Sidewalks are not required on both sides of the road
 - c. Dedicated bike lane is not required
 - d. Street landscape is not required
 - e. Street parking is allowed, and can be parallel, angled, or perpendicular

Additional general criteria for roadway design:

All internal roadways shall conform to the following standards:

- i. Roadways shall provide drainage facilities either through curb and gutter system, crown, inverted crown or alternate.
- ii. Traffic calming measures including but not limited to roundabouts, traffic circles, traffic tables, speed bumps, bulb-outs/neck-downs or similar (including roadway "chokers"), chicanes, signage, striping, raised pedestrian crossings, etc., may be provided within the internal roadways.

- iii. Six inch (6") vertical curbs, whether with or without gutter, are allowed, but in no case shall extruded curb placed on top of asphalt be allowed.
- iv. Bike lanes within a striped area and/or pavement markings (sharrows) may be provided. Where provided, on-road bike lanes shall be a minimum of four feet (4') wide. Sharrows are intended for use on one-way drives or single drive aisles separated by medians. Lanes upon which a sharrow may be provided shall be a minimum of fifteen feet (15') wide and sharrows shall be marked on the pavement. Sharrows and bike lanes may be painted white or green.
- v. Encroachments such as awnings and canopies may be allowed where the height provided does not conflict with vehicular traffic and landscape materials.
- vi. Pavers, stamped asphalt and concrete, and other surface treatments are allowed for use on all internal drives, streets, sidewalks, parking and crosswalks.
- vii. Sight triangles at intersections with public roadways shall conform to City/governmental requirements. View triangle area (all zones).
 - (1) The view triangle is the area adjacent to an access way and the private property line where the access way intersects a street. For properties in which the property line parallel to the street and adjacent to the subject access way is located less than twelve feet (12') from the street, the view triangle area is delineated by a line connecting points measured twelve feet (12') distant along the property line from the intersection of the access way and twelve feet (12') distant along the access way, as depicted in Diagram A. For properties in which the property line parallel to the street and adjacent to the subject access way is located more than twelve feet (12') from the street, the view triangle area is delineated by a line connecting points measured twelve feet (12') distant along the property line from the intersection of the access way and six feet (6') distant along the access way, as depicted in Diagram B.



- viii. Medians are allowed within all roadways and are allowed to be planted in accordance with Section 8, however in no case shall a planted "green" median be narrower than two feet (2').

- ix. Landscape between buildings with storefronts or outdoor patios adjacent to roadways is allowed to be placed within tree planters, tree grates, and similar.
- x. Sidewalks may be attached to curb or detached. Sidewalks shall be constructed to meet minimum density requirements set forth by the City Code and as recommended by a licensed geotechnical engineer. Accessible handicap ramps will be provided where required to accommodate the mobility needs of patrons.

(A) SIDEWALKS

Sidewalks are intended to complement the overall compact urban form envisioned by Oakwood Plaza and further add to the projects, multimodal connectivity and pedestrian scale designs. Sidewalks are provided as part of the urban fabric providing for not only pedestrian movements but also for other pedestrian oriented uses and features including out-door seating and public gathering spaces.

- (1) Sidewalks as referenced above serve as the main pedestrian facilities and shall be designed to create a comfortable, outdoor public space to accommodate a range of active and passive pedestrian activities. Sidewalks and pedestrian corridors within the PD shall maintain a clear unobstructed width and maximum slopes as required by the latest Florida Accessibility Code.
- (2) Sidewalks can be attached to curbs or detached.
- (3) Sidewalks shall be constructed to meet minimum density requirements set forth by the City code and as recommended by a licensed geotechnical engineer.
- (4) Pedestrian crossings will be highlighted by changes in material, finish treatment, and or elevation, including, but not limited to, stamped or colored concrete and pavers. Striping may also be used. In addition, appropriate pedestrian treatments, such as handicap ramps will be provided at all intersections and pedestrian crossings, where needed, to accommodate the mobility needs of patrons.
- (5) "Squeeze" points along sidewalks and pathways shall meet ADA requirements.

(B) PUBLIC SPACES

Public Spaces shall also be counted towards open space standards and may be used within PD to highlight prominent areas of the project and to provide opportunities for formal and informal gatherings, pedestrian congregation and other social encounters; outdoor vendors including "food trucks" may be provided on a temporary basis within public spaces. A public space would include open space, plazas, arcades, courtyards, multipurpose fields and will be in the areas noted currently in the PD Entertainment District (Appendix F) and would be where band stands / stages / amphitheater would be limited to. Entertainment district could also include the same amenities of a public space. Public spaces may include storm water facilities or similar, the storm water facility shall be designed to complement the public space through the use of pedestrian pathways, benches, shade structures, signage or similar features. Public space(s) should be located in areas with increased visibility from roadways and in prominent areas of the project.

(1) Water Features

Water features may be used within open space areas of the PD, within medians or within lots/blocks. The water features may include large or small fountains that are either interactive or formal.

(2) Site Amenities/Hardscape

Pedestrian-scale site amenities and hardscape features shall be included within the PD. These may include seating opportunities, such as benches, low walls and wide planter edges, pedestrian scale lighting, trash receptacles, bicycle racks, bollards, drinking

fountains, kiosks, tables and chairs. Site Amenities listed below are the recommended materials within the PD; materials may be substituted with like kind materials of similar quality and or color as part of a Site Plan: It is understood that Master Developer branded items and features, i.e., those including the Master Developer's logo, brand and or name, may be used throughout the Project and shall not count towards or be considered as signage.

- a. Tree Grate –Chinook (or other product that is ADA compliant)
- b. Bike Rack (Ring or FGP)
- c. Bench (Parc Vue or SCB 1600)
- d. Litter Bin (Chase Park or MLWR200)
- e. Lounge Furniture (Madagascar)
- f. Permanent and Retractable Bollard (Stainless)
- g. Additional Items include but not limited to (materials to be determined at Site Plan):
- h. Public Art
- i. Fountains
- j. Statuary
- k. Accent Lighting Landscape planters

(C) TRANSIT

Oakwood Plaza Planned Development proposes to maintain the current location and number of transit stop locations including improvements. The site circulation is (will be) laid out such that buses may route internally should transit route onsite (internal).

SEC (7) PARKING

The Oakwood Plaza Planned Development has the ability to share parking facilities, surface, structured and on-street within and between individual uses including the respective mixed-use areas. In addition, parking facilities shall be subject to the following:

General:

- (1) Arrangement of spaces. Parking areas shall be so arranged that any automobile may be parked/ unparked without moving another, except for parking structures which may be designed to allow tandem parking and/or valet services.
- (2) No parking space may encroach, hinder or otherwise block a public roadway, ~~or an~~ internal Boulevard, or Avenues.
- (3) Combined loading areas. Collective, joint or combined provisions for loading areas for two or more buildings or uses may be made.
- (4) Valet parking spaces shall be eight feet six inches (8.5') wide by 18' deep minimum.
- (5) Parking spaces may be located within required building setbacks.
- (6) Parking facilities including spaces and drive aisles may be used for special events and temporary uses providing emergency service access is not restricted.
- (7) Off-street parking provides surface parking within a lot located off a public roadway or internal boulevard. In general, surface parking shall be provided with 90-degree parking, 45-degree or 60-degree parking.
 - a. 90-degree stalls with a minimum dimension of eight feet six inches (8.5') feet wide by

eighteen (18) feet deep with a minimum drive-aisle of twenty-four (24) feet wide; a one-way drive aisle may be a minimum fifteen feet (15') wide. This length may be reduced to sixteen (16) feet where a two (2) foot overhang is provided over landscape. Where the two-foot overhang is provided over a sidewalk, a minimum clear width for accessibility standards shall be maintained.

- b. Angled parking (45 degree and 60 degree) may be used within the PD. For 45-degree angle spaces, on-street parking spaces shall be a minimum of eight feet six inches (8.5') by 19'3" and 60-degree angle spaces eight and half (8.5') by 20'8" with a minimum drive aisle width of 13.5' for 45 degree and 15' for 60 degree.
 - c. Accessible spaces shall meet latest ADA requirements.
- (8) On-street parking provides additional parking opportunities and greater access to businesses. On-street parking spaces shall be a minimum of eight and a half (8.5') feet wide by eighteen (18) long for angled parking or eight and a half (8.5) feet wide by twenty-three (23) feet long for parallel; this length may be reduced to sixteen (16) feet where a two (2) foot overhang is provided over landscape. Where the two-foot overhang is provided over a sidewalk, a minimum clear width for accessibility standards shall be maintained. Where on-street parking occurs, mid-block crossing opportunities will be provided.
 - (9) Vehicle stacking spaces shall measure eight feet six inches (8.5') feet wide by eighteen (18) feet long and shall be provided in a number sufficient for the use of the tenant. A bypass lane is not required.
 - (10) Structured parking provides an increase in the amount of parking provided within a smaller footprint. Some surface parking may be converted to structured parking. Structured parking may be provided as part of proposed commercial, residential, hotel or office uses or independent of any other use.
 - (11) The design and outward appearance of parking facilities and structures (garages) shall incorporate design elements of the PD. Structured parking shall be considered a building and be held to the same requirements noted for buildings. Such uses must be screened landscape features, hardscape features including but not limited to pedestrian facilities, benches, signage, kiosks (retail or other), or similar. Parking structures /facades shall be screened by either liner buildings not to exceed two stories in height or through the use of building design/architectural features; such features shall not exceed 50 percent of the façade to allow for increased light and ventilation.
 - (12) Parking within structures may be eight feet, six inches (8'-6") wide by eighteen (18') feet long. A one foot (1') clearance from columns and walls is allowed. Parking garage slopes may vary per structure design. If the lower floor of structures is designed to accept sanitation, emergency or maintenance vehicles are designed to be allowed to the lower floor of structures, a fourteen feet (14)'clearance shall be provided. The Florida Building Code minimum width and clearance must be maintained at all times.
 - ~~(13)~~ Compact spaces shall be a minimum of eight feet wide (8') by sixteen (16') feet long. Compact spaces shall be marked / designated on the Site Plan and when constructed.
 - (14) Dead end parking aisles are permitted when a bump out or back up area is provided. These areas are not permitted to serve as loading/unloading areas unless otherwise noted on the site plan.
 - (15) To the extent feasible, the maximum distance from any parking structure/facility to proposed buildings will be 1000 feet. This is in order to promote walkable and accessible development.
 - (16) The use of wheel stops is discouraged within the PD. If a curb, curb-stop, bollard or similar cannot be provided and wheel stops are used, they shall be painted, provide reflective materials or otherwise set aside from the parking space for increased visibility. The use of wheel stops requires the Planned Development Master Developer's approval.
 - (17) Parking may be shared between uses and buildings provided the minimum parking standard, below, is provided for the entirety of the Oakwood Plaza Planned Development.

(18) Parking spaces / areas may also be used for short-term pickup of people, goods or services including ride-share and mobile delivery services. Where provided, these spaces shall count towards the overall parking provided within the PD and not be excluded.

Required Number of Spaces for Parking. Due to the nature of the Oakwood Plaza PD incorporating commercial/retail, office, hotel, residential and related open spaces, it is understood that mixed use projects are intended to provide for shared infrastructure including parking facilities whether in the form of surface parking and or parking garages. The required minimum number of parking spaces for each use shall be:

Minimum Parking Standard:

(1) Non-Residential Uses

Commercial/Office:

3.5 spaces per 1,000 square feet Gross Leasable Area (GLA) using Building Owners and Managers Association (BOMA) Industry standards (includes retail, restaurant, financial, fitness & spa, entertainment; no additional parking is required for outdoor dining area/seating)

Hotel/Lodging: 0.5 spaces per room (Supporting uses provided as part of a hotel or similar use (i.e., restaurant, offices, and convention/meeting space within hotel) are included in the parking rate and shall not require additional parking)

(2) Residential Uses

Apartments, condominiums, townhouses, etc:

1.0 spaces per one dwelling unit ,1.5 spaces for two or more dwelling units.. Due to the nature of the PD, no additional parking for guests or other shall be required.

Bicycle parking:

Bicycle racks will be provide based on minimum code requirements or what is appropriate based on users whichever is less stringent.

Electric Vehicle (EV) Charging Parking:

- i. EV parking stalls are counted as part of the overall required number of parking spaces. Within mixed-use or non-residential areas, electric vehicle charging kiosks shall be allowed where parking spaces are provided.
- ii. Within residential parking areas, electric vehicle charging stations shall be encouraged as an amenity for the occupants of the residential units.

Exempt Parking Uses:

- i. Outdoor dining
- ii. EV Charging
- iii. Valet parking
- iv. Community centers,
- v. Recreational facilities,
- vi. Other places of public assembly,
- vii. Outdoor theaters/amphitheater,
- viii. Similar uses.

SEC (8) LANDSCAPING-BUFFERING

Landscaping, including vehicular use areas, within PD shall be integrally designed to enhance the high-quality signature character and visual interest of the overall development while implementing Florida Friendly design principles. Landscaping shall be used and located throughout the development as outlined within the PDs. Buffers and landscaping are proposed based on the intensity of development within the planned development areas. There shall be no required landscape buffers or yards between any structure, property line, lease line, boundary line and similar demising lines internal to the PD, except for the typical street and roadway cross-sections guidelines provided. Buffers along public right of way shall be grandfathered if no changes are proposed. If changes are proposed to the public frontages buffer type 1 will be use.

Where provided and identified on a future Site Plan application, the following buffer types shall be provided. Buffers are not required to be relocated if the setback is reduced due to future right-of-way dedication(s). A list of proposed deviations in the code is shown in Appendix D

(1) Buffer Dimension and Design. The following establishes the minimum buffer design requirements and minimum widths:

1. Type 1 Buffer: Five feet (5') width – one (1) canopy tree and five (5) shrubs for every 40 linear feet.
2. Type 2 Buffer: Ten feet (10') width – one (1) canopy tree and one (1) intermediate or small Tree and five (5) shrubs for every 40 linear feet. Trees shall be staggered within the buffer width to provide a tiered effect.
3. Type 3 Buffer: Fifteen feet (15') width – one (1) canopy tree and one (1) intermediate or small Tree and five (5) shrubs for every 40 linear feet. Trees shall be staggered within the buffer width to provide a tiered effect.

Within Buffers, the required trees and shrubs may be clustered to provide view corridors to signage and allow for clearance for utilities, drainage, and visibility at intersections. The distance between landscape cluster areas shall not exceed eighty feet (80') feet subject to the location of roadways, driveways, signage and or infrastructure. Buffers shall not be required where overhead, underground or similar utilities are provided and or present, and shall not be required to be relocated elsewhere on the property to meet this standard. This also applies to those locations where emergency services including fire department access is needed and such access impacts a buffer and or landscape areas.

(2) Additional Buffering Standards:

1. Fences, walls, and hedges are allowed along the interior edge of the buffers as well as throughout the development. The maximum height of fences and walls is eight feet (8) based on code for non-residential zone. Barbed wire fences are prohibited. Site visibility triangles requirements shall be met.

(3) General Landscape Standards:

1. Landscaping is encouraged as a tool to enhance the pedestrian experience, beautification, delineation of access, features, architecture, and environmental enhancement. In general, landscaping when used within a sidewalk shall include trees that provide shade and aesthetic enhancements without conflicting with vehicle or pedestrian movement, awnings or signs.

2. Landscape and Irrigation Plans are required and may be at a consistent scale as the site plans provided as part of specific submittals to the City.
 3. Tree grates within sidewalks and other publicly accessible areas shall be provided for trees planted within sidewalks less than ten feet (10') in width. Where tree grates are not provided, raised curbs, shrubs, or other material will be provided.
 4. Root Barriers:
 - a. Trees installed within five feet (5') of utilities, or a sidewalk shall provide a root barrier; utilities and site amenities may be permitted to within seven feet, six inches (7'-6") of a tree.
 5. Tree Equivalency Standards. For the purposes of calculating required trees (but not for mitigation replacement):
 - a. Five (5) Large Palms from approved list may count as 1 canopy tree. All other palms shall have eight feet (8') CT and counted as 3:1
 - b. A grouping of three (3) palm trees with a typical DBH at maturity of less than twelve inches (12") shall be the equivalent of one (1) canopy tree.
 - c. Palms with typical DBH at maturity of less than twelve inches (12") that are specified with trunks emerging from a common root ball shall be equivalent to one (1) palm tree.
 6. Irrigation plan submittals will be provided per City Code for construction permit submittals. Irrigation will be installed prior to the certificate of occupancy.
 7. Low-volume drip irrigation may be provided in narrow landscape spaces to avoid overspray onto paved surfaces.
 8. Mitigation requirements as outline under section 106.29 will be followed except for item (C) remuneration in lieu of replacement. We are proposing that if any replacement costs are required for removing trees required prior to building permit, these costs would be allowed to be used for public art, pedestrian walkway enhancements, building façade enhancements for the public, open space amenities or other similar items for this particular project.. Street Trees shall be planted along Boulevards, Drives and Avenues, per the following parameters:
 1. Boulevard street trees: One (1) Canopy tree, intermediate tree or palm at fifty feet (50') on center (max) spacing at road edges and 40 feet on center (max) spacing within medians.
 2. Drive and Avenue street trees: One (1) Canopy tree, intermediate tree, or palm at forty feet (40') on center (max) spacing at road edges, planted in a min 4'x4' tree grate, tree planter or as part of a landscaped strip at the road edge.
- (4) Landscaping within non-buffer areas shall be consistent with the following:
1. Parking structures and garages shall be exempt from landscaping requirements
 2. An area, or combination of areas equal to 8% of the total vehicular use area (VUA), exclusive of perimeter buffers, is required to be devoted to interior VUA landscaping. This standard shall be applied on the overall PD. and is not required for each block, parcel, or individual development. Furthermore, the VUA standard only applies to surface parking and or driveways serving such areas; no VUA is required for parking garages or similar.
 3. Required landscape for non-buffer landscape areas, inclusive of interior VUA landscaping:

- a. One (1) tree or palm and ten (10) shrubs are required for every 2,000 square feet of required non-buffer landscape area, excluding specific purpose landscaped open spaces such as designated recreation spaces (including safety zones), grass amphitheaters, stormwater treatment areas, swales, or similar.
 - 4. Landscape islands shall be provided at the ends of a parking aisle and are encouraged throughout the surface parking areas to break up the expanses of the parking area. Islands must be of sufficient width to accommodate the plantings being proposed within them or root barriers, drip irrigation and other methods shall be implemented. Interior landscape islands may be clustered so as to provide larger, functional islands at the end caps.
 - 5. Terminal and intermediate islands shall generally require at least one (1) tree or palm and shall be a minimum of seven feet (7') wide (back of curb to back of curb) or as practical to provide a suitable planting area. Terminal and intermediate islands must be a minimum of seven feet (7') wide for a Canopy tree. A maximum of 20 spaces may be provided between intermediate landscape peninsulas. Wider end islands may be provided if intermediate islands are not provided.
 - 6. All landscaped areas adjacent to VUAs shall be protected by raised curbing.
 - 7. A separate buffer is not required between the vehicle use area, public right-of-way and or a building in excess of those required at the property perimeter.
- (5) Project entrances shall provide enhanced landscaping and design; however, entrance landscapes are not required to exceed the minimum requirements of these PDs.
- (6) Plants
- 1. The plant palette used for the Oakwood Plaza PD shall be composed of a minimum 50 percent native species and nursery stock grown within the region. Trees, shrubs and similar shall, at a minimum, meet Florida No. 1 standards. Plants that are identified as category I and II invasive species per Section 825-50 (Definitions) of the Hollywood Code of Ordinances are prohibited. Plant species should complement the design of previously installed portions within the Oakwood Plaza Planned Development, applying the design precedence observed for previously approved parking lots, buffers, building foundations, and internal roadway plantings. Plant species identified in the Hollywood Landscape Technical Manual shall be utilized for at least 75% of all plantings per landscape plan application.
- (7) Open Space: The Design Guidelines will comply with the standards from the LUPA. Approximately 2.50 acres of open space will be incorporated into the overall 112.50 gross acres as a wet pond/dry pond or other allowed use.

SEC (9) SIGNAGE

Master sign plan shall be approved administratively subsequent to the adoption of these PD. A list of proposed deviations in the code is shown in Appendix C.

Signage shall be designed to complement the architecture and designs within the District and shall adhere to the following:

General provisions:

- (1) The types of signs permitted within Oakwood Plaza include, monument, pylon, and pedestal signs, blade signs and letters fixed directly to building walls, projecting and hanging signs, and neon and dynamic LED Digital Display signs for media uses; billboard and similar signage types as regulated by FDOT are also permitted. Digital signs including those identified in Subsection (4).2 and (4).3 below, and or oriented to FDOT right-of-way shall follow FDOT requirements.
- (2) Internally illuminated cabinet signs (i.e., box signs) directly mounted to the wall are not permitted.
- (3) Existing signage within the existing Oakwood Plaza shall not count towards the following Signage Standards; the following apply to new and or redevelopment only.
- (4) The Oakwood Plaza Master Sign Plan (Site Sign Plan) will include all ground signage, excluding tenant and building signage. The Master Sign Plan is schematic in nature and individual signs may be relocated during the Site Plan process providing the size (i.e., sign copy) and sign type is not exceeded. In addition, sign structure, details, colors and materials that do not impact the sign copy may be modified through design process.
 1. Signage including Project Identification Signage, located not closer than one hundred feet (100') to Stirling Road and I-95 are exempt from signage requirements. Those signs within one hundred (100') of Stirling Road and I-95 will be regulated as per this section
 2. Maps/Map Stands and Kiosks are exempt from signage requirements.
 3. Wayfinding and similar internal signage including valet parking signage, shall be governed by the standards listed below.
 - a. Wayfinding signs shall only be used on a localized level in close proximity to the destination when there is no conflict with traffic signs.
 - b. Wayfinding signs shall have a standardized character and be constructed of attractive and durable materials.
 - c. Wayfinding signs shall be developed as a family of signs for different uses.
 - d. Wayfinding signage shall be designed at an appropriate size to relate to the intended reader. For instance, vehicular wayfinding signs shall be larger to be readable at greater speeds, whereas pedestrian signs shall be smaller and on shorter bases.
 - e. Where located within Florida Department of Transportation (FDOT) facilities, wayfinding signage must adhere to the FDOT Plans Preparation Manual as may be amended.
 - f. Signage along I-95 may be raised and or exceed the maximum sign heights listed below if improvements to I-95 are undertaken including the provision of a flyover or similar elevated travel surface obscures the specific signs and or their visibility.
- (5) Sign standards: in addition to those signs provided above, the following sign standards shall apply within Oakwood Plaza Planned Development.
 1. Existing Billboards located along I-95 may be relocated and reconstructed in accordance with F.S. 70.20, subject to a relocation and reconstruction agreement between the City and the Planned Development Master Developer.
 2. Advertising Pylons: Two (2) advertising pylons are proposed adjacent to I-95 in the Northwest parking area. These signs may be up to fifty feet (50') in height as measured from the adjacent finished grade. These signs may include digital displays and may be used for off-site advertising. Digital displays may be up to six hundred seventy-five square feet (675 s.f.) per sign.
 3. Oakwood Plaza PD Identification Monument: One (1) project identity sign is proposed adjacent to I-95, A total of four (4) Identification Monument Signs including one (1) may be provided at the public right of way leading from Stirling Road and one (1) may be provided at Sheridan Street; the additional signs may be located along the spine road at the southern boundary of the North Parcel and the northern

boundary of the South Parcel . These signs may be up to fifty feet (50') feet in height as measured from the adjacent finished grade. Signs may include digital displays and may only be used for onsite advertising. Digital displays may be up to six hundred seventy-five square feet (675 s.f) per sign. See also Sec (9)(1) above. Signs may be placed directly against the back edge of the sidewalk but in all cases, cannot be located in the right-of-way.

4. Project Tenant Identification Monuments: Monument signs are proposed that will identify the Project as well as the delineation in blocks. These signs will have tenant identification panels and will include design elements that help to identify the development. These structures will be architecturally compatible with the main design theme of Oakwood Plaza.
 - a. Primary Tenant Monument Signs: Each block is permitted one (1) primary monument signs for each five hundred feet (500') in length. These signs may contain up to three hundred square feet (300 s.f) of signage per sign face, maximum height shall be thirty-five feet (35'). Signs may include digital displays for on-site advertising. No offsite advertising shall be permitted.
 - b. Secondary Tenant Monument Signs: Each block with frontage on more than one right-of-way may have one secondary ground-mounted sign. These signs will have tenant identification panels that do not exceed ~~45~~seventeen feet (17') in height from grade and will include a four to six feet (4-6') high design element that identifies the development. These structures will be architecturally compatible with the main design theme of the Planned Development. Tenant signage panels will not exceed one-hundred square feet (100 s.f.).
 - c. Secondary Project Identity Monument Signs: A series of three (3) vertical signs grouped together to identify the project and may include tenant identification panels. The maximum height shall be twenty feet (20') as measured from the adjacent finish grade; maximum width is six feet (6'). Tenant Identification panels, if provided, may not exceed 20 square feet (20 s.f.) each.
 - d. Tenant Monument/Outparcel Signs: A freestanding sign may be permitted on developed outparcels and for tenants. An outparcel, or tenant whether a corner or interior parcel, may have no more than one freestanding sign. Freestanding outparcel signs may be placed with the leading edge of the sign directly on the property line, but in all cases cannot be located in the right-of-way. Freestanding signs may not be placed in the vision triangle. Signs may contain up to sixty-five square feet (65 s.f.) of signage per sign face, maximum height shall be thirteen feet (13') measured to the top of the sign.
5. Vehicular Directional Signage: Signs directing and guiding traffic to parking areas, entrances, exits, and service areas shall not be required to be shown on the Site Sign Plan. Signs may contain up to twenty square feet (20 s.f.) of signage per sign face, maximum height shall be ten feet (10').
6. Tenant Signs:
 - a. Primary wall mounted signs: These signs identify the individual tenants within the building and are located on the exterior of the building in which the tenant is located. Two square foot per linear foot of building face where the sign is to be located with a maximum of three-hundred square feet (300 s.f.).
 - b. Secondary Wall Mounted Signs: Tenants are also permitted up to two (2) secondary wall mounted signs that may be placed on a non-entrance/exit side of the building that contains the tenants' space. These signs shall be permitted with a maximum (total) of one-hundred-fifty square feet (150 s.f.)
 - c. Primary and Secondary wall mounted signage may be traded based on the orientation of the primary customer entrance location and building orientation.

- d. Under Canopy Signs: In addition to the wall mounted tenant signs, each tenant is permitted one pedestrian oriented under-canopy sign with a maximum area of four square feet (4 s.f.) . These under-canopy signs are not permitted to be internally illuminated, must maintain nine feet vertical clearance above pedestrian walkways.
 - e. Single use retail tenants greater than 25,000 square feet gross leasable area consistent with Sec. 2 Permitted Uses (2) shall be permitted one (1) primary wall sign per frontage up to three (3) total signs with a maximum of three-hundred square feet (300 s.f.) for each sign. Two (2) secondary wall mounted signs shall also be permitted. Specific to fueling stations/canopy, one (1) sign shall be permitted per canopy face with a maximum of twenty-five square feet (25 s.f.) per sign; canopy not to exceed one-hundred square feet (100 s.f.) total for the canopy signage.
 - f. Banners affixed to light poles, lighting structures or similar, and signs less than two square feet in size (i.e., including signage located on fuel pumps, cart storage barns, or similar), shall be exempt from the signage requirements.
7. Hotel, Residential and Office Towers: These buildings may include wall signs at or below the roof parapet per City of Hollywood zoning code allowances.
 8. Service/Loading: Signs identifying service and loading areas. These signs may be wall mounted or freestanding. Signs may contain up to fifteen square feet (15 s.f.) of signage.
 9. Existing and or previously permitted building and property signage shall be allowed to remain until redevelopment is proposed consistent with Sec (15)(l).

SEC (10) LIGHTING

Proper lighting can be one of the most powerful methods of establishing a business image with the public during evening hours. Even if a store is closed during the evening, lighting of the building, signs, and windows is an effective marketing tool.

Lighting is also important in residential projects. It increases visibility of recreation facilities, enhances the views for residents and improves security and safety.

- (1) Within a typical storefront, those elements, which need illumination, include signs, entrances window displays and the interior. The levels of illumination for each of these areas should be varied. It is unnecessary to provide intense, glaring illumination to attract attention to the storefront. In some cases, lighting levels lower than adjacent businesses, but with carefully placed highlights, are more dramatic and attention getting. In residential projects, light levels should clearly denote entrances, high security areas, walkways and other circulation systems.
- (2) Lighting should not be so intense as to draw more attention than the objects it illuminates. Lighting should not be used as a method to make a building stand out or used as an attention getting device. Therefore, indirect hidden spotlights are usually most effective.
- (3) In addition to signs and merchandise it is often desirable to light the structure itself. Many buildings possess attractive and unique architectural details which should be enhanced with discreet architectural/decorative lighting.
- (4) The first story interiors of commercial buildings should be illuminated in the evening to midnight even if they contain only storage or vacant space.
- (5) Backlighting of translucent awnings are discouraged.
- (6) Alleys and rear/side delivery areas should have lighting, which remains on all evening hours.
- (7) Lighting on buildings and in lots should be white light. Sodium vapor, metal halide or quartz halogens are not recommended.

- (8) Decorative lighting of landscape, landscape features, pool decks and recreation areas are recommended.
- (9) All parking areas should have sufficient lighting to provide a safe and functional environment.
- (10) Light fixtures in parking lots should have a maximum height in proportion to the size of the parking lot.
- (11) Exposed bulbs are not recommended.
- (12) See Section on Neon for design guidelines.

Lighting for Oakwood Plaza shall be designed to provide safety and security for motorists and pedestrians as well as to enhance the overall character and design of the development after dusk. CPTED (Crime Prevention Through Environmental Design) guidelines will be used in lighting design. Lighting may include skyline lighting for buildings taller than ten (10) stories which will require coordination and approval from FAA / FDOT, accent lighting for building facades accenting key design aspects, decorative building lighting, landscape lighting, pedestrian walkway lighting, parking lot lighting, fountain lighting, up-lighting on buildings and building security lights. Lighting shall be used to provide safety and security for motorists and pedestrians while not adversely effecting properties sharing a property line. All lighting fixtures designed or placed so as to illuminate any portion of a site shall meet the following requirements:

1. Fixture. The light source shall be concealed behind an opaque surface and recessed within an opaque housing and shall not be visible from adjacent properties.
2. Fixture Height. Lighting fixtures, poles or similar will be determined by required photometrics and tenant requirements.
3. Light Source (Lamp). Incandescent, florescent, LED, metal halide, or color corrected high-pressure sodium may be used.
4. Mounting. Fixtures shall be mounted in such a manner that the cone of light is contained on-site and does not cross the boundaries of the District.
5. Limit Lighting to Periods of Activity. The use of sensor technologies, timers or other means to activate lighting during times when it will be needed may be provided to conserve energy, provide safety, and promote compatibility between the different Permitted Land Use Areas within the District.

SEC (11) UTILITIES

Water and wastewater infrastructure is presently available to the property and provisions have been made for the connection to these systems; connection points will be coordinated with the City of Hollywood. Utilities are intended to be designed and developed as public infrastructure. Utility designs will meet Broward County and Florida Department of Health and Environmental Protection Standards. Easements necessary to serve the development (internal) shall be provided as required by the respective agency; co-location is encouraged.

Easements will be dedicated to the City via a separate instrument; a plat shall not be required.

Development will comply with Florida State Statutes 633, Florida Administrative Code 69A, currently adopted NFPA codes, the currently adopted edition of The Florida Fire Prevention Code and the currently adopted edition of the Broward County Amendments to The Florida Fire Prevention Code.

SEC (12) STORMWATER

Stormwater design shall meet the requirements as approved as part of the Oakwood Activity Center Land Use Plan Amendment.

SEC (13) SITE PLAN SUBMITTALS

Site Plan review shall follow City Article 6.22 Site Plan review process using these established PD Guidelines.

SEC (14) OTHER PROVISIONS

(a) Sustainability

SFA Atlantis Associates, LP & Oakwood Business Center Ltd. Prt. (Master Developer) is committed to the long-term success of the Oakwood Plaza PD. Environmental, Social and Governance (ESG) principles are embedded into Master Developer's design & construction process. The Master Developer will also comply with Chapters 151.150 through 151.160 of the City's Code regarding Mandatory Green Building Practices.

(b) Alcohol Sales and Consumption

1. Consistent with Section (2), Permitted Uses, bars, taverns and night clubs are permitted uses within the Oakwood Plaza Planned Development. These facilities may provide both the on and/or off-premise consumption of alcoholic beverages. Due to the nature of PD and the creation of a mixed-use district encompassing entertainment type uses and venues, the following are permitted:
 - a. Minimum distance requirements. There shall be no minimum distance required between any place of business licensed by the state to sell alcoholic beverages within the PD either for consumption on or off premises and any other place of business licensed for the sale and/or service of alcoholic beverages. There shall be no minimum distance requirement between any establishment licensed to sell alcoholic beverages either for consumption on or off premises within the PD and establishments similarly licensed outside of the PD.
 - b. Hours of operation. Establishments licensed by the State of Florida to sell alcoholic beverage either on or off premises within Oakwood Plaza PD shall comply with the City's hours of sale regulations as set forth in City Code as may be amended in the future. Extended hours beyond this time may be permitted pursuant to City zoning permit. Sunday alcohol sales may commence at 9:00 a.m.
 - c. Consumption and possession of alcoholic beverages within the PD. Alcoholic beverages sold for consumption on the premises by a vendor within the PD, shall be transported in a non-glass container, at any location within a certain designated Entertainment District, either indoors or outdoors to the extent it is permitted by the state. This provision shall not permit any consumption in structured parking facilities.
 - d. Hours for music and entertainment. Music and other forms of live entertainment whether amplified or not, shall be permitted indoors at any time during regular business hours of any business within the PD, and in addition music and live entertainment shall be permitted outdoors within a certain designated Entertainment District until the hours of operation as established under the Entertainment District.
 - e. Outdoor sales of alcoholic beverages. Vendors located within certain designated Entertainment Districts licensed under the state beverage laws, may sell and serve alcoholic beverages licensed for such sale and under the control of such licensee, including, but not limited to, sidewalk cafes and outdoor areas in compliance with s. 561.01(11), F.S., provided all such operators of any outdoor facilities vending and

serving alcoholic beverages shall be duly licensed by the state, and permitted to operate pursuant to the City Code.

- (c) Temporary easements for construction shall be permitted on-site by the Master Developer.
- (d) Due to the nature of PD and its improvements (private), a maintenance and responsible party agreement shall be provided with each respective Site Plan. The Oakwood Plaza will be maintained up to the minimum standards, included within a declaration of covenants restrictions and easements as administered by the Master Developer.
- (e) Master Developer approval is required to be submitted prior to the submittal of the building permit submittal.
- (f) Any permit, building or similar, submitted by a third-party applicant requires approval in writing by the PD Master Developer prior to submittal to the City of Hollywood.
- (g) Redevelopment. Existing uses including those located within the PD may continue as currently approved and or developed including but not limited to building height, signage, parking, buffers, roadway networks, driveway locations, landscaping areas or other changes can be made if less than 50 percent of the total structure value and land values are made within the existing parcel areas within the redevelopment. If this requirement is met the PD Guidelines would not have to be adhered to.

Appendix A
Code Comparison Article 4.15 PD Planned District

Oakwood Development Code Comparison for 4.15

City of Hollywood Zoning Code Section 4.15

Oakwood Plaza PD Development Standards

A. Purpose of (PD) Planned Development District. To permit larger tracts of land under unified control to be planned and developed as a whole (as a single operation or an approved series of operations) with a greater amount of flexibility by removing some of the detailed restrictions of conventional zoning. Planned Developments are recognized as serving the public interest and are encouraged because they:

- 1 Allow diversification of uses, structures and open spaces when not in conflict with existing and permitted land uses on abutting properties;
- 2 Allow mixed uses establishing compatible combinations of residential with commercial and/or office uses and supporting facilities;
- 3 Promote resort qualities of the City by encouraging planned resort communities;
- 4 Reduce improvement costs through a more efficient use of land and a smaller network of utilities and streets than is possible through application of standards contained in conventional land development regulations;
- 5 Conserve the natural amenities of the land by encouraging the preservation and improvement of scenic and functional open space;
- 6 Provide maximum opportunity for application of innovative site planning concepts to the creation of aesthetically pleasing environments for living on properties of adequate size, shape and location;
- 7 Insure that development will occur according to limitations of land use, site design, population density, building coverage, improvement standards and construction phasing authorized through the approval of a master development plan; and
- 8 Insure that development will occur within the guidelines and intent of the Hollywood Comprehensive Plan. Planned Developments are equally adaptable to new development, redevelopment and conservation of land, water and other City resources.

B. Definition. A Planned Development is land under unified control, planned and developed as a whole in a single development operation or an approved, programmed series of development operations. It may include principal and accessory uses and structures substantially related to the character of the development itself and the surrounding area of which it is a part. Planned Development Districts are not permitted in the Beach District of the Community Redevelopment Agency. Planned Development Districts may be permitted adjacent to Federal Highway, and Hollywood Boulevard, within the Downtown District of the Community Redevelopment Agency. In the event that a Planned Development within the Beach District or Downtown Districts was approved prior to 2012, such originally approved Planned Development may be expanded, subject to the following conditions:

The project is designed for residents, employees, and non-local consumers to share access to multi-modal mobility options, integrated pedestrian-friendly promenades and shops, and open spaces.

The existing property is comprised of retail, service and office uses including a series of surface parking lots, including Oakwood Boulevard which is a private roadway. The applicant proposes to redevelop portions of the site to add hotel rooms, multi-family dwelling units, retail and meeting spaces with the goal of enhancement and further support the existing non-residential uses.

While the proposed development is not designed as a resort community, it will provide retail and restaurant opportunities for visitors to the area.

The existing property is comprised of retail, service and office uses including a series of surface parking lots. The applicant proposes to redevelop portions of the site to add hotel rooms, multi-family dwelling units, retail and meeting spaces. This will utilize the land more efficiently, and reduce improvement costs.

The approximate 2.50 acres of open space will be incorporated into the overall 112.50 gross acres as a wet pond/dry pond or other allowed public amenity.

The project will utilize site design guidelines identified in the Design Guidelines document. These standards are established to ensure the creation of a pleasing environment for live, work, and play.

Development will occur consistent with the limitations and standards as identified in the LUPA and the Design Guidelines document.

Development will occur consistent with the guidelines and intents of the Hollywood Comprehensive Plan as identified in the LUPA.

The proposed Planned Development is under unified control. The project is designed for residents, employees, and non-local consumers to share access to multi-modal mobility options, integrated pedestrian-friendly promenades and shops, and open spaces. There are no modifications proposed to an existing Planned Development as part of this petition.

Oakwood Development Code Comparison for 4.15

City of Hollywood Zoning Code Section 4.15

Oakwood Plaza PD Development Standards

- 1 An expansion of an approved Planned Development shall only be permitted if the proposed expansion is for property that abuts the existing Planned Development, which may include crossover rights-of-way;
- 2 The area of the expansion shall not exceed the area of the originally approved Planned Development; and
- 3 The maximum height (in feet) within the expanded Planned Development shall not exceed the maximum height of the originally approved Planned Development.

C. Unified control. All land included for the purpose of development within a Planned Development District shall be under the control of the applicant (an individual, partnership or corporation, or group of individuals, partnerships or corporations). The applicant shall present satisfactory legal documents to constitute evidence of the unified control of the entire area within the proposed Planned Development which shall be certified by the Department. The applicant shall agree in the application for rezoning to the following:

- 1 To proceed with the proposed development according to the provisions of these regulations, conditions attached to the rezoning of the land to Planned Development, and the approved master development plan;
- 2 To provide, subsequent to rezoning and prior to the issuance of a building permit, any agreements, contracts, covenants, deed restrictions or sureties as reasonably deemed necessary by the City, and in a form acceptable to the City, to assure that the development proceeds in accordance with prior approvals and to further provide for continuing operation and maintenance of such areas, functions and facilities which are not proposed to be provided, operated, or maintained at public expense;
- 3 To bind their successors in title to any commitments made as set forth above; and
- 4 If the developer elects to administer common open space through an association or nonprofit corporation, said organization shall conform to the applicable laws of the State of Florida.

D. Permitted uses. The uses permitted in a Planned Development, as set forth below, must be consistent with the provisions herein, as may be further restricted by the City of Hollywood Comprehensive Plan:

- 1 All residential uses permitted by the City of Hollywood Comprehensive Plan;
- 2 Business uses located in a Planned Development which is intended to be predominantly residential or intended to meet the neighborhood shopping and service needs of the Planned Development and not the general needs of the surrounding area. Such uses shall be grouped in convenient centers designed as integral, harmonious parts of the Planned Development appropriately buffered and screened from residential uses (whether within or outside the Planned Development) to protect them from unsightliness, noise, odors and other characteristics incompatible with residential uses. Businesses should be pedestrian oriented and accessible to walkways and bicycle paths. The center should consist of neighborhood shopping and personal services consistent with the daily needs of the Planned Development;

The property is controlled by Oakwood Plaza Limited Partnership. Legal documents have been provided.

The Oakwood Plaza Planned Development will be built out according to the regulations and conditions attached to the rezone and approved master development plan.

The Oakwood Plaza Planned Development will comply with this provision.

The Oakwood Plaza Planned Development will comply with this provision.

The Oakwood Plaza Planned Development will comply with this provision.

Residential uses are permitted in the Oakwood Plaza Planned Development consistent with the Activity Center Land Use and the use limitations of the Oakwood Plaza PD Design Guidelines.

Business uses are permitted in the Oakwood Plaza Planned Development consistent with the Activity Center Land Use and the use limitations of the Oakwood Plaza PD Design Guidelines.

Oakwood Development Code Comparison for 4.15

City of Hollywood Zoning Code Section 4.15	Oakwood Plaza PD Development Standards
<p>3 Business uses in a Planned Development which is intended to be predominantly commercial, office or resort to include all commercial uses consistent with Medium High/High Residential, General Business and Office categories of the City of Hollywood Comprehensive Plan;</p>	<p>Business uses are permitted in the Oakwood Plaza Planned Development consistent with the Activity Center Land Use and the use limitations of the Oakwood Plaza PD Design Guidelines.</p>
<p>4 Resort uses in a Planned Development may include entertainment and recreational uses permitted in the Central Beach and Recreational districts as well as those uses permitted by the City of Hollywood Comprehensive Plan;</p>	<p>No resort uses are proposed with this Planned Development.</p>
<p>5 Uses and structures which are customarily accessory and clearly incidental to principal uses and structures may be permitted, subject to regulations applying thereto; and</p>	<p>Accessory uses are permitted in the Oakwood Plaza Planned Development consistent with the Activity Center Land Use and the use limitations of the Oakwood Plaza PD Design Guidelines.</p>
<p>6 In connection with residential uses in waterfront property, wet dockage or moorage of private pleasure craft shall be permitted subject to regulations applying thereto.</p>	<p>Wet dockage or moorage of private pleasure craft, in connection with waterfront residential property, are permitted in the Oakwood Plaza Planned Development consistent with the Activity Center Land Use and the use limitations of the Oakwood Plaza PD Design Guidelines.</p>
<p>E. Land use and design regulations.</p>	
<p>1 Minimum size of planned development. All Planned Developments shall contain a minimum of ten acres of land under unified control; except within the Downtown District of the Community Redevelopment Agency where Planned Developments shall contain a minimum of two acres of land under unified control. This minimum may be waived by the City Commission upon the recommendation of the Planning and Development Board.</p>	<p>The size of the planned development is 112.50 +/- acres</p>
<p>2 <u>Maximum density.</u></p> <p>a. The total number of dwelling units permitted in a Planned Development shall not exceed the total number of units permitted by the City of Hollywood Comprehensive Plan.</p> <p>b. For purposes of this section, a hotel unit shall equal one-half of 1 dwelling unit, and any residential unit shall be equal to 1 dwelling unit and shall be exempt from the provisions of Article 2, § 2.2 and Article 3, § 3.26 of the City of Hollywood Zoning and Land Development Regulations.</p>	<p>Development Maximums:</p> <ul style="list-style-type: none"> - 1.2 million SF of Retail - 1.89 million SF of Office - 3,800 Residential Units - 625 Hotel Rooms <p>These numbers include any existing uses within the boundary of the PD at the time of adoption. The existing project is grandfathered so there is no compliance issues prior to development</p>

Oakwood Development Code Comparison for 4.15

City of Hollywood Zoning Code Section 4.15

Oakwood Plaza PD Development Standards

3 Minimum lot area, distance between structures, frontage and setbacks.

- a. No minimum lot size shall be required within a Planned Development.
- b. No minimum distance between structures shall be required within a Planned Development, except as required by the Florida Building Code. The appropriate distance between structures shall be evaluated on an individual development basis by the City Commission, upon recommendation of the Planning and Development Board, after considering the type and character of the building types within a development.
- c. Each dwelling unit or other permitted use shall have access to a public street, either directly or indirectly, via an approach, private road, pedestrian way, court or other area dedicated to public or private use of a common easement guaranteeing access. Permitted uses are not required to front on a dedicated road. The City shall be allowed access on privately owned roads, easements and common open space to insure the police and fire protection of the area, to meet emergency needs, to conduct City services and to generally insure the health, safety and welfare of the residents of the Planned Development.

- d. There are no required setbacks or yards except for the following:
 - 1. Internal streets. There shall be a setback of not less than 25 feet in depth abutting all public road rights-of-way within a Planned Development District.
 - 2. External streets. There shall be a peripheral landscaped setback from all external streets of the Planned Development of not less than 25 feet in depth.

4 Maximum height of structures. No maximum height of structures shall be required within a Planned Development. The City Commission upon recommendation of the Planning and Development Board shall determine the appropriate height limitations on an individual development basis after considering the character of the surrounding area, the character of the proposed development, and the goals for community development as stated in the Hollywood Comprehensive Plan.

5 Total site coverage. The City Commission upon recommendation of the Planning and Development Board shall determine the appropriate total site coverage on an individual development basis after considering the character and intensity of the proposed development.

6 Off-street parking and loading requirements. Off-street parking and loading requirements shall meet all the requirements of Article 7 of the City of Hollywood Zoning and Land Development Regulations unless expressly modified by the City Commission.

- a. No minimum lot size is required
- b. Building separation shall meet the applicable Florida Building Code for requirements for separation and the adopted RAC.
- c. The site connects to Stirling Road, N 26th Avenue, and Sheridan Street through the privately owned Oakwood Blvd. All future development will indirectly connect to the public street network through privately owned streets. The City will be allowed access to the property to provide life safety services and conduct required City services to insure the health, safety, and welfare of the residents and visitors of the development.
 - (1) Lot Size Standards (acreage/sq.ft.): No minimum lot size is required.
 - (2) Lot Width/Depth: No minimum lot width and/or depth is required.
 - (3) The maximum lot (building) coverage shall be 90 percent.
 - (4) This standard shall not be applied to lease areas which tend to reflect the building pad site only and not the full lot in which the building may be located
 - (5) The maximum impervious coverage shall be 90 percent.

- Front or side street: 0'
- Side Interior and Rear: 0'
- 2. Buffers and setbacks shall be identified on the Site Plans. Buffers and setbacks shall be measured from the external PD property line or at the right-of-way line.
- 4. Buildings are not required to be relocated if the setback is reduced due to future right-of-way dedication(s) after the building has been constructed.

Building Height. Maximum: 30 stories/300'; this provides flexibility considering the different uses proposed and the possible variety in floor-to-floor height requirements. Buildings exceeding 175' will require coordination and approval with the Federal Aviation Administration, Broward County Aviation Department and/or Florida Department of Transportation (Aviation Division), as applicable. The proposed PD proposes a building height maximum as part of the development standards. The applicant is open to discussing height limitations with the Planning and Development Board if they determine that the proposed height is not appropriate for the area.

The maximum lot (building) coverage shall be 90 percent.
 - This standard shall not be applied to lease areas which tend to reflect the building pad site only and not the full lot in which the building may be located
 The maximum impervious coverage shall be 90%.
 The proposed PD proposes a maximum total site number percentage as part of the development standards. The applicant is open to discussing site coverage with the Planning and Development Board if they determine that the proposed total site coverage percentage is not appropriate.

Oakwood Development Code Comparison for 4.15

City of Hollywood Zoning Code Section 4.15

Oakwood Plaza PD Development Standards

Article 7 Parking and Loading Requirements

- Apartment Unit - 1.5 spaces per unit plus guest parking at 1 per 5 units
- Hotel or motel - 1 space per unit
- Office - 1 space per 250 square feet
- Retail - 1 space per 250 square feet
- Restaurant
 - 60% the gross floor area, then 1 per 60 square feet of the resulting floor area
 - take out - 1 per 150 square feet
- theater and places of assembly with fixed seats - 1 per 4 seats and 1 per movie booth
- townhome - 2 spaces per unit plus guest parking at 1 per 5 units

Loading - Retail: Less than 10,000 s.f. (None), 10,000-24,999 s.f. is 1, 25,000-59,999 s.f. is 2, 60,000-119,999 s.f. is 3, 120,000-199,999 s.f. is 4, 200,000-289,000 s.f. is 5 and each 90,000 s.f. above 290,000 s.f. 1 additional space. Multifamily or apt/hotel: 50-100 units is 1 space + 1 space for each additional 100 units or major fraction. Places of assembly, museum, hotel, hospital, sports bldg, or institutional uses 20,000-40,000 s.f. is 1 space + 1 space for each 60,000 s.f. over 40,000 s.f. or major fraction

Stall and Aisle Dimensions

- 45 degree - 9' x 19.8', drive aisle width: 13' one way 24' two way
- 60 degree - 9' x 21', drive aisle width: 18' one way 24' two way

7 Landscaping

a. All landscaping shall meet the requirements of Article 9 of the City of Hollywood Zoning and Land Development Regulations unless expressly modified by the City Commission.

b. All undesirable exotic vegetation, including melaleuca, Brazilian pepper, Australian pine or other vegetation deemed undesirable by the Broward County Urban Forester, shall be removed by the applicant according to a schedule approved by the City. However, the City may allow certain undesirable exotic vegetation to remain at the request of the applicant for good cause.

8 Underground utilities. Within the Planned Development, all utilities including telephone, television cable and electrical systems shall be installed underground. Primary facilities providing service to the site may be exempted from this requirement. Large transformers shall be placed on the ground and contained within pad mounts, enclosures or vaults. The developer shall provide adequate landscaping with shrubs and plants to screen all utility facilities permitted above ground.

Minimum Parking Requirements:

1. Non residential Uses
 - Commercial/Office - 3.5 spaces per 1,000 SF GLA
 - Hotel/Lodging - 0.5 spaces per room
2. Residential Uses
 - Apartments, Condominiums, townhomes - 1.0 space for 1 dwelling unit, 1.5 space for 2 or more dwelling units.

Stall and Aisle Dimensions

- 45 degree - 8.5' x 19' 3" (one way drive aisle 13.5')
- 60 degree - 8.5' x 20' 8" (one way drive aisle 15')
- 90 degree - 8.5' x 18', the length can be reduced to 16' where a 2' overhang is provided over landscape, Drive aisle width: 15' one way 24' two way
- on street parking: 9' x 18' for 90 degree parking, 8' x 23' for parallel

Loading: Loading areas shall be convenient to the building(s) in which it serves. Due to the compact nature of the PD, no minimum number of loading/unloading spaces shall be required.

The sharing of such spaces (areas) between individual tenants, uses and buildings within the PD shall be permitted. Due to the mixed use, walkable nature of the Oakwood Plaza development, it is understood that there will be some level of shared parking between uses within the development. Therefore, a reduced minimum parking requirement is warranted.

The majority of off street parking will be provided through

Please see separate sheet for comparison between Article 9 Vehicular Use Area Landscaping and the vehicular use area landscaping proposed by the PD document. Article 9 relates specifically to parking lot landscaping, the majority of the site will be exempt from these requirements as much of the parking provided for this development is within structured parking. Neither the Zoning and Land Development Regulations nor the Landscape Manual provide direction for perimeter landscaping for PD districts.

The applicant will remove undesirable exotic vegetation from the site.

Utility designs will meet Broward County and Florida Department of Health and Environmental Protection Standards. Development will comply with Florida State Statutes 633, Florida Administrative Code 69A, NFPA codes, and the adopted Florida Fire Prevention Code and the adopted Broward County Amendments to the FFPC.

Oakwood Development Code Comparison for 4.15

City of Hollywood Zoning Code Section 4.15

Oakwood Plaza PD Development Standards

9 Internal circulation. A Planned Development shall provide an internal circulation system for use by both motorized and non-motorized transportation modes that is orderly, well oriented to the user, coherent with the structure of use and in balance with the intensity of activity. The circulation system should encourage the safe and convenient use of non-motorized transport modes and dissuade the inefficient or excessive use of the automobile.

Transportation systems are understood to include facilities providing both vehicular and non-vehicular connections within the Oakwood Plaza Planned Development project including incorporating internal multi-modal opportunities. The boulevards, streets and drives (collectively referred to as the "Roadways") throughout the PD will create the framework of redevelopment by providing new developable building areas with both vehicular and pedestrian connectivity. All of the roadway and sidewalk networks within the PD will be privately owned and maintained, and designed to meet the criteria within these development guidelines and the applicable sections of the Planned Development will be designed to applicable roadway standards, such as FDOT and Broward County. Onsite roadways will be designed to these PD and the applicable portions of the City Code.

10 Energy conservation. A Planned Development shall incorporate passive energy conservation measures in its site design in accordance with Chapter 52, South Florida Building Code. Such measures shall include, but need not be limited to, the directional orientation of buildings, the location of windows, minimization of radiant heat absorption and the inclusion of energy-efficient landscaping.

The Oakwood Plaza Planned Development will be designed consistent with Chapter 52, South Florida Building Code, to incorporate passive energy conservation measures in site design.

11 Use of reclaimed water. A Planned Development shall incorporate the use of reclaimed water in cases where it has been determined by the Utilities Director that the use of reclaimed water is feasible and in the best interest of the City of Hollywood.

The Oakwood Plaza Planned Development will incorporate the use of reclaimed water as required by the Utilities Director of the City of Hollywood.

12 Professional services required. Any plans submitted as a part of a petition for a Planned Development shall certify that the services of competent professionals were utilized in the designing or planning process and shall state their names, businesses and addresses. Plans submitted as part of a petition for a Planned Development must be prepared by either a planner who by reason of his or her education and experience, is qualified to become or is a full member of the American Institute of Certified Planners, or an architect licensed by the State of Florida, together with a professional engineer registered by the State of Florida and trained in the field of civil engineering, and/or a land surveyor registered by the State of Florida.

The Oakwood Planned Development Standards document and any plans associated with this petition were prepared by a Certified Planner and a licensed civil engineer in the State of Florida.

F. Procedures and requirements for rezoning, design, site plans, modifications and variances for a Planned Development.

1 Application. An application for a rezoning to Planned Development shall be made only by the owner of the subject property or the owner's authorized agent and processed in the same manner as other applications for rezoning of land except as otherwise provided in these regulations.

The proposed Oakwood Plaza Planned Development has complied with this provision.

Oakwood Development Code Comparison for 4.15

City of Hollywood Zoning Code Section 4.15

Oakwood Plaza PD Development Standards

- 2 Application and filing fees
- a. New applications or applications for major changes to a previously approved master development plan shall be submitted as provided in Article 5 of the City of Hollywood's Zoning and Land Development Regulations and shall be charged a fee amounting to one and one-half times the fee which is charged for an application for a change of zone as established by resolution in accordance with Article 5 of the Zoning and Land Development Regulations.
 - b. A filing, as specified in the City Land Development Fee Schedule, shall accompany each request for a minor intermediate revision to a previously approved master development plan. (See also § 4.15.G. herein.)

The proposed Oakwood Plaza Planned Development has complied with this provision.

- 3 Contents of Master Development Plan.
- a. Certified boundary survey;
 - b. General schematic representation of the land uses with densities, intensities, along with a table of computation which depicts parking, building height and site coverage;
 - c. Approximate delineation of internal circulation, with hierarchical classification of streets;
 - d. Points of connection of the local streets to the trafficways, including general indication of the necessary improvements to the trafficways to accommodate the local trips generated by the Planned Development;
 - e. General location and size of any community facility included within the Planned Development such as parks, schools, fire stations, community center, etc.;
 - f. Indication of existing vegetation and all other natural features within the Planned Development together with general plans for the conservation or mitigation thereof;
 - g. Schematic depiction of existing and proposed surface water management elements, including wetlands, retention facilities, drainage easement and swales; and
 - h. Schematic depiction of the water distribution and wastewater collection facilities and drainage system, including easements.
- In addition, the Director may require additional material such as plans, maps and studies which are needed to make findings and determinations that the applicable standards and guidelines have been fully met.

The proposed Oakwood Plaza Planned Development Master Development Plan is conceptual in nature. The applicant intends to build out the property in the long term and desires site design flexibility to accomplish this.

- 4 Planned Development Site Plan, Design and Modifications. At the time of application for a rezoning to Planned Development which includes the Master Development Plan, the applicant shall also submit a Design, Site Plan including any modifications and requests for variances, to the Department of Planning and Development Services. The Site Plan must meet the requirements set forth in Article 6 of the Zoning and Land Development Regulations.

The proposed Oakwood Plaza Planned Development Master Development Plan is conceptual in nature. The applicant intends to build out the property in the long term and desires site design flexibility to accomplish this. A future site plan application will be provided with required level of details.

- 5 Staff review. Prior to the public hearing before the Planning and Development Board, the staff of the various city departments concerned with Planned Development shall review the application for rezoning, design, site planning any proposed modifications and/or requests for variances for adherence to all applicable requirements. As a result of this review, the applicant may choose to revise the master development plan, design and/or site plan prior to the public hearing before the Planning and Development Board. A revision of this nature shall be permitted at no expense to the developer.

The proposed Oakwood Plaza Planned Development will comply with this provision.

Oakwood Development Code Comparison for 4.15

City of Hollywood Zoning Code Section 4.15

Oakwood Plaza PD Development Standards

6 Consideration by the Planning and Development Board. After the public hearing for rezoning to Planned Development, review of the Design, Site Plan including any modifications or requests for variances, the Board shall make its recommendations to the City Commission. In making its recommendation, the Planning and Development Board shall evaluate whether the plans, maps and documents submitted by the applicant and presented at the public hearing, do or do not meet the intent of this Article 5 and 6 of the Zoning and Land Development Regulations and all other applicable city ordinances. The Board shall also evaluate the suitability of the proposed development in terms of its relationship to the City of Hollywood's Comprehensive Plan and the area surrounding the proposed development and to what extent the development is consistent with adopted goals and objectives for growth and development.

The proposed Oakwood Plaza Planned Development will comply with this provision.

7 Consideration by the City Commission. Upon the receipt of the recommendations of the Planning and Development Board, the City Commission shall schedule and conduct a public hearing to consider the petition for rezoning, design, site plan including any modifications and variances, if applicable in accordance with the city's rezoning, design, site plan, modification and variance procedures. The City Commission shall evaluate the proposed development in the same manner as required of the Planning and Development Board.

The proposed Oakwood Plaza Planned Development will comply with this provision.

8 Conditions and stipulations. In granting approval for a Planned Development, the Planning and Development Board may recommend, and the City Commission may attach, reasonable conditions, safeguards and stipulations made at the time of approval, which shall be binding upon the applicant or any successors in interest.

The proposed Oakwood Plaza Planned Development will comply with this provision.

G. Conformance to approved Master Development Plan and Site Plan.

1 Permits. After rezoning to Planned Development District, no permits shall be issued by the city and no development shall commence unless in conformance with the approved Master Development Plan and site plan. The applicant may develop the Planned Development in phases.

The proposed Oakwood Plaza Planned Development will comply with this provision.

2 Minor changes. The Director, after receiving staff recommendations, may approve "minor" changes and deviations from the approved master development plan which are in compliance with the provisions and intent of this Article, and which do not depart from the principal concept of the approved master development plan. All other requested changes and deviations shall be referred to the City Commission.

The proposed Oakwood Plaza Planned Development will comply with this provision.

Oakwood Development Code Comparison for 4.15

City of Hollywood Zoning Code Section 4.15

Oakwood Plaza PD Development Standards

3 Substantial changes. The Director may determine that the requested changes and deviations from an approved master development plan constitute a substantial alteration to the character of the development and thus require that the requested changes be reviewed and approved by the City Commission. Substantial changes would include:

- a. A change in the use or character of the Planned Development;
- b. An increase in overall coverage of structures;
- c. An increase in the intensity of use;
- d. An increase in the problems of traffic circulation and public utilities;
- e. A reduction in required open spaces; and
- f. A reduction of off-street parking and loading spaces.

The proposed Oakwood Plaza Planned Development will comply with this provision.

4 Transfer of ownership. No land within an approved planned development may be transferred in ownership or in any other way removed from unified control without a written agreement between the city and the parties to which such transfer is made stipulating their understanding and agreement to a condition that such transferred land shall continue, under the full terms and provisions of the planned development approval.

The proposed Oakwood Plaza Planned Development will comply with this provision.

Appendix B
Code Comparison Article 7 Off-Street Parking and Loading

Oakwood Development Guide Article 7 Off-Street Parking and Loading		
City of Hollywood Parking and Loading	Oakwood Plaza Planned Development	Requested Deviation from Code
6. Off-street parking and loading requirements. Off-street parking and loading requirements shall meet all the requirements of Article 7 of the City of Hollywood Zoning and Land Development Regulations unless expressly modified by the City Commission.		
<p>Article 7 Parking and Loading Requirements</p> <ul style="list-style-type: none"> - Apartment Unit - 1.5 spaces per unit plus guest parking at 1 per 5 units - Hotel or motel - 1 space per unit - Office - 1 space per 250 square feet - Retail - 1 space per 250 square feet - Restaurant <ul style="list-style-type: none"> - 60% the gross floor area, then 1 per 60 square feet of the resulting floor area - take out - 1 per 150 square feet - theater and places of assembly with fixed seats - 1 per 4 seats and 1 per movie booth - townhome - 2 spaces per unit plus guest parking at 1 per 5 units <p>Loading - Retail: Less than 10,000 s.f. (None), 10,000-24,999 s.f. is 1, 25,000-59,999 s.f. is 2, 60,000-119,999 s.f. is 3, 120,000-199,999 s.f. is 4, 200,000-289,000 s.f. is 5 and each 90,000 s.f. above 290,000 s.f. 1 additional space. Multifamily or apt/hotel: 50-100 units is 1 space + 1 space for each additional 100 units or major fraction. Places of assembly, museum, hotel, hospital, sports bldg, or institutional uses 20,000-40,000 s.f. is 1 space + 1 space for each 60,000 s.f. over 40,000 s.f. or major fraction</p> <p>Stall and Aisle Dimensions</p> <ul style="list-style-type: none"> - 45 degree - 9' x 19.8', drive aisle width: 13' one way 24' two way - 60 degree - 9' x 21', drive aisle width: 18' one way 24' two way - 90 degree - 9' x 19', Drive aisle width: 24' one way and two way 	<p>Minimum Parking Requirements:</p> <ol style="list-style-type: none"> 1. Non residential Uses <ul style="list-style-type: none"> - Commercial/Office - 3.5 spaces per 1,000 SF GLA - Hotel/Lodging - 0.5 spaces per room 2. Residential Uses <ul style="list-style-type: none"> - Apartments, Condominiums, townhomes - 1.0 space per one dwelling unit and 1.5 spaces for 2 or more dwelling units <p>Stall and Aisle Dimensions</p> <ul style="list-style-type: none"> - 45 degree - 8.5' x 19' 3" (one way drive aisle 13.5') - 60 degree - 8.5' x 20' 8" (one way drive aisle 15') - 90 degree - 8.5' x 18', the length can be reduced to 16' where a 2' overhang is provided over landscape, <p>Drive aisle width: 15' one way 24' two way</p> <ul style="list-style-type: none"> - on street parking: 9' x 18' for 90 degree parking, 8' x 23' for parallel <p>Loading: Loading areas shall be convenient to the building(s) in which it serves. Due to the compact nature of the PD, no minimum number of loading/unloading spaces shall be required. The sharing of such spaces (areas) between individual tenants, uses and buildings within the PD shall be permitted</p>	
7.1 General Provisions	Oakwood Plaza Planned Development	Requested Deviation from Code
A. Off-street parking required.		
1. Every building, use or structure instituted or erected after the effective date of this article, shall be provided with off-street parking facilities in accordance with the provisions of this article for the use of occupants, employees, visitors or patrons.		
2. Such off-street parking facilities shall be maintained and continued as long as the main use is continued.		
3. When a building is enlarged by more than 10% of floor area, volume, capacity or space occupied, then off-street parking facilities shall be provided for that portion of the building that was subject to the alteration or repair.		
4. When a building is changed in use that results in more than a 25% increase in the required number of parking spaces, then off-street parking facilities shall be provided to meet the parking requirements for the new use. For the purposes of this section, a change of use shall mean a change from one category of off-street parking requirements to a different category.		
5. It shall be unlawful for an owner or operator of any building, structure or use affected by this section to discontinue, change or dispense with, or cause the discontinuance or reduction of the required parking facilities. The sale or transfer of the required parking spaces without establishing alternative vehicle parking facilities in accordance with this article is prohibited.		
6. It shall be unlawful for any person, firm, or corporation to utilize such building, structure or use without providing the off-street parking facilities to meet the requirements of and be in compliance with this article.		
7. Aisles on parking lots shall be numbered.		
B. Location, character and size of required parking spaces.		
1. The off-street parking facilities required by this article shall be located on the same lot or parcel of land they are intended to serve or within 700 ft. from such lot. If the required parking facilities are not located on the same lot as the main permitted use, a Unity of Title or perpetual easement shall be prepared for the purpose of insuring that the required parking is provided. The Unity of Title or perpetual easement shall be executed by the owners of the properties concerned, approved as to form by the City Attorney and recorded in the public records of Broward County as a covenant running with the land. The covenant shall be filed with the Department of Planning and Development Services and attached to plans or permit applications that are filed with the city.		
a. Exception. In instances where the development site is located within a Community Redevelopment District, the required number of parking spaces may be provided pursuant to a lease agreement with the city or a least agreement with a private entity in which the required number of parking spaces in a parking facility are specifically reserved for use by the applicant. Agreements regulating privately owned parking facilities shall be approved by the City Attorney, those relating to city-owned property shall be approved by the City Commission. All agreement pursuant to this section shall be recorded in the public records of Broward County, Florida.		
2. Design of all required parking spaces.		
a. As specified in Diagrams No. 1, No. 2 and No. 3.		
b. Each parking space shall be directly accessible from a street or alley, or from an adequate aisle or driveway leading to a street or alley according to the minimum dimensions specified in Diagram No. 1, No. 2 and No. 3 except for the following:		
1. When all parking spaces required by the provisions of this article are provided with direct access to an alley or street.		
2. Single family homes, duplexes and townhomes may have tandem spaces.		
c. Minimum driveway width dimensions: 12 ft. for one way traffic and 24 ft. for two way traffic. For parking facilities that have less than 8 required parking spaces, the minimum width for two way traffic may be 12 ft., subject to the owner recording in the public records of Broward County a covenant running with the land that holds the city harmless against any claims arising from accidents. One way drive-through facilities may have 9 ft. wide driveways.	Drive aisles with two-way angled parking may be a reduced based on above.	Reduction in drive aisle width of 2 feet for 45 degree and 60 degree parking only. 90 degree parking will still provide the 24 foot driveway width.

Oakwood Development Guide Article 7 Off-Street Parking and Loading		
City of Hollywood Parking and Loading	Oakwood Plaza Planned Development	Requested Deviation from Code
d. The required off-street parking facilities for all development excluding single family, shall be painted with paint strips in accordance with the City Engineer's requirements. The off-street parking facilities including access aisles and driveways shall be surfaced with a hard dustless material and maintained in a smooth well graded condition. (This does not include a rolled rock base, covered with a sand seal finish.)		
e. Drainage for all off-street parking facilities shall be as required by the City Engineer.		
f. Lighting shall be arranged and designed to prevent glare or excessive light on adjacent property.		
g. A site plan shall be submitted with every application for a building permit for any use or structure which is required to provide off-street parking facilities. The site plan shall designate the required parking spaces, access aisles, driveways and the relation to uses or structures with the off-street parking facilities they are intended to serve.		
h. No column shall be within 3 ft. of the entrance to a parking space.		
i. The minimum required width of parking spaces which are adjacent to a wall or other solid obstruction shall be 10.5 ft.	(1) Parking within structures may be eight feet, six inches (8'-6") wide by eighteen (18') feet long. A one (1') foot clearance from columns and walls is allowed. Parking garage slopes may vary per structure design. If sanitation, emergency or maintenance vehicles are designed to be allowed to the lower floor of structures, a fourteen (14') foot clearance shall be provided. The Florida Building Code minimum width and clearance must be maintained at all times.	A reduction of the minimum required parking width adjacent to a wall or solid obstruction in a parking structure by one foot.
j. Minimum ramp angles for driveway access to above grade and or below grade parking structures shall be subject to approval by the City Engineer.		
k. All parking spaces shall have concrete car stops (6 ft. long) or curbing, except for tandem spaces and parking spaces in single family districts. Bollards shall be used in combination with flush curbing.		
l. The use of angled parking spaces should be encouraged and reviewed as part of the Site Plan Review Process.		
C. Head-in/back-out parking. Parking spaces shall not have direct access to or from a street or alley; except as provided below:		
1. Detached single family homes shall be permitted parking spaces with direct access to or from a street or alley.		
2. Multiple family residential buildings of 4 units or less (including duplex residences) may have parking spaces with direct access to a street or alley provided that:		
a. There is an attached and enclosed garage facility.		
b. The garage is setback as permitted in single family residences in accordance with § 4.1.D. of the Zoning and Land Development Regulations.		
c. The area between the driveways is not less than 6 feet.		
3. Parking spaces for a duplex residence may have direct access to or from an alley provided that sufficient back-out area is maintained.		
D. Curb cuts. All curb cuts shall conform to the design and construction standards as required by the City Engineer.		
E. Handicap parking spaces. These spaces may be counted towards the required parking calculation.		
F. Joint use of parking facilities. Parking facilities for two or more buildings or uses by two or more owners or operators may be used within the required parking calculation provided that:		
1. The total of such parking spaces shall not be less than the sum of the requirements of the several individual uses when computed separately.		
2. A Unity of Title shall be prepared for the purpose of insuring that the required parking is provided and available at all times. The Unity of Title shall be executed by the owners of the properties concerned, approved as to form by the City Attorney, recorded in the public records of Broward County as a covenant running with the land and shall be filed with the Department of Planning and Development Services, City Engineer and attached to plans or permit applications that are filed with the city.		
G. No part of an off-street parking area required for a building or use shall be included as part of an off-street parking area similarly required for another building or use.		
H. Calculation of required off-street parking spaces.		
1. The requirements for off-street parking for any use not specifically mentioned in § 7.2 shall be the same as provided in this Article for the use most similar to the one sought as determined by the Director.		
2. Fractional measurements. Shall be calculated to the nearest whole number. A fraction of 1/2 shall be rounded to the highest whole number.		
3. Mixed uses. The total requirements for off-street parking shall be the sum of the requirement of the various uses computed separately, except where specific requirements are stipulated in this article. Off-street parking spaces for one use shall not be considered as providing the required off-street parking for any other use.		
4. Method of measurement. For the purposes of this article, floor area shall mean the gross floor area inside of the exterior walls; in hospitals, bassinets shall not count as beds. In stadiums, sport arenas, churches and other places of assembly in which occupants utilize benches, pews or other similar seating facilities, each 24 linear inches of such seating facilities shall be counted as one seat for the purpose of computing off-street parking requirements.		
I. Vertical and horizontal tandem parking. Vertical and horizontal tandem parking, including the use of mechanical parking lifts or similar mechanical systems, may be permitted with the following conditions:		
1. The use of mechanical parking lifts or similar mechanical systems shall only be permitted within parking garages and on at-grade parking lots located under a building; and shall not increase the overall building massing;		
2. All portions of parking lifts and automobiles stationed on such lifts shall be fully screened from public view;		

Oakwood Development Guide Article 7 Off-Street Parking and Loading		
City of Hollywood Parking and Loading	Oakwood Plaza Planned Development	Requested Deviation from Code
3. The garage shall be fully operated by valet services at all times; and		
4. Buildings with 10 units or less may be exempt from provision c. of this section, provided the tandem space (vertical or horizontal) is assigned to- and for the sole use of a single unit; not to include required guest spaces; and a covenant running with the land holds the City harmless against any claims arising from accidents as a result of the use of mechanical parking lifts, in a form acceptable to the City Attorney, be submitted prior to the issuance of permits and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C).		
5. Primarily residential buildings with less than 50 lifts may be exempt from provision 3 of this section, provided the vertical tandem space is assigned to and for the sole use of a single unit, not including required guest spaces, and a covenant running with the land that holds the city harmless against any claims arising from accidents as a result of the use of mechanical parking lifts, in a form acceptable to the City Attorney, shall be submitted prior to the issuance of permits and recorded in the Public Records of Broward County by the city prior to the issuance of a certificate of occupancy or certificate of completion.		
(Ord. O-94-24, passed 7-6-94; Am. Ord. O-2000-25, passed 6-7-00; Am. Ord. O-2006-17, passed 5-17-06; Am. Ord. O-2011-14, passed 5-4-11; Am. Ord. O-2016-22, passed 10-19-16; Am. Ord. O-2013-23, passed 12-6-17; Am. Ord. O-2019-05, passed 3-20-19)		
7.2 Amount of Required Off-Street Parking		
A. The required off-street parking spaces shall be provided and maintained on the basis of the following minimum requirements listed in Article 7 except in the Regional Activity Center and Downtown and Beach Community Redevelopment Districts where each District shall have specific off-street parking requirements as identified in Article 4.		
Use	Oakwood Plaza Planned Development	Requested Deviation from Code
1. Apartment Unit (bldg.) 1.5 unit Development with more than 10 units, then 1 per 5 units (marked guest parking)	1.0 spaces per one dwelling unit , 1.5 spaces for 2 or more dwelling units. Due to the nature of the PD, no additional parking for guests or other shall be required.	reductions based on number of units and provide no separate guest parking
13. Hospital 1 per bed +1 per 200 sq. ft. in outpatient facility (diagnosis and treatment areas), + 1 per 200 sq. ft. of emergency room		
14. Hotel or motel 1 per unit Accessory uses 65% of requirement	Hotel/Lodging: 0.5 spaces per room (Supporting uses provided as part of a hotel or similar use (i.e., restaurant, offices, and convention/meeting space within hotel) are included in the parking rate and shall not require additional parking)	reduction of 0.5 spaces
22. Offices, general, financial, bank medical, dental (including clinics), professional and non- professional 1 per 250 sq. ft. For O-1 zoning districts, see § 4.3.J	3.5 spaces per 1,000 square feet GLA (includes retail, restaurant, financial, fitness & spa, entertainment; no additional parking is required for outdoor dining area/seating)	Reduction of approximately 35 square feet per parking space
27. Restaurant 60% times the gross floor area of bldg., then 1 per 60 sq. ft. of the resulting floor area	3.5 spaces per 1,000 square feet GLA (includes retail, restaurant, financial, fitness & spa, entertainment; no additional parking is required for outdoor dining area/seating)	Reduction of approximately 35 square feet per parking space
28. Restaurant, take out 1 per 150 sq. ft. Only applies to take out restaurants not to be applied to #24		
29. Retail 1 per 250 sq. ft.	3.5 spaces per 1,000 square feet GLA (includes retail, restaurant, financial, fitness & spa, entertainment; no additional parking is required for outdoor dining area/seating)	Reduction of approximately 35 square feet per parking space
34. Shopping Center 1 per 220 sq. ft. No differentiation by Use, except for movie theaters (see Theater, hotel, apartment unit) Outdoor sales 1 per 1000sq. Ft.		
36. Theater and places of assembly with fixed seating 1 per 4 seats 1 per movie booth		
37. Townhome 2 per unit If in a development that has more than 4 units then 1 space per 5 units (marked guest)	1.0 spaces per dwelling unit (does not vary based upon the number of bedrooms per unit). Due to the nature of the PD, no additional parking for guests or other shall be required.	Reduction of 1 parking space per unit and provide no separate guest parking
B. Off-Street loading spaces; general provisions.		
1. Off-street loading spaces shall be provided on the same lot as the main permitted use. These spaces are not counted towards the required parking spaces as established in division A. above.	Parking spaces / areas may also be used for short-term pickup of people, goods or services including ride-share and mobile delivery services. Where provided, these spaces shall count towards the overall parking provided within the PD and not be excluded.	Off-street loading spaces specifically utilized for ride-share services and food and grocery delivery services are counted towards the required parking spaces
2. Where any structure is enlarged or any use is extended so that the size of the resulting occupancy comes within the scope of this article, the full amount of off-street loading space shall be supplied and maintained for the structure or use in its enlarged or extended size. Where the use of a structure or land or any part thereof is changed to a use requiring off-street loading space under this article, the full amount of off-street loading space shall be supplied and maintained to comply with this article.		

Oakwood Development Guide Article 7 Off-Street Parking and Loading		
City of Hollywood Parking and Loading	Oakwood Plaza Planned Development	Requested Deviation from Code
3. For the purposes of this article, an off-street loading space shall be an area at the grade level at least 10 feet wide by 25 feet long with 14 feet vertical clearance. Each loading space shall be directly accessible from a street or alley without crossing or entering any other required off-street loading space, and arranged for convenient and safe ingress and egress by motor truck and/or trailer combination. Such loading space shall also be accessible from the interior of any building it is intended to serve.		
4. Off-street loading facilities supplied to meet the needs of one use shall not be considered as meeting off-street loading needs of any other use.		
5. No area or facilities supplied to meet the required off-street parking facilities for a use shall be utilized or be deemed to meet the requirements of this article for off-street loading facilities.		
6. Joint User of Loading Facilities: See § 7.1.F.		
7. Plans for Uses requiring off-street loading facilities under the provisions of this article shall clearly indicate the location, dimensions, clearance and access of all such required off-street loading facilities.		
8. Multi-storied residential developments containing a minimum of 50 units: designated temporary loading spaces for loading and unloading of furniture shall be illustrated on submitted plans with good relationship to the building entrance in a manner which does not restrict the free movement of traffic during their utilization.		
C. Off-street loading spaces shall be provided as follows:		
1. For each retail store, industrial or manufacturing Use, market, restaurant, mortuary, laundry dry cleaning establishment or similar use which has an aggregate gross floor area of:		
Area of Building (sq. ft.) and Off-Street Loading Space Requirement	Oakwood Plaza Planned Development	Requested Deviation from Code
Less than 10,000: None		
10,000 - 24,999: 1		
25,000 - 59,999: 2		
60,000 - 119,999: 3		
120,000 - 199,999: 4		
200,000 - 289,999: 5		
Each 90,000 sq. ft. above 290,000 sq. ft.: 1 additional space		
2. Multiple Family or Apt./Hotel Bldg: 50-100 Units - 1 space + 1 space for each additional 100 units or major fraction.		
3. Places of assembly, museum, hotel, hospital, sports bldg, or institutional uses: 20,000-40,000 sq.ft. - 1 space + 1 space for each 60,000 sq. ft. over 40,000 sq. ft. or major fraction.		
4. For any use not specifically mentioned in this section, the requirements for off-street loading for a use which is so mentioned and to which the unmentioned use is similar shall apply.		
(Ord. O-94-24, passed 7-6-94; Am. Ord. O-95-26, passed 3-22-95; Am. Ord. O-97-28, passed 6-25-97; Am. Ord. O-2002-08, passed 2-6-2002; Am. Ord. O-2004-32, passed 12-15-2004; Am. Ord. O-2007-34, passed 12-18-2007; Am. Ord. O-2008-28, passed 11-19-2008; Am. Ord. O-2009-40, passed 12-2-2009; Am. Ord. O-2016-22, passed 10-19-16; Am. Ord. O-2020-02, passed 1-15-20)		

Appendix C

Code Comparison Article 8 Sign Regulations

8.3. Sign Design Regulations

A. Setting and location.

- f. For multiple-tenant buildings and shopping centers, signs with the exception of parapet signs are permitted for ground floor
- g. Parapet signs for multistory buildings, ten stories and above, may be placed anywhere above the ground floor on the facade in which they are permitted, and shall not be limited to the parapet.
- h. Freestanding signs shall maintain a minimum setback of one foot for every two feet of sign height, but not less than three feet.

B. Design.

1. Composition.

e. Post and panel signs shall be limited to two sides, and supported by one or two permanently mounted wood, metal, stone posts, or similar material. Such posts shall be square in section and not more than six inches in width.

8.4. Permitted Signs

A. Permanent signs.

4. Commercial Districts.

Commercial Districts (C-1, C-2, C-3, C-4, and C-5): Hospital District (HP): commercial and mixed-use buildings within Planned Development (PD) and Planned Unit Development (PUD) Districts: commercial and mixed-use buildings in the Beach Community Redevelopment Districts: and commercial and mixed-use buildings in the Transition, Mixed-Use, and Commercial Districts in the Regional Activity Center, Downtown and Beach Community Redevelopment, and Transit Oriented Corridor Districts.

Type	Maximum Area	Maximum Number	Maximum Height
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One of the following freestanding signs may be permitted per street frontage and/or outparcel:

Monument sign ¹	Frontage of less than 100 feet:			3.Oakwood Plaza PD Identification Monument: One (1) project identity sign is proposed adjacent to I-95, A total of four (4) Identification Monument Signs including one (1) may be provided at the public right of way leading from Stirling Road and one (1) may be provided at Sheridan Street; the additional signs may be located along the spine road at the southern boundary of the North Parcel and the northern boundary of the South Parcel . These signs may be up to fifty (50) feet in height as measured from the adjacent finished grade.	Permit 5 development identification signs Permit a maximum sign height of 50 feet
	6 square feet per side	1 sign per lot	4 feet	Primary Tenant Monument Signs: Each block is permitted one (1) primary monument signs for each five hundred (500) feet in length. These signs may contain up to 300 square feet of signage per sign face, maximum height shall be thirty-five (35) feet. Signs may include digital displays for on-site advertising. No offsite advertising shall be permitted.	Increase maximum number of signs to 1 tenant monument sign per 500' of frontage per block Increase maximum area of signs by 236 square feet, from 64 square feet to 300 square feet Increase maximum height by 19 feet, from 16 feet to 35 feet
	Frontage of at least 100 feet but less than 200 feet:			Secondary Tenant Monument Signs: Each block with frontage on more than one right-of-way may have one secondary ground-mounted sign. These signs will have tenant identification panels that do not exceed 15 - 17 feet in height from grade and will include a 4 - 6 feet high design element that identifies the development. These structures will be architecturally compatible with the main design theme of the Planned Development. Tenant signage panels will not exceed 100 square feet.	Permit 1 secondary monument sign on blocks that have frontage on more than one right of way Permit a maximum area of 100 square feet Permit a maximum sign height of 17 feet
	24 square feet per side	1 sign per street frontage	6 feet		
	Frontage of at least 200 feet but less than 300 feet:			Secondary Project Identity Monument Signs: A series of three (3) vertical signs grouped together to identify the project and may include tenant identification panels. The maximum height shall be twenty (20) feet as measured from the adjacent finished grade; maximum width is six (6) feet. Tenant Identification panels, if provided, may not exceed 20 square feet each.	Permit a grouping of 3 vertical signs to create a secondary development identification sign Permit a maximum sign height of 20 feet, with a maximum width of 6 feet Permit tenant identification signs at 20 square feet each on the vertical signs
	36 square feet per side	1 sign per street frontage	8 feet		
	Frontage of more than 300 feet:			Tenant Monument/Outparcel Signs: A freestanding sign may be permitted on developed outparcels and for tenants. An outparcel, or tenant whether a corner or interior parcel, may have no more than one freestanding sign. Freestanding outparcel signs may be placed with the leading edge of the sign directly on the property line, but in all cases cannot be located in the right-of-way. Freestanding signs may not be placed in the vision triangle. Signs may contain up to 65 square feet of signage per sign face, maximum height shall be 13 feet measured to the top of the sign.	Permit one monument sign per outparcel Permit a maximum area of 65 square feet Permit a maximum height of 13 feet
	64 square feet per side	1 sign per street frontage	16 feet		
Post and panel sign ¹	Frontage of less than 100 feet:				
	Panel area: 10 square feet	1 sign per street frontage	5 feet		

Two of the following signs may be permitted per ground floor tenant with recognizable entrance:			
Awning sign	75% of the length of the awning	1 sign per street frontage	12 inches
Canopy sign	1.5 square feet per linear foot of canopy frontage	1 sign per street frontage	7.5-foot vertical clearance to ground
Marquee sign	10 square feet	1 sign per street frontage	7.5-foot vertical clearance to ground
Projecting sign	5 square feet	1 sign per street frontage	7.5-foot vertical clearance to ground
Wall sign	1 square foot per linear foot of building frontage where the sign is to be located. Signs may be a minimum of 25 square feet	Single-tenant building: 1 per facade; maximum of 3 signs per building Multiple-tenant building: 1 sign per street frontage	Not applicable
The following additional signs may also be permitted:			
Directory sign	1 square foot per tenant or 6 square feet, whichever is greater	Not applicable	Not applicable
Parapet Sign	For 2-3 story buildings: 1 square foot per linear foot of building frontage where the sign is to be located	1 sign per street frontage	2 feet
	For buildings 4 stories or greater: 1 square foot per linear foot of building frontage where the sign is to be located	1 sign per street frontage	3 feet
	For buildings 10 stories or greater: 15% of the total facade area where the sign is to be located	1 sign per street frontage	Not applicable
Window sign	15% of the door, window, or storefront area. Signs may be a minimum of 20 square feet	Not applicable	Not applicable
¹ Prohibited along Broadwalk frontages			
8. Supplemental regulations.			
a. The following signs may also be permitted.			
Type	Maximum Area	Maximum Number	Maximum Height
The following additional signs may also be permitted in all districts, as applicable:			
Address	Not applicable	1 sign per street or alley frontage	6 inches
Directional sign	2 square feet	2 signs per vehicular driveway	4 feet
Directory sign	1 square foot per tenant or 6 square feet, whichever is greater	Not applicable	Not applicable
Incidental	6 square feet	3 signs per establishment	Not applicable
Non-commercial sign	3 square feet	Not applicable	4 feet
The following additional signs may also be permitted for service stations and auto related uses:			
Service station canopy sign	40 square feet	1 sign per street frontage	Not applicable
Service station bay or fueling island sign	5 square feet	1 sign per bay, 2 signs per island	Not applicable
The following additional signs may also be permitted for new automotive sales:			

Under Canopy Signs: In addition to the wall mounted tenant signs, each tenant is permitted one pedestrian oriented under-canopy sign with a maximum area of four (4) square feet. These under-canopy signs are not permitted to be internally illuminated, must maintain nine feet vertical clearance above pedestrian walkways.

Increase permitted number of signs to 1 per tenant
Permit a sign area of 4 square feet regardless of linear foot of canopy frontage

Primary wall mounted signs: These signs identify the individual tenants within the building and are located on the exterior of the building in which the tenant is located. Two square foot per linear foot of building face where the sign is to be located with a maximum of 300 square feet.

Increase permitted sign area to 2 square feet per linear foot instead of 1 square foot per linear foot

Provide a maximum sign size of 300 square feet for primary building faces and 150 square feet for secondary building faces

Secondary Wall Mounted Signs: Tenants are also permitted up to two (2) secondary wall mounted signs that may be placed on a non-entrance/exit side of the building that contains the tenants' space. These signs shall be permitted with a maximum (total) of 150 square feet.

1. Maps/Map Stands and Kiosks are exempt from signage requirements.

1. Vehicular Directional Signage: Signs may contain up to twenty square feet of signage per sign face, maximum height shall be ten (10) feet.

Permit an increase in sign area of 8 square feet
Permit an increase in height of 6 feet

1. Maps/Map Stands and Kiosks are exempt from signage requirements.

One (1) sign shall be permitted per canopy face with a maximum of 25 square feet per sign; canopy not to exceed 100 square feet total for the canopy signage.

No deviation is required

Banners affixed to light poles, lighting structures or similar, and signs less than two square feet in size (i.e., including signage located on fuel pumps, cart storage barns, or similar), shall be exempt from the signage requirements.

Exempt signs less than 2 square feet in size from these requirements

Pole banner sign	24 square feet with no side smaller than 2 feet	2 banners per pole. Pole banner signs shall be no closer than 30 feet apart	Banners shall have a clearance of 12 feet and no portion of the banner should extend above 30 feet, regardless of the height of the pole	Banners affixed to light poles, lighting structures or similar, and signs less than two square feet in size (i.e., including signage located on fuel pumps, cart storage barns, or similar), shall be exempt from the signage requirements.
B. Temporary signs. Illuminated signs are prohibited.				
1. Banner signs. Banner signs require a sign permit pursuant to § 8.2.				
Type	Maximum Size	Maximum Duration/Number		
Banner	50 square feet	Except for institutional and governmental uses, 1 sign is permitted for 10 consecutive days not more than 3 times in a 12-month period.		
2. Temporary sign with an active building permit. All temporary signs with an active building permit require sign permits pursuant to § 8.2. Signs may be erected at the issuance of a building permit and shall be removed at the issuance of a certificate of occupancy or the expiration of the building permit for the project.				
Type	Maximum Area	Maximum Number	Maximum Height	
Two of the following signs may be permitted:				
Fence wrap	100% of fence area	Not applicable	Limited to the fence/wall height pursuant to § 155.12 of the City Code of Ordinances	
Post and panel	Single-family residential districts			
	8 square feet per side	1 sign per street frontage	14 feet	
	Port Everglades Development District (PEDD)			
	32 square feet per side	1 sign per street frontage	8 feet	
	All other districts			
	50 square feet per side	1 sign per street frontage	14 feet	
Wall sign	32 square feet	1 sign per street frontage	Not applicable	
Window sign	100% of window area	Not applicable	Not applicable	

Appendix D:
Code Comparison Article 9 Vehicular Use Area Landscaping

Oakwood Development Guide Article 9 Landscaping

City of Hollywood Landscape Standards	Requested Deviation from Code
A. Perimeter landscaped setbacks for at-grade parking lots (as per § 4.21.I (1-4)); required perimeter landscaped setbacks shall be provided and maintained at a minimum grade elevation of the adjacent paved area.	The proposed Oakwood Plaza Planned Development will comply with these provisions.
B. Terminal islands shall be installed at each end of all rows of parking spaces. Each island shall contain a minimum of 190 square feet of pervious area and shall measure the same length as the adjacent parking stall.	Terminal and intermediate islands shall be a minimum of 7' wide or as practical to provide a suitable planting area
C. Required Landscaping of Paved Vehicular Use Area:	
1. Lots with a width of more than 50 ft.: 25% of the total square footage of the paved vehicular use area shall be landscaped (% calculation excludes required perimeter landscaped setback area).	The majority of the site will be exempt from these requirements as much of the parking provided for this development is within structured parking. Neither the Zoning and Land Development Regulations nor the Landscape Manual provide direction for perimeter landscaping for PD districts or private roadways; see also VUA standard; 8% of total VUA exclusive of perimeter buffer.
2. Lots with a width 50 ft. or less: 15% of the total square footage of the paved vehicular use area shall be landscaped (% calculation excludes required perimeter landscaped setback area).	The majority of the site will be exempt from these requirements as much of the parking provided for this development is within structured parking. Neither the Zoning and Land Development Regulations nor the Landscape Manual provide direction for perimeter landscaping for PD districts.
D. Category I & II plant material contained on the Exotic Pest Plant Council's list of invasive exotic pest plants, as provided in the Landscape Specifications Manual, are prohibited for use in landscaping. Prior to final inspection approval, plant material contained on this list shall be removed from the subject property.	The applicant will remove undesirable exotic vegetation from the site.
E. Native Plant Requirement (as defined in the Hollywood Landscape Specifications Manual), excluding groundcover material, shall be a minimum of 60% trees and 50% shrubs.	50 percent (min) native species; also, plant species may deviate (appx 25%) from City LS Tech Manual
F. Required trees.	
1. One tree per 190 sq. ft. (or portion thereof) of terminal islands and one tree per 1,000 sq. ft. of pervious area of property.	1 tree or palm per terminal and intermediate island, and 1 tree or palm and 10 shrubs per 2,000 sf of non-buffer landscape area
2. Minimum tree size, palm size and number of species as set forth in the Landscape Specifications Manual.	The proposed Oakwood Plaza Planned Development will comply with these provisions.

G. Required hedges or perimeter screening. Within the exterior perimeter buffer strips, a hedge, decorative fence or wall, berm, or other durable landscaped visual barrier, shall be installed at a height of not less than 24 inches. If such visual barrier is of nonliving material, its height, design, location and material of construction must be approved by the Department of Planning and Development Services and the equivalent of one shrub or vine shall be planted along each 10 linear feet of said barrier. When abutting a public street or alley right-of-way, said barrier, if of nonliving material, shall be installed at a distance of not less than 5 feet from adjacent right-of-way lines, and the required shrubs shall be planted between the barrier and adjacent public alley or street right-of-way. Minimum sizes, required spacing and recommended species are set forth in the City of Hollywood Landscape Manual. All screening material installed must comply with § 155.12(D) of the City Code of Ordinances.

The proposed Oakwood Plaza Planned Development will comply with these provisions.

H. Required sod or groundcover. All pervious areas shall be landscaped or covered with a living ground cover or sod. Recommended species and specifications are set forth in the Landscape Specifications Manual.

The proposed Oakwood Plaza Planned Development will comply with these provisions.

I. Curbing. Landscaped areas, walls, structures and walks shall be protected from the encroachment or overhang of vehicles by a 6 inch continuous curbing; all parking stalls shall contain wheel stops. Specifications are set forth in the Landscape Specifications Manual.

The proposed Oakwood Plaza Planned Development will comply with these provisions.

J. Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the South Florida Building Code, the Florida State Statutes, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these Regulations.

Irrigation plan submittals will be provided per City Code for construction permit submittals. Irrigation will be installed prior to the certificate of occupancy.

K. Water conservation. Landscaping shall be designed to conserve water by utilizing the principles of "Xeriscaping," as provided by the regulations of the South Florida Water Management district:

Various standards as noted here (column C)

1. Existing native plant communities (landscaping and area surrounding plants) shall be preserved and enhanced on site;	The proposed Oakwood Plaza Planned Development will comply with these provisions.
2. Plants shall be clumped according to their water demands;	The proposed Oakwood Plaza Planned Development will comply with these provisions.
3. Irrigation systems shall be zoned according to the specific needs of the plants within the irrigation zones;	The proposed Oakwood Plaza Planned Development will comply with these provisions.
4. A rain sensor delay shall be installed on all irrigation systems;	The proposed Oakwood Plaza Planned Development will comply with these provisions.
5. The design of the landscape shall minimize the use of turf;	The proposed Oakwood Plaza Planned Development will comply with these provisions.
L. Installation. All landscaping shall be installed in accordance with the City of Hollywood Landscape Manual.	No Change proposed except for percentages provided

Appendix E:

Planning and Development Board Article 5.3.K.2

Based on criteria under Planning and Development Board Article 5.3.K.2, there are specific criteria (a-e) shown below, that are considered:

- a. That the petition for a change of zoning district will not result in spot zoning or contract zoning;

The Oakwood Plaza PD is a proposed mixed-use development that is creating these Planned Development Guidelines that will allow for harmonious development and not result in spot or contract zoning.

- b. That the proposed change is consistent with, and in furtherance of the Goals, Objectives and Policies of the City's Comprehensive Plan;

This PD has established Goals, Objectives and Policies that have been adopted under the Land Use Planned Amendment. The PD is consistent with regional issues and goals, objectives, and policies of the County Land Use Plan as outlined below:

STRATEGY TR-1: Prioritize new development and redevelopment to existing and planned downtowns and major transit corridors and transit hubs.

The site is a proposed "Activity Center" with a development program to redevelop the property into a mixed-use development incorporating and integrating a mix of retail, office, hotel and supporting residential uses at densities supportive of accommodating population and economic growth. The integration of hotel, retail, office and residential uses creates the opportunity for residents to live and work in the same property while also reducing traffic impacts and creating a supportive economic community by having consumers near consumer goods and services. The project design also includes shared access, multi-modal mobility options and pedestrian friendly promenades. The re-designation of the Property therefore furthers Strategy TR-1 by providing for new development that efficiently accommodates population and economic growth.

STRATEGY MM-2: Recognize and address the transportation and housing connection.

The residential component is assumed to be fully integrated to the development and will provide for convenient pedestrian access to the commercial and office uses on the site. The housing density within the proposed Activity Center will provide transit-supportive housing on the existing multi-modal corridors.

POLICY 2.4.1 Permitted residential densities and hotel rooms within areas designated "Activity Center" on the Broward county Land Use Plan (except for any "Activity Center" located east of the Intracoastal Waterway) may be increased by 20% or 500 dwelling units and/or hotel rooms, whichever is less, no earlier than every five (5) years via a local land use plan amendment and recertification by the Broward County Planning Council, and/or permitted non-residential intensities within areas designated "Activity Center" on the Broward County Land Use Plan may be increased by 20% or 200,000 square feet, which is less, every five (5) years via a local land use plan amendment and recertification by the Broward County Planning Council, subject to the following:

- a. The local government must document no more than 10% of permitted residential units and/or non-residential intensities proposed for increase are available for allocation at the time the local land use plan amendment is considered by the local government at a hearing.
- b. "Every five (5) years" means starting from the date the 2017 Broward County Land Use Plan is effective for "Activity Centers" included in that Plan, or when a new or revised "Activity Center" is adopted by the County Commission and is effective.
- c. An application for a Broward County Land Use Plan amendment may be submitted at any time for "Activity Center" proposals which would exceed the above referenced residential and non-residential density/intensity increases.
- d. The local land use plan shall include policies addressing the affordable/workforce housing needs of "Activity Center."
- e. The local land use plan shall demonstrate sufficient capacity for public facilities and services, including coordination with public schools.

POLICY 2.4.2 Local governments may propose a specific area for designation on the Broward County Land Use Plan as an Activity Center. The municipality shall include within their land use element policies that ensure the proposed Activity Center will support the location of uses in a manner oriented around the five-minute (i.e. quarter-mile) walk and/or within approximately quarter-mile on either side of a transit corridor. Multiple nodes of activity oriented around the five-minute (i.e. quarter-mile) walk or transit corridor may be included within one Activity Center. The municipality shall include within their land use element policies that ensure that the proposed Activity Center will support the location of uses and internal circulation such that pedestrian mobility is a priority. All land uses in an Activity Center shall be directly accessed via pedestrian ways, and accessible to existing or future alternate public transportation modes, including bicycle and transit.

POLICY 2.4.3 Residential use required as a principal component within an Activity Center. Maximum residential density must be specified by the local government, and must be described in the permitted uses section of the Broward County Land Use Plan. Residential densities may be specified either as units per gross acre in geographically designated areas and/or as a maximum number of permitted units (e.g. pool of units in the Activity Center).

POLICY 2.4.4 At least two non-residential uses must be permitted in the Activity Center as a principal use: e.g. retail, office, restaurants and personal services, hotel/motel, light industrial (including "live work" buildings), research business, civic and institutional.

POLICY 2.4.5 Minimum and Maximum FAR (Floor Area Ratio) for non-residential uses within an Activity Center must be specified by the local government and described in the permitted uses section of the Broward County Land Use Plan. Minimum non-residential FARs (Gross) of 2 are encouraged. Non-residential intensities may vary along transit corridors and may be specified at the option of the local government, either as a maximum FAR in geographically designated areas and/or as an overall maximum square footage by use [e.g. pool of square footage by permitted use (retail, office etc.) or land use category (commercial)].

POLICY 2.4.6 For proposed new or revised Activity Center, Broward County shall, to address proposed dwelling units and impacts, coordinate and cooperate in assisting municipalities to identify existing and proposed policies, methods and programs to achieve and/or maintain a sufficient supply of affordable housing to serve such areas.

POLICY 2.4.7 Local governments shall consider community needs for affordable housing when proposing an Activity Center and include within their local land use element policies which encourage affordable housing opportunities, through various mechanisms such as the direction of public housing program funds into the Activity Center, reduced lot size for dwelling units, construction of zero lot line and cluster housing, vertical integration of residential units with non-residential units, the allowance of accessory dwelling units, or through other mechanisms proven effective in increasing the affordable housing stock. To promote Activity Centers which propose to include “low income” housing as a viable component, Broward County shall support all reasonable means and methods to mitigate potential negative impacts to public facilities and services which may result from the amendment.

POLICY 2.4.8 Local governments shall include within their local land use element policies that promote the preservation, rehabilitation and use of historic buildings within a proposed Activity Center.

POLICY 2.4.9 Local land use elements shall require design guidelines that incorporate pedestrian and bicycle paths and greenways to accomplish fully-connected routes to all destinations within the Activity Center. The paths should be spatially defined by buildings, trees and lighting, and should incorporate designs which discourage high speed traffic.

POLICY 2.4.10 To reduce reliance on automobile travel, local governments shall ensure convenient access to high use mass transit stops or multi-modal facilities within a proposed Activity Center.

POLICY 2.4.11 Local governments shall include within their local land use element policies that encourage internal transit systems to serve the residents and employees within the proposed Activity Center (e.g. trolley, community transit services). Transit shelters should be incorporated in the local design guidelines to provide safe and comfortable service and to encourage transit usage.

POLICY 2.4.12 In consideration of non-residential land uses in areas proposed for designation as an Activity Center, the impact analysis for the designation in the Broward County Land Use Plan may be based on the amount of non-residential development which could be permitted as per the intensity standards of the effective local government land use element, rather than the alternative 10,000 square feet per gross acre standard utilized for non-residential impact analysis.

POLICY 2.4.13 Local land use element policies must include guiding principles for municipal design guidelines to adequately address the transition to adjacent residential development and to promote connectivity to transit stations and stops.

POLICY 2.4.14 Park land, public plazas, urban open space or green space/pocket park uses that are accessible to the public must be provided as an integrated component within a proposed Activity Center.

POLICY 2.4.15 The municipality shall include within their land use element policies that ensure that areas designated as Activity Centers include design features that promote and enhance pedestrian mobility, including connectivity to transit stops and stations, based on the following characteristics:

- Integrated transit stop with shelter, or station (within the area).
- Wide (5 feet shall be the minimum consistent with ADA requirements) pedestrian and bicycle paths that minimize conflicts with motorized traffic and are adequately landscaped, shaded and provide opportunities for shelter from the elements.
- Buildings should front the street (zero or minimal setbacks are encouraged).
- Vehicle parking strategies that encourage and support transit usage (such as parking that does not front the street, shared parking, parking structures, and/or reduced parking ratios).

- Streets (internal and adjacent to the area) should be designed to discourage isolation and provide connectivity (such as streets in the grid pattern).

POLICY 2.4.16 Local plan policies must include requirements for internal pedestrian and transit amenities to serve the residents and employees within the area designated as an Activity Center (such as seating on benches or planter ledges, shade, light fixtures, trash receptacles, information kiosks, bicycle parking) or other amenities that could be incorporated into adjacent publicly accessible areas and plaza (such as clocks, fountains, sculpture, drinking fountains, banners, flags and food and refreshment vendor areas.)

POLICY 2.4.17 The intent of the required design features is to provide guidelines for municipal implementation of the Activity Center land use category. Municipalities are encouraged to use some or all of the above design elements, or to develop other design strategies, which accomplish the goals of using design elements to enhance pedestrian and transit mobility. County review of applications seeking the Activity Center land use category designations will only determine whether the municipality has adopted, through plan policies, a cohesive set of implementation strategies to accomplish the design strategies sought, and will not seek to require a specific design approach or a fixed set of design approaches as a requirement for County approval of the land use designation sought.

POLICY 2.4.18 Municipalities which propose an Activity Center designation shall include policies within their land use element which establish design guidelines for mixed use within their land development codes. Policies should promote an urban form which creates well integrated land use combinations, balances intensity and density, and promotes the safe, interconnectivity of vehicular, pedestrian and other non-motorized movement. Policies should integrate the public realm, through open space, urban public plazas and/or recreational areas.

POLICY 2.4.19 Municipalities which propose an Activity Center designation shall include policies within their land use element which establish appropriate design standards, within their land development codes, to ensure a mixed use development is compatible with adjacent land uses and adjacent adopted Future Land Use designations.

POLICY 2.4.20 An interlocal agreement between the municipality and Broward County must be executed no later than six months from the effective date of the adoption of an Activity Center which provides that monitoring of development activity and enforcement of permitted land use densities and intensities shall be the responsibility of the affected municipality. A written record reflecting the current status of allocated or assigned dwelling units and floor area square footage for non-residential development for each Activity Center within the municipality's boundary shall be transmitted to the Planning Council twice per year, during the months of January and July. The referenced written record shall include a tally sheet reflecting the current total dwelling units and floor area square footage for non-residential development as follows:

1. Dwelling units and floor area square footage for non-residential development included per valid plats which have been approved by the municipality and which have restrictive notes reflecting the level of development; and
2. Dwelling units and floor area square footage for non-residential development included per valid site plans which have been approved by the municipality and which are not included per plats as described in 1. above; and
3. Dwelling units and floor area square footage for non-residential development of existing uses which are not included per plats or site plans as described in 1. and 2. above.

The PD is consistent with the goals, objectives, and policies of the City Land Use Plan as outlined below:

Land Use Element

GOAL: Promoted a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.

Objective 6: Encourage multi-use areas and mixed uses concentrations of density near existing or planned major employment centers and major transportation routes in order to promote energy conservation and mass transit, preserve air quality, reduce the cost of services, encourage affordable housing, and promise economic development.

Objective 7: Achieve consistency with the Broward County Land Use Plan by adopting the following goals, objectives, and policies into the City's Land Use Element, by references, from other elements of the City's Comprehensive Plan.

Policy 7.2 Continue to provide and maintain a complete range of recreational facilities and services as well as open space sites to fulfill the recreational needs of residents and visitors of all ages by the adequate and efficient provision of both facilities and programs through the coordination of both private and public development and the utilization of private and public resources.

Policy 7.24 To ensure through coordination with the South Florida Water Management District (SFWMD), the Broward County Water Resources Management Division (WRMD), and the Broward County Environmental Protection Department in the development review process to ensure that new development is required to provide adequate drainage measures to service itself and to neutralize any deficiencies which would be created by such new development.

Policy 7.41 Coordinate traffic circulation with future land use designations as specified by the City's Land Use Plan by reviewing traffic impacts during the development review process and by coordinating with County and State Governments.

Policy 8.12 The compatibility of existing and future land uses shall be a primary consideration in the review and approval of amendments to the Broward County and City land use plans.

- c. That conditions have substantially changed from the date the present zoning district classification was placed on the property which make the passage of the proposed change necessary;

The current zoning of this property is Industrial (IM-1), which does not allow our proposed mixed use regulations so this PD is being created for that purpose.

- d. The proposed change will not adversely influence living conditions in the neighborhood; and

The existing Oakwood Plaza Shopping Center currently has retail, restaurants, offices and similar uses. The proposed PD will expand on this and offer a residential component for a live and work experience. This will not adversely impact living conditions in the area as it will enhance and offer more goods and services for the local community.

- e. That the proposed change is compatible with the development(s) within the same district/neighborhood.

The proposed PD will be compatible with the surrounding shopping centers, activity centers and other neighborhoods as we have consistent uses such as residential, office, hotel and apartments. This activity center will bring a lot of goods and services to the local neighborhoods with a live work experience.

ATTACHMENT F
Ordinance No. O-2022-04

ORDINANCE NO. O-2022-04

(20-L-32)

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, AMENDING THE CITY'S COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION FOR PROPERTY LOCATED AT 2609 NORTH 26TH AVENUE AND THE ADJACENT PARCELS TO THE NORTH AND WEST, 200 & 300 OAKWOOD LANE, 1 OAKWOOD BOULEVARD AND THE ADJACENT PARCEL TO THE SOUTH, 2, 2800, 2900, 2906, 2908-2914, 2940, 3000, 3120, 3215, 3350, 3401, 3501-3881, 3800, 3901-3921, 4001-4101, 4100, AND 4150 OAKWOOD BOULEVARD, 2700 STIRLING ROAD, AND OAKWOOD BOULEVARD, GENERALLY LOCATED SOUTH OF STIRLING ROAD AND EAST OF INTERSTATE 95 FROM THE LAND USE DESIGNATION OF GENERAL BUSINESS AND OPEN SPACE AND RECREATION TO ACTIVITY CENTER (OAKWOOD ACTIVITY CENTER); AMENDING THE CITY'S LAND USE MAP TO REFLECT THE CHANGES.

WHEREAS, the City of Hollywood, pursuant to the Local Government Comprehensive Planning and Land Development Regulation Act and in accordance with all of its terms and provisions, has prepared and adopted a Comprehensive Plan, which has been approved by the State of Florida Department of Community Affairs and certified by the Broward County Planning Council; and

WHEREAS, the Zoning and Land Development Regulations provide that an application for a Land Use Plan Amendment may be filed; and

WHEREAS, a valid application was filed (20-L-32) for a change of land use designation from General Business and Open Space and Recreation to Activity Center (Oakwood Activity Center) for the property located at 2609 N. 26th Avenue and adjacent parcels to the north and west, and property located at 200 & 300 Oakwood Boulevard and adjacent parcels to the south, 2, 2800, 2900, 2906, 2908-2914, 2940, 3000, 3120, 3215 3350, 3401. 3501-3881, 3800, 3901-3921, 4001-4101, 4150 Oakwood Boulevard, 2700 Stirling Road, and Oakwood Boulevard, generally located south of Stirling Road and east of Interstate 95 that contains approximately 112.5 gross acres/111.8 net acres as more specifically described in the attached Exhibit "A"; and

WHEREAS, the existing zoning for the subject property is Low Intensity Industrial and Manufacturing (IM-1); and

WHEREAS, the Planning Manager and Planning Administrator, following analysis of the application, recommended that it be approved; and

WHEREAS, on April 13, 2021, the Planning and Zoning Board, acting as the City's Local Planning Agency, recommended that the City Commission approve the applicant's land use request; and

WHEREAS, the City Commission has conducted duly advertised hearings on the future land use amendment proposed through the above referenced petition and has considered all comments received concerning the proposed amendment as required by state law and local ordinances; and

WHEREAS, the City Commission finds that the proposed amendment is consistent with the goals, policies, and objectives of the City's Comprehensive Plan, Article 1 of the Broward County Administrative Rules Document, and Broward County Land Use Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That the foregoing "WHEREAS" clauses are ratified and confirmed as being true and correct and are incorporated in this Ordinance.

Section 2: That the land use designation of the property specifically described in the attached Exhibit "A" that contains approximately 111.8 net acres/112.5 gross acres, located in the City of Hollywood, Broward County, Florida, is changed from General Business and Open Space and Recreation to Activity Center ("Oakwood Activity Center").

Section 3: That the Oakwood Activity Center Development for the subject property shall be developed as more specifically set forth in the attached Exhibit "B" and in accordance with Broward County Ordinances 2022-06 and 2022-07.

Section 4: That the Official Land Use Map of the City of Hollywood is amended to incorporate the above listed change in land use designation.

Section 5: That all sections or parts of sections of the Zoning and Land Development Regulations, Code of Ordinances, and all ordinances or parts thereof and all resolutions or parts thereof in conflict are repealed to the extent of such conflict.

Section 6: That if any word, phrase, clause, subsection or section of this Ordinance is for any reason held unconstitutional or invalid, such invalidity shall not affect the validity of any remaining portions of this Ordinance.

Section 7: The effective date of this Ordinance shall be the date upon which the following event has occurred:

- (a) The plan amendment is recertified by the Broward County Planning Council once one of the following has occurred:

(1) a final order is issued by the Department of Community Affairs finding the amendment to be in compliance with Section 163.3184, Florida Statutes; or

(2) a notice of intent is issued by the Department of Community Affairs Administrative Commission finding the amendment to be in compliance with Chapter 163, Florida Statutes.

Section 8: That no development orders, development permits, or land uses dependent on this amendment may be issued or commenced before it has become effective. If a final order of non-compliance is issued by the Administrative Commission, this amendment may nevertheless be made effective by adoption of a resolution affirming its effective status, a copy of which resolution and ordinance shall be sent to the Department of Community Affairs, Division of Community Planning, Plan Processing Team, 2555 Shumard Oak Blvd., Tallahassee, Florida 32399-2100.

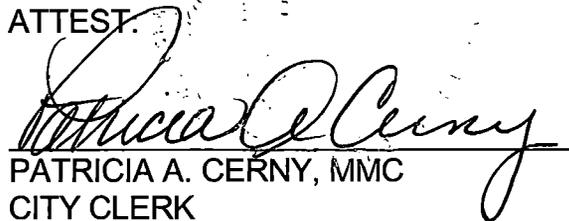
Advertised on May 18, 2021.

Advertised on MARCH 21, 2022.

PASSED on first reading this 2 day of June, 2021.

PASSED AND ADOPTED on second reading this 6 day of April, 2022.

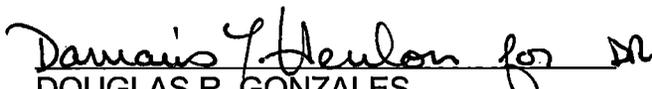
ATTEST:



PATRICIA A. CERNY, MMC
CITY CLERK



JOSH LEVY, MAYOR

APPROVED AS TO FORM AND LEGAL SUFFICIENCY for the use and reliance of the City of Hollywood, Florida, only.



DOUGLAS R. GONZALES
CITY ATTORNEY

EXHIBIT "A"

PORTION OF PARCEL "A", "THE AQUA PARK", RECORDED IN PLAT BOOK 109, PAGE 8; A PORTION OF PARCEL "A", COLONIAL SQUARE, RECORDED IN PLAT BOOK 114, PAGE 32, ALL OF THE ABOVE DESCRIBED PLATS BEING RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SAID SECTION 4;

THENCE N.87°34'11"E., ALONG THE NORTH LINE OF THE SAID NORTHEAST ONE-QUARTER (N.E. 1/4), A DISTANCE OF 334.94 FEET, TO A POINT OF INTERSECTION WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF PARCEL "A", OF SAID COLONIAL SQUARE;

THENCE S.01°48'26"E., ALONG SAID NORTHERLY EXTENSION, A DISTANCE OF 53.00 FEET, TO THE NORTHWEST CORNER OF PARCEL "A", OF SAID COLONIAL SQUARE, SAID POINT ALSO BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND;

THENCE CONTINUE S.01°48'26"E., A DISTANCE OF 677.36 FEET, TO A POINT ON A LINE 677.32 FEET SOUTH OF AND PARALLEL WITH THE SAID NORTH LINE OF PARCEL "A", OF SAID COLONIAL SQUARE;

THENCE N.87°34'11"E., ALONG SAID PARALLEL LINE A DISTANCE OF 334.84 FEET, TO A POINT ON THE EAST LINE OF PARCEL "A", OF SAID COLONIAL SQUARE;

THENCE S.01°48'00"E., ALONG SAID EAST LINE AND THE EAST LINE OF TRACT "A", OF SAID "JOHN L.A. BOND PLAT", A DISTANCE OF 770.97 FEET, TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE C-10 CANAL;

THENCE N.59°53'00"W., A DISTANCE OF 24.81 FEET;

THENCE S.30°07'00"W., A DISTANCE OF 75.00 FEET;

THENCE S.59°46'55"E., A DISTANCE OF 50.00 FEET;

THENCE S.30°07'00"W., A DISTANCE OF 1267.83 FEET (THE PREVIOUS 4 COURSES BEING COINCIDENT WITH THE WEST RIGHT-OF-WAY LINE OF THE C-10 CANAL), TO THE SOUTHEAST CORNER OF PARCEL "A", OF SAID "THE AQUA PARK", SAID POINT ALSO BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF THE C-10 SPUR CANAL;

THENCE S.88°32'24"W., ALONG THE SOUTH LINE OF SAID PARCEL "A" AND SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 987.44 FEET, TO THE SOUTHWEST CORNER OF PARCEL "A", OF SAID "THE AQUA PARK", SAID POINT ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF INTERSTATE I-95;

THENCE N.06°21'05"E., ALONG THE WEST LINE OF PARCEL "A", OF SAID "THE AQUA PARK", AND SAID EAST RIGHT-OF-WAY LINE A DISTANCE OF 2134.34 FEET;

THENCE N.14°49'05"E., A DISTANCE OF 122.91 FEET;

THENCE N.07°47'46"E., A DISTANCE OF 125.78 FEET, (THE PREVIOUS TWO COURSES BEING COINCIDENT WITH THE EAST RIGHT-OF-WAY LINE OF INTERSTATE I-95 AS DESCRIBED INSTRUMENT No. 114419988 OF SAID PUBLIC RECORDS);

THENCE N.10°46'20"E., A DISTANCE OF 38.00 FEET, TO THE MOST SOUTHERLY NORTHWEST CORNER OF PARCEL "A", OF SAID "THE AQUA PARK";

THENCE N.87°35'12"E., ALONG THE MOST SOUTHERLY NORTH LINE OF PARCEL "A", OF SAID "THE AQUA PARK", A DISTANCE OF 451.20 FEET, TO A POINT ON THE MOST EASTERLY WEST LINE OF SAID PARCEL "A", OF SAID "THE AQUA PARK";

THENCE N.02°25'03"W., ALONG SAID MOST EASTERLY WEST LINE A DISTANCE OF 189.77 FEET, TO A POINT ON A LINE 53.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHWEST ONE-QUARTER (NW ¼) OF SAID SECTION 4;

THENCE N.87°34'43"E., ALONG SAID PARALLEL LINE A DISTANCE OF 190.06 FEET, TO THE NORTHWEST CORNER OF LOT 1-A OF SAID HOLLYWOOD COMMERCIAL CENTER;

THENCE S.01°48'53"E., ALONG THE WEST LINE OF SAID LOT 1-A, A DISTANCE OF 173.83 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1-A;

THENCE N.87°43'46"E., ALONG THE SOUTH LINE OF SAID LOT 1-A, A DISTANCE OF 167.45 FEET TO THE SOUTHWEST CORNER OF LOT 1-B OF SAID HOLLYWOOD COMMERCIAL CENTER;

THENCE N.01°48'40"W., A DISTANCE OF 174.30 FEET, ALONG THE WEST LINE OF SAID LOT 1-B TO THE NORTHWEST CORNER OF SAID LOT 1-B;

THENCE N.87°34'11"E., ALONG THE NORTH LINE OF SAID LOT 1-B, A DISTANCE OF 167.47 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE AND BEING WITHIN THE CITY OF HOLLYWOOD, FLORIDA AND CONTAINING 71.941 ACRES (3,133,732 SQUARE FEET), MORE OR LESS.

LEGAL DESCRIPTION: (LUPA SOUTH PARCEL)

A PARCEL OF LAND BEING A PORTION OF TRACT "E", OAKWOOD HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 120, PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE C-10 CANAL;

THENCE S.88°27'20"W., ALONG THE SOUTH LINE OF SAID TRACT "E", A DISTANCE OF 325.00 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND;

THENCE CONTINUE S.88°27'20"W., ALONG SAID SOUTH LINE, A DISTANCE OF 449.41 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF INTERSTATE I-95;

THENCE N.06°21'05"E., ALONG THE WEST LINE OF SAID TRACT "E" AND THE EAST RIGHT-OF-WAY LINE OF SAID INTERSTATE I-95, A DISTANCE OF 1993.10 FEET TO THE NORTHWEST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT OF THE SOUTH RIGHT-OF-WAY LINE OF THE C-10 SPUR CANAL;

THENCE N.88°32'24"E., ALONG THE NORTH LINE OF SAID TRACT "E", AND THE SOUTH RIGHT-OF-WAY LINE OF THE SAID C-10 SPUR CANAL, A DISTANCE OF 960.10 FEET TO THE NORTHEAST CORNER OF SAID TRACT "E", SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE SAID C-10 CANAL;

THENCE S.11°34'01"W., ALONG SAID EAST LINE OF SAID TRACT "E" AND THE WEST RIGHT-OF-WAY LINE OF THE SAID C-10 CANAL, A DISTANCE OF 1759.90 FEET;

THENCE S.88°27'11"W., A DISTANCE OF 322.78 FEET;
THENCE S.01°32'49"E., A DISTANCE OF 76.25 FEET;
THENCE S.88°27'11"W., A DISTANCE OF 62.50 FEET;
THENCE S.01°32'49"E., A DISTANCE OF 182.50 FEET TO THE TO THE POINT OF BEGINNING.
SAID LANDS SITUATE AND BEING WITHIN THE CITY OF HOLLYWOOD, BROWARD COUNTY,
FLORIDA AND CONTAINING 37.297 ACRES (1,624,651 SQUARE FEET), MORE OR LESS.

LEGAL DESCRIPTION: (LUPA EAST PARCEL)

A PARCEL OF LAND BEING A PORTION OF TRACT "C", OAKWOOD HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 120, PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND A PORTION OF VACATED N. 26th. AVENUE AS RECORDED IN OFFICIAL RECORDS BOOK 20603, PAGE 366 OF SAID PUBLIC RECORDS. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT "C";
THENCE N.04°07'58"W., ALONG THE EAST LINE OF SAID TRACT "C", A DISTANCE OF 36.83 FEET;
THENCE N.07°50'52"E., ALONG SAID EAST LINE, A DISTANCE OF 113.75 FEET, TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND;
THENCE S.85°15'20"W., A DISTANCE OF 221.11 FEET, TO A POINT ON THE WEST LINE OF SAID TRACT "C";
THENCE N.03°59'43"W., A DISTANCE OF 50.00 FEET;
THENCE N.11°34'01"E., A DISTANCE OF 92.24 FEET, (THE PREVIOUS TWO COURSE BEING COINCIDENT WITH THE WEST LINE OF SAID TRACT "C");
THENCE N.78°25'59"W., A DISTANCE OF 80.00 FEET, TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF THE C-10 CANAL;
THENCE N.11°34'01"E., ALONG SAID EAST RIGHT OF WAY LINE A DISTANCE OF 269.78 FEET;
THENCE S.78°25'59"E., A DISTANCE OF 300.01 FEET, TO A POINT ON THE EAST LINE OF SAID TRACT "C";
THENCE S.11°34'01"W., A DISTANCE OF 261.59 FEET;
THENCE S.07°50'52"W., A DISTANCE OF 86.67 FEET, (THE PREVIOUS TWO COURSES BEING COINCIDENT WITH THE SAID EAST LINE OF TRACT "C") TO THE POINT OF BEGINNING.
SAID LANDS SITUATE AND BEING WITHIN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 2.422 ACRES (105,506 SQUARE FEET), MORE OR LESS.

EXHIBIT "B"

OAKWOOD ACTIVITY CENTER

Application for Amendment to the City of Hollywood and Broward County Land Use Plans

Prepared By:

Kimley-Horn and Associates, Inc.
445 24th Street, Suite 200
Vero Beach, FL 32960
(772) 794-4100

Kimley»»Horn

July 2020

(Revised February 2021)



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FIGURE 1: FLORIDA LAND COVER AND FORMS CLASSIFICATION SYSTEM MAP

FIGURE 2: SOILS MAP

1. TRANSMITTAL INFORMATION

- A. Letter of transmittal from municipal mayor or manager documenting that the local government acted by motion, resolution or ordinance to transmit a proposed amendment to the Broward County Land Use Plan. Please attach a copy of the referenced motion, resolution or ordinance. The local government's action to transmit must include a recommendation of approval, denial or modification regarding the proposed amendment to the Broward County Land Use Plan.**

To be provided.

- B. Name, title, address, telephone, facsimile number and e-mail of the local government contact.**

Leslie A. Del Monte
Planning Manager
City of Hollywood
Division of Planning and Urban Design
2600 Hollywood Boulevard
Hollywood, FL 33022-9045
Phone: (954) 921-3471
Fax: (954) 921-3347
Email: LDelmonte@hollywoodfl.org

- C. Summary minutes from the local planning agency and local government public hearings of the transmittal of the Broward County Land Use Plan amendment.**

To be provided.

- D. Description of public notification procedures followed for the amendment by the local government including notices to surrounding property owners, advertisements in local publications, signage at proposed site, etc.**

Pursuant to Section 163.3225 (2)(a) of the Florida Statutes and the Intergovernmental Coordination Element of the City's Comprehensive Plan, the City of Hollywood provided a public hearing notice for advertisement in the local newspaper and notified in writing all regional, county and local governments surrounding the proposed land use plan amendment application. A copy of the public hearing notice will be attached when transmitted to Broward County.

- E. Whether the amendment is one of the following:**

- *Development of Regional Impact**
- *Small scale development activity (Per Florida Statutes)**
- *Emergency (please describe on separate page)**

None of the above considerations are applicable to the amendment site.

2. APPLICANT INFORMATION**A. Name, title, address, telephone, facsimile number and e-mail of the applicant.**

Peter S. Flint
Vice President, Development
Oakwood Plaza Limited Partnership
1 Oakwood Boulevard, Suite 70
Hollywood FL 33023
Email: PFlint@kimcorealty.com
Phone: (954) 956-2118

B. Name, title, address, telephone, facsimile number and e-mail of the agent.

Dennis D. Mele, Esq
Greenspoon Marder LLP
200 East Broward Boulevard, Suite 1800
Fort Lauderdale, FL 33301
Email: dennis.mele@gmlaw.com
Phone: 954-527-2409

Greg D. Wilfong, P.E.
Kimley-Horn and Associates, Inc.
445 24th Street, Suite 200
Vero Beach, FL 32960
Email: greg.wilfong@kimley-horn.com
Phone: (772) 794-4119

C. Name, title, address, telephone, facsimile number and e-mail of the property owner(s).

Property Owner: Oakwood Plaza L.P. & Oakwood Business Center Limited Partnership
Contact:
Peter S. Flint
Vice President, Development
Oakwood Plaza Limited Partnership
1 Oakwood Boulevard, Suite 70
Hollywood FL 33023
Email: PFlint@kimcorealty.com
Phone: (954) 956-2118

- D. Applicant's rationale for the amendment. The Planning Council requests a condensed version for inclusion in the staff report (about two paragraphs). Planning Council staff may accept greater than two paragraphs, if submitted in an electronic format.**

The amendment site is located along Oakwood Boulevard, east of I-95, south of Stirling Road, and north of Sheridan Road. The existing property is comprised of retail, service and office uses including a series of surface parking lots, including Oakwood Boulevard which is a private roadway. The applicant proposes to redevelop portions of the site to add hotel rooms, multi-family dwelling units, retail and meeting spaces with the goal of enhancement and further support the existing non-residential uses.

This application serves as a request is to change the future land use designations of the amendment site. Specifically, the current designations of General Business and Open Space and Commerce and Open Space (per the City and County Land Use Plans) are requested for amendment; to Oakwood Activity Center. The requested amendment is intended to facilitate the development of a mixed-use property consisting of retail, office, hotel and residential uses. Furthermore, the proposed Oakwood Activity Center Land Use designations promote a compatible mix of uses within a limited geographical area while increasing access to multi-modal transportation options. The integration of these proposed uses has been shown to create opportunities for shared trip ends between consumers and to provide concurrent opportunities for residents to live and work in the same center, thereby reducing potential traffic impacts to the wider area. As an added benefit, the residential component of the amendment site is within comfortable walking distance of the existing transit corridor serving this development. The proposed residential multi-family units will additionally contribute to a variety of housing options needed in the City. Overall, the project is designed for residents, employees, and non-local consumers to share access to multi-modal mobility options, integrated pedestrian-friendly promenades and shops, and open spaces. The approximate 2.50 acres of open space will be incorporated into the overall 112.50 gross acres as a wet pond/dry pond or other allowed use.

3. AMENDMENT SITE DESCRIPTION

- A. Concise written description of the general boundaries and gross acreage (as defined by BCLUP) of the proposed amendment.**

The amendment site encompasses 112.50 gross acres. The survey and legal descriptions depict a total of 111.65 net acres in the City of Hollywood. This has been confirmed as shown in the acreage determination letter located in **Exhibit N**. The amendment site includes Oakwood Boulevard which is a private roadway, and is generally located east of I-95, west of existing the existing lake, south of Stirling Road and north of Sheridan Street.

B. Sealed survey, including legal description of the area proposed to be amended.

The survey and legal descriptions of the amendment site is provided. See **Exhibit A.**

C. Map at a scale clearly indicating the amendment’s location, boundaries and proposed land uses.

The location map indicating the amendment site boundaries and proposed land use is provided. See **Exhibit B.**

4. EXISTING AND PROPOSED USES

A. Current and proposed local and Broward County Land Use Plan designation(s) for the amendment site. If multiple land use designations, describe gross acreage within each designation. For Activity Center amendments, the proposed text indicating the maximum residential and nonresidential uses must be included.

For the Broward County Land Use Plan, the amendment site is currently designated Commerce (110.9 gross acres) and Recreation and Open Space (1.6 gross acres). For the City of Hollywood Land Use Plan and the same gross acreages, the amendment site is designated General Business and Open Space and Recreation. The applicant is proposing to change the designation to Activity Center for the County Land Use Plan and Regional Activity Center for the City Land Use Plan. The approximate 2.50 acres of open space will be incorporated into the overall 112.50 gross acres as a wet pond/dry pond or other allowed use. The survey and legal descriptions depict a total of 111.65 net acres in the City of Hollywood See **Table 1** below.

TABLE 1: LAND USE	
EXISTING LAND USE	Gross Acres
COUNTY: Commerce and Recreation and Open Space	112.50
CITY: General Business and Open Space and Recreation	112.50
PROPOSED ACTIVITY CENTER (Maximum)	
Retail: 1,200,000 square feet	
Office: 1,890,000 square feet	
Residential: 3,800 multi-family dwelling units	
Hotel: 625 rooms	

Maps of the current City and County future land use designations are provided. See **Exhibit C.**

B. Indicate if the flexibility provisions of the Broward County Land Use Plan have been used for adjacent areas.

The flexibility provisions have not been utilized for the adjacent areas.

C. Existing use of amendment site and adjacent areas.

The existing uses of the amendment site and adjacent areas are provided in **Table 2** below:

TABLE 2A: EXISTING USES (72.4 - gross acres)	
Amendment Site	Commercial Shopping Center
North	Stirling Road
South	Canal
West	I-95
East	Hotel, Vacant, Canal

TABLE 2B: EXISTING USES (37.3- net acre)	
Amendment Site	Commercial Shopping Center
North	Canal
South	Canal, Office
West	I-95
East	Canal

TABLE 2C: EXISTING USES (2.5 – gross acre)	
Amendment Site	Vacant
North	Hotel
South	Park, N 26 th Avenue
West	Canal
East	Lake

D. Proposed use of the amendment site including proposed square footage (for analytical purposes only) for each non-residential use and/or dwelling unit count. For Activity Center amendments,

also provide each existing non-residential use square footage and existing dwelling units for amendment area.

The uses within the proposed Activity Center will be limited to those in the **Table 3** below:

TABLE 3: PROPOSED USES		
Activity Center	Proposed Intensity	Existing SF/DU
Retail	1,200,000 square feet	1,638,000 square feet
Office	1,890,000 square feet	3,276,000 square feet
Residential	3,800 multi-family units	0 units
Hotel	625 rooms	0 rooms

- E. Maximum allowable development per local government adopted and certified municipal land use plans under existing designation for the site, including square footage/floor area ratio/lot coverage/height limitations/ for each non-residential use and/or dwelling unit count.**

Based on the existing City land use plan designation and applicable zoning regulations, the amendment site area designated as General Business (112.50 gross AC) is zoned IM-3 This would allow development of one or more industrial structures with a maximum building footprint of approximately 4,282,000 square feet and a maximum height of 35 feet.

5. ANALYSIS OF PUBLIC FACILITIES AND SERVICES

A. Potable Water Analysis

- 1. Provide the potable water level of service per the adopted and certified local land use plan, indicating the adoption date of the 10 Year Water Supply Facilities Workplan.**

The City of Hollywood potable water level of service standard is the Florida Department of Environmental Protection permitted capacity of the city’s potable water treatment facilities. The City adopted its most recent Water Supply Facilities Work Plan in January 2015. The amendment site is served by the City of Hollywood water treatment plant (“HWTP”) with a capacity of 59.5 MGD. Current and committed demand comprise approximately 14.7 MGD. There are no planned expansions at this time. Both City wellfields and the Broward County South Regional Wellfield provide water from the Biscayne and Floridan aquifers. The City’s maximum permitted withdrawal is 30.7 MGD from the Biscayne Aquifer and 8.7 MGD from the Floridan Aquifer. SFWMD Water Use Permit 06-00038-W expires on April 10, 2028.

- 2. Identify the potable water facility serving the area in which the amendment is located including the current plant capacity, current and committed demand on the plant and planned plant capacity expansions, including year and funding sources. Identify the well field serving the area in which the amendment is located including the South Florida Water**

Management District (SFWMD) permitted withdrawal and expiration date of the SFWMD permit.

TABLE 4: CITY OF HOLLYWOOD WATER PLANT CAPACITY, DEMAND, AND EXPANSION	
Name of Water Treatment Plant	City of Hollywood Water Treatment Plant
Plant Capacity	59.50 MGD
Current Plant Demand	24.90 MGD (as of 6/2019)
Planned Plant Capacity Expansions	None planned at this time

Source: City of Hollywood

- Identify the net impact on potable water demand, based on adopted level of service, resulting from the proposed amendment. Provide calculations, including anticipated demand per square foot or dwelling unit.

TABLE 5: POTABLE WATER IMPACT			
	Use	Calculation	Total
Current	Retail: 1,638,000 square feet	x 0.1 GPD per SF	= 163,800 GPD
	Office: 3,276,000 square feet	x 0.2 GPD per SF	= 655,200 GPD
		Subtotal	= 819,000 GPD
Proposed Activity Center	Commercial: 1,200,000 SF	x 0.1 GPD per SF	= 120,000 GPD
	Office: 1,890,000 SF	x 0.2 GPD per SF	= 378,000 GPD
	Multi-family: 3,800 units	x 100 GPD per unit	= 380,000 GPD
	Hotel: 625 rooms	x 20 GPD per unit	= 12,500 GPD
		Subtotal	= 890,500 GPD
Total Existing and Proposed		Net Change	+ 71,500 GPD

Source: Hollywood Potable Water Element Policy 2.2

- Correspondence from potable water provider verifying the information submitted as part of the application on items 1-3 above. Correspondence must contain name, position and contact information of party providing verification.

The letter from the potable water provider is included as Exhibit D.

B. Sanitary Sewer Analysis

- Provide the sanitary sewer level of service per the adopted and certified local land use plan. The level of service in the City of Hollywood is 55.5 MGD in design capacity for the Wastewater

Treatment Plant.

2. Identify the sanitary sewer facilities serving the area in which the amendment is located including the current plant capacity, current and committed demand on the plant and planned plant capacity expansions, including year and funding source.

The subject site is currently being serviced by the City of Hollywood Southern Regional Wastewater Treatment Plant.

TABLE 6: SANITARY SEWER DEMAND, CAPACITY, AND EXPANSION	
Plant Capacity	55.50 MGD
Current + Committed Plant Demand	41.44 MGD
Planned Plant Capacity Expansions	None planned at this time
Year and Funding Sources	N/A

Source: City of Hollywood

3. Identify the net impact on sanitary sewer demand, based on the adopted level of service, resulting from the proposed amendment. Provide calculations, including anticipated demand per square foot or dwelling unit.

TABLE 7: SANITARY SEWER IMPACT			
	Use	Calculation	Total
Current	Retail: 1,638,000 square feet	x 0.1 GPD per SF	= 163,800 GPD
	Office: 3,276,000 square feet	x 0.2 GPD per SF	= 655,200 GPD
		Subtotal	= 819,000 GPD
Proposed Activity Center	Commercial: 1,200,000 SF	x 0.1 GPD per SF	= 120,000 GPD
	Office: 1,890,000 SF	x 0.2 GPD per SF	= 378,000 GPD
	Multi-family: 3,800 units	x 100 GPD per unit	= 380,000 GPD
	Hotel: 625 rooms	x 20 GPD per unit	= 12,500 GPD
Subtotal			= 890,500 GPD
Total Existing and Proposed		Net Change	+ 71,500 GPD

Source: Broward County A Consulting Engineer's Guide for a Wastewater Collection/Transmission System Construction License Application

4. Correspondence from sanitary sewer provider verifying the information submitted as part of the application on items 1-3 above. Correspondence must contain name, position and contact information of party providing verification.

The letter from the sanitary sewer provider is included in **Exhibit D**.

C. Solid Waste Analysis

- 1. Provide the solid waste level of service per the adopted and certified local land use plan.**

The following is the adopted level of service standard for the proposed uses.

Facility/Service Area Level of Service Standard

Residential	8.9 lbs per unit per day
Hotel	3.0 lbs per unit per day
Retail	4.0 lb per 100 sq. ft. per day
Office	1.0 lb per 100 sq. ft. per day

Source: Hollywood Utilities Element Solid Waste

- 2. Identify the solid waste facilities serving the service area in which the amendment is located including the landfill/plant capacity, current and committed demand on the landfill/plant capacity and planned landfill/plant capacity.**

The existing solid waste collection and disposal is handled under an agreement between the owner and Corporate Services Consultants (CSC). CSC hires a hauling company that takes the solid waste to the Pembroke Park Transfer Station, which is owned by Waste Connections Inc, located at 1899 SW 31st Ave, Hollywood, FL 33009. Then it its transported to a JED Landfill located at 1501 Omni Way, Saint Cloud, FL 34773 which is owned by Waste Connections Inc. The existing JED Landfill has approximately 43 years of airspace capacity remaining. The Pembroke Park Transfer station has a capacity of 1350 tons per day with a demand of 265 tons per day. The JED landfill has a permitted capacity of 81,687,993 cubic feet. The current demand is 22,473,038 cubic yards as of 3/22/2019 which is 27.5% of capacity. There are no current and future plans through 2030 for expansion of existing facilities.

TABLE 8: SOLID WASTE CAPACITY
Landfill/plant capacity:
<ul style="list-style-type: none"> 81,687,993 cubic yards
Current Demand:
<ul style="list-style-type: none"> 22,473,038 cubic yards (as of March 22, 2019)

Source: Waste Connections Inc.

- 3. Identify the net impact on solid waste demand, based on the adopted level of service, resulting from the proposed amendment. Provide calculations, including anticipated**

demand per square foot or dwelling unit.

Table 9 below identifies the proposed development’s solid waste impact.

TABLE 9: SOLID WASTE IMPACT			
	Use	Calculation	Total
Existing	Retail: 1,638,000 square feet	x 4 lbs per 100 sq. ft./day	65,520 lbs/day
	Office: 3,276,000 square feet	x 1 lbs per 100 sq. ft./day	32,760 lbs/day
	Total Existing		98,280 lbs/day
Proposed	Commercial 1,200,000 SF	x 4 lbs per 100 sq. ft./day	48,000 lbs/day
	Office 1,890,000 SF	x 1 lbs per 100 sq. ft./day	18,900 lbs/day
	Multi Family (3,800 units)	8.9 lbs per unit/day	33,820 lbs/day
	Hotel (625 rooms)	3 lbs per unit per day	1,875 lbs/day
	Total Proposed		102,595 lbs/day
Total Existing and Proposed			+4,315 lbs/day

Source: Broward County Solid Waste Element

- 4. Correspondence from the solid waste provider verifying the information submitted as part of the application on items 1-3 above. Correspondence must contain name, position and contact information of party providing verification.**

See **Exhibit E** for the solid waste provider information.

D. Drainage Analysis

- 1. Provide the drainage level of service per the adopted and certified local land use plan.**

City of Hollywood

The land use plan amendment site will be required to comply with the standards contained in Chapter 154.50 Building and Structures Section (C) of City of Hollywood Code of Ordinances for flood damage prevention as follows, or as agreed upon with the City:

- (1) Minimum building elevations.
 - (a) Residential buildings. New construction and substantial improvement of residential buildings shall have the lowest floor, including basement, elevated to or above the elevation required in the Florida Building Code, Residential or Florida Building Code, Building, as applicable, or at least 18 inches above the highest point of the crown of all streets adjacent to the plot upon which such buildings are located or in accordance with a system or method of design admitting of rational analysis in accordance with well-established principles of mechanics and sound engineering practices as determined by

the Director, Public Utilities.

(b) Nonresidential buildings. New construction and substantial improvement of nonresidential buildings shall have the lowest floor, including basement, elevated or dry floodproofed to or above the elevation required in the Florida Building Code, Building or at least six inches above the highest point of the crown of all streets adjacent to the plot upon which such buildings are located or in accordance with a system or method of design admitting of rational analysis in accordance with well-established principles of mechanics and sound engineering practices as determined by the Director, Public Utilities.

(2) Minimum lot elevation - finished grade. The minimum lot elevation after finished grading shall not be less than the crown of the adjacent street or top of sidewalk, whichever is higher. Lots shall be provided with drainage facilities as required by the Florida Building Code, to avoid drainage onto adjoining properties. The finished grade at the perimeter of residential buildings shall be a minimum of six inches below the minimum building elevation as specified in this section.

The proposed redevelopment must obtain drainage permits for site development from the Broward County Planning and Environmental Regulations Division prior to obtaining a building permit from the City of Hollywood for work that qualifies for licensing.

Broward County LOS Standard

The land use plan amendment site will be required to comply with the level of service standards contained in the Broward County Comprehensive Plan – Drainage and Natural Aquifer Groundwater Recharge Element for drainage facilities as follows:

Broward County Environmental Protection and Growth Management Department reviews and approves stormwater plans within the City to ensure that level of service standards is met. These regulatory requirements are applied to all new and redevelopment projects, unless qualifying for an exemption under the Broward County code as this project does, thereby maintaining consistency with the level of service standards for stormwater. The City has adopted the following level of service standards for stormwater per the South Florida Water Management District Requirements:

- Primary Drainage System – 25-year – 3-day storm event. Cumulative rainfall total of 13.98”.
- Secondary Drainage System – 3-year storm event with varying time of concentration duration. Cumulative rainfall derived from Florida Department of Transportation (FDOT).
- Rainfall Intensity Duration – From existing permits.
- Roadways – Except for emergency access roadways these shall have one-half (1/2) of their total width above the flood elevation of the 10-year, 1-day storm event.
- Parking lots/drive aisles/dumpster enclosure pads without floor drains – These shall be above the flood elevation of the 5-year, 1-day storm event.
- Building Structures – The flood level shall not exceed the finish floor elevation of all building structures within the study area during the 100-year, 3-day storm event as

established by existing permits.

FEMA

- North:
 - Existing: Generally, buildings are within Flood Zone X, with stormwater pond and parking lot in Flood Zone AE elevation 6.00' NAVD. The canal is AE elev. 4.00'.
- South:
 - Existing: The stormwater pond is in Flood Zone AE elev. 5.00'. Portions of the buildings are in Flood Zone X. The Flood Zone AH with a Base Flood Elevation (BFE) of 7.00' is on the south side of the parcel near the theater. The canals are at 3, 4, and 5.

2. Identify the drainage district and drainage systems serving the amendment area.

Drainage in the City of Hollywood is served by South Florida Water Management District (SFWMD) and Broward County; the subject site is served by SFWMD.

3. Identify any planned drainage improvements, including year, funding sources and other relevant information.

The subject property was not identified as having any existing drainage issues and no capital improvements are proposed for the associated drainage basin in this area.

4. Indicate if a Surface Water Management Plan has been approved by, or an application submitted to, the SFWMD and/or any independent drainage district, for the amendment site. Identify the permit number(s), or application number(s) if the project is pending, for the amendment site. If an amendment site is not required to obtain a SFWMD permit, provide documentation of same.

The property currently has, and is subject to, existing SFWMD permits and Broward County Surface Water Licenses as listed below:

Oakwood Plaza North (71.94 acres) (ERP):

- Application # 11014-B Permit # 06-00639-S
- Application # 930218-4 Permit # 06-00639-S
- Application # 940324-11 Permit # 06-00639-S
- Application # 000615-24 Permit # 06-00639-S
- Application # 05216-B Permit # 06000639-S

Oakwood Plaza South (37.29 acres) (ERP):

- Application # 11014-B Permit # 06-00639-S
- Application # X000013419 Permit # 06-00639-S
- Application # 940909-9 Permit # 06-00639-S
- Application # 91110407 Permit # 06-00639-S

Broward County Surface Water Licenses:

- SWM1993-043-0 Oakwood Plaza North (71.94 acres)
- SWM 1994-109-0 Oakwood Plaza South (37.29 acres plus 2.42 acres)

Oakwood East Side / Lake (ERP)

- Application # 05114-A Permit # 06-00615-S
- Application # 930325-8 Permit # 06-00615-S
- Application # X000010169 Permit # 06-00615-S
- Application # 940517-12 Permit #06-00615-S
- Application # 01254-A Permit #06-00615-S
- Application # 04297-3 Permit #06-00615-S-02

A SFWMD permit modification and a Broward County Surface Water License including drainage analysis for the proposed qualifying redevelopment project work using already established permit conditions will be completed as part of the site plan development and stormwater permitting process.

5. **If the area in which the amendment is located does not meet the adopted level of service and there are no improvements planned (by the unit of local government or drainage authority) to address the deficiencies, provide an engineering analysis which demonstrates how the site will be drained and the impact on the surrounding properties. The information should include the wet season water level for the amendment site, design storm elevation, natural and proposed land elevation, one-hundred-year flood elevation, acreage of proposed water management retention area, elevations for buildings, roads and years, storage and runoff calculations for the design storm and estimated time for flood waters to recede to the natural land elevation.**

The subject site is located within City of Hollywood. The redevelopment within the site will be required to meet the drainage standards of the City, SFWMD, and Broward County Department of Environmental Protection and Growth Management based on existing established permit conditions.

6. **Correspondence from local drainage district verifying the information submitted as part of the application on items 1-5 above. Correspondence must contain name, position and contact information of party providing verification.**

See Exhibit F for Drainage Letter

E. Recreation and Open Space Analysis

1. Provide the recreation level of service per the adopted and certified local land use plan.

The adopted level of recreation and open space standard in the City of Hollywood is 3 acres of park space per 1,000 population. The LOS requirement is achieved by the approximate 633 acres of park space available in the City. Based on the 2006 population of 144,431 residents, Hollywood had approximately 4.4 acres of recreation and open space for every 1,000 residents. The adopted level of recreation and open space standard for Broward County is 3 acres per thousand persons.

For amendments which will result in an increased demand for “community parks” acreage, as required by the Broward County Land Use Plan, an up-to-date inventory of the municipal community parks inventory must be submitted.

No new acreage is associated with this amendment. See **Exhibit G** for the City Park Inventory.

2. Identify the net impact on demand for “community parks” acreage, as defined by the Broward County Land Use Plan, resulting from this amendment.

The approximate 2.5 acres of open space will be incorporated into the overall 112.5 gross acres as a wet pond/dry pond or other allowed use. The following below is the impact on demand for the multifamily units.

TABLE 10: RECREATION AND OPEN SPACE IMPACT			
	Use	Calculation	Total
Proposed	3,800 multi-family units	8,892 people ⁽¹⁾ x 0.003 ac pp ⁽²⁾	= 26.7 acres
		Change	+ 26.7 acres

(1) 3,800 units x 2.34 person/du = 8,892 people

(2) Source: Hollywood Comprehensive Plan

3. Identify the projected “community parks” acreage needs based on the local government’s projected buildout population.

TABLE 11: COMMUNITY PARK NEEDS			
Planning Horizon	Population	Demand	Available
2020 (Short)	169,943	x 0.003 = 509.8 acres	633 acres
2030 (Long)	237,920	x 0.003 = 574.4 acres	633 acres

(1) Source: Hollywood Comprehensive Plan

LEGAL AD
CITY OF HOLLYWOOD

NOTICE IS HEREBY GIVEN in accordance with Section 166.041 Florida Statutes that the City Commission of the City of Hollywood, Florida, at a Regular City Commission Meeting, on Wednesday, April 6, 2022, in the City Commission Chambers, Room 219, 2600 Hollywood Blvd, Hollywood, Florida, proposes to consider on second and final reading the following proposed ordinance(s):

Proposed Ordinance - PO-2022-04 beginning at: 1:30 PM, or as soon thereafter as same can be heard:

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA, AMENDING CHAPTER 99 OF THE CODE OF ORDINANCES; PROHIBITING TENTS; AMENDING DISTANCE REQUIREMENTS FOR CANOPIES; PROHIBITING BICYCLES GREATER THAN 48 INCHES WIDE; PROHIBITING LOW-PROFILE RECUMBENT CYCLES WITH A WHEEL DIAMETER OF LESS THAN 24 INCHES; ESTABLISHING BEACH CLOSING HOURS.

Proposed Ordinance - PO-2021-09 beginning at: 5:00 PM, or as soon thereafter as same can be heard:

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, AMENDING THE CITY'S COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION FOR PROPERTY LOCATED AT 2609 NORTH 26TH AVENUE AND THE ADJACENT PARCELS TO THE NORTH AND WEST, 200 & 300 OAKWOOD LANE, 1 OAKWOOD BOULEVARD AND THE ADJACENT PARCEL TO THE SOUTH, 2, 2800, 2900, 2906, 2908-2914, 2940, 3000, 3120, 3215, 3350, 3401, 3501-3881, 3800, 3901-3921, 4001-4101, 4100, AND 4150 OAKWOOD BOULEVARD, 2700 STIRLING ROAD, AND OAKWOOD BOULEVARD, GENERALLY LOCATED SOUTH OF STIRLING ROAD AND EAST OF INTERSTATE 95 FROM THE LAND USE DESIGNATION OF GENERAL BUSINESS AND OPEN SPACE AND RECREATION TO ACTIVITY CENTER (OAKWOOD ACTIVITY CENTER); AND AMENDING THE CITY'S LAND USE MAP TO REFLECT SAID CHANGES (OAKWOOD ACTIVITY CENTER). (20-L-32)

The proposed ordinance(s) may be inspected by the public in the Office of the City Clerk, Room 221, 2600 Hollywood Blvd, Hollywood, Florida, between the hours of 7:00 AM and 5:45 PM on any regular working day. Interested parties may appear at the aforesaid time and place and be heard with respect to the proposed ordinance(s).

NOTE: Any person who decides to appeal any decision made by the City Commission with respect to any matter considered at this meeting will need a record of the proceedings, and it will be their responsibility to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Please call 954-921-3211 for any questions regarding the above matter.

Persons with disabilities who require reasonable accommodation to participate in City programs and/or services may call the Office of the City Manager five business days in advance at 954-921-3201 (voice). If an individual is hearing or speech impaired, please call 800-955-8771 (V-TDD).

Dated this 21st day of March, 2022.

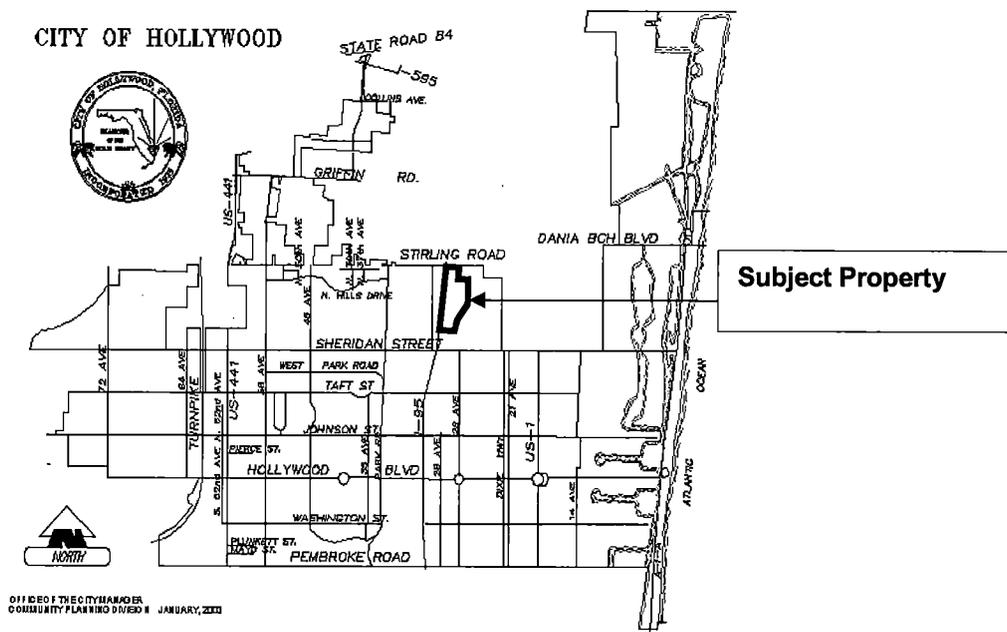
Patricia A. Cerny, MMC
City Clerk
Hollywood, FL

THE SUN SENTINEL/LEGAL AD – Public Meeting/Public Hearing Notice
PUBLISH: Monday, March 21, 2022
FURNISH PROOF OF PUBLICATION

h:\cityclk\ads\legalad\PO-2021-09, PO-2022-04

CITY OF HOLLYWOOD SECOND READING

The City of Hollywood City Commission will hold a public hearing on the proposed ordinance on **Wednesday, April 6, 2022 at 5:00 PM**, or as soon thereafter as same can be heard in the City Commission Chambers, Room 219, second floor of Hollywood City Hall, located at 2600 Hollywood Boulevard.



- 1. FILE NO:** PO-2021-09 (20-L-32)
- APPLICANT:** Oakwood Plaza LP and Oakwood Business Center LP c/o Kimco Realty Corporation
- LOCATION:** 2609 N 26 Avenue and adjacent parcels to the north and west, 200 Oakwood Lane, 1 Oakwood Boulevard and adjacent parcel to the south, 2, 2800, 2900, 2906, 2908-2914, 2940, 3000, 3120, 3215, 3350, 3401, 3501-3881, 3800, 3901-3921, 4001-4101, 4100, 4150 Oakwood Boulevard, 2700 Stirling Road, and Oakwood Boulevard, generally located on the south of Stirling Road and east of Interstate 95
- REQUEST:** AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, AMENDING THE CITY'S COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION FOR PROPERTY LOCATED AT 2609 NORTH 26TH AVENUE AND THE ADJACENT PARCELS TO THE NORTH AND WEST, 200 & 300 OAKWOOD LANE, 1 OAKWOOD BOULEVARD AND THE ADJACENT PARCEL TO THE SOUTH, 2, 2800, 2900, 2906, 2908-2914, 2940, 3000, 3120, 3215, 3350, 3401, 3501-3881, 3800, 3901-3921, 4001-4101, 4100, AND 4150 OAKWOOD BOULEVARD, 2700 STIRLING ROAD, AND OAKWOOD BOULEVARD, GENERALLY LOCATED SOUTH OF STIRLING ROAD AND EAST OF INTERSTATE 95 FROM THE LAND USE DESIGNATION OF GENERAL BUSINESS AND OPEN SPACE AND RECREATION TO ACTIVITY CENTER (OAKWOOD ACTIVITY CENTER); AND AMENDING THE CITY'S LAND USE MAP TO REFLECT SAID CHANGES (OAKWOOD ACTIVITY CENTER).

A copy of the proposed application materials, and legal description for the above petition(s) is on file in the Department of Development Services, Division of Planning and Urban Design.

Comments of any interested party relative to this matter may be submitted in writing and/or presented in person at the meeting. Any person who decides to appeal any decision made by the board, agency or commission with respect to any matter considered at this meeting will need a record of the proceedings, and it will be their responsibility to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based. Please call (954) 921-3471, option 3, with questions regarding the above matters.

Two or more members of any other city board, commission, or committee, who are not members of this board may attend this meeting and may, at that time, discuss matters on which foreseeable action may later be taken by their board, commission, or committee.

Persons with disabilities who require reasonable accommodation to participate in City programs and/or services may call the Division of Architecture and Engineering five business days in advance at (954) 921-3900, option 4. Hearing or speech impaired individuals, please call (800) 955-8771 (V-TDD).

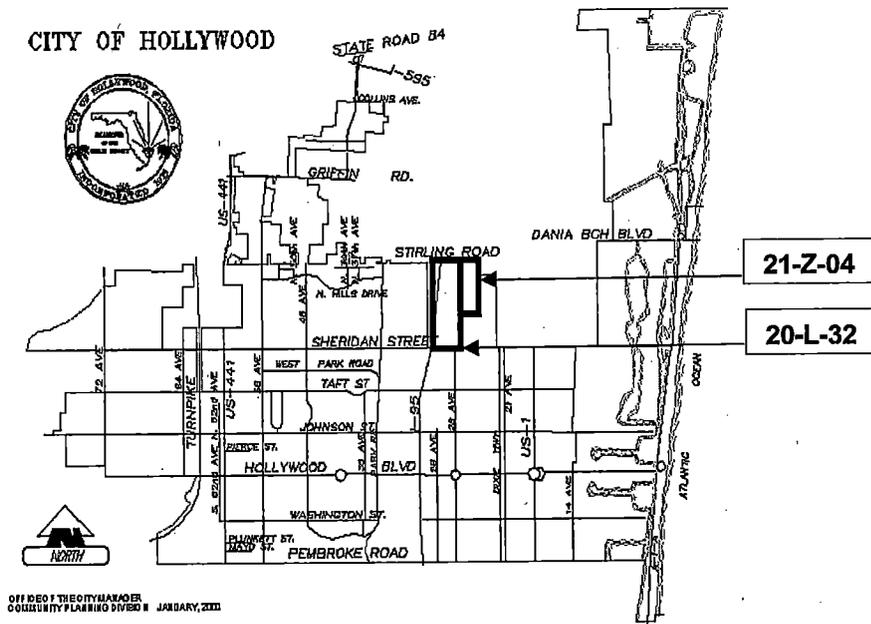
Dated this 21st day of March 2022.

Patricia A. Cerny, MMC
City Clerk
Hollywood, FL

THE SUN-SENTINEL- LOCAL SECTION - DISPLAY AD W/MAP, ¼ PAGE
PUBLISH: Monday, March 21, 2022
FURNISH PROOF OF PUBLICATION
FURNISH AFFIDAVIT OF PUBLICATION

CITY OF HOLLYWOOD FIRST READING

The City of Hollywood City Commission will hold a public hearing on the proposed ordinance on **Wednesday, June 2, 2021 at 1:30 PM**, or as soon thereafter as same can be heard in the City Commission Chambers, Room 219, second floor of Hollywood City Hall, located at 2600 Hollywood Boulevard.



- 1. FILE NO:** 20-L-32
APPLICANT: Oakwood Plaza LP and Oakwood Business Center LP c/o Kimco Realty Corporation

LOCATION: 2609 N 26 Avenue and adjacent parcels to the north and west, 200 Oakwood Ln, 1 Oakwood Boulevard and adjacent parcel to the south, 2, 2800, 2900, 2906, 2908-2914, 2940, 3000, 3120, 3215, 3350, 3401, 3501-3881, 3800, 3901-3921, 4001-4101, 4100, 4150 Oakwood Boulevard, 2700 Stirling Road, and Oakwood Boulevard, generally located on the south of Stirling Road and east of Interstate 95

REQUEST: AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, AMENDING THE CITY'S COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION FOR PROPERTY LOCATED AT 2609 NORTH 26TH AVENUE AND THE ADJACENT PARCELS TO THE NORTH AND WEST, 200 & 300 OAKWOOD LANE, 1 OAKWOOD BOULEVARD AND THE ADJACENT PARCEL TO THE SOUTH, 2, 2800, 2900, 2906, 2908-2914, 2940, 3000, 3120, 3215, 3350, 3401, 3501-3881, 3800, 3901-3921, 4001-4101, 4100, AND 4150 OAKWOOD BOULEVARD, 2700 STIRLING ROAD, AND OAKWOOD BOULEVARD, GENERALLY LOCATED SOUTH OF STIRLING ROAD AND EAST OF INTERSTATE 95 FROM THE LAND USE DESIGNATION OF GENERAL BUSINESS AND OPEN SPACE AND RECREATION TO ACTIVITY CENTER (OAKWOOD ACTIVITY CENTER); AND AMENDING THE CITY'S LAND USE MAP TO REFLECT SAID CHANGES (OAKWOOD LUPA).

- 2. FILE NO:** 21-Z-04
APPLICANT: CF & A Hill Family LTD
LOCATION: Generally located on the southeast corner of Stirling Road and Compass Way

REQUEST: AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, CHANGING THE ZONING DESIGNATION OF THE PROPERTY GENERALLY LOCATED ON THE SOUTHEAST CORNER OF STIRLING ROAD AND COMPASS WAY FROM IM-3 (MEDIUM INTENSITY INDUSTRIAL AND MANUFACTURING DISTRICT) AND RS-6 (SINGLE FAMILY) TO RM-18 (MEDIUM-HIGH MULTIPLE FAMILY); AND AMENDING THE CITY'S ZONING MAP TO REFLECT THE CHANGE IN ZONING DESIGNATION. (TOWN HOLLYWOOD REZONING).

A copy of the proposed application materials, and legal description for the above petition(s) is on file in the Department of Development Services, Division of Planning and Urban Design.

Comments of any interested party relative to this matter may be submitted in writing and/or

presented in person at the meeting. Any person who decides to appeal any decision made by the board, agency or commission with respect to any matter considered at this meeting will need a record of the proceedings, and it will be their responsibility to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based. Please call (954) 921-3471, option 3, with questions regarding the above matters.

Two or more members of any other city board, commission, or committee, who are not members of this board may attend this meeting and may, at that time, discuss matters on which foreseeable action may later be taken by their board, commission, or committee.

Persons with disabilities who require reasonable accommodation to participate in City programs and/or services may call the Division of Architecture and Engineering five business days in advance at (954) 921-3900, option 4. Hearing or speech impaired individuals, please call (800) 955-8771 (V-TDD).

Dated this 18th day of May, 2021.

Patricia A. Cerny, MMC
City Clerk
Hollywood, FL

Instructions only:

THE MIAMI HERALD -LOCAL SECTION - DISPLAY AD W/MAP, ¼ PAGE, 18 point heading

PUBLISH: Tuesday, May 18, 2021

FURNISH PROOF OF PUBLICATION

FURNISH AFFIDAVIT OF PUBLICATION