

GENERAL APPLICATION

APPLICATION DATE: 03/13/2024

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of digitally signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee (per review)

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
 Administrative Approvals
 City Commission
 Historic Preservation Board
 Planning and Development Board

PROPERTY INFORMATION

Location Address: 6013 Rodman St, Hollywood, FL 33023

Lot(s): 8 Block(s): 4 Subdivision: Beverly Park

Folio Number(s): 514124140731

S-MU

Zoning Classification: S-MU Land Use Classification: 28-01

Existing Property Use: VACANT Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File/Resolution/Ordinance No.: _____

DEVELOPMENT PROPOSAL

Explanation of Request: Warehouse for textile material
Store textile material for Online sell

Phased Project: Yes / No Number of Phases: _____

Project	Proposal		
Units/rooms (# of units)		(Area:	S.F.)
Proposed Non-Residential Uses	2,064		S.F.
Open Space (% and SQ.FT.)	61%	(Area: 3,236	S.F.)
Parking (# of spaces)	3	(Area: 1,793	S.F.)
Height (# of stories)	1	(24	FT.)
Gross Floor Area (SQ. FT)	2,064		

Name of Current Property Owner: GRACE HARRISON

Address of Property Owner: 5250 NW 75th Ave., Lauderhill, FL 33319

Telephone: 561-281-8116 Email Address: hnthony18@gmail.com

Applicant Anthony Harrison Consultant | Representative | Tenant (check one)

Address: 5250 NW 75th Ave., Lauderhill, FL 33319 Telephone: 561-281-8116

Email Address: _____

Email Address #2: anthony11317@gmail.com

Date of Purchase: 7/30/2002 Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign as approved by the Division of Planning & Urban Design. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Grace Harrison Date: 3/14/24

PRINT NAME: GRACE HARRISON Date: 3/14/24

Signature of Consultant/Representative: Anthony Harrison Date: 3/14/24

PRINT NAME: ANTHONY HARRISON Date: 3/14/24

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for development to my property, which is hereby made by me or I am hereby authorizing Anthony Harrison to be my legal representative before the Technical Advisory Com (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 03 day of March 2024

[Signature]
Notary Public
State of Florida



Grace Harrison
Signature of Current Owner

GRACE HARRISON
Print Name

My Commission Expires: 6/15/24 (Check One) Personally known to me; OR Produced Identification

Grace Harrison
D.L.# H625-301-48-2630



TECHNICAL ADVISORY COMMITTEE REPORT

April 15, 2024

Grace Harrison
5250 NW 75 Avenue
Lauderhill, FL 33319

FILE NUMBER: 24-DP-24

SUBJECT: Preliminary Site Plan review for an approximately 2,490 SF Warehouse Building

SITE DATA

Owner/Applicant: Grace Harrison & Anthony Harrison
Address/Location: 6013 Rodman Street
Net Size of Property: 5,300 sq. ft. (0.12 acres)
Land Use: Transit Oriented Corridor (TOC)
Zoning: S-MU
Present Use of Land: Vacant
Year Built: N/A (Broward County Property Appraiser)

ADJACENT LAND USE

North: Transit Oriented Corridor (TOC)
South: Transit Oriented Corridor (TOC)
East: Transit Oriented Corridor (TOC)
West: Transit Oriented Corridor (TOC)

ADJACENT ZONING

North: South Mixed-Use District (S-MU)
South: South Mixed-Use District (S-MU)
East: South Mixed-Use District (S-MU)
West: South Mixed-Use District (S-MU)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).

A. APPLICATION SUBMITTAL

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.
2. Ownership & Encumbrance Report (O&E):
 - a. O&E Report does not indicate time of platting. Need to indicate it was searched from 1953 or time of platting (earliest of the two).
 - b. Must be dated within 30 days of submittal packet.
 - c. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.
3. Alta Survey:
 - a. Shall be based on and dated after O&E. Ensure that O&E report is specifically referenced.
 - b. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.
4. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration
Website: **N/A**
<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactApplication1.pdf>
5. Indicate past, current, and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date. **DATES ADDED TO COVERSHEET**
6. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).
The following Civic Association is located within 500 feet project site. **WILL BE PROVIDED**
 - a. Lawn Acres Civic Association (laurcag@mac.com)

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

B. ZONING

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Site Plan:

- a. Walkway shall be setback a minimum of 3' from the property line. **PLEASE SEE REVISED SP-1**
- b. Driveway exceeds the 30% maximum curb cut for a 50' wide lot. Shall be a maximum of 18'. **WE ARE APPLYING FOR A VARIANCE.**
- c. Drive isle shall be a minimum of 18' in length before widening. **PLEASE SEE REVISED SP-1**
- d. No walkway or hardscaped surface shown from exterior door. Indicate the surface. **PLEASE SEE REVISED SP-1**
- e. Survey shows the U.E. is 6'. Site plan states 3'. Ensure the site plan corresponds to the survey. **PLEASE SEE REVISED SP-1**

2. Site Data:

- a. Substantially compliant.

C. ARCHITECTURE AND URBAN DESIGN

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

- 1. Provide material legend elevations. **PLEASE SEE MATERIAL SHOWED ON ELEVATIONS, A-2.0 AND A-2.1**

D. SIGNAGE

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

- 1. Substantially compliant.

E. LIGHTING

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

- 1. Indicate 0.5' candle lighting. **PLEASE SEE REVISED PHOTOMETRIC.**

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

- 1. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02). **PLEASE SEE REVISED SP-1**
- 2. Refer to Building for any required green building practices. **UNDERSTOOD**

G. ENGINEERING

1. Provide a plat determination letter from the Broward County Planning Council. **PLEASE SEE LETTER ATTACHED.**
2. Provide O & E report with all applicable easement documents. **PLEASE SEE DOCUMENT ATTACHED**
3. The survey and architectural plans are not signed and sealed. Please provide a signed and sealed survey and architectural plans. **PLEASE SEE SIGNED AND SEALED SURVEY**
4. Please provide signed and sealed civil plans including information from the comments below. **PLEASE SEE CIVIL PLANS ATTACHED**
5. Provide an overall site plan with the following information:
 - a. Existing right-of-way width dimension and show limits of the rights-of-way on all streets/alleys adjacent to the site. (i.e swales, sidewalk curbs, curb, including dimensions.)
 - b. Include and show all surrounding elements of the site on plans, as applicable, i.e. adjacent alley, road, properties, limits of rights-of-way on both sides of adjacent streets or alleys including any curb cuts, edge of pavement, swale, sidewalks etc.
 - c. All features of City streets and alleys within full City right-of-way on both sides from property line to adjacent property lines.
PLEASE SEE THE REVISED SITE PLAN SP-1.
6. Please list all variances being requested on the cover sheet and clearly call them out on the plan. (i.e. setbacks to walkways, curb cuts etc.). **PLEASE SEE REVISED COVER SHEET**
7. Please call out the setbacks provided on the site plan stating the word setback and providing the dimension. **PLEASE SEE REVISED SITE PLAN SP-1**
8. Please show and label the dumpster location and identify the type of door to be used for the dumpster enclosure. Call out in plans. **N/A WE ARE USING 96 GALLON WEELED TRUSH CART**
9. Please provide confirmation from the waste management company that they can service the project. **PLEASE SEE THE CONFIRMATION EMAIL FROM COASTAL WASTE MANAGEMENT COMPANY.**
10. Indicate location on the site plan for garbage storage. Will a dumpster be provided for garbage as well as for recycle materials? Show how garbage is proposed to be picked up. **GARBAGE AND RECYCLE MATERIAL WILL BE STORAGE INSIDE THE BUILDING AND ROLL OUT TO THE OUTSIDE OF THE BUILDING THE PICK UP DAY, PLEASE SEE FLOOR PLAN FOR LOCATION ON SHEET A-1.0**
11. Indicate if there will be any fence or security gate at the driveway. If so, please indicate the type of gate and how it operates (remote, sensor, card reader, etc.). Be sure to provide space required for gate's operation and provide sufficient vehicle queueing. All vehicle queueing shall be within private property (8.5'x19' minimum). Show and label the queueing space, as applicable. **NON-FENCE OR GATE WILL BE PROVIDED.**
12. Show the stop bar, stop sign, and visibility triangle at the entrance on Rodman Street. Please refer to the city's Visibility Triangle Detail. Dimension the distance between the edge of pavement and the new property line and revise the visibility triangle accordingly. **STOP BAR, STOP SIGN AND VISIBILITY TRIANGLE AT ENTRANCE HAS BEEN PROVIDED ON C2.**
13. Fully dimension the ROW (i.e. centerline to new property line, full width of the ROW, new sidewalk, swale). **ALL REQUIRED INFORMATION IS PROVIDED.**
14. Revise the ADA symbol to be per the city's Accessible Parking Space Details. Additionally show the location of the ADA signage on the plans. **ADA SIGN SHOWN ON C2 PER CITY DETAILS AND THE DETAILS ARE SHOWN ON C4.**
15. Curb cut (21'-8.5") Exceeds curb cut allowance of 15 feet. Maximum curb cut would be 30% of the property's width. (50 X .3= 15 feet wide.) A variance should be requested for expanding the curb cut. Minimum width of 2 way traffic is 22 feet. **A VARIANCE REQUESTED, SEE APPLICATION.**

16. Be sure building square footage is consistent throughout, discrepancies exist between Sheet SP-1 and Sheet A-1.0. **PLEASE SEE REVISED SP-1 AND A-1.0**
17. Indicate on plans if curbing will be provided for the parking area. **NO CURBING IN PROPOSED ON PARKING LOT**
18. Please show and label on signage on SP-1. **PLEASE SEE REVISED SITE PLAN SP-1**
19. Add dimensions to the openings on the elevations on Sheet A-2.0 and on the site plan SP-1. **PLEASE SEE THE REVISED SITE PLAN SP-1 AND SHEETS A-2.0.**
20. Label the height of the entrances, exits, and doorways on the elevations on A-2.0. **PLEASE SEE REVISED SHEET A-2.0.**
21. Please clearly call out in the plans for swales to be restored along Rodman Street. This should be restored with grass to the City of Hollywood Typical Swale Grading Detail and Turf Restoration Detail, please include details in plan set. **A NOTE WAS ADDED TO THE PLAN C2.**
22. Detectable warnings shall be provided at all driveways. Please show on Site and Civil plans and please include a standard FDOT detail in the plans for the detectable warnings. **THE DETESTABLE WARNING STRIPS HAVE BEEN ADDED AT THE DRIVEWAY SEE PLAN AND LEGEND ON C2 AND DETAIL ON C4.**
23. Provide ADA accessible routes between ADA accessible parking and building access and accessible route to the public rights-of-way. Please add a note on the site plan and the Paving, Grading, and Drainage (PGD) Plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference state, the transition is flush. Show the accessible routes on site plan and PGD. **PLEASE SEE THE REVISED SITE PLAN SP-1.**
24. Applicant is showing a sidewalk connection utilizing the parking lot to provide access from the entrance of the building to the sidewalk in the ROW. Consider providing a sidewalk adjacent to the parking lot to avoid pedestrian and vehicular traffic crossing over one another. **PLEASE SEE THE REVISED SITE PLAN SP-1.**
25. Please identify the location of the ADA signage, please consider wall mounting the signage to not encroach into the clear space of the parking stall. **WE ARE CURRENTLY PROPOSED THE ADA SIGN BE WALL MOUNTED.**
26. Provide a legend and hatching for all materials on the site plan. **PLEASE SEE THE REVISED SITE PLAN SP-1, AND C-2**
27. Please call out all materials for the walkways, drive aisles and vehicular parking areas. Ensure the material requirements align with City of Hollywood Code: **PLEASE SEE REVISED SITE PLAN SP-1 AND CIVIL PLANS.**

a. Concrete:

Concrete driveways on private property will be 5-inch thick, 3,000 PSI with fiber mesh while the portion of the driveway located within the ROW (Outside of the property lines) will be a minimum of 6 inches thick, 3,000 psi, with no metal or fiber mesh and will be constructed flush with the existing roadway and sidewalk. The entire driveway will maintain control joints located every 250 sq.ft and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

b. Pavers:

Paver driveways require a minimum 2 3/8th inch pavers placed over a 1-1/2 inch sand base and compacted subbase. In addition to a Minimum 6-inch edge restraint (concrete border) is required around perimeter to interlock pavers. The driveway is to be constructed flush with the existing roadway and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

c. Asphalt:

Asphalt driveway is required to be a minimum 6-inch 50% of c₁k₃ base, tack coat, and 1-inch layer of S-III asphalt. The driveway is to be constructed flush with the existing roadway and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

28. The driveway shall remain the same width as the apron for the first 5 feet setback from the front property line. **PLEASE SEE REVISED SITE PLAN SP-1.**
29. Provide civil plans for the proposed work indicating items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking, and signage plans and details. Show location of existing water and sewer mains on plans and show how you are planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width pavement mill and resurface is required for adjacent road to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set.

RESPONSE: ALL OF THE ABOVE REQUESTED INFORMATION IS PROVIDED HOWEVER NO CURBING IS PROPOSED.

Please provide a pavement marking plan for both on and off-site. These pavement markings are to comply with the City of Hollywood Standard Details in addition to the Broward County Traffic Engineering Division Standard details. Please provide any applicable details in the plan set. Ensure pavement markings across plan sets are identical. Response: All required information is provided.

30. All roads and alleys adjacent to the property are to be milled and resurfaced. Please add a note on the Site plan and Civil plans, provide hatching to show limits and add dimensions from the property line to show the extent(s). **RESPONSE: PAVEMENT MARKING HAVE BEEN PROVIDED FOR ON-SITE THERE ARE NO PAVEMENT MARKINGS IN FRONT OF SAID PROPERTY.**

31. Please include the latest standard City of Hollywood details in the plan set. Applicant is using old standards. <https://www.hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan> include all applicable details. Applicant currently has old parking standard on plans. (SP-1)

RESPONSE: A NOTE HAS BEEN ADDED TO THE SPECIFIC NOTES AND HATCHING TO THE LEGEND TO SHOW THE LIMITS OF THE WORK WITH DIMENSIONS. THE SURVEY PROVIDES NO INFORMATION OF THE WIDTH OF THE ALLEY OR PAVEMENT THEREIN. WILL ADDRESS PRIOR TO BUILDING PERMITTING.

32. BCTED approval will be required for all pavement markings being restored in the ROW. Please provide a plan showing the proposed pavement markings to be restored. **RESPONSE: WE HAVE USED ALL OF THE LATEST DETAILS AVAILABLE FOR THE CITY**

33. For utilities work within City rights-of-way, ROW permit will be required at the time of permit.

RESPONSE: THERE ARE NO PAVEMENT MARKING THAT SAID PROJECT WILL AFFECT.

34. MOT plans required at the time of City Building Permit review. **UNDERSTOOD**

35. All outside agency permits are required at the time of City building permit review. **UNDERSTOOD**

36. This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance. **UNDERSTOOD**

More comments may follow upon review of the requested information.

H. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3997

No landscape plan submitted on set. **LANDSCAPE SHEETS L-1, L-2, T-1 HAVE BEEN PROVIDED**

1. Survey provided shows existing specimen trees. Show all trees on site to scale. The tree legend must include the tree number, common name, botanical name, DBH, overall height, spread, condition, tree protection zone radius (TPZ)(in feet), Critical Root Zone (CRZ), and disposition (to remain, to be relocated, to be removed). Show all canopy including crowns of trees from adjacent lot located within 10' from property line. -For new construction, Disposition plan must superimpose the new construction plan.

2. Provide a landscape plan on set by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate. Provide tabular data chart on plan that identifies City of Hollywood landscape requirements and how they are being met for Perimeter landscape, Species diversity requirements, Interior landscape for at grade parking lots and vehicular use areas, open space, view triangle, overhead and underground utilities, Center line, monument line, lot dimensions, and adjacent street names and shall comply with all planning and development board and historic preservation board individual requirements when applicable. Landscape plan should comply with all the requirements according to City of Hollywood Landscape manual, chapter 155.52, Article 9 LDR. Landscape plan set to include and clarify what is been provided as per city code requirements for landscape for project type. Landscape plans submitted shall clearly define which trees have been provided as required in terms of amount of inches of DBH for trees proposed to be removed and trees required to be planted per landscape code per zoning district. All trees and palms provided should meet City of Hollywood minimum height and DBH requirements at planting. If any trees are to remain in close proximity to construction activities, it must be clearly shown on plans with tree protection barriers with standard CRZ protection of a minimum of one (1) foot of radius per inch of tree trunk diameter. See State Road 7 Transit Oriented Corridor District zoning requirements.

SEE LANDSCAPE PLAN SHEET L-1 AND DETAILS SHEET L-2

3. According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual, Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criteria may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. The following palm species should be used for mitigation or code: Royal Palm, Phoenix sylvestris/Medjool/canariensis, Bismarkia, Foxtail and Coconut. Minimum height requirements for all palms at planting is 8' of CT. **SEE SHEET L-1**
4. Site landscape requirements shall be for Street trees; One 12' street tree per 30 linear feet of street frontage. Terminal parking islands shall contain at least One 12' tree. A minimum of One tree per 1,000 sf of pervious area is required. **SEE SHEET L-1.**
5. 1 tree required per terminal island. **SEE SHEET L-1.**
6. 1 tree required per 1,000 sf of pervious area. **SEE SHEET L-1.**
7. On landscape plan show all easements and underground utility lines. **SEE SHEET L-1.**
8. Required street trees shall be placed inside the site due to swale area proposed, trees must be 12' ht, 2" dbh, 6.5' clearance. Provide FPL approved trees for trees under powerlines. **SEE SHEET L-1.**
9. Native requirements: 60% trees, 50% shrubs. All required trees shall be 12' ht, 2" dbh minimum. All required palms shall have 8' CT minimum. **SEE SHEET L-1.**
10. Irrigation: Provide a note on the landscape plan indicating 100% irrigation coverage will be provided. **SEE SHEET L-1 PLANTING NOTE 10**
11. Minimum hedge height is 24". **SEE SHEET L-1.**
12. Provide sight triangles on plans at intersection of driveway and property line – Sec. 155.12 (d) Add note to plan: Landscaping within the triangular areas shall provide unobstructed cross visibility at a level between 2 feet and 6.5 feet. **SIGHT TRIANGLES ARE PROVIDED ON SHEET L-1**
13. Palm mitigation is 1:1. The following palm species should be used for mitigation or code: Royal Palm, Phoenix

sylvestris/Medjool/canariensis, Bismarkia, Foxtail palm and Coconut palm. Minimum height requirements for all palms at planting is 8' of CT. Tree mitigation is inch per inch with a 12' ht, 2" dbh mitigation tree from the approved city list. **THERE ARE NO EXISTING PALMS ON THE SITE.**

14. Add note: All landscaping shall be warranted for 1 year after final inspection.

SEE SHEET L-2 SPECIFICATION NUMBER 52

15. Add note: No landscape substitutions shall be made without the City of Hollywood approval.

SEE SHEET L-1 CITY OF HOLLYWOOD PLANTING NOTE 15

Provide information requested for further review. Additional comments may follow upon further review.

I. UTILITIES

Alicia Verea-Feria, Utilities Permit Review Administrator (averea-feria@hollywoodfl.org) 954-921-3302

1. Submit civil engineering plans indicating existing and proposed water, sewer, and drainage for initial review.

CIVIL ENGINEERING PLANS HAVE BEEN PROVIDED.

2. Include water and sewer demand calculations on Utilities Plan. **DEMAND CALCULATIONS HAVE BEEN PROVIDED.**
3. Illustrate how water, sewer and fire service will be provided. **WATER, SEWER AND FIRE SERVICE HAVE BEEN ILLUSTRATED.**
4. Since the water and sewer for this property is serviced by Broward County Water and Wastewater Services, please Include the County's latest applicable standard Water and Sewer details. **THE BCWWS LATEST DETAILS HAVE BEEN PROVIDED, SEE C5.**
5. This site resides within FEMA Flood Zone X. The proposed Finished Floor Elevations (FFE) = 10.0' NAVD88. Since COR Elev = 9.53' NAVD88, FFE should be represented more accurately as 10.03' NAVD88 to comply with Section 154.50 of the City's Code of Ordinances which requires the minimum FFE for non-residential use to be elevated 6-inches above the crown of the adjacent road elevation, at a minimum. This would also comply with the Broward County Future Conditions FFE = 10.0' NAVD88, requirement. **THE FFE WAS PROVIDED AS 10.25' NAVD.**
6. Indicate FFE for all enclosed areas on the ground floor. The FFE for all areas on the ground floor has been provided on C2. **THE FFE FOR ALL AREAS ON THE GROUND FLOOR HAS BEEN PROVIDED ON C2.**
7. Provide perimeter cross-sections across all property limits including transition areas meeting adjacent property grades. **PRELIMINARY DRAINAGE CALCULATIONS HAVE BEEN PROVIDED AS REQUIRED.**
8. Provide preliminary drainage calculations including pre and post development ensuring all stormwater is retained onsite. **ROOF DRAINAGE WILL BE CONNECTED TO THE FRENCH DRAIN SYSTEM**
9. Indicate how roof drainage will be collected and connected to the on-site drainage system.
10. Submit Erosion Control Plan. **SEE SHEET C1.**
11. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features. Proposed landscaping shall not obstruct onsite stormwater runoff retention. **SEE SHEET L-1**
12. Permit approval from outside agencies will be required. **UNDERSTOOD.**

Additional comments may follow upon further review of requested items.

BUILDING

Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490

Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335

1. Substantially Compliant.

J. FIRE

Chris Clinton, Fire Marshal (cclinton@hollywoodfl.org) 954-967-4404

Marcy Hofle, Deputy Fire Marshal (mhofle@hollywoodfl.org) 954-967-4404

Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. A complete architectural review will be completed during formal application of architectural plans to the building department. **UNDERSTOOD.**

1. Though TAC reviews for Fire do not go into an in-depth architectural review, I felt it should be noted that the single means of egress from the mezzanine does not comply with the Life Safety code and would fail when this goes for actual permitting. **UNDERSTOOD.**
2. NFPA 101 (2018 Ed.) Section 7.4.1.1 --- The number of means of egress from any balcony, mezzanine, story, or portion thereof shall be not less than two, except under one of the following conditions:
 - a) A single means of egress shall be permitted where permitted in Chapters 11 through 43.
 - b) A single means of egress shall be permitted for a mezzanine or balcony where the common path of travel limitations of Chapters 11 through 43 are met. **UNDERSTOOD.**
3. NFPA 101 (2018 Ed.) Section 42.2.4.1 --- The number of means of egress shall comply with any of the following:
4. In ordinary-hazard storage occupancies, a single means of egress shall be permitted from any story or section, provided that the exit can be reached within the distance permitted as a common path of travel.
5. NFPA 101 (2018 Ed.) Table 42.2.5 states that the maximum Common Path of travel in an unsprinkled (ordinary hazard) storage occupancy is 50 feet. **UNDERSTOOD.**

K. PUBLIC WORKS

Joseph Kroll, Public Works Director (jkroll@hollywoodfl.org) 954-967-4207

Daniel Millien, Environmental Services Manager (dmillien@hollywoodfl.org) 954-967-4526

1. No comments received.

L. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Not Applicable.

M. COMMUNITY DEVELOPMENT

Ryon R. Coote, Community Development Division Manager (rcoote@hollywoodfl.org) 954-921-2923

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No comments received.

N. ECONOMIC DEVELOPMENT

Joann Hussey, Interim Director (jhussey@hollywoodfl.org) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922

1. Will textiles be manufactured at this location or will this serve solely as a storage space?

WILL THIS SERVE SOLELY AS A STORAGE SPACE

2. What's the process of goods coming and going into the facility? **WILL BE DELIVERED FROM THE SUPPLYER TO OUR LOCATION.** Will textiles be packaged and shipped from this location? **TEXTILES WILL BE PACKAGED AND SHIPPED FROM THIS LOCATION BY ORDER REQUESTED BY OUR CUSTOMERS.**

O. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

1. Substantially compliant.

The following recommendations were developed during the Crime Prevention Through Environmental Design review of the blueprints for **“Warehouse Metal Building 6013 Rodman St., Hollywood, FL - Preliminary”**. Recommendations requested by and forwarded to Tasheema Lewis, The Division of Planning & Urban Design upon completion.

Note: Blueprint Crime Prevention Observations/Recommendations per ACPI (American Crime Prevention Institute) reference the addressed premises.

CPTED Strategies

Examples of clear border definition may include fences, shrubbery of signs in exterior areas.

External Lighting

Parking lots, vehicle roadways, pedestrian walkways and building entryways should have “adequate” levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

-Parking Lots	3-5	foot candles
-Walking Surfaces	3	foot candles
-Recreational Areas	2-3	foot candles
-Building Entryways	5	foot candles

- These levels may be subject to reduction in specific circumstances where after hours use is restricted.
- The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.
- Exterior lighting should be controlled by automatic devices (preferably by photocell).
- Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.
- Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.
- Light fixtures below 10’ in grade should be designed to make access to internal parts difficult (i.e. security screws, locked access panels).

Landscaping:

- Make sure all landscaping is trimmed and well maintained.
- Make sure that landscaping does not obstruct the natural surveillance (visibility) of the area.
- Plant height appropriate shrubbery along walkways as to not obstruct visibility or allow individuals to hide behind.
- Plants/Shrubbery should not be more than 2ft in height.
- Tree canopies should not be lower than 6ft in height.

Building(s) Perimeter Doors

- Exterior doors not used as designated entry points, should be locked to prevent entry from the exterior.

- Ideally, exterior doors should be equipped with electronic propped door alarms, which annunciate either locally and/or at the security office.
- Lobby should be accessible to residents only.
- Lobby should remain locked after hours
- Electrical, Mechanical, Pump Room, Maintenance Rooms, should be kept locked when not in use.
- Parking Garage should be accessible to residents only. Guests can be given access by residents.

Internal Circulation and Control

- There should not be recessed areas in corridors that could be used for hiding or loitering.
- Convex mirrors should be used in corners and in stairwells.
- Stairwells should have closed area at first level, to prevent someone from hiding beneath stairs.
- Glass elevator is recommended so residents can see out/in.
- Mail area should be well lit
- Trash room should be locked when not in use
- Storage should be locked when not in use
- Roof should remain locked when not in use.

Corridors

- Corridors should be well-lighted with no dark areas.
- Increased light, reflective paint colors, and graphics on hallway wall surfaces should be used to increase the perception of openness and constant movement.
- Terrace should be well lit.

General locations

- Mechanical, electrical, HVAC, or other equipment located outside the building should be surrounded by a protective enclosure. Ex. Dumpster Enclosures.

CCTV

- CCTV provides surveillance that can detect criminal activity and record the footage, which can be useful in an investigation. Conspicuous CCTV is another type of deterrent to a criminal. There are some difficulties in monitoring parking facilities because of shadows, spaces between parked vehicles; and columns, ramps, and walls in parking garages; that is why lighting is also essential in these areas.

Fencing

- (If used) Wrought iron fencing provides for natural surveillance within and onto the property. Ex. Parking lot and to establish a defined border definition of the entire property.

Non-Pedestrian Building Entry Points

- Sturdy fencing should enclose locations where gas and electric utilities enter buildings.
- Locations where gas and electric utilities enter buildings should be well lighted.

Signage

- Ensure proper signage is posted throughout property.

The purpose of the review is to provide security recommendations. This review is only advisory and is not intended to identify all security weaknesses or to warrant the adequacy of all present and future security measures whether or not recommended.

P. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980
Christopher Crocitto, Project Manager (ccrocitto@hollywoodfl.org)

1. Not Applicable.

Q. PARKING

Jovan Douglas, Division Director (jdouglas@hollywoodfl.org) 954-921-3548

1. No comments received.

R. ADDITIONAL COMMENTS

Tasheema Lewis, Associate Planner (tlewis@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

The Technical Advisory Committee does not find this application substantially compliant with all applicable regulations, therefore the Applicant must resubmit for TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.

Sincerely,

Tasheema Lewis
Associate Planner

C: Grace Harrison via email hnthony18@gmail.com
Anthony Harrison via email anthony11317@gmail.com
Daisy J. Acevedo via email dja@daisyarchitect.com

From: Favio Perez <FPEREZ@hollywoodfl.org>
Sent: Thursday, June 6, 2024 5:03 PM
To: Reginald White <rwhite@HollywoodFL.org>
Subject: RE: 6013 Rodman street - 24-DP-24

Hi Reggie, see landscape comments below.

1.-Digital images show existing trees on site, provide a Tree Disposition plan. Palm mitigation is 3:1, tree mitigation is inch per inch with a 12' ht, 2" dbh min. replacement. -Show all trees on site to scale. The tree legend must include the tree number, common name, botanical name, DBH, overall height, spread, condition, and disposition (to remain, to be relocated, to be removed). Show all canopy including crowns of trees from adjacent lot located within 10' from property line. -For new construction, Disposition plan must superimpose the new construction plan.

2.-Provide sight triangles on plans at intersection of driveway and property line – Sec. 155.12 (d) Add note to plan: Landscaping within the triangular areas shall provide unobstructed cross visibility at a level between 2 feet and 6.5 feet. **LANDSCAPE SHEETS L-1, L-2, T-1 HAVE BEEN PROVIDED**


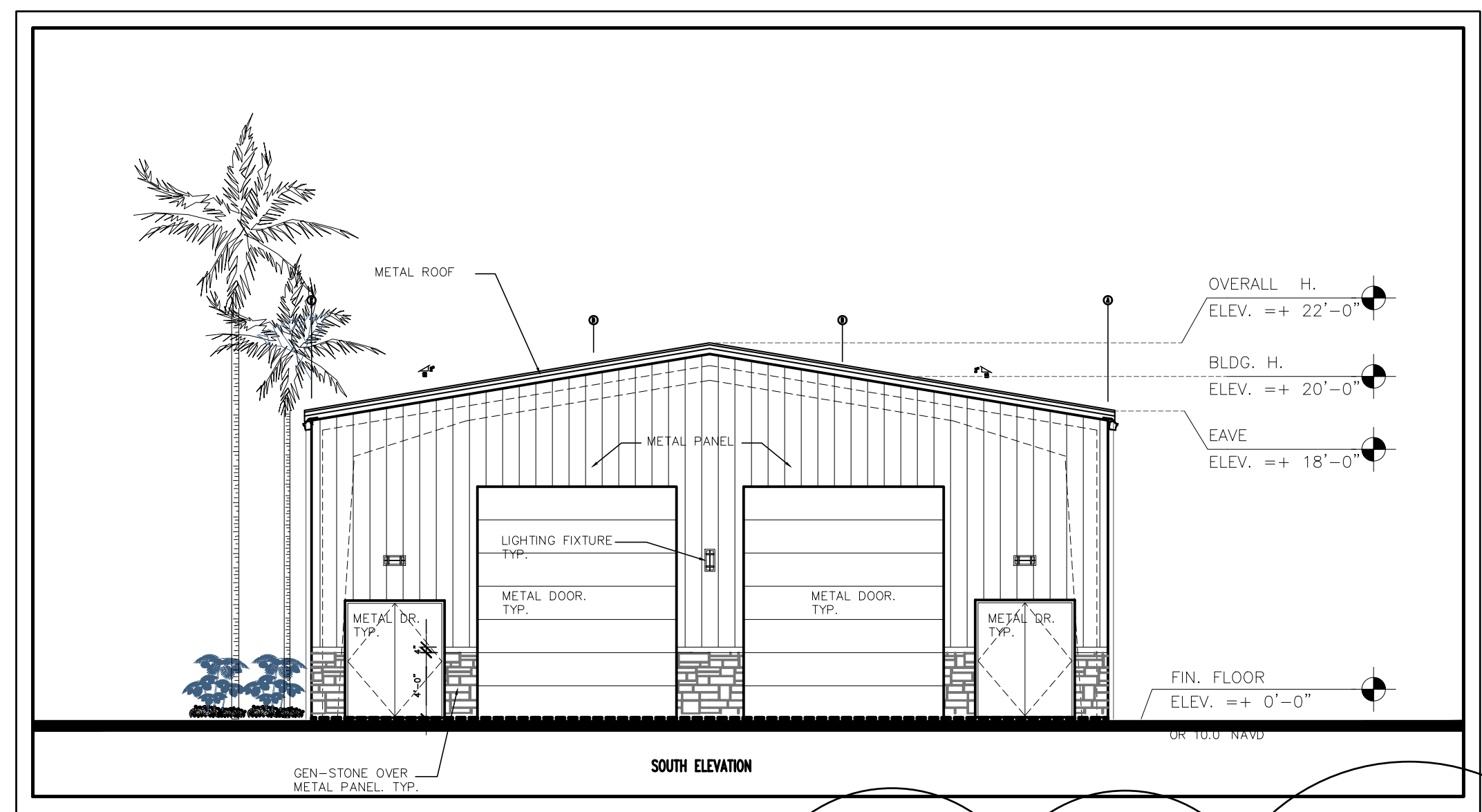
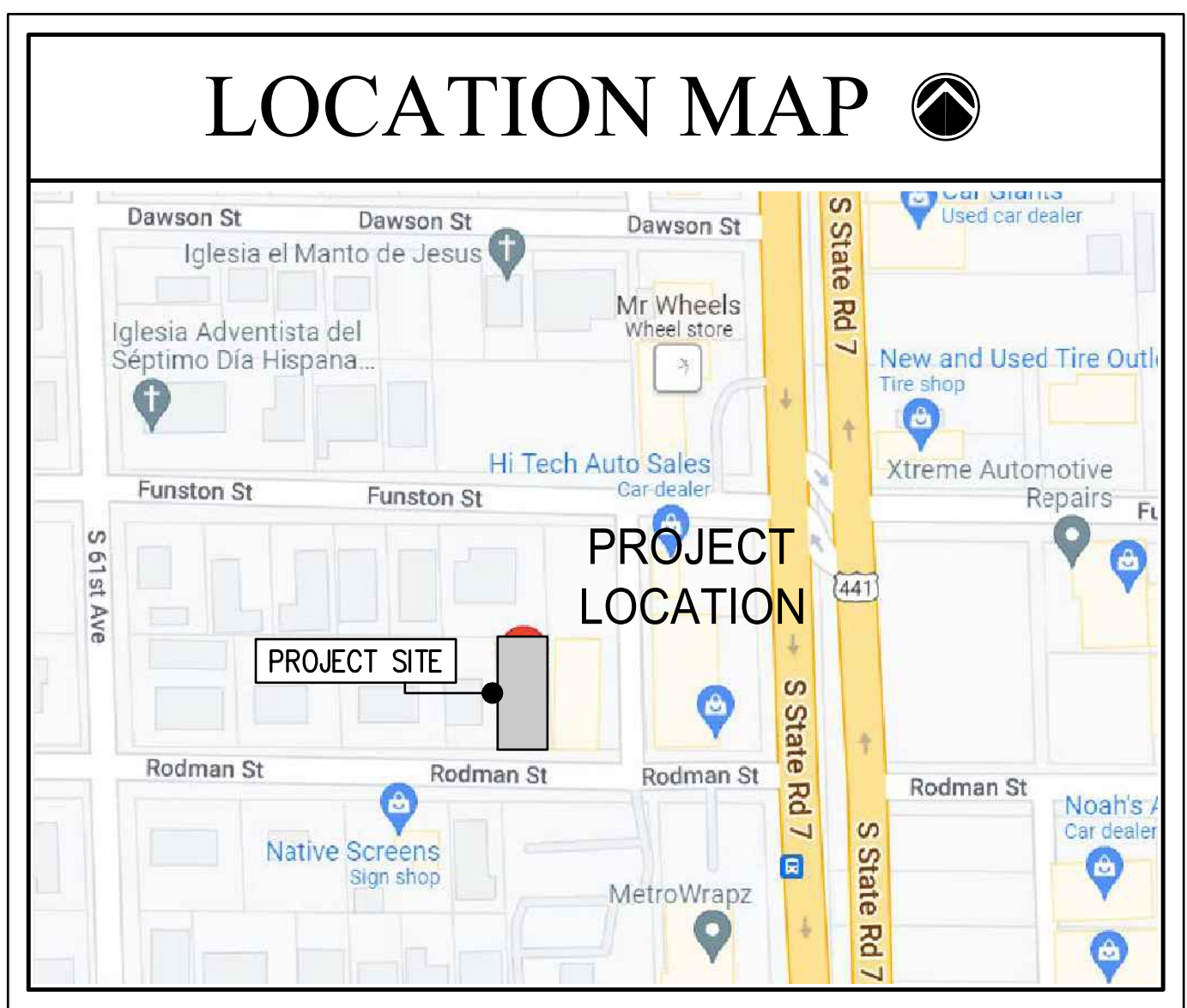
-Provide information requested for further review
Additional comments may follow upon further review.

REVISION	BY:
1	8/1/24

WAREHOUSE METAL BUILDING

6013 RODMAN STREET HOLLYWOOD, FL 33023

DAISY J. ACEVEDO, CORP
Architect
2072 SW 72ND AVE
DAVE FL 33317
(954) 473-5252
FLORIDA REGISTRATION
AR NO. 101706

SHEET INDEX	
A-0	COVER SHEET
	SURVEY
ARCHITECTURAL	
SP-1	PROPOSED SITE PLAN
C-1	EROSION AND SEDIMENT CONTROL PLAN
C-2	CIVIL PLAN
C-3	CIVIL DETAILS
C-4	STANDARD DETAILS
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS
I-1	IRRIGATION PLAN
I-2	IRRIGATION DETAILS
T-1	TREE DISPOSITION
A-1.0	PROPOSED GROUND FLOOR & TYPICAL HC TOILET ROOM DETAIL
A-1.1	PROPOSED MEZZANINE PLAN & TYPICAL STAIR DETAILS
A-1.2	PROPOSED ROOF PLAN & UL-263 DETAIL
A-2.0	PROPOSED SOUTH ELEVATION & PROPOSED NORTH ELEVATION
A-2.1	PROPOSED EAST ELEVATION & PROPOSED WEST ELEVATION
A-2.0	PROPOSED SOUTH ELEVATION & PROPOSED NORTH ELEVATION / COLOR
A-2.1	PROPOSED EAST ELEVATION & PROPOSED WEST ELEVATION / COLOR
A-3.0	BUILDING SECTIONS
A-4.0	FIRE RESISTANT ASSEMBLIES DETAILS
A-4.1	FIRE RESISTANT ASSEMBLIES DETAILS
PH-1	PHOTOMETRIC
PH-2	LIGHTINGS SPECIFICATIONS




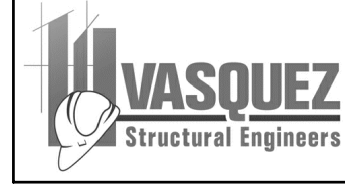


VARIANCE REQUESTED

EXPANDING THE CURB CUT.
MAXIMUM CURB CUT 30% OF THE PROPERTY.
(50X0.30=15 FEET WIDE).
MINIMUM WIDTH FOR 2 WAYS TRAFFIC = 22'
PROPOSED = 23'-9"

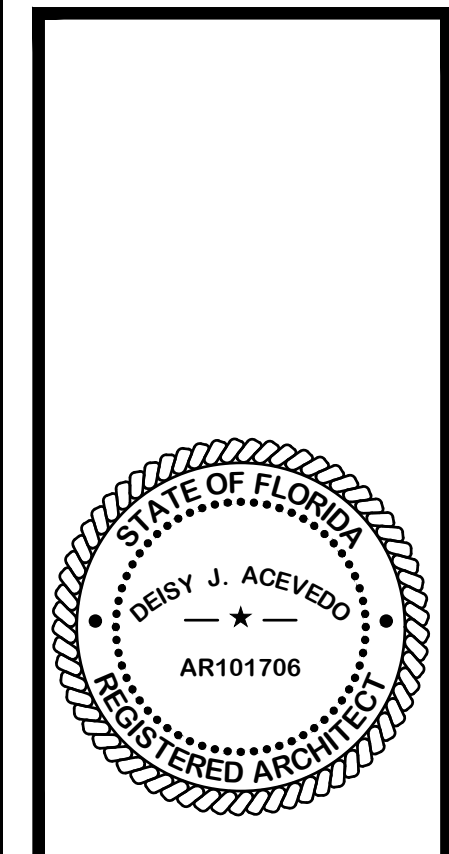
TAC MEETING DATES

PROJECT #:	24-DP-24
PACO	OCT. 02 / 2023
PRELIMINARY TAC	APR. 15 / 2024
FINAL TAC	

PROJECT TEAM

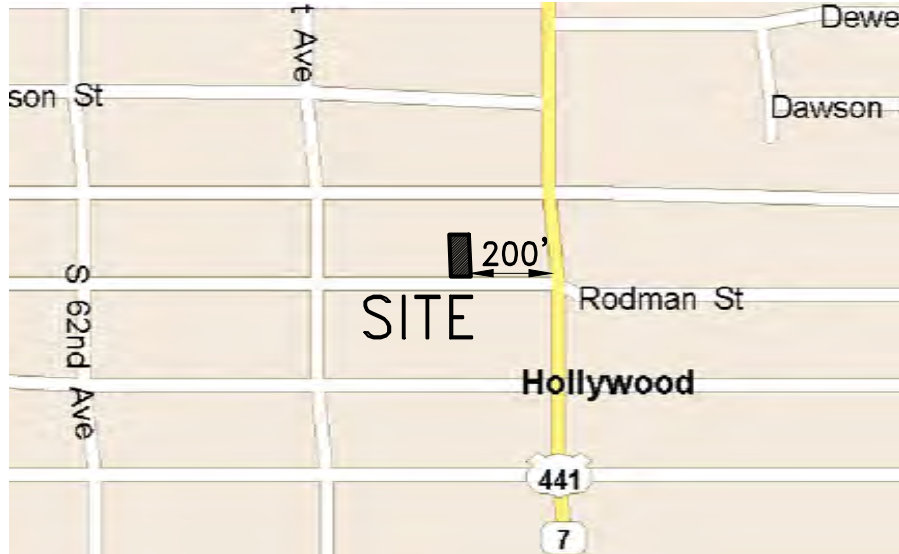
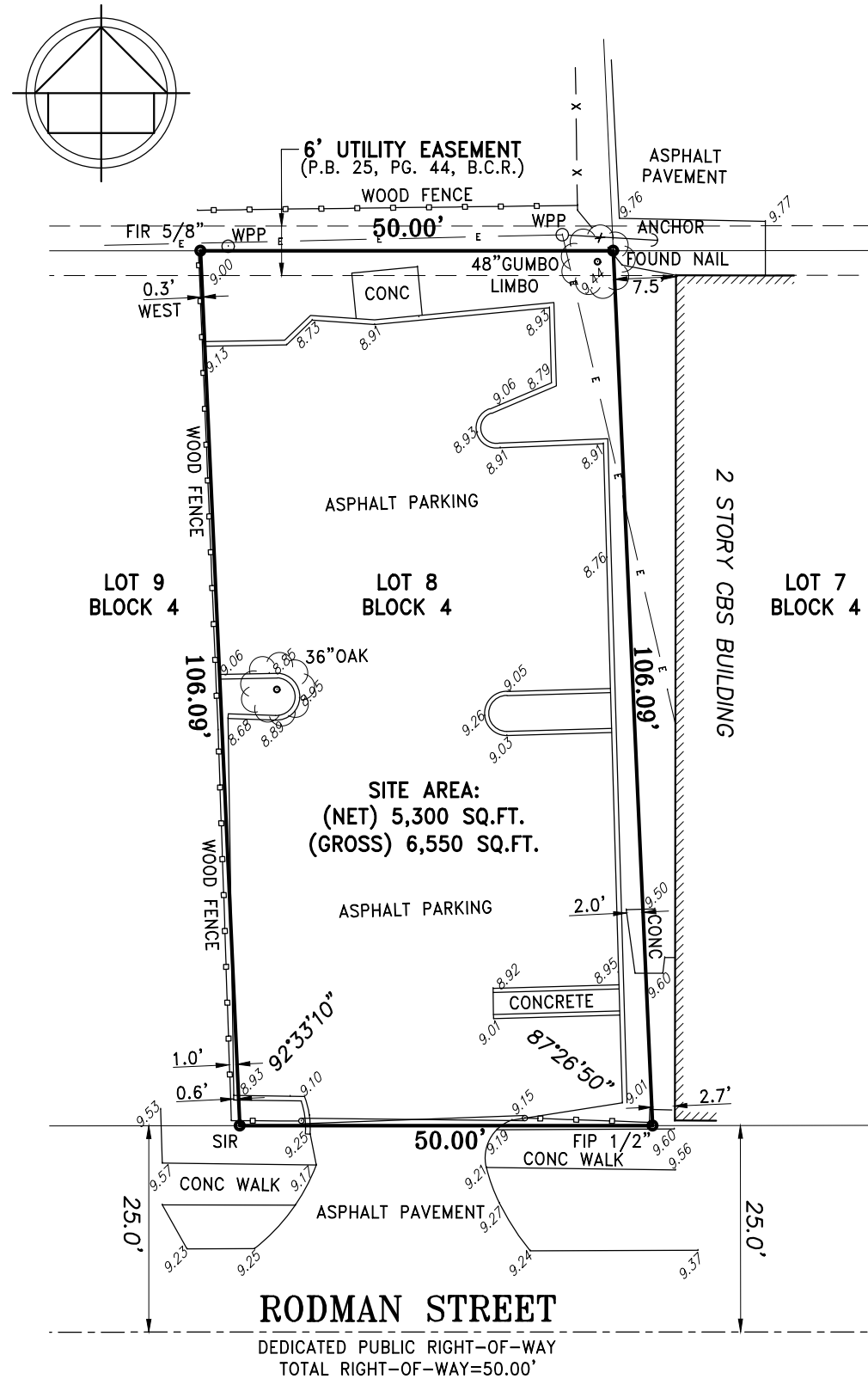
<p>ARCHITECT:</p>  <p>DAISY J. ACEVEDO, CORP Architect 2072 SW 72ND AVE DAVE FL 33317 (954) 473-5252 FLORIDA REGISTRATION AR NO. 101706</p>	<p>CIVIL ENGINEER:</p>  <p>GATOR ENGINEERING ASSOCIATES, INC. 11390 TEMPLE STREET COOPER CITY, FL 33330 TEL: (954) 434-5905 FAX: (954) 434-4904 CERTIFICATE OF AUTHORIZATION NUMBER 93320</p>	<p>LANDSCAPE ARCHITECT:</p>  <p>Peter DeWick & Associates 4165 SW 23 Street FL Lauderdale, Florida 33317 Tel. (954) 792-4023 www.land-planning.org</p>	<p>STRUCTURAL ENGINEER:</p>  <p>VASQUEZ STRUCTURAL ENGINEERS 6635 W. Commercial Blvd. Suite 215 Tamarac, FL 33319 Ph: (954) 726-7500 Fax: (954) 726-7501 Email: alvaro@vasquezstructural.com Alvaro Vasquez, P.E. FL, PE # 60843 FL, CA # 30130</p>	<p>MEP ENGINEER:</p>  <p>LEONARDO NAVEIRAS, INC. "CONSULTING ENGINEERS" Leonardo Naveiras P.M. CA# 25830 Julio C. Vidal P.E. PE# 52792 1918 Harrison St. # 207 Hollywood, FL 33020 Phone: 954-270-4822 Fax: 954-241-6850 E-mail: hvacleo@aol.com</p>	<p>CONSULTING ENGINEERS:</p>  <p>ALLIED STEEL BUILDINGS PH: 888-864-8666 Fax: 866-783-3521 alliedbuildings.com</p>
--	---	---	--	---	---

WAREHOUSE METAL BUILDING
 6013 RODMAN STREET
 HOLLYWOOD, FL 33023



DRAWN	M.J.G.
CHECKED	D.J.A.
DATE	JULY, 2022
SCALE	AS NOTED
JOB NO.	22-005
OF SHEETS	A-0

ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NTS)

LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET 5/8" IRON ROD & CAP #6448
SNC	SET NAIL & CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL & CAP
FND	FOUND NAIL & DISK
PRM	PERMANENT REFERENCE MARKER
P.B.	PLAT BOOK
B.C.R.	BROWARD COUNTY RECORDS
FPL	FLORIDA POWER & LIGHT
-X-	CHAIN LINK FENCE
-E-	OVERHEAD UTILITY LINES
WPP	WOOD POWER POLE
MLP	METAL LIGHT POLE
CLP	CONCRETE LIGHT POLE
0.00	ELEVATIONS
ALTA	AMERICAN LAND TITLE ASSOCIATION
NSPS	NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
ORB	OFFICIAL RECORDS BOOK
SQ.FT.	SQUARE FEET
NTS	NOT TO SCALE

LAND DESCRIPTION:

LOT 8, BLOCK 4 OF "BEVERLY PARK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 44, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTES:

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- BENCHMARK REFERENCE: FDOT BENCHMARK 'BM8', ELEVATION=9.78' (NAVD88)
- THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.
- THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN TITLE COMMITMENT ISSUED BY ----- INSURANCE COMPANY, ORDER NO.: ----- WITH AN EFFECTIVE DATE OF --- 2021 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
- ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
- THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY OTHER THAN (THE SW CORNER OF THE PARKING LOT ENCLOSES ON THE LOT TO THE WEST BY 0.6'), AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
- THE PROPERTY HAS DIRECT ACCESS TO RODMAN STREET, A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 25, PAGE 44, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAY MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.
- THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
- THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7 (A), (B) AND (C), 8, 9, 14, AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JANUARY 18TH, 2024.

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4188

COUSINS SURVEYORS & ASSOCIATES, INC.

3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954)689-7766 EMAIL: OFFICE@CSASURVEY.NET

PROJECT NUMBER : 10135-24

CLIENT :
TONY DHU

REVISIONS	DATE	FB/PG	DWN	CKD
ALTA/NSPS LAND TITLE SURVEY	01/18/24	SKETCH	AM	REC

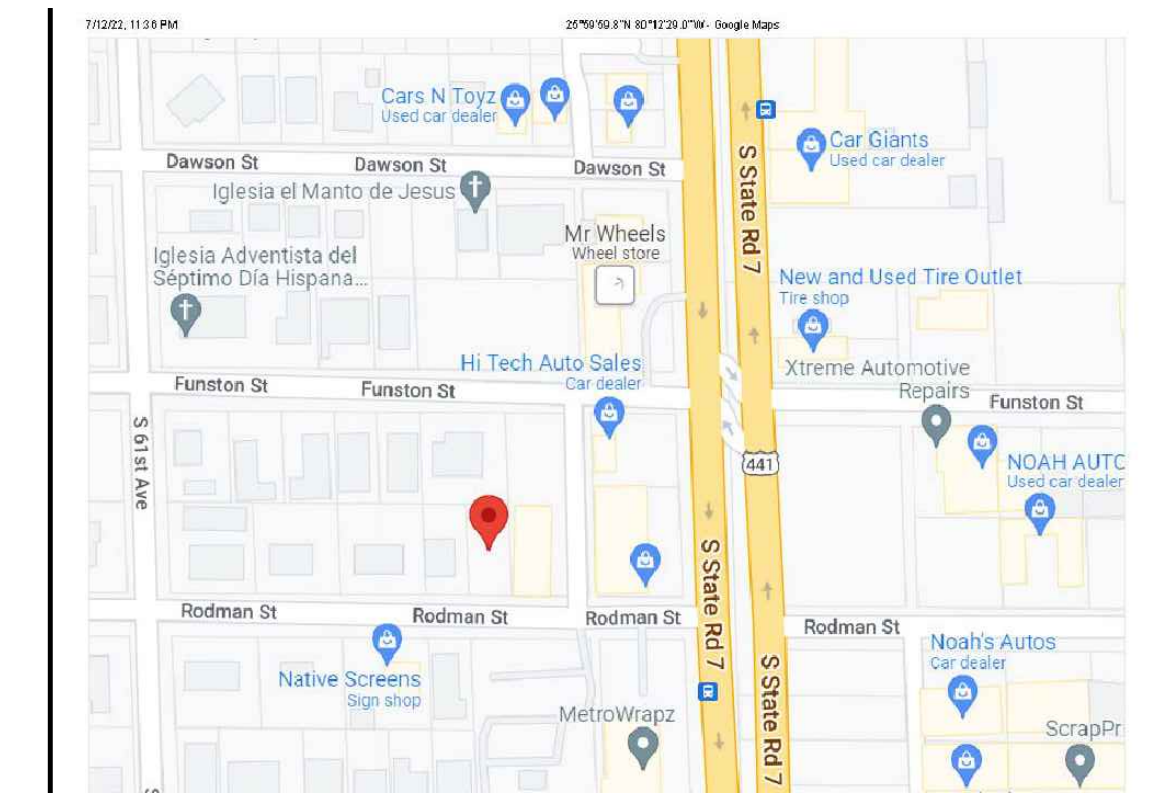
FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0727H
ZONE	X
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	08/18/14

PROPERTY ADDRESS :
6013 RODMAN STREET

SCALE: 1" = 20'

SHEET 1 OF 1

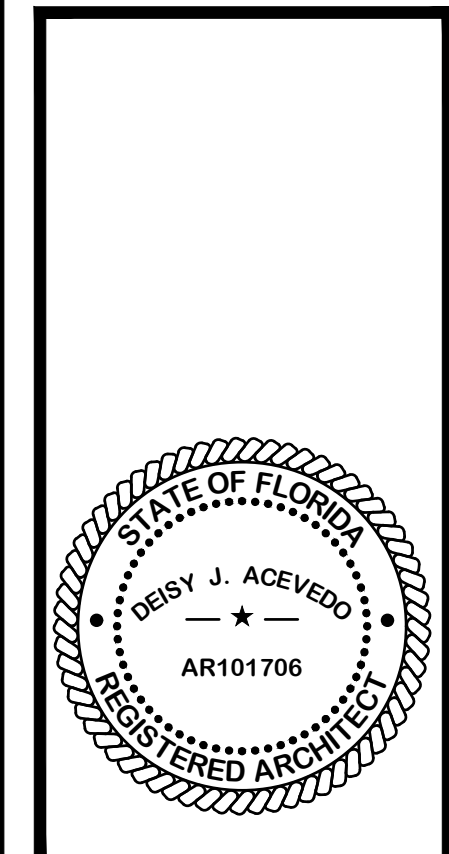
SETBACK DATA				
	LANDSCAPE SETBACK REQUIRED	LANDSCAPE SETBACK PROVIDED	BUILDING SETBACK REQUIRED	BUILDING SETBACK PROVIDED
NORTH (REAR) SETBACK	5'-0"	5'-2"	5'-0"	5'-1 1/2"
SOUTH (FRONT) SETBACK	10'-0"	10'-0"	10'-0"	55'-9 1/4"
EAST (SIDE) SETBACK	-	-	0'-0"	11 1/4"
WEST (SIDE) SETBACK	-	-	0'-0"	1'-0"



REVISION	BY:
8/1/24	

DAISY J. ACEVEDO, CORP
 Architect
 2072 SW 72ND AVE
 DAVIE FL 33317
 (954) 473-5252
 FLORIDA REGISTRATION
 AR. NO. 101706

WAREHOUSE METAL BUILDING
 6013 RODMAN STREET
 HOLLYWOOD, FL 33023



DRAWN: **D.J.A.**
 CHECKED: **D.J.A.**
 DATE: **JULY, 2022**
 SCALE: **AS NOTED**
 JOB. NO.: **22-005**
SP-1
 OF SHEETS

7 SETBACK DATA

1 LOCATION MAP
 SCALE: N.T.S.

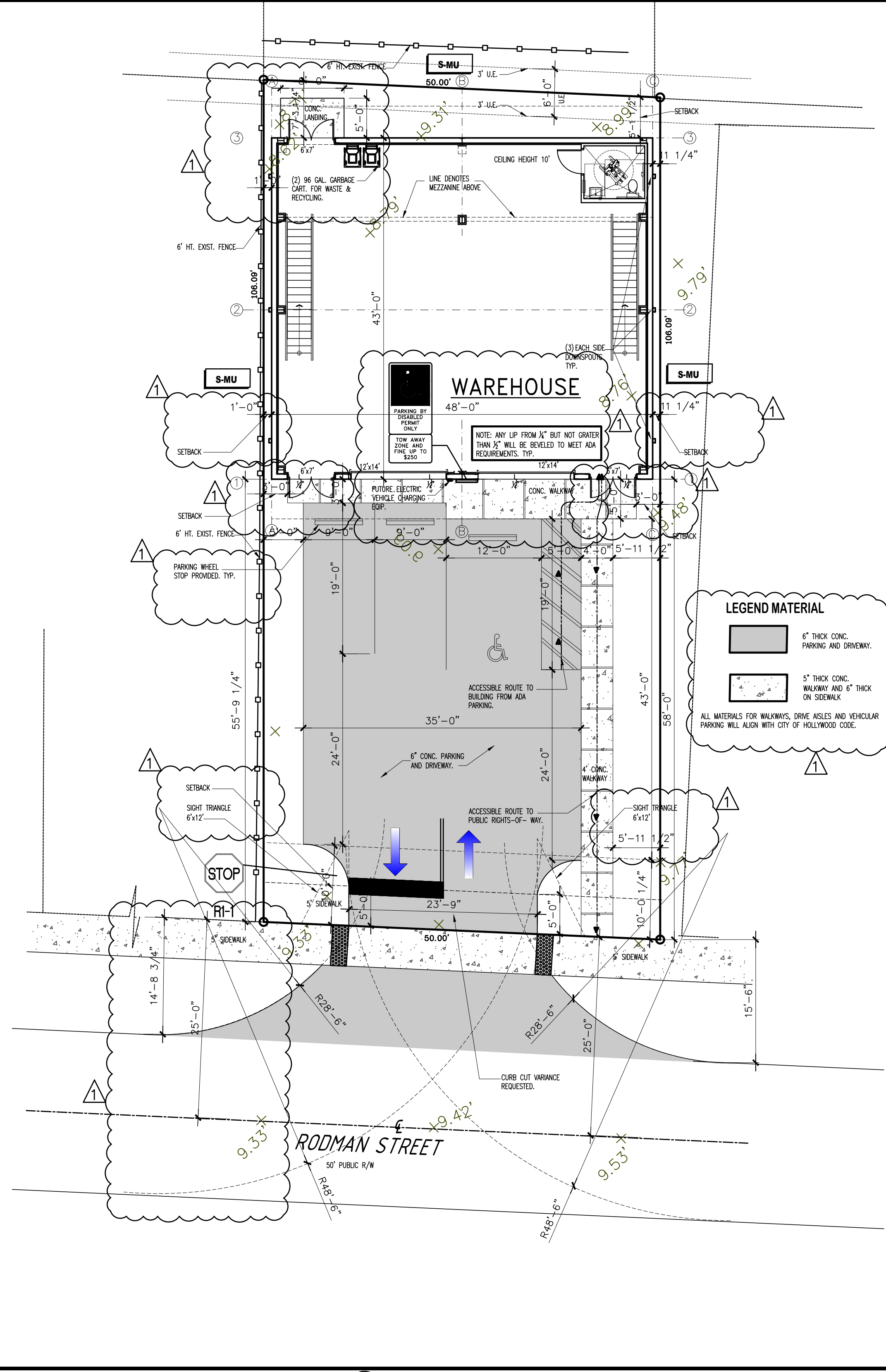
2 LEGAL DESCRIPTION
 SCALE: N.T.S.

LAND DESCRIPTION:
 LOTS 8, BOOK 4, BEVERLY PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 25, AT PAGE 44, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

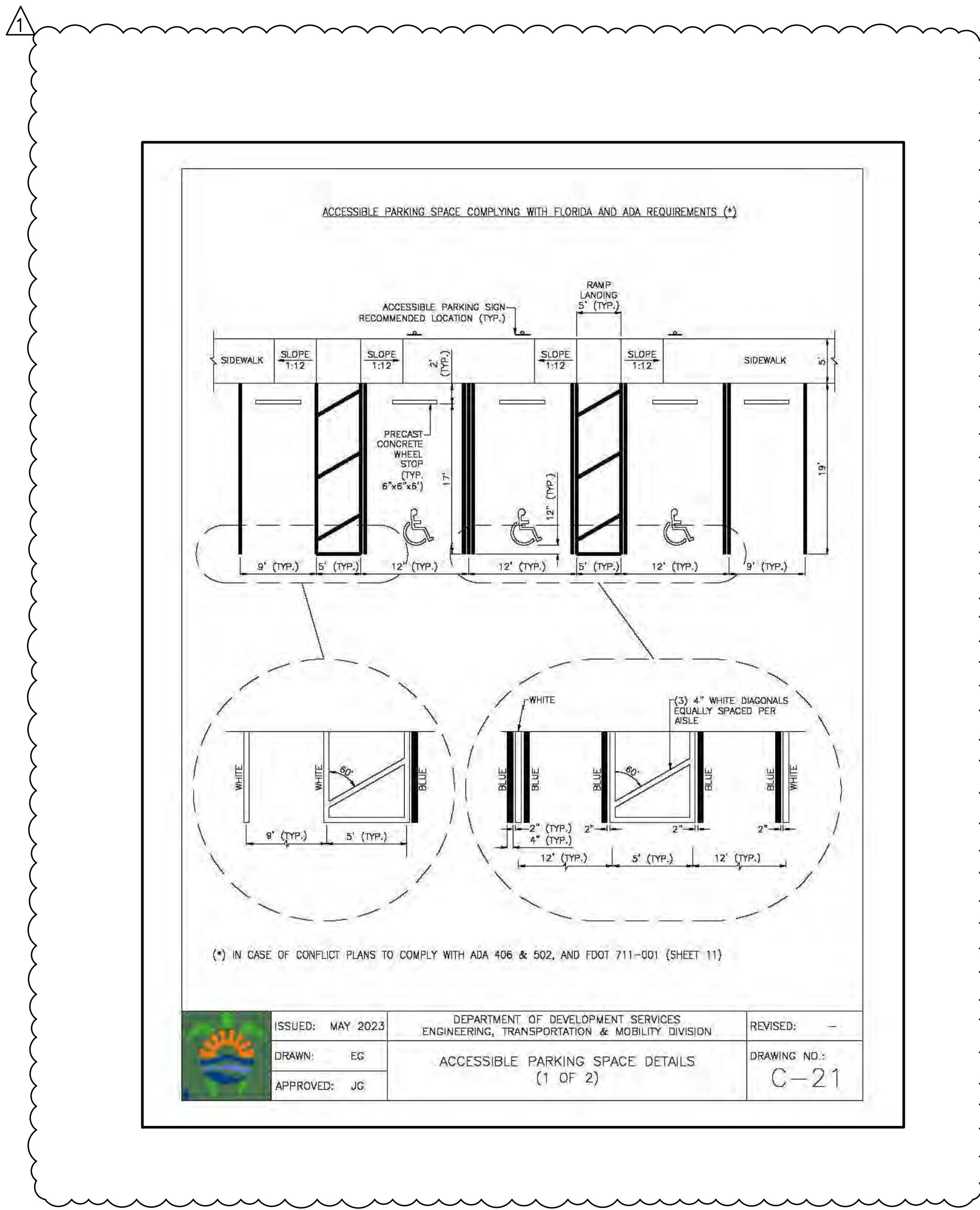
PROJECT DESCRIPTION- MAIN SITE DATA TABLE	
NEW WAREHOUSE METAL BUILDING	
PROPERTY ADDRESS: 6013 RODMAN STREET, HOLLYWOOD FL 33023	
ZONING DESIGNATION:	S-MU
WATER / WASTEWATER SERVICE PROVIDER:	CITY OF HOLLYWOOD
NON RESIDENTIAL DEVELOPMENT:	
PROPOSED USE:	WAREHOUSE FOR TEXTILE MATERIAL
TOTAL SITE AREA:	
SITE AREA:	5,300.00 SQ. FT. 0.12 AC.
BUILDING HEIGHT ALLOWED:	65'-0"
BUILDING HEIGHT PROVIDED:	24'-0" A.F.F. (TOP OF BUILDING)
NUMBER OF STORIES:	(1) STORY BUILDING
PERVIOUS / IMPERVIOUS AREAS:	
BUILDING FOOTPRINT:	2,040.00 SQ. FT.
VEHICULAR USE AREA:	1,755.00 SQ. FT.
CONC. WALKWAY AREA:	390.00 SQ. FT.
LANDSCAPE AREA:	1,115.00 SQ. FT.
OPEN SPACE REQUIRED:	
5% MIN. OF TOTAL SITE AREA	=265.00 SQ. FT.
OPEN SPACE PROVIDED:	3,260.00 SQ. FT.
LANDSCAPE WITHIN VEHICULAR USE AREA (15% REQUIRED):	
VEHICULAR USE AREA:	15% OF 1,755.00 = 263.25 SQ. FT.
GREEN AREA ADJACENT TO VUA:	703.00 SQ. FT. OR 40% OF VUA
BUILDING DATA	
TYPE OF CONSTRUCTION:	TYPE IEB (NOT SPRINKLERED)
OCCUPANCY GROUP:	GROUP "S1"

PARKING DATA:	
AS REQUESTED BY THE CITY OF HOLLYWOOD:	
TOTAL PARKING REQUIRED (WAREHOUSE):	1/PER 1000
2,040 / 1000 = 2 SPACES	
TOTAL PARKING PROVIDED = 3 SPACES	(INCLUDING 1 HANDICAPPED SPACES)
LOADING ZONE:	
LOADING ZONE:	NOT REQUIRED
TOTAL PARKING PROVIDED = 3 SPACES	

3 BUILDING DATA
 SCALE:



4 PROPOSED SITE PLAN
 SCALE: 1" = 10'-0"

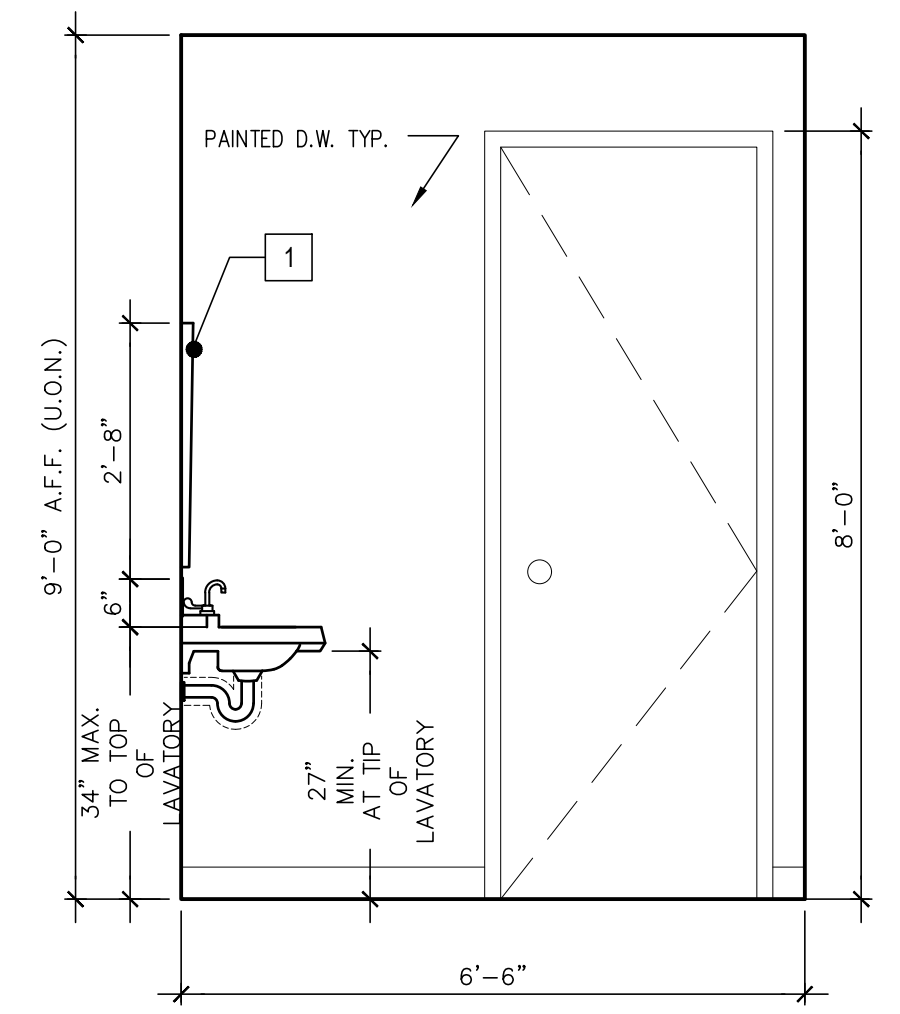


5 PARKING DETAIL
 N.T.S.

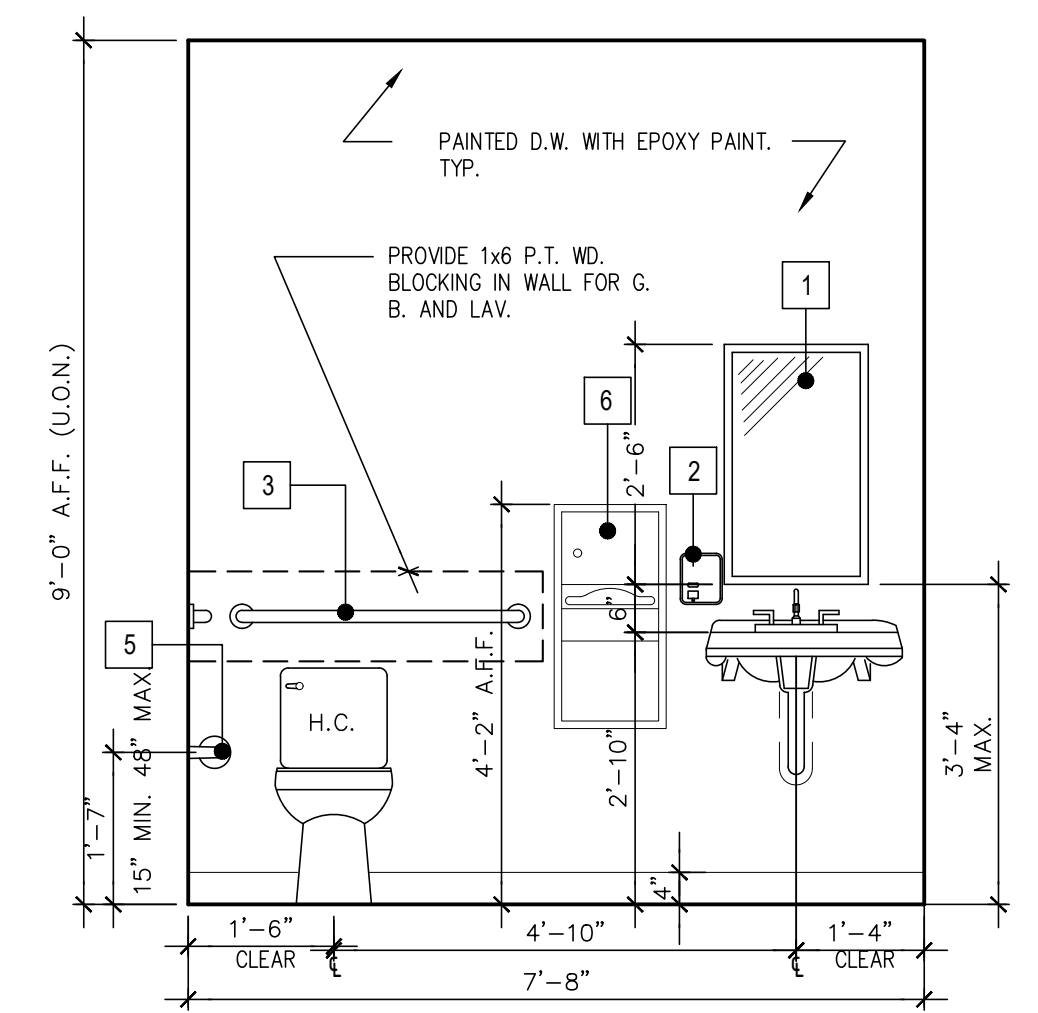
TOILET ROOMS TO RECEIVE:

- 1 16" x 30" MIRROR.
- 2 SURFACE MOUNTED SOAP DISPENSER.
- 3 GRAB BAR 36"L x 1 1/2" DIA.
- 4 GRAB BAR 42" L x 1 1/2" DIA.
- 5 SINGLE TOILET PAPER DISPENSER.
- 6 RECESSED MOUNTED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE

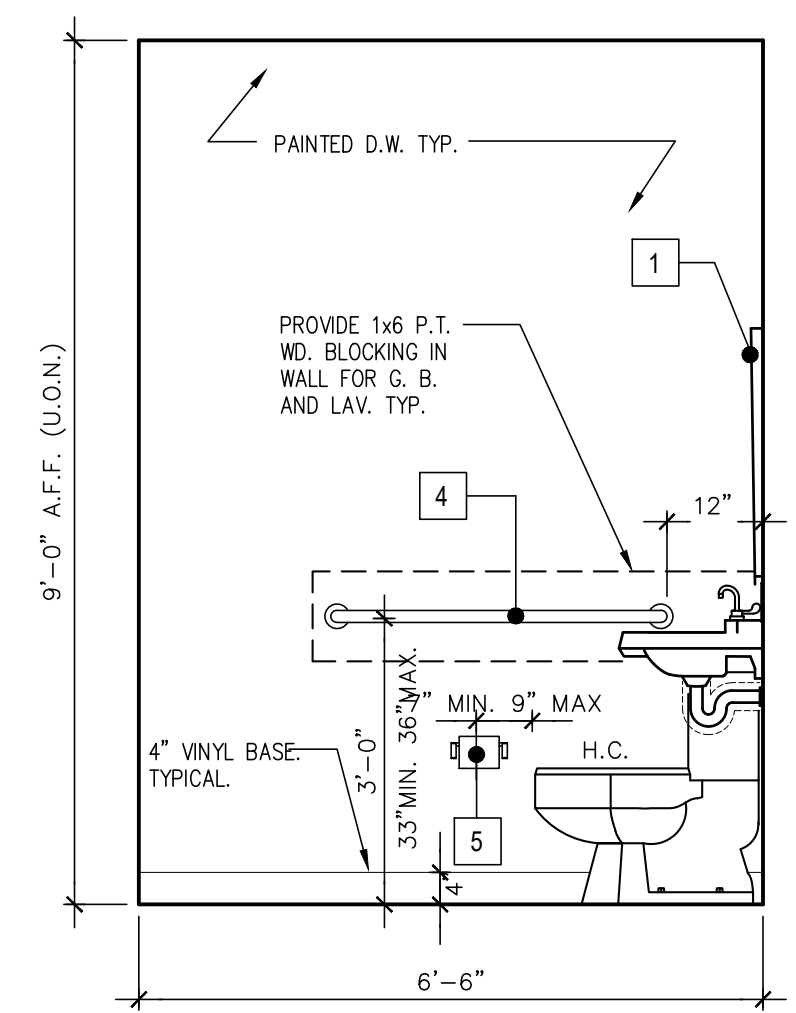
NOTE:
 1. WALLS IN ALL TOILET ROOMS MUST BE IMPERVIOUS TO A HEIGHT OF AT LEAST 4' ABOVE THE FLOOR PER 413.3.5.5, F.B.C.
 2. FLOOR BASE IN TOILET ROOMS MUST BE SMOOTH, HARD AND NON-ABSORBENT PER 1210.1 FBC.
 3. ALL BATHROOM ACCESSORIES SUPPLIED AND INSTALLED BY CONTRACTOR, SELECTED BY OWNER, TYP.



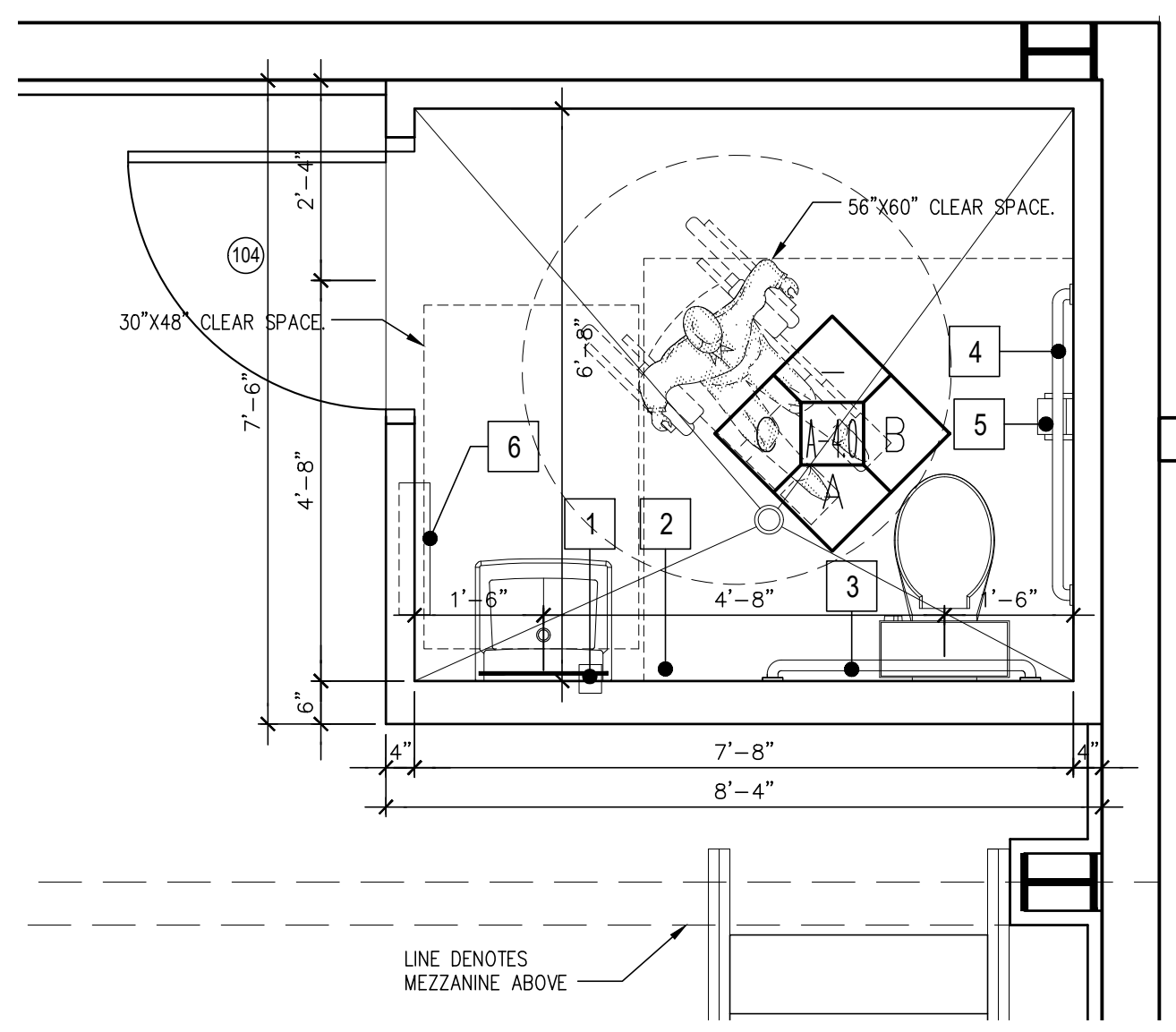
ELEVATION "C"
 NOTE: PROVIDE PROTECTIVE COVER TO ALL PIPING UNDER LAVATORIES.



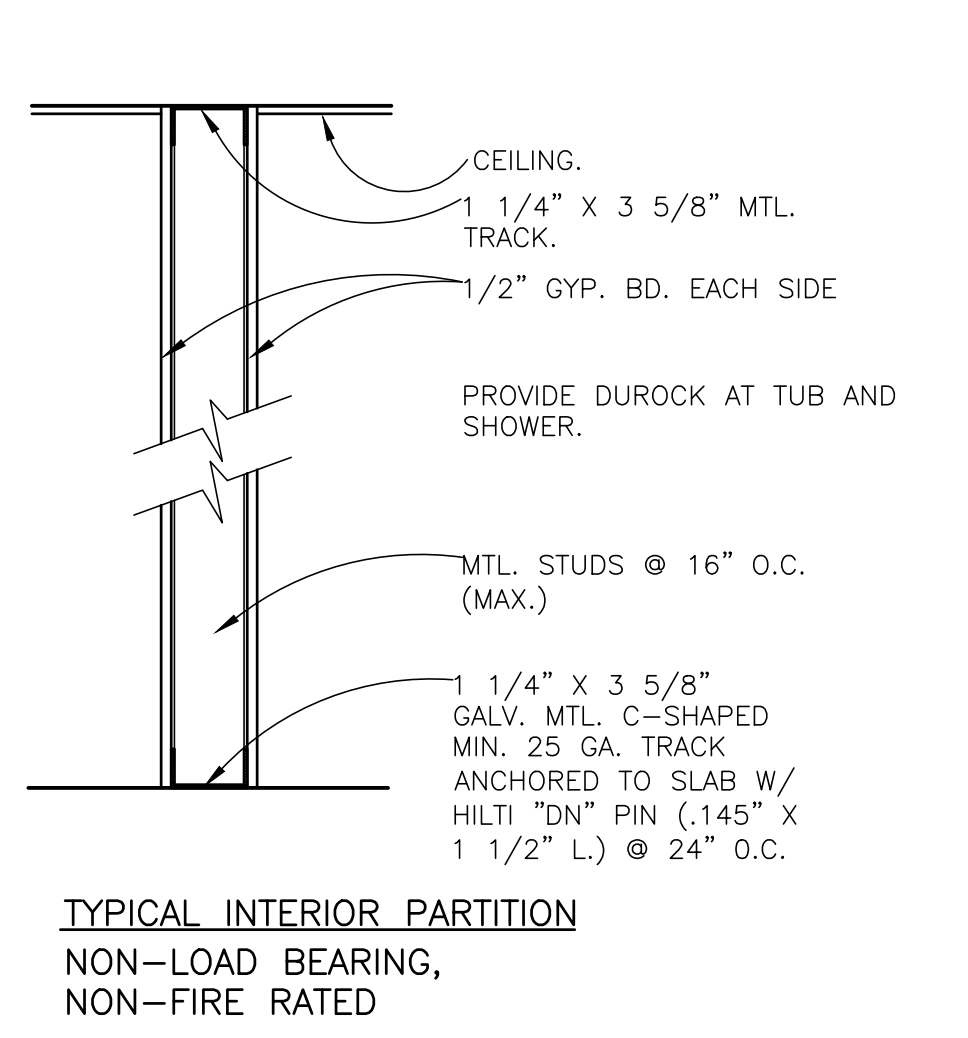
ELEVATION "A"
 NOTE: PROVIDE PROTECTIVE COVER TO ALL PIPING UNDER LAVATORIES.



ELEVATION "B"
 NOTE: PROVIDE PROTECTIVE COVER TO ALL PIPING UNDER LAVATORIES.



4 TYPICAL HC TOILET ROOM DETAIL
 SCALE: 1/2" = 1'-0"



3 TYPICAL INTERIOR PARTITION
 SCALE: NTS

WALL TYPE SCHEDULE	
GRAPHIC DESCRIPTION:	
	PRE-MANUFACTURE STEEL BLDG. SYSTEM TYP. REFER TO SHEET A-4.0 & A-4.1 FOR FIRE RATING DETAILS.
	PAINTED 1/2" INCH GYPSUM WALLBOARD, FLOOR TO CEILING. REFER INTERIOR PARTITION DETAIL 3 SHEET A-1.0.

DOORS (IMPACT RESIST.)
 1. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT PROTECTED BY PRODUCT APPROVED STORM SHUTTERS. TYPICAL.
 2. SUBMIT MIAMI-DADE COUNTY PRODUCT APPROVAL FOR ALL EXTERIOR DOORS PRIOR TO INSTALLATION.
 3. INSTALL ALL EXTERIOR DOORS IN ACCORDANCE WITH PRODUCT APPROVAL SPECIFICATIONS.
 4. ATTACH DOOR BUMPS WITH FASTENERS, STARTING AT 3 INCHES FROM ENDS THEN SPACED AT 6 INCHES O.C., STAGGERED. APPLY CAULKING BETWEEN BUMPS AND MASONRY. BOTH SIDES.

PRODUCT APPROVALS
 1. SUBMIT MIAMI DADE COUNTY PRODUCT APPROVALS FOR ROOFING, DOORS AND WINDOWS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

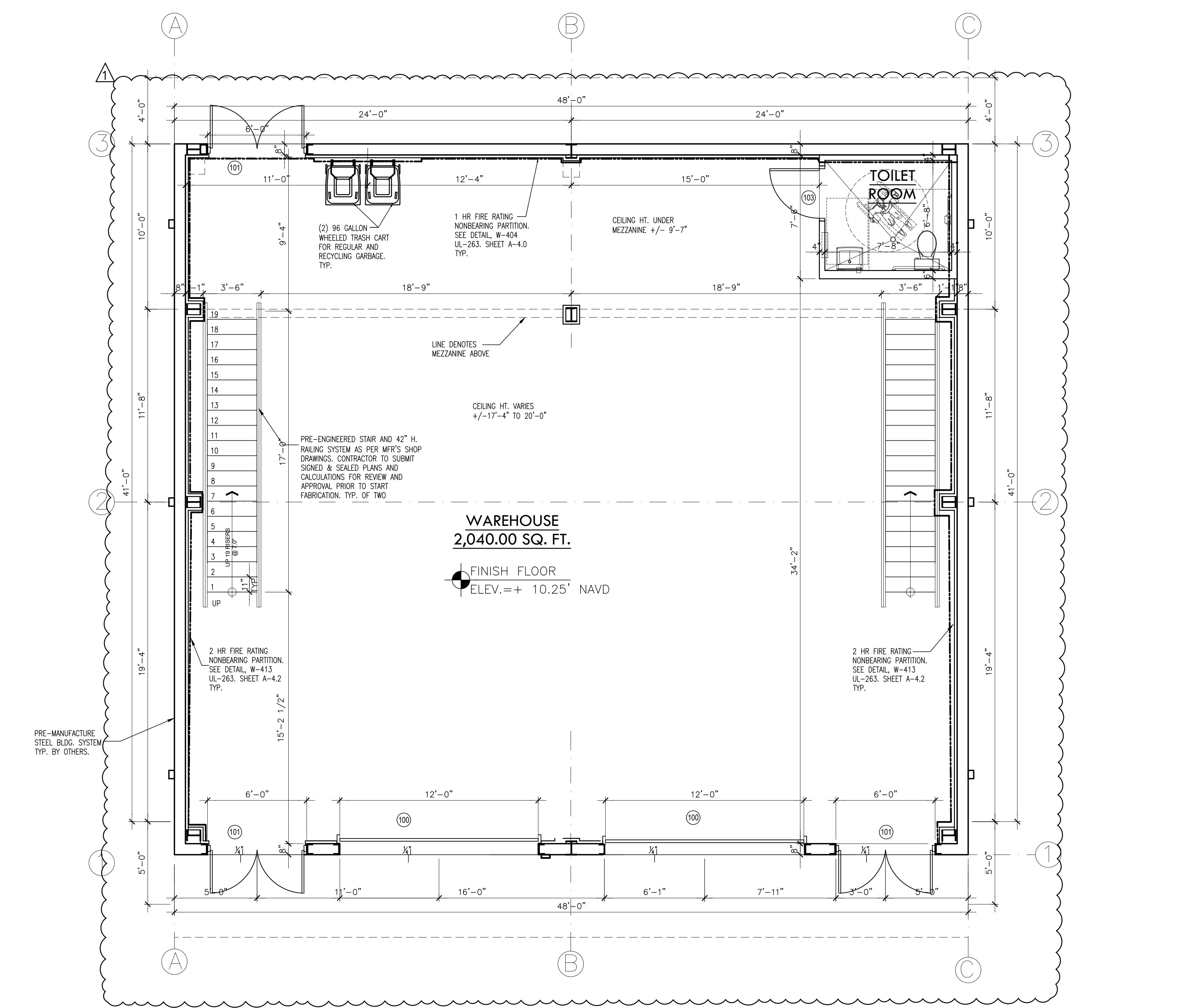
2 WALL TYPE AND NOTES
 SCALE: NTS

ROOF PERMIT
 1. SUBMIT PRODUCT APPROVAL AND SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

TYPE OF CONSTRUCTION: III-B (NOT SPRINKLERED)
OCCUPANCY: "S1"
DESIGN PER F.B.C. 7TH EDITION (2020) - BUILDING AND ASCE 7-16 WIND DESIGN 170MPH ASCE 7-16(3 SEC GUST) EXPOSURE C.

BATHROOMS NOTES:
 ALL WATER CLOSET HAS BEEN DESIGNED SUCH THAT THERE IS 15 INCH. MIN. (CLEAR) BETWEEN FIXTURE AND ADJACENT WALL, SHOWER, TUB, CABINET OR OTHER OBSTRUCTION AND PLACED NOT CLOSER THAN 30 INCHES CENTER-TO-CENTER BETWEEN TOILETS OR ADJACENT FIXTURES. THERE SHALL BE AT LEAST 21 INCHES CLEARANCE IN FRONT OF THE WATER CLOSET OR BIDET TO ANY WALL, FIXTURE OR DOOR. VERIFY IN FIELD AND REPORT ANY DISCREPANCIES.

GENERAL NOTES:
 DIMENSIONS: GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS PRIOR TO START CONSTRUCTION, SPECIALLY THOSE MARK AS "I.F." (VERIFY IN FIELD).

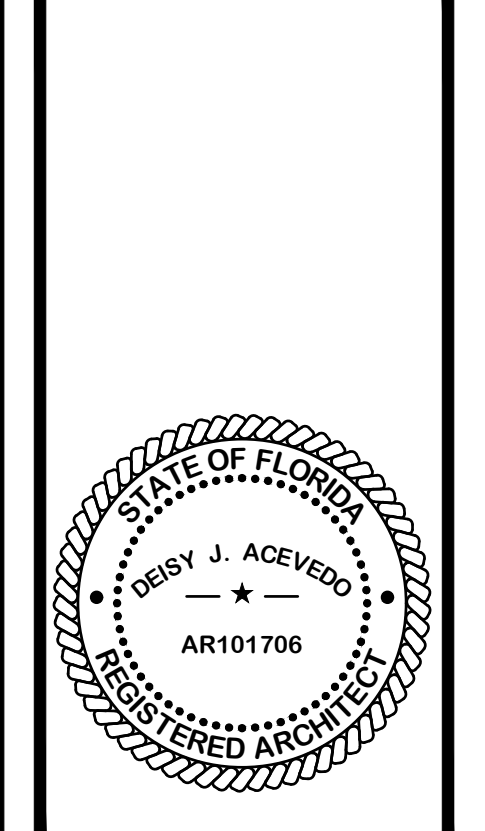


1 PROPOSED GROUND FLOOR
 SCALE: 1/4" = 1'-0"

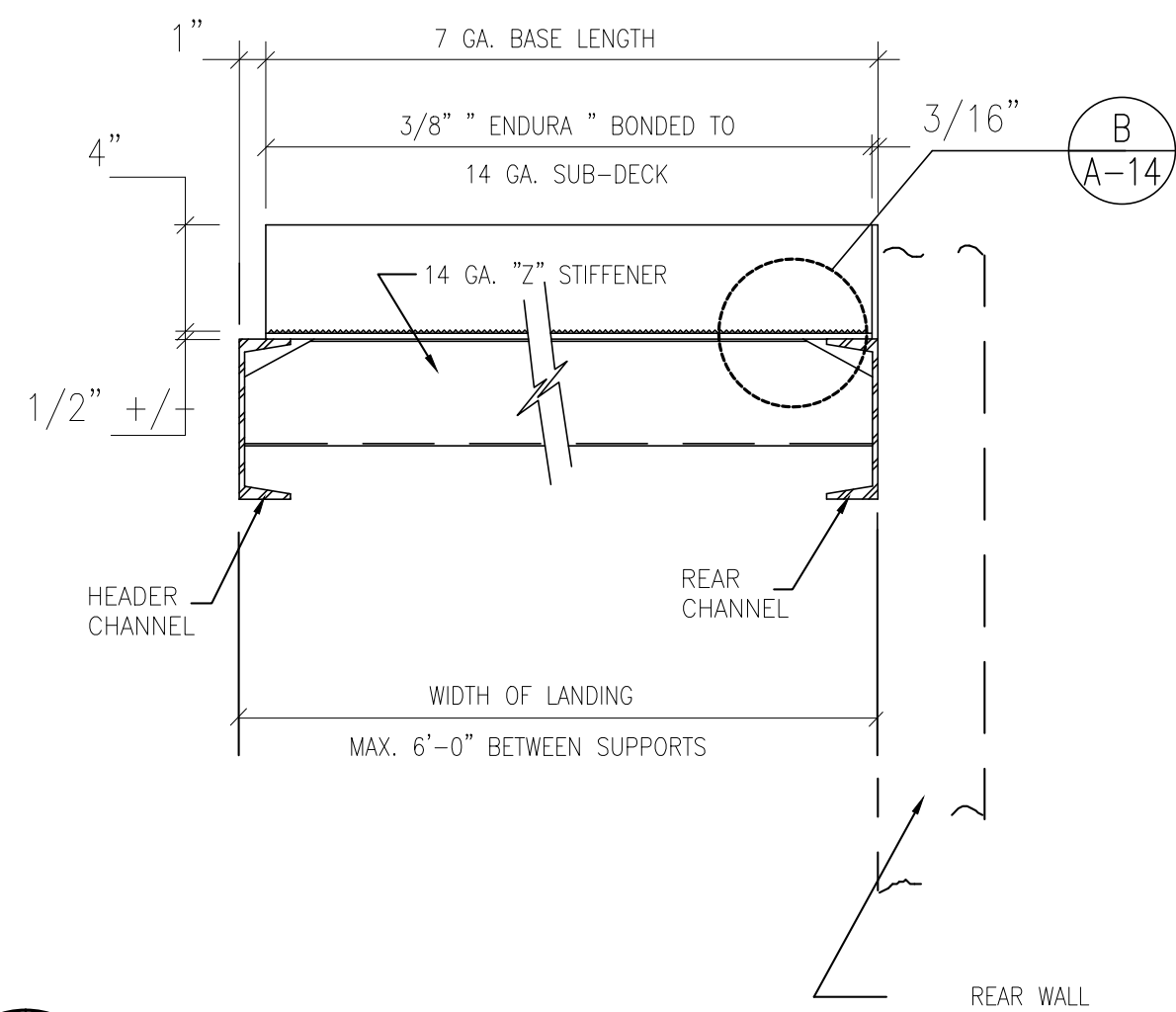
REVISION	BY:
8/1/24	

DAISY J. ACEVEDO, CORP
 Architect
 2072 SW 72ND AVE
 DAVIE FL 33317
 (954) 473-5252
 FLORIDA REGISTRATION
 AR NO. 101706

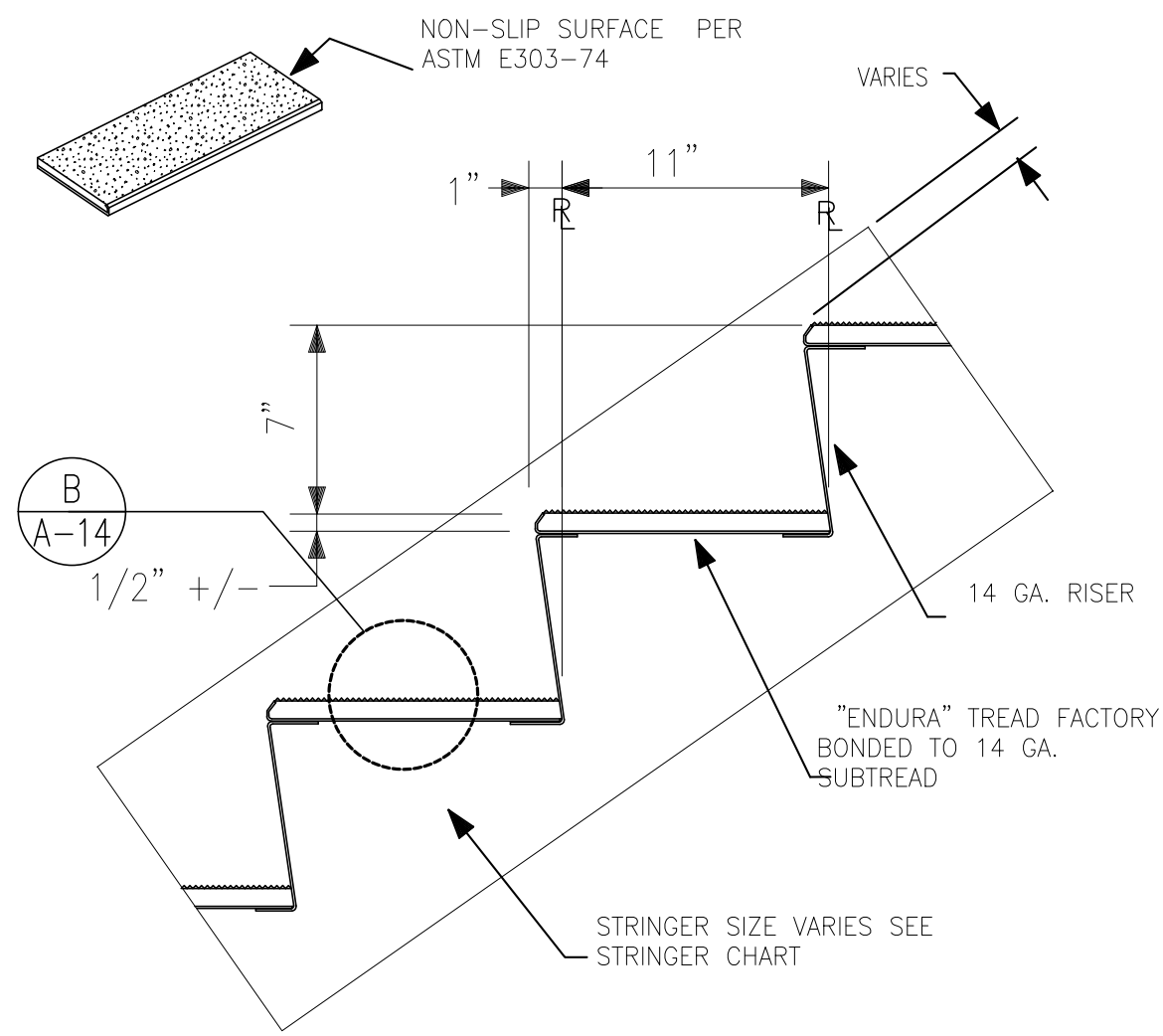
WAREHOUSE METAL BUILDING
 6013 RODMAN STREET
 HOLLYWOOD, FL 33023



DRAWN	M.J.G.
CHECKED	D.J.A.
DATE	JULY, 2022
SCALE	AS NOTED
JOB. NO.	22-005
A-1.0	
OF SHEETS	

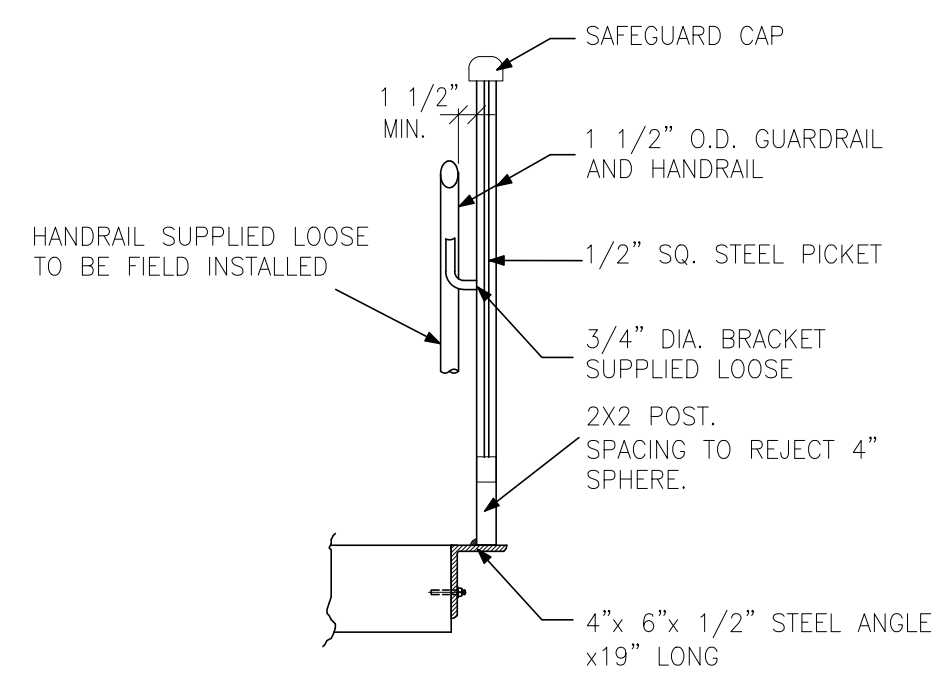


A STAIR LANDING
A-14 N.T.S.

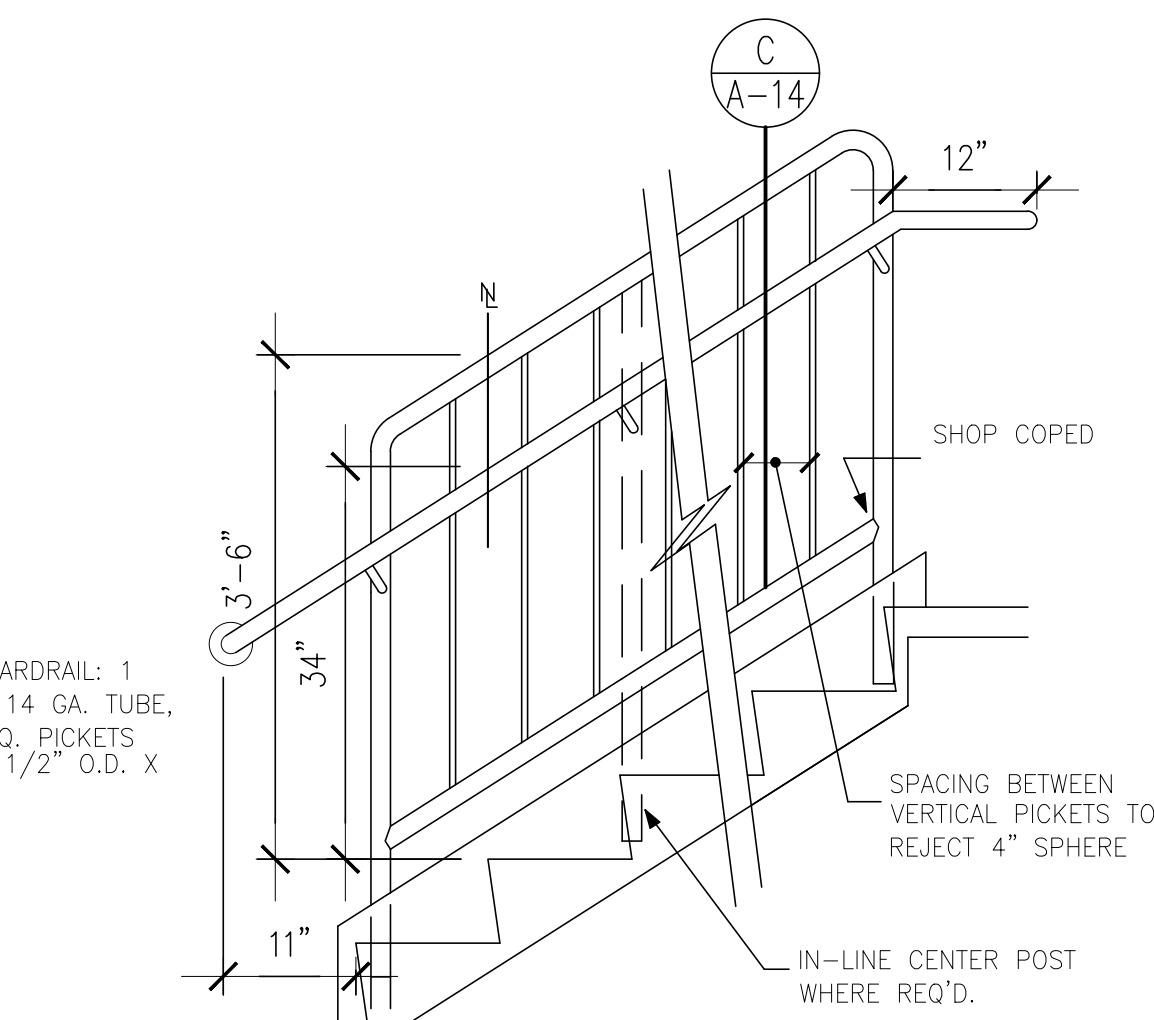


NOTE: PRE-FAB. METAL STAIR
SUBMIT SHOP DRAWINGS
FOR ARCHITECT'S APPROVAL

B STAIR DETAIL
A-14 N.T.S.



C HANDRAIL / GUARDRAIL DETAIL
A-14 1/2" = 1'-0"



D RAILING DETAIL
A-14 N.T.S.

WALL TYPE	SCHEDULE
GRAPHIC DESCRIPTION:	
	PRE-MANUFACTURE STEEL BLDG. SYSTEM TYP. REFER TO SHEET A-4.0 & A-4.1 FOR FIRE RATING DETAILS.
	PAINTED 1/2" INCH GYPSUM WALLBOARD, FLOOR TO CEILING. REFER INTERIOR PARTITION DETAIL 3 SHEET A-1.0.

- DOORS (IMPACT RESIST.)**
- ALL EXTERIOR DOORS TO BE IMPACT RESISTANT PROTECTED BY PRODUCT APPROVED STORM SHUTTERS, TYPICAL.
 - SUBMIT MIAMI-DADE COUNTY PRODUCT APPROVAL FOR ALL EXTERIOR DOORS PRIOR TO INSTALLATION.
 - INSTALL ALL EXTERIOR DOORS IN ACCORDANCE WITH PRODUCT APPROVAL SPECIFICATIONS.
 - ATTACH DOOR BUCKS WITH FASTENERS, STARTING AT 3 INCHES FROM ENDS THEN SPACED AT 6 INCHES O.C., STAGGERED, APPLY CAULKING BETWEEN BUCK AND MASONRY, BOTH SIDES.
- PRODUCT APPROVALS**
- SUBMIT MIAMI DADE COUNTY PRODUCT APPROVALS FOR ROOFING, DOORS AND WINDOWS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

ROOF PERMIT

- SUBMIT PRODUCT APPROVAL AND SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

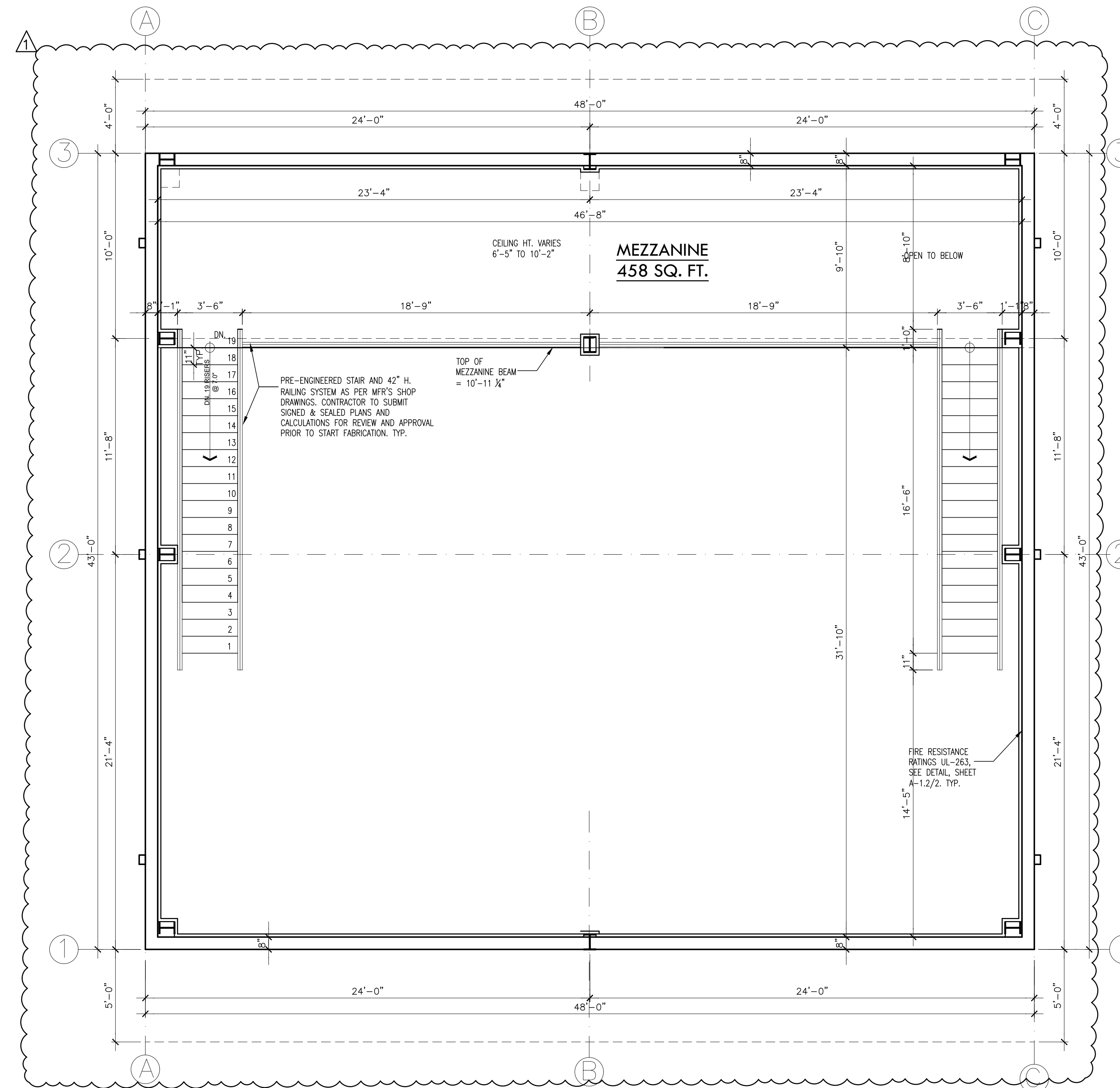
TYPE OF CONSTRUCTION: III-B (NOT SPRINKLERED)
OCCUPANCY: "S1"
DESIGN PER F.B.C. 7TH EDITION (2020) - BUILDING AND ASCE 7-16 WIND DESIGN 170MPH ASCE 7-16(3 SEC GUST) EXPOSURE C.

BATHROOMS NOTES:

ALL WATER CLOSET HAS BEEN DESIGNED SUCH THAT THERE IS 15 INCH. MIN. (CLEAR) BETWEEN FIXTURE AND ADJACENT WALL, SHOWER, TUB, CABINET OR OTHER OBSTRUCTION AND PLACED NOT CLOSER THAN 30 INCHES CENTER-TO-CENTER BETWEEN TOILETS OR ADJACENT FIXTURES. THERE SHALL BE AT LEAST 21 INCHES CLEARANCE IN FRONT OF THE WATER CLOSET OR BIDET TO ANY WALL, FIXTURE OR DOOR. VERIFY IN FIELD AND REPORT ANY DISCREPANCIES.

GENERAL NOTES:

DIMENSIONS: GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS PRIOR TO START CONSTRUCTION, SPECIALLY THOSE MARK AS "V.I.F." (VERIFY IN FIELD).



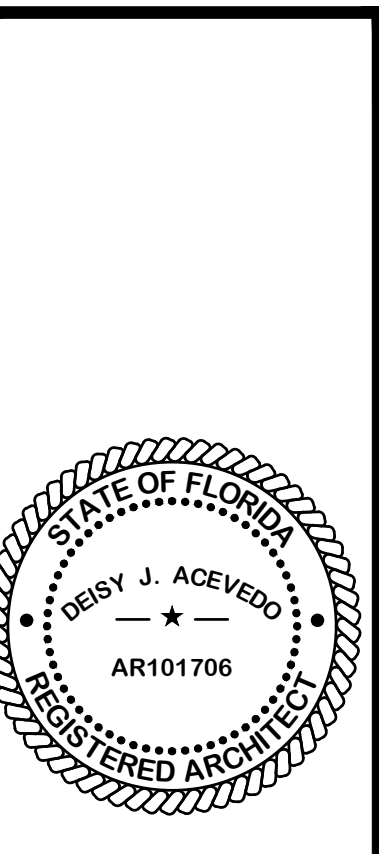
1 PROPOSED MEZZANINE PLAN NORTH
SCALE: 1/4" = 1'-0"

2 TYPICAL STAIR DETAILS
SCALE: 1/2" = 1'-0"

REVISION	BY:

DAISY J. ACEVEDO, CORP
 Architect
 2072 SW 72ND AVE
 DAVIE FL 33317
 (954) 473-5252
 FLORIDA REGISTRATION
 AR NO. 101706

WAREHOUSE METAL BUILDING
 6013 RODMAN STREET
 HOLLYWOOD, FL 33023



DRAWN **M.J.G.**
 CHECKED **D.J.A.**
 DATE **JULY, 2022**
 SCALE **AS NOTED**
 JOB NO. **22-005**

A-1.1
 OF SHEETS

WALL TYPE	SCHEDULE
GRAPHIC DESCRIPTION:	
	PRE-MANUFACTURE STEEL BLDG. SYSTEM TYP. REFER TO SHEET A-4.0 & A-4.1 FOR FIRE RATING DETAILS.
	PAINTED 1/2" INCH GYPSUM WALLBOARD, FLOOR TO CEILING. REFER INTERIOR PARTITION DETAIL 3 SHEET A-1.0.

- DOORS (IMPACT RESIST.)**
- ALL EXTERIOR DOORS TO BE IMPACT RESISTANT PROTECTED BY PRODUCT APPROVED STORM SHUTTERS, TYPICAL.
 - SUBMIT MIAMI-DADE COUNTY PRODUCT APPROVAL FOR ALL EXTERIOR DOORS PRIOR TO INSTALLATION.
 - INSTALL ALL EXTERIOR DOORS IN ACCORDANCE WITH PRODUCT APPROVAL SPECIFICATIONS.
 - ATTACH DOOR BUCKS WITH FASTENERS, STARTING AT 3 INCHES FROM ENDS THEN SPACED AT 6 INCHES O.C., STAGGERED, APPLY CAULKING BETWEEN BUCK AND MASONRY, BOTH SIDES.
- PRODUCT APPROVALS**
- SUBMIT MIAMI DADE COUNTY PRODUCT APPROVALS FOR ROOFING, DOORS AND WINDOWS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

ROOF PERMIT

- SUBMIT PRODUCT APPROVAL AND SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

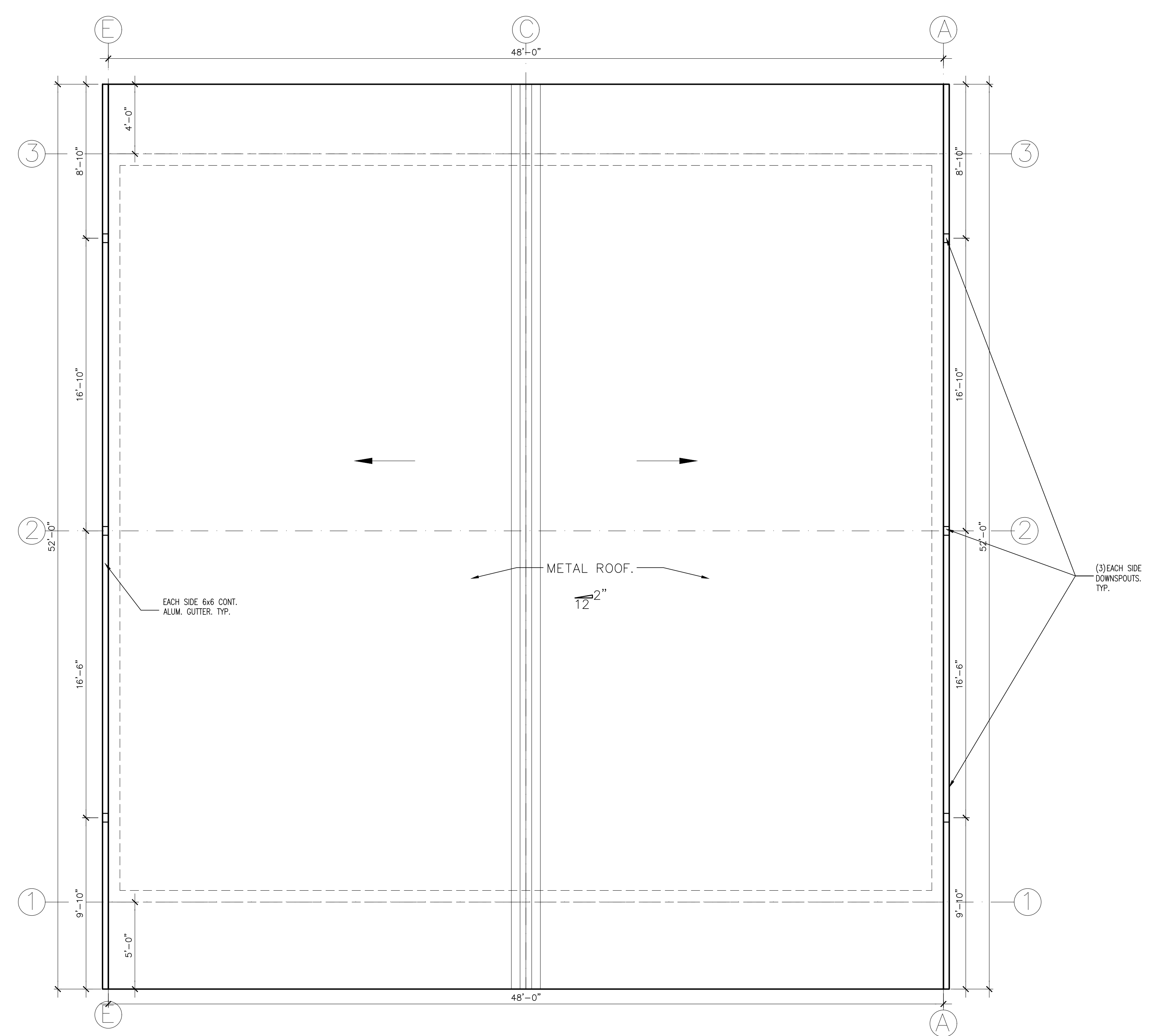
TYPE OF CONSTRUCTION: III-B (NOT SPRINKLERED)
OCCUPANCY: "S1"
DESIGN PER F.B.C. 7TH EDITION (2020) - BUILDING AND ASCE 7-16 WIND DESIGN 170MPH ASCE 7-16(3 SEC GUST) EXPOSURE C.

BATHROOMS NOTES:

ALL WATER CLOSET HAS BEEN DESIGNED SUCH THAT THERE IS 15 INCH. MIN. (CLEAR) BETWEEN FIXTURE AND ADJACENT WALL, SHOWER, TUB, CABINET OR OTHER OBSTRUCTION AND PLACED NOT CLOSER THAN 30 INCHES CENTER-TO-CENTER BETWEEN TOILETS OR ADJACENT FIXTURES. THERE SHALL BE AT LEAST 21 INCHES CLEARANCE IN FRONT OF THE WATER CLOSET OR BIDET TO ANY WALL, FIXTURE OR DOOR. VERIFY IN FIELD AND REPORT ANY DISCREPANCIES.

GENERAL NOTES:

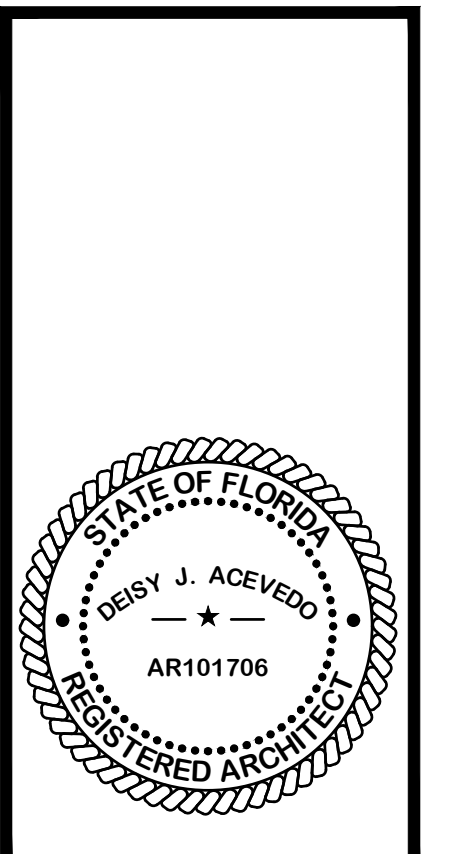
DIMENSIONS: GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS PRIOR TO START CONSTRUCTION, SPECIALLY THOSE MARK AS "V.I.F." (VERIFY IN FIELD).



REVISION	BY:

DAISY J. ACEVEDO, CORP
 Architect
 2072 SW 72ND AVE
 DAVIE FL 33317
 (954) 473-5252
 FLORIDA REGISTRATION
 AR NO. 101706

WAREHOUSE METAL BUILDING
 6013 RODMAN STREET
 HOLLYWOOD, FL 33023



DRAWN	M.J.G.
CHECKED	D.J.A.
DATE	JULY, 2022
SCALE	AS NOTED
JOB. NO.	22-005

REVISION	BY:

DAISY J. ACEVEDO, CORP
 Architect
 2072 SW 72ND AVE
 DAVIE FL 33317
 (954) 473-5252
 FLORIDA REGISTRATION
 AR NO. 101708

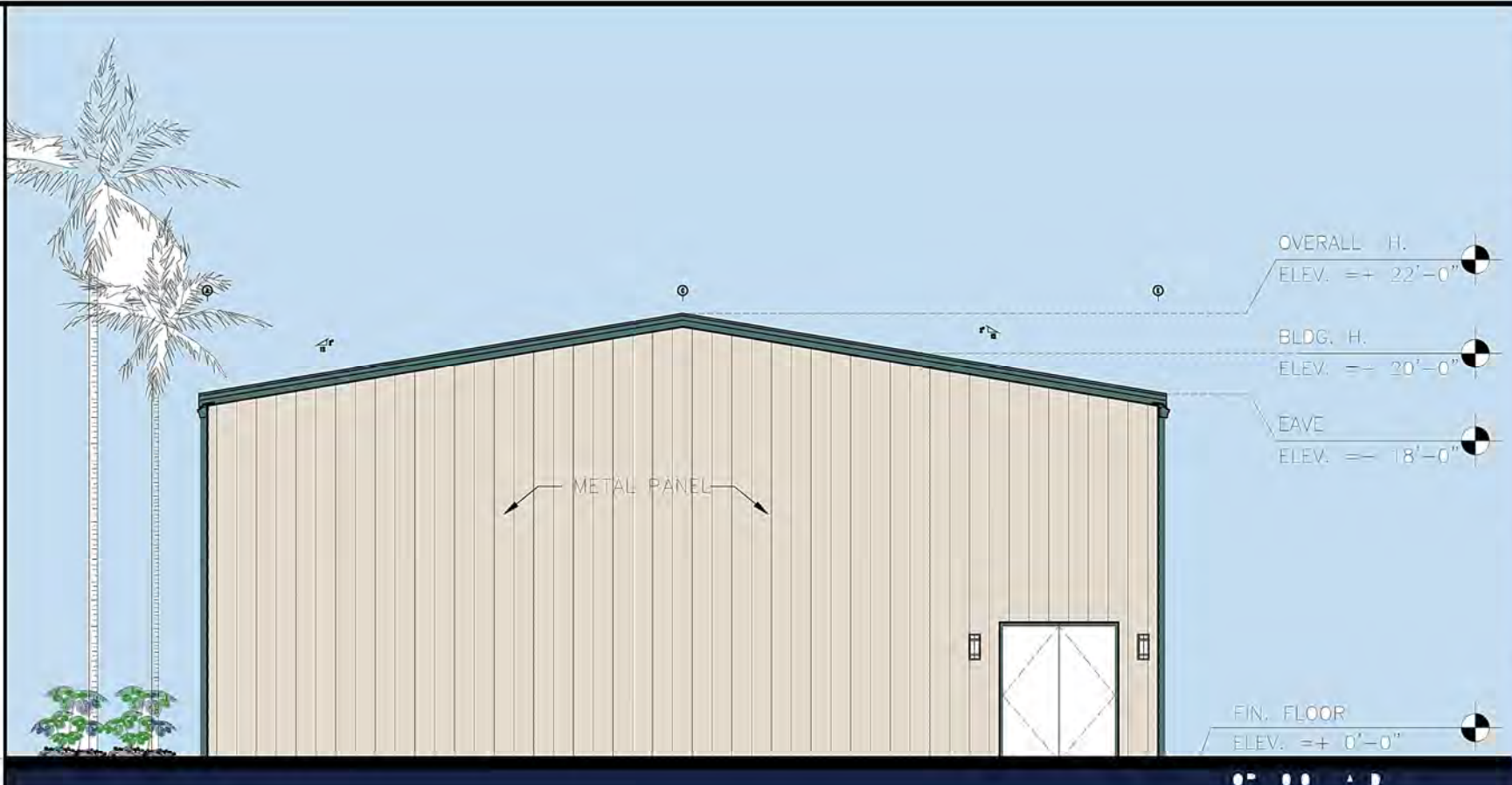
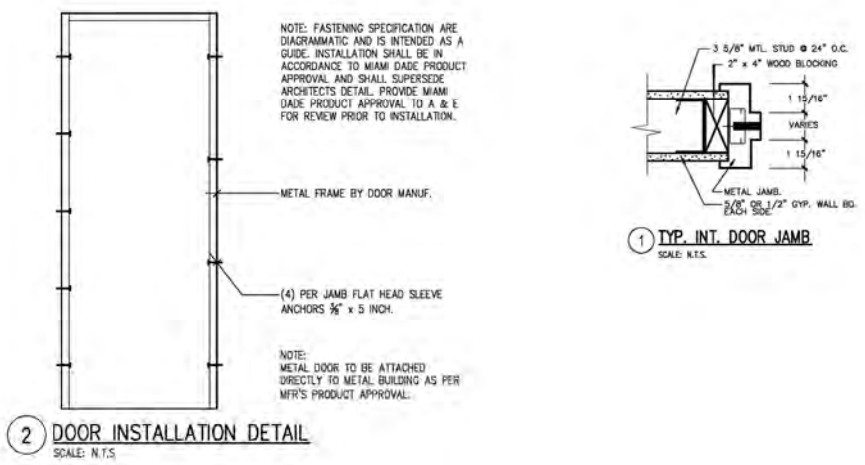


WAREHOUSE METAL BUILDING
 6013 RODMAN STREET
 HOLLYWOOD, FL 33023



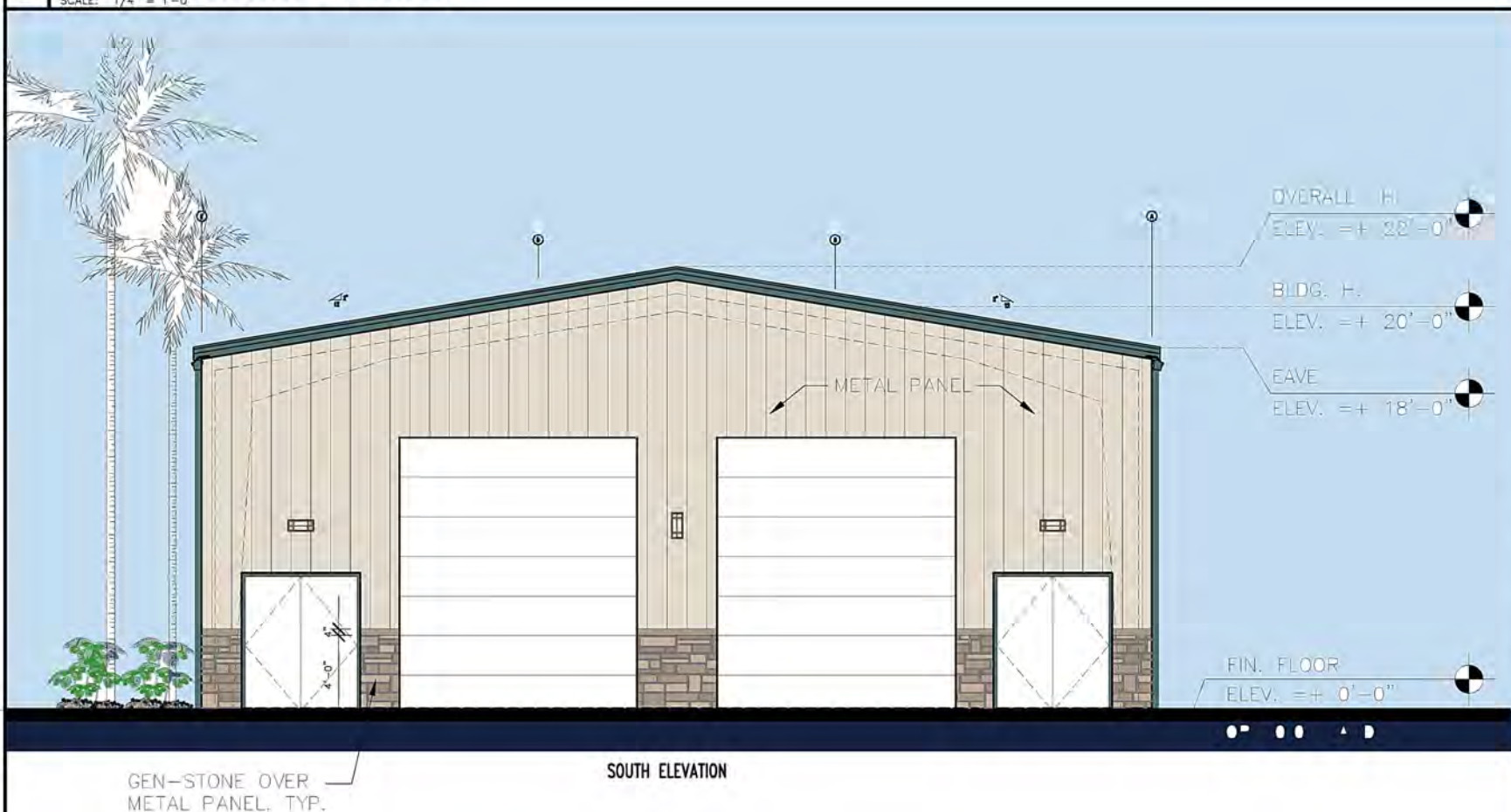
DRAWN **M.J.G.**
 CHECKED **D.J.A.**
 DATE **JULY, 2022**
 SCALE **AS NOTED**
 JOB. NO. **22-005**

A-2.0
 OF SHEETS



MARK	QTY.	SIZE	MODEL	ROUGH OPENING DIMENSION (INCHES)		MATERIAL	FRAME		WIND PRESSURE		FIRE RATE	HWR.	EGRESS ESCAPE	SHUTTER	PRODUCT ACCEPTANCE
				WIDTH	HEIGHT		MATERIAL	FINISH	MIN. DESIGN PRESS. (-)	MIN. DESIGN PRESS. (+)					
T00	2	12'-0" x 14'-0"	ROLL UP DR	12'-0"	14'-0"	METAL	METAL	PAINT	SEE STRUCTURAL PLANS	45 MIN.	EXT. LOCKSET	NO	NO	NO	DADE CO.
T01	3	6'-0" x 6'-10"	DBL SWING DR.	6'-4"	7'-0"	METAL	METAL	PAINT	SEE STRUCTURAL PLANS	45 MIN.	EXT. LOCKSET	NO	NO	NO	DADE CO.
T02	1	3'-0" x 7'-0"	SWING DR.	-	-	WOOD H.C.	METAL	PAINT	SEE STRUCTURAL PLANS	-	INT. LOCKSET	-	-	-	-
T03															
T04															

- GENERAL NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY WITH MANUFACTURER ALL ROUGH OPENINGS PRIOR TO START THE CONSTRUCTION.
 - SUBMIT MIAMI-DADE COUNTY PRODUCT APPROVAL FOR ALL EXTERIOR DOORS, PRIOR TO INSTALLATION.
 - DOOR HARDWARE TO COMPLY WITH A.D.A. LEVER TYPE TYPICAL.
 - ALL THRESHOLDS TO BE A.D.A. APPROVED.
 - INCLUDE 1-1/2" PR. HINGES, LOCKSET.
 - INCLUDE 1-1/2" PR. HINGES, LOCKSET, THRESHOLD AND WEATHER-STRIPPING.
 - CONTRACTOR TO PROVIDE HARDWARE SCHEDULE FOR REVIEW PRIOR TO INSTALLATION. TYPICAL.
 - ALL HOLLOW METAL DOOR IN THE REAR OF THE BUILDING SHOULD INCLUDE A DRIP GUARD AND A PICK-GUARD.

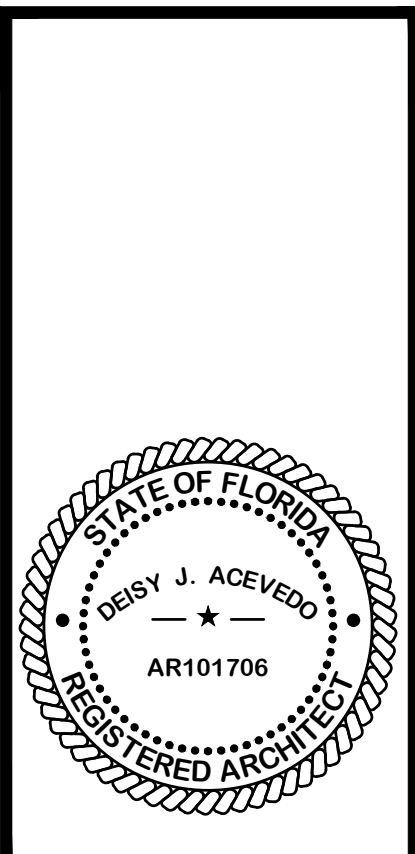


C:\Users\DaisyAcevedo\DAISY J. ACEVEDO, ARCHITECT CORP\Daisy Acevedo - Daisy J Architect Corp\2022\22-005 METAL BUILDING ROOMAN STREET\2- SITE PLAN\20-005-A-2.dwg, 7/31/2024 6:18:30 PM.

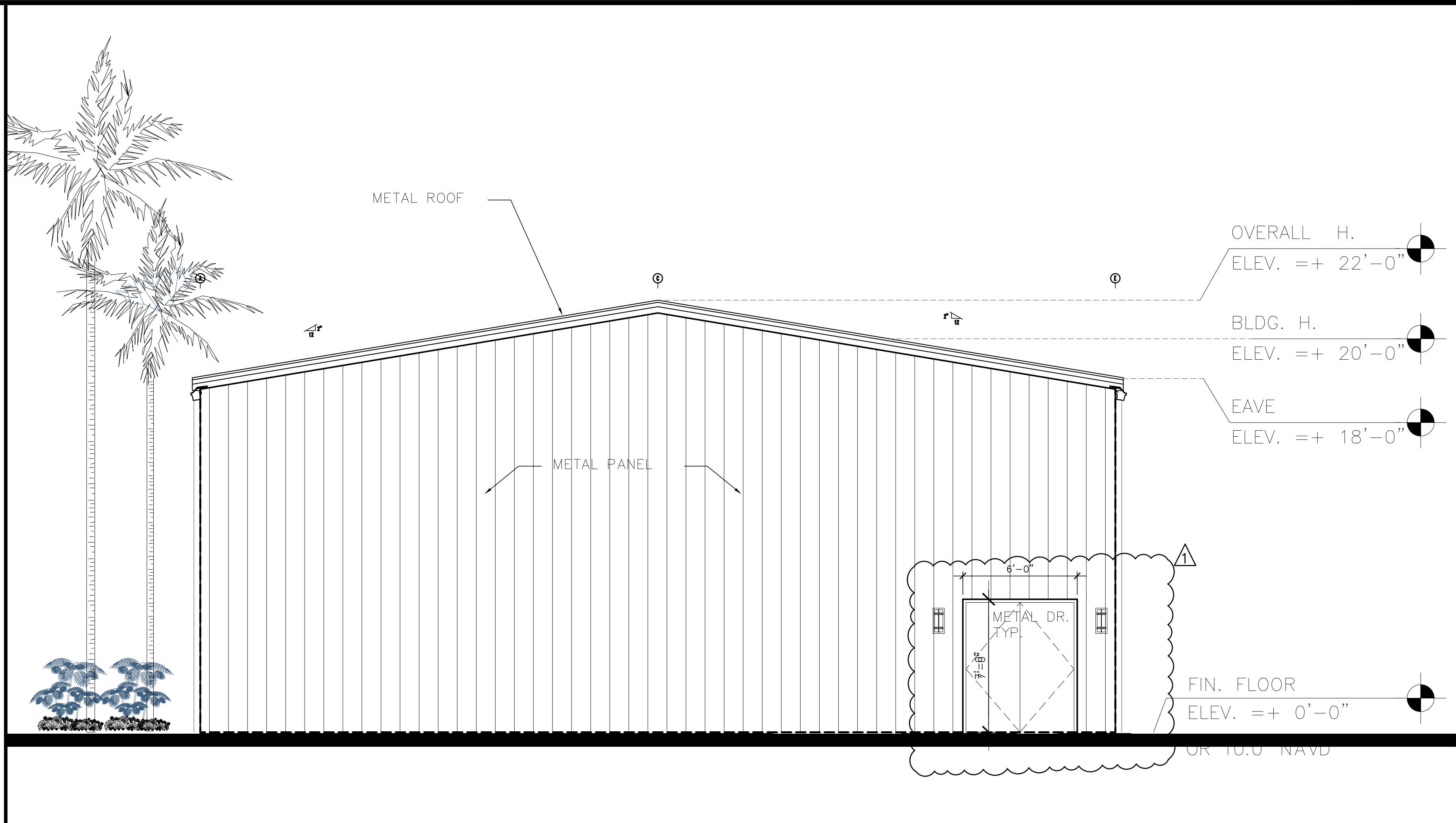
REVISION	BY:
8/1/24	

DAISY J. ACEVEDO, CORP
 Architect
 2072 SW 72ND AVE
 DAVIE FL 33317
 (954) 473-5252
 FLORIDA REGISTRATION
 AR NO. 101706

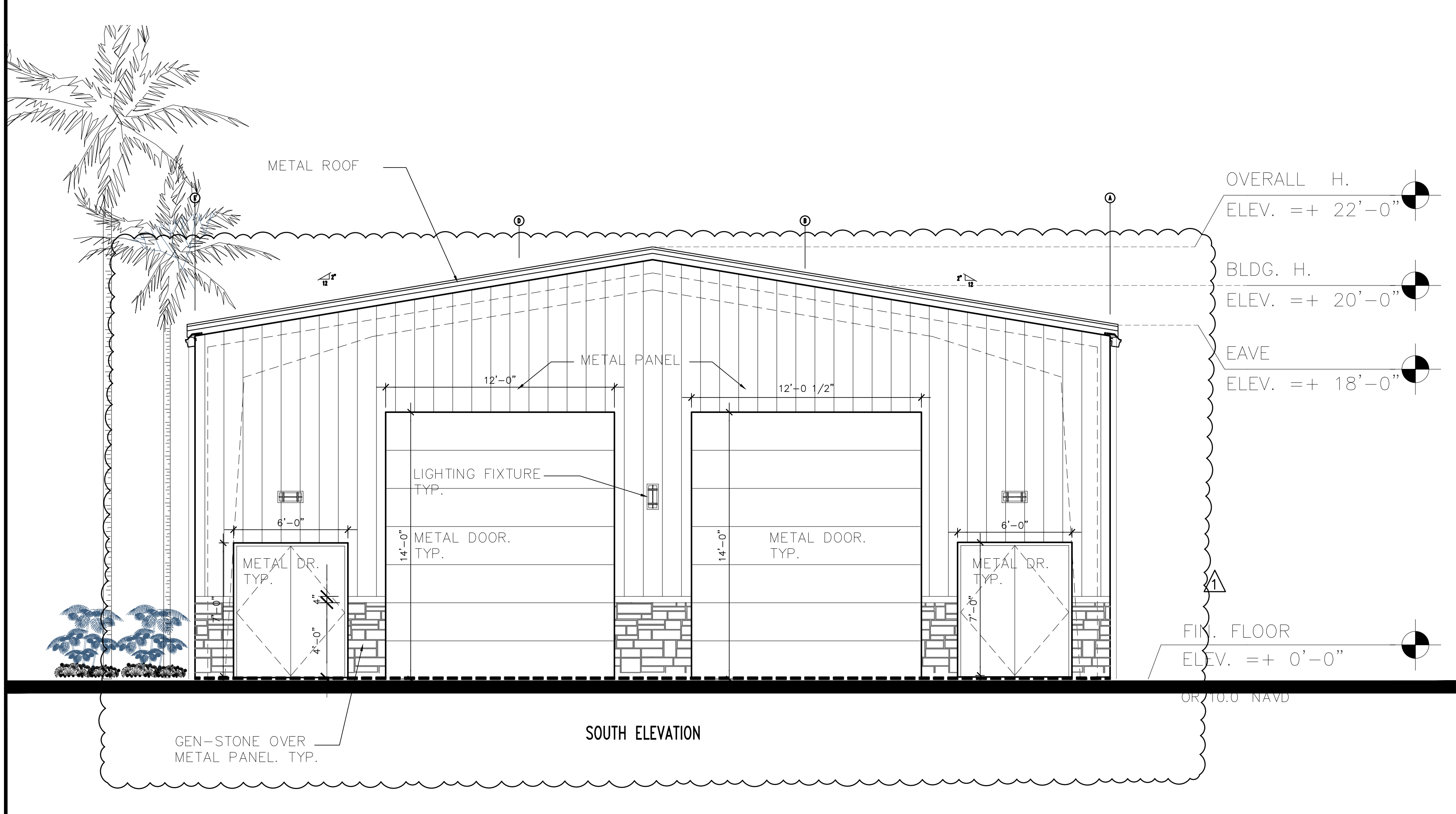
WAREHOUSE METAL BUILDING
 6013 RODMAN STREET
 HOLLYWOOD, FL 33023



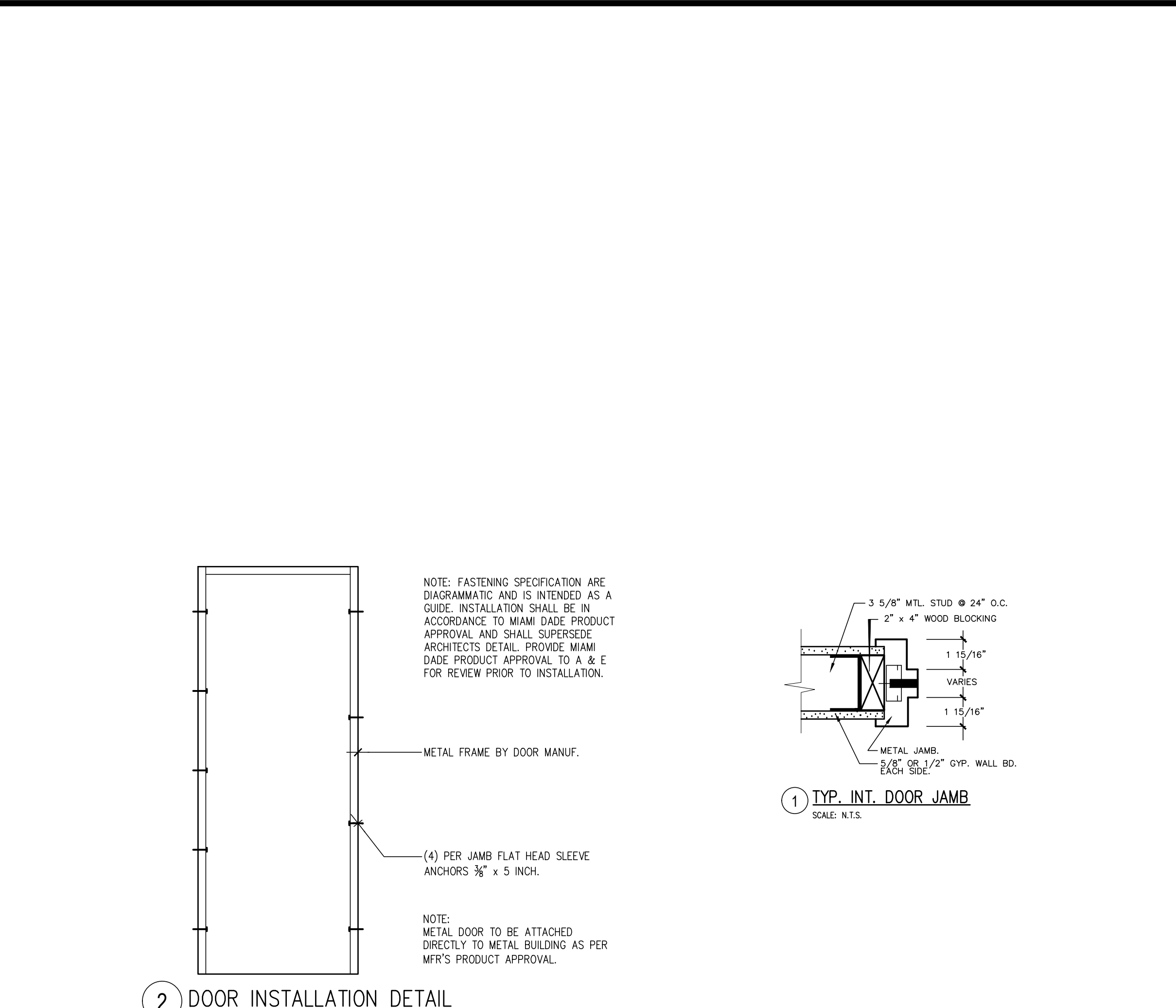
DRAWN	M.J.G.
CHECKED	D.J.A.
DATE	JULY, 2022
SCALE	AS NOTED
JOB. NO.	22-005
A-2.0	
OF	SHEETS



2 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

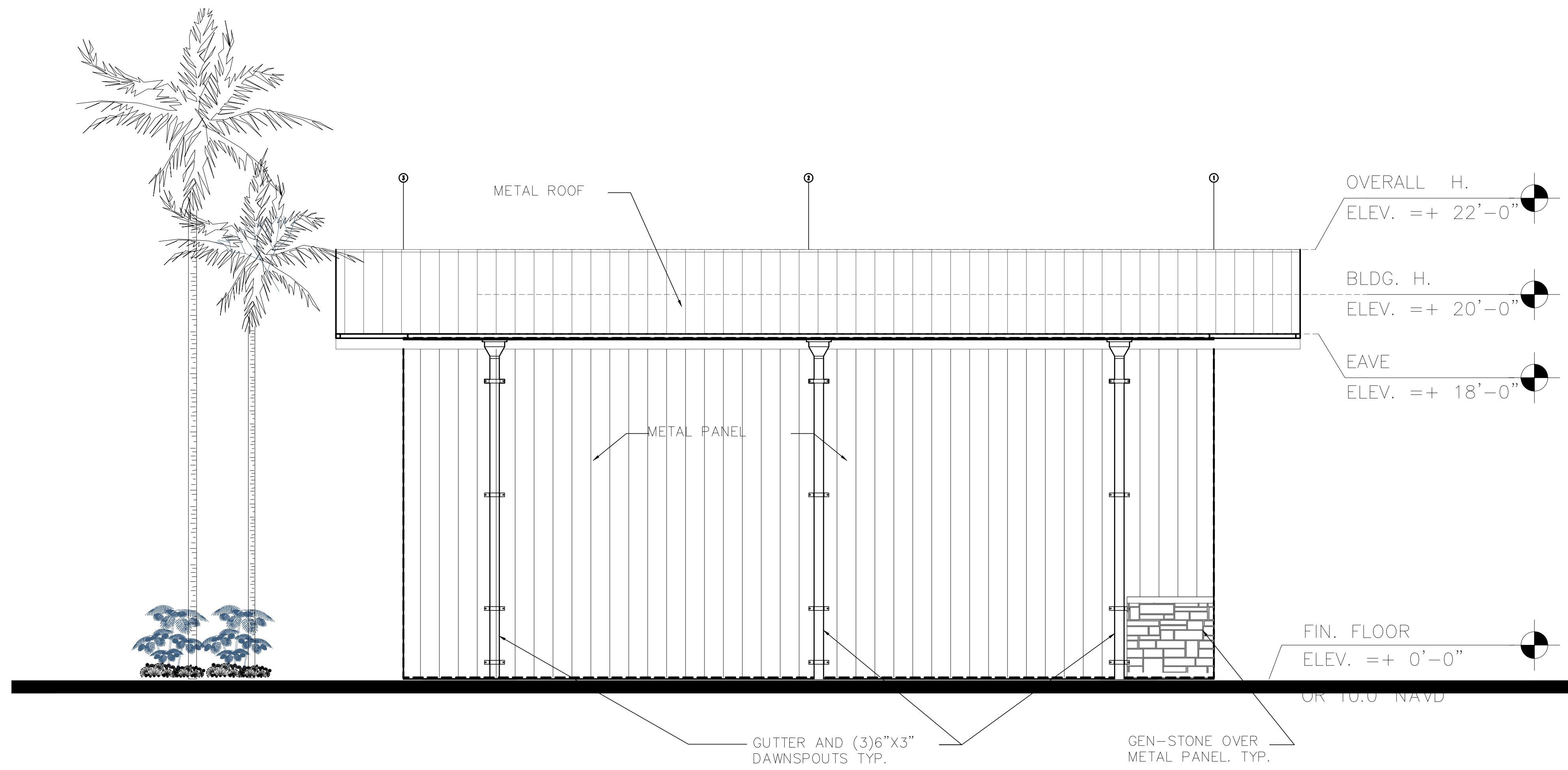


2 DOOR INSTALLATION DETAIL
 SCALE: N.T.S.

MARK	QTY.	SIZE	MODEL	ROUGH OPENING DIMENSION		MATERIAL	FRAME		WIND PRESSURE		FIRE RATE	H.D.W.R.	EGRESS / ESCAPE	SHUTTER	PRODUCT ACCEPTANCE
				WIDTH (INCHES)	HEIGHT (INCHES)		MATERIAL	FINISH	MIN. DESIGN PRESS. (-)	MIN. DESIGN PRESS. (+)					
100	2	12'-0"x14'-0"	ROLL UP DR.	12'-0"	14'-0"	METAL	METAL	PAINT	SEE STRUCTURAL PLANS			EXT. LOCKSET	NO	NO	DADE CO.
101	3	6'-0"x7'-0"	DBL SWING DR.	6'-4"	7'-0"	METAL	METAL	PAINT	SEE STRUCTURAL PLANS	45 MIN.		EXT. LOCKSET	NO	NO	DADE CO.
102	1	3'-0"x6'-8"	SWING DR.			WOOD H.C.	METAL	PAINT	SEE STRUCTURAL PLANS			INT. LOCKSET			

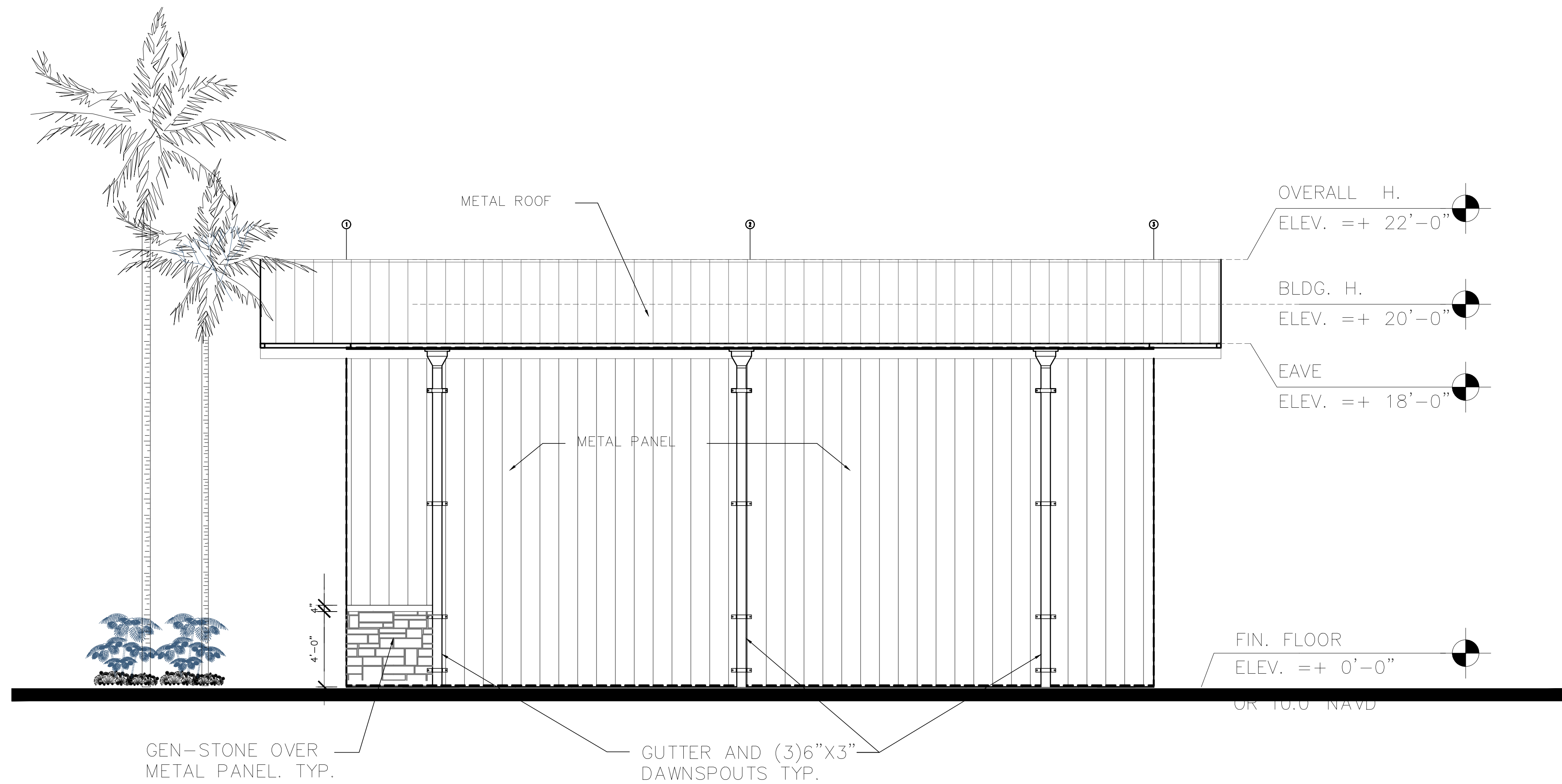
- GENERAL NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY WITH MANUFACTURER ALL ROUGH OPENINGS PRIOR TO START THE CONSTRUCTION.
 - SUBMIT MIAMI-DADE COUNTY PRODUCT APPROVAL FOR ALL EXTERIOR DOORS, PRIOR TO INSTALLATION.
 - DOOR HARDWARE TO COMPLY WITH A.D.A. LEVER TYPE. TYPICAL.
 - ALL THRESHOLDS TO BE A.D.A. APPROVED.
 - INCLUDE 1-1/2" PR. HINGES, LOCKSET.
 - INCLUDE 1-1/2" PR. HINGES, LOCKSET, THRESHOLD AND WEATHER-STRIPPING.
 - CONTRACTOR TO PROVIDE HARDWARE SCHEDULE FOR REVIEW PRIOR TO INSTALLATION. TYPICAL.
 - ALL HOLLOW METAL DOOR IN THE REAR OF THE BUILDING SHOULD INCLUDE A DRIP GUARD AND A PICK-GUARD.

3 DOOR SCHEDULE



2 | PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



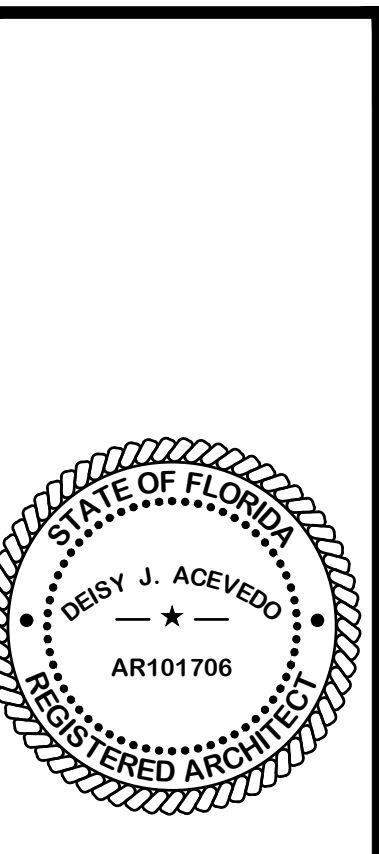
1 | PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

REVISION	BY:

DAISY J. ACEVEDO, CORP
 Architect
 2072 SW 72ND AVE
 DAVIE FL 33317
 (954) 473-5252
 FLORIDA REGISTRATION
 AR NO. 101706

WAREHOUSE METAL BUILDING
 6013 RODMAN STREET
 HOLLYWOOD, FL 33023



DRAWN	M.J.G.
CHECKED	D.J.A.
DATE	JULY, 2022
SCALE	AS NOTED
JOB. NO.	22-005

A-2.1
 OF SHEETS

REVISION	BY:

DAISY J. ACEVEDO, CORP
 Architect
 2072 SW 72ND AVE
 DAVIE FL 33317
 (954) 473-5252
 FLORIDA REGISTRATION
 AR NO. 101708

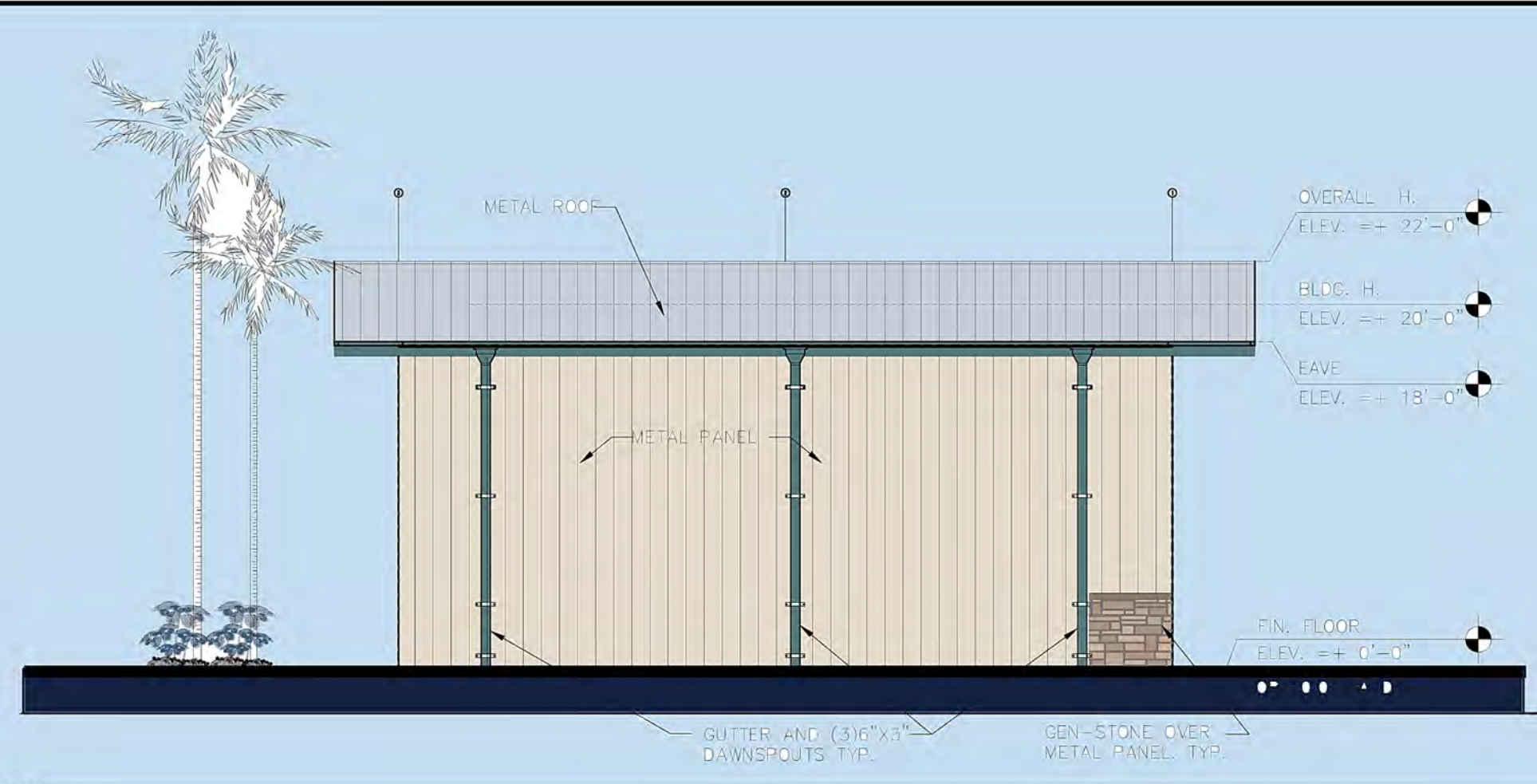


WAREHOUSE METAL BUILDING
 6013 RODMAN STREET
 HOLLYWOOD, FL 33023

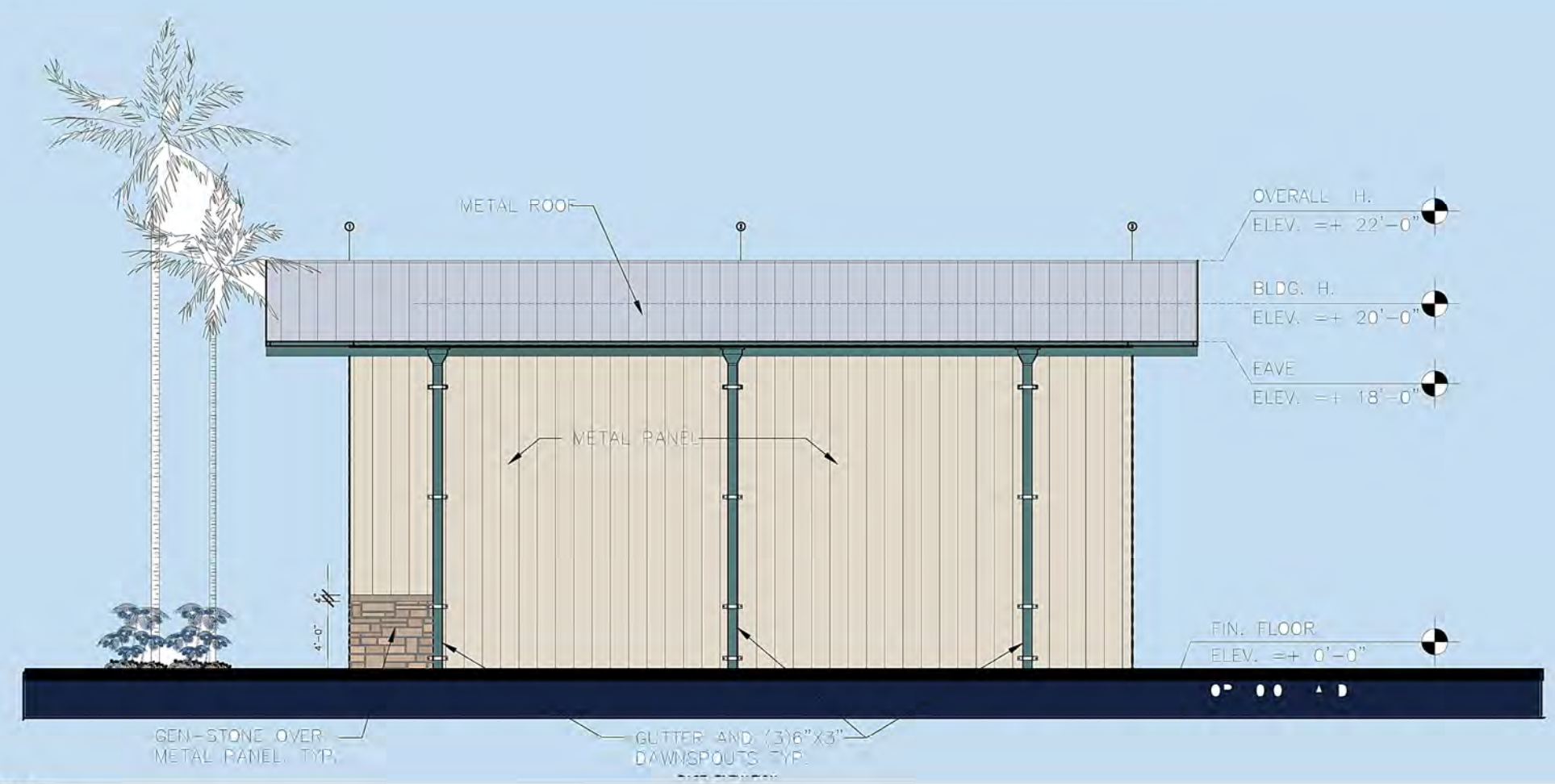


DRAWN	M.J.G.
CHECKED	D.J.A.
DATE	JULY, 2022
SCALE	AS NOTED
JOB. NO.	22-005

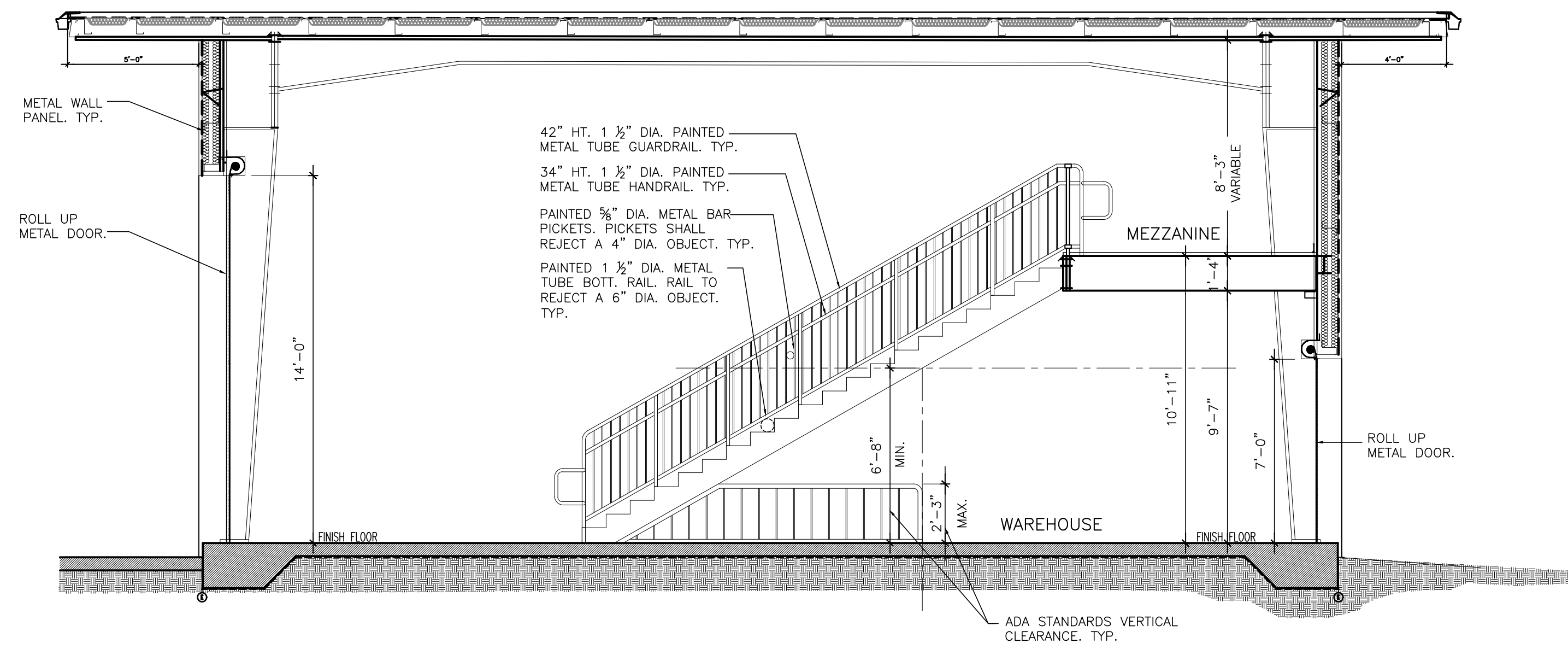
A-2.1
 OF SHEETS



2 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

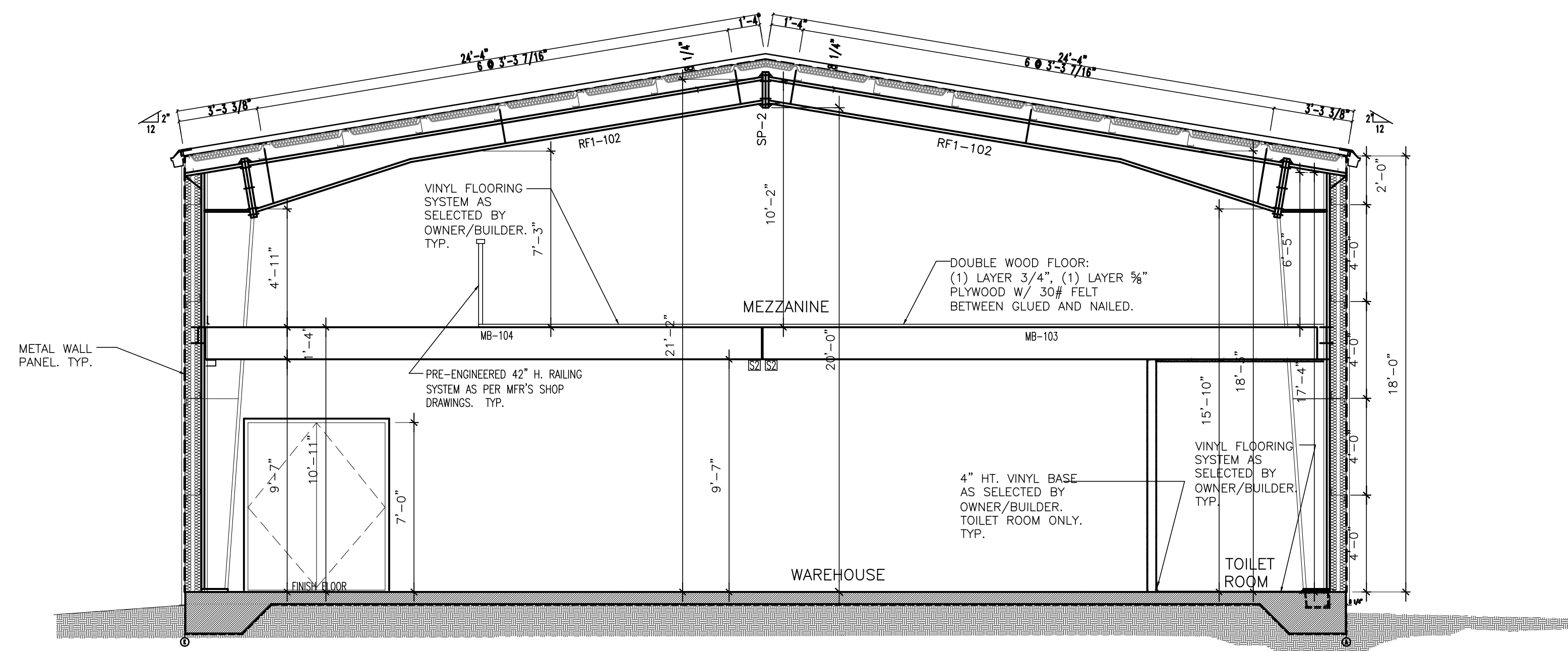


1 PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"



2 CONCEPTUAL SECTION "B"

SCALE: 1/4" = 1'-0"



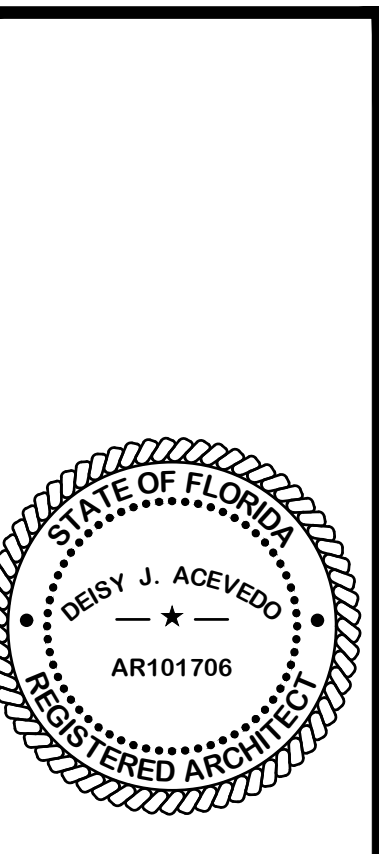
1 CONCEPTUAL SECTION "A"

SCALE: 1/4" = 1'-0"

REVISION	BY:

DAISY J. ACEVEDO, CORP
 Architect
 2072 SW 72ND AVE
 DAVIE FL 33317
 (954) 473-5252
 FLORIDA REGISTRATION
 AR NO. 101706

WAREHOUSE METAL BUILDING
 6013 RODMAN STREET
 HOLLYWOOD, FL 33023



DRAWN	M.J.G.
CHECKED	D.J.A.
DATE	JULY, 2022
SCALE	AS NOTED
JOB. NO.	22-005

A-3.0
 OF SHEETS

- Design/System/Construction/Assembly Usage Disclaimer
- Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.
 - Authorities Having Jurisdiction should be consulted before construction.
 - Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
 - When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
 - Only products which bear UL's Mark are considered Certified.

Fire-resistance Ratings - ANSI/UL 263
 BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States
 BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada
 See General Information for Fire Resistance Ratings - ANSI/UL 263 Certified for United States
 Design Criteria and Allowable Variations
 See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada
 Design Criteria and Allowable Variations

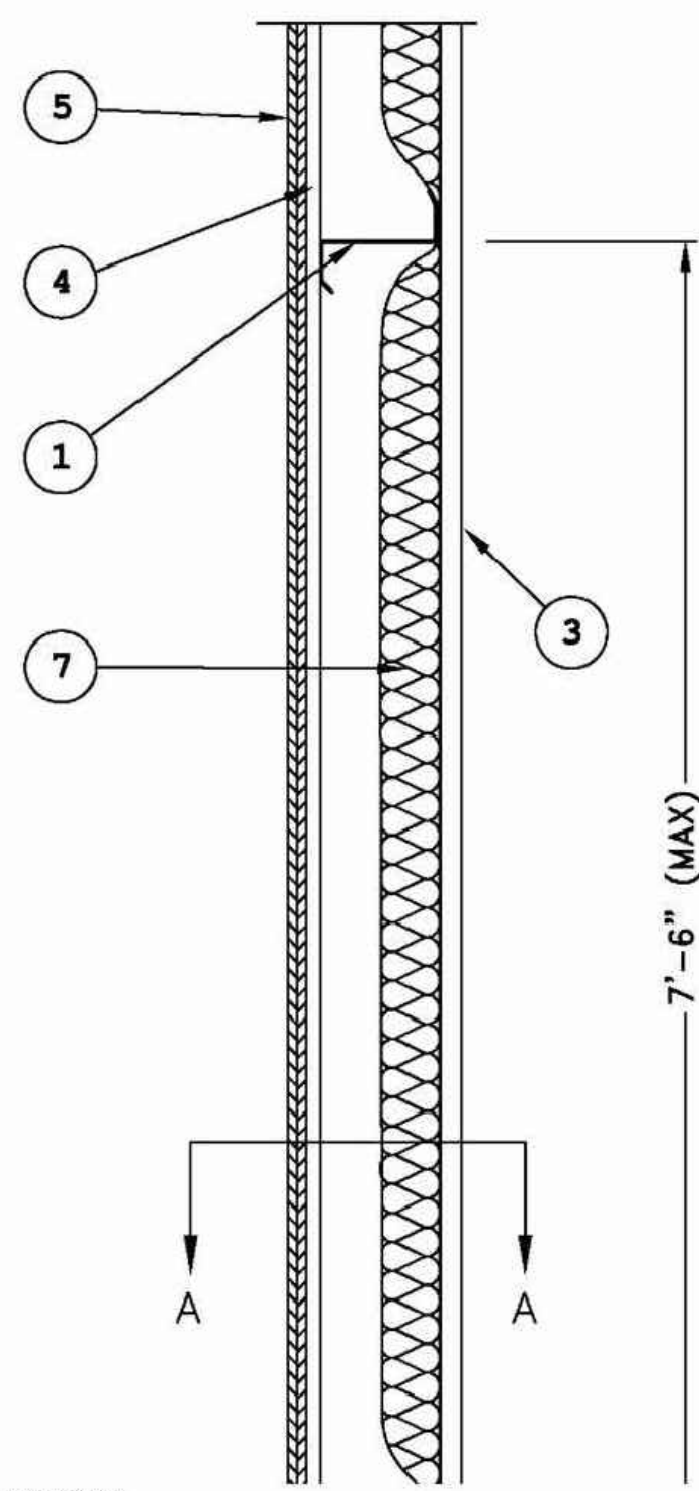
Design No. W404

March 16, 2023

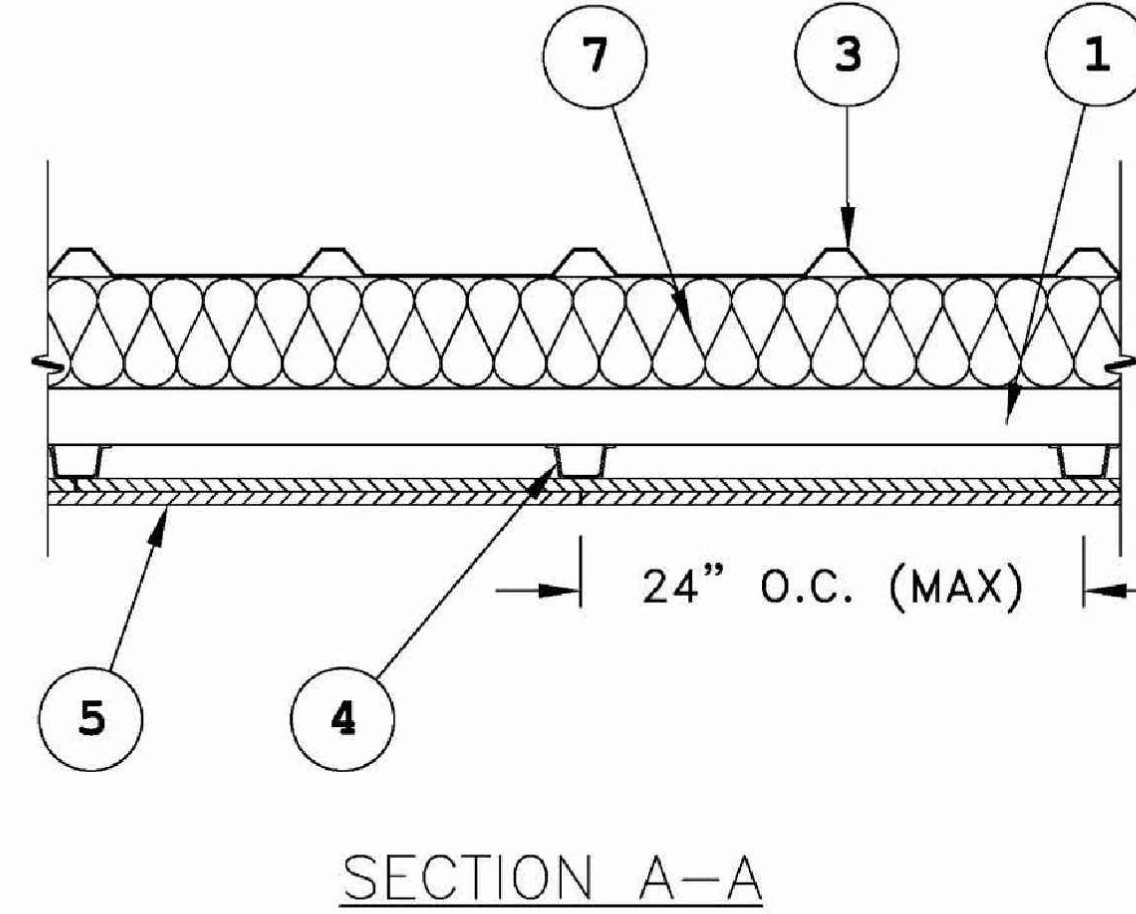
Nonbearing Wall Rating — 1 Hr.
 This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

https://iq.ulprospector.com/en/profile?e=15264

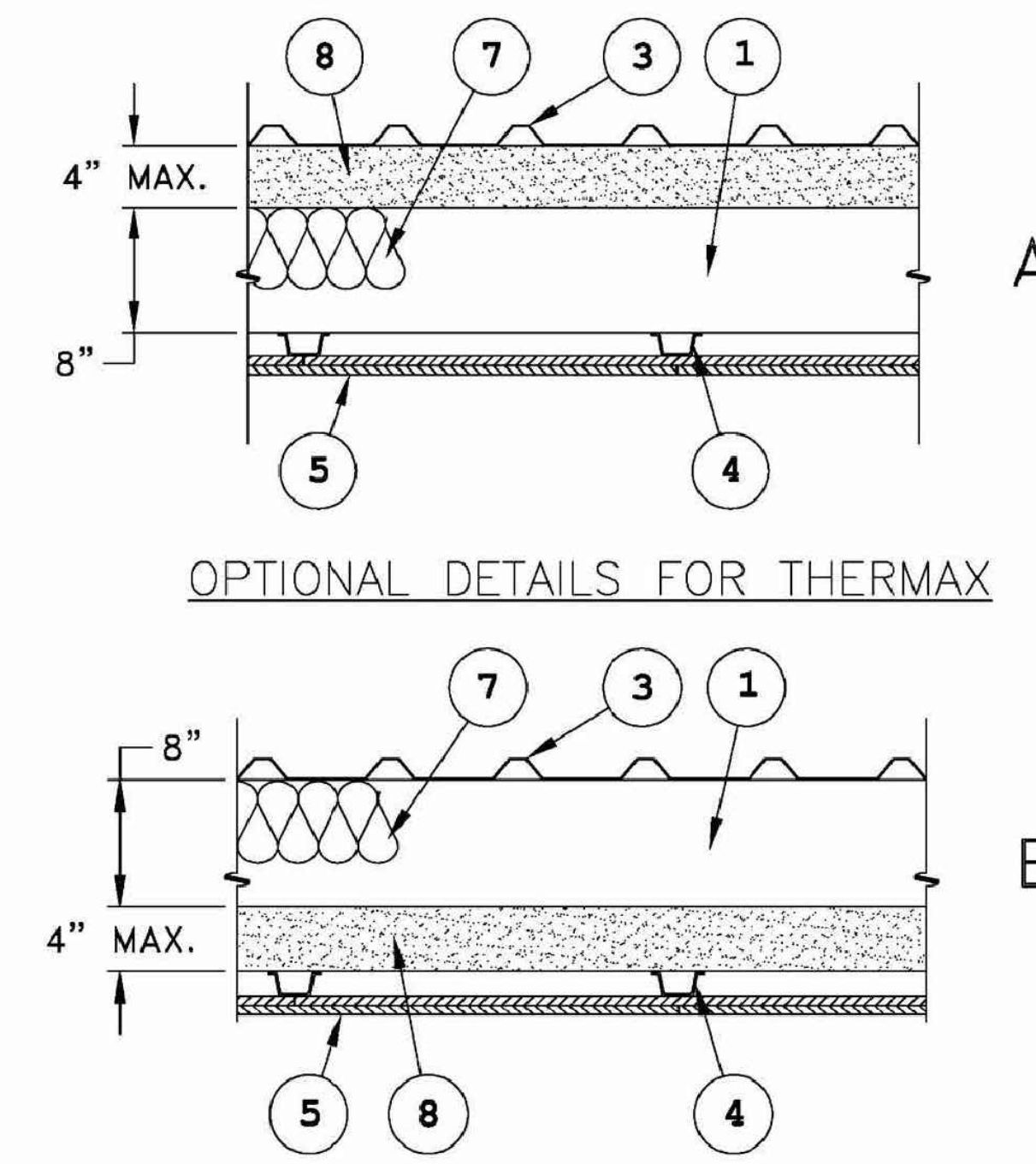


https://iq.ulprospector.com/en/profile?e=15264



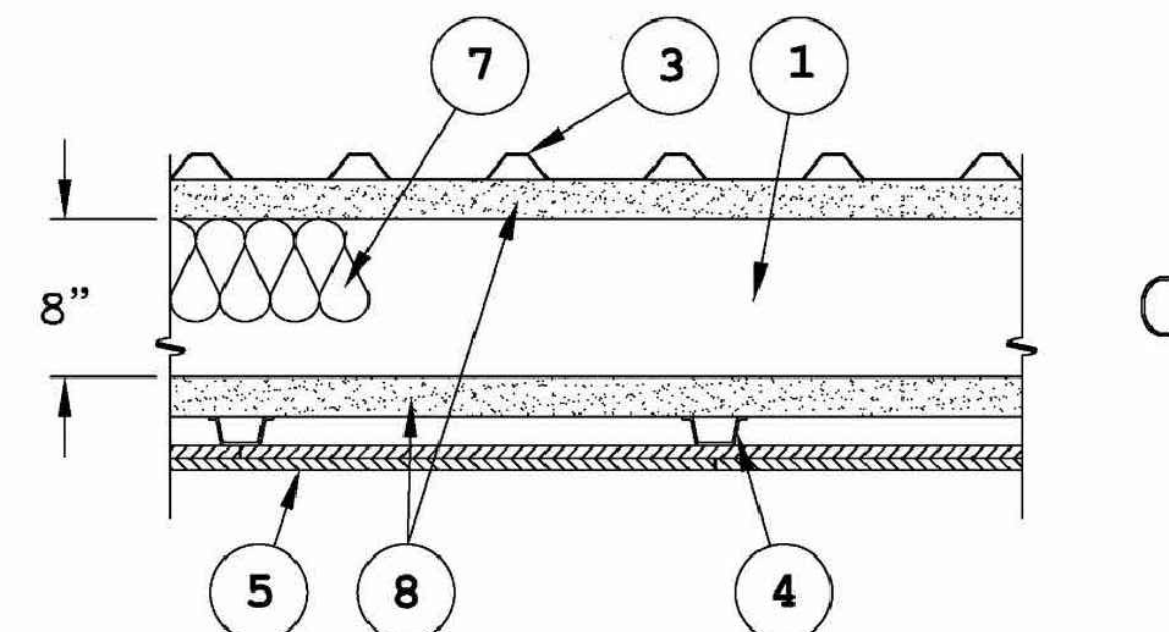
https://iq.ulprospector.com/en/profile?e=15264

OPTIONAL DETAILS FOR THERMAX



https://iq.ulprospector.com/en/profile?e=15264

OPTIONAL DETAILS FOR THERMAX



- Girts** — "Z" or "C" shaped girts, minimum 0.056 in. thick steel, minimum 8 inch deep, with minimum 2 in. wide flanges. Girts placed horizontally (with flanges up or down) and spaced maximum 90 in. o.c. Girts are secured to columns with girt clips, Item 2, or bolted to the column through the girt flange.
- Girt Clips** — (optional, not shown) - Steel clips secured to column by welds or bolts.
- Steel Wall Panels** — Minimum No. 26 MSG minimum 1-1/8 in. depth, minimum 36 in. wide coated steel panels. Vertical raised rib profiles of adjacent panels are overlapped and attached to each other with self-drilling or self-tapping screws spaced 30 in. o.c. (max) along the lap. Metal panel attachment to steel girt using self-drilling or self-tapping screws spaced 12" o.c. (max) along girt.
- Brick or Masonry Veneer** — (optional, not shown) - Brick or masonry veneer meeting the requirements of local code agencies may be installed over additional furring channels (not shown), Item 4, on exterior of wall in place of steel wall panels. Brick or masonry veneer attached to furring channels with corrugated metal wall ties attached to each furring channel with steel screws, not more than each sixth course of brick.
- Furring Channels** — Hat shaped, minimum 20 MSG galvanized steel, nominally 3 in. wide, 1-1/2 in. deep, spaced maximum 24 in. o.c. perpendicular to girts. Channels are secured to each girt with 3/8 in. (minimum) long self-drilling sheet steel type screws. Two screws are used at each fastening location, one through each leg of the furring channel.
- (optional)** — In place of the furring channels the following standard steel framing for rated gypsum board walls may be used: Steel framing (steel studs, runners and their attachment for support of the gypsum board wall shall be constructed of the materials and in the manner specified in UL Design No. V497.
- Lateral Support Members** — (not shown) — Where required for lateral support of studs, support may be provided by means of steel straps, channels or other similar means as specified in the design of a particular steel stud wall system.
- Wallboard, Gypsum** — Any 5/8 in. thick UL Classified Gypsum Board that is eligible for use in Design Nos. LS01, GS12 or US05. Two layers on interior face of wall of any 5/8 in. thick gypsum wallboard bearing the UL Classification Mark for Fire Resistance. Both layers applied horizontally or vertically. First layer attached to furring channels, Item 4, using 1 in. long Type S bugle head drywall

https://iq.ulprospector.com/en/profile?e=15264

screws spaced 24 in. o.c. maximum vertically and horizontally. Second layer attached to furring channels using 1-5/8 in. long Type S bugle head drywall screws spaced 12 in. o.c. maximum vertically and 24 in. o.c. maximum horizontally. The horizontal or vertical joints of the wallboard shall be offset 24 in. when 2 successive layers are applied in the same orientation Wallboard joints finished dry or premixed joint compound applied in two coats to joints and screw heads of face layer of gypsum wallboard. Paper or glass fiber tape embedded in first layer of compound over all joints.
CABOT MANUFACTURING ULC (View Classification) — CNXRK25370

AMERICAN GYPSUM CO (View Classification) — CNXR81496

BEIJING NEW BUILDING MATERIALS PUBLIC LTD CO (View Classification) — CNXR19374

CERTAINTED GYPSUM INC (View Classification) — CNXR83660

CGC INC (View Classification) — CNXR19751

GEORGIA-PACIFIC GYPSUM L L C (View Classification) — CNXR82717

CERTAINTED GYPSUM INC (View Classification) — CNXR18482

NATIONAL GYPSUM CO (View Classification) — CNXR83501

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM (View Classification) — CNXR7094

PANEL REY S A (View Classification) — CNXR21796

SIAM GYPSUM INDUSTRY (SARABURI) CO LTD (View Classification) — CNXR19262

GEORGIA-PACIFIC GYPSUM L L C (View Classification) — CNXR86937

THAI GYPSUM PRODUCTS PCL (View Classification) — CNXR27517

UNITED STATES GYPSUM CO (View Classification) — CNXR1319

USG MEXICO S A DE C V (View Classification) — CNXR16089

6. Column Protection — (not shown) - Horizontal wall girts, Item 1, are attached to vertical structural steel columns. See Column Design No. X524 or X530 if protected columns are required.

7. Batts and Blankets — Min. 3.5 in. thick (R 10) glass fiber blankets placed in the cavities of exterior walls, and attached to the girts. As an alternate, 1" min. Rigid Foam Board, Item 8, shall be permitted, in addition to the glass fiber blankets. See **Batts and Blankets** (B22) categories for names of manufacturers.

8. Rigid Foam Board — (optional) - Min. 1 in. thick rigid foam board (Thermax) Applied horizontally or vertically within the wall cavity (between steel wall panels and/or gypsum wallboard), on exterior face only or on interior face only or on both faces. First layer attached to furring channels, Item 4, or to girt, Item 1. The following fastener diameter, length and spacing is required for each thickness when Thermax is attached on the metal panel side (see optional details A & C).

Thermax Thickness:	Fastener Diameter and Spacing Required:
--------------------	---

https://iq.ulprospector.com/en/profile?e=15264

Thermax Thickness:	Fastener Diameter and Spacing Required:
1"	Min. 2 in. long, #12-14 self-drilling or self-tapping screws spaced 12" o.c. along girt
2"	Min. 3 in. long, #12-14 self-drilling or self-tapping screws spaced 12" o.c. along girt
3"	Min. 4 in. long, #1/4-14 self-drilling or self-tapping screws spaced 12" o.c. along girt
4"	5" long, #1/4-14 self-drilling or self-tapping screws spaced 12" o.c. along girt

The following fastener diameter, length and spacing is required for each thickness when Thermax is applied under furring channels on the interior side (see optional details B & C):

Thermax Thickness:	Fastener Diameter and Spacing Required:
1"	Min. 2 in. long, #12-14 self-drilling or self-tapping screws, (2) at each girt location through the furring channel legs
2"	Min. 3 in. long, #12-14 self-drilling or self-tapping screws, (2) at each girt location through the furring channel legs
3"	Min. 4 in. long, #1/4-14 self-drilling or self-tapping screws, (2) at each girt location through the furring channel legs
4"	Min. 5 in. long, #1/4-14 self-drilling or self-tapping screws, (2) at each girt location through the furring channel leg

See Optional Details A, B and C for allowable configurations.

DUPONT DE NEMOURS, INC. — Type Thermax Sheathing, Thermax Light Duty Insulation, Thermax Heavy Duty Insulation, Thermax Metal Building Board, Thermax White Finish Insulation, Thermax XARMOR ci Exterior Insulation, Thermax HI Insulation, Thermax Plus Liner Panel, Thermax Heavy Duty Plus (HD), Thermax Butler Skywall Insulation Board and Thermax Morton Heavy Duty Insulation Board

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Last Updated on 2023-03-15

The appearance of a company's name or product in this database does not in itself assure that products so identified have been manufactured under UL Solutions' Follow - Up Service. Only those products bearing the UL Mark should be considered to be Certified and covered under UL Solutions' Follow - Up Service. Always look for the Mark on the product.

UL Solutions permits the reproduction of the material contained in Product IQ subject to the following conditions: 1. The Guide Information, Assemblies, Constructions, Designs, Systems, and/or Certifications (files) must be presented in their entirety and in a non-misleading manner, without any manipulation of the data (or drawings); 2. The statement "Reprinted from Product IQ with permission from UL Solutions" must appear adjacent to the extracted material. In addition, the reprinted material must include a copyright notice in the following format: "©2023 UL LLC"

https://iq.ulprospector.com/en/profile?e=15264

REVISION	BY:

DAISY J. ACEVEDO, CORP
 Architect
 2072 SW 72ND AVE
 DAVIE FL 33317
 (954) 473-5252
 FLORIDA REGISTRATION
 AR. NO. 101706

WAREHOUSE METAL BUILDING
 6013 RODMAN STREET
 HOLLYWOOD, FL 33023

DRAWN	M.J.G.
CHECKED	D.J.A.
DATE	JULY, 2022
SCALE	AS NOTED
JOB. NO.	22-005
	A-4.0
OF	SHEETS

2027/23, 5:28 PM BXUV/W413 - Fire-resistance Ratings - ANSI/UL 263 UL Product IQ®

- Authorized Having jurisdiction should be consulted to determine requirements covering the installation and use of UL Certified products, equipment, systems, devices, and materials.
- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design types of fire resistance assemblies are advised to consult the general guide information for each product category and each group of assemblies. The Guide information includes specific concerning alternative materials and alternate methods of construction.
- Only products which bear UL's MARK are considered Certified.

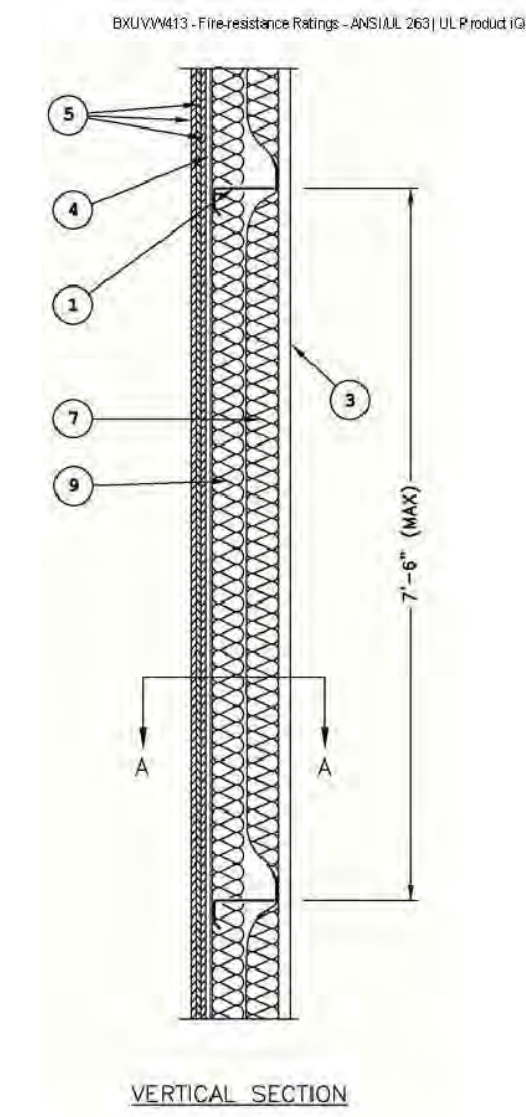
BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States
 BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

See General Information for Fire Resistance Ratings - ANSI/UL 263 Certified for United States
 See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

Design No. W413
 April 17, 2023

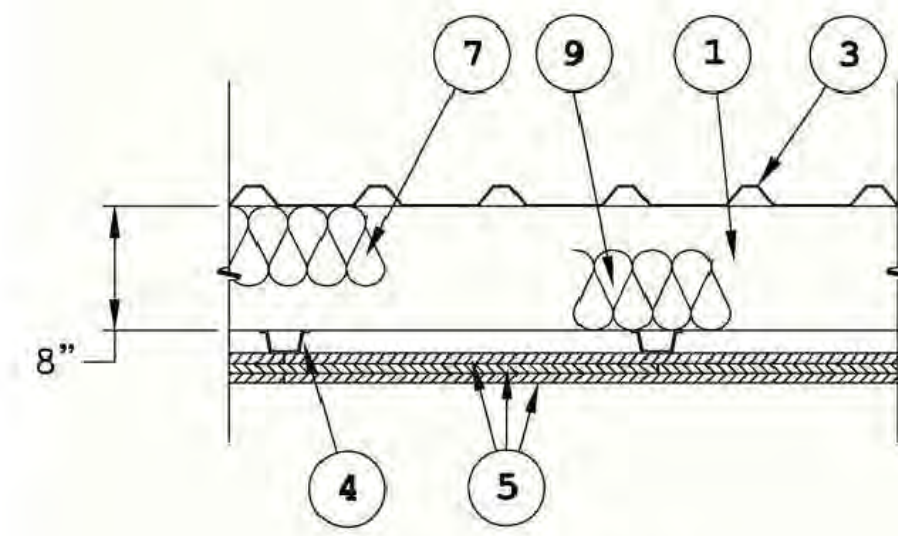
Nonbearing Wall Rating — 2 Hr.
 This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7.

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



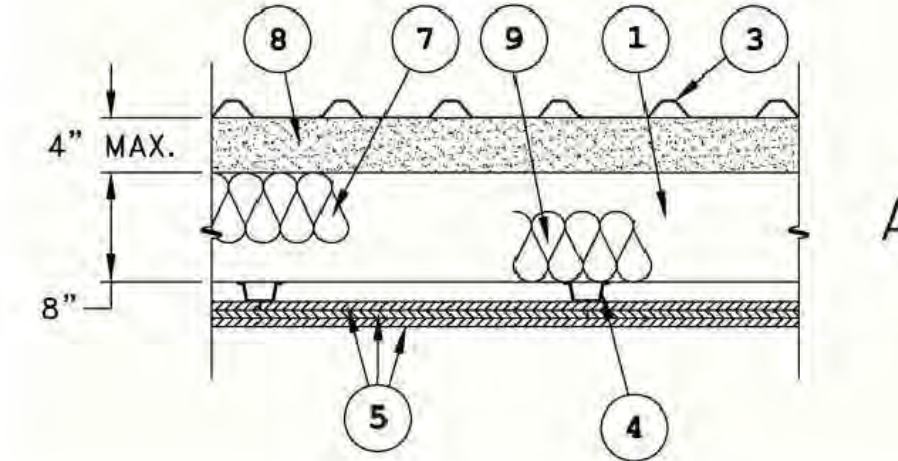
VERTICAL SECTION

2027/23, 5:28 PM BXUV/W413 - Fire-resistance Ratings - ANSI/UL 263 | UL Product IQ



SECTION A-A

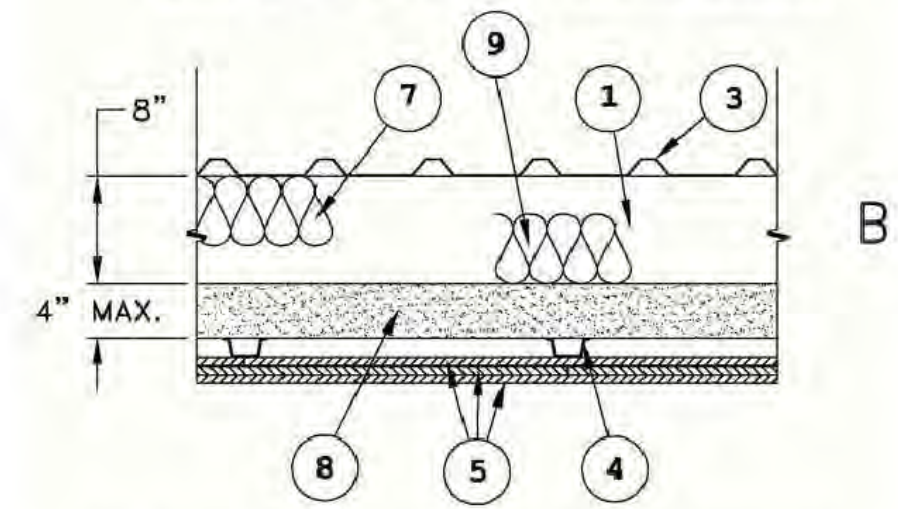
OPTIONAL DETAILS FOR THERMAX



A

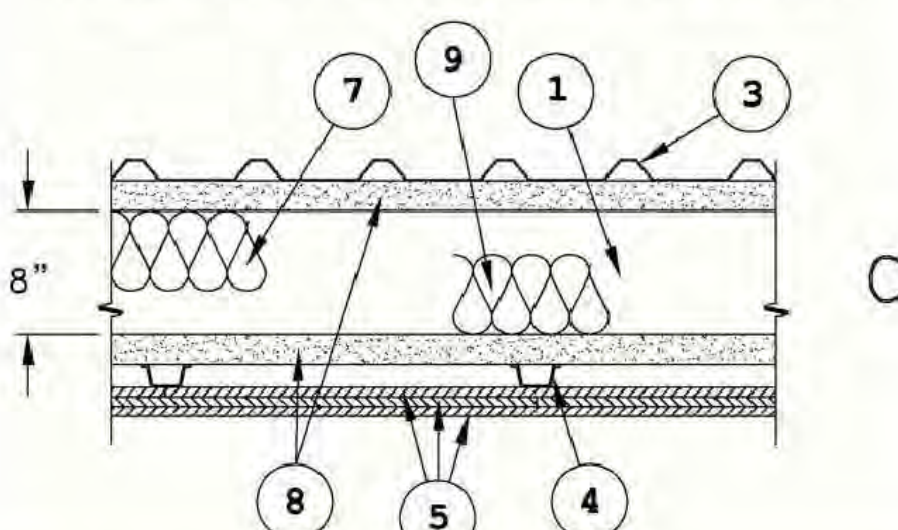
2027/23, 5:28 PM BXUV/W413 - Fire-resistance Ratings - ANSI/UL 263 | UL Product IQ

OPTIONAL DETAILS FOR THERMAX



B

OPTIONAL DETAILS FOR THERMAX



C

1. Girts — "Z" or "C" shaped girts, minimum 0.076 in. thick steel, minimum 2 inch deep, with minimum 3 in. wide flanges, including the angled returns. Girts placed horizontally (with flanges up or down) and spaced maximum 30 in. OC. Girts are secured to columns with girt clips, Item 2, or bolted to the column through the girt flanges.
2. Girt Clips — (Optional, not shown) — Steel clips (secured to column by welds or bolts).

2027/23, 5:28 PM BXUV/W413 - Fire-resistance Ratings - ANSI/UL 263 | UL Product IQ

3. **Steel Wall Panels** — Minimum No. 26 MSG, minimum 1-1/8 in. depth, minimum 36 in. wide coated steel panels. Vertical raised rib profiles of adjacent panels are overlapped and attached to each other with self-drilling or self-tapping screws spaced 15 in. OC (max) along the lap. Metal panel attachment to steel girt using self-drilling or self-tapping screws spaced 12" OC (max) along girt.

3A. **Brick or Masonry Veneer** — (Optional, not shown) — Brick or masonry veneer meeting the requirements of local code agencies may be installed over additional furring channels (not shown). Item 4, on exterior of wall in place of steel wall panels. Brick or masonry veneer attached to furring channels with corrugated metal wall ties attached to each furring channel with steel screws, not more than each sixth course of brick. When a minimum 3/4 in. thick brick or masonry veneer facing is used, the fire resistance rating applies from either side of the wall.

4. **Furring Channels** — Hat shaped, minimum 20 MSG galvanized steel, nominally 3 in. wide, 1-1/2 in. deep, spaced maximum 24 in. OC perpendicular to girts. Channels are secured to each girt with 3/8 in. (minimum) long self-drilling sheet steel type screws. Two screws are used at each fastening location, one through each leg of the furring channel.

4A. **Furring Channels (Optional)** — In place of the furring channels, the following standard steel framing for rated gypsum board walls may be used. Steel framing (steel studs, runners and their attachment) for support of the gypsum board wall shall be constructed of the materials and in the manner specified in UL Design No. V497.

Lateral Support Members — (Not shown) — Where required for lateral support of studs, support may be provided by means of steel straps, channels or other similar means as specified in the design of a particular steel stud wall system.

5. **Wallboard, Gypsum*** — Any 5/8 in. thick UL Classified Gypsum Board that is eligible for use in Design Nos. L501, G512 or UJ05. Three layers on interior face of wall of any 5/8 in. thick gypsum wallboard bearing the UL Classification Mark for Fire Resistance. All layers applied horizontally or vertically. First layer attached to furring channels, Item 4, using 1 in. long Type S bugle head drywall screws spaced 24 in. OC maximum vertically and horizontally. Second layer attached to furring channels using 1 5/8 in. long Type S bugle head drywall screws spaced 24 in. OC maximum vertically and 24 in. OC maximum horizontally. Third layer attached to furring channels using 2 1/4 in. long Type S bugle head drywall screws spaced 12 in. OC maximum vertically and 12 in. OC maximum horizontally. The horizontal or vertical joints of the third layer of wallboard shall be offset a minimum of 12 in. from those of the first two layers. Wallboard joints finished dry or premixed joint compound applied in two coats to joints and screw heads of face layer of gypsum wallboard. Paper or glass fiber tape embedded in first layer of compound over all joints.

An optional fourth layer of gypsum board may be attached to furring channels using 2-7/8 in. long Type S screws spaced 12 in. OC joints shall be offset 12 in. from the third layer. The 4th layer joints and screw heads shall be finished as described above.

CABOT MANUFACTURING ULC (View Classification) — CNXR215370

AMERICAN GYPSUM CO (View Classification) — CNXR14196

BEIJING NEW BUILDING MATERIALS PUBLIC LTD CO (View Classification) — CNXR19374

CERTAINTED GYPSUM INC (View Classification) — CNXR18360

CGC INC (View Classification) — CNXR19751

GEORGIA-PACIFIC GYPSUM L L C (View Classification) — CNXR2171

CERTAINTED GYPSUM INC (View Classification) — CNXR18482

LOADMASTER SYSTEMS INC (View Classification) — CNXR11809

NATIONAL GYPSUM CO (View Classification) — CNXR43501

https://q.uprospector.com/en/profile?e=15273

57

2027/23, 5:28 PM BXUV/W413 - Fire-resistance Ratings - ANSI/UL 263 | UL Product IQ

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM (View Classification) — CNXR17954

PANEL REY SA (View Classification) — CNXR21796

SIAM GYPSUM INDUSTRY (SARABURI) CO LTD (View Classification) — CNXR19242

GEORGIA-PACIFIC GYPSUM L L C (View Classification) — CNXR18637

THAI GYPSUM PRODUCTS PCL (View Classification) — CNXR17517

UNITED STATES GYPSUM CO (View Classification) — CNXR1319

USG MEXICO SA DE CV (View Classification) — CNXR16089

6. **Column Protection** — (Not shown) — Horizontal wall girts, Item 1, are attached to vertical structural steel columns. See Column Design Nos. X524 or X530 if protected columns are required.

7. **Batts and Blankets*** — Min. 3.5 in. thick (R-10) glass fiber blankets placed in the cavities of exterior walls, and attached to the girts. As an alternate, 1" min. Rigid Foam Board, Item 8, shall be permitted, in addition to the glass fiber blankets. See **Batts and Blankets** (B212) categories for names of manufacturers.

8. **Foamed Plastic*** — (Optional) - Min. 1 in. thick rigid foam board (Thermax). Applied horizontally or vertically within the wall cavity (between steel wall panels and/or gypsum wallboard), on exterior face only or on interior face only or on both faces. First layer attached to furring channels, Item 4, or to girt, Item 1. The following fastener diameter, length and spacing is required for each thickness when Thermax is attached on the metal panel side (see optional details A, B, C).

Thermax Thickness:	Fastener Diameter and Spacing Required:
1"	Min. 2 in. long, #12-14 self-drilling or self-tapping screws spaced 12" OC along girt
2"	Min. 3 in. long, #12-14 self-drilling or self-tapping screws spaced 12" OC along girt
3"	Min. 4 in. long, #1/4-14 self-drilling or self-tapping screws spaced 12" OC along girt
4"	5" long, #1/4-14 self-drilling or self-tapping screws spaced 12" OC along girt

The following fastener diameter, length and spacing is required for each thickness when Thermax is applied under furring channels on the interior side (see optional details B & C):

Thermax Thickness:	Fastener Diameter and Spacing Required:
1"	Min. 2 in. long, #12-14 self-drilling or self-tapping screws, (2) at each girt location through the furring channel legs

https://q.uprospector.com/en/profile?e=15273

67

2027/23, 5:28 PM BXUV/W413 - Fire-resistance Ratings - ANSI/UL 263 | UL Product IQ

2"	Min. 3 in. long, #12-14 self-drilling or self-tapping screws, (2) at each girt location through the furring channel legs
3"	Min. 4 in. long, #1/4-14 self-drilling or self-tapping screws, (2) at each girt location through the furring channel legs
4"	Min. 5 in. long, #1/4-14 self-drilling or self-tapping screws, (2) at each girt location through the furring channel leg

See Optional Details A, B and C for allowable configurations.

DUPONT DE NEMOURS, INC. — Type Thermax Sheathing, Thermax Light Duty Insulation, Thermax Heavy Duty Insulation, Thermax Metal Building Board, Thermax White Finish Insulation, Thermax G Exterior Insulation, Thermax XARMOR G Exterior Insulation, Thermax HI Insulation, Thermax Plus Liner Panel, Thermax Heavy Duty Plus (HDP), Thermax Butler SkyWall Insulation Board and Thermax Morton Heavy Duty Insulation Board

9. **Mineral Wool Insulation** — Min. 4 in. thick mineral fiber batts with a min. 4 lb/cu ft. density placed in the cavities of the exterior walls. If 4 layers of gypsum board (Item 5) are used, mineral wool is optional.

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Last Updated on 2020-04-17

The appearance of a company's name or product in this database does not in itself assure that products so identified have been manufactured under UL Solutions' Follow-Up Service. Only those products bearing the UL Mark should be considered to be Certified and covered under UL Solutions' Follow-Up Service. Always look for the Mark on the product.

UL Solutions permits the reproduction of the material contained in Product IQ subject to the following conditions: 1. The Guide Information, Assemblies, Constructions, Designs, Systems, and/or Certifications (Items) must be presented in their entirety and in a non-misleading manner, without any manipulation of the data (or drawings); 2. The statement "Reprinted from Product IQ with permission from UL Solutions" must appear adjacent to the extracted material. In addition, the reprinted material must include a copyright notice in the following format: "©2023 UL LLC."

https://q.uprospector.com/en/profile?e=15273

77

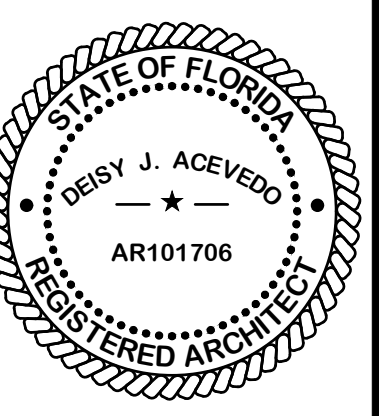
REVISION	BY:

DAISY J. ACEVEDO, CORP
 Architect
 2072 SW 72ND AVE
 DAVIE FL 33317
 (954) 473-5252
 FLORIDA REGISTRATION
 AR. NO. 10,706

DAISY ACEVEDO
 ARCHITECT

WAREHOUSE METAL BUILDING

6013 RODMAN STREET
 HOLLYWOOD, FL 33023



DRAWN	M.J.G.
CHECKED	D.J.A.
DATE	JULY, 2022
SCALE	AS NOTED
JOB. NO.	22-005

A-4.1
 OF SHEETS

TITLE SEARCH REPORT

Fund File Number: 1462403

The information contained in this title search is being furnished by Attorneys' Title Fund Services, LLC. If this report is to be used by a title insurance agent for evaluation and determination of insurability by the agent prior to the issuance of title insurance, then the agent shall have liability for such work.

Provided For: Law Offices of Jeff P. Cynamon, P.A.

Agent's File Reference: 23-013-Harrison

After an examination of this search the Agent must:

- A. Evaluate all instruments, plats and documents contained in the report.*
- B. Include in the Commitment under Schedule B, any additional requirements and/or exceptions you find necessary from your analysis of the surveys, prior title evidence or other relevant information from the transaction.*
- C. Verify the status of corporations and limited partnerships and other business entities with the appropriate governmental agency or other authority.*
- D. Determine whether the property has legal access.*
- E. Determine if any unpaid municipal taxes or assessments exist, which are not recorded in the Official Records Books of the county.*
- F. Determine whether any portion of the property is submerged or artificially filled, if the property borders a body of water, and if riparian or littoral rights exist.*
- G. The information provided herein does not include a search of federal liens and judgment liens filed with the Florida Department of State pursuant to Sec. 713.901, et seq., F.S., and Sec. 55.201, et seq., F.S., respectively, which designate the Florida Department of State as the place for filing federal liens and judgment liens against personal property. For insuring purposes:
 - (a) Pursuant to Sec. 713.901, et seq., F.S., personal property includes, but is not limited to, mortgages, leaseholds, mortgages on leaseholds, interests in cooperative associations, vendees' interests, and options when those interests are held by a partnership, corporation, trust or decedent's estate; and*
 - (b) Pursuant to Sec. 55.201, et seq., F.S., personal property includes, but is not limited to, leaseholds, interests in cooperative associations, vendees' interests, and options regardless of the type of entity holding such interests, including individuals. (Note: Mortgages have been specifically excluded from the personal property interests in which a judgment lien may be acquired under the provisions of Sec. 55.201, et seq., F.S.)**

Prepared Date: November 6, 2023

Attorneys' Title Fund Services, LLC

Prepared by: Monique Batchelor, Senior Examiner

Phone Number: (800) 929-5791 x6278

Email Address: mbatchelor@thefund.com

TITLE SEARCH REPORT

Fund File Number: 1462403

Effective Date of approved base title information: August 8, 2002

Effective Date of Search: November 3, 2023 at 11:00 PM

Apparent Title Vested in:

Vincent Harrison and Grace Harrison

Description of real property to be insured/foreclosed situated in Broward County, Florida.

Lot 8, Block 4, BEVERLY PARK, according to the map or plat thereof as recorded in Plat Book [25, Page 44](#), Public Records of Broward County, Florida.

Muniments of Title, including bankruptcy, foreclosure, quiet title, probate, guardianship and incompetency proceedings, if any, recorded in the Official Records Books of the county:

1. Warranty Deed from Certified Adjusters, Inc. a Florida corporation to Vincent Harrison and Grace Harrison, recorded August 8, 2002 in O.R. Book [33595, Page 546](#), Public Records of Broward County, Florida.

Mortgages, Assignments and Modifications:

1. Mortgage to Certified Adjusters, Inc. a Florida corporation, mortgagee(s), recorded in O.R. Book [33595, Page 547](#), together with Assignment of Mortgage recorded in O.R. Book [33595, Page 550](#), Public Records of Broward County, Florida.

Other Property Liens:

1. Order of Imposition of Fine and Claim of Lien recorded in Instrument Number [114190646](#); Instrument Number [114818320](#), Public Records of Broward County, Florida.
2. General or special taxes and assessments required to be paid for the year(s) 2023.
3. Tax Sale Certificate No. 15372 & 14313 sold for 2022 & 2021.

Restrictions/Easements:

1. All matters contained on the Plat of BEVERLY PARK, as recorded in Plat Book [25, Page 44](#), Public Records of Broward County, Florida.
2. Rights of the lessees under unrecorded leases.
3. Liability for possible continuing violation according to Order of Imposition of Fine and Claim of Lien recorded in Instrument Number [114190646](#); Instrument Number [114818320](#), Public Records of Broward County, Florida.

TITLE SEARCH REPORT

Fund File Number: 1462403

Other Encumbrances:

1. Charging Lien recorded in O.R. Book [48247, Page 529](#), Public Records of Broward County, Florida.
2. Any lien or claim of lien for services, labor or materials which may take priority over the estate or interest insured by reason of that certain Notice of Commencement recorded August 16, 2023, under Instrument Number [119045678](#), Public Records of Broward County, Florida.

REAL PROPERTY TAX INFORMATION ATTACHED

Proposed Insured:

To be determined

A 20-year name search was not performed on the proposed insured. It is the agent's responsibility to obtain a name search if a loan policy to be issued based on this product is other than a 100% purchase money mortgage.

STANDARD EXCEPTIONS

Unless satisfactory evidence is presented to the agent eliminating the need for standard exceptions, the following should be made a part of any commitment or policy.

1. *General or special taxes and assessments required to be paid in the year 2023 and subsequent years.*
2. *Rights or claims of parties in possession not shown by the public records.*
3. *Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey and inspection of the premises.*
4. *Easements or claims of easements not shown by the public records.*
5. *Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.*
6. *Any owner policy issued pursuant hereto will contain under Schedule B the following exception: Any adverse ownership claim by the State of Florida by right of sovereignty to any portion of the lands insured hereunder, including submerged, filled and artificially exposed lands, and lands accreted to such lands.*
7. *Federal liens and judgment liens, if any, filed with the Florida Department of State pursuant to Sec. 713.901, et seq., F.S., and Sec. 55.201, et seq., F.S., respectively, which designate the Florida*

TITLE SEARCH REPORT

Fund File Number: 1462403

Department of State as the place for filing federal liens and judgment liens against personal property. For insuring purposes:

- (a) Pursuant to Sec. 713.901, et seq., F.S., personal property includes, but is not limited to, mortgages, leaseholds, mortgages on leaseholds, interests in cooperative associations, vendees' interests, and options when those interests are held by a partnership, corporation, trust or decedent's estate; and*
 - (b) Pursuant to Sec. 55.201, et seq., F.S., personal property includes, but is not limited to, leaseholds, interests in cooperative associations, vendees' interests, and options regardless of the type of entity holding such interests, including individuals. (Note: Mortgages have been specifically excluded from the personal property interests in which a judgment lien may be acquired under the provisions of Sec. 55.201, et seq., F.S.)*
- 8. Any lien provided by County Ordinance or by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority, for unpaid service charges for services by any water systems, sewer systems or gas systems serving the land described herein; and any lien for waste fees in favor of any county or municipality.*

The report does not cover bankruptcies or other matters filed in the Federal District Courts of Florida.

In foreclosure proceedings, title should be examined between the effective date of this report and the recording of the lis pendens to assure that all necessary and proper parties are joined. Consideration should be given to joining as defendants any persons in possession, other than the record owner, and any parties, other than those named herein, known to the plaintiff or the plaintiff's attorney and having or claiming an interest in the property.

Prior to issuance of any policy of title insurance underwritten by Old Republic National Title Insurance Company, the agent must obtain and evaluate a title search for the period between the effective date of this Title Search Report and the recording date(s) of the instrument(s) on which the policy is based.

If this product is not used for the purpose of issuing a policy, then the maximum liability for incorrect information is \$1,000.

Note: The Agent is responsible for obtaining underwriting approval on any commitment prepared from this product in the amount of \$1,000,000.00 or more.