

PROPOSED DEALERSHIP AND  
PARKING GARAGE FOR:  
**TOYOTA OF HOLLYWOOD**

1841 NORTH STATE ROAD 7  
HOLLYWOOD, FLORIDA. 33021

ALL OF LOT 14, BLOCK 1, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA  
AND  
ALL OF LOT 16 AND A PORTION OF LOTS 17, 18 AND 19, BLOCK 1, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 16; THENCE SOUTH 02°00'37" EAST ON THE EAST LINE OF SAID LOT 16 FOR 166.78 FEET TO THE SOUTHEAST CORNER OF SAID LOT 16; THENCE SOUTH 88°11'54" WEST ON THE SOUTH LINE OF BLOCK 1, ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF HARDING STREET AS DEDICATED BY SAID PLAT FOR 231.06 FEET; THENCE ON THE EASTERLY RIGHT-OF-WAY LINE OF NORTH STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441) AS RECORDED IN INSTRUMENT NUMBER 113377767, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THE FOLLOWING TWO (2) COURSES AND DISTANCES: 1) THENCE NORTH 46°21'02" WEST 51.17 FEET TO THE INTERSECTION WITH A LINE LYING 60.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST; 2) THENCE NORTH 02°00'37" WEST ON SAID PARALLEL LINE 132.03 FEET TO THE INTERSECTION WITH THE NORTH LINE OF SAID LOT 19, BLOCK 1; THENCE NORTH 88°15'21" EAST ON SAID NORTH LINE OF BLOCK 1, ALSO BEING THE SOUTH LINE OF TRACT "A", "LUTHER MEMORIAL LUTHERAN CHURCH," ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 123, PAGE 12, OF SAID PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA FOR 271.01 FEET TO THE POINT OF BEGINNING.  
AND  
PORTIONS OF LOTS 5, 6, 7, 8, 9 AND 10, BLOCK 2, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 10, BLOCK 2; THENCE SOUTH 88°12'00" WEST ON THE SOUTH LINE OF SAID BLOCK 2, ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF TAFT STREET AS DEDICATED BY SAID PLAT FOR 102.05 FEET; THENCE ON THE EASTERLY RIGHT-OF-WAY LINE OF NORTH STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441) AS RECORDED IN INSTRUMENT NUMBER 113377767, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THE FOLLOWING THREE (3) COURSES AND DISTANCES: 1) THENCE NORTH 46°45'47" WEST 52.48 FEET TO THE INTERSECTION WITH A LINE LYING 60.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST; 2) THENCE NORTH 02°00'37" WEST ON SAID PARALLEL LINE 571.57 FEET; 3) THENCE NORTH 43°05'27" EAST 44.18 FEET TO THE INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF HARDING STREET AS DEDICATED BY THE AFOREMENTIONED PLAT OF "HOLLYWOOD ACRES"; THENCE NORTH 88°11'54" EAST ON SAID SOUTH RIGHT-OF-WAY LINE 903.71 FEET TO THE NORTHWEST CORNER OF LOT 17, "MIC-LIL ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 36, PAGE 25, OF SAID PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE ON THE WESTERLY AND NORTHERLY BOUNDARY OF SAID "MIC-LIL ESTATES" PLAT, THE FOLLOWING THREE (3) COURSES AND DISTANCES: 1) SOUTH 02°00'37" EAST 440.00 FEET TO THE NORTHEAST CORNER OF LOT 6 OF SAID PLAT; THENCE SOUTH 88°11'54" WEST 396.00 FEET TO THE NORTHWEST CORNER OF LOT 1 OF SAID PLAT; THENCE SOUTH 02°00'27" EAST ON THE WEST LINE OF SAID LOT 1, ALSO BEING THE EAST LINE OF THE AFOREMENTIONED LOTS 7, 8, 9 AND 10, BLOCK 2, "HOLLYWOOD ACRES", 200.01 FEET TO THE POINT OF BEGINNING.  
ALL OF SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 326,439 SQUARE FEET (7.4940 ACRES).

LEGAL DESCRIPTION

INDEX OF DRAWINGS

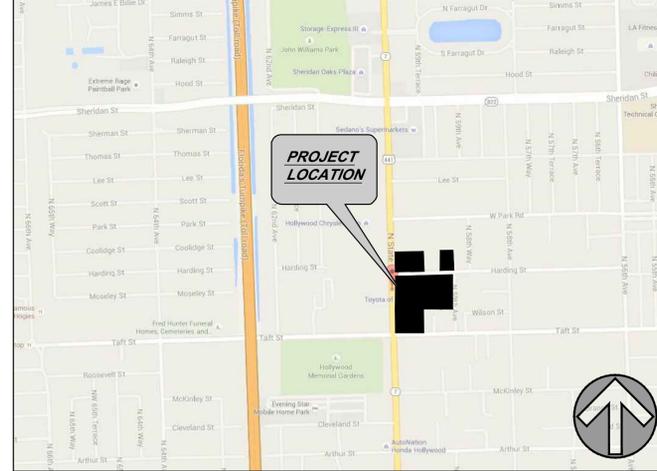
<b>ARCHITECTURAL</b>	
A-0	COVER SHEET
SHEET 1 OF 2	BOUNDARY AND TOPOGRAPHIC SURVEY
SHEET 2 OF 2	BOUNDARY AND TOPOGRAPHIC SURVEY
SHEET 1 OF 4	PLAT SHEET
SHEET 2 OF 4	PLAT SHEET
SHEET 3 OF 4	PLAT SHEET
SHEET 4 OF 4	PLAT SHEET
A-1.1	OVERALL SITE PLAN
A-1.2	DIMENSIONED SITE PLAN
A-1.3	ZONING BOUNDARIES/ TRUCK SIMULATIONS
A-1.4	SITE DEMOLITION
A-1.5	SITE DETAILS
A-1.6	SIGNAGE DETAILS
A-2.1	PARTIAL FIRST FLOOR PLAN
A-2.2	PARTIAL FIRST FLOOR PLAN
A-2.3	FLOOR PLAN - LEVELS 2 & 3
A-2.4	FLOOR PLAN - LEVELS 4 & 5
A-6.1	EXTERIOR ELEVATIONS
A-6.2	EXTERIOR ELEVATIONS
A-6.3	STREETSCAPE ELEVATIONS
<b>CIVIL</b>	
PD1	PAVING, GRADING AND DRAINAGE PLAN
PD2	PAVING, GRADING AND DRAINAGE DETAILS
PD3	PAVING, GRADING AND DRAINAGE DETAILS
PD4	PAVING, GRADING AND DRAINAGE DETAILS
PMS1	PAVEMENT MARKING AND SIGNAGE PLAN
WS1	WATER & SEWER PLAN
<b>LANDSCAPE</b>	
TD-1	OVERALL TREE DISPOSITION PLAN
TD-2	TREE DISPOSITION PLAN
TD-3	TREE DISPOSITION PLAN
TD-4	TREE DISPOSITION PLAN
TD-5	TREE DISPOSITION PLAN
TD-6	TREE DISPOSITION TABLE
LP-1	OVERALL LANDSCAPE PLAN
LP-2	LANDSCAPE PLAN
LP-3	LANDSCAPE PLAN
LP-4	LANDSCAPE PLAN
LP-5	LANDSCAPE PLAN
LP-6	LANDSCAPE PLAN
<b>SITE LIGHTING</b>	
E1.1	SITE PHOTOMETRIC PLAN

PRELIMINARY TAC MEETING:	06.16.16
FINAL TAC MEETING:	09.06.16
PDB MEETING:	
CITY COMMISSION MEETING:	

CITY OF HOLLYWOOD MEETING DATES

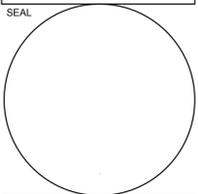
<b>OWNER</b> TRIANGLE AUTO CENTER, INC 1850 NORTH STATE ROAD 7 HOLLYWOOD, FL 33021 (954) 967-4111	<b>ARCHITECT</b> STILES ARCHITECTURAL GROUP 301 E. LAS OLAS BLVD FT. LAUDERDALE, FL 33301 (954) 627-9180	<b>SURVEYOR</b> PULICE LAND SURVEYORS 5381 NOB HILL ROAD SUNRISE, FLORIDA 33351 (954) 572-1777
<b>STRUCTURAL ENGINEER</b> BRYNTESEN STRUCTURAL ENGINEERS 3045 NORTH FEDERAL HIGHWAY SUITE 80 FORT LAUDERDALE, FL 33306 (954) 568-1411	<b>MECHANICAL, ELECTRICAL, &amp; PLUMBING ENGINEERS</b> KAMM CONSULTING 1407 W. NEWPORT CENTER DR. DEERFIELD BEACH, FL 33442 (954) 949-2200	<b>CIVIL ENGINEER</b> SUN-TECH ENGINEERING, INC 1600 W. OAKLAND PARK BLVD 1ST FLOOR FT. LAUDERDALE, FL 33311 954-777-3123
<b>LANDSCAPE ARCHITECTS</b> ARCHITECTURAL ALLIANCE LANDSCAPE 612 SW 4 AVENUE FT. LAUDERDALE, FL 33315 (954) 764-8858		

CONSULTANTS



LOCATION MAP

REVISIONS :

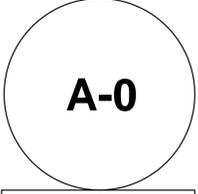



CONSULTANT

**STILES ARCHITECTURAL GROUP**  
301 East Las Olas Blvd  
Fort Lauderdale, Florida,  
954 - 627- 9180 33301  
FL. REG # AA-26001798

PROPOSED DEALERSHIP & PARKING GARAGE FOR:  
**TOYOTA OF HOLLYWOOD**  
1841 NORTH STATE ROAD 7  
HOLLYWOOD, FL 33021

COVER SHEET



PROJECT NO.  
73842  
DRAWN BY :  
MaT  
CHECKED BY :  
J.L.P  
DATE :  
August 19, 2016

TINAC COVER SHEETING

**LEGAL DESCRIPTION:**

ALL OF LOT 14, BLOCK 1, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

AND

ALL OF LOT 16 AND A PORTION OF LOTS 17, 18 AND 19, BLOCK 1, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 16; THENCE SOUTH 02°00'37" EAST ON THE EAST LINE OF SAID LOT 16 FOR 166.78 FEET TO THE SOUTHEAST CORNER OF SAID LOT 16; THENCE SOUTH 88°11'54" WEST ON THE SOUTH LINE OF BLOCK 1, ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF HARDING STREET AS DEDICATED BY SAID PLAT FOR 231.06 FEET; THENCE ON THE EASTERLY RIGHT-OF-WAY LINE OF NORTH STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441) AS RECORDED IN INSTRUMENT NUMBER 11337767, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THE FOLLOWING TWO (2) COURSES AND DISTANCES: 1) THENCE NORTH 48°21'02" WEST 511.7 FEET TO THE INTERSECTION WITH A LINE LYING 60.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST; 2) THENCE NORTH 02°00'37" WEST ON SAID PARALLEL LINE 132.03 FEET TO THE INTERSECTION WITH THE NORTH LINE OF SAID LOT 19, BLOCK 1; THENCE NORTH 88°11'54" EAST ON SAID NORTH LINE OF BLOCK 1, ALSO BEING THE SOUTH LINE OF TRACT "A", "LUTHER MEMORIAL LUTHERAN CHURCH", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 123, PAGE 12, OF SAID PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA FOR 271.01 FEET TO THE POINT OF BEGINNING.

AND

PORTIONS OF LOTS 5, 6, 7, 8, 9 AND 10, BLOCK 2, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 10, BLOCK 2; THENCE SOUTH 88°11'54" WEST ON THE SOUTH LINE OF SAID BLOCK 2, ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF TAFT STREET AS DEDICATED BY SAID PLAT FOR 102.05 FEET; THENCE ON THE EASTERLY RIGHT-OF-WAY LINE OF NORTH STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441) AS RECORDED IN INSTRUMENT NUMBER 11337767, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THE FOLLOWING THREE (3) COURSES AND DISTANCES: 1) THENCE NORTH 46°45'47" WEST 52.48 FEET TO THE INTERSECTION WITH A LINE LYING 60.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST; 2) THENCE NORTH 02°00'37" WEST ON SAID PARALLEL LINE 571.57 FEET; 3) THENCE NORTH 43°05'27" EAST 44.18 FEET TO THE INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF HARDING STREET AS DEDICATED BY THE AFOREMENTIONED PLAT OF "HOLLYWOOD ACRES"; THENCE NORTH 88°11'54" EAST ON SAID SOUTH RIGHT-OF-WAY LINE 503.71 FEET TO THE NORTHWEST CORNER OF LOT 17, "MIC-LIL ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 36, PAGE 25, OF SAID PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE ON THE WESTERLY AND NORTHERLY BOUNDARY OF SAID "MIC-LIL ESTATES" PLAT, THE FOLLOWING THREE (3) COURSES AND DISTANCES: 1) SOUTH 02°00'37" EAST 440.00 FEET TO THE NORTHEAST CORNER OF LOT 6 OF SAID PLAT; THENCE SOUTH 88°11'54" WEST 396.00 FEET TO THE NORTHWEST CORNER OF LOT 1 OF SAID PLAT; THENCE SOUTH 02°00'37" EAST ON THE WEST LINE OF SAID LOT 1, ALSO BEING THE EAST LINE OF THE AFOREMENTIONED LOTS 7, 8, 9 AND 10, BLOCK 2, "HOLLYWOOD ACRES", 200.01 FEET TO THE POINT OF BEGINNING.

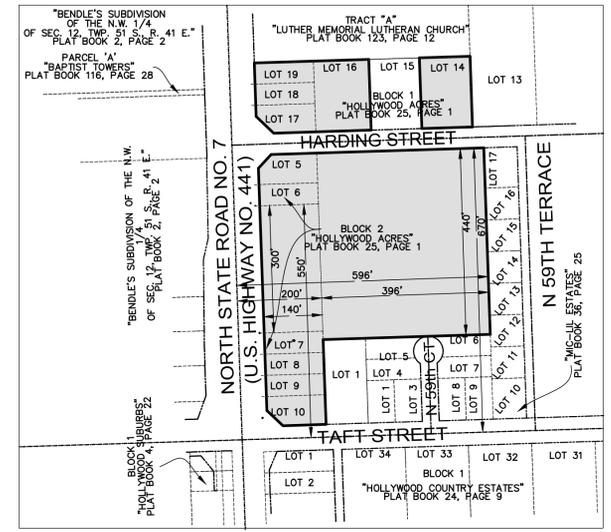
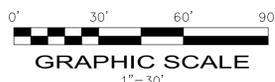
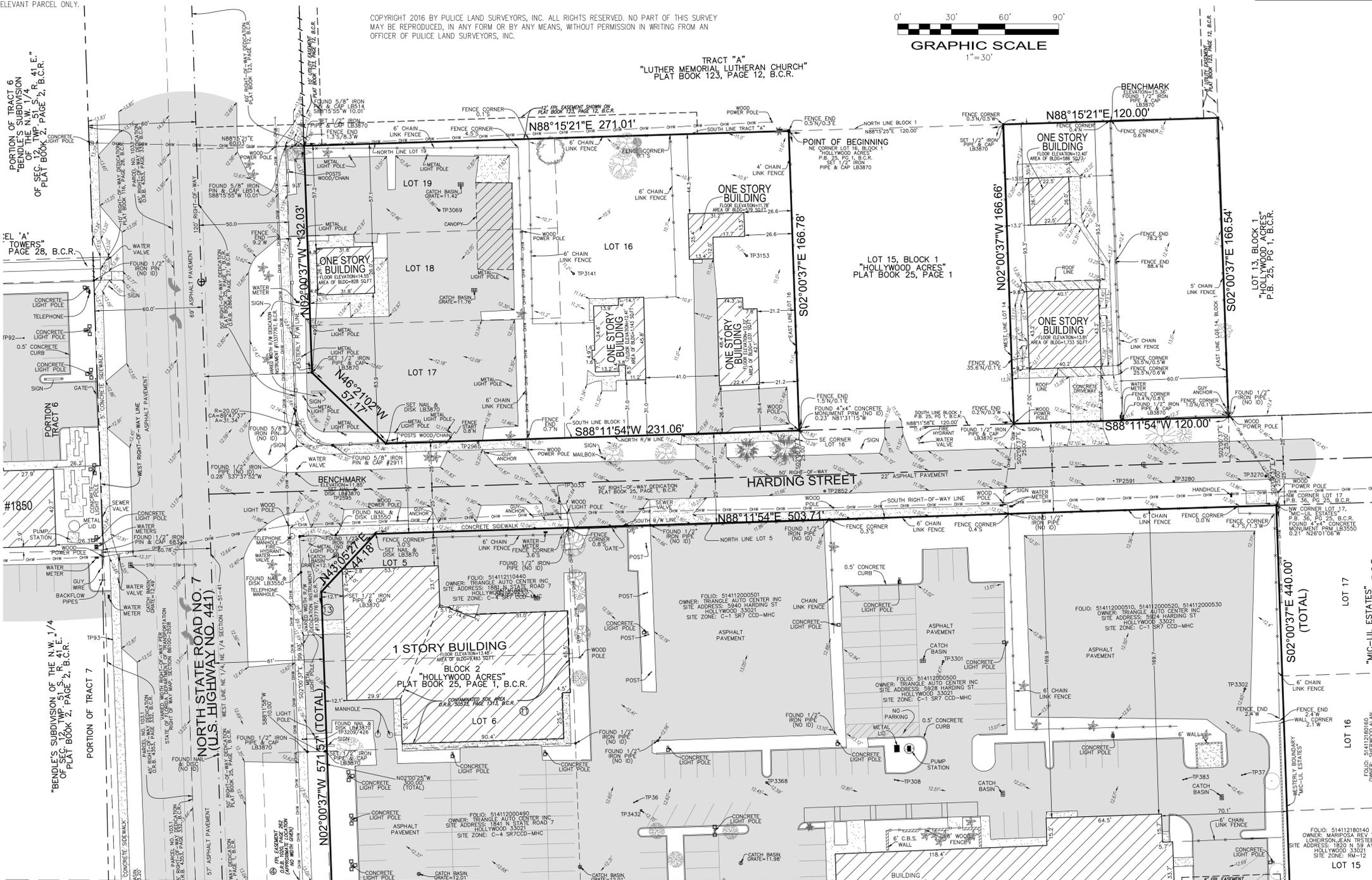
ALL OF SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 326,439 SQUARE FEET OF NET LOT AREA (7.4940 ACRES). AREA IS INCLUSIVE OF RELEVANT PARCEL ONLY.

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**NOTES:**

- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #2065; ELEVATION=13.786 FEET.
- FLOOD ZONE: AH & X; BASE FLOOD ELEVATION: 12 FEET & NONE; PANEL #125113 0564H; MAP DATE: 8/18/14.
- THIS SITE LIES IN SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
- BEARINGS ARE BASED ON THE WEST RIGHT-OF-WAY LINE OF N STATE ROAD 7 BEING N02°00'25"W.
- REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: CRAIG ZINN AUTOMOTIVE GROUP; PARAMOUNT TITLE SERVICES, INC.
- THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.2'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.1'.
- THIS SITE CONTAINS 273 TOTAL PARKING SPACES (263 REGULAR & 4 HANDICAPPED).
- THIS SURVEY WAS PREPARED WITH BENEFIT OF TITLE CERTIFICATE, SEARCH NO. 15-974-1-UPDATE 3, PREPARED BY PARAMOUNT TITLE SERVICES INC., DATED MAY 31, 2016. THE FOLLOWING ARE THE EASEMENT AND RIGHTS-OF-WAY DOCUMENTS IN SAID TITLE CERTIFICATE:
  - ITEM 1 - EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS IN PLAT BOOK 25, PAGE 1 AFFECT THIS SITE. THERE ARE NO PLATTED EASEMENTS.
  - ITEM 2 - ROAD MAP BOOK 7, PAGE 4 AFFECTS THE ADJACENT RIGHT-OF-WAY.
  - ITEM 3 - ROAD MAP BOOK 7, PAGE 30 AFFECTS THE ADJACENT RIGHT-OF-WAY.
  - ITEM 4 - EASEMENT TO FLORIDA POWER & LIGHT COMPANY IN O.R.B. 1020, PAGE 262 AFFECTS THIS SITE AS DEPICTED HEREON.
  - ITEM 5 - EASEMENT TO FLORIDA POWER & LIGHT COMPANY IN O.R.B. 1033, PAGE 360 DOES NOT AFFECT THIS SITE.
  - ITEM 6 - COUNTY DEED IN O.R.B. 2868, PAGE 27 AFFECTS THE ADJACENT RIGHT-OF-WAY.
  - ITEM 7 - RESOLUTION IN O.R.B. 3438, PAGE 60 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
  - ITEM 8 - LICENSE AGREEMENT N.O.R.B. 43962, PAGE 1211 AFFECTS THE ADJACENT RIGHT-OF-WAY.
  - ITEM 9 - SUBORDINATION OF UTILITY INTERESTS IN O.R.B. 49726, PAGE 1978 AFFECTS THE ADJACENT RIGHT-OF-WAY.
  - ITEM 10 - RESOLUTION IN O.R.B. 50025, PAGE 1840 DOES NOT AFFECT THIS SITE.
  - ITEM 11 - DECLARATION OF RESTRICTIVE COVENANT IN O.R.B. 50573, PAGE 1313 AFFECTS THIS SITE AS DEPICTED HEREON.
  - ITEM 12 - MAINTENANCE AND DRAINAGE EASEMENT AGREEMENT IN O.R.B. 50635, PAGE 858 DOES NOT AFFECT THIS SITE.
  - ITEM 13 - WARRANTY DEED IN INSTRUMENT #11337767 AFFECTS THE ADJACENT RIGHT-OF-WAY AS DEPICTED HEREON.
- TITL DEEDS AND RELEASES:
  - ITEM 1 - DEED IN DEED BOOK 1, PAGE 84
  - ITEM 2 - RELEASE OF RESERVATIONS IN O.R.B. 4906, PAGE 784 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
  - ITEM 3 - QUIT CLAIM DEED IN O.R.B. 7555, PAGE 707 DOES NOT AFFECT THIS SITE.

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2



**LEGEND**

[Symbol]	CONCRETE
[Symbol]	ASPHALT PAVEMENT
[Symbol]	ELEVATION
[Symbol]	OVERHEAD WIRES
[Symbol]	UNDERGROUND WATER LINE
[Symbol]	UNDERGROUND STORM SEWER LINE
[Symbol]	UNDERGROUND SANITARY SEWER LINE
[Symbol]	CENTERLINE
[Symbol]	O.R.B. OFFICIAL RECORDS BOOK
[Symbol]	TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
[Symbol]	R RADIUS
[Symbol]	CA CENTRAL ANGLE
[Symbol]	A ARC LENGTH
[Symbol]	FPL FLORIDA POWER & LIGHT COMPANY
[Symbol]	B.C.R. BROWARD COUNTY RECORDS
[Symbol]	C.B.S. CONCRETE BLOCK STRUCTURE
[Symbol]	R/W RIGHT OF WAY
[Symbol]	P.B. PLAT BOOK
[Symbol]	PG PAGE
[Symbol]	C CABBAGE PALM
[Symbol]	S SILVER BUTTWOOD
[Symbol]	M MAHOGANY TREE
[Symbol]	O OAK TREE
[Symbol]	W WEeping FIG
[Symbol]	C CHRISTMAS PALM TREE
[Symbol]	B BLACK OLIVE
[Symbol]	S BISCHOFIA
[Symbol]	C CARROTWOOD
[Symbol]	F FOXTAIL PALM
[Symbol]	S STRANGLER FIG
[Symbol]	U UMBRELLA TREE

TO CRAIG ZINN AUTOMOTIVE GROUP; TRIANGLE AUTO CENTER, INC. A FLORIDA CORPORATION; PARAMOUNT TITLE SERVICES, INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 7(c), 8, 9, 11 OF TABLE A THEREOF.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

**John F. Pulice**  
 JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691  
 BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136  
 VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274  
 STATE OF FLORIDA

SHEET 1 OF 2

NO.	REVISIONS	BY
1	REVIEW UPDATED TITLE CERTIFICATE	M.F.
2	REVIEW CERTIFICATE/BOUNDARY LEGAL	B.B.
3	MISCELLANEOUS ADDITIONS	B.B.
4	#60273 REVISE SURVEY 12/07/15	M.D.
5	#59242 ORIGINAL SURVEY 2/12/15	B.S.

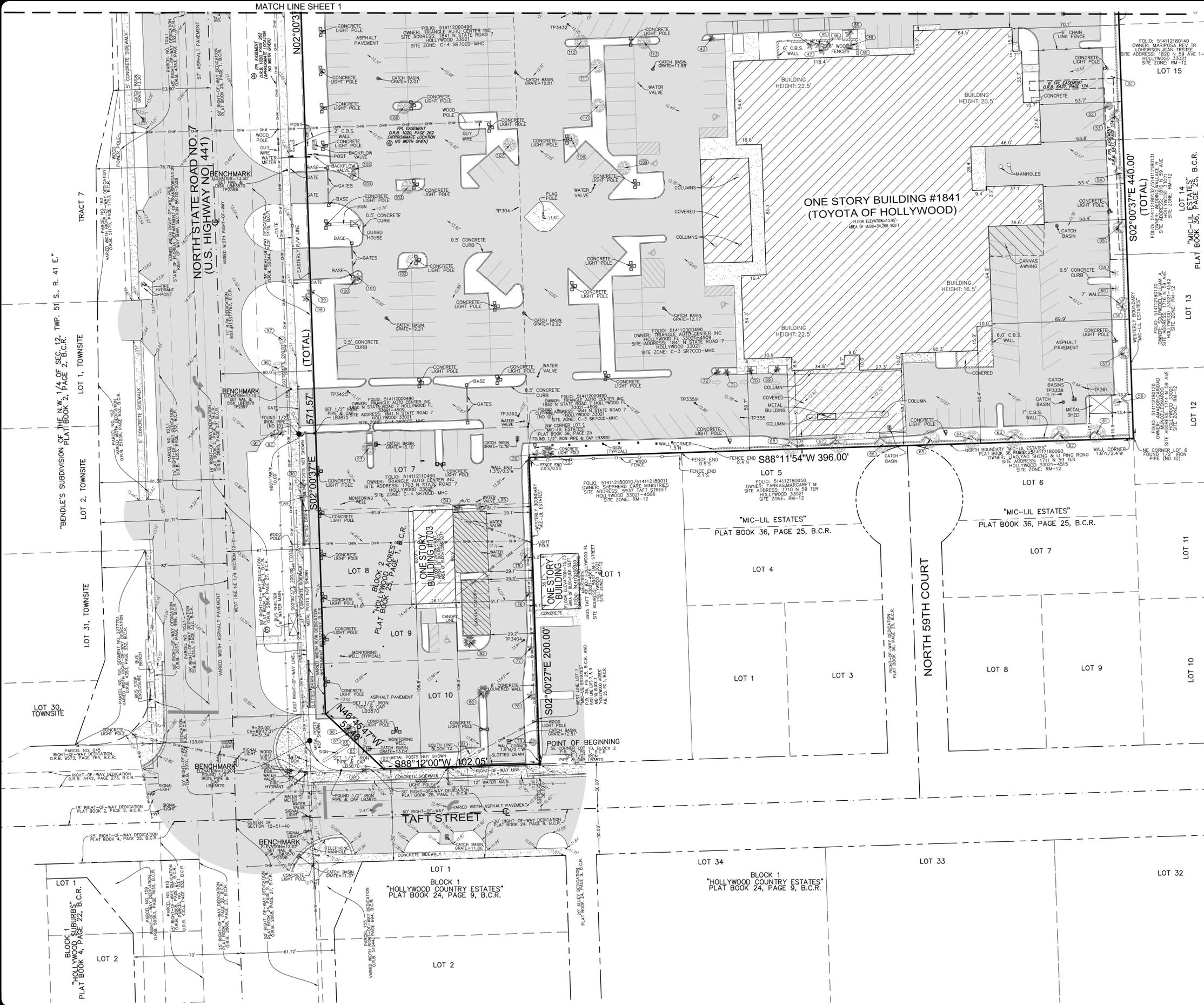
**TOYOTA OF HOLLYWOOD SITE**  
 1841 N STATE ROAD 7  
 HOLLYWOOD, BROWARD COUNTY, FLORIDA 33021

**BOUNDARY AND TOPOGRAPHIC SURVEY ALTA/NSPS LAND TITLE SURVEY**

**PULICE LAND SURVEYORS, INC.**  
 5381 NOB HILL ROAD  
 SUNRISE, FLORIDA 33351  
 TELEPHONE: (954) 572-1777  
 FAX: (954) 572-1778  
 E-MAIL: surveys@puliceandsurveyors.com  
 CERTIFICATE OF AUTHORIZATION LB#3870

**PLS**

DRAWN BY: L.S.      SCALE: 1" = 30'      FILE: CRAIG ZINN AUTOMOTIVE GROUP  
 CHECKED BY: J.F.P.      SURVEY DATE: 12/07/15      ORDER NO.: 60273



- LEGEND**
- CONCRETE
  - ASPHALT PAVEMENT
  - ELEVATION
  - OVERHEAD WIRES
  - UNDERGROUND WATER LINE
  - UNDERGROUND STORM SEWER LINE
  - UNDERGROUND SANITARY SEWER LINE
  - CENTERLINE
  - O.R.B. OFFICIAL RECORDS BOOK
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  - A ARC LENGTH
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  - C.B.S. CONCRETE BLOCK STRUCTURE
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  - PG PAGE
  - CABBAGE PALM
  - SILVER BUTTONWOOD
  - MAHOGANY TREE
  - OAK TREE
  - WEEPING FIG
  - CHRISTMAS PALM TREE
  - BLACK OLIVE
  - BISCHOFIA
  - CARROTWOOD
  - FOXTAIL PALM
  - STRANGLER FIG
  - UMBRELLA TREE



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SHEET 2 OF 2

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

**TOYOTA OF HOLLYWOOD SITE**  
1841 N STATE ROAD 7  
HOLLYWOOD, BROWARD COUNTY, FLORIDA 33021

**BOUNDARY & TOPOGRAPHIC SURVEY  
ALTA/NSPS LAND TITLE SURVEY**



**PULICE LAND SURVEYORS, INC.**  
5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351  
TELEPHONE: (954) 572-1777  
FAX: (954) 572-1778  
E-MAIL: surveys@pulicelandsurveyors.com  
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: L.S.  
CHECKED BY: J.F.P.

SCALE: 1" = 30'  
SURVEY DATE: 12/07/15

FILE: CRAIG ZINN AUTOMOTIVE GROUP  
ORDER NO.: 60273

# "TOYOTA OF HOLLYWOOD"

A REPLAT OF ALL OF LOTS 14 AND 16, AND A PORTION OF LOTS 17, 18 AND 19, BLOCK 1 AND PORTIONS OF LOTS 5, 6, 7, 8, 9 AND 10, BLOCK 2, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND

A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

PREPARED BY  
**PULICE LAND SURVEYORS, INC.**

5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351

954-572-1777  
FAX NO. 954-572-1778  
NOVEMBER 2015

**LEGAL DESCRIPTION:**

ALL OF LOT 14, BLOCK 1, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

AND

ALL OF LOT 16 AND A PORTION OF LOTS 17, 18 AND 19, BLOCK 1, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 16; THENCE SOUTH 02°00'37" EAST ON THE EAST LINE OF SAID LOT 16 FOR 166.78 FEET TO THE SOUTHEAST CORNER OF SAID LOT 16; THENCE SOUTH 88°11'54" WEST ON THE SOUTH LINE OF BLOCK 1, ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF HARDING STREET AS DEDICATED BY SAID PLAT FOR 231.06 FEET; THENCE ON THE EASTERLY RIGHT-OF-WAY LINE OF NORTH STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441) AS RECORDED IN INSTRUMENT NUMBER 113377767, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THE FOLLOWING TWO (2) COURSES AND DISTANCES; 1) THENCE NORTH 46°21'02" WEST 51.17 FEET TO THE INTERSECTION WITH A LINE LYING 60.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST; 2) THENCE NORTH 02°00'37" WEST ON SAID PARALLEL LINE 132.03 FEET TO THE INTERSECTION WITH THE NORTH LINE OF SAID LOT 19, BLOCK 1; THENCE NORTH 88°15'21" EAST ON SAID NORTH LINE OF BLOCK 1, ALSO BEING THE SOUTH LINE OF TRACT "A", "LUTHER MEMORIAL LUTHERAN CHURCH," ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 123, PAGE 12, OF SAID PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA FOR 271.01 FEET TO THE POINT OF BEGINNING.

AND

PORTIONS OF LOTS 5, 6, 7, 8, 9 AND 10, BLOCK 2, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 10, BLOCK 2; THENCE SOUTH 88°12'00" WEST ON THE SOUTH LINE OF SAID BLOCK 2, ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF TAFT STREET AS DEDICATED BY SAID PLAT FOR 102.05 FEET; THENCE ON THE EASTERLY RIGHT-OF-WAY LINE OF NORTH STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441) AS RECORDED IN INSTRUMENT NUMBER 113377767, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THE FOLLOWING THREE (3) COURSES AND DISTANCES; 1) THENCE NORTH 46°45'47" WEST 52.48 FEET TO THE INTERSECTION WITH A LINE LYING 60.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST; 2) THENCE NORTH 02°00'37" WEST ON SAID PARALLEL LINE 571.57 FEET; 3) THENCE NORTH 43°05'27" EAST 44.18 FEET TO THE INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF HARDING STREET AS DEDICATED BY THE AFOREMENTIONED PLAT OF "HOLLYWOOD ACRES"; THENCE NORTH 88°11'54" EAST ON SAID SOUTH RIGHT-OF-WAY LINE 503.71 FEET TO THE NORTHWEST CORNER OF LOT 17, "MIC-LIL ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 36, PAGE 25, OF SAID PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE ON THE WESTERLY AND NORTHERLY BOUNDARY OF SAID "MIC-LIL ESTATES" PLAT, THE FOLLOWING THREE (3) COURSES AND DISTANCES; 1) SOUTH 02°00'37" EAST 440.00 FEET TO THE NORTHEAST CORNER OF LOT 6 OF SAID PLAT; THENCE SOUTH 88°11'54" WEST 396.00 FEET TO THE NORTHWEST CORNER OF LOT 1 OF SAID PLAT; THENCE SOUTH 02°00'27" EAST ON THE WEST LINE OF SAID LOT 1, ALSO BEING THE EAST LINE OF THE AFOREMENTIONED LOTS 7, 8, 9 AND 10, BLOCK 2, "HOLLYWOOD ACRES", 200.01 FEET TO THE POINT OF BEGINNING.

ALL OF SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 326,439 SQUARE FEET (7.4940 ACRES).

**DEDICATION:**

STATE OF FLORIDA SS  
COUNTY OF BROWARD

KNOW ALL MEN BY THESE PRESENTS: THAT TRIANGLE AUTO CENTER, INC., A FLORIDA CORPORATION, OWNER OF THE LANDS DESCRIBED AND SHOWN HEREON, HAS CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREON, SAID PLAT TO BE KNOWN AS "TOYOTA OF HOLLYWOOD", A REPLAT AND SUBDIVISION. ADDITIONAL RIGHT-OF-WAYS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.

THE BUS SHELTER EASEMENT AS SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.

IN WITNESS WHEREOF: TRIANGLE AUTO CENTER, INC. A FLORIDA CORPORATION, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS \_\_\_\_\_ AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_.

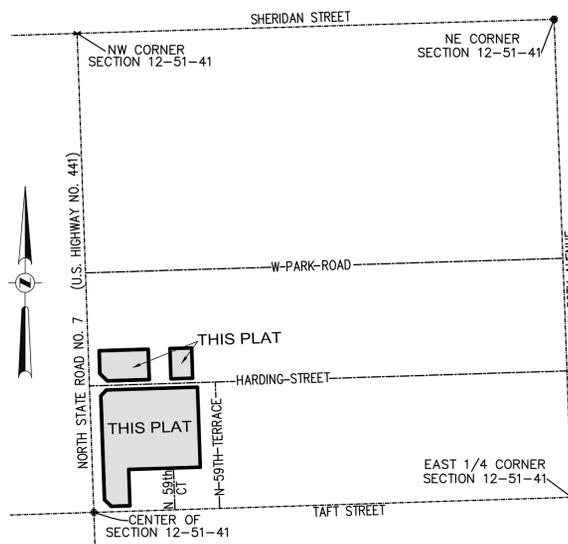
WITNESSES: TRIANGLE AUTO CENTER, INC.,  
A FLORIDA CORPORATION

PRINT NAME \_\_\_\_\_ BY: \_\_\_\_\_

PRINT NAME \_\_\_\_\_ TITLE: \_\_\_\_\_

**NOTICE:**

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHICAL OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE CITY AND THIS COUNTY.



LOCATION MAP  
NORTHEAST 1/4 OF SECTION 12-51-41  
NOT TO SCALE

**ACKNOWLEDGMENT:**

STATE OF FLORIDA SS  
COUNTY OF BROWARD

I HEREBY CERTIFY: THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ OF TRIANGLE AUTO CENTER, INC., A FLORIDA CORPORATION, TO ME WELL KNOWN TO BE THE PERSON DESCRIBED IN AND WHO ACKNOWLEDGED BEFORE ME THAT HE/SHE EXECUTED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DID NOT TAKE AN OATH.

WITNESS: MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 201\_.

MY COMMISSION NUMBER: \_\_\_\_\_ NOTARY PUBLIC - STATE OF FLORIDA

MY COMMISSION EXPIRES: \_\_\_\_\_ PRINT NAME: \_\_\_\_\_

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY: THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LAND RECENTLY SURVEYED, SUBDIVIDED AND PLATTED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION. THAT THE SURVEY DATA COMPLIES WITH THE APPLICABLE REQUIREMENTS OF CHAPTER 177, PART 1, FLORIDA STATUTES AND WITH THE APPLICABLE SECTION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, AND FURTHER THAT THE PERMANENT REFERENCE MONUMENTS WERE SET THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_ IN ACCORDANCE WITH SECTION 177.091 OF SAID CHAPTER 177. PERMANENT CONTROL POINTS WILL BE SET WITHIN ONE YEAR OF THE DATE THIS PLAT IS RECORDED OR PRIOR TO THE EXPIRATION OF THE BOND OR OTHER SURETY INSURING CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS.

BETH BURNS  
PROFESSIONAL SURVEYOR AND MAPPER NO. LS6136  
STATE OF FLORIDA  
PULICE LAND SURVEYORS, INC.  
5381 NOB HILL ROAD  
SUNRISE, FLORIDA  
CERTIFICATE OF AUTHORIZATION NUMBER LB3870

**CITY COMMISSION:**

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, BY RESOLUTION NO. \_\_\_\_\_ ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 201\_ AND BY SAID RESOLUTION PARCELS "A", "B" AND "C" AND THE THOROUGHFARE AND EASEMENTS AS SHOWN ON THIS PLAT WERE ACCEPTED IN THE NAME OF SAID CITY AND ALL PREVIOUS PLATS OF THIS LAND ARE CANCELED AND SUPERSEDED.

NO BUILDING PERMITS SHALL BE ISSUED FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF A BUILDING WITHIN THIS PLAT UNTIL SUCH TIME AS THE DEVELOPER PROVIDES THIS MUNICIPALITY WITH WRITTEN CONFIRMATION FROM BROWARD COUNTY THAT ALL APPLICABLE CONCURRENCY/IMPACT FEES HAVE BEEN PAID OR ARE NOT DUE.

IN WITNESS WHEREOF SAID CITY COMMISSION

ATTEST: \_\_\_\_\_ CITY CLERK APPROVED: \_\_\_\_\_ CITY ENGINEER

APPROVED BY: \_\_\_\_\_ MAYOR

**BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT:**

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_.

BY: \_\_\_\_\_ DIRECTOR/DESIGNEE

**BROWARD COUNTY PLANNING COUNCIL:**

THIS IS TO CERTIFY: THAT THE BROWARD COUNTY PLANNING COUNCIL APPROVED THIS PLAT SUBJECT TO ITS COMPLIANCE WITH THE DEDICATION OF RIGHTS-OF-WAY FOR TRAFFICWAYS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_.

BY: \_\_\_\_\_ CHAIRPERSON

THIS PLAT COMPLIES WITH THE APPROVAL OF THE BROWARD COUNTY PLANNING COUNCIL OF THE ABOVE DATE AND IS APPROVED AND ACCEPTED FOR RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_.

BY: \_\_\_\_\_ EXECUTIVE DIRECTOR OR DESIGNEE

**BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT COUNTY RECORDS DIVISION - MINUTES SECTION:**

THIS IS TO CERTIFY: THAT THIS PLAT COMPLIES WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES AND WAS ACCEPTED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_.

ATTEST: BERTHA HENRY, COUNTY ADMINISTRATOR

BY: \_\_\_\_\_ DEPUTY BY: \_\_\_\_\_ MAYOR, COUNTY COMMISSION

**BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT COUNTY RECORDS DIVISION - RECORDING SECTION:**

THIS IS TO CERTIFY: THAT THIS PLAT WAS FILED FOR RECORD ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_, AND RECORDED IN PLAT BOOK \_\_\_\_\_ AT PAGES \_\_\_\_\_, RECORD VERIFIED.

ATTEST: BERTHA HENRY, COUNTY ADMINISTRATOR

BY: \_\_\_\_\_ DEPUTY

**BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION:**

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY WITH CHAPTER 177, PART 1, FLORIDA STATUTES AND APPROVED AND ACCEPTED FOR RECORD.

BY: \_\_\_\_\_ ROBERT P. LEGG, JR.  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NUMBER LS4030

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_ RICHARD TORNESE  
DIRECTOR  
FLORIDA PROFESSIONAL  
ENGINEER REGISTRATION NO. 40263

TRIANGLE AUTO CENTER, INC. A FLORIDA CORPORATION	PLATTING SURVEYOR	CITY OF HOLLYWOOD	CITY ENGINEER	COUNTY SURVEYOR	COUNTY ENGINEER
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LEGAL DESCRIPTION:

ALL OF LOT 14, BLOCK 1, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

AND

ALL OF LOT 16 AND A PORTION OF LOTS 17, 18 AND 19, BLOCK 1, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 16; THENCE SOUTH 02°00'37" EAST ON THE EAST LINE OF SAID LOT 16 FOR 166.78 FEET TO THE SOUTHEAST CORNER OF SAID LOT 16; THENCE SOUTH 88°11'54" WEST ON THE SOUTH LINE OF BLOCK 1, ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF HARDING STREET AS DEDICATED BY SAID PLAT FOR 231.06 FEET; THENCE ON THE EASTERLY RIGHT-OF-WAY LINE OF NORTH STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441) AS RECORDED IN INSTRUMENT NUMBER 113377767, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THE FOLLOWING TWO (2) COURSES AND DISTANCES; 1) NORTH 46°21'02" WEST 51.17 FEET TO THE INTERSECTION WITH A LINE LYING 60.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST; 2) NORTH 02°00'37" WEST ON SAID PARALLEL LINE 132.03 FEET TO THE INTERSECTION WITH THE NORTH LINE OF SAID LOT 19, BLOCK 1; THENCE NORTH 88°15'21" EAST ON SAID NORTH LINE OF BLOCK 1, ALSO BEING THE SOUTH LINE OF TRACT "A", "LUTHER MEMORIAL LUTHERAN CHURCH," ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 123, PAGE 12, OF SAID PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA FOR 271.01 FEET TO THE POINT OF BEGINNING.

AND

PORTIONS OF LOTS 5, 6, 7, 8, 9 AND 10, BLOCK 2, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 10, BLOCK 2; THENCE SOUTH 88°12'00" WEST ON THE SOUTH LINE OF SAID BLOCK 2, ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF TAFT STREET AS DEDICATED BY THE PLAT OF "HOLLYWOOD COUNTRY ESTATES", AS RECORDED IN PLAT BOOK 24, PAGE 9, OF SAID PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, FOR 102.05 FEET; THENCE ON THE EASTERLY RIGHT-OF-WAY LINE OF NORTH STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441) AS RECORDED IN INSTRUMENT NUMBER 113377767, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THE FOLLOWING THREE (3) COURSES AND DISTANCES; 1) THENCE NORTH 46°45'47" WEST 52.48 FEET TO THE INTERSECTION WITH A LINE LYING 60.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST 1/4 OF SAID SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST; 2) THENCE NORTH 02°00'37" WEST ON SAID PARALLEL LINE 571.57 FEET; 3) THENCE NORTH 43°05'27" EAST 44.18 FEET TO THE INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF HARDING STREET AS DEDICATED BY THE PLAT OF SAID "HOLLYWOOD ACRES"; THENCE NORTH 88°11'54" EAST ON SAID SOUTH RIGHT-OF-WAY LINE 503.71 FEET TO THE NORTHWEST CORNER OF LOT 17, "MIC-LIL ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 36, PAGE 25, OF SAID PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE ON THE WESTERLY AND NORTHERLY BOUNDARY OF SAID "MIC-LIL ESTATES" PLAT, THE FOLLOWING THREE (3) COURSES AND DISTANCES; 1) SOUTH 02°00'37" EAST 440.00 FEET TO THE NORTHEAST CORNER OF LOT 6 OF SAID PLAT; 2) SOUTH 88°11'54" WEST 396.00 FEET TO THE NORTHWEST CORNER OF LOT 1 OF SAID PLAT; 3) SOUTH 02°00'27" EAST ON THE WEST LINE OF SAID LOT 1, ALSO BEING THE WESTERLY BOUNDARY OF "MIC-LIL ESTATES" AND EAST LINE OF THE AFOREMENTIONED LOTS 7, 8, 9 AND 10, BLOCK 2, "HOLLYWOOD ACRES", FOR 200.01 FEET TO THE POINT OF BEGINNING.

ALL OF SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 326,439 SQUARE FEET (7.4940 ACRES).

DEDICATION:

STATE OF FLORIDA SS  
COUNTY OF BROWARD

KNOW ALL MEN BY THESE PRESENTS: THAT TRIANGLE AUTO CENTER, INC., A FLORIDA CORPORATION, OWNER OF THE LANDS DESCRIBED AND SHOWN HEREON, HAS CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREON, SAID PLAT TO BE KNOWN AS "TOYOTA OF HOLLYWOOD", A REPLAT AND SUBDIVISION.

ADDITIONAL RIGHT-OF-WAYS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.

THE BUS SHELTER EASEMENT AS SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.

IN WITNESS WHEREOF: TRIANGLE AUTO CENTER, INC. A FLORIDA CORPORATION, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS \_\_\_\_\_ AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_\_.

WITNESSES:

TRIANGLE AUTO CENTER, INC.,  
A FLORIDA CORPORATION  
BY: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_  
TITLE: \_\_\_\_\_

ACKNOWLEDGMENT:

STATE OF FLORIDA SS  
COUNTY OF BROWARD

I HEREBY CERTIFY: THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME \_\_\_\_\_, \_\_\_\_\_ OF TRIANGLE AUTO CENTER, INC., A FLORIDA CORPORATION, TO ME WELL KNOWN TO BE THE PERSON DESCRIBED IN AND WHO ACKNOWLEDGED BEFORE ME THAT HE/SHE EXECUTED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DID NOT TAKE AN OATH.

WITNESS: MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 201\_\_.

MY COMMISSION NUMBER: \_\_\_\_\_ NOTARY PUBLIC -- STATE OF FLORIDA  
MY COMMISSION EXPIRES: \_\_\_\_\_ PRINT NAME: \_\_\_\_\_

# "TOYOTA OF HOLLYWOOD"

A REPLAT OF ALL OF LOTS 14 AND 16, AND A PORTION OF LOTS 17, 18 AND 19, BLOCK 1 AND PORTIONS OF LOTS 5, 6, 7, 8, 9 AND 10, BLOCK 2, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND

A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST  
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

PREPARED BY  
**PULICE LAND SURVEYORS, INC.**

5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351

954-572-1777  
FAX NO. 954-572-1778  
NOVEMBER 2015

NOTICE:  
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHICAL OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE CITY AND THIS COUNTY.

MORTGAGEE CONSENT:  
KNOW ALL MEN BY THESE PRESENTS: THAT WORLD OMNI FINANCIAL CORP., A FLORIDA CORPORATION, THE OWNER AND HOLDER OF THAT CERTAIN FLORIDA REAL ESTATE MORTGAGE AND SECURITY AGREEMENT, DATED DECEMBER 12, 2014, RECORDED DECEMBER 16, 2014, IN OFFICIAL RECORDS BOOK 51319, PAGE 860, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DOES HEREBY CONSENT TO THIS PLAT AND JOINS IN THE AFOREMENTIONED DEDICATIONS.

IN WITNESS WHEREOF THAT SAID WORLD OMNI FINANCIAL CORP., A FLORIDA CORPORATION, HAS CAUSED THESE PRESENTS TO BE SIGNED IN ITS CORPORATE NAME BY ITS \_\_\_\_\_ AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED AND ATTESTED BY ITS \_\_\_\_\_ THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_\_.

WORLD OMNI FINANCIAL CORP., A FLORIDA CORPORATION

ATTEST: \_\_\_\_\_ BY: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_ PRINT NAME: \_\_\_\_\_  
TITLE: \_\_\_\_\_ TITLE: \_\_\_\_\_

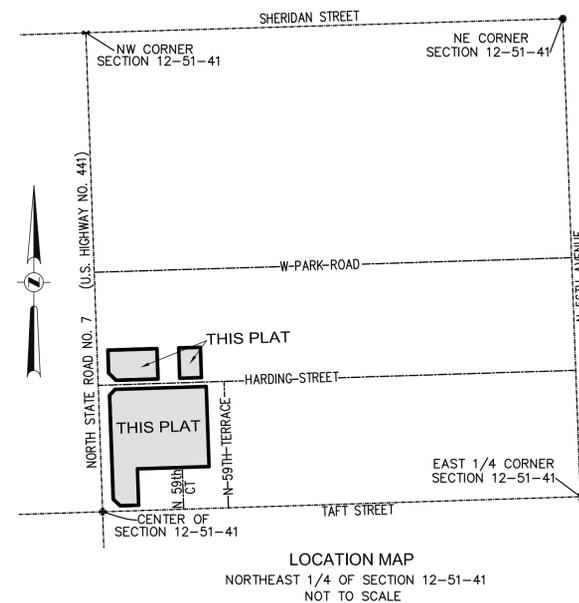
ACKNOWLEDGMENT OF MORTGAGEE:

STATE OF FLORIDA S.S.  
COUNTY OF MIAMI-DADE

I HEREBY CERTIFY: THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME, AN OFFICER DULY AUTHORIZED TO ADMINISTER OATHS AND TAKE ACKNOWLEDGMENTS \_\_\_\_\_, \_\_\_\_\_ AND \_\_\_\_\_, RESPECTIVELY OF WORLD OMNI FINANCIAL CORP., A FLORIDA CORPORATION, WHO ARE PERSONALLY KNOWN TO ME AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE EXECUTION THEREOF TO BE THEIR FREE ACT AND DEED AS SUCH OFFICERS FOR THE PURPOSES THEREIN EXPRESSED AND WHO DID NOT TAKE AN OATH.

WITNESS: MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 201\_\_.

PRINT NAME \_\_\_\_\_  
NOTARY PUBLIC, STATE OF FLORIDA  
COMMISSION NUMBER: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_



SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LAND RECENTLY SURVEYED, SUBDIVIDED AND PLATTED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION. THAT THE SURVEY DATA COMPLIES WITH THE APPLICABLE REQUIREMENTS OF CHAPTER 177, PART 1, FLORIDA STATUTES AND WITH THE APPLICABLE SECTION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, AND FURTHER THAT THE PERMANENT REFERENCE MONUMENTS WERE SET THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_, IN ACCORDANCE WITH SECTION 177.091 OF SAID CHAPTER 177. PERMANENT CONTROL POINTS WILL BE SET WITHIN ONE YEAR OF THE DATE THIS PLAT IS RECORDED OR PRIOR TO THE EXPIRATION OF THE BOND OR OTHER SURETY INSURING CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS.

BETH BURNS  
PROFESSIONAL SURVEYOR AND MAPPER NO. LS6136  
STATE OF FLORIDA  
PULICE LAND SURVEYORS, INC.  
5381 NOB HILL ROAD  
SUNRISE, FLORIDA  
CERTIFICATE OF AUTHORIZATION NUMBER LB3870

TRIANGLE AUTO CENTER, INC. A FLORIDA CORPORATION	WORLD OMNI FINANCIAL CORP. A FLORIDA CORPORATION	PLATTING SURVEYOR	CITY OF HOLLYWOOD	CITY ENGINEER	COUNTY SURVEYOR	COUNTY ENGINEER
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CITY COMMISSION:  
THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, BY RESOLUTION NO. \_\_\_\_\_ ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 201\_\_. AND BY SAID RESOLUTION PARCELS "A", "B" AND "C" AND THE THOROUGHFARE AND EASEMENTS AS SHOWN ON THIS PLAT WERE ACCEPTED IN THE NAME OF SAID CITY AND ALL PREVIOUS PLATS OF THIS LAND ARE CANCELED AND SUPERSEDED.

NO BUILDING PERMITS SHALL BE ISSUED FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF A BUILDING WITHIN THIS PLAT UNTIL SUCH TIME AS THE DEVELOPER PROVIDES THIS MUNICIPALITY WITH WRITTEN CONFIRMATION FROM BROWARD COUNTY THAT ALL APPLICABLE CONCURRENCY/IMPACT FEES HAVE BEEN PAID OR ARE NOT DUE.

IN WITNESS WHEREOF SAID CITY COMMISSION

ATTEST: \_\_\_\_\_ CITY CLERK APPROVED: \_\_\_\_\_ CITY ENGINEER

APPROVED BY: \_\_\_\_\_ MAYOR

BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_\_.

BY: \_\_\_\_\_ DIRECTOR/DESIGNEE

BROWARD COUNTY PLANNING COUNCIL:

THIS IS TO CERTIFY: THAT THE BROWARD COUNTY PLANNING COUNCIL APPROVED THIS PLAT SUBJECT TO ITS COMPLIANCE WITH THE DEDICATION OF RIGHTS-OF-WAY FOR TRAFFICWAYS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_\_.

BY: \_\_\_\_\_ CHAIRPERSON

THIS PLAT COMPLIES WITH THE APPROVAL OF THE BROWARD COUNTY PLANNING COUNCIL OF THE ABOVE DATE AND IS APPROVED AND ACCEPTED FOR RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_\_.

BY: \_\_\_\_\_ EXECUTIVE DIRECTOR OR DESIGNEE

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT COUNTY RECORDS DIVISION - MINUTES SECTION:

THIS IS TO CERTIFY: THAT THIS PLAT COMPLIES WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES AND WAS ACCEPTED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_\_.

ATTEST: BERTHA HENRY, COUNTY ADMINISTRATOR

BY: \_\_\_\_\_ DEPUTY BY: \_\_\_\_\_ MAYOR, COUNTY COMMISSION

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT COUNTY RECORDS DIVISION - RECORDING SECTION:

THIS IS TO CERTIFY: THAT THIS PLAT WAS FILED FOR RECORD ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_\_, AND RECORDED IN PLAT BOOK \_\_\_\_\_ AT PAGES \_\_\_\_\_, RECORD VERIFIED.

ATTEST: BERTHA HENRY, COUNTY ADMINISTRATOR

BY: \_\_\_\_\_ DEPUTY

BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY WITH CHAPTER 177, PART 1, FLORIDA STATUTES AND APPROVED AND ACCEPTED FOR RECORD.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
ROBERT P. LEGG, JR.  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NUMBER LS4030

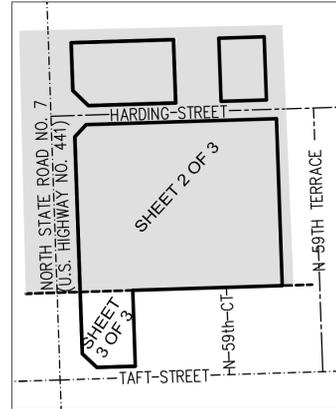
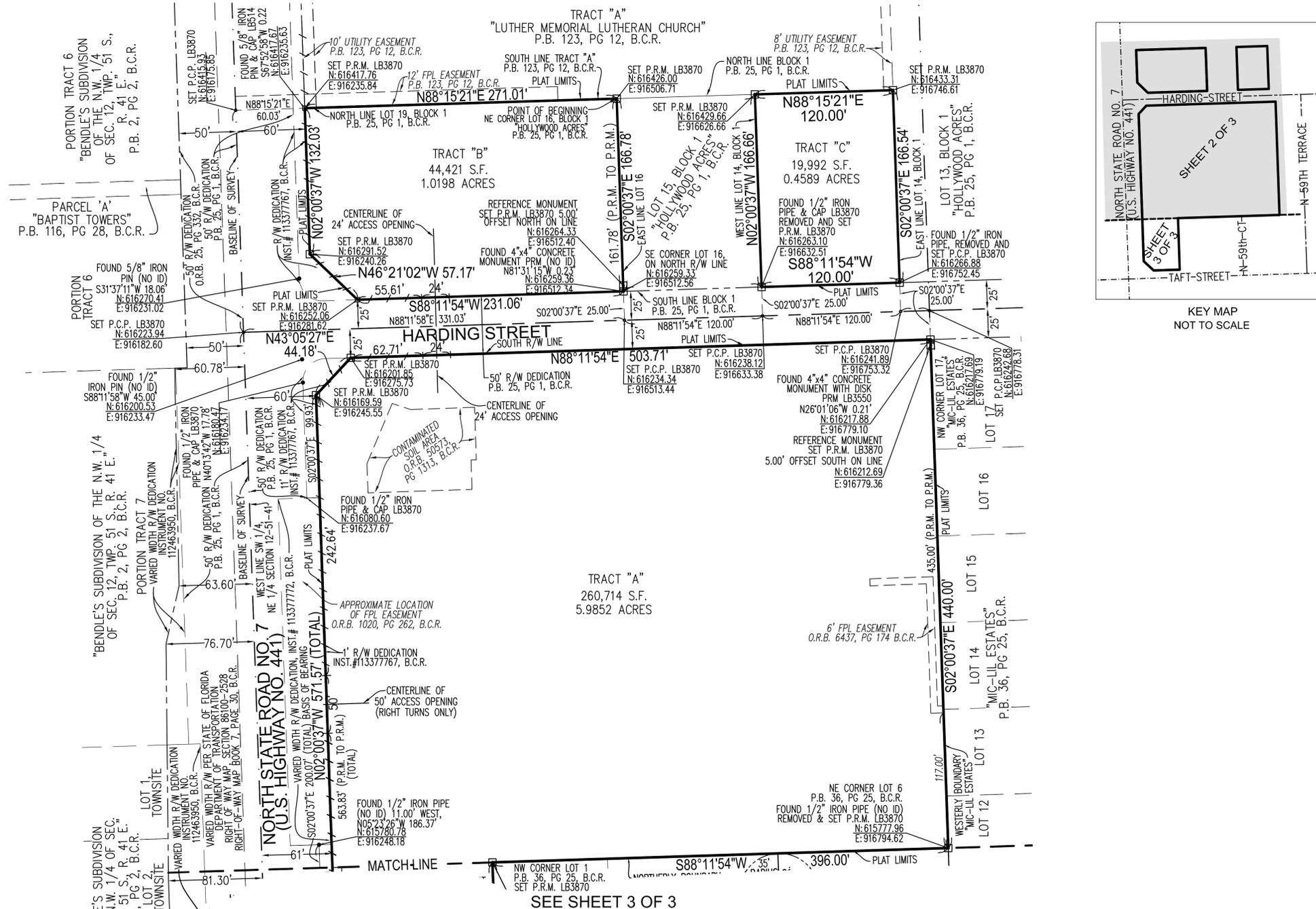
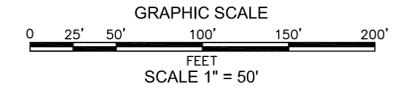
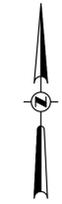
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
RICHARD TORNESE  
DIRECTOR  
FLORIDA PROFESSIONAL  
ENGINEER REGISTRATION NO. 40263

PREPARED BY  
**PULICE LAND SURVEYORS, INC.**

5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351  
954-572-1777  
FAX NO. 954-572-1778  
NOVEMBER 2015

# "TOYOTA OF HOLLYWOOD"

A REPLAT OF ALL OF LOT 14 AND 16, AND A PORTION OF LOTS 17, 18 AND 19, BLOCK 1 AND PORTIONS OF LOTS 5, 6, 7, 8, 9 AND 10, BLOCK 2, "HOLLYWOOD ACRES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA



KEY MAP  
NOT TO SCALE

**LEGEND:**

P.R.M. □	DENOTES: PERMANENT REFERENCE MONUMENTS (4"x4"x25" CONCRETE MONUMENT WITH 1.3" BRASS DISK STAMPED "PRMLB3870" UNLESS OTHERWISE NOTED)
P.C.P. ○	DENOTES: PERMANENT CONTROL POINT (MAG NAIL WITH 1.3" BRASS DISC STAMPED "PCP LB3870" UNLESS OTHERWISE NOTED)
LB	DENOTES: LICENSED BUSINESS
----	DENOTES: NON VEHICULAR ACCESS LINE.
B.C.R.	DENOTES: BROWARD COUNTY RECORDS.
P.B.	DENOTES: PLAT BOOK
O.R.B.	DENOTES: OFFICIAL RECORD BOOK
PG	DENOTES: PAGE NUMBER
R/W	DENOTES: RIGHT-OF-WAY
P.B.	DENOTES: PLAT BOOK
N:1223.56	DENOTES: STATE PLANE COORDINATE NORTHING
E:1223.56	DENOTES: STATE PLANE COORDINATE EASTING
INST.#	DENOTES: INSTRUMENT NUMBER
S.F.	DENOTES: SQUARE FEET

**SURVEYOR'S NOTES:**

- THIS PLAT IS RESTRICTED TO 165,000 SQUARE FEET OF AUTO DEALERSHIP AND 433,000 SQUARE FEET OF AUTO STORAGE.
- THIS NOTE IS REQUIRED BY CHAPTER 5, ARTICLE IX, BROWARD COUNTY CODE OF ORDINANCES, AND MAY BE AMENDED BY APPROVAL OF THE BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS. THE NOTATION AND ANY AMENDMENTS THERETO ARE SOLELY INDICATING THE APPROVED DEVELOPMENT LEVEL FOR PROPERTY LOCATED WITHIN THE PLAT AND DO NOT OPERATE AS A RESTRICTION IN FAVOR OF ANY PROPERTY OWNER, INCLUDING AN OWNER OR OWNERS OF PROPERTY WITHIN THIS PLAT WHO TOOK TITLE TO THE PROPERTY WITH REFERENCE TO THIS PLAT.
- ANY STRUCTURE WITHIN THIS PLAT MUST COMPLY WITH SECTION IV D.1.f., DEVELOPMENT REVIEW REQUIREMENTS, OF THE BROWARD COUNTY LAND USE PLAN, REGARDING HAZARDS TO AIR NAVIGATION.
- THE STATE PLANE COORDINATES AND GRID BEARINGS SHOWN HEREON WERE BASED ON THE NORTH AMERICAN DATUM OF 1927 COORDINATE VALUES SHOWN ON THE "KEITH AND SCHNARS, P.A. RESURVEY OF A PORTION OF TOWNSHIP 51 SOUTH, RANGE 41 EAST, MISCELLANEOUS PLAT BOOK 6, PAGE 19, BROWARD COUNTY RECORDS; AND AS TRANSFORMED TO THE NORTH AMERICAN DATUM OF 1983, WITH THE 1990 ADJUSTMENT. REFERENCE LINE BEING THE WEST LINES OF RIGHT-OF-WAY DEDICATION FOR STATE ROAD NO. 7 (U.S. HIGHWAY NO. 1), AS RECORDED IN INSTRUMENT #113377767, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA BEING N02°00'25"W.
- IF A BUILDING PERMIT FOR A PRINCIPAL BUILDING (EXCLUDING DRY MODELS, SALES AND CONSTRUCTION OFFICES) AND FIRST INSPECTION APPROVAL ARE NOT ISSUED BY \_\_\_\_\_, 2021, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME; AND/OR
- IF CONSTRUCTION OF PROJECT WATER LINES, SEWER LINES, DRAINAGE, AND THE ROCK BASE FOR INTERNAL ROADS HAVE NOT BEEN SUBSTANTIALLY COMPLETED BY \_\_\_\_\_, 2021, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME.
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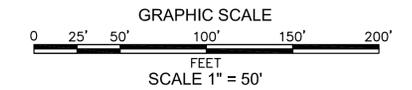
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# "TOYOTA OF HOLLYWOOD"

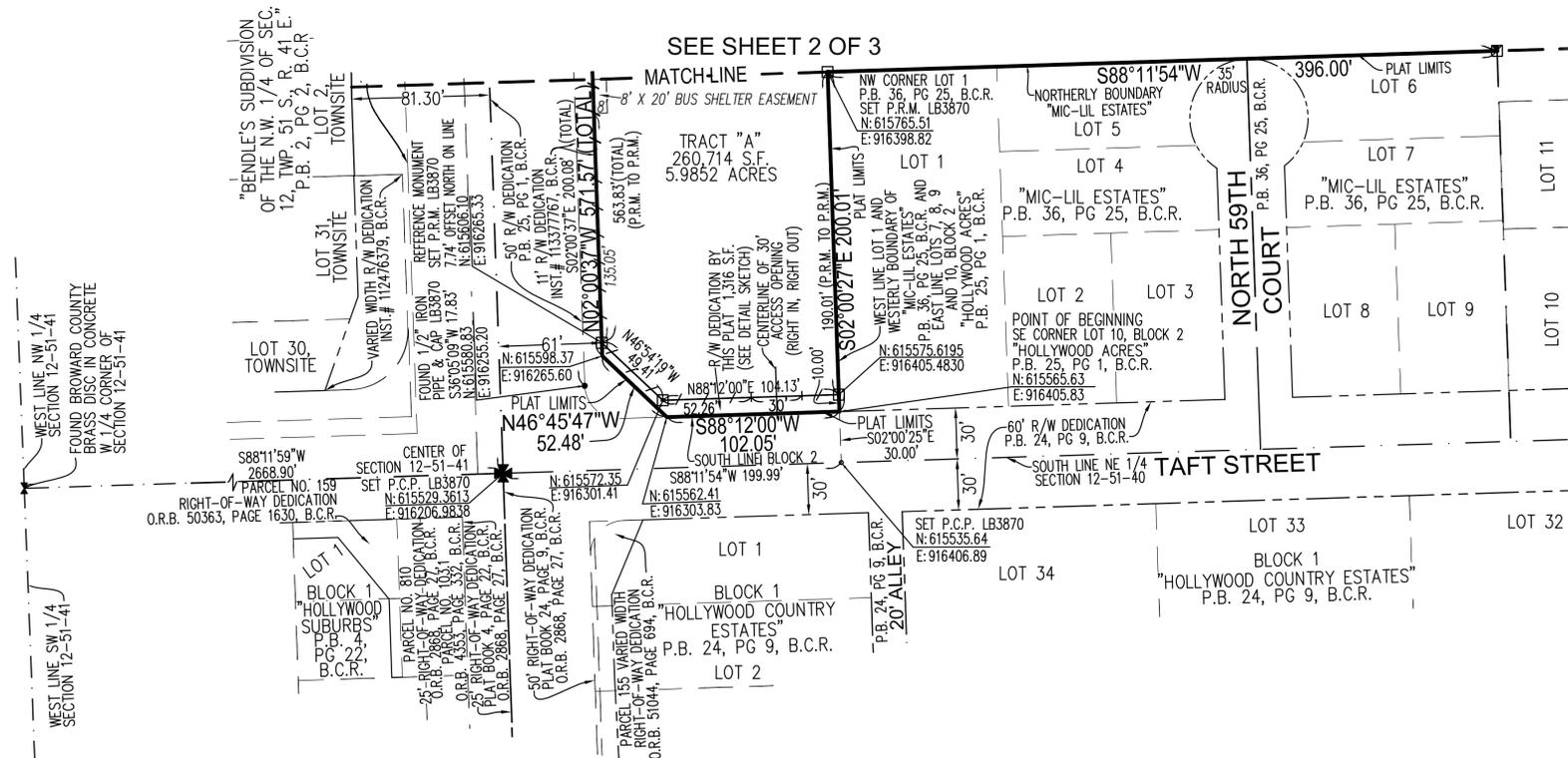
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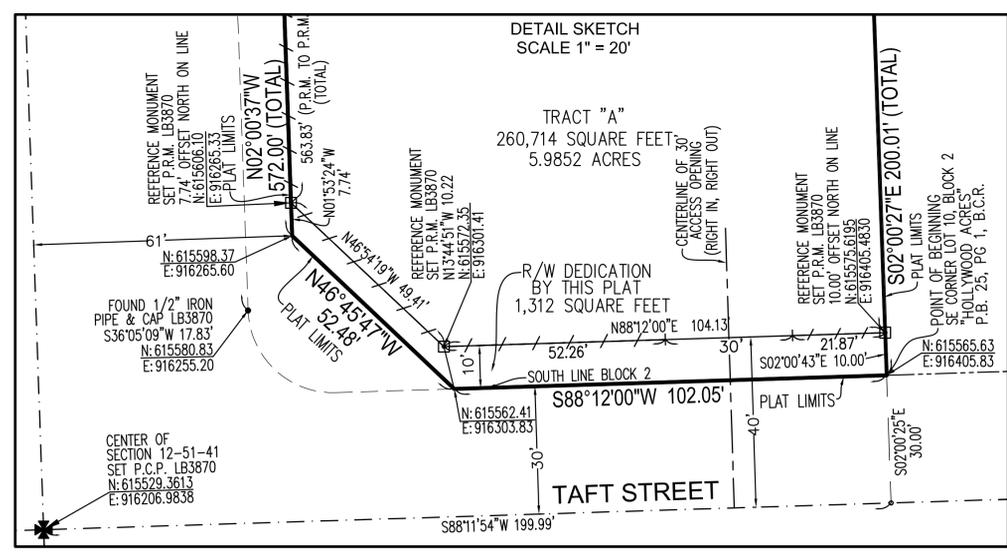
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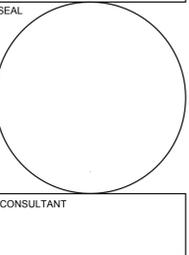
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1. ALLOW FOR DRIVE AISLES IN CERTAIN LOCATIONS TO BE 22FT WIDE IN LIEU OF REQUIRED 24FT WIDTH. MAIN DRIVE AISLES ON PROPERTY WILL MAINTAIN 24FT WIDTH.
2. ALLOW FOR O.H. DOOR AT SECONDARY ENTRANCE TO SERVICE BAY AREA TO FACE RESIDENTIAL PROPERTIES AND NOT 100FT SETBACK FROM PROPERTY LINE. O.H. DOOR IS RECESSED INTO BUILDING AT A MAXIMUM DISTANCE TO MINIMIZE EXPOSURE. SERVICE BAY AREA IS AIR-CONDITIONED, SO O.H. DOOR WILL REMAIN IN THE CLOSED POSITION AND WILL ONLY BE ACCESSED, IF, AND ONLY, WHEN MAIN O.H. DOOR TO SERVICE BAY AREA IS NOT FUNCTIONING. A 32'-3" WIDE LANDSCAPE ISLAND HAS BEEN PROVIDED DIRECTLY ACROSS FROM SECONDARY O.H. DOOR LOCATION SO AS TO PROVIDE ADDITIONAL SCREENING.

VARIANCE REQUEST

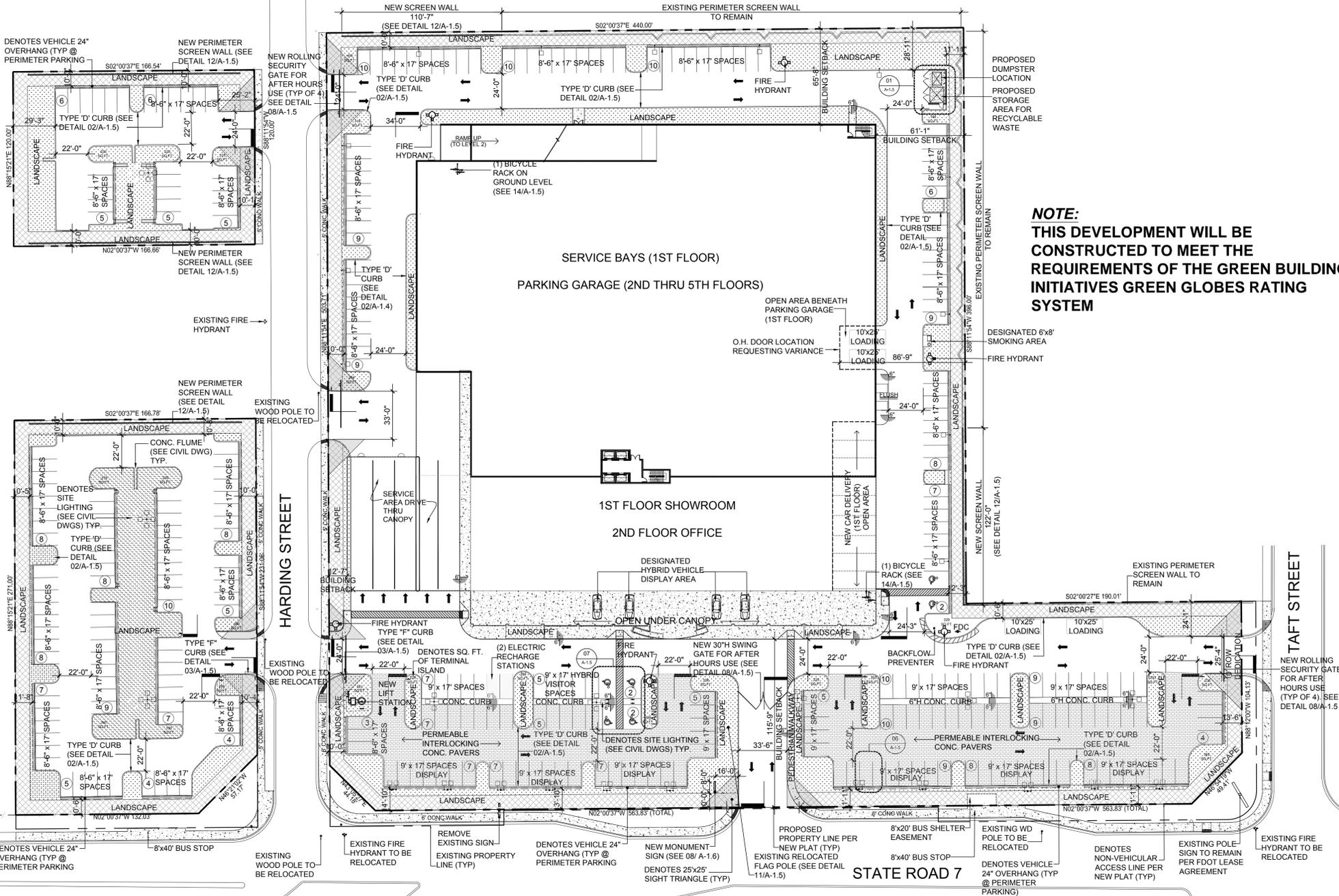
1. JURISDICTION: CITY OF HOLLYWOOD, FLORIDA
2. ADDRESS: 1841 NORTH STATE ROAD 7
3. ZONING DESIGNATION: SR7 CCD-MHC  
EXISTING REQUESTED C-1, C-3, C-4 C-2
4. OCCUPANCY: GROUP B (BUSINESS) - SHOWROOM/ OFFICES  
GROUP S-1 (STORAGE) - SERVICE/ PARKING GARAGE  
GROUP S-2 (STORAGE) - PARTS
5. CURRENT USE: TOYOTA OF HOLLYWOOD  
AUTOMOTIVE SHOWROOM
6. LAND USE: TRANSIT ORIENTED CORRIDOR
7. SITE AREA:  
GROSS SITE (PER SURVEY) 326,439 (7.4940 ACRES) PER SURVEY  
NET SITE (PER PLAT) PARCEL 'A' = 280,714 SQ. FT. (5.98 ACRES)  
PARCEL 'B' = 44,421 SQ. FT. (1.02 ACRES)  
PARCEL 'C' = 19,992 SQ. FT. (.46 ACRES)  
TOTAL = 325,127 SQ. FT. (7.46 ACRES)  
*\*NOTE: ALL SITE CALCULATIONS ARE BASED ON PLAT SITE AREA*
8. TYPE OF CONSTRUCTION: TYPE II-B (SPRINKLERED)
9. BUILDING AREA:  
SHOWROOM/ SERVICE SHOWROOM 32,095 SQ. FT.  
SERVICE 54,321 SQ. FT.  
PARTS (1st & 2nd FLOOR) 11,473 SQ. FT.  
BREAKROOM/Lounge 2,700 SQ. FT.  
TOTAL 100,589 SQ. FT.  
OFFICE (2nd FLOOR) 22,838 SQ. FT.
10. BUILDING HEIGHT: 60'-0" OR 5 STORIES  
ALLOWED PROVIDED 60'-0" (5 STORY)  
64'-10" - TOP OF PARKING GARAGE STAIR TOWER/ ELEVATOR
11. WATER SERVICE: CITY OF HOLLYWOOD UTILITIES
12. SEWER SERVICE: CITY OF HOLLYWOOD UTILITIES
13. SITE CALCULATIONS:  
PERVIOUS AREAS (PARCELS A, B & C)  
PERIMETER BUFFER 33,857 SQ. FT. .78 ACRES (10.4%)  
LANDSCAPE 34,894 SQ. FT. .80 ACRES (10.7%)  
PARKING OVERHANG 3,480 SQ. FT. .08 ACRES (1.1%)  
TOTAL 72,211 SQ. FT. 1.66 ACRES (22.2% OF SITE AREA)  
IMPERVIOUS AREAS (PARCELS A, B & C)  
BUILDING FOOTPRINT 112,848 SQ. FT. 2.59 ACRES (34.7%)  
VEHICULAR USE AREA\* 136,617 SQ. FT. 3.14 ACRES (42.0%)  
\*28,230 SQ. FT. OF PERMEABLE PAVERS PROVIDED IN VUA (20.7%)  
CONCRETE WALKWAYS 3,451 SQ. FT. .08 ACRES (1.1%)  
TOTAL 252,916 SQ. FT. 5.81 ACRES (77.8% OF SITE AREA)  
LANDSCAPING OF PAVED VEHICULAR USE AREA:  
REQUIRED 25% (136,617 x .25 = 34,154 SQ. FT.)  
PROVIDED 25.5% (34,894 SQ. FT.)

REVISIONS:

CONSULTANT

**STILES ARCHITECTURAL GROUP**  
301 East Las Olas Blvd  
Fort Lauderdale, Florida  
954 - 627- 9190 33301  
FL. REG # AA-26001798



**NOTE:**  
THIS DEVELOPMENT WILL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE GREEN BUILDING INITIATIVES GREEN GLOBES RATING SYSTEM

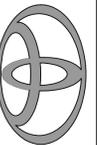
**SITE PARKING CALCULATIONS:**

PARKING REQUIRED:		
SHOWROOM/ SERVICE - ENCLOSED (1 PER 400 SQ. FT.)	100,589 SQ. FT. / 400 SQ. FT. =	251
OFFICE (1 PER 250 SQ. FT.)	22,838 SQ. FT. / 250	91
OUTDOOR DISPLAY (1 PER 1,000 SQ. FT.)	13,641 SQ. FT. / 1,000 SQ. FT. =	14
<b>TOTAL PARKING REQUIRED =</b>		<b>356</b>
<b>PARKING PROVIDED</b>		
<b>SURFACE PARKING</b>		
PARCEL 'A'	163 (TOTAL)	165 CUSTOMER PARKING
PARCEL 'B'	83 (EMPLOYEE)	46 DISPLAY PARKING
PARCEL 'C'	27 (EMPLOYEE)	
<b>PARKING GARAGE</b>		
LEVEL 2	203 (TOTAL)	83 EMPLOYEE
LEVEL 3		120 STORAGE
LEVEL 4		237 (STORAGE)
LEVEL 5		239 (STORAGE)
		241 (STORAGE)
<b>TOTAL PARKING</b>	<b>1,239 PARKING SPACES</b>	
		356 PROVIDED PARKING
		46 DISPLAY PARKING
		837 STORAGE PARKING
<b>ACCESSIBLE PARKING</b>		
301-400 SPACES	REQ. PROVIDED	8 8
(2 SPACES INCLUDED WITHIN PARKING GARAGE)		
<b>HYBRID VEHICLE PARKING (HV)</b>		
5 SPACES (PROVIDED)		
<b>BICYCLE PARKING</b>		
2 RACKS PROVIDED @ 9 BICYCLES PER RACK = 18 BICYCLES		
<b>LOADING AREA</b>		
REQUIRED (120,000 TO 199,999 SQ. FT.) =	(4) SPACES	
PROVIDED =	(4) 10'-0" x 25'-0"	

**BUILDING SETBACKS (C-2 ZONING):**

LOCATION	REQUIRED	PROVIDED
FRONT (WEST)	0'-0" MIN.	115'-9"
SIDE (NORTH)	0'-0" MIN.	12'-7"
SIDE (SOUTH)	15' + 10' PER FLOOR = 55' (ADJACENT TO RESIDENTIAL ZONING)	61'-1"
REAR (EAST)	15' + 10' PER FLOOR = 55' (ADJACENT TO RESIDENTIAL ZONING)	65'-9"

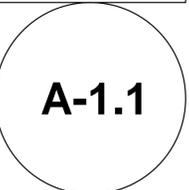
PROPOSED DEALERSHIP & PARKING GARAGE FOR:



**TOYOTA OF HOLLYWOOD**

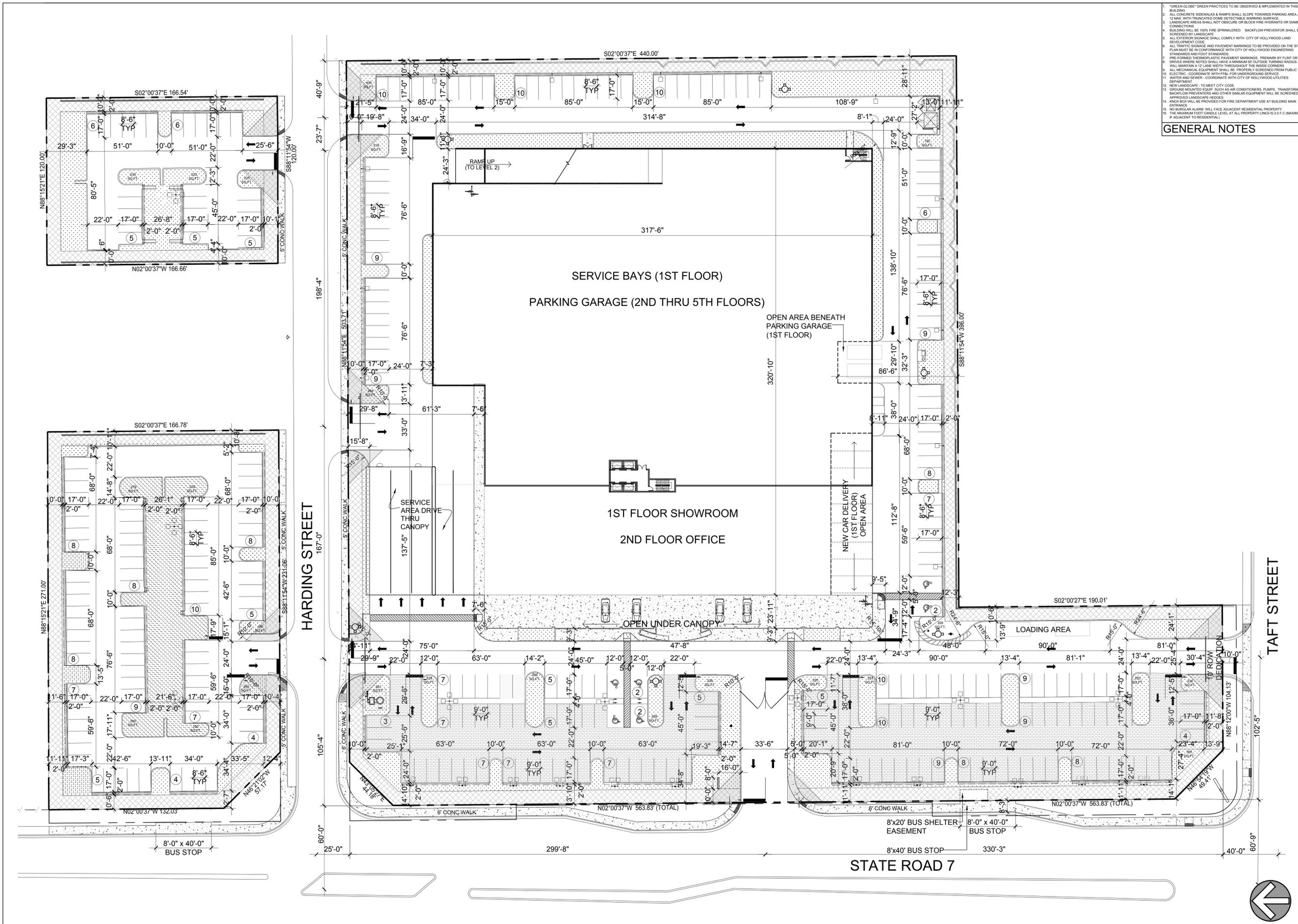
1841 NORTH STATE ROAD 7  
HOLLYWOOD, FL 33021

OVERALL SITE PLAN



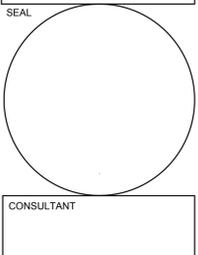
PROJECT NO. 73842  
DRAWN BY: MaT  
CHECKED BY: J.L.P.  
DATE: August 19, 2016

T:\0614\1413\01 SITE PLAN.DWG



- GENERAL NOTES**
- "GREEN GLOBE" GREEN PRACTICES TO BE OBSERVED & IMPLEMENTED IN THIS BUILDING.
  - ALL CONCRETE SIDEWALKS & RAMPS SHALL SLOPE TOWARDS PARKING AREA AT 1:12 MAX. WITH TRUNCATED CONE DETECTABLE WARNING SURFACE.
  - LANDSCAPE AREAS SHALL NOT OBSCURE OR BLOCK FIRE HYDRANTS OR FIRE ESCAPE CONNECTIONS.
  - BUILDING WILL BE 100% FIRE SPRINKLERED. BACKFLOW PREVENTOR SHALL BE SCREENED BY LANDSCAPE.
  - ALL EXTERIOR STORAGE SHALL COMPLY WITH CITY OF HOLLYWOOD LAND DEVELOPMENT CODE.
  - ALL TRAFFIC SIGNAGE AND PAVEMENT MARKINGS TO BE PROVIDED ON THE SITE PLAN MUST BE IN CONFORMANCE WITH CITY OF HOLLYWOOD ENGINEERING STANDARDS AND FOOT STANDARDS.
  - PRE-FORMED THERMOPLASTIC PAVEMENT MARKINGS. PREMARK BY FLINT OR EQUAL. DRIVES WHERE NOTED SHALL HAVE A MINIMUM 50' OUTSIDE TURNING RADIUS AND WILL MAINTAIN A 12' LANE WIDTH THROUGHOUT THE INSIDE CORNER.
  - ALL MECHANICAL EQUIPMENT SHALL BE PROPERLY SCREENED FROM PUBLIC VIEW AND MAINTAIN A 12' LANE WIDTH THROUGHOUT THE INSIDE CORNER.
  - ELECTRIC: COORDINATE WITH P&I FOR UNDERGROUND SERVICE.
  - WATER AND SEWER: COORDINATE WITH CITY OF HOLLYWOOD UTILITIES DEPARTMENT.
  - NEW LANDSCAPE: TO MEET CITY CODE.
  - GROUND MOUNTED EQUIP. SUCH AS AIR CONDITIONERS, PUMPS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER SIMILAR EQUIPMENT WILL BE SCREENED BY APPROVED LANDSCAPE HEDGES.
  - KNOX BOX WILL BE PROVIDED FOR FIRE DEPARTMENT USE AT BUILDING MAIN ENTRANCE.
  - NO BURGULAR ALARM WILL FACE ADJACENT RESIDENTIAL PROPERTY.
  - THE MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES IS 2.0 FC (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL).

REVISIONS:

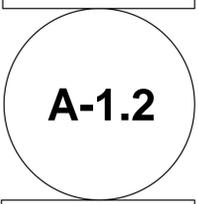
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 FL REG # AA-26001798

PROPOSED DEALERSHIP & PARKING GARAGE FOR:

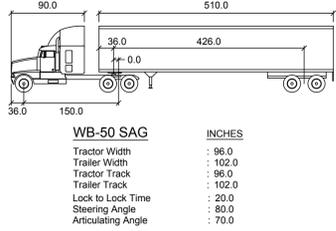
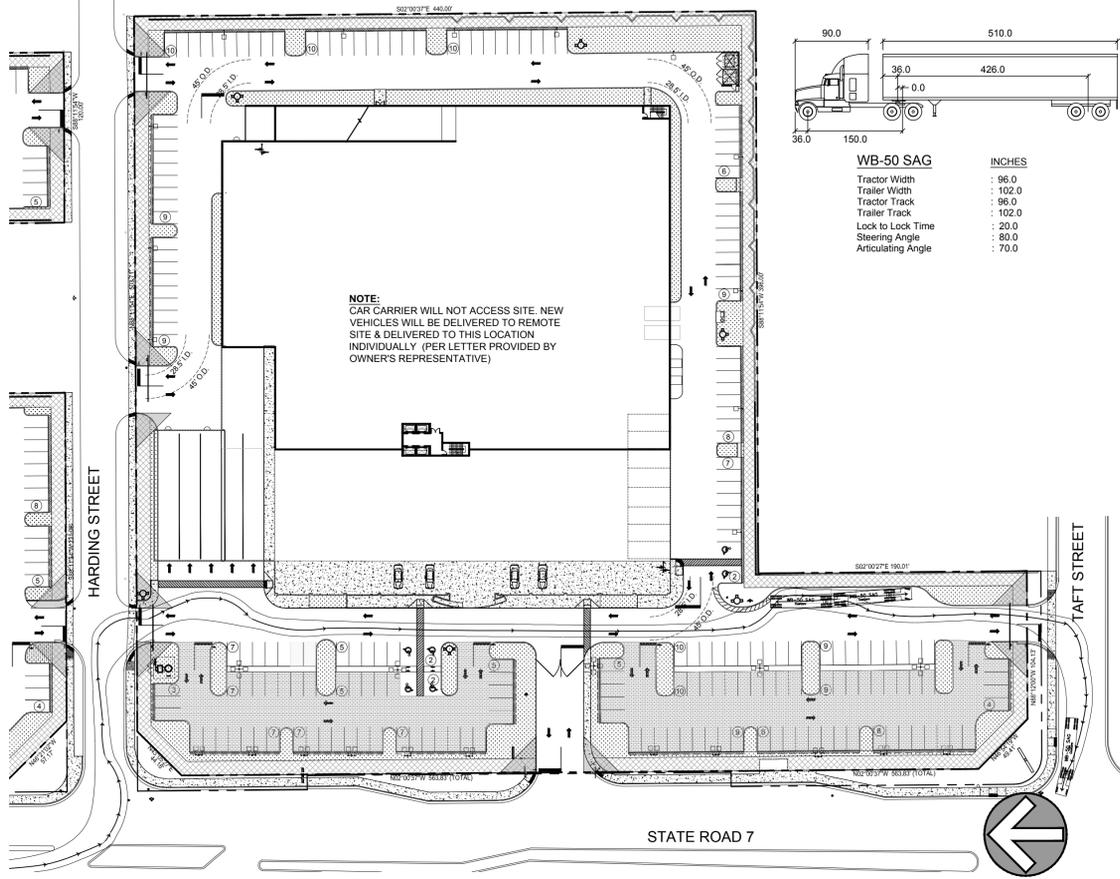
**TOYOTA OF HOLLYWOOD**  
 1841 NORTH STATE ROAD 7  
 HOLLYWOOD, FL 33021

OVERALL DIMENSION SITE PLAN



PROJECT NO. 73842  
 DRAWN BY: MaT  
 CHECKED BY: J.L.P  
 DATE: August 19, 2016

OVERALL DIMENSION SITE PLAN



WB-50 SAG	INCHES
Tractor Width	: 96.0
Trailer Width	: 102.0
Tractor Track	: 96.0
Trailer Track	: 102.0
Lock to Lock Time	: 20.0
Steering Angle	: 80.0
Articulating Angle	: 70.0

NOTE:  
CAR CARRIER WILL NOT ACCESS SITE. NEW VEHICLES WILL BE DELIVERED TO REMOTE SITE & DELIVERED TO THIS LOCATION INDIVIDUALLY (PER LETTER PROVIDED BY OWNER'S REPRESENTATIVE)

TRUCK SIMULATION

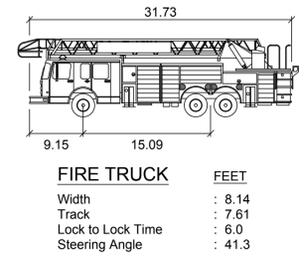
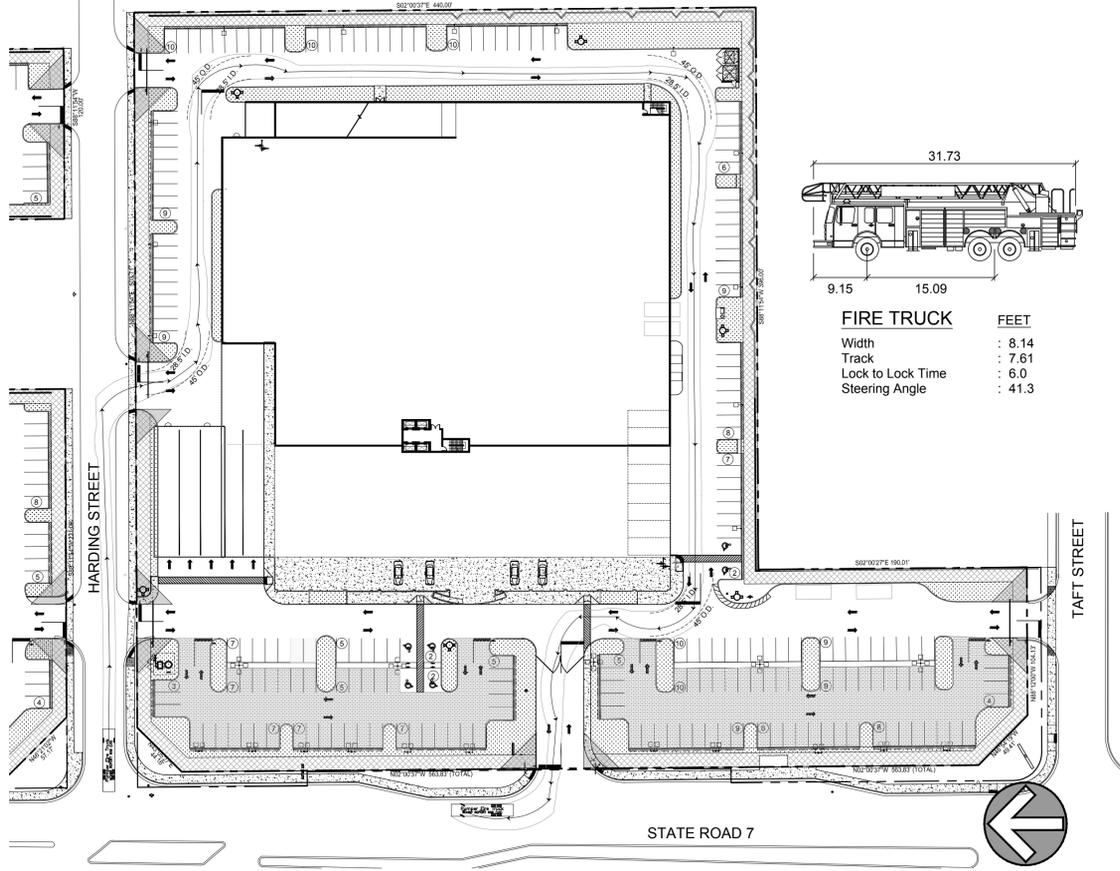
SCALE: 1:60

04

PROPOSED ZONING BOUNDARIES

SCALE: 1:60

02



FIRE TRUCK	FEET
Width	: 8.14
Track	: 7.61
Lock to Lock Time	: 6.0
Steering Angle	: 41.3

FIRE TRUCK SIMULATION

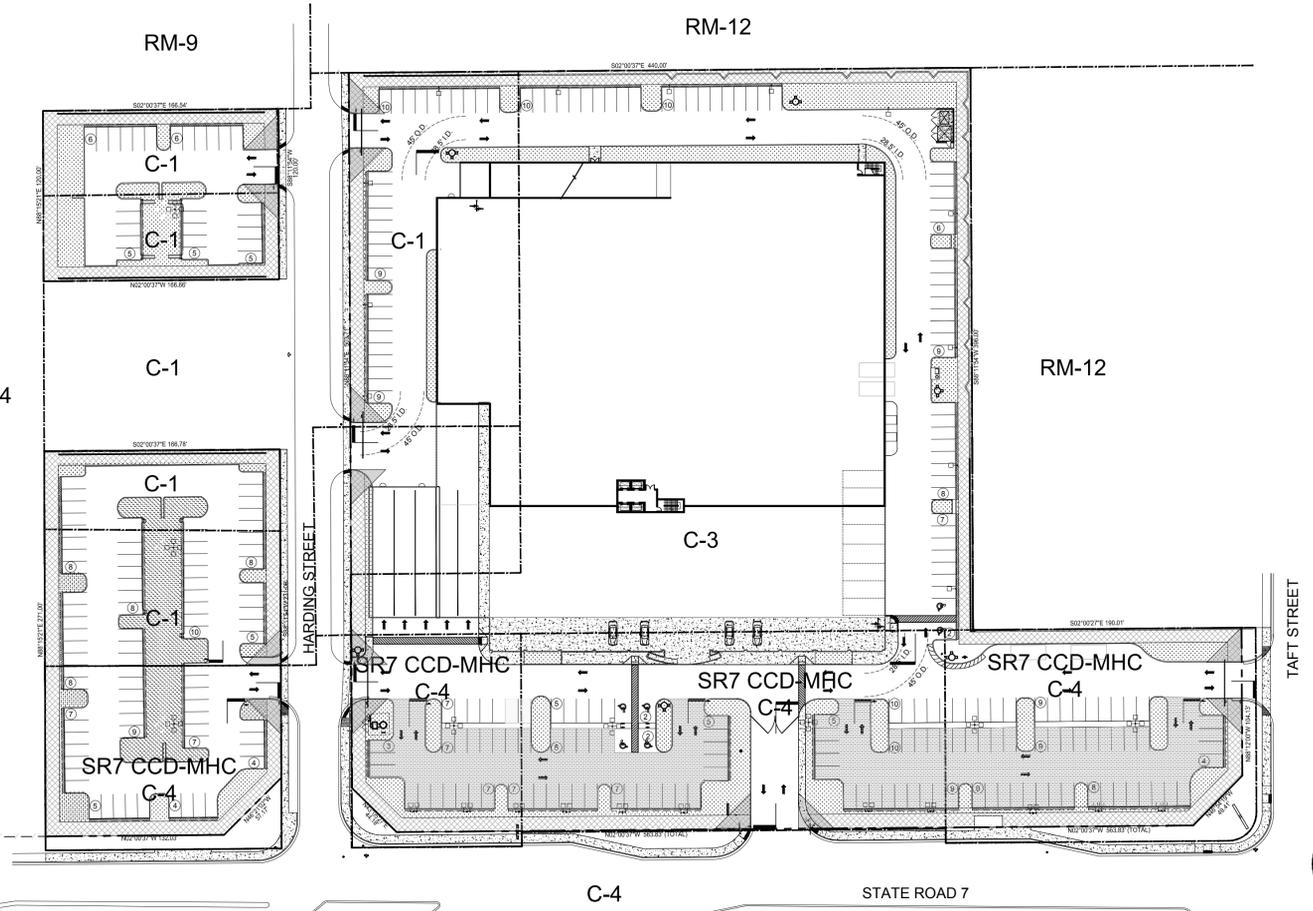
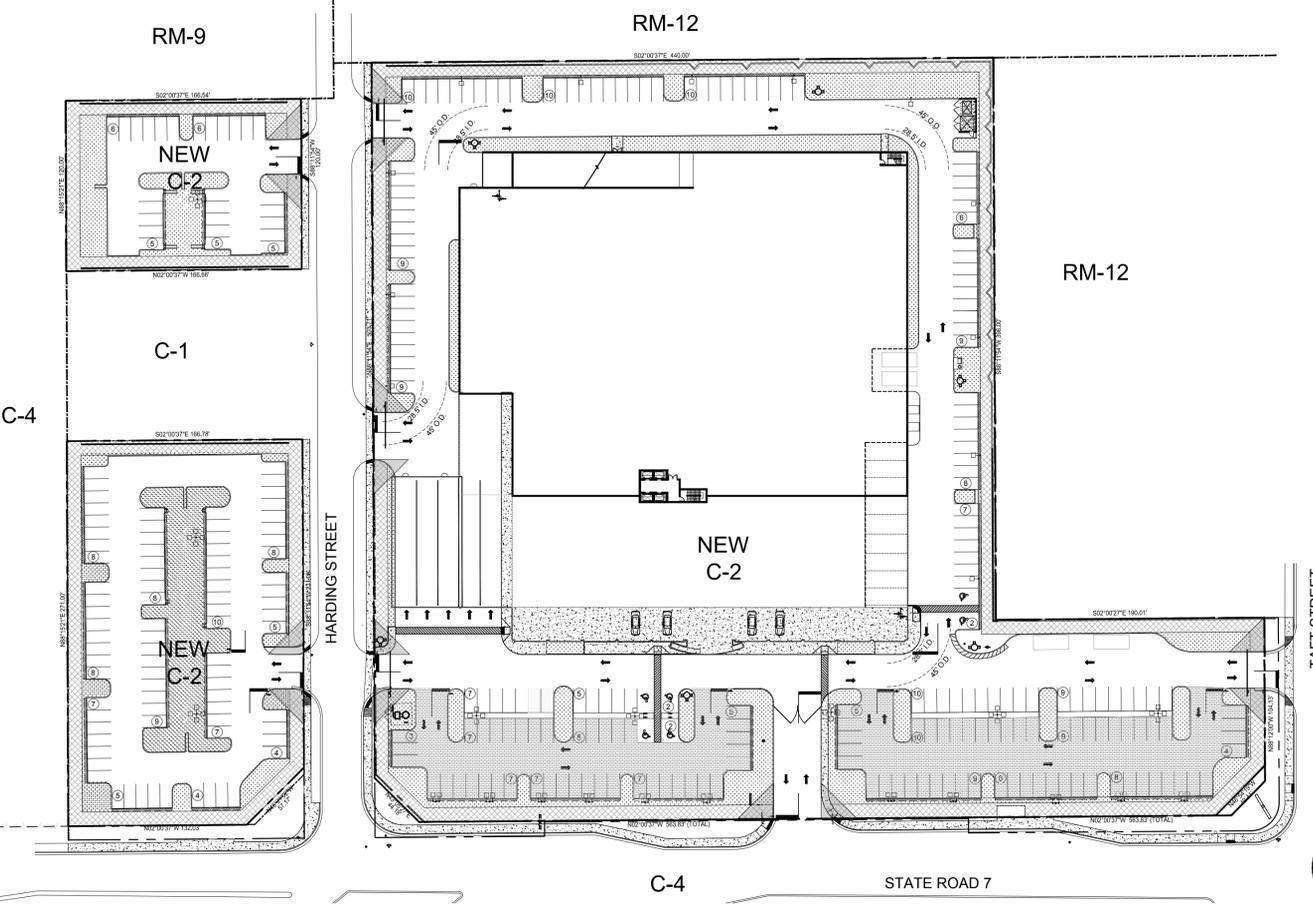
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03

EXISTING ZONING BOUNDARIES

SCALE: 1:60

01



REVISIONS:


SEAL

CONSULTANT

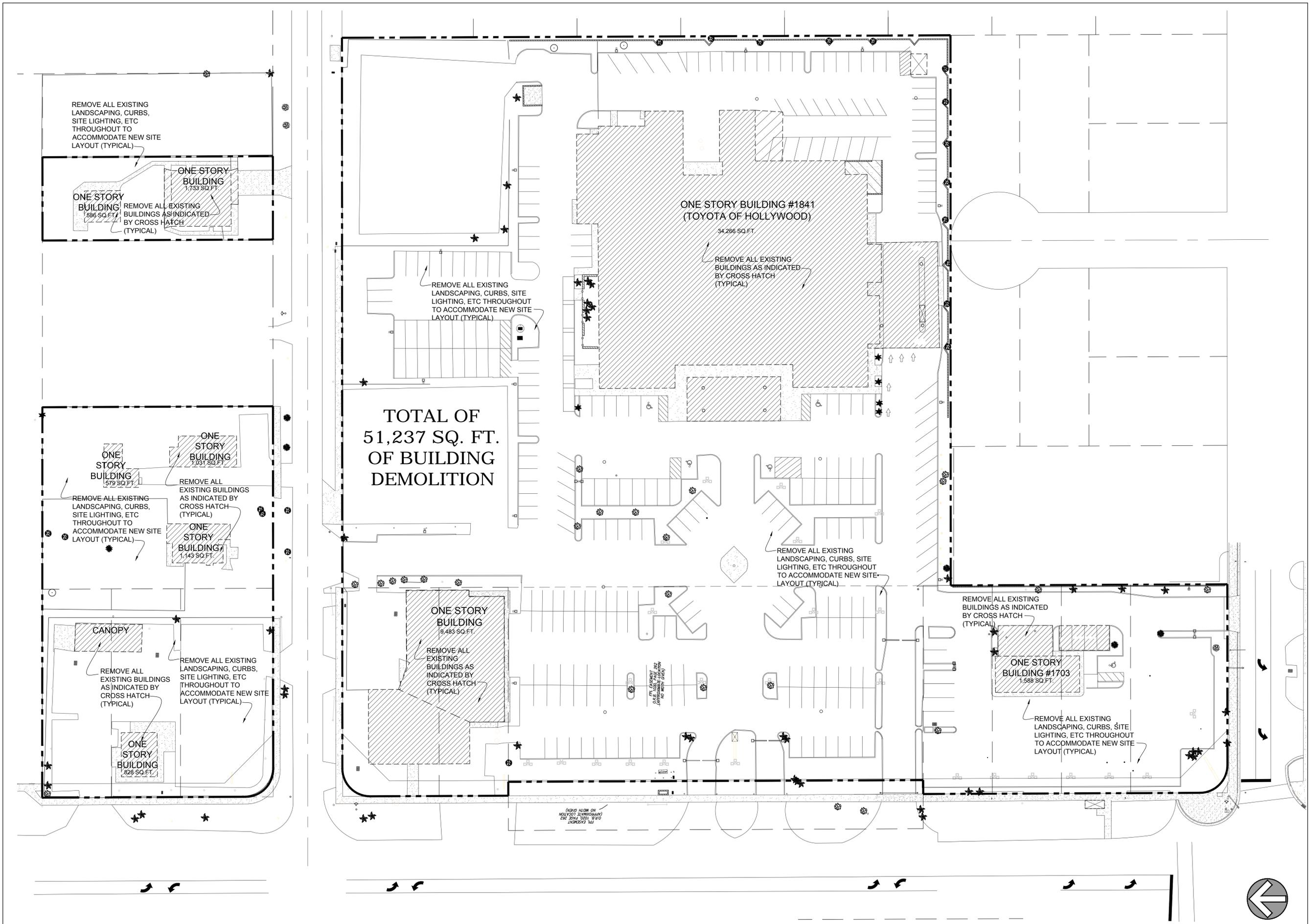
**STILES ARCHITECTURAL GROUP**  
 301 East Las Olas Blvd  
 Fort Lauderdale, Florida  
 954 - 627- 9180 33301  
 FL REG # AA-26001798

PROPOSED DEALERSHIP & PARKING GARAGE FOR:  
**TOYOTA OF HOLLYWOOD**  
 1841 NORTH STATE ROAD 7  
 HOLLYWOOD, FL 33021

ZONING BOUNDARIES/  
 TRUCK SIMULATIONS

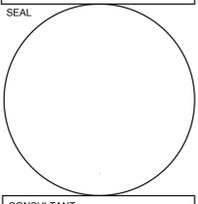
**A-1.3**

PROJECT NO. 73842  
 DRAWN BY: MaT  
 CHECKED BY: J.L.P.  
 DATE: August 19, 2016



**TOTAL OF  
51,237 SQ. FT.  
OF BUILDING  
DEMOLITION**

REVISIONS:

CONSULTANT

**STILES ARCHITECTURAL GROUP**  
 301 East Las Olas Blvd  
 Fort Lauderdale, Florida  
 954 - 627- 9180 33301  
 FL. REG # AA-26001798

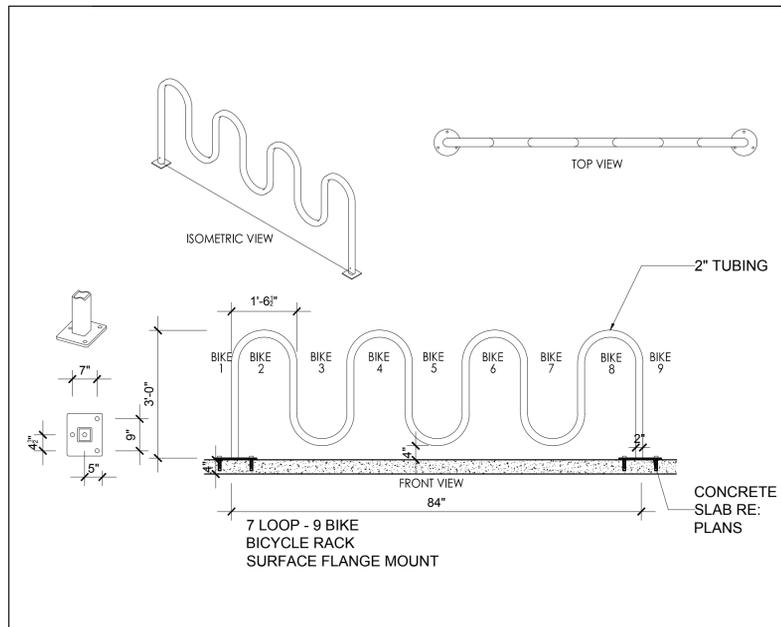


PROPOSED DEALERSHIP & PARKING GARAGE FOR:  
**TOYOTA OF HOLLYWOOD**  
 1841 NORTH STATE ROAD 7  
 HOLLYWOOD, FL 33021

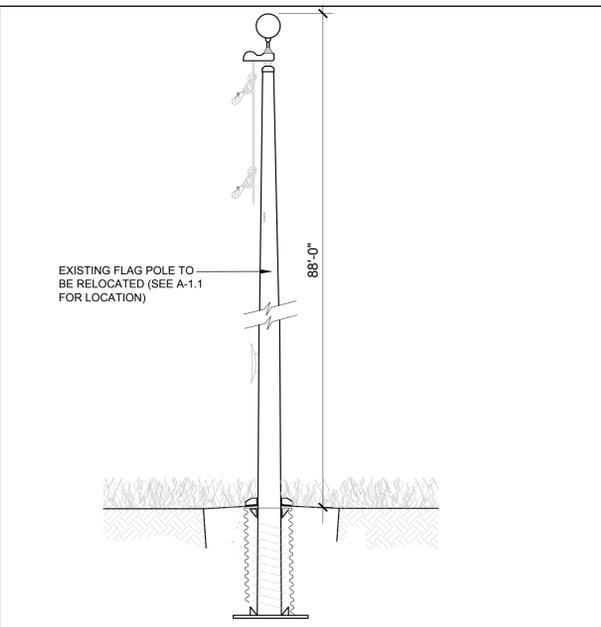
DEMOLITION SITE PLAN

**A-1.4**

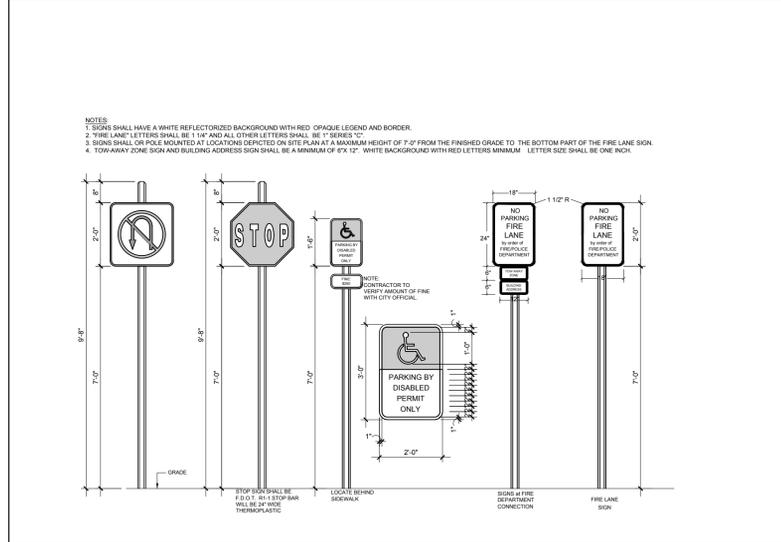
PROJECT NO.  
73842  
 DRAWN BY:  
MaT  
 CHECKED BY:  
J.L.P  
 DATE:  
August 19, 2016  
TBA0414-D001-F001-01.DWG



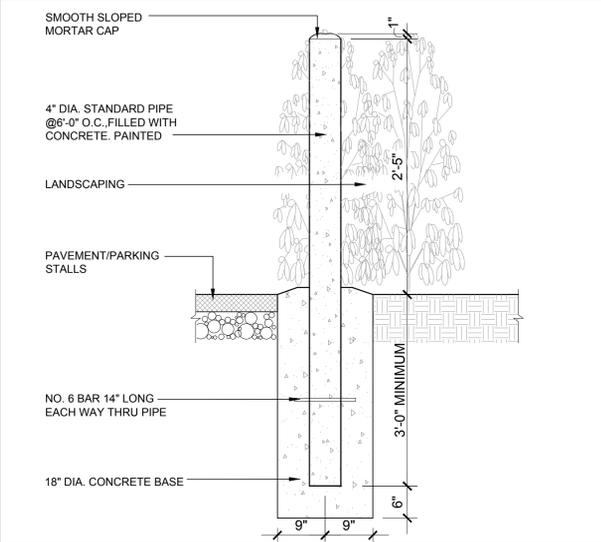
**BICYCLE RACK DETAIL** SCALE: NTS 14



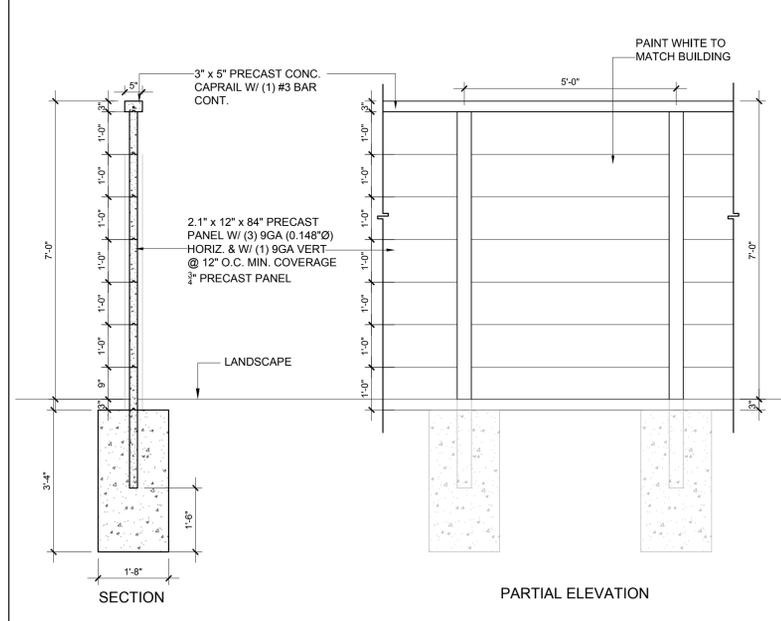
**FLAG POLE (RELOCATED)** SCALE: NTS 11



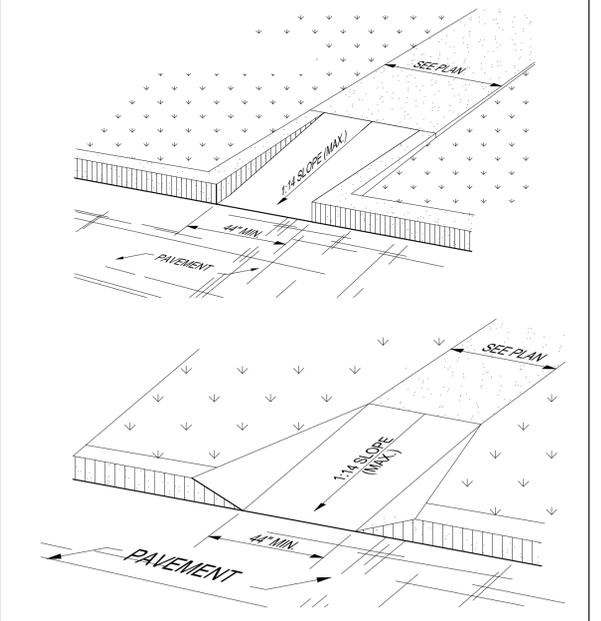
**SIGNAGE DETAILS** SCALE: NTS 13



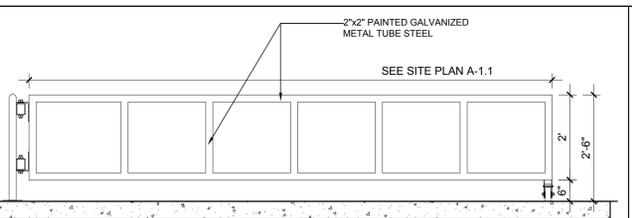
**SECURITY BOLLARD** SCALE: NTS 10



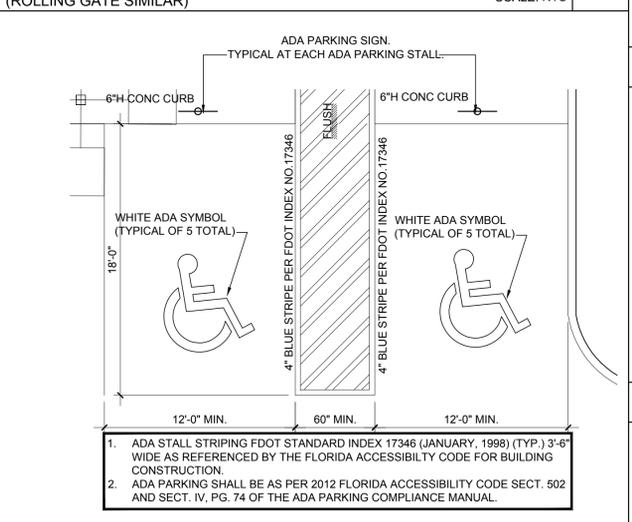
**SCREEN WALL DETAIL** SCALE: NTS 12



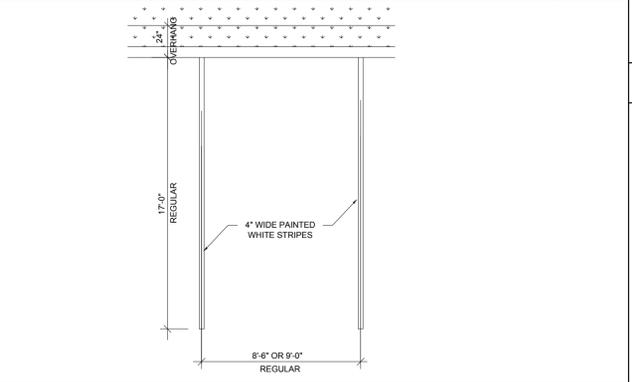
**RAMP DETAIL** SCALE: NTS 09



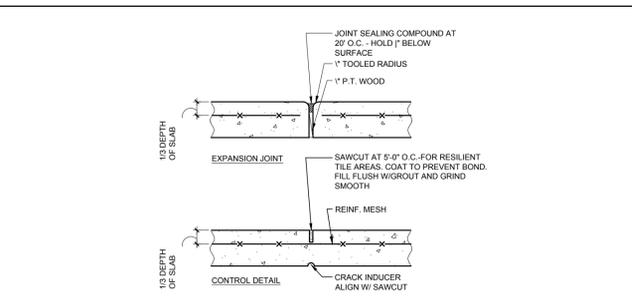
**SECURITY SWING GATE DETAIL (ROLLING GATE SIMILAR)** SCALE: NTS 08



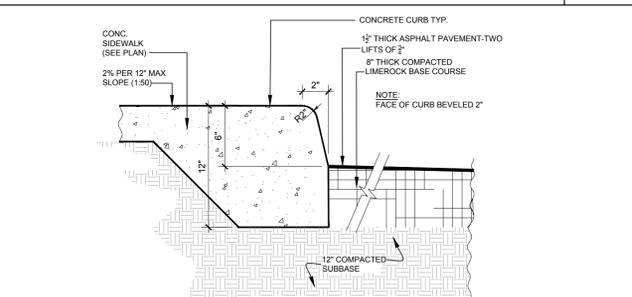
**90° ACCESSIBLE PARKING SPACE** SCALE: NTS 07



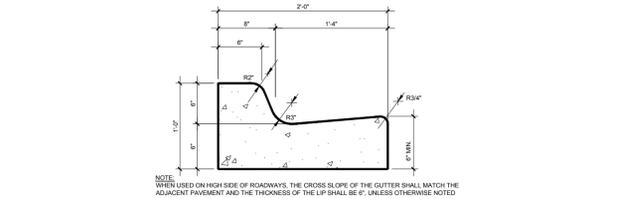
**90° STANDARD PARKING SPACE WITH CURB** SCALE: NTS 06



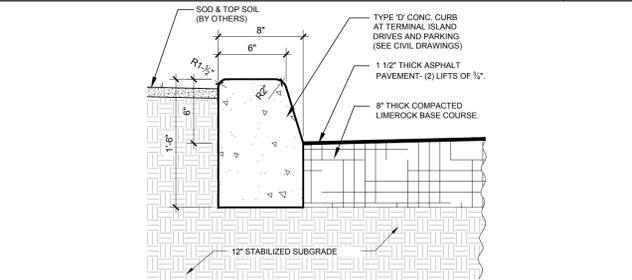
**SIDEWALK CONTROL JOINT** SCALE: NTS 05



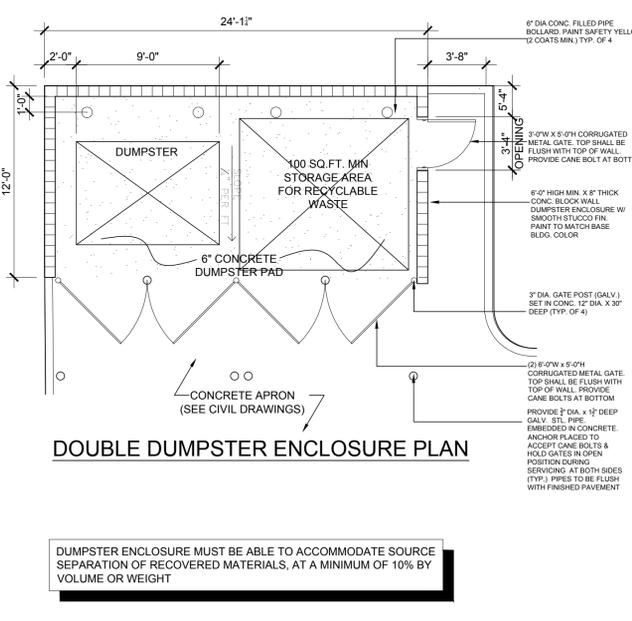
**INTEGRAL SIDEWALK AND CURB** SCALE: NTS 04



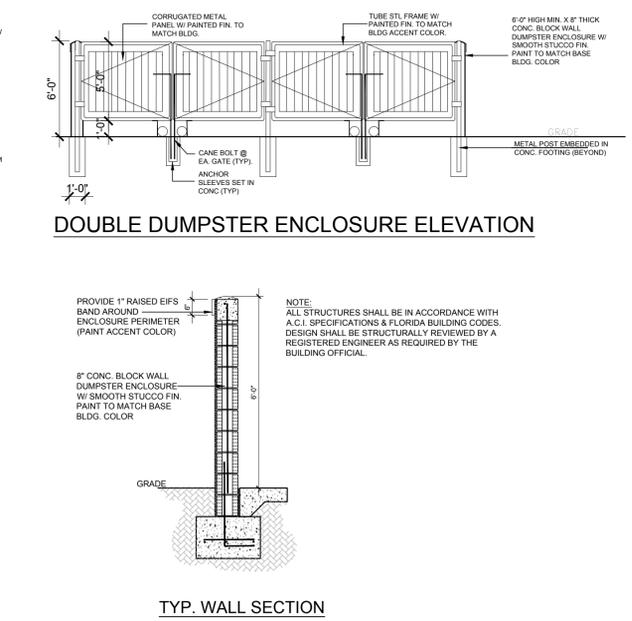
**TYPE "F" CURB** SCALE: NTS 03



**TYPE "D" CURB** SCALE: NTS 02

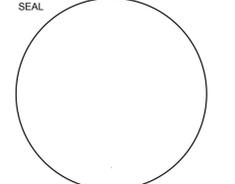


**DOUBLE DUMPSTER ENCLOSURE PLAN** SCALE: 3/16" = 1'-0" 01



**DOUBLE DUMPSTER ENCLOSURE ELEVATION** SCALE: 3/16" = 1'-0" 01

REVISIONS:

CONSULTANT

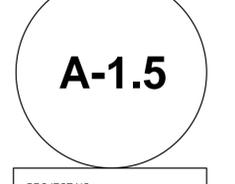
**STILES ARCHITECTURAL GROUP**  
 301 East Las Olas Blvd  
 Fort Lauderdale, Florida  
 954 - 627- 9180 33301  
 FL. REG # AA-26001798

PROPOSED DEALERSHIP & PARKING GARAGE FOR:

**TOYOTA OF HOLLYWOOD**

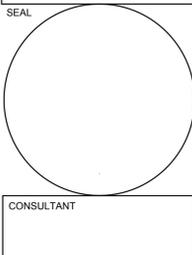
1841 NORTH STATE ROAD 7  
 HOLLYWOOD, FL 33021

SITE DETAILS



PROJECT NO. 73842  
 DRAWN BY: MaT  
 CHECKED BY: J.L.P.  
 DATE: August 19, 2016

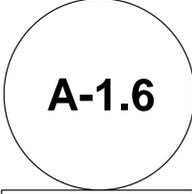
REVISIONS:



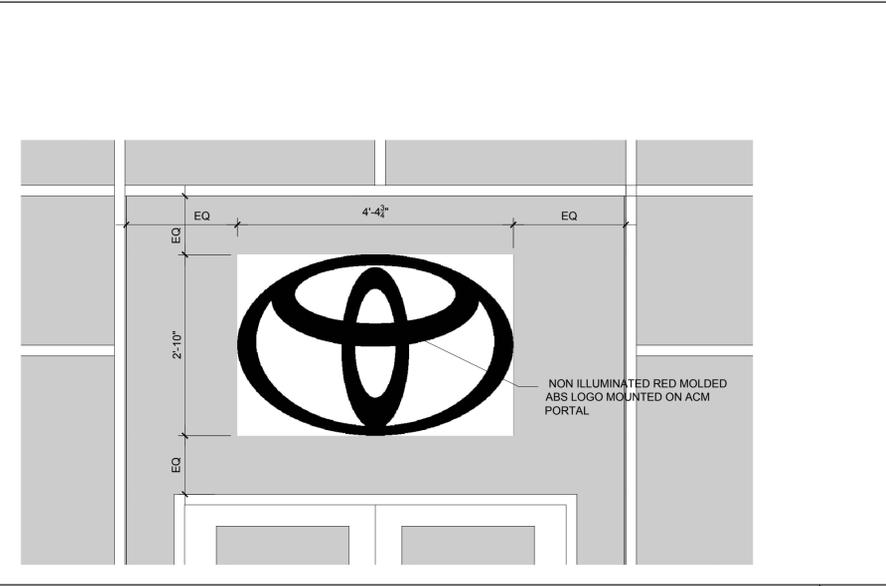
**STILES ARCHITECTURAL GROUP**  
 301 East Las Olas Blvd  
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 954 - 627- 9180 33301  
 FL. REG # AA-26001798

PROPOSED DEALERSHIP & PARKING GARAGE FOR:  
**TOYOTA OF HOLLYWOOD**  
 1841 NORTH STATE ROAD 7  
 HOLLYWOOD, FL 33021

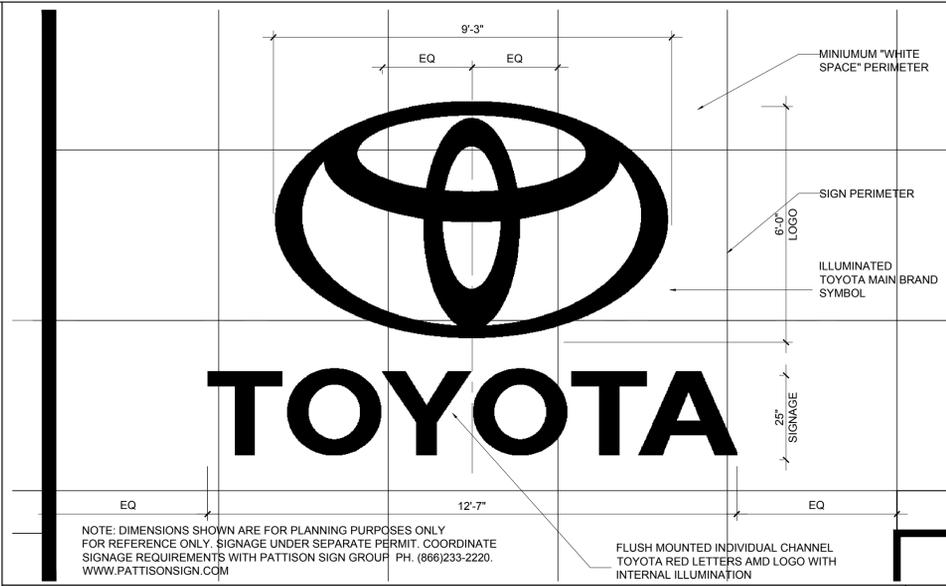
SIGNAGE DETAILS



PROJECT NO. 73842  
 DRAWN BY: MaT  
 CHECKED BY: J.L.P  
 DATE: August 19, 2016  
TSMC 414 SIGNAGE DETAILS.DWG



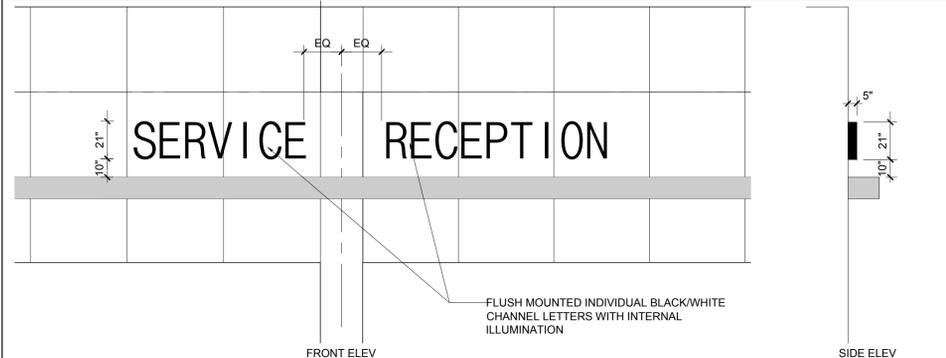
TOYOTA LOGO AT ENTRY DOORS SCALE: 1/2" = 1'-0" 04



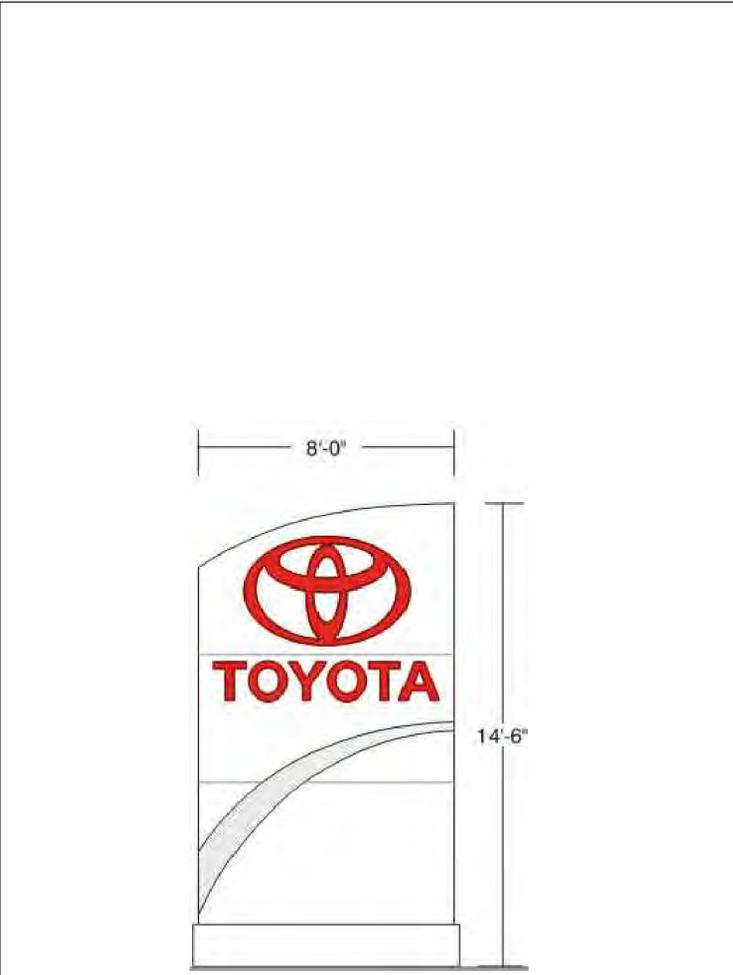
TOYOTA LOGO SIGNAGE AT PORTAL SCALE: 1/2" = 1'-0" 07



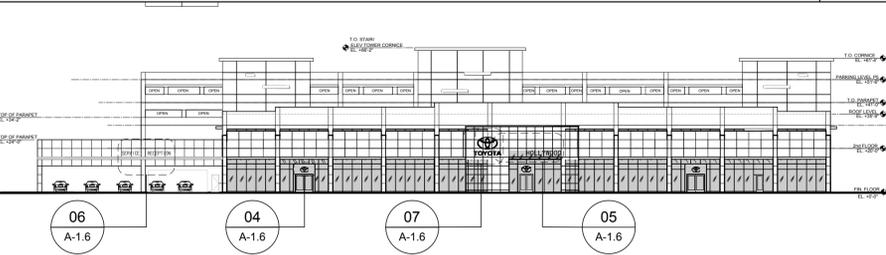
EXISTING SIGNAGE (TO REMAIN) @ TAFT STREET/ US 441 SCALE: 1/2" = 1'-0" 03



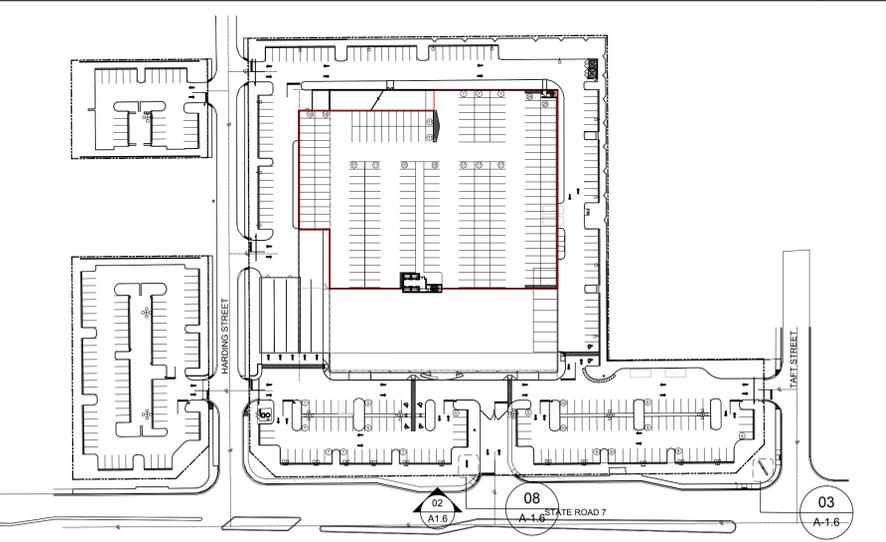
SERVICE SIGNAGE AT CANOPY SCALE: 1/2" = 1'-0" 06



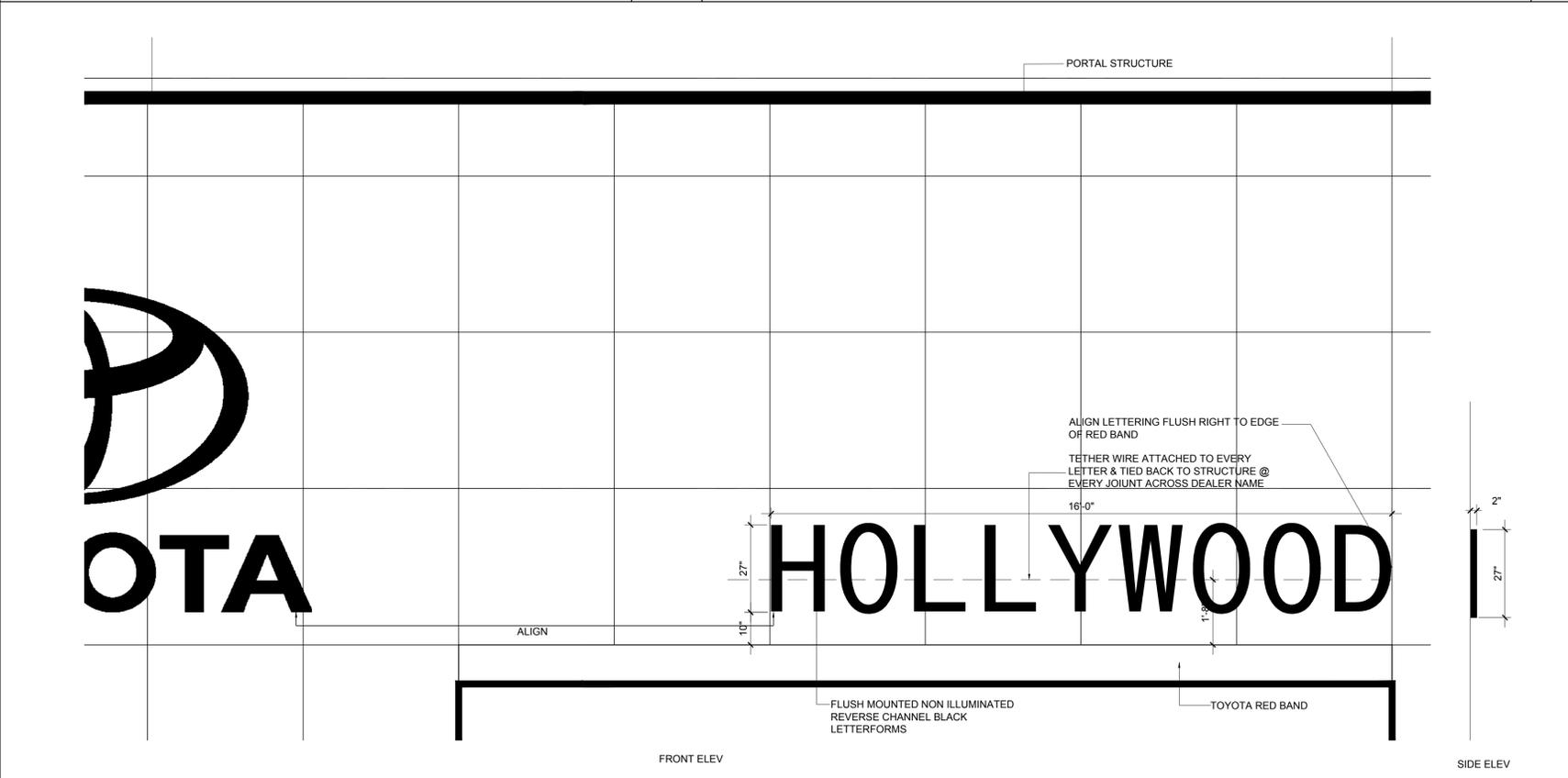
MONUMENT SIGN DETAIL 08



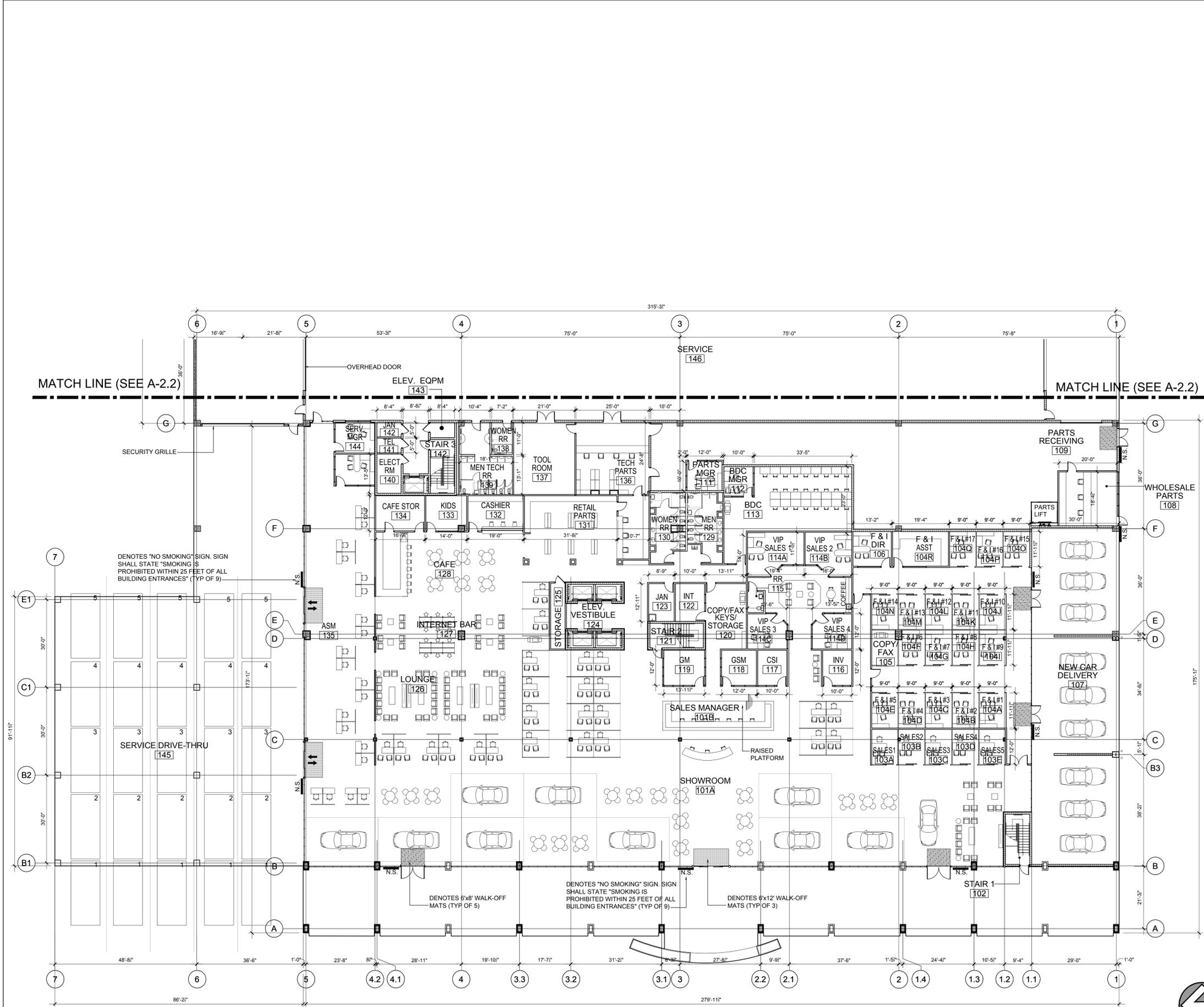
EXTERIOR ELEVATION REFERENCE (WEST ELEVATION) SCALE: NTS 02



SITE PLAN REFERENCE SCALE: NTS 01



DEALER NAME SIGNAGE AT PORTAL 05

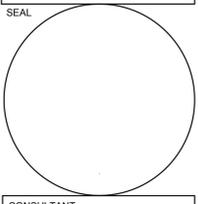


<p>REVISIONS:</p>	
<p>SEAL</p>	
<p>CONSULTANT</p>	
<p>STILES ARCHITECTURAL GROUP 301 East Las Olas Blvd Fort Lauderdale, Florida 954 - 627- 9180 33301 FL. REG # AA-26001798</p>	
<p>PROPOSED DEALERSHIP &amp; PARKING GARAGE FOR: <b>TOYOTA OF HOLLYWOOD</b> 1841 NORTH STATE ROAD 7 HOLLYWOOD, FL 33021</p>	
03	
02	
<p>CONTROLS FOR DAYLIGHTED ZONES CALCULATIONS PER SEC. 3.7.3.1.2:</p> <p><b>GROUND FLOOR</b></p> <p>TOTAL TASK AREAS = 43 TASK AREAS WITH EXTERIOR VIEW = 10 10 AREAS / 43 AREAS = 23.3%</p> <p><b>SECOND FLOOR</b></p> <p>TOTAL TASK AREAS = 24 TASK AREAS WITH EXTERIOR VIEW = 9 9 AREAS / 24 AREAS = 37.5%</p> <p><b>TOTAL BUILDING:</b> 19 AREAS / 67 AREAS = 28.4%</p>	
04	01

PARTIAL FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

GREEN GLOBES CALCULATIONS

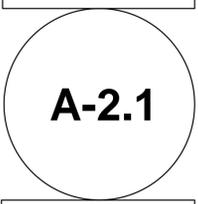
CONSULTANT

STILES ARCHITECTURAL GROUP  
301 East Las Olas Blvd  
Fort Lauderdale, Florida  
954 - 627- 9180 33301  
FL. REG # AA-26001798



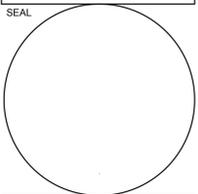
PROPOSED DEALERSHIP & PARKING GARAGE FOR:  
**TOYOTA OF HOLLYWOOD**  
1841 NORTH STATE ROAD 7  
HOLLYWOOD, FL 33021

PARTIAL FIRST FLOOR PLAN



PROJECT NO.  
73842  
DRAWN BY:  
MaT  
CHECKED BY:  
J.L.P  
DATE:  
August 19, 2016

REVISIONS:

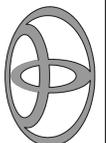


CONSULTANT

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 Fort Lauderdale, Florida  
 954 - 627- 9180 33301  
 FL. REG # AA-26001798



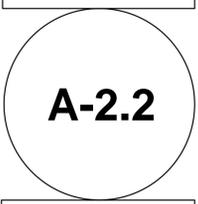
PROPOSED DEALERSHIP & PARKING GARAGE FOR:



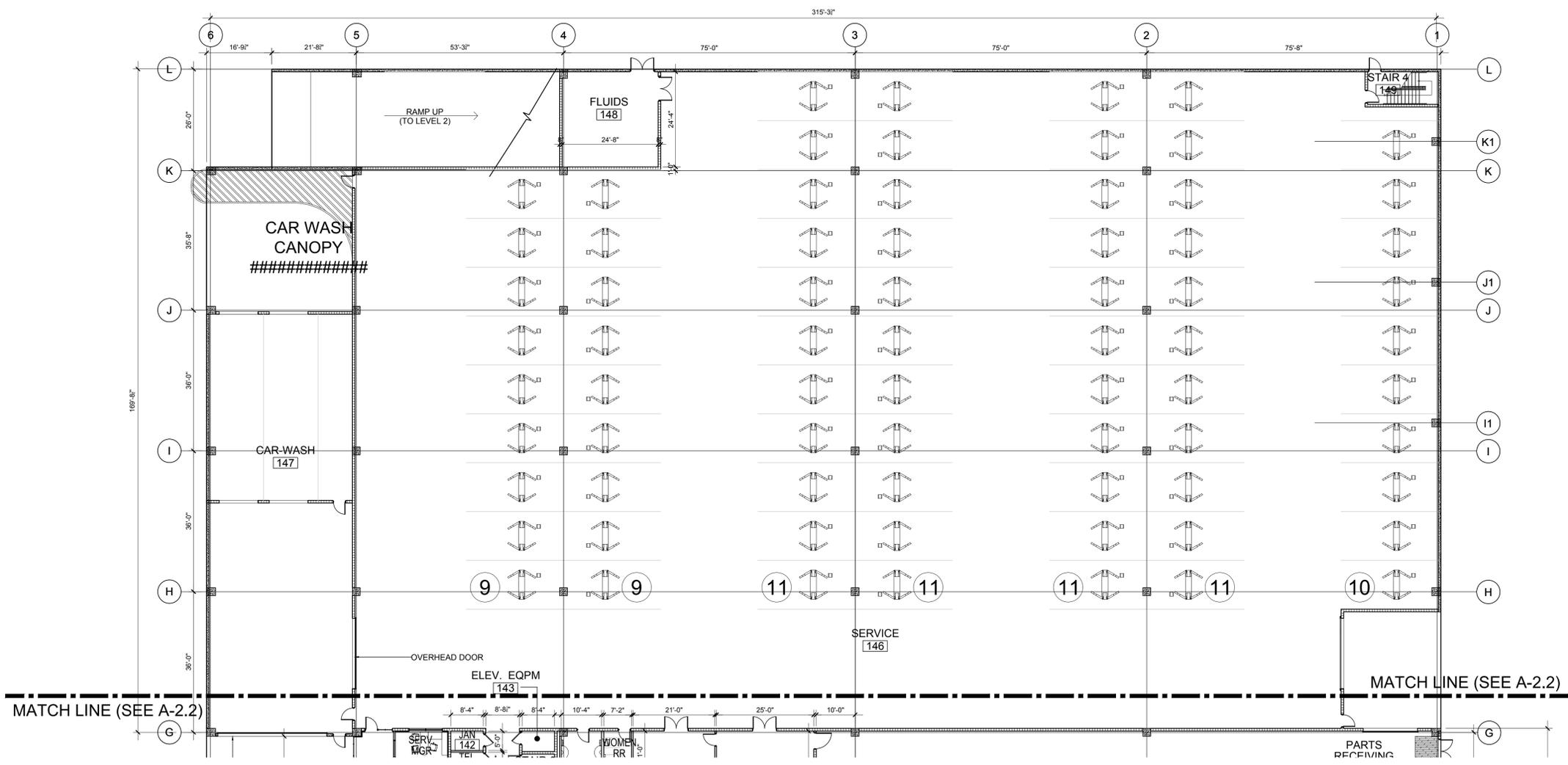
**TOYOTA OF HOLLYWOOD**

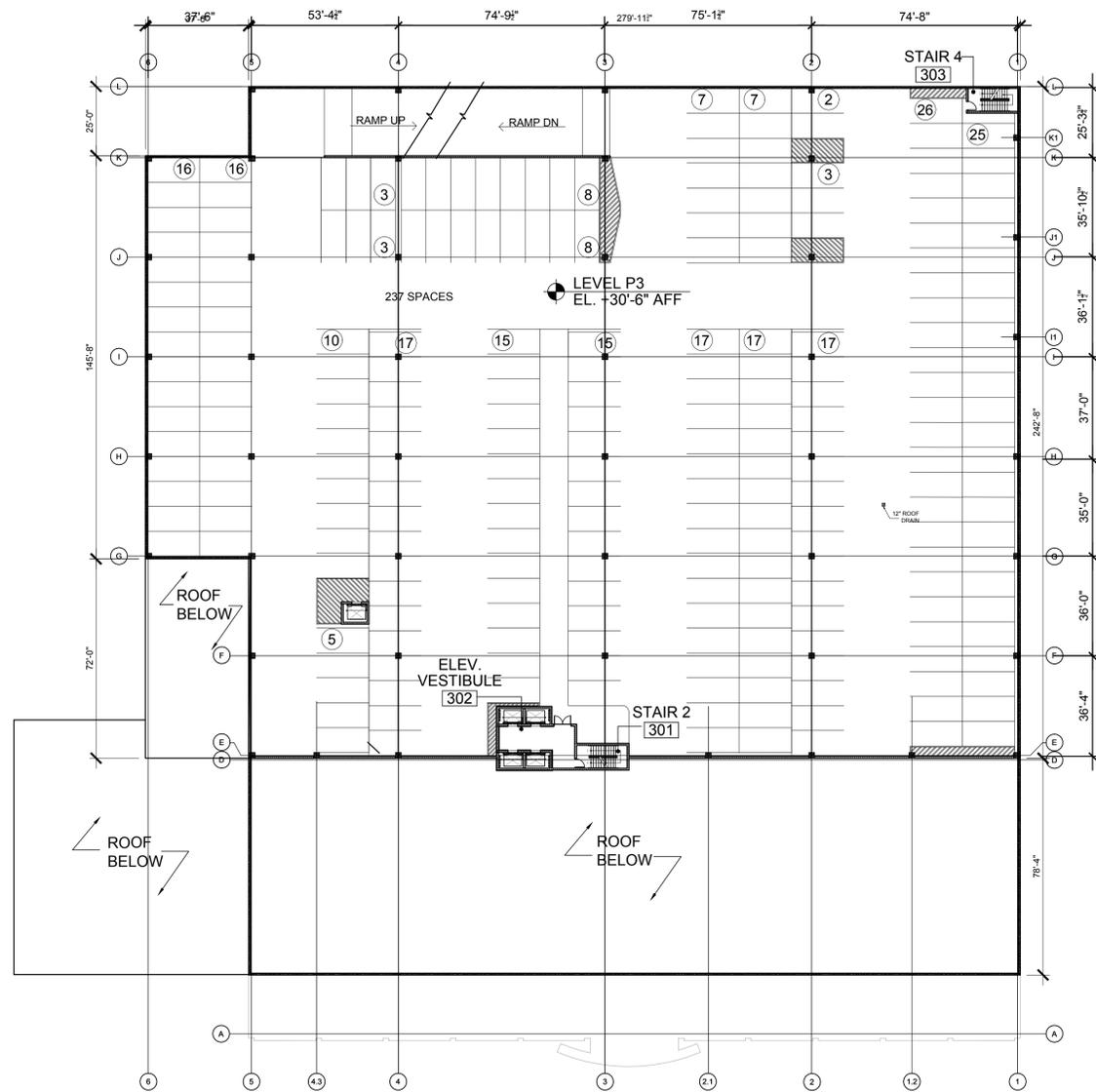
1841 NORTH STATE ROAD 7  
 HOLLYWOOD, FL 33021

PARTIAL FIRST FLOOR PLAN



PROJECT NO.  
73842  
 DRAWN BY :  
MaT  
 CHECKED BY :  
J.L.P  
 DATE :  
August 19, 2016

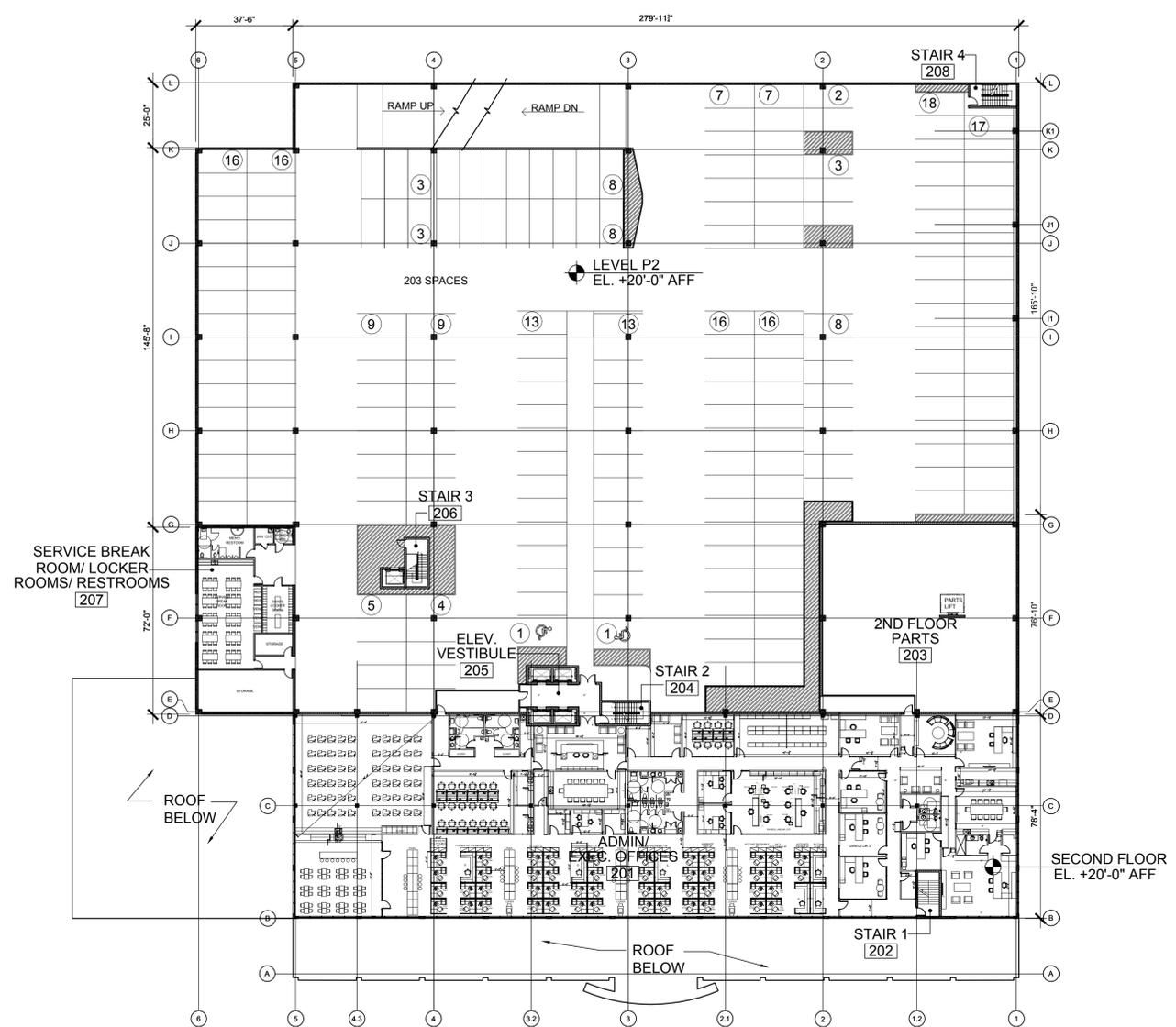




FLOOR PLAN - LEVEL 3

SCALE: 1:30

02



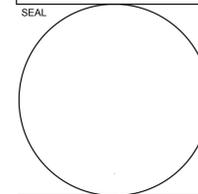
FLOOR PLAN - LEVEL 2

SCALE: 1:30

01



REVISIONS :

CONSULTANT

**STILES ARCHITECTURAL GROUP**  
 301 East Las Olas Blvd  
 Fort Lauderdale, Florida,  
 954 - 627- 9180 33301  
 FL. REG # AA-26001798



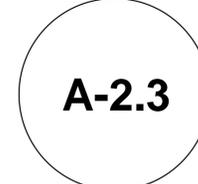
PROPOSED DEALERSHIP & PARKING GARAGE FOR:



**TOYOTA OF HOLLYWOOD**

1841 NORTH STATE ROAD 7  
 HOLLYWOOD, FL 33021

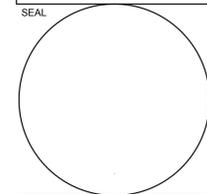
SECOND FLOOR/  
 LEVELS P2 & P3 PARKING  
 GARAGE PLANS



PROJECT NO.  
 73842  
 DRAWN BY :  
 MaT  
 CHECKED BY :  
 J.L.P  
 DATE :  
 August 19, 2016

T:\04\142\FLOOR PLANS.DWG

REVISIONS :



CONSULTANT

**STILES ARCHITECTURAL GROUP**  
 301 East Las Olas Blvd  
 Fort Lauderdale, Florida,  
 954 - 627- 9180 33301  
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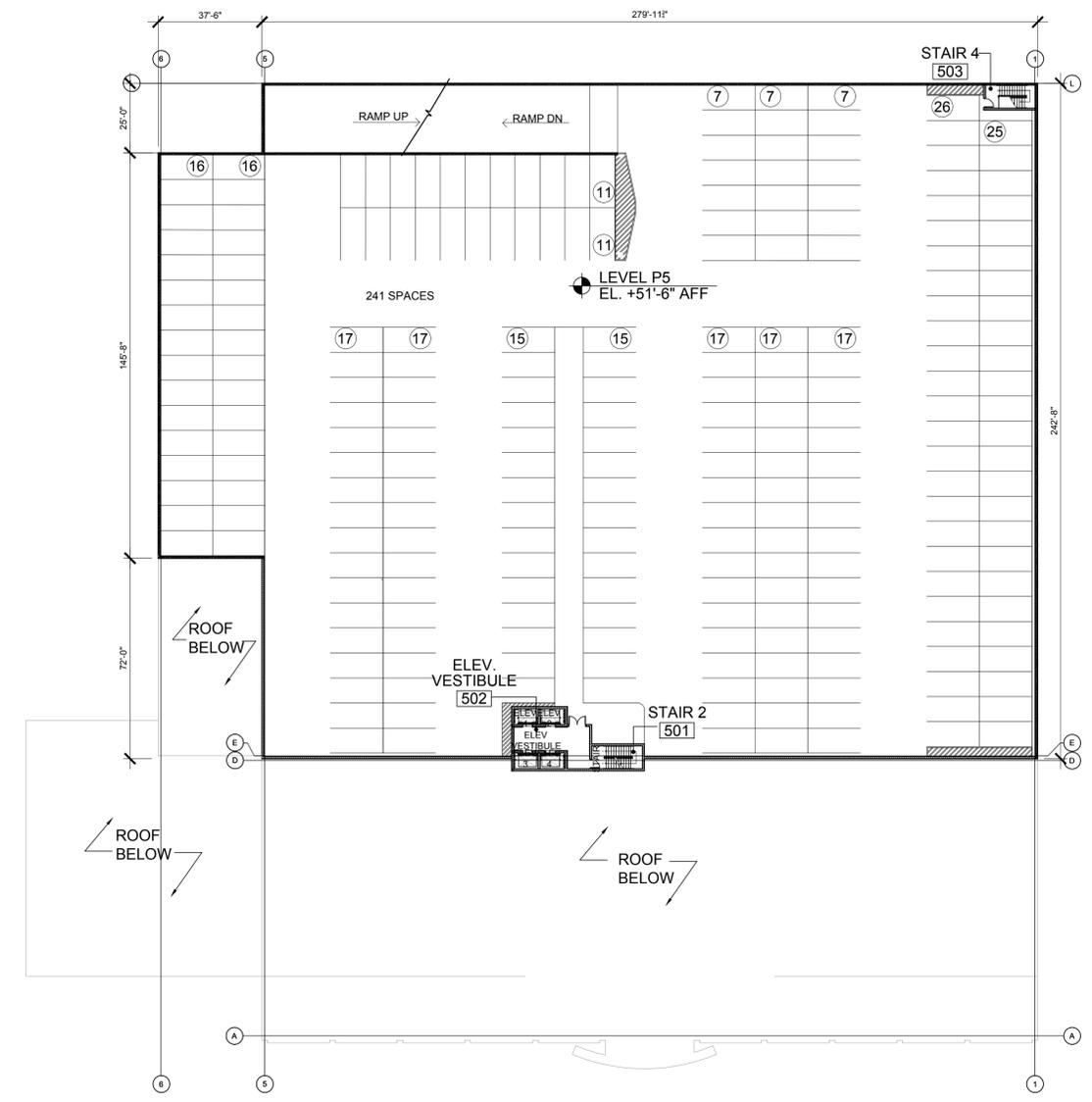


PROPOSED DEALERSHIP & PARKING GARAGE FOR:  
**TOYOTA OF HOLLYWOOD**  
 1841 NORTH STATE ROAD 7  
 HOLLYWOOD, FL 33021

LEVELS P4 & P5 PARKING GARAGE PLANS

**A-2.4**

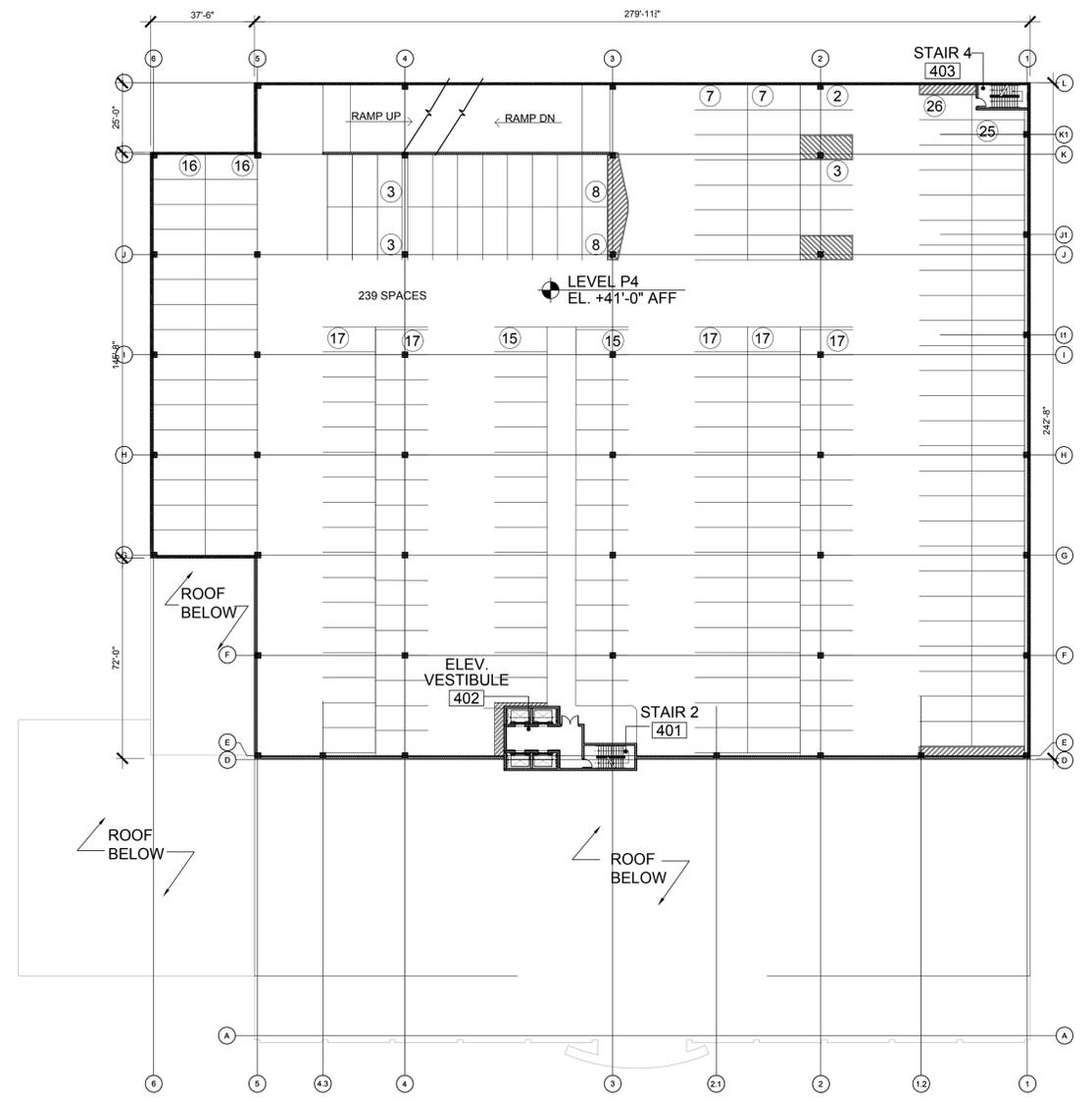
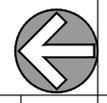
PROJECT NO. 73842  
 DRAWN BY : MaT  
 CHECKED BY : J.L.P  
 DATE : August 19, 2016



FLOOR PLAN - LEVEL 5

SCALE: 1:30

02



FLOOR PLAN - LEVEL 4

SCALE: 1:30

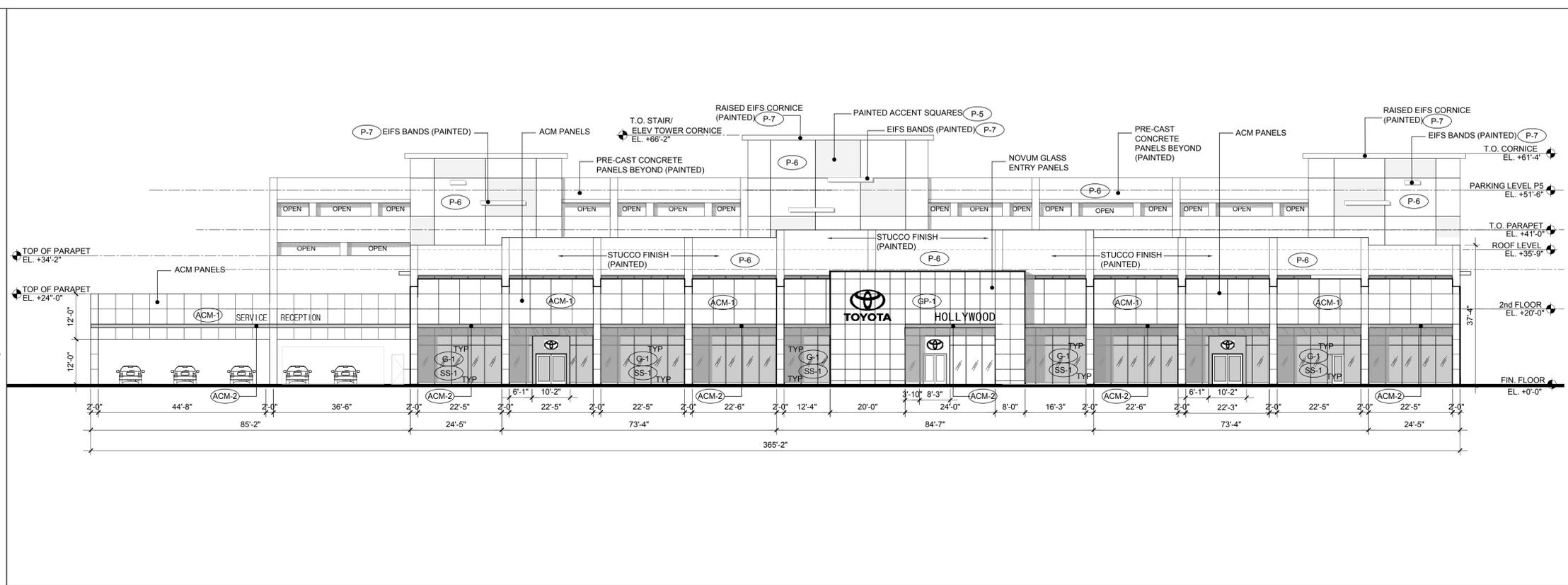
01



**DAYLIGHTING CALCULATIONS**  
 DAYLIGHT AREA REQUIRED (PER SEC. 3.3.5.4.1):  
 BUILDING GROSS FLOOR AREA = 57,633 S.F. x 10%  
 = 5,763 S.F. OF DAYLIGHT AREA REQUIRED  
 9,650 S.F. OF DAYLIGHT GLASS PROVIDED

GREEN GLOBES CRITERIA:  
 DAYLIGHT FACTOR: = (9,650 S.F. / 57,633 S.F.) x 0.1 = 1.67%

**ORIENTATION RATIO CALCULATIONS**  
 PER SEC 3.3.4.2  
 NORTH-SOUTH FENESTRATION AREA = 3,461 S.F.  
 EAST-WEST FENESTRATION AREA = 6,189 S.F.  
 3,461 S.F. / 6,189 S.F. = .56 RATIO



GREEN GLOBES CALCULATIONS 04 WEST ELEVATION SCALE: 1/16" = 1'-0" 02

**PAINT COLOR SELECTION:**

- P-5 SHERWIN WILLIAMS, CITY SCAPE #SW7067 (RAISED EIFS BAND AND ACCENT SQUARES)
- P-6 SHERWIN WILLIAMS, CHELSEA GRAY #SW2850 (EXTERIOR WALLS & SOFFITS NOT FINISHED IN ACM OR EXP-2)
- P-7 MANUFACTURER WHITE GLOSS (EXTERIOR DOORS & LIGHT POSTS)
- P-9 SHERWIN WILLIAMS, SILVER #BP71 (EXTERIOR DOORS/FRAMES FINISHED WITHIN ACM-1 WALLS)

**EXTERIOR PLASTER**

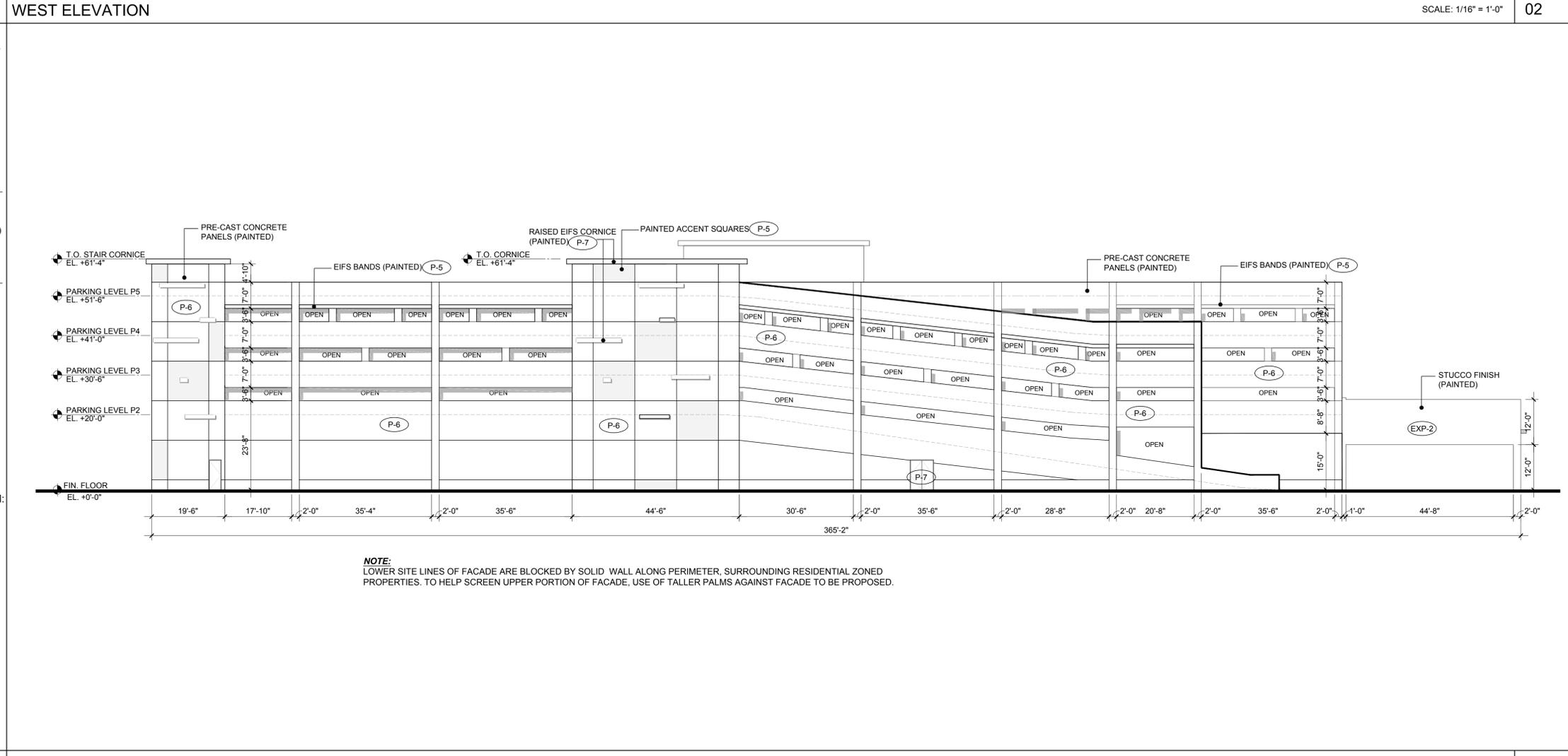
- EXP-2 MANUFACTURER TO BE SELECTED BY DEALER ARCHITECT TEXTURED FINISH W/ INTEGRAL COLOR TO MATCH DRYVIT "MOONLIGHT WHITE" #612, SANDPEBBLE TEXTURE DRYVIT REFERENCE #TOYA061021 OR #STO NA05-0056 (LIGHT GREY) (EXTERIOR WALLS)

**ALUMINUM COMPOSITE PANEL:**

- ACM-1 REYNOLDBOND BY ALCOA (OR ALPOLIC BY MITSUBISHI), 4MM THICK BONDED METAL PANEL  
 3/4" REVEALS (TESTED DRY OR RAIN SCREEN SYSTEM W/ EXPOSED EXTRUSIONS TO MATCH PANELS)  
 COLOR: TOYOTA SILVER (EXTERIOR FACADE & COLUMNS)  
 NOTE: FLASHINGS TO MATCH ADJACENT WALL PANELS (CONTACT HGI CONSULTING)
- ACM-2 REYNOLDBOND BY ALCOA (OR ALPOLIC BY MITSUBISHI), 4MM THICK BONDED METAL PANEL  
 3/4" REVEALS (TESTED DRY OR RAIN SCREEN SYSTEM W/ EXPOSED EXTRUSIONS TO MATCH PANELS)  
 COLOR: TOYOTA RED (EXTERIOR FACADE & COLUMNS)  
 NOTE: FLASHINGS TO MATCH ADJACENT WALL PANELS (CONTACT HGI CONSULTING)

**EXTERIOR STOREFRONT/ CURTAIN WALL & GLAZING SYSTEM:**

- SS-1 INTEGRATED CURTAINWALL SYSTEM BY KAWNEER CONTACT HGI CONSULTING
- G-1 CLEAR DOUBLE GLAZED, TEMPERED LOW-E GLASS
- GP-1 GLASS PANELS BY NOVUM STRUCTURES 48"x48" SOLERA TRANSLUCENT LOW IRON GLAZING SYSTEM 3/4" THICK ANNEALED LOW IRON GLASS DIFFUSING VEILS (WHITE) & HONEYCOMB TO BE UV STABLE ACRYLIC (PROVIDE STRUCTURAL STEEL, PRIMED & PAINTED TOYOTA WHITE GLOSS, TO SUPPORT FRAMING)



FINISH LEGEND 03 EAST ELEVATION SCALE: 1/16" = 1'-0" 01

**NOTE:**  
 LOWER SITE LINES OF FACADE ARE BLOCKED BY SOLID WALL ALONG PERIMETER, SURROUNDING RESIDENTIAL ZONED PROPERTIES. TO HELP SCREEN UPPER PORTION OF FACADE, USE OF TALLER PALMS AGAINST FACADE TO BE PROPOSED.

REVISIONS:


SEAL

CONSULTANT

**STILES ARCHITECTURAL GROUP**  
 301 East Las Olas Blvd  
 Fort Lauderdale, Florida,  
 954 - 627- 9190 33301  
 FL. REG # AA-26001798

PROPOSED DEALERSHIP & PARKING GARAGE FOR:

**TOYOTA OF HOLLYWOOD**  
 1841 NORTH STATE ROAD 7  
 HOLLYWOOD, FL 33021

EXTERIOR ELEVATIONS

**A-6.1**

PROJECT NO. 73842  
 DRAWN BY: MaT  
 CHECKED BY: J.L.P  
 DATE: August 19, 2016

T:\04-14-12\04-14-12 EXTERIOR ELEVATIONS.DWG

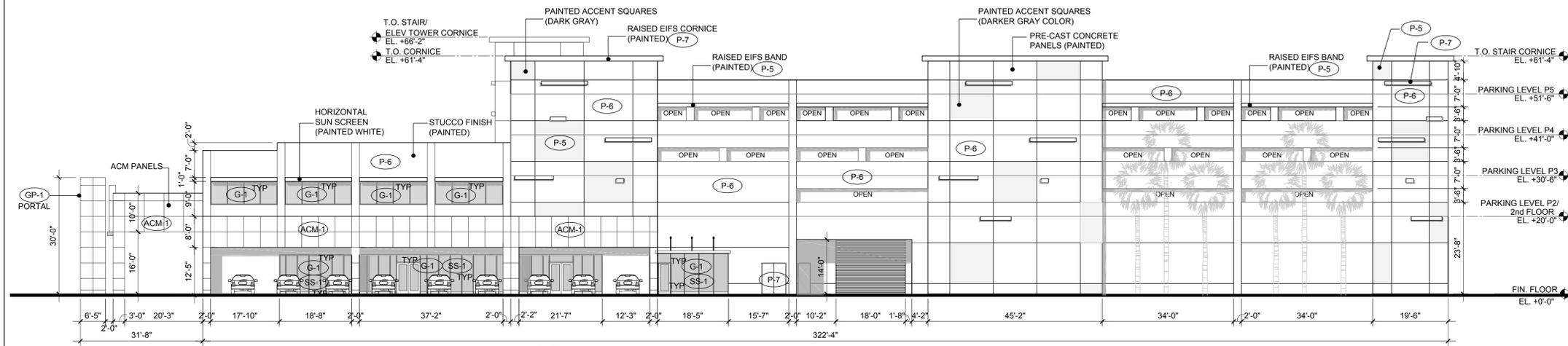
**DAYLIGHTING CALCULATIONS**

DAYLIGHT AREA REQUIRED (PER SEC. 3.3.5.4.1):  
 BUILDING GROSS FLOOR AREA = 57,633 S.F. x 10%  
 = 5,763 S.F. OF DAYLIGHT AREA REQUIRED  
 9,650 S.F. OF DAYLIGHT GLASS PROVIDED

GREEN GLOBES CRITERIA:  
 DAYLIGHT FACTOR: = (9,650 S.F. / 57,633 S.F.) x 0.1 = 1.67%

**ORIENTATION RATIO CALCULATIONS**

PER SEC 3.3.4.2  
 NORTH-SOUTH FENESTRATION AREA = 3,461 S.F.  
 EAST-WEST FENESTRATION AREA = 6,189 S.F.  
 3,461 S.F. / 6,189 S.F. = .56 RATIO



**NOTE:**  
 LOWER SITE LINES OF FACADE ARE BLOCKED BY SOLID WALL ALONG PERIMETER, SURROUNDING RESIDENTIAL ZONED PROPERTIES. TO HELP SCREEN UPPER PORTION OF FACADE, USE OF TALLER PALMS AGAINST FACADE TO BE PROPOSED.

**GREEN GLOBES CALCULATIONS**

04

**SOUTH ELEVATION**

SCALE: 1/16" = 1'-0"

02

**PAINT COLOR SELECTION:**

- P-5** SHERWIN WILLIAMS, CITY SCAPE #SW7067 (RAISED EIFS BAND AND ACCENT SQUARES)
- P-6** SHERWIN WILLIAMS, CHELSEA GRAY #SW2850 (EXTERIOR WALLS & SOFFITS NOT FINISHED IN ACM OR EXP-2)
- P-7** MANUFACTURER WHITE GLOSS (EXTERIOR DOORS & LIGHT POSTS)
- P-9** SHERWIN WILLIAMS, SILVER #BP71 (EXTERIOR DOORS/FRAMES FINISHED WITHIN ACM-1 WALLS)

**EXTERIOR PLASTER**

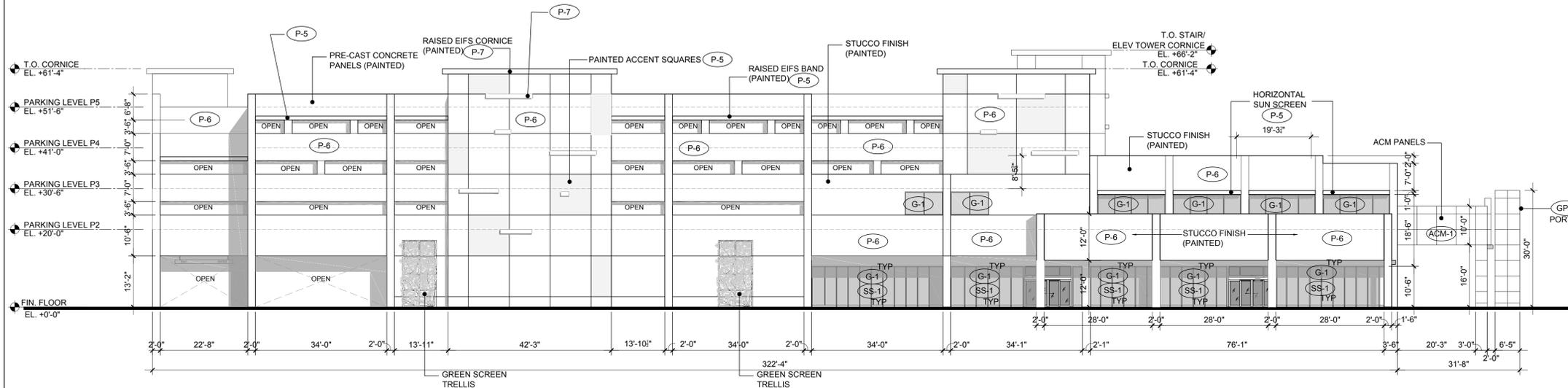
- EXP-2** MANUFACTURER TO BE SELECTED BY DEALER ARCHITECT TEXTURED FINISH W/ INTEGRAL COLOR TO MATCH DRYVIT "MOONLIGHT WHITE" #812. SANDPEBBLE TEXTURE DRYVIT REFERENCE #TOYA061021 OR #STO NA05-0056 (LIGHT GREY) (EXTERIOR WALLS)

**ALUMINUM COMPOSITE PANEL:**

- ACM-1** REYNOLBOND BY ALCOA (OR ALPOLIC BY MITSUBISHI), 4MM THICK BONDED METAL PANEL 3" REVEALS (TESTED DRY OR RAIN SCREEN SYSTEM W/ EXPOSED EXTRUSIONS TO MATCH PANELS) COLOR: TOYOTA SILVER (EXTERIOR FACADE & COLUMNS) NOTE: FLASHINGS TO MATCH ADJACENT WALL PANELS (CONTACT HGI CONSULTING)
- ACM-2** REYNOLBOND BY ALCOA (OR ALPOLIC BY MITSUBISHI), 4MM THICK BONDED METAL PANEL 3" REVEALS (TESTED DRY OR RAIN SCREEN SYSTEM W/ EXPOSED EXTRUSIONS TO MATCH PANELS) COLOR: TOYOTA RED (EXTERIOR FACADE & COLUMNS) NOTE: FLASHINGS TO MATCH ADJACENT WALL PANELS (CONTACT HGI CONSULTING)

**EXTERIOR STOREFRONT/ CURTAIN WALL & GLAZING SYSTEM:**

- SS-1** INTEGRATED CURTAINWALL SYSTEM BY KAWNEER CONTACT HGI CONSULTING
- G-1** CLEAR DOUBLE GLAZED, TEMPERED LOW-E GLASS
- GP-1** GLASS PANELS BY NOVUM STRUCTURES 48"x48" SOLERA TRANSLUCENT LOW IRON GLAZING SYSTEM 1/2" THICK ANNEALED LOW IRON GLASS DIFFUSING VEILS (WHITE) & HONEYCOMB TO BE UV STABLE ACRYLIC (PROVIDE STRUCTURAL STEEL, PRIMED & PAINTED TOYOTA WHITE GLOSS, TO SUPPORT FRAMING)



**FINISH LEGEND**

03

**NORTH ELEVATION**

SCALE: 1/16" = 1'-0"

01

REVISIONS:


SEAL

CONSULTANT

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 301 East Las Olas Blvd  
 Fort Lauderdale, Florida  
 954 - 627- 9180 33301  
 FL. REG # AA-26001798

PROPOSED DEALERSHIP & PARKING GARAGE FOR:

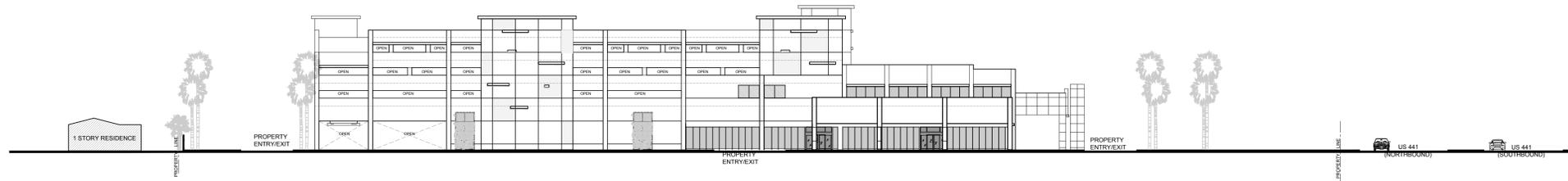
**TOYOTA OF HOLLYWOOD**

1841 NORTH STATE ROAD 7  
 HOLLYWOOD, FL 33021

EXTERIOR ELEVATIONS

**A-6.2**

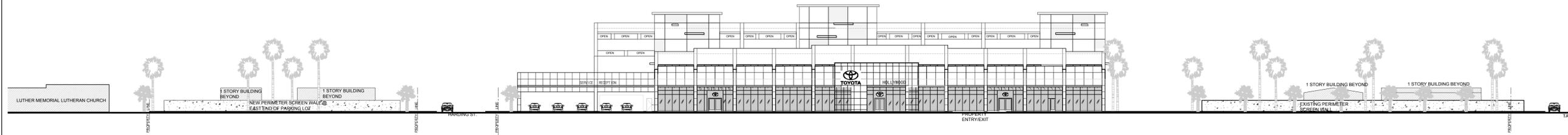
PROJECT NO. 73842  
 DRAWN BY: MaT  
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STREET VIEW ELEVATION (VIEW SOUTH FROM HARDING STREET)

SCALE: 1/32" = 1'-0"

02

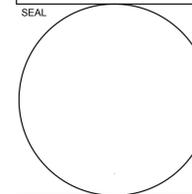


STREET VIEW ELEVATION (VIEW EAST FROM US441)

SCALE: 1/32" = 1'-0"

01

REVISIONS :



CONSULTANT

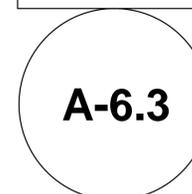
**STILES ARCHITECTURAL GROUP**  
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PROPOSED DEALERSHIP & PARKING GARAGE FOR:



**TOYOTA OF HOLLYWOOD**  
 1841 NORTH STATE ROAD 7  
 HOLLYWOOD, FL 33021

STREET ELEVATIONS



PROJECT NO.  
73842  
 DRAWN BY :  
MaT  
 CHECKED BY :  
J.L.P  
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