

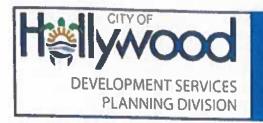


GENERAL APPLICATION

APPLICATION DATE: APPLICATION TYPE (CHECK ALL THAT APPLIES): 2600 Hollywood Blvd Technical Advisory Committee Art in Public Places Committee Variance Planning and Development Board Historic Preservation Board Special Exception Room 315 ☐ City Commission Administrative Approval Hollywood, FL 33022 Tel: (954) 921-3471 PROPERTY INFORMATION Email: Development@ Location Address: 2700 Stirling Road Hollywoodfl.org Block(s): Subdivision: Lot(s): Folio Number(s): 5142-04-11-0020 SUBMISSION REQUIREMENTS: One set of signed & Zoning Classification: PD (Oakwood Plaza) Land Use Classification: Commercial sealed plans (i.e. Architect or Engineer) Existing Property Use: Taco Bell w/Drive-Thru Sq Ft/Number of Units: 2,834 One electronic Is the request the result of a violation notice? \(\simeg\) Yes \(\vec{\pi}\) No If yes, attach a copy of violation. combined PDF Has this property been presented to the City before? If yes, check all that apply and provide File submission (max. 25mb) Number(s) and Resolution(s): Completed Application Checklist **DEVELOPMENT PROPOSAL** Application fee Explanation of Request: Site Plan approval to demolish the existing 2,834 sq. ft. Taco Bell restaurant and construct a new 2,187 sq. ft. Taco Bell restaurant. Phased Project: Yes 🔲 No 🗹 Number of Phases: **Proposal Project** Units/rooms (# of units) # UNITS: 0 #Rooms 0 NOTE: Proposed Non-Residential Uses 2,187 S.F.) This application must Open Space (% and SQ.FT.) Required %: 10 S.F.) (Area: 7,661 (26.2%) be completed in full and submitted with all Parking (# of spaces) 15 PARK. SPACES: (# documents to be placed on a Board or Height (# of stories) (# STORIES) 1 (25 FT.) Committee's agenda. Gross Floor Area (SQ. FT) Lot(s) Gross Area (29,224 FT.) The applicant is responsible for obtain-Name of Current Property Owner: Oakwood Plaza LP ing the appropriate Address of Property Owner: 500 im Broadway #201 Jericho, NY 11753 checklist for each type of application. Email Address: Contact Applicant Telephone: Contact Applicant Applicant(s) or their authorized legal agent Applicant Dwayne Dickerson/Miskel ■ Backman, I Consultant ☐ Representative ☑ Tenant ☐ must be present at all Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432 Telephone: 561-405-3336 **Board or Committee** meetings. Email Address: ddickerson@miskelbackman.com Email Address #2: Is there an option to purchase the Property? Yes ☐ No ☑ Date of Purchase: If Yes, Attach Copy of the Contract. Noticing Agent (FTAC & Board submissions only):

CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES

E-mail Address:



GENERAL APPLICATION

EH CODDA

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(1)(We) certify that (1) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations. Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (1)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (1)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

R/D 11-

Signature of Current Owner:	Date:
PRINT NAME: Brandon Reynolds	Date:
Signature of Consultant/Representative:	Date: 5/20/24
PRINT NAME: Dwayne L Dickerson	Date:
Signature of Tenant: Aller Cenalist	Date. 5-15-24
PRINT NAME: KERRY ENDERT ASSISTANT SCERETING, TACOBOLI OF AMERICA, LCC	Date
Current Owner Power of Attorney	
I am the current owner of the described real property and that I am aware of the nature site Plan Approval To my property, which is hereby made by me Dwayne Dickerson/Miskel Backman, LLP to be my legal representative before the TAC, P&D & Cit Committee) relative to all matters concerning this another TAC, P&D & Cit Committee) relative to all matters concerning this another TAC, P&D & Cit Committee) and subscribed before me this // day of May 1, 2024 MY COMMISSION EXPIRES 10-4-2027 Brandon Rev	and any hand of the
this 16 day of May, 2024 My COMMISSION Signature of	Current Owner
EXPIRES 10-4-2027 Brandon Rey	rnolds, Authorized Agent
Print Name	· · · · · · · · · · · · · · · · · · ·
State of Florida My Commission Expires: 10 4 21 (Check One) Personally known to me, OR Produced Idea	
my Commission Expires: 1014121 (Check One) Personally known to me, OR 1 Produced Idea	urcason





Taco Bell of America, LLC 2700 Stirling Rd. Site Plan Narrative

Taco Bell of America, LLC ("Applicant") is the developer of a +/- 0.67-acre parcel of land located at 2700 Stirling Road in the City of Hollywood ("Property"). The Property is identified as folio number 5142-04-11-0020 on the Broward County Property Appraiser's website and is an outparcel located in the Oakwood Plaza Shopping Center ("Shopping Center"). The Property contains a future land use designation of Commercial on the City's Future Land Use Map and a zoning designation of Planned District (PD). The Shopping Center is governed by the Oakwood Plaza PD Design Guidelines ("PD Guidelines").

Currently, the Property contains a +/- 2,834 square foot Taco Bell restaurant with a single lane drive-thru facility. The Applicant is proposing to demolish the existing Taco Bell restaurant and construct a new 2,187 square foot Taco Bell restaurant with a double lane drive-thru facility ("Project"). The additional drive-thru lane will not change the site vehicular circulation as the two lanes will merge into one single lane at the same location of the existing drive-thru facility, with the same entry and exit points. Additionally, the Project does not require any amendments to the PD Guidelines as the design meets all the requirements in the approved PD Guidelines.

SITE DEVELOPMENT DRAWINGS FOR: TACO BELL REDEVELOPMENT

PRELIMINARY TAC MEETING DATE: 6/3/2024 FINAL TAC MEETING DATE: 8/19/2024 2700 STIRLING ROAD, HOLLYWOOD, FL

SECTION 04, TOWNSHIP 51S, RANGE 42E

FOR

GPD GROUP

LEGAL DESCRIPTION

LOT 1-B, HOLLYWOOD COMMERCIAL CENTER ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 117 AT PAGE 36 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



VICINITY \ AERIAL MAP



PROJECT TEAM

DEVELOPER: TACO BELL CORP. 1 GLEN BELL WAY IRVINE, CA 92618 CLINT LANGLEY (724) 263-7757

ARCHITELT:
GPD GROUP
1117 PERIMETER CENTER WEST, SUITE W306
ATLANTA, GA 30338
SARAH DOWLING
(678) 781-5074

LAND SURVEYOR: FORTIN, LEAVY, SKILES, INC. 180 NE 168TH ST. NORTH MIAMI BEACH, FL 33162 DANIEL C. FORTIN, JR. (305) 653-4493 CIVIL ENGINEER: THOMAS ENGINEERING GROUP 6300 NW 31 AVENUE FORT LAUDERDALE, FL 33309 KRISTIN DIPIERRO, P.E. (954) 202-7000

LANDSCAPE ARCHITECT: EVERGREEN DESIGN GROUP 2255 GLADES RD, SUITE 324A BOCA RATON, FL 33431 MARY N. BATES

PREPARED BY:



SHEET INDEX

			R	EVISIO	N
		×	1	2	3
SHEET NAME:	SHEET NUMBER:	5/20/2024	7/15/2024	10/28/2024	
PLANS BY THOMAS ENGINEERING GROUP:					
COVER SHEET	C-01	•			
GENERAL NOTES	C-02				
EROSION CONTROL PLAN	C-03			•	
DEMOLITION PLAN	C-04		•	•	
SITE PLAN	C-05				
SITE DETAILS	C-06				
CITY OF HOLLYWOOD DETAILS	C-07				
PAVEMENT MARKING & SIGNAGE PLAN	C-08				
PAVING, GRADING & DRAINAGE PLAN	C-09				
PAVING, GRADING & DRAINAGE DETAILS	C-10				
CROSS SECTIONS	C-11				
UTILITY PLAN	C-12				
UTILITY DETAILS	C-13				
CIRCULATION PLAN	C-14				
PLANS BY EVERGREEN DESIGN GROUP:					
TREE DISPOSITION PLAN	TD-1			•	
TREE DISPOSITION DETAILS & SPECS	TD-2				
LANDSCAPE PLANTING PLAN	LP-1				
LANDSCAPE DETAILS & SPECIFICATIONS	LP-2				
PLANS BY GPD GROUP:					
EQUIPMENT & SEATING PLAN	A2.0				
EXTERIOR ELEVATIONS	A4.0				
EXTERIOR ELEVATIONS	A4,1				
TRASH ENCLOSURE DETAILS	G2.0	•			
PLANS BY PULICE LAND SURVEYORS:					
ALTA/NSPS LAND TITLE SURVEY	1 OF 1	•			



MY.	DATE	COMMENT:	81:
1	7/12/2024	TAC COMMENTS	CJM
			Г
			Г
			Г
			L
_		622	_



TACO BELL
REDEVELOPMENT

GPD GROUP

700 STIRLING ROAD







COVER SHEET

- NOTES:

 1. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, 1978. ELEVATION: 11.286

 FIET & REDONABRY, ETTAL ELEVATION: 9.322 FEAL. DATIM OF 1986. REOWARD COUNTY BENCHMARK #17.98, ELEVATION: 11.286

 FIET & REDONABRY, ETTAL ELEVATION: 9.322 FEAL. DATIM OF 1986. REOWARD COUNTY FERNMARK #17.98, ELEVATION: 11.286

 FIET & REDONABRY, ETTAL ELEVATION: 9.322 FEAL. DATIM OF 1986. REOWARD COUNTY FERNMARK #17.98, ELEVATION: 11.286

 FIET & REDONABRY, ETTAL ELEVATION: 9.322 FEAL. DATIM OF 1985. REOWARD COUNTY FLORIDA.

 FIEL STATEMENT OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT FOR THE STATEMENT OF THE STATEME
- PAGE 302 DO NOT AFFLY TO THIS SITE.

 TIEM 21: TEMPS, CONDITIONS, RIGHTS, DUITS AND DBUGATIONS IN LEASE, AS DISCLOSED BY MEMORANDIM OF LEASE IN O.R.B., 2218, 100 DO NOT AFFLY TO THIS SITE.

 THE 22: TEMPS AND OS ROOFFECTERS AND PRECIDIBANCE & ACTION THE LEAR AND MEMORANDIM OF LEASE IN OR IN AFFLY TO THIS SITE.

 THE 23: TEMPS AND OS ROOFFECTERS AND PRECIDIBANCE & ACTION THE LEAR AND MEMORANDIM OF LEASE IN OR IN AFFLY TO THIS SITE.

 THE 25: MORTHAGE ASSOCIATION OF ACCREMENT TO GRAB, 2906, PAGE 238, AS AFFECTED BY SPREADER ACCREMENT IN O.R.B. 21908, PAGE 314, AS ASSIGNED IN O.R.B. 21908, PAGE 314, AS ASSIGNED IN O.R.B. 22144, PAGE 366, AS AFFECTED BY SPREADER ACCREMENT IN O.R.B. 22144, MORTHAGE, ASSIGNANT OF LEASES AND REITS, SCENIETY ACCREMENT AND REPORT OF LEASES AND REITS. SCENIETY ACCREMENT AND REPORT OF LEASES AND REITS. SCENIETY ACCREMENT AND REPORT OF LEASES AND REITS. SCENIETY ACCREMENT, IN ACCREMENT AND REPORT OF LEASES AND REITS. SCENIETY ACCREMENT, IN ACCREMENT AND REPORT OF LEASES AND REITS. SCENIETY ACCREMENT, IN ANIONAL STREAMS, INC. ACCREMENT AND ACCREMENT OF LEASES AND REITS IN INSTRUMENT ##13439893. THIRD ARCRADE AND RESTATED MORTHAGE, SCENIETY ACCREMENT, IN ANIONAL STREAMS, INC. ACCREMENT AND ACCREMENT OF LEASES AND REITS IN INSTRUMENT ##13439893. THIRD ARCRADE AND RESTATED MORTHAGE, SCENIETY ACCREMENT, INC. ACCREMENT ##13439893. THIRD ARCRADE AND RESTATED MORTHAGE, SCENIETY ACCREMENT, INC. ACCREMENT ##13439893. THIRD ARCRADE AND REITS AND ACCREMENT ACCREMENT. THE ACCREMENT ##13439893 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.

 THE 25: TEMPS, CONDITIONS, ROOTS, DUITS AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBGROBANION, NO-DISTURBANCE AND ACCREMENT IN CASE, 21900, PAGE 313 DO NOT APPLY TO THIS SITE.

 27: TEMPS, CONDITIONS, ROOTS, DUITS AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBGROBANION, ATTORNMENT AND NON-DISTURBANCE ACCREMENT IN O.R.B. 21900, PAGE 313 DO NOT APPLY TO THIS SITE.

 27: TEMPS, CONDITIONS, ROOTS, DUITS AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBGROBANION, ATTORNMENT AND NON-DI

- HEREON.
 ITEM 49: FLORIDA POWER & LIGHT COMPANY UTILITY EASEMENT IN O.R.B. 23657, PAGE 771 APPLIES TO THIS SITE AS DEPICTED
- HEREON.

 THE 50: LOCALIZATION OF EASEMENTS AND COVENANTS, CONDITIONS AND RESTRICTIONS AND NOTICE OF LIER RIGHTS AND DEPORTED TO REPURCHASE IN O.R.B. 32715, PAGE 599 APPLES TO THIS STIE BUT CANNOT BE PLOTTED.

 THE 51: TRANSPORTATION CONCURRENCY AGREEMENT RELATING TO PLATES AND UNF-LATTED LAND IN O.R.B. 49303, PAGE 1500 ITEM 52: NOT ADDRESSED. ITE 917 CANNOT BE PLOTTED.

 THE 52: NOTE ADDRESSED.

 THE 54: NOTE ADDRESSED.

 THE 54: NOTE ADDRESSED.

 THE 54: NOTE ADDRESSED.

 TO ADDRESSED.

 TO ADDRESSED.

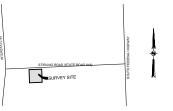
 TO ADDRESSED.

 TO ADDRESSED.

 TO ADDRESSED.

 TO ADDRESSED.

 THE 54: NOTE ADDRESSED.



VICINITY MAP NOT TO SCALE

LEGAL DESCRIPTION:

PARCEL I: LOT1-B, "HOLLYWOOD COMMERCIAL CENTER", ACCORDING TO THE PLAT THEREOF, RECORDED PLAT BOOK 117, PAGE 36, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 29,223 SQUARE FEET (0.671 ACRES), MORE OR LESS.

PARCEL II: A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR VEHICULAR AND PEDESTRIAN PURPOSES AS DISCUSSED IN GRANT OF EASEMENT DATED OCTOBER 26, 1978, RECORDED IN OFFICIAL RECORDS BOOK 7840, PAGE 382, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFICATION:

TO TACO BELL OF AMERICA, INC., A DELAWARE CORPORATION; GPD GROUP; CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSP LAND TITLE SURVEYS, SOURTLY STRAILSHED AND ADOPTED BY ALTA MON PSPS, AND NOUCES ITAMS 1, 2, 3, 4, 5, 6, (6), (6), 7(a), 7(b), (7), (7), 8, 9, 10, 13, 18, 19 & 20 OF TABLE A THEREOF, THE FIELDHONE WAS COMPLETED ON <math>00/06/24.

DATE OF PLAT OR MAP: 07/12/24

□ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691 □ WCTOR R, GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274

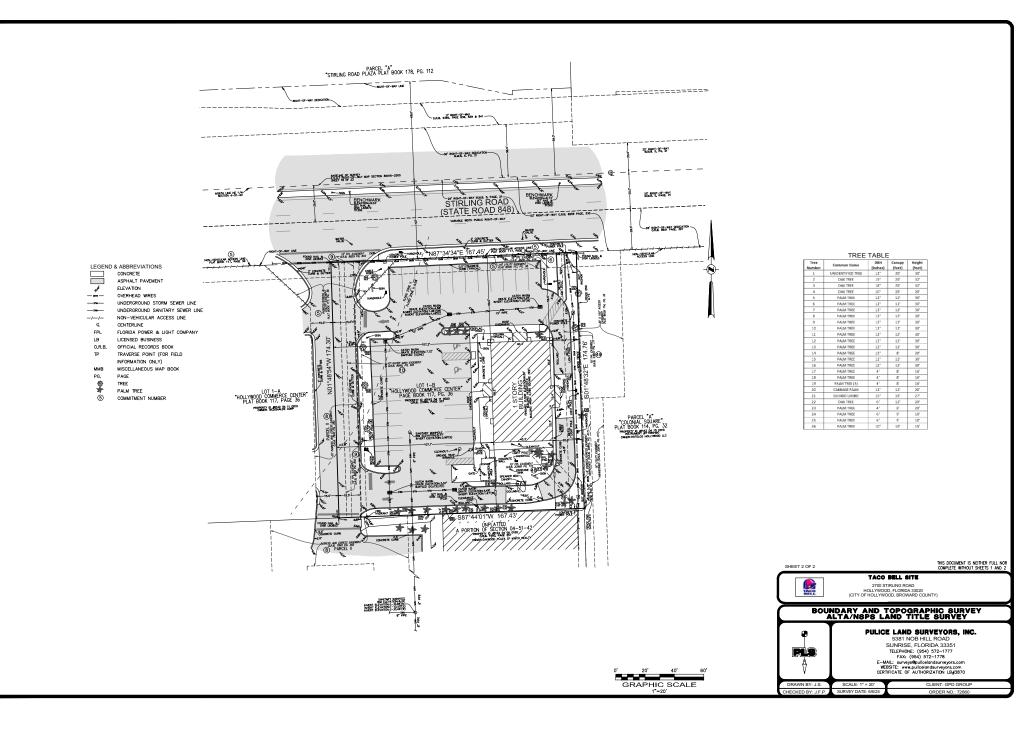
□ MCTOR R, GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274

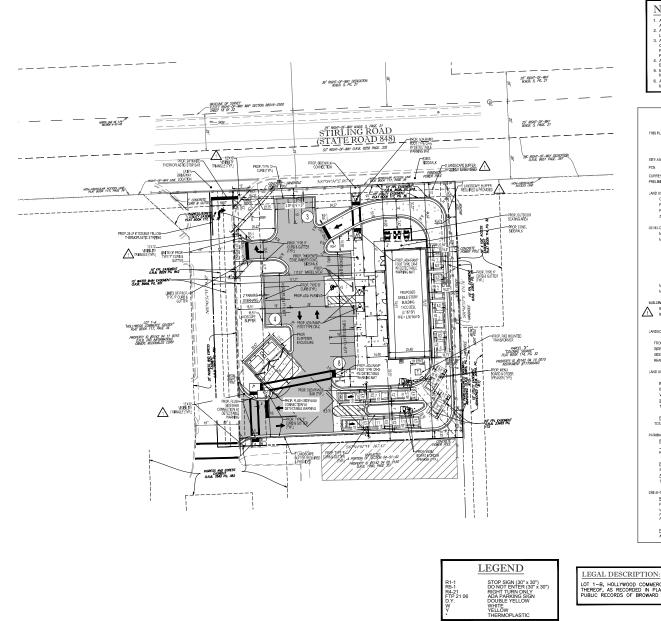
□ MCHAEL M, MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660

STATE OF FLORIDA

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2









- FOR EACH SIGN.
 4. ACCORDING TO 8.3 d SIGNS SHALL NOT EXTEND ABOVE OR BEYOND THE ROOF LINE OR PARAPET WALL
 5. MAXMIM FOOT CANDLE LEVEL AT ALL PROPERTY LINES MAXMIM 0.5 IF ADJACENT TO RESIDENTIAL.
 6. ANY LIP FROM \$\frac{1}{2}\$ bUT NOT GREATER THAN \$\frac{1}{2}\$ WILL BE BEVELED T MEET AD A REQUIREMENTS.





DISTRICT REQUIREMENTS

THIS PLAN REFERENCES AN ALTA SURVEY BY:

PULICE LAND SURVEYORS, INC. 5381 NOB HILL ROAD SUNRISE, FL 33361

2700 STIRLING RD, HOLLYWOOD, FL 5142-04-11-0020

ZONE X ZONE AE (BASE 6' NAVD) CURRENT FEMA FLOOD ZONE

LAND USE INFORMATION:

SITE ADDRESS:

PCN:

RESTAURANT W/ DRIVE-THRU CURRENT USE PROPOSED USE: RESTAURANT W/ DRIVE THRU FUTURE LAND USE DESIGNATION COMMERCIAL ZONING DESIGNATION:

DEVELOPMENT STANDARDS MIN. LOT AREA (S.F.)
MIN. SET BACKS:
FRONT - NORTH (FEET): 44,44" (BUILDING) 30.76' (CANOPY) 19.73' (BUILDING) SIDE - EAST (FEET): SIDE - WEST (FEET):

18.73 (BUILDING) 18.21* (CANOPY) 117.61* (BUILDING) 111.11* (CANOPY) 55.05* 25.6* REAR - SOUTH (FEET): MAX, HEIGHT (FEET): MAX, IMPERVIOUS COVERAGE (%): 73.8%

BUILDING HEIGHT PROPOSED BUILDING (TO ARCH):

BUILDING (TO PARAPET): 28.5° 22.0°

PROVIDED VARIES 5'-10' VARIES 5'-6.42' REQUIRED FRONT - NORTH: SIDE EAST: SIDE - WEST: VARIES 5' - 5 35'

REAR - SOUTH: LAND USE BREAKDOWN

S.F. ACRES % S.F. ACRES % BUILDING 2,834 0.06 9.7% 18,264 0.42 62.5% 2,187 0.05 7.5% 16,192 0.37 55,4% SIDEWALK/CURB 2.240 0.05 7.7% 3,184 0.07 10.9%

REQUIRED: RATIO RESTAURANT - DRIVE THRU 3.5 SPACES/1.000 SF 8 SPACES

PROVIDED: STANDARD SPACES (9' X 19') SPACES ACCESSIBLE SPACES (12' X 19' TOTAL SPACES PROVIDED

DRIVE-THRU STACKING:

REQUIRED: PER OAKWOOD PD DESIGN GUIDELINES (SEC 7 PARKING):

PEN ONWYOOD IT DESIGNS GUIDENES (SEC) FARMAN).

VEHICLE STACKING SPACES SHALL MEASURE & FEET MOE BY 18 FEET LONG AND SHALL BE PROVIDED IN A NUMBER SUFFICIENT FOR THE USE OF THE TEMANT. A BYPASS LANE IS NOT RECUIRED.

PROVIDED: AFTER THE MENU BOARDS

HATCH LEGEND

LOT 1-B, HOLLYWOOD COMMERCIAL CENTER ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 117 AT PAGE 36 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



SITE PLAN

C-05

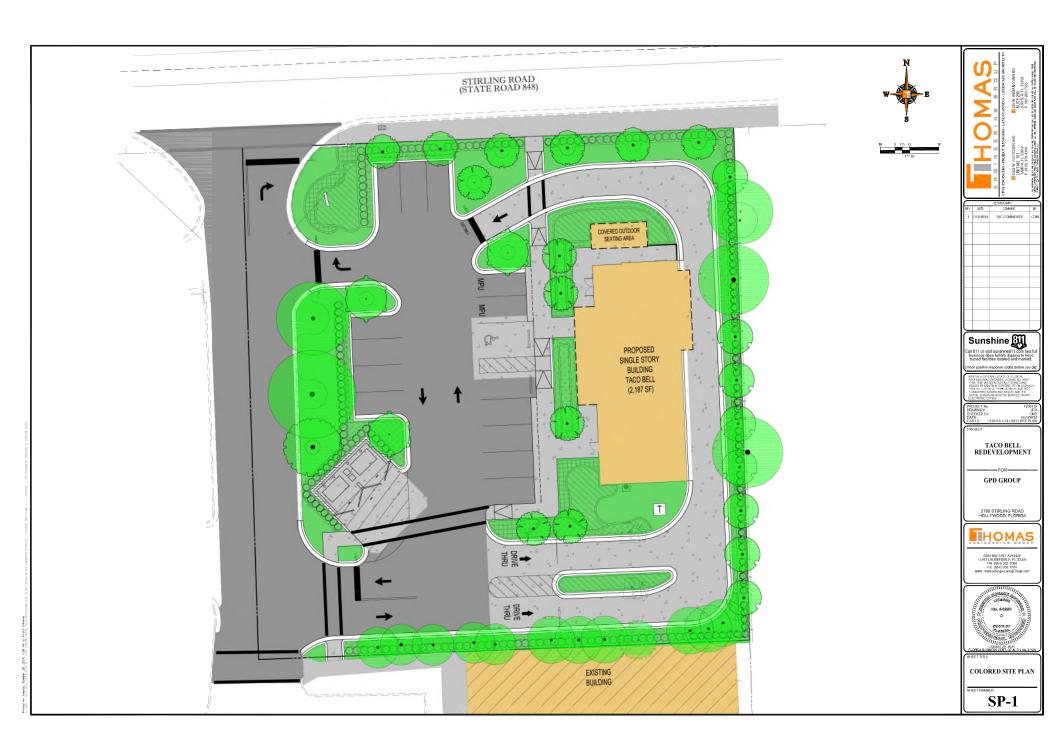
Sunshine 811

TACO BELL

REDEVELOPMENT

GPD GROUP

6300 NW 31ST AVENUE FORT LAUDERDALE, FL 33301 PH: (954) 202-7000 FX: (954) 202-7070



CATEGORY I & II PLANT MATERIAL CONTAINED ON THE EXOTIC PEST PLANT COUNCIL'S LIST OF INVASIVE EXOTIC PEST PLANTS, AS PROVIDED IN THE LANDSCAPE SPECIFICATIONS MANUAL, ARE PROHIBITED FOR USE IN LANDSCAPING, PRIOR TO FINAL INSPECTION APPROVAL, PLANT MATERIAL CONTAINED ON THIS LIST SHALL BE REMOVED FROM THE SUBJECT PROPERTY.

3. NO CYPRESS MULICH IS TO BE USED ON SITE PROVIDE FUCAL YPTUS OR MELALFLICA MULICH IN A 3" CONSISTENT LAYER IN ALL PLANTING BEDS

4. NO LANDSCAPE SUBSTITUTIONS SHALL BE MADE WITHOUT THE CITY OF HOLLYWOOD APPROVAL.

5. ALL LANDSCAPING SHALL BE WARRANTED FOR 1 YEAR AFTER FINAL INSPECTION.

6. REPLACE AND FILL GAPS FOR ANY EXISTING SHRUBS AND GROUNDCOVER TO REMAIN. ALL SOD AREAS TO BE REPLACED AS NEEDED. PLANTING SOIL TO BE RAISED IN PLANTING AREAS TO REMAIN AS NEEDED.

ROOT BARRIERS

Scale 1" = 20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL VERIFYSCALE USING BAR SCALE ABOVE

THE CONTRACTOR SHALL NOT BARRIES SHEAR ALL, BOIL YARANTED PRESS THAT JOEL COATED MITHIN FAIR OF PETET OF ANNIX OR CHIEF, BOY BARRIES SHALL SET EVERTIEVE OF CREEN AROUT AN YESTE ON MISSELS OF SCHOOL. AS ARRIES SHALL COATED MINERALY XARACHIST OF HEAD PARTIES FROM MINERAL SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY EXHIGIS. THE ROOTSELL.

TETRILL RIGHTING SCODE-TIE. CONTRACTO SHALL INSTALL ST HICK LAYER OF 1-175 SHEEDED WOOD NICH, INJURIAL INJURIAL INJURIAL ST HICK SHEEDED WOOD NICH, INJURIAL INJURIAL

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR. THE IRRIGATION SYSTEM WILL OPERATE ON THE LOWEST QUALITY WATER SOURCE AVAILABLE (RECLAIMED OR SMALLOW WELL), AND THE SYSTEM WILL HAVE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAININATION OF THE WATER SOURCE WHERE REQUIRED BY THE JURISDICTIONAL AUTHORITY, POTABLE WATER SHALL NOT BE USED FOR LANDSCAPE RIRGATION (IVE) WITLITY STANDAGO MANULA 1.3.
- 3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE BRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS. MATCHED PRECIPITATION RATE TECHNOLOGY ON NOTOS AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERZED INSIGNATION CONTINUES PERSTAINED SENSORY IN INTUITABLE APPLICATION.

PLANT SCHEDULE

	SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC
	TREES	cs	6	CONOCARPUS ERECTUS F. SERICEUS STD., FOR USE UNDER OVERHEAD POWER LINES	SILVER BUTTONWOOD	CONT.	2* DBH MIN.	12° MIN.	FULL	YES	HIGH
	\odot	OG	6	CORDIA SEBESTENA STD., FOR USE UNDER OVERHEAD POWER LINES	ORANGE GEIGER TREE	CONT.	2* DBH MIN.	12' MIN.	FULL	YES	MEDIUM
-	\odot	IC	8	ILEX CASSINE FOR USE UNDER OVERHEAD POWER LINES	DAHOON HOLLY	CONT.	2* DBH MIN.	12' MIN.	FULL	YES	MEDIUM
	\bigcirc	MF	3	MYRCIANTHES FRAGRANS STD.	SIMPSON'S STOPPER	CONT.	2* DBH MIN.	12' MIN.	FULL	YES	HIGH
	\odot	αv	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	CONT.	2° DBH MIN.	12' MIN.	FULL	YES	HIGH
	RELOCATED	TREES									
	0	SP-R	1	SABAL PALMETTO	CABBAGE PALM	_				YES	HIGH
	SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SPACING	HEIGHT	SPREAD	NATIVE	XERIC
	SHRUBS	OR	60	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCO PLUM	CONT	30° OC	24" MIN.	FULL	YES	HIGH
	$\tilde{\odot}$	FS	94	FORESTIERA SEGREGATA	FLORIDA PRIVET	CONT	30° OC	24" MIN.	FULL	YES	HIGH
	Ŏ	IG	62	ILEX GLABRA	INKBERRY HOLLY	CONT	30° OC	24" MIN.	FULL	YES	MODERATE
	SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	HEIGHT	SPREAD	NATIVE	XERIC
	GROUND CO										
	222222	Œ	148	CARISSA MACROCARPA 'EMERALD BLANKET'	EMERALD BLANKET NATAL PLUM	CONT.	24" OC	12" MIN	FULL	NO	HIGH
		GP	77	GAILLARDIA PULCHELLA	YELLOWTOP	CONT.	24" OC	FULL	FULL	YES	MODERATE
		MC	138	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	CONT.	30° OC	FULL	FULL	YES	HIGH
	00000000	SB	27	SPARTINA BAKERI	SAND CORDGRASS	CONT.	30° OC	12" MIN	FULL	YES	HIGH
		ZP	14	ZAMIA PUMILA	COONTIE CYCAD	CONT.	30° OC	12" MIN	FULL	YES	HIGH
	MULCH	MUL	732 SF	SHREDDED MELALEUCCA OR EUCALYPTUS MULCH	(CYPRESS MULCH IS PROHIBITED)	3* DEPTH					
	SOD/SEED										

ARGENTINE BAHIAGRASS

LANDSCAPE CALCULATIONS

JURISDICTION; ZONING: CITY OF HOLLYWOOD, FLORIDA PD (OAKWOOD PLAZA) COMMERCIAL RESTAURANT WITH DRIVE THRU CURRENT AND PROPOSED USE:

SOD 2,463 SF PASPALUM NOTATUM 'ARGENTINE'

INTERIOR LANDSCAPE FOR VEHICLE USE AREA PLANTING AREA REQUIRED

PLANTING AREA PROVIDED: TREES REQUIRED: TREES PROVIDED:

PERIMETER LANDSCAPE NORTH LENGTH (STIRLING ROAD):

TREES REQUIRED: TREES PROVIDED: HEDGE REQUIRED AND PROVIDED

EAST LENGTH (ADJ. COMMERCIAL): TREES REQUIRED: TREES PROVIDED:

HEDGE REQUIRED AND PROVIDED:

SOUTH LENGTH (ADJ. COMMERCIAL): TREES REQUIRED: TREES PROVIDED: HEDGE REQUIRED AND PROVIDED

WEST LENGTH (ACCESS DRIVEWAY): TREES REQUIRED: TREES PROVIDED: HEDGE REQUIRED AND PROVIDED

175 LF, 5' WIDE MIN. 9 TREES (1 TREE PER 20 LF) 1 EMISTING GUMBO LIMBO TREE & 8 PROPOSED TREES (OVERHEAD POWER LINES) 2LANTEO AT 24' HT MINIMUM AND 30' OC MINIMUM 152 LF, 5' WIDE MIN.
7 TREES (1 TREE PER 20 LF)
12 EXISTING CABBAGE PALMS
PLANTED AT 24' HT MINIMUM AND 30' OC MINIMUM

16,192 SF
4046 SF (20% OF YUA, % CALCULATION EXCLUDES REQ.
PERIMETER LANDSCAPED SETBACK AREA)
4,166 SF
5 TREES (1 TREE PER ISLAND)
5 TREES

152 LF, 5' WIDE MIN. 3 STREET TREES (1 STREET TREE PER 50 LF) 3 STREET TREES (OVERHEAD POWER LINES) PLANTED AT 24" HT MINIMUM AND 30" OC MINIMUM

132 LF, 5' WIDE MIN.
7 TREES (1 TREE PER 20 LF)
2 EXISTING OAK TREES (SIGN, DUMPSTER ENCLOSURE)
PLANTED AT 24' HT MINIMUM AND 30' OC MINIMUM

GENERAL TREE REQUIREMENT TOTAL PERVIOUS SITE AREA: TREES REQUIRED: TREES PROVIDED

SOLID SOD

NATIVE PLANT REQUIREMENT TOTAL TREES REQUIRED:
NATIVE TREES REQUIRED:
NATIVE TREES PROVIDED:
TOTAL SHRUBS REQUIRED:
NATIVE SHRUBS REQUIRED
NATIVE SHRUBS PROVIDED:

TREE SPECIES REQUIREMENT TOTAL TREES REQUIRED:

MAXIMUM ALLOWED PALM TREES TOTAL TREES REQUIRED:

8 TREES (1 TREE PER 1,000 SF OF PERVIOUS AREA) 8 TREES

39 TREES 24 TREES (60%) 39 TREES (100%) 541 SHRUBS 271 SHRUBS (50%) 541 SHRUBS (100%)

39 TREES 4 SPECIES (4 MINIMUM SPECIES FOR 21-40 REQUIRED TREE 6 SPECIES

TOTAL TREES REQUIRED:

39 TREES

PAIN TREES PROPRIED

19 PALM TREES PROPROSED

12 EXISTING CABBAGE PAINS TO REMAIN

18 TREES PROPRIED

12 EXISTING CABBAGE PAINS TO REMAIN

18 TREES PROPRIED

18 TREES PROPRIED

18 TREES PROPRIED

19 TREES PROPRIED

19 TREES PROPRIED

10 TREES PROPRIED

10 TREES PROPRIED

10 TREES PROPRIED

11 TREES PROPRIED

12 TREES PROPRIED

13 TREES PROPRIED

14 TREES PROPRIED

15 TREES PROPRIED

16 TREES PROPRIED

17 TREES PROPRIED

18 TREES PRO



Sunshine 🟭

2700 STIRLING ROAD

TACO BELL

REDEVELOPMENT

JNM JNM MND 6/2024



6300 NW 318T AVENUE OUT LAUDTROALE FL 2330 PH (964) 202 7000 FX (964) 202 7070





LANDSCAPE PLANTING PLAN

00

VERGREEN DESIGN G

LP-1

GENERAL GRADING AND PLANTING NOTES

- 1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.

CAMEDIATION OF LARRICORE CONTRACTOR

ALL LARRICORD MODE SHOWN THAS SHAUL BE PERFORMED BY A SHIKE E PEN

SECOLUTION OF LARRICORE FLATING.

ALIST OS SHEECKSTELLY COMMETED PROJECTS OF THIS TYPE, SUE AND NATURE MAY BE

LIFE LARRICORE CONTRACTOR SHAUL FLED A VILLE CONTRACTOR'S LICENSE. SISLED BY THE

APPROPRIENT LOCAL ASSISTED.

OPLOT WINSE.

WINDS CROSSING THE RESET FOR SECURES, THE FERNINGER ON OWNERS OF ALL RESIDENCE WINDS CROSSING THE RESET OF T

THE LANDSCAPE CONTRACTOR SHALL VERREY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, CAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF

A. ALL MANUFACTURED PRODUCTS STALL BE NEW.
B. CONTAINER AND BALL DO BUB BURDOFD FAIN'S.
1. EURISH HURSERY CROWN PLAYS CORD FAIN'S WITH ANSIZED J 2014. PROVIDE WELLSHAPED, FALLY BRANCHED, HELL BY, UDCORDUS STOCK FREE OF DISEASE, INSECTS, ECCS, LARVAE, AND DETECTS. SUCH AS KNOTE, SUN SCALD, NUMBES, ARRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SECCES SHALL HAVE SIMILAR SUE, AND SHALL BE OF A FORM TYPICAL FOR THE SECCES. ALL TIMES SHALL BE GRANNED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SHE. AND WITH SIMILAR.

ZIMACTO CONDITIONS.

ZIMACTO STORMAN SHALL RE-MALTHY, DENSELY BRANCHED ROOT STS TEMS, NON-POT-BOUND, THEE EROW PRICE IN MAY OTHER ROOT DEFECTS (SUCH AS EXEMPTED IN TAMBOUR GRIDLING ROOTS, AND THEE FROM MAY OTHER ROOT DEFECTS (SUCH AS

COCT STEEMS SHILD BE INCLUDED, CHRISTIC SHOWNESS FROM STREEMS, THE WAY THE ANDREY THE PROPERTY FROM TH

LOUGH WILL NOT BE CENTED IN LEGIC SO GAMES OR DESIGNED. FOUR ALL DAMAGES THAN OR CALL DAMAGES AND OR C

HACK THE MATTER, DIES WITHOUT HER MATTER TO SET OF THE TOTAL PROPERTY OF THE MATTER THE

USED. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOUL REPORT FROM A

DIMETER: ** THE ** THE

SETTINGS

SOFT THE WASTER AND THE LARGE CAPT LIABINGS, LIAN DONE, THEN Y THAN THE LARGE, IF ALL LAMBOUGH, MEAN AND WITHOUT OF CHEMBER CAPIBLE, THE CONTINUES SHALL BOTH THE LARGE CAPT LAMBOUGH, MEAN AND WITHOUT OF CHEMBER CAPT LAMBOUGH, AND THE CAPT LAM

RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURE, AND NATIV SEED, AS WELL AS PRE PLANT FERRILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOLI BELATED ISSUES. THE DEPORT SHALL ALSO PROVIDE A FERTILIZED PROJECTARY

THE STATE OF THE S

DEEL MAT THE CERTILIZED (IN 20 HO CHEMA S, COM BLACK, CODANG). THE HE LIST
ALL WISHEST OF CHEMA IN MARKED ATTEMPTS INCOMENDED THE HE LIST
ALL WISHEST OF CHEMA IN MARKED ATTEMPTS INCOMENDED THE HE LIST
ALL WISHEST OF CHEMA IN MARKED ATTEMPTS INCOMENDED THE HE LIST
ALL WISHEST OF THE LIST ATTEMPTS IN MARKED ATTEMPTS I SPECIFIED IN THE REPORT AND ON THE CRADING PLANS, AND AREAS OF DISTRIBUTION FORDING SHALL BE RECRADED TO BLEND IN WITH THE SURROUNDING CRADES AND ELIMINATE PONDING.

SHALL BE RECORDED TO BEAD BY WITH THE SUBBROUNDING CRACKES AND CLAMMATE POHENDAY.

PORT THE CONTROLLED AND THE PERSON WERE THE ROBBOT THE PERSON OF ANY TOOL

WILL BE RECEND, TANNAD BY TO ACCOUNT THE ROBBOT HES PERSON. THE AMOUNT OF SHOT

AREA MARINES TO BE AND CLAMMATE ON A SON, TEST DESTORATIONS, AND THE FAIRST

CHARMATER THAT THE SHIRLED CAME IN SHERIUM BRASE IMMEDIATELY ADJUSTED THE ADJUSTED OF ADJUSTED AND THE ADJUSTED AND

FRISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY

TOMACT TRANSCOMER, AS SECURITOR ON THE CROWNER DAY, AT OPPOCROMATICLY IF MANY DESIGNATION TO THE MANY DAY OF T

B. SOLDBETTLE,
1. THE CHRISTICLES VILL PREVIOUS SUBMITIANS AND SMOTILS. IT REQUIRED, ID THE LANGUAGE
ADDITION, AND EXCEPT ADDITIONAL INSCRIPTION OF SEPTIMENT IN SECRET WAY COMMISSES.
2. SIGNITURE AND REAL COLD FOR THE COMMISSES.
2. SIGNITURE AND REAL COLD FOR THE COMMISSES OF THE COMMISSES OF THE COMMISSES OF THE COMMISSES.
2. SIGNITURE AND REAL COLD FOR THE COMMISSES OF THE CO

PROPERTY OF A STATE OF THE STATE OF T

THE MALES OF THE WATER WITH COMMANDAY CLASSES, MAY THE GREEKEN HERITORS AND THE COMMANDAY CLASSES AND THE COMMANDAY CLASSES. THE COMMANDAY CLASSES AND THE COMMANDAY CLASSES AND THE COMMANDAY CLASSES AND THE COMMANDAY CLASSES. CLASSES AND THE COMMANDAY CLASSES AND THE COMMANDAY CLASSES AND THE COMMANDAY CLASSES AND THE COMMANDAY CLASSES. CLASSES AND THE COMMANDAY CLASSES AND THE COMMANDAY CLASSES AND THE COMMANDAY CLASSES AND THE COMMANDAY CLASSES. CLASSES AND THE COMMANDAY CLASSES

4 ALL SECRED DOORS (MULT, EL WARD DRIBLED WITH SUMP TOOLS AN MALL LOWN) TO ARREST AND THE SECRET SERVICE AND THE SECRET SERVICE SERVIC

ADDRESS TO THE FOLLOWING CLIEBLESS.

2. P 7 TIESE
2. P 7 TIESE SEED SPILLS SPILLS FIRST THE
CLIEBLE SEED SPILLS SP

COMER THE MITCHOOL OF THE TIEST DRIVEWITH MULCH (THE WAY THE PLANE).

SHERBE, PRINNING AND GROUNDCOME PLANTING.

1. DIG THE RAINTEN CREEKS THOSE AS WISE AND FLESS DEEP THAN EACH PLANT STOOD BALL INSTALL SECONDARY THESE.

BOOK THE PLANTING SECONDARY THE PLANTING AND ADDRESS OF THE SECONDARY OF T

AND CONTROL THE VIOLENCE OF TH

NATURY
DURNOLLANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS
IN A MEAT, ORDERLY CONDITION,
UNDOSED LECALLY OF ALL SYCAVATED MATERIALS OFF THE PROJECT SITE
SECTION AND ACCOUNTAGE.

DEPOCRACE DELAY TO ALL TOCKNISH MUST BE SOFT THE PROJECT SHE

"DEPOCRACE PLAY OF THE PROSE. THE LABORACY COMPACION SHE MAY PROVIDE THE SHE CLEAR

"DEPOCRACE PLAY OF THE PROSE. THE LABORACY COMPACION SHE PROVIDED THE SHE CLEAR

THE HIS DEPOCRACE AND REPOCRACING THE COMES TO DESTRUME THAN ACCUPATION."

WHEN THE HIS DEPOCRACE AND ARTHOUGH WHEN THE COMPACT TO DELAYER AND ACCUPATION. THE MAY PROVIDED THE COMES TO THE COMPACT TO DELAYER AND ACCUPATION. THE COMPACT TO DELAYER AND ACCUPATION. THE PROPERTY OF THE COMPACT TO THE PROPERTY OF THE COMPACT TO THE PROPERTY OF THE PR

CAUGAINE CEREORS WELL COMMENDA.

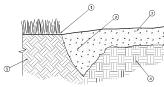
IN EL MADEGACE COMMENDATE HE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN
ON THESE FLANS FOR RED DAYS RECYCLE FROM A COLET FRANCE OF ALL LANGESCHE WORKEY THE
OWNER. LANGESCHE MAINTENANCE SHOW NELLEGE KERZEY WENTS FOR THE CELLIFORM THAT
HAVE SETTED AND A COLET FRANCE OF A COLET FRANCE OF A LICENSECRET AND
HAVE SETTED AND AND A COLETAN OF A COL

ACTION AND WINDOWS THE MODEST PROMOTE DESIGNATION OF THE RESETTION OF A MONTH HAS DECREASED.

DOCATED THE CONTROLLED THE MODEST PROMOTE DESIGNATION OF THE RESETTION SHE HAS DECREASED.

THE LARGE CONTROLLED THE MODEST PROMOTE DESIGNATION OF THE RESETTION SHE HAS DECREASED.

THE LARGE CONTROLLED SHELL MARKING THE RESETTION SHATTAIN IN CONTROLLED THE MODEST PROMOTE DESIGNATION OF THE MODEST PROMOTE DESIGNATION OF THE MODEST PROMOTE DESIGNATION OF THE MODEST PROMOTE SHEET THE MODEST PROMOTE DESIGNATION OF THE MODEST PROMOTE SHEET THE MODEST PROMOTE DESIGNATION OF THE MODEST PROMOTE SHEET THE MODEST PROMOTE DESIGNATION OF THE MODEST PROMOTE SHEET THE MODEST PROMOTE DESIGNATION OF THE MODEST PROMOTE SHEET THE MODEST P



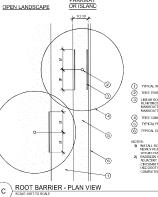
② EARTHSPACE EDGE WITH 5"-6" OF MULCH AT EDGE (PLUSH WITH TOP OF LAWN).

(3) MULCH PER SPECIFICATIONS

(4) SOIL MIX PER SPECIFICATIONS

NOTES: USE WEEREVER MULCHED TRANSITION TO TURF AREA, INCLUDING ALL TREE MULCH RINGS, SHRUBS, BEDS, MASS PLANTING, ETC., EXCEPT WHERE NOTED OR STEEL EDGING HAS BEEN CALLED OUT.



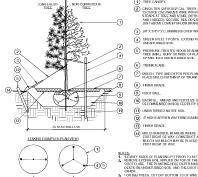


TREE TRUNK TREE CANOPY TYPICAL PLANTING AREA TYPICAL CURB AND GUTTER

OTES:

1) 98/STALL ROOT BARRIERS NEAR ALL
MEMLY PLANTED TREES THAT JOE LOCATED
WITHIN FIRE (5) FEET OF PAVIMO OR CUESIS.

2) BARRIERS SHALL BE LOCATED IMMEDIATELY
ADJACCIANT TO HARDSCADE, UNDER NO
CIRCUMSTANCES SHALL THE CONTRACTOR
USE DOOT BARRIERS OF A TYPE THAT



TREE PLANTING B TREE

O CINCH-TIES (24" BOX/2" CAL TREES AND SMALLER) OR 12 CAUCE CALVANIZED WIRE WITH HYLLON TREE STRIPS AT TREE MISS TAVE (35" BOX/25" O'CA. HELES AND LARCER), SECURE TES OR STRAPS TO TRUMK JUST A BOYCE LOWEST MAJOR BRANCHES. (3) 24" X 34" P.V.C. MARKERS OVER WIRES. (4) GREEN STEEL T-POSTS, EXTEND POSTS 12" MIN, INTO UND ISTURBED SOIL. (5) PRESSURE-TREATED WOOD DEADMAN, TWO PER TIGGE (MIN.), BURY OUTSIDE OF PLANTING PIT AND 19°MIN. INTO UNDISTURBED SOIL. (6) TRUNK FLARE. MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK. (B) FINISH GRADE. (9) ROOT BALL. (D) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY AMALYSIS

TREE CANOPY.

(13) FINISH GRADE.

(N) MULCH BARRIER. IN AREAS WHERE THE GRADE SLOPES TOWARD THE FOOT RIGHT OF WAY, CONSTRUCT A JP HICH BERM TO CONTAIN MULCH MO MULCH MAY BE PLACED WHERE IT COULD WASHINTO THE FOOT RIGHT OF WAY. RUHES

1 SCHOOL SEED OF FAMILIES PETFORE TO SETTING THEE

1 SCHOOL SEED OF FAMILIES PETFORE TO SETTING THEE

1 SCHOOL SEED OF FAMILIES PETFORE TO SET THE SOCIAL HAS COMARS THE

PROFIT FACE THE ANATHOLOGIC SEPTIMENT DESCRIPTION THE FOODBAL

RESTS ON HOME THERE OS CALL AND THE PROFIT FAMILE IS 7 F ABOVE FAMILIE

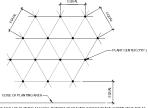
CHANCE.

1 FOR BABE THEES, OUT OF BOTTOM 10 OF WINE BASKET THE FORE PLACED THEE THE

LUCL. COTTOM TO BEINDE SERMANCE OF OMERCET THE THE REST SET THE COTTOM

10 OF THE PROFIT OF THE THE SET OF TH

HULE, CUT OF AND BEMOVE REMANDER OF DEASET AFTER THE IS SET IN HULE
SEMINUE ALL PHYLON THES THINE, FORE, AND OTHER PRACTICAL MATERIAL, REMOV
AS MICH BURLAR FROM ARQUIND INCOTRALL AS IS FRACTICAL.
CEMINUT, ALL RIDISELRY SYSTEMS AFTER PLANTAGE.
CORTRELS SOF BOXIZE CAL. AND LANGUER, USE THREE STAKES OR DEADMEN, AS
PORDORINEL, SPACED DEASH A FACING THE APPLIES.



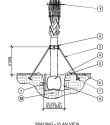
NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

 STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA: TOTAL AREA J AREA DIMIDER = TOTAL PLANTS PLANT SPACING AREA DIVIDED
6 0.22
8 0.39
10 0.60
12 0.87
15 1.35 PLANT SPACING AREA DIVIDER

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
STEP 1: 300 SF/195 = 51 PLANTS
STEP 2: 51 PLANTS (40 LF / 1.66 = 21 PLANTS) = 30 PLANTS TOTAL

PLANT SPACING



BRACING - PLAN VIEW .d PALM PLANTING (1) BIODEGRADEABLE TWINE. (2) PALM BRACE SYSTEM.

(3) 2' X 4' SUPPORT, TOENALED TO BRACE SYSTEM (3) DO NOT NAIL TO PALM. 4" HIGH TEMPORARY WATERING BASIN

(6) MULCHPER PLANS. DO NOT ALLOW MORE THAN 1° OF MULCH WITHIN 12° OF TRUNK. (7) Z'X 4"X 1Z DEADMAN, BURIED 1Z'MIN, BELOW GRADE.

 BACKFILL MIX PER SPECIFICATIONS AND SOIL TEST PECCHMICADIONS. 4" PERFORATED PVC WATER MONITORING TUBE WRADPED IN FILTER FABRIC (ANY APPROVED) TWO PLACES AROUND PALM.

(10) UNDISTURBED SUBGRADE.

HOTES:

1. STWOY SIZES OF PLANTING PIT PRODUCTO.

1. STWOY PLANT.

1. STWO

6 VERGREEN DESIGN GRO.

NDIA 286 F. F.

SUITE JUPITE P. 561-

LETCHE... 101 FL 33612 v79-4100

SOZ W. F JNIT NO JAMPA, F (813) 3

The same

Sunshine 🔠

TACO BELL

REDEVELOPMENT

GPD GROUP

2700 STIRLING ROAD

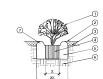
HOMAS

6300 NW 318T AVENUE FORT LAUDERDALE, FL 23305 PH (964) 202 7000 FX (964) 202 7070 ww.ThumacEngineeringGroup.co

ZAWN BY: TECKED BY:

230118) JNM JNND J7/05/202 YNOOD F

ANDSCAPE DETAILS & SPECIFICATIONS LP-2



1 SHRUB, PERENNIAL, OR ORNAMENTAL GRASS MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 4" OF MULCH WITHIN 6" OF PLANT CENTER.

(3) FINISH GRADE. (4) ROOT BALL.

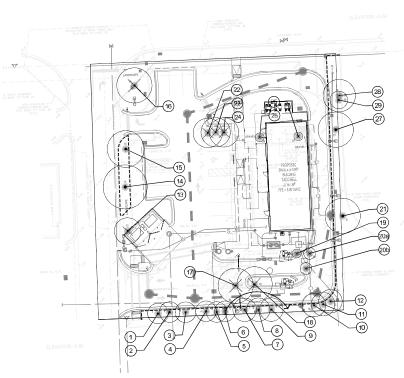
(5) BACKFILL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY AMALYSIS

(6) UNDISTURBED NATIVE SOIL. (7) 3" HIGH EARTHEN WATERING BASIN

PLANTING AT PARKING AREA

OF MATURE CANOPY ① CURB.
② MULCHLAYER.
③ PLANT. (4) TURF (WHERE SHOWN ON PLAY

E SHRUB AND PERENNIAL PLANTING





Scale 1" = 20' NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM

LEGEND





SEE SHEET LP-1 FOR

CITY OF HOLLYWOOD NOTES

- 1. ARBORIST TO PROVIDE ROOT PRUNING BY HAND AND MITIGATE IF FAILURE IS EXPECTED DUE TO CONSTRUCTION
- 2. NO TREE REMOVAL OR PLANTING ALLOWED UNTIL SUBPERMITS ARE FULLY APPROVED BY CITY.

TREE PROTECTION GENERAL NOTES

- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE

- TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL RECCT MARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING.

 OF COLLOWING.

 OF MARKET AT ORIGINATES THAN A SEP-COLD TRANSIS OF ALL PROTECTED HATTER PINES.

 OF COLD THE PROTECTED THE THAN THE FILL DRIVING FOR ALL PROTECTED HATTER PINES.

 A ROUND AN AREA AT ORIGINATES THAN THE FILL DRIVING FOR ALL PROTECTED THAT RETURNS.

 OF PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER POLICY TO ANY PROTECTED THEE OR FASTEN ANY WIRES, CABLES, NAILS OR SORRIST OLD THE PROTECTED THEE OR PROTECTED THE EXCHANGE THE PROTECTED THE COLD THAN TH
- MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MINITAR ON ANY OLD THE WAS ENHALD FROM THE WAS ENHALD FOR A PART OLD THE WAS ENHALD FOR THE WAS ENHALDED FOR THE WAS E

TREE RELOCATION GUIDELINES

- 1. TREES SHALL NOT BE LUNKED SEARLY DAMAGED DURING REMOVAL, TRANSPORT OR REPLANTING OF THE TREE.

 2. IF THE TREE HAS A DORMANT PERIOD, THEY SHOULD BE TRANSPLANTED DURING PRICED SHOULD NOT BE TRANSPLANTED DURING PRICED SEARCH SHOULD NOT BE TRANSPLANTED DURING PRICED SEARCH SHOULD NOT BE TRANSPLANTED DURING PRICED SEARCH SHOULD NOT BE TRANSPLANTED.

 3. ADDURING PRICED SEARCH SHOULD NOT BE TRANSPLANTING SHOULD SHOU
- REESTAGLISHED.
 ALL COOMP PRIVATE PROJECT AND A SCADOLINES WITH-THE MARKENAMINITION, STANDARDS INSTITUTE CASE, THE SHIPLE AND ALL COOMP PRIVATE AND A STANDARD INSTITUTE CASE, THE SHIPLE AND ALL COOMP PRIVATE AND ALL COMPANIES AND A STANDARD AND ALL COMPANIES AND AL

TREE INVENTORY

TREE NO.	COMMON NAME	D.B.H. (INCHES)	(FEET)	SPREAD (FEET)	COMMENTS	DISPOSITION	REPLACEMENT REQUIRED
- 1	CABBAGERALM	12	24	14		REMAIN	
2	CABBAGEFALM	12	24	14		REMAIN	
3	CABBAGEFALM	10	20	14		REMAIN	
4	CABBAGEPALM	10	25	14		REMAIN	
5	CABBAGEPALM	10	20	14		REMAIN	
6	CABBAGEFALM	10	18	14		RELOCATE	
7	CABBAGE PALM	10	24	16		REMAIN	
8	CABBAGERALM	10	24	16		REMAIN	
9	CABBAGEFALM	10	24	16		REMAIN	
10	CABBAGERALM	9	24	16		REMAIN	
11	CABBAGERALM	10	27	16		REMAIN	
12	CABBAGEPALM	9	24	16		REMAIN	
13	OAK	9	20	24		REMOVE	9" (INCH PERINCH)
14	OAK	20	26	30		REMAIN	
15	OAK	16	25	25		REMAIN	
16	OAK	12	24	24		REMOVE	12" (INCH PERINCH)
17	PALM	12	16	12		REMOVE	1:1
18	PALM	12	16	12		REMOVE	1:1
19	ROBELLINI PALM	3	16	10	TRIPLE	REMOVE	1:1
20a	ROBELLINI PALM	4	16	10		REMOVE	1:1
20b	ROBELLINI PALM	4	16	10		REMOVE	1:1
21	CABBAGEPALM	20	24	24	OFF-SITE	OFF-SITE	
22	PALM	10	20	14		REMOVE	1:1
23	PALM	10	10	10		REMOVE	1:1
24	PALM	10	10	8		REMOVE	1:1
25	PALM	3	24	16		REMOVE	1:1
26	PALM	3	24	16		REMOVE	1:1
27	GUMBOLIMBO	18	24	24		REMAIN	
28	OAK	5	22	22	OFF-SITE	OFF-SITE	
29	PALM	9	12	12	OFF-SITE	OFF-SITE	
				REC	JUIRED REPLA	CEMENT FOR OAK TREES REMOVED	21"WITH 12"HT & 2"DBH MIN TREES

REQUIRED REPLACEMENT FOR PALM TREES REMOVED

10 PALM TREES WITH 8 CT MIN (PALMS MAY BE REPLACED AT 3:1 WITH TREES)

MITIGATION FOR REMOVAL OF EXISTING TREES

MITIGATION FOR REMOVAL OF 21" OF PROTECTED OAK TREES SHALL BE ACHIEVED AS FOLLOWS:

(11) 2" D.B.H. PROPOSED TREES = 22"

MITIGATION FOR REMOVAL OF 10 PROTECTED PALM TREES SHALL BE ACHIEVED AS FOLLOWS:

(4) 2* D.B.H. PROPOSED TREES = 3:1 REPLACEMENT FOR 10 PALM TREES

PROPOSED LANDSCAPE PLAN MEETS REQUIREMENTS FOR LOT AND MITIGATION. SEE PLANTING PLANS FOR PROPOSED TREE LOCATIONS.

- § 9.9. EXISTING PLANT MATERIAL,

 A. IN INSTANCES WHERE FACLITY PLANT MATERIAL IS BEING PRESERVED ON A SITE, THE DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES
 ORECTOR NAY PAULST THE APPLICATION ON OF THESE REGULATIONS TO ALLOW CREDIT FOR SUCH PLANT MATERIAL IP SUCH ADJUSTMENT IS IN KEEPING
 WITH THE INTENT OF THIS ARTICLE.
- B. WHERE TRESS OF A 3 INCH CALIPER OR GREATER ARE REQUIRED TO BE REMOVED FROM A SITE, THE FOLLOWING SHALL APPLY FOR ALL PROPERTIES, =XCLUDING SINGLE FAMILY RESIDENCES:
- 1. THE EQUIVALENT CALIPER DIAMETER OF REPLACEMENT TREES SHALL BE PLANTED ON OR OFF SITE WITH LOCATIONS APPROVED BY THE DIRECTOR THE REPLACEMENT TREES ARE IN ADDITION TO THE NUMBER OF NEW TREES THAT ARE REQUIRED TO BE PLANTED. OR
- THE EQUIVALENT VALUE OF THE TREES BEING REMOVED SHALL BE PAID TO THE CITY OF HOLLYWOOD'S TREE TRUST FUND FOR PURCHASE OF REPLACEMENT TREES. FOR PURPOSES OF CALCULATING REPLACEMENT VALUE, THE CITY SHALL UTILIZE THE SAME STANDARDS AS BROWARD COUNTY, AS PROVIDED BY THE BROWARD COUNTY DEPARTMENT OF NATURAL RESOURCE PROTECTION.
- 3. THE FOLLOWING TREES ARE EXEMPT FROM THE ABOVE PROVISIONS OF THIS SUBSECTION:
- HE POLLOWING INEED AND EARTH TO THE LANDSCAPE SPECIFICATIONS MANUAL:
 OFTEN SPECIES:
 NIVASIVE EXOTIC PEST TREES, AS PROVIDED IN THE LANDSCAPE SPECIFICATIONS MANUAL:
 PALM SPECIES THAT ARE HIGHLY SUSCEPTIBLE TO LETHAL YELLOWING:
 TREES DETERMINED BY THE DIRECTOR TO BE IN SEVERE DECLINE AND/OR DISEASED.

CATEGORY I & II PLANT MATERIAL CONTAINED ON THE EXOTIC PEST PLANT COUNCIL'S LIST OF INVASIVE EXOTIC PEST PLANTS, AS PROVIDED IN THE LANDSCAPE SPECIFICATIONS MANUAL. ÁRE PROHIBITED FOR USE IN LANDSCAPING, PRIOR TO FINAL INSPECTION APPROVAL, PLANT MATERIAL CONTAINED ON THIS LIST SHALL BE REMOVED FROM THE SUBJECT PROPERTY.

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.



ш	Ч		10	_
П	~		REVISIONS:	_
ш	REV:	BATE:	COMMENT:	BY:
ı	1	7/12/2024	TAC COMMENTS	CJM
ı				
ı	L			
l	L			
ı	L			
l	L			
ı	L			
ı	L			
ı				
ı				
ı	C			L





TACO BELL REDEVELOPMENT

GPD GROUP



6300 NW 31ST AVENUE FORT UAUDETRIALE FL 2330 PH (964) 202 7000 FX (964) 202 7070



TREE DISPOSITION PI AN

0 ENGREEN DESIGN GRO

TD-1

TREE PROTECTION SPECIFICATIONS

MALHEMAN .

7-856C. 4 FOOT HIGH ORANGE PLASTIC FENDING AS SHOWN ON THE
4-MAR AND SHALL SE WOVEN WITH 3 NOW HESH OPENINGS SUCH THAI
N A VARTACL IMPRISANO OF 3 SOLNES ALONG THE CAROCIANAS OF THE
OPENINGS THERE SHALL SE AT LEAST 7 MESHES
OF THE SHALL SE AT MINIMAN OF 72 NICHES LONG AND STEEL T
OSTS. POSTS SHALL SE AT WINNING OF 72 NICHES LONG AND STEEL T
OSTS. POSTS SHALL SE AT WINNING OF 72 NICHES SHOWN AND
WINNING SHALL SE AT MINIMAN OF 72 NICHES AT SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE FROSTS SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE POSTS SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE OWN OF THE POSTS SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE OWN OF THE POSTS SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE OWNER OF THE POSTS SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE OWNER OF THE POSTS SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE OWNER OF THE POSTS SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE OWNER OF THE POSTS SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY OF THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY ON THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY ON THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY ON THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY ON THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY ON THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY ON THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY ON THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY ON THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY ON THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY ON THE POST SHALL SE
OVI LISS THAN O12 CAUGH COUNTRY ON THE POST SHALL SE
OVI LISS THAN O12

- CONSTRUCTION METHODS

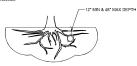
 1. ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING AMY DEVELOPMENT ACTIVITY. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- 3. PROTECTIVE FENDING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (ORZ. EQUAL TO FROM THE TRUNK FOR EMERY 1/C FORH) AT SOCIATION AND ADMINISTRATION OF THE WOODLING CONTROL OF THE WOODLING CONTRO
- 4. PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- 5. THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 16 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND URRIGHT POSITION.
- WITHIN THE CRZ:
 a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE
- DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE

- DO NOT PARK OR STORE ANY GOUPMENT OR SUPPLIES UNDER THE THEE CAMPEY MAY CONSTRUCTION OPERATIONS UNDER THE THEE CAMPEY (SUCH AS PIEC CLITTING AND THEADONS, MOR) AH MORIOS, PANTING OR LIMBER CLITTING. AND THEADONS, MOR) AH MORIOS, PANTING OR ANY OTHER THEO THE TREES WHES, BRACKOR OR ANY OTHER THEO THE TREES COUNTY, CONCEPTE WASHOUTS, ASPHALT THACK COATS MACON CLI, ETC. TO INTERT HE CAPE. BARRIES ARE TO BE PROVIDED TO PREVENT SUCH BUNGET SUBSTANCES FROM ENTERING THE CRE WHENEYER SOSSIBLE, INCLUDION IS AN A PAGE AWHERE ARE OR SURFACE WATER COOL DE ARMY SUCH MATERIALS TO THE ROOT SYSTEM OF THE AS AND ASSESSED.

- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF E UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- 10. THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEAN.Y. FOR OMS ONLY ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- 15. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DUING IN CHILDAL RUOT ZUNE AREAS I PART CANNOT DE PROTECTED DUMEN CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 16. WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS TROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DEGISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

BORING THROUGH ROOT PROTECTION ZONE

- TES
 RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND
 PRE-CONSTRUCTION MEETING.
 BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION
 MEETING AND FLAGGED PRIOR TO ROOT PRIVINING.

- INTERPRISED TO SELECT INTERPRISED TO SELECT A SELECT A LIFE PRESEDENT CONSTRUCTION EXACT LOCATION OF ROOT PRIMINED SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.

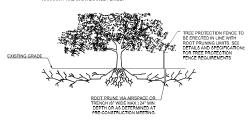
 FRENCH SHOULD BE MIMEDIATE Y BECKFLELD WITH EXCUAVIED SOIL OR OTHER ORGANIC SHALL BE CLEANLY DUT URBAN WIRE ATTEMPT SHOULD OR THE ROOTS SHALL BE CLEANLY DUT URBAN WIRE ATTEMPT OF A THE ROOTS SHALL BE CLEANLY DUT URBAN WIRE A THE FORESTRY INSPECTOR.

 AND STANDARD ASSO.

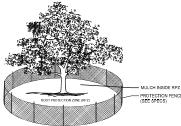
 ALE PRIMINED WIST BE EXECUTED A LOS SHOWN ON PAINS OR AS AUTHORIZED IN WIRTHOUS ATTEMPT INSPECTOR.

 BY WIFTON SHY THE FORESTRY INSPECTOR.

 THE FORESTRY INSPECTOR. 7.



ROOT PRUNING DETAIL

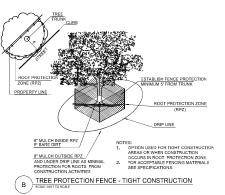


NOTES:

1. THE FENDING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIE LINE AND BE LIMITED TO PROJECT IT TREES WILL BE ENCLOSED BY FROMING. THE FENDING SHALL BE CONTINUOUS AROUND ALL TREES.

2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS

TREE PROTECTION FENCE



PROTECTION FENCE (SEE SPECS)

The same of

101 133612 79-4100

Sunshine 🔠

ZAWN BY: TECKED BY:

230118) JNM MND 07/05/2027 YNOOD F

TACO BELL REDEVELOPMENT

GPD GROUP

2700 STIRLING ROAD



6300 NW 318T AVENUE FORT LAUDERBALE, FL 28305 PH (964) 202 7000 FX (964) 202 7070



00

TREE DISPOSITION **DETAILS & SPECS**

TD-2





TACO BELL REDEVELOPMENT

GPD GROUP

2700 STIRLING ROAD HOLLYWOOD, FLORIDA





AREA PLAN

EX-2

B. WATER AND SEVER UTILITY PROVIDER FOR THIS PROJECT IS THE CITY OF HOLLYWOOD WATER &

GENERAL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION ALL DOOR SHALL BE IN ACCORDANCE WHILL HE LOBBAN BEPARTMENT OF HEAVEST-FROM, STANDARD SECTIONATIONS FOR ROMA AND BERGE CONSTRUCTION, LITEST EDITION UNLESS NOTED OTHERWISE IN THE PLANS. SHOULD A COMPLICE DIST BETWEEN THE PLANS. AND THE FOREIT STANDARD SPECHFOATIONS FOR ROMA AND BRIDGE CONSTRUCTION, THE MORE STRINGENT SHALL APPLY.
- 2 THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN: - ALTANSPS LAND TITLE SURVEY PREPARED BY FULICE LAND SURVEYORS, N.C., DATED 08/02/24
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT HEISHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE
- ALL HANDICAPPED PARRING SPACES SHALL BE CONSTRUCTED TO MEET. AT A HYNNUM, THE MORE STRINGERY OF THE REQUERNMENTS OF THE "MERCHANE WITH DESAR LITTLES ACT" (MAD, CODE (AV U.S.C. § 1214) ET SEC. AND (A U.S.C. § 1415 ET SEC.). FLOREDA ACCESSIBLITY CODE (LATEST EXPINIS). OF THE REQUERNMENTS OF THE AURICICITY WHERE THE PROJECT IS TO
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSU.
 THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION
 FASHICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGH REVIEWED THE COVINENTS TO ALL PLANS AND OTHER I THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND
- 5. THE DWINESMONTRACTOR SHALL BE FAMILIES WITH AND RESPONSE F FOR TH PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF COCUPANCY.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATION
 AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIE
 HAVING JURISDICTION OVER THIS PROJECT.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO THOMAS ENGINEERING GROUP BY THE OWNER AND DIFFERS. PRIOR TO COMMERCENETS OF ANY INCRESS, CONTRACTIONS SHALL RELD USER'S DISTRIBUTION CONTRICTION BOTH PHONES BETWEENERING GROUP, LED IN WINTING FACTULAL STIC CONCIDENTS WITH ANY OTHER STIC PLANSING GROUP AND PROPOSEDS WORK CONCILIEST WITH ANY OTHER STIC FEATURES, MAY ADDITIONAL COMPRISATION SHALL BE PROVIDED FOR REMOVER FOR PAULURE TO VERPY EXISTING CONDITIONS.
- 9 ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE ALL DIBERSIONS AND ELEVATIONS SHOWN OF THE PLANS SHALL BE TENTHED BY THE CONTRACTOR PRICE TO THE STATE OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY BIGHERT IN WRITING F ANY DESCRIPANCES DIST PRICE TO PROCEEDING WITH CONSTRUCTION. NO ETPER COMPARATION SHALL BE PUND TO THE CONTRACTOR FOR RE-MORK OUR TO DIMENSIONS OR GRADES SHOWN INCORPECTLY ON THESE PLANS.
- 10. CONTRACTOR SHALL UTILIZE THE ARCHITECTURALBUILDING PLANS FOR EXACT LOCATIONS AND DIVISION OF THE REAL PROPERTY OF THE PROPE
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOUD WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL COMERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND AIM ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ACLACENT AND CONTIGUOUS
- THE CONTRACTOR IS TO EXEMCISE EXTREME CASE WHEN PERFORMING ANY WORK ACTUITIES ADJACENT TO PANEMENT STRUCTURES, ETC. WHEN JUST DRAWN. CONTRACTOR SHALL BE REPONSIBLE. FOR TANKS IN THE APPROPRIATE MEASURES. REQUIRED TO ENSURE THE STRUCTURAL STRUCTURE STRUCTURAL STRUCTURA STRUCTURAL STRUCT PROVIDE A SAFE WORK AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW O EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDIN BUT NOT LIMITED TO DRAWAGE LITHINGS. PAYEMENT, STREMMS, CLIRB, ETC., TH. BUT NOT LIMITED TO DEVANGE LITLINES, PRIVENENT, STEPRING, CARE, ETC. THE CONTROLLORS HAVE BE RESPONSIBLE FOR AND SHALL REPLACE ALL STRAND CONDUITS, AND ANY LIDEOCRAPICAL DEVELOPMENT CARELY WITHOUT DIRECTOR LITTLE REPORT OF ANY LIDEOCRAPICAL CONSTRUCTION OF PROPERTY SHALL RESTORE DUCH CONSTRUCTION OF PROPERTY SHALL RESTORE DUCH CONSTRUCTION OF PROPERTY TO A CONDITION EDITIONAL TO OR BETTER THAN THE DESIGNS CONSTRUCTION OF PROPERTY TO A CONCENSIONACE WITH PAPELORS COSS. CONTROLLED RESPONSIBLE TO DOCUMENT LITTLE AND CONCENSIONACE WITH PAPELORS COSS. CONTROLLED RESPONSIBLE TO DOCUMENT LITTLE AND CONCENSIONACE WITH PAPELORS COSS. EXISTING DAVAGE AND NOTIFY THE OWNER AND ENGINEER PRIOR TO THE START OF
- ALL CONCRETE SHALL HAVE THE WINNUL OCMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- 16. THE EXIGNEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS I MEANS FOR COMPLETION
 OF THE WORK DEPICTED INSTITUTE ON THESE PLANS, NOR FOR ANY CONFLICTS/SCOPE
 REVISIONS WHICH RESULT FROM SAME, CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT (
- 18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION ALL COMMODOS DUST COMPT HE SPECIFICA STATUTORY WIGHTS OF COMMESCIA, ESCAPA-SERRIVACE, ENFOYCES SILLELLY RESPONSE AND LINES OF COMMESCIA, ESCAPA-LUBLITY SERRIVACE (COL.). ALL COMMODOS SILS HIME THERE COL POLICIES DECONSET TO MAKE THOMAS SIMPLEMENT GOLD, LIC AND IS SILVEDOSULTATAN SA MODITARIA MAKED INSUREDS AND TO PROVIDE COMMODOS LIBERTY COMPANIES SHIFTIGHT IN MAKED INSUREDS AND TO PROVIDE COMMODOS SILVED SILV ISSUER THE HIGH PHANESS AND INCENSITY COLLECTIONS ASSUMED BY "HE COMPACTIONS," ALL COMPACTIONS MUST FUNDED HANDES SECUREDING SIGNAL UP. WITH CORTIFICATIONS OF INSURANCE AS ENDICINES OF THE REQUIRED INSURANCE PRIOR TO COMMERCIAL WORK AND LIFON RESIDENT OF EACH PULLY UNDER THE BYTHE REPORT OF CONSTRUCTION, IN AGENTION, ALL CONTRICCTIONS MULT, TO THE FULLEST SCHAFF PROVIDED BY THAN INCOMPAT. AND HIGH PROVIDED THAN SIGNAL PROVIDED BY THE PROVIDED BY THE BYTHE BY THAN INCOMPAT. AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT

- AS ENGINEERING GROUP, LLC WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATI Those begans do not use the plan was present on the other processing to the other processing the plan of the processing to the use of the processing the plan of the processing to the users present of the plan of the pla NEIGHT WAS SELECTED BY SHALL NOT HEALTH THAT HOME PERMISS A COMPONENT. THOMAS ENGINEERING GROUP, LLC WILL. NOT BE RESPONSIBLE FOR ANY ENTITIES A COMPONENT. THOMAS ENGINEERING GROUP, LLC WILL. NOT BE RESPONSIBLE FOR ANY ENTITIES. WE THE CONTRACTION. THOMAS ENGINEERING GROUP, LLC WILL. NOT BE REQUIRED TO REASON APPENS, BURNISSORIES OR THOSE FOR WHICH SUBMISSIONS OF CORPERATOR TIES MARK NOT.
- NOTIFIED THE PROPERSION OF THOMAS ENGINEERING GROUP, LLC OR ITS EPICTYPES AND SUB-CONSULTANTS AT A CONSTRUCTION OF PROJECT STE, SHALL RELEVE THE GENERAL CONTRACTOR OF ITS GRUSTATIONS, DUTIES AND RESPONDENCES INCLUDINGS BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES. JUMIES DE COMPANIONI DE MENAS, BELEDIOS SEUDENCE, TECHNIQUES DE PROCESSARY FOR EFRORMING. SUPERVISIONING AU OCCORDINATION EN MESCAMINA CACCERDANCE WITH THE CONTRICT DOCUMENTS AND ANY PRACTIT OR SAFETY RECOUNTING TO COLLIENTS AND ANY PRACTIT OR SAFETY RECOUNTING AND THE THE CONTRICT OF CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OF SAFETY PROGRAMS OF NO CHECKED IN TO WHEN IN MY THE THE MOVE OF MY HEALTH ON SAFETY PROGRAMS OF PROCEDURES THE CONTRICTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THOUAS BUNKEBING GROUP, LC SHALL BE INDIMNIFED BY THE GENERAL CONTRACTOR AND SHALL BE INAVED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTORS POLICIES OF GENERAL LIBELITY MOVERNORS.
- 22. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST DISTAINING PRIDR WRITTEN AUTHORIZATION FOR ISLC-CENTATIONS FROM THE COMERS AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DOUG, ALL THES OR PENALTES SESSESSO WITH RESPECT THERETO AND ALL COMPENSATIONY OR PUNITIVE DAMAGES RESULTING THEREFROM HE CONTRACTOR SHALL INDEWN'FY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM LL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PRIMITES OWNERSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM
- 21 CONTRACTOR IS DESCRIBBLE FOR DESIGNING SERVENCING AND DOMNING DESIGNED INFORMATION OF MANAGEMENT OF MANY OF MANAGEMENT OF MANAGEM
- 24. CONTRACTOR SHALL CONFIRM THAT LAYOUT OF SIDEWALKS AND PARKING AREAS MEET THE APPLICABLE ADA ACCESSIBILITY REQUIREMENTS PRIOR TO COMMENCEMENT CONSTRUCTION, NO ADDITIONAL COMPENSATION FOR REWORK SHALL BE PROVIDED P FAILURE TO NOTIFY ENGINEER PRIOR TO COMMENCEMENT OF WORK OF ANY DISCREPANCIES
- 25. UPON THE RECEIPT OF THE "NOTICE TO PROCEED". THE CONTRACTOR SHALL CONTACT TH ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL WINCLUTE GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.
- 26. ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION OF REQUIRED) PRIOR TO CERTIFICATE OF OCCUPANCY, THESE EASIMENTS SHALL BE SYETCHED, DESCRIBED, AND RECORDED AT THE SOLE COST OF THE CONTRACTOR.
- 27. CONTRACTOR SHALL PROVIDE MINIMUM 48 HOUR NOTICE TO ENGINEER AND APPLICABLE
- 28. PRIOR TO THER CONSTRUCTION OR INSTALLATION, SHOP DRAININGS SHALL BE SUBJUTTED TO AND APPROVED BY THE BINDEER OR RECORD, AND APPLICABLE DOTFORNMENTAL AGRICULE HANDS, JURISOTTO YOR THE FOLDING COTCH BASINS, THE MYDRAWIS MAY NOW, AND ALL REQUIRED ACCESSORES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OSTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.
- ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICLIAR AND
- NO TRENCHES OR HOLES NEAR WALKWAYS. IN ROADWAYS OR THEIR SHOULDERS ARE THE THE BELLETT OF BUILDING MIGHTURE HOURS WITHOUT EXPRESS PERMISSION FROM THE GOVERNMENTAL AGENCY HAVING JURISDICTION.
- 32. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR JAVY MECESSARY CONSTRUCTION.
 PAVEMENT MARKING AND SIGNAGE OR JAVY PEDESTRIAN STANLIZATION AND/OR SIGNAL
 MODIFICATION TO ACCOMMICDATE AN ALTERNATE SAVE WALK ROUTE. ALL RESTORED TRAFFIC TROIL DEVICES SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCY'S TRAFFIC
- CONTRACTOR SHALL REMOVE ORGANICS AND/OR DELETERIOUS MATERIAL WHERE ENCOUNTERED AND REPLACE WITH SUITABLE FILL ORGANICS MAY BE REUSED TO GRADE LANDSCAPE AREAS

SANITARY SEWER NOTES:

- NERAL:
 COMPLY WITH THE STANDARDS, DETAILS AND SPECIFICATIONS OF THE UTILITY PROVIDER OR
 GOVERNMENTAL AGENCY HAVING JURISDICTION, SHOULD A COMPLET EXIST BETWEEN THOSE
 REQUIREMENTS AND THESE PLANS AND NOTES, THE MOST STRIVEENT REQUIREMENT SHALL
- 2. DISTANCE AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES.
- ALL PUC SEMER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINY. CHLORIDE (PVC) PIPE CONFORMING TO ASTIN D 3034, SOR 25, WITH PUSH-ON RUBBER GASKET JOINTS, (24" SHALL BE
- 2. DUCTILE RON PIPE IDPI SHALL BE CEMENT OR POLYLINED INSIDE AND SHALL HAVE A COAL TATING, MANUFACTURED IN ACCORDANCE WITH ANSINAWA C151A21.51-66 OR LATEST REVISION, MINIMUM WALL THICKNESS CLASS 52 (4° 12') SPECIFIED.
- ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE FIFE MANUFACTURER OR APPROVED BOJAL.

- DEP SHALLER INSTALLED IN ACCORDANCE WITH ANSIAWWA ORDERS OR LATEST REVISION O. DIS SMILLER KYNILLER KYNILLER MYGLENMACHEN MYRSHWAYN COSKOLAL EIS HERSENG KINE EN ER SMILLER KYNILLER KYNILE
- 2. SERVICE:

 R. MININUM SLOPE OF ALL SERVICE LINES SHALL BE AS INDICATED IN THE FLORIDA BUILDING

- CODE.
 SERVICE LATERMAS SINUL. TERMINATE AT A DEPTH 37 SELOW THISHED GRADE OR AS INCIPATED ON PLUBRIGHTUM.
 EACH STRUCE CONSISTENCY SHALL SE PLUGGED WATER-TENT ANTH AN APPROVED PLUG.
 THE BUY OF EACH SERVICE CONNECTION SHALL SE WARRED WITH A 2"M" TREATED STAKE.
- 0. THE DIM OF EARLS SERVICE CONNECTION SHALL BE WARKED WITH A ZWF THEATED STAVE PAYIFIER DISC SECTIONNO SERVING ABOVE OR PAGE.
 6. CONTRACTOR SHALL ROUGH IN RIGHER TO I FOOT ABOVE FINISHED GRADE MID FLUG, AT PROJECT CONNECTION, CUT BACK TO PHISHED GRADE
 6. CONNECTION OF SERVICES TO BUILDINGS PLUMBING SHALL BE COORDINATED WITH THE
- AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFLITATION TEST, UPON APPROVAL OF
- MANHOLE LEAKAGE TEST SHALL NOT EXCEED FOUR GALLONS PER DAY PER UNIT. NO VISIBLE
- SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 193 GALLONS PER DAY PER INCO DIAMETER PER MILE IN A TWO HOUR TEST PERIOD FOR ANY SECTION TESTED, NO VISIBLE LEAKAGE SHALL BE ALLOWED AND ALL LINES SHALL BE T.V. INSPECTED.
- 5. SANTARY SEWER SHALL BE TELEMISED AND LAMPED, PRIOR TO FINAL ACCEPTANCE, DWINER CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCES PRIOR TO CERTIFICATION TO ANY AGENCY. VISIBLE INFLITRATION LEAKAGE INTO MAIN-JOLES AND SEIVER PIPE SHALL NOT REPERBUTTED.

WATER DISTRIBUTION AND/OR SANITARY SEWER FORCE MAIN

SYSTEM

- . General:

 1. Connay with the standards, detals and specifications of the utility provider or governmental abovey harmoj urbidiction, should a conflict exist service those requirevents and these plans and notes, the most standard requirement shall
- NO CONNECTIONS TO THE EXISTING LINES SHALL SE MACE UNIT, PRESSURE TESTS, FOR THE WATER AND SENSE FORCE MAPS, AND SECTEMEDICAPILL TESTS HAVE SEEN PREFORMED. AND THE SYSTEMS ACCUPANT OF URITHIP PROVINCES AND RELEASED TO SEPACE ON TO SERVICE BY THE FLORIA COPARTMENT OF ENVIRONMENTAL PROTECTION OR AN ENTITY WHICH THAT SECRETATION SATINGTON.
- 4. USE 'DETECTO' TAPE ON ALL PVC MAINS (18" ABOVE), AND USE 'NON-DETECTO' TAPE ON ALL A SIX (8) FOOT HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATER MAINS AND OBSTRUCTIONS I.E. CATCH BASINS, POWER POLES, INCLIDING TIRES, & WATER MAINS, ETC.
- NO VALUES, METERS, FIRE INDRANTS, CLEMICUTS, MANIFOLES OR OTHER UTLITY APPLICITMENCES ARE TO BE PLACED IN, OR ALACENT TO, SIZEMANS, CURBS, PARINOS PRACES OR OTHER SIGN SITE FEATURES SO AS TO RESENT A HAZARD OR RESTRICT THE MANIFOLMINE, OR GREENATION OF THE UTLITY WERKISTRICTURE.
- YTEMUS.

 DUCTLE ROW PIPE (DP) SHALL BE CLASS SE UP TO 12" SIZE & CLASS 51 FOR 14" AND LA
 WITH MYTEMOR CEMENT LIMNS AND BITUMHOUS COAFED (NITSEE, WATER MAN) &
 LURED & COATED FORCE MAN) MANAPACTURED IN ACCORDANCE WITH ANSI 800 PS. THE JOINTS SHALL BE BELL AND SPIGOT PUSH ON TYPE UNLESS OTHERWISE NOTED
- ALL PVC MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PRESSURE PIPE CONFORMING TO ANSIAWAN CORD-83 OR LATEST REVISION, AND SHALL HAVE PUSH-ON JOINTS, AND IRON PIPE OD J PVC ON-SITE ONLY).
- HITINGS FOR MAINS 4" AND LARGER SHALL BE DUCTILE ROW MECHANICAL JOINT CONFORMING TO ANSWAWA CHORZI, 10-80 OR LATEST REVISION, COMPLETE WITH GLANDS, GASKETS BOLTS AND NUTS. ALL HITINGS SHALL BE CEMENT LINED AND SEAL CONFED WITH THE SAME MATERIALS AS THE PIPE & USE NEGALUG SERIES 1100 RESTRAINED JOINT ADAPTERS

- CORBY).
 TAPPING VIALVES SHALL BE MJELLER H887 OR APPROVED EQUAL.
 GATE VIALVES 3" OR LESS SHALL BE MJBCO T-130 OR T-136 MTH MALLEABLE HAND WHEELS.
 NO SUBSTITUTIONS ALLOWED.
- 5. TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL
- 6. VALVE BOXES SHALL BE TYLERUMON 461-S OR APPROVED EQUAL
- 7. RETAINER GLANDS SHALL CONFORM TO ANSIRAWA C111/A21.11-60 OR LATEST REVISION, ALI GLANDS SHALL BE IMPAUFACTURED FROM DUCTILE INON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING, CLOW CORPORATION WOOEL F-1058 OR STANDARD FRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.
- 8 DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS WITH PLAIN GASKETS FOR GALVANIZED STEEL PIPE, THEY SHALL BE DRESSER STYLE 90, NO SUBSTITUTIONS ALLOWED.
- THE HYDRANTS SHALL HAVE AS 144 "MAN YALVE OPENING, PUMPER NOZZLE TO BE 18" FROM
 HINSH GRADE. ALL HYDRANTS TO BE INSTALLED WITH ANCHORING TEE AND CONTROL VALVE.
 HIRE HYDRANT SHALL COMPLY WITH ANSIMMINA CIZZASI OR LATEST REVISION. HYDRANTS SHALL BE MUELLER CENTURION OR AMERICAN DARLING, BLUE REFLECTIVE PAVEMENT MARKER
- 10. PIPE COLOR CODING REQUIREMENT SHALL CONFORM TO 62-555.320(21) (b) (3), F.A.C.
- COPPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM B42 WITH THREADED ENDS, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.
- 2 CLIER STORS SHALL BE MUFILIER OR APPROVED FOLIAL
- METER STOPS SHALL BE 30" LOCK WAS TYPE AND SHALL BE OF BROKE CONSTRUCTION IN ACCORDANCE WITH AS IN BEZ. METER STOPS SHALL BE CIGSED SOTTOM DESIGN WAD RESILIEST YOU SELEIDE ANAISTED STEPMIL LEWISE AT THE TOP. STOPS SHE EGUIPPED MITH A METER COUPLING BUT ON THE OUTLET SIZES, AS MANAFACTURED BY MELLES OR PROFISED SOUND.
- 4. SERVICE PIPING SHALL BE TYPE IN DRAWN COPPER.

- GENERAL: CONNECTION OF ALL NEW SYSTEMS TO EXISTING WAINS SHALL BE DONE BY USING ONE OF THE FOLLOWING INETHIODS: a. METHOD A, A REDUCED SIZE TEMPORARY CONNECTION BETWEEN THE EXISTING MAIN AND
- THE NEW ONE.
 METHOD B, A DIRECT CONNECTION BETWEEN THE NEW AND EXISTING MAINS USING TWO

- GATE WALVES SEPARATED BY A SLEEVE WITH A VENT PIPE.
 METHOD C: A TAP WITH ONE GATE WALVE REQUIRING DISINFECTION OF THE NEW SYSTEM
 PRIOR TO CONDUCTING THE PRESSURE TEST.
- JEDDING AND INITIAL BACKFILL (12 INCHES ABOVE PPE) FOR All PPE SHALL BE SAND WITH NO ROCK LARGER THAN IT IN DAMETER PEA ROCK ORSH "WASHED ROCK WILL BE USED IN WATER OR WHERE UNSLITINGLE BEDOING EXISTS AT THE ORGONOLOGY OF THE ENGINEER AND UTILITY PROVIDER, ALL OTHER FILL SHALL NOT HAVE ROCK LINGSER THAN 8" IN DIAMETER.

 - PICHIES

 A PIC PIE SHALL BE INSTALLED IN ACCORDANCE WITH THE UN-SELL PLASTIC PIPE

 ASSOCIATIONS GUIDE FOR INSTALLATION OF PIC PRESSURE PIPE FOR MUNICIPAL WATER

 DISTRIBUTION SYSTEMS

 IN PIC-PIPE SHALL BE INSTALLED WITH A WINNIUM OF 50' COVER
 - DETECTOR TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL PVC MAINS APPROXIMATELY 18' ABOVE THE PIPE, COLOR SIDE UP.

 - DUCTLE PIPE:

 DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSLAWNIA 0900-99 OR LATEST REVISION. "NON-DETECTOR" TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL DUP. MAINS APPROXIMATELY 19' ABOVE THE MAIN COLOR SIDE UP.

- a. ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE
- ALL MANES SHALL BE INSTALLED WITH ADJUSTABLE CAST FIRM WANGES BOKES WITH THE WORD WATER OF STREAM CAST IN ACCOUNT, A BREAST BOKE NOR FIRST CONTROL OF STREAM CAST BOKES BOKE MORE ATTOLK, SIZE, TYPE, KND A CREMENT OF MANY AND ASSEMBLE CONTROL OF MANY AND AND ASSEMBLE CONTROL OF MANY AND ASSEMBLE OTHERS WAS BOKES BOKES
- PROCES DESIGNES SMALL BE INVENT TO AVOID THE PARKINGS OF YEARLISS OVER THE WAVES, HOTOMAT VAVES SHALL BENTALLED AS CODES TO THE MAN AS POSSERE WAVES LOCATED IN NORPHIED AREAS OR IN PARKING STALLS REQUIRE A REPLECTIVE PARKEDITH MARKED ON THE CONTROL OF THE MARKEST LAME OF RADIO PARKET, WHITE REPLECTORS FOR THE WATER WAN WAVES, GREEN REPLECTORS FOR FORCE WAN
- NUTES. HE DISTANCE FROM THE TOP OF THE VALVE ACTUATOR, NUT TO FINAL GRADE SHALL BE A.

- VER OVER SERVICE I MES SHALL RE 18' MINIMUM 36' MAXIMUM RELOW FLYISHED GRADE.
- AND SY LOCKE PRICEWENT.

 SERVICES INFO SHALL SETTYPE NY COPPER.

 C. METER STOPS SHALL HAVE O' TO 10" COVER AS REQUIRED FOR PROPER METERBOX
 NETALLATION.

 UNITER SERVICES UNCER PAULINITY SHALL SE DICASED IN A SCHOOLUS BY PAULINITY

 AND STREAM OF THE SERVICES.

 WHERE SERVICES UNCER PAULINITY SHALL SE DICASED IN A SCHOOLUS BY PAUL SERVICE.

 UNITER SERVICES UNCER PAULINITY SHALL SE DICASED IN A SCHOOLUS BY PAUL SERVICE.

 WHERE SERVICES UNCER PAULINITY SHALL SE DICASED IN A SCHOOLUS BY PAUL SERVICE.

 WHERE SERVICES UNCER PAULINITY SHALL SE DICASED IN A SCHOOLUS BY PAUL SERVICES.

 UNDERSTANDING SERVICES UNCER PAULINITY SHALL SERVICES.

 WHERE SERVICES UNCER PAULINITY SHALL SERVICES UNCERTAINTY SHALL SERVICES.

 WHERE SERVICES UNCER PAULINITY SHALL SERVICES.

 WHERE SERVICES UNCER PAULINITY SHALL SERVICES.

 WHERE SERVICES UNCER PAULINITY SHALL S
- DIAMETER SHALL BE TRICE THE DIAMETER OF THE SERVICE PIPE.

 THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 25M* TREATED STAKE, PAINTED BLUE EXTENDING 18° (WIMMUM) ABOVE GRADE UNLESS NOTCATED OTHERWISE...

BEFORE ANY PHYSICAL CONNECTIONS TO THE EXISTING WATER MAINS ARE MADE. TH DEFINER HAT PHYTAGE CONNECTIONS TO THE EXISTING MILECULAR MINES HOURS AND WHOLE, THE COMPLETE WHATER SYSTEM SHALL BE PRESSURE TESTED AND DISN'ESTED-PHYTOGRAFIA TESTING OF MEY MANDS SHALL BE PERFORMED AT A MANNUM STATTING PRESSURE OF 150 PS FOR THO HALDS IN ACCORDANCE WITH ANSIAWAY CODUCES OR LATEST REVISION, THE PRESSURE TEST SHALL NOT VARY MORE THAN 4.5 PS. LIDURNOS THE TEST.

- 2. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE UTILITY PROVIDER
- I. BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH THE ANSIMOWN, DISHOS, SO HAI MIRMUM STARTING TEST PRESSURE, WITH BACTERIOLOGICAL SHAPLES IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF BANROWERING, PROTECTION STANDARDS.
- SAMPLING DON'TS SHALL BE DONATION AT THE LOCATIONS SHOWN ON THE DUMS. IE NOT SAMPLINE POINTS SMALL BE PROUDED AT THE LOCATIONS SHOWN OF THE PLANS. F. NOT SECRETED, SAMPLINE POINTS SMALL BE PROVIDED AT THERWAYS. OF 1007 MODIUM FOR LIBES GREATER THAN 1,500 N. LEINSTH, PROVIDE A WINNIAM OF TWO SAMPLING POINTS FOR ALL OTHER TEST SECONDETS, SAMPLE FLOREDA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS OR THE AGENCY MITCH IT HAS PELEGATED ITS AUTHORITY.
- I. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS

- IN WHICH
- L = THE ALLOWABLE LEAKAGE IN GALLOWS PER HOUR S = LENGTH OF PIPE (LINEAR PEET)
- S = CENSIFIC PEPE (GREEN PEET)

 D = NOWBAL DUVETER OF PIPE (INCHES)

 P = THE MINIMUM TEST PRESSURE (POUNDS PER SQUARE INCH)

SEPARATION OF WATER AND SEWER MAINS

- A. SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS I. SMIRHAY BERRIES, 1000 SERVERS, AND FORCE WINE SHOULD CORES ANDER WINTER WIND NEWSFERD FORCES. FOR SHORT PRIZERS, 1000 SERVERS, AND FORCE WINTER SHORT PRIZERS, 1000 SERVERS, AND FORCE WINTERS AND FORCE WINTERS. THE WINTERS AND FORCE WINTERS AND FORCES AND SERVERS, TO FEED WINTERS WIN WIN FROM THE WINTERS WAS NOW SERVERS, TO FEED WIN BEST CORES. THAT WINN A PUT HAS THAN A PRIVATE WINTERS WAS NOW SERVERS, TO FEED WIN BEST CORES. THAT WINN A PUT HAS THAN A PRIVATE WINN A PUT HAS THAN A PRIVATE WINN A PUT HAS THAN A PUT HAS
- ALL CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE ALL CASSING SHALL BE ARRANGED STITLEN IN ESWINETHE JUTIES SOLL THE WARREN WAR THE JUNES ARE COURTESTANT FROM THE POINT OF CROSSING PIPES CENTERED ON THE CROSSING IMPERE A REAL PIPE COUNTESTS WITH AN EXISTING PIPE WITH LESS THAN 18 INCHES VERTICAL CLERANACE, THE MEY TIPE SHALL BE CONSTRUCTED OF DIP, AND THE CROSSING SHALL BE ARRANGED TO MEET THE REQUIREMENTS ADOVE.
- B. A MININUM 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE O SEMER AND WATER MAIN IN PARALLEL INSTRUMENTON WHENEVER POSSIBLE. IN CASES MHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 POOT HOROZONTAL SERMATION. THE WATER MAIN MUST BE LIAD IN A SEPARATE TRENCH OR ON AN INNOSTRUBED BATTI IN HELF LICATED ON ONE SIDE OF THE SEMEN OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE MATER IS AT LEAST 14 NOTES. ASOVE THE TOP OF THE SEMER. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF IS INCHES IN PAPALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SMITTARY SERVER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF THE AITH AMPHIBIAN VERTICAL CHERACY OF BLOCKES, THEIR HANN SHALL DAILY SELF ABOVE THE SERVER LIMINS OF A MATTER MAIN SHALL BE LOCATED AS FAR APPART AS POSSIBLE FROM JOHNS ON THE SERVER OR FORCE HAN STRANGESED JOHNS, A WHALL BE FOOT FARICATING SHARMED WE SHALL BE WANTARIES BETTER WHERE MAINS AND LOSS RECOLDED FOLLOWS TREES.

STORM DRAINAGE:

- CATCH BASIN GRATES AND RIM ELEVATIONS AS SHOWN ON PLANS SHALL BE ADJUSTED TO CONFORM TO NEW OR EXISTING GRADES.
- 2. DISTANCES AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES

CONTRACTOR SHALL BE RESPONSIBLE TO ENGINE THAT THE GRADING ADMICIST TO BILLINGS COMPLY WITH PEO SECTION (BOLD AND PROVIDE POSITIVE ENGINE FOR HIT SITE DRIVINGS SYSTEM. CONTRACTOR SHALL INSTRUCT SILECULAR SHALL SHALLON SHALLS BY ENGINE SHALLON SHALLS BY BY ENERGIED WICE SHAN INSTRUCES.

- . HISH DENSITY POLYETHYLENE PPE AND FITTINGS SHALL MEET THE REQUIREMENTS ITO M-284 LATEST REVISIONS, ALL PIPING TO BE NON-PERFORATED TUBING.
- 2. ALL YARD DRAIN BASINS ARE TO BE HIGH DENSITY POLYETHYLENE PRODUCT AND SHALL MEET ALL DANINGE CATCH BASIN AND STRUCTURES SHALL BE PRECAST CONCRETE AND SHALL
 MET THE REQUIREMENTS OF ASTAL SPREPLACING CAPS AND SET UNLESS OTHERWISE
 MOTED IN THE ARMS LOCK CATCH BASING LIE & LLOUDE CONTRIP HYPOTRAC OF THE
 ENGREEN. THE WANDAM PAUL AND SARE THAMBES SHALL BE INDICES AND THE WANDAM
 SERVICIOUS HIST LIE OF U. 4 PRIOR OF THOMBOUNDED.
 CONCRETE SHALL BE VARIANT OF CLUTTER HAT SO DAYS.
- 4. IN DRY RETENTION / DETENTION AREAS, CONTRACTOR TO EXCAVATE AND FILL BACK WITH

- PPE SHALL BE PLACED ON A MINIMUM OF S' STABLE GRANULAR MATERIAL FREE OF ROCK.
 FORMATION AND OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A UNIFORM GRADE
 AND INC.
- PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNINCESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
- 4. THE CONTRACTOR SHALL NOTICE THE CONFERNMENTAL ACENCY HAVING ALTHOUGHY EDGT WITHIN STATE ROADWAYS) AND THE ENGINEER OF RECORD AT LEAST 7 DAYS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.

- GENERAL:

 1. ALL UNDERSROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LINEROCK
- ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAWCULT TO BINSURE A PROPER JOINT.
- EPHAS:
 UNERCOK BASE-LIME ROCK BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIOUM
 IF THICKNESS UNLESS OTHERMISE MOTED AND COMPACTED TO SIX MADIAULD BRY DENSITY
 PER AGAINTD T-180, 188 1001, AT THE DISCRETION OF THE OWNER OTHER SUBSTITUTES SHALL
 BE PER FOOT SECONDUCTIONS AND PROVIDE EQUIVALENT STRUCTURAL MANGER AS AGORE. LIMEROCK TO HAVE MINIMUM OF 70% CARBONATES AND LIQUID LIMIT 35 PLASTICITY AND ACCEPTABLE FOOT PRODUCT APPROVAL.
- ASPHALTIC CONCRETE INSTALLATION OF THE ASPHALTIC CONCRETE SURFACE COLRSE
 HAVE A MIN. THOMESS OF 2" UNLESS OTHER MISE NOTED AND CONFORM WIT
 REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STAL SPECIFICATIONS FOR TYPE SP-9.5 ASPHALTIC CONCRETE, AND SHALL BE CONSTRUCTED IN TWO IT LIFTS WITH TACK COAT BETWEEN LIFTS.
- REINFORCED CONCRETE PAVEMENTS SHALL BE A VINUTHICKNESS OF 6" AND CONSTRUCTED OF CLASS LODICIPETE WITH A VINUAL STRENGTH OF 4000 PSI UNLESS OTHERWISE NOTED.

- INSTALLATION:
 COMPACT STABILIZED SUB-BASE TO 98% OF MAX. DRY DENSITY PER AASHTO T-180 (MIN LBR 40).
- 2. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.

THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHAL

- NOT VARY MORE THAN 19" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIVIT SHALL BE CORRECTED. CENSITY TESTS SHALL BE TAKEN ON THE SUBGRADE AND BASE MATERIAL BY AN INDEPENDENT TESTING LABORATORY CERTIFED BY THE STATE OF PLORIDA, WHERE DIRECTED BY THE ENGINETRY.
- 3. ALL TESTING COSTS SHALL BE PAID FOR BY THE CONTRACTOR. 4. DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND GOVERNMENTAL AGENCY HAVING JURISDICTION AND APPROVED BEFORE AND BASE IS CONSTRUCTED.
- 5. CENSITY TESTS AND "AS-BUILTS" ON THE FINISHED BASE SHALL BE SUPPLIED TO THE ENGINEER PAVEMENT IS CONSTRUCTED.

PAVEMENT MARKING & SIGNAGE; . ALL PAYEVENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION, THE GOVERNMENTAL AGENCY HAVING JURISDICTION STANDARDS, AND JOR THE FOOT STANDARDS AND DETAILS (WITHIN

POLLUTION PREVENTION:

- A. THE PLANS INCLUDE A STORMWATER POLLUTION PREVENTION PLAN, SPECIFICATIONS AND DETAILS AND ARE ONLY A SUGGESTED APPROACH TO ASSIST THE CONTRACTOR IN INFLEMENTING AN APPROPRIATE POLICITION PREVENTION FLAX COMPLYING WITH FLORIDAS INFOES STORMWATE PERMITTING PROGRAM FOR CONSTRUCTION ACTUATY, AS ESTABLISHED BY FIDER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE PREPARE AND MINIEURINT THE BEST MANAGEMENT. OWN THAT ARE APPROPRIATE FOR THE PROJECTS SITE SPECIFIC CONDITIONS DUPING THAT LIFE OF THE CONSTRUCTION ACTIVITIES., THE CONTRACTOR SHALL CONTINUOUSLY ENSURE THAT THE PERMETER OF THE SITE, INCLIDING CONSTRUCTION BITTANCES, IS SECURED FROM ALLONING DEBRIS AND SEDIMENT TO LEAVE THE SITE DUE TO CONSTRUCTION ACTIVITY OR RANGALL EVENTS.
- B. WHEN REQUIRED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, THE WHEN REQUIRED IST THE KNOWLD DEPARTMENT OF ENMIRORMENTAL PROTECTION, THE CONTRINCTOR SHALL GREAT W. AND DATE OF INTERT TO USE MODES GENERIC PROTECTION, THE STORMWATER DISCHARGE FROM LANGE AND SMALL CONSTRUCTION ADMINISTER FOR THE PROLECT STEEL ADDITIONALLY, THE CONTRINCTOR SMALL BE RESPONSIBLE FOR REQUIRED INSPECTIONS BY DOCUMENTATION MOULDING MAINTAINING AND POSTINGS A MEETING BY AND ADMINISTRATION OF THE PROTECTION OF THE PROPERTY OF T ON-SITE IN ACCORDANCE WITH THE NPDES PERMIT.
- AND POLICIES AS WELL AS BEST MANAGEMENT PRACTICES AND ASSUMES SOLE RESPONSIBIL FOR FINES IMPOSED BY GOVERNMENTAL AGENCIES DUE TO VIOLATIONS.

PROJECT RECORD DOCUMENTS

DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT

BUILT EXACTLY ACCORDING TO PLANS.

- B. UPON COMPLETION OF DRAINAGE IMPROVEMENTS AND BASE CONSTRUCTION (AND BEFORE FLACING ASPHALT PACELEDIT) THE CONTRACTOR SHALL PURNISH THE ENGINEER OF RECORD "ASPHALT PLANS FOR THESE IMPROVEMENTS, SHOWNG THE LOCATIONS AND APPLICABLE GRADES OF ALL NAME THAT THESE INFROVEMENTS, SHOWNG THE LOCATIONS AND APPLICABLE CONDECS OF ALL DEPARTMENT AND THE FINISHED ROCK GRUDES OF THE FOLD CROWN OR INVEST AND EGGS OF PARKENT AT 50 FOOT INTERNALS, INCLUDING LOCATIONS AND ELEVATIONS OF ALL HIGH AND LOW POINTS.
- C. UPON COMPLETION OF CONSTRUCTION, AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL SOURCE DAMPETER OF CHECKING HIGH THE AND THE COPINE AND THE CHECKING T
- YAS-BUILT INFORMATION OF GRAVITY SEWERS MUST CONTAIN LOCATION OF SERVICE LATERALS. STATIONING OF BOTH THE MYE, CLEAN-OUTS, AND THE SERVICE END MUST ALSO BE INCLUDED.
- E. "AS BULL" INFORMATION OF WATER DISTRIBUTION SYSTEMS MUST CONTAIN LOCATIONS OF ALL WAVES, FITTINGS, FIRE HYDRAVITS, SERVICES AND APPURITEMANCES. TOP OF PIPE ELEWITIONS ALONG THE WATER WATER REQUIRED AT INTERVALS OF 100 FEET (MAXIMUM).
- ALL "AS-BUILT" INFORMATION ON ELEVATIONS SHALL BE CERTIFIED BY A FLORIDA PROFESSIONAL

G. MAS RULLTRY OF WATER LINES SHALL INCLUDE THE FOLLOWING INFORMATION:

- SAULT OF NATES INES SAUL INCIDE THE POLICIMATIVE CHARACTER.

 1. DOCATIONS AND ELEVATIONS CERT WILE.

 2. LOCATIONS AND ELEVATIONS OF ALL HITTINGS INCLICING SEDEDS, TEES, GATE WALVES DOUBLE CHECKTOR CHECK VALVES THE PROPRINTS STE.

 3. ALT THE NO TO SHELD RIGHS SAVEL BY SAULT!

 4. THE BIGS OF ALL WAITES SERVICES AT THE BUILDINGS OR HOMES SAVEL BY "MABULT" OR
- . WAS BULTS? OF ALL GRANTY SMATLARY SEWER LINES SHALL INCLIDE THE FOLLOWING INFORMATION:

 1. MINEN, MARTERS AND LEAGHTH OF PHYOLOGETHEMS FOR WHICH AS SLOPES.

 2. THE STUB ENDS OF ALL SENER LATERALS SHALL BE LOCATED, MID IT THERE ARE MAY CLEAVOUR'S INSTALLED ON THE SENER LATERALS, THEN THE INVEST ELEVATION OF THESE
- CLEANOUTS INSTALLED ON THE SEMEN BOLD
 CLEANOUTS INSECT OF BE OBTAINED.

 LIFT STATION "AS-SULTS" SHALL CONSIST OF:

 TOP OF WET WELL ELEVATION

 LINVERT ELEVATION OF THE INCOMING LIME
- d. "AS-BUILTS" OF THE COMPOUND AREA.
- L. FORCE MAIN "AS-BUILTS" SHALL BE PREPARED THE SAME AS THE WATER LINE "AS-BUILTS" "AS BUILTS" OF ALL DRAINAGE LINES SHALL INCLIDE THE FOLLOWING INFORMATION:
 1. RIVS, INVERTS AND LENGTH OF PIPING BETWEEN STRUCTURES AND WERE ELEVATIONS IF
- RIVS, INVERTS APPLICABLE:
- 2. THE SIZE OF THE FIRING SHALL BE VERIFIED BY THE SURVEY CREW AT THE TIME OF "AS-BUILD". 3. DRAINAGE WELL STRUCTURE "AS-BUILTS" SHALL INCLUDE BUT NOT BE LIMITED TO, TOP O CASING ELEVATION, TOP AND BOTTOM ELEVATIONS OF THE BAFFLE WALLS, RIM ELEVATIONS
- K. ALL BOOK YAS BUILTS' FOR PARKING LOT AREAS SHALL CONSIST OF THE FOLLOWING ROCK BLEVATIONS AT ALL HISH AND LOW POINTS, AND AT ENOUGH INTERMEDIATE POINTS TO CONFRIGURE CONSISTENCY.
- ROCK "AS-BULITS" SHALL BE TAKEN AT ALL LOCATIONS WHERE THERE IS A FINISH GRADE ELEVATION SHOWN ON THE DESIGN PLANS.
- 3. ALL CATCH BASIN AND WANHOLE RIVE ELEVATIONS SHALL BE SHOWN.
- A WHERE CONCRETE IS TO BE USED AS A FINISHED PRODUCT FOR THE ROADWAY OR PARKING LOT ROCK "ASSULTS" WILL BE REQUIRED AS NOICTED ABOVE, AS WELL AS "ASSULTS" ON THE FINISHED CONCRETE AT LOCATIONS WHERE THERE IS A FINISH GRADE ELEVATION SHOWN
- "ASBULTS" SHALL BE TAKEN ON ALL PAYED AND UNPAYED SINKLES, PRIOR TO PLACEMENT OF ASPHALT OR TOPPOLISCO, AT ENOUGH INTERNEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY AND CONFORMANCE TO THE PLANDETALS.
- UPON COMPLETION OF THE 1998. THE CONTRICTOR SHALL PREPARE RECORD DRIVINGS, WASCLITT, ON FIG. 1821. AY 3Y THE OFFICIALIST MATERIAL WHERE MINES AND SHARL PARK AND SHARL PREPARE REGISTERED PROFESSIONAL LAND SURVEYOR ADCITIONALLY, AN ELECTRONIC COPY OF THESE RECORD DRAWINGS, WEBULTS', SHALL BE SUBMITTED TO THE ENGINEER OF RECORD IN AUTOCAD, VERSION 2020.

- PROJECT CLOSEOUT: OVING OP DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEPT BROOM
- 2. THE CONTRACTOR SHALL RESTORE OR REPLACE WHEN AND AS DIRECTED, ANY PLRUC OR THE CONTRACTOR SMALL RESIDENCE OF REPULSE, AMEN AND AS DEPOSITE, AMY PAGE OF PRIVATE PROPRIETY AMERICAN SMALL RESIDENCE, OR SMALL RESIDENCE, OR CONCINTION AT LEAST COURT, TO THAT EXISTING MINECUTELY PERIOR TO THE BECOMING OF CREATIONS. TO THAT RISH, THE CONTRACTOR SMALL DOS. AS ROUGHES, AME RESIDENCE HYDROGORY PRIVATE METERS, WALK AND LANGUAGE OF THE SMALL RESIDENCE AND ASSESSMENT SHARLING INSPERIOR SMALL RESIDENCE.
- WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR HAS BEEN PLACED IN WATER COURSES DTCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTOR'LY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN B. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE
- C. ALL PAUED & LINEAUED SURFACES DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.



V-I DATE:

Sunshine 811

TACO BELL REDEVELOPMENT

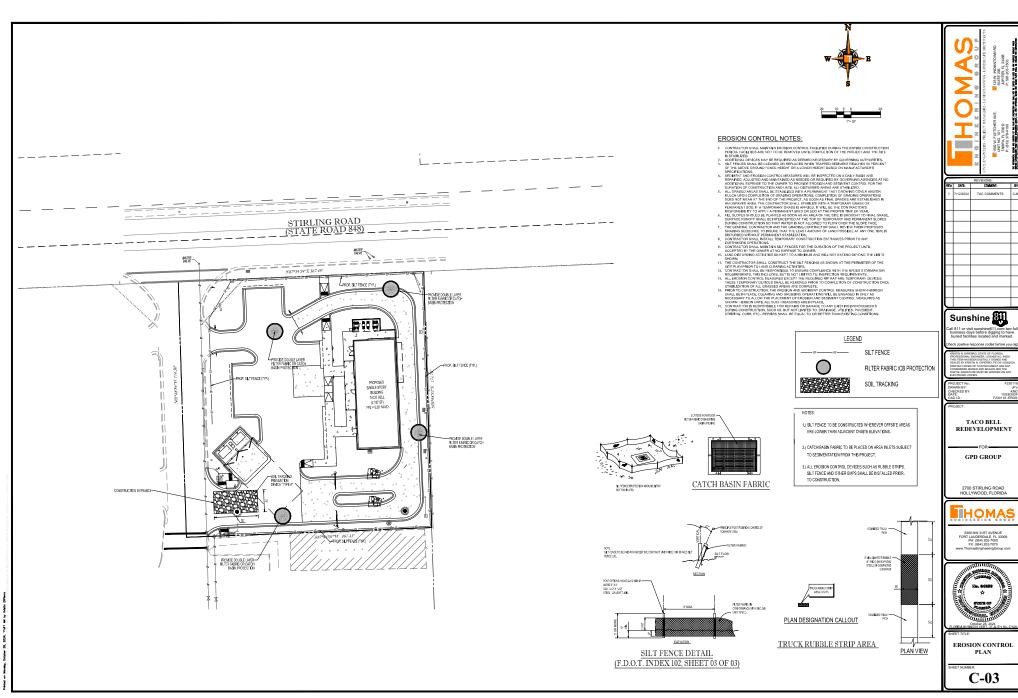
GPD GROUP





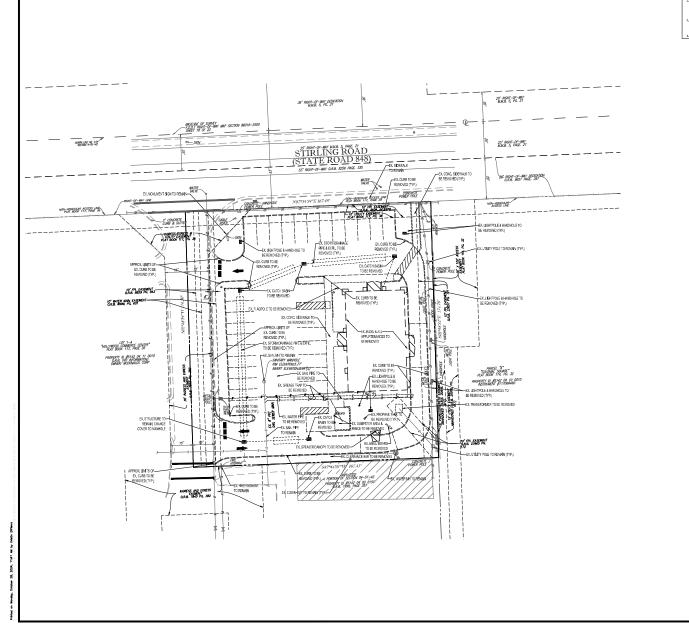
*

GENERAL NOTES



		CIV	
		REVISIONS:	_
ŧ	DATE:	COMMENT:	BY:
	7/12/2024	TAC COMMENTS	CJM
Ī			
1			





NOTES

1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTLITIES. ALL DISCREPANCES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.

- ALL EXISTING UTILITIES SHALL BE REMOVED (TYP.) BY CONTRACTOR IN ACCORDANCE WITH CITY OF HOLLYWOOD AND LOCAL UTILITY COMPAREDUREMENTS, ALL DEMOLITION DEBRIS TO BE REMOVED (TYP.) BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE RESULATIONS.
- REFER TO LANDSCAPE PLANS FOR TREE REMOVA

DEMOLITION NOTES:

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
PULICE LAND SURVEYORS, INC.
SS81 NOB HILL ROAD
SUNRISE, FL 33351

- 2. THOMAS ENGINEERING, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR
- - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE

- ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MANTANED ON SITE AND VALUABLE FOR REVIEW.

 8. INSTALLING THE REQUIRES SOLE ROSSION AND SEDMENT CONTROL MEASURES PRIOR TO SITE INSTITUANCE.

 WHATER LECTRIC SANTANY AND STORM SEVER TELEPHONE, CABLE, FER PROPTIO SITE OF THE PROPERTY OF THE OWNER OF THE PROPERTY OF THE OWNER WHITE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE OWNER WHITE PROPERTY OF THE PROPERTY OF THE OWNER WHITE NO MAIN ADMINISTRATION OF THE PROPERTY OF THE OWNER WHITE NO MAIN ADMINISTRATION OF THE PROPERTY OF THE OWNER WHITE NO MAIN ADMINISTRATION OF THE PROPERTY OF THE OWNER WHITEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN THE MINISTRATION OF THE PROPERTY OF THE OWNER WHITEN NOTIFICATION AND ADMINISTRATION OF THE PROPERTY OF THE OWNER WHITEN NOTIFICATION AND ADMINISTRATION OF THE PROPERTY OF THE OWNER WHITEN NOTIFICATION AND ADMINISTRATION OF THE PROPERTY OF THE OWNER WHITEN NOTIFICATION AND ADMINISTRATION OF THE PROPERTY OF THE OWNER WHITEN NOTIFICATION AND ADMINISTRATION OF THE PROPERTY OF THE OWNER WHITEN NOTIFICATION AND ADMINISTRATION OF THE OWNER WHITEN NOTIFICATION AND ADMINISTRATION OF THE PROPERTY OF THE OWNER WHITEN NOTIFICATION OF THE OWNER WHITEN NOTIFICATION OF THE OWNER WHITEN NOTIFICATION OF THE OWNER WHITEN OWNER WHITEN THE OWNER OWNERS WHITEN THE OWNER WHITEN OWNER WHITEN THE OWNER OWNERS WHITEN OWNER WHITEN THE OWNER OWNERS WHITEN THE OWNER OWNERS WHITEN OWNER OWNERS WHITEN OWNER OWNERS WHITEN THE OWNER OWNERS WHITEN OWNER OWNERS WHITEN THE OWNER OWNERS WHITEN OWNERS WHITEN OWNER OWNERS WHITEN OWNERS
 - OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE
- E. COGIONATION WITH UTILITY COMPANIES REGARDING WORKING TOFF-PEAN THOURS
 OR ON WERCHINGS AND WE RECURIED TO MININGE THE MIPAC TO N'THE
 AFFECTED PARTIES.
 AFF

- 10 PROPERTY LINE WITHOUT THE PRESIDENCY OF THE OWNER, ANDORS APPROPRIATE
 COVERNING TAGENCY.

 12. USE DUST CONTROL MEASURES TO LINE ARBOONED DUST AND DRY RISKS AND OR APPROPRIATE
 COVERNMENT AGENCY.

 13. USE DUST CONTROL MEASURES TO LINE ARBOONED DUST AND DRY RISKS AND OR AND ARBOONED ARBOONED AND ARBOONED AND ARBOONED ARBOONED AND ARBOONED ARBOONED

- PROVIDE A SAFE WORK SITE.

 15. ANY DAMAGED SIDEWALK AND OR CURB AND GUTTER WITHIN THE PROJECT LIMITATIONS IS TO BE REMOVED AND REPLACED.

 16. DEBRIS SHALL NOT BE BURDED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL CITY, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
- STATE, AND FEDERAL LIWS AND APPLICABLE CODES.

 TO CONTRACTOR B RESPONSIBLE FOR FIELD VERIFINING ALL EXISTING SITE IMPROVEMENTS

 AND VILLIES. ALL DISORPPANCIES SHALL BE IDENTIFIED TO THE ROMERER IN WITHING.

 CITY OF HOLLYWOOD AND LOCAL UTILITY COMPANY REQUIREMENTS, ALL DEMOLITION

 DESIRE TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE

 REGULATIONS.

HATCH LEGEND



		5	
_		REVISIONS:	_
REV:	DATE:	COMMENT:	BY:
1	7/12/2024	TAC COMMENTS	CJM
			Г

Sunshine 811

ISTNIN, DPICHAD, STATE OF FLORIDA. OPENSIONAL ENGINEER, LICENSE NO. 84350 IS FEMINAS SEEN DISTALLY SIGNED AND

TACO BELL

REDEVELOPMENT

GPD GROUP

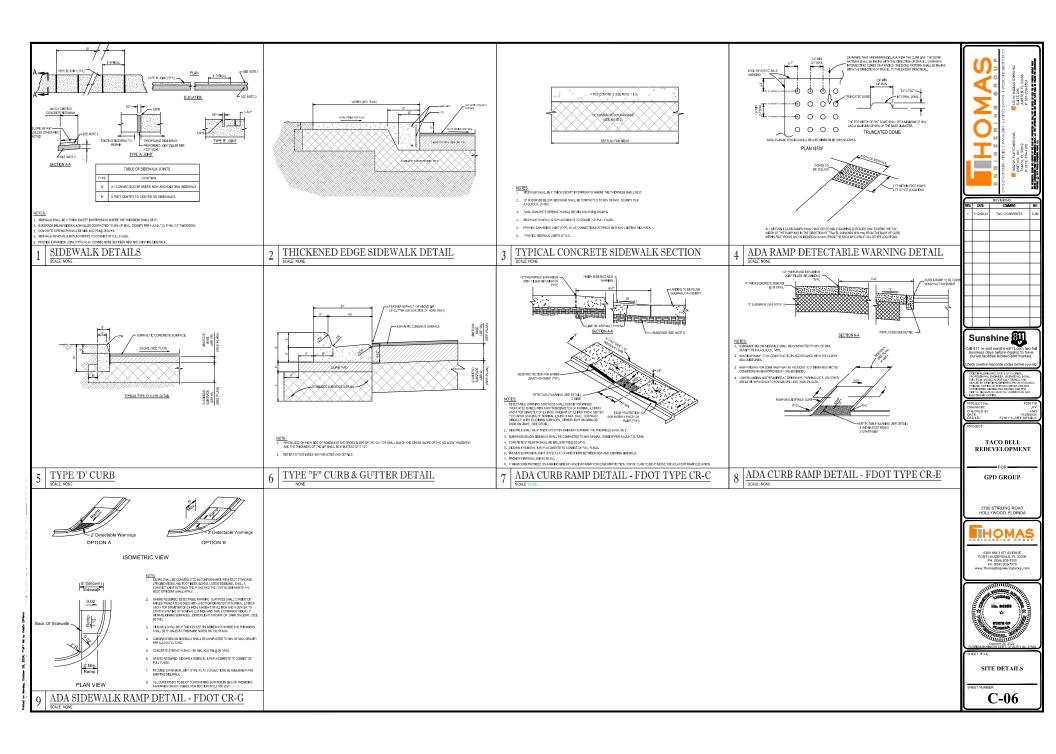
2700 STIRLING ROAD HOLLYWOOD, FLORIDA



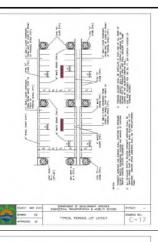
6300 NW 31ST AVENUE FORT LAUDERDALE, FL 33308 PH: (954) 202-7000 FX: (954) 202-7070

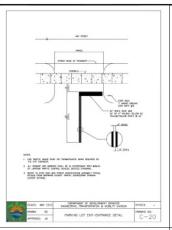


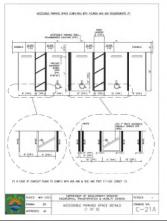
DEMOLITION PLAN

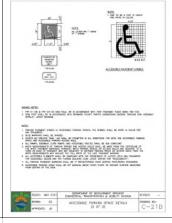


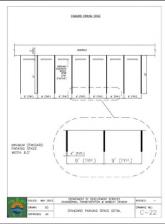


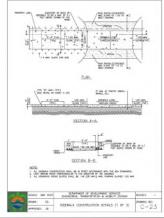


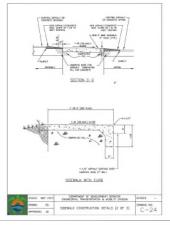


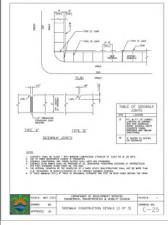


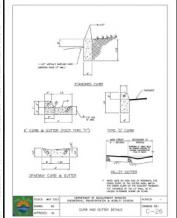


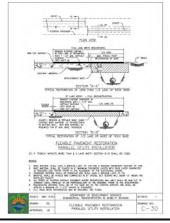


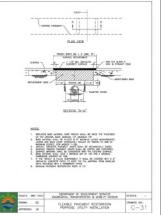








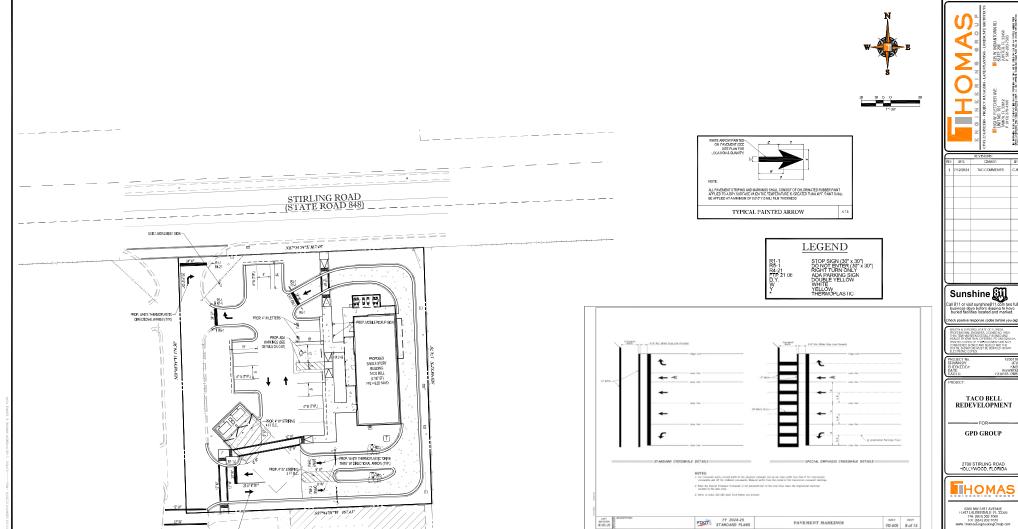






C-07

SUIF 206 SUIF 206 JUPITER, FL 33458 P. 561-203-7503 D. 501-203-7504 SOD NO 2002 NOT SUITER PROST SOD NO 2002 NOT SUITER PROST SOD NO 2002 NOT SUITER PROST SOD NO 2002 NOT SUITER PROST



PROP, WHITE THERMOPLASTIC—/

ALL SIGNAGE, STRIPING, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES MUTCO), FOOT, AND BECTOS STANDARDS.

ALL STRIPING SHALL BE LONG LIFE EPOXY RESIN AND MIN. 4" WIDE UNLESS OTHERWISE NOTE: ALL PAVEMENT GRAPHICS SHALL BE HOT-APPLIED THERMOPLASTIC (REFLECTIVE).

ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

BICHED PROVINCIMIL BE REQUIRED FOR ALL PAVEMENT MARKINGS WITHIN CITY.

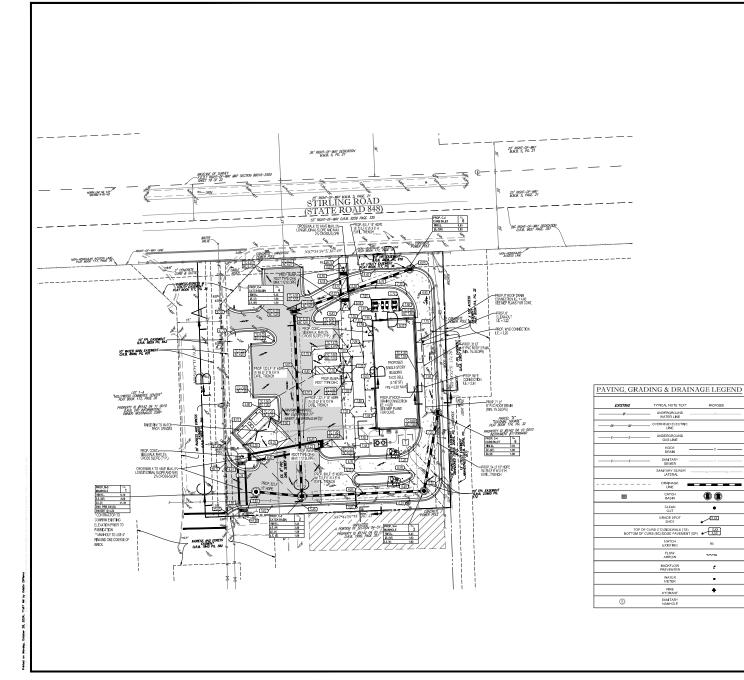
RIGHTS-FWAY.

5. ALL PAVEMENT MARKINGS TO CONFORM TO FDOT STANDARDS, UNLESS OTHERWISE NOTED.

Ξ		CIVIL	285
=		REVISIONS:	=
PEV:	DATE	COMMENT:	BY:
1	7/12/2024	TAC COMMENTS	CJM



PAVEMENT MARKING & SIGNAGE PLAN







CONSTRUCTION NOTES:

- CONTRACTOR TO SAW-CUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC.
 SIDEWALK, COMC. CURB AND ASPHALT UNLESS OTHERWISE NOTED, ALL BASE AND
 SUBASS MATERIAL SHALL BE REMOVED WITHIN THE PROPOSED LANDSCAPED
 AREA.
- CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXISTING FACILITIES TO PROPOSED.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
- CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
- CONTRACTOR TO SOD ALL DISTURBED AREAS, SODDING INCLUDES MAINTAINING SLOPE AND SOD UNTIL COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST.
- ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR.
- THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OF THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
- THE CONTRACTOR SHALL PROTECT ALL ENISTING STRUCTURES, STORM DRAINS
 UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES
 DUE TO HISHER CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE
 OWNER.
- NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4770) OR (811) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOT ENGROACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
- 13. PLEASE SEE MEP PLANS FOR CONTINUATION OF ROOF LEADERS.
- 14. 2,0% MAXIMUM SLOPE ON HANDICAP SPACES AND ADA ACCESS WAYS.
- ALL SIDEWALKS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 2.0% AND ALL SIDEWALKS SHALL NOT EXCEED A 5.0% RUNNING SLOPE.
- 16. EXISTING COVER MUST BE MAINTAINED ON ALL WATER AND SANITARY LINES.
- EXISTING SEWER MUST REMAIN FREE FROM CONSTRUCTION DEBRIS AND FLOW MUST BE MAINTAINED.
- 18. NO STRUCTURES SHALL BE ALLOWED IN UTILITY EASEMENT.

- 21. NOTIFY DOT INSPECTOR MR. CURTIS DEWBERRY AT (305) 640-7205, (786) 512-0136 CURTIS DEWBERRY@DOT.STATE.FL.US 48 HOURS PRIOR TO STARTING WORK.

- ALL PULL BOXES, MANHOLES, AND OTHER APPURTENANCES LOCATED IN PROPOS SIDEWALK APEAS SHALL HAVE LIDS FLUSH WITH THE FINISHED GRADE AND ADA COMPLIANT.
- ALL CURB AND GUTTER SEGMENTS REQUIRING REPLACEMENT SHALL BE REPLACED FROM JOINT TO JOINT.

HATCH LEGEND



(1)



	5	
	REVISIONS:	
DATE:	COMMENT:	BY:
7/12/2024	TAC COMMENTS	CJM
		Ι.

Sunshine 811

RETININ, DIPLEMID, STATE OF FLORIDA.
PROFESSIONAL ENCINEER, LETENSE NO. 84350
HIS TIEW HAS BEEN DISTRALLY STONED AND
RESI EN DIVERSE NO. 84350.

TACO BELL REDEVELOPMENT

GPD GROUP

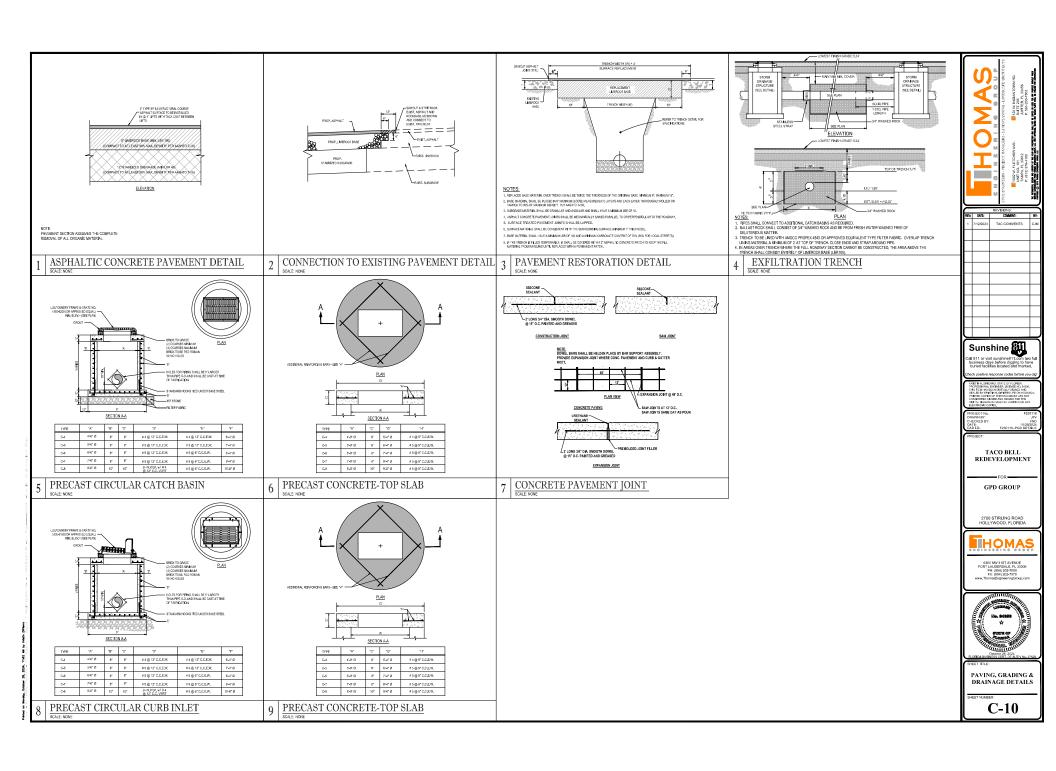


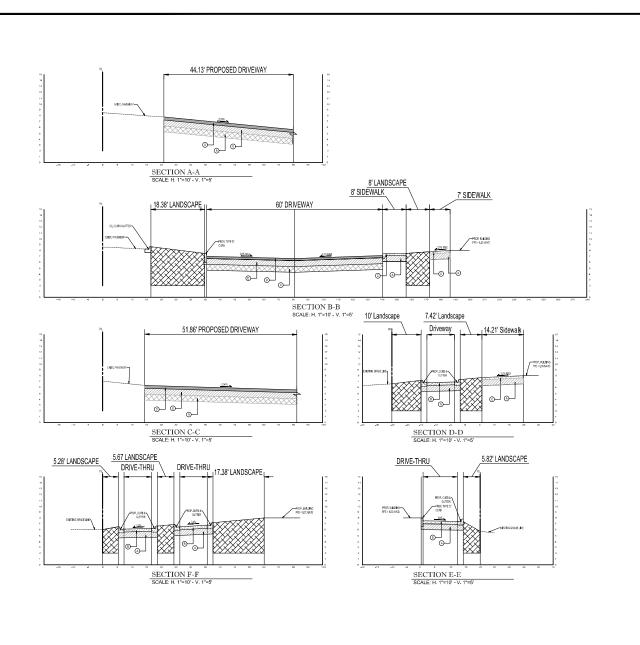
6300 NW 31ST AVENUE FORT LAUDERDALE, FL 33309 PH: (954) 202-7070 FX: (954) 202-7070



PAVING, GRADING &

DRAINAGE PLAN







PAVEMENT LEGEND

- (A) SUB-BASE: 12* STABILIZED SUB-BASE COMPACTED TO 98% OF MAX. DRY DENSITY PER AASHTO T-180 (MIN LBR 40).
- B) CONCRETE PAVEMENT (VEHICULAR USE AREAS): 6" THICK 4,500 PSI CONCRETE.
- © CONCRETE SIDEWALK IN NON-VUA AREAS: 4" THICK CONCRETE.
- (D) WEARNO SURFACE ASPHALIT AREAS:
 INSTALLATION OF 1-172 ASPHALIT CONCRETE SURFACE COURSE FOR
 IGHT DUTY MAD 2-POR HEAVY DUTY WHICH SHALL COMPORN WITH THE
 REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION
 STRANGHOUS PERCENCIATION SO THE SHALL SHALL THE CONCRETE
 AND SHALL BE CONSTRUCTED IN TWO () LIFTS TACK COAT BETWEEN
 LIFTS.
- E) IMER ROOK BASE. VERHICLIAR AREAS (ONDRETTE PAYEMENT AREAS ONLY).

 JUME ROOK BASE COARSE MATTER, JOR PRAVED RACES SHALL BE A WOMEN
 12" THICKNESS FOR HEAVY DUTY AND A MINIMAL 8" THICKNESS FOR LIST!

 DUTY COMPLETED TO SHEW ANDRIAM RRY DEASTIP FOR ASSHITO 1:190 (JRR 100), OTHER SUBSTITUTES SHALL BE PER PROT SPECIFICATIONS AND HONORE COUNTAINENT STATEMENT AND PROTOSE COUNTAINENT AND PROTOSE COUNTA



_		~	_
_		REVISIONS:	_
REV:	DATE:	COMMENT:	BY:
1	7/12/2024	TAC COMMENTS	СЛМ
			Г

Sunshine [1]
Cell 811 or visit sunshine811.com two f business days before digging to have buried facilities located and marked.

KRETI N. DETERRO, STATE OF FLOREDA. PROFESSIONAL ENVANCER. LICENSER INC. MOSO, THAT IT IS THAT THE PROFESSIONAL ENVANCER. LICENSER INC. MOSO, AND SEALED BY VERFIT HAVE DEPERBO, FO ON 102/2020 PRINTED COPE SO OF THE PROFESSIONAL PROFESSIONA

PROJECT No: DRAWN BY: CHECKED BY: DATE:

TAGO DELL

TACO BELL REDEVELOPMENT

GPD GROUP

2700 STIRLING ROAD HOLLYWOOD, FLORIDA



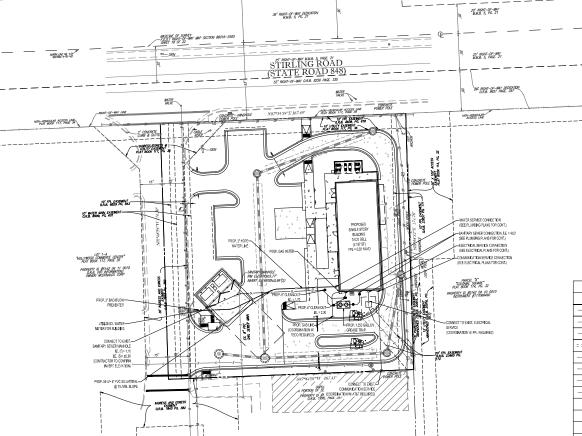
6300 NW 31ST AVENUE FORT LAUDERDALE, FL 33309 PH: (854) 202-7000 FX: (854) 202-7070 www.ThomasEngineeringGroup.com



CROSS SECTIONS







NOTE: CONTRACTOR TO FIELD VERIFY, PRIOR TO CONSTRUCTION, INVERTS, PIPE SIZES, AND MATERIA FOR ALL EXISTING UTILITIES, CONTRACTOR SHALL MMEDIATELY NOTIFY TO THE ENGINEER OF RECORD ABOUT ANY DISCREPANCIES FOUND.

WATER & SEWER DEMAND:

AST FOOD RESTAURANT : 1.187 SF (#0.385 GPD/1000 SF) = 842 GPD

THIS CALCULATION WAS BASED ON BROWARD COUNTY WATER & WASTEWATER ENGINEERING DIVISION "GUIDELINE" FOR DETERMINES ABILITY TO PROVIDE POTABLE WATER AND A STREET OF THE PROVIDE OF THE PROVID

SED ON TYPE II (000) CONSTRUCTION

THE TOTAL AREA OF THE THREE LARGEST SUCCESSIVE FLOORS IS 2:187 SQUARE FEET, AND AS PERNIFPA 1 (2018 ED) TABLE 18.4.5.2.1, THE FIRE FLOW REQUIRED IS 1,500 G FOR A DURATION OF 2 HOURS.

<u>U</u>	TILITY LEGENI	<u>D</u>
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	UNDERGROUND - WATER LINE	n-
E	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND TELEPHONE LINE	
	= STORM =	
	SANITARY SEWER MAIN	
	SANITARYSEWER LATERAL	s
	GAS SERVICE	
	OVERHEAD WIRE	
₩	HYDRANT	•
S	SANITARY MANHOLE	
(D)	STORM MANHOLE	0
	CATCH BASIN	•
	WATER METER	
	BACKFLOW PREVENTER	**
	CLEAN OUT	9

NOTES:

- . THE BOTTOM ELEVATION OF THE EXTERIOR ELECTRICAL AND/OI MECHANICAL EQUIPMENTS SHALL BE ELEVATED TO MATCH THE
- PROPOSED FFE.
 ALL UNDERGROUND FIRE MAIN WORK MUST BE COMPLETED BY
 FIRE PROTECTION CONTRACTOR HOLDING A CLASS I,II, OR V
 LICENSE PER FS 633.102

UTILITY NOTES:

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING

- THE CONTRACTOR SHALL PIELD VERBY ALL EASTING UILLITY UILS CONTRACTOR SHALL PIELD VERBY ALL EASTING UILLITY UILS THE DESIGN LOOFATIONS SHALL BEFEROYRED TO THE OWNER OR ENGINEER PRIOR TO CONSTRUCTION.

 CONTRACTOR SHALL REFER TO PLANS BY OTHERS FOR ENTRY CONTRACTOR SHALL COORDINATE ENTRY EXPENDED SHALL EXCENT OF ALL COORDINATE INSTALLATION OF UILTIES IN SUCH A MANNER AS TO A OVID CONFLICTS AND ASSURE PROPERS DEPTHS ARE ACHEVED AS WELL AS AND THE-NEONOMETORS TO THE FRACILITIES.

 AND THE-NEONOMETORS OF THEIR FACILITIES.

 THE SECONDAY OF THE SHALL PIELD SHALL THE OWNER AND CONTRACT PERSONS.

 THE CONTRACTOR SHALL CORROWNET THE INSTALLATION OF ALL THE PROPERS OF THE PROPERS WERE ASSOCIATED SHALL FROM THE PROPERS OF THE PROPE

- SHALL SE IN PLACE PHIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.

 8. CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES ADJACENT TO DRIVE AREAS.
- AREAS.

 19. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES.

 20. PROVIDE WININUM 19* VERTICAL AND 2 HORIZONTAL CLEARANCE OF ELECTRIC CONDUITS TO ANY OTHER UTILITY LINE.

_			_
_		REVISIONS:	_
REV:	DATE:	COMMENT:	BY:
1	7/12/2024	TAC COMMENTS	СЈМ

Sunshine 811

KRETININ, DPIERRO, STATE OF FLORIDA. PROFESSIONAL ENGINEER, LECENSE NO. 84350 THIS TIEM HAS BEEN DISTALLY SIGNED AND SELECTION OF REPORT OF STATE OF STATE.

TACO BELL REDEVELOPMENT

GPD GROUP

2700 STIRLING ROAD HOLLYWOOD, FLORIDA



6300 NW 31ST AVENUE FORT LAUDERDALE, FL 33309 PH: (954) 202-7000 FX: (954) 202-7070



UTILITY PLAN



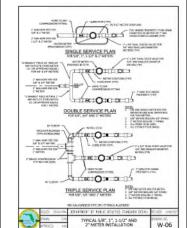
- NOW UNDERSOURCE THAT HE WAS RELIGIOUS THE CHOICE OF GUITTAL HARM WITH ALL P J WARREN CHOOSEN DRICHES AND THE PROPERTY OF THE P
- THE POLITIFICATE GRANG SHALL PRIVATE CONTACT RETAINS DUE THE HISTORIC MATTHEW AND THE POLITICATION OF A STATEMENT AND THE POLITICATION OF
- THE HYDRAM SAMELE SING. BE DICKNED AT THEY WHAT UP THE THE SHOULD SAFEKE, WHETHE WAS HOURS SHALL SET OF COLUMBERS THE HOURS WERE.
- OUTS WARE TO BE AT THE PRINT THE PRESENCE AND HE ALL HE STATE COMMITTEE AND THE PRINT THE PRINT OF THE PRINT THE PRINT OF THE PRINT THE

ISBUED:	STATE	DEMONDET OF PUBLIC HELETIES STANDARD DETAIL	Ev50: 9:4819
DSAMI.	- 02	MATCH CACTCALL LINES	SWEE
APPROVED	100	WATER SYSTEM NOTES	W-01

WATER SYSTEM NOTES (CONTINUED):

- HTTINGS SHALL BE DUCT HE FORE WILLTIMG ANALYSMING CESSARSES SHALL BE UND EATERS. WITH MRY PO-MINISTERS WITH REPORT PROBLEM. HTTINGS MASS THE LANGEST INCOMPANIES ACCURTED FROM MISSARING. CEGANS, 4-9 J. ALLOYCT M. WICH PRIS AND HTTINGS MET BE MANY PACTURED BE THE YANTED STATES. AMERICA.
- ALL DUCTLE BRING FOR THE BEDESHARESAL ARMY, WANTED BRIDE ADDITION PROTECTIVE MEASURES. AGAINST CONTRIBUTION WALL BY LIFED AS DETERMINANT OF DESIGN.
- 15. PAVEMENT RESPUBLISHMENT IN CAMBES BUT IN ACCOUNTING WITH THE RECOMMENDS OF THE FITY
- ALL TRENCHING, SHE LANSKY, BACKER, PRETRIES TESTING, AND DESCRIPTING MESS COMPLEMENT FOR CITY OF POLLYMNING ENTONE PROPERTY.
- 17. THE MINIMUM CHITTEEN CONTRICTOR BATTER MANY, IS NOT CONTRICT BY
- MARKEN DEPOSITS THE MATERIAL SERVICE ANALYSISTERS SETTIMENT AND MATERIAL SERVICES. CONTRACTOR SHILL HE REPORTING FISHER/FITTING CONFIDENT WITH MATERIAL PROMISED AND ADDRESS OF THE MATERIAL PROMISES OF THE SHIP OF THE PROMISES OF THE ADDRESS OF THE SHIP OF THE PROMISES OF THE ADDRESS OF

	59.E0	(Trittel)	DEPARTMENT OF POSICE VIOLITIES STANDARD DETAIL	ISISE WWW.
10 /	DRAWN	ENT	WATER SYSTEM NOTES	PANT III
	APPROVED	300	WATERSTSTEWALTES	W-02



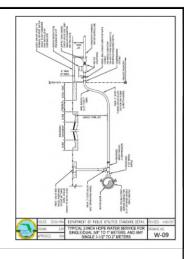


 FOR EXECTING METERS ABSTITUTE THE RESIST-OF WAY THAT ARE BEING DISCUMMETED FINCH EXISTING METERS AND PECCHANICIES TO BE A VANDS. THE CONTRACTOR METERS CUT AMERICA THE BRITTING SERVICE LINE AT THE MAN AND AT THE METER, AMERICANCE THE CHITTING GALL SALM CURRECTOR.

 PUBLISH AND RETAIL STREET SACREE, COMPONITION STOR ON SERVICE WHILE MAY WAS BOOK, PRINCE WHICH THE AND WAS BOOK, PRINCE WHILE COMPONITION OF THE STOR. 12. THE ELEVATION OF THE TIPE OF THE METER BOX HIGH MISTOR THE ELEVATION OF THE EACH OF SOURCE, INCOMES BRACEOUS

14. FOR UMPARED AREAS, THE MINIMUM CRISINED COVEY ACCEPTED BY THE CITY IS SCIEDARD

PROD M		WATER METER SERVICE NOTES FOR SIST THROUGH 2" METERS	W-07
20000	210	SENSITIVE AT THE MUSIC STUDIES STATISMS SERVICE	Secretary and the second





		9	
=		REVISIONS:	=
£۷:	DATE	COMMENT:	Br:
1	7/12/2024	TAC COMMENTS	CJM
			T

Sunshine आ Call 811 or visit sunshine 811.com two t business days before digging to have buried facilities located and marked.

PROJECT No.: DRAWN BY: SHECKED BY

TACO BELL REDEVELOPMENT

GPD GROUP

2700 STIRLING ROAD HOLLYWOOD, FLORIDA



6300 NW 31ST AVENUE FORT LAUDERDALE, FL 33309 PH: (664) 202 7000 FX: (064) 202 7070 www. IllomazEngineoringCroup.com



UTILITY DETAILS

C-13

- WATER MAIN TESTING AND DISINFECTION NOTES: NO COMPLETIONS TO THE EXISTING WIND SHALL IS MADE WITH, THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE REEN PERFORMED ON THE PROPOSED MATERIANS OF THE STANKING ON THE PROPOSED MATERIANS.

L+S+D+F SHEND

- L = THE ALLOWABLE LEARANCE IN GALLEME FOR HOUSE.

 5 THE LEMETH OF FIFE BUING TESTED.

 D THE MOTHMAL DARRIETER OF THE FIFE WHILE DESTED.

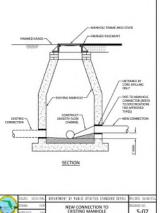
 F THE MOTHMAL TEST PREDICTIES IN PROJECTS FIFE TESTED.
- THE COMPLETE LEMOTH BY THE PEOPLETS WATER MAIN SHALL BE TESTED, BY LEWISTING WIT TO DECEMBE ZURSI FIRST MER TEST.
- 4. PROPOSED WATER MARKS SHALL BE USING CITED IN ACCEPTANCE WITH THE NATION CONSCIENTS WATER MAKENDAMES WITH SPECE CATION SECTION 1987, THE THE TOTAL AND DESIRECT WATER AND SECTION SECTION 1987, THE PARTY TOTAL AND DESIRECT WITH SPECE CATION SECTION 1987.
- 5. DACTERCACOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR
- THE WATER DEFINIBLITION SISTEM SHALL NOT THE COMMERCIAL FORWARD AND READY FOR THAIL HAPPETIEN INITIAL SUCCESSION, TEST RESULTS ARE DETAINED FOR ALL TESTS OSS CHILD AREXE.

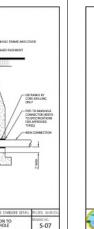
	SSUFE	気を存る	DEPARTMENT OF PERLIC WILLTHEN STANDARD ORTHOG	SAME SHIP
	ORAUN)	541	WATER MAIN TESTING AND	SHARK IS.
	APPROVED	103	DISINFECTION NOTES	W-14

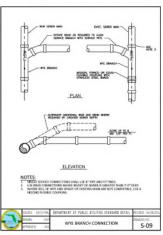
SEWER NOTES:

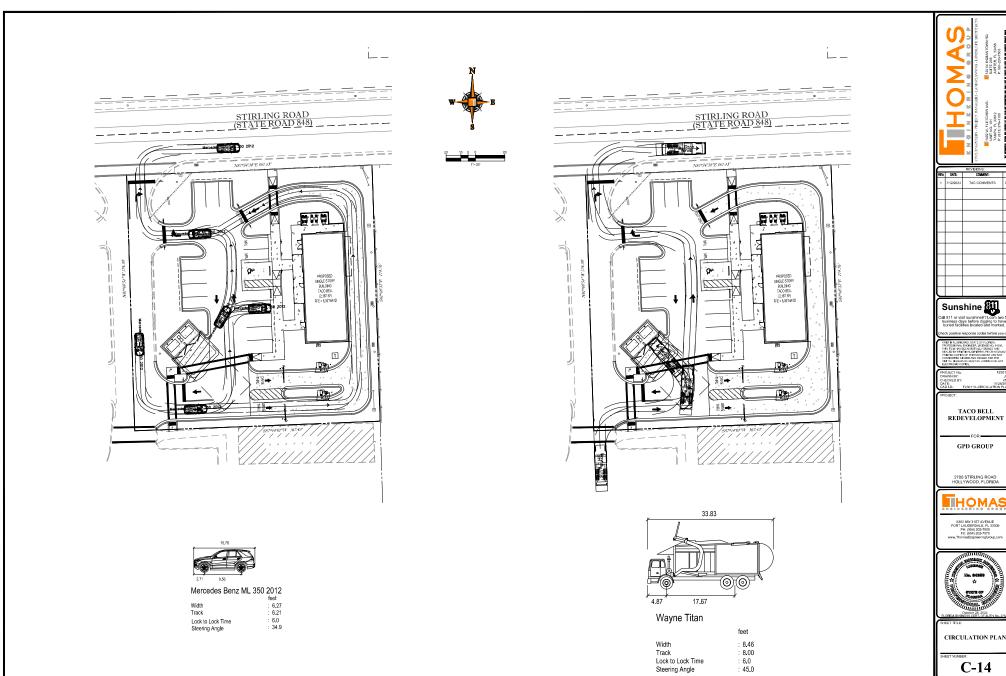
- THE MARKED IN EITHS OF COVER CHES D. P. SANTARY SCHOOL GRANTS OF TORIZ INVASIS S. SY. THE MINISH AN DESTRICT COVER DWEST PIC SANTARY SERVES ON FORCE SWARE IS ST.
- ALL CONNECTIONS TO DESTRUCT MARKS SHALL BE THE RESPONSION OF THE CONTRACTOR.
- LIAMAZ TISTI ALE ALONGEST I AMPROS TISTI ANGLE DI PROVINCIO A RICHE MONTO LASS LY TO THE COMMUNICATION PORT AFT THE DELIGIBLE OWNER STITLES THE STATE SHALL AS STILLED AND PAGE TAR OWNER.
- A LIAMANE TOST DIRELLE MENTENEN PRESENTATION A GAMENT REPORT FERTIL NELLE MENTENEN PRESENTATION AND CONTROLLE MENTENEN PRESENTATION AND CONTROLLE MENTENE PRESENTATION AND CONTROLLE AND CONTROLLE MENTENE PRESENTATION AND CONTRO
- FORCE MARKE SHALL BE PRUSUAL TUSTES IN ACCUMUNICS WITH FRUIT AS THE FACE OF PROTEINE BUS ONLY CONSIST OF FACILITIES A TRITE PROTEINED OF THE FIRST THE FORCE OF THE A COMPANIES OF THE FACE OF THE FAC

1	SSUE21:	Distriction.	PERSONNERT OF PUBLIC STILLINGS STANDARD SETAIL	PENERS SHOWING
	DESIME.	15//	SANITARY SEWER MAIN	DMMNG NO.
	MANOR	2 733	CONSTRUCTION NOTES	5-01









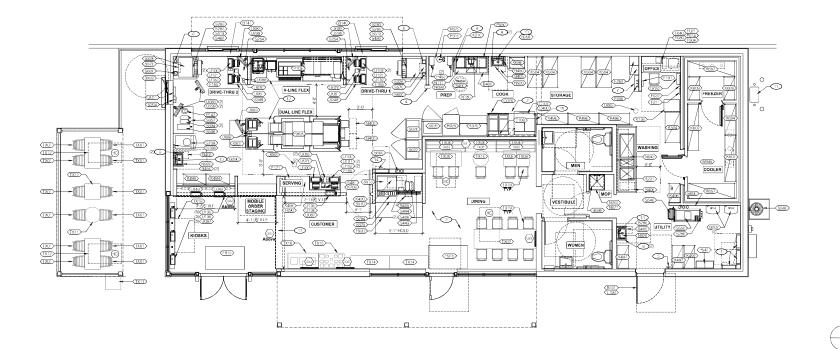
HOMAS



CIRCULATION PLAN

"This submittal is for general informational purposes only and is preliminary in nature. As such, any other use or reliance is strictly prohibited."

Mark S. Salopek, LLC



_					
CONT	RACT DA	TE:	04/30/24		
BLDG	BLDG TYPE: KITCHE				
WM L	PLOAD D	ATE:			
BRAN	D DESIGI	TS			
SITE	NUMBER:		296861		
STOR	E NUMBE	R:	461022		
PA/PI	A:		Dowling		
DRAV	/N BY.:		RS		
WM L BRAN SITE I STOR PA/PI	IPLOAD D D DESIGI NUMBER: E NUMBE VI:	ATE: NER:	TS 29686 46102 Dowlin		

KITCHEN-X MED20

2700 Sterling Rd.

EQUIPMENT

AND SEATING

PLAN

EQUIPMENT AND SEATING PLAN 1/4"=11:0" A

 ELECTRICAL PANELS.
 HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).
 MAINTAIN 38" MIN. CLEAR ACCESSIBLE AISLE EGRESS PATHS IS ACCESSIBLE. MAINTAIN 36" MIN. CLEAR ACCESSIBLE AISLE EGRESS PATHS TO EXIT DOORS, 92" AT DOORWAYS AND CASED OPENINGS. (42" AISLE REQUIRED WHEN AISLE SERVES MORE THAN 50 SEATS).

C1

- SERVES MORE THAN 05 SEXTS)

 ALERT LIGHT BOX FOR 20 COMP POWER SOAK.

 PULL STATION § 3*A X.F.

 REPROSENTIL NES RUN IN SS CHASE MOUNTED TO WALL.

 TEDGE ENERGY MANAGEMENT BOX ABOVE COAT RACK FOOD.

 NOT USED.

 SPLASH GLARD.

 JATIONATIC NUIS SOAP AND SANITIZER DISPENSERS PROVIDED BY ECOLAB.

 GAS METER.

 OF ROP MALAY EX LINE AND HUNE FLEX SUB-FOURMENT SEE SHEETS AS 2.8.
- TO TO DUAL-FLEX LINE AND I-LINE FLEX SUB-EQUIPMENT SEE SHEETS A8.2 & A8.3.
- 13 ROLL-UP GRILLE.
 14 LOCATION OF V-LINE ELECTRIC PANEL.
 15 HOOD END PANEL.

is signed electronically by \underline{M} . Salopeis, on the date and/or time stamp shown using a digital inded cooles of this are not considered signed and sealed and the signature must be verificantic copy."

PLOT DATE:

TAG	QTY	ITEM DESCRIPTION	TAG	QTY	ITEM DESCRIPTION
TX01	12	PATIO CHAIR - 22 X 20 - EXTERIOR	TX19	14	CHAIR - LAMINATE SEAT
TX03	2	BENCH BACK REST - 48"			
TX04	2	BENCH SEAT - 48*			
TX05	1	BENCH BACK REST - 60"			
TX06	-1	BENCH SEAT - 60"			
TX07	1	HUB TABLE - 96* - (NOT HIGH TOP)			•
TX08	2	LAMINATE TABLE - 24 X 20 X 30 - 2 TOP			
TX09	1	LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP			
TX10	1	SS TABLE - 24 DIA X 30 - 2 TOP			
TX11	- 1	PATIO TABLE - 24 DIA X 30 - 2 TOP - EXTERIOR			
TX12	2	PATIO TABLE ADA - 24 X 48 X 30 - 4 TOP - EXTERIOR			
TX13	-1	PATIO TABLE - 24 X 20 X 30 - 2 TOP - EXTERIOR			
TX14	2	COUNTER TOP - 60° X 20° X 30°			
TX15	-1	CONDIMENT COUNTER - RECTANGLE			
TX16	1	WASTE ENCLOSURE - 3 STREAM			
TX17	-1	WASTE ENCLOSURE - SINGLE - EXTERIOR			
TX18	-1	KIOSK TABLE W/ (2) CORE DRILLED SUPPORTS, (3) GROMMETS			

QTY	ITEM DESCRIPTION	×	QTY	NAME	FAMILY	FRAME OR MURAL	SIZE	LOCATION
14	CHAIR - LAMINATE SEAT	(3X)	1	TBD			H 7-0°x W 15-0°	SEE AB.0
		(axi)	1	TBD			** 10.0	SEE AB.0
		(30)	1	TBD			H 13'-0" x W 14'-0"	SEE A8.0
		3%	1	TBD			28x40	SEE A8.0
		an	1	TBD			28x40	SEE A8.0
		(30)	1	TBD			30"	SEE A8.0
		CATALO	3 ON 1	OVIDED IS FPO (fo FACOBELLPLANS	COM FOR	3 OTHER O	PTIONS	
		MLL DIME	DICKI	NS ON WALLS TO	KECEIVE	INIORALS SH	WEL BE	LIEFN AFKIL I

PRIOR TO ORDERING AND LARGER THEN ACTUAL WALL FOR EDGE TO EDGE COVERAGE. ARTWORK SCHEDULE

STORAGE TYPE LINEAR FT. FROZEN STORAGE

GENERAL NOTES

1. REFER TO SC SHEETS FOR SCOPE OF WORK FOR RESPONSIBILITIES

2. (IC) SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE

DECOR

SHELVING QUANTITIES С

KEY NOTES



"This submittal is for general informational purposes only and is preliminary in

		1					1	N. P. College			1	
SYMBOL	ITEM / MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	NOTES	CONTACT INFORMATION	MISCELL		1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.		BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS. DRIVE-THRU WINDOW. SEE SHEET A1.0 AND A1.1.	
CLADDIN							-				METAL CANOPIES BY VENDOR: REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.	
	SIDING, LOWER HALF OF BUILDING	X	CMU STACK BOND	GRAY	X	X			IO SPECS):		ARCHITECTURAL METAL PANELS.	l ——
	GONO, CONCINUE OF DOLDING						A. SEAL	ANT AT A	ALL WALL AND ROOF PENETRATIONS.		5 HORIZONTAL WALL PLANKS.	
	SIDING, UPPER HALF OF BUILDING	PAC-CLAD	BOX RIB 1 ARCHITECTURAL WALL PANELS - 24 GA. STEEL	SLATE GRAY	1-3/8" DEEP PANELS	X	B. SEAL	ANT AT A	ALL WINDOW AND DOOR FRAMES AT HEAD AND IT SEAL SILL AT WINDOWS.		WALL LIGHTING - LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0	
ا ا			PANELS - 24 GA. STEEL				THE GEN	ERAL CO	NTRACTOR SHALL ENSURE THAT THE BRICK		AND ELECTRICAL DRAWINGS.	
TRIM			DDAYCHETAL CUED EDT CHO	MATCH STOREFRONT		- V	JOINTS A AND FLU		B AND LEVEL, AND THE BRICK FACES ALIGNED		7 INDICATES TOP OF ROOF DECK.	
38	WALL TRIM: VERTICAL	-	BRAKEMETAL OVER FRT 2X6	MATCH STOREFRONT		*	VENDOR	SUPPLIE	D / INSTALLED ELEMENTS		ROOFTOP EQUIPMENT - SHOWN DASHED FOR REFERENCE. BOLLARDS PER CIVIL.	CONTRACT D
<u></u>		_	BRAKEMETAL OVER FRT 2X8	MATCH STOREFRONT	Y	Y	GC TO C	OORDINA	TE WITH VENDOR PROVIDED / VENDOR		ILLUMINATED METAL TUBE ARCH BY SIGN VENDOR.	BLDG TYPE:
35	WALL TRIM: HORIZONTAL		DIVINENCE OF CITTIES	III OT GT GT GT GT TO W	^	l^	INSTALLE	D SIGNA	GE AND BUILDING ELEMENTS.		(11) WALK-UP ELEMENT AND CANOPY BY SIGN VENDOR.	WM UPLOAD D
METAL							+				CUSTOM METAL RTU SCREEN. SEE ROOF PLAN AND DETAIL 1 / A6.2.	BRAND DESIG
4	PARAPET CAP	x		SW7674 PEPPERCORN	x	X	1				(13) ACCESS DOOR IN PARAPET. MATCH SURROUNDING WALL MATERIALS / COLORS.	SITE NUMBER
											14) EXTERIOR RAILINGS AT SEATING / WALKUP WINDOW. SEE DETAIL 14/A6.2. SEE	STORE NUMBER
5	OVERFLOW SCUPPERS	X		SW7674 PEPPERCORN	X	Х	1 —		GENERAL NO	TES C	- SINE PLAN FOR ESCATION	PA/PM:
							_		GENERAL NO	IE3 C	15 METAL WRAP TO MATCH EXTERIOR STOREFRONT FRAMING (BLACK). 16 ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1.	DRAWN BY.:
6	SERVICE DOOR AND FRAME	x		SW7674 PEPPEROORN	Х	X					17) HOSE BIB - REFER TO PLUMBING DRAWINGS AND DETAIL 12/A6.1.	JOB NO.:
											(®) O∞ ENCLOSURE, FILLER VALVE BEYOND.	30B NO
7	METAL TUBE FRAME - REAR OF BUILDING	×		REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X					(9) NOT USED	KITCHE
	(BY VENDOR)						TAG	OTY	ITEM DESCRIPTION	ELEC	SWITCHGEAR. IF ALLOWED BY JURISDICTION, PAINT TO MATCH WALL SURFACE.	2700
8	METAL ARCH TUBE FRAME	l×		REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	l×	V-1	2	20' WHITE CHANNEL LETTERS VERTICAL	YES	CONCRETE BUILDING CURB SHALL BE PAINTED BLACK.	Hollyw
	(BY VENDOR)					-		-			22 OVERFLOW SCUPPER	
9	RAILINGS AND POSTS	AMERICAN RAILING SYSTEMS		PRE-FINISHED TO MATCH SW7674 PEPPERCORN (PREFERRED POWDE		×	V-04.42	2	42' SWINGING BELL PURPLE LOGO FACE LIT	YES	GAS METER, DO NOT PAINT METER	1 4
<u></u>		LAWRENCE METAL	ARCHITECTURAL PERFORATED METAL	COATED)	CUSTOM 13 X 14 3-SIDED METAL ENCLOSURE, ANCHORED TO ROOF. PROVIDE		V-2	1	13-0" X S3" WALK-UP WINDOW ARCH ELEMENT	NO	24 EMERGENCY LIGHTS, SEE ELECTRICAL SHEETS	l (2
10	EQUIPMENT SCREEN	STRUCTURES	SCREEN SET IN FRAME	MATCH PANTONE 2306C	SHOP DRAWINGS. APPROVAL REQUIRED BY ARCHITECT AND STRUCTURAL.	*	V-3	1	60°W X 36° D X 6° H WALK-UP WINDOW CANOPY	YES	ANDICAP SIGNAGE; MOUNT AT 5-0" A.F.F.	4
<u></u>		Y		PAINTED OR POWDERCOATED TO	ENGINEER PRIOR TO COMMENCEMENT OF FABRICATION.	Y	V-4	- 1	TB CORNER WRAP ELEMENT WITH BELL LOGO	YES	26 SECURITY DOOR, OWNER-SUPPLIED / G.C. INSTALL	[T
11	EXTERIOR METAL CANOPIES, BRACKETS AND COLUMNS (BY VENDOR)	l^		MATCH SW7674 PEPPERCORN	^	l^	V-5	2	90" X 90" SWINGING BELL LOGO WITH FINISHES	YES	② WALK-UP WINDOW.	1 -
\vdash		BRIDGER STEEL	7.2 STRUCTURAL BOX RIB PANEL	REFER TO SIGN SHOP DRAWINGS	x	x	_	<u> </u>	ENTRY ARCH ELEMENT	VEC	PATIO CANOPY BY VENDOR.	1
12	ACCENT PANEL (BY VENDOR)			FOR FINISH COLORS, TYP.			V-6	1		YES	PAINTED ALUMINUM FRAME WITH INTEGRATED LED LIGHTING BYVENDOR.	EXT
PAINT		1					V-7	1	DIRECTIONAL BLADE SIGN	NO	30 NOT USED.	ELEV
15	C02 ENCLOSURE	SHERWIN WILLIAMS	EXTERIOR PAINT (OR PRE-FINSIHED TO MATCH)	SW7674 (PEPPERCORN)	X	X					ASSUME D/T LAND SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.	
			mystoriji									1
COORDI	ACTION NOTE				·					er i er	de la deservación de M. Colonela de la deservación del deservación de la deservación	_
	FYOUR ALIGNED BRAND DESIGNER FOR ALTERNAT	TVE FINISHES									slaned electronically by M. Salopek, on the date and/or time stamp shown using a digital it didopies of this are not considered signed and sealed and the signature must be verified.	A2
Lecuino	TOOT ACCURED DISAND DESIGNED FOR ALTERNAT	IVE I INDICO					NOTE TO	L	DISTRICT DATABASE FOR APPROVAL MESSAGE	onlany otoeco	e copy."	A4
								EH IU G	RAPHICS PACKAGE FOR ADDITIONAL INFORMATION		l	PLOT DATE:
					EXTERIOR FINISH	SCHEDULE E			EXTERIOR SIGN	AGE D	NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET KEY NOTES B	

Mark S. Salopek, LLC



WALK-UP ELEVATION 1/4"-1"-0" A

BLDG TYPE: KITCHEN-X MED20 WM UPLOAD DATE: BRAND DESIGNER: SITE NUMBER: 461022 Dowling DRAWN BY.: RS JOB NO.: 2023088.52

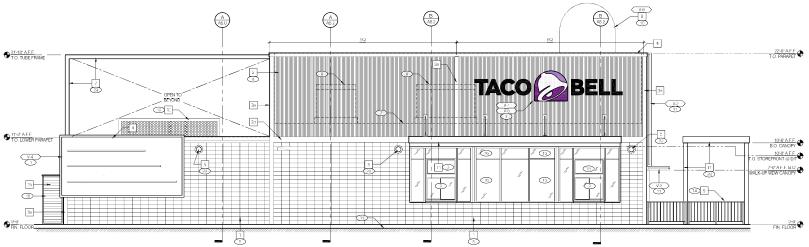
KITCHEN-X MED20 2700 Sterling Rd. Hollywood, FL 99020



ELEVATIONS

"This submittal is for general informational purposes only and is preliminary in nature. As such, any other use or reliance is strictly prohibited."

Mark S. Salopek, LLC



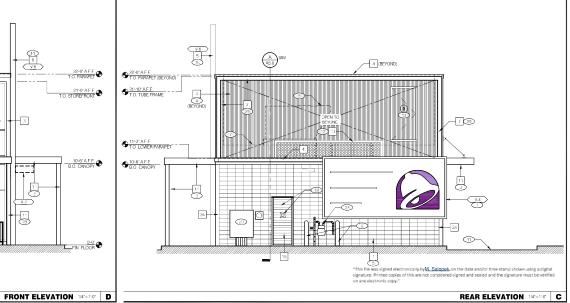
SEE SHEET A4 0 FOR KEYNOTES, FINISH SCHEDULE AND SIGNAGE SCHEDULE

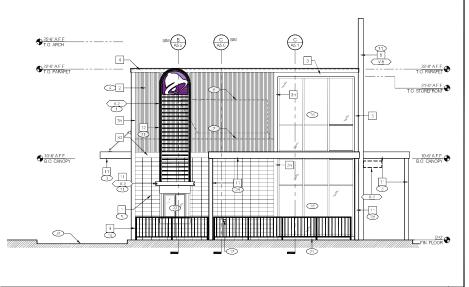
DRIVE-THRU ELEVATION 1/4*-11:0* B



CONTRACT DATE: 04/36/24
BLDG TYPE: WITCHEN-X MED20
VM UPLOAD DATE:
BRAND DESIGNER: TS
SITE NUMBER: 298861
STORE NUMBER: 46/10/22
PAPM: Dowling
DRAWN BY: RS
JOB NO: 2023066 52
KITCHEN-X MED20
2700 Sterling Ed.
**Colored Page 16/10/2006 16/

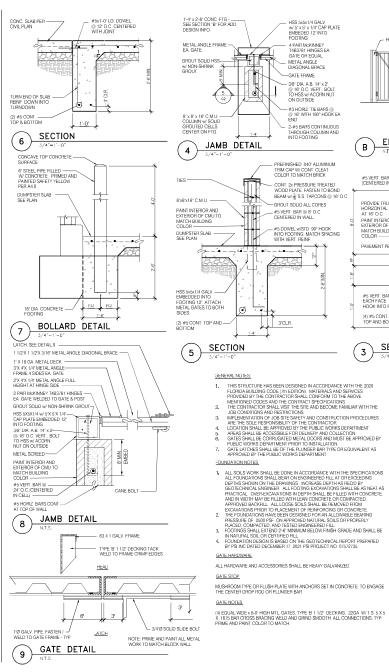
EXTERIOR ELEVATIONS



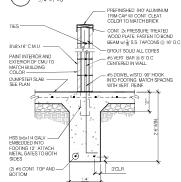


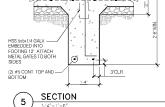
Mark S. Salopek, LLC

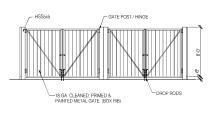
Cleveland, OH 44111 Phone 350377, 2111

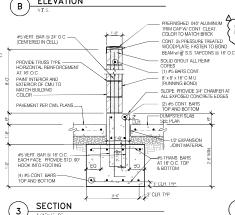


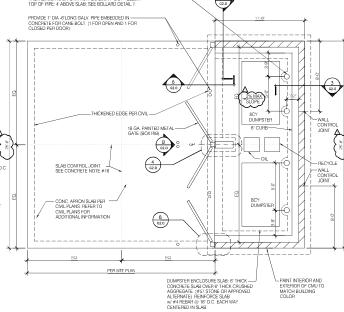
HSS 5v5v1/4/GALV moo axxx i/4 GAEV. w/ 5' x 5' x 1/4' CAP PLATE EMBEDED 12' INTO FOOTING Ħ٦ METAL ANGLE DIAGONAL BRACE GATE FRAME 3/8" DIA. A.B. 14" x 2" @ 16' O.C. VERT., BOLT TO HSS w/ ACORN NUT ON OUTSIDE #3 HORIZ TIE BARS @ 16" WITH 180" HOOK EA END 2-#5 BARS CONTINUOUS











DUMPSTER ENCLOSURE PLAN Α

6' DIAMETER BOLLARD PAINT WITH TOLICH-UP SHOP PRIMER

MASONRY NOTES:

ELEVATION

- 1. ALL CONCRETE MASONRY SHALL CONFORM TO 'BUILDING CODE
- ALL CONCRETE MASCANT SHALL CONFORM TO SULLIONS CODE
 RECURREMENTS FOR MASCANT STALL CONFORM TO SULLIONS CODE
 RECURREMENTS FOR MASCANT STRUCTURES (TIME 302-36) AND LOCAL
 RECURREMENTS STRUCTURES (TIME 302-36) AND LOCAL
 RECURREMENTS AND THE STRUCTURES (TIME 302-36) AND LOCAL
 RECURREMENTS AND THE STRUCTURES (TIME 302-36) AND THE STRUCTURES ASSIN CZD. TYPE S. MORITAR WITH A MANIMUM COMPRESSOR STREAMS
 ASSIN CZD. TYPE S. MORITAR WITH A MANIMUM COMPRESSOR STREAMS
 MORITAR MAY BE USED FOR IN MASCANT WALL SECRET TYPE IN
 MORITAR MAY BE USED FOR IN MASCANT AND CARE SHOUT [38]
 MAXIMUM AGGIRECATES WITH A MANIMUM COMPRESSOR STREAMS IN
 MASCANT MASCANT AND THE STREAMS AND THE STREAMS IN THE STREAMS AND THE STREA
- 2000 PG IN 28 DAYS. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. LAY MASONRY UNITS WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS. BED WEBS IN MORTAR IN STARTING COURSE OF FOOTINGS AND IN ALL COURSES OF COLUMNS AND PILASTERS, AND WHERE ADJACENT TO CELLS OR CAVITIES TO BE REINFORCED OR FILLED WITH CONCRETE OR GROUT BLOCKS TO BE STAGGERED (RUNNING
- BUND). VERTICAL REINFORCING LAP SPLICES SHALL BE 48 BAR DIAMETERS NOTIFICATE THE PROPERTY OF THE STATE OF THE
- MONTAMENTAL MONTAMENT AND A STATEMENT OF THE MONTAMENT AND FILES OF CANTIES TO BE REINFORCED AND FILES SHALL BE REMOVED. MORTHAP PROTRUSIONS IN COLLAR-JOINT SHALL BE REMOVED. MORTHAP PROTRUSIONS IN COLLAR-JOINT SHALL BE REMOVED. BEAMS LEVATION. PROVIDE LAP BETWEEN BOUNDE BEAMS IN LOVID BEAMS LEVATION. PROVIDE LAP BETWEEN BOUNDE BEAMS IN LOVID SHANS OF VERTICAL REINFORCING OR

- BETWEEN BONDS BEANS THROUGH 2 BARS OF VERTICAL REINFORDING of A FEET WINDOWNERS OF SEATED WINDOWN PRODUCTION OF THE PROPERTY O

This item has been digitally signed and sealed by M. Salopekon the date adjacent to the saal Printed copies of this document are not considered signed and sealed and the signature must

CONCRETE NOTES:

- HEINFORCED CONCRETE WORK SHALL BE IN ADDORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR PERFORCED CONCRETE AD 318-14 TO OMEY WITH SCHOOL CONCRETE AD 318-14 TO OMEY WITH SCHOOL CONCRETE ADDORDANCE ADDORDANCE OF THE ADDORDANCE OF THE ADDORDANCE OF THE ADDORDANCE OF THE ADDORDANCE OWNERS OWN

- CONFORMING TO ASTMICTOU, TYPE I. AGGREGATE SHALL CONFORM TO ASTMIC33 FOR NORMAL WEIGHT CONCRETE. PRIOR TO CONCRETE PLACEMENT, THE CONTRACTOR SHALL SUBMIT A CONCRETE MIX DESIGN PREPARED IN ACCORDANCE WITH THE SPECIFICATIONS
- TO THE ARCHITECT FOR REVIEW.
- TO THE ARCHITECT FOR HEVIEW.

 CONCRETE PRACTICES SHALL BE FOLLOWED FOR COLD WEATHER/HOT WEATHER CONSTRUCTION IN ACCORDANCE WITH ACI 305 & 306.
- REINFORCING BARS SHALL CONFORM TO ASTIM AGI 305 & 306
 PROVIDE CORNER BARS AT ALL LOCATIONS WHERE REINFORCEMENT CHANGES
 DIRECTION. PROVIDE STRAIGHT AND DIAGONAL BARS AT EDGES OF ALL
 OPENINGS.
- OPENINGS
 REINFORCEMENT SHALL BE DETAILED, FABRICATED, AND PLACED IN
 ACCORDANCE WITH THE A CT "DETAILING MANUAL NO, SP-66", SUBMIT STEEL
 REINFORCEMENT SHOP DRAWINGS, INCLUDING DETAILS, OF FABRICATION,
 BENDING, AND PLACEMENT, PREPARED ACCORDING TO ACI 315, DETAILS AND
 DETAILING OF CONCRETE REINFORCEMENT. DETAILING OF CONCHETE HEINFORCEMENT!"
 REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING.
 - CONCRETE: IF REQUIRED, ADDITIONAL BARS, STIRRUPS, OF CHAIRS SHALL BE PROVIDED BY THE CONTRACTOR TO PURNISH SUPPORT FOR BARS. REINFORCING BARS SHALL HAVE THE FOLLOWING MINIMUM CONCRETE COVER: CAST AGAINST EARTH: 31
- CASI AGAINSI EARTH:

 EXPOSED TO EARTH OR WEATHER (#5 OR SMALLER):

 EXPOSED TO EARTH OR WEATHER (#6 OR LARGER):

 ON THE CONTROL OF THE CONTROL THAN 5000 PSI.
- THAN BOOD PSI

 ANN-DHA ROODS SHALL BE ASTIN FISH, GRADE 36 (GALVAN/ZED)

 PROMDE SAW-CUT CONTROL JOINTS IN THE CONTRICTE SLAB AS SHOWN ON THE

 PROMDE SAW-CUT CONTROL JOINTS IN THE CONTRICTE SLAB AS SHOWN ON THE

 PROMISS IF NOT SPECHED ON THE DOWNINGS, PROVIDE 18' WIDE YI TUBER

 SAW-CUT CONTROL JOINTS WITH THE FOLLOWING PROVISIONS. JOINTS SHALL

 BE COULD AT SECH BILLIONS GOULD AN OLD SHAD SHALL

 BE COULD AT SPACE ON BOIT DIRECTIONS WITH A MINIMAM SPACING OF 10-77

 SLAB FIRSTEN, CONTROL WITH AND SIZE AS SHAPPENS DO NOT WELL

 SLAB FIRSTEN, STATE OF THE PROFILE SHAPPENS DO NOT WELL

 CONCRETE SUPPLIES. PROVIDE THE FOLLOWING FIRSTEN FOR THE SHAPPENS DO NOT WELL

 BETT ON THE SHAPPENS SHAPPENS THE CONTROL THE PROFILE SHAPPENS DO NOT WELL

 CONCRETE SUPPLIES. SHAPPENS THE CONTROL THE SHAPPENS DO NOT WELL

 CONCRETE SUPPLIES. PROVIDE THE FOLLOWING FIRST PROFILE OF THE PROFILE
- COVERED BY WATERPROOFING OR OTHER DIRECT-APPLIED MATERIAL ROUGH-FORMED FINISH ELSEWHERE

AR91472

"This submittal is for general informational purposes only and is preliminary in nature. As such, any other use or reliance is strictly prohibited."

1. STRUCTURAL STEEL WORK SHALL BE IN ACCORDANCE WITH THE A LS.C.

- STRUCTURAL STEEL WORK SHALL BE IN ACCORDANCE WITH THE A 1S.
 SPECIFICATION SO OF THE DESIGN. AFRORATION AND BETTOTION OF STRUCTURAL
 STEEL FOR BUILDINGS PURIFICATION OF THE CODE OF STRUCTURAL
 STEEL FOR BUILDINGS PURIFICATION OF THE CODE OF STRUCTURAL
 STEEL STRUCTURAL OF THE STRUCTURAL
 STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING
 CHANGES AND STRUCTURAL STRUCTURAL STRUCTURAL
 CHANGES AND STRUCTURAL SHALL SHALL
 STRUCTURAL STRUCTURAL SHALL SHALL
 STRUCTURAL STRUCTURAL SHALL
 SHALL
 STRUCTURAL SHALL
 SHAL
- 22
- NUTS SHALL CONFORM TO ASTM A563 HEAVY HEX CARBON STEEL
- WASHERS SHALL CONFORM TO ASTM F436 HARDENED CARBON STEEL BOLTS, NUTS, & WASHERS SHALL BE FURNISHED WITH ZINC COATING IN ACCORDANCE WITH ASTM A153. WELDING SHALL BE IN ACCORDANCE WITH THE STRUCTURAL WELDING CODE
- ANSI/AWS D1.1, AMERICAN WELDING SOCIETY. USE E70XX ELECTRODES. STEEL EXPOSED TO THE EXTERIOR SHALL BE HOT DIPPED GALVANIZED ACCORDING
- DRAWINGS DRAWINGS SHALL INCLUDE FIELD MEASUREMENTS AND CONDITIONS

SPECIAL INSPECTIONS:

SPECIAL INSPECTIONS ARE TO BE PROVIDED IN ACCORDANCE WITH SECTION STEUDIAL INSPECTIONS SHELD BE IN ADDITION TO THE INSPECTIONS CONCINED THE STEED AND SHELD BE IN ADDITION TO THE INSPECTIONS CONCINED BY THE DEPARTMENT OF BUILDING SAFETY AND SHALL NOT BE CONSTRUCT TO RELIEVE THE OWNER OF HIS AUTHORIZED AGENT FROM REQUESTING THE FERMIODIC AND CALLED INSPECTIONS REQUIRED BY THE BUILDING SCORE SPECIAL INSPECTION SHALL BE PREID BY THE OWNER.

REQUIRED SPECIAL INSPECTIONS:

IN ADDITION TO THE REGULAR INSPECTIONS. THE FOLLOWING ITEMS WILL ALSO REQUIRE SPECIAL INSPECTION IN ACCORDANCE WITH THE BUILDING COD

- SOILS COMPILANCE PRIOR TO FOUNDATION INSPECTION
 (COMPACTING FILL, SPECIAL GRADING)
 STRUCTURAL CONCRETE OVER 2,500 PSI
 M450NRY

SPECIAL INSPECTOR SHALL MEET THE QUALIFICATIONS AS STATED IN THE BUILDING CODE AND SHALL PERFORM THE DUTIES AND RESPONSIBILITIES AS OUTLINED IN THE BUILDING CODE THE SPECIAL INSPECTOR SHALL PROVIDE INSPECTOR PORTS TO THE CODE OFFICIAL, ENGINEER AND OWNER

CONTRACT DATE BLDG TYPE: KITCHEN-X MED20 WM UPLOAD DATE: BRAND DESIGNER: TS SITE MUMBER 296861 461022

PA/PM: Dowling DRAWN BY : RS 2023088.52

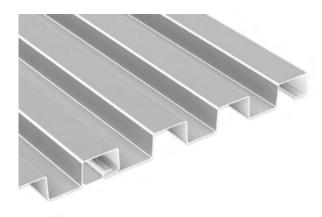
KITCHEN-X MED20 2700 Sterling Rd. followood, FL 33020



TRASH ENCLOSURE DETAILS



SW7674 Peppercorn



PAC-CLAD Box Rib 1 Slate Gray



CMU Stack Bond Gray









TACO BELL Hollywood, FL





TACO BELL

Hollywood, FL

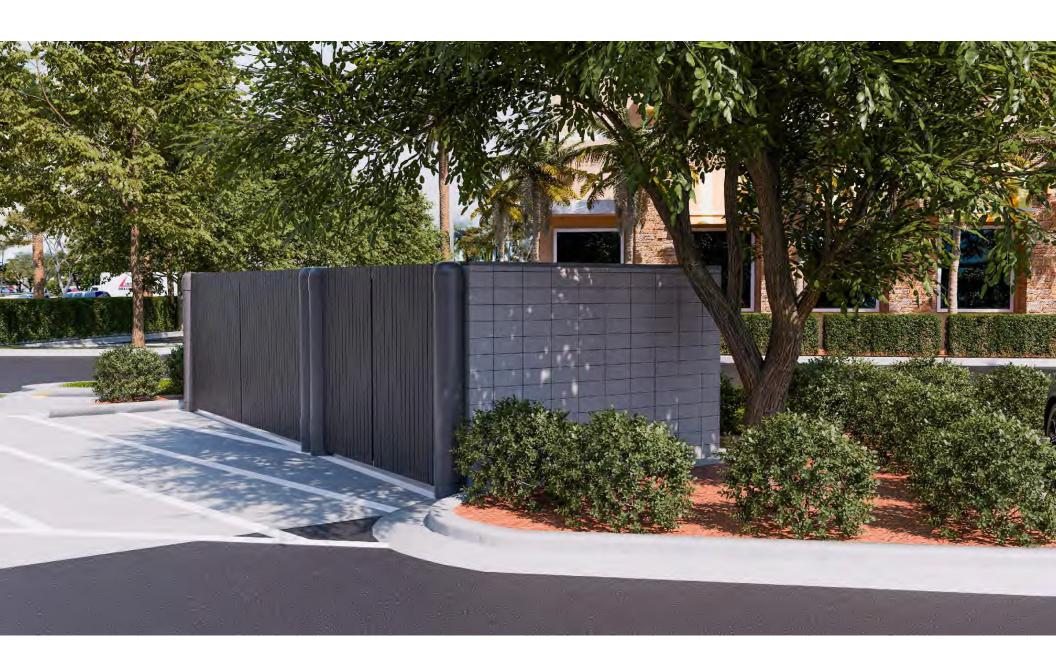




TACO BELL Hollywood, FL







Existing Site Photos

Taco Bell- 2700 Stirling Rd.

From Stirling Rd. looking South:



From Stirling Rd. looking Southwest:



From Western drive aisle looking Southeast:



From Western drive aisle looking Northeast:







Taco Bell of America, LLC 2700 Stirling Rd. Site Plan Narrative

Taco Bell of America, LLC ("Applicant") is the developer of a +/- 0.67-acre parcel of land located at 2700 Stirling Road in the City of Hollywood ("Property"). The Property is identified as folio number 5142-04-11-0020 on the Broward County Property Appraiser's website and is an outparcel located in the Oakwood Plaza Shopping Center ("Shopping Center"). The Property contains a future land use designation of Commercial on the City's Future Land Use Map and a zoning designation of Planned District (PD). The Shopping Center is governed by the Oakwood Plaza PD Design Guidelines ("PD Guidelines").

Currently, the Property contains a +/- 2,834 square foot Taco Bell restaurant with a single lane drive-thru facility. The Applicant is proposing to demolish the existing Taco Bell restaurant and construct a new 2,187 square foot Taco Bell restaurant with a double lane drive-thru facility ("Project"). The additional drive-thru lane will not change the site vehicular circulation as the two lanes will merge into one single lane at the same location of the existing drive-thru facility, with the same entry and exit points. Additionally, the Project does not require any amendments to the PD Guidelines as the design meets all the requirements in the approved PD Guidelines.



BONNIE MISKEL • SCOTT BACKMAN • ERIC COFFMAN • HOPE CALHOUN DWAVNE DICKERSON • ELE ZACHARIADES • CHRISTINA BILENKI DAVID MILLEDGE • SARA THOMPSON • JEFFREY SCHNEIDER

Taco Bell 2700 Stirling Road Design Criteria Responses

Per Section 5.3.I.4 of the City Code, the Applicant must demonstrate compliance with the following design criteria:

- 4. *Design criteria*. The Board and the Director shall review plans based upon the criteria below. If the Board or the Director (as applicable) determines that an application is not consistent with the criteria, reasons shall be set forth in writing substantiating the finding.
- a. *General criteria*. All plans/architectural drawings shall be reviewed based upon the evaluation of compatibility with the City's Design Guidelines, including the following elements:
- (1) Architectural and design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment. The design should consider architectural elements that are characteristic of the surrounding neighborhood.

The proposed Taco Bell building will be aesthetically pleasing with a mixture of materials in a light gray color. The building will be accented with large windows along the front and side entries that will provide sunlight into the building. The proposed Taco Bell provides pedestrian access to the front and sides of the building. There is a sidewalk that connects the building to Stirling Road. A covered patio along the front of the building is provided for pedestrian use.

(2) Compatibility. The harmonious relationship between existing architectural language and composition and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood, and with the established and adopted vision for the area.

The buildings located along this stretch of Stirling Road are soft neutral colors. The Taco Bell colors are proposed to be light gray to blend with the rest of the retail buildings in the area.

(3) Scale/massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures, and with the established and adopted vision of the area. Building geometries shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings.

The proposed Taco Bell building is proportionate in scale with the neighboring retail commercial buildings. The proposed building height is 22 feet with the accent arch 6.5 feet taller. The proposed building location is very similar to the existing Taco Bell orientation. The building area is a small percentage of the site with the lot coverage being 7.5%.

(4) Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

The majority of the existing mature trees on the site will remain and are natives. All of the trees, and the majority of the shrubs and groundcovers, proposed on the site are native. There is a variety of trees, palms, and plants specified with a reasonably even distribution of species quantity in each plant category. In addition, species selected have moderate to high drought tolerance.