

GENERAL APPLICATION

APPLICATION DATE: October 16, 2023

2600 Hollywood Blvd
Room 315
Hollywood, FL 33022
Tel: (954) 921-3471
Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of digitally signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max .25mb)
- Completed Application Checklist
- Application fee (per review)

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda
- The applicant is responsible for obtaining the appropriate checklist for each type of application
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

CLICK HERE FOR
FORMS, CHECKLISTS, &
MEETING DATES

APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee Administrative Approvals
 City Commission Historic Preservation Board
 Planning and Development Board

PROPERTY INFORMATION

Location Address: 1822 Dixiana Street Hollywood, FL 33020
 Lot(s): 11,12,13,14 E 30 Block(s): 7-11 B Subdivision: FRANK ADD TO
 Folio Number(s): 514210180050
 FH-2
 Zoning Classification: FH-2 Land Use Classification: Residential
 Existing Property Use: Residential Sq Ft/Number of Units: 13 units
 Is the request the result of a violation notice? Yes No If yes, attach a copy of violation
 Has this property been presented to the City before? If yes, check all that apply and provide
 File/Resolution/Ordinance No.: _____

DEVELOPMENT PROPOSAL

Explanation of Request: Pre-TAC submittal for Apartment Development Project

Phased Project: Yes / No Number of Phases: 1

Project	Proposal		
Units/rooms (# of units)	70	(Area:	S.F.)
Proposed Non-Residential Uses	None		S.F.
Open Space (% and SQ.FT.)		(Area: 4,340	S.F.)
Parking (# of spaces)	89	(Area: 4,340 SF	S.F.)
Height (# of stories)	10	(107	FT.)
Gross Floor Area (SQ. FT)	63,055 SF		

Name of Current Property Owner: GN Dixiana LLC
 Address of Property Owner: 317 Grove Way Delray Beach, FL 33444
 Telephone: 561-315-8477 Email Address: kevin@nealdevelopments.com
 Applicant Joseph B. Kaller, AIA, LEED Consultant | Representative | Tenant (check one)
 Address: 2417 Hollywood Blvd Hollywood, FL 33020 Telephone: 954-920-5746
 Email Address: joseph@kallerarchitects.com
 Email Address #2: rocky@kallerarchitects.com
 Date of Purchase: _____ Is there an option to purchase the Property? Yes No
 If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only): Cutro & Associates
 E-mail Address: Cutro.planning@yahoo.com

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign as approved by the Division of Planning & Urban Design. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Kevin Neal Date: 10/16/2023

PRINT NAME: Kevin Neal Date: _____

Signature of Consultant/Representative: Joseph B. Kauer Date: 10/16/23

PRINT NAME: Joseph B. Kauer Date: 10/16/23

Signature of Tenant: _____ Date: _____

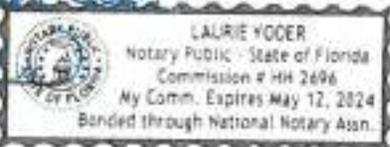
PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Approval to my property, which is hereby made by me or I am hereby authorizing Joseph Kauer to be my legal representative before the TAC (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 16th day of October 2023

Laurie Yoder
Notary Public
State of Florida



Kevin Neal
Signature of Current Owner

Kevin Neal
Print Name

My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____

1822 DIXIANA APARTMENT PROJECT

A. APPLICATION SUBMITTAL

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Ownership & Encumbrance Report (O&E):

1. Indicate it was searched from time of platting or 1953 (earliest of the two).

RESPONSE: O & E Report was searched from the time of platting on January 27, 1925. This date is noted on the report.

2. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.

RESPONSE: We have emailed our latest O&E Report (Dated November 1, 2023) to the Engineering Department and they have not identified any inaccuracies or any easements or dedications that are missing.

3. Ensure O&E addresses the requirements on the TAC submittal checklist:

<http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>

RESPONSE: The O&E Report includes all items from the TAC submittal checklist listed here:

- Dated within 30 days of submittal packet
- Indicate it was searched from time of platting or 1953 (earliest of the two)
- Legal description of property
- Names of all current owners
- Names of all outstanding mortgage holders or a no lien affidavit
- Listing and hard copy of all recorded and unrecorded encumbrances (with O.R. or plat book(s) and page number(s) provided) lying within/on the property boundaries (i.e. easements, rights-of-way, non-vehicular access lines, etc.)
- Listing and hard copy of any type of encumbrance abutting the property boundary necessary for legal access to the property (if none, state so)

2. Alta Survey:

1. Provide the square footage of the lot. Alta survey says perimeter area, not site area. Provide information in square feet and acres. Site Plan and Alta Survey shall match information.

RESPONSE: The square footage of the lot has been provided on the ALTA Survey in square feet and acres. Site plan and ALTA survey are matching as well.

2. Alta survey shall be based on and dated after O&E.

RESPONSE: The Alta survey is based on and dated after the O&E Report.

3. Easements and/or dedications with O.R. or plat books and page numbers.

RESPONSE: This information is included on the survey.

4. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.

Response: ALTA Survey is based on the O&E report and according to the reports, the survey reflects all easements and dedications. We emailed our latest survey to the Engineering Department and they have not indicated that any easements and dedications are missing.

3. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Plat determination letter shall be for all properties in this project.

RESPONSE: We have received a Plat Determination letter and it has been submitted to the City. Platting is not necessary.

4. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

RESPONSE: Meeting dates have been added to the bottom right of the Title Block as requested.

5. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project.

1. Downtown Parkside Royal Poinciana Civic Association
2. North Central Hollywood Civic Association
3. Hollywood Lakes Civic Association

For contact information: <mailto:https://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> Page 2 of 12

Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

RESPONSE: We held a community outreach meeting on November 7, 2023. Please see the attached community package including the letter, meeting information and presentation.

6. Additional comments may be forthcoming.

RESPONSE: Noted

7. Provide written responses to all comments with next submittal.

RESPONSE: Written responses have been provided.

B. ZONING

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. The legal description on the Site Plan, sheet A-1.0 is incorrect.

RESPONSE: The legal description has been corrected on Sheet A-1.0.

2. Provide the net and gross area of the site. Areas shall match the Alta survey information.

RESPONSE: The net and gross area for the site has been provided on the ALTA survey and match the Site Plan Sheet A-1.0.

3. The font used for the Project Data is very small, please match Zoning Info font.

RESPONSE: The font has been updated as requested.

4. Eliminate information that is not necessary for this project. Residential density. The RAC goes by FAR, not density.

RESPONSE: Residential density has been deleted.

5. Indicate on a map how you measure the 100' from ND-1.

RESPONSE: The 100' line East of ND-1 is shown on the survey as requested. Per the Zoning department the line is measured from the center of N 18th Court.

6. Maximum building height is 140'-0" / Sites or portions of sites within 100 ft. of ND-1: 5 stories, not to exceed 5 stories.

RESPONSE: Noted. The proposed development meets the Code requirements.

7. Maximum height is 140' (do not specify number of stories). What is the height of the proposed building and how many stories does the proposed building have?

RESPONSE: The height of the proposed building is 107'-6" (rood top of slab) and the building has 10 stories.

8. Eliminate "estimated residential units allowed". Units are not unlimited.

RESPONSE: "Estimated residential units allowed" has been deleted.

9. Staircase #2, exterior walkway to the front of the street shall be 3' min. setback from property line. Provide setback at the corner where the door swings.

RESPONSE: 3' min. setback provided. Please see attached Site Plan Sheet A-1.0.

10. Check with Engineering if you are providing enough distance between both curb cuts: the entrance to the parking garage and the loading parking space.

RESPONSE: Please see the attached latest plans which shows the location of the two curb cuts. We are attempting to coordinate with Engineering due to the placement of the loading space being most ideal in this location of the building.

11. Loading parking space height shall be 14ft. clearance at the entrance and inside the garage.

RESPONSE: Noted. Design complies with the code requirement.

12. Will the loading parking space have an overhead door?

RESPONSE: Yes. Please see attached elevation Sheet A-3.2.

13. Indicate on the Site Plan the type of fence the walk up garden has. Specify material and height (4ft.max.).

RESPONSE: The walk up gardens will have 4' tall metal fences. Please see the attached revised Sheet A-3.1 showing the elevation with height of fence.

14. 40% of the walk up garden shall be pervious. Provide this calculation.

RESPONSE: Calculation Provided on sheet A-1.1 which shows pervious area proposed at 60%.

15. Indicate on the elevation, where 18th Court is.

RESPONSE: Please see revised Sheet A-3.1.

16. Vehicle electric stations shall be assigned to guest parking spaces.

RESPONSE: provided 4 electric stations at ground level and one more at Handicap space in level 02. See floor plan sheets A-2.1 and A-2.2.

17. What is the floor material for the deck?

RESPONSE: Material note provided sheet A-2.6 under on the Pool Terrace (IVORY TRAVERTINE ANTI-SLIP PAVER TILE FINISH)

18. Provide a break down of the FAR per floor on a separate sheet.

RESPONSE: Provided in Sheet A-1.1

19. How much open space/landscape are you providing?

RESPONSE: Total proposed 4,907 SF (see Sheet A-1.1)

20. Does the amenity floor have sod/real vegetation around the pool deck?

RESPONSE: The amenity deck will have vegetation. It will not have sod.

21. Work with the City's Landscape Architect to ensure that all landscape requirements are met.

RESPONSE: Please see attached Landscape Architecture plans showing the Code Compliant plans as requested.

C. ARCHITECTURE AND URBAN DESIGN

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Provide a 3D rendering showing the west elevation. The main streets are Dixieana Street and 18th Court.

RESPONSE: Please see Sheets A-R.3 and A-R.2 including the West elevation.

2. Ensure that all plumbing, mechanical and electrical fixtures, and equipment are indicated on the Site Plan and elevations.

RESPONSE: Architectural plans are showing the plumbing, mechanical, electrical and equipment on the Site Plan and elevations as requested.

3. Work with the Building Department to ensure that adequate ventilation is provided for the parking garage.

RESPONSE: This will be coordinated with the building department during building permit review.

4. SIGNAGE

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Provide the following note: "All signage shall be in compliance with the Zoning and Land Development regulations".

RESPONSE: This note has been added to the drawings on Sheet A-1.0.

2. Provide note on Site Plan: "All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign."

RESPONSE: This note has been added to the drawings on Sheet A-1.0.

5. LIGHTING

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. Provide note on Site Plan: "Maximum foot candle level at all property lines maximum 0.5 if adjacent to residential".

RESPONSE: This note has been added to the drawings on Sheet A-1.0.

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471

1. As per the City of Hollywood's green building ordinance in Chapter 151, the project will require a third party green building certification since this project has more than 20,000 square feet of total floor area. USGBC's LEED certification or Florida Green Building Coalition certification are the minimum standards. Include which third party certification program this project has chosen in a note on the site plan and provide green registration documentation with next submittal.

RESPONSE: The Project has been registered with the Florida Green Building Coalition.

2. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle- charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces. Recommend to locate the charging stations on the visitor parking spaces.

RESPONSE: the Charging stations have been located on visitor parking spaces as requested. Please see attached Sheet A-1.0.

3. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved and remove the list of Green Building Practices.

RESPONSE: The project will comply with the requirements of the Florida Green Building Coalition Certification. A note has been added to the drawings.

G. ENGINEERING ENGINEERING

Azita Behmardi, Deputy Director Development Services (abehmardi@hollywoodfl.org) 954-921-3251 Clarissa Ip, City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

1. *Provide a plat determination letter from the Broward County Planning Council.*

RESPONSE: Plat determination letter has been provided with this submittal.

2. *Provide O & E report with all applicable easement documents.*

RESPONSE: An updated Owner & Encumbrances report has been provided with this submittal which includes all applicable easement documents.

3. *Survey is not signed by Surveyor please provide a signed and sealed survey.*

RESPONSE: A digitally signed and sealed ALTA survey has been provided with this submittal.

4. *Provide 10'x10' corner right-of-way dedication at the corner of Dixieana Street and North 18th Court.*

RESPONSE: Provided. See Site Plan sheet A-1.0

5. *Provide an overall site plan with the following information:*

1. *Existing right-of-way width dimension and show limits of the rights-of-way on all streets/alleys*

adjacent to the site. (i.e swales, sidewalk curbs, curb, including dimensions.)

2. *Include and show all surrounding elements of the site on plans, as applicable, i.e. adjacent alley, road, properties, limits of rights-of-way on both sides of adjacent streets or alleys including any*

curb cuts, edge of pavement, swale, sidewalks etc.

3. All features of City streets and alleys within full City right-of-way on both sides from property line to adjacent property lines.

RESPONSE: See attached revised Site Plan Sheet A-1.0

6. Please list all variances being requested on the cover sheet and clearly call them out on the plan. (i.e. setbacks to walkways, curb cuts etc.)

RESPONSE: No variances are being requested at this time.

7. Curb cut of 38'-8" does not meet Chapter 155.08 of the City Code of Ordinances.

RESPONSE: Please see the attached latest plans which shows the location of the two curb cuts. We are attempting to coordinate with Engineering due to the placement of the loading space being most ideal in this location of the building.

8. Please identify the apron radius flares proposed for the curb cut.

RESPONSE: Please see attached revised Sheet A-1.0.

9. Please indicate if there is a proposed access gate at the site entrance on North 18th Court on the Site Plan. If so, provide detail on how the gate operates, i.e. remote, sensor, sliding. If not, please indicate no gate proposed on Site Plan.

RESPONSE: Yes, there will be an access gate that will have FOB access for residents. See Sheet A-4.1 for details.

10. Will there be a door for the loading space? Please indicate on plans.

RESPONSE: Yes, there will be a door for the loading space.

11. Please label the walkway along the South property line and provide dimension for the setback. Walkways are to be setback a minimum of 3 feet from the side property line.

RESPONSE: 3' setback provided. Please see attached revised Sheet A-1.0 showing dimension.

12. Please identify the sidewalk on the site plan. Additionally, please indicate for sidewalk in the rights-of way to removed and replaced with new 5 foot wide sidewalk along all frontages of the property.

RESPONSE: See note on Site Plan Sheet A-1.0

13. Please clearly call out in the plans for swales to be restored along Dixieana Street. This should be restored with grass to the City of Hollywood Standard Swale Restoration Detail, please include detail in plan set.

RESPONSE: See note on Site Plan Sheet A-1.0

14. Detectable warnings shall be provided at all drive aisles. Please show on Site and Civil plans and please include a standard FDOT detail in the plans for the detectable warnings.

RESPONSE: provided. Please see detail in Sheet A-4.1

15. Please provide a corner setback triangle. This triangle is to be a minimum of 25'X25" along the property lines of the Northwest corner of the property. No obstructions higher than 2' are to be permitted within this triangle.

RESPONSE: Please see attached revised Site Plan Sheet A-1.0

16. Please identify the white lines that enclose the walk-up gardens shown on the plans. Per rendering, area is surrounded by walls, please indicate on site plan. In addition, fully dimension wall setback along the entire wall.

RESPONSE: Walk up gardens are enclosed by metal fences, not walls. See Site plan / ground floor for dimensions the height is 4' TYP.

17. Please fully dimension or provide detail for the slab concrete walk paths along Dixieana Street, including the space in between and the size of the concrete slabs, etc.

RESPONSE: Please see attached ground floor plan Sheet A-2.1 for dimensions

18. Please identify the separation between all walkways from property line to property.

RESPONSE: Please see ground floor plan for dimensions on Site Plan Sheet A-1.0

19. Provide dimension, slope and details for the ramp to and from the Lobby to show that it is ADA compliant. The ramp must have handrails on both sides with a clear interior width of 36". The ramp must meet a slope ratio of 1:12 (1:16 is recommended). Please provide a detail of the ramp proposed to show the clear interior width railing to railing to ensure ADA compliance.

RESPONSE: Ramp will comply with ADA and the Fair Housing Act. See detail sheet A-4.1

20. Provide ADA accessible routes between ADA accessible parking and building access and accessible route to the public rights-of-way. Please add a note on the site plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference state, the transition is flush. Show the accessible routes on site plan. Provide a detail for the proposed ramps showing how they achieve ADA compliance. Please note the entire accessible route shall be stripped with ADA compliant stripping.

RESPONSE: Please see attached sheet A-1.0 with note. The proposed plan includes all accessible route striped and comply with ADA requirements.

21. Please identify the location of the ADA signage, please consider wall mounting the signage to not encroach into the clear space of the parking stall.

RESPONSE: ADA signage to be wall mounted. See note in floor plans.

22. All non-vehicular areas shall be stripped and clearly identified. This stripping shall not be the same stripping as the ADA accessible aisle. Please show on plan.

RESPONSE: Please see attached plan showing the striping provided in floor plans

23. Please provide a trash chute for the garbage room, label in plans.

RESPONSE: A trash chute has been provided and labeled in plans.

24. Please identify the type of door to be used for the dumpster enclosure. Call out in plans.

RESPONSE: 3-Panel Steel Solid Sliding Door for Garbage Room. See note in plans

25. Minimum queuing space required is 8.5'X19'. Please show on plan.

RESPONSE: Please see attached ground floor plan Sheet A-2.1 showing the queuing space being met.

26. On the site plan, provide building column dimensions and show building columns are setback a minimum of 3' from the entrance of all parking stall.

RESPONSE: Provided. The TYP. Column dimension we are using is: 14"x24" see note in plans

27. Turn around stall on Level 5 of the garage shall be stripped out and labeled "No Parking."

RESPONSE: Labeled.

28. Provide vehicular turning radii (inside, centerline and outside) around the garage.

RESPONSE: Provided on all floor plan sheets of garage.

29. Please call out all materials for the walkways, drive aisles and vehicular parking areas.

Ensure the material requirements align with City of Hollywood Code:

a. Concrete:

Concrete driveways on private property will be 5-inch thick, 3,000 PSI with fiber mesh while the portion of the driveway located within the ROW (Outside of the property lines) will be a minimum of 6 inches thick, 3,000 psi, with no metal or fiber mesh and will be constructed flush with the existing roadway and sidewalk. The entire driveway will maintain control joints located every 250 sq.ft and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

b. Pavers:

Paver driveways require a minimum 2 3/8th inch pavers placed over a 1-1/2 inch sand base and compacted subbase. In addition to a Minimum 6-inch edge restraint (concrete border) is required around perimeter to interlock pavers. The driveway is to be constructed flush with the existing roadway and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

c. Asphalt:

Asphalt driveway is required to be a minimum 6-inch limerock base, tack coat, and 1-inch layer of S-III asphalt. The driveway is to be constructed flush with the existing roadway and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

RESPONSE: Please see note on floor plans and sheet A-1.0 showing materials being called out.

30. Applicant shows a proposed fence or wall. Be sure that no portion of the fence/gate or footers are to encroach into adjacent property or City right-of-way. Please provide a

cross section of the fence showing the setback to ensure all encroachment is avoided. In addition, please include the minimum setback of the fence on the site plan to accommodate the footers/fence.

RESPONSE: portion of fence was removed.

31. Provide civil plans for the proposed work indicating items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking, and signage plans and details Show location of existing water and sewer mains on plans and show how you are planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width pavement mill and resurface is required for adjacent road to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set.

RESPONSE: Please see attached Civil Plans showing the requested information.

32. Please provide a pavement marking plan for both on and off-site. These pavement markings are to comply with the City of Hollywood Standard Details in addition to the Broward County Traffic Engineering Division Standard details. Please provide any applicable details in the plan set. Ensure pavement markings across plan sets are identical.

RESPONSE: Please see attached Civil Plans showing the requested information.

33. All roads and alleys adjacent to the property are to be milled and resurfaced. Please make a note on the Site plan and Civil plans, provide hatching to show limitations.

RESPONSE: Please see attached Civil Plans showing the requested information.

34. Please include the latest standard City of Hollywood details in the plan set. Applicant is using old standards.

<https://www.hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan> include all applicable details.

RESPONSE: Please see attached Civil Plans showing the requested details and information.

35. BCTED approval will be required for all pavement markings being restored in the ROW. Please provide a plan showing the proposed pavement markings to be restored.

RESPONSE: Please see attached Civil Plans showing the requested information.

36. Please note that the City, in conjunction with the Downtown Community Redevelopment Agency, is working on developing a manual setting forth requirements for rights-of-way design and improvements guidelines in the Regional Activity Center area. Continued coordination will be required.

RESPONSE: Noted

37. For utilities work within City rights-of-way, ROW permit will be required at the time of permit.

RESPONSE: Noted

38. MOT plans required at the time of City Building Permit review.

RESPONSE: Noted

39. All outside agency permits are required at the time of City building permit review.

RESPONSE: Noted

40. This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO- 2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.

RESPONSE: Noted

41. More comments may follow upon review of the requested information.

RESPONSE: Noted

Azita Behmardi, Deputy Director Development Services (abehmardi@hollywoodfl.org) 954-921-3251
Clarissa Ip, City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

1. No comments received.

H. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3900 No landscape plan submitted on set.

1. Satellite images show existing trees/palms.

RESPONSE: Existing trees are shown on the survey and on the landscape plans.

2. Provide a Tree disposition plan and landscape plan on separate sheets by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate.

RESPONSE: Please see attached Landscape Architecture Plans showing the requested information.

3. According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual, Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criterion may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. Palms must be 8' CT min.

RESPONSE: Understood. Please see attached Landscape Architecture Plans.

4. Provide sight triangles on plans at intersection of driveway and property line – Sec. 155.12 (d)
RESPONSE: Provided. Please see attached.
5. Native plant requirements; 60% trees, 50% shrubs – Sec. 3.4.
RESPONSE: Understood. Please see attached Landscape Architecture Plans.
6. Label all sides of property whether there are ‘Existing Overhead Powerlines’ or ‘No Overhead Powerlines’. Provide FPL approved trees for planting under powerlines.
RESPONSE: Understood. Please see attached Landscape Architecture Plans.
7. 7.Add note: ‘Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.’
RESPONSE: Understood. Please see attached Landscape Architecture Plans with the requested note.
8. Above ground equipment: Where required for screening purposes, hedge shall be planted at equipment height for visual screening.
RESPONSE: Understood. Please see attached Landscape Architecture Plans with the requested information.
9. Add note: All landscaping shall be warranted for 1 year after final inspection.
RESPONSE: Noted.
10. Provide site requirements as per project zoning. RAC requirements.
RESPONSE: Understood. Please see attached Landscape Architecture Plans with the requested information.
11. Add note: 100% irrigation coverage shall be provided.
RESPONSE: Understood. Please see attached Landscape Architecture Plans with the requested information.

Additional comments may follow upon further review of requested items and information provided. We encourage you to reach out for any questions or clarification at fperez@hollywoodfl.org or 954-921- 3900.

I. UTILITIES

Alicia Vereia-Feria, Utilities Permit Review Administrator (averea-feria@hollywoodfl.org) 954-921-3302

12. Submit civil engineering plans indicating existing and proposed Water, Sewer, and Drainage for initial review.
RESPONSE: Civil engineering plans have been included with this submittal.
13. Show Water and Sewer demand calculations on proposed utilities plans.

RESPONSE: Civil engineering plans and calculations have been included with this submittal.

14. Include the City's latest applicable standard Water and Sewer details. The details are available on the City's website via the following link:

<http://www.hollywoodfl.org/1169/Standard-Details-and-Public-Notices>

RESPONSE: Civil engineering plans and calculations have been included with this submittal.

15. This site resides currently within FEMA Flood Zone X. The proposed Finished Floor Elevations (FFE) shall comply with the greatest of the following three (3) conditions, as applicable.

1. Section 154.50 of the City's Code of Ordinances requires the minimum FFE for residential shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential use.
2. Broward County Preliminary 2019 FEMA Flood Maps (as recommended), available online via the following link:

<https://bcgis.maps.arcgis.com/apps/View/index.html?appid=ea44837317bd47eaa5373ce3e2f01b6e>

3. Broward County Future Conditions 100-year Flood Map 2060 (in effect as of July 2021), available online via the following link:
<https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacda62575e817380>

RESPONSE: Civil engineering plans and calculations have been included with this submittal. The proposed plans are meeting or exceed the requirements of the FFE.

16. Indicate FFE for all enclosed areas on the ground floor.

RESPONSE: Civil engineering plans and calculations have been included with this submittal which include the requested information.

17. Provide perimeter cross sections across all property limits including transition areas meeting adjacent property grades.

RESPONSE: Civil engineering plans and calculations have been included with this submittal which include the requested information.

18. Ensure all stormwater is retained onsite.

RESPONSE: Noted. Please see attached Civil Engineering plans retaining stormwater on site.

19. Indicate how roof drainage will be collected and connected to the on-site drainage system.

RESPONSE: On-site drainage will be based on roof drainage and to be coordinated during building permit submittal with plumbing engineer.

20. Provide preliminary drainage calculations.

RESPONSE: Civil engineering plans and calculations have been included with this submittal which include the requested information.

21. Submit Erosion Control Plan.

RESPONSE: Civil engineering plans and calculations have been included with this submittal which include the requested information.

22. Permit approval from outside agencies will be required.

RESPONSE: Noted

23. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features.

RESPONSE: Civil engineering plans and landscape architecture plans have been coordinated.

24. Additional comments may follow upon further review of requested items.

RESPONSE: Noted

J. BUILDING

Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490

Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335

1. Application is substantially compliant.

RESPONSE: Noted

K. FIRE

Chris Clinton, Fire Marshal (cclinton@hollywoodfl.org) 954-967-4404

Marcy Hofle, Deputy Fire Marshall (mhofle@hollywoodfl.org) 954-967-4404

1. Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. --- A complete architectural review will be completed during formal application of architectural plans to the building department.

RESPONSE: Noted

2. Water supply shall meet the requirements of NFPA 1 (2018 Ed.) Section 18.4.5.3. --- To determine the minimum fire flow required for firefighting purposes, a Hydrant Flow Test will need to be scheduled through our Underground Utilities Department via email. --- underground@hollywoodfl.org

RESPONSE: Fire Flow test has been paid for by Owner and scheduled by the city.

After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building.

For your convenience, I have attached a sample Fire Flow Calculation letter which can be used as a template.

3. Provide civil drawings for the underground fire main. --- Provide such including the location of the fire department connection, DDCV, and size and type of the fire line from the water supply. --- Check with our water department for city requirements in addition to fire. --- Ensure on the plans that there is a fire hydrant within 100 feet of fire department connections as required by NFPA 14 (2016 Ed.) Section 6.4.5.4 --- "Fire department connections shall be located not more than 100 ft (30.5 m) from the nearest fire hydrant connected to an approved water supply."

RESPONSE: Civil engineering plans and calculations have been included with this submittal which include the requested information.

4. Provide a note on civil drawing all underground fire main work must be completed by fire protection contractor holding a Class I, II, or V license per FS 633.102.

RESPONSE: Civil engineering plans have been included with this submittal which include the requested note.

5. Water supply and any new hydrants shall be in place prior to accumulation of combustible materials per NFPA 1 (2018 Ed.) Section 16.4.3.1.1. --- Provide a note on the plans.

RESPONSE: Civil engineering plans have been included with this submittal which include the requested note.

6. As this structure is a high-rise, at time of submittal, ensure compliance with Florida Fire Prevention Code (7th Ed.), NFPA 1 (2018 Ed.), NFPA 101 (2018 Ed.), and Chapter 11 of NFPA 101 (2018 Ed.) --- "Special Structures and High-Rise Buildings."

Be advised, there is no indication of an Emergency Generator on the plans.

RESPONSE: Please see the attached roof plan which includes the emergency generator shown.

FIRE FLOW CALCULATIONS
NEW MIXED USE DH-3
A Ten Story Mixed Use Building
810 South Dixie Highway, Hollywood

These calculations are for a ten (10) story mixed use building, with a total ground floor square footage of 1,988 SF. The entire building is non-combustible construction.

Fire Flow Area = 24,228 SF

Based on Type II (222) construction. Per NFPA 18.4.4.1 Fire Flow Area, the fire flow area is based on the total square footage of the three largest floors, which is 24,228 square feet.

Per Table 18.4.5.2.1, the fire flow requirement is 1,750 gpm for 2 hours.

NFPA 18.4.5.3.2 states that the required fire flow can be reduced by 75% if the building has automatic sprinklers.

$1,750 \text{ gpm} \times 75\% = 1,312.50 \text{ gpm}$ (fire flow credit)

$1,750 \text{ gpm} - 1,312.50 \text{ gpm} = 437.50 \text{ gpm}$

The minimum fire flow per NFPA 18.4.5.3.2 is 1,000 gpm

Fire flow required = 1,000 gpm

L. PUBLIC WORKS

Joseph S. Kroll, Public Works Director (jkroll@hollywoodfl.org) 954-967-4207

Daniel Millien, Environmental Services Manager (dmillien@hollywoodfl.org) 954-967-4207

1. No comments received.

RESPONSE: Noted

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Park Impact Fee application required.

RESPONSE: Noted . Please see attached.

N. COMMUNITY DEVELOPMENT

Ryon R. Coote, Community Development Director (RCoote@hollywoodfl.org) 954-924-2958

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No comments received.

O. ECONOMIC DEVELOPMENT

Joann Hussey, Interim Director (jhussey@hollywoodfl.org) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922

1. Application is substantially compliant.

RESPONSE Noted

P. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371 Steven Bolger, Police

(sbolger@hollywoodfl.org) 954-967-4500 Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

Application is substantially compliant.

RESPONSE: Noted

1. Issue: Crime Prevention Through Environmental Design Blueprint Review/Recommendations.

RESPONSE: Noted

2. Explanation: The following recommendations were developed during the Crime Prevention Through Environmental Design review of the blueprints for "1822 Dixieana Street – Hollywood, Florida". Preliminary.

Note: Blueprint Crime Prevention Observations/Recommendations per ACPI (American Crime Prevention Institute) reference the addressed premises.

RESPONSE: Noted

CPTED Strategies.

3. Examples of clear border definition may include fences, shrubbery of signs in exterior areas.

External Lighting:

RESPONSE: Noted

4. Parking lots, vehicle roadways, pedestrian walkways and building entryways should have "adequate" levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

1. Parking Lots 3-5
2. Walking surfaces 3
3. Recreational Areas 2-3
4. Building Entryways 5

foot candles foot candles foot candles foot candles

RESPONSE: Noted

5. These levels may be subject to reduction in specific circumstances where after hours use is restricted.

RESPONSE: Noted

6. The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.
RESPONSE: Noted
7. Exterior lighting should be controlled by automatic devices (preferably by photocell).
RESPONSE: Noted
8. Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.
RESPONSE: Noted
9. Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.
RESPONSE: Noted
10. Lighting fixtures below 10' in grade should be designed to make access to internal parts difficult (i.e. security screws, locked access panels).
RESPONSE: Noted

Landscaping:

11. Make sure all landscaping is trimmed and well maintained.
RESPONSE: Noted
12. Make sure that landscaping does not obstruct the natural surveillance (visibility) of the area.
RESPONSE: Noted
13. Plant height appropriate shrubbery along walkways as to not obstruct visibility or allow individuals to hide behind.
RESPONSE: Noted
14. Plants/Shrubbery should not be more than 2 ft in height.
RESPONSE: Noted
15. Tree canopies should not be lower than 6ft in height.
RESPONSE: Noted

Buildings Perimeter Doors:

16. Exterior doors not used as designated entry points, should be locked to prevent entry from the exterior.
RESPONSE: Noted

17. Ideally, exterior doors should be equipped with electronic propped door alarms, which annunciate either locally and/or at the security office.

RESPONSE: Noted

18. Electrical, mechanical, pumphouse, maintenance rooms, should be kept locked when not in use.

RESPONSE: Noted

Internal Circulation and Control:

19. There should not be recessed areas in corridors that could be used for hiding or loitering.

RESPONSE: Noted

19. Convex mirrors should be used in corners and in stairwells.

RESPONSE: Noted

21. A/C unit area of roof should remain locked when not in use.

RESPONSE: Noted

22. All storage rooms should remain locked when not in use.

RESPONSE: Noted

23. All rooms/offices should remain locked when not in use.

RESPONSE: Noted

24. Equipment areas should remain locked when not in use

RESPONSE: Noted

25. Roof top access should remain locked when not in use.

RESPONSE: Noted

25. Lobby should remain locked after hours

RESPONSE: Noted

27. Package room should be secure

RESPONSE: Noted

28. Leasing office should remain locked when not in use

RESPONSE: Noted

29. Pool area should have life saving devices easily accessible

RESPONSE: Noted

30. Amenity space should be locked when not in use

RESPONSE: Noted

Corridors

31. Corridors should be well-lighted with no dark areas.

RESPONSE: Noted

32. Increased light, reflective paint colors, and graphics on hallway wall surfaces should be used to increase the perception of openness and constant movement.

RESPONSE: Noted

General locations:

33. Mechanical, electrical, HVAC, or other equipment located outside the building should be surrounded by a protective enclosure. Ex. Dumpster enclosures. CCTV:

RESPONSE: Noted

40. CCTV provides surveillance that can detect criminal activity and record the footage, which can be useful in an investigation. Conspicuous CCTV is another type of deterrent to a criminal. There are some difficulties in monitoring parking facilities because of shadows, spaces between parked vehicles; and columns, ramps, and walls in parking garages; that is why lighting is also essential in these areas.

RESPONSE: Noted

Fencing:

41. (If used) Wrought iron fencing provides for natural surveillance within and onto the property. Ex. Parking lot and to establish a defined border definition of the entire property.

Non-Pedestrian Building Entry Points

RESPONSE: Noted

42. Sturdy fencing should enclose locations where gas and electric utilities enter buildings.

RESPONSE: Noted

42. Locations where gas and electric utilities enter buildings should be well lighted.

RESPONSE: Noted

Signage

Ensure proper signage is posted throughout property.

RESPONSE: Noted

35. Pool should have signage whether or not a lifeguard is on duty.

RESPONSE: Noted

36. Pool should have rules and regulations plus hours of operation posted.

RESPONSE: Noted

37. Amenity space should have rules and regulations plus hours of operation posted.

RESPONSE: Noted

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

1. Not applicable.

RESPONSE: Noted

R. PARKING

Jovan Douglas, Parking Director (jdouglas@hollywoodfl.org) 954-921-3548

Angela Kelsheimer, Parking Operation Manager (akelsheimer@hollywoodfl.org) 954-921-3548

1. Comments not received.

RESPONSE: Noted

S. ADDITIONAL COMMENTS

Carmen Diaz, Planning Administrator (cdiaz@hollywoodfl.org) 954-921-3471 1. Additional comments may be forthcoming.

The Technical Advisory Committee finds this application substantially compliant with the requirements of Preliminary Review; therefore, the Applicant should submit for Final TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations. Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471. Sincerely,

Carmen Diaz

Planning Administrator

C: Joseph Kaller: joseph@kallerarchitects.com Rocky Kaller: rocky@kallerarchitects.com

Thank you,

Joseph Kaller

**CITY OF HOLLYWOOD
PARKS, RECREATION AND CULTURAL ARTS DEPARTMENT
PARK IMPACT FEE APPLICATION**

Pursuant to Chapter 161.07 (G)(1) of the City's Zoning and Land Development Regulations, all persons platting or subdividing land for residential purposes or for hotel/motel purposes or who are required to obtain site plan approval for a residential, hotel or motel development shall be required to pay a park impact fee. This fee is to be used for parks (passive or active open space or recreational facilities) to meet the needs created by the development.

Is this a residential or hotel/motel development? Yes No

If YES was selected please provide the following information. In NO was selected please do not complete application.

(PRINT LEGIBLY OR TYPE)

1. Owners Name: Mr. Kevin Neal

2. Project Name: Duena Apartments

3. Project Address: 1822 Duena Street

4. Contact person: Joseph B Kauer - Architect

5. Contact number: 954-920-5746

6. Type of unit(s): Single Family Multi-Family Hotel/Motel

7. Total number of residential and/or hotel/motel units: 70 units

8. Unit Fee per residential dwelling based on sq. ft.: 17 units = 1401.00 = 23,817.00
57 units = 1132.00 = 64,524.00

9. Unit Fee per hotel/motel room: \$1,355.00

10. Total Park Impact Fee: \$88,341.00 Date: 10/19/23

The Park Impact Fee shall be paid in full prior to issuance of a building permit unless the project is to be completed in phases. This application provides an approximate Park Impact Fee however the final Park Impact Fee will be calculated and paid at time of building permit request.

This application (if applicable) should be submitted to the Technical Advisory Committee to obtain Parks, Recreation and Cultural Arts Department approval.

Please contact David Vazquez, Department of Parks, Recreation and Cultural Arts at 954.921.3404 or dvazquez@hollywoodfl.org with any inquiries.



October 25, 2023

Kevin Neal, Founder
Neal Development Company
317 Grove Way
Delray Beach, Florida 33444

Via Email Only

Dear Mr. Neal:

Re: Platting requirements for a parcel legally described as Lots 11-14, "Frank Addition," according to the Plat thereof, as recorded in Plat Book 7, Page 11, of the Public Records of Broward County, Florida; less a portion of Lot 14 for right-of-way purposes. This parcel is generally located on the southeast corner of Dixieana Street and North 18 Court, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. A majority of the lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.51 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above. It is noted that lands dedicated for right-of-way purposes do not negatively impact whether or not a subject property meets the specifically delineated requirement.

Kevin Neal
October 25, 2023
Page Two

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Julie M. Bernal at your convenience.

Respectfully,



Barbara Blake Boy
Executive Director

BBB:JMB

cc/email: George Keller, Jr., CPPT, City Manager
City of Hollywood

Andria Wingett, Director, Development Services
City of Hollywood



Hydrant Flow Test Procedure

Procedure For One & Two Flow Hydrant Test:

- Establish hydrants closest to location and associated water main(s).
- Static/Residual hydrant (**P**) should be located close to location (preferably off same main as to provide future water source).
- Flow hydrant(s) (**F**) should be located off same main up and down stream from mid-point test (static/residual) hydrant.
- Note static system pressure off **P** hydrant before opening any other (note any unusual or remarkable anomalies such as high demand sources, construction, etc.)
- Flow **F1** hydrant and record GPM and residual off **P** hydrant.
- Flow **F2** hydrant and record GPM and residual off **P** hydrant.
- Flow **F1 & F2** simultaneously and record GPM separately from **F1** and **F2** and record **P** hydrant residual.

Legend:

F1 & F2 Designation shall represent first and second flowed hydrants respectively
P Designation shall represent test hydrant for static and residual distribution system pressures.

GN DIXIANA LLC

Date:	11/20/23	Time:	9:15am	Static Pressure -	60psi
Residual/Static Hydrant		Address/Location		Residual Pressures	
P - Hydrant FH004571	1833 N 18th Ct	F-1 Only	F-2 Only	57psi	57psi
		F-1& F-2		57psi	
Flow Hydrants		Address/Location		Flow Rate	
F-1 Hydrant (Individual) FH004572	1102 N 19th Ct			GPM	
				1160	
F-2 Hydrant (Individual) FH000173	1090 N Federal Hwy			GPM	
				1130	
F-1 Hydrant (Both Flowing)				GPM	
				1130	
F-2 Hydrant (Both Flowing)				GPM	
				1130	



A Civil Engineering Firm
Tel: (786)302-7693 • Email: wilford@zephyrengineeringfl.com

December 1, 2023

FIRE FLOW CALCULATIONS
DIXIANA APARTMENTS

1822 Dixiana Street
Hollywood, FL 33020

These calculations are for a fourteen-story building. The total area of the three (3) largest floors is 24,005 SF. The floors used for the fire flow calculations are as follow:

6th Floor: 8,877 SF
7th Floor: 7,564 SF
8th Floor: 7,564 SF

Fire Flow Area = 24,005 SF

Per NFPA 18.4, Fire Flow Requirements, the required fire flow for Type II (222) construction for the above-referenced fire flow area is 1,750 GPM.

Per NFPA 18.4.5.3.2, a reduction in required fire flow of 75% shall be permitted when the building is protected throughout by an approved automatic sprinkler system. The resulting fire flow may not be less than 1000 gpm.

$(1,750 \text{ GPM}) \times 0.75 = 1,312.50 \text{ GPM}$ (fire flow credit for automatic sprinkler system)

$(1,750 \text{ GPM}) - (1,312.50 \text{ GPM}) = 437.50 \text{ GPM}$

Fire flow required = 1,000 GPM

Prepared by:



12-1-23

Wilford Zephyr, P.E., LEED AP, CFM

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



A Civil Engineering Firm
Tel: (786)302-7693 • Email: wilford@zephyrengineeringfl.com

November 29, 2023

Drainage Calculations for Dixiana Street Apartments Hollywood, FL 33020

PEAK STAGES

STORM EVENT	PRE-DEVELOPMENT	POST-DEVELOPMENT
5 Year - 1 Hour	N/A	5.85' NAVD88
25 YEAR - 3 DAY	9.06' NAVD88	9.05' NAVD88
100 YEAR - 3 DAY	9.44' NAVD88	9.42' NAVD88

Prepared by:



12-1-23

Wilford Zephyr, P.E., LEED AP, CFM

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Project Name: Dixieana Street Apartments
Project Address: 1822 Dixieanna Street
Hollywood, FL 33020
ZE Project #: 23-48

Date: 11/29/23
Designed by:
Wilford Zephyr, P.E.

Post Development

All Elevations are referenced to NAVD88 vertical datum

Site Data

Project Area:	0.48 AC	
Pavement Area:	0.27 AC	
Building Area:	0.11 AC	
Grass Area (Pervious):	0.1 AC	
Lake Area:	0 AC	
Total Pervious Area:	0.1 AC	20.83%
Total Impervious Area:	0.38 AC	79.17%

Design Parameters

Water Table Elevation:	1.50 ft
Exist. Crown of Road Elev.:	7.56 ft
Average Finished Grades:	8.60 ft
Prop. Finished Floor Elev.:	11.00 ft

C Factor

Pervious:	0.6
Impervious:	0.9

$$\text{C Factor (weighted)} = \frac{0.10 (0.60) + 0.27 (.90)}{0.37} = 0.82$$

Storm Event Information

3 year, 1 hour event:	2.5 inches (for retention/detention)
25 year, 24 hour event:	10.50 inches
25 year, 72 hour event:	14.27 inches (Finished Floor Elevation)
100 year, 24 hour event:	13 inches
100 year, 72 hour event:	17.67 inches (Finished Floor Elevation)

Soil Storage (S) & Curve Number (CN)

All Elevations are referenced to NAVD88

Cumulative Water Storage (CWS)

Design Water Table (WT) = 1.50 ft

Average Finished Grade = 8.60 ft

Average Depth to Water Table (DWT) = 7.10 ft

Cumulative Water Storage (CWS) = 6.75 IN

(from table below)

Cumulative Soil Moisture Storage (flatwoods soil)

DWT	NAS	DAS
1.0'	0.60"	0.45"
2.0'	2.50"	1.88"
3.0'	5.40"	4.05"
4.0'	9.00"	6.75"

DWT=Depth to Water Table

NAS=Natural Available Storage

DAS=Developed Available Storage

Soil Storage (S in inches)

$S = CWS \times (\text{percentage of total pervious area}) =$

1.41

Curve Number (CN)

$CN = 1000 / (S + 10) =$ 87.67

Water Quality Retention/Detention & Pretreatment Calculations

- A. For a wet detention system, size system for highest of first inch of runoff over the entire site or 2.5" times the % impervious area
- B. For a dry detention system, size system for 75% of the volume required for a wet detention system.
- C. For a retention system, size system for 50% of the volume required for a wet detention system.

1/2" Pretreatment

0.5" X 0.48 acres = 0.24 acre-inches (0.02 acre-ft)

1 IN Over Entire Site

1" X 0.48 acres = 0.48 acre-inches (0.04 acre-ft)

2.5 INCHES Times Percent Impervious

Total project area - roof area = 0.48 acres - 0.11 acres = 0.37 acres

0.37 acres - 0.10 acres (pervious area) = 0.27 acres

0.27 acres / 0.37 acres X 100% = 72.97% impervious

2.5" X 0.7297 = 1.82" to be treated

1.82" X 0.48 acres = 0.87 acre-inches (0.073 acre-feet)

0.073 acre-ft of storage required for water quality.

Water quality storage provided in existing dry retention area and proposed exfiltration trench system.

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$$Q = (P - 0.2S)^2 / (P + 0.8S) \qquad V = Q \times A \text{ (ft/ 12 in)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches)

A = site area (acre)

V = Runoff Volume (ac-ft)

Finished Floor Elevation

P_{1 day} = 100 year, 24 hour event: 13 (inches)

P_{3 day} = 100 year, 72 hour event: 17.67 (inches)

S = 1.41 (inches)

A = 0.48 (acre)

Q = 16.08 (inches)

V = 0.64 (ac-ft)

Corresponding Stage = 9.42 ft

Set minimum finished floor elevation at 11.00' NAVD88.

Perimeter Control Elevation

P_{1 day} = 25 year, 24 hour event: 10.5 (inches)

P_{3 day} = 25 year, 72 hour event: 14.27 (inches)

S = 1.41 (inches) (see "Soil Storage" sheet

A = 0.48 (acre) for calculating "S")

Q = 12.71 (inches)

V = 0.51 (ac-ft)

Corresponding Stage = 9.05 ft

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$$Q = (P - 0.2S)^2 / (P + 0.8S)$$

$$V = Q \times A \text{ (ft/ 12 in)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches)

A = site area (acre)

V = Runoff Volume (ac-ft)

5 Year - 1 Hour (Lowest Catch Basin Elevation)

P= 5 year, 1 hour event: 3.28 (inches)
S= 1.41 (inches)
A= 0.48 (acre)

Q = 2.04 (inches)

V = 0.08 (ac-ft)

Corresponding Stage = 5.85 ft

Set minimum lowest catch basin at elevation at 7.35' NAVD88.

Stage Storage

All Elevations are referenced to NAVD88

Total Surface Storage Area = 0.36 AC

(0.09 AC) (0.27 AC)
 (Lin. 7.00'-8.25') (Lin. from 7.80'-8.50')

Stage	Surface Storage (Landscape)	Surface Storage (Pavement)	Trench Storage	Total
7.00 '	0.00 AC-FT	0.00 AC-FT	0.13 AC-FT	0.13 AC-FT
7.50 '	0.02 AC-FT	0.00 AC-FT	0.13 AC-FT	0.15 AC-FT
8.00 '	0.05 AC-FT	0.03 AC-FT	0.13 AC-FT	0.20 AC-FT
8.50 '	0.08 AC-FT	0.09 AC-FT	0.13 AC-FT	0.31 AC-FT
9.00 '	0.12 AC-FT	0.23 AC-FT	0.13 AC-FT	0.49 AC-FT
9.50 '	0.17 AC-FT	0.36 AC-FT	0.13 AC-FT	0.67 AC-FT

*total landscape area=0.10 AC. 10% reduction applied (-0.01 AC) due to loss of stormwater storage from tree trunks.

Exfiltration Trench Length Calculation

All elevations are referenced to NAVD88 vertical datum.

Calculating H₂

Design Water Table (WT) = 1.50 ft
 Lowest Catch Basin Elevation = 7.35 ft
 Bottom of Exfiltration Trench = 0.85 ft
 Top of Exfiltration Trench = 5.85 ft
 EL_{inv.} = N/A

H₂ = 5.85 ft

Calculating Exfiltration Trench Length

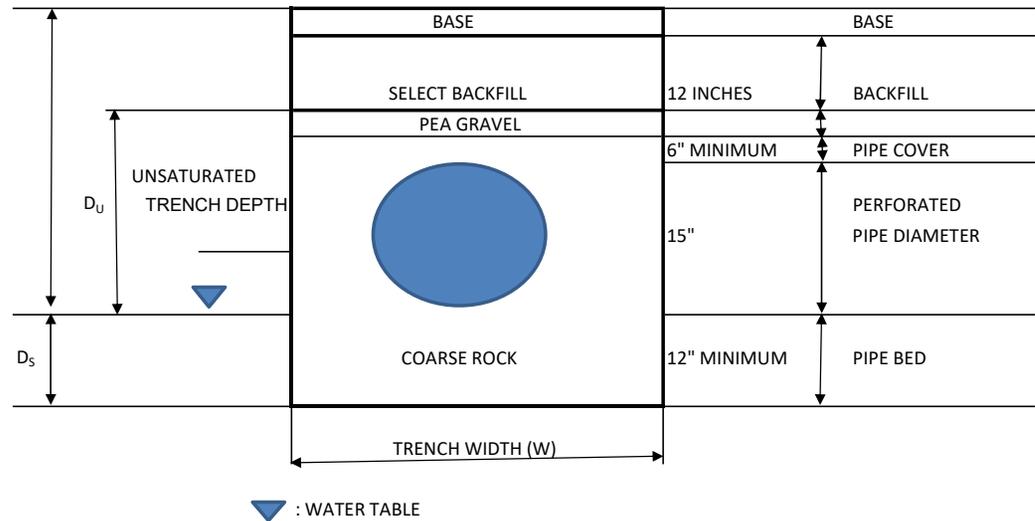
EL_{inv.} = invert elevation of lowest weir/bleeder allowing discharge from trench
 L_R = length of trench required (ft)
 L_P = length of trench provided (ft)
 V_{exft.} = volume in exfiltration trench (ac-in)
 FS = factor of safety
 K = hydraulic conductivity (cfs/ft² - ft head)
 H₂ = head on saturated surface (ft)
 W = trench width (ft)
 D_U = unsaturated trench depth (ft)
 D_S = saturated trench depth

$$L_R = \frac{FS[(\%WQ)(V_{wq}) + V_{add}]}{K[H_2W + 2H_2D_U - D_U^2 + 2H_2D_S] + (1.39 \times 10^{-4})(WD_U)}$$

V_{wq} = 0.87 (0.073 ac-ft)
 V_{add} = 0.7 (0.059 ac-ft)
 %WQ = 0.5
 FS = 2
 K = 0.000133
 H₂ = 5.85
 W = 10
 D_U = 4.35
 D_S = 0.65

L_R = 118.91' of exfiltration trench required.

L_P = 119.00' of exfiltration trench provided.



Project Name: Dixieana Street Apartments
Project Address: 1822 Dixieanna Street
Hollywood, FL 33020
ZE Project #: 23-48

Date: 11/29/23
Designed by:
Wilford Zephyr, P.E.

Pre Development

All Elevations are referenced to NAVD88 vertical datum

Site Data

Project Area:	0.48 AC	
Pavement Area:	0.11 AC	
Building Area:	0.11 AC	
Grass Area (Pervious):	0.26 AC	
Lake Area:	0 AC	
Total Pervious Area:	0.26 AC	54.17%
Total Impervious Area:	0.22 AC	45.83%

Design Parameters

Water Table Elevation:	1.50 ft
Exist. Crown of Road Elev.:	7.56 ft
Average Finished Grades:	7.90 ft
Prop. Finished Floor Elev.:	N/A

C Factor

Pervious:	0.6
Impervious:	0.9

$$C \text{ Factor (weighted)} = \frac{0.26 (0.60) + 0.11 (.90)}{0.37} = 0.69$$

Storm Event Information

3 year, 1 hour event:	2.5 inches (for retention/detention)
25 year, 24 hour event:	10.50 inches
25 year, 72 hour event:	14.27 inches (Finished Floor Elevation)
100 year, 24 hour event:	13 inches
100 year, 72 hour event:	17.67 inches (Finished Floor Elevation)

Soil Storage (S) & Curve Number (CN)

All Elevations are referenced to NAVD88

Cumulative Water Storage (CWS)

Design Water Table (WT) = 1.50 ft

Average Finished Grade = 7.90 ft

Average Depth to Water Table (DWT) = 6.40 ft

Cumulative Water Storage (CWS) = 6.75 IN

(from table below)

Cumulative Soil Moisture Storage (flatwoods soil)

DWT	NAS	DAS
1.0'	0.60"	0.45"
2.0'	2.50"	1.88"
3.0'	5.40"	4.05"
4.0'	9.00"	6.75"

DWT=Depth to Water Table

NAS=Natural Available Storage

DAS=Developed Available Storage

Soil Storage (S in inches)

$S = CWS \times (\text{percentage of total pervious area}) =$

3.66

Curve Number (CN)

$CN = 1000 / (S + 10) =$ 73.23

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$$Q = (P - 0.2S)^2 / (P + 0.8S) \qquad V = Q \times A \text{ (ft/ 12 in)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches)

A = site area (acre)

V = Runoff Volume (ac-ft)

Finished Floor Elevation

P _{1 day} =	100 year, 24 hour event:	13 (inches)
P _{3 day} =	100 year, 72 hour event:	17.67 (inches)
	S =	3.66 (inches)
	A =	0.48 (acre)

$$Q = 13.93 \text{ (inches)}$$

$$V = 0.56 \text{ (ac-ft)}$$

Corresponding Stage = 9.44 ft

Perimeter Control Elevation

P _{1 day} =	25 year, 24 hour event:	10.5 (inches)	
P _{3 day} =	25 year, 72 hour event:	14.27 (inches)	
	S =	3.66 (inches)	(see "Soil Storage" sheet
	A =	0.48 (acre)	for calculating "S")

$$Q = 10.66 \text{ (inches)}$$

$$V = 0.43 \text{ (ac-ft)}$$

Corresponding Stage = 9.06 ft

Stage Storage

All Elevations are referenced to NAVD88

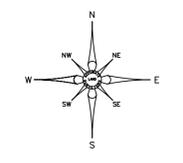
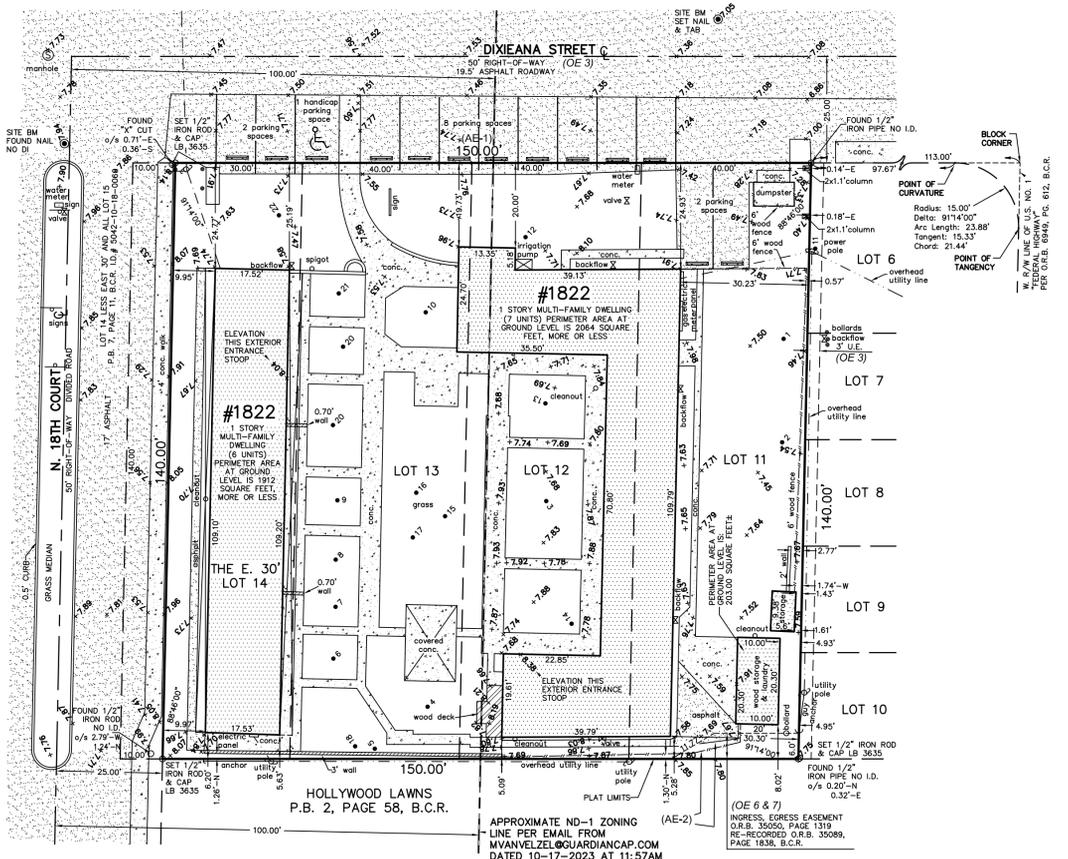
Total Surface Storage Area = 0.34 AC

(0.23 AC)
(Lin. 7.70'-7.90')

(0.11 AC)
(Lin. from 7.70'-7.90')

Stage	Surface Storage (Landscape)	Surface Storage (Pavement)	Trench Storage	Total
7.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
8.00 '	0.05 AC-FT	0.02 AC-FT	0.00 AC-FT	0.07 AC-FT
8.50 '	0.16 AC-FT	0.08 AC-FT	0.00 AC-FT	0.24 AC-FT
9.00 '	0.28 AC-FT	0.13 AC-FT	0.00 AC-FT	0.41 AC-FT
9.50 '	0.39 AC-FT	0.19 AC-FT	0.00 AC-FT	0.58 AC-FT

*total landscape area=0.26 AC. 10% reduction applied (-0.026 AC) due to loss of stormwater storage from tree trunks.



ACCURATE LAND SURVEYORS, INC.
L.B. #3635
1600 S. FEDERAL HIGHWAY SUITE 600
POMPANO BEACH, FLORIDA 33062
TEL: (954) 782-1441
FAX: (954) 782-1442
EMAIL: INFO@ACCURATELANDSURVEYORS.COM

ALTA/NSPS LAND TITLE TOPOGRAPHIC & TREE SURVEY

SYMBOLS & LEGEND OF ABBREVIATIONS:

R/W	=	RIGHT OF WAY	x 7.00'	=	ELEVATIONS BASED ON N.A.V.D.
N	=	NORTH	(AE)	=	APPARENT ENCROACHMENT
S	=	SOUTH	P.B.C.R.	=	PALM BEACH COUNTY RECORDS
E	=	EAST	M.D.C.R.	=	MIAMI-DADE COUNTY RECORDS
W	=	WEST	P.O.C.	=	POINT OF COMMENCEMENT
D.B.	=	DEED BOOK	P.O.B.	=	POINT OF BEGINNING
ENCH.	=	ENCROACH	CHATT.	=	CHATTahoochee
F.F.	=	FINISHED FLOOR	F.P.L.	=	FLORIDA POWER & LIGHT
GAR.	=	GARAGE	B.C.R.	=	BROWARD COUNTY RECORDS
CL	=	CENTERLINE	O.R.B.	=	OFFICIAL RECORDS BOOK
MH	=	MANHOLE	F.D.O.T.	=	FLORIDA DEPARTMENT OF TRANSPORTATION
(M)	=	MEASURED	D.E.P.	=	DEPARTMENT OF ENVIRONMENTAL PROTECTION
P.B.	=	PLAT BOOK	D.N.R.	=	DEPARTMENT OF NATURAL RESOURCES
A/C	=	AIR CONDITIONER	P.R.M.	=	PERMANENT REFERENCE MONUMENT
P	=	PLAT	N.A.V.D.	=	NORTH AMERICAN VERTICAL DATUM

⊗	VALVE	□	UTILITY BOX	—	PARKING STRIPE
⊙	MANHOLE	⊗	HYDRANT	—	OVERHEAD UTILITY LINES
⊞	BASIN	—	UTILITY POLE	—	6" CONCRETE WALL
⊕	WELL	⊗	VAULT	—	COVERED AREA
⊞	WATER METER	⊗	LIGHT	—	CONCRETE
⊙	MONITORING WELL	•	BOLLARD	—	BRICK PAVERS
⊙	PROPERTY CORNER	⊞	AIR CONDITIONER	—	TILE
⊙	TREE			—	ASPHALT

STREET ADDRESS:
1822 Dixiana Street Hollywood, FL 33020

LEGAL DESCRIPTION:
Lots 11, 12, 13 and the East 30 feet of Lot 14, FRANK ADDITION, Hollywood FLA., according to the Plat thereof, as recorded in Plat Book 7, Page 11, of the Public Records of Broward County, Florida.

- NOTES:**
- Unless otherwise noted field measurements are in agreement with record measurements.
 - Angles shown hereon are based on Plat Book 7, Page 11, of the Public Records of Broward County, Florida.
 - The lands shown hereon were not abstracted for ownership, rights of way, easements, or other matters of records by Accurate Land Surveyors, Inc.
 - Ownership of fences and walls if any are not determined.
 - This survey is the property of Accurate Land Surveyors, Inc. and shall not be used or reproduced in whole or in part without written authorization.
 - Any and all underground features such as foundations, utility lines, Ext. were not located on this survey. This is an above ground survey only.
 - This survey reflects all obtainable, legible, plottable, recorded matters of survey per Schedule B2 of Chicago Title Insurance Company Ownership and Encumbrance Report File Number: 11359762 Update Reference: 23-007 dated November 1, 2023 at 11:00 P.M.
 - Perimeter area of the subject property is 20,995 square feet or 0.481 acres more or less.
 - Gross area of the subject property is 28,860 square feet, or 0.6625 acres, more or less.
 - Net area of the subject property is 20,995 square feet or 0.481 acres more or less.
 - Gross area was determined by extending the East and South property lines to the centerline of the existing right of way.
 - Net area is the actual perimeter area of the subject property.
 - The flood zone information shown hereon is for the dwelling structure only unless otherwise indicated.
 - The location of overhead utility lines are approximate in nature due to their proximity above ground, size, type and quantity must be verified prior to design or construction.
 - There was no evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
 - There was no evidence of recent street or sidewalk construction or repairs in the process of conducting the fieldwork.
 - Accuracy statement: This survey meets or exceeds the horizontal and vertical accuracy for Alta NSPS Land Title Survey Required February 2021
 - Printed copies of this survey are not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper.
 - PDF copies of this survey are not valid without the digital signature of a Florida licensed Surveyor and Mapper and must be verified.
 - Tree note: Surveyors responsibility is to show size & location of all trees, common and scientific name to be verified by certified arborist.

FLOOD INFORMATION:
Community name and number: City of Hollywood 125113
Map and panel number: 12011C0569H
Panel date: 08-18-2014
Index date: 08-18-2014
Flood zone: X(0.2%)
Base flood elevation: N/A

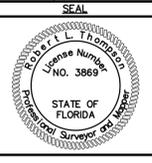
BENCHMARK INFORMATION:
City of Hollywood Benchmark nail & tab at point of intersection 19th Avenue and Hayes Street
Elevation = 8.94' NAVD1988

ORIGINAL DATE OF FIELD SURVEY: 04-27-2023	DRAWN BY: AL
FIELD BOOK: ALS-SU-23-0579	CHECKED BY: RL
REVISIONS & SURVEY UPDATES	DATE OF SURVEY & REVISIONS
	BY

UPDATE O & E DATE AND ADD GROSS AND NET AREA	11-20-2023	MLW
ALTA/NSPS LAND TITLE TOPOGRAPHIC & TREE SURVEY 23-1522	10-17-2023	MLW
CERTIFICATION CHANGE "NO FIELD VISIT"	07-14-2023	MLW

CERTIFY TO:
GN DIXIANA, LLC

CERTIFICATION:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 8, 9, 11, 14, 16, 18 and 19 of Table A thereof. The fieldwork was completed on 10-17-2023.



ROBERT L. THOMPSON (PRESIDENT)
PROFESSIONAL SURVEYOR AND MAPPER No. 3869 - STATE OF FLORIDA

SHEET 1 OF 1 SCALE 1"=20' SKETCH NUMBER SU-23-0579

Existing Tree List
Address: 1822 Dixiana Street, Hollywood, FL
Date: 10/11/2023
Appraiser: Thomas White, ASLA-ISA
ISA Arborist FL-6248A

Tree #	(Botanical Name / Common Name)	Ht. (Feet)	Spread (Feet)	DBH (Inches)	Condition	DBH Removed (Inches)	DBH To Remain (Inches)	Disposition
1	Plumeria spp. / Frangipani	8	6	2	Fair	2		Remove
2	Plumeria spp. / Frangipani	12	18	6	Fair	6		Remove
3	Senna surattensis / Glaucous Cassia	8	6	1	Fair	1		Remove
4	Cordia alliodora / Orange Gager	18	10	3	Fair	3		Remove
5	Quercus virginiana / Live Oak	35	40	21	Poor	21		Remove
6	Plumeria spp. / Frangipani	10	8	4	Fair	4		Remove
7	Conocarpus erectus / Green Buttonwood	20	6	5	Poor	5		Remove
8	Conocarpus erectus / Green Buttonwood	20	15	16	Poor	16		Remove
9	Conocarpus erectus / Green Buttonwood	20	6	5	Fair	5		Remove

DBH Removed = 63
Payment into the Tree Trust Fund @ \$350 per every 2" = \$11,025

Existing Palm List

Palm #	(Botanical Name / Common Name)	Ht. (Feet)	C.T. (Feet)	DBH (Inches)	Condition	Replacement Palms	Disposition
11	Sabal palmetto / Cabbage Palm	20	15	3	Good	1	Remove
12	Dypsis lutescens / Areca Palm	20	0	16	Fair	1	Remove
13	Dypsis lutescens / Areca Palm	20	0	16	Fair	1	Remove
14	Psychosperma elegans / Bottle Palm	20	15	3	Fair	1	Remove
15	Syagrus romanzoffiana / Queen palm	22	16	10	Poor	1	Remove
16	Syagrus romanzoffiana / Queen palm	18	12	4	Poor	1	Remove
17	Syagrus romanzoffiana / Queen palm	14	8	4	Poor	1	Remove
18	Sabal palmetto / Cabbage Palm	20	12	4	Good	1	Remove
19	Wodyetia bifurcata / Foxtail Palm	16	12	4	Poor	1	Remove
20	Cocos nucifera / Coconut Palm	20	2	14	Good	1	Remove
21	Cocos nucifera / Coconut Palm	20	2	16	Good	1	Remove
22	Sabal palmetto / Cabbage Palm	26	20	12	Good	1	Remove

Replacement Palms Required = 12

DIXIEANA STREET APARTMENTS

1822 DIXIEANA ST.
HOLLYWOOD, FL 33020

LEGAL DESCRIPTION

LOTS 11, 12, 13 AND THE EAST 30 FEET OF LOT 14, FRANK ADDITION, HOLLYWOOD FLA., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGE 11, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Property ID: 514210180050

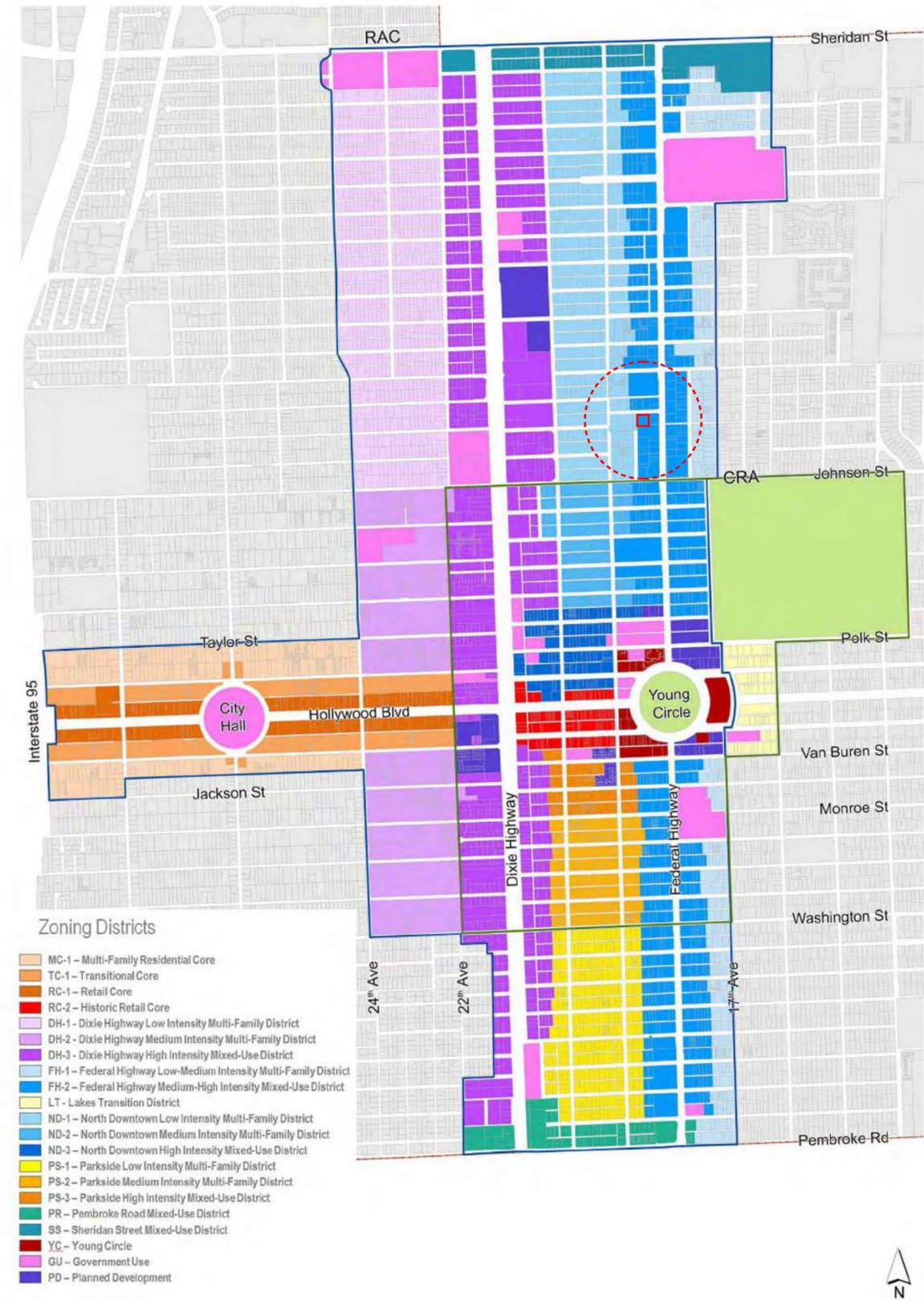
ARCHITECTURE

- A-0.0 COVER
- A-R1 RENDERING
- A-R2 RENDERING
- A-R3 RENDERING
- A-R4 RENDERING
- A-1.0 SITE DATA
- A-1.1 FAR DIAGRAM
- A-2.1 LEVEL 1 - GROUND LEVEL
- A-2.2 LEVEL 2
- A-2.3 LEVEL 3
- A-2.4 LEVEL 4
- A-2.5 LEVEL 5
- A-2.6 LEVEL 6 - POOL TERRACE
- A-2.7 LEVEL 7
- A-2.8 LEVEL 8-10
- A-2.9 LEVEL 11 - ROOF
- A-3.1 NORTH ELEVATION
- A-3.2 WEST ELEVATION
- A-3.3 SOUTH ELEVATION
- A-3.4 EAST ELEVATION
- A-4.1 SIGNAGE AND DETAILS
- A-5.1 NORTH WEST ISOMETRIC
- A-5.2 SOUTH WEST ISOMETRIC
- A-5.3 NORTH EAST ISOMETRIC
- A-5.4 SOUTH EAST ISOMETRIC

ARCHITECT

JOSEPH B. KALLER AND ASSOCIATES, P.A.
CONTACT: Mr. JOSEPH B. KALLER
ADDRESS: 2417 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33019
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RAC



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GUARDIAN PROPERTIES

PROJECT TITLE
1822 DIXIEANA ST.
HOLLYWOOD, FL. 33020

SHEET TITLE
COVER

MEETING DATES		
BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

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SCHEMATIC DESIGN

PROJECT No.: 23072
DATE: 12.18.23
DESIGN BY: K.NEAL
CHECKED BY: JBK

SHEET
A-0.0

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PROJECT TITLE
1822 DIXIEANA ST.
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SHEET TITLE
RENDERING

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
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1822 DIXIEANA ST.
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SHEET TITLE
RENDERING

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION
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 HOLLYWOOD, FL. 33020

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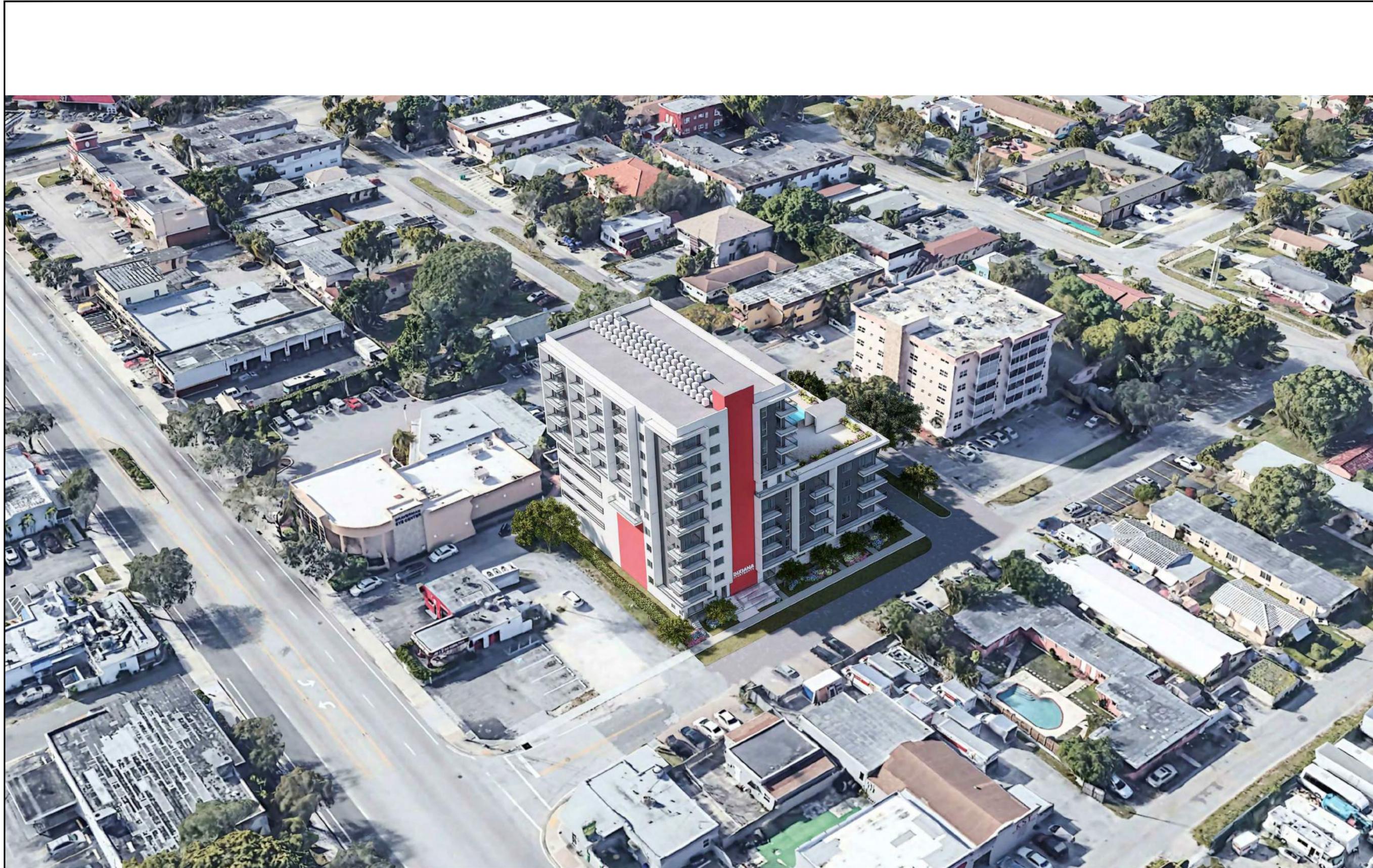
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BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
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PROJECT No.: 23072
 DATE: 12.18.23
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 CHECKED BY: JBK

SHEET
A-R.3



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PROJECT TITLE
 1822 DIXIEANA ST.
 --
 HOLLYWOOD, FL. 33020

SHEET TITLE
 RENDERING

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

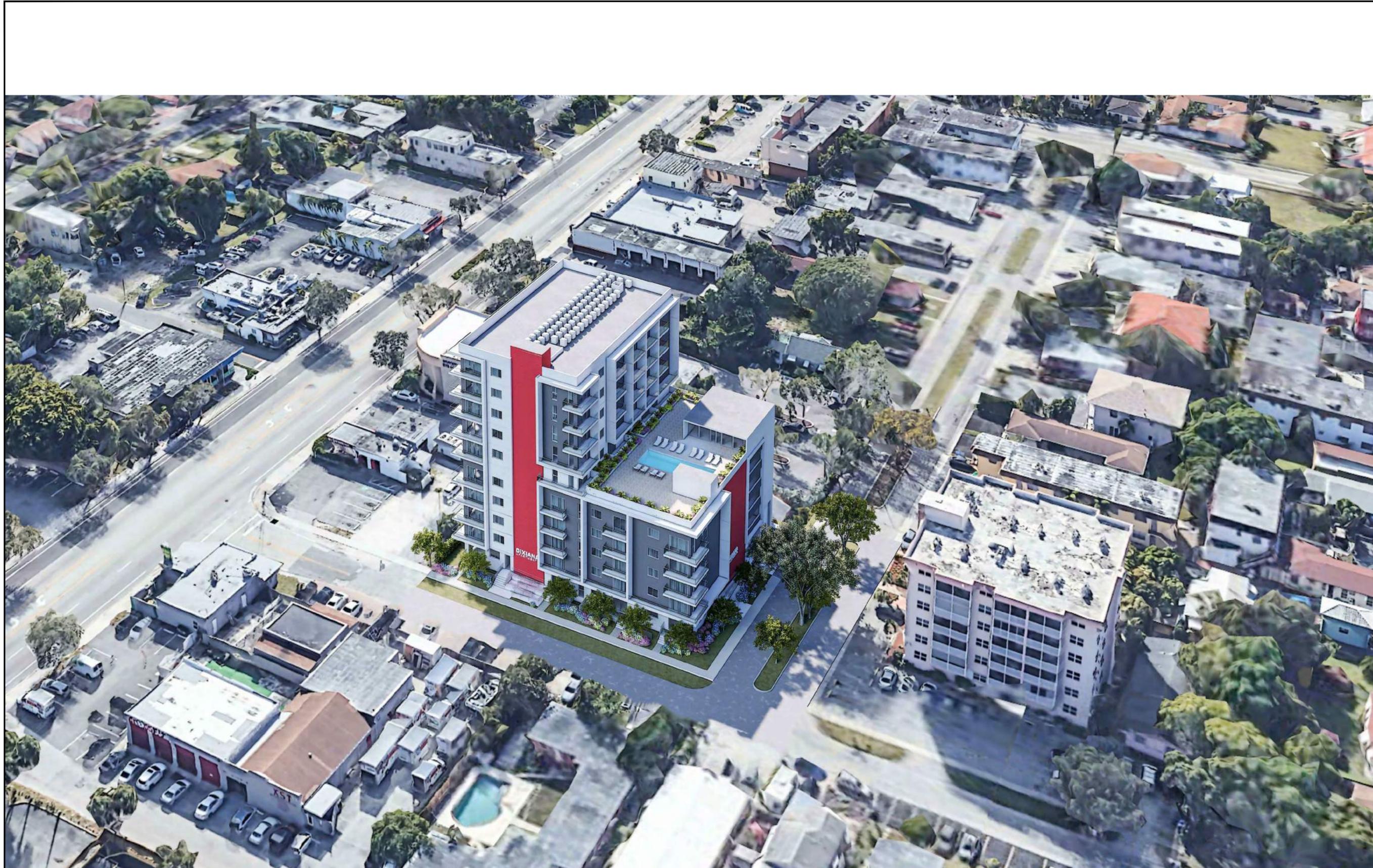
SCHEMATIC DESIGN

PROJECT No.: 23072
 DATE: 12.18.23
 DESIGN BY: K.NEAL
 CHECKED BY: JBK

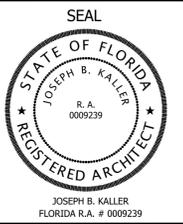
SHEET
 A-R.4

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1 RENDERING
 N.T.S.



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GUARDIAN PROPERTIES

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 --
 HOLLYWOOD, FL. 33020

SHEET TITLE
 RENDERING

MEETING DATES

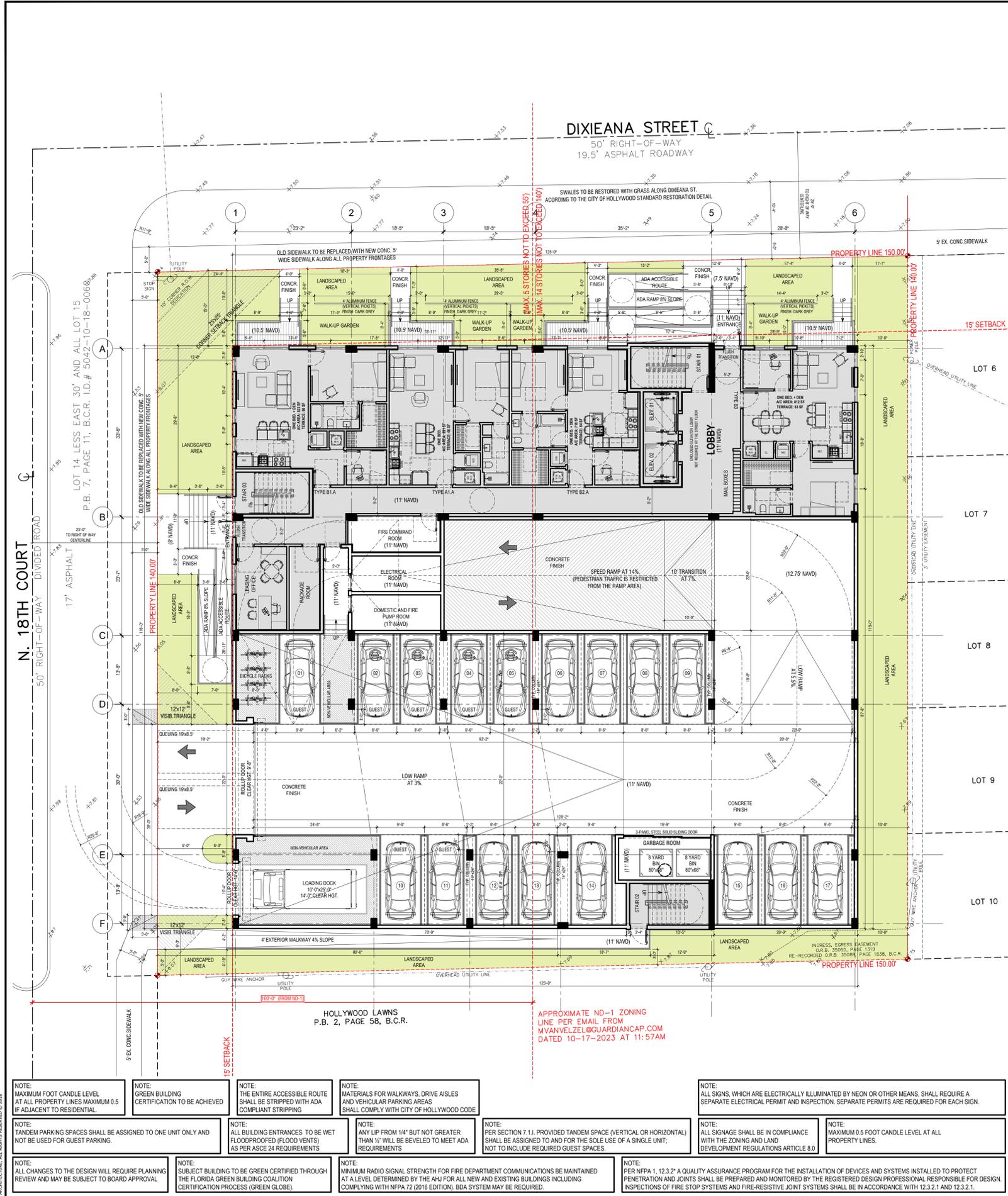
BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

Schematic Design

PROJECT No.: 23072
 DATE: 12.18.23
 DESIGN BY: K.NEAL
 CHECKED BY: JBK

SHEET
 A-R.5

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NOTE: MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL.

NOTE: THE ENTIRE ACCESSIBLE ROUTE SHALL BE STRIPPED WITH ADA COMPLIANT STRIPPING.

NOTE: ALL BUILDING ENTRANCES TO BE WET FLOODEPROOFED (FLOOD VENTS) AS PER ASCE 24 REQUIREMENTS.

NOTE: ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

NOTE: SUBJECT BUILDING TO BE GREEN CERTIFIED THROUGH THE FLORIDA GREEN BUILDING COALITION CERTIFICATION PROCESS (GREEN GLOBE).

NOTE: MATERIALS FOR WALKWAYS, DRIVE AISLES AND VEHICULAR PARKING AREAS SHALL COMPLY WITH CITY OF HOLLYWOOD CODE.

NOTE: ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.

NOTE: MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS MAY BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ FOR ALL NEW AND EXISTING BUILDINGS INCLUDING COMPLYING WITH NFPA 72 (2016 EDITION). BDA SYSTEM MAY BE REQUIRED.

NOTE: ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.

NOTE: ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS ARTICLE 8.0.

NOTE: MAXIMUM 0.5 FOOT CANDLE LEVEL AT ALL PROPERTY LINES.

NOTE: PER SECTION 7.1.1. PROVIDED TANDEM SPACE (VERTICAL OR HORIZONTAL) SHALL BE ASSIGNED TO AND FOR THE SOLE USE OF A SINGLE UNIT; NOT TO INCLUDE REQUIRED GUEST SPACES.

NOTE: INSIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS ARTICLE 8.0.

NOTE: MINIMUM 0.5 FOOT CANDLE LEVEL AT ALL PROPERTY LINES.

NOTE: PER NFPA 1, 12.3.2.2 A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL, RESPONSIBLE FOR DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.

1822 DIXIEANA ST.
HOLLYWOOD, FL 33020

LEGAL DESCRIPTION

LOTS 11, 12, 13 AND THE EAST 30 FEET OF LOT 14, FRANK ADDITION, HOLLYWOOD FLA., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGE 11, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Property ID: 514210180050

Total Lot Net Area: 20,995.13 SF (0.481 acres)

ZONING INFO

BASIC ZONING
Municipal Future Land Use: Regional Activity Center (RAC)
Zone: FH-2
Existing Building Use: Multi-Family Dwellings
Existing Land Use: Residential

ADDITIONAL ZONES
FEMA Flood Zone: X - Below 500 Year Flood Plain
Future Conditions 100-Year Flood Elevation (Feet NAVD88): 11' NAVD

BUILDING INTENSITY
Maximum Lot Coverage: N/A
Maximum Building Height: 140'-0" / Sites or portions of sites within 100 ft of ND-1: 5 Stories, not to exceed 55 ft.

Floor Area Ratio: 3.00
Maximum Built Area Allowed: 62,985.39 ft²
Minimum Open Space: N/A
Maximum Residential Area Allowed: 62,985.39 ft²
A minimum 40% of the walkup garden shall be pervious

SETBACKS
MINIMUM SETBACKS
-All Frontages
Ground Floor (Base, Ground Floor - 55 Feet): 15 ft.
Tower - Above 55 Feet: 15 ft.
-Side Interior (Base, Ground Floor - 55 Feet): 0 ft.
-Side Interior (Tower Above 55 ft.): 0 ft.

PROJECT DATA

1822 DIXIEANA STREET HOLLYWOOD, FL 33020

LOT AREA	20,995.13 SF
FAR	3.0
MAX BUILT AREA ALLOWED	62,985.39 SF

FLOOR	FAR PER FLOOR	PARKING SPACES	UNITS PER FLOOR	ONE BED.	ONE BED + DEN	TWO BED.	STUDIO
11 - ROOF	168.00 SF		0	0	0	0	0
10 - UNITS	7,564.00 SF		10	5	0	1	4
09 - UNITS	7,564.00 SF		10	5	0	1	4
08 - UNITS	7,564.00 SF		10	5	0	1	4
07 - UNITS	7,564.00 SF		10	5	0	1	4
06 - ROCL AREA / UNITS	8,930.00 SF		9	5	1	1	2
05 - UNITS / PARKING	5,249.00 SF	20	5	2	2	1	0
04 - UNITS / PARKING	4,488.00 SF	18	4	1	2	1	0
03 - UNITS / PARKING	4,488.00 SF	18	4	1	2	1	0
02 - UNITS / PARKING	4,488.00 SF	15	4	1	2	1	0
01 - LOBBY / UNITS / PARKING	4,938.00 SF	17	4	1	3	0	0
TOTALS		88	70	31	12	9	18

UNIT MIX	%
ONE BED	31%
ONE BED + DEN	17%
TWO BED	13.5%
STUDIO	18%
TOTAL # OF UNITS	70

PARK. REQ.	GUESTS	TOTAL REQ.
31		
18		
13.5		
18		
80.5	7	88

TOTAL FAR PROPOSED: 62,985.39 SF

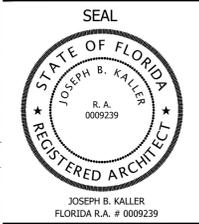
PROPOSED PARKING 88 Including 4 ADA

UNITS AREA CHART

UNIT TYPE	BED.#	A/C AREA (SF)	TERRACE AREA (SF)	TOTAL AREA (SF)	# OF UNITS IN THE PROJECT	TOTAL RENTABLE / SALABLE AREA (SF)
A1.A	1	691.00	96.00	787.00	1	691.00
A1.B	1	691.00	116.00	807.00	1	691.00
A1.C	1	691.00	96.00	787.00	3	2,073.00
A2	1	699.00	125.00	824.00	1	699.00
A3.A	1	784.00	202.00	986.00	1	784.00
A3.B	1	784.00	215.00	999.00	4	3,056.00
A4	1	743.00	115.00	858.00	1	743.00
A5.A	1	655.00	95.00	750.00	2	1,330.00
A5.B	1	645.00	92.00	737.00	7	4,655.00
A6.A	1	689.00	136.00	825.00	1	689.00
A6.B	1	689.00	120.00	809.00	1	689.00
A6.C	1	689.00	92.00	781.00	9	2,047.00
A7.A	1	898.00	120.00	1,018.00	1	898.00
A7.B	1	898.00	92.00	990.00	4	3,332.00
B1.A	1+DEN	823.00	96.00	919.00	1	823.00
B1.B	1+DEN	823.00	235.00	1,058.00	1	823.00
B1.C	1+DEN	823.00	134.00	957.00	3	2,469.00
B2.A	1+DEN	716.00	84.00	800.00	1	716.00
B2.B	1+DEN	716.00	114.00	830.00	1	716.00
B2.C	1+DEN	716.00	90.00	806.00	3	2,154.00
B3	1+DEN	812.00	93.00	905.00	1	812.00
B4	1+DEN	742.00	88.00	830.00	1	742.00
C1.A	2	884.00	187.00	1,071.00	1	884.00
C1.B	2	884.00	114.00	998.00	2	1,768.00
C2	2	973.00	114.00	1,087.00	6	5,638.00
D1	STUDIO	507.00	71.00	578.00	9	4,563.00
D2	STUDIO	410.00	71.00	481.00	9	4,210.00
TOTALS					70	48,229.00



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GUARDIAN PROPERTIES

PROJECT TITLE
1822 DIXIEANA ST.
HOLLYWOOD, FL. 33020

MEETING DATES

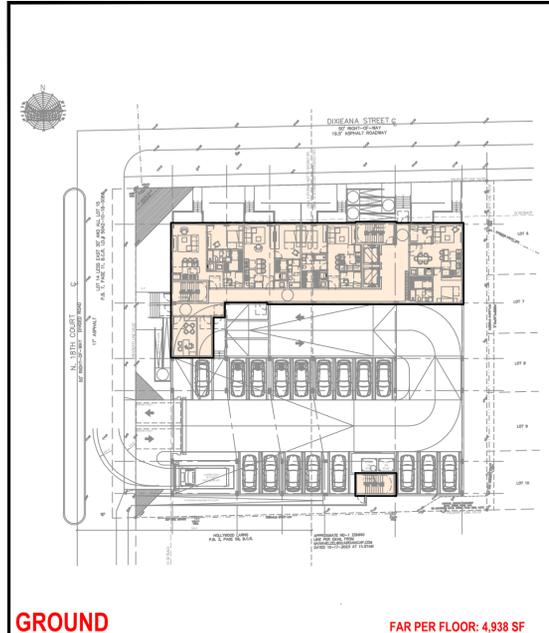
BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

SHEET TITLE
SITE PLAN

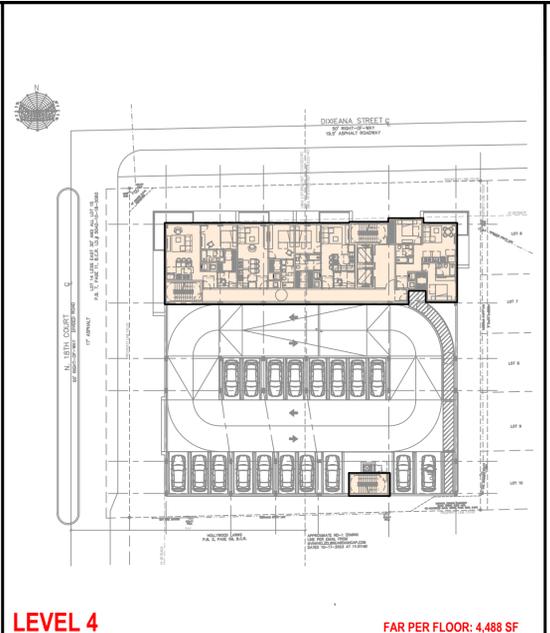
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PROJECT No.: 23072
DATE: 12.18.23
DESIGN BY: K.NEAL
CHECKED BY: JBK

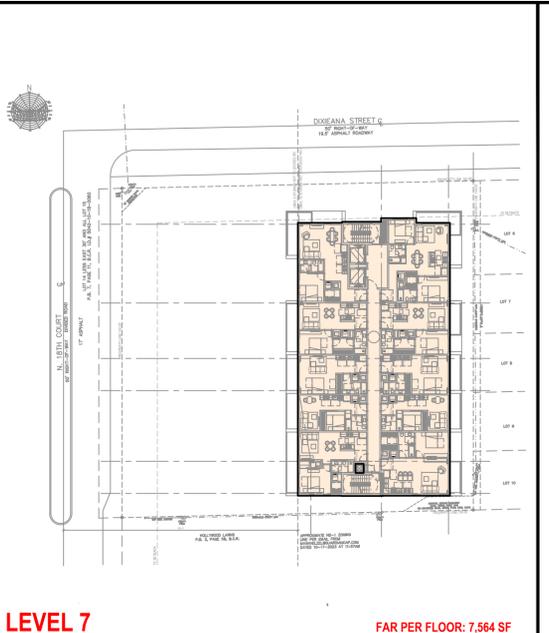
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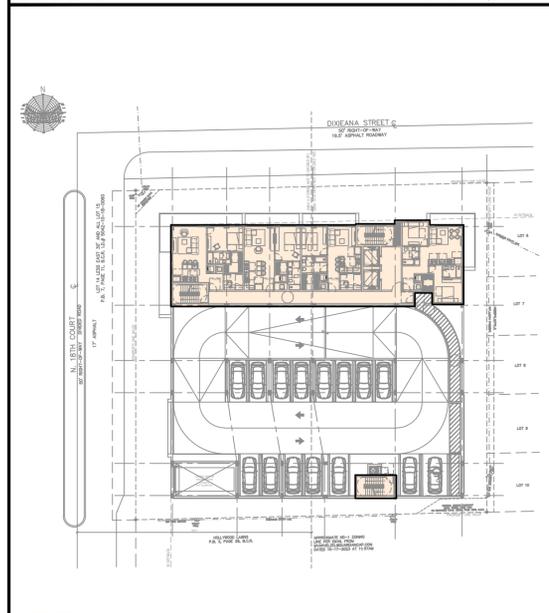
GROUND FAR PER FLOOR: 4,938 SF



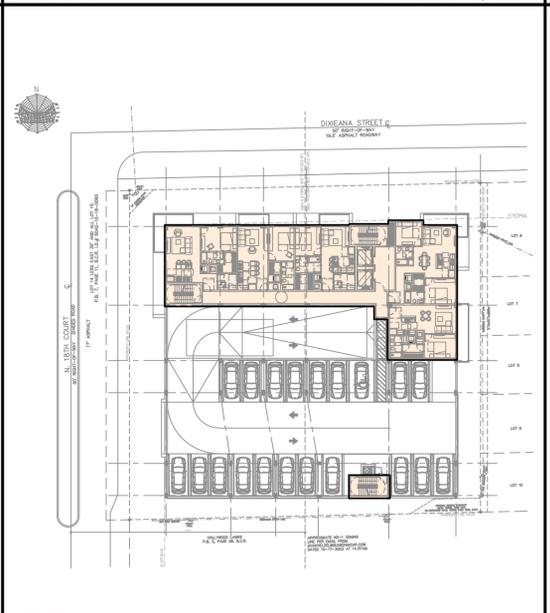
LEVEL 4 FAR PER FLOOR: 4,488 SF



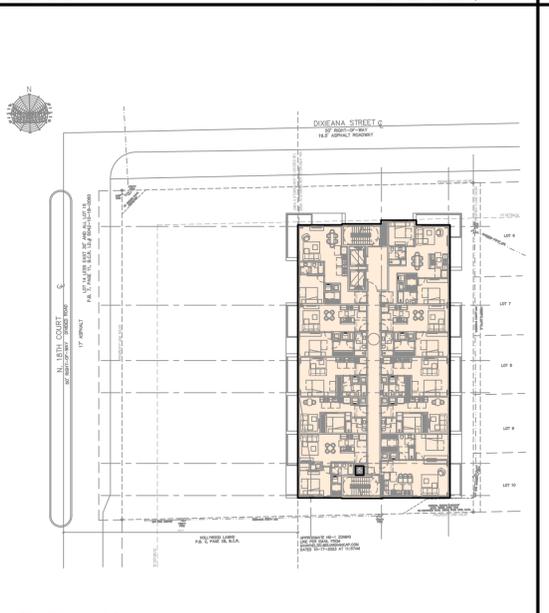
LEVEL 7 FAR PER FLOOR: 7,564 SF



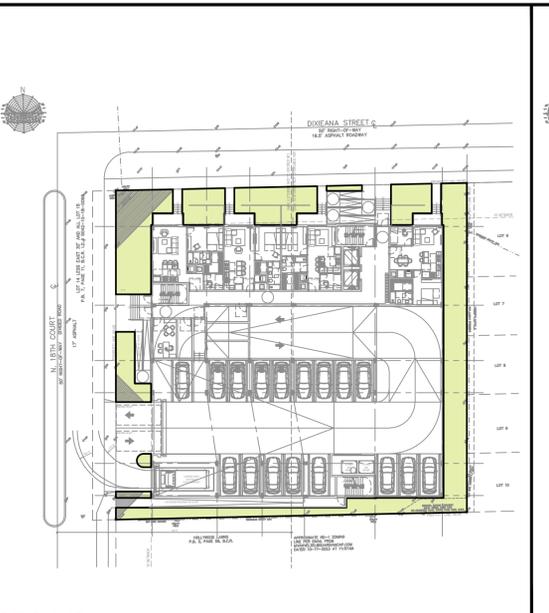
LEVEL 2 FAR PER FLOOR: 4,488 SF



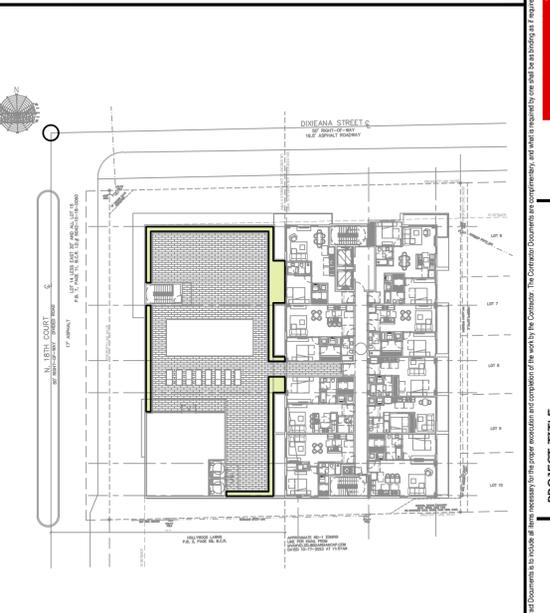
LEVEL 5 FAR PER FLOOR: 5,249 SF



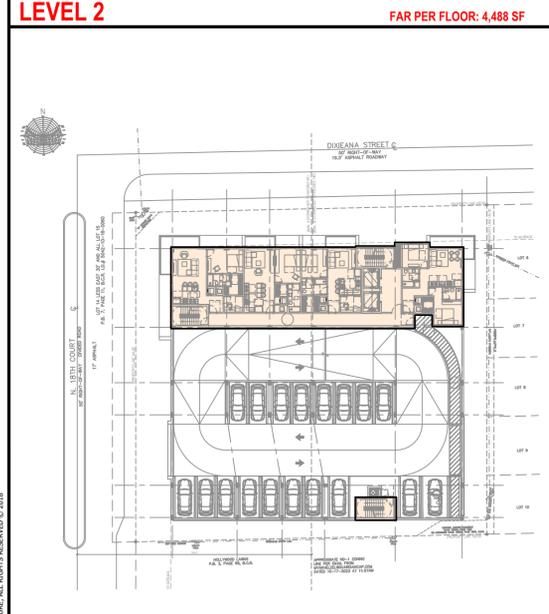
LEVEL 8-10 FAR PER FLOOR: 7,564 SF



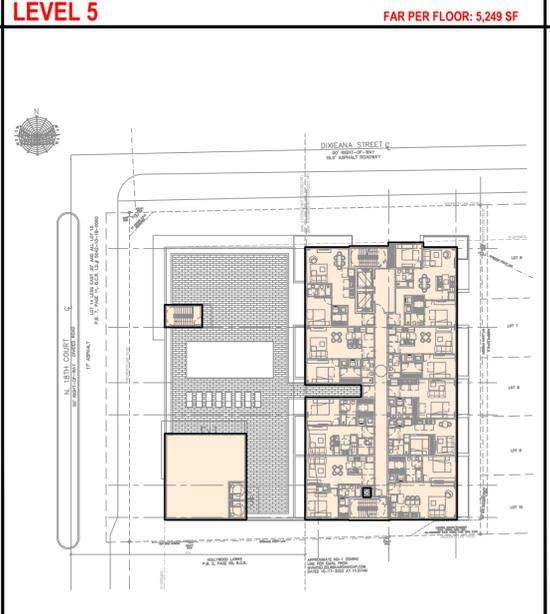
GROUND OPEN SPACE: 4,284 SF



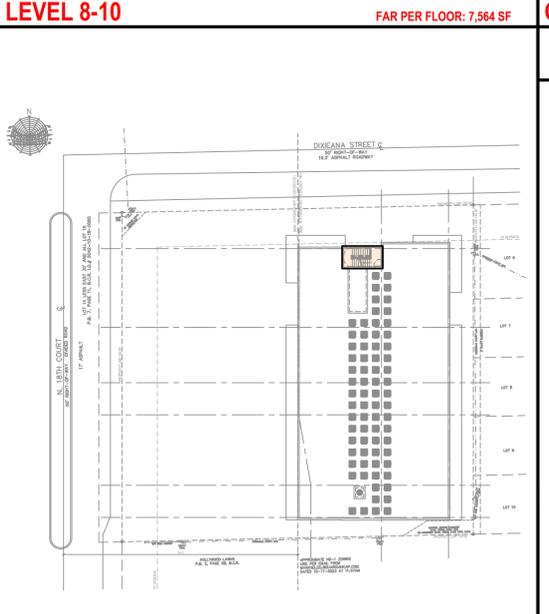
LEVEL 6 OPEN SPACE: 623 SF



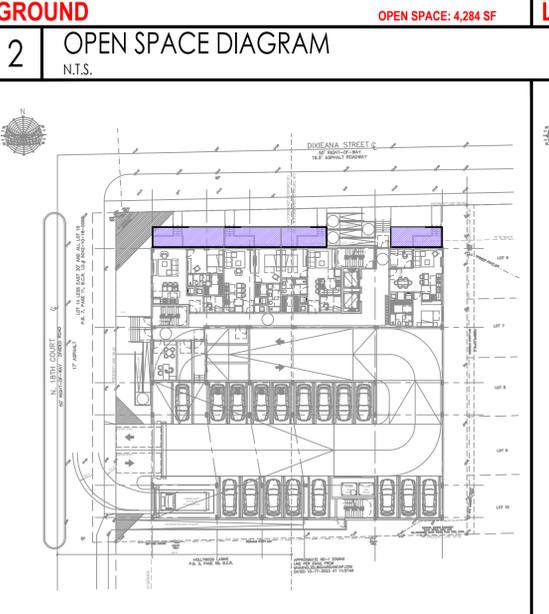
LEVEL 3 FAR PER FLOOR: 4,488 SF



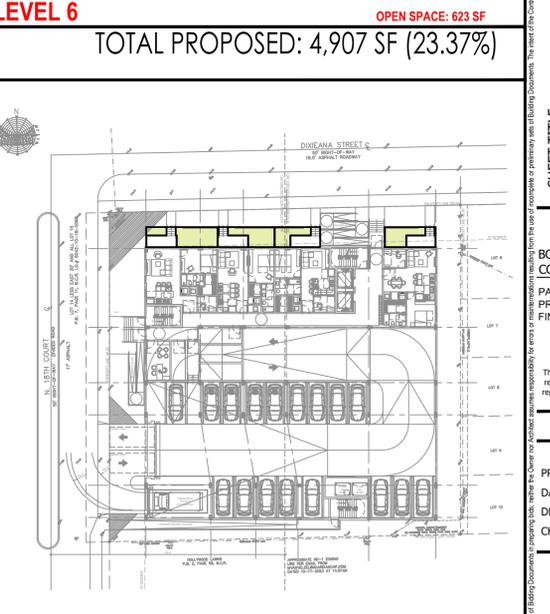
LEVEL 6 FAR PER FLOOR: 8,910 SF



ROOF FAR PER FLOOR: 168 SF



WALKUP GARDEN TOTAL AREA: 817 SF



PERVIOUS AREA AREA: 490 SF (60%)

1 FAR DIAGRAM N.T.S.

2 OPEN SPACE DIAGRAM N.T.S.

3 WALKUP GARDEN DIAGRAM N.T.S.

2 OPEN SPACE DIAGRAM N.T.S.

3 WALKUP GARDEN DIAGRAM N.T.S.



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GUARDIAN PROPERTIES

PROJECT TITLE
1822 DIXIANA ST.
 HOLLYWOOD, FL. 33020

SHEET TITLE
FAR DIAGRAM
OPEN SPACE DIAGRAM

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

SCHEMATIC DESIGN

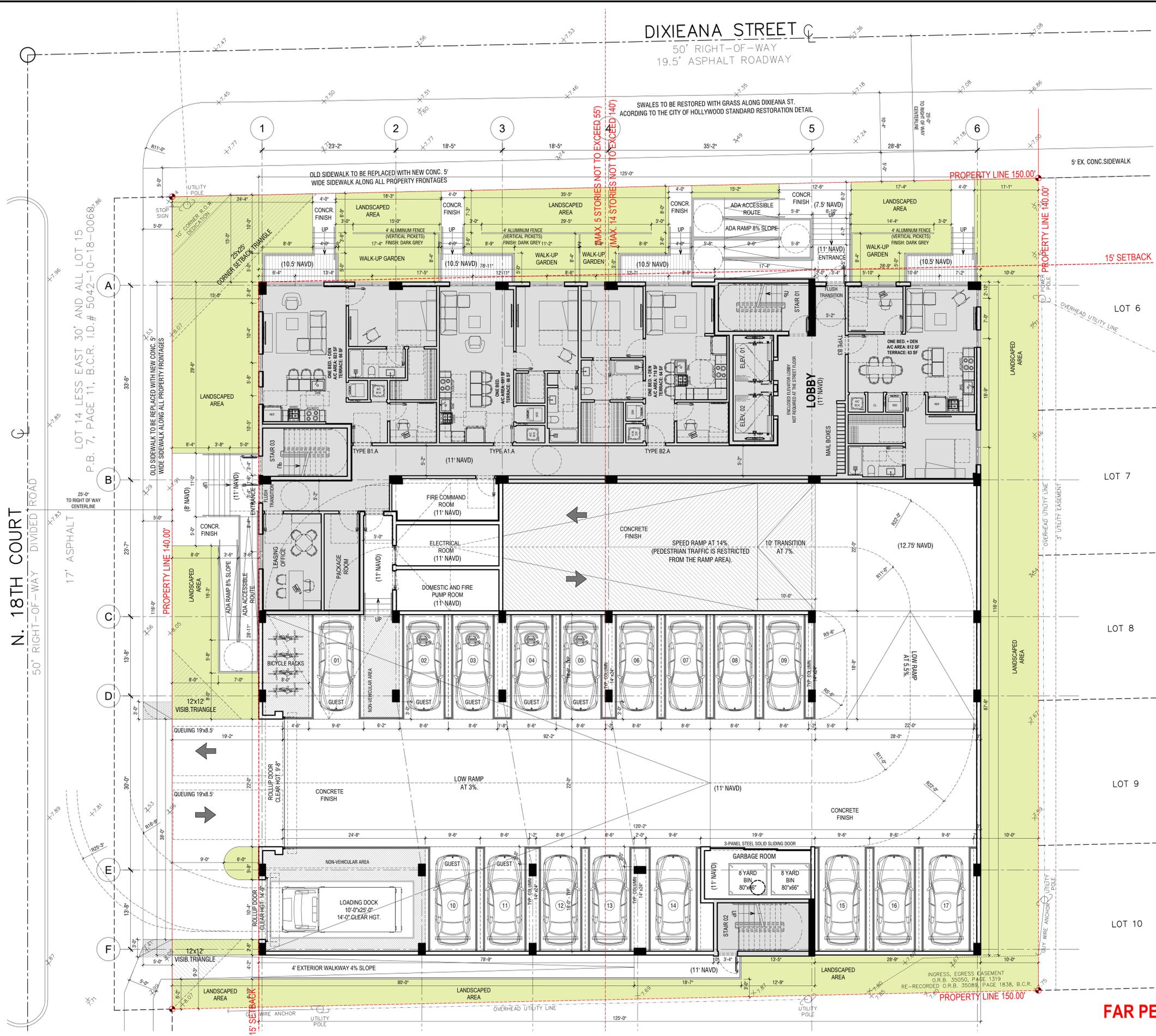
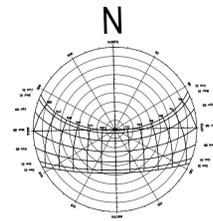
PROJECT No.: 23072
 DATE: 12.18.23
 DESIGN BY: K.NEAL
 CHECKED BY: JBK

SHEET

A-1.1

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DIXIEANA STREET

50' RIGHT-OF-WAY
19.5' ASPHALT ROADWAY

N. 18TH COURT

50' RIGHT-OF-WAY DIVIDED ROAD

17' ASPHALT

LOT 14 LESS EAST 30' AND ALL LOT 15
P.B. 7, PAGE 11, B.C.R. I.D.# 5042-10-18-006@

FAR PER FLOOR: 4,938 SF



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GUARDIAN PROPERTIES

PROJECT TITLE
1822 DIXIEANA ST.
HOLLYWOOD, FL. 33020

SHEET TITLE
GROUND FLOOR

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

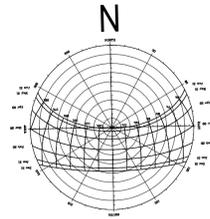
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SHEETS
SCHEMATIC DESIGN

PROJECT No.: 23072
DATE: 12.18.23
DESIGN BY: K.NEAL
CHECKED BY: JBK

SHEET
A-2.1

1 GROUND FLOOR
1/8"=1'-0"



DIXIEANA STREET

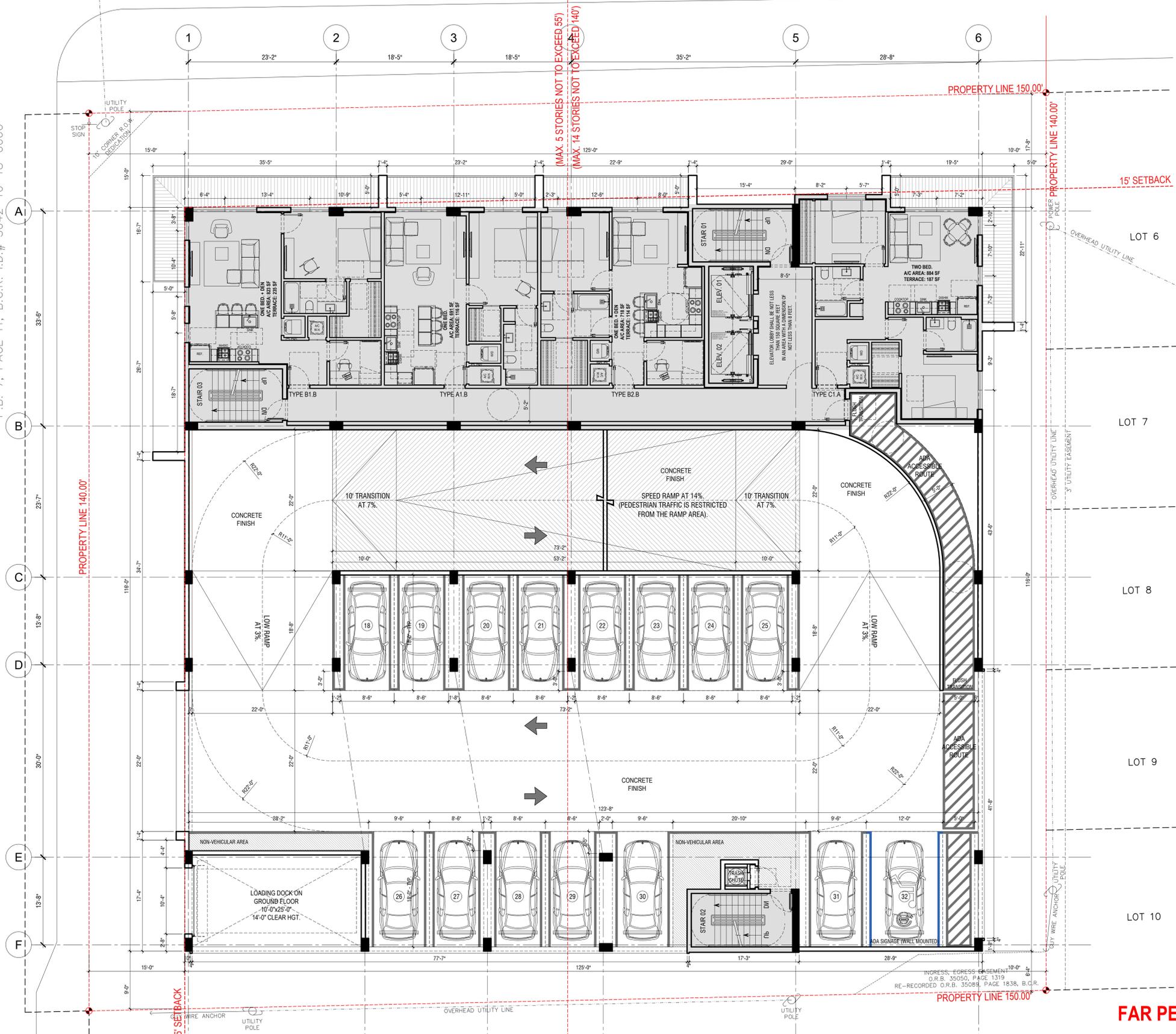
50' RIGHT-OF-WAY
19.5' ASPHALT ROADWAY

N. 18TH COURT

50' RIGHT-OF-WAY DIVIDED ROAD

17' ASPHALT

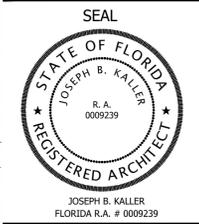
LOT 14 LESS EAST 30' AND ALL LOT 15
P.B. 7, PAGE 11, B.C.R. I.D.# 5042-10-18-0060



1 LEVEL 02
1/8"=1'-0"



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PROJECT TITLE
1822 DIXIEANA ST.
HOLLYWOOD, FL. 33020

SHEET TITLE
LEVEL 02

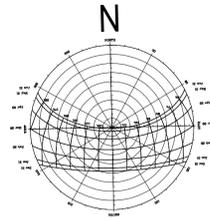
MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

Schematic Design

PROJECT No.: 23072
DATE: 12.18.23
DESIGN BY: K.NEAL
CHECKED BY: JBK

SHEET
A-2.2



DIXIEANA STREET

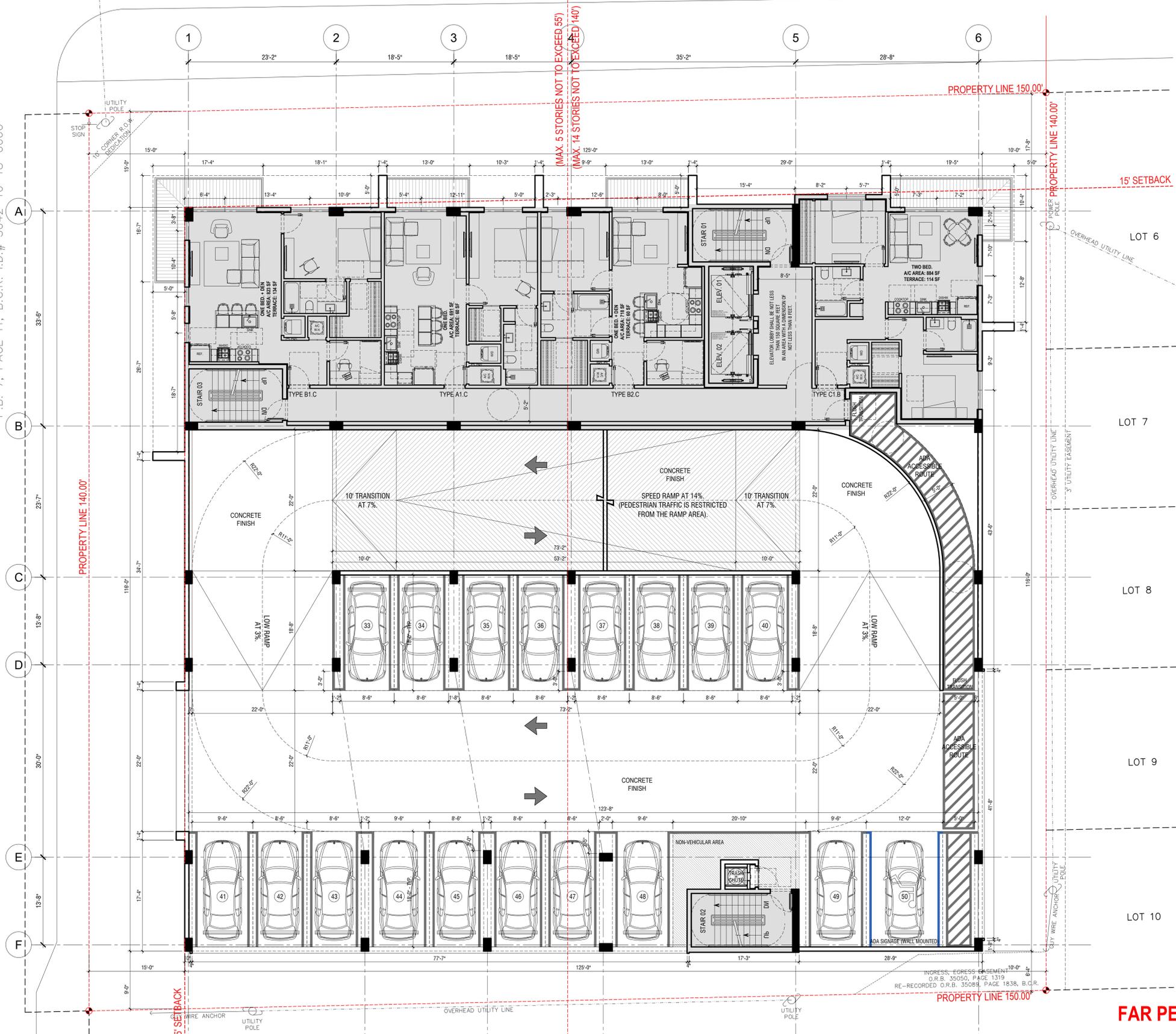
50' RIGHT-OF-WAY
19.5' ASPHALT ROADWAY

N. 18TH COURT

50' RIGHT-OF-WAY DIVIDED ROAD

17' ASPHALT

LOT 14 LESS EAST 30' AND ALL LOT 15
P.B. 7, PAGE 11, B.C.R. I.D.# 5042-10-18-0060

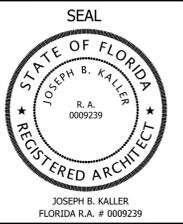


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1 LEVEL 03
1/8"=1'-0"



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PROJECT TITLE
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SHEET TITLE
LEVEL 03

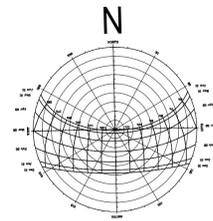
MEETING DATES		
BOARD/COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

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SCHEMATIC DESIGN

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DATE: 12.18.23
DESIGN BY: K.NEAL
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SHEET
A-2.3



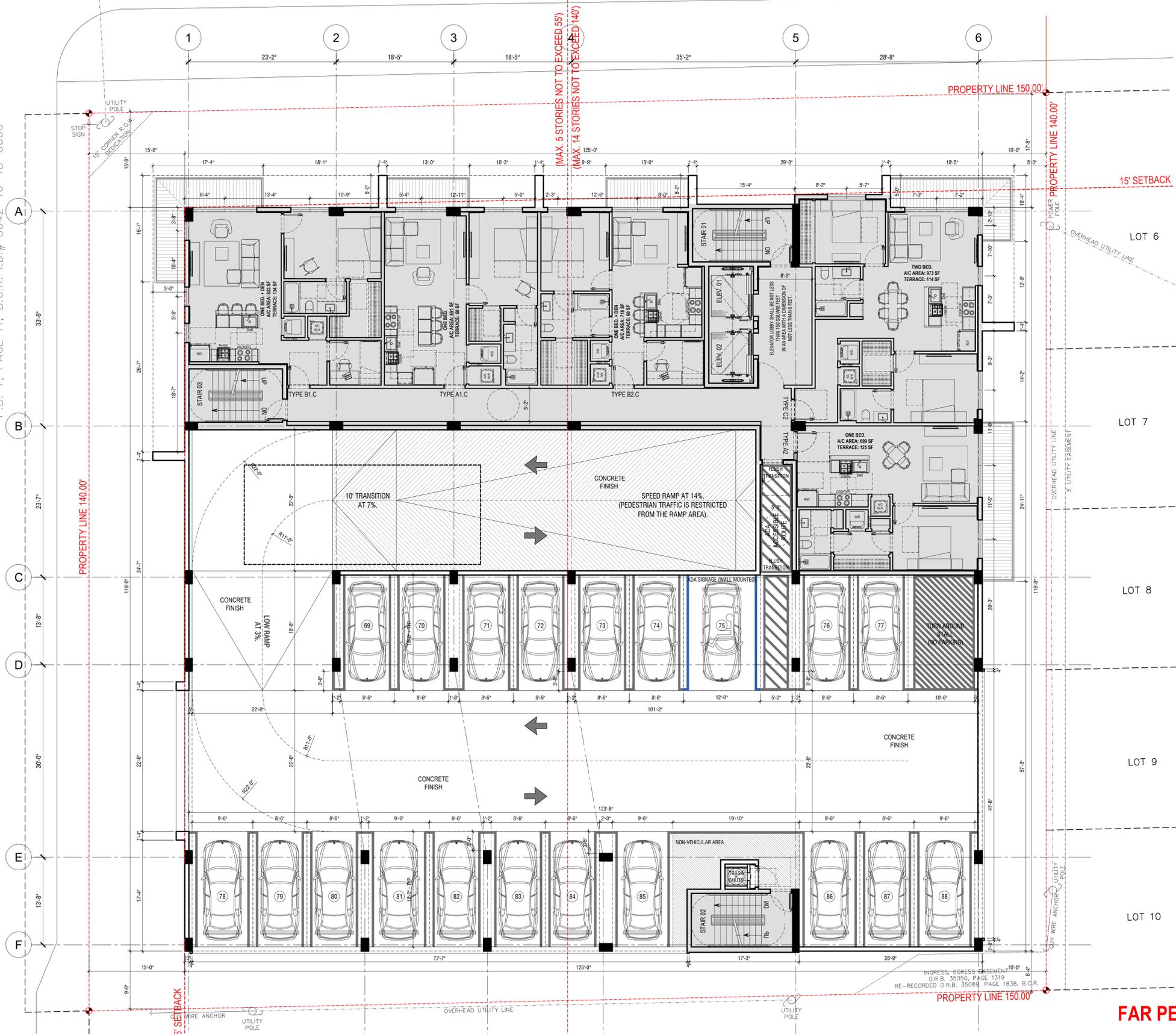
DIXIEANA STREET

50' RIGHT-OF-WAY
19.5' ASPHALT ROADWAY

N. 18TH COURT
50' RIGHT-OF-WAY DIVIDED ROAD

17' ASPHALT

LOT 14 LESS EAST 30' AND ALL LOT 15
P.B. 7, PAGE 11, B.C.R. I.D.# 5042-10-18-0060

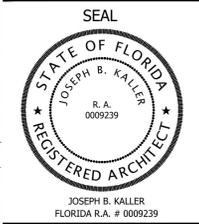


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1 LEVEL 05
1/8"=1'-0"



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PROJECT TITLE
1822 DIXIEANA ST.
HOLLYWOOD, FL. 33020

SHEET TITLE
LEVEL 05

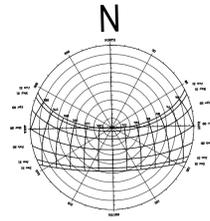
MEETING DATES		
BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

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SCHEMATIC DESIGN

PROJECT No.: 23072
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SHEET
A-2.5



DIXIEANA STREET

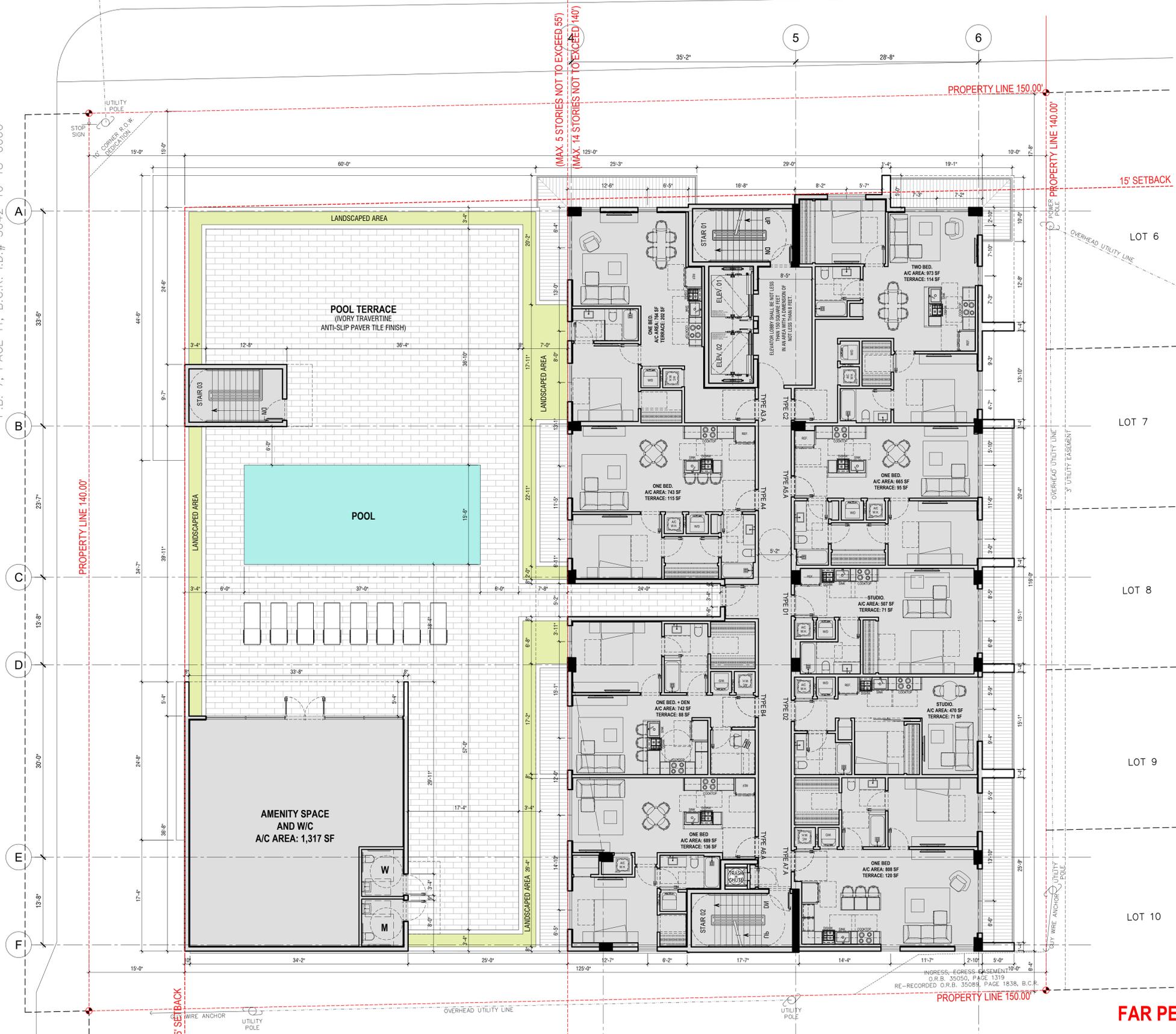
50' RIGHT-OF-WAY
19.5' ASPHALT ROADWAY

N. 18TH COURT

50' RIGHT-OF-WAY DIVIDED ROAD

17' ASPHALT

LOT 14 LESS EAST 30' AND ALL LOT 15
P.B. 7, PAGE 11, B.C.R. I.D.# 5042-10-18-0060



(MAX. 5 STORIES NOT TO EXCEED 55')
(MAX. 14 STORIES NOT TO EXCEED 140')

INGRESS - EGRESS CASEMENT
O.R.B. 35050, PAGE 1319
RE-RECORDED O.R.B. 35089, PAGE 1836, B.C.R.

FAR PER FLOOR: 8,910 SF



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GUARDIAN PROPERTIES

PROJECT TITLE
1822 DIXIEANA ST.
HOLLYWOOD, FL. 33020

SHEET TITLE
LEVEL 06 AMENITIES

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

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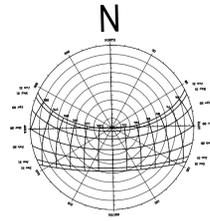
SCHEMATIC DESIGN

PROJECT No.: 23072
DATE: 12.18.23
DESIGN BY: K.NEAL
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SHEET
A-2.6

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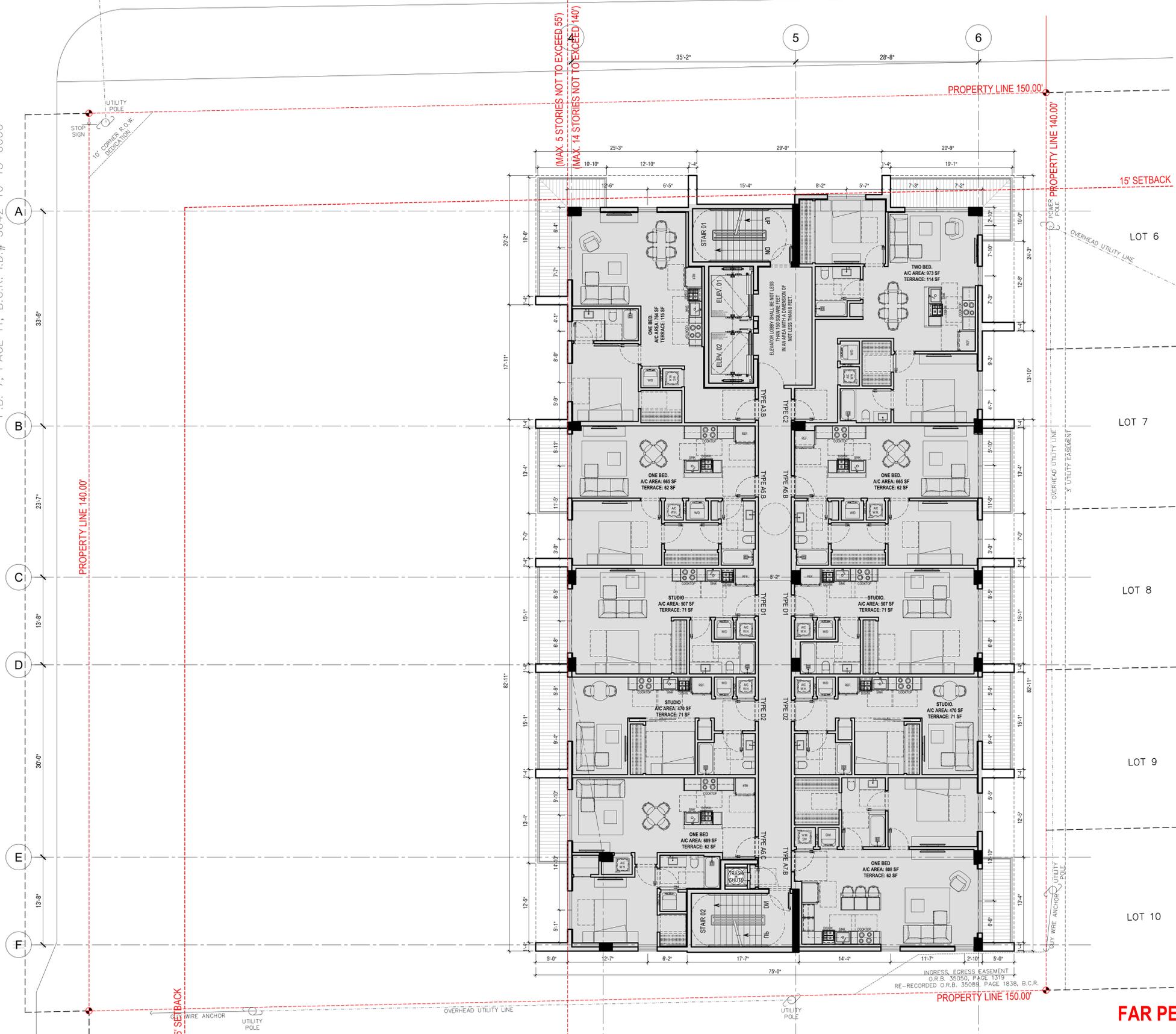
1 LEVEL 06
1/8"=1'-0"



N. 18TH COURT
50' RIGHT-OF-WAY DIVIDED ROAD

LOT 14 LESS EAST 30' AND ALL LOT 15
P.B. 7, PAGE 11, B.C.R. I.D.# 5042-10-18-0060

17' ASPHALT



(MAX. 5 STORIES NOT TO EXCEED 55')
(MAX. 14 STORIES NOT TO EXCEED 140')

PROPERTY LINE 150.00'

PROPERTY LINE 140.00'

15' SETBACK

LOT 6

LOT 7

LOT 8

LOT 9

LOT 10

DIXIEANA STREET
50' RIGHT-OF-WAY
19.5' ASPHALT ROADWAY

INGRESS, EGRESS EASEMENT
O.R.B. 35050, PAGE 1319
RE-RECORDED O.R.B. 35089, PAGE 1836, B.C.R.

PROPERTY LINE 150.00'

FAR PER FLOOR: 7,564 SF

1 LEVEL 08 to 10
1/8"=1'-0"



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GUARDIAN PROPERTIES

PROJECT TITLE
1822 DIXIEANA ST.
HOLLYWOOD, FL. 33020

SHEET TITLE
LEVEL 08 to 10

MEETING DATES

BOARD/COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

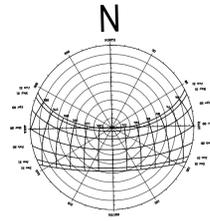
Schematic Design

PROJECT No.: 23072
DATE: 12.18.23
DESIGN BY: K.NEAL
CHECKED BY: JBK

SHEET
A-2.8

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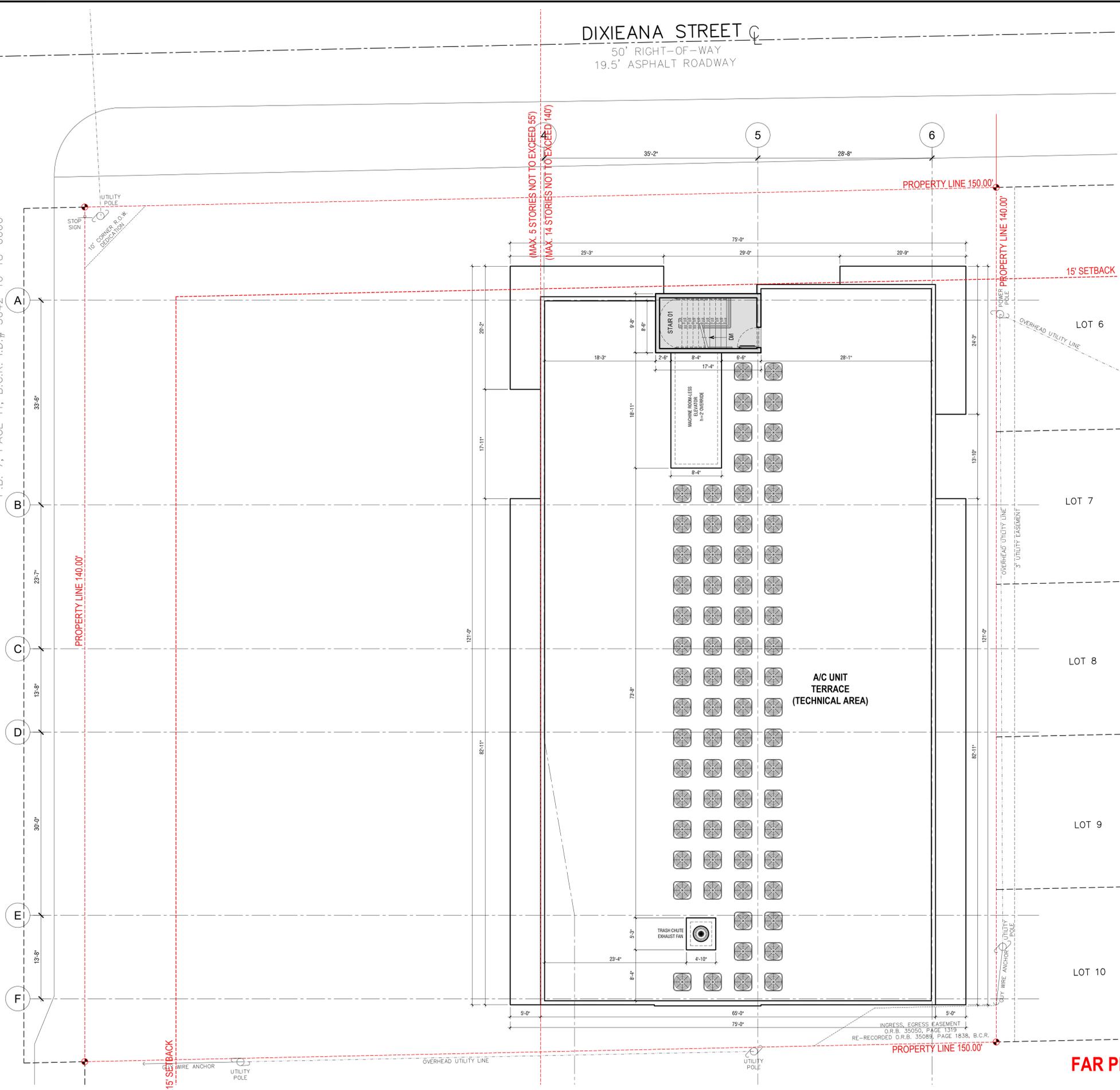
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N. 18TH COURT
50' RIGHT-OF-WAY DIVIDED ROAD

17' ASPHALT

LOT 14 LESS EAST 30' AND ALL LOT 15
P.B. 7, PAGE 11, B.C.R. I.D.# 5042-10-18-0060



(MAX. 5 STORIES NOT TO EXCEED 55')
(MAX. 14 STORIES NOT TO EXCEED 140')

PROPERTY LINE 150.00'

PROPERTY LINE 140.00'

15' SETBACK

A/C UNIT
TERRACE
(TECHNICAL AREA)

INGRESS, EGRESS EASEMENT
O.R.B. 35050, PAGE 1319
RE-RECORDED O.R.B. 35089, PAGE 1838, B.C.R.

PROPERTY LINE 150.00'

FAR PER FLOOR: 168 SF

1 LEVEL 11 - ROOF
1/8"=1'-0"



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**GUARDIAN
PROPERTIES**

PROJECT TITLE
1822 DIXIEANA ST.
HOLLYWOOD, FL. 33020

SHEET TITLE
**LEVEL 11
ROOF**

MEETING DATES		
BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

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SCHEMATIC DESIGN

PROJECT No.: 23072
DATE: 12.18.23
DESIGN BY: K.NEAL
CHECKED BY: JBK

SHEET
A-2.9

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(MAX. HEIGHT 140'-0")



A
SCORED STUCCO, LIGHT TEXTURE
COLOR: REAL RED SW 6868

B
LIGHT TEXTURE STUCCO
COLOR: PURE WHITE SW 7005

C
LIGHT TEXTURE STUCCO
COLOR: NETWORK GRAY SW 7073

D
GLASS BALCONY RAILING

E
WINDOW FRAME
FINISH: WHITE

F
CLEAR GLASS

G
ROLLUP DOOR
OR APPROVED EQUAL

H
LIGHT TEXTURE STUCCO
COLOR: WEB GRAY SW 7075

I
4" ALUMINUM FENCE
FINISH: BLACK

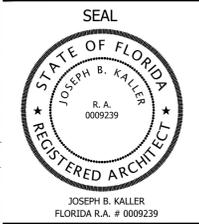
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1 NORTH ELEVATION

1/8"=1'-0"



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GUARDIAN PROPERTIES

PROJECT TITLE
1822 DIXIEANA ST.
 HOLLYWOOD, FL. 33020

SHEET TITLE
NORTH ELEVATION

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

Schematic Design

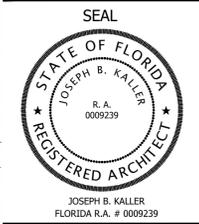
PROJECT No.: 23072
 DATE: 12.18.23
 DESIGN BY: K.NEAL
 CHECKED BY: JBK

SHEET
A-3.1

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GUARDIAN PROPERTIES

PROJECT TITLE
1822 DIXIEANA ST.
 HOLLYWOOD, FL. 33020

SHEET TITLE
WEST ELEVATION

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

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Schematic Design

PROJECT No.:	23072
DATE:	12.18.23
DESIGN BY:	K.NEAL
CHECKED BY:	JBK

SHEET
A-3.2

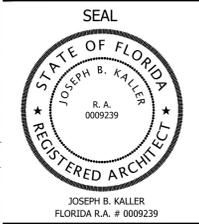
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- A
 SCORED STUCCO, LIGHT TEXTURE
 COLOR: REAL RED SW 6868
- B
 LIGHT TEXTURE STUCCO
 COLOR: PURE WHITE SW 7005
- C
 LIGHT TEXTURE STUCCO
 COLOR: NETWORK GRAY SW 7073
- D
 GLASS BALCONY RAILING
- E
 WINDOW FRAME
 FINISH: WHITE
- F
 CLEAR GLASS
- G
 ROLLUP DOOR
 OR APPROVED EQUAL
- H
 LIGHT TEXTURE STUCCO
 COLOR: WEB GRAY SW 7075
- I
 4" ALUMINUM FENCE
 FINISH: BLACK



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GUARDIAN PROPERTIES

PROJECT TITLE
 1822 DIXIEANA ST.
 HOLLYWOOD, FL. 33020

SHEET TITLE
 SOUTH ELEVATION

MEETING DATES

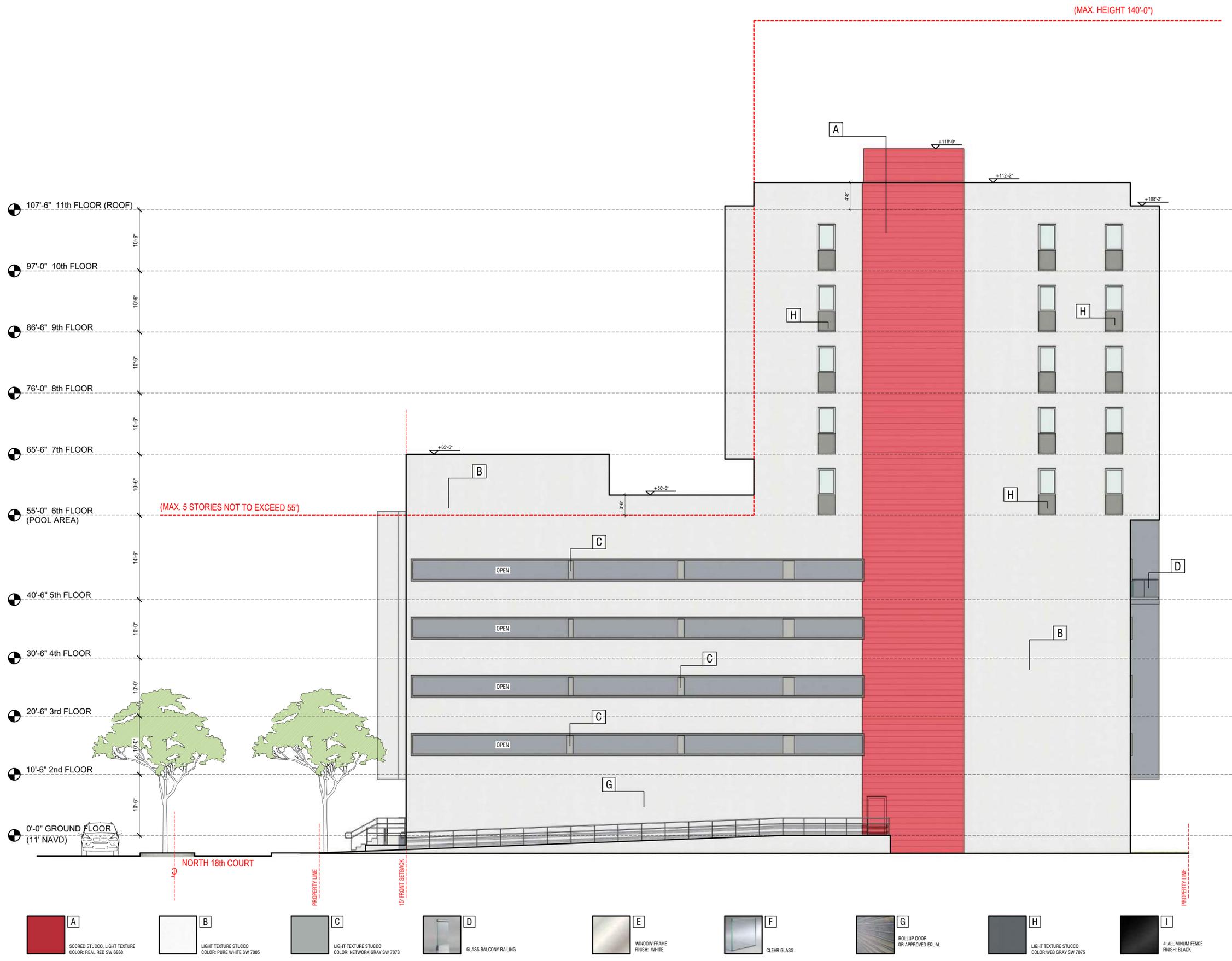
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PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

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SCHEMATIC DESIGN

PROJECT No.: 23072
 DATE: 12.18.23
 DESIGN BY: K.NEAL
 CHECKED BY: JBK

SHEET
 A-3.3



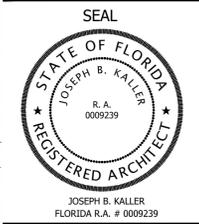
- A
 SCORED STUCCO, LIGHT TEXTURE
 COLOR: REAL RED SW 6868
- B
 LIGHT TEXTURE STUCCO
 COLOR: PURE WHITE SW 7005
- C
 LIGHT TEXTURE STUCCO
 COLOR: NETWORK GRAY SW 7073
- D
 GLASS BALCONY RAILING
- E
 WINDOW FRAME
 FINISH: WHITE
- F
 CLEAR GLASS
- G
 ROLLUP DOOR
 OR APPROVED EQUAL
- H
 LIGHT TEXTURE STUCCO
 COLOR: WEB GRAY SW 7075
- I
 4" ALUMINUM FENCE
 FINISH: BLACK

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1 SOUTH ELEVATION
 1/8"=1'-0"



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GUARDIAN PROPERTIES

PROJECT TITLE
1822 DIXIEANA ST.
 HOLLYWOOD, FL. 33020

SHEET TITLE
EAST ELEVATION

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

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Schematic Design

PROJECT No.:	23072
DATE:	12.18.23
DESIGN BY:	K.NEAL
CHECKED BY:	JBK

SHEET
A-3.4

(MAX. HEIGHT 140'-0")



- A**
 SCORED STUCCO, LIGHT TEXTURE
 COLOR: REAL RED SW 6868
- B**
 LIGHT TEXTURE STUCCO
 COLOR: PURE WHITE SW 7005
- C**
 LIGHT TEXTURE STUCCO
 COLOR: NETWORK GRAY SW 7073
- D**
 GLASS BALCONY RAILING
- E**
 WINDOW FRAME
 FINISH: WHITE
- F**
 CLEAR GLASS
- G**
 ROLLUP DOOR
 OR APPROVED EQUAL
- H**
 LIGHT TEXTURE STUCCO
 COLOR: WEB GRAY SW 7075
- I**
 4" ALUMINUM FENCE
 FINISH: BLACK

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1 EAST ELEVATION
 1/8"=1'-0"



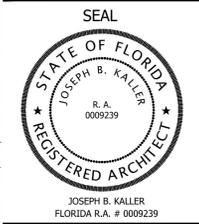
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1

NW ISOMETRIC
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PROJECT TITLE
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 HOLLYWOOD, FL. 33020

SHEET TITLE
NW ISOMETRIC

MEETING DATES

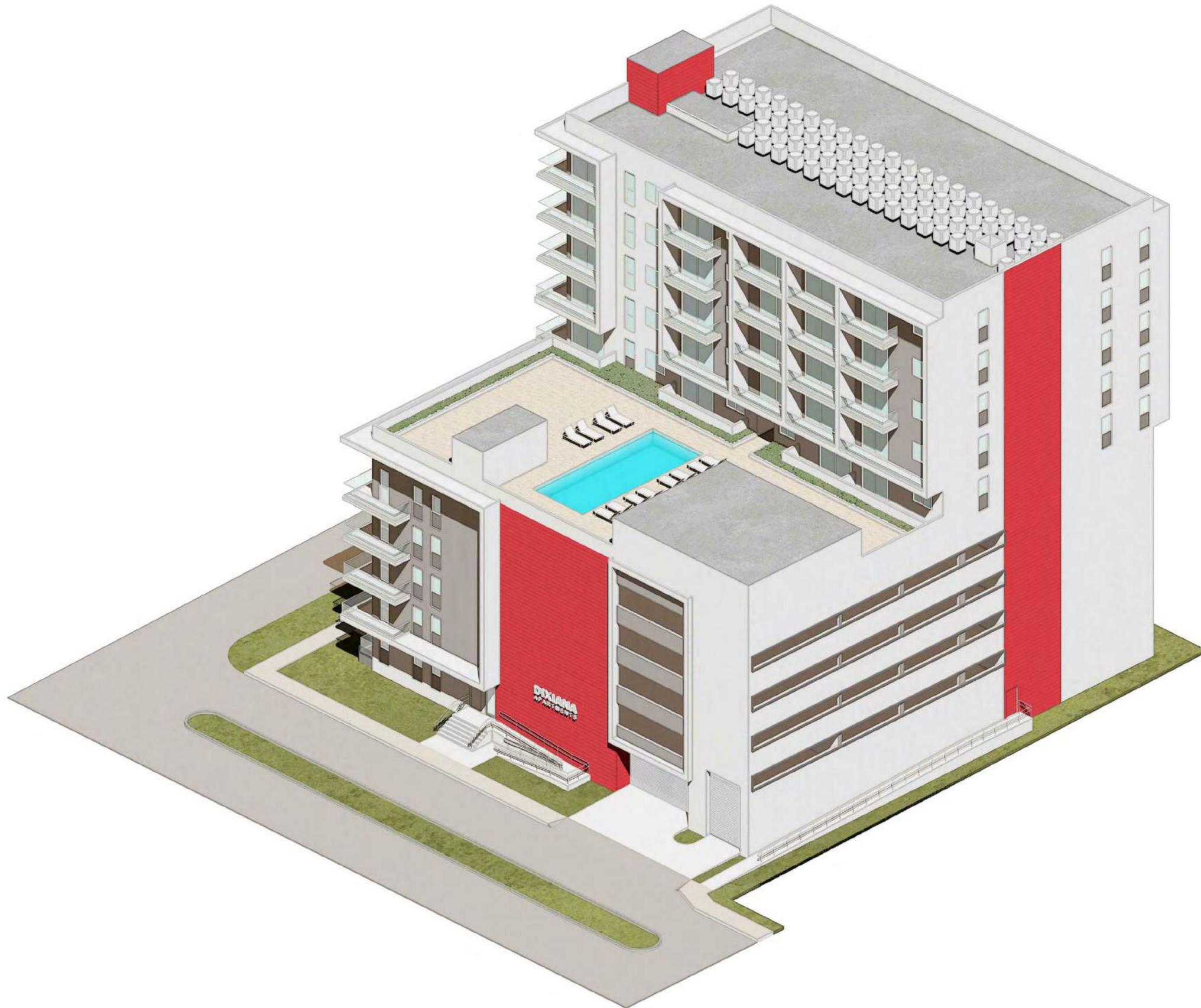
BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

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SCHEMATIC DESIGN

PROJECT No.: 23072
 DATE: 12.18.23
 DESIGN BY: K.NEAL
 CHECKED BY: JBK

SHEET
A-5.1



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1

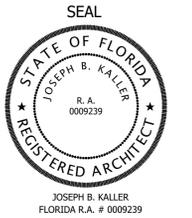
SW ISOMETRIC
N.T.S.



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**GUARDIAN
PROPERTIES**

PROJECT TITLE
1822 DIXIEANA ST.
HOLLYWOOD, FL. 33020

SHEET TITLE
SW ISOMETRIC

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

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SCHEMATIC DESIGN

PROJECT No.: 23072
DATE: 12.18.23
DESIGN BY: K.NEAL
CHECKED BY: JBK

SHEET
A-5.2



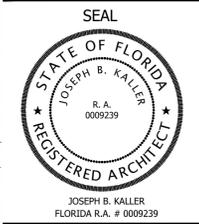
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PROJECT TITLE
 1822 DIXIEANA ST.
 HOLLYWOOD, FL. 33020

SHEET TITLE
 NE ISOMETRIC

MEETING DATES

BOARD/COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

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SCHEMATIC DESIGN

PROJECT No.: 23072
 DATE: 12.18.23
 DESIGN BY: K.NEAL
 CHECKED BY: JBK

SHEET
 A-5.3



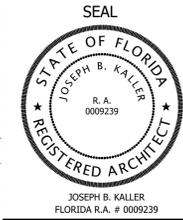
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**GUARDIAN
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PROJECT TITLE
1822 DIXIEANA ST.
 HOLLYWOOD, FL. 33020

SHEET TITLE
SE ISOMETRIC

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION
PACO	10.02.23	23-DP-89
PRE TAC	11.06.23	23-DP-89
FINAL TAC	12.04.23	23-DP-89

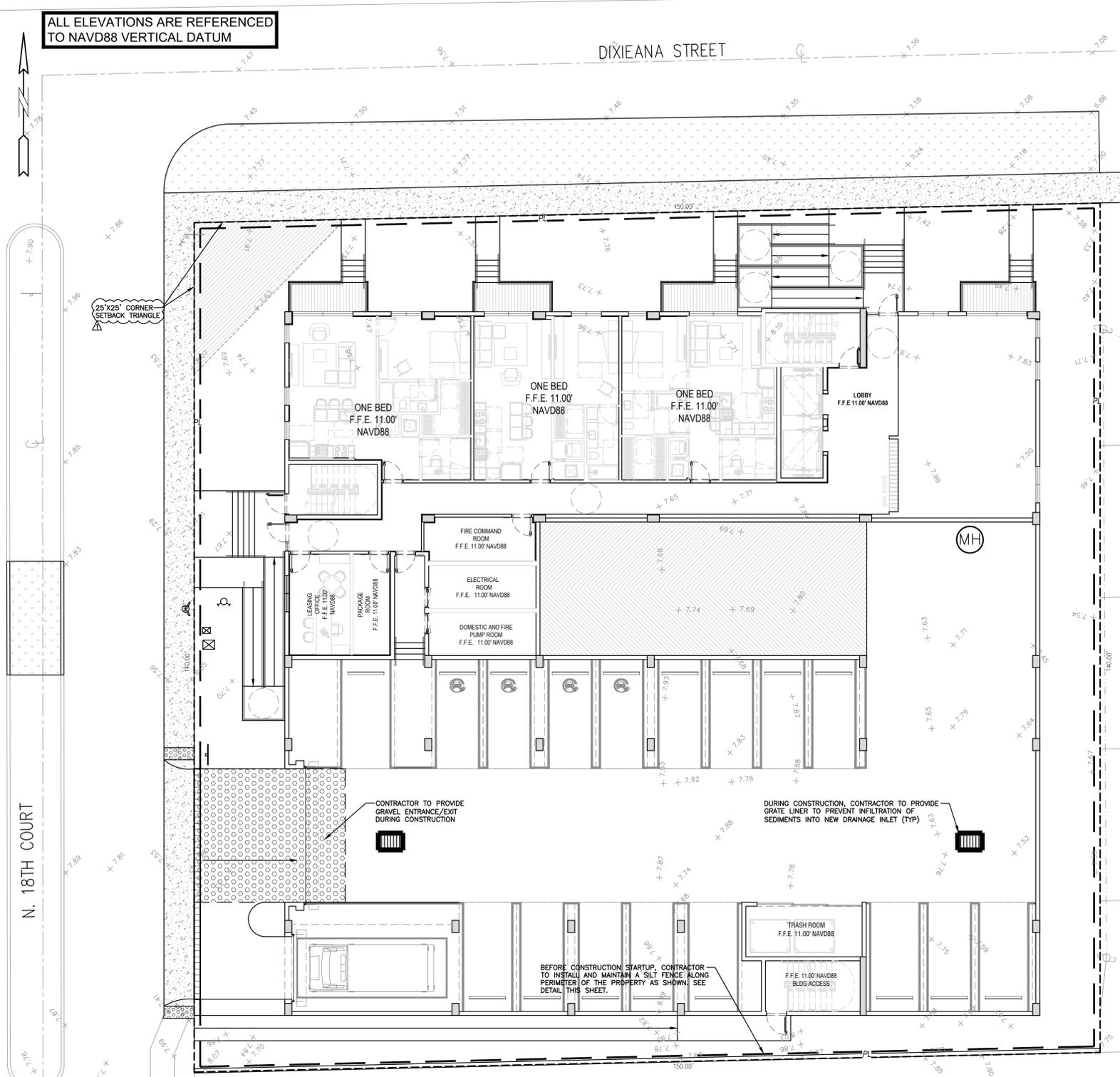
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SCHEMATIC DESIGN

PROJECT No.: 23072
 DATE: 12.18.23
 DESIGN BY: K.NEAL
 CHECKED BY: JBK

SHEET
A-5.4

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM



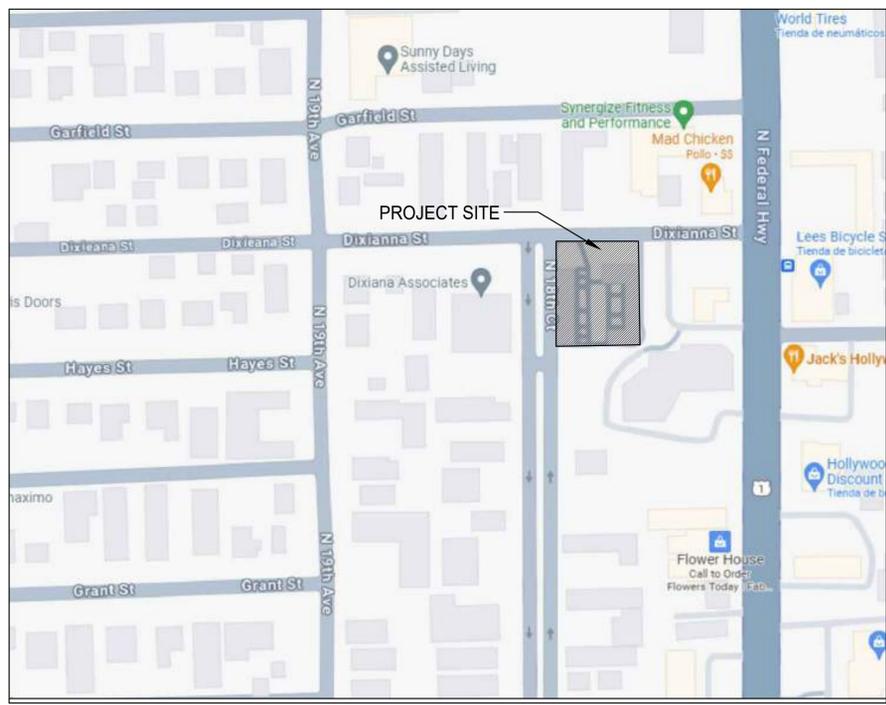
- LEGEND**
- PROPOSED CONCRETE
 - PROPOSED ASPHALT
 - PROPOSED GRADE
 - EXISTING ELEVATION
 - PROPOSED CATCH BASIN
 - EXISTING CATCH BASIN
 - PROPOSED WATER METER
 - EXISTING WATER METER
 - EXISTING WATER VALVE
 - PROPOSED BFP DEVICE
 - EXISTING SAN. SEWER MH
 - EXISTING FIRE HYDRANT



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

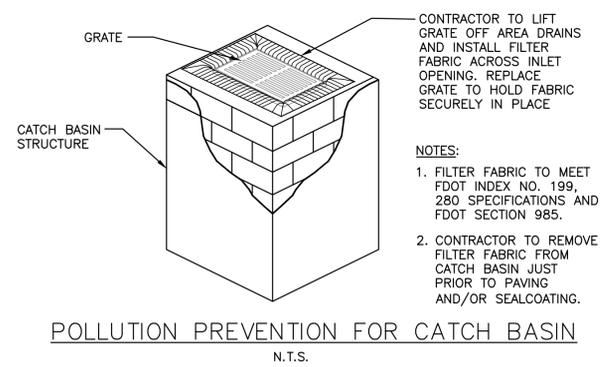
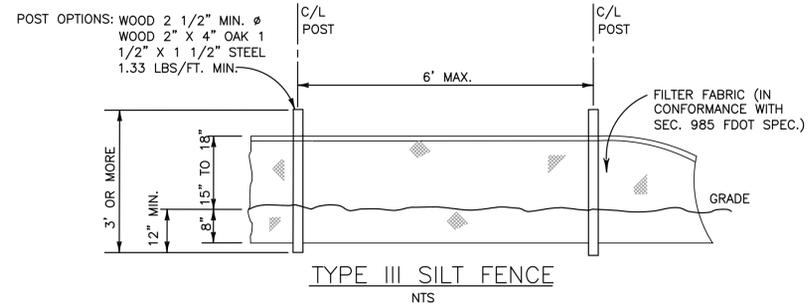
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EROSION & SEDIMENT CONTROL PLAN
SCALE: 1"=10'



LOCATION MAP
NOT TO SCALE

- BMP NOTES:**
- ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
 - PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
 - SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
 - WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
 - PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
 - DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
 - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 - PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
 - CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
 - THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



REVISIONS

NO.	DATE	DESCRIPTION	TAC	REVIEW COMMENTS
1	12-1-23			

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyreng@gmail.com
CA#: 31158

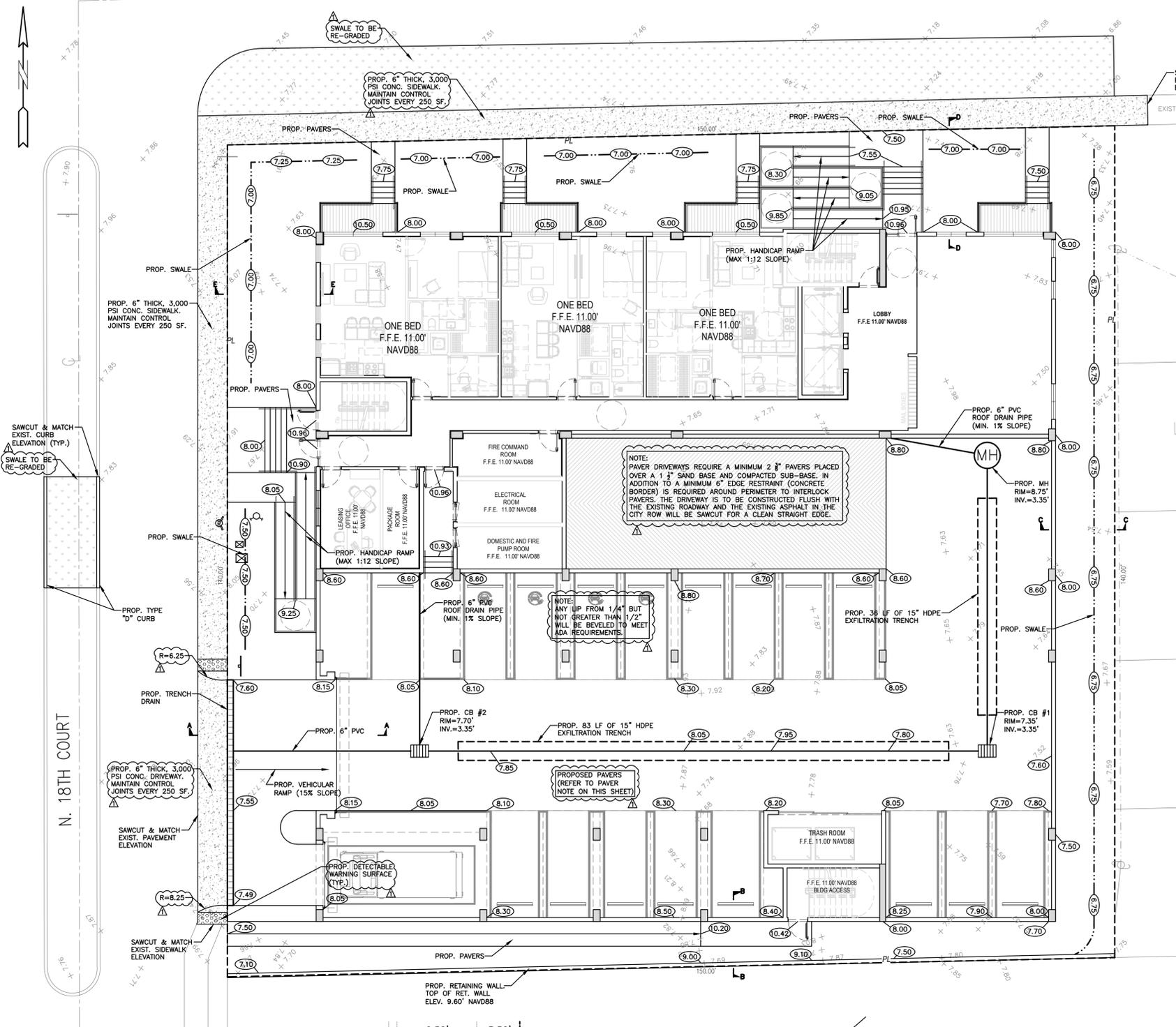


DIXIANA APARTMENTS
1822 DIXIANA STREET
HOLLYWOOD, FL 33020

P.E.#: 76036
DATE: 10/23/23
SCALE: 1"=10'
SHEET NO.: C1
1 OF 9
PROJECT NO.: 23-48

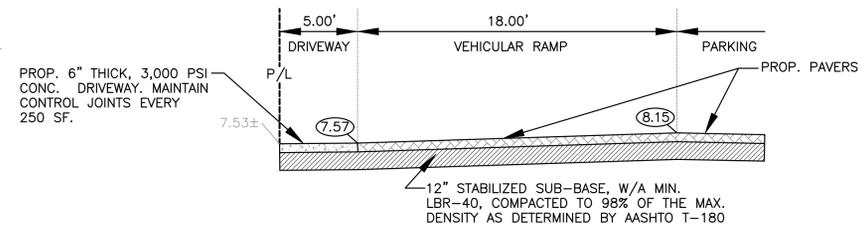
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

DIXIANA STREET

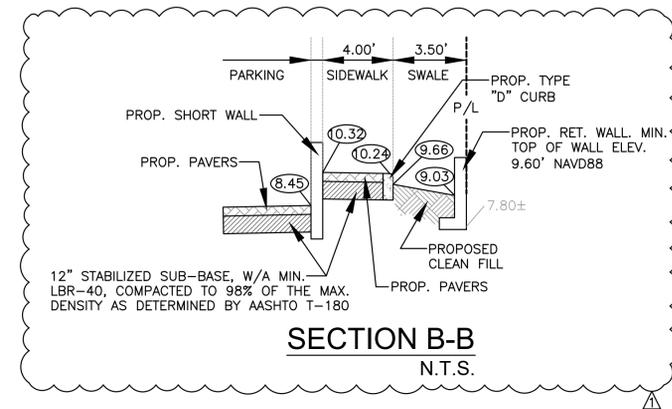


NOTES:

- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
- 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
- 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
- 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
- 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
- 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
- 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.



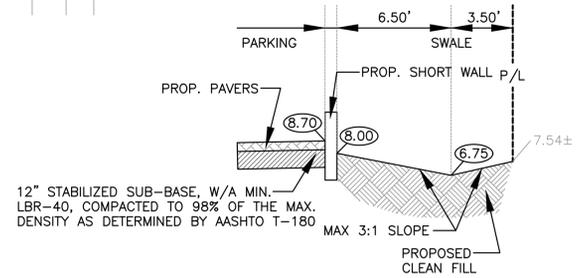
SECTION A-A
N.T.S.



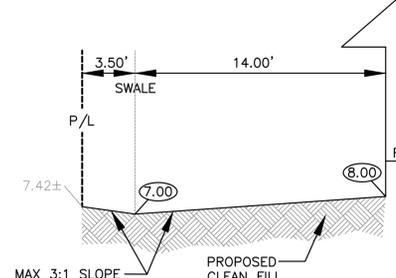
SECTION B-B
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LEGEND

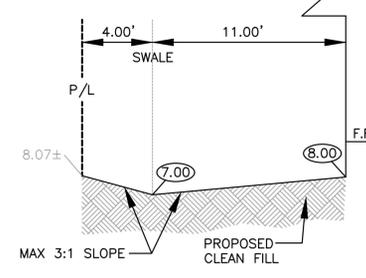
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PROPOSED GRADE
	EXISTING ELEVATION
	PROPOSED CATCH BASIN
	EXISTING CATCH BASIN
	PROPOSED WATER METER
	EXISTING WATER METER
	PROPOSED BFP DEVICE
	EXISTING SAN. SEWER MH
	EXISTING FIRE HYDRANT



SECTION C-C
N.T.S.



SECTION D-D
N.T.S.



SECTION E-E
N.T.S.



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PAVING, GRADING & DRAINAGE PLAN
SCALE: 1"=10'

REVISIONS

NO.	DATE	DESCRIPTION	TAC	REVIEW COMMENTS
1	12-1-23			

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DIXIANA APARTMENTS
1822 DIXIANA STREET
HOLLYWOOD, FL 33020

P.E.#: 76036
DATE: 10/23/23
SCALE: 1"=10'
SHEET NO.: C2
2 OF 9
PROJECT NO.: 23-48

GENERAL CONDITION NOTES :

- THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
- PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:
 FLORIDA POWER & LIGHT CO., CONSTRUCTION
 BELLSOUTH
 COMCAST
 TECO
 AT&T
 LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
 FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
 UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

- ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
- ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
- FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC...
- ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
- WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
- ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
- SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
- ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
- ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
- CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
- PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
- CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
- PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -
 RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
 CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
 CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
 SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
 PVC = POLYVINYLCHLORIDE PIPE
 POMP = PERFORATED CMP, FDOT SECTION 945
 DIP = DUCTILE IRON PIPE
 HDPE = HIGH DENSITY POLYETHYLENE PIPE.

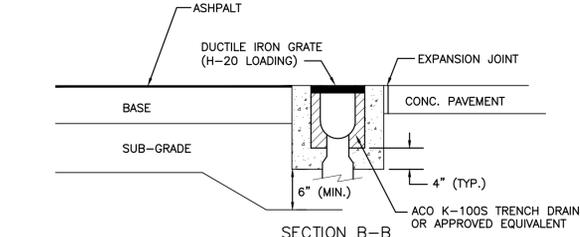
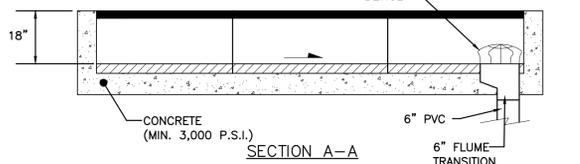
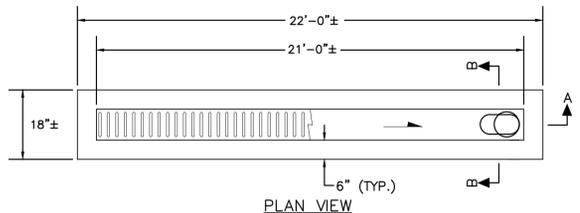
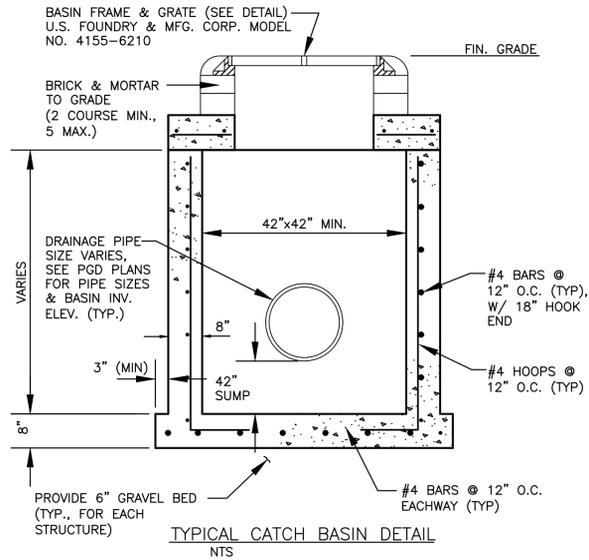
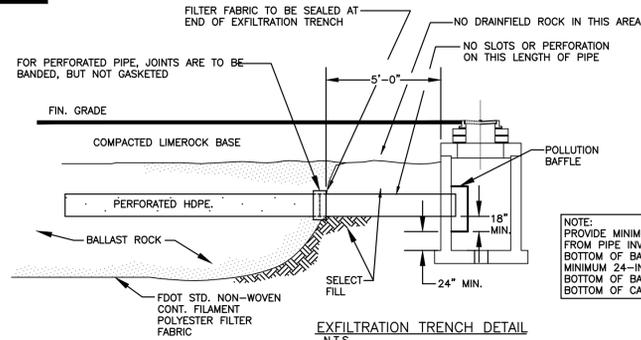
- ASPHALT -
 BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1.
 PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE - 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE - 0.02 TO 0.08 GALS./S.Y.

DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

PAVEMENT MARKING & SIGNING STANDARD NOTES :

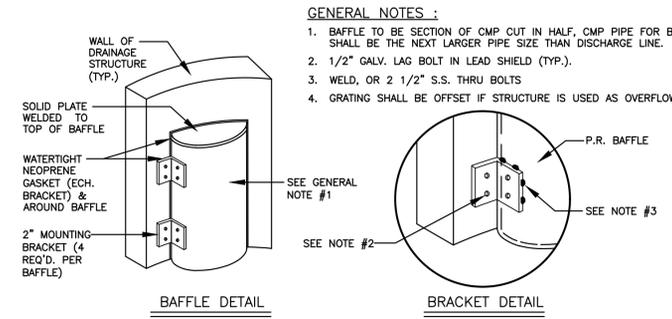
- STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
- ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
- STOP BARS SHALL BE 24" WHITE.
- ALL SITE PAVEMENT MARKINGS SHALL BE PAINT, (UNLESS INDICATED OTHERWISE)
- ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

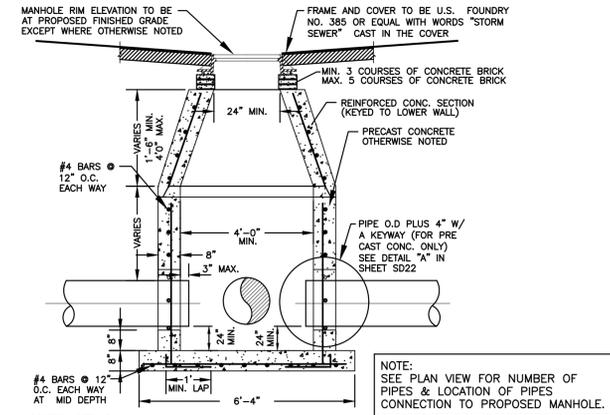
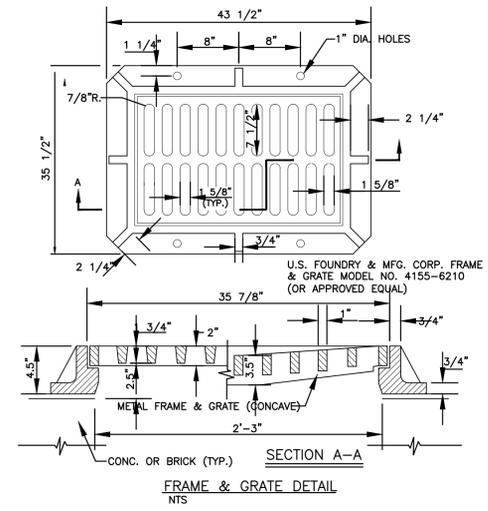
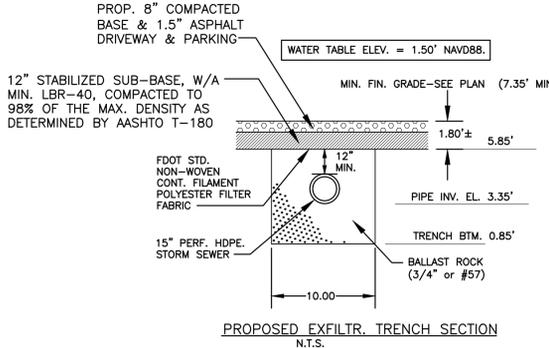


- NOTES:**
- SUBGRADE SHALL BE COMPACTED TO 95% MOD. PROCTOR DENSITY (AASHTO T-180)
 - CONNECT TRENCH DRAIN TO OUTFALL PIPE IN ACCORDANCE WITH:
 ALTERNATIVE-A: FOR A TERMINAL CONNECTION USE ONE (1) 90° ELBOW.
 ALTERNATIVE-B: FOR AN IN-LINE CONNECTION USE ONE (1) 45° ELBOW AND ONE (1) WYE.

TRENCH DRAIN DETAIL
N.T.S.



- GENERAL NOTES :**
- BAFFLE TO BE SECTION OF CMP CUT IN HALF, CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE LINE.
 - 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
 - WELD, OR 2 1/2" S.S. THRU BOLTS
 - GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.



- GENERAL DETAILS:**
- PROVIDE SHOP DRAWINGS OF STRUCTURES.
 - PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C478, SHALL BE TYPE II ACID RESISTANT CEMENT AND SHALL MAINTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN 28 DAYS.
 - REFER TO FDOT INDEX 200 FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
 - ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60, ALL COVER SHALL BE 3 INCHES MINIMUM.
 - ALL OPENINGS SHALL BE SEALED WITH ELASTOMERIC GROUT (TYPE 3 CEMENT) SEE DETAIL "A", IN SHEET SD22.

CONCENTRIC PRECAST DRAINAGE MANHOLE (4'-0" MIN. DIA.) DETAIL
N.T.S.



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CIVIL DETAILS I
SCALE: N.T.S.

12-1-23

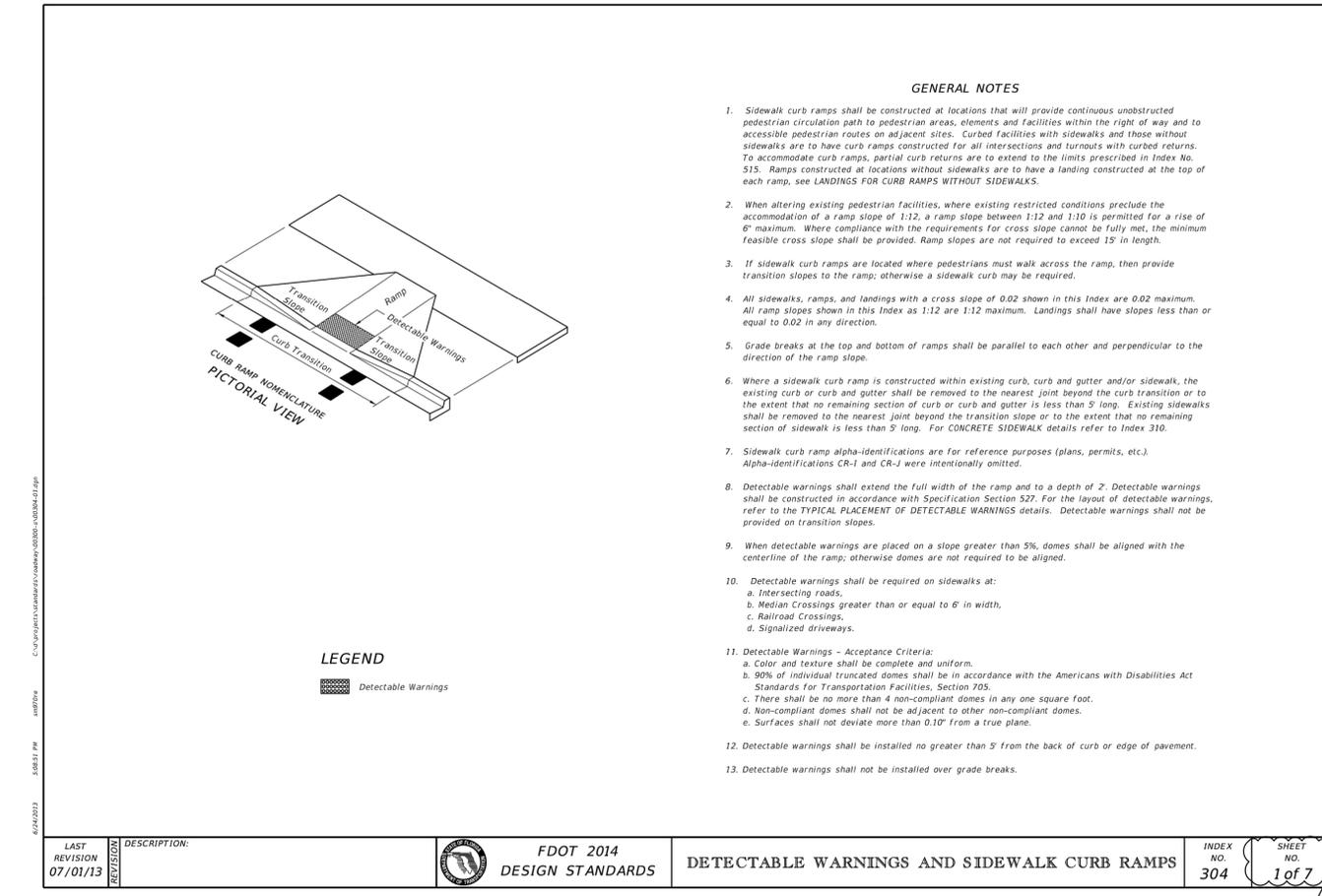
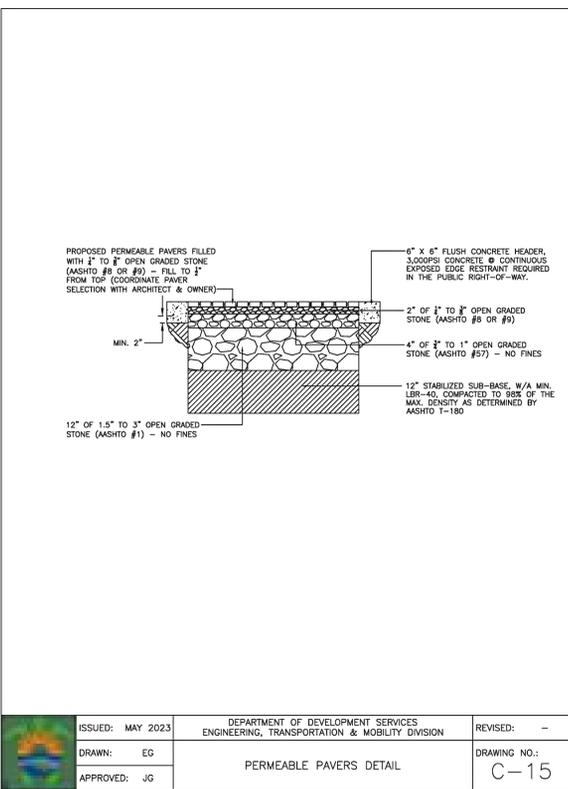
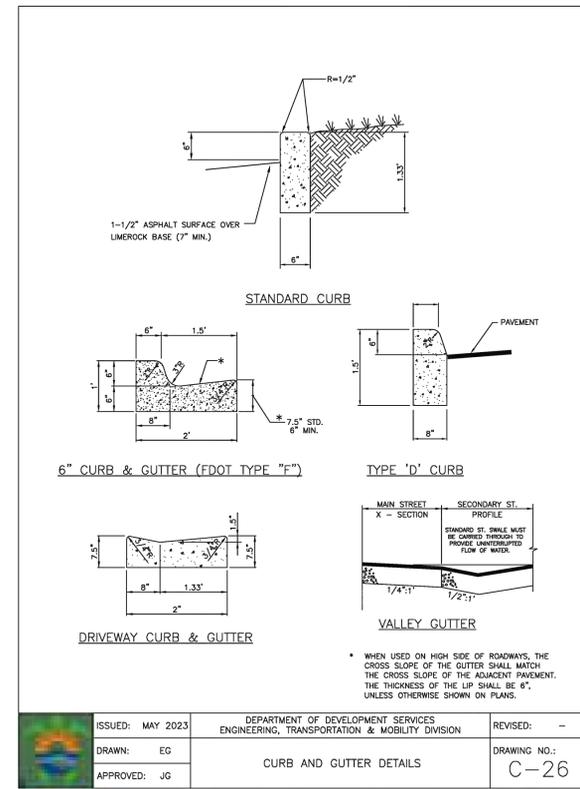
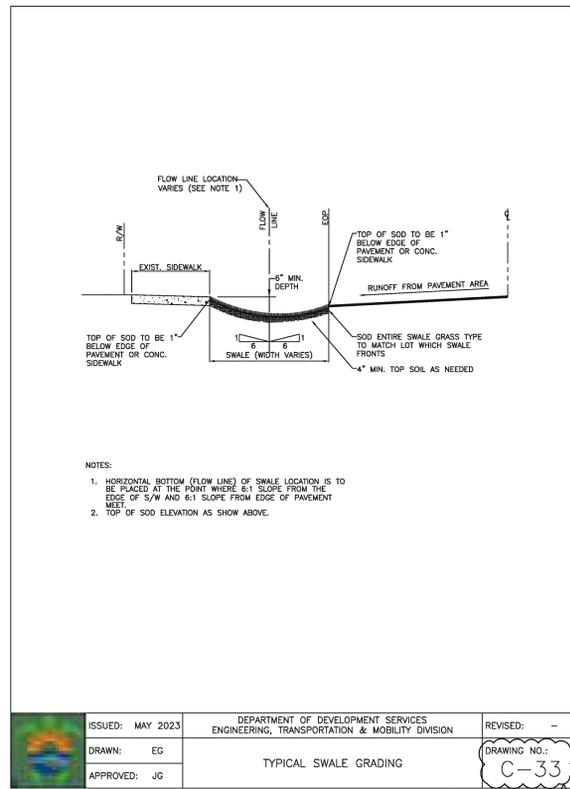
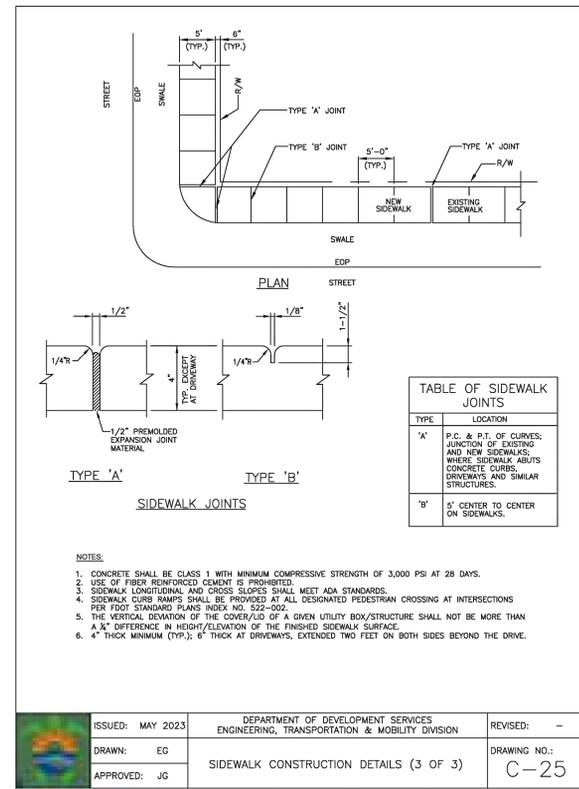
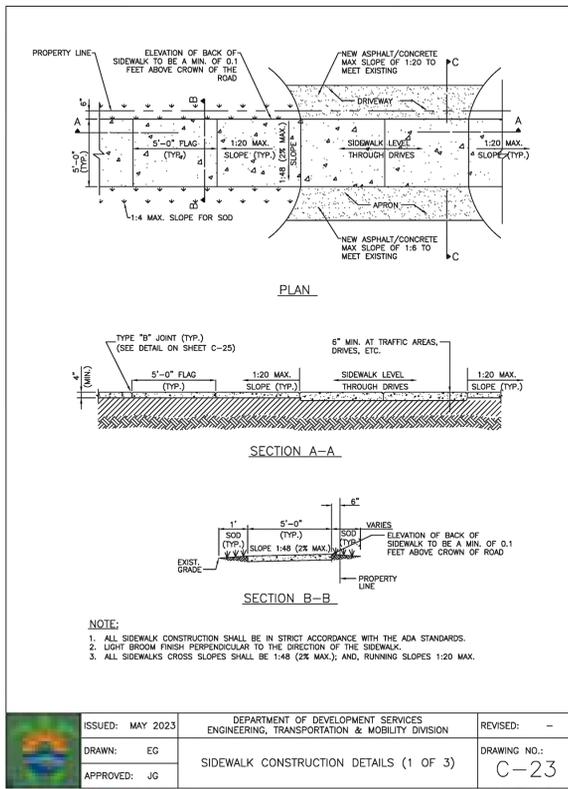
NO.	DATE	DESCRIPTION

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 wzephyr@gmail.com
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DIXIANA APARTMENTS
 1822 DIXIANA STREET
 HOLLYWOOD, FL 33020

P.E.#: 76036
 DATE: 10/23/23
 SCALE: N.T.S.
 SHEET NO.: C3
 3 OF 9
 PROJECT NO.: 23-48



12-1-23

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WILFORD ZEPHYR, P.E.
No. 76036
STATE OF FLORIDA
PROFESSIONAL ENGINEER

REVISIONS

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1	12-1-23			

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SHEET NO.: C4

4 OF 9

PROJECT NO.: 23-48

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

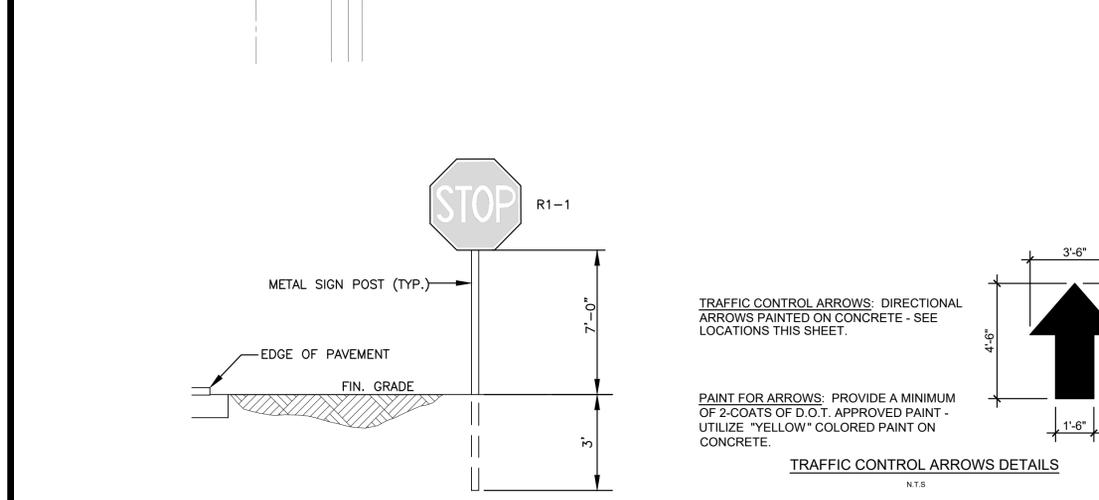
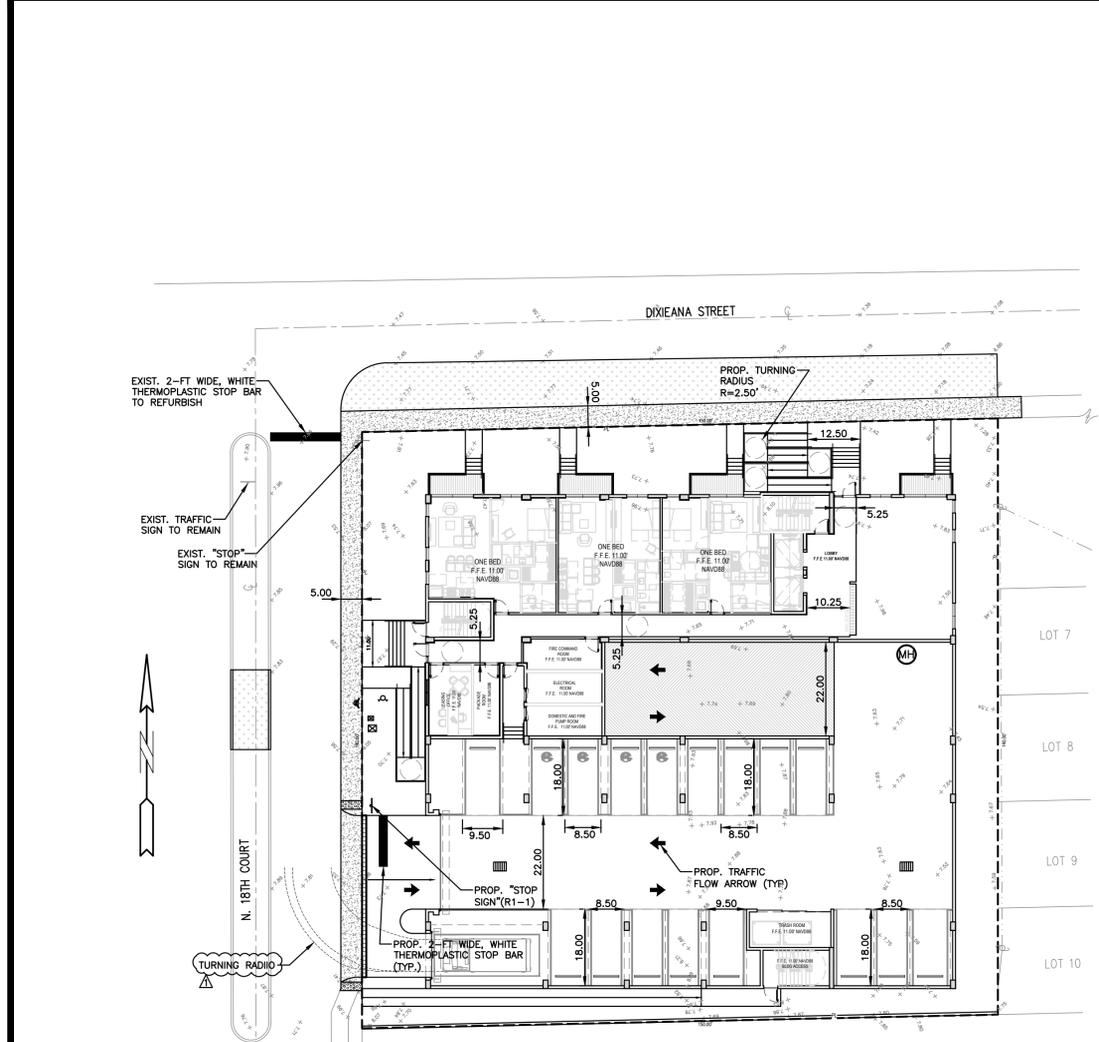
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DIXIANA APARTMENTS
 1822 DIXIANA STREET
 HOLLYWOOD, FL 33020

P.E.#: 76036
 DATE: 10/24/23
 SCALE: 1"=20'
 SHEET NO.: C5
 5 OF 9
 PROJECT NO.: 23-48



LEGEND

[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED ASPHALT
[Symbol]	PROPOSED GRADE
[Symbol]	EXISTING ELEVATION
[Symbol]	PROPOSED CATCH BASIN
[Symbol]	EXISTING CATCH BASIN
[Symbol]	PROPOSED WATER METER
[Symbol]	EXISTING WATER METER
[Symbol]	EXISTING WATER VALVE
[Symbol]	PROPOSED BFP DEVICE
[Symbol]	EXISTING SAN. SEWER MH
[Symbol]	EXISTING FIRE HYDRANT

TYPICAL SIGN INSTALLATION DETAIL
 NTS

PAVEMENT MARKINGS AND SIGNS DETAILS

1. SPECIAL EMPHASIS CROSSWALK MARKINGS ARE REQUIRED FOR MID-BLOCK CROSSINGS, INTERSECTIONS WITH STANDING CROSSING GUARDS, AND/OR HIGH PEDESTRIAN ACTIVITY DOCUMENTED BY A STUDY AND MUST BE ADA COMPLIANT.

2. REFER TO INDEX 711-001 FOR SPECIAL EMPHASIS CROSSWALK MARKING INSTALLATION GUIDELINES.

3. CROSSWALK MARKING INTERSECTION CROSSWALKS 8' MIN. MINIMUM, 10' FOR STANDARD, MID-BLOCK CROSSWALKS 10' FOR MINIMUM.

4. ALL CROSSWALK MARKINGS MUST BE WHITE.

NOTES

- ALL PAVEMENT MARKINGS SHALL BE ALKYL-BASED THERMOPLASTIC AND FULLY RETROREFLECTORIZED.
- ALL PAVEMENT MARKINGS ON PAVEMENT SHALL BE 3M 300/300 SERIES TAPE OR EQUIVALENT AND APPLIED WITH PRO-ADHESIVE AS PER MANUFACTURER'S SPECIFICATIONS.
- ALL PAVEMENT MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION, AND FOOT RESTRICTION STANDARDS.
- SEE FOOT INDEX NO. 706-001 FOR PLACEMENT OF RPM'S (FOR BALANCE RPM TREATMENT, SEE LEGEND NO. 1).
- RPM'S SHALL BE CLASS "1" OR EQUIVALENT, APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE.
- FOOT APPROVED SEALER SHALL BE USED WHEN APPLYING MARKINGS ON CONCRETE.
- FOR BAY LINE DETAILS SEE FOOT INDEX NO. 711-002.
- EXISTING MARKINGS SHALL BE REMOVED BY WATER BLASTING OR SAND BLASTING.
- ALL STOP LINES TO BE 4" BEHIND CROSSWALK OR SIDEWALK.
- PAVEMENT MARKING REFLECTIVITY SHALL BE UNIFORM ACROSS THE ENTIRE STRIPE AND SHALL HAVE A MINIMUM REFLECTIVITY READING OF 250 MILLICANDELAS FOR WHITE AND 175 MILLICANDELAS FOR YELLOW.
- ALL PRODUCTS MUST BE ON FOOT'S APPROVED PRODUCTS LIST (APL).
- RPM'S SHALL NOT BE INSTALLED ADJACENT TO BIKE LANES.
- LONGITUDINAL CROSSWALK MARKINGS SHALL BE INSTALLED AT ALL CROSS STREETS ON COUNTY ROADS THAT ARE FOUR LANES OR GREATER.

LEGEND

YELLOW/YELLOW RPM DETAILS

EDGE LINE DETAILS

TYPE IV SEPARATOR DETAILS

STOP SIGN NOTE

WHERE SIDE ROADS INTERSECT A MULTI-LANE STREET OR HIGHWAY THAT HAS A SPEED LIMIT OF 45 MPH OR HIGHER, THE MINIMUM SIZE OF THE STOP SIGN FACING THE SIDE ROAD APPROACHES, EVEN IF THE SIDE ROAD ONLY HAS ONE APPROACH LANE, SHALL BE 36"x36".

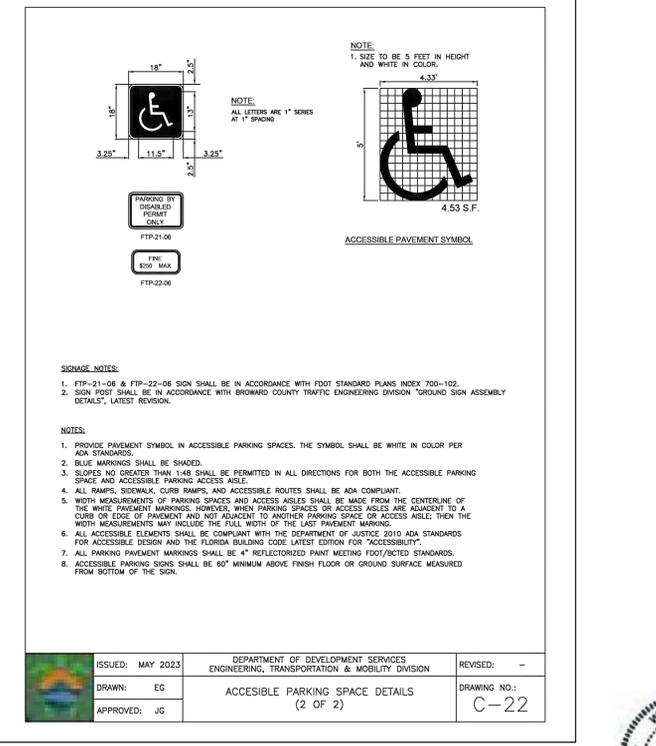
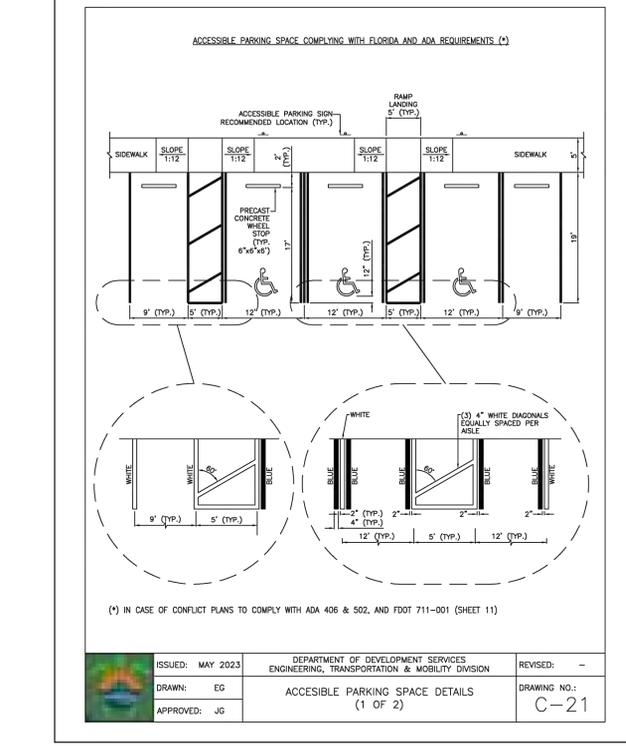
WHERE SIDE ROADS INTERSECT A MULTI-LANE (INCLUDING TURN LANE) STREET OR HIGHWAY THAT HAS A SPEED LIMIT OF 40 MPH OR LOWER, THE MINIMUM SIZE OF THE STOP SIGN FACING THE SIDE ROAD APPROACHES SHALL BE 36"x36".

REVISIONS

DATE	DESCRIPTION
11-24-2020	UPDATED NOTES
04-14-2021	UPDATED NOTES
05-08-2022	UPDATED NOTES

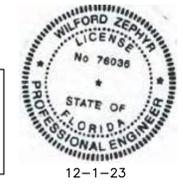
PUBLIC WORKS DEPARTMENT TRAFFIC ENGINEERING DIVISION
 DESIGN BY: CARMELO CARATTOZZO, P.E. SCALE: NTS
 DRAWN BY: STEPHON RAMOUTAR
 CHECKED BY: CARMELO CARATTOZZO, P.E.

SHEET NO. 1 OF 1



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PAVEMENT MARKINGS & SIGNAGE PLAN
 SCALE: 1"=20'

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DIXIANA APARTMENTS
 1822 DIXIANA STREET
 HOLLYWOOD, FL 33020

P.E.#: 76036
 DATE: 10/23/23
 SCALE: N.T.S.
 SHEET NO.: C6
 6 OF 9
 PROJECT NO.: 23-48

FOR SIGN ASSEMBLIES WITH MAXIMUM 8.75 SQUARE FOOT PANEL AREA

FOR SIGN ASSEMBLIES WITH GREATER THAN 8.75 SQUARE FOOT PANEL AREA WITH SUPPLEMENTAL SIGN

Typical Details

STREET ID (D3-1) MATERIALS:
 LETTERS: WHITE TYPE XI SHEETING
 LETTERING OF STREET NAME SIGNS SHALL BE COMPOSED OF A COMBINATION OF LOWERCASE LETTERS WITH INITIAL UPPERCASE LETTERS.
 BORDERS: BORDER WIDTHS WILL VARY BASED ON LETTER HEIGHTS
 4 INCH LETTER = 0.375 INCH BORDER WIDTH
 6 INCH LETTER = 0.500 INCH BORDER WIDTH
 8 INCH LETTER = 0.750 INCH BORDER WIDTH
 GREEN BACKGROUND: GREEN TRANSLUCENT INK SILK-SCREENED CLEAR-COATED OR ELECTRO-CUT (EC) FILM OR EQUIVALENT.
 LETTER SIZES: SEE MUTCD TABLE 2D-2 (PG 168) FOR MINIMUM LETTER HEIGHTS. LENGTH VARIES BY STREET NAME.
 HARDWARE: BOLTS - #18 HEX HEAD STAINLESS STEEL 5/16" x 3" NUTS - #18 STAINLESS STEEL W/ NYLON WASHERS.

REGULATORY SIGN
 WHEN NO STREET ID IS PRESENT THE STOP SIGN SHALL BE MOUNTED FLUSH TO THE TOP OF THE POST WHILE MAINTAINING 7 FEET MIN. CLEARANCE BETWEEN BOTTOM OF SIGN AND GROUND LEVEL. ANY SIGN INSTALLED BACK TO BACK WITH THE STOP SIGN SHALL BE SMALLER THAN THE STOP SIGN.
 THE STOP SIGN:
 WHITE TYPE XI SHEETING
 PRESSURE-SENSITIVE RED TRANSLUCENT INK SILK-SCREENED CLEAR-COATED OR ELECTRO-CUT (EC) FILM OR EQUIVALENT.
 HARDWARE: FRONT: #18 HEX HEAD STAINLESS STEEL 5/16" x 3" BOLT W/ 3/8" NYLON WASHER
 BACK: #18 HEX HEAD STAINLESS STEEL NUT W/ 3/8" STAINLESS STEEL WASHER.
 NOTES: 1. ALL TYPE XI SHEETING UTILIZED MUST BE ON THE POST AS LISTED.
 2. SEE BCTED TECHNICAL POLICY MEMO #PM-16-01 - SPECIFICATIONS FOR REFLECTIVE TRAFFIC SIGN MATERIALS.

SQUARE TUBE SIGN POST
 The Square Tube Sign Post shall be 2 1/2" square, perforated, hot-dipped galvanized, 12-gauge, grade 50 steel. The post shall be installed with in-ground fitted sleeve anchor as shown in detail "A" below.

DETAIL "A"
 2-1/2" Square Tube Insert
 2-1/2" x 12 ga. PSST
 1.75" min. 8" post insertion
 0.75" 2 ea. x 4 Sides
 3" x 3" x 42" 7 ga. heavy duty galvanized anchor
 Hardware includes 2 each 3/8" x 3-1/2" GR. 8 Flanged Shoulder Bolt and Flange Nut.
 38" Burial Depth
 4" Ground Level

DETAIL "B"
 Triangular Slip Base Assembly For 2-1/2" Perforated Square Steel Tube Sign Post
 1/2" Hex Head (Twists Off) Proper Torque
 2-1/2" x 10/12" x 12ga. PSST
 Post Receiver
 Red-Torque Bolt
 Facing Incoming Traffic
 Slip Washer
 Washer
 Flange Nut
 2-1/2" Square Post Receiver Top Cap

Notes:
 1. Dimensions and certain details for the parts used to assemble the slip base connections are intentionally not shown. Slip base connections are patented manufactured products that are in compliance with NCHRP 350 crash test criteria. The base connection details are only shown on this plan to illustrate how the parts are assembled. The complete assembly must be designed to withstand 150 mph Base Wind Speed per 2013 AASHTO Standard Specifications for Structural Supports for Highway Signs, Luminaires, and Traffic Signals, 6th edition and Interims.
 2. For standard ground sign installation, see detail entitled "Ground Sign Assembly Details".

STOP SIGN AND STREET IDENTIFICATION ASSEMBLY TYPICAL DETAILS

REVISIONS

DATE	DESCRIPTION
02-28-2020	ADDED ISOMETRIC VIEW
02-05-2021	UPDATED POST BASE HEIGHT
06-22-2023	UPDATED SIGN POST NOTES

PUBLIC WORKS DEPARTMENT TRAFFIC ENGINEERING DIVISION
 DESIGN BY: CARMELO GARATTOZZOLO, P.E. SCALE: NTS
 DRAWN BY: STEPHON RAMOULTAR
 CHECKED BY: CARMELO GARATTOZZOLO, P.E.

SHEET NO. 1 OF 1

GUIDE TO USE THIS STANDARD:
 1. Calculate the Total Panel Area and the centroid 'C' for an individual sign or a sign cluster.
 2. Determine the height 'H' from the groundline for the individual sign or the cluster.
 3. Consult the Post Size Table and find the intersection point.
 4. Design the post and the foundation according to the required Post Size and Assembly Details.

Post Size Table

Total Panel Area (A)	Height (H) (measure from ground)	Sign Post
3	8	Sign Post with 3" x 7 ga. Square Anchor
4	8.5	Sign Post with 3" x 7 ga. Square Anchor
5	9	Sign Post with 3" x 7 ga. Square Anchor
6	9.5	Sign Post with 3" x 7 ga. Square Anchor
7	10	Sign Post with 3" x 7 ga. Square Anchor
8	11	Sign Post with 3" x 7 ga. Square Anchor
9	12	Sign Post with 3" x 7 ga. Square Anchor
10	13	Sign Post with 3" x 7 ga. Square Anchor
11	14	Sign Post with 3" x 7 ga. Square Anchor
12	15	Sign Post with 3" x 7 ga. Square Anchor
13	16	Sign Post with 3" x 7 ga. Square Anchor
14	17	Sign Post with 3" x 7 ga. Square Anchor
15	18	Sign Post with 3" x 7 ga. Square Anchor
16	19	Sign Post with 3" x 7 ga. Square Anchor
17	20	Sign Post with 3" x 7 ga. Square Anchor
18	21	Sign Post with 3" x 7 ga. Square Anchor
19	22	Sign Post with 3" x 7 ga. Square Anchor
20	23	Sign Post with 3" x 7 ga. Square Anchor

Sign Post with 3" x 7 ga. Square Anchor
 SQUARE TUBE SIGN POST THE SQUARE TUBE SIGN POST SHALL BE 2 1/2" SQUARE, PERFORATED, HOT-DIPPED GALVANIZED, 12-GAUGE, GRADE 50 STEEL. THE POST SHALL BE INSTALLED WITH IN-GROUND FITTED SLEEVE ANCHOR AS SHOWN IN DETAIL.
 2-1/2" x 10' x 12 ga. PSST
 1.75" min. 8" post insertion
 0.75" 2 ea. x 4 Sides
 3" x 3" x 42" 7 ga. heavy duty galvanized anchor
 Hardware includes 2 each 3/8" x 3-1/2" GR. 8 Flanged Shoulder Bolt and Flange Nut.
 38" Burial Depth
 4" Ground Level

Sign Post with Triangular Slip Base
 Triangular Slip Base Assembly For 2-1/2" Perforated Square Tube Sign Post
 Slip Washer
 Post Receiver
 Red-Torque Bolt
 Facing Incoming Traffic
 Washer
 Flange Nut
 2-1/2" Square Post Receiver
 SQUARE TUBE SIGN POST THE SQUARE TUBE SIGN POST SHALL BE 2 1/2" SQUARE, PERFORATED, HOT-DIPPED GALVANIZED, 12-GAUGE, GRADE 50 STEEL. THE POST SHALL BE INSTALLED WITH IN-GROUND FITTED SLEEVE ANCHOR AS SHOWN IN DETAIL.
 2-1/2" x 10' x 12 ga. PSST
 1.75" min. 8" post insertion
 0.75" 2 ea. x 4 Sides
 3" x 3" x 42" 7 ga. heavy duty galvanized anchor
 Hardware includes 2 each 3/8" x 3-1/2" GR. 8 Flanged Shoulder Bolt and Flange Nut.
 38" Burial Depth
 4" Ground Level

Notes:
 Dimensions and certain details for the parts used to assemble the slip base connections are intentionally not shown. Slip base connections are patented manufactured products that are in compliance with NCHRP 350 crash test criteria. The base connection details are only shown on this plan to illustrate how the parts are assembled. The complete assembly must be designed to withstand 150 mph Base Wind Speed per 2013 AASHTO Standard Specifications for Structural Supports for Highway Signs, Luminaires, and Traffic Signals, 6th edition and Interims.

GROUND SIGN ASSEMBLY DETAILS

REVISIONS

DATE	DESCRIPTION
03-21-2017	UPDATED POST SIZE
11-24-2020	ADDED POST SIZE NOTE
02-05-2021	UPDATED POST BASE HEIGHT

PUBLIC WORKS DEPARTMENT TRAFFIC ENGINEERING DIVISION
 DESIGN BY: YVES D'ANJOU, P.E. SCALE: NTS
 DRAWN BY: STEPHON RAMOULTAR
 CHECKED BY: ANDREW SEBO, P.E., PTCE

SHEET NO. 1 OF 1

W11-2 (30"x 30") & SUPPLEMENTAL (24"x12") SIGN ASSEMBLY

30" x 30" W11-2
 24" x 12" W16-7P OR W16-9P
 2-1/2" x 10' x 12 GA. PSST
 1.75" min. 8" post insertion
 0.75" 2 ea. x 4 Sides
 3" x 3" x 42" 7 GA. HEAVY DUTY GALVANIZED ANCHOR
 Hardware includes 2 each 3/8" x 3-1/2" GR. 8 Flanged Shoulder Bolt and Flange Nut.
 38" Burial Depth
 4" Ground Level

SQUARE TUBE SIGN POST
 THE SQUARE TUBE SIGN POST SHALL BE 2 1/2" SQUARE, PERFORATED, HOT-DIPPED GALVANIZED, 12-GAUGE, GRADE 50 STEEL. THE POST SHALL BE INSTALLED WITH IN-GROUND FITTED SLEEVE ANCHOR AS SHOWN IN DETAIL.

Notes:
 1. SCHOOL ZONE AND PEDESTRIAN SIGNS SHALL BE COMPRISED OF REFLECTIVE FLUORESCENT YELLOW-GREEN SHEETING. (SEE BCTED TECHNICAL POLICY MEMO #TPM-16-001 ON BCTED WEBSITE)
 2. NOT FOR USE WITH RECTANGULAR RAPID FLASHING BEACONS

PUBLIC WORKS DEPARTMENT TRAFFIC ENGINEERING DIVISION
 DESIGN BY: YVES D'ANJOU, P.E. SCALE: NTS
 DRAWN BY: STEPHON RAMOULTAR
 CHECKED BY: ANDREW SEBO, P.E., PTCE

SHEET 1 OF 1

S1-1 (36"x 36") & SUPPLEMENTAL SIGN ASSEMBLY

S1-1 (36" x 36")
 24" x 12" W16-7P OR W16-9P
 2-1/2" x 10' x 12 ga. PSST
 1.75" min. 8" post insertion
 0.75" 2 ea. x 4 Sides
 3" x 3" x 42" 7 ga. heavy duty galvanized anchor
 Hardware includes 2 each 3/8" x 3-1/2" GR. 8 Flanged Shoulder Bolt and Flange Nut.
 38" Burial Depth
 4" Ground Level

SQUARE TUBE SIGN POST
 THE SQUARE TUBE SIGN POST SHALL BE 2 1/2" SQUARE, PERFORATED, HOT-DIPPED GALVANIZED, 12-GAUGE, GRADE 50 STEEL. THE POST SHALL BE INSTALLED WITH IN-GROUND FITTED SLEEVE ANCHOR AS SHOWN IN DETAIL.

Notes:
 NOT FOR USE WITH RECTANGULAR RAPID FLASHING BEACONS

PUBLIC WORKS DEPARTMENT TRAFFIC ENGINEERING DIVISION
 DESIGN BY: YVES D'ANJOU, P.E. SCALE: NTS
 DRAWN BY: STEPHON RAMOULTAR
 CHECKED BY: ANDREW SEBO, P.E., PTCE

SHEET 1 OF 1



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

R.O.W. PMS DETAILS

SCALE: N.T.S.

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT

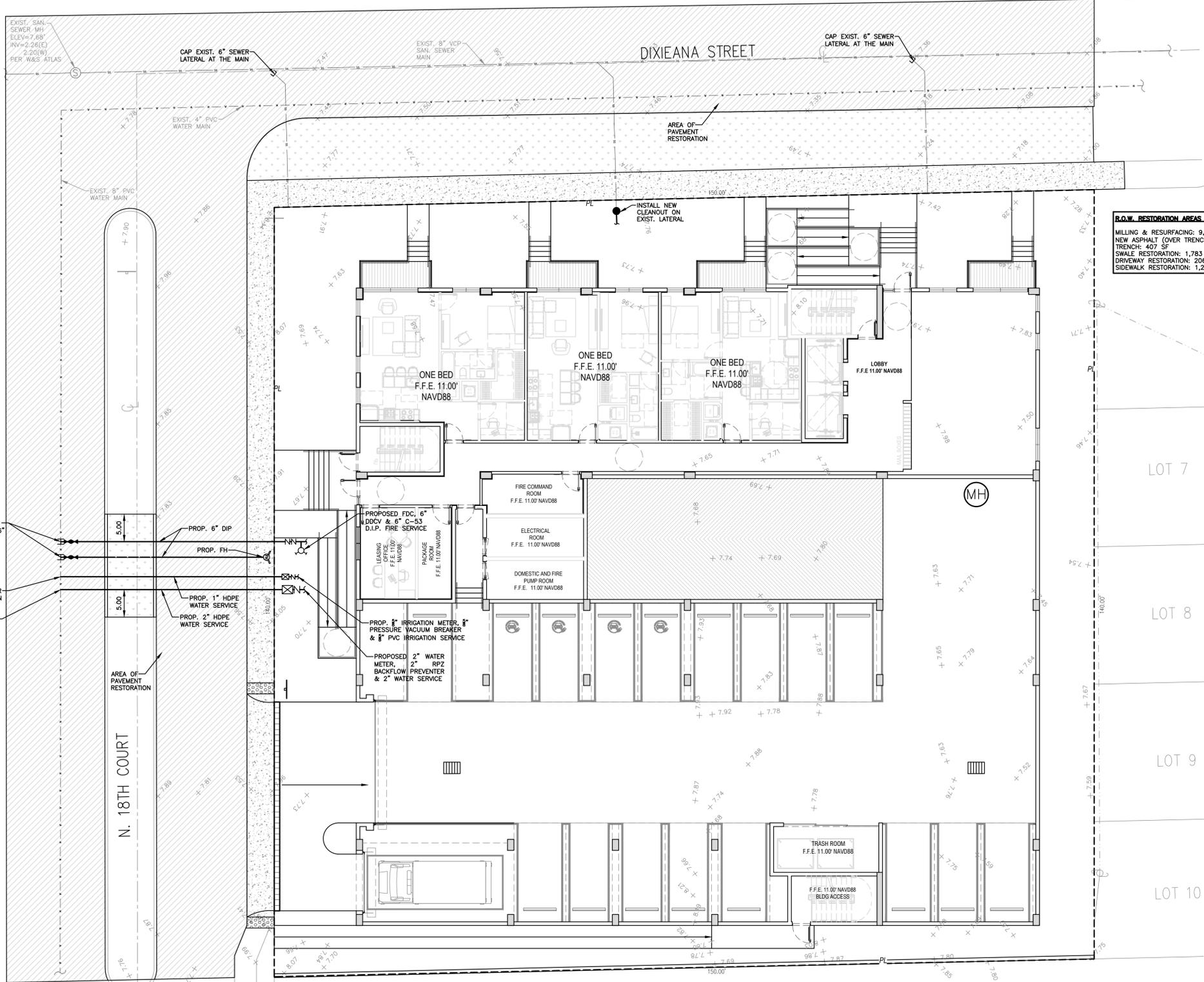
NO.	DATE	DESCRIPTION	TAC	REVIEW COMMENTS
1	12-1-23			

ZEPHYR ENGINEERING
 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyreng@gmail.com
 CA#: 31158



DIXIANA APARTMENTS
 1822 DIXIANA STREET
 HOLLYWOOD, FL 33020

P.E.#: 76036
 DATE: 10/24/23
 SCALE: 1"=10'
 SHEET NO.: C7
 7 OF 9
 PROJECT NO.: 23-48



R.O.W. RESTORATION AREAS (UTILITY CONSTRUCTION):
 MILLING & RESURFACING: 9,042 SF
 NEW ASPHALT (OVER TRENCH): 407 SF
 TRENCH: 407 SF
 SWALE RESTORATION: 1,783 SF
 DRIVEWAY RESTORATION: 206 SF
 SIDEWALK RESTORATION: 1,248 SF

NOTE:
 FULL ROAD WIDTH PAVEMENT MILL AND RESURFACING WILL BE REQUIRED FOR ALL STREETS/ROADWAY ADJACENT TO THE PROJECT SITE

WATER & SEWER DEMAND CALCULATIONS:
 PROJECT INFO:
 • 70 RESIDENTIAL UNITS
 WATER DEMAND
 (70 RESIDENTIAL UNITS)X(141 GPD/UNIT)=9,870 GPD
 WASTEWATER DEMAND
 (70 RESIDENTIAL UNITS)X(100 GPD/UNIT)=7,000 GPD
 (PER BROWARD COUNTY WATER & WASTEWATER ENGINEERING DIVISION'S GUIDELINE FOR DETERMINING ABILITY TO PROVIDE POTABLE WATER & WASTEWATER SERVICE AND EQUIVALENT RESIDENTIAL UNIT FACTORS PUBLICATIONS)

FIRE DEPT. NOTES:
 1. UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE AS DEFINED BY FLORIDA STATUTE 633.102.
 2. WATER SUPPLY AND ANY NEW HYDRANTS SHALL BE IN PLACE PRIOR TO ACCUMULATION OF COMBUSTIBLE MATERIALS PER NFPA 1 (2018 Ed.) SECTION 16.4.3.1.1.

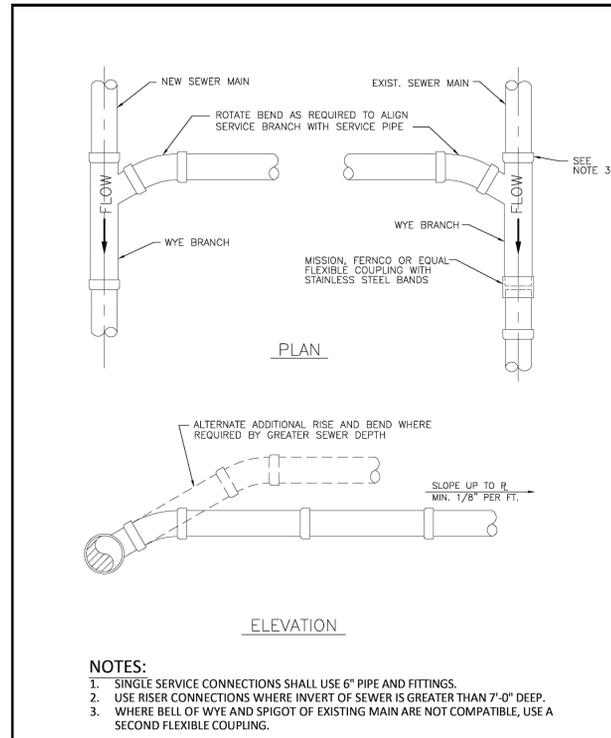


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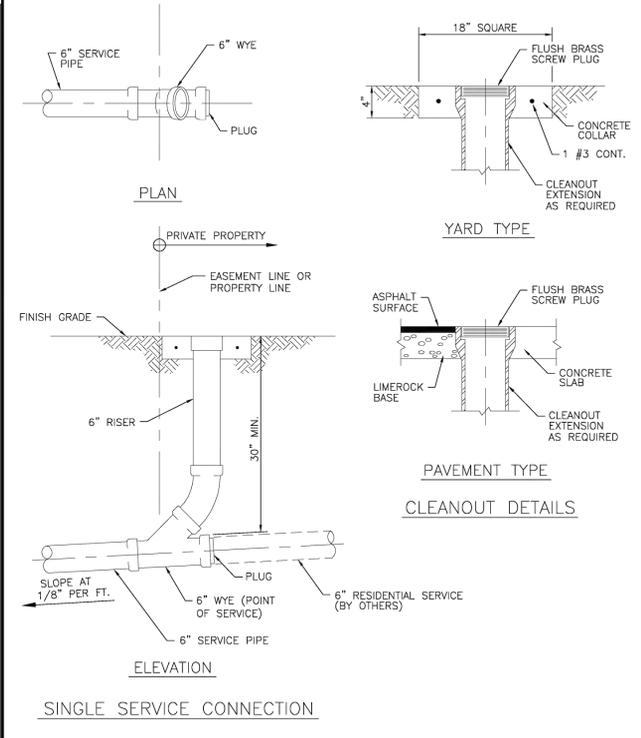
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

12-1-23

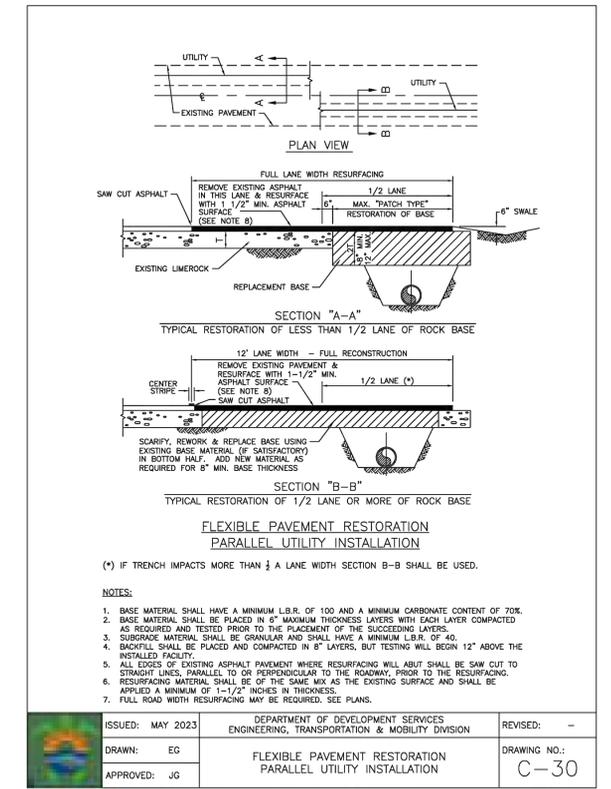
WATER & SEWER PLAN & DETAILS
 SCALE: 1"=10'



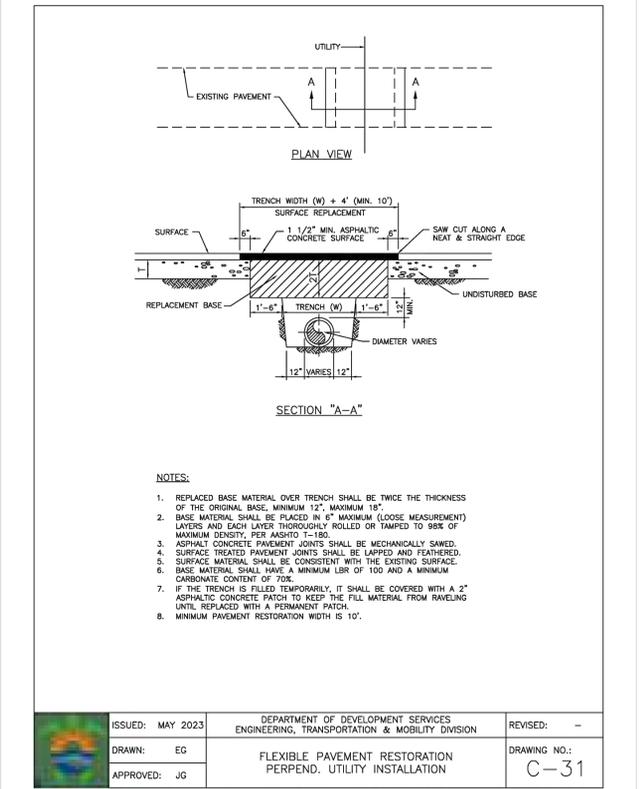
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WYE BRANCH CONNECTION	DRAWING NO. S-09
APPROVED: XXX		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO. S-12
APPROVED: XXX		



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	FLEXIBLE PAVEMENT RESTORATION PARALLEL UTILITY INSTALLATION	DRAWING NO. C-30
APPROVED: JG		



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	FLEXIBLE PAVEMENT RESTORATION PERPEND. UTILITY INSTALLATION	DRAWING NO. C-31
APPROVED: JG		



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UTILITIES DETAILS II

SCALE: N.T.S.

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA# 31158



DIXIANA APARTMENTS
1822 DIXIANA STREET
HOLLYWOOD, FL 33020

P.E.#: 76036
DATE: 10/23/23
SCALE: N.T.S.
SHEET NO.: C9
9 OF 9
PROJECT NO.: 23-48

REVISIONS

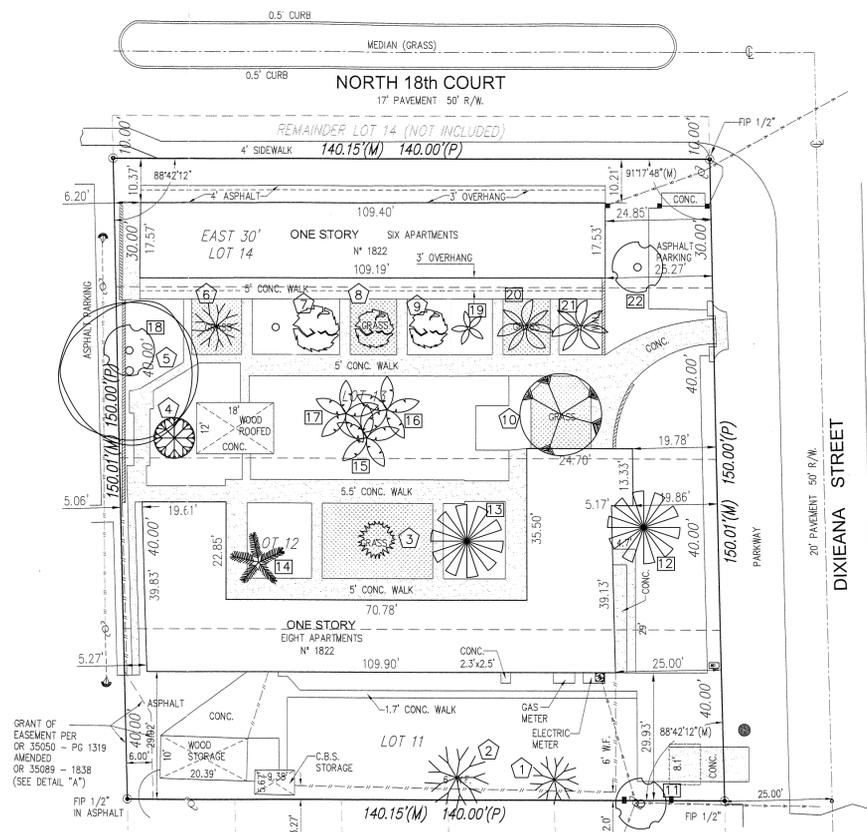
Tree Survey / Disposition Plan
Dixieanna Apartments
 1822 Dixieanna Street
 Hollywood, Florida 33020

Existing Tree List
 Address: 1833 Dixieanna Street, Hollywood, FL
 Date: 10/11/2023
 Appraiser: Thomas White, ASLA-ISA
 ISA Arborist FL-5248A

Tree #	(Botanical Name / Common Name)	Ht. (Feet)	Spread (Feet)	DBH (Inches)	Condition	DBH Removed (Inches)	DBH To Remain (Inches)	Disposition
1	Plumeria spp. / Frangipani	8	6	2	Fair	2		Remove
2	Plumeria spp. / Frangipani	12	18	6	Fair	6		Remove
3	Senna surattensis / Glaucous Cassia	8	6	1	Fair	1		Remove
4	Cordia sebestena / Orange Geiger	18	10	3	Fair	3		Remove
5	Quercus virginiana / Live Oak	35	40	21	Poor	21		Remove
6	Plumeria spp. / Frangipani	10	8	4	Fair	4		Remove
7	Conocarpus erectus / Green Buttonwood	20	6	5	Poor	5		Remove
8	Conocarpus erectus / Green Buttonwood	20	15	16	Poor	16		Remove
9	Conocarpus erectus / Green Buttonwood	20	6	5	Poor	5		Remove
DBH Removed						63		

Existing Palm List

Palm #	(Botanical Name / Common Name)	Ht. (Feet)	C.T. (Feet)	DBH (Inches)	Condition	Replacement Palms	Disposition
11	Sabal palmetto / Cabbage Palm	20	15	3	Good	1	Remove
12	Dypsis lutescens / Areca Palm	20	0	16	Fair	1	Remove
13	Dypsis lutescens / Areca Palm	20	0	16	Fair	1	Remove
14	Ptychosperma elegans / Solitaire Palm	20	15	3	Fair	1	Remove
15	Syagrus romanzoffiana / Queen palm	22	16	10	Poor	1	Remove
16	Syagrus romanzoffiana / Queen palm	18	12	4	Poor	1	Remove
17	Syagrus romanzoffiana / Queen palm	14	8	4	Poor	1	Remove
18	Sabal palmetto / Cabbage Palm	20	12	4	Good	1	Remove
19	Wodyetia bilurcata / Foxtail Palm	16	12	4	Poor	1	Remove
20	Cocos nucifera / Coconut Palm	20	2	14	Good	1	Remove
21	Cocos nucifera / Coconut Palm	20	2	16	Good	1	Remove
22	Sabal palmetto / Cabbage Palm	26	20	12	Good	1	Remove
Replacement Palms Required						12	



⊙ Denotes Existing Trees
 ⊕ Denotes Existing Palms

Sunshine811
 Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
 Check positive response codes before you dig!

GUARDIAN PROPERTIES

NEAL DEVELOPMENT



DRAWN: TW
 CHECKED: TW
 DATE: 10-12-2023
 SCALE: 1"=20'

Sheet No. L-1
 Sheet 1 Of 3

GENERAL LANDSCAPE NOTES

The plan takes precedence over the plant list.

2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.

All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All limerock shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod 1.5-2" topsoil comes furnished.

All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.

All trees/palms shall be planted so the top of the root ball, root flare are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.

All landscape areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. Each system shall be installed with an operational rain sensor and rust inhibitor.

No fertilizers are required.

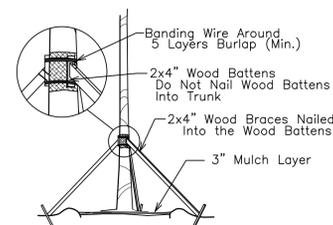
All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of two inches (2") of cover when settled. Spread mulch to 1" thickness 3" away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4" diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.

Please refer to the planting details for a graphic representation of the above notes. All plant material as included herein shall be warranted by the landscape contractor for a minimum period of 12 months after final inspection approval.

No landscape substitutions shall be made without the City of Hollywood approval.

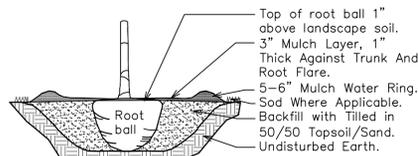
No tree removal or planting allowed until sub permits are fully approved by city.

Submit all submittals to owner, general contractor and landscape architect for review.



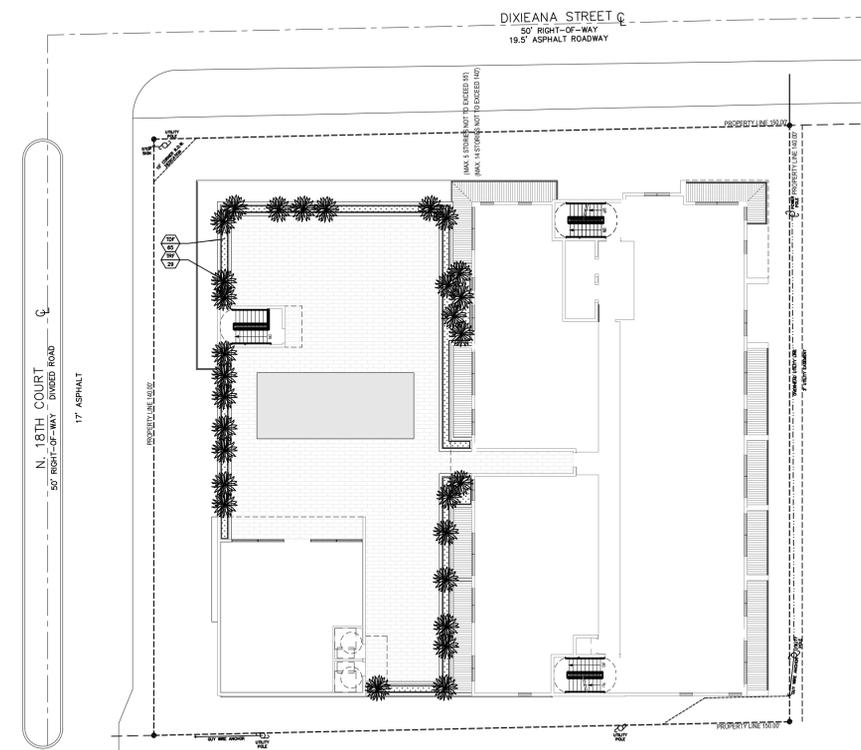
TREE/PALM BRACING DETAIL

NTS

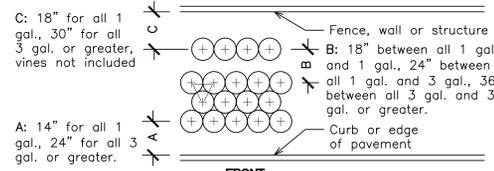


TREE/PALM PLANTING DETAIL

NTS

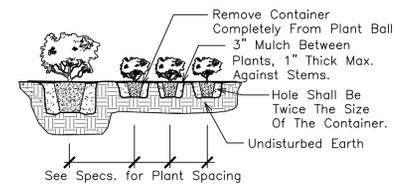


ROOFTOP POOL AREA



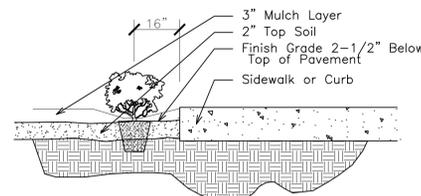
TYPICAL SHRUB SPACING DETAIL

NTS



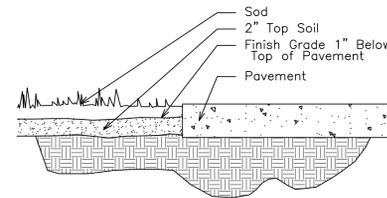
SHRUB PLANTING DETAIL

NTS



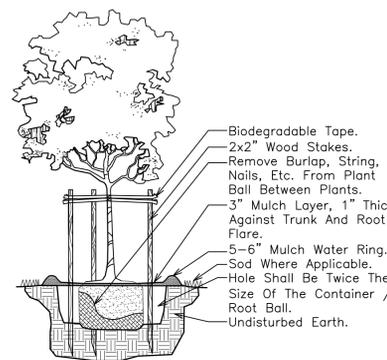
SHRUB INSTALLATION DETAIL

NTS



SOD INSTALLATION DETAIL

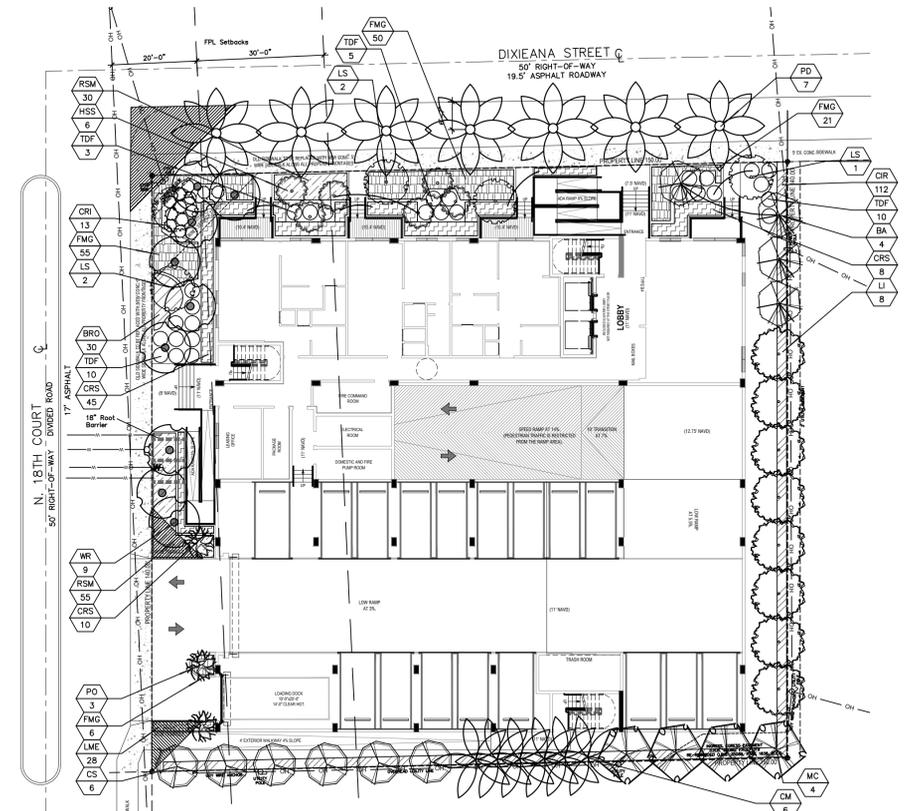
NTS



SMALL TREE PLANTING DETAIL

NTS

CITY OF HOLLYWOOD PLANTING CALCULATIONS				
4.6 RAC	Street Trees: One Per 30 LF of Street Frontage	Required	Provided	
4.d.(3)1	150 LF Feet of Dixieanna Street	5	5	
	140 LF Feet of North 18th Court	5	5	
	290 Total	10	10	
4.d.(3)2	5' Landscape Buffer Required and Provided. One Tree per 20 LF Perimeter of South and East Boundaries	15	15	
4.d.(3)5	5' Landscape Buffer Required and Provided. 42" Landscape Element Perimeter of South and East Boundaries	42 Hedge	42 Hedge	
4.d.(3)9	One Tree per every 1,000 square feet of Pervious Area of Ground Floor Pervious Area	5	5	
	Total Trees	30	30	



GROUND FLOOR AREA

1833 Dixieanna Street Plant List

Code	Drought QTY.	Botanical Name / Common Name	Specifications	
PROPOSED TREES / PALMS				
BA	V	4	Bulnesia arborea / Verawood 12x5-6', 2" DBH, Sing. Trunk	
CM	V	3	Caryota mitis / Fishtail Palm 14' OAH, Multi	
CS (N)	V	6	Cordia sebestena / Orange Geiger 12x5-6', 2" DBH, Sing. Trunk	
LI	V	1	Lagerstroemia indica / Orange Myrtle 12x5-6', 2" DBH, Sing. Trunk	
LS	V	5	Lagerstroemia speciosa / Queens Grape Myrtle 12x5-6', 2" DBH, Sing. Trunk	
MC (N)	V	4	Myrica cerifera / Wax Myrtle 12x5-6', 2" DBH, Sing. Trunk	
PO	V	7	Phoenix dactylifera / Medjool Date Palm 12' CT	
TR (N)	V	29	Thrinax radiata / Florida Thatch Palm 8' CT, Sing. Trunks	
		59	Total Site Trees	
		30	Native Trees	
		65%	Native Trees	
MITIGATION TREE LIST				
Code	Drought QTY.	Botanical Name / Common Name	Specifications	Total
LI	V	7	Lagerstroemia indica / Orange Myrtle 12x5-6', 2" DBH, Sing. Trunk	14
PO	V	3	Polyalthia longifolia Pencil / Mast Tree 12x5-6', 2" DBH, Sing. Trunk	6
			Total DBH Added	20
			Total DBH Removed	63
			DBH Deficiency	43
			Payment into the Tree Trust Fund @ \$350 per every 2" = \$7,525	
MITIGATION PALM LIST				
Code	Drought QTY.	Botanical Name / Common Name	Specifications	Total
CM	V	3	Caryota mitis / Fishtail Palm 14' OAH, Multi	12
WR	V	9	Washingtonia robusta / Washington Palm 16-22' CT	12
			Total Palms Added	12
			Total Palms Removed	12
			Palms Deficiency	0
HEDGES / SHRUBS				
CR (N)	V	112	Chrysobalanus icaco Red Tip / Cocoplum 42-48x 24-30', 30' OC	
CRI (N)	V	13	Cinnum augustum / Queen Emma's Cinnum 3x3	
CRS (N)	V	63	Clusia rosea / Small Leaf Clusia 48x 24', 36' OC	
HSS	V	6	Hibiscus sp. / Hibiscus Std., Pink & Red 5'6" OAH, 2' CT, Sing. Trunk	
TDF (N)	V	93	Tripsacum dactyloides / Fakahatchee Grass 24-30x 24-30', 42-48' OC	
		287	Total Shrubs	
		287	Native Shrubs	
		100%	Native Shrubs	
GROUND COVERS / SOD				
BFO	V	30	Jasminum volatile / Wax Jasmine 18' Spt., 24' OC	
FMG	V	132	Ficus microcarpa / Green Island Ficus 18' Spt., 24' OC	
LME	V	28	Liriope muscari / Evergreen Giant Liriope 12' OAH, 10-12' OC	
RSN	V	85	Ruellia simplex, Mexican petunia 15' OAH, 18' OC	
SOD	M	By GC: S.F. Stenotaphrum secundatum / St. Augustine Palmetto	Solid application - no gaps between seams	

Sunshine811
 Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
 Check positive response codes before you dig!

GUARDIAN PROPERTIES

NEAL DEVELOPMENT

THOMAS WHITE, ASLA-ISA
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REVISIONS

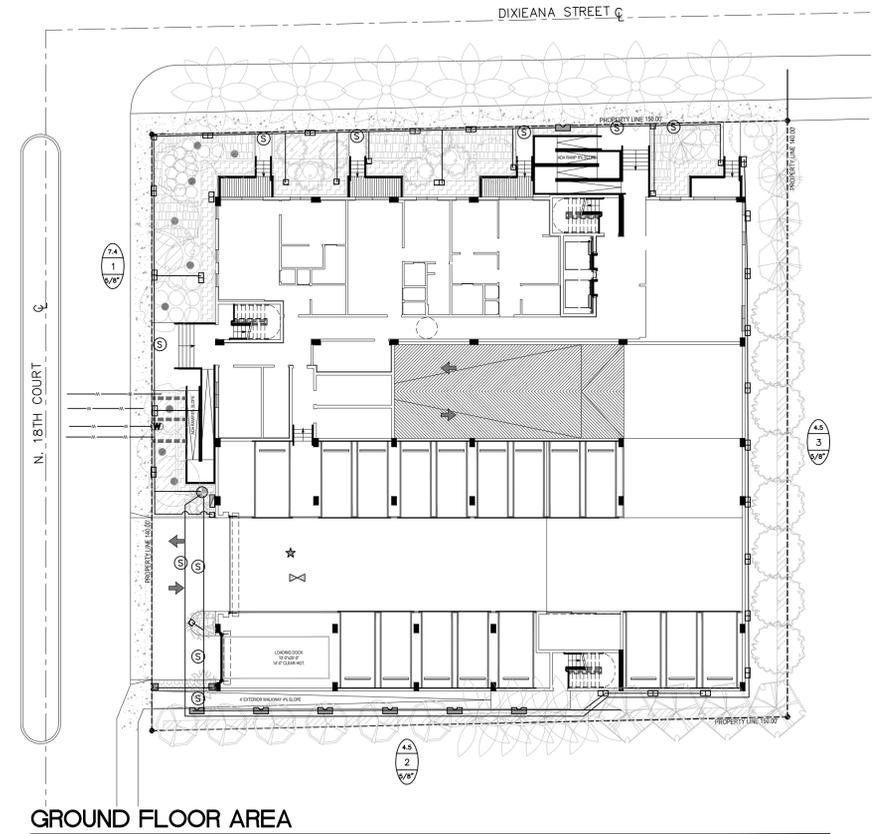
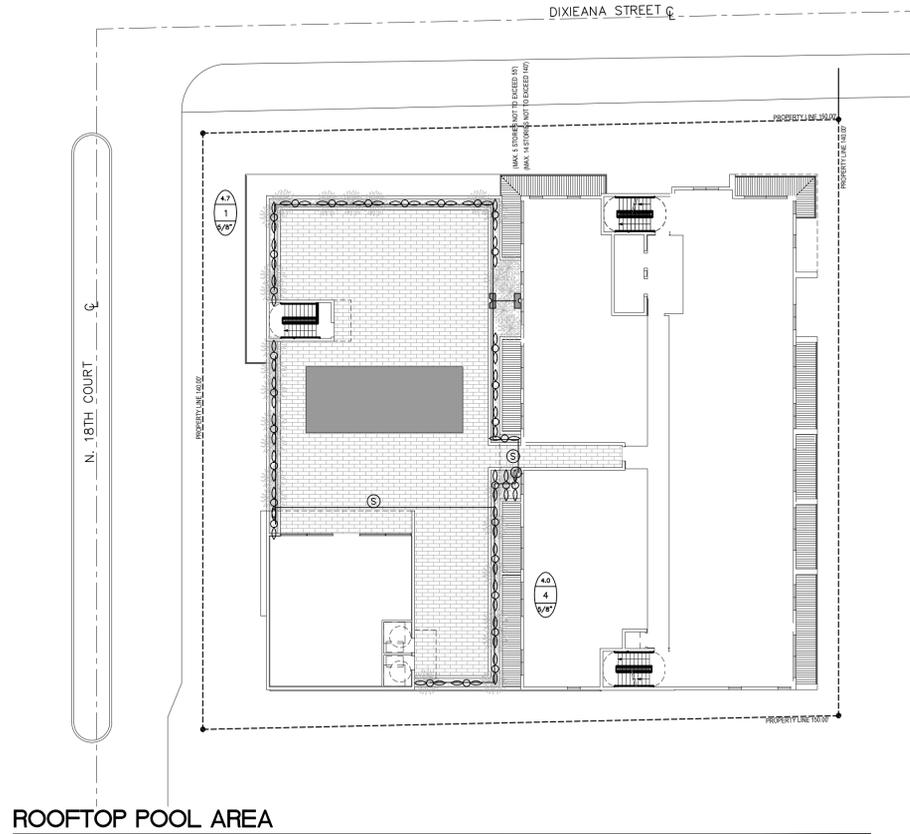
Landscape Permit Plan
Dixieanna Apartments
 1822 Dixieanna Street
 Hollywood, Florida 33020



DRAWN: TW
 CHECKED: TW
 DATE: 10-12-2023
 SCALE: 1"=20'
 Sheet No. **L-2**
 Sheet 2 Of 2

IRRIGATION LEGEND:

- LATERAL ZONE LINES.
- ☒ GROUND FLOOR CONTROLLER – Intermatic 4 station controller.
- ★ Mini Klik automatic rain sensor shutoff switch mounted outside on eave of structure.
- ⊕ GROUND FLOOR ZONE VALVE – Fimco 4 Station Indexing.
- ⊕ ROOFTOP ZONE VALVE – Hunter 2 Station PGV Series Smart Valve Battery Controller.
- Ⓜ PROPOSED 3/4" CITY WATER METER.
- Ⓢ SLEEVES – Sch. 40, 2 Sizes Larger. NOTE – Pipe Size Shown is the Lateral Size, NOT the Sleeve Size
- 6" POP-UP SPRAY – Hunter MP Rotator Series: Nozzles as Shown.
 - MP800
 - 6-12' Radius
 - 90 Q □
 - 180 H ▢
- ▬ SS-530 5 x 30'
- ▬ ES-515 5 x 15'
- ⊕ 6" POP-UP STREAM BUBBLER – Hunter 5-CST-B 5'R.
- Ⓢ GPM
- 1 ZONE #
- 1" VALVE SIZE



IRRIGATION NOTES:

Piping:
 Main Lines: PVC SCH 40 Solvent Weld.
 Zone Lines: PVC SCH 40 Solvent Weld. 1/2 in. is not used.
 All pipe is 3/4 in. unless noted.
 Sleeves and suction Line: PVC SCH 40.

Fittings: SCH 40 PVC. 1-1/4".

Fabrication: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.

Allow all main lines to cure for 24 hours before pressuring.

All pipe, fittings, and solvents to conform to latest ASTM specs.

Depth of Lines: Main Line and wiring = 18 in. depth, min.
 Sleeving under pavement = 24 in. depth, min.
 Suction Line = 24 in. depth, nominal.
 Zone Lines 1-1/2 in. and smaller = 10 in. depth, min.

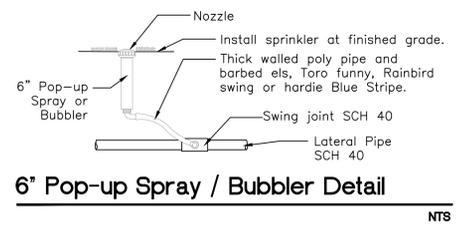
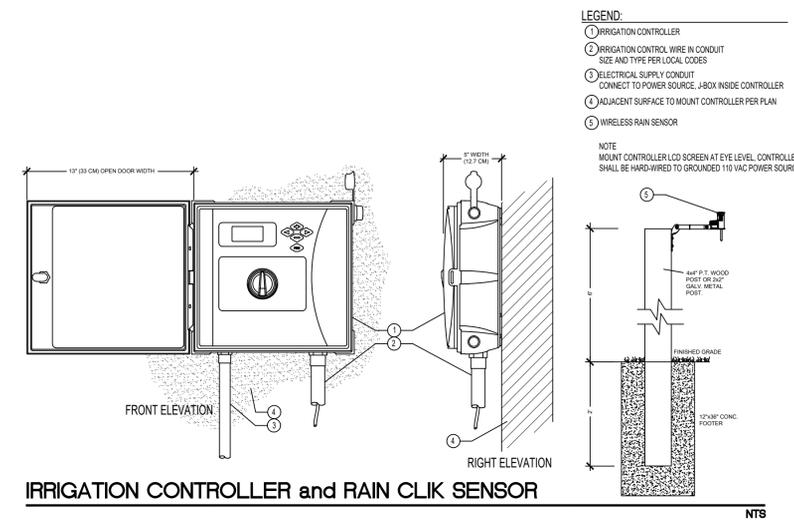
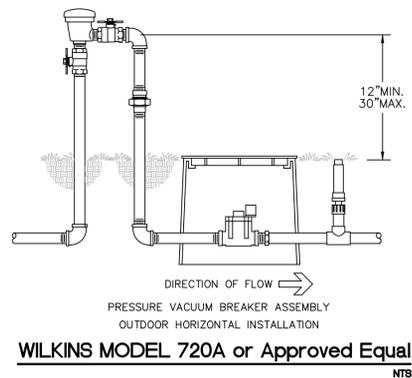
Control Wires: AWG 14 for all hot wires and AWG 12 for common.
 Solid copper type UF UL listed for direct burial.
 Run wires under main.
 Run spares, two min.
 Splice wires only in a valve box. All splices shall be moisture proof using Snap tie or DBY UL connectors.
 Common shall be white, hot shall be red or color coded
 Spare shall be black. Run all wires in Grey Electrical SCH 40 conduit..

Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.

All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractors responsibility to assure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans, it is the contractors responsibility to comply. The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.

Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.

Contractor shall verify all underground utilities prior to commencement of work.



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REVISIONS

Irrigation Permit Plan
Dixieanna Apartments
 1822 Dixieanna Street
 Hollywood, Florida 33020



DRAWN: TW
 CHECKED: TW
 DATE: 10-12-2023
 SCALE: 1"=20'
 Sheet No. **L-3**
 Sheet 3 Of 3