

ATTACHMENT A

Application Package

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans
(i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR
FORMS, CHECKLISTS, &
MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- | | | |
|--|---|--|
| <input type="checkbox"/> Technical Advisory Committee | <input type="checkbox"/> Art in Public Places Committee | <input type="checkbox"/> Variance |
| <input checked="" type="checkbox"/> Planning and Development Board | <input type="checkbox"/> Historic Preservation Board | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> City Commission | <input type="checkbox"/> Administrative Approval | |

PROPERTY INFORMATION

Location Address: 2700 Stirling Road

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 5142-04-11-0020

Zoning Classification: PD (Oakwood Plaza) Land Use Classification: Commercial

Existing Property Use: Taco Bell w/Drive-Thru Sq Ft/Number of Units: 2,834

Is the request the result of a violation notice? ☐ Yes ☒ No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

DEVELOPMENT PROPOSAL

Explanation of Request: Site Plan approval to demolish the existing 2,834 sq. ft. Taco Bell restaurant and construct a new 2,187 sq. ft. Taco Bell restaurant.

Phased Project: Yes ☐ No ☒ Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text"/> #Rooms <input type="text"/>
Proposed Non-Residential Uses	<input type="text"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text"/> (Area: <input type="text"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text"/>)
Height (# of stories)	(# STORIES) <input type="text"/> (<input type="text"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<input type="text"/> FT.)

Name of Current Property Owner: Oakwood Plaza LP

Address of Property Owner: 500 Broadway #201 Jericho, NY 11753

Telephone: Contact Applicant Email Address: Contact Applicant

Applicant Dwayne Dickerson/Miskel Backman, L Consultant ☐ Representative ☒ Tenant ☐

Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432 Telephone: 561-405-3336

Email Address: ddickerson@miskelbackman.com

Email Address #2: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes ☐ No ☒

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____



GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable

Signature of Current Owner: [Signature] Date 5/16/2024

PRINT NAME: Brandon Reynolds Date _____

Signature of Consultant/Representative: [Signature] Date 5/20/24

PRINT NAME: Dwayne L. Dickerson Date _____

Signature of Tenant: [Signature] Date 5-15-24

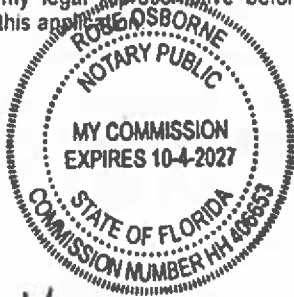
PRINT NAME: KERRY ENDERT Date _____
ASSISTANT SECRETARY, TACOBELL of AMERICA, LLC.

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Approval to my property, which is hereby made by me or I am hereby authorizing Dwayne Dickerson/Mikel Backman, LLP to be my legal representative before the TAC, P&D & City Commission (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 16 day of May, 2024

[Signature]
Notary Public
State of Florida



[Signature]
Signature of Current Owner
Brandon Reynolds, Authorized Agent
Print Name _____

My Commission Expires 10/4/27 (Check One) ☒ Personally known to me, OR ☐ Produced Identification _____



BONNIE MISKEL • SCOTT BACKMAN • ERIC COFFMAN • HOPE CALHOUN
DWAYNE DICKERSON • ELE ZACHARIADES • CHRISTINA BILENKI
DAVID MILLEDGE • SARA THOMPSON • JEFFREY SCHNEIDER

**Taco Bell of America, LLC
2700 Stirling Rd.
Site Plan Narrative**

Taco Bell of America, LLC (“Applicant”) is the developer of a +/- 0.67-acre parcel of land located at 2700 Stirling Road in the City of Hollywood (“Property”). The Property is identified as folio number 5142-04-11-0020 on the Broward County Property Appraiser’s website and is an outparcel located in the Oakwood Plaza Shopping Center (“Shopping Center”). The Property contains a future land use designation of Commercial on the City’s Future Land Use Map and a zoning designation of Planned District (PD). The Shopping Center is governed by the Oakwood Plaza PD Design Guidelines (“PD Guidelines”).

Currently, the Property contains a +/- 2,834 square foot Taco Bell restaurant with a single lane drive-thru facility. The Applicant is proposing to demolish the existing Taco Bell restaurant and construct a new 2,187 square foot Taco Bell restaurant with a double lane drive-thru facility (“Project”). The additional drive-thru lane will not change the site vehicular circulation as the two lanes will merge into one single lane at the same location of the existing drive-thru facility, with the same entry and exit points. Additionally, the Project does not require any amendments to the PD Guidelines as the design meets all the requirements in the approved PD Guidelines.

TACO BELL REDEVELOPMENT

PRELIMINARY TAC MEETING DATE: 6/3/2024

FINAL TAC MEETING DATE: 8/19/2024

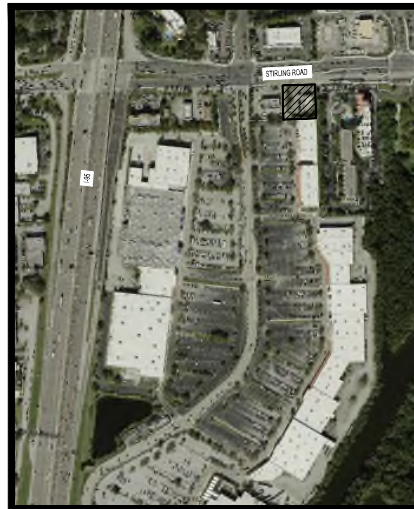
SECTION 04, TOWNSHIP 51S, RANGE 42E

FOR
GPD GROUP

LEGAL DESCRIPTION

LOT 1-B, HOLLYWOOD COMMERCIAL CENTER ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 117 AT PAGE 36 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

VICINITY \ AERIAL MAP

$$1^{\text{st}}=300$$


PROJECT TEAM

DEVELOPER:
TACO BELL CORP.
1 GLEN BELL WAY
IRVINE, CA 92618
CLINT LANGLEY
(724) 263-7757

ARCHITECT:
GPD GROUP
1117 PERIMETER CENTER WEST, SUITE W306
ATLANTA, GA 30338
SARAH DOWLING
(678) 781-5074

CIVIL ENGINEER:
THOMAS ENGINEERING GROUP
6300 NW 31 AVENUE
FORT LAUDERDALE, FL 33309
KRISTIN DIPIERRO, P.E.
(954) 202-7000

LANDSCAPE ARCHITECT:
EVERGREEN DESIGN GROUP
2255 GLADES RD, SUITE 324A
BOCA RATON, FL 33431
MARY N. BATES
(800) 680-6630

LAND SURVEYOR:
FORTIN, LEAVY, SKILES, INC.
180 NE 168TH ST.
NORTH MIAMI BEACH, FL 33162
DANIEL C. FORTIN, JR.
(305) 653-4493

PREPARED BY:



CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
6300 NW 31 AVENUE PH: (954) 202-7000
FT. LAUDERDALE, FLORIDA 33309 www.ThomasEngineeringGroup.com

SHEET INDEX

SHEET NAME:	SHEET NUMBER:	REVISION			
		5/20/2024	1	2	
		7/15/2024			
		10/28/2024			
PLANS BY THOMAS ENGINEERING GROUP:					
COVER SHEET	C-01	•	•		
GENERAL NOTES	C-02	•			
EROSION CONTROL PLAN	C-03	•	•		
DEMOLITION PLAN	C-04	•	•		
SITE PLAN	C-05	•	•	•	
SITE DETAILS	C-06	•	•		
CITY OF HOLLYWOOD DETAILS	C-07	•	•		
PAVEMENT MARKING & SIGNAGE PLAN	C-08	•	•		
PAVING, GRADING & DRAINAGE PLAN	C-09	•	•		
PAVING, GRADING & DRAINAGE DETAILS	C-10	•	•		
CROSS SECTIONS	C-11	•			
UTILITY PLAN	C-12	•	•		
UTILITY DETAILS	C-13	•			
CIRCULATION PLAN	C-14	•	•		
PLANS BY EVERGREEN DESIGN GROUP:					
FREE DISPOSITION PLAN	TD-1		•	•	
FREE DISPOSITION DETAILS & SPECS	TD-2		•	•	
LANDSCAPE PLANTING PLAN	LP-1		•	•	
LANDSCAPE DETAILS & SPECIFICATIONS	LP-2		•	•	
PLANS BY GPD GROUP:					
EQUIPMENT & SEATING PLAN	A2.0	•	•		
EXTERIOR ELEVATIONS	A4.0	•	•		
EXTERIOR ELEVATIONS	A4.1	•	•		
WASH ENCLOSURE DETAILS	G2.0	•	•	•	
PLANS BY POLICE LAND SURVEYS:					
ALTAIR/SPS LAND TILE SURVEY	1 OF 1	•	•		

[illegible]

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

KRISTIN N. DIPIERRO, STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE NO. 84350.
THIS ITEM HAS BEEN DIGITALLY SIGNED AND
SEALED BY KRISTIN N. DIPIERRO, PE ON 10/28/2024.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE
DIGITAL SIGNATURE MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

PROJECT No.:	F230118
DRAWN BY:	JFV
CHECKED BY:	KND
DATE:	10/28/2024
CAD I.D.:	F230118 -COVER

PROJECT:

TACO BELL REDEVELOPMENT

GPD GROUP

2700 STIRLING ROAD
HOLLYWOOD, FLORIDA



6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com



SHEET TITLE:

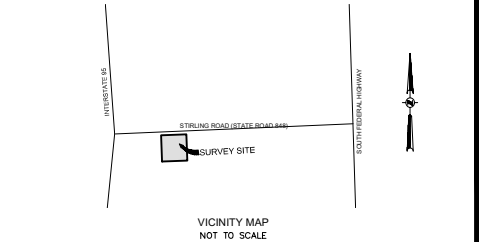
COVER SHEET

SHEET NUMBER:

C-01

NOTES:

1. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, BROWARD COUNTY BENCHMARK #1798, ELEVATION: 11.286 FEET & BENCHMARK #1321, ELEVATION: 9.322 FEET.
3. FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #12011C0568H; COMMUNITY #125113; MAP DATE: 8/18/14.
4. THIS SITE LIES IN SECTION 4, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
5. GRID BEARINGS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT, PL-E ZONE, WITH THE NORTH LINE OF LOT 1-B BEING N87°34'34"E.
6. REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION, BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
7. THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
8. THIS SITE CONTAINS 30 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (28 REGULAR & 2 DISABLED).
9. ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.
10. THIS SURVEY WAS PREPARED WITH BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, COMMITMENT NUMBER 10973861, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED JUNE 21, 2024 AT 8:00 AM, REVISED JUNE 27, 2024. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SCHEDULE B, PART II OF SAID COMMITMENT:
ITEMS 1, 2, 3 & 4: STANDARD EXCEPTIONS, NOT ADDRESSED.
ITEM 5: ALL MATTERS IN PLAT BOOK 117, PAGE 36, AS AFFECTED BY AGREEMENT TO PLACE NOTATION ON PLAT IN O.R.B. 20295, PAGE 340 APPLY TO THIS SITE AS DEPICTED HEREON.
ITEM 6: FLORIDA POWER & LIGHT COMPANY EASEMENT IN O.R.B. 4608, PAGE 618 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 7: MATTERS IN SURVEYOR'S AFFIDAVIT IN O.R.B. 7750, PAGE 761 APPLY TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 8: GRANT OF EASEMENT IN O.R.B. 7840, PAGE 382 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 9: FLORIDA POWER & LIGHT COMPANY EASEMENT IN O.R.B. 8829, PAGE 842 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 10: UTILITY EASEMENT IN O.R.B. 8999, PAGE 601 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 11: NON-EXCLUSIVE PERPETUAL EASEMENT IN O.R.B. 11183, PAGE 501 DOES NOT APPLY TO THIS SITE.
ITEM 12: TERMS AND CONDITIONS OF AGREEMENT IN O.R.B. 11183, PAGE 507; AS RE-RECORDED IN O.R.B. 11211, PAGE 287; AS AFFECTED BY LIMITED WAIVER IN O.R.B. 23254, PAGE 345 APPLY TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 13: ORDINANCE NO. 90-25 IN O.R.B. 17737, PAGE 179 DOES NOT APPLY TO THIS SITE.
ITEM 14: TERMS AND CONDITIONS OF AGREEMENT IN O.R.B. 17762, PAGE 553; AS AFFECTED BY AMENDMENT TO AGREEMENT IN O.R.B. 20099, PAGE 254 & AMENDMENT IN O.R.B. 20099, PAGE 289 AND AMENDMENT TO SECOND CONCURRENT AGREEMENT IN O.R.B. 20744, PAGE 757; AS AFFECTED BY THIRD TRAFFIC CONCURRENCY AGREEMENT IN O.R.B. 23193, PAGE 447; AS AFFECTED BY FOURTH TRAFFIC CONCURRENCY AGREEMENT IN O.R.B. 26083, PAGE 857; AS AMENDED BY O.R.B. 32378, PAGE 1557 APPLY TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 15: NOTICE OF PRELIMINARY DEVELOPMENT AGREEMENT IN O.R.B. 19477, PAGE 917 DOES NOT APPLY TO THIS SITE.
ITEM 16: ORDINANCE 10-92-11 IN O.R.B. 19486, PAGE 962 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 17: NOTICE OF ADOPTION OF A DEVELOPMENT ORDER IN O.R.B. 19683, PAGE 124 AS AFFECTED BY AMENDMENT IN O.R.B. 21017, PAGE 944 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 18: TERMS, COVENANTS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED BY MEMORANDUM OF LEASE IN O.R.B. 20319, PAGE 778; AS AFFECTED BY SUBORDINATION, NON-DISTURBANCE AND ATTORNMEN AGREEMENT IN O.R.B. 21906, PAGE 318 DO NOT APPLY TO THIS SITE.
ITEM 19: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN MEMORANDUM OF LEASE IN O.R.B. 20470, PAGE 165; AS AFFECTED BY SUBORDINATION, ATTORNMEN AND NON-DISTRIBUTION AGREEMENT IN O.R.B. 21906, PAGE 295 DO NOT APPLY TO THIS SITE.
ITEM 20: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED BY MEMORANDUM OF LEASE IN O.R.B. 20795, PAGE 326 AS AFFECTED BY AGREEMENT IN O.R.B. 22017, PAGE 419, AND MEMORANDUM OF LEASE IN O.R.B. 21082, PAGE 292 AS AFFECTED BY SUBORDINATION, NON-DISTURBANCE, RECOGNITION & ATTORNMEN AGREEMENT IN O.R.B. 21906, PAGE 302 DO NOT APPLY TO THIS SITE.
ITEM 21: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED BY MEMORANDUM OF LEASE IN O.R.B. 21018, PAGE 457; AS AFFECTED AS AFFECTED BY AMENDMENT TO LEASE AND MEMORANDUM OF LEASE IN O.R.B. 21253, PAGE 299 AND SUBORDINATION, NON-DISTURBANCE & ATTORNMEN AGREEMENT IN O.R.B. 21906, PAGE 308 DO NOT APPLY TO THIS SITE.
ITEM 22: TERMS AND CONDITIONS OF AGREEMENT FOR EASEMENTS, COVENANTS AND RESTRICTIONS AFFECTING LAND IN O.R.B. 21877, PAGE 304 DO NOT APPLY TO THIS SITE.
ITEM 23: MORTGAGE AND SECURITY AGREEMENT IN O.R.B. 21906, PAGE 228; AS AFFECTED BY SPREADER AGREEMENT IN O.R.B. 21998, PAGE 514; AS ASSIGNED IN O.R.B. 25214, PAGE 366; AS AFFECTED BY ASSUMPTION AGREEMENT IN O.R.B. 25214, PAGE 384; CONSOLIDATED, AMENDED AND RESTATED IN O.R.B. 25214, PAGE 411; SECOND AMENDED AND RESTATED MORTGAGE, ASSIGNMENT OF LEASES AND RENTS, SECURITY AGREEMENT AND FUTURE FILING AND NOTICE OF FUTURE ADVANCE IN O.R.B. 453, PAGE 740; AS ASSIGNED INSTRUMENT #13439893, THIRD AMENDED AND RESTATED MORTGAGE, SECURITY AGREEMENT, FINANCING STATEMENT, FUTURE FILING AND ASSIGNMENT OF RENTS IN INSTRUMENT #13439894 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 24: ASSIGNMENT OF LEASES AND RENTS IN INSTRUMENT #13439895 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 25: UCC-1 FINANCING STATEMENT IN INSTRUMENT #13439896 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 26: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NO-DISTURBANCE AND ATTORNMEN AGREEMENT IN O.R.B. 21906, PAGE 313 DO NOT APPLY TO THIS SITE.
ITEM 27: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NO-DISTURBANCE AND ATTORNMEN AGREEMENT IN O.R.B. 21906, PAGE 325 DO NOT APPLY TO THIS SITE.
ITEM 28: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMEN AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 332 DO NOT APPLY TO THIS SITE.
ITEM 29: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMEN AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 339 DO NOT APPLY TO THIS SITE.
ITEM 30: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMEN AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 345 DO NOT APPLY TO THIS SITE.
ITEM 31: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMEN AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 351 DO NOT APPLY TO THIS SITE.
ITEM 32: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMEN AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 359 DO NOT APPLY TO THIS SITE.
ITEM 33: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMEN AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 369 DO NOT APPLY TO THIS SITE.
ITEM 34: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NON-DISTURBANCE AND ATTORNMEN AGREEMENT IN O.R.B. 21906, PAGE 376 DO NOT APPLY TO THIS SITE.
ITEM 35: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NON-DISTURBANCE & ATTORNMEN AGREEMENT IN O.R.B. 21906, PAGE 381 DO NOT APPLY TO THIS SITE.
ITEM 36: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NON-DISTURBANCE & ATTORNMEN AGREEMENT IN O.R.B. 21906, PAGE 386 DO NOT APPLY TO THIS SITE.
ITEM 37: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMEN AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 391 DO NOT APPLY TO THIS SITE.
ITEM 38: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, ATTORNMEN AND NON-DISTURBANCE AGREEMENT IN O.R.B. 21906, PAGE 401 DO NOT APPLY TO THIS SITE.
ITEM 39: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS EVIDENCED BY MEMORANDUM OF LEASE IN O.R.B. 20543, PAGE 908 AS AFFECTED BY SUBORDINATION, NON-DISTURBANCE AND ATTORNMEN AGREEMENT IN O.R.B. 21906, PAGE 407 AS FURTHER AFFECTED BY AMENDMENT IN INSTRUMENT #12915935 DO NOT APPLY TO THIS SITE.
ITEM 40: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NON-DISTURBANCE AND ATTORNMEN AGREEMENT IN O.R.B. 21933, PAGE 267 DO NOT APPLY TO THIS SITE.
ITEM 41: TERMS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SUBORDINATION, NON-DISTURBANCE AND ATTORNMEN AGREEMENT IN O.R.B. 21926, PAGE 310 DO NOT APPLY TO THIS SITE.
ITEM 42: DECLARATION OF EASEMENT IN O.R.B. 22874, PAGE 952 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 43: TERMS, COVENANTS, CONDITIONS, RIGHTS, DUTIES AND OBLIGATIONS IN LEASE, AS DISCLOSED IN SHORT FORM LEASE IN O.R.B. 23370, PAGE 50; AS AFFECTED BY SUBORDINATION, ATTORNMEN AND NON-DISTURBANCE AGREEMENTS IN O.R.B. 23370, PAGE 55, O.R.B. 25412, PAGE 482, AND O.R.B. 29177, PAGE 1408; ASSIGNMENT OF LEASE IN O.R.B. 28869, PAGE 1920 APPLY TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 44: DECLARATION OF RESTRICTIVE COVENANTS, O.R.B. 23370 PAGE 61 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 45: DECLARATION OF RESTRICTIONS IN O.R.B. 26400, PAGE 304 AND RE-RECORDED IN O.R.B. 29960, PAGE 1832 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 46: NOTICE OF ADOPTION OF DEVELOPMENT ORDER IN O.R.B. 23447, PAGE 317, AS AMENDED BY INSTRUMENT IN O.R.B. 25011, PAGE 312 APPLY TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 47: CONVEYANCE AGREEMENT IN O.R.B. 25505, PAGE 667 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 48: FLORIDA POWER & LIGHT COMPANY UTILITY EASEMENT IN O.R.B. 23465, PAGE 172 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 49: FLORIDA POWER & LIGHT COMPANY UTILITY EASEMENT IN O.R.B. 23657, PAGE 771 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 50: DECLARATION OF EASEMENTS AND COVENANTS, CONDITIONS AND RESTRICTIONS AND NOTICE OF LIEN RIGHTS AND OPTION TO REPURCHASE IN O.R.B. 32715, PAGE 599 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 51: TRANSPORTATION CONCURRENCY AGREEMENT RELATING TO PLATS AND UN-PLATTED LAND IN O.R.B. 49303, PAGE 1500 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 52: NOT ADDRESSED.
ITEM 53: NOTICE IN O.R.B. 47023, PAGE 1132 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 54: NOT ADDRESSED.
11. ZONING REPORT NOT PROVIDED.



LEGAL DESCRIPTION:
PARCEL 6:
LOT 1-B, "HOLLYWOOD COMMERCIAL CENTER", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 117, PAGE 36, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 29,223 SQUARE FEET (0.671 ACRES), MORE OR LESS.
PARCEL 15:
A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR VEHICULAR AND PEDESTRIAN, FURNISHED AS DISCLOSED IN GRANT OF EASEMENT DATED OCTOBER 26, 1978, RECORDED IN OFFICIAL RECORDS BOOK 7840, PAGE 382, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFICATION:
TO TACO BELL OF AMERICA, INC., A DELAWARE CORPORATION; GPD GROUP; CHICAGO TITLE INSURANCE COMPANY.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 13, 18, 19 & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 06/06/24.
DATE OF PLAT OR MAP: 07/12/24

JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660
STATE OF FLORIDA

SHEET 1 OF 2
THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

NO.

REVISIONS

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TACO BELL SITE

2700 STIRLING ROAD

HOLLYWOOD, FLORIDA 33020

(CITY OF HOLLYWOOD, BROWARD COUNTY)

BOUNDARY AND TOPOGRAPHIC SURVEY

ALTA/NSPS LAND TITLE SURVEY

PLS

POLICE LAND SURVEYORS, INC.

5381 NONG HILL ROAD

SUNRISE, FLORIDA 33351

TELEPHONE: (954) 572-1777

FAX: (954) 572-1778

E-MAIL: survey@policeandsurveyors.com

WEBSITE: www.policeandsurveyors.com

CERTIFICATE OF AUTHORIZATION LB93870

DRAWN BY: J.S.

CHECKED BY: J.F.P.

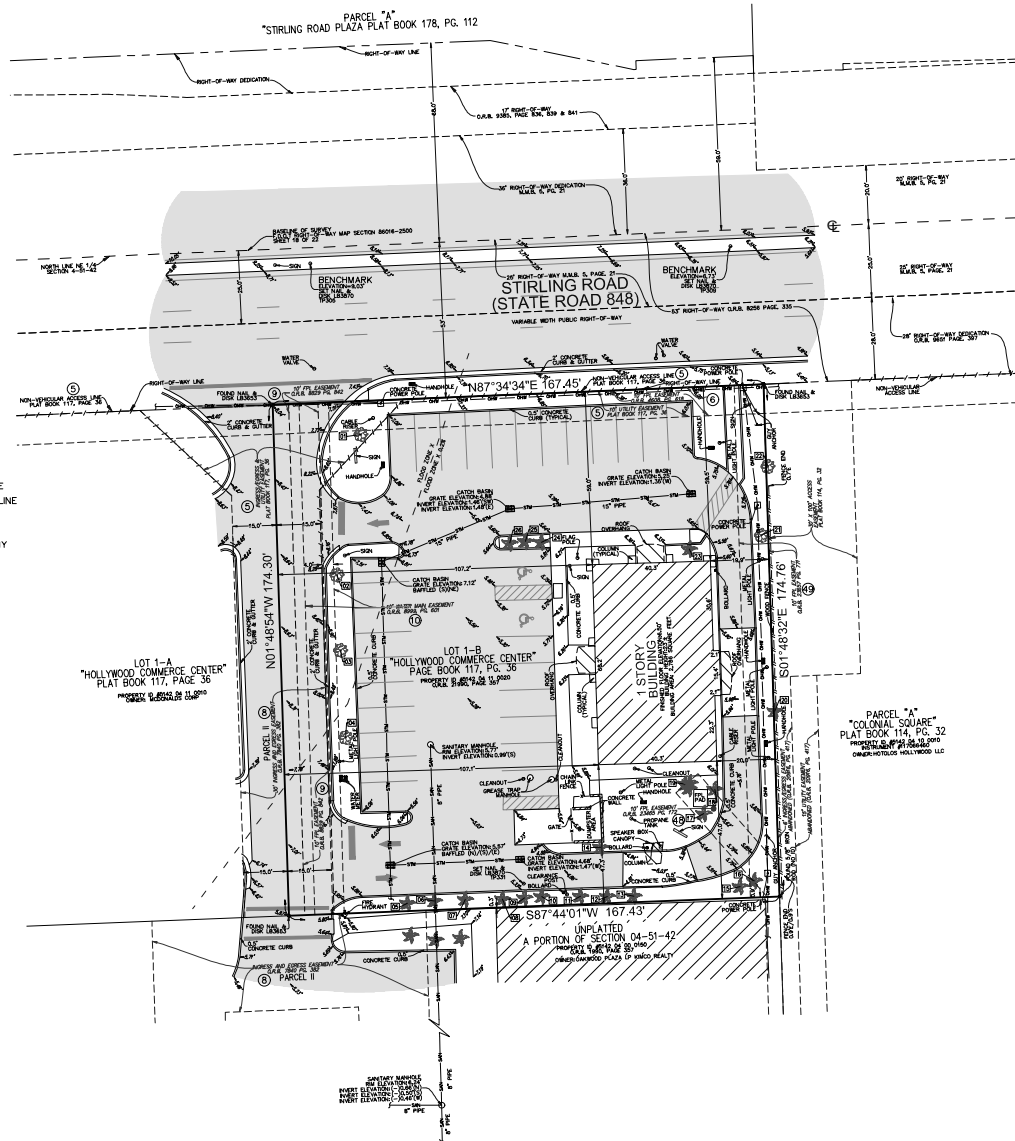
SCALE: 1" = 20'

SURVEY DATE: 6/6/24

CLIENT: GPD GROUP

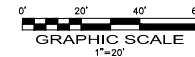
ORDER NO.: 72860

- LEGEND & ABBREVIATIONS
- CONCRETE
 - ASPHALT PAVEMENT
 - ELEVATION
 - OVERHEAD WIRES
 - UNDERGROUND STORM SEWER LINE
 - UNDERGROUND SANITARY SEWER LINE
 - NON-VEHICULAR ACCESS LINE
 - CENTERLINE
 - FPL FLORIDA POWER & LIGHT COMPANY
 - LB LICENSED BUSINESS
 - O.R.B. OFFICIAL RECORDS BOOK
 - TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
 - MMB MISCELLANEOUS MAP BOOK
 - PG. PAGE
 - TREE
 - PALM TREE
 - COMMITMENT NUMBER



TREE TABLE

Tree Number	Common Name	Diameter (inches)	Canopy (feet)	Height (feet)
1	UNIDENTIFIED TREE	12"	20'	30'
2	OAK TREE	15"	20'	32'
3	OAK TREE	18"	20'	32'
4	OAK TREE	10"	20'	20'
5	PALM TREE	12"	12'	30'
6	PALM TREE	12"	12'	30'
7	PALM TREE	12"	12'	30'
8	PALM TREE	12"	12'	30'
9	PALM TREE	12"	12'	30'
10	PALM TREE	12"	12'	30'
11	PALM TREE	12"	12'	30'
12	PALM TREE	12"	12'	30'
13	PALM TREE	12"	12'	30'
14	PALM TREE	12"	8'	20'
15	PALM TREE	12"	12'	30'
16	PALM TREE	12"	12'	30'
17	PALM TREE	4"	8'	15'
18	PALM TREE	4"	8'	15'
19	PALM TREE (S)	4"	8'	15'
20	CABBAGE PALM	12"	12'	20'
21	GUMBO LIMBO	15"	15'	27'
22	OAK TREE	6"	12'	20'
23	PALM TREE	4"	8'	20'
24	PALM TREE	6"	5'	10'
25	PALM TREE	6"	5'	10'
26	PALM TREE	10"	10'	15'



SHEET 2 OF 2

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2



TACO BELL SITE
2700 STIRLING ROAD
HOLLYWOOD, FLORIDA 33020
(CITY OF HOLLYWOOD, BROWARD COUNTY)

**BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY**

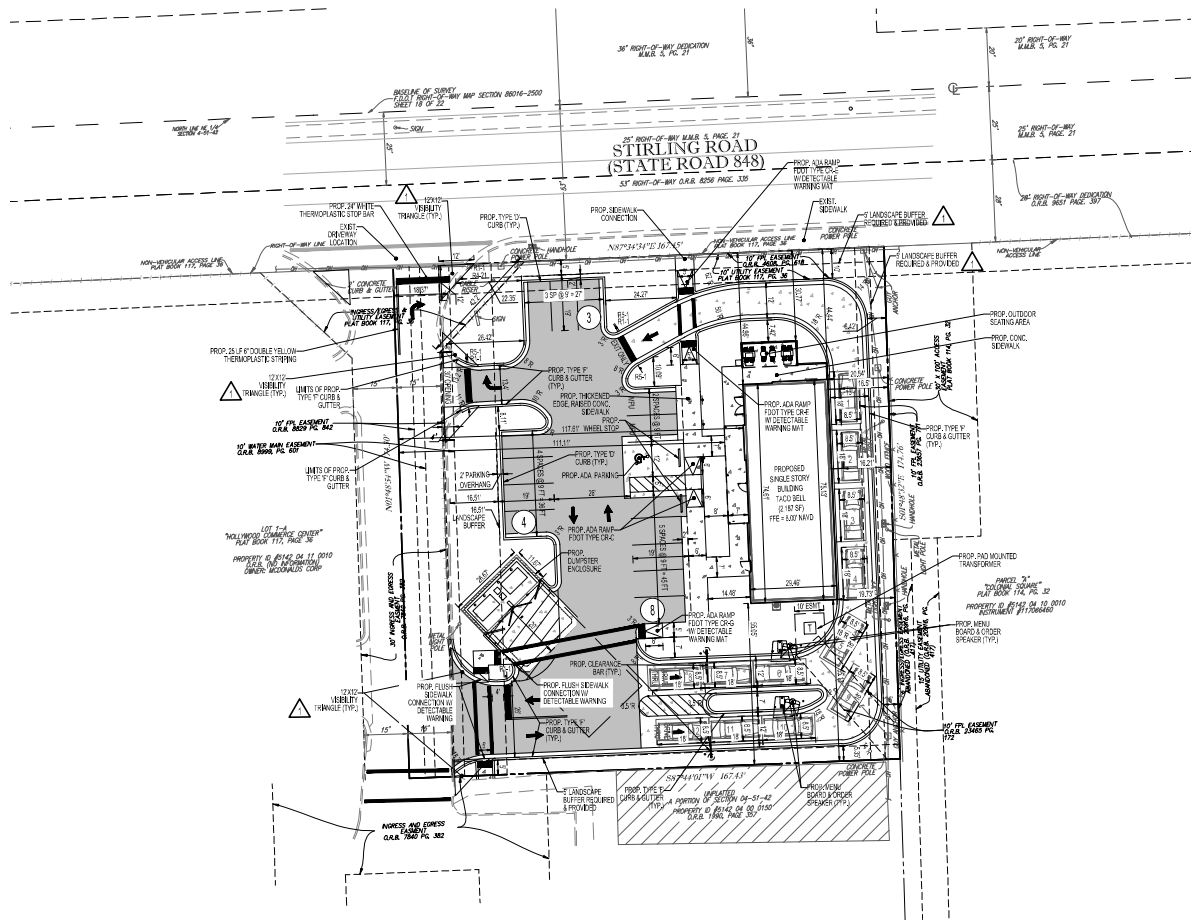


POLICE LAND SURVEYORS, INC.
5351 NODS HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: survey@policeandsurveyors.com
WEBSITE: www.policeandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB3870

DRAWN BY: J.S.
CHECKED BY: J.F.P.

SCALE: 1" = 20'
SURVEY DATE: 6/6/24

CLIENT: GPD GROUP
ORDER NO.: 72860



- NOTES:**
1. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
 2. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.
 3. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.
 4. ACCORDING TO 8.3.4 SIGNS SHALL NOT EXTEND ABOVE OR BEYOND THE ROOF LINE OR PARAPET WALL.
 5. MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL.
 6. ANY LIP FROM 2' BUT NOT GREATER THAN 2' WILL BE VEILED TO MEET ADA REQUIREMENTS.

DISTRICT REQUIREMENTS

THIS PLAN REFERENCE AN ALTA SURVEY BY:
PULICE LAND SURVEYORS, INC.
501 N. HILL ROAD
SUITE 100
SUITE 100



LEGEND

- | | |
|-----------|--------------------------|
| R1-1 | STOP SIGN (30" x 30") |
| R5-1 | DO NOT ENTER (30" x 30") |
| R4-1 | RIGHT TURN ONLY |
| FTP 21 06 | ADA PARKING SIGN |
| D.Y. | DOUBLE YELLOW |
| W.Y. | WHITE |
| Y | YELLOW |
| | THERMOPLASTIC |

LEGAL DESCRIPTION:

LOT 1-B, HOLLYWOOD COMMERCIAL CENTER ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 117 AT PAGE 36 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

HATCH LEGEND



THOMAS ENGINEERING GROUP
 12501 N. W. 11TH AVENUE
 SUITE 100
 TAMPA, FL 33613
 P: 813.374.1100
 F: 813.374.1100
 www.thomasengineeringgroup.com

REV.	DATE	COMMENTS	BY
1	7/12/2024	TAC COMMENTS	CJM

Sunshine 811
 Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
 Check positive response codes before you dig!

ASTORIA N. SPENDING, STATE OF FLORIDA
 PROJECTED BY: [Name]
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 7/23/2018, 8:15 PM

TACO BELL REDEVELOPMENT
 FOR
GPD GROUP
 2700 STIRLING ROAD
 HOLLYWOOD, FLORIDA

THOMAS ENGINEERING GROUP
 8300 NW 31ST AVENUE
 FORT LAUDERDALE, FL 33309
 P: (954) 252-7000
 F: (954) 252-7070
 www.ThomasEngineeringGroup.com



SHEET TITLE:
SITE PLAN
SHEET NUMBER:
C-05

GENERAL

CONCLUSION

1. **GENERAL CONDITIONS:** THE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN IN-PLACE REPAIRING.
2. **CONTRACT SUMMARY:** THE PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REPRODUCED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
3. **CONTRACT DOCUMENTS:** THE WORK SHALL BE DONE UNDER CONDITIONS/TERMS ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
4. **SCOPE OF WORK:**
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS AND LABOUR REQUIRED TO COMPLETE THE WORK SHOWN ON THESE PLANS THAT ARE NOT COVERED BY THE SPECIFICATIONS, THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR COVERED BY THE IN-PLACE REPAIRING WORKS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITY/HAVING JURISDICTION OVER SUCH WORK, INCLUDING BUT NOT LIMITED TO, THE REQUIREMENTS OF THE LOCAL AUTHORITY FOR THE DESIGN, CONSTRUCTION, TRANSPORTATION AND INSTALLATION OF MATERIALS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMISSIONS, PERMITS, LICENSES, APPROVALS AND NOTIFICATION OF ALL UNDERGROUND UTILITIES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF THE WORK.

PRODUCTS

- [illegible]

METHODS

- [illegible]

R **SUMMARY**

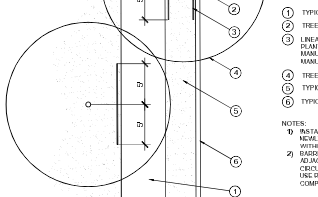
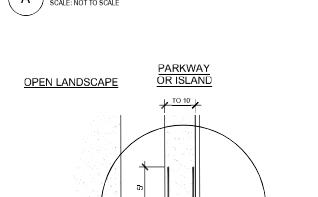
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H. CLEAN

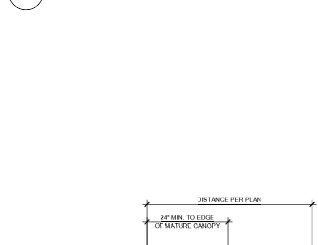
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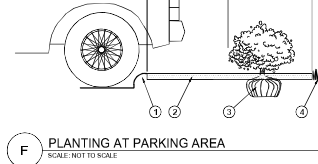
A EARTH/SPADE EDGE

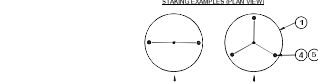


C ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE

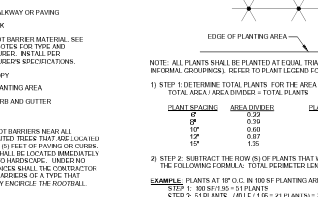
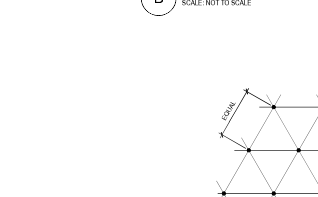


Year	Percentage
1990	95%
1995	95%
2000	90%
2005	88%
2010	85%

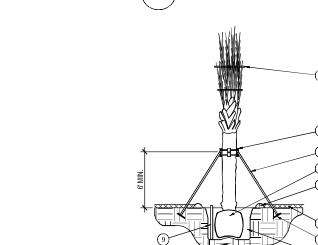




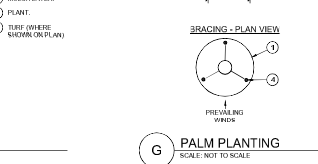
B TREE PLANTING

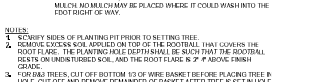


D PLANT SPACING
SCALE: NTS

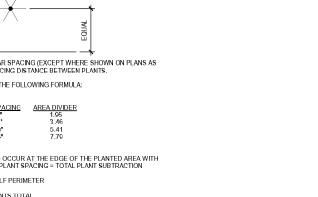
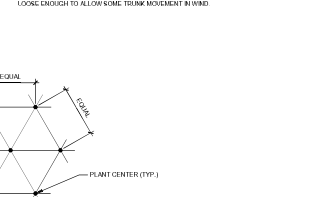


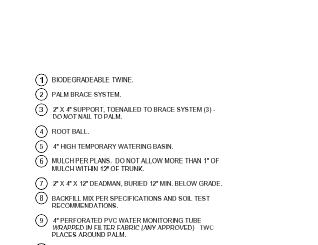
2X DIA. OF
SOOT BALL



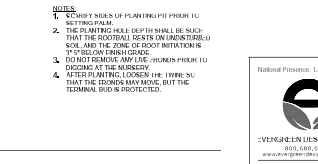


4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 3/4" BOX 2.5" CAL. AND LARGER, USE THREE STAKES OR DEADEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT





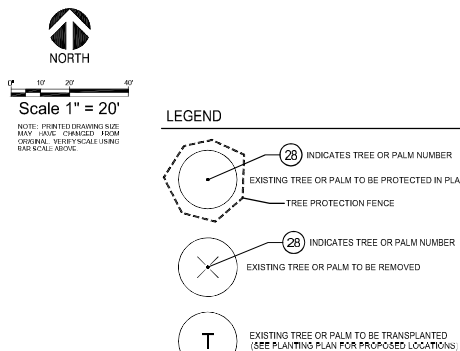
① UNDISTURBED SUBGRADE.



FL LA 66

SHEET TITLE:
LANDSCAPE DETAILS
& SPECIFICATIONS

SHEET NUMBER:
LP-2



CITY OF HOLLYWOOD NOTES

1. ARBORIST TO PROVIDE ROOT PRUNING BY HAND AND MITIGATE IF FAILURE IS EXPECTED DUE TO CONSTRUCTION
2. NO TREE REMOVAL OR PLANTING ALLOWED UNTIL SUBPERMITS ARE FULLY APPROVED BY CITY.

TREE PROTECTION GENERAL NOTES

- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
- (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT DIAMETER OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - (2) AROUND AN AREA AT OR GREATER THAN THE FULL ROUPIL OF ALL PROTECTED NATIVES;
 - (3) AROUND AN AREA AT OR GREATER THAN TWO-TWO-FOOT DIAMETER OF ALL OTHER SPECIES;
 - (4) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONNECTION WITH THE TREE'S PROTECTION;
 - (5) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIALS WITHIN THE PROTECTED AREAS OF ANY PROTECTED TREE, NOR SHALL ANY PERSON OR EQUIPMENT BE ALLOWED TO ENTER AREAS WHICH ARE TO BE PRESERVED, WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPOLE) OF ANY TREE OR ON NEARBY GROUND. THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, FUELS, SOLVENTS, OR OTHER SUBSTANCES THAT COULD BE HARMFUL TO THE TREE;
 - (6) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPOLE OF A PROTECTED TREE;
 - (7) NO PERSON SHALL PERMIT ANY ACTIVITIES WITHIN THE BARRIER AREAS OF ANY PROTECTED TREE WITHIN 30 FEET OF THE DRIPOLE OF ANY PROTECTED TREE TO ISSUE A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL THESE ACTIVITIES ARE THE RESPONSIBILITY OF THE COUNTY ADMINISTRATOR, AND THE COUNTY ADMINISTRATOR SHALL BE REQUIRED TO INSPECT AND APPROVE ALL STRUCTURES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE COUNTY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT TO REMOVE AND RE-PLANT TREES;
 - (8) IF, IN THE OPINION OF THE COUNTY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRIKE SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR SHALL BE REQUIRED.

TREE RELOCATION GUIDELINES

1. TREES SHALL NOT BE UNNECESSARILY DAMAGED DURING REMOVAL, TRANSPORT OR REPLANTING OF THE TREE.
2. IF THE TREE HAS A DORMANT PERIOD, IT SHOULD BE TRANSLANTED DURING THAT TIME. TREES SHOULD NOT BE TRANSLANTED DURING REMOVAL PERIODS OF DRY WEATHER.
3. ADEQUATE SPACES FOR ROOT AND CROWN DEVELOPMENT SHALL BE PROVIDED.
4. TREES SHALL BE PLANTED IN ACCORDANCE WITH THE STANDARD PRACTICES AND STANDARDS PRIOR TO TRANSLATING, DURING AND FOLLOWING TRANSLATION. THE ROOT BALL AND TRUNK SHALL BE PROTECTED. THE ROOT BALL MUST BE KEPT MOIST AT ALL TIMES.
5. TRANSLATED TREES SHALL BE FERTILIZED FOR A MINIMUM OF ONE (1) YEAR.
6. TREES SHALL BE WATERED SUFFICIENTLY UNTIL THE TREE GROWTH IS REESTABLISHED.
7. ALL CROWN PRUNING SHALL BE ACCORDING WITH THE AMERICAN NATIONAL STANDARDS ISSUE A-300, TREEBUSHES AND SHRUBS. ALL MAINTENANCE SHALL BE ACCORDING WITH THE AMERICAN NATIONAL STANDARDS ISSUE A-300, TREEBUSHES AND SHRUBS. ALL CROWN PRUNING SHALL BE ACCORDING WITH THE AMERICAN NATIONAL STANDARDS ISSUE A-300, TREEBUSHES AND SHRUBS. ALL CROWN PRUNING SHALL BE ACCORDING WITH THE AMERICAN NATIONAL STANDARDS ISSUE A-300, TREEBUSHES AND SHRUBS.

TREE INVENTORY

TREENO	COMMON NAME	D.B.H. (INCHES)	HEIGHT (FEET)	SPREAD (FEET)	COMMENTS	DISPOSITION	REPLACEMENT REQUIRED
1	CABBAGE PALM	12	24	14		REMAIN	
2	CABBAGE PALM	12	24	14		REMAIN	
3	CABBAGE PALM	10	20	14		REMAIN	
4	CABBAGE PALM	10	25	14		REMAIN	
5	CABBAGE PALM	10	20	14		REMAIN	
6	CABBAGE PALM	10	18	14		RELOCATE	
7	CABBAGE PALM	10	24	16		REMAIN	
8	CABBAGE PALM	10	24	16		REMAIN	
9	CABBAGE PALM	10	24	16		REMAIN	
10	CABBAGE PALM	9	24	16		REMAIN	
11	CABBAGE PALM	10	27	16		REMAIN	
12	CABBAGE PALM	9	24	16		REMAIN	
13	OKA	9	20	24		REMOVE	9" (INCH PER INCH)
14	OKA	20	26	30		REMAIN	
15	OKA	16	25	25		REMAIN	
16	OKA	12	24	24		REMOVE	12" (INCH PER INCH)
17	PALM	12	16	12		REMOVE	1:1
18	PALM	12	16	12		REMOVE	1:1
19	ROSELLINI PALM	3	16	10	TRIPLE	REMOVE	1:1
20a	ROSELLINI PALM	4	16	10		REMOVE	1:1
20b	ROSELLINI PALM	4	16	10		REMOVE	1:1
21	CABBAGE PALM	20	24	24	OFF-SITE	OFF-SITE	
22	PALM	10	20	14		REMOVE	1:1
23	PALM	10	10	10		REMOVE	1:1
24	PALM	10	10	8		REMOVE	1:1
25	PALM	3	24	16		REMOVE	1:1
26	PALM	3	24	16		REMOVE	1:1
27	QUINCE LIMBO	18	24	24		REMAIN	
28	OKA	5	22	22	OFF-SITE	OFF-SITE	
29	PALM	9	12	12	OFF-SITE	OFF-SITE	
REQUIRED REPLACEMENT FOR OAK TREES REMOVED							21" WITH 12" HT & 2" DBH MIN TREES
REQUIRED REPLACEMENT FOR PALM TREES REMOVED							10 PALM TREES WITH 9" CT MIN (PALMS MAY BE REPLACED AT 3:1 WITH TREES)

MITIGATION FOR REMOVAL OF EXISTING TREES

MITIGATION FOR REMOVAL OF 21" OF PROTECTED OAK TREES SHALL BE ACHIEVED AS FOLLOWS:

- (11) 2" D.B.H. PROPOSED TREES = 22

MITIGATION FOR REMOVAL OF 10 PROTECTED PALM TREES SHALL BE ACHIEVED AS FOLLOWS:

- (4) 2" D.B.H. PROPOSED TREES = 3:1 REPLACEMENT FOR 10 PALM TREES

PROPOSED LANDSCAPE PLAN MEETS REQUIREMENTS FOR LOT AND MITIGATION
SEE PLANTING PLANS FOR PROPOSED TREE LOCATIONS.

§ 9.9. EXISTING PLANT MATERIAL

4. A. IN INSTANCES WHERE HEALTHY PLANT MATERIAL IS BEING PRESERVED ON A SITE, THE DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES DIRECTOR MAY ADJUST THE APPLICATION OF THESE REGULATIONS TO ALLOW CREDIT FOR SUCH PLANT MATERIAL IF SUCH ADJUSTMENT IS IN KEEPING WITH THE INTENT OF THIS ARTICLE.

B. WHERE TREES OF A 3 INCH CALIPER OR GREATER ARE REQUIRED TO BE REMOVED FROM A SITE, THE FOLLOWING SHALL APPLY FOR ALL PROPERTIES, EXCLUDING SINGLE FAMILY RESIDENCES:

1. THE EQUIVALENT CALIPER DIAMETER OF REPLACEMENT TREES SHALL BE PLANTED ON OR OFF SITE WITH LOCATIONS APPROVED BY THE DIRECTOR. THE REPLACEMENT TREES ARE IN ADDITION TO THE NUMBER OF NEW TREES THAT ARE REQUIRED TO BE PLANTED, OR

2. THE EQUIVALENT VALUE OF THE TREES BEING REMOVED SHALL BE PAID TO THE CITY OF HOLLYWOOD'S TREE TRUST FUND FOR PURCHASE OF REPLACEMENT TREES. FOR PURPOSES OF CALCULATING REPLACEMENT VALUE, THE CITY SHALL UTILIZE THE SAME STANDARDS AS BROWARD COUNTY, AS PROVIDED BY THE BROWARD COUNTY DEPARTMENT OF NATURAL RESOURCE PROTECTION;

3. THE FOLLOWING TREES ARE EXEMPT FROM THE ABOVE PROVISIONS OF THIS SUBSECTION:
- A. CITRUS SPECIES;
 - B. INVASIVE EXOTIC PEST TREES, AS PROVIDED IN THE LANDSCAPE SPECIFICATIONS MANUAL;
 - C. PALM SPECIES THAT ARE HIGHLY SUSCEPTIBLE TO LETHAL YELLOWING;
 - D. TREES DETERMINED BY THE DIRECTOR TO BE IN SEVERE DECLINE AND/OR DISEASED.

CATEGORY I & II PLANT MATERIAL CONTAINED ON THE EXOTIC PEST PLANT COUNCIL'S LIST OF INVASIVE EXOTIC PEST PLANTS, AS PROVIDED IN THE LANDSCAPE SPECIFICATIONS MANUAL, ARE PROHIBITED FOR USE IN LANDSCAPING. PRIOR TO FINAL INSPECTION APPROVAL, PLANT MATERIAL CONTAINED ON THIS LIST SHALL BE REMOVED FROM THE SUBJECT PROPERTY.

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

[illegible]

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

JENNIFER N. MILLER, STATE OF FLORIDA,
REGISTERED LANDSCAPE ARCHITECT, LICENSE NO.
LA0567079. THIS ITEM HAS BEEN DIGITALLY SIGNED
AND SEALED BY JENNIFER N. MILLER, RLA ON
02/28/2024. PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND SEALED AND
THE DIGITAL SIGNATURE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

PROJECT No.: F230118
DRAWN BY: JNM
CHECKED BY: MND
DATE: 07/06/2024
CAD L.D.: TACO BELL - HOLLYWOOD FL -

PROJECT:

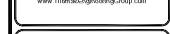
TACO BELL REDEVELOPMENT

—FOR—
GPD GROUP

GFD GROUP



6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33306
PH: (954) 202 7000
FX: (954) 202 7070
www.TrainingConnectionsGroup.com



SHEET TITLE:
**TREE DISPOSITION
PLAN**

SHEET NUMBER:
TD 1



MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC HANGING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 12 INCH MESH OPENINGS SUCH THAT THE UNDERLIEING STRUCTURE AND THE TRUNKS OF ANY OF THE OPENINGS THERE SHALL BE AT LEAST 7 METERS.
 THE FABRIC SHALL BE SECURED TO THE TRUNKS LONG AND STEEL T-PIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE 1/2 INCH DIA. 12 GA. GALV. STEEL.
 USED MATERIALS: PREVIOUSLY-USED MATERIALS, INCLUDING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.
CONSTRUCTION METHODS
 ALL MATERIALS AND METHODS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
 EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN A PERMIT TO EXEMPT PERMITS TO EXEMPT THE EXISTING TREES FOR CLEANING, RASING AND THINNING, AS MAY BE REQUIRED.
 PROTECTIVE FENCING SHALL BE ERCTED OUTSIDE THE CRITICAL ROOT ZONE OF ALL TREES TO BE REMOVED OR TRUNK FOR 1/2 OF 24" AT CONSULTANT SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAIL SHOWN ON THE PLANS. THE FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN THE CRITICAL ROOT ZONE SHALL BE FENCED TOGETHER, RATHER THAN SEPARATELY.
 PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTIONS SIGHT DISTANCE CRITERIA.
 THE PROTECTIVE FENCING SHALL BE ERCTED BEFORE SITE WORK BEGINS AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
 THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE CONTRACTOR AND MAINTAINED TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A FLAT AND UPRIGHT POSITION.
WITHIN THE CRZ:
 a. DO NOT LEAK, PILE, OR GRADE IN THE CRZ OF ANY TREE.
 b. DO NOT STORE, STOCKPILE OR DUMP ANY MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 c. DO NOT PARK OR DRIVE ANY VEHICLE OR TRAILER UNDER THE TREE CANOPY.
 d. DO NOT CUT OFF ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MOWS, PAINTING OR LUMBER CUTTING).
 e. DO NOT CUT, TRIM, PRUNE, OR REMOVE ANY BRANCHES, SWICHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 f. DO NOT REMOVE OR DESTROY ANY SOIL, ROCK, OR LUMBER INCLUDING SOLVENTS, CONCRETE WASTEWATER, ASPHALT TACK COATS (MC-30) ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR WATER RUNOFF WOULD CARRY SUCH MATERIALS TO THE CRZ.
 g. REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM THE CRZ SYSTEM OF THE TREE.

4. ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID THEM.
5. WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
6. THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT BY A TREE SURGEON FOR OAKS ONLY. ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALANT WITHIN 30 MINUTES.
7. REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM THE ROOT ZONE AREAS BY HAND.
8. TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
9. ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
10. COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
11. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
12. WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DESPITE ANY WEEK DURING PERIODS OF HOT DRY WEATHER, SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
13. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A W/4" POLYMER BARRIER BETWEEN THE CONCRETE TO PREVENT LEACHING OF LIME INTO THE SOIL.
14. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.

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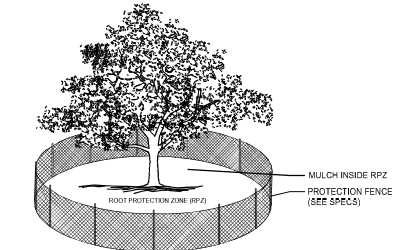
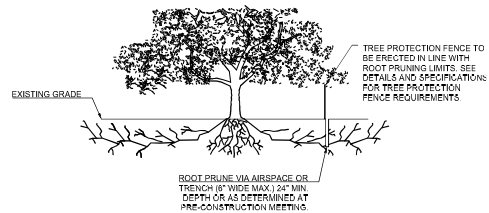


TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.

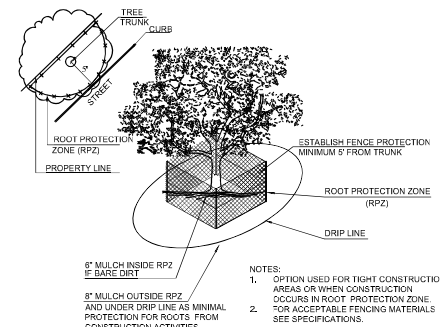


OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

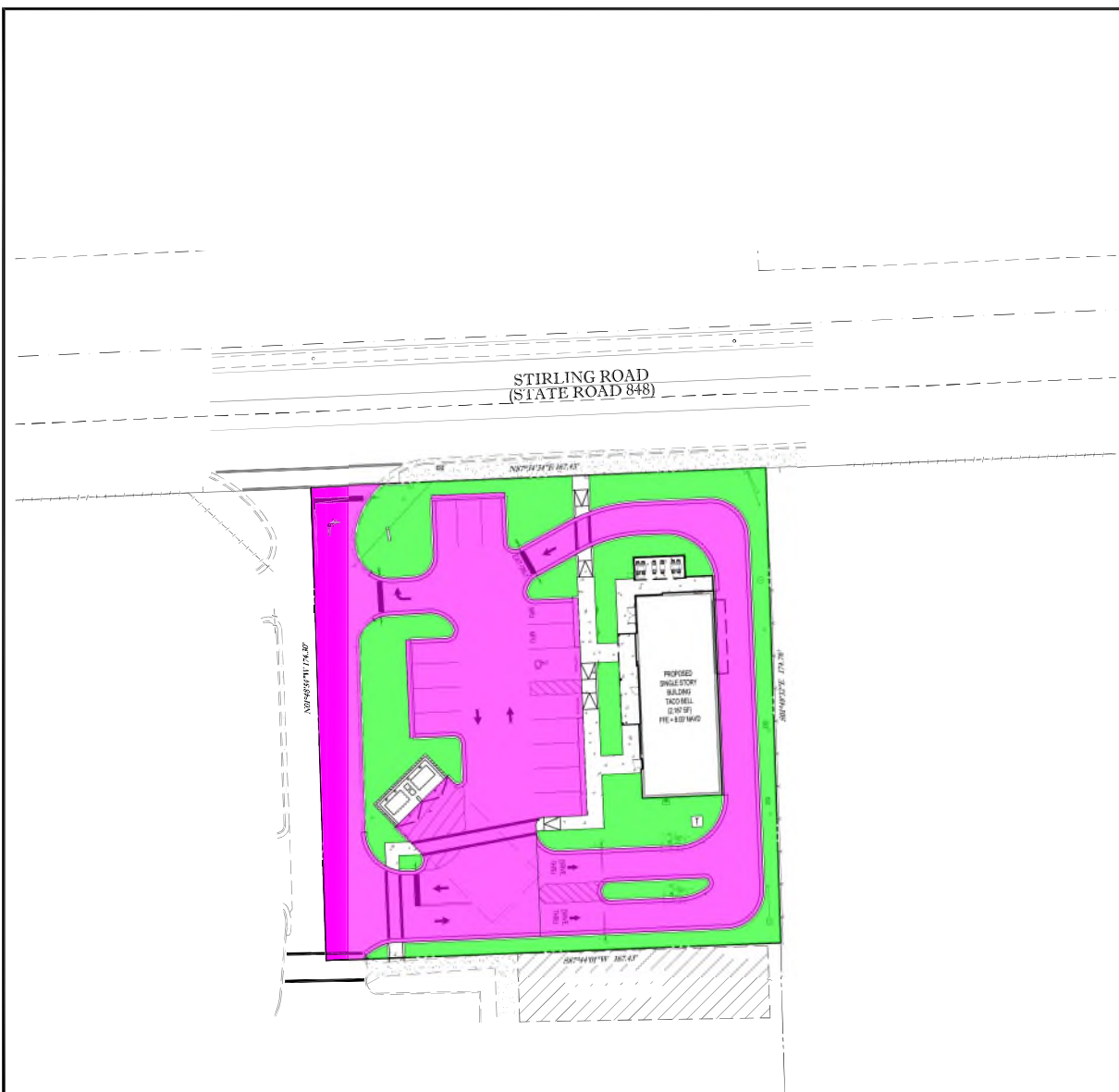
1. RETENTION AREAS WILL BE SET UP AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
2. BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND PLACED PRIOR TO ROOT PRUNING.
3. THE LOCATION OF THE AREAS SHOULD BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ACCEPTABLE MATERIAL AS SPECIFIED IN PLAN OR BY THE FORESTRY INSPECTOR.
ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ADOPTED STANDARDS.
4. PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
5. SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES PRIOR TO THE GROWING SEASON. PRUNING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



- NOTES:
1. THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY, WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
 2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS



SCALE: NOT TO SCALE



GREEN SPACE AREA = 7,661 SF

VEHICULAR USE AREA = 16,487 SF

[illegible]

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KRISTIN N. DIPIERRO, STATE OF FLORIDA
PROFESSIONAL ENGINEER, LICENSE NO. 34351
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SEALED BY KRISTIN N. DIPIERRO, PE ON 10/26/2024.
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PROJECT No.: F230118
DRAWN BY: JF
CHECKED BY: KNI
DATE: 10/28/2012
CAD ID: F230118 - AREA PLAN

PROJECT:

**TACO BELL
REDEVELOPMENT**

— FOR —

GPD GROUP

2700 STIRLING ROAD
HOLLYWOOD, FLORIDA

THOMAS
ENGINEERING GROUP

6300 NW 31ST AVENUE
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PH: (954) 202 7000
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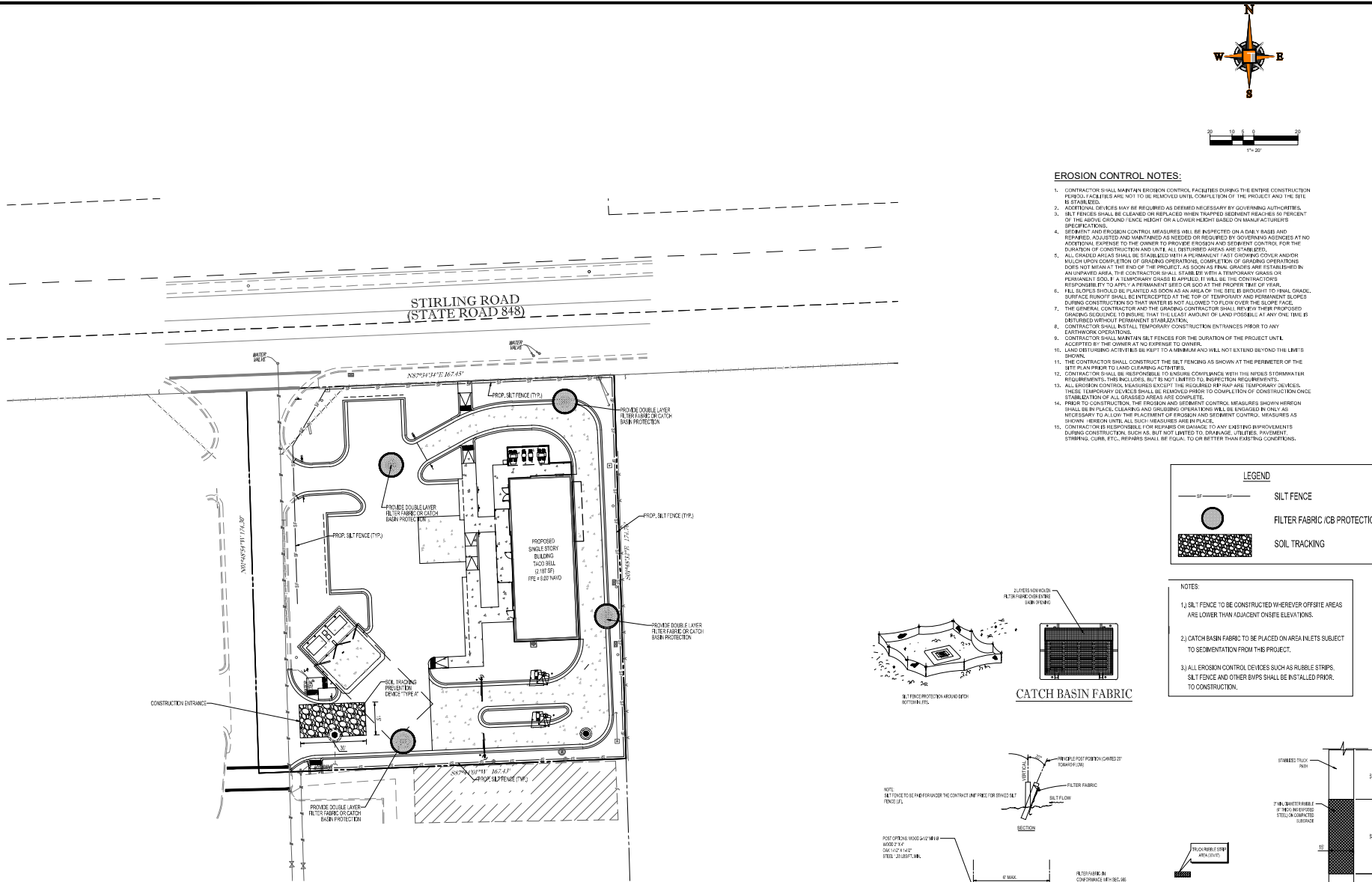
FLORIDA JOURNAL OF ARTS & ARCHITECTURE

SHEET TITLE:

AREA PLAN

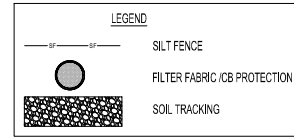
SHEET NUMBER:

EX-2

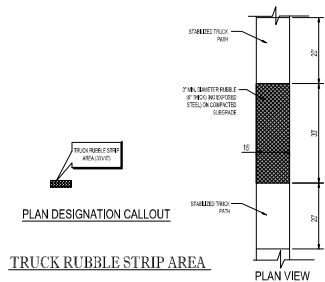
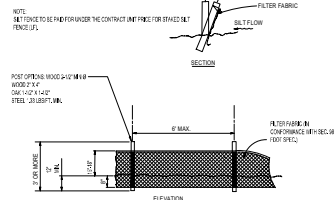
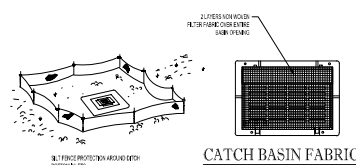


EROSION CONTROL NOTES:

1. CONTRACTOR SHALL MAINTAIN EROSION CONTROL FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD. FACILITIES ARE NOT TO BE REMOVED UNTIL COMPLETION OF THE PROJECT AND THE SITE IS STABILIZED.
2. ADDITIONAL DEVICES MAY BE REQUIRED AS DEEMED NECESSARY BY GOVERNING AUTHORITIES.
3. SILT FENCES SHALL BE CLEARED OR REPLACED WHEN THUMPED SEGMENT REACHES 50 PERCENT OF THE ABOVE GROUND FENCE HEIGHT OR A LOWER HEIGHT BASED ON MANUFACTURER'S SPECIFICATIONS.
4. SEEDING AND EROSION CONTROL MEASURES WILL BE INSPECTED ON A DAILY BASIS AND REPAIRED, ADJUSTED AND MAINTAINED AS NEEDED OR REQUIRED BY GOVERNING AGENCIES AT NO ADDITIONAL EXPENSE TO THE OWNER TO PROVIDE EROSION AND SEDIMENT CONTROL FOR THE DURATION OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
5. ALL GRADED AREAS SHALL BE STABILIZED WITH A PERMANENT FAST GROWING COVER AND/OR MULCH UPON COMPLETION OF GRADING OPERATIONS. COMPLETION OF GRADING OPERATIONS DOES NOT MEAN AT THE END OF THE PROJECT, AS SOON AS FINAL GRADES ARE ESTABLISHED IN AN UNPAVED AREA, THE CONTRACTOR SHALL STABILIZE WITH A TEMPORARY GRASS OR PERMANENT SOIL. IF A TEMPORARY GRASS IS APPLIED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO APPLY A PERMANENT SEED OR SOIL AT THE PROPER TIME OF YEAR.
6. ALL SLOPES SHOULD BE PLANTED AS SOON AS AN AREA OF THE SITE IS BROUGHT TO FINAL GRADE. SURFACE RUNOFF SHALL BE INTERCEPTED AT THE TOP OF TEMPORARY AND PERMANENT SLOPES DURING CONSTRUCTION SO THAT WATER IS NOT ALLOWED TO FLOW OVER THE SLOPE FACE.
7. THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR SHALL REVIEW THEIR PROPOSED GRADING SEQUENCE TO INSURE THAT THE LEAST AMOUNT OF LAND POSSIBLE AT ANY ONE TIME IS DISTURBED WITHOUT PERMANENT STABILIZATION.
8. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO ANY EXISTING OPERATIONS.
9. CONTRACTOR SHALL MAINTAIN SILT FENCES FOR THE DURATION OF THE PROJECT UNTIL ACCEPTED BY THE OWNER AT NO EXPENSE TO OWNERS.
10. LAND DISTURBING ACTIVITIES BE KEPT TO A MINIMUM AND WILL NOT EXTEND BEYOND THE LIMITS SHOWN.
11. THE CONTRACTOR SHALL CONSTRUCT THE SILT FENCES AS SHOWN AT THE PERIMETER OF THE SITE PRIOR TO LAND CLEARING ACTIVITIES.
12. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE COMPLIANCE WITH THE INFILTRATION REQUIREMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO, INSPECTION REQUIREMENTS.
13. ALL EROSION CONTROL MEASURES EXCEPT THE REQUIRED WRAP ARE TEMPORARY DEVICES. THESE TEMPORARY DEVICES SHALL BE REMOVED PRIOR TO COMPLETION OF CONSTRUCTION ONCE STABILIZATION OF ALL GRADED AREAS IS COMPLETE.
14. PRIOR TO CONSTRUCTION, THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN HEREON SHALL BE IN PLACE, CLEANING AND GRUBBING OPERATIONS WILL BE ENGAGED IN ONLY AS NECESSARY TO ALLOW THE PLACEMENT OF EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN. HEREON UNTIL ALL SUCH MEASURES ARE IN PLACE.
15. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DAMAGE, UTILITIES, PAYMENTS, STREETS, CURBS, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.



- NOTES:**
- 1) SILT FENCE TO BE CONSTRUCTED WHEREVER OFFSITE AREAS ARE LOWER THAN ADJACENT ONSITE ELEVATIONS.
 - 2) CATCH BASIN FABRIC TO BE PLACED ON AREAS INLETS SUBJECT TO SEDIMENTATION FROM THIS PROJECT.
 - 3) ALL EROSION CONTROL DEVICES SUCH AS RUBBLE STRIPS, SILT FENCE AND OTHER BMPs SHALL BE INSTALLED PRIOR TO CONSTRUCTION.



THOMAS ENGINEERING GROUP

12301 NW 13TH AVENUE
FORT LAUDERDALE, FL 33309
TEL: (954) 202-7070
P: (954) 202-7000

REV.	DATE	COMMENTS	BY
1	7/12/2024	TAC COMMENTS	CLM

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ASTORIA N. SPRING, STATE OF FLORIDA
PROPOSED WORKING CONDITIONS: 11000
THIS ITEM HAS BEEN CATEGORICALLY REVIEWED AND
CLASSIFIED AS A CATEGORY 1 (LOW RISK) FACILITY.
THIS FACILITY IS NOT TO BE DISTURBED OR
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PROJECT NO.: F230118
DRAWN BY: RYAN
CHECKED BY: RYAN
DATE: 10/26/2020
CADD ID: F230118_0000

TACO BELL REDEVELOPMENT

FOR
GPD GROUP

2700 STIRLING ROAD
HOLLYWOOD, FLORIDA

THOMAS ENGINEERING GROUP

8300 NW 13TH AVENUE
FORT LAUDERDALE, FL 33309
TEL: (954) 202-7070
P: (954) 202-7000
www.ThomasEngineeringGroup.com

FLORIDA PROFESSIONAL ENGINEER

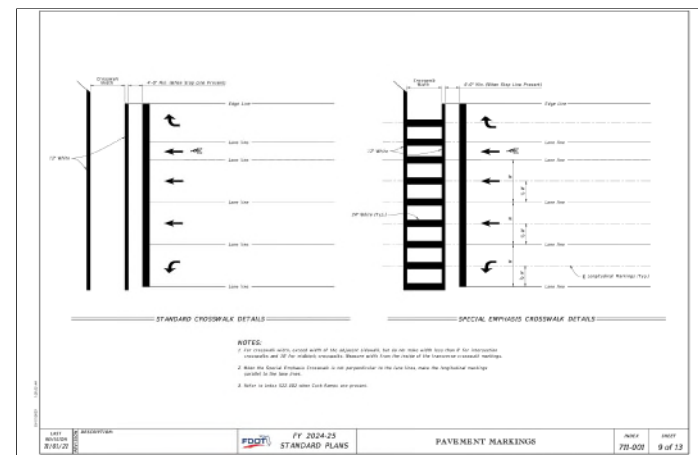
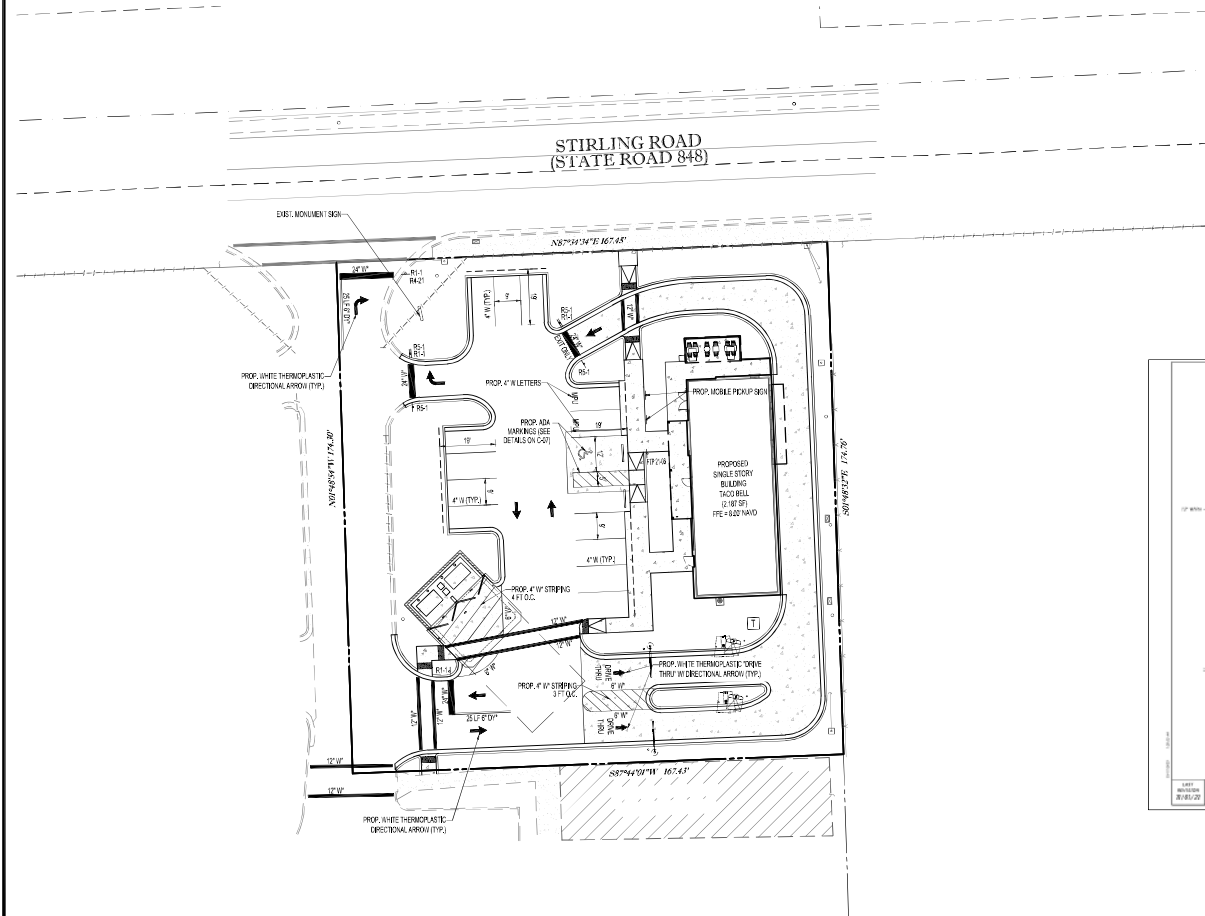
NO. 84888

STATE OF FLORIDA

EXPIRATION DATE: 12/31/2024

EROSION CONTROL PLAN

SHEET NUMBER: **C-03**



- NOTES:**
1. ALL SIGNAGE, STRIPING, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FDOT, AND BCTED STANDARDS.
 2. SIGNAGE SHALL BE DOWNGLOTTED, HIGH RESH, AND MADE UNLESS OTHERWISE NOTE. ALL PAVEMENT GRAPHICS SHALL BE HOT-APPLIED THERMOPLASTIC (REFLECTIVE).
 3. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 4. BCTED APPROVAL WILL BE REQUIRED FOR ALL PAVEMENT MARKINGS WITH CITY RIGHTS-OF-WAY.
 5. ALL PAVEMENT MARKINGS TO CONFORM TO FDOT STANDARDS, UNLESS OTHERWISE NOTED.

[illegible]



1. THE CONTRACTOR TO SAW-CUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC., SIDEWALK, CONC. CURBS AND ASPHALT UNLESS OTHERWISE NOTED. ALL BASES AND SUB-BASES SHALL BE REPAIRED TO ORIGINAL FINISH GRADE AND DRAINAGE AREA.
2. THE CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXIST. GRADES TO NEW GRADES.
3. THE CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DEPOSIT PER LOCAL ORDINANCES.
4. CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
5. THE CONTRACTOR TO SOD ALL DISTURBED AREAS. SODDING INCLUDES MAINTAINING SOD AND SOO LOTS, UNIFORM COVER AND ACCEPTANCE OF THE TOTAL PROJECT AREA. SOD MUST BE ESTABLISHED WITHIN 90 DAYS OF COMPLETION.
6. ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REMAINTAINED WHERE APPLICABLE BY THE CONTRACTOR.
7. THESE PLANS REVEAL CONDITIONS KNOWN DURING PLANNING DEVELOPMENT. IN THE EVENT OF UNUSUAL PHYSICAL CONDITIONS PRESENTING THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS.
8. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES TO SUCH EXISTING CONSTRUCTION ACTIVITIES AND ALL ADDITIONAL COSTS TO THE OWNER.
9. NOTIFY SUBURBANE STATE ONE CALL (1-800-333-3476) OR (811) PRIOR TO EXCAVATION OF ANY UTILITY TO A MINIMUM OF 48 HOURS.
10. PROJECT BASED ON DESIGN SUBMITTED BY PREPARED BY OTHERS.
11. THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
12. THE EXIST'NG UNDERGROUND UTILITIES SHOWN ARE PER ABOVE GROUND SURVEY. THERE MAY BE AN ADDITIONAL UTILITY NOT SHOWN. THE CONTRACTOR SHALL HARRASS EXACT SIZE AND LOCATION OF THE UTILITIES. ALSO, THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN. THE LIMITS OF CONSTRUCTION THAT MAY BE AFFECTED, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING UTILITIES.
13. PLEASE SEE MP PLANS FOR CONTRIATION OF ROOF LEADERS.
14. 2.0% MINIMUM SLOPE ON HANDICAP SPACES AND ADA ACCESSWAYS.
15. ALL SIDEWALKS SHOULD HAVE A MINIMUM CROSS SLOPE OF 2.0% AND ALL SIDEWALKS SHALL NOT EXCEED A 5.0% RUNNING SLOPE.
16. EXISTING COVER MUST BE MAINTAINED ON ALL WATER AND SANITARY LINES.
17. EXISTING SEWER SYSTEM MUST REMAIN FREE FROM CONSTRUCTION DEBRIS AND FLOW FREELY UNHINDERED.
18. NOTES UNLESS INDICATED:

<i>EXISTING</i>	TYPICAL NOTE TEXT	PROPOSED
	UNDERGROUND WATER LINE	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND GAS LINE	
	ROOF DRAIN	
	SANITARY SEWER	
	SANITARY SEWER LATERAL	
	DRAINAGE LINE	
	CATCH BASIN	
	CLEAN OUT	
	GRADE SPOT (SHOT)	
	TOP OF CURB (TODERMAK) (TS)	
	BOTTOM OF CURB (BC) (CE) (PAVEMENT) (EP)	
	EXISTING	
	FLOW ARROW	
	BACKFLOW PREVENTER	
	WATER METER	
	FIRE HYDRANT	
	SANITARY MANHOLE	

EXISTING CONCRETE

PROPOSED CONCRETE

PROPOSED ASPHALT PAVEMENT

PROPOSED PAVERS

HOMAS
ENGINEERING GROUP

CIVIL ENGINEERS • PROJECT MANAGERS • LANDSCAPING • LANDSCAPE ARCHITECTS

1002 W. FLATBUSH AVE.
UNIT 502, 101
FLATBUSH, NY 11217
P: (813) 378-1100
F: (813) 378-1102

725 W. BIRCHWOOD RD.
SUITE 208
CHICAGO, IL 60646
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10000 W. 10TH AVE.
SUITE 100
DENVER, CO 80231
P: (303) 751-1100

[illegible]

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KRISTIN N. DIERDORF, STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE NO. 84250.
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PROJECT No:	F23011
DRAWN BY:	JF
CHECKED BY:	KN
DATE:	10/28/202
CAD ID:	F230118-4PG

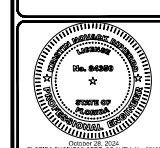
PROJECT:

**TACO BELL
REDEVELOPMENT**

FOR
GPD GROUP

2700 STIRLING ROAD

6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
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SHEET TITLE:

PAVING, GRADING & DRAINAGE PLAN

SHEET NUMBER:
C-09

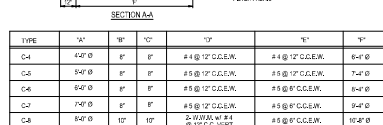


1. REPAIRED BASE MATERIAL OVER TRENCH SHALL BE THICKER THE THICKNESS OF THE ORIGINAL BASE MATERIAL BY MAXIMUM 1/2".
2. BASE MATERIAL SHALL BE PLACED IN 4" MINIMUM LAYER THICKNESS PREVENT LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 95% OF MAXIMUM DENSITY PER AASHTO T-99.
3. SUBGRADE MATERIAL SHALL BE GRANULAR AND UNIFORM AND SHALL HAVE A MINIMUM LAYER OF 6".
4. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAVED PARALLEL TO, OR PERPENDICULAR TO THE ROADWAY.
5. SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED.
6. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE SURROUNDING SURFACE MINIMUM 1" THICKNESS.
7. BASE MATERIAL SHALL HAVE A MINIMUM OF 30% AND A MINIMUM CARBONATE CONTENT OF 70% (SEE FOR LOCAL SPECIFICATIONS).
8. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH 6" ASPHALT OR CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM DISPERSED INTO, REPLACED WITH A PERMANENT PATCH.

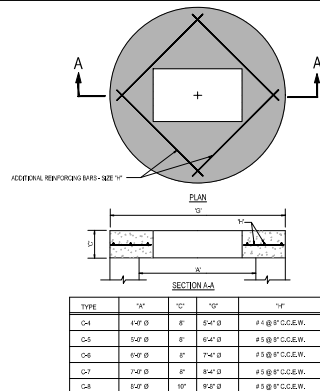


1. PIPES SHALL CONNECT TO ADDITIONAL CATCH BASIN AS REQUIRED.
2. BALLAST ROCK SHALL CONSIST OF 3/4" WASHED ROCK AND BE FROM FRESH WATER WASHED FREE OF DELETERIOUS MATTER.
3. TRENCH TO BE LINED WITH AMOCO PROPEX 4545 OR APPROVED EQUIVALENT TYPE FILTER FABRIC. OVERLAP TRENCH LINING MATERIAL A MINIMUM OF 2' AT TOP OF TRENCH. CLOSE ENDS AND STRAP AROUND PIPE.
4. IN AREAS OVER TRENCH WHERE THE FULL ROADWAY SECTION CANNOT BE CONSTRUCTED, THE AREA ABOVE THE TRENCH SHALL CONSIST ENTIRELY OF LIME ROCK BASE (LB100).

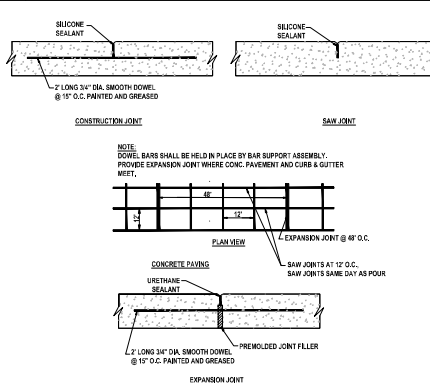
SCALE: NONE



SCALE: NONE

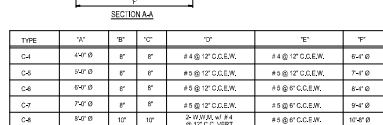


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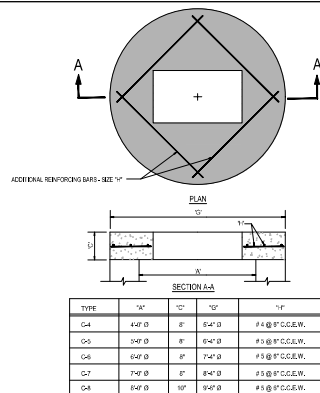


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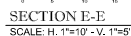
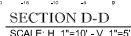
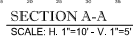
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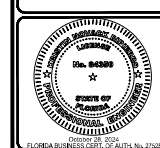
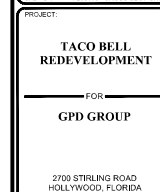
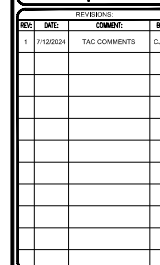
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SHEET TITLE:
**PAVING, GRADING &
 DRAINAGE DETAILS**

SHEET NUMBER:
C-10



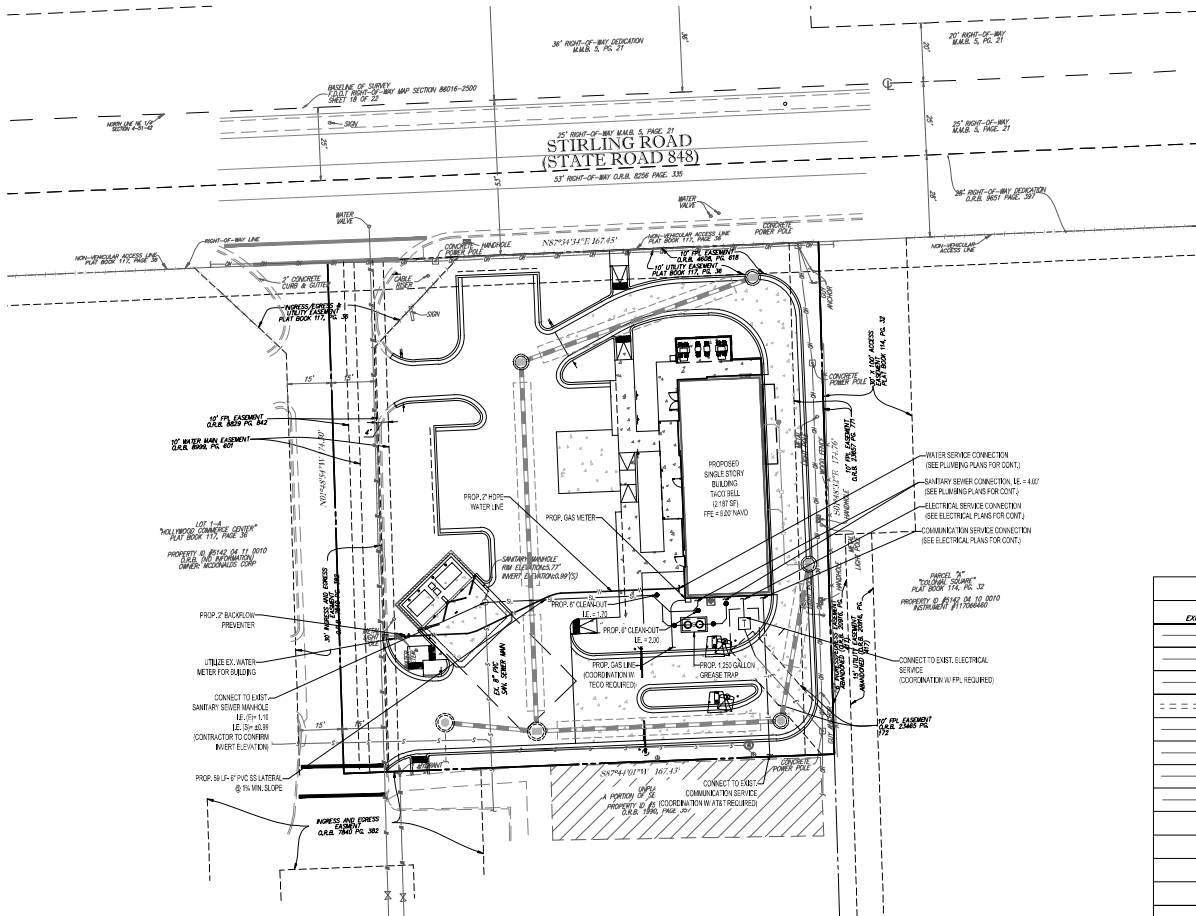
- (A) SUB-BASE:** 12" STAMPEDED SUB-BASE COMPACTED TO 88% OF MAX. DRY DENSITY PER AASHTO T-99 (MIN. 100 LBS/40').
- (B) CONCRETE PAYMENT (VEHICULAR USE AREAS):**
8" THICK 4,500 PSI CONCRETE.
- (C) CONCRETE SIDEWALK (IN NON-VEHICULAR AREAS):**
4" THICK CONCRETE.
- (D) WEARING SURFACE - ASPHALT AREAS:**
INSTALLATION OF 12" ASPHALT CONCRETE SURFACE COURSE FOR LIGHT DUTY (2" FOR HEAVY DUTY) WHICH SHALL CONFORM WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR TYPE SP-6.5 ASPHALTIC CONCRETE, AND SHALL BE CONSTRUCTED IN TWO (2) LIFTS EACH LIFT COMPACTED BETWEEN LIFTS.
- (E) LIWE ROOK BASE - (VEHICULAR AREAS "CONCRETE PAYMENT" AREAS ONLY):**
LIWE ROOK BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM 12" THICKNESS FOR HEAVY DUTY AND A MINIMUM 8" THICKNESS FOR LIGHT DUTY COMPACTED TO 88% MAXIMUM DRY DENSITY PER AASHTO T-99 (MIN. 100 LBS/40'). SUBSTITUTES SHALL MEET ALL TEST SPECIFICATIONS AND PROVIDE EQUIVALENT STRUCTURAL NUMBER.



SHEET TITLE:

CROSS SECTIONS

SHEET NUMBER:
C-11



NOTE:
CONTRACTOR TO FIELD VERIFY, PRIOR TO CONSTRUCTION, INVERTS, PIPE SIZES, AND MATERIAL FOR ALL EXISTING UTILITIES. CONTRACTOR SHALL IMMEDIATELY NOTIFY TO THE ENGINEER OF RECORD ABOUT ANY DISCREPANCIES FOUND.

WATER & SEWER DEMAND:
Water:
FAST FOOD RESTAURANT
2,187 SF @ 0.47 GPD/100 SF = 1,036 GPD
Sewer:
FAST FOOD RESTAURANT
2,187 SF @ 0.38 GPD/100 SF = 842 GPD
*THIS CALCULATION WAS BASED ON BROWARD COUNTY WATER & WASTEWATER ENGINEERING DIVISION "GUIDELINES FOR DETERMINING ABILITY TO PROVIDE POTABLE WATER AND WASTEWATER SERVICE"

FIRE FLOW REQUIREMENT:
BASED ON TYPE III/000 CONSTRUCTION
AS PER NFPA 1 (2018 EDITION) SECTION 16-4.2.1 - "THE FIRE FLOW AREA OF A BUILDING CONSTRUCTED OF TYPE III/000 CONSTRUCTION SHALL BE THE AREA OF THE THREE LARGEST SUCCESSFUL FLOORS."
THE TOTAL AREA OF THE THREE LARGEST SUCCESSFUL FLOORS IS 2,187 SQUARE FEET AND AS PER NFPA 1 (2018 EDITION) TABLE 16-4.2.1, THE FIRE FLOW REQUIRED IS 1,000 GPM FOR A DURATION OF 2 HOURS.

UTILITY LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
1	UNDERGROUND WATER LINE	1
2	UNDERGROUND ELECTRICAL LINE	2
3	UNDERGROUND TELEPHONE LINE	3
4	STORM SEWER	4
5	SANITARY SEWER MAIN	5
6	SANITARY SEWER LATERAL	6
7	GAS SERVICE LINE	7
8	OVERHEAD WIRE	8
9	HYDRANT	9
10	WATER SERVICE MANHOLE	10
11	STORM MANHOLE	11
12	CATCH BASIN	12
13	WATER METER	13
14	BACKFLOW PREVENTER	14
15	CLEAN OUT	15



- NOTES:**
1. THE BOTTOM ELEVATION OF THE EXTERIOR ELECTRICAL AND/OR MECHANICAL EQUIPMENTS SHALL BE ELEVATED TO MATCH THE PROPOSED FFE.
 2. ALL UNDERGROUND FIRE MAIN WORK MUST BE COMPLETED BY FIRE PROTECTION CONTRACTOR HOLDING A CLASS 1B, OR V LICENSE PER FS 633.102

- UTILITY NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
 2. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 3. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
 4. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 5. CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS ACCORDING WITH CITY UTILITY REQUIREMENTS AS TO LOCATIONS AND SCHEDULING FOR TIE-IN CONNECTIONS PRIOR TO CONNECTING EXISTING FACILITIES.
 6. CONTRACTOR SHALL COORDINATE WITH BUILDING PLANS, POWER COMPANY, & TELEPHONE COMPANY FOR ACTUAL ROUTING OF POWER AND TELEPHONE SERVICES TO BUILDING.
 7. SEE DETAIL SHEETS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
 8. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
 9. CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTHS AND PREVENT ANY CONFLICT OF UTILITIES.
 10. CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
 11. CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.
 12. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
 13. SITE CONTRACTOR TO COORDINATE PROPOSED RECONNECTION OF ALL UTILITIES WITH ARCHITECTURAL PLANS AS WELL AS UTILITY COMPANIES AND BUILDING CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL EXPENSES THAT RESULT FROM DELAYED OR FAILED TEST DURING ANY PHASE OF THE CONSTRUCTION PROCESS.
 14. EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER OR ENGINEER PRIOR TO CONSTRUCTION.
 15. CONTRACTOR SHALL REFER TO PLANS BY OTHERS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION AND TIE-IN CONNECTIONS TO THEIR FACILITIES.
 16. SEE COVER SHEET FOR LIST OF UTILITY COMPANIES AND CONTACT PERSONS.
 17. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, AND ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
 18. CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES ADJACENT TO DRIVE AREAS.
 19. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES.
 20. PROVIDE MINIMUM 18" VERTICAL AND 2' HORIZONTAL CLEARANCE OF ELECTRIC CONDUITS TO ANY OTHER UTILITY LINE.

THOMAS ENGINEERING GROUP
ENGINEERING
1225 N. UNIVERSITY AVENUE, SUITE 100
TAMPA, FL 33606
P: 813.252.7500
F: 813.252.7501
www.thomasengineeringgroup.com

REV.	DATE	REVISION	BY
1	7/12/2024	TAC COMMENTS	CJM

Sunshine
Call 811 or visit sunshine11.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

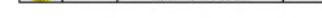
KAREN L. JENNINGS, STATE OF FLORIDA
REGISTERED PROFESSIONAL ENGINEER NO. 12024
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 12024
CONTRACTED REVIEW AND SEALING FOR THE
DATE OF REVIEW: 7/12/2024
ELECTRONIC SIGNATURE

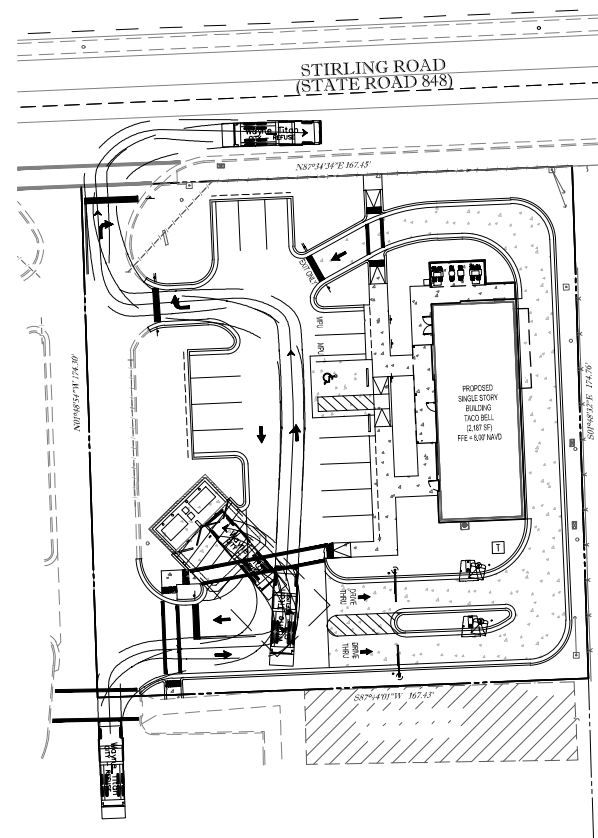
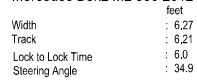
TACO BELL REDEVELOPMENT
FOR
GPD GROUP
2700 STIRLING ROAD
HOLLYWOOD, FLORIDA

THOMAS ENGINEERING GROUP
6300 NW 11ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 302-7070
FX: (954) 302-7070
www.thomasengineeringgroup.com



SHEET TITLE
UTILITY PLAN
SHEET NUMBER
C-12

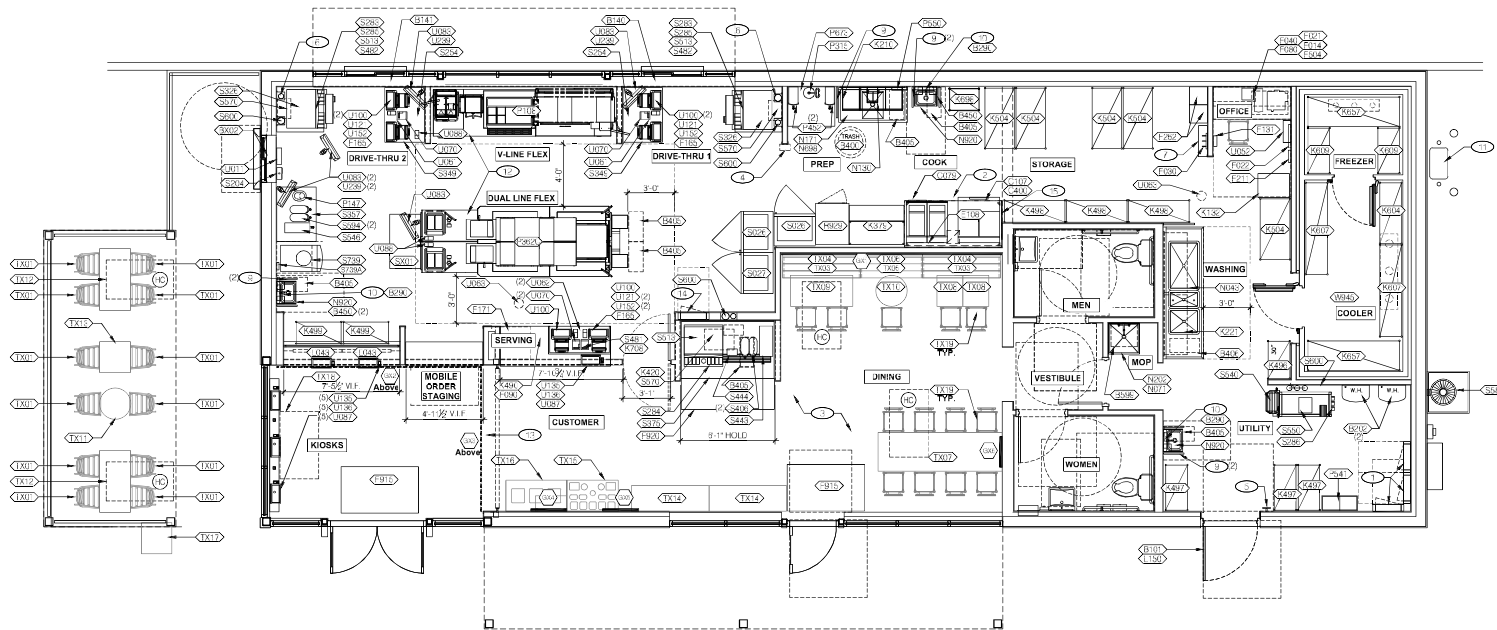
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SHEET NUMBER:








C-14

701 W. Lakeside Ave., Apt. #301
Cleveland, OH 44113
Phone 330.572.2112



TAG	QTY	ITEM DESCRIPTION
T003	2	PATIO CHMR. 22 X 30 - EXTERIOR
T004	2	BENCH BACK REST - 48"
T004	2	BENCH SEAT - 48"
T005	1	BENCH BACK REST - 60"
T005	1	BENCH SEAT - 60"
T007	1	HUB TABLE - 96" (NOT HIGH TOP)
T008	2	LAMINATE TABLE - 24 X 20 X 30 - 2 TOP
T009	1	LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP
T010	1	SS TABLE - 24 DIA X 30 - 2 TOP
T011	1	PATIO TABLE - 24 DIA X 30 - 2 TOP - EXTERIOR
T012	2	PATIO TABLE ADA - 24 X 48 X 30 - 2 TOP - EXTERIOR
T013	1	PATIO TABLE - 24 X 20 X 30 - 2 TOP - EXTERIOR
T014	2	COUNTER TOP - 60" X 20" X 30"
T015	1	CONDIMENT COUNTER - RECTANGLE
T016	1	WASTE ENCLOSURE - 3 STREAM
T017	1	WASTE ENCLOSURE - SINGLE - EXTERIOR
T018	1	KOSK TABLE W/ (2) CORE DRILLED SUPPORTS, (3) GROMMET

TAG	QTY	ITEM DESCRIPTION
TX19	14	CHAIR - LAMINATE SEAT

	QTY	NAME	FAMILY	FRAME OR MURAL	SIZE	LOCATION
	1	TBD			H 7'-0" x W 5'-0"	SEE A8.0
	1	TBD			H 13'-0" x W 10'-0"	SEE A8.0
	1	TBD			H 13'-0" x W 14'-0"	SEE A8.0
	1	TBD			28x40	SEE A8.0
	1	TBD			28x40	SEE A8.0
	1	TBD			30"	SEE A8.0

1. REFER TO SC SHEETS FOR SCOPE OF WORK FOR RESPONSIBILITIES

2. (H) SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

STORAGE TYPE	LINEAR FT
DRY STORAGE	00
COLD STORAGE	22
FROZEN STORAGE	12

- ① ELECTRICAL PANELS.
- ② MOUND FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).
- ③ MANTAN® 36" MIN. CLEAR ACCESSIBLE AISLE EGRESS PATHS TO EXIT DOORS
32" AT DOORWAYS AND GASED OPENINGS. (42" AISLE REQUIRED WHEN AISLE
SERVICES ARE MORE THAN 50 SEATS).
- ④ ALERT LIGHT BOX FOR 3-00PM POWER SOAK.
- ⑤ PULL STATION @ 3'-4" A.F.F.
- ⑥ REFRIGERANT LINES RUN IN SS CHARGE MOUNTED TO WALL.
- ⑦ TBCCS ENERGY MANAGEMENT BOX ABOVE COAT RACK R003.
- ⑧ NOT USED.
- ⑨ SPLASH GUARD.
- ⑩ AUTOMATIC HAND SOAP AND SANITIZER DISPENSERS PROVIDED BY ECOLAB.
- ⑪ GAS METER.
- ⑫ FOR DUAL-FLEX LINE AND I-LINE FLEX SUB-EQUIPMENT SEE SHEETS A8.3 & A.3.3
- ⑬ ROLL-UP GRILLE.
- ⑭ LOCATION OF V-LINE ELECTRICAL PANEL.
- ⑮ MOUND END PANEL.

2700 Sterling Rd.
Hollywood, FL 33020



A2.0

PLOT DATE:

"This submittal is for general informational purposes only and is preliminary in nature. As such, any other use or reliance is strictly prohibited."

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT



COORDINATION NOTE
EGRESS LIGHTING REQUIRED AT ALL DOORS. REFER TO ELECTRICAL LIGHTING PLAN FOR EXTERIOR LIGHTING LOCATIONS.

WALK-UP ELEVATION 1/4"=1'-0" A

SYMBOL	ITEM / MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	NOTES	CONTACT INFORMATION
CLADDING						
1	SIDING, LOWER HALF OF BUILDING	X	CMU STACK BOND	GRAY	X	X
2	SIDING, UPPER HALF OF BUILDING	PAC CLAD	BOX RIB 1 ARCHITECTURAL WALL PANELS - 24 GA. STEEL	SLATE GRAY	1-3/8" DEEP PANELS	X
TRIM						
3a	WALL TRIM: VERTICAL	-	BRAKEMETAL OVER FRT 2X8	MATCH STOREFRONT		X
3c	WALL TRIM: HORIZONTAL	-	BRAKEMETAL OVER FRT 2X8	MATCH STOREFRONT	X	X
METAL						
4	PARAPET CAP	X		SW7674 PEPPERCORN	X	X
5	OVERFLOW SCUPPERS	X		SW7674 PEPPERCORN	X	X
6	SERVICE DOOR AND FRAME	X		SW7674 PEPPERCORN	X	X
7	METAL TUBE FRAME - REAR OF BUILDING (BY VENDOR)	X		REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
8	METAL ARCH TUBE FRAME (BY VENDOR)	X		REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
9	RAILINGS AND POSTS	AMERICAN RAILING SYSTEMS		PRE-FINISHED TO MATCH SW7674 PEPPERCORN (PREFERRED POWDER COATED)	SEE DETAIL 14/A6.2	X
10	EQUIPMENT SCREEN	LAWRENCE METAL STRUCTURES	ARCHITECTURAL PERFORATED METAL SCREEN SET IN FRAME	PAINTED OR POWDERCOATED TO MATCH PANTONE 2305C	CUSTOM 13' X 14' 3" SIDED METAL ENCLOSURE, ANCHORED TO ROOF. PROVIDE SHOP DRAWINGS. APPROVAL REQUIRED BY ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT OF FABRICATION.	X
11	EXTERIOR METAL CANOPIES, BRACKETS AND COLUMNS (BY VENDOR)	X		PAINTED OR POWDERCOATED TO MATCH SW7674 PEPPERCORN	X	X
12	ACCENT PANEL (BY VENDOR)	BRIDGER STEEL	7.2 STRUCTURAL BOX RIB PANEL	REFER TO SIGN SHOP DRAWINGS FOR FINISH COLORS, TYP.	X	X
PAINT						
13	CO2 ENCLOSURE	SHERWIN WILLIAMS	EXTERIOR PAINT (OR PRE-FINISHED TO MATCH)	SW7674 (PEPPERCORN)	X	X
COORDINATION NOTE CONTACT YOUR ALIGNED BRAND DESIGNER FOR ALTERNATIVE FINISHES						

EXTERIOR FINISH SCHEDULE E

MISCELLANEOUS
A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.
SEALANTS (REFER TO SPEC 5.1)
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SPILL SEALANT INTO WINDOWS
THE GENERAL CONTRACTOR SHALL ENSURE THAT THE BRICK JOINTS ARE PLUMB AND LEVEL, AND THE BRICK FACES ALIGN WITH THE FINISH.
VENDOR SUPPLIED / INSTALLED ELEMENTS
GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR INSTALLED SIGNAGE AND BUILDING ELEMENTS.

GENERAL NOTES C

ITEM	QTY	ITEM DESCRIPTION	ELEC
V-1	2	20" WHITE CHANNEL LETTERS VERTICAL	YES
V-04.42	2	42" SWINGING BELL PURPLE LOGO FACE LIT	YES
V-2	1	13'-0" X 53" WALK-UP WINDOW ARCH ELEMENT	NO
V-3	1	60"W X 36"D X 6"H WALK-UP WINDOW CANOPY	YES
V-4	1	TB CORNER WRAP ELEMENT WITH BELL LOGO	YES
V-5	2	90" X 90" SWINGING BELL LOGO WITH FINISHES	YES
V-6	1	ENTRY ARCH ELEMENT	YES
V-7	1	DIRECTIONAL BLADE SIGN	NO

NOTE: REFER TO GRAPHICS PACKAGE FOR ADDITIONAL INFORMATION

EXTERIOR SIGNAGE D

- 1. BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 2. DRIVE-THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3. METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 4. ARCHITECTURAL METAL PANELS.
- 5. HORIZONTAL WALL PLANKS.
- 6. WALL LIGHTING - LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0 AND ELECTRICAL DRAWINGS.
- 7. INDICATES TOP OF ROOF DECK.
- 8. ROOFTOP EQUIPMENT - SHOWN DASHED FOR REFERENCE.
- 9. BOLLARDS PER CIVIL.
- 10. ILLUMINATED METAL TUBE ARCH BY SIGN VENDOR.
- 11. WALK-UP ELEMENT AND CANOPY BY SIGN VENDOR.
- 12. CUSTOM METAL RTU SCREEN. SEE ROOF PLAN AND DETAIL 1 / A6.2.
- 13. ACCESS DOOR IN PARAPET. MATCH SURROUNDING WALL MATERIALS / COLORS.
- 14. EXTERIOR RAILINGS AT SEATING / WALKUP WINDOW. SEE DETAIL 14/A6.2. SEE SITE PLAN FOR LOCATION.
- 15. METAL WRAP TO MATCH EXTERIOR STOREFRONT FRAMING (BLACK).
- 16. ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1.
- 17. HOSE BIB. REFER TO PLUMBING DRAWINGS AND DETAIL 12/A6.1.
- 18. CO2 ENCLOSURE, FILLER VALVE BEYOND.
- 19. NOT USED.
- 20. SWITCH GEAR IF ALLOWED BY JURISDICTION, PAINT TO MATCH WALL SURFACE.
- 21. CONCRETE BUILDING CURB SHALL BE PAINTED BLACK.
- 22. OVERFLOW SCUPPER.
- 23. GAS METER. DO NOT PAINT METER.
- 24. EMERGENCY LIGHTS. SEE ELECTRICAL SHEETS.
- 25. HANDICAP SIGNAGE. MOUNT AT 5'-0" A.F.F.
- 26. SECURITY DOOR. OWNER SUPPLIED / G.C. INSTALL.
- 27. WALK-UP WINDOW.
- 28. PATIO CANOPY BY VENDOR.
- 29. PAINTED ALUMINUM FRAME WITH INTEGRATED LED LIGHTING BY VENDOR.
- 30. NOT USED.
- 31. ASSUME DIT LAND SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.

This drawing is a preliminary drawing and is not for construction. It is not to be used for construction. It is not to be used for construction. It is not to be used for construction.

NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET

KEY NOTES B

Mark S. Salopek, LLC

101 W. LINDEN AVE. #101
CHANDLER, AZ 85001
Phone 480.752.1112



06/28/24

PLAN SET ISSUE / REVISION HISTORY

CONTRACT DATE: 04/30/24

BLDG TYPE: KITCHEN-X MED20

WM UPLOAD DATE:

BRAND DESIGNER: TS

SITE NUMBER: 296861

STORE NUMBER: 461022

PA/PM: Dowling

DRAWN BY: RS

JOB NO.: 2023086.52

KITCHEN-X MED20

2700 Sterling Rd.
Hollywood, FL 32660



EXTERIOR ELEVATIONS

A4.0

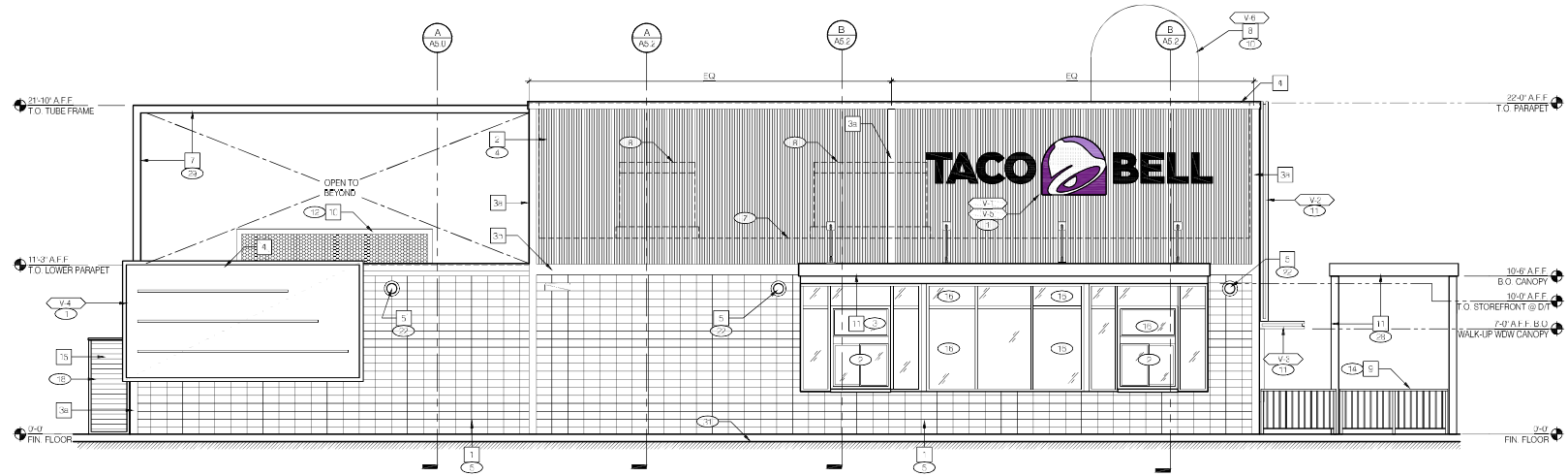
PLOT DATE:

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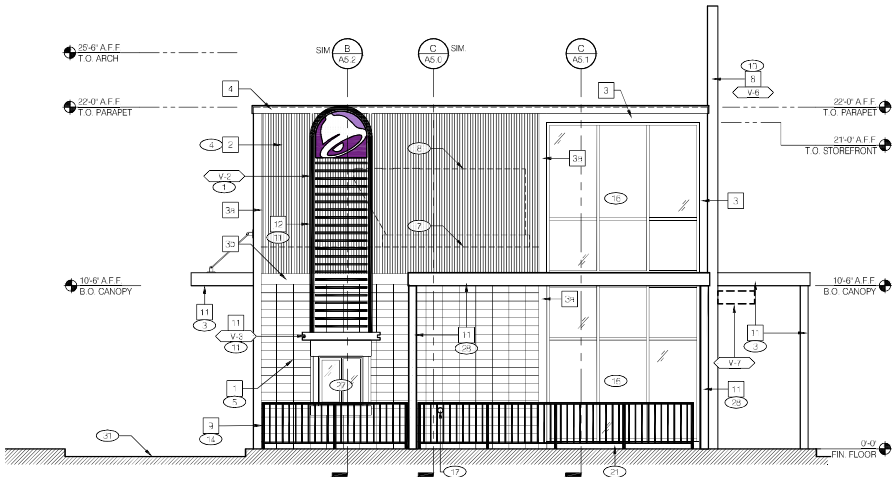
Mark S. Salopek, LLC

NOT IN LARGER SIZE SET 2/25/20
CADDING (CHART 11)
Phone 352.72.2112

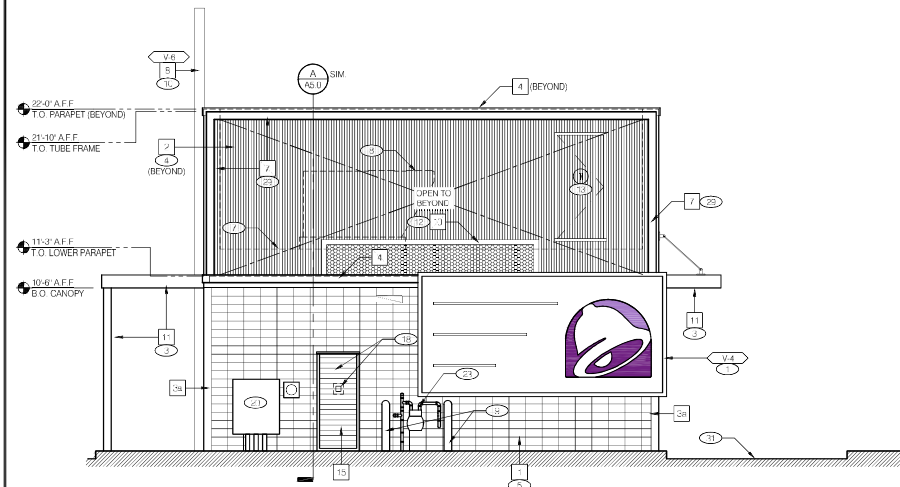


SEE SHEET A4.0 FOR KEYNOTES, FINISH SCHEDULE AND SIGNAGE SCHEDULE

DRIVE-THRU ELEVATION 1/4"=1'-0" B



FRONT ELEVATION 1/4"=1'-0" D



"This file was signed electronically by M. Salopek on the date and/or time stamp shown using a digital signature. Printed copies of this are not considered signed and sealed and the signature must be verified on any electronic copy."

REAR ELEVATION 1/4"=1'-0" C



06/28/24

PLAN SET ISSUE / REVISION HISTORY

CONTRACT DATE: 04/20/24

BLDG TYPE: KITCHEN-X MED20

WM UPLOAD DATE:

BRAND DESIGNER: TS

SITE NUMBER: 296861

STORE NUMBER: 461022

PAPM: Dawling

DRAWN BY: RS

JOB NO: 2023086.52

KITCHEN-X MED20

2700 Sterling Rd.
Hollywood, FL 33020



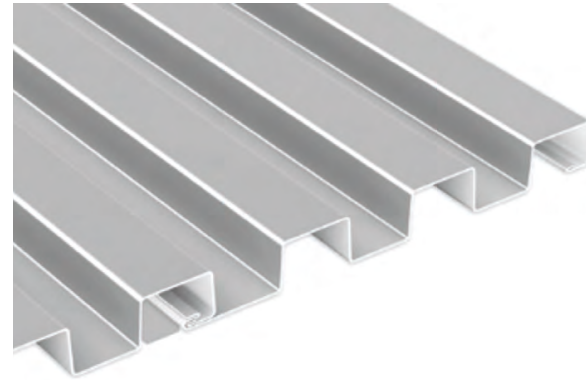
EXTERIOR
ELEVATIONS

A4.1

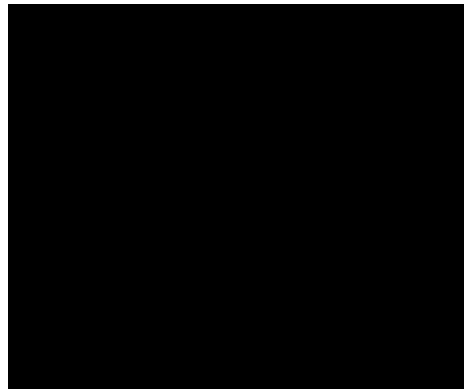
PLOT DATE:



SW7674 Peppercorn



PAC-CLAD Box Rib 1
Slate Gray



CMU Stack Bond
Gray



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Hollywood, FL

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING.

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Existing Site Photos

Taco Bell- 2700 Stirling Rd.

From Stirling Rd. looking South:



From Stirling Rd. looking Southwest:



From Western drive aisle looking Southeast:



From Western drive aisle looking Northeast:





BONNIE MISKEL • SCOTT BACKMAN • ERIC COFFMAN • HOPE CALHOUN
DWAYNE DICKERSON • ELE ZACHARIADES • CHRISTINA BILENKI
DAVID MILLEDGE • SARA THOMPSON • JEFFREY SCHNEIDER

**Taco Bell of America, LLC
2700 Stirling Rd.
Site Plan Narrative**

Taco Bell of America, LLC (“Applicant”) is the developer of a +/- 0.67-acre parcel of land located at 2700 Stirling Road in the City of Hollywood (“Property”). The Property is identified as folio number 5142-04-11-0020 on the Broward County Property Appraiser’s website and is an outparcel located in the Oakwood Plaza Shopping Center (“Shopping Center”). The Property contains a future land use designation of Commercial on the City’s Future Land Use Map and a zoning designation of Planned District (PD). The Shopping Center is governed by the Oakwood Plaza PD Design Guidelines (“PD Guidelines”).

Currently, the Property contains a +/- 2,834 square foot Taco Bell restaurant with a single lane drive-thru facility. The Applicant is proposing to demolish the existing Taco Bell restaurant and construct a new 2,187 square foot Taco Bell restaurant with a double lane drive-thru facility (“Project”). The additional drive-thru lane will not change the site vehicular circulation as the two lanes will merge into one single lane at the same location of the existing drive-thru facility, with the same entry and exit points. Additionally, the Project does not require any amendments to the PD Guidelines as the design meets all the requirements in the approved PD Guidelines.



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**Taco Bell
2700 Stirling Road
Design Criteria Responses**

Per Section 5.3.1.4 of the City Code, the Applicant must demonstrate compliance with the following design criteria:

4. *Design criteria.* The Board and the Director shall review plans based upon the criteria below. If the Board or the Director (as applicable) determines that an application is not consistent with the criteria, reasons shall be set forth in writing substantiating the finding.

a. *General criteria.* All plans/architectural drawings shall be reviewed based upon the evaluation of compatibility with the City's Design Guidelines, including the following elements:

(1) *Architectural and design components.* Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment. The design should consider architectural elements that are characteristic of the surrounding neighborhood.

The proposed Taco Bell building will be aesthetically pleasing with a mixture of materials in a light gray color. The building will be accented with large windows along the front and side entries that will provide sunlight into the building. The proposed Taco Bell provides pedestrian access to the front and sides of the building. There is a sidewalk that connects the building to Stirling Road. A covered patio along the front of the building is provided for pedestrian use.

(2) *Compatibility.* The harmonious relationship between existing architectural language and composition and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood, and with the established and adopted vision for the area.

The buildings located along this stretch of Stirling Road are soft neutral colors. The Taco Bell colors are proposed to be light gray to blend with the rest of the retail buildings in the area.

(3) *Scale/massing.* Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures, and with the established and adopted vision of the area. Building geometries shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings.

The proposed Taco Bell building is proportionate in scale with the neighboring retail commercial buildings. The proposed building height is 22 feet with the accent arch 6.5 feet taller. The proposed building location is very similar to the existing Taco Bell orientation. The building area is a small percentage of the site with the lot coverage being 7.5%.

(4) Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

The majority of the existing mature trees on the site will remain and are natives. All of the trees, and the majority of the shrubs and groundcovers, proposed on the site are native. There is a variety of trees, palms, and plants specified with a reasonably even distribution of species quantity in each plant category. In addition, species selected have moderate to high drought tolerance.