ATTACHMENT C Application Package approved PDB 04.12.2018

PLANNING DIVISION



File No. (internal use only):

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

	APPLICATION TYPE (CHECK ONE):
DIAMOND COLD COAST	Technical Advisory Committee Historic Preservation Board City Commission Date of Application:
PCORPORATED INT	to to the Monroe St Hollywood FL 33020
Tel: (954) 921-3471	25/26/27 & 28 Block(s) 50 Out and
Fax: (954) 921-3347	E1101E01/1/0/51421001/100
This application must be completed <u>in full</u> and submitted with all documents to be placed on a Board or	Zoning Classification: <u>PS-2</u> Land Use Classification. <u>8 Units / Single Family</u> Existing Property Use: <u>Multi-family / Single Family</u> Sq Ft/Number of Units: <u>8 Units / Single Family</u> Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation. Has this property been presented to the City before? If yes, check al that apply and provide File
Committee's agenda. The applicant is responsible for obtaining the appropriate checklist for each type of application.	Number(s) and Resolution(s): No. Image: Description of Request: Image: Technical Advisory Committee Image: Historic Preservation Board Image: Description of Request: Image: Proposed 5 Story Multi-Family Residential Building. Parking & Amenities at Ground Level; 40 Residential Units, Lanai Level & Private Roof Terraces.
Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.	Number of units/rooms:40 UnitsSq Ft:913.2 sq. ft. AverageValue of Improvement:\$3,255,000.00Estimated Date of Completion:April 2019Will Project be Phased? () Yes (x)NoIf Phased, Estimated Completion of Each Phase
At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).	
Documents and forms can be accessed on the City's website at http://www.hollywoodfl.org/Do cumentCenter/Home/View/21	Name of Consultant/Representative/Tenant (circle one):

PLANNING DIVISION



File No. (internal use only):

GENERAL APPLICATION

Hollywood, FL 33022

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Consultant/Representative: Datual Local Loc	Signature of Current Owner:	Date:
PRINT NAME: James Mackenzie, ArchitectureWorks LLC Date: February 15, 2018 Signature of Tenant: Date:	PRINT NAME: Ricardo Grinberg	Date: February 15, 2018
Signature of Tenant:	Signature of Consultant/Representative:	Date:
Signature of Tenant.	PRINT NAME: James Mackenzie, ArchitectureWorks LLC	Date: February 15, 2018
Current Owner Power of Attorney I am the current owner of the described real property and that I am aware of the nature and effect the request for to my property, which is hereby made by me or I am hereby authorizing to be my legal representative before the	Signature of Tenant:	Date:
I am the current owner of the described real property and that I am aware of the nature and effect the request for		Date:
to my property, which is hereby made by me of 1 and hereby additionaling (Board and/or Committee) relative to all matters concerning this application. Sworn to and subscribed before me this <u>31</u> day of <u>Jan. 2018</u> MANUELA MACKENZIE MY COMMISSION # FF954548 EXPIRES January 26, 2020 Manuela Mackenzie State of Florida Manuela Mackenzie Manuela Mackenzie Print Name	Current Owner Power of Attorney	
Committee) relative to all matters concerning this application. Sworn to and subscribed before me this <u>31</u> day of <u>Jan. 2018</u> MANUELA MACKENZIE MY COMMISSION # FF954548 EXPIRES January 26, 2020 State of Florida State of Florida	to my property, which is hereby made	e by me of I am nereby autionzing
this <u>31</u> day of <u>Jan. 2018</u> MANUELA MACKENZIE MY COMMISSION # FF954548 EXPIRES January 26, 2020 State of Florida	Committee) relative to all matters concerning this application.	1
March March <td< th=""><th></th><th>- M</th></td<>		- M
MY COMMISSION # FF954548 Notary Public State of Florida	this <u>31</u> day of <u>Jaw. 2010</u>	ignature of Current Owner
State of Florida	MY COMMISSION # FF954548	
	1407) 398-0° 53 FloridaNotaryService.com	
		duced Identification



To:City of HollywoodAttn.Planning and Development BoardFrom:Architect – ArchitectureWorks LLC.Re:Project "The Residences on Monroe Condominium"File Number:17-DP-52Subject:Site Plan Review for a 40-unit residential development.
Legal Description and Project Information.

SITE DATA

Owner/Applicant:	Gusmel, LLC / Ricardo Grinberg
Address/Location:	1840-1850 Monroe Street
Net Area of Property:	21,846 Sq. Ft. / 0.5 acres (as per ALTA survey)
Land Use:	Regional Activity Center (RAC)
Zoning:	Parkside Medium Intensity Multi-Family District (PS-2)
Existing Use of Land:	Residential

ADJACENT LAND USE

North:	Regional Activity Center (RAC)
South:	Regional Activity Center (RAC)
East:	Regional Activity Center (RAC)

West: Regional Activity Center (RAC)

ADJACENT ZONING

- **North**: Government Use District (GU)
- **South:** Parkside High-Intensity Mixed-Use District (PS-3)/ Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
- East: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
- West: Parkside Medium Intensity Multi-Family District (PS-2)

A. LEGAL DESCRIPTION:

All of lots 25 and 26 and the east 30 feet of lot 27 in block 36. The west 10 feet of lot 27 and all of lot 28, block 36, According to the plat thereof, as recorder in plat book 1, page 21 of the public records of broward county, florida.

B. SCOPE OF WORK:

- 1. New construction of 5 story multifamily residential building with associated off street parking (40 units / 44 pkg spaces)
- 2. Associated mechanical, electrical, plumbing, fire sprinkler and fire safety features
- 3. Building amenities: Multipurpose Room, Recreational Pool, Barbeque Area

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C. PROJECT INFORMATION:

Location

The Residences on Monroe Condominium is located at 1840 – 1850 Monroe St, Hollywood FL 33020.



LOT INFORMATION:

JURISDICTION:	CITY OF HOLLYWOOD / PS-2
FEMA INFORMATION	FLOOD ZONE: X
F.F.E. PROPOSED	+8.83 NAVD (Per Section 154.50 of the City Code of Ordinances)
PROPOSED NUMBER OF UNITS:	40 UNITS
BUILDING AREA:	13,845 SQ.FT.

FLOOR AREA RATIO:

FAR ALLOWED:	2 X 21,846 = 43,692 SQ.FT.
APARTMENTS:	36,364 SQ.FT.
LOBBY:	1,418 SQ.FT.
MULTIPURPOSE ROOM:	752 SQ.FT.
STAIRS, ELEVATORS, AND COMMON HALLWAYS:	4,361 SQ.FT.
TOTAL FAR BUILDING PROPOSED:	43,165 SQ.FT.

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AA26000881

LAND USE & ZONING INFORMATION:

LAND USE DESIGNATION:	RAC (Regional Activity Center)	
ZONING DESIGNATION :	PS-2 (Parkside Medium Intensity Multi-Family District)	
	ALLOWABLE	PROPOSED
MAXIMUM BUILDING HEIGHT	55'-0"	51'-4"
SETBACKS INFORMATION	REQUIRED	PROPOSED
BUILDING FRONT	15'-0"	15'-0"
REAR	10'-0"	10'-0"
SIDE	10'-0"	10'-0"

4 OFFSTREET PARKING:

PARKING	REQUIRED	PROPOSED
REGULAR (1 PER UNIT)	40	40
ACCESSIBLE (2% of total required)	2 included in the total req.	2 (FHA Compliant)
Minimum 2		
GUESTS (1 per 10 units)	4	4
TOTAL PARKING ON SITE	44	44
PARKING AREA 12 387 SO FT		

PARKING AREA 12,387 SQ.FT.

4 OPEN SPACE & LOT COVERAGE CALCULATIONS:

	PROVIDED	REQUIRED
LOT COVERAGE:	13,474 Sq.Ft. (62% of lot area)	
PERMEABLE PAVEMENT:	2,164.2 Sq.Ft.	
PROPOSED PERVIOUS AREA:	3,980 Sq.Ft. + 994 Sq.Ft. (4,974	4,369.2 Sq.Ft.(20% of lot area)
(landscaped area + roof)	Sq.Ft. 22.8% of lot area)	
PROPOSED IMPERVIOUS AREA:	2,637.7 Sq.Ft.	
OPEN SPACE AREA PROPOSED:	9,683.9 Sq.Ft. + 392 Sq.Ft. (10,075.9	
(including pool area)	Sq.Ft. 46% of lot area)	

UNIT TYPE DESCRIPTION:

Minimum unit size al	lowed ps-2 = 400 sq.ft. / pro	posed = 712 sq.ft. M	in	
UNIT TYPE	Description	Interior sq. Ft.	Balcony sq. Ft.	Total # units
LANAI TYPE "A"	1 BEDROOM 1 BATH	714 SQ. FT.	250 SQ. FT.	2
LANAI TYPE "D"	2 BEDROOM 2 BATH	1,055 SQ. FT.	720 SQ. FT.	2
TYPE "A"	1 BEDROOM 1 BATH	714 SQ. FT.	123 SQ. FT.	6
TYPE "A1"	1 BEDROOM 1 BATH	722 SQ. FT.	105 SQ. FT.	8
TYPE "B"	1 BEDROOM 1 BATH	755 SQ. FT.	119.3 SQ. FT.	4
TYPE "C"	2 BEDROOM 2 BATH	1,059 SQ. FT.	266 SQ. FT.	8
TYPE "D"	2 BEDROOM 2 BATH	1,055 SQ. FT.	162 SQ. FT.	6
TYPE "E"	3 BEDROOM 2 BATH	1,236 SQ. FT.	119.3 SQ. FT.	4
TOTAL		36,364 SQ. FT.	7,572 SQ. FT.	40
AVERAGE UNIT SIZE: (3	36,364 / 40) = 909.1 SQ. FT.	DEN	SITY: 80 UNITS PER A	CRE

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To:City of HollywoodAttn.Planning and Development BoardFrom:Architect – ArchitectureWorks LLC.Re:Project "The Residences on Monroe Condominium"File Number:17-DP-52Subject:Site Plan Review for a 40-unit residential development.

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ADJACENT LAND USE

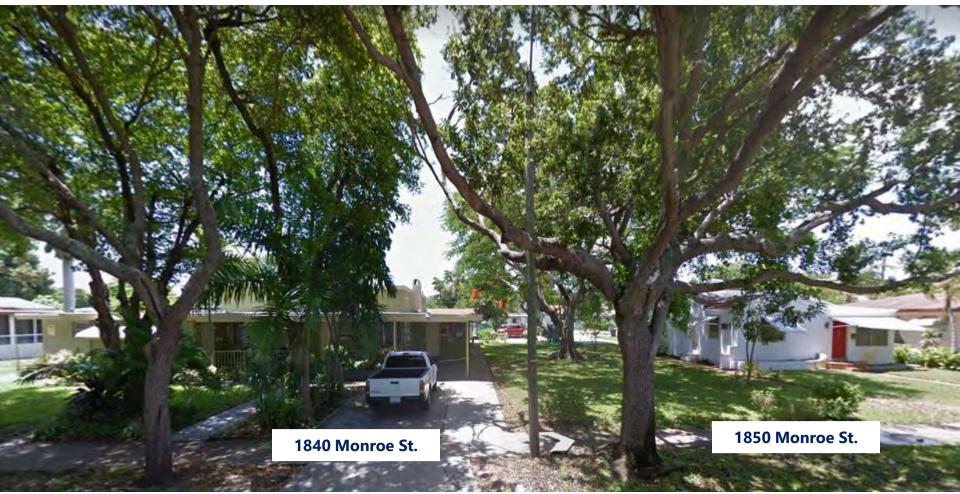
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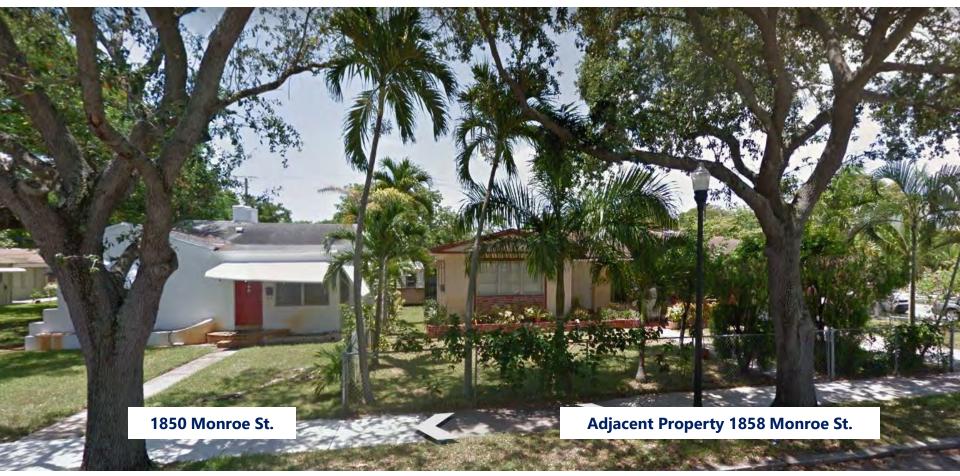
Color photo of Subject Site: 1840 Monroe St. & Adjacent Property



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Color photo of Subject Site: 1850 Monroe St. & Adjacent Property



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To:City of HollywoodAttn.Planning and Development BoardFrom:Architect – ArchitectureWorks LLC.Re:Project "The Residences on Monroe Condominium"File Number:17-DP-52Subject:Site Plan Review for a 40-unit residential development.
Design Criteria

SITE DATA

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1. DESIGN CRITERIA STATEMENT:

The aim of the Design Criteria is to set out the objectives and the controls to manage physical development at The Residences on Monroe Condominium to achieve the desired overall functionality and estate character over time. Architectural standards are intended to set high-quality design. Building architecture, landscaping, common areas, and standards result in an attractive and comfortable community environment.

Compliance with the Design Criteria is a condition of the subdivision. The City of Hollywood requires that building plans must first be approved by the Planning and Development Board prior to the submission for the necessary building permits.

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Location

The Residences on Monroe Condominium is located at 1840 – 1850 Monroe St, Hollywood FL 33020. The site, within the Parkside neighborhood, is bound by Hollywood's downtown district to the North, the Mardi Gras Casino to the South, US1 to the East and N Dixie Hwy to the West.

Accessibility to the site is from Monroe St. just west of US1 and within walking distance of downtown Hollywood, schools and a short car ride to the beach. This area is very walkable as most errands can be accomplished on foot. Transit is available, with a few nearby public transportation options. The Hollywood International Airport is within 7.0 mi to the North on US1.

Nearby schools include Hollywood Central Elementary School, Hollywood Academy of Arts & Science and Hollywood Academy of Arts and Science Middle School. The closest grocery store is Publix Super Market in the Hollywood Circle. Nearby coffee shops include Habano BarCafe and Habano Cigar Club. Nearby restaurants include Subway, Little Brazil Hollywood, Sushi Room and Alley Cat Bar and Grill. The Residences on Monroe are near Holland Park, Sheridan Street Addition Park, and Stan Goldman Memorial Park.

2. ARCHITECTURAL AND DESIGN COMPONENTS:

The architectural character is intended to reflect a sense of high-quality timeless design. A language of contemporary architecture that intends to portray simplicity thru clean lines and volumes that create an elegant massing for this Multi-Family Residential Building within the context of the surrounding community's regentrification. High-quality materials together with thoughtfully designed forms will establish the Residences on Monroe Condominium as an exceptional multifamily development.

Materials and forms are selected to achieve the following goals:

- Green Building Certification under a recognized certification program approved by the City of Hollywood.
- Create a timeless design with enduring forms and qualities.
- Create an attractive street frontage by providing connecting activities that begin at the porte-cochere accommodating private vehicular movement.
- Develop a sense of place that fits within the context of The City of Hollywood.
- Provide a high-level design quality.
- Design with a view toward the future. Maintain a long-term commitment to the future of the community.
- Design a building with maintenance and sustainability in mind.

🔸 Design

The building design contributes to the uniqueness of The Residences on Monroe Condominium by using predominantly materials, elements, features and color ranges that will become the signature to this project, specific to the site and its context.

The contemporary design of the building responds to the climate using sustainable design principles to reduce energy consumption in construction and throughout the life cycle of the building.

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The following elements will be employed to achieve this:

- Habitable spaces to be constructed in masonry. Plastered finishes will be used.
- Roof separation to habitable spaces below are to be insulated. All roofs will be finished with "cool" roofing material to reflect heat.
- Windows and exterior doors will be impact resistant windows finished in clear anodized aluminum and will use low heat transmission laminated glass.
- All roof drainage will be internal with internal overflow drains or through parapet openings acting as overflow roof scuppers.
- Parapets will conceal flat roofs and rooftop equipment such as HVAC units from public view.

Entrance

- The primary building entrance is clearly defined by an inviting porte-cochere design as a canopy that provides shelter from the summer sun and raining season weather.
- Premium building materials such as stone, wood cladding and glazing systems were selected to provide greater visual and textural interest at the main entry.
- The primary entrance is designed to be easily identifiable to both the vehicular as well as the pedestrian and incorporates at least 50% of its area as an active liner.
- Architectural articulation is evident at the primary entrance. Texture and massing changes are intended for visual interest as well as reinforcing "human scale."

4 Signage

- Signage is fully integrated with the architectural feature (porte-cochere) on the façade and doesn't comprise more than 10% of the main façade.
- The signage is facing the Front Facade and reinforces the approach to the entrance.

4 Parking

Parking is provided in accordance with the Section 4.6.A.11.c of the Zoning and Land Development Regulations.

The minimum parking requirements for Multifamily Residential uses are 1 space per Unit and 1 additional space per 10 Units for guest parking.

- One level of parking is provided under the building at ground level to accommodate all required parking spaces.
- Units and visitor parking to be located in the parking garage separated into (2) parking areas; one on the East and the other on the West side.
- Additional parking may be provided by adding optional lifts to be optioned by the unit owners.
- Ground parking facing Monroe St is screened with paneled metal doors, textured façade walls in-keeping with the character of the Front Facade.
- A single two-way entrance driveway to the parking garage is located on both sides of the main entrance of the building.
- Garage gates are rolling doors connected to an automation system that operates with a remote control.

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- **Building Exterior Materials** (Refer to Submitted Material and Specs Binder)
- Exterior materials are chosen based on suitability, durability, and visual continuity.
- Building materials are selected to provide an appropriate variety of textures per building facade, to provide visual balance, and to avoid an excessive variety of materials.
- Building materials provide greater visual and textural interest at the entrance and areas highly visible to the right of way.
- Color palette creates a unified theme throughout the building. The accent color is compatible with base colors. Sherwin Williams Low VOC paint.
- Natural stone cladding has been introduced.
- Wood cladding has been introduced.
- Architectural steel louvers have been introduced.
- Storefront glazing system is finished in clear anodized aluminum.

Lighting

- All lighting is in character with the established architectural style of the Building.
- A maximum 0.5-foot candle illumination at all property lines adjacent to residential will be provided.

Trash Enclosures

- A trash enclosure is proposed to be constructed out of a masonry material. A gate fully screens the interior of the trash enclosure. The trash enclosure is fully screened with materials to match the building. Trash enclosure walls are a minimum height of 5'-0" above grade.
- The trash enclosure is located next to the alley in order to provide adequate access for the garbage truck.

3. COMPATIBILITY:

The Residences on Monroe Condominium a multifamily development is intended to set a high quality of design, that will enhance the surrounding residential neighborhood and establish a clearly defined innovative urban housing solution. Architecture, landscaping, amenities, and boundaries collectively establish a sense of the human scale. These standards result in an attractive, comfortable environment where people can live in a community atmosphere.

4. SCALE / MASSING:

Building Lines

The building line setbacks comply with the Zoning Code of Ordinances of The City of Hollywood. The minimum setbacks requirements are 15 ft. on all frontages (Monroe St), 10 ft. on Interior Sides and 10 ft. from the rear (Alley).

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Section 4.6.A.9 of the Zoning and Land Development Regulations allows horizontal and vertical projections or encroachments to the setbacks which have been reviewed in previous meetings.

4 Building Elevations

It is intended to break down the building massing to a human scale by eliminating uninterrupted flat facades, hence articulating a wall plane with the following architectural elements:

- Change in a plane at the change of material have been introduced and large portions of walls are articulated by adding score lines.
- Change in color, texture or material is utilized.
- Window punctures in various sizes introduce another layer of articulation to create hierarchy.
- Balconies varied by railing design and depths of different sizes also add to hierarchy.
- Canopy and porte-cochere establish a sense of place and presence to the main entrance into the residential complex.
- Framed wall elements generate distinction in various massing elements.

Use of the above architectural elements limit uninterrupted wall planes.

- Long runs of parapets vary in height.
- Side and rear building elevations of the building include materials and design characteristics consistent with those on the front elevation. Use of inferior or lesser quality materials for side or rear-building elevations are not present.
- Plane changes occur as often as well as parapet variations.

4 Primary boundary - Monroe St.

In defining the streetscape and the frontage approach from Monroe St to the property. The design intended to ensure a consistent public environment lined by the building facade, main entrance (porte-cochere) and parking garage, suitably landscaped and maintained.

Main facade treatment:

- The main or front facade of the building is facing Monroe St.
- The parking garage access and egress are directly from this boundary.
- A planting strip or landscaped area is to be provided along the front setback area (interrupted for access, porte-cochere, and driveways).
- The main entrance and primary signage are facing this boundary.
- Boundary enclosure and entrance along this boundary is readily visible. Common side boundary enclosure of property matches the front enclosure design and is visually open to a distance back from these boundaries so as to line up with the main façade.
- The minimum setback is 15 ft.
- An active use of active liner on the ground floor as per Section 4.6.A.10 of the Zoning and Land Development Regulations is proposed.

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Secondary boundary – Alley.

This boundary also defines the streetscape from the Alley but is not designated as the main approach frontage to the property. This boundary front common space and is finished to the same standard as the Primary Boundary.

- Facade facing this boundary is finished and maintained to the same standard as the Main Façade.
- The minimum setback for the building is 10 ft.
- Boundary enclosure along the alley is visually closed.

Internal boundaries – Sides.

The property is to be fully enclosed with a suitable perimeter wall.

- Common boundaries behind the Primary boundary setback line and the Secondary Boundary is enclosed with a solid wall for security to a height of 5'-0".
- Buildings are to be set back a distance of 10 ft. from all internal boundaries, with the exception of the exit stair cores to the East and West boundaries.

5. LANDSCAPE:

Landscape

- The landscape includes up-lighting.
- Utilizes native ground covers and avoided sod.
- The landscape design has followed the City of Hollywood Landscape Manual.



To:City of HollywoodAttn.Planning and Development BoardFrom:Architect – ArchitectureWorks LLC.Re:Project "The Residences on Monroe Condominium"File Number:17-DP-52Subject:Site Plan Review for a 40-unit residential development.
Green Building Notes

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Owner/Applicant:	Gusmel, LLC / Ricardo Grinberg
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GREEN BUILDING NOTES

The City of Hollywood has adopted an energy efficiency and conservation strategy, including the green building program ordinance which will assist in the promotion of green building practices throughout the City. The proposed 40-unit residential development "The Residences on Monroe Condominium" wants to do its part to comply with new ordinance and with the goal of green living practices by obtaining a third party Green Building Certification under a recognized certification program approved by the city.

Below is an initial summary of some of the initiatives that will be considered to meet the requirements, which will be reviewed and finalized once the collaborative work is spearheaded by the third party Accredited Professional in conjunction with the City of Hollywood, the Project Owners and ArchitectureWorks LLC.

LOCATION AND TRANSPORTATION

- Surrounding density and diverse uses
- Access to quality transit
- Bicycle facilities a minimum of 4 long-term bike indoor storage spaces with locks to protect the bikes from the elements and theft will be provided in Gym area.
- Reduced parking footprint The building proposes new off-street surface parking (ground-level garages), leaving building frontages facing the circulation network free of surface parking lots.
- Green Vehicles: Electric Building Charging the building will install 2 electrical vehicle supply equipment which represent 4.5% of all parking spaces used for the project. These spaces will be for the sole use by plug-in electric vehicles.

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4 SUSTAINABLE SITES

- Construction activity pollution prevention as requirement.
- Water should be applied at least three times a day or more, depending on the atmospheric conditions.
- Barriers such as a wind fence or sediment fence will be used to prevent erosion by obstructing the wind near the ground and preventing the soil from blowing off-site.
- Demolition plan to include prevention of air polluting with dust and particular matter.

WATER EFFICIENCY

Working in conjunction with the Project's MEP Engineer, the following points will be considered under this section:

- Outdoor water use reduction as requirement
- Indoor water use reduction as requirement
- Building-level water metering reduction as requirement
- Indoor water use reduction for extra credits
- Cooling tower water use
- Water metering for extra credits

ENERY AND ATMOSPHERE

Working in conjunction with the Project's MEP Engineer, the following points will be considered under this section:

- Fundamental commissioning and verification as requirement
- Minimum energy performance
- Building-level energy metering as requirement
- Fundamental refrigerant management
- Enhanced commissioning
- Optimize energy performance
- Advanced energy metering
- Demand response
- Renewable energy production
- Enhanced refrigerant management
- Green power and carbon offset

4 MATERIALS AND RESOURCES

- Storage and collection of recyclables as requirement
- Construction and demolition waste management planning as requirement
- Kitchen design will incorporate space for recycling bins. Recycling bins will be located on each floor next to trash chute. Dumpster enclosures also include space for recyclable storage.
- Low VOC paint from Sherwin-Williams to be used.
- Permeable pavement will be used on exterior areas. Parking area will have a structural slab as support for the option of Lifts.
- Roofing and pavement materials should meet the green building ordinance / green building certification and specs will be provided prior to submission for Building Permit. (GAF products).

The above content will stand as written, unless written corrections are received at the architect's office within a period of five (5) working days from the date of this document. If you have any questions please call our office. Thank you.



• Use sustainable building materials and specifications and details will be provided on general notes prior to submission to the building department.

INDOOR ENVIRONMENTAL QUALITY

Working in conjunction with the Project's MEP Engineer, the following points will be considered under this section:

- Minimum Indoor Air Quality Performance
- Environmental Tobacco Smoke Control
- Enhanced Indoor Air Quality Strategies
- Construction Indoor Air Quality Management Plan
- Indoor Air Quality Assessment
- Thermal Comfort
- Interior Lighting LED lighting fixtures will be used as well as energy-star appliances and programmable thermostats.
- Daylight
- Quality Views
- Acoustic Performance

LANDSCAPE

Refer to The Nine Florida-Friendly Landscaping[™] Principles and their application to The Residence on Monroe document prepared by the Landscape Architect.

The above content will stand as written, unless written corrections are received at the architect's office within a period of five (5) working days from the date of this document. If you have any questions please call our office. Thank you.



<u>The Nine Florida-Friendly Landscaping™ Principles</u> <u>and their application to The Residence on Monroe</u>

1. Right plant, right place

The Residences on Monroe condominium is located within the boundaries of Hollywood Boulevard and US1. The plant palette includes mostly natives and drought tolerant material has been chosen for this site. They include:

<u>Plant</u>	Drought tolerance
Coccoloba diversifolia	High
Chrysophyllum oliviforme	High
Conocarpus Erectus 'Sericeus'	High
Myrcianthes fragrans	High
Sabal palmetto	Medium
Veitchia montgomeryana	Medium
Quercus Virginiana	High
Arachis glabrata	High
Andrelopis skinneri	Medium
Chamaedorea cataractarum	High
Conocarpus erectus	High
Carissa macrocarpa	High
Iris virginica	Medium
Liriope muscari	High
Nephrolepis exaltata	Medium
Philodendron Burle Marx	Medium
Psychotria nervosa	Medium
Rhapis excelsa	Medium
Schefflera trinette	High
Trachelospemum asiaticum	Medium
Tripsacum dactyloides	Medium

- In the site plan, Live Oaks have been planted along the street to continue with the existing street tree species scheme and to provide shade along sidewalks.
- All chosen trees have a medium or high wind tolerance.
- Plants that rely on regular watering i.e. the coleus or annuals are not being used.
- The code requirement for native trees on the site is 16 trees, we have provided 18 with existing and proposed counts. Over 50% of proposed shrubs are of Florida native species.
- No Category I or category II invasive exotics have been used on the site.

2. Water efficiently

The species density was considered in the layout of the shrub material. Plants are spaced tight, so that the evapotranspiration of the irrigation water will be minimal. A rain sensor to be installed to prevent the irrigation system from operating during rainy days.

3. Fertilize appropriately

The site will be fertilized by the maintenance contractor according to UF/IFAS recommended rates to prevent leaching into the soil rather than being absorbed by the roots.

<u>4. Mulch</u>

On the landscape details sheet L-3 under General Planting Requirements it states

- All plants are to be top dressed with a minimum 3" total cover when settled.

5. Attract wildlife

A selection of native trees and shrubs has been selected to provide an aesthetically attractive and a botanically diverse range of shelter for birds and butterflies.

6. Manage yard pests responsibly

The pests will be managed according to the "Integrated Pest Mangement (IPM)" strategy. The plant material chosen are considered pest-resistant.

<u>7. Recycle</u>

The property manintenance team will use decomposed organic matter to release nutrient back into the soil when necessary.

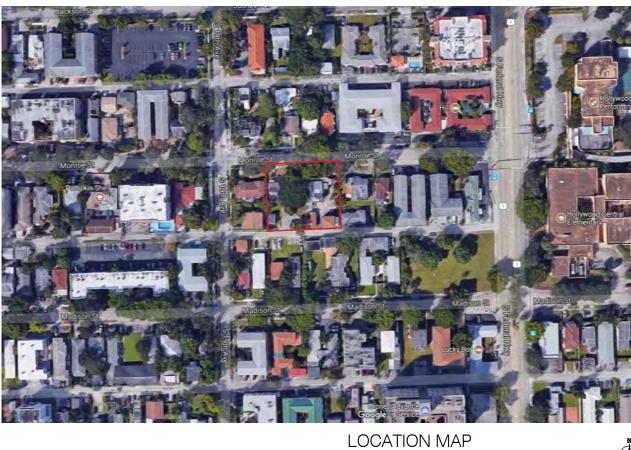
8. Manage storm water runoff

This would be covered under the civil engineering plans for the site.

9. Protect the waterfront

This particular parcel does not have any direct access to any water front areas.





CITY OF HOLLYWOOD

CIVIL ENGINEERS: SZAUER ENGINEERING, INC. 7050 W. Palmetto, Park Road, #15399, Boca Raton, FL 33433

7050 W. Palmetto Park Road, #15399, Boca Raton, FL 33433 Phone (561) 716 0159

SCALE: N.T.S.

LANDS

		I N D E	X O F	D R A W I N	G S	
SHEET No.	ARCHITECTURAL	SHEET No. STRUCTURAL SHEET No.	CIVIL	SHEET No. MECHANICAL	SHEET No. ELEC	ECTRIC
	Cover Sheet, Index of Drawings	1	Boundary and Topographic Survey			
A000.1	Color Renderings	2	Boundary and Topographic Survey			
A000.2	Color Site Plan with Landscape	C-101	Grading and Drainage Plan			
A001	Design Intent	C-102	Grading and Utilities			
A002	Street Profile & Context View	C-103	Utilities Plan			
A003	Site Plan, Location Map and Zoning Information	C-104	Utilities Details			
A101	Ground Level Floor Plan	C-105	Paving Plan			
A102	Lanai Level Floor Plan					
A103	Typical Level Floor Plan					
A104	Not Used					
A105	Roof Level Floor Plan	SHEET No.	LANDSCAPE			
A106	Not Used	L1	Existing Tree Disposition		SHEET No. PLU	JMBIN
A107	Finish Plan - Ground Floor	L2	Landscape Plan			
A108	Lighting Plan - Ground Floor	L2a	Roof Landscape Plan			
A201	North and South Elevation	L3	Planting Details			
A202	East and West Elevation					
A301	Building Section 1 & 2					
A302	Building Section 3					
A501	Details					

THE RESIDENCES ON MONROE CONDOMINIUM

Property Address: 1840 - 1850 Monroe ST, Hollywood FL 33020





LANDSCAPE ARCHITECT: *LANDSTONE DESIGN* 5924 Auver Blvd. , Unit # 208, Orlando , FL 32807 IDSCAPE PROJECT MANAGER: FAVIO PEREZ / 305-778-7136 © 2018 Architectureworks, LLC. ARCHITECT: *ARCHITECTUREWORKS, LLC. ARCHITECTURE & DESIGN* 300 71 Street, Suite 528 Miami Beach, Fl. 33141

M. E. P. & FS. ENGINEER: P.J.V. ENGINEERING, INC. 8300 N.W. 53rd. Street #350 Doral fl 33166 Phone (305) 742-2112

DATE	REVISION
09-05-2017	PACO MEETING
10-16-2017	PRELIMINARY TAC MEETING
10-23-2017	MEETING W/ PARKSIDE ASSOCIATION
12-04-2017	FINAL TAC MEETING
04-12-2018	PLANNING AND DEVELOPMENT BOARD MEETING

STRUCTURAL ENGINEER: *GANEM CONSULTING ENGINEERING* 18200 NE 19th AVE, NORTH MIAMI BEACH FL 33162 Phone (786) 487–4401

RICAL	SHEET No.	FIRE ALARM	
BING	SHEET No.	FIRE PROTECTION	

LEGEND AND ABBREVIATIONS = PALM TREE = TREE = ORNAMENTAL TREE = TEMPORARY SITE BENCHMARK O.R.B. = OFFICIAL RECORDS BOOK PG. = PAGE ADA = AMERI INV. = INVERT = AMERICAN DISABILITY ACT INV. = INVERT ELEV. = ELEVATION TYP. = TYPICAL IRR = IRRIGATION EX = EXISTING ST = STORM SAN = SANITARY G = GAS W = WATER = EXISTING UNDERGROUND COMMUNCATION LINE = EXISTING UNDERGROUND COM FO = FIBER OPTIC CATV = CABLE TELEVISION ELEC. = ELECTRIC $\chi 0.0^{0}$ = SPOT ELEVATION = CONCRETE = CONCRETE BLOCK STUCCO = CHAIN LINK FENCE = WOOD FENCE = METAL FENCE = BARBED WIRE FENCE = FINISH FLOOR FDC = FIRE DEPARTMENT CONNECTION D = DIAMETER OF TREE (TAKEN AT BREAST HEIGHT) = HEIGHT OF TREE = SPREAD (CANOPY OF TREE) S = 3FILAD ICANOFT GI PVC = POLYVINYL CHLORIDE HDPE = HIGH-DENSITY POLYE (R) = RECORD (C) = CALCULATED (M) = MEASURE MLP = METAL LIGHT POLE = SPREAD LCANOPY OF IREE) = POLYVINYL CHLORIDE PIPE = HIGH-DENSITY POLYETHYLENE = RECORD = CALCULATED = MEASURE = WOODEN LIGHT POLE = LICENSE BUSINESS = LENGTH = CENTRAL ANGLE ELINTRAL ANGLE E CENTRAL ANGLE RADIUS TANGENT POINT OF COMPOUND CURVATURE POINT OF REVERSE CURVATURE POINT OF TANGENCY POINT OF CURVATURE STATION ORNAMENTAL LIGHT POLE CONCRETE LIGHT POLE RIGHT-OF-WAY PLAT BOOK SECTION LINE CENTERLINE = CENTERLINE = BASELINE = MONUMENT LINE = TRAFFIC SIGNAL BOX TRAFFIC SIGNAL CABINET = BOLLARD = PEDESTRIAN SIGNAL = TRAFFIC MANHOLE = TRAFFIC CAMERA TRAFFIC MARKER SIGN = TRAFFIC SIGNAL MAST ARM = SIGN = TRAFFIC SENSOR = CABLE TELEVISION MANHOLE = CABLE TELEVISION HANDHOLE = CABLE TELEVISION VAULT = CABLE TELEVISION BOX = CABLE TELEVISION MARKER = CABLE TELEVISION MARKER FLAG = CONCRETE LIGHT POLE = FLOODLIGHT = ELECTRIC BOX = ELECTRIC SWITCH = WOODEN UTILITY POLE = CONCRETE UTILITY POL = METAL UTILITY POLE = ELECTRIC TRANSFORMER = GUY ANCHOR = ELECTRIC MANHOLE = ELECTRIC METER = ELECTRIC HANDHOLE = ELECTRIC MARKING FLAG = ELECTRIC MARKING FLAG = GAS VALVE = GAS VALVE = GAS MANHOLE = GAS MANHOLE = GAS MANDHOLE = GAS METER = GAS METER = GAS WELL = GAS MARKER FLAG GAS MARKER SIGN = COMMUNICATION BOX = COMMUNICATION MANHOLE = GARBAGE RECEPTACLE = HANDICAP PARKING SPACE = WATER METER = IRRIGATION VALVE = WATER VALVE = FIRE HYDRANT = AIR RELEASE VALVE = WATER BOX = WATER CONNECTION = WATER MANHOLE = WATER WELL = WATER MARKING FLAG = WATER MARKING SIGN = STORM MANHOLE = STORM METER = STORM HANDHOLE = CATCH BASIN = TELEPHONE MANHOLE = TELEPHONE BOX = TELEPHONE BOX = TELEPHONE MARKER SIGN = NEWSPAPER DISPENSER = MAILBOX = BORING HOLE = SANITARY MANHOLE b. = SANITARY VALVE = SANITARY METER = SANITARY MARKER FLAG с. = SANITARY MARKER SIGN = GREASE TRAP MANHOLE = CLEANOUT = PARKING METER = FIBER OPTIC MANHOLE = FIBER OPTIC BOX = MONITORING WELL = FUEL TANK = UNKNOWN UTILITY BOX = UNKNOWN UTILITY HANDHOLE = UNKNOWN UTILITY METER = UNKNOWN UTILITY MANHOLE = UNKNOWN UTILITY POLE = UNKNOWN UTILITY TANK = UNKNOWN UTILITY VALVE = RAILROAD SIGNAL = RAILROAD SIGN = FLAGPOLE ASPHALT BRICK PAVER ONCRET TILE UNIMPROVE

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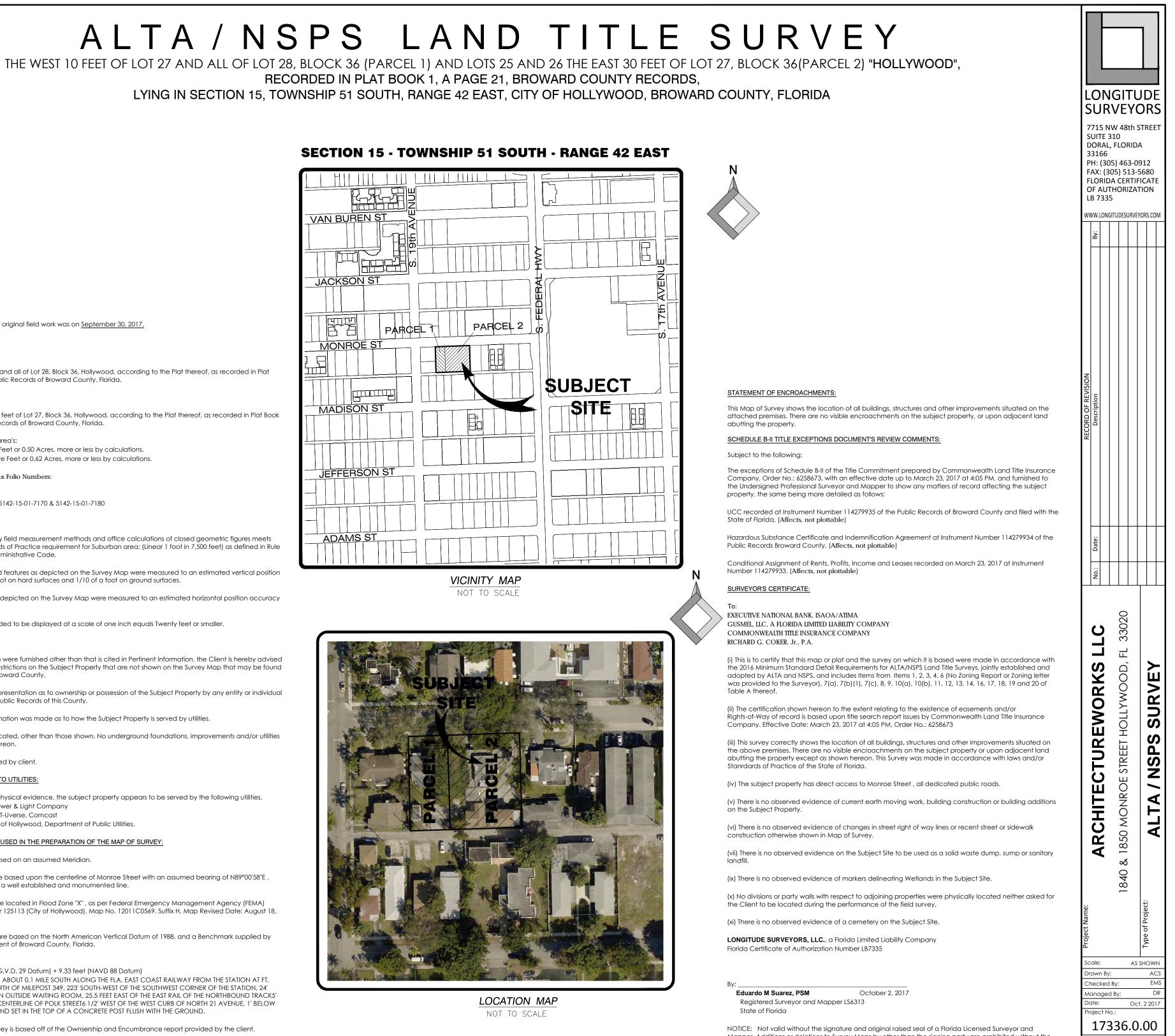
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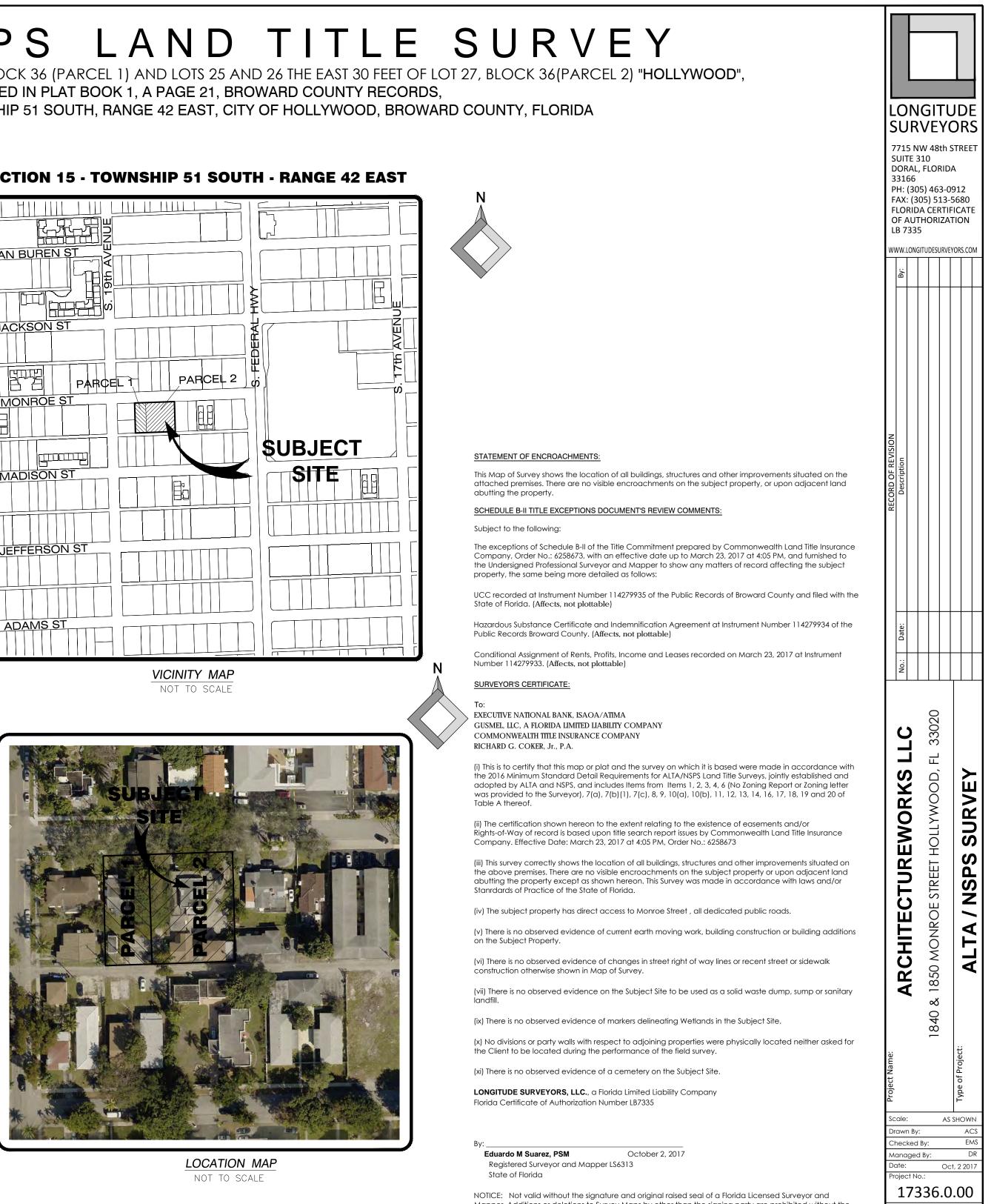
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SURVEYOR'S NOTES:

DATE OF FIELD SURVEY

The date of completion of original field work was on September 30, 2017.

LEGAL DESCRIPTION:

Parcel 1:

The West 10 feet of Lot 27 and all of Lot 28, Block 36, Hollywood, according to the Plat thereof, as recorded in Plat Book 1, Page 21 of the Public Records of Broward County, Florida.

Parcel 2:

Lots 25, 26 and the East 30 feet of Lot 27, Block 36, Hollywood, according to the Plat thereof, as recorded in Plat Book 1, Page 21 of the Public Records of Broward County, Florida.

Containing the following area's: Net area = 21,846 Square Feet or 0.50 Acres, more or less by calculations. Gross Area = 27,046 Square Feet or 0.62 Acres, more or less by calculations.

Property Addresses and Tax Folio Numbers: 1840 & 1850 Monroe Street Hollywood, Florida 33020 Parcel Identification No.: 5142-15-01-7170 & 5142-15-01-7180

ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Standards of Practice requirement for Suburban area: (Linear 1 foot in 7,500 feet) as defined in Rule 5.J-17.051 of the Florida Administrative Code.

Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of 1/100 of a foot on hard surfaces and 1/10 of a foot on ground surfaces.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot

This Map of Survey is intended to be displayed at a scale of one inch equals Twenty feet or smaller.

LIMITATIONS:

Since no other information were furnished other than that is cited in Pertinent Information, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Broward County

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual that may appear on the Public Records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

were located other than those shown. No underground found were located or shown hereon.

Zoning Information provided by client

SURVEYOR'S OPINION AS TO UTILITIES:

Based on above ground physical evidence, the subject property appears to be served by the following utilities. a. Electricity: Florida Power & Light Company

- Telephone: AT&T, ATT-Uverse, Comcast
- Water & Sewer: City of Hollywood, Department of Public Utilities.

PERTINENT INFORMATION USED IN THE PREPARATION OF THE MAP OF SURVEY:

North arrow direction is based on an assumed Meridian.

Bearings shown hereon are based upon the centerline of Monroe Street with an assumed bearing of N89°00'58"E, said line to be considered a well established and monumented line.

This property appears to be located in Flood Zone "X", as per Federal Emergency Management Agency (FEMA) Community-Panel Number 125113 (City of Hollywood), Map No. 12011C0569, Suffix H, Map Revised Date: August 18,

Elevations shown hereon are based on the North American Vertical Datum of 1988, and a Benchmark supplied by the Public Works Department of Broward County, Florida.

Benchmark: P-239

STAMPED

CONCRET

GRAVEL

Elevation: + 10.93 feet (N.G.V.D. 29 Datum) + 9.33 feet (NAVD 88 Datum)

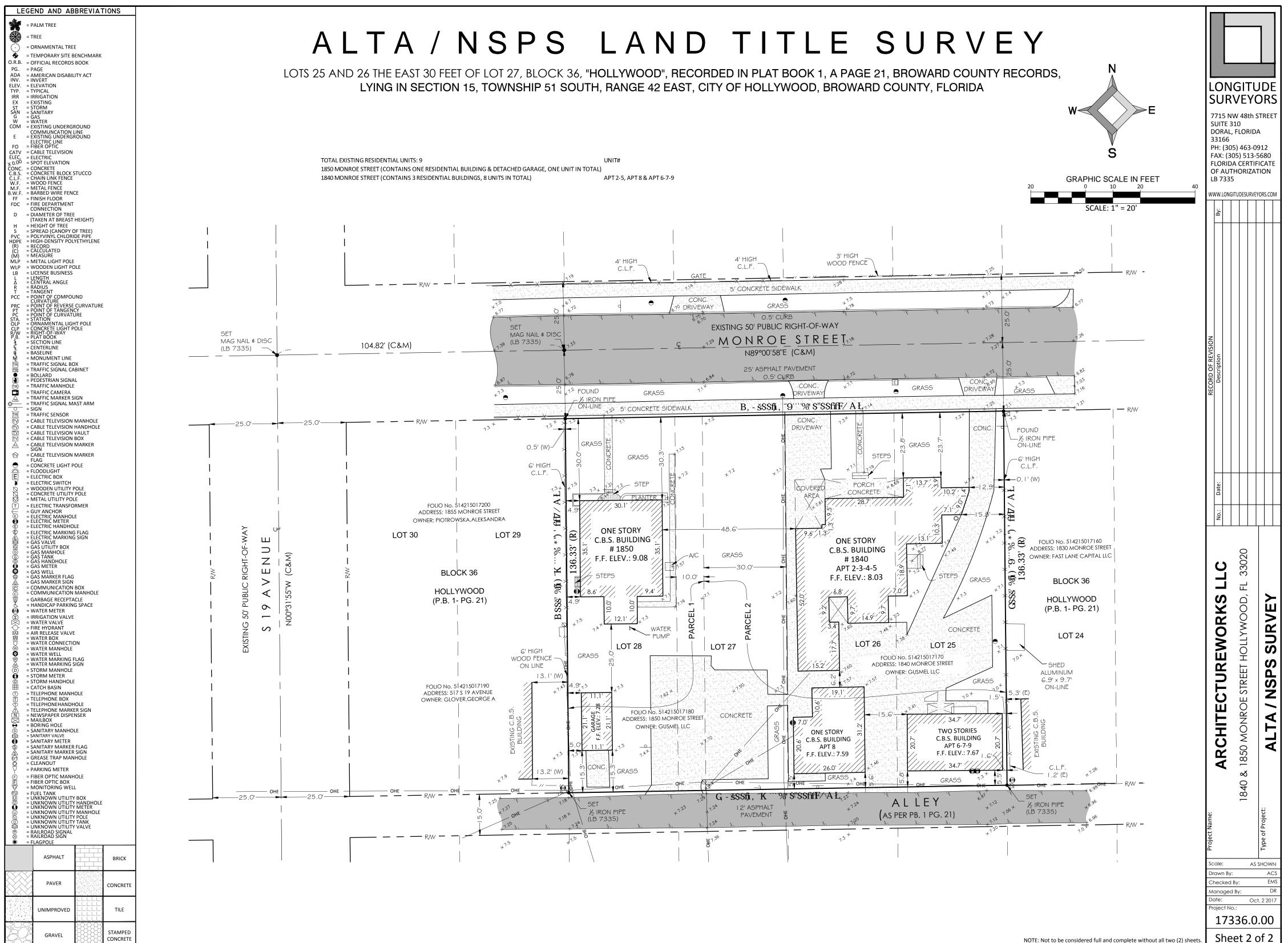
Description: A C&GS DISC, ABOUT 0.1 MILE SOUTH ALONG THE FLA. EAST COAST RAILWAY FROM THE STATION AT FT. LAUD- DALE, 0.35 MILE NORTH OF MILEPOST 349, 223' SOUTH-WEST OF THE SOUTHWEST CORNER OF THE STATION, 24' SOUTHEAST CORNER OF AN OUTSIDE WAITING ROOM, 25.5 FEET EAST OF THE EAST RAIL OF THE NORTHBOUND TRACK5' SOUTH OF THE EXTENDED CENTERLINE OF POLK STREET6 1/2' WEST OF THE WEST CURB OF NORTH 21 AVENUE, 1' BELOW THE LEVEL OF THE TRACK AND SET IN THE TOP OF A CONCRETE POST FLUSH WITH THE GROUND.

Legal Description and Survey is based off of the Ownsership and Encumbrance report provided by the client.

Plat of "HOLLYWOOD", recorded in Plat Book 1 at Page 21 Public Records of Broward County Florida.

Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party. NOTE: Not to be considered full and complete without all two (2) sheets.

Sheet 1 of 2















ARCHITECTURE & DESIGN 300 71 Street, Suite 528 Miami Beach, Fl. 33141







INSPIRATION

ENTRANCE CANOPY

STONE CLADDING

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NORTH ELEVATION



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 INITIAL PROJ. DATE
 07/12/17 17-010.00

 PROJECT
 17-010.00

 DRAWN BY
 D.L.

 REVISION
 DATE
 BY

 08-28-2017
 PACO SUBMITAL
 09-05-2017

 09-05-2017
 PACO SUBMITAL
 09-20-2017

 09-28-2017
 PRELIMINARY TAC SUBMITAL
 10-13-2017

 10-15-2017
 PRELIMINARY TAC SUBMITAL
 10-16-2017

 10-16-2017
 PRELIMINARY TAC MEETING
 10-23-2017

 10-16-2017
 PRELIMINARY TAC MEETING
 10-23-2017

 10-17-2017
 REVISION 2 AS PER TAC COMMENTS
 12-01-2017

 11-17-2017
 REVISION 3 AS PER DRAFT OF FINAL TAC COMMENTS
 12-01-2017

 11-17-2017
 REVISION 3 AS PER FINAL TAC COMMENTS
 11-17-2018

 12-04-2017
 FINAL TAC COMMENTS
 11-17-2018

 11-17-2018
 REV.4 AS PER FINAL TAC COMMENTS
 01-09-2018

 11-17-2018
 REV.5 AS PER FINAL TAC COMMENTS
 02-07-2018

 11-12-2017
 REV.5 AS PER FINAL TAC COMMENTS
 02-07-2018

 11-12-2018
 REV.7 AS PER FINAL TAC COMMENTS
 02-07-2018

 02-07-2018
 REV

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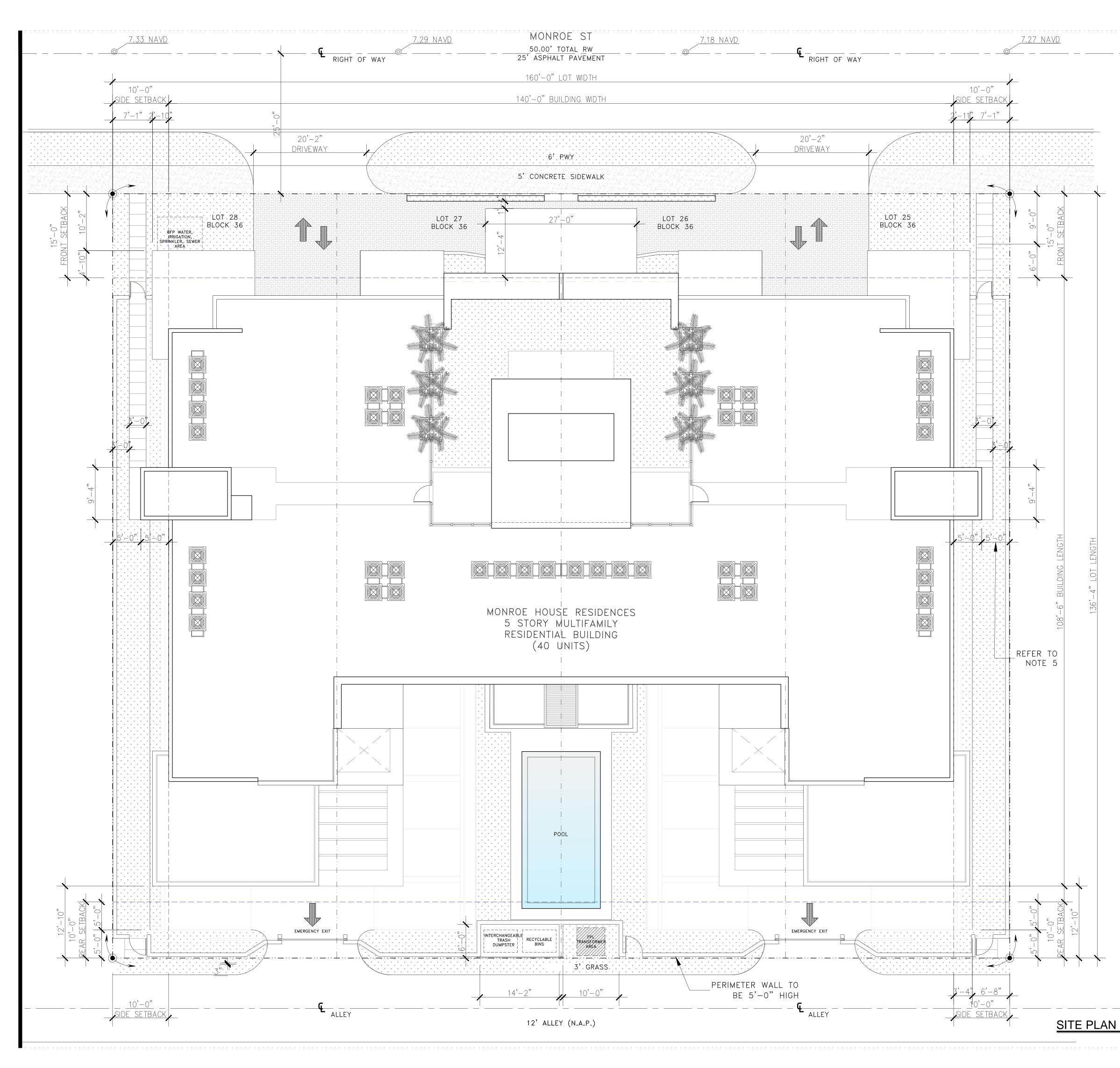
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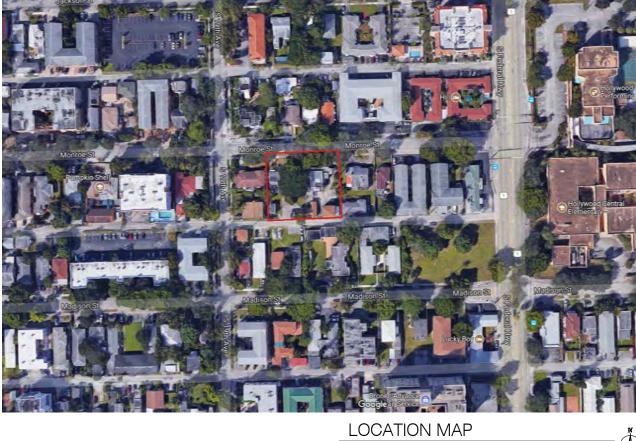
DESIGN INTENT



MONROE STREET

NOT TO SCALE





CITY OF HOLLYWOOD

SCALE: N.T.S.

LEGAL DESCRIPTION: ALL OF LOTS 25 AND 26 AND THE EAST 30 FEET OF LOT 27 IN BLOCK 36, THE WEST 10 FEET OF LOT 27 AND ALL OF LOT 28, BLOCK 36, ACCORDING TO THE PLAT THEREOF, AS RECORDER IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

LOT INFORMATION: JURISDICTION: CITY OF HOLLYWOOD / PS-2 LOT AREA 21,846 SQ.FT. 0.5 ACRES (as per ALTA Survey) FEMA INFORMATION FLOOD ZONE: X F.F.E. PROPOSED +8.83 NAVD (Per Section 154.50 of the City Code of Ordinances) PROPOSED NUMBER OF UNITS: 40 UNITS FAR: 2 X 21,846 = 43,692 SQ.FT. TOTAL FAR BUILDING PROPOSED 43,165 SQ.FT.

LAND USE & ZONING INFORMATION:

	NATION: RAC (Regional Activ			
ZONING DESIGN	ATION : PS-2 (Parkside Mediu	Im Intensity Multi-Family District)		
		ALLOWABLE	PROPOSED	
MAXIMUM BUILD	ING HEIGHT	55'-0"	51'-4"	
SETBACK	S INFORMATION			
SETBACK	S INFORMATION	REQUIRED	PROVIDED	
	S INFORMATION FRONT	REQUIRED 15'-0"	PROVIDED 15'-0"	
SETBACKS BUILDING				

OFFSTREET PARKING

PARKING	REQUIRED	PROVIDED	AREA
REGULAR (1 PER UNIT)	40	40	
ACCESSIBLE (2% OF TOTAL REQUIRED) Minimum 2	2 included in the total req.	2 (FHA Compliant)	
LIFTS	N/A	N/A	
GUESTS (1 PER 10 UNITS)	4	4	
TOTAL PARKING ON SITE	44	44	12,387 SQ.FT.

FLOOR AREA RATIO

APARTMENTS:	36,364	SQ.FT.		
LOBBY:	1,418	SQ.FT.		
MULTIPURPOSE ROOM:	752	SQ.FT.		
STAIRS, ELEVATORS, AND COMMON HALLWAYS:	4,361	SQ.FT.		
TOTAL FAR:	43,165	SQ.FT.	BUILDING AREA:	13,845 SQ.FT.

UNIT TYPE DESCRIPTION:

MINIMUM UNIT SIZE AL	LOWED PS-2 = 400 SQ.FT. / PF	ROPOSED = 712 SQ.FT. MIN		
UNIT TYPE	DESCRIPTION	INTERIOR SQ. FT.	BALCONY SQ. FT.	TOT. # UNITS
LANAI TYPE "A"	1 BEDROOM 1 BATH	714 SQ. FT.	250 SQ. FT.	2
LANAI TYPE "D"	2 BEDROOM 2 BATH	1,055 SQ. FT.	720 SQ. FT.	2
TYPE "A"	1 BEDROOM 1 BATH	714 SQ. FT.	123 SQ. FT.	6
TYPE "A1"	1 BEDROOM 1 BATH	722 SQ. FT.	105 SQ. FT.	8
TYPE "B"	1 BEDROOM 1 BATH	755 SQ. FT.	119.3 SQ. FT.	4
TYPE "C"	2 BEDROOM 2 BATH	1,059 SQ. FT.	266 SQ. FT.	8
TYPE "D"	2 BEDROOM 2 BATH	1,055 SQ. FT.	162 SQ. FT.	6
TYPE "E"	3 BEDROOM 2 BATH	1,236 SQ. FT.	119.3 SQ. FT.	4
TOTAL		36,364 SQ. FT.	7,572 SQ. FT.	40
AVERAGE UNIT SIZE		(36,364 / 40) = 909.1 SQ. FT.	DENSITY	80 UNITS PER ACRE

SCOPE OF WORK

1. NEW CONSTRUCTION OF 5 STORY MULTIFAMILY RESIDENTIAL BUILDING WITH ASSOCIATED OFF STREET PARKING (40 UNITS / 44 PKG SPACES) 2. ASSOCIATED MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND FIRE SAFETY FEATURES

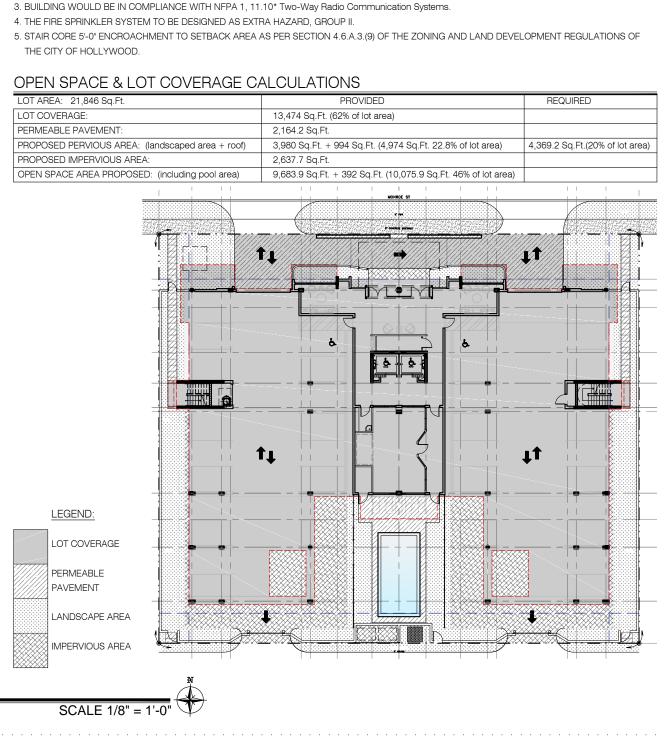
3. BUILDING AMENITIES: MULTIPURPOSE ROOM RECREATIONAL POOL

NOTE:

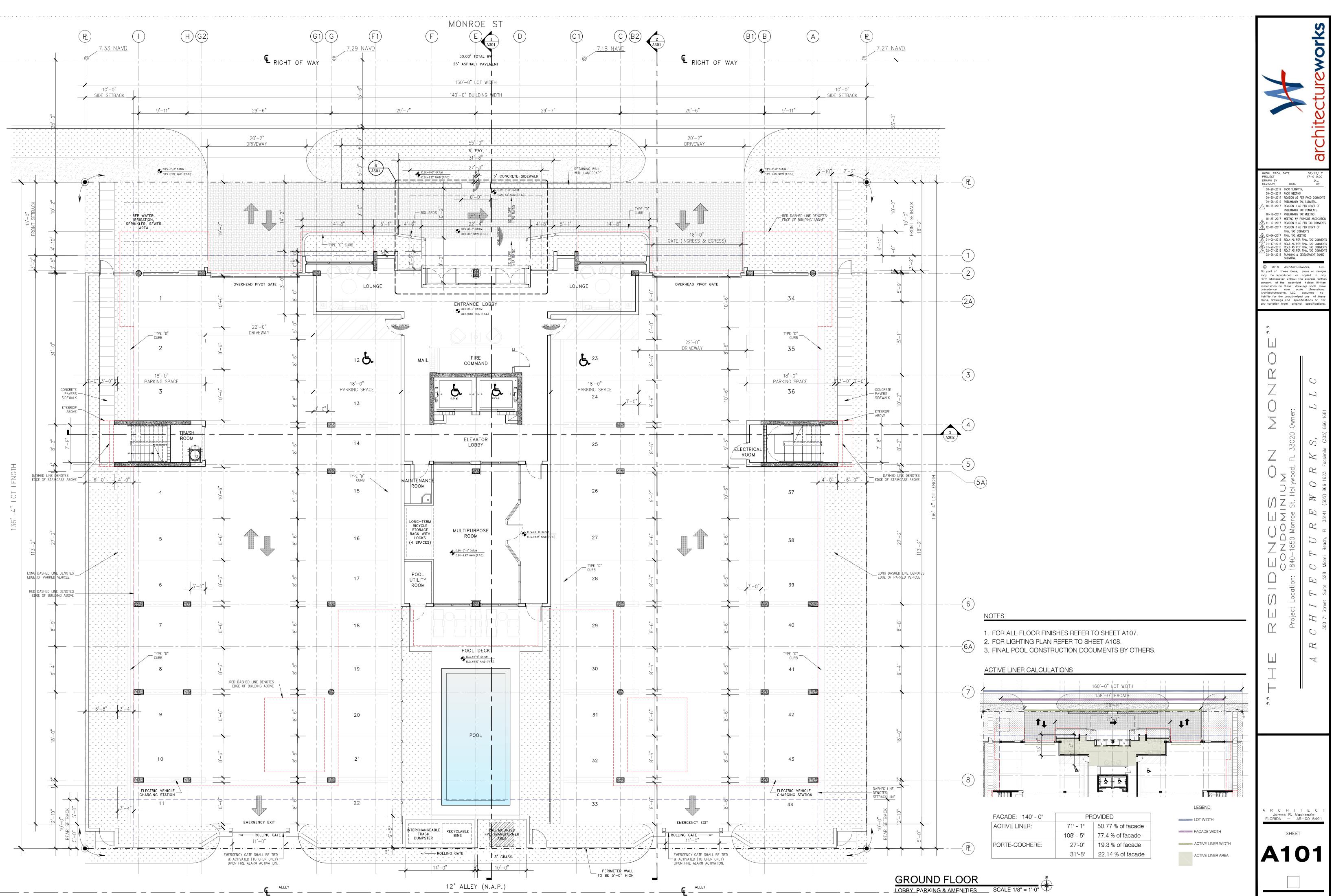
1. MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES: MAXIMUM OF 0.5 ADJACENT TO RESIDENTIAL.

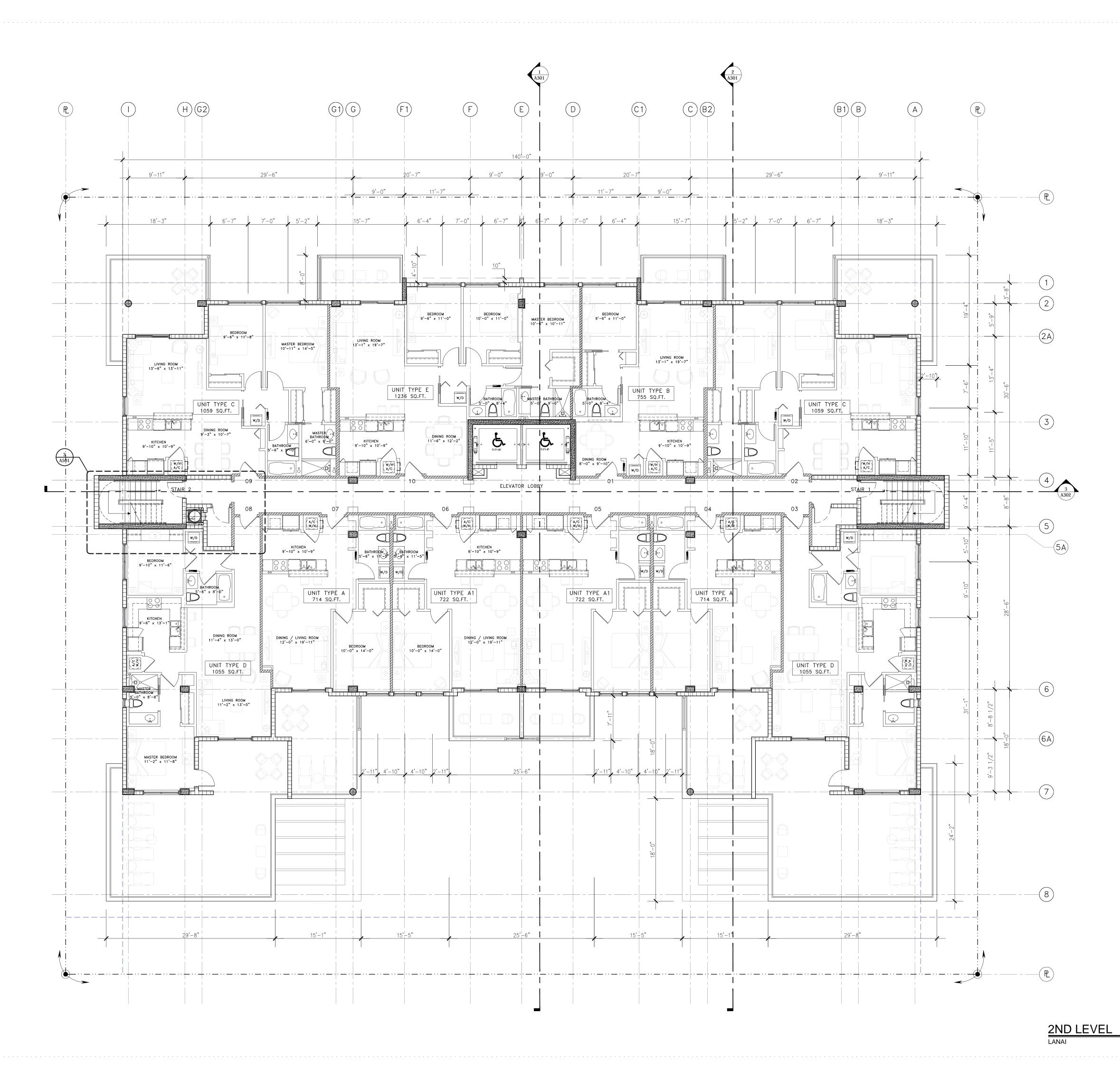
2. SIGNAGE PROPOSED SHALL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS.

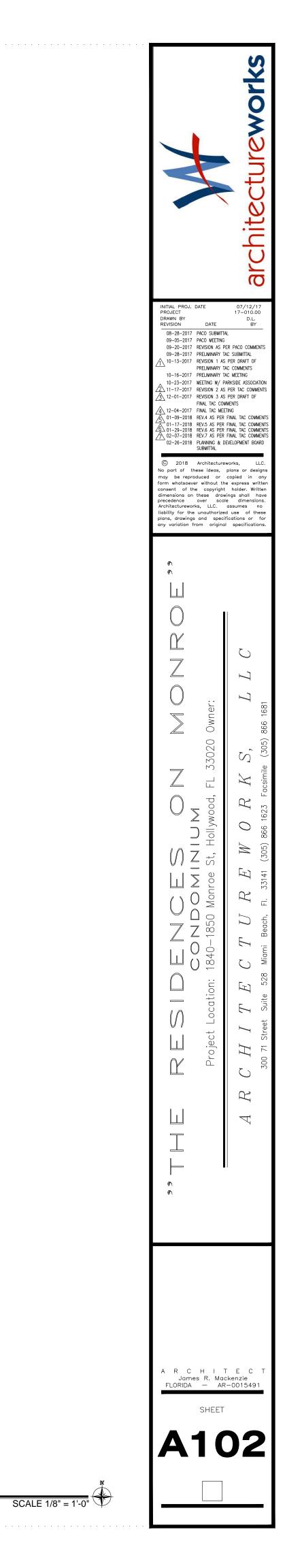
5. STAIR CORE 5'-0" ENCROACHMENT TO SETBACK AREA AS PER SECTION 4.6.A.3.(9) OF THE ZONING AND LAND DEVELOPMENT REGULATIONS OF THE CITY OF HOLLYWOOD.

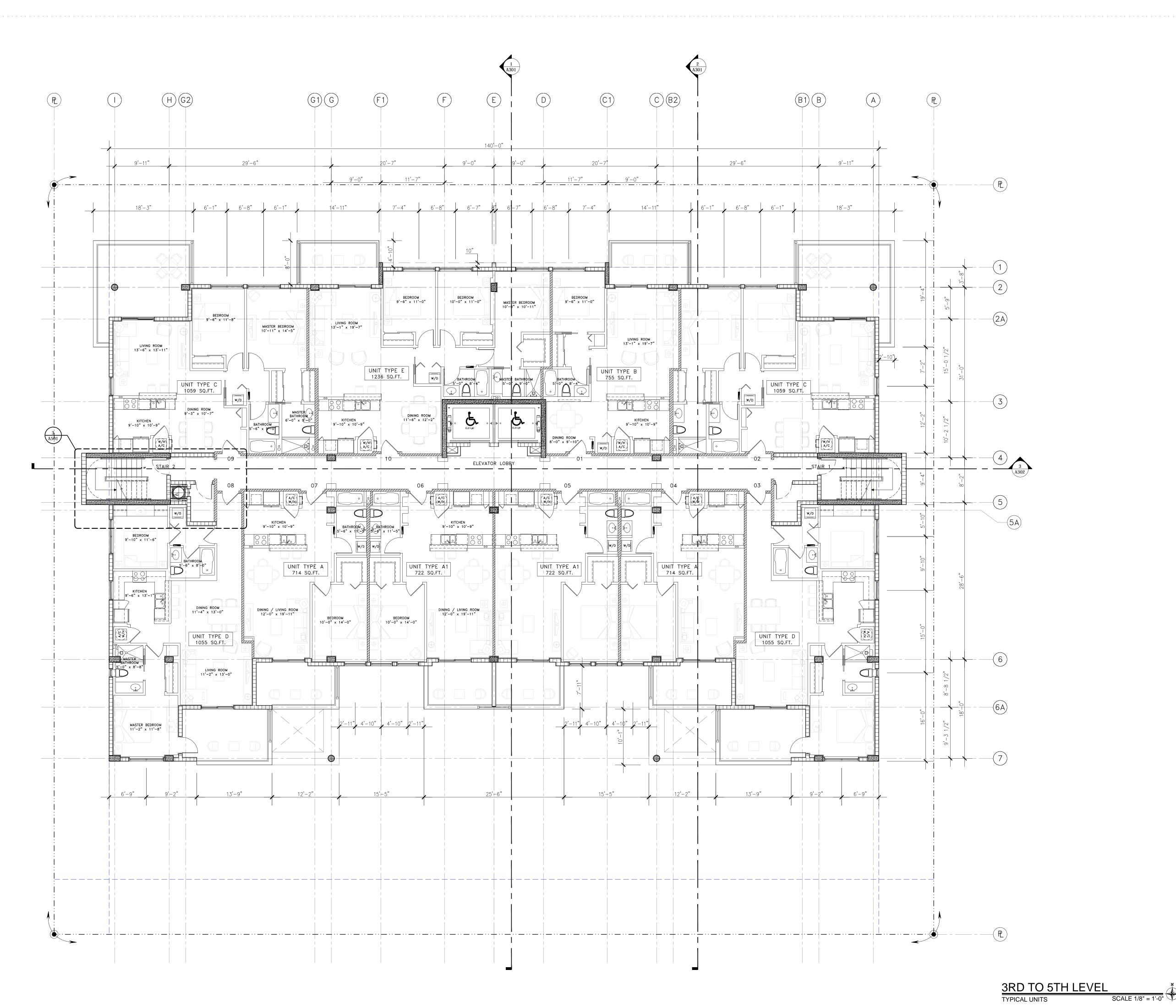


	architectureworks	
INITIAL PROJ. DATE 07/12/17 17-010.00 DRAWN BY DATE REVISION DATE 08-28-2017 PACO SUBMITAL 09-05-2017 PACO SUBMITAL 09-20-2017 REVISION AS PER PACO COMMENTS 09-20-2017 REVISION AS PER PACO COMMENTS 09-20-2017 REVISION 1 AS PER DRAFT OF PRELIMINARY TAC COMMENTS 10-15-2017 REVISION 1 AS PER DRAFT OF PRELIMINARY TAC COMMENTS 10-16-2017 REVISION 2 AS PER TAC COMMENTS 10-16-2017 REVISION 2 AS PER TAC COMMENTS 11-17-2017 REVISION 2 AS PER TAC COMMENTS 12-01-2017 REVISION 3 AS PER DRAFT OF FINAL TAC COMMENTS 12-01-2017 REVISION 2 AS PER FINAL TAC COMMENTS 01-09-2018 REV.4 AS PER FINAL TAC COMMENTS 01-17-2018 REV.6 AS PER FINAL TAC COMMENTS 02-26-2018 PLANING & DEVELOPMENT BOARD SUBMITAL ICO 2018 Architectureworks, LLC. ICO 2018 Architectureworks, LLC. No part of these ideas, plans or designs may be reproduced or copied in any form whatsoever without the express written consent of the copyright holder. Written dimensions on these drawings shall have provide the unauthorized use of these plans, drawings and specifications or for any variation from original specifications.		
³ ³ THE RESIDENCES ON MORROE ³ CONDOMINIUM Project Location: 1840–1850 Monroe St, Hollywood, FL 33020 Owner:	$A \ R \ C \ H \ I \ T \ E \ C \ T \ U \ R \ E \ W \ O \ R \ K \ S,$ $L \ L \ C \ Solution{5}{300} C \ T \ Street Suite 528 Miami Beach, Fl. 33141 (305) 866 1623 Facsimile (305) 866 1681$	
A R C H I T E C T James R. Mackenzie FLORIDA – AR-0015491 SHEET AOO3		



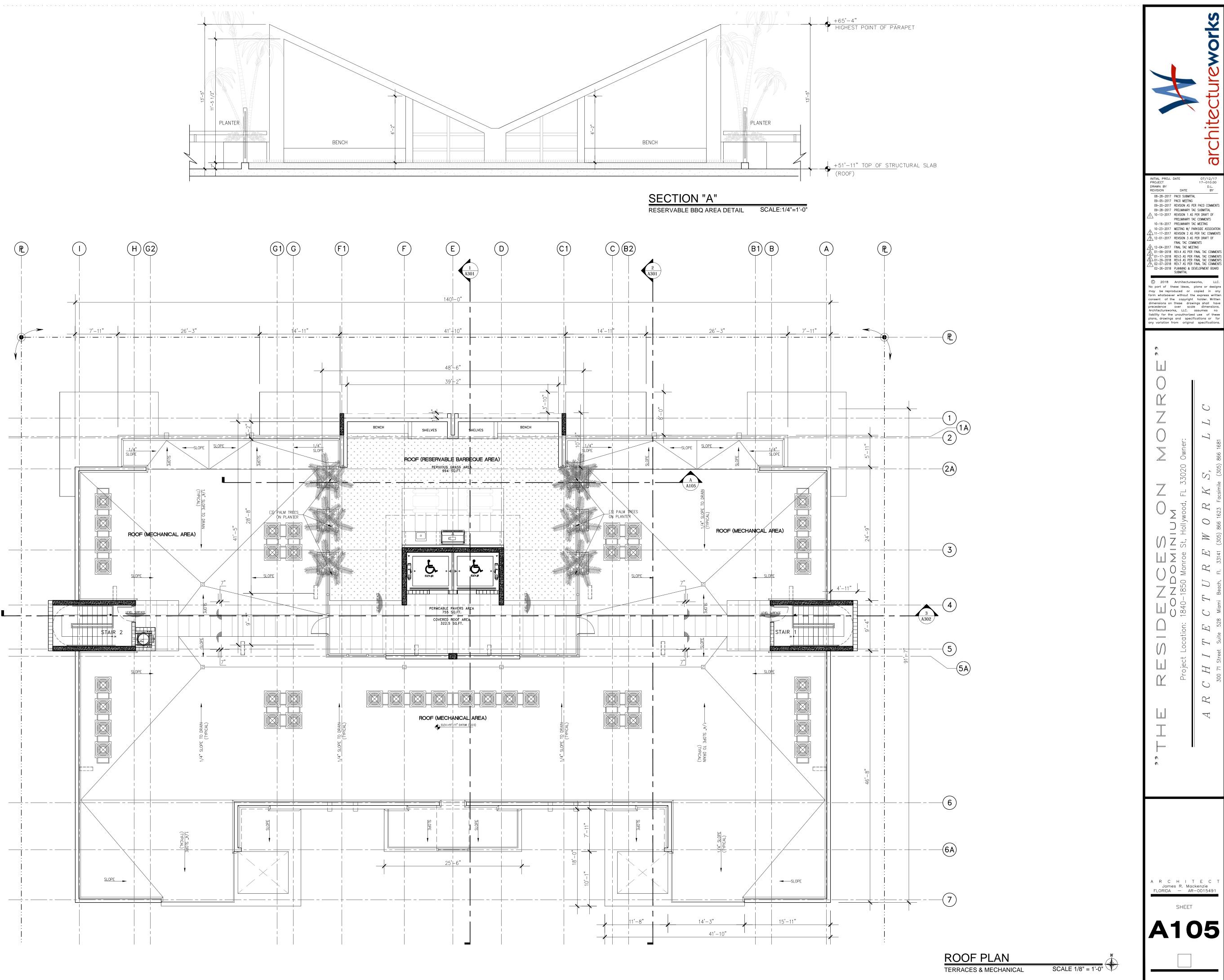


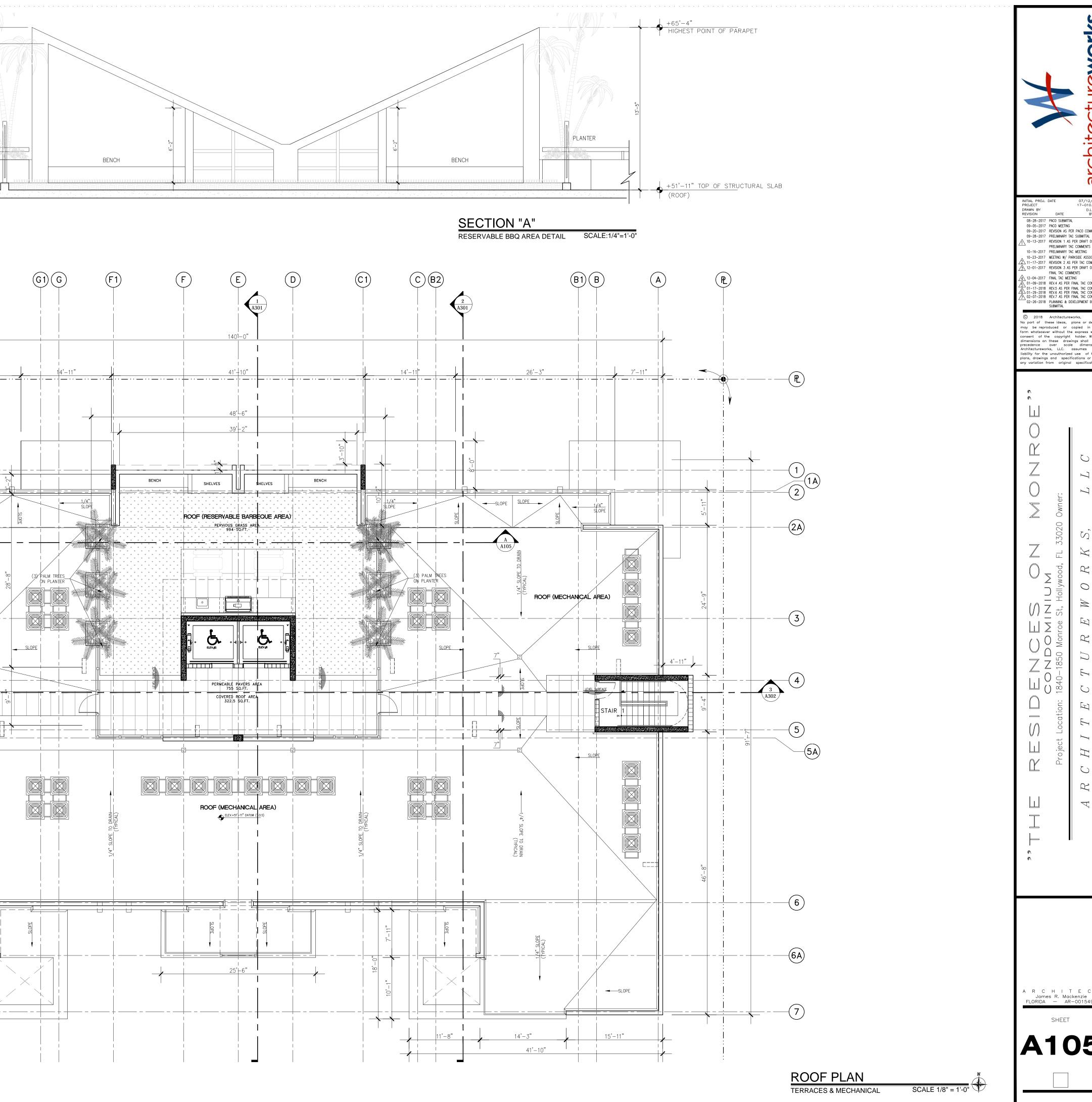


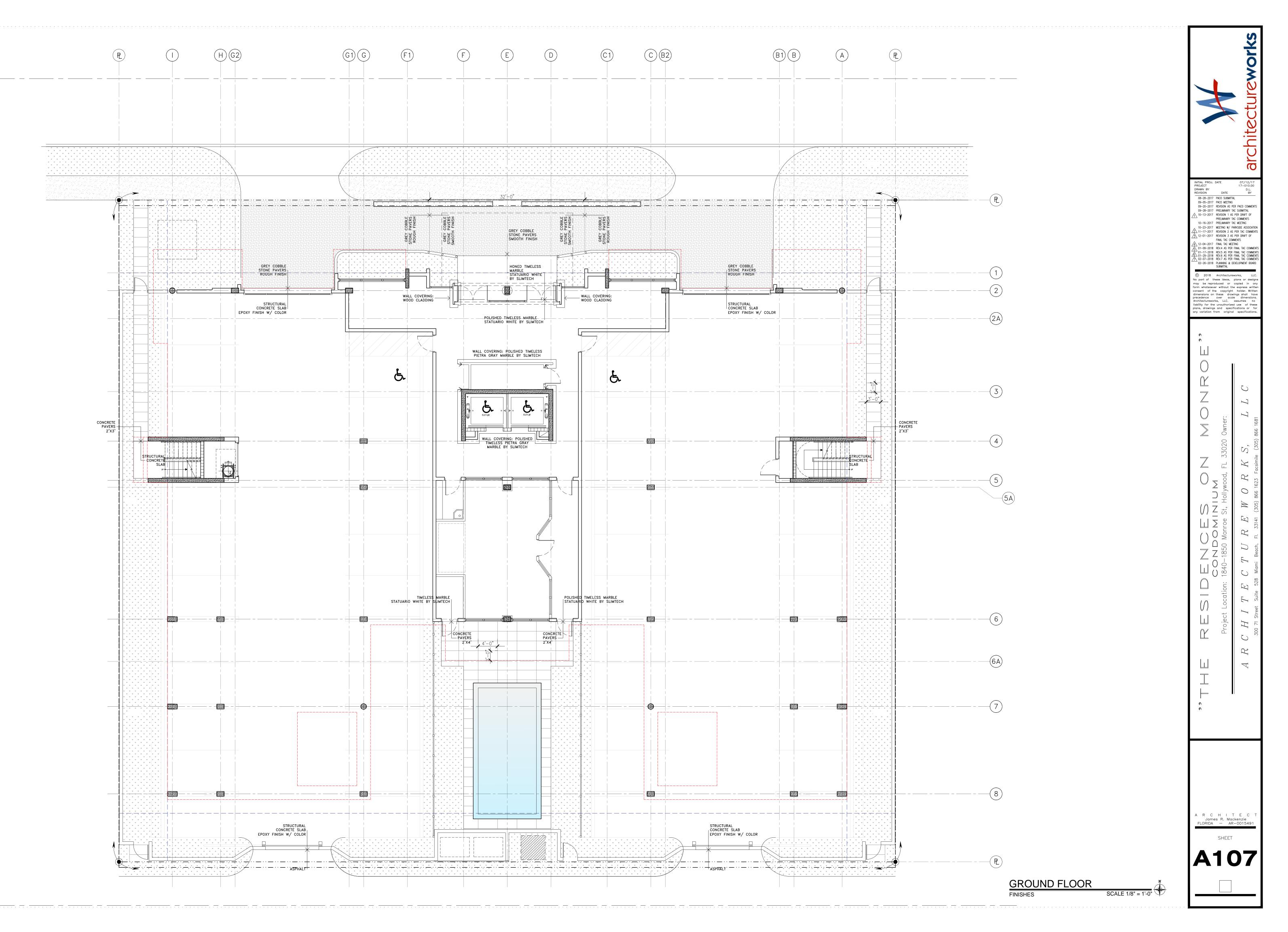


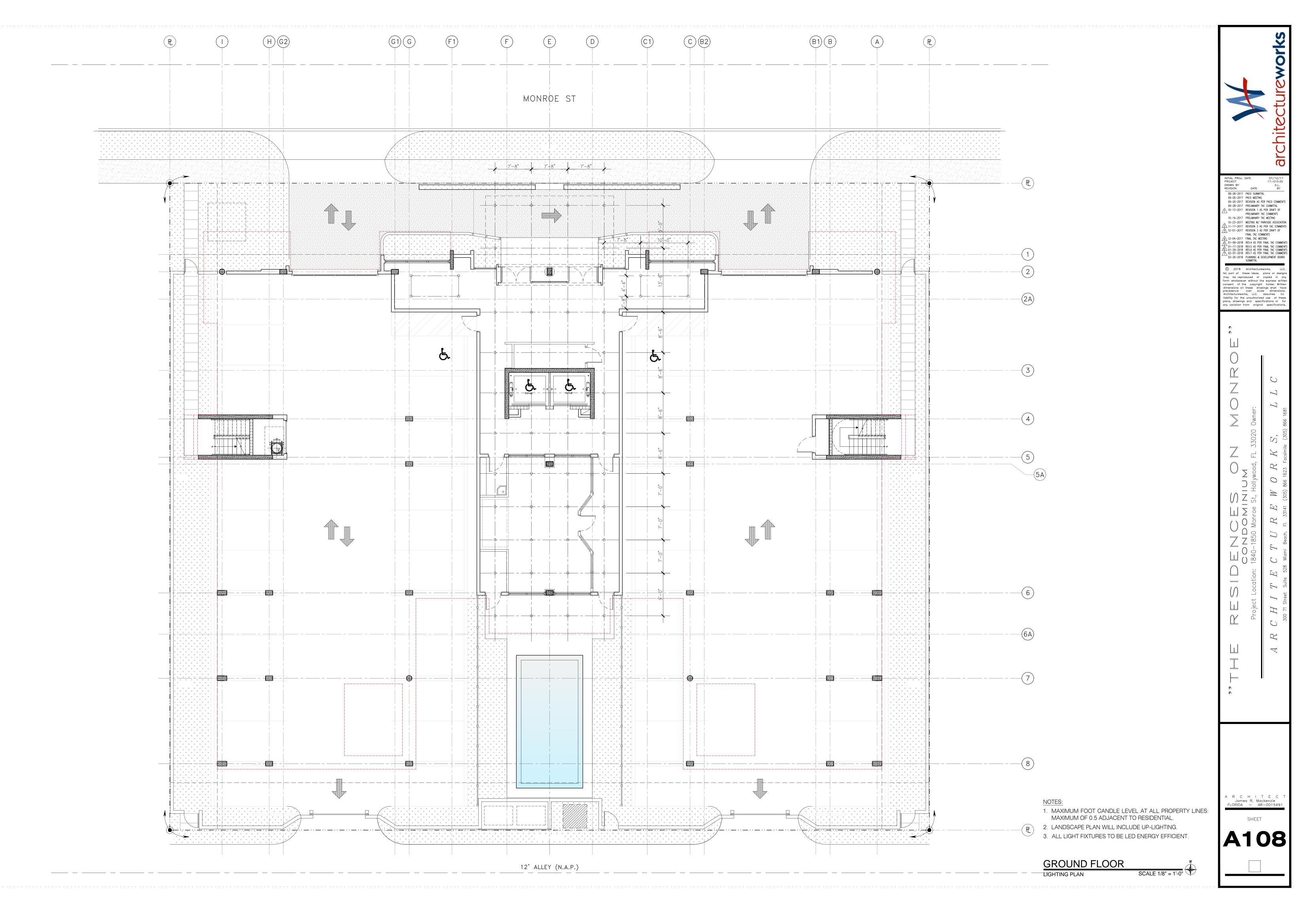
	architectureworks	
INITIAL PROJ. DATE 07/12/17 PROJECT 17-010.00 DRAWN BY D.L. REVISION DATE 08-28-2017 PACO SUBMITAL 09-05-2017 PACO METING 09-28-2017 REVISION AS PER PACO COMMENTS 09-28-2017 REVISION AS PER DRAFT OF PRELIMINARY TAC COMMENTS 10-16-2017 10-16-2017 REVISION 1 AS PER DRAFT OF PRELIMINARY TAC COMMENTS 10-16-2017 10-16-2017 REVISION 2 AS PER TAC COMMENTS 11-17-2017 REVISION 2 AS PER TAC COMMENTS 12-04-2017 RAK-YOS AS PER FINAL TAC COMMENTS 11-17-2018 REV.5 AS PER FINAL TAC COMMENTS 11-17-2018 REV.5 AS PER FINAL TAC COMMENTS 10-18 REV.5 AS PER FINAL TAC COMMENTS 11-29-2018 REV.5 AS PER FINAL TAC COMMENTS 10-28 REV.7 AS PER FINAL TAC COMMENTS 10-28-2018 REV.6 AS PER FINAL TAC COMMENTS		
*THE RESIDENCES ON MONROE" CONDOMINIUM Project Location: 1840-1850 Monroe St, Hollywood, FL 33020 Owner:	$A \ R \ C \ H \ I \ T \ E \ C \ T \ U \ R \ E \ W \ O \ R \ K \ S, \qquad L \ L \ C$ 300 71 Street Suite 528 Miami Beach, Fl. 33141 (305) 866 1623 Facsimile (305) 866 1681	
A R C H I T E C T James R. Mackenzie FLORIDA – AR-0015491 SHEET A103		

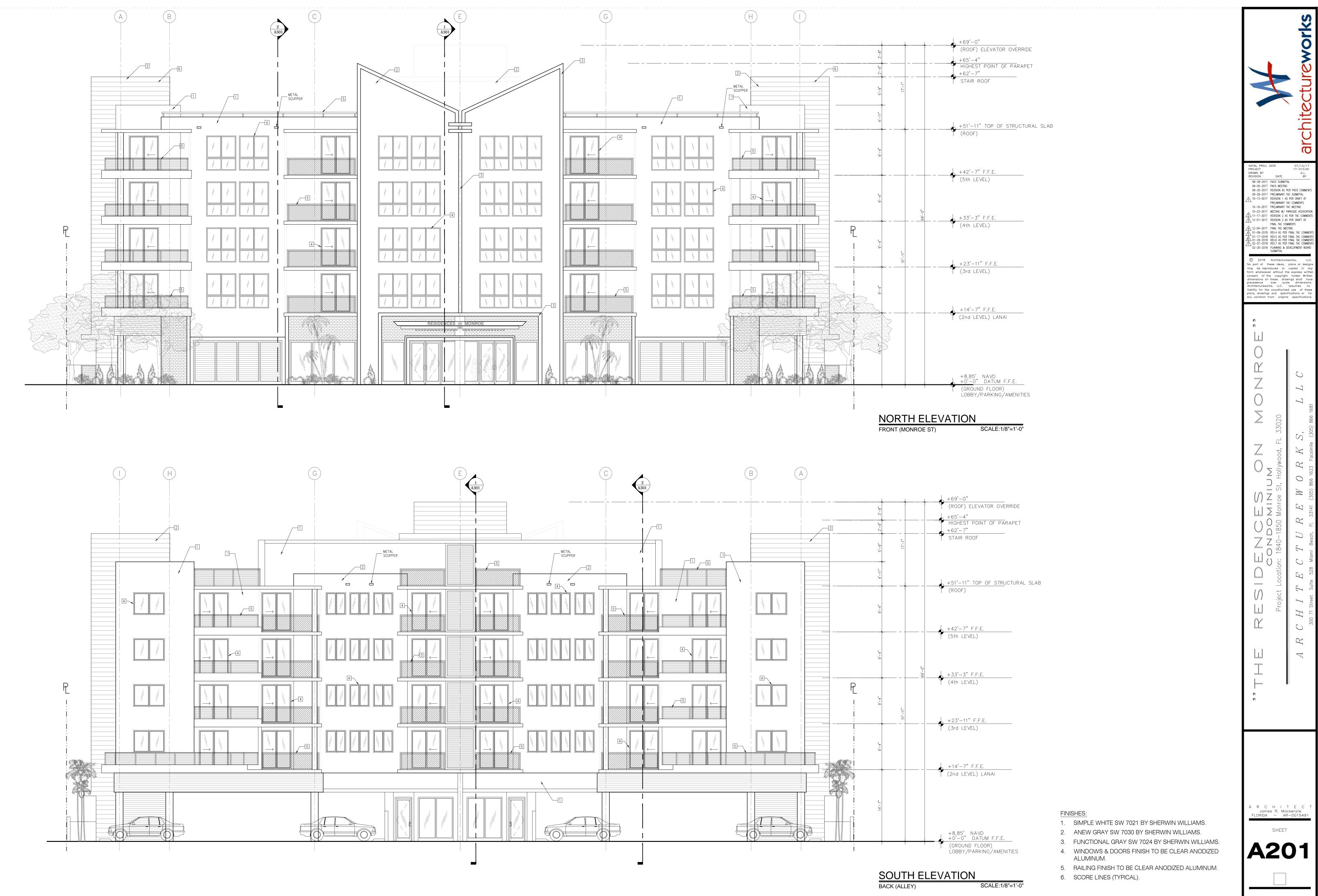




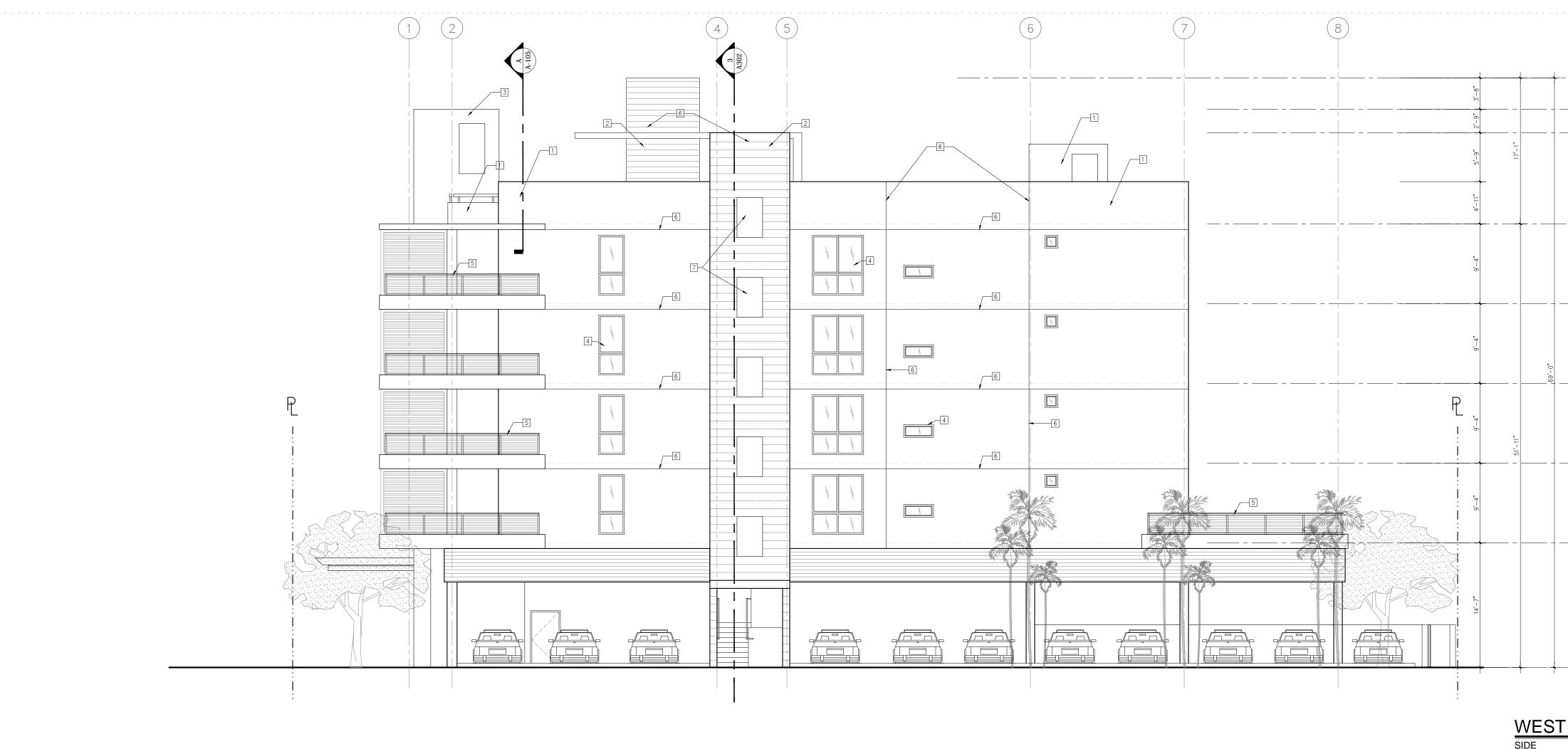


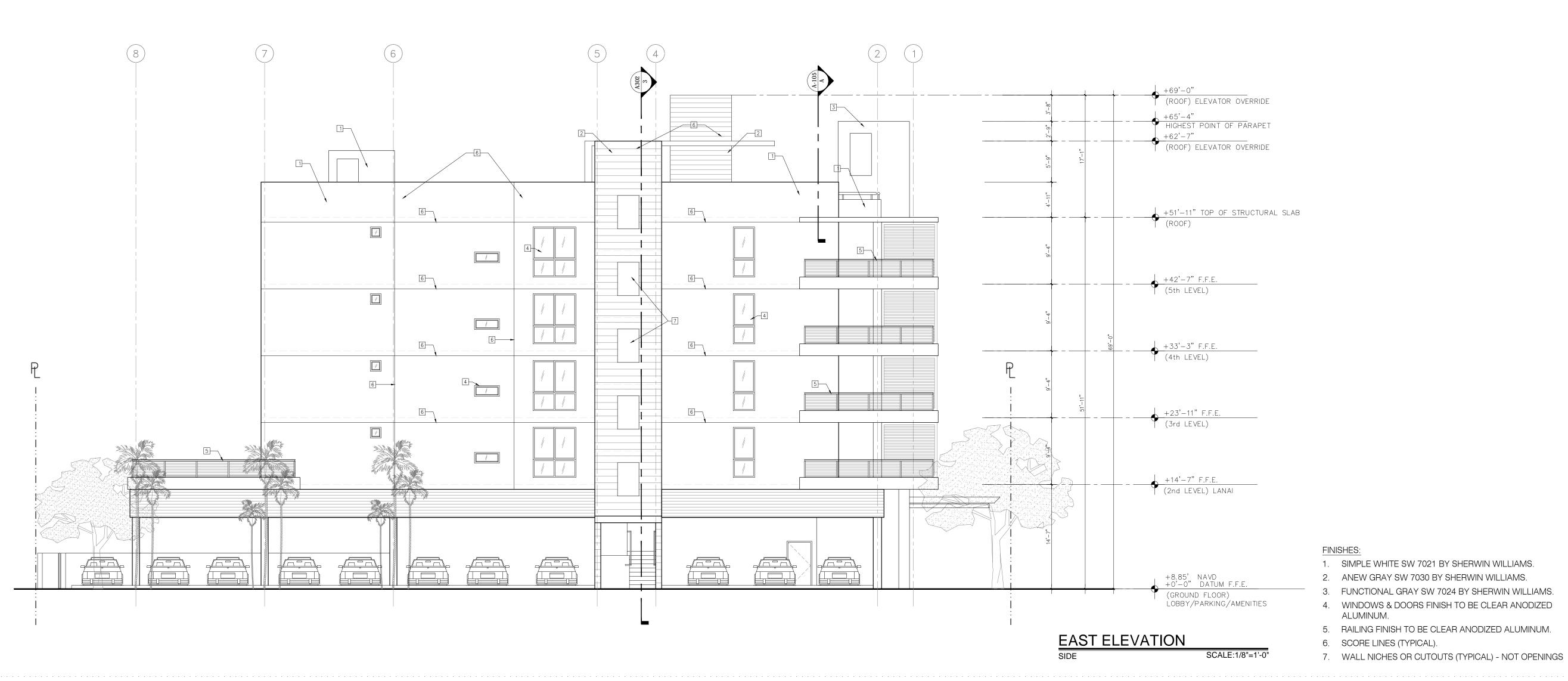


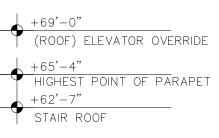










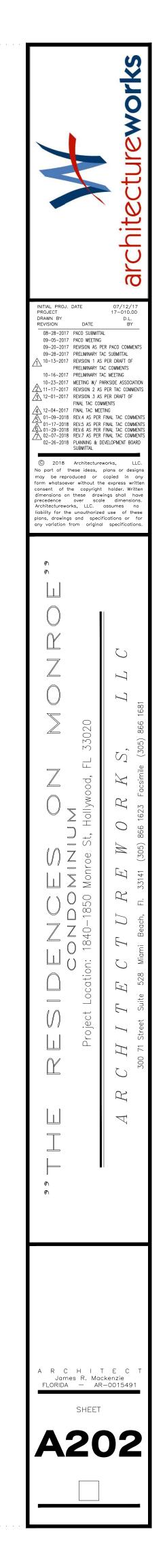


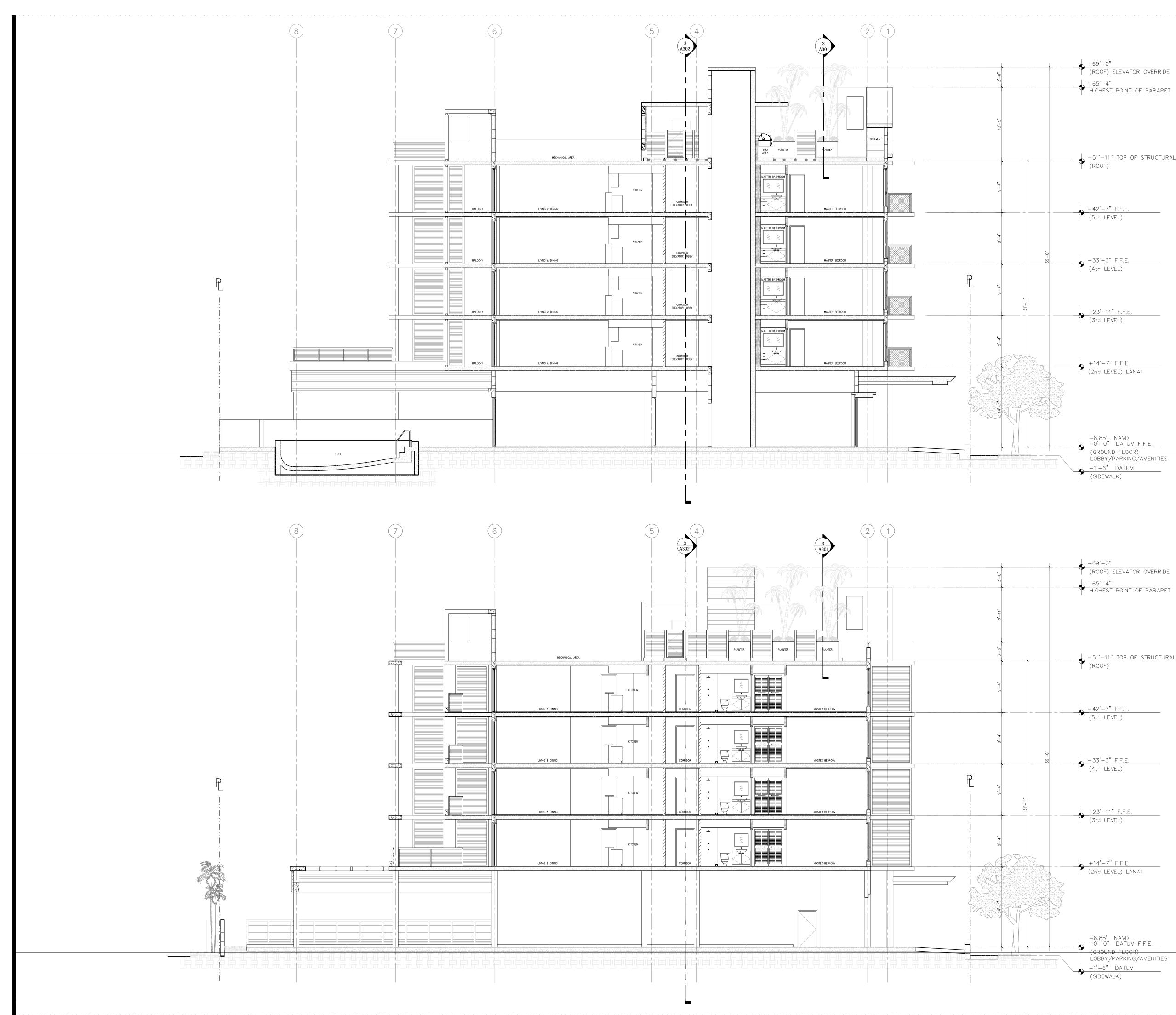
+51'-11" TOP OF STRUCTURAL SLAB (ROOF)

- +42'-7" F.F.E. (5th LEVEL)
- +33'-3" F.F.E. (4th LEVEL)
- +23'-11" F.F.E. (3rd LEVEL)
- +14'-7" F.F.E. (2nd LEVEL) LANAI
- +8.85' NAVD +0'-0" DATUM F.F.E. (GROUND FLOOR) LOBBY/PARKING/AMENITIES

WEST ELEVATION

SCALE:1/8"=1'-0"





	architectureworks
BUILDING SECTION 1 SCALE:1/8'=1'-0'	INITAL PROJ PART IN COMPARENT
BUILDING SECTION 2 SCALE:1/8"=1'-0"	A R C H I T E C T James R. Mackenzie FLORIDA – AR-0015491 SHEET A301

+51'-11" TOP OF STRUCTURAL SLAB (ROOF)

+69'-0" (ROOF) ELEVATOR OVERRIDE

+42'-7" F.F.E. (5th LEVEL)

+33'-3" F.F.E. (4th LEVEL)

+23'-11" F.F.E. (3rd LEVEL)

+14'-7" F.F.E. (2nd LEVEL) LANAI

+8.85' NAVD +0'-0" DATUM F.F.E. (GROUND FLOOR)

LOBBY/PARKING/AMENITIES -1'-6" DATUM (SIDEWALK)

+69'-0" (ROOF) ELEVATOR OVERRIDE +65'-4" HIGHEST POINT OF PARAPET

+51'-11" TOP OF STRUCTURAL SLAB (ROOF)

+42'-7" F.F.E. (5th LEVEL)

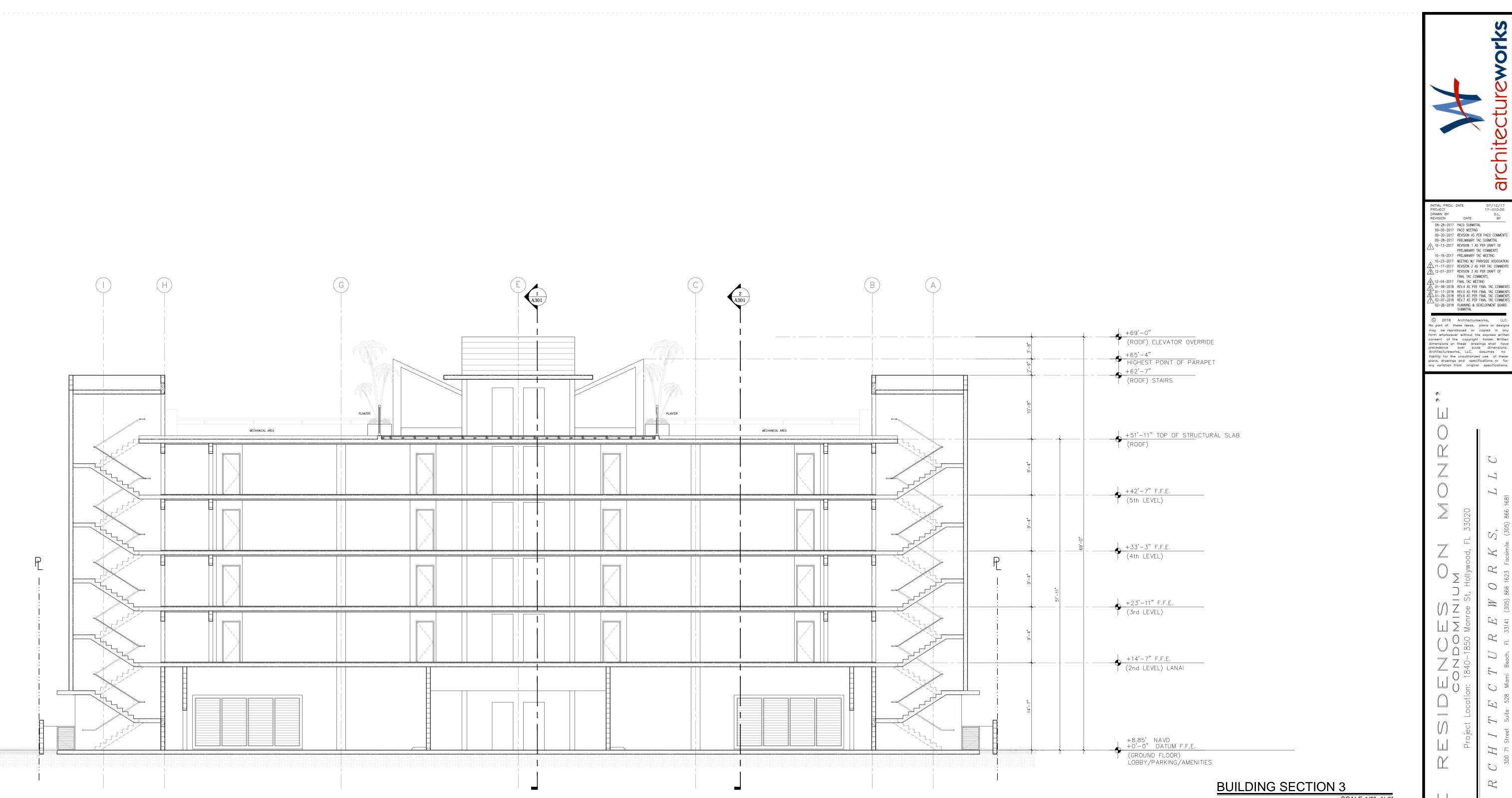
+33'-3" F.F.E. (4th LEVEL)

+23'-11" F.F.E. (3rd LEVEL)

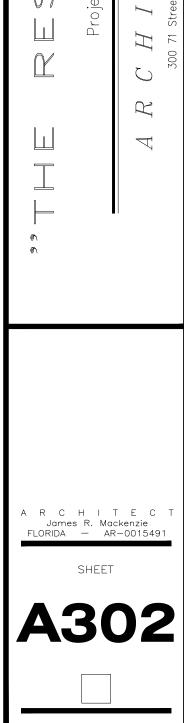
+14'-7" F.F.E. (2nd LEVEL) LANAI

+8.85', NAVD +0'-0" DATUM F.F.E. (GROUND FLOOR) LOBBY/PARKING/AMENITIES −1'−6" DATUM (SIDEWALK)

BUILDING SECTION 2 SCALE:1/8"=1'-0"

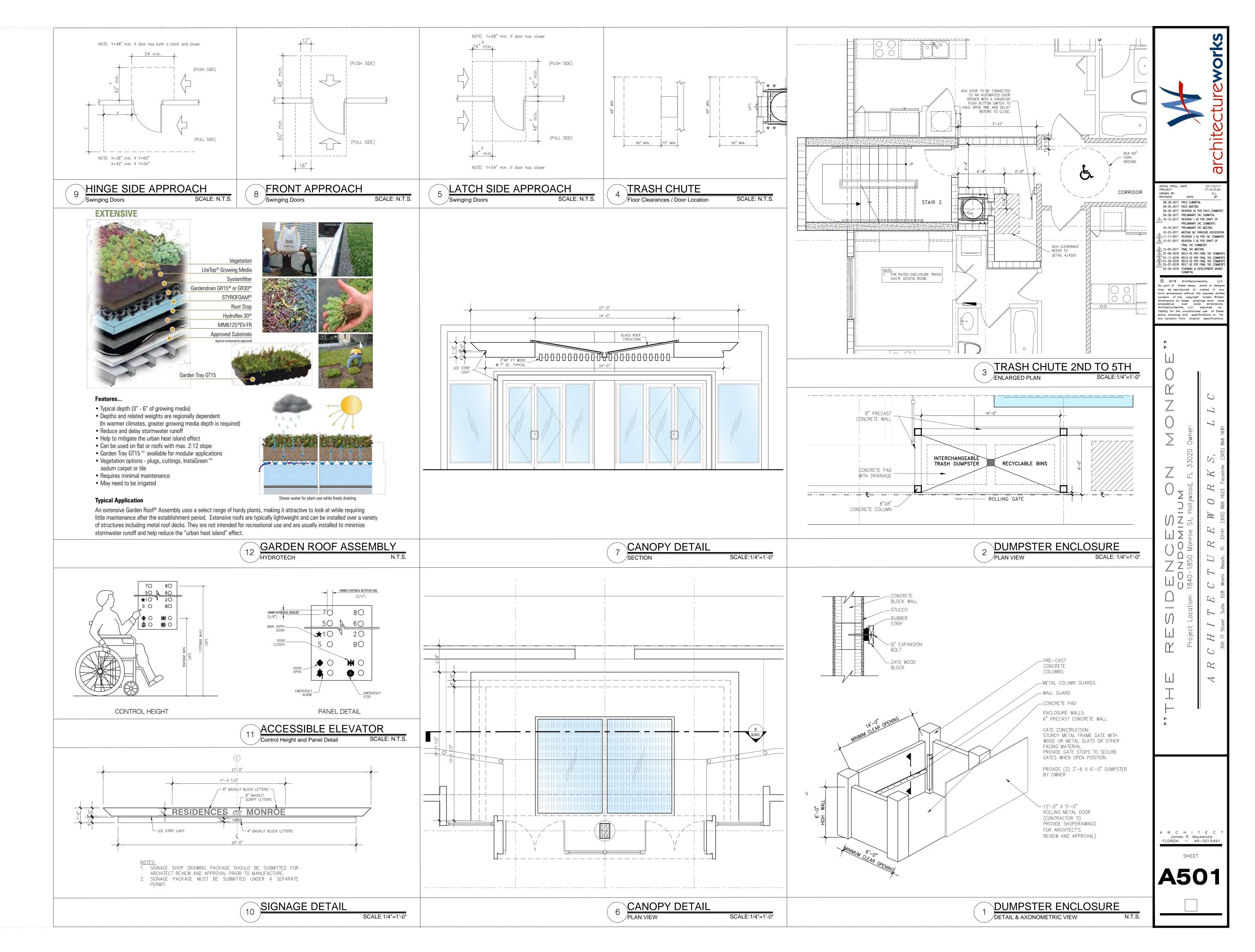


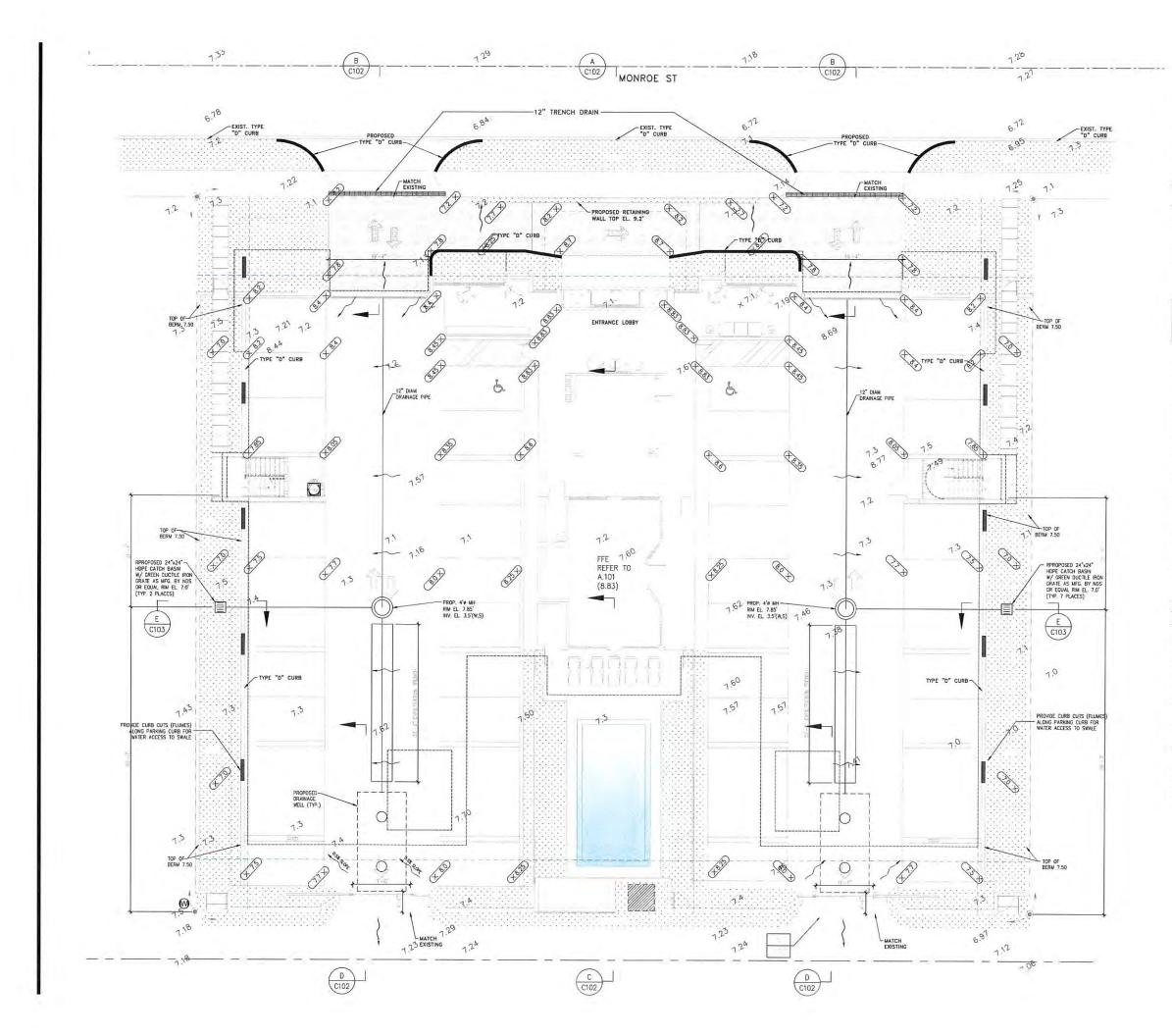
SCALE:1/8"=1'-0"



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LEGEND

EXISTING GRADE ELEVATION
PROPOSED GRADING ELEVATION
PROP FLOW DIRECTION
PROP STORM PIPE
PROP EXFILTRATION TRENCH
PROP CATCH BASIN
PROP MANHOLE
PROP DRAINAGE WALL

NOTE: THE PRESENCE OF GROUNDWATER AND LIMESTONE MAY BE ENCOUNTERED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDED CONSIDERATION FOR ADDRESSING THIS ISSUE.

EROSION AND SEDIMENTATION CONTROL NOTES

MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO MONROE. THE CONTRACTOR IS RESPONSABLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS. THE EROSION CONTROL SYSTEM DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS SHOULD BE CONSIDERED TO REPRESENT THE MINIMUM ACCEPTABLE STANDARDS FOR THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDENT UPON THE STARD OF CONSTRUCTION. THE SEVERITY OF THE RAINFALL EVENTS AND/OR AS DEEMED NECESSARY AS A RESULT OF ON-SITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES OR THE JURISDICTIONAL AUTHORITIES. THESE ADDITIONAL MEASURES SHALL BE INSTALLED AT NO ADDITIONAL COST TO THE OWNER, IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO ASSURE THAT THE STORM WATER DISCHARGE FROM THE SITE DOES NOT EXCEED THE TOLCRANCES ESTABLISHED BY ANY OF THE JURISDICTIONAL AUTHORITIES. REFERENCE THE EROSION CONTROL PLAN AND DETAILS

PROPOSED STORM SYSTEMS NOTES

- 1. ALL STRUCTURE INVERTS SHALL BE CONSTRUCTED PER F.D.O.T. INDEX 201 UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES, INCLUDING CLEAN-OUTS, SHALL BE INSTALLED WITH TRAFFIC BEARING GRATES, FRAMES, TDPS, RINGS AND COVERS, ETC, AS APPLICABLE.
- ALL PROPOSED INLET GRATES SHALL BE RETICULINES STEEL.
- 4. SEE LANDSCAPE PLAN FOR SOD/SEED & MULCH LIMITS.
- 5. HDPE PIPE TO BE DOUBLE WALL-SMOOTH INTERIOR.

GRADING & DRAINAGE PLAN

LOBBY, PARKING & AMENITIES

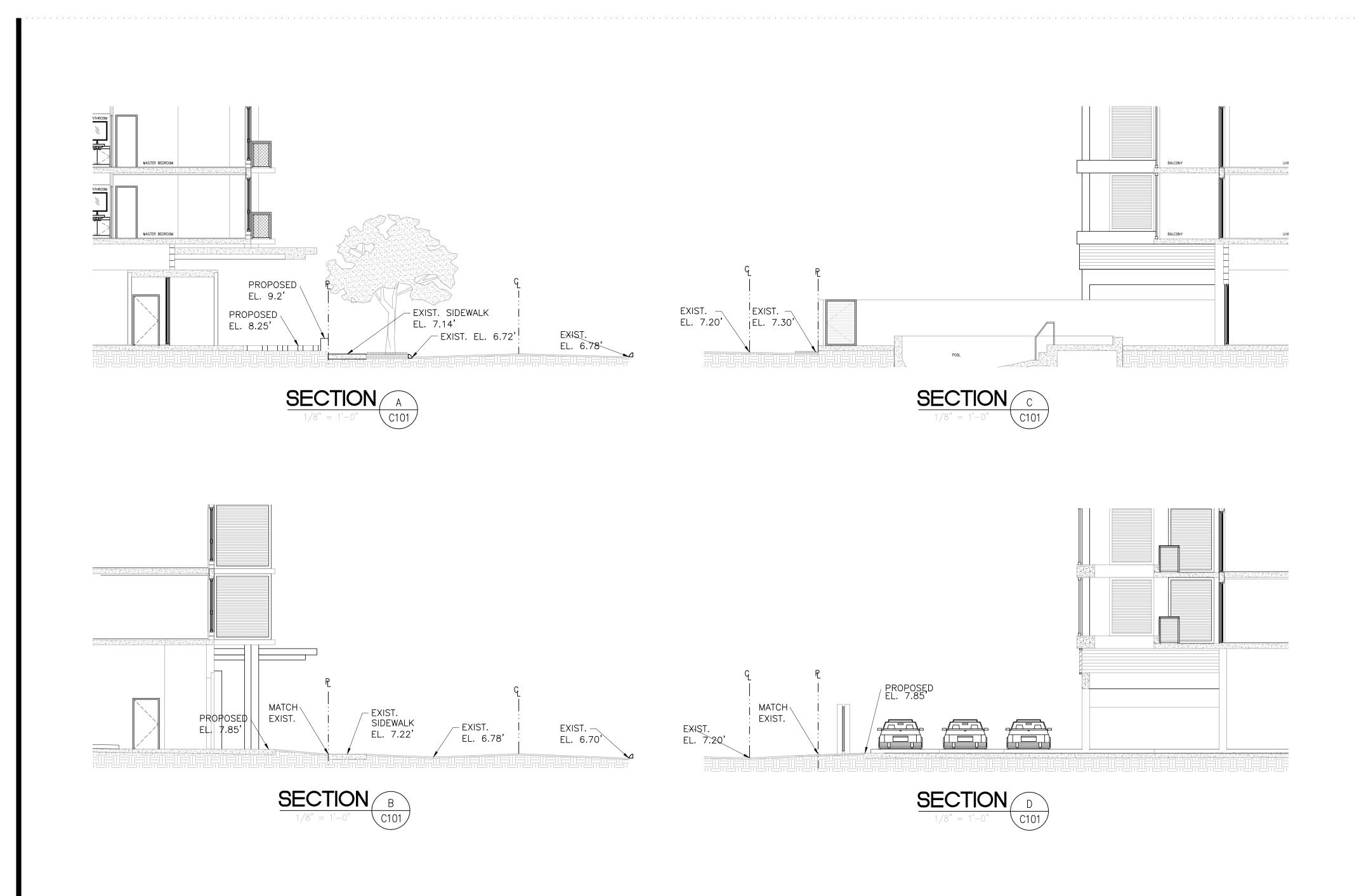
SCALE 1/8" = 1'-0"

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NOTE:

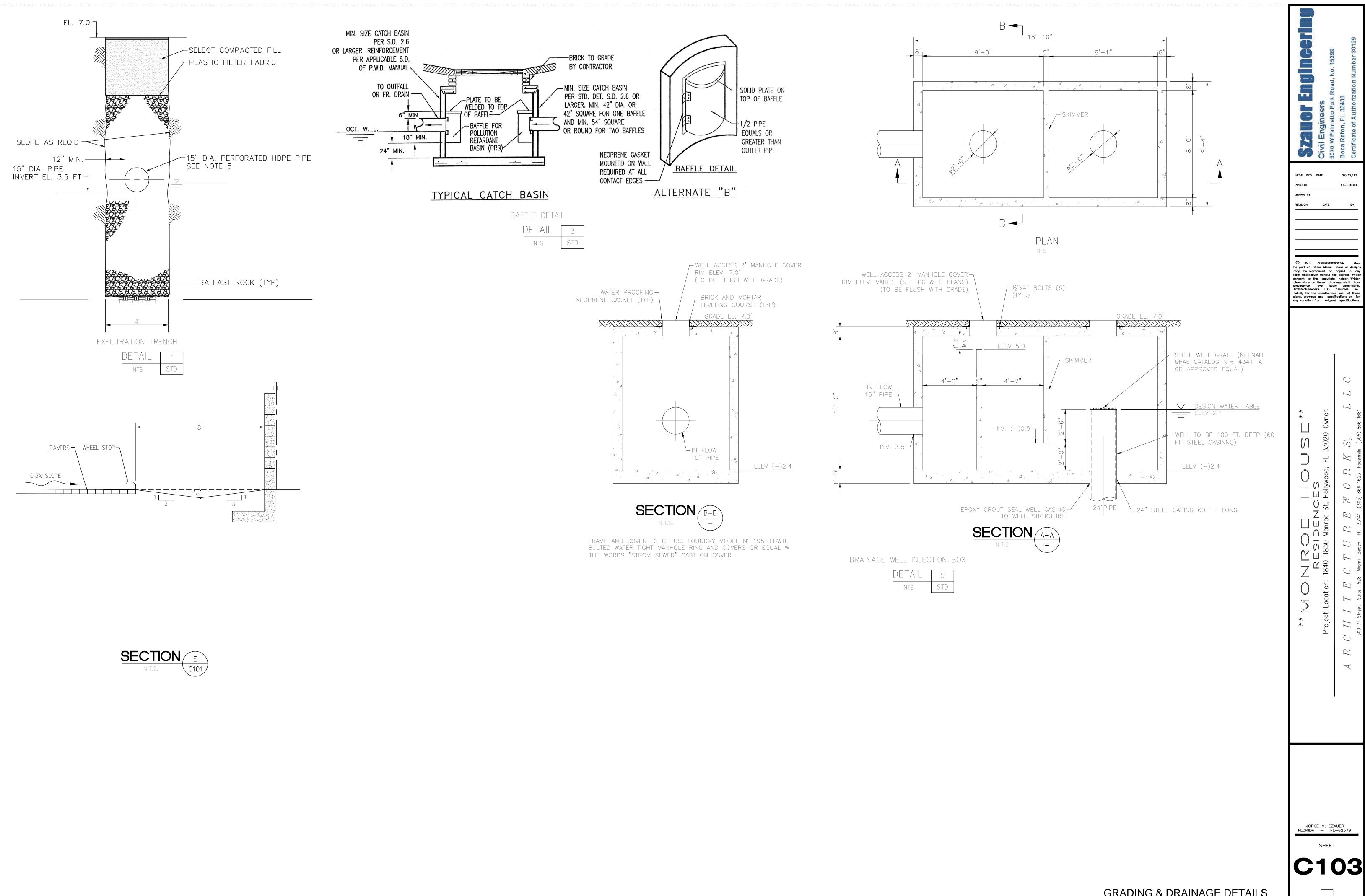
PROPOSED ELEVATIONS ARE RELATIVE TO NAVD. NAVD = NGVD - 1.6'

* MONROE HOUSE * RESIDENCES Project Location: 1840-1850 Monroe St, Hollywood, FL 33020 Owner: HITECTURE WORKS, LLC 90 A1 Street. State Scale Work 11, 1311 (203) 866 1821



JOR(FLORIDA	Architecturewo liability for the plans, drawing any variation t	© 2017 No part of ti may be repri- form whatsoev consent of ti dimensions on precedence	Szauer Engineering
	rks, LLC. e unauthorize s and speci	oduced or er without th he copyright	Civil Engineers 5070 W Palmetto Park Road, No. 15399
	assumes ed use of t ifications or	plans or de copied in ne express w t holder. Wi	L 33433
	no hese for	LLC. signs any rritten	Certificate of Authorization Number 20128

GRADING & DRAINAGE SECTIONS LOBBY, PARKING & AMENITIES SCALE 1/8" = 1'-0"



IAIL	5
NTS	STD

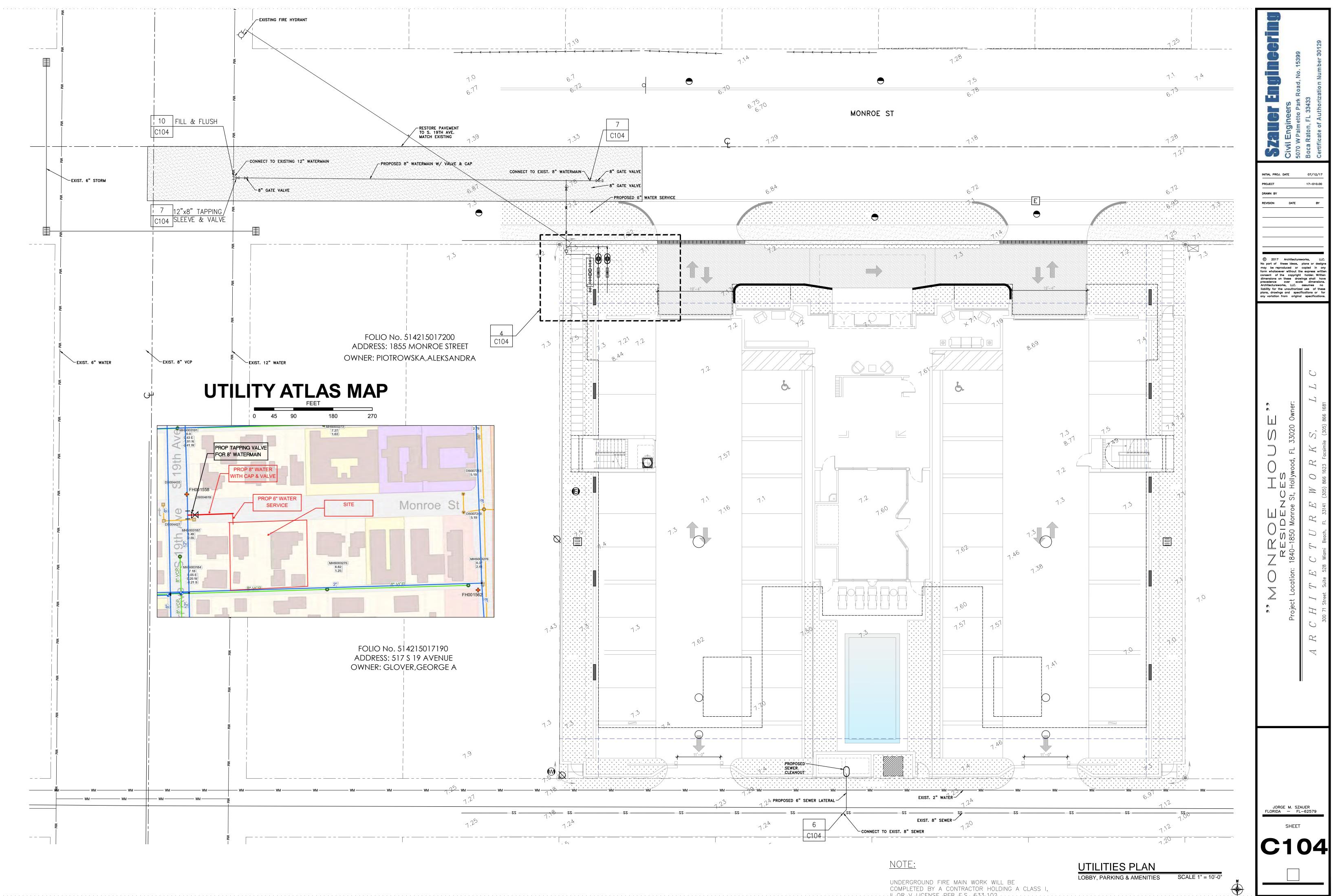
B S C C 07/12/17 INITIAL PROJ. DATE 17-010.00 DATE BY © 2017 Architectureworks, LLC. No part of these ideas, plans or designs may be reproduced or copied in any form whatsoever without the express written consent of the copyright holder. Written dimensions on these drawings shall have precedence over scale dimensions. Architectureworks, LLC. assumes no liability for the unauthorized use of these plans, drawings and specifications or for any variation from original specifications. \mathcal{O} \mathbb{C} Ш \leq ()ШШ \cap 0 -Щ \neg R ∇ JORGE M. SZAUER FLORIDA — FL-62579

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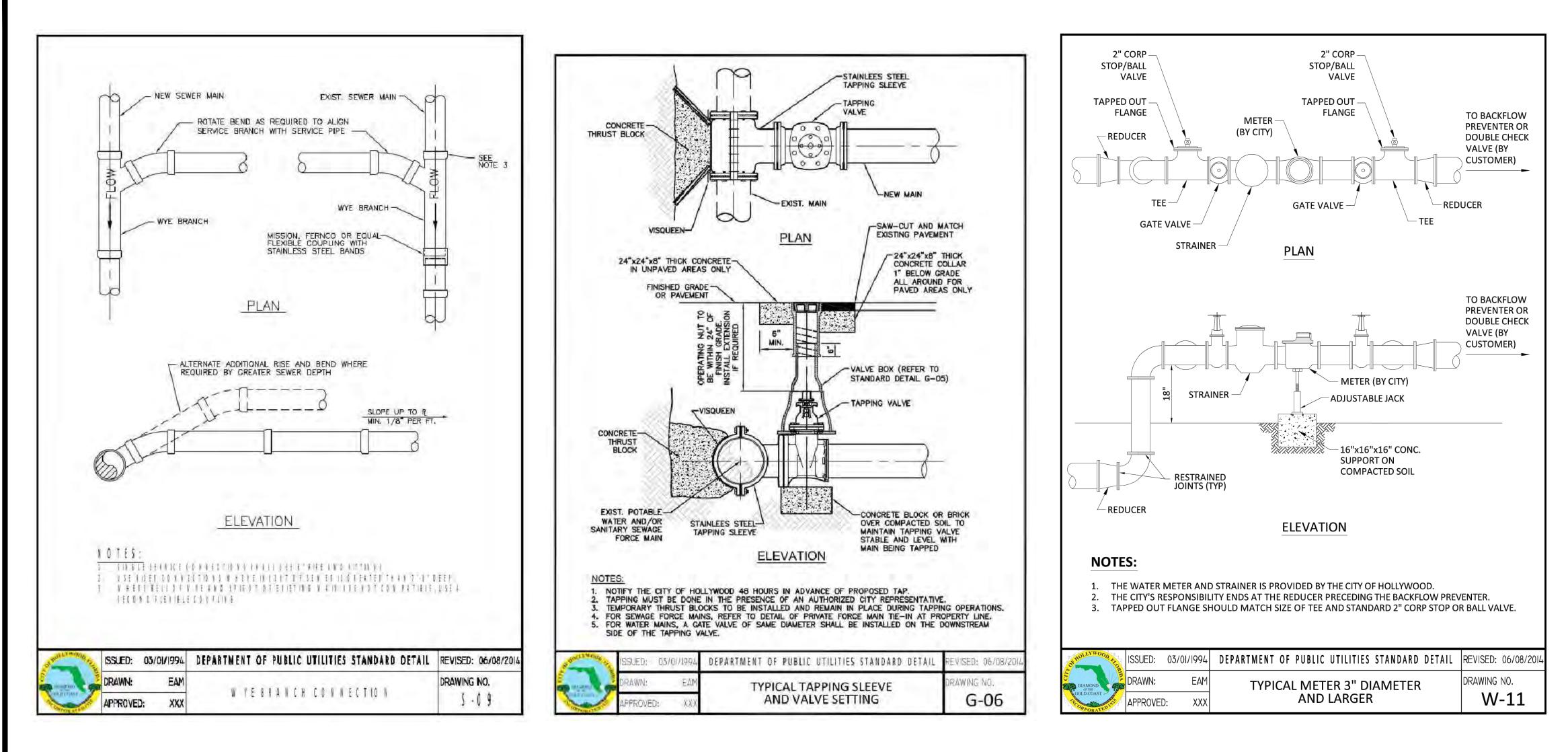
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GRADING & DRAINAGE DETAILS LOBBY, PARKING & AMENITIES SCALE: AS NOTED

T



HORVELICENSE PER F.S. 633.102.



WYE	BRANCH	CONN	IECTION	
		A 11		

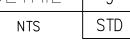
DETAIL 6 NTS STD

Waste Water Generation									
Use	Quantity	Quantity Generation Rate* ERU Demand							
Proposed	Proposed								
Residential									
One Bedroom	20	100 GPD	6.35	2,000 GPD					
Two Bedroom	16	200 GPD	10.16	3,200 GPD					
Three Bedroom	4	300 GPD	3.80	1,200 GPD					
Pool	25 person capacity	2 gal/person	0.16	50 GPD					
		Total Proposed	21 ERU @ 315 GPD	6,615 GPD					

Potable Water Consumption								
Use	Quantity	Generation Rate*		Demand				
Proposed								
Residential								
One Bedroom	20		6.35	2,225 GPD				
Two Bedroom	16		10.16	3,555 GPD				
Three Bedroom	4		3.80	1,330 GPD				
Pool	25 person capacity		0.16	55 GPD				
	340 ERU @ 350 GPD	Total Proposed	21 ERU @ 350 GPD	7,350 GPD				

* As per the Florida Administrative Code: Chapter 64E-6.008 Table I for System Design, ESTIMATED SEWAGE FLOW. ERU = Equivalent Residential Unit





INSTALL 8"x6" REDUCER —

SIAMESE FIRE DEPT. CONN.-

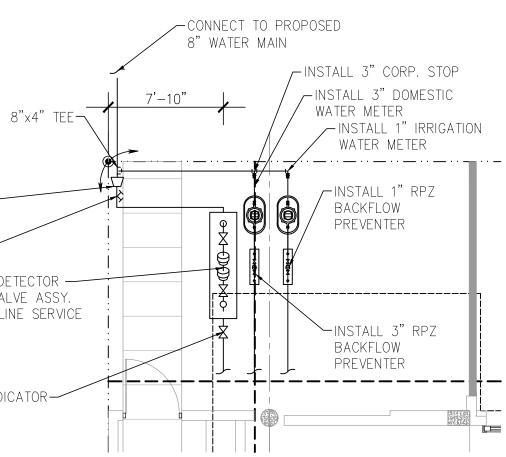
6" DBL. DETECTOR — CHECK VALVE ASSY. FOR FIRELINE SERVICE

6" POST INDICATOR-VALVE (PIV)

TAP SLEEVE AND VALVE

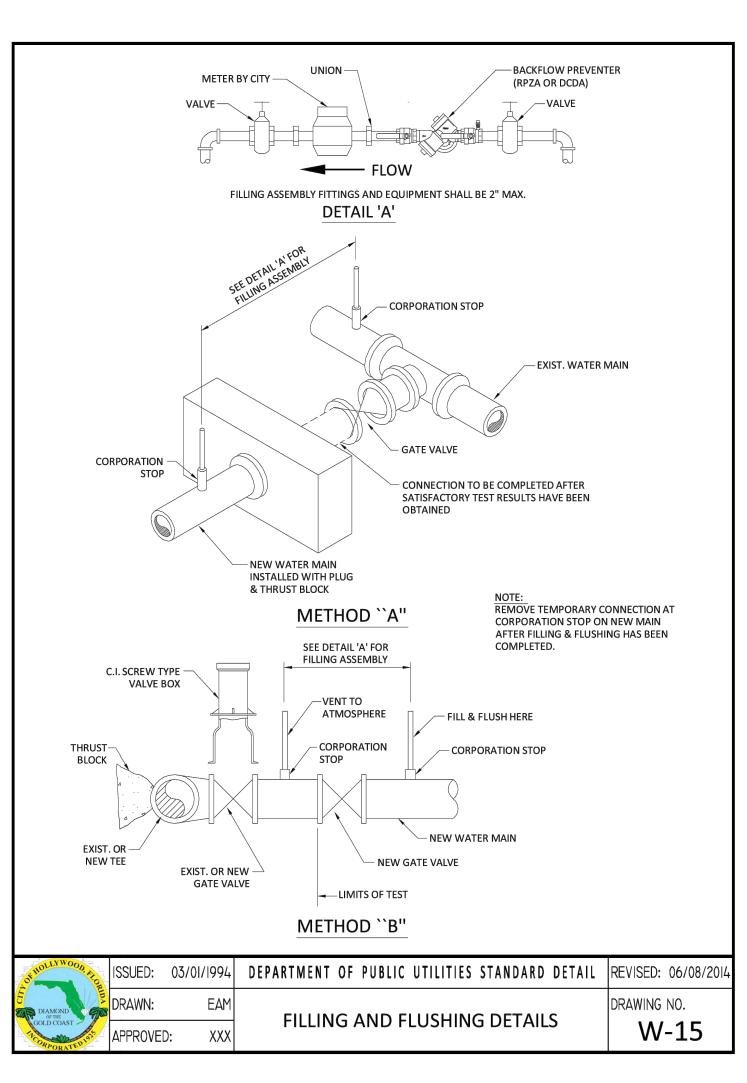
DETAIL 7 STD NTS

WATER METER	2
DETAIL	8
NTS	STD

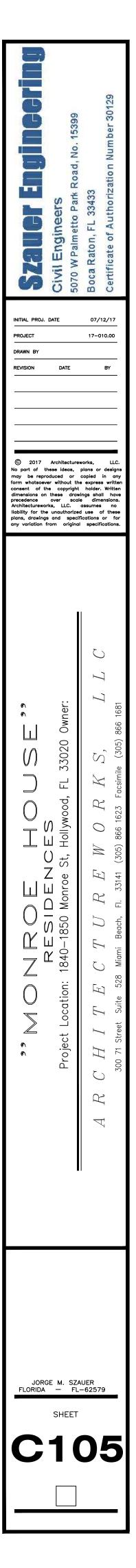


UNTILITIES CONNECTION

DETAIL	4
NTS	STD

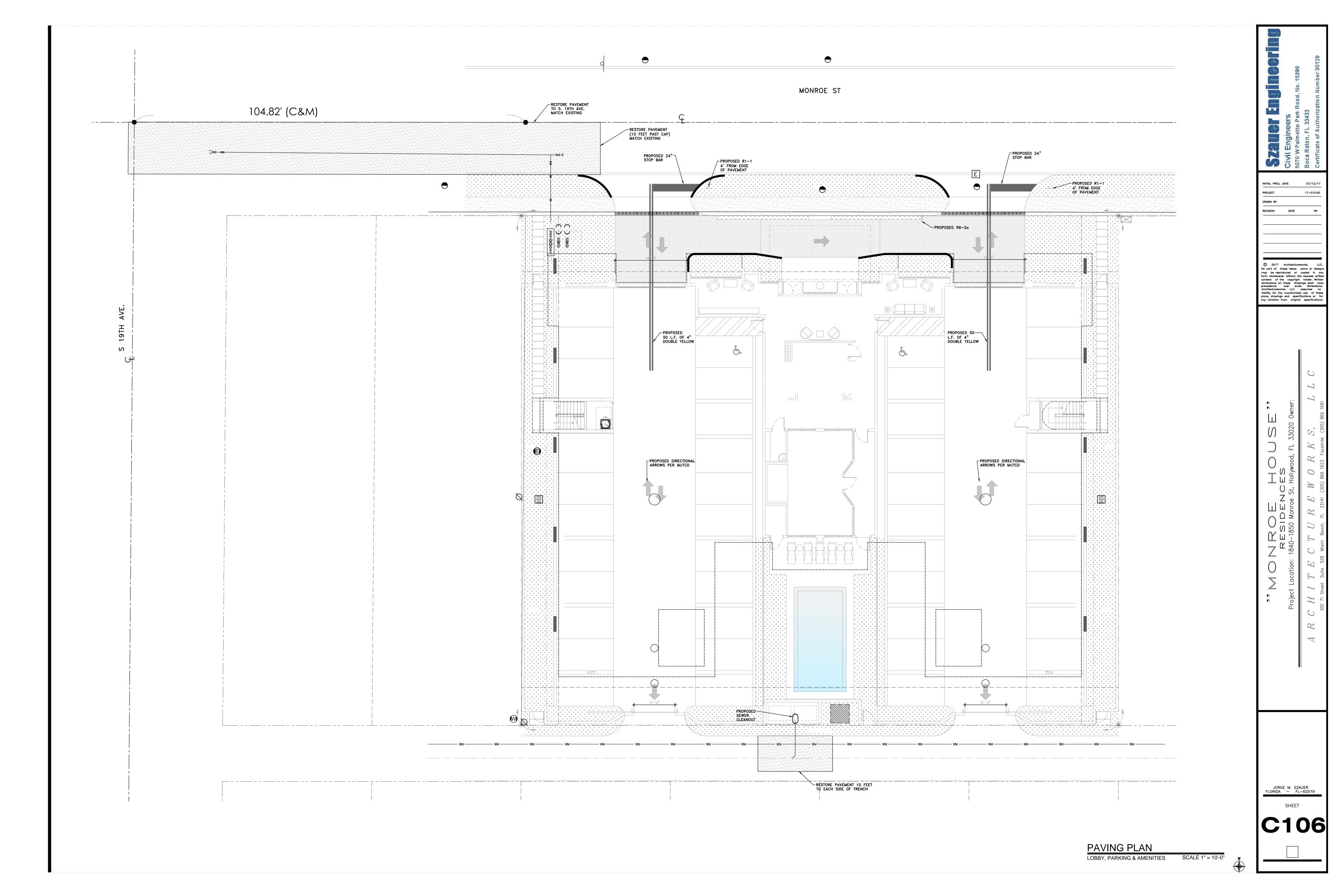


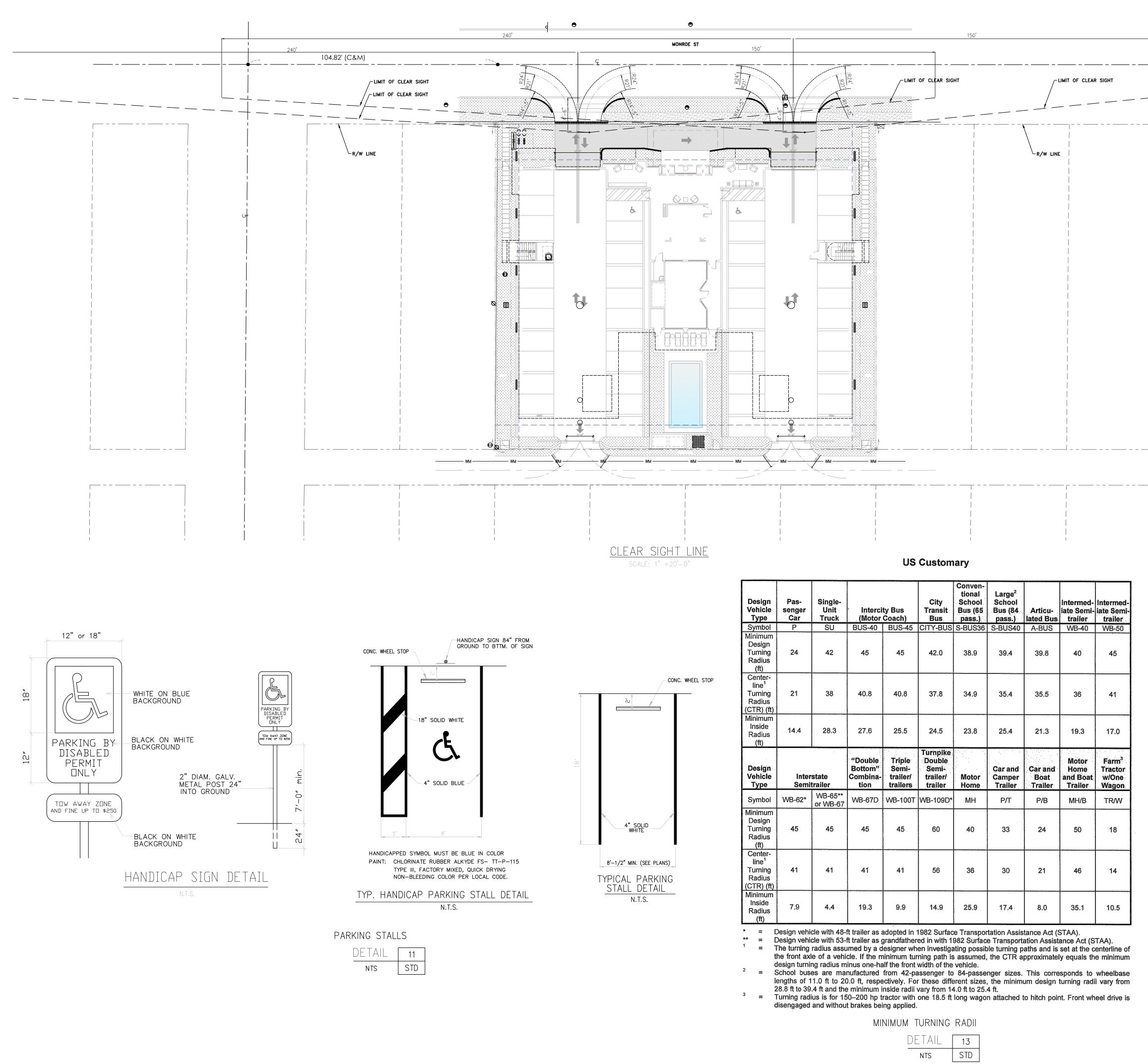
FILL & FLUSH	1
DETAIL	10
NTS	STD



UTILITIES DETAILS

LOBBY, PARKING & AMENITIES SCALE: AS NOTED

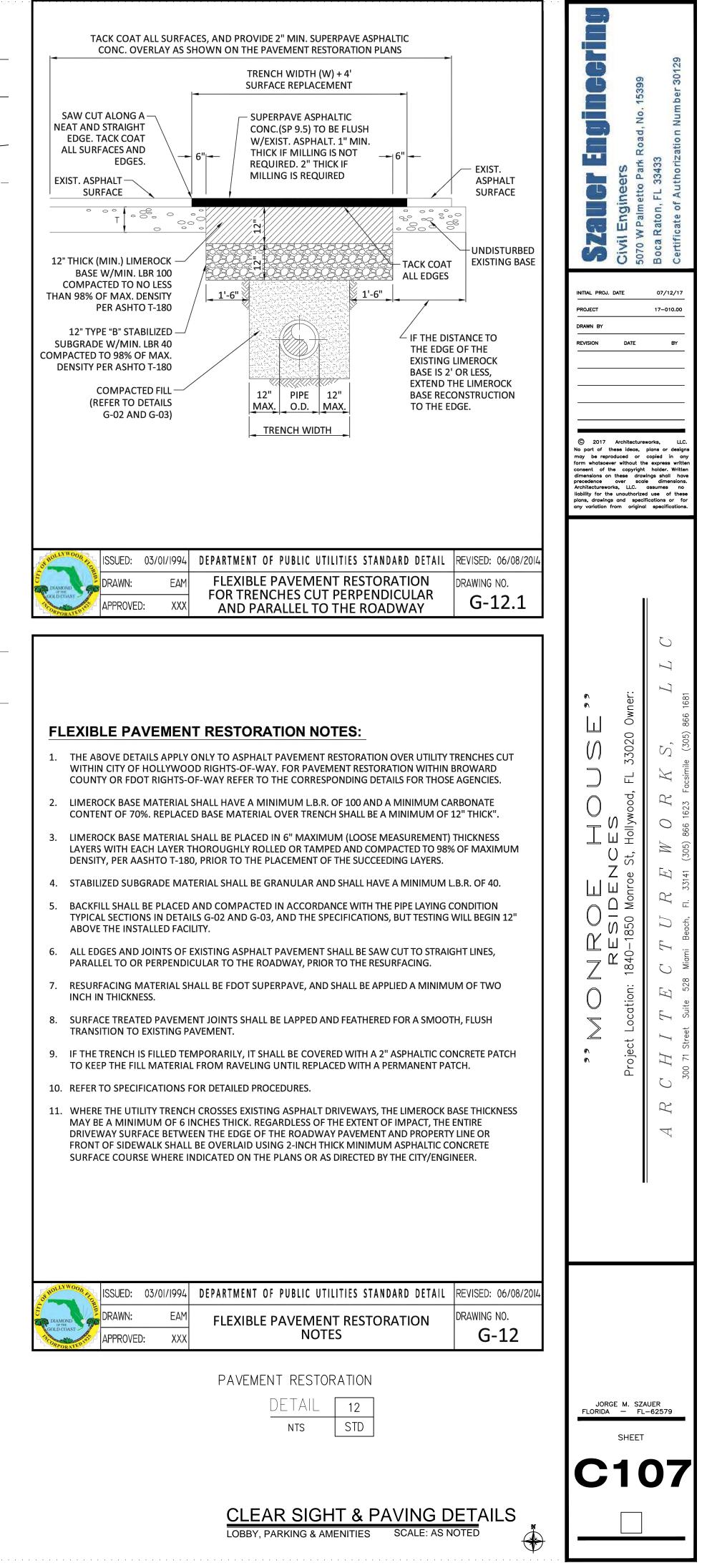


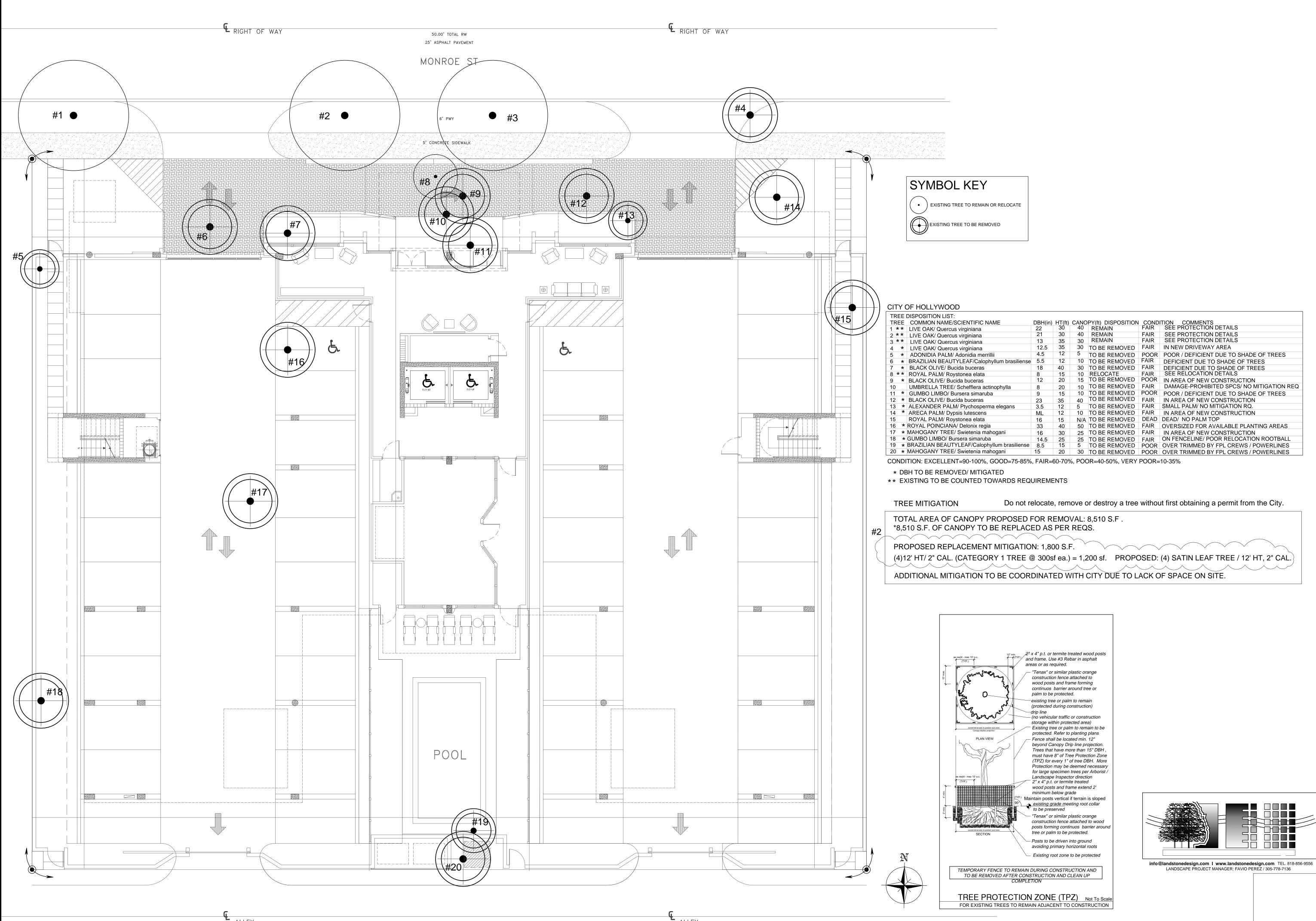


Design Vehicle Type	Pas- senger Car	Single- Unit Truck		ty Bus Coach)	City Transit Bus	Conven- tional School Bus (65 pass.)	Large ² School Bus (84 pass.)	Articu- lated Bus	Intermed- iate Semi- trailer	
Symbol	Р	SU	BUS-40	BUS-45	CITY-BUS	S-BUS36	S-BUS40	A-BUS	WB-40	WB-50
Minimum Design Turning Radius (ft)	24	42	45	45	42.0	38.9	39.4	39.8	40	45
Center- line ¹ Turning Radius (CTR) (ft)	21	38	40.8	40.8	37.8	34.9	35.4	35.5	36	41
Minimum Inside Radius (ft)	14.4	28.3	27.6	25.5	24.5	23.8	25.4	21.3	19.3	17.0
Design Vehicle Type		state trailer	"Double Bottom" Combina- tion	Triple Semi- trailer/ trailers	Turnpike Double Semi- trailer/ trailer	Motor Home	Car and Camper Trailer	Car and Boat Trailer	Motor Home and Boat Trailer	Farm [®] Tracto w/One Wagoi
Symbol	WB-62*	WB-65** or WB-67	WB-67D	WB-100T	WB-109D*	MH	P/T	P/B	MH/B	TR/W
Minimum Design Turning Radius (ft)	45	45	45	45	60	40	33	24	50	18
Center- line ¹ Turning Radius (CTR) (ft)	41	41	41	41	56	36	30	21	46	14
Minimum Inside Radius (ft)	7.9	4.4	19.3	9.9	14.9	25.9	17.4	8.0	35.1	10.5

The turning radius assumed by a designer when investigating possible turning paths and is set at the centerline of the front axle of a vehicle. If the minimum turning path is assumed, the CTR approximately equals the minimum

lengths of 11.0 ft to 20.0 ft, respectively. For these different sizes, the minimum design turning radii vary from



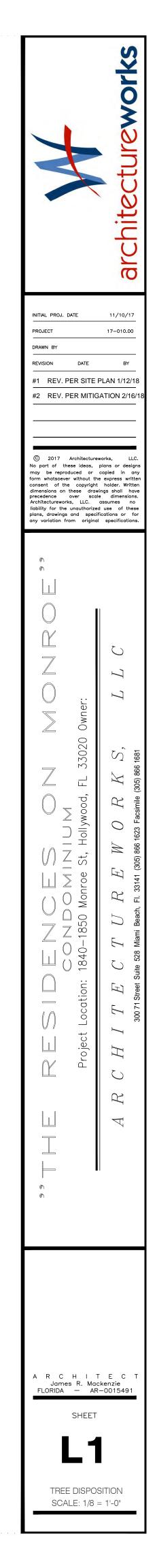




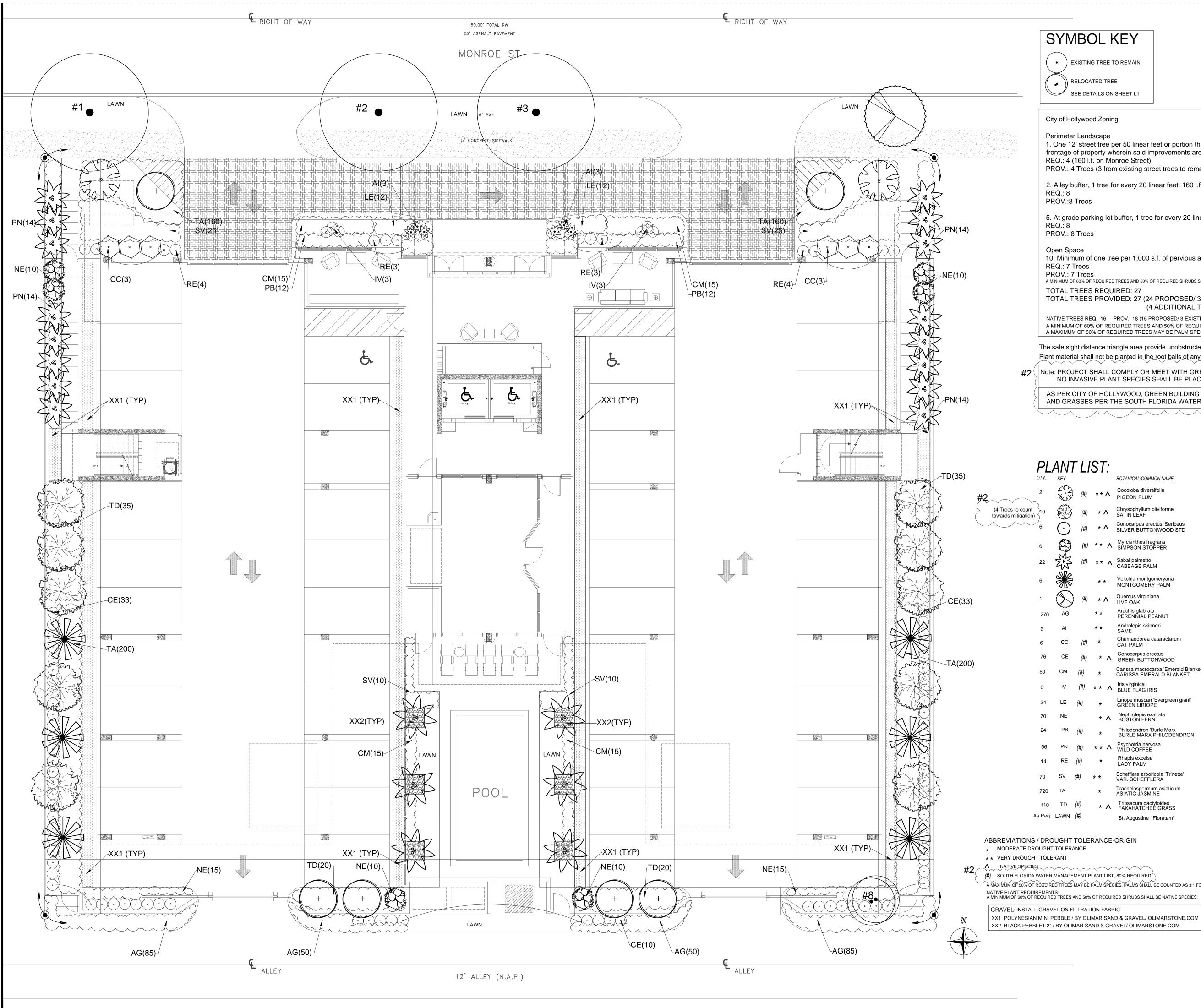
R RELOCATE	
ED	

=	DBH(in)			PY(ft) DISPOSITION		
	22	30	40	REMAIN	FAIR	SEE PROTECTION DETAILS
	21	30	40	REMAIN	FAIR	SEE PROTECTION DETAILS
	13	35	30	REMAIN	FAIR	SEE PROTECTION DETAILS
	12.5	35	30	TO BE REMOVED	FAIR	IN NEW DRIVEWAY AREA
	4.5	12	5	TO BE REMOVED	POOR	POOR / DEFICIENT DUE TO SHADE OF TREES
ım brasiliense	5.5	12	10	TO BE REMOVED	FAIR	DEFICIENT DUE TO SHADE OF TREES
	18	40	30	TO BE REMOVED	FAIR	DEFICIENT DUE TO SHADE OF TREES
	8	15	10	RELOCATE	FAIR	SEE RELOCATION DETAILS
	12	20	15	TO BE REMOVED	POOR	IN AREA OF NEW CONSTRUCTION
ohylla	8	20	10	TO BE REMOVED	FAIR	DAMAGE-PROHIBITED SPCS/ NO MITIGATION REQ
	9	15	10	TO BE REMOVED	POOR	POOR / DEFICIENT DUE TO SHADE OF TREES
	23	35	40	TO BE REMOVED	FAIR	IN AREA OF NEW CONSTRUCTION
elegans	3.5	12	5	TO BE REMOVED	FAIR	SMALL PALM/ NO MITIGATION RQ.
	ML	12	10	TO BE REMOVED	FAIR	IN AREA OF NEW CONSTRUCTION
	16	15	N/A	TO BE REMOVED	DEAD	DEAD/ NO PALM TOP
	33	40	50	TO BE REMOVED	FAIR	OVERSIZED FOR AVAILABLE PLANTING AREAS
ani	16	30	25	TO BE REMOVED	FAIR	IN AREA OF NEW CONSTRUCTION
	14.5	25	25	TO BE REMOVED	FAIR	ON FENCELINE/ POOR RELOCATION ROOTBALL
m brasiliense	8.5	15	5	TO BE REMOVED	POOR	OVER TRIMMED BY FPL CREWS / POWERLINES
ani	15	20	30	TO BE REMOVED	POOR	OVER TRIMMED BY FPL CREWS / POWERLINES
00D=75-85%, FAIR=60-70%, POOR=40-50%, VERY POOR=10-35%						

Do not relocate, remove or destroy a tree without first obtaining a permit from the City.



DERICK LANGEL LANDSCAPE ARCHITECT FL LICENSE #LA6667045



SYMBOL KEY

•) EXISTING TREE TO REMAIN

RELOCATED TREE SEE DETAILS ON SHEET L1

Net Lot Area <u>21,760</u> s.f.

Perimeter Landscape 1. One 12' street tree per 50 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed. REQ.: 4 (160 l.f. on Monroe Street) PROV.: 4 Trees (3 from existing street trees to remain)

2. Alley buffer, 1 tree for every 20 linear feet. 160 l.f.

5. At grade parking lot buffer, 1 tree for every 20 linear feet. 160 l.f. REQ.: 8

10. Minimum of one tree per 1,000 s.f. of pervious area of property. PROV.: 7 Trees A MINIMUM OF 60% OF REQUIRED TREES AND 50% OF REQUIRED SHRUBS SHALL BE NATIVE SPECIES.

TOTAL TREES REQUIRED: 27

TOTAL TREES PROVIDED: 27 (24 PROPOSED/ 3 EXST. TREES / 1 EXST. PALM) (4 ADDITIONAL TREES FOR MITIGATION) NATIVE TREES REQ.: 16 PROV.: 18 (15 PROPOSED/ 3 EXISTING TREES)

A MINIMUM OF 60% OF REQUIRED TREES AND 50% OF REQUIRED SHRUBS SHALL BE NATIVE SPECIES. A MAXIMUM OF 50% OF REQUIRED TREES MAY BE PALM SPECIES. PALMS SHALL BE COUNTED AS 3:1 FOR TREES.

The safe sight distance triangle area provide unobstructed cross visibility at a level between 2 feet and 6.5 feet. Plant material shall not be planted in the root balls of any tree.

#2 Note: PROJECT SHALL COMPLY OR MEET WITH GREEN BUILDING CERTIFICATION REQUIREMENTS.

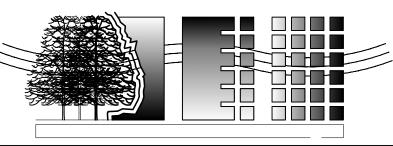
AS PER CITY OF HOLLYWOOD, GREEN BUILDING PRACTICES, AT LEAST 80% OF PLANTS, TREES AND GRASSES PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMENDATIONS.

PLANT LIST:

7	⁻ LI	S7	Γ.			#2
•		0.	•	BOTANICAL/COMMON NAME	DESCRIPTION	
Â	(#)	* *	۸	Cocoloba diversifolia PIGEON PLUM	12' x 5' spr., 2" dbh f.g.	HIGH
2	(#)	*	Λ	Chrysophyllum oliviforme SATIN LEAF	12' ht. x 5' spr., 2" DBH f.g.	HIGH
)	(#)	*	۸	Conocarpus erectus 'Sericeus' SILVER BUTTONWOOD STD	12' ht. x 5' spr., 2" DBH f.g.	HIGH
	(#)	* *	۸	Myrcianthes fragrans SIMPSON STOPPER	7' ht., multi trk. 15 gal.	HIGH
3	(#)	* *	۸	Sabal palmetto CABBAGE PALM	16' o.a. ht.,BTD f.g.	MEDIUM
		*	*	Veitchia montgomeryana MONTGOMERY PALM	18' ht, double trk. 25 gal. f.g.	MEDIUM
Y	(#)	*	۸	Quercus virginiana LIVE OAK	12' ht. x 5' spr., 2" DBH f.g.	HIGH
i		* *		Arachis glabrata PERENNIAL PEANUT	1 gal.	HIGH
		* *		Androlepis skinneri SAME	10 gal.	MEDIUM
	(#)	*		Chamaedorea cataractarum CAT PALM	5' ht. 15 gal.	HIGH
	(#)	*	Λ	Conocarpus erectus GREEN BUTTONWOOD	36"ht.x 24"spr. 7 gal.	HIGH
	(#)	*		Carissa macrocarpa 'Emerald Blanket' CARISSA EMERALD BLANKET	16"ht.x 20"spr. 3 gal.	HIGH
	(#)	* *	۸	Iris virginica BLUE FLAG IRIS	20"ht.x 20"spr. 3 gal.	MEDIUM
	(#)	*		Liriope muscari 'Evergreen giant' GREEN LIRIOPE	14"ht.x 14"spr. 3 gal.	HIGH
		*	۸	Nephrolepis exaltata BOSTON FERN	18"ht.x 18"spr. 3 gal.	MEDIUM
	(#)	*		Philodendron 'Burle Marx' BURLE MARX PHILODENDRON	18"ht.x 18"spr. 3 gal.	MEDIUM
	(#)	* *	۸	Psychotria nervosa WILD COFFEE	24"ht.x 24"spr. 3 gal.	MEDIUM
	(#)	*		Rhapis excelsa LADY PALM	4' ht., F 15 gal.	MEDIUM
	(#)	* *		Schefflera arboricola 'Trinette' VAR. SCHEFFLERA	24"ht.x 24"spr. 3 gal.	HIGH
		*		Trachelospermum asiaticum ASIATIC JASMINE	12" o.c., F 1 gal.	MEDIUM
	(#)	*	۸	Tripsacum dactyloides FAKAHATCHEE GRASS	24"ht.x 24"spr. 3 gal.	MEDIUM
1	(#)			St. Augustine ' Floratam'	solid even sod	LOW

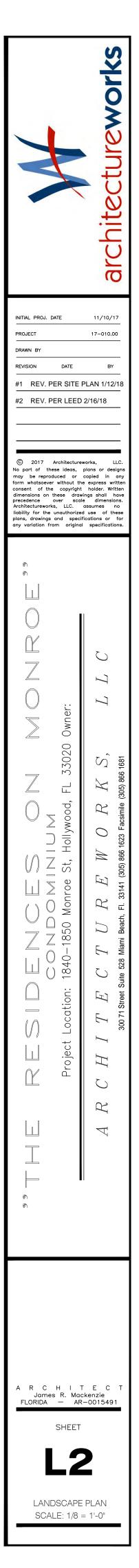
A MAXIMUM OF 50% OF REQUIRED TREES MAY BE PALM SPECIES. PALMS SHALL BE COUNTED AS 3:1 FOR TREI

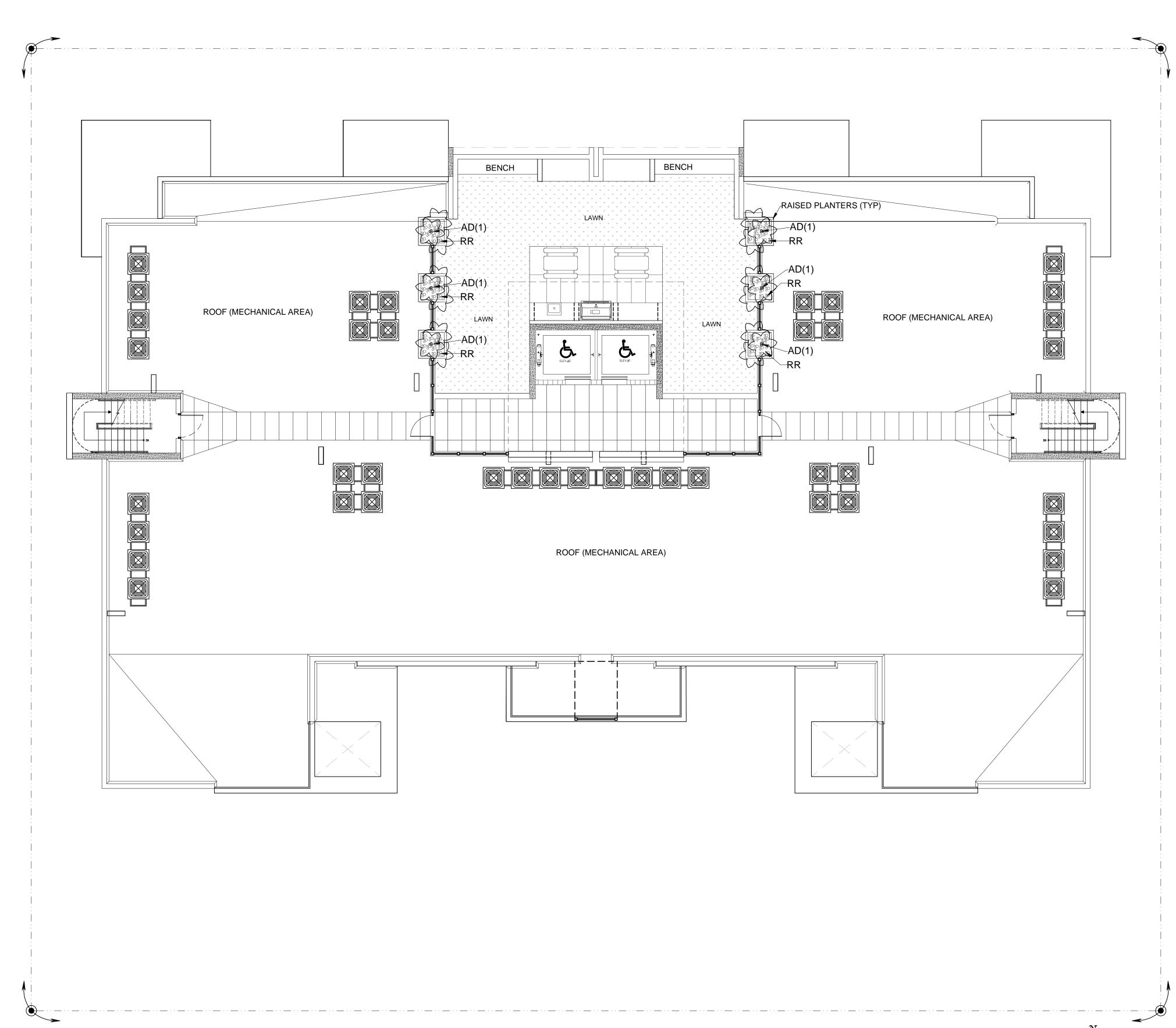
XX1 POLYNESIAN MINI PEBBLE / BY OLIMAR SAND & GRAVEL/ OLIMARSTONE.COM



info@landstonedesign.com | www.landstonedesign.com TEL. 818-856-9556 LANDSCAPE PROJECT MANAGER: FAVIO PEREZ / 305-778-7136

> DERICK LANGEL LANDSCAPE ARCHITECT FL LICENSE #LA6667045







As Req. LAWN

BOTANICAL/COMMON NAME

Adonidia merrillii CHRISTMAS PALM Empire Zoysia

RR BLACK PEBBLES, 1-2" / SEE PLANTER FOR QTY. BY OLIMARSTONE.COM OR EQUAL

ABBREVIATIONS / DROUGHT TOLERANCE-ORIGIN

- * MODERATE DROUGHT TOLERANCE
- * * VERY DROUGHT TOLERANT

∧ NATIVE SPECIES

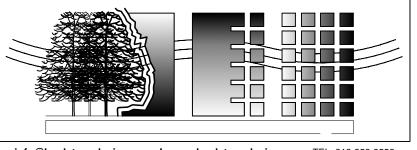
NOTE: PALMS TO BE BRACED AS NEEDED FOR WIND AND SUPPORT IN PLANTERS.

DESCRIPTION 4' o.a. ht, triple trk., F

7 gal. solid even sod DROUGHT TOLERANCE

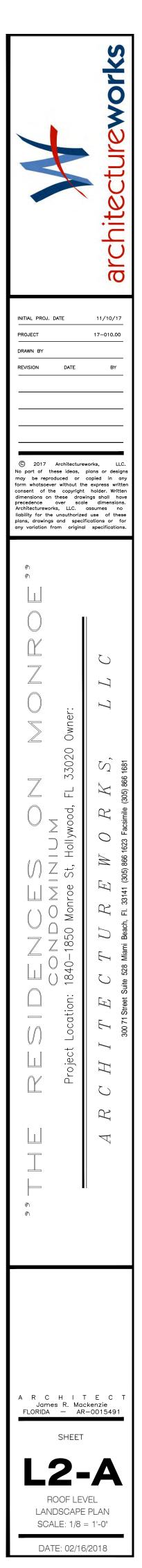
HIGH

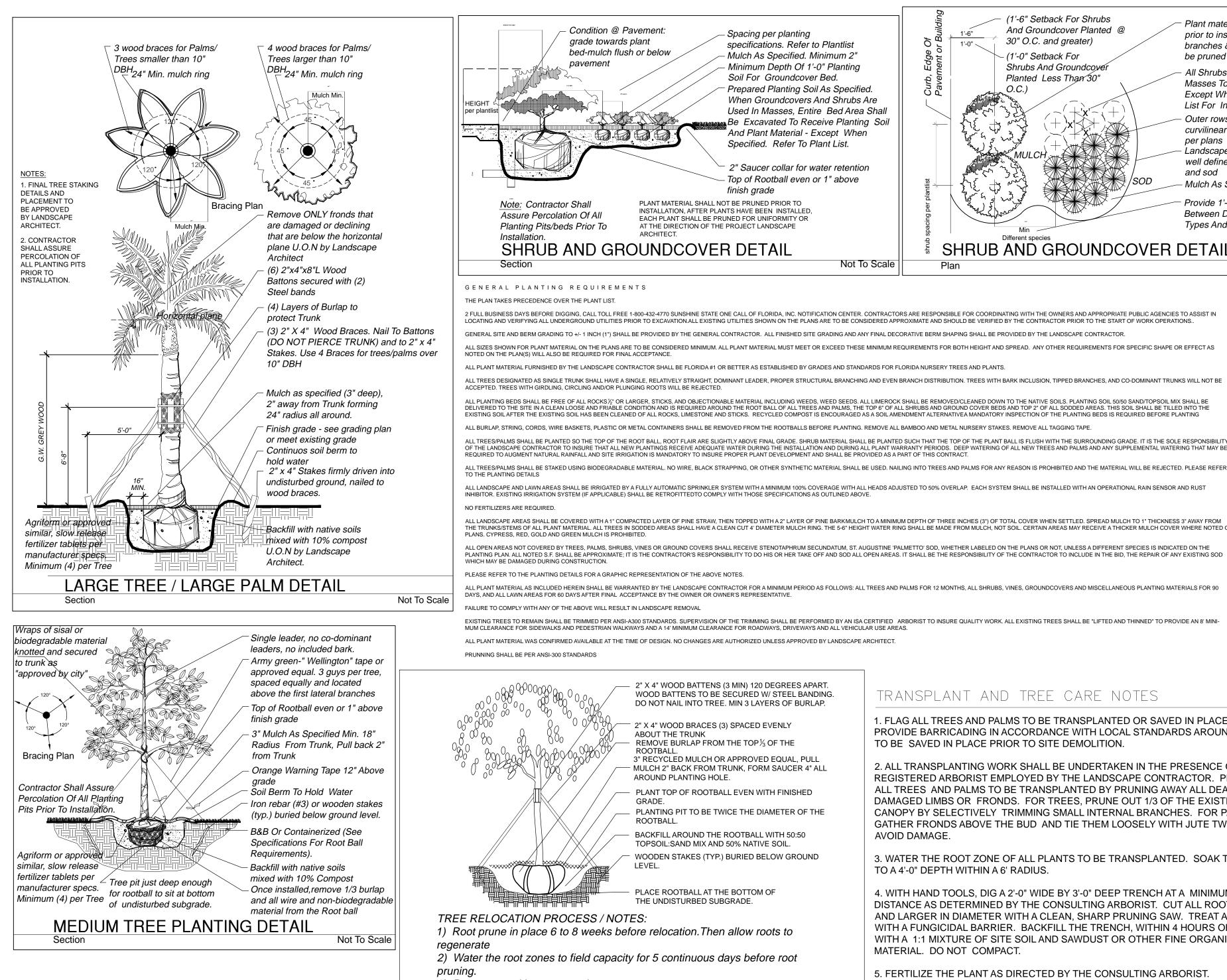
LOW



info@landstonedesign.com | www.landstonedesign.com TEL. 818-856-9556 LANDSCAPE PROJECT MANAGER: FAVIO PEREZ / 305-778-7136







3) Root prune with proper equipment to sever roots, ensure roots are not torn or pulled apart. With hand tools, dig a 2'-0" wide by 3'-0" deep trench at the outer edge of the rootball (Size determined below))or as determined by the Arborist on site. Cut all roots 1.5" and larger in diameter with a clean, sharp pruning saw. Treat all cuts with a fungicidal barrier, backfill the trench, within 4 hours of digging, with a 1:1 mixture of site soil and

sawdust or other fine organic material. Do not compact. 4) Form a rootball of the following minimum sizes:

24 inches by 12 inches deep for trees less than 5 inch caliper; . 36 inches by 18 inches deep for trees from 5 to 18 inch caliper; and 48 inches by 24 inches deep for trees over 18 inch caliper. 6) Transplant operations to be supervised by an ISA certified arborist. 7)At the direction of a professional rigger, assemble slings, padding, guiding ropes

and cables for attachment to the crane or backhoe. The professional rigger shall determine the size of machinery necessary to execute the

lifting and moving operation.

8) Transplanting hole to be at least 2' larger than the rootball 9) Add Agriform Fertilization tablets or similar per manufacturer recommendation according to pruned tree size, but no less than 4 tablets.

10) Set the tree no deeper than its original condition. 11) Water to eliminate air pockets with water hose application of flood watering. 12) Post transplant watering to be daily for the first two weeks and later on sufficient to avoid root desiccation and support new growth.

> **TREE RELOCATION DETAIL / NOTES** Section - Relocation Trees only - If applicable

Spacing per planting specifications. Refer to Plantlist Mulch As Specified. Minimum 2" Minimum Depth Of 1'-0" Planting Soil For Groundcover Bed. Prepared Planting Soil As Specified. When Groundcovers And Shrubs Are Used In Masses, Entire Bed Area Shall Be Excavated To Receive Planting Soil And Plant Material - Except When Specified. Refer To Plant List. 2" Saucer collar for water retention Top of Rootball even or 1" above finish grade LSHALL NOT BE PRUNED PRIOR TO AFTER PLANTS HAVE BEEN INSTALLED, IALL BE PRUNED FOR UNIFORMITY OR ON OF THE PROJECT LANDSCAPE DVER DETAIL	Min Different species SHRUB AND GROUNDCO		
Not Io Scale	Plan	Not To Scale	
ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE TO BE CONSIDERED APPI E GENERAL CONTRACTOR. ALL FINISHED SITE GRADING AND ANY FINAL DECO MINIMUM. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM RE LORIDA #1 OR BETTER AS ESTABLISHED BY GRADES AND STANDARDS FOR FL RAIGHT, DOMINANT LEADER, PROPER STRUCTURAL BRANCHING AND EVEN B REJECTED. DBJECTIONABLE MATERIAL INCLUDING WEEDS, WEED SEEDS. ALL LIMEROCK UIRED AROUND THE ROOT BALL OF ALL TREES AND PALMS, THE TOP 6" OF AL	RS ARE RESPONSIBLE FOR COORDINATING WITH THE OWNERS AND APPROPRIATE PU ROXIMATE AND SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF 1 ORATIVE BERM SHAPING SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. QUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPE ORIDA NURSERY TREES AND PLANTS. BRANCH DISTRIBUTION. TREES WITH BARK INCLUSION, TIPPED BRANCHES, AND CO-DO SHALL BE REMOVED/CLEANED DOWN TO THE NATIVE SOILS. PLANTING SOIL 50/50 SAI LI SHRUBS AND GROUND COVER BEDS AND TOP 2" OF ALL SODDED AREAS. THIS SOIL S INDMENT ALTERNATIVEA MANDATORY INSPECTION OF THE PLANTING BEDS IS REQUIR BAMBOO AND METAL NURSERY STAKES. REMOVE ALL TAGGING TAPE.	WORK OPERATIONS ECIFIC SHAPE OR EFFECT AS OMINANT TRUNKS WILL NOT BE ND/TOPSOIL MIX SHALL BE SHALL BE TILLED INTO THE	
NR ARE SLIGHTLY ABOVE FINAL GRADE. SHRUB MATERIAL SHALL BE PLANTED TE ADEQUATE WATER DURING THE INSTALLATION AND DURING ALL PLANT WAN TO INSURE PROPER PLANT DEVELOPMENT AND SHALL BE PROVIDED AS A P.	D SUCH THAT THE TOP OF THE PLANT BALL IS FLUSH WITH THE SURROUNDING GRADE RRANTY PERIODS. DEEP WATERING OF ALL NEW TREES AND PALMS AND ANY SUPPLE 'ART OF THIS CONTRACT.	E. IT IS THE SOLE RESPONSIBILITY MENTAL WATERING THAT MAY BE	

ALL LANDSCAPE AND LAWN AREAS SHALL BE IRRIGATED BY A FULLY AUTOMATIC SPRINKLER SYSTEM WITH A MINIMUM 100% COVERAGE WITH ALL HEADS ADJUSTED TO 50% OVERLAP. EACH SYSTEM SHALL BE INSTALLED WITH AN OPERATIONAL RAIN SENSOR AND RUST

ALL LANDSCAPE AREAS SHALL BE COVERED WITH A 1" COMPACTED LAYER OF PINE STRAW. THEN TOPPED WITH A 2" LAYER OF PINE BARKMULCH TO A MINIMUM DEPTH OF THREE INCHES (3") OF TOTAL COVER WHEN SETTLED. SPREAD MULCH TO 1" THICKNESS 3" AWAY FROM THE TRUNKS/STEMS OF ALL PLANT MATERIAL. ALL TREES IN SODDED AREAS SHALL HAVE A CLEAN CUT 4' DIAMETER MULCH RING. THE 5-6" HEIGHT WATER RING SHALL BE MADE FROM MULCH, NOT SOIL. CERTAIN AREAS MAY RECEIVE A THICKER MULCH COVER WHERE NOTED ON

ALL OPEN AREAS NOT COVERED BY TREES. PALMS. SHRUBS, VINES OR GROUND COVERS SHALL RECEIVE STENOTAPHRUM SECUNDATUM. ST. AUGUSTINE 'PALMETTO' SOD, WHETHER LABELED ON THE PLANS OR NOT, UNLESS A DIFFERENT SPECIES IS INDICATED ON THE PLANTING PLAN. ALL NOTED S.F. SHALL BE APPROXIMATE; IT IS THE CONTRACTOR'S RESPONSIBILITY TO DO HIS OR HER TAKE OFF AND SOD ALL OPEN AREAS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INCLUDE IN THE BID, THE REPAIR OF ANY EXISTING SOD

ALL PLANT MATERIAL AS INCLUDED HEREIN SHALL BE WARRANTED BY THE LANDSCAPE CONTRACTOR FOR A MINIMUM PERIOD AS FOLLOWS: ALL TREES AND PALMS FOR 12 MONTHS, ALL SHRUBS, VINES, GROUNDCOVERS AND MISCELLANEOUS PLANTING MATERIALS FOR 90

EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI-A300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA CERTIFIED ARBORIST TO INSURE QUALITY WORK. ALL EXISTING TREES SHALL BE "LIFTED AND THINNED" TO PROVIDE AN 8' MINI-

2" X 4" WOOD BATTENS (3 MIN) 120 DEGREES APART. WOOD BATTENS TO BE SECURED W/ STEEL BANDING. DO NOT NAIL INTO TREE. MIN 3 LAYERS OF BURLAP.

2" X 4" WOOD BRACES (3) SPACED EVENLY REMOVE BURLAP FROM THE TOP 1/3 OF THE

3" RECYCLED MULCH OR APPROVED EQUAL, PULL MULCH 2" BACK FROM TRUNK, FORM SAUCER 4" ALL

PLANT TOP OF ROOTBALL EVEN WITH FINISHED PLANTING PIT TO BE TWICE THE DIAMETER OF THE

BACKFILL AROUND THE ROOTBALL WITH 50:50 TOPSOIL:SAND MIX AND 50% NATIVE SOIL. WOODEN STAKES (TYP.) BURIED BELOW GROUND

PLACE ROOTBALL AT THE BOTTOM OF



TRANSPLANT AND TREE CARE NOTES

1. FLAG ALL TREES AND PALMS TO BE TRANSPLANTED OR SAVED IN PLACE. PROVIDE BARRICADING IN ACCORDANCE WITH LOCAL STANDARDS AROUND TREES TO BE SAVED IN PLACE PRIOR TO SITE DEMOLITION.

2. ALL TRANSPLANTING WORK SHALL BE UNDERTAKEN IN THE PRESENCE OF A REGISTERED ARBORIST EMPLOYED BY THE LANDSCAPE CONTRACTOR. PREPARE ALL TREES AND PALMS TO BE TRANSPLANTED BY PRUNING AWAY ALL DEAD OR DAMAGED LIMBS OR FRONDS. FOR TREES, PRUNE OUT 1/3 OF THE EXISTING CANOPY BY SELECTIVELY TRIMMING SMALL INTERNAL BRANCHES. FOR PALMS, GATHER FRONDS ABOVE THE BUD AND TIE THEM LOOSELY WITH JUTE TWINE TO AVOID DAMAGE.

3. WATER THE ROOT ZONE OF ALL PLANTS TO BE TRANSPLANTED. SOAK THE SOIL TO A 4'-0" DEPTH WITHIN A 6' RADIUS.

4. WITH HAND TOOLS, DIG A 2'-0" WIDE BY 3'-0" DEEP TRENCH AT A MINIMUM DISTANCE AS DETERMINED BY THE CONSULTING ARBORIST. CUT ALL ROOTS 1.5" AND LARGER IN DIAMETER WITH A CLEAN, SHARP PRUNING SAW. TREAT ALL CUTS WITH A FUNGICIDAL BARRIER. BACKFILL THE TRENCH, WITHIN 4 HOURS OF DIGGING, WITH A 1:1 MIXTURE OF SITE SOIL AND SAWDUST OR OTHER FINE ORGANIC MATERIAL. DO NOT COMPACT.

5. FERTILIZE THE PLANT AS DIRECTED BY THE CONSULTING ARBORIST.

6. ALLOW THE PLANT TO REGENERATE ROOTS OVER A PERIOD OF SIX WEEKS.

7. AT THE END OF SIX WEEKS, PREPARE THE PLANTING PIT AT THE NEW LOCATION. OVERDIG THE HOLE DIAMETER BY 2' BEYOND THE ROOT BALL.

8. WITH THE CONSULTING ARBORIST PRESENT, UNDERCUT THE ENTIRE ROOT BALL OF THE PLANTS TO BE TRANSPLANTED AT A DEPTH SPECIFIED BY THE ARBORIST. THE UNDERCUTTING METHOD MAY BE A CHOKER CABLE DRAWN THROUGH THE ROOT BALL WITH HEAVY EQUIPMENT.

9. AT THE DIRECTION OF A PROFESSIONAL RIGGER, ASSEMBLE SLINGS, PADDING, GUIDING ROPES AND CABLES FOR ATTACHMENT TO THE CRANE OR BACKHOE. THE PROFESSIONAL RIGGER SHALL DETERMINE THE SIZE OF MACHINERY NECESSARY TO EXECUTE THE LIFTING AND MOVING OPERATION.

10. WHEN THE PLANT IS PLACED IN THE NEW LOCATION, BACKFILL THE PLANTING PIT WITH TOPSOIL AND WATER THOROUGHLY TO COMPACT THE SOIL. COVER THE ROOT BALL AREA WITH 3" DEPTH OF ORGANIC MULCH.

11. PROVIDE FUNGICIDE AND FERTILITY APPLICATIONS AT THE DIRECTION OF THE CONSULTING ARBORIST.

POST TRANSPLANT WATERING TO PROVIDE MOISTURE AND REDUCE ANY EXCESSIVE STRESS DUE TO ROOT DESSICATION. WATERING TO BE ADJUSTED ACCORDING TO CONDITIONS AND AT THE SUPERVISION AND DIRECTION OF THE ISA CERTIFIED ARBORIST. TRANSPLANT OPERATIONS TO BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.

SET THE TREE NO DEEPER THAN ITS ORIGINAL CONDITION.

WATER TO ELIMINATE AIR POCKETS WITH WATER HOSE APPLICATION OF FLOOD WATERING.

TRANSPLANTING HOLE TO BE AT LEAST 1/3 LARGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.

Single leader, no co-dominant leaders, unless multi-trunk or otherwise noted . No included bark.

Wraps of sisal or biodegradable material knotted and secured to trunk as "approved by city"

"Arbor Tie" Green Tree Tie Webbing stapping

(2) Two - 2" x 4" x L stakes

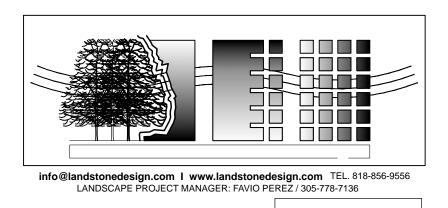
Top of Rootball even or 1" above finish grade

3" Mulch As Specified Min. 18" Radius From Trunk, Pull back 2" from Trunk

REGEN

Backfill with native soils mixed with 10% compost U.O.N by Landscape Architect.

SMALL TREE PLANTING DETAIL Not To Scale



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