

Attachment I

Planning and development Board Staff Report

REVISED
CITY OF HOLLYWOOD, FLORIDA
MEMORANDUM
PLANNING AND DEVELOPMENT SERVICES

DATE: February 13, 2014 13-F-103

TO: Planning & Development Board/Local Planning Agency

VIA: Andria Wingett, Assistant Director 

FROM: Leslie A. Del Monte, Planning Manager 

SUBJECT: 4111 South Ocean Drive, LLC requests allocation of 40 Reserve Units from Flex Zone 92 to incorporate residential units into a hotel development (Hyde Beach Resort).

REQUEST:

Allocation of 40 Reserve Units from Flex Zone 92.

RECOMMENDATION:

Staff recommends the Planning and Development Board, acting as the Local Planning Agency, forward this petition (13-F-103) to the City Commission with a recommendation of **approval** with the following condition(s):

- a. Reserve Units shall be available as long as a valid Master Development Plan or active building permit is maintained; otherwise the 40 Reserve units automatically revert back to Flex Zone 92;
- b. At the time the Certificate of Occupancy (C/O) is issued, should all the 40 Reserve Units not be used, the remaining units shall automatically revert back to Flex Zone 92;
- c. At the effective date of the Ordinance associated with the current request, 110 rooms shall be returned to the "Hollywood Beach Hotel Room Pool";
- d. The remaining ~~438~~ 128 rooms, from the "Hollywood Beach Hotel Room Pool" continue to be available as long as a valid Master Development Plan or active building permit is maintained; otherwise the ~~438~~ 128 rooms automatically revert back to the "Hollywood Beach Hotel Room Pool" (Previously approved by O-2008-24);
- e. If at the time the Certificate of Occupancy is issued should all ~~438~~ 128 rooms not be used the remaining rooms shall automatically revert back to "Hollywood Beach Hotel Room Pool" (Previously approved by O-2008-24); and
- f. The amended site plan and master plan shall demonstrate adequate and safe public beach access (approx. nine-foot) consistent with the previously approved site plan/master plan (Previously approved by O-2008-24 and R-2008-327).

HISTORY

The Development Review Board approved a Variance and Design, while on October 15, 2008 the City Commission approved rezoning, master plan, "Hollywood Beach Hotel Room Pool" allocation, and site plan for a project then known as Beach One Resort. This iconic project, at Hollywood's southern gateway

was proposed to be one of the tallest building on the barrier island; (approximately) two-feet taller than the Diplomat. The approvals resulted in (Attachment C):

- 477 rooms (up to 238 allocated from the “Hollywood Beach Hotel Pool”)
- Associated accessory uses, including meeting space, spa & salon, restaurant and fitness facilities
- 41 stories (412 feet)
- 9' public pedestrian beach access easement (south side of the property)

This project currently has valid approvals, as Senate Bill extensions were obtained.

BACKGROUND

When property is developed it must be done in a manner consistent with the Land Use and Zoning of the property. Should a property owner wish to develop property in excess of the density permitted by the Land Use, without changing the land use, the application of Reserve Units is one of many mechanisms that can accomplish this. According to the Zoning and Land Development Regulations, Reserve Units *are additional permitted units which are equal up to 2% of the number of units permitted within a flexibility zone by the Broward County Land Use Plan.* This was accomplished with the adoption of the 1989 Broward County Land Use Plan.

The City has 19 Flexibility Zones. As a result of this, and other density/land use allocations, each flex zone has various amounts of densities and intensity's, which can be applied to property's effectively changing the Land Use of the property or, as in this particular case, also increase the available density by allowing year-round residential where it's otherwise not permitted.

REQUEST

Over the last several years, market conditions have dramatically fluctuated. These conditions have resulted in different uses and product types, being economically viable at different points in time, in addition to properties changing ownership. As a result, the new owners of 4111 S Ocean Drive, Related Group, are requesting to introduce 40 residential units into the previously approved project. Although these changes will result in amending previous approvals, the Board is only considering the application of Reserve Units as the City Commission will have sole discretion regarding other approvals. Introducing residential units into a hotel will offer luxury living seldom seen in southern Broward County. As a result of adding residential units, the hotel component, as well as the overall Project density, will be reduced.

Located at the southern tip of Hollywood's barrier island, outside the Community Redevelopment Agency, this property has a General Business Land Use and a Planned Development (PD) Zoning. This 'commercial' land use allows for retail, office, commercial, hotels, condo-hotels, as well as, subordinate uses, but only allows for residential via the application of Flexibility or Reserve Units. Should residential units be allocated, the — residential— units cannot exceed 25 units/acre.

As such, requested is allocation of 40 Reserve Units from Flex Zone 92. No Flex Units are available in this zone; however, there are 136 Reserve Units available; therefore 96 Reserve Units will be remaining ($136 - 40 = 96$). Although, the Board's decision should not be based on Site Plan or Design details it is anticipated these units will be integrated into the 21st through the 41st floor of the building as show in Attachment B.

As mentioned above, the formerly approved project included several different densities and intensity's; one of those being the allocation of 238 bonus hotel density rooms from the “Hollywood Beach Hotel Room Pool” (Pool). As result the original project was approved at 300 rooms/acre ($477 \text{ rooms} \div 1.59 \text{ acres}$).

With the proposed addition of 40 Reserve Units, the hotel density, as well as the overall project density, will be reduced. As such, 110 rooms will need to be returned to the Pool. Currently the Pool has 583

rooms; returning 110 rooms leaves 693 rooms remaining in the Pool ($583 + 110 = 693$). Below is a breakdown of the different uses proposed to determine density:

TYOLOGY	AMOUNT	DENSITY
Hotel Total	367	230 rooms/acre
Permitted by Right	239	150 rooms/acre
Hotel Pool	438 128 (110 returning to the Pool)	86.7 rooms/acre
Residential (<i>current request</i>)	40	25 units/acre
TOTAL	407	255 rooms and units/acre

Several safeguards are recommended such as ensuring the unused rooms, previously approved, be returned to the pool and any unused units be returned to the pool in the future, should they not be used or the if project approvals expire. The Board is **only** considering if 40 Reserve Units should be allocated, as the Commissions has sole discretion over amending the Site Plan, Design and Master Plan.

SITE INFORMATION

Owner/Applicant: 4111 South Ocean Drive, LLC
Address/Location: 4111 South Ocean Drive
Net Area of Property: 54,898 Sq. Ft. (1.26 Acres)
Gross Area of Property: 69,395 Sq. Ft. (1.593 Acres)
Land Use: General Business
Zoning: Planned Development (PD)
Existing Use of Land: Vacant

ADJACENT ZONING

North: Low Intensity Commercial District (C-1)
South: City of Hallandale
East: City of Hallandale
West: Low Intensity Commercial District (C-1)

ADJACENT LAND USE:

North: General Business
South: City of Hallandale
East: City of Hallandale
West: General Business

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The proposed change of zoning and Master Plan, with the inclusion of staff's conditions, is consistent with the City's Comprehensive Plan, based upon the following:

GOAL: *Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing landowners to maximize the use of their property.*

Objective 3: *Prohibit any increase in the number of permanent residential dwelling units on the Coastal High Hazard Area above that permitted by the adopted Comprehensive Plan.*

Objective 5: *Encourage appropriate infill, redevelopment in blighted areas throughout the City, and economic development in blighted business and tourist areas.*

Policy 5.16: *Foster Economic Development through creative land use, zoning and development regulations, City services, and City policies.*

The proposed residential units achieve the Goals and Objectives outlined in the Land Use Element by redeveloping a vacant parcel at one of the beach gateways in compliance with the City Comprehensive Plan. Once completed, this signature project will offer a style of residential living seldom seen in Broward County. With the imposition of staff's conditions, the project will be more appropriate for the existing built environment.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

Sub-Area 4, Hollywood Beach, is defined by the Atlantic Ocean to the east, the Intracoastal Waterway to the west, Hallandale Beach Boulevard to the south and Dania Beach to the north. The Beach is comprised of three very distinct areas, North Beach, Central beach and South Beach, which could be broken down further into sub-sectors of activity.

The proposed application of Reserve Units, with the inclusion of staff's condition(s), is consistent with the City-Wide Master Plan based upon the following:

Guiding Principles:

- *Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.*
- *Attract and retain businesses that will increase economic opportunities for the City while enhancing the quality of life for residents.*
- *Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.*
- *Provide pedestrian, vehicular and public transportation linkages locally and regionally.*

"South Beach is characterized by high density high-rise buildings from Iris Terrace south and the area north is multi-family and hotel / motel buildings."

Policy 4.1: *Recognize and protect the unique character of Hollywood Beach and each of the three areas that comprise it; North, Central, and South Beach; and provide a clear vision for creating a more harmonious and attractive community.*

Policy 4.3: *Appropriately permit the consolidation of properties to create modern, economically viable development conditions that will attract higher end uses, thereby improving the quality of the area.*

Policy 4.32: *Upgrade the quality of seasonal accommodations and commercial activities by promoting the renovation and construction of higher quality lodging.*

Policy 4.37: *Encourage development and redevelopment of hotel and motels in an effort to increase tourism.*

Policy CW.44: *Foster economic development through creative land use, zoning and development regulations, City services and City policies.*

Policy CW.47: *Focus beach redevelopment efforts to capitalize on tourist economy.*

Development of this parcel will help an underutilized piece of property on Hollywood Beach become a contributing aspect of the built environment. The incorporation of residential maximizes highest and best use for development of a signature project at a gateway parcel on Hollywood's South Beach. The incorporation of residential units into hotel style of living is the first of this elite typology in Hollywood. As such, the proposed project will generate greater economic opportunities than those previously sought.

Additionally, its location outside of the Beach CRA will provide additional revenue into the City's General Fund.

CONSISTENCY WITH THE HOLLYWOOD BEACH MASTER PLAN

The proposed zoning and Master Plan, with the inclusion of staff's conditions, is consistent with the Hollywood Beach Master Plan, based upon the following:

Master Plan Objectives: South Beach "...It is also a neighborhood that is characterized by high density multiple family residential buildings and hotels that support a high quality of life."

As mentioned previously, this signature project will be at a Hollywood's gateway to the beach. In an area known for its high-rise developments, the incorporation of residential units will blend with the built environment.

APPLICABLE CRITERIA

Analysis of Criteria and Findings for Rezoning as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERION 1: That the petition for a change of zoning district will not result in spot zoning or contract zoning.

ANALYSIS: The application of Reserve Units will not result in spot or contract zoning. South Beach contains Planned Developments (PD), such as the Diplomat, Hotel, Ocean Palms, Trump Hollywood and Sian PD's. The Applicant states, "The previously approved Project was more intense as it proposed a density of 477 condo/hotel units. If the requested flexibility (or reserve) allocation is granted, Hyde Beach will be constructed at a lower total density of 367 condo/hotel units and 40 luxury residential condominium units."

FINDING: Consistent.

CRITERION 2: That the proposed change is consistent with, and in furtherance of, the Goals, Objectives and Policies of the City's Comprehensive Plan.

ANALYSIS: Once completed the proposed development will be consistent with and in furtherance of the Goals of the Land Use Element of the City's Comprehensive Plan. In particular, Objective 5, which is to encourage appropriate infill, redevelopment in blighted areas throughout the City, and economic development in blighted business and tourist areas. Development of this parcel as a PD will result in a signature project at one of Hollywood Beach's gateways.

The Applicant mentions, "As the Project Site is located in the PD zoning district, it is the City's intent to relate a mix of uses in a cohesive manner which creates a desired livable beach side community for tourists and residents to enjoy."

FINDING: Consistent.

CRITERION 3: That conditions have substantially changed from the date the present zoning district classification was placed on the property, which make the passage of the proposed change necessary.

ANALYSIS: The ability to place residential units on a commercial land use property has been available since 1989. With the recent development of other residential projects, such

as Apogee and the Beach club in Hallandale, conditions have changed and warrant the need for a hybrid product including residential, condo-hotel and hotel.

The Applicant mentions, "Indeed, all area residents and tourists will be able to enjoy a new beach access easement to the south of the property, as well as a new public bus shelter to the north side of the Property in the public right of way...As a result of the Property's location, the surrounding communities are used to integration of residential, hotel and accessory commercial uses, as evidenced by the location of the nearby, condominiums to the north, south and west, as well as the Crown Plaza and Westin Diplomat hotels to the north."

FINDING: Consistent.

CRITERION 4: The proposed change will not adversely influence living conditions in the neighborhood.

ANALYSIS: Incorporating residential units allow for a development more in-tune with South Beach, which is characterized by residential development. This will allow the owners to provide a new hotel development with residential, which is consistent with nearby development patterns within the South Beach neighborhood.

The Applicant states, "As a result of existing hotels and condominium and similar developments being built in the area, the addition of a new, less intense, mixed use condo/hotel and luxury condominium Project, consistent with a height that previously approved by the Commission as part of the PD Master Plan, the Project will not have a negative impact on the neighborhood, or adversely influence living conditions. In fact, as set forth in Section c above, Hyde Beach will provide beach goers, residents and tourists from both cities with an additional means of access to the beaches because it will provide additional public access and new amenities for the public to enjoy." To ensure public beach access is maintained, ***Staff recommends the amended site plan and master plan shall demonstrate adequate and safe public beach access (approx. nine-foot) consistent with the previously approved site plan/master plan (Previously approved by O-2008-24 and R-2008-327).***

FINDING: Consistent with the imposition of Staff's recommendation.

CRITERION 5: That the proposed change is compatible with the development(s) within the same district/neighborhood.

ANALYSIS: As previously stated, incorporating residential is compatible with the surrounding neighborhoods not only in Hollywood, but also Hallandale. In all cities the beach is a nesting ground for condominiums and hotels. Providing the opportunity for both typologies to be together creates a unique housing product rarely seen.

The Applicant states, "Hyde Beach will be compatible with the development in the same neighborhood and in both cities. Not only will Hyde Beach be compatible in appearance (height, etc...), with all recently approved and developed projects in the southern portion of Hollywood and Hallandale Beach, this Project has the added benefit of adding a projected annual \$1.5 million of property taxes, as well as significant new revenues to the City and providing a "Gateway" project that the City and its residents and tourists will be extremely proud of." To ensure compatibility is maintained on the barrier island, whether with this project or another, **Staff recommends rooms and units be returned to Flex Zone 92 and to "Hollywood Beach Hotel Room Pool" should approvals expire or not all rooms or units be used (As described in conditions a-e).**

FINDING: Consistent with the imposition of Staff's recommendation.

RECOMMENDATION

Staff recommends the Planning and Development Board, acting as the Local Planning Agency, forward this petition to the City Commission with a recommendation of **approval** with the aforementioned conditions.

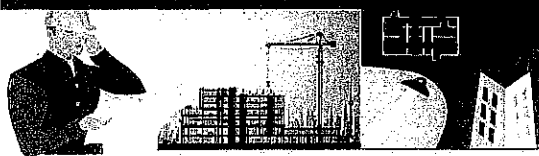
ATTACHMENTS

ATTACHMENT A: Application Package
ATTACHMENT B: Schematic Plans
ATTACHMENT C: Applicable Development Orders
ATTACHMENT D: Land Use and Zoning District Map
ATTACHMENT E: Flex Zone Map

ATTACHMENT A

Application Package

PLANNING & DEVELOPMENT SERVICES



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at
http://www.hollywoodfl.org/comm_planning/appforms.htm



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 1/17/14

Location Address: 4111 S. Ocean Drive

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 514226230010

Zoning Classification: PD Land Use Classification: Commercial

Existing Property Use: vacant Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☒ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☒ City Commission ☒ Planning and Development

Explanation of Request: This project was approved previously unanimously by the City Commission. This is an allocation of 40 Reserve/Flex Residential Units.

Number of units/rooms: 407 (367 Hotel/40 Res) Sq Ft: 615,350

Value of Improvement: 250,000,000 Estimated Date of Completion: 2016

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: 4111 South Ocean Drive, LLC

Address of Property Owner: 315 S. Biscayne Blvd., 4th Fl, Miami, FL 33131

Telephone: 305-460-9900 Fax: 305-513-5800 Email Address: efordin@relatedgroup.com

Name of Consultant/Representative/Tenant (circle one): Alan B. Koslow, Esq., Becker & Poliako

Address: 1 E. Broward Blvd, FTL, FL 33331 Telephone: (954) 985-4169

Fax: 954-985-6814 Email Address: akolow@bpollegal.com

Date of Purchase: 2013 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Sandy Peaceman

CFE Architects Address: 8085 NW 155 Street

Miami Lakes, FL 33016 Email Address: sandy@cfearchitects.com

efordin@relatedgroup.com

PLANNING & DEVELOPMENT SERVICES



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Eric Fordin

Date: 1/17/14

PRINT NAME: Eric Fordin

Date: 1/17/14

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: _____

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) Hyde Beach Resort to my property, which is hereby made by me or I am hereby authorizing (name of the representative) Alan Koslow B&P to be my legal representative before the City Commission + Board (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 17 day of January, 2014

Colleen LaPlant

Notary Public State of Florida

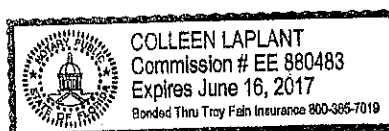
Eric Fordin

SIGNATURE OF CURRENT OWNER

Eric Fordin

PRINT NAME

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR _____



**4111 S. OCEAN DRIVE, LLC ("HYDE BEACH" PROJECT)
RESERVE/FLEX UNIT ALLOCATION JUSTIFICATION**

In accordance with rezoning criteria 5.3K.

4111 S. Ocean Drive ("Applicant") is the owner/developer of property located at 4111 S. Ocean Drive ("Property") or "Project Site" in the City of Hollywood ("City") at the southernmost point of Hollywood Beach. The Applicant is seeking to develop a mixed use, luxury condominium hotel project with 367 hotel rooms and 40 luxury residential condominium units ("Hyde Beach Resort"). In order to construct the Hyde Beach Resort, the Applicant is requesting the allocation of 40 reserve/flex units from the City. The Property has a land use designation of Commercial and an existing zoning of PD (Planned Development). As such, the desired uses are permitted on the Property, under the City's Land Use and Zoning Code, combined with the allocation of 40 flexibility or reserve units. In accordance with City regulations, and as permitted by the Broward County Planning Council ("BCPC") Rules and Policies (see attached correspondence from the BCPC), flexibility or reserve units may be allocated by the City in accordance with the criteria established in Section 5.3K of the City's Code of Ordinances and the amount of units is calculated at 25 units per gross acre for a total of 40 reserve/flex units being requested by the Applicant. As such, as outlined below, this request satisfies the applicable criteria and the Applicant respectfully requests such allocation from the City.

Section 5.3K of the City's Code requires compliance with the following criteria:

A. THAT THE PETITION FOR A CHANGE OF ZONING DISTRICT WILL NOT RESULT IN SPOT ZONING OR CONTRACT ZONING.

The Applicant is not requesting a rezoning in order to construct Hyde Beach. The Property is currently zoned PD, and as such the proposed construction of a luxury condominium/hotel is consistent with the uses permitted in the zoning district. However, given the site's Commercial Land Use designation, the construction of the proposed Hyde Beach Project does require the allocation of 40 available flexibility (or reserve) units from the City. Furthermore, not only does Hyde Beach not seek or require a rezoning, but the requested allocation of 40 reserve/flex units will allow for an improvement upon the previously City approved PD Project on the Property. The previously approved Project was more intense as it proposed a density of 470 condo/hotel units. If the requested flexibility (or reserve) allocation is granted, Hyde Beach will be constructed at a lower total density of 407 units, 367 condo/hotel units and 40 luxury residential condominium units. As a result of the forgoing, and as this is not an actual "rezoning" request, the granting of the flex allocation will not result in spot zoning and is consistent with the BCPC's reserve/flex unit Rules and Policies.

B. THAT THE PROPOSED CHANGE IS CONSISTENT WITH, AND IN FURTHERANCE OF THE GOALS, OBJECTIVES AND POLICIES OF THE CITY'S COMPREHENSIVE PLAN.

The proposed change is consistent with the applicable provisions of the City's Comprehensive Plan. As proposed, if the requested 40 flex/reserve units are allocated, Hyde Beach will further the objectives of the City's Comprehensive Plan, including the promotion of tourism, providing a new "public beach access easement" to the South and a new County bus shelter to the north; providing a "gateway" Project promoting luxury oceanfront development at permissible densities with annual Property tax and other revenues from the Project going to the City's General Fund and allowing for cooperation between Hollywood and Hallandale Beach for the benefit of their respective residents and tourists. As the Project Site is located in the PD zoning district, it is the City's intent to create a mix of uses in a cohesive manner which creates a desired livable beach side community for tourists and residents to enjoy. Allowing the allocation of the 40 reserve/flex units will allow for the construction of a mixed use project which will be built and operated

consistent with the City's condominium/hotel Ordinance and allows the developer with a proven track record of successful oceanfront development to once again provide a top quality, high end hotel residential oceanfront development in the City at its southern gateway location; south of the Beach CRA boundary.

C. THAT CONDITIONS HAVE SUBSTANTIALLY CHANGED FROM THE DATE THE PRESENT ZONING DISTRICT CLASSIFICATION WAS PLACED ON THE PROPERTY WHICH MAKE THE PASSAGE OF THE PROPOSED CHANGE NECESSARY.

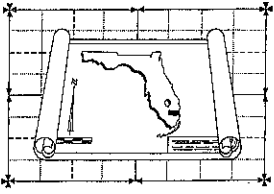
Again, the Applicant is not requesting to rezone the Property, therefore no change is being requested. However, the Applicant is proposing to revise a previously approved by the City Commission PD Master Plan and site plan with one that is more marketable in today's real estate environment and is also compatible with existing and new projects in the neighboring City of Hallandale Beach to the South. Hyde Beach is being proposed at the same height previously approved by the City and is more compatible with the existing adjacent developments. Similar to the approved Beach Walk development, Hyde Beach will seamlessly integrate condominium use with condo/hotel use. However, the adjacent residential uses Sian, Tides, Apogee, and Beach Club will not be negatively impacted by the proposed mixed use Project. Indeed, all area residents and tourists will be able to enjoy a new beach access easement to the south of the Property, as well as a new public bus shelter to the north side of the Property in the public right of way. Moreover, tourists and residents of both Hollywood and Hallandale Beach will be able to enjoy the beautiful beaches of each City, as well as the proposed new beach club, cabanas, and restaurant amenities already approved and being developed by an affiliate of the Applicant, to be developed immediately to the east of the Property. As a result of the Property's location, the surrounding communities are used to integration of residential, hotel and accessory commercial uses, as evidenced by the location of the nearby, condominiums to the north, south and west, as well as the Crown Plaza and Westin Diplomat hotels to the north.

D. THE PROPOSED CHANGE WILL NOT ADVERSELY INFLUENCE LIVING CONDITIONS IN THE NEIGHBORHOOD.

As stated above, the proposed condominium and hotel uses combined into one building is now a viable concept in South Florida and in the beach community. Moreover, the mixed uses are similar to the Beach Walk project being developed by an affiliate of the Applicant and is also compatible with the nearby Westin Diplomat, Crown Plaza hotels and Apogee Beach and other nearby condominium projects. As a result of existing hotels and condominium and similar developments being built in the area, the addition of a new, less intense, mixed use condo/hotel and luxury condominium Project, consistent with a height that was previously approved by the City Commission as part of the PD Master Plan, the Project will not have a negative impact on the neighborhood, or adversely influence living conditions. In fact, as set forth in Section C above, Hyde Beach will provide beach goers, residents and tourists from both cities with an additional means of access to the beaches because it will provide additional public access and new amenities for the public to enjoy.

E. THAT THE PROPOSED CHANGE IS COMPATIBLE WITH THE DEVELOPMENT(S) WITHIN THE SAME DISTRICT/NEIGHBORHOOD.

Hyde Beach will be compatible with the developments in the same neighborhood and in both cities. Not only will Hyde Beach be compatible in appearance (height, etc), with all recently approved and developed projects in the southern portion of Hollywood and Hallandale Beach, this Project has the added benefit of adding a projected annual \$1.5 million of property taxes, as well as significant new revenues to the City and providing a "Gateway" Project that the City and its residents and tourists will be extremely proud of.



BROWARD COUNTY PLANNING COUNCIL

115 South Andrews Avenue, Room 307 ■ Fort Lauderdale, Florida 33301 ■ Phone: 954.357.6695

October 21, 2013

Alan Koslow, Esq.
Becker Poliakoff
3111 Stirling Road
Hollywood, Florida 33312

Re: Hyde Beach Resort Property (City of Hollywood)

Dear Mr. Koslow:

This letter is in response to our October 16, 2013, meeting regarding the above referenced property.

Planning Council staff notes that the parcel is designated "Commercial" on both the Broward County Land Use Plan and the City of Hollywood future land use the plan. The Future Land Use Element of the City of Hollywood is the effective plan for the property.

It is Planning Council staff's understanding that the development proposal includes both a residential and non-residential component. The Broward County Land Use Plan "Commercial" land use category permits residential uses without the need to amend the local land use plan map, provided that the local government applies flexibility or reserve units to the parcel, as long as the residential floor area of mixed commercial/residential structures does not exceed 50% of the total floor area of the building.

It is noted that the allocation of flexibility or reserve units to this property is limited to no more than 25 dwelling units per gross acre, as the property is located east of the Intracoastal Waterway. Based on the information and survey provided by you, Planning Council staff has calculated the referenced property as 1.6 gross acres and that the maximum number of dwelling units permitted is 40. Planning Council staff is available to discuss the acreage calculation.

It is recommended that you confirm the availability of flexibility or reserve units, as well as the permitted uses of its "Commercial" land use category with the City of Hollywood.

Further, per Broward County Land Use Plan Policy 13.01.10, as the parcel is located adjacent to the City of Hallandale Beach, a compatibility review could be requested by the same and any allocation of dwelling units is subject to confirmation that the proposed development will not impact access to public beaches.

If you have any additional questions in this regard, please contact me at your convenience.

Respectfully,

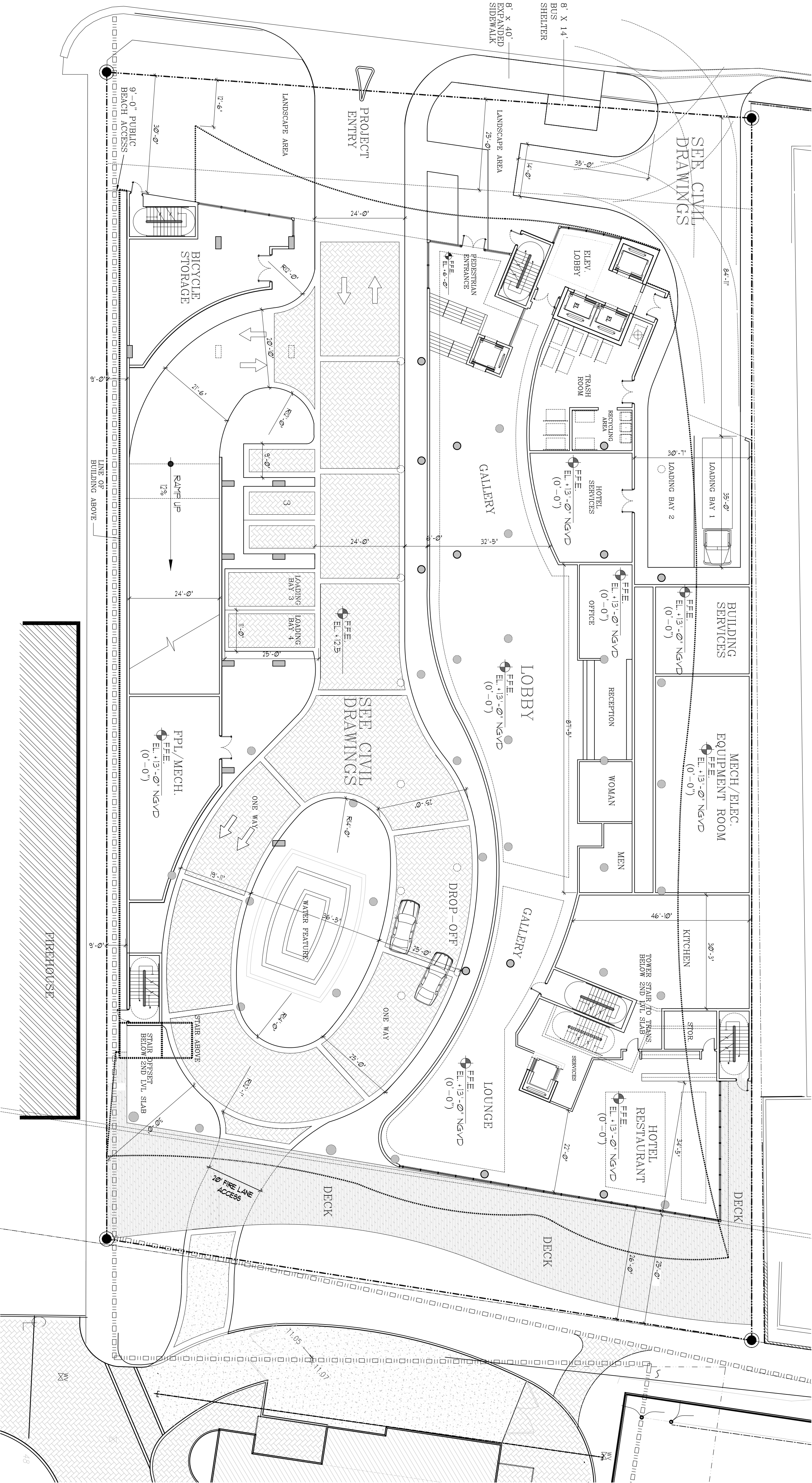
Barbara Blake Boy
Executive Director

cc: Andrew Maurodis, Esq., Counsel
Broward County Planning Council

Jaye Epstein, Director, Planning and Development Services
City of Hollywood

ATTACHMENT B

Schematic Plans

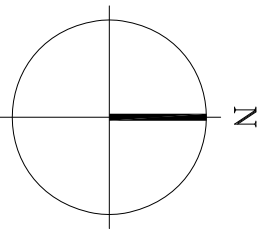
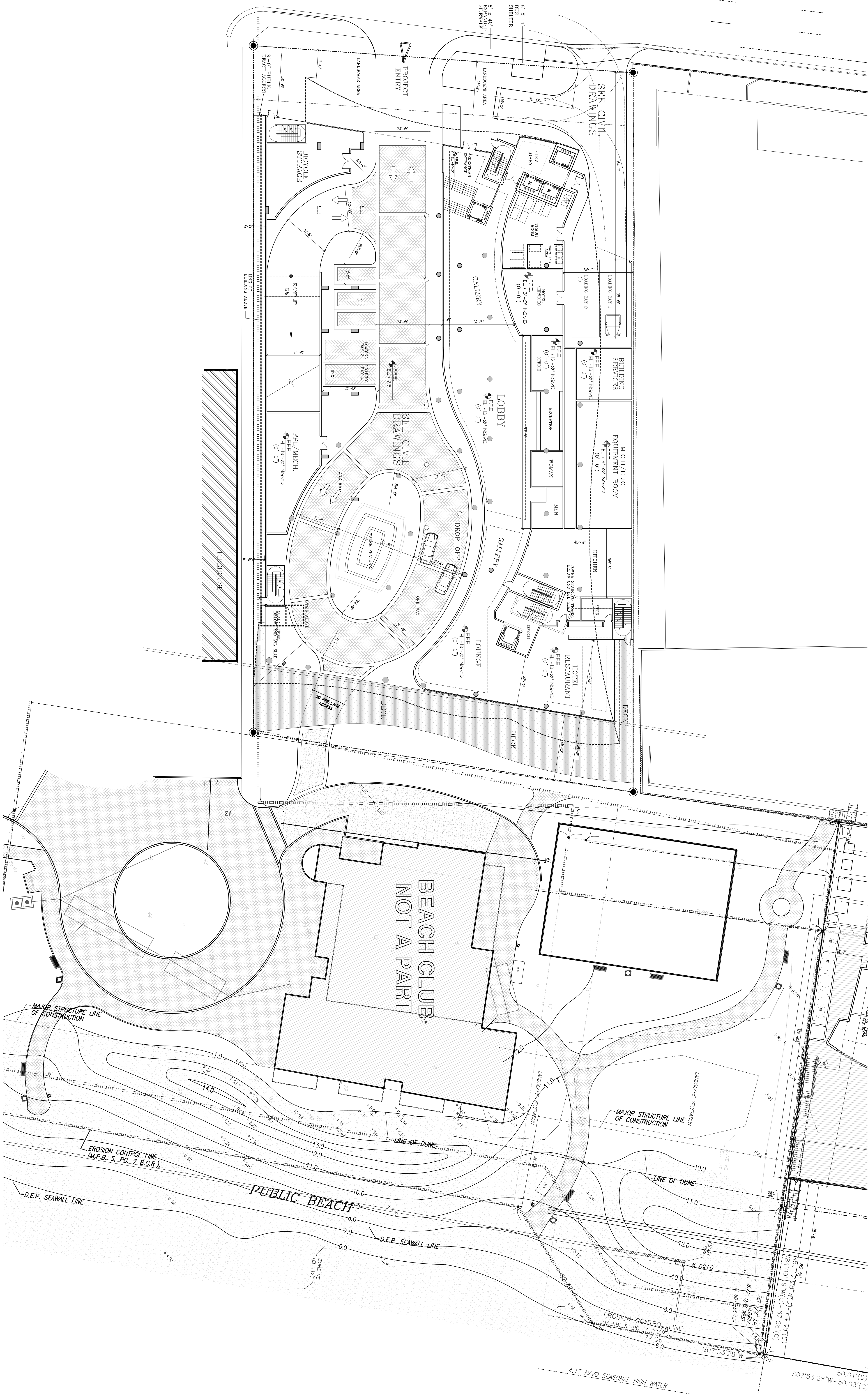


PROJECT DATA

ZONING: PD (PLANNED DEVELOPMENT)
EXISTING: 0 S.F.
GROSS LOT AREA: 1.60 ACRES 69,594 Sq.Ft.
NET LOT SIZE: 1.26 ACRES 54,898 Sq.Ft.
DENSITY: 300 UNITS/ACRE = 477 ROOMS
NOTE: 238 ROOMS HOTEL DENSITY ROOMS ALLOCATED
BY ORDINANCE 0-2008-24
RESIDENTIAL UNITS: 25 UNITS X 1.6 ACRES = 40 UNITS
HOTEL ROOMS: 150 ROOMS X 1.6 ACRES = 240 ROOMS
240 ROOMS + 147 ROOMS PREVIOUSLY ALLOCATED = 387 ROOMS
TOTAL: 407
LOT COVERAGE: 73.86% (40,400 S.F.)
PREVIOUSLY APPROVED: 73.86% (40,400 S.F.)
LANDSCAPE SETBACK: 0'-0"
PREVIOUSLY APPROVED: 0'-0"
VARIANCE APPROVED BY RESOLUTION 05-DV-21
LANDSCAPE AREA: 12.67% (6,649 S.F.)
PREVIOUSLY APPROVED: 16.67% (9,152 S.F.)
BUILDING HEIGHT: 40 STORIES
PREVIOUSLY APPROVED: 419'-8" TO HIGHEST ARCH. ELEMENT
PROPOSED: 40 STORIES
GROSS BUILDING AREA (INCLUDING GARAGE): 863,991 S.F.
PREVIOUSLY APPROVED: 863,114 S.F.
NET BUILDING AREA (NOT INCL. GARAGE): 663,609 S.F.
PREVIOUSLY APPROVED: 619,679 S.F.

RESIDENTIAL BUILDING AREA
PREVIOUSLY APPROVED: 0 S.F.
PROPOSED: 70,000 S.F.
HOTEL BUILDING AREA
PREVIOUSLY APPROVED: 406,637 S.F.
PROPOSED: 520,407 S.F.
BUILDING AMENITIES AREA
PREVIOUSLY APPROVED: 126,325 S.F.
PROPOSED: 30,920 S.F.
SETRBACKS:
FRONT (OCEAN DRIVE): 25'-0" TO BUILDING
PREVIOUSLY APPROVED: 30'-0" TO BUILDING
PROVIDED: 12'-6" TO ENTRANCE CANOPY
REAR (STREET ROAD): 3'-7"
PREVIOUSLY APPROVED: 20'-0"
SIDE SETBACK (INTERIOR): 20'-0"
TO NORTH PROPERTY LINE:
PREVIOUSLY APPROVED: 0'-0"
SIDE SETBACK (INTERIOR): 9'-0"
TO PREVIOUSLY APPROVED: 9'-0"
OFF-STREET PARKING:
PREVIOUSLY APPROVED: 548 SPACES FOR 477 ROOMS
PLUS REST., MEETING, OFFICE, & CIVIL

OFF-STREET PARKING:			
PREVIOUSLY APPROVED: 6 SPACES FOR 148 ROOMS			
REQUIRED: 3 SPACES	100-150 UNITS - 1 SPACE	151-200 UNITS - 2 SPACES	201-300 UNITS - 1 SPACE
151-200 UNITS - 2 SPACES	201-300 UNITS - 1 SPACE	301-400 UNITS - 1 SPACE	401-500 UNITS - 2 SPACES
TOTAL: 4 SPACES			
PROVIDED: 4 SPACES			
UNIT BREAKDOWN			
UNIT TYPE	S.F.	2008-2014	2015-2019
ROOM FLOOR PLAN	720	1070-7	1070-7
ROOM FLOOR PLAN	705	1070-7	1070-7
ROOM FLOOR PLAN	605	1070-7	1070-7
ROOM FLOOR PLAN	670	1070-7	1070-7
ROOM FLOOR PLAN	1305	1070-7	1070-7
TOTAL ROOMS			
UNIT TYPE	S.F.	1070-7	2015-2019
ROOM H1 (100/300)	670	1070-7	1070-7
ROOM H2 (100/300)	1235	1070-7	1070-7
ROOM A (100/300)	1380	1070-7	1070-7
ROOM B (100/300)	1480	1070-7	1070-7
UNIT A (100/300)	1380	1070-7	1070-7
UNIT B (100/300)	1480	1070-7	1070-7
TOTAL TOWERS			
		112	240
TOTAL ROOMS/UNITS		30	372 = 407
NOTE: THERE ARE NO UNITS LOCATED ON THE SECOND FLOOR ON THE 6TH LEVEL (GARAGE DECK)			



CONTEXT PLAN

SCALE 1:20

PRELIMINARY DESIGN FOR:
HYDE BEACH RESORT
4111 SOUTH OCEAN DRIVE, HOLLYWOOD, FL 33019

COHEN · FREEDMAN · ENCINOSA & ASSOC.
Architects, PA

8085 N.W. 155th Street Miami Lakes, Florida 33016 305.826.3999

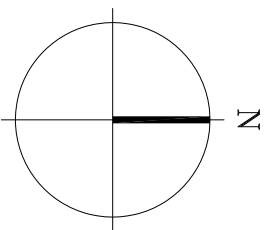
PROJECT:
CITY MANAGER'S
DESIGN REVIEW
T.A.C.
FINAL
DATE
8/7/2014

DESIGN BY:
L.F. FREEDMAN
DATE
10/18/13

SCALE:
1:20

A1.2

PROJECT 3215



SCALE 1/16"



VIEW LOOKING SOUTHWEST



VIEW LOOKING NORTHWEST

PRELIMINARY DESIGN FOR:
HYDE BEACH RESORT
4111 SOUTH OCEAN DRIVE, HOLLYWOOD, FL 33019

COHEN • FREEDMAN • ENCINOSA & ASSOC.
Architects, PA

8085 N.W. 155th Street Miami Lakes, Florida 33016 305-826-3999

preliminary
CITY MANAGER'S
DESIGN REVIEW 10/10/2013
DESIGN COMMITTEE 11/4/2013
FINAL 2/7/2014
T.A.C.

drawn by
LF/9P/PD
date
10/18/13

sheet no.
A7.1

project 3215



VIEW LOOKING NORTHEAST

PRELIMINARY DESIGN FOR:
HYDE BEACH RESORT
4111 SOUTH OCEAN DRIVE, HOLLYWOOD, FL 33019

prelwork:
CITY MANAGER'S REVIEW 10/10/2013
DESIGN REVIEW 11/4/2013
FINAL PLAN 2/7/2014

COHEN • FREEDMAN • ENCINOSA & ASSOC.
Architects, PA

8085 N.W. 155th Street Miami Lakes, Florida 33016 305-826-3999

drawn by:
LF/SP/ED

date:
10/18/13

block no:

A7.2

project:
3215



ENTRANCE LOOKING EAST



PEDESTRIAN VIEW OF ENTRANCE

COHEN • FREEDMAN • ENCINOSA & ASSOC.
Architects, PA

8085 N.W. 155th Street Miami Lakes, Florida 33016 305 • 826 • 3999

PRELIMINARY DESIGN FOR:
HYDE BEACH RESORT
4111 SOUTH OCEAN DRIVE, HOLLYWOOD, FL 33019

prelim:
CITY MANAGER'S 10/10/2013
DESIGN REVIEW 11/4/2013
T.A.C. 2/7/2014
FINAL

drawn by:
LF/SP/PD

date:
12/18/13

sheet no.:

A7.3

project:
3215

ATTACHMENT C

Applicable Development Orders

2

CITY OF HOLLYWOOD
DEVELOPMENT REVIEW BOARD

RESOLUTION NO. 05-DV-21

A RESOLUTION OF THE CITY OF HOLLYWOOD DEVELOPMENT REVIEW BOARD APPROVING THE REQUEST FOR A VARIANCE AND GRANTING DESIGN REVIEW APPROVAL FOR THE CONSTRUCTION OF A HOTEL AND ASSOCIATED USES LOCATED AT 4111 SOUTH OCEAN DRIVE, AS MORE PARTICULARLY DESCRIBED IN EXHIBIT "A", PURSUANT TO THE PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, the Development Review Board (the "Board") is charged with, among other things, the responsibility of considering requests for variances and design review approval; and

WHEREAS, the Board is duly empowered to grant variances and design review approval in accordance with the guidelines and procedures found in Section 5.3 of the City's Zoning and Land Development Regulations; and

WHEREAS, Beach One Resort LLP (the "Applicant"), in File Number 05-DV-21, applied for a variance and design review approval for the construction of a 477 room hotel and meeting space, spa, salon, restaurant, and fitness center for the property located at 4111 South Ocean Drive, as more particularly described in Exhibit "A" attached hereto and incorporated herein by reference; and

WHEREAS, the Board reviews and considers all applications/petitions for variances and design review approval, excluding certain exceptions not applicable herein; and

WHEREAS, the Board met and held an advertised public hearing to consider the Applicant's requests on September 11, 2008; and

WHEREAS, the Board reviewed the application for the variance and design review approval for the construction of a hotel and associated uses, reviewed the evidence submitted and testimony received at the public hearing, and the Board applied the criteria for granting the variances and design review approval as set forth in the City of Hollywood Zoning and Land Development Regulations at Section 5.3, and made the following findings:

Return to: Office of Planning
City of Hollywood
2600 Hollywood Blvd, Room
315
Hollywood, FL 33020

1

5

1. As to the variance to waive the required 25 foot landscape setback from all internal/external streets, the Board makes the following findings based on the criteria listed in Section 5.3 F of the Zoning and Land Development Regulations:

- a) That the requested variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City.
- b) That the requested variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.
- c) That the requested variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.
- d) That the requested variance is the minimum variance reasonably necessary.

2. As to the design review approval for construction of a 477 room hotel and meeting space, spa, salon, restaurant, and fitness center, the Board makes the following findings based on the criteria set forth in Section 5.3 I. 6. of the Zoning and Land Development Regulations:

- a) The design of all existing and proposed buildings, drives, parking spaces, walkways, means of ingress and egress, landscaping structures, signs and lighting and screening devices is consistent with the City's Design Review Manual.
- b) The dimensions of all buildings, structures, setbacks, parking spaces, height, lot coverage and any other information is consistent with the City's Design Review Manual.
- c) The color, design, selection of landscape materials and architectural elements of exterior building surfaces are consistent with the City's Design Review Manual.
- d) The design of the proposed development indicates a sensitivity to and is compatible with the natural environment. Particular attention must be paid to conserving clusters or groupings of naturally occurring trees and vegetation.
- e) The design and layout of the site provide an efficient arrangement of buildings. Particular attention shall be given

to safety, crime prevention, pedestrian sight lines and view corridors.

- f) The design of pedestrian improvements within the site ensure that all parking spaces are conveniently arranged in terms of their relationship to the proposed structure, entrances, and exits.
- g) The design of all lighting fixtures ensures safe movement of persons, vehicles and reflection on public property for security purposes and minimizes glare and reflection of adjacent properties.
- h) Landscape and paving materials ensure that a complimentary relationship with the overall project will result from these improvements.
- i) Buffering materials ensure that headlights of vehicles, noise, and light from structures are adequately shielded from public view and pedestrian areas.
- j) The overall project complies with the architectural design standards listed in duly adopted Neighborhood Plans that apply to or affect the subject property or in the Comprehensive Plan should they exist.
- k) The design reduces crime and the fear of crime through the use of Crime Prevention through Environmental Design Guidelines and Strategies.

NOW, THEREFORE, BE IT RESOLVED BY THE DEVELOPMENT REVIEW BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed herein for granting variances, the variance to waive the required 25 foot landscape setback from all internal/external streets is hereby granted based on the plans submitted by the Applicants and reviewed by the Board.

(DEVELOPMENT REVIEW BOARD RESOLUTION NO. 05-DV-21)

Section 2: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the design review criteria, the design review approval is hereby granted based on the plans submitted by the Applicants and reviewed by the Board with the following condition: Subject to any changes the City Commission may deem necessary while considering the Master Development Plan and Site Plan.

Section 3: That the Office of Planning is hereby directed to forward a copy of this resolution to the Applicant and the owner of the property with respect to which the request was made. This Resolution granting the variance will be delivered to the City Clerk to be recorded in the public records of Broward County, as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations. A copy shall be furnished to any enforcement official.


PASSED AND ADOPTED THIS 11th DAY OF SEPTEMBER, 2008.

RENDERED THIS 24th DAY OF September 2008.


GARY BLOOM,
BOARD CHAIR


RICHARD SALTRICK,
SECRETARY

APPROVED AS TO FORM & LEGALITY
for the use and reliance of the Development
Review Board of the City of Hollywood, Florida only


DENISE MANOS,
BOARD ATTORNEY

(DEVELOPMENT REVIEW BOARD RESOLUTION NO. 05-DV-21)

LEGAL DESCRIPTION

Begin at the Southeast corner of the Northeast one-quarter (NE ¼) of the Northeast one-quarter (NE ¼) of Section 26, Township 51 South, Range 42 East; thence West along the South line of the Northeast one-quarter (NE ¼) of the Northeast one-quarter (NE ¼) of said Section 26, a distance of 357.38 feet to the East right-of-way line of Ocean Boulevard, thence Northeasterly along the East right-of-way line of Ocean Boulevard, a distance of 173.50 feet; thence East and parallel to the South line of the Northeast one-quarter (NE ¼) of the Northeast one-quarter (NE ¼) of said Section 26, a distance of 337.06 feet to the East line of said Section 26; thence South, 172.00 feet to the Point of Beginning.

Less that part of the Northeast one-quarter (NE ¼) of the Northeast one-quarter (NE ¼) of said Section 26, Township 51 South, Range 42 East, Broward County, Florida, said part being more particularly described as follows:

Commence at the found brass cap in concrete monument #2094, marking the Southeast corner of said Northeast one-quarter (NE ¼) of the Northeast one-quarter (NE ¼) of Section 26; thence South 87°08'38" West along the South line of said Northeast one-quarter (NE ¼) of the Northeast one-quarter (NE ¼), a distance of 342.36 feet to the Point of Beginning; thence continue South 87°08'38" West along said South line, a distance of 15.00 feet to a point on the Easterly existing right-of-way line for State Road A-1-A (Ocean Drive); thence North 04°44'28" East along the said Easterly existing right-of-way line, a distance of 173.70 feet (173.50 feet by Deed); thence North 87°08'38" East, a distance of 4.05 feet; thence South 00°58'10" East, a distance of 9/87 feet; thence South 01°15'52" West, a distance of 162.73 feet to the Point of Beginning.

Said land situate, lying and being in the City of Hollywood, Broward County, Florida.

Exhibit "A"

ORDINANCE NO. O-2008-24 OFFICE OF PLANNING

(05-ZJ-21)

OCT 29 '08 AM 11:08

AN ORDINANCE OF THE CITY OF HOLLYWOOD, FLORIDA, WAIVING THE 10 ACRE MINIMUM ACREAGE REQUIREMENT FOR A PLANNED DEVELOPMENT; CHANGING THE ZONING DESIGNATION OF THE PROPERTY GENERALLY LOCATED AT 4111 SOUTH OCEAN DRIVE FROM C-1 (COMMERCIAL LOW INTENSITY) TO PD (PLANNED DEVELOPMENT DISTRICT); ALLOCATING UP TO 238 BONUS HOTEL DENSITY ROOMS FROM THE "HOLLYWOOD BEACH HOTEL ROOM POOL"; APPROVING THE PLANNED DEVELOPMENT (PD) MASTER DEVELOPMENT PLAN FOR THE SUBJECT PROPERTY (HEREINAFTER KNOWN AS "BEACH ONE RESORT PLANNED DEVELOPMENT MASTER PLAN"); AND AMENDING THE CITY'S ZONING MAP TO REFLECT THE CHANGE IN ZONING DESIGNATION.

WHEREAS, the Zoning and Land Development Regulations provide that an application for a change of zone may be filed; and

WHEREAS, an application (05-ZJ-21) has been filed with the Office of Planning of the City of Hollywood requesting a change in zoning designation from C-1 (Commercial Low Intensity) to PD (Planned Development District), for property generally located at 4111 South Ocean Drive, as more particularly described in Exhibit "A" (subject property), attached hereto and incorporated herein by reference; and

WHEREAS, the purpose of this request for change in zoning designation is to allow the development of the site, which is currently vacant and consists of approximately 1.25 net acres/1.59 gross acres, to proceed in accordance with the PD (Planned Development District) Ordinance, in order to construct a 477 room hotel and associated uses, including meeting space, spa & salon, restaurant and fitness facilities and public beach access; and

WHEREAS, the PD ordinance requires a minimum of 10 acres of land under unified control for a Planned Development, which may be waived by the City Commission upon the recommendation of the Planning and Zoning Board; and

WHEREAS, the existing property has a current Future Land Use Designation of General Business; and

WHEREAS, the subject property is adjacent to C-1 to the north, the City of Hallandale Beach on the south, City of Hallandale Beach on the east, and C-1 on the west; and

WHEREAS, the PD ordinance requires that a Master Development Plan be submitted by the applicant for review by City staff and the Planning and Zoning Board; and

WHEREAS, such a Master Development Plan shall include (1) a boundary survey; (2) schematic representation of the land uses; (3) delineation of internal circulation; (4) points of connection of the local streets to the trafficways; (5) general location and size of any community facility to be included in the PD; (6) an indication of existing vegetation and other natural features with plans for conservation and mitigation; (7) schematic depiction of existing and proposed surface water management elements; and (8) schematic depiction of the water distribution and wastewater collection facilities and drainage system; and

WHEREAS, the Director of the Office of Planning, following analysis of the application, including the proposed Master Development Plan and its associated documents, has determined that the proposed application and Plan are consistent with the Zoning and Land Development Regulations, the City of Hollywood Comprehensive Plan, the Hollywood Beach Master Plan and the City-Wide Master Plan and has therefore recommended approval with the following condition:

Prior to the issuance of a Building Permit the Developer shall submit to the Office of Planning and the City Engineer a 9' public beach access easement to be approved by the City Commission, and if accepted, said easement shall be recorded in the Public Records of Broward County, Florida; and

WHEREAS, pursuant to the City's Land Use Element of the Comprehensive Plan, hotels and motels located in the South Beach area shall not exceed 150 rooms per acre, provided however, the City Commission may approve up to an additional 150 rooms per acre (for a maximum of 300 rooms per acre) from the "Hollywood Beach Hotel Room Pool"; and

WHEREAS, the "Hollywood Beach Hotel Room Pool" currently consists of 902 bonus hotel density rooms; and

WHEREAS, the applicant has requested the City Commission allocate 238 bonus hotel density rooms and the Planning and Zoning Board recommended that such allocation be approved by the City Commission with the condition that a time frame for utilization of the rooms be agreed to by the parties and if any or all of the rooms are not timely utilized, then said rooms shall revert to the hotel pool; and

WHEREAS, the applicant worked with staff to recommend that allocated rooms shall be approved as long as the applicant maintains a valid Master Development Plan or active building permit, otherwise the 238 bonus hotel density rooms revert back to the "Hollywood Beach Hotel Room Pool"; and

WHEREAS, if such allocation is approved by the City Commission, the "Hollywood Beach Hotel Room Pool" will have 664 bonus hotel density rooms remaining; and

WHEREAS, on June 23, 2008, the Planning and Zoning Board met and reviewed the above noted request to waive the 10 acre minimum acreage requirement for a Planned Development, change in zoning designation to PD (Planned Development District), allocation of 238 bonus hotel density rooms from the "Hollywood Beach Hotel Room Pool" and approval of the proposed Master Development Plan and have forwarded a recommendation of approval to the City Commission; and

WHEREAS, the City Commission of the City of Hollywood has conducted duly advertised hearings on the proposed rezoning ordinance through the above referenced petition and has considered all comments received concerning the proposed amendment as required by state law and local ordinances and resolutions; and

WHEREAS, the City Commission finds that the rezoning request to PD (Planned Development District), along with approval of the Master Development Plan, are consistent with the Zoning and Land Development Regulations, are consistent with the City of Hollywood's Comprehensive Plan, are consistent with the City-Wide Master Plan, and are in the best interest of the citizens of the City of Hollywood;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That the applicant has presented competent substantial evidence that the rezoning request to PD is consistent with the Zoning and Land Development Regulations, is consistent with the City of Hollywood's Comprehensive Plan, and there is no legitimate public purpose in maintaining the existing zoning.

Section 2: That the minimum size requirement of 10 acres for a Planned Development District is hereby waived for the subject parcels.

Section 3: That the subject property as more particularly described in Exhibit "A" is hereby rezoned from the zoning designation of C-1 (Commercial Low Intensity) to PD (Planned Development District).

Section 4: That the allocation of 238 bonus hotel density rooms from the "Hollywood Beach Hotel Room Pool" is hereby approved with the following conditions:

- a. Said rooms shall be approved as long as the applicant maintains a valid Master Development Plan or active building permit, otherwise the 238 bonus hotel density rooms revert back to the "Hollywood Beach Hotel Room Pool"; and
- b. If at the time the Certificate of Occupancy is issued by the City, the Developer has not used all of the 238 rooms allocated, the balance of those hotel density rooms remaining shall revert back to the "Hollywood Beach Hotel Room Pool".

Section 5: That the Beach One Resort Planned Development Master Plan, as more specifically described in Exhibit "B", attached hereto and incorporated herein by reference, is hereby approved with the following condition:

Prior to the issuance of a Building Permit the Developer shall submit to the Office of Planning and the City Engineer a 9' public beach access easement to be approved by the City Commission, and if accepted, said easement shall be recorded in the Public Records of Broward County, Florida.

Section 6: That the Official Zoning Map of the City of Hollywood is hereby amended to incorporate the above described change in zoning designation for the subject parcel.

Section 7: That all sections or parts of sections of the Zoning and Land Development Regulations, Code of Ordinances, and all ordinances or parts thereof and all resolutions or parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

Section 8: That if any word, phrase, clause, subsection or section of this ordinance is for any reason held unconstitutional or invalid, the invalidity thereof shall not affect the validity of any remaining portions of this ordinance.

Section 9: That this Ordinance shall be in full force and effect immediately upon its passage and adoption.

Section 10: This Ordinance shall remain effective as long as the Site Plan approved by R-2008-327 remains in effect. Should no Building Permit for a principal structure be issued pursuant to the Site Plan prior to its expiration, the zoning shall revert back to C-1.

Advertised Oct 3, 2008.

PASSED on first reading this 1 day of Oct, 2008.

PASSED AND ADOPTED on second reading this 15 day of Oct, 2008.

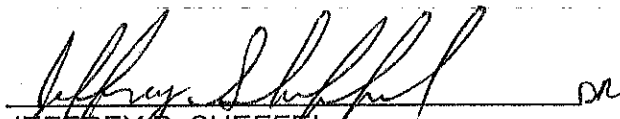
RENDERED this 23 day of Oct, 2008.


PETER BOBER, MAYOR

ATTEST:


PATRICIA A. CERNY, MMC
CITY CLERK

APPROVED AS TO FORM & LEGALITY
for the use and reliance of the
City of Hollywood, Florida, only.


JEFFREY P. SHEFFEL
CITY ATTORNEY

10/16/08pac

EXHIBIT A

TREE TABLE

NO.	DATE	TYPE	SIZE	LOCATION	REMARKS
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LEGEND

THIS SURVEY

1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.

2. ALL ANGLES ARE IN DEGREES AND MINUTES.

3. ALL CURVES ARE CIRCULAR UNLESS OTHERWISE NOTED.

4. ALL ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL.

5. ALL AREAS ARE IN SQUARE FEET UNLESS OTHERWISE NOTED.

6. ALL VOLUMES ARE IN CUBIC FEET UNLESS OTHERWISE NOTED.

7. ALL WEIGHTS ARE IN POUNDS UNLESS OTHERWISE NOTED.

8. ALL MEASUREMENTS WERE MADE WITH A SINE BAR AND A LEVEL.

9. ALL MEASUREMENTS WERE MADE WITH A SINE BAR AND A LEVEL.

10. ALL MEASUREMENTS WERE MADE WITH A SINE BAR AND A LEVEL.

NOTES

1. THE SURVEY WAS MADE ON THE 15TH DAY OF MAY, 1994.

2. THE SURVEY WAS MADE BY J. J. JONES, SURVEYOR.

3. THE SURVEY WAS MADE AT THE BEACH ONE RESORT (GATEWAY HOLLYWOOD).

4. THE SURVEY WAS MADE FOR THE PURPOSE OF DETERMINING THE BOUNDARIES OF THE BEACH ONE RESORT (GATEWAY HOLLYWOOD).

5. THE SURVEY WAS MADE FOR THE PURPOSE OF DETERMINING THE BOUNDARIES OF THE BEACH ONE RESORT (GATEWAY HOLLYWOOD).

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7. THE SURVEY WAS MADE FOR THE PURPOSE OF DETERMINING THE BOUNDARIES OF THE BEACH ONE RESORT (GATEWAY HOLLYWOOD).

8. THE SURVEY WAS MADE FOR THE PURPOSE OF DETERMINING THE BOUNDARIES OF THE BEACH ONE RESORT (GATEWAY HOLLYWOOD).

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10. THE SURVEY WAS MADE FOR THE PURPOSE OF DETERMINING THE BOUNDARIES OF THE BEACH ONE RESORT (GATEWAY HOLLYWOOD).

FEMA FLOOD INSURANCE RATE MAP INFORMATION

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3. THE SURVEY WAS MADE AT THE BEACH ONE RESORT (GATEWAY HOLLYWOOD).

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10. THE SURVEY WAS MADE FOR THE PURPOSE OF DETERMINING THE BOUNDARIES OF THE BEACH ONE RESORT (GATEWAY HOLLYWOOD).

LOCATION MAP

SECTION 26-31-42 CITY OF HOLLYWOOD

BROWARD COUNTY, FLORIDA

(NOT TO SCALE)

N

LEGAL DESCRIPTION:

TITLE COMMITMENT REVIEW

CERTIFIED TO:

BEACH ONE RESORT (GATEWAY HOLLYWOOD)

FORMER INTERNATIONAL

1. NAME OF SURVEYOR: J. J. JONES

2. DATE OF SURVEY: MAY 15, 1994

3. LOCATION: BEACH ONE RESORT (GATEWAY HOLLYWOOD)

4. PURPOSE: DETERMINING BOUNDARIES

5. METHOD: SINE BAR AND LEVEL

6. INSTRUMENTS: SINE BAR, LEVEL

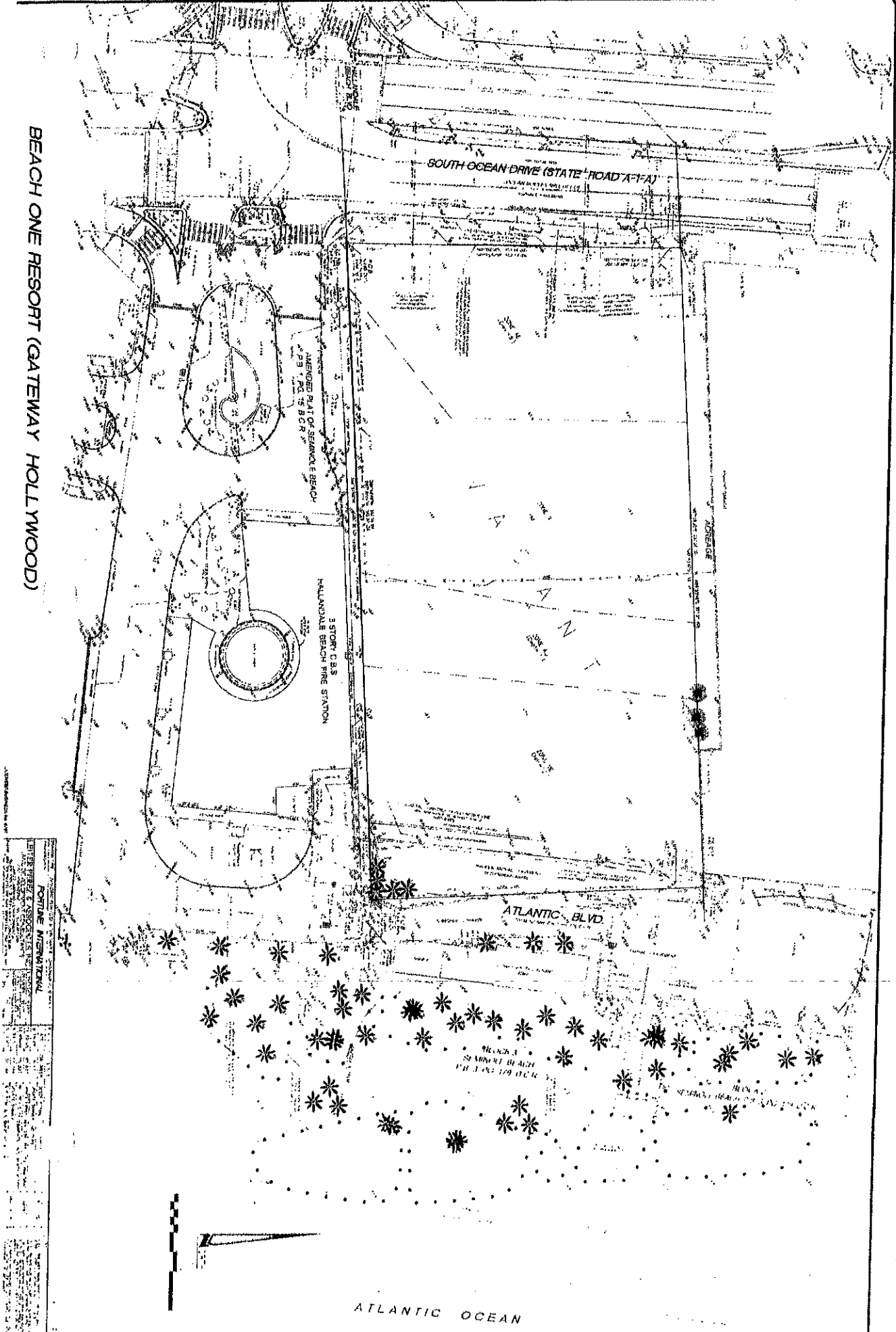
7. RESULTS: BOUNDARIES DETERMINED

8. SIGNATURE: J. J. JONES

9. TITLE: SURVEYOR

10. EXPIRATION DATE: MAY 15, 2000

BEACH ONE RESORT (GATEWAY HOLLYWOOD)



OCEAN BOULEVARD (STATE ROAD A1A)

Architectural drawing of a building complex, likely a school or institutional structure, showing a central tower and surrounding wings. The drawing includes a grid system and is labeled "OCEAN BOULEVARD (STATE ROAD A1A)" at the top. The central tower is a prominent feature, with a series of wings extending from it. The drawing is detailed with architectural lines and shading, indicating the structure of the building. A grid system is overlaid on the drawing, with letters A through J along the top and numbers 1 through 10 along the left side. The drawing is oriented with the top of the page towards the top of the image.

THE UNIVERSITY OF CHICAGO

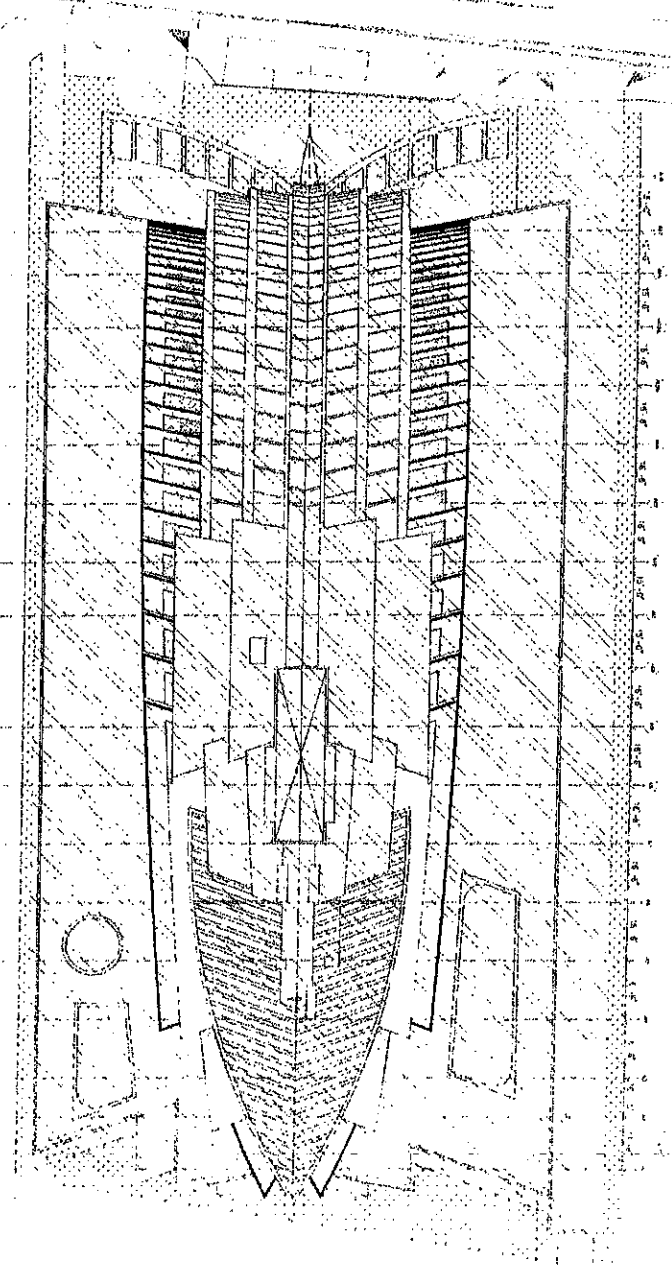
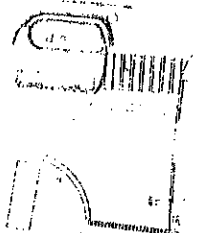
OCEAN BOULEVARD (STATE ROAD A1A)

MAY 1964

ROBERT SCHULZ

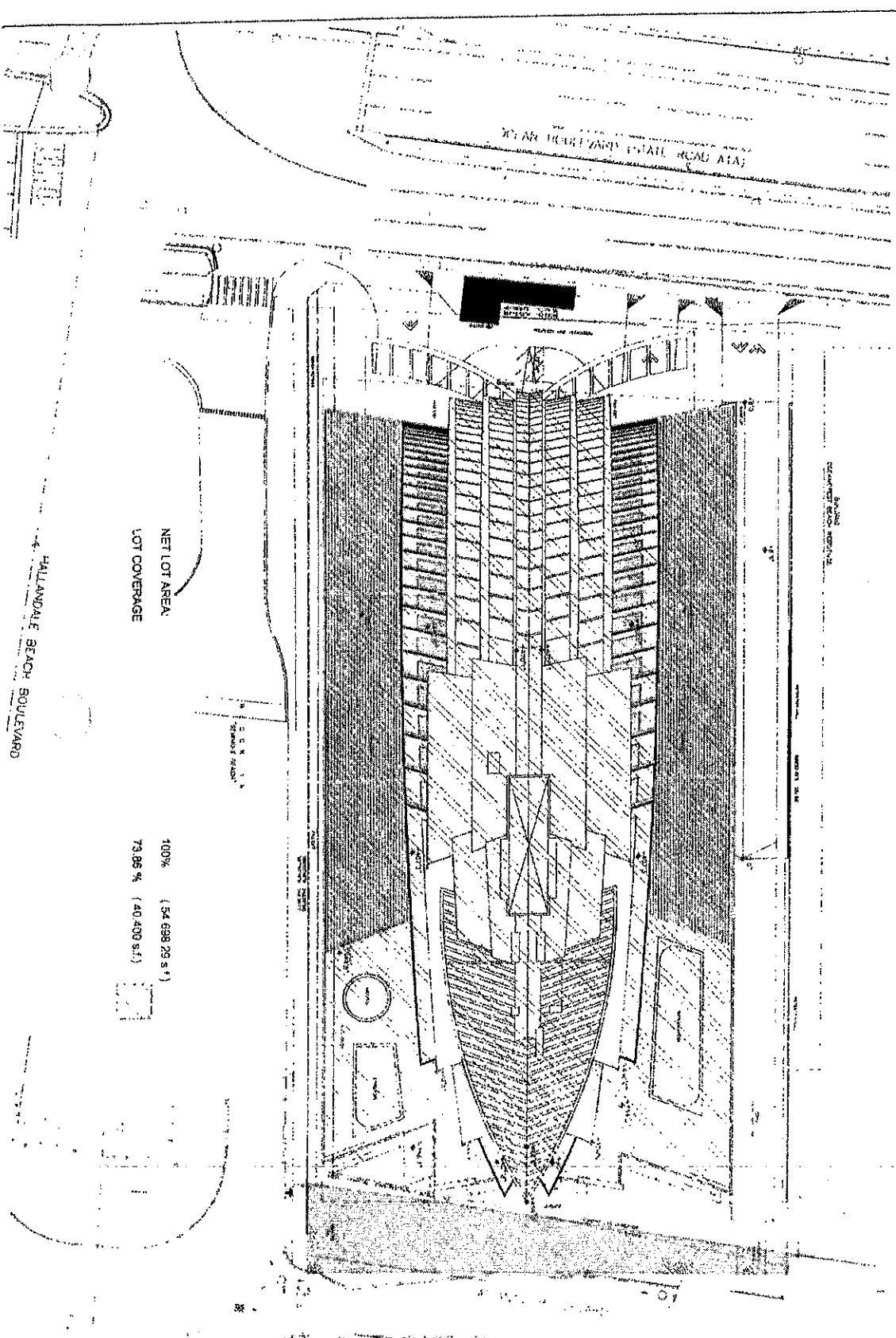
111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000

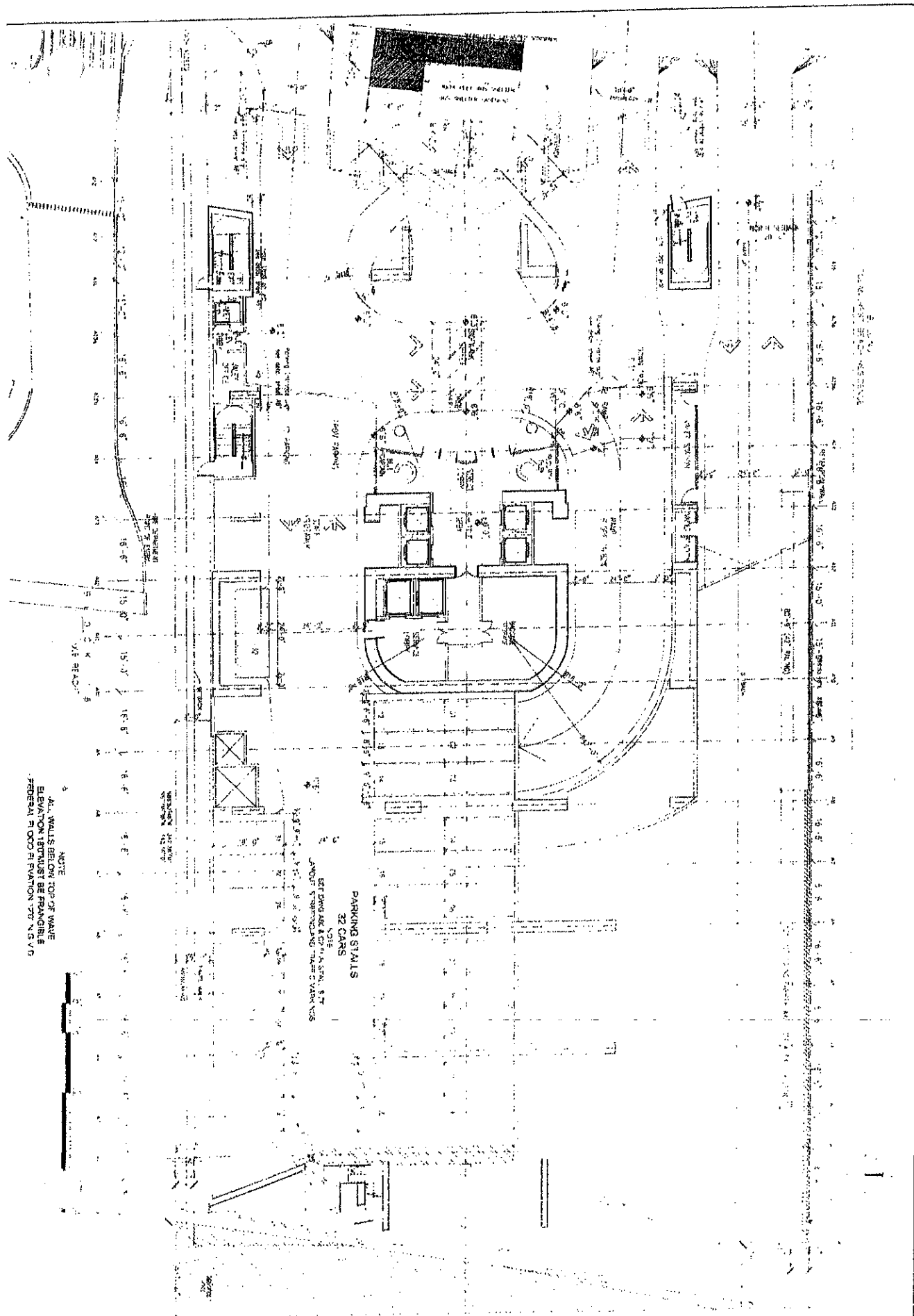
10-11-1967



NET LOT AREA:	1.2557 AC (54,098.29 s.f.)	100%
IMPERVIOUS AREA (BUILDING AND PAVED AREAS):	43,049.6 s.f.	87.84%
PERVIOUS AREA (LANDSCAPE):	6,048.7 s.f.	12.16%



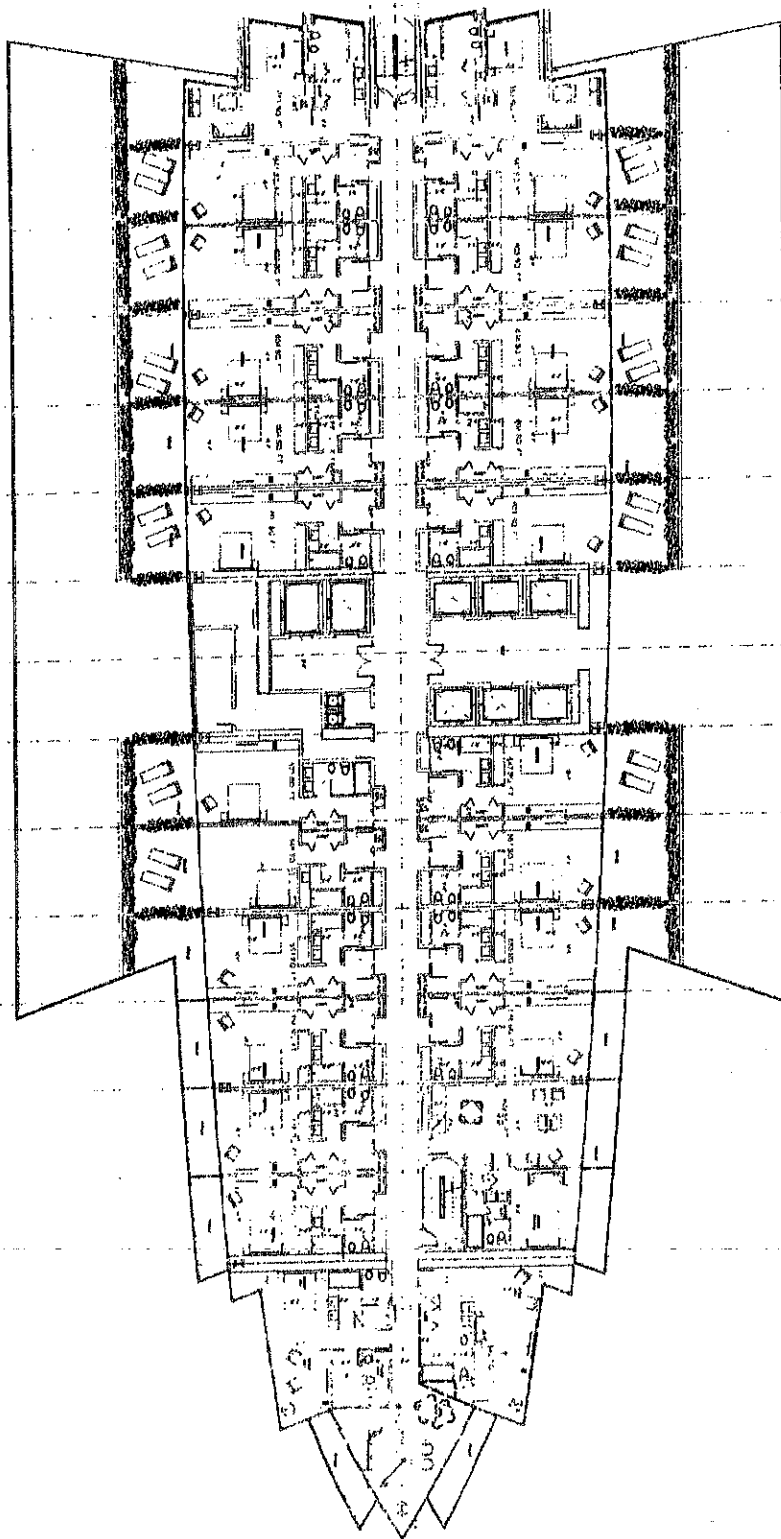




NOTE:
ALL WALLS BELOW TOP OF WASTE
ELEVATION MUST BE FRAMING
FEDERAL FLOOD ELEVATION 177' N.S.V.D.

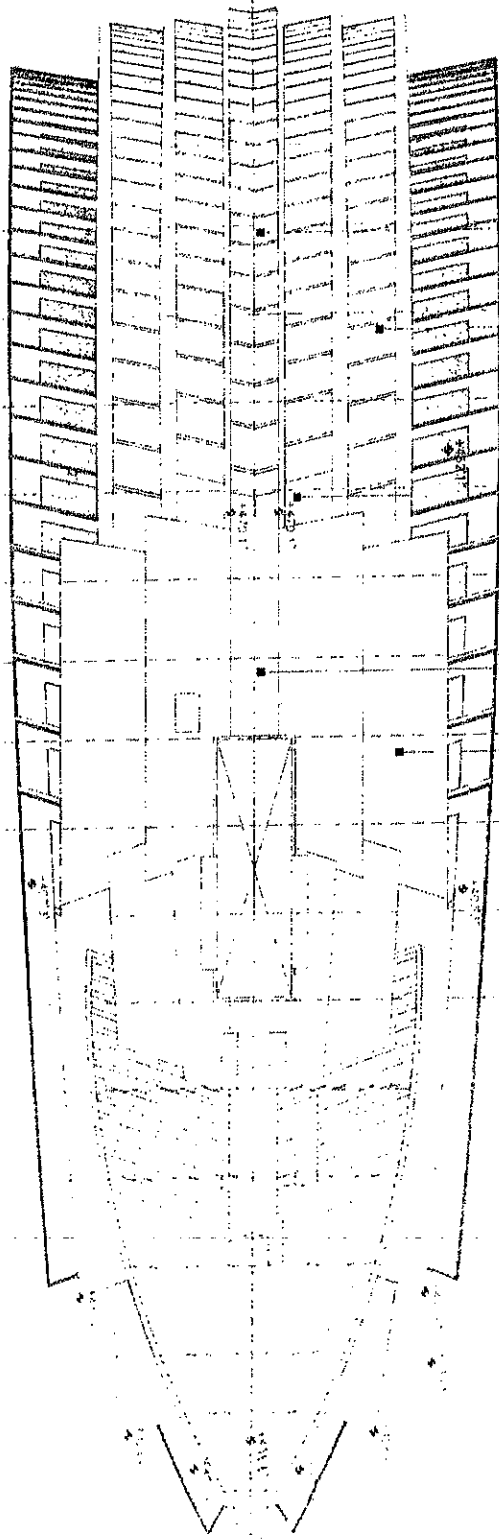
PARKING STALLS
32 CARS

NOTE:
SEE DIMS AND ELEVATIONS FOR
JANUARY 1980 AND 1981 VARIATIONS



1'-0" 2'-0" 3'-0" 4'-0" 5'-0" 6'-0" 7'-0" 8'-0" 9'-0" 10'-0" 11'-0" 12'-0" 13'-0" 14'-0" 15'-0" 16'-0" 17'-0" 18'-0" 19'-0" 20'-0" 21'-0" 22'-0" 23'-0" 24'-0" 25'-0" 26'-0" 27'-0" 28'-0" 29'-0" 30'-0" 31'-0" 32'-0" 33'-0" 34'-0" 35'-0" 36'-0" 37'-0" 38'-0" 39'-0" 40'-0" 41'-0" 42'-0" 43'-0" 44'-0" 45'-0" 46'-0" 47'-0" 48'-0" 49'-0" 50'-0" 51'-0" 52'-0" 53'-0" 54'-0" 55'-0" 56'-0" 57'-0" 58'-0" 59'-0" 60'-0" 61'-0" 62'-0" 63'-0" 64'-0" 65'-0" 66'-0" 67'-0" 68'-0" 69'-0" 70'-0" 71'-0" 72'-0" 73'-0" 74'-0" 75'-0" 76'-0" 77'-0" 78'-0" 79'-0" 80'-0" 81'-0" 82'-0" 83'-0" 84'-0" 85'-0" 86'-0" 87'-0" 88'-0" 89'-0" 90'-0" 91'-0" 92'-0" 93'-0" 94'-0" 95'-0" 96'-0" 97'-0" 98'-0" 99'-0" 100'-0"

1'-0" 2'-0" 3'-0" 4'-0" 5'-0" 6'-0" 7'-0" 8'-0" 9'-0" 10'-0" 11'-0" 12'-0" 13'-0" 14'-0" 15'-0" 16'-0" 17'-0" 18'-0" 19'-0" 20'-0" 21'-0" 22'-0" 23'-0" 24'-0" 25'-0" 26'-0" 27'-0" 28'-0" 29'-0" 30'-0" 31'-0" 32'-0" 33'-0" 34'-0" 35'-0" 36'-0" 37'-0" 38'-0" 39'-0" 40'-0" 41'-0" 42'-0" 43'-0" 44'-0" 45'-0" 46'-0" 47'-0" 48'-0" 49'-0" 50'-0" 51'-0" 52'-0" 53'-0" 54'-0" 55'-0" 56'-0" 57'-0" 58'-0" 59'-0" 60'-0" 61'-0" 62'-0" 63'-0" 64'-0" 65'-0" 66'-0" 67'-0" 68'-0" 69'-0" 70'-0" 71'-0" 72'-0" 73'-0" 74'-0" 75'-0" 76'-0" 77'-0" 78'-0" 79'-0" 80'-0" 81'-0" 82'-0" 83'-0" 84'-0" 85'-0" 86'-0" 87'-0" 88'-0" 89'-0" 90'-0" 91'-0" 92'-0" 93'-0" 94'-0" 95'-0" 96'-0" 97'-0" 98'-0" 99'-0" 100'-0"



DARK GREY PAINTED STUCCO

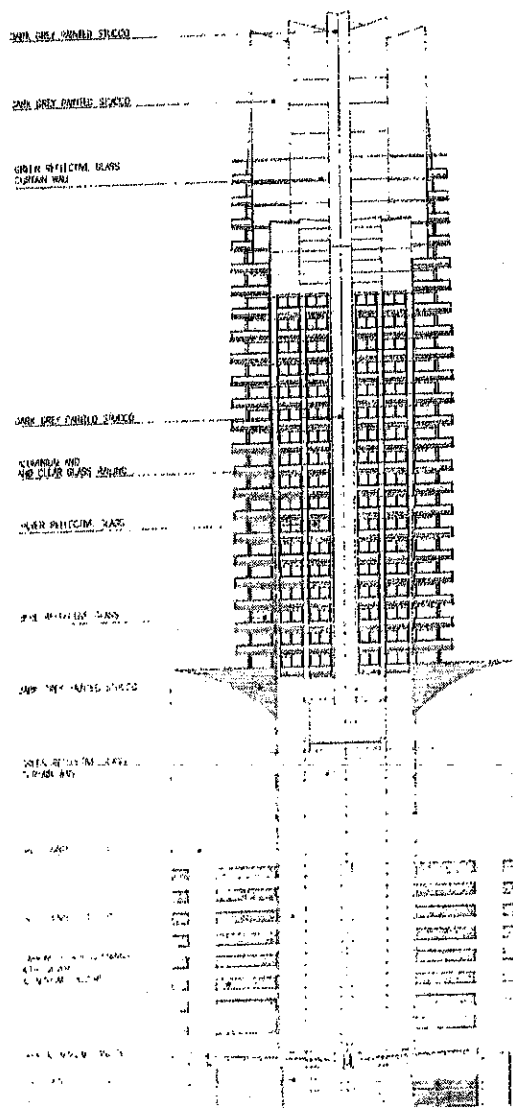
STEEL REFLECTIVE GLASS
CURTAIN WALL

STEEL REFLECTIVE GLASS
CURTAIN WALL

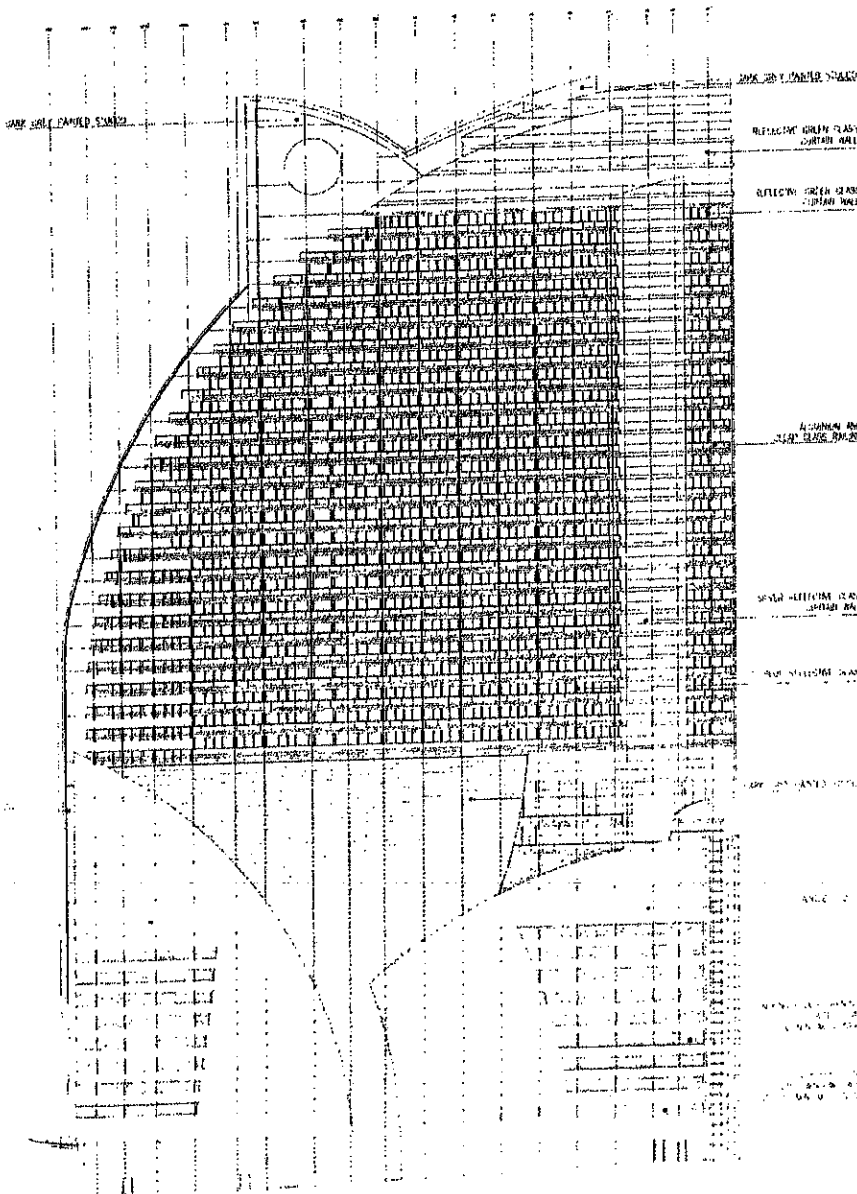
DARK GREY PAINTED STUCCO

DARK GREY PAINTED STUCCO

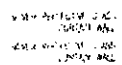
1" = 10'-0"



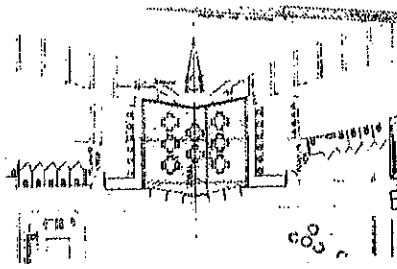
ELEVATION OF TOWER SECTION		
NO.	DESCRIPTION	SIZE
1	1ST FLOOR	100' x 100'
2	2ND FLOOR	100' x 100'
3	3RD FLOOR	100' x 100'
4	4TH FLOOR	100' x 100'
5	5TH FLOOR	100' x 100'
6	6TH FLOOR	100' x 100'
7	7TH FLOOR	100' x 100'
8	8TH FLOOR	100' x 100'
9	9TH FLOOR	100' x 100'
10	10TH FLOOR	100' x 100'
11	11TH FLOOR	100' x 100'
12	12TH FLOOR	100' x 100'
13	13TH FLOOR	100' x 100'
14	14TH FLOOR	100' x 100'
15	15TH FLOOR	100' x 100'
16	16TH FLOOR	100' x 100'
17	17TH FLOOR	100' x 100'
18	18TH FLOOR	100' x 100'
19	19TH FLOOR	100' x 100'
20	20TH FLOOR	100' x 100'
21	21TH FLOOR	100' x 100'
22	22TH FLOOR	100' x 100'
23	23TH FLOOR	100' x 100'
24	24TH FLOOR	100' x 100'
25	25TH FLOOR	100' x 100'
26	26TH FLOOR	100' x 100'
27	27TH FLOOR	100' x 100'
28	28TH FLOOR	100' x 100'
29	29TH FLOOR	100' x 100'
30	30TH FLOOR	100' x 100'
31	31TH FLOOR	100' x 100'
32	32TH FLOOR	100' x 100'
33	33TH FLOOR	100' x 100'
34	34TH FLOOR	100' x 100'
35	35TH FLOOR	100' x 100'
36	36TH FLOOR	100' x 100'
37	37TH FLOOR	100' x 100'
38	38TH FLOOR	100' x 100'
39	39TH FLOOR	100' x 100'
40	40TH FLOOR	100' x 100'
41	41TH FLOOR	100' x 100'
42	42TH FLOOR	100' x 100'
43	43TH FLOOR	100' x 100'
44	44TH FLOOR	100' x 100'
45	45TH FLOOR	100' x 100'
46	46TH FLOOR	100' x 100'
47	47TH FLOOR	100' x 100'
48	48TH FLOOR	100' x 100'
49	49TH FLOOR	100' x 100'
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52	52TH FLOOR	100' x 100'
53	53TH FLOOR	100' x 100'
54	54TH FLOOR	100' x 100'
55	55TH FLOOR	100' x 100'
56	56TH FLOOR	100' x 100'
57	57TH FLOOR	100' x 100'
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59	59TH FLOOR	100' x 100'
60	60TH FLOOR	100' x 100'
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64	64TH FLOOR	100' x 100'
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66	66TH FLOOR	100' x 100'
67	67TH FLOOR	100' x 100'
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69	69TH FLOOR	100' x 100'
70	70TH FLOOR	100' x 100'
71	71TH FLOOR	100' x 100'
72	72TH FLOOR	100' x 100'
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74	74TH FLOOR	100' x 100'
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77	77TH FLOOR	100' x 100'
78	78TH FLOOR	100' x 100'
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81	81TH FLOOR	100' x 100'
82	82TH FLOOR	100' x 100'
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85	85TH FLOOR	100' x 100'
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87	87TH FLOOR	100' x 100'
88	88TH FLOOR	100' x 100'
89	89TH FLOOR	100' x 100'
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91	91TH FLOOR	100' x 100'
92	92TH FLOOR	100' x 100'
93	93TH FLOOR	100' x 100'
94	94TH FLOOR	100' x 100'
95	95TH FLOOR	100' x 100'
96	96TH FLOOR	100' x 100'
97	97TH FLOOR	100' x 100'
98	98TH FLOOR	100' x 100'
99	99TH FLOOR	100' x 100'
100	100TH FLOOR	100' x 100'



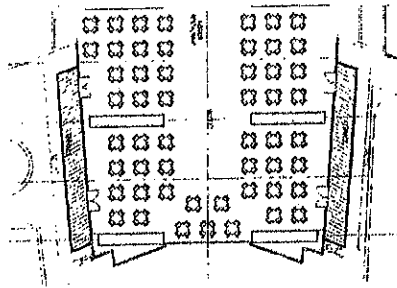
FIFTH FLOOR PLAN	
ROOM SCHEDULE	
ROOM NO.	ROOM NAME
101	RECEPTION
102	LOBBY
103	CONFERENCE
104	OFFICE
105	OFFICE
106	OFFICE
107	OFFICE
108	OFFICE
109	OFFICE
110	OFFICE
111	OFFICE
112	OFFICE
113	OFFICE
114	OFFICE
115	OFFICE
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117	OFFICE
118	OFFICE
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197	OFFICE
198	OFFICE
199	OFFICE
200	OFFICE



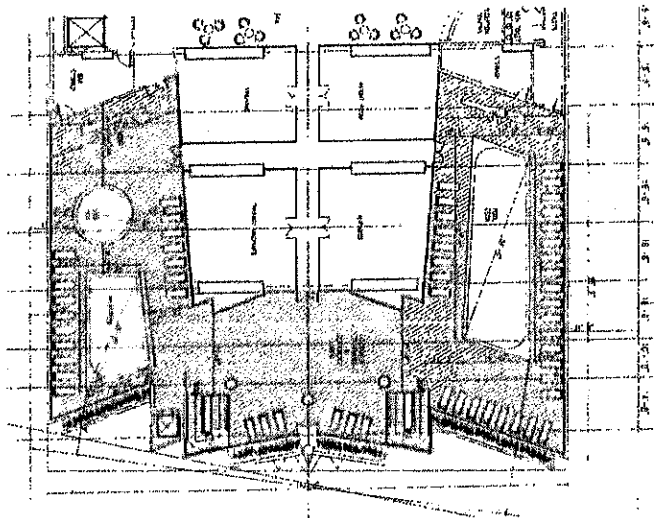
COLUMBIAN POWER		MECHANICAL		ELECTRIC	
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3	30 HPI	3	30 HPI	3	30 HPI
4	30 HPI	4	30 HPI	4	30 HPI
5	30 HPI	5	30 HPI	5	30 HPI
6	30 HPI	6	30 HPI	6	30 HPI
7	30 HPI	7	30 HPI	7	30 HPI
8	30 HPI	8	30 HPI	8	30 HPI
9	30 HPI	9	30 HPI	9	30 HPI
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13	30 HPI	13	30 HPI	13	30 HPI
14	30 HPI	14	30 HPI	14	30 HPI
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50	30 HPI	50	30 HPI	50	30 HPI



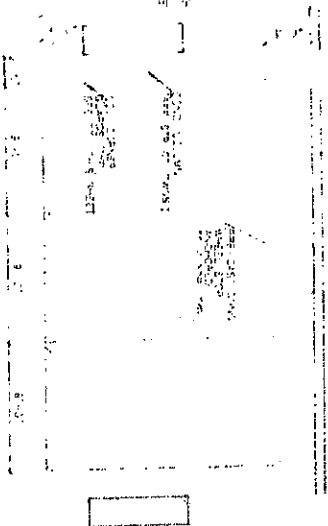
DECK AT GRAY LEVEL
TYPICAL PARKING STALL DETAIL



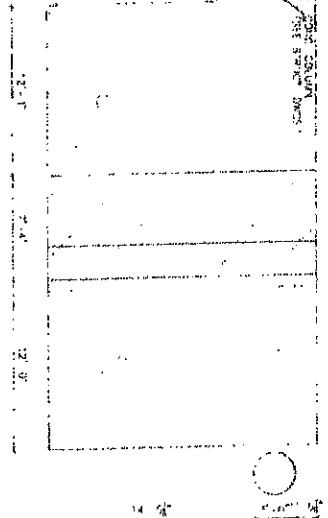
DECK AT GRAY LEVEL
TYPICAL PARKING STALL DETAIL



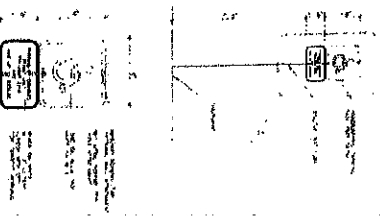
TYPICAL PARKING STALL DETAIL



TYPICAL PARKING STALL DETAIL



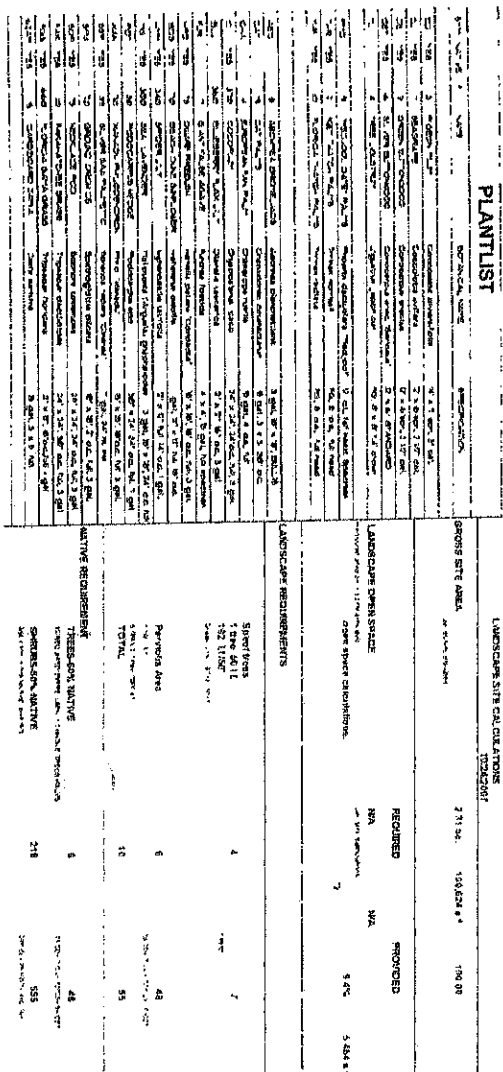
TYPICAL ADA PARKING STALL DETAIL



TYPICAL ADA PARKING STALL DETAIL



TYPICAL ADA PARKING STALL DETAIL



LANDSCAPE PLAN

5

BEACH ONE RESORT LTD.
4111 S. OCEAN DRIVE
HOLLYWOOD, FL.
FORTUNE INTERNATIONAL
1300 BRICKELL AVENUE
MIAMI, FL. 33131

3

JFS Design Inc.
LANDSCAPE ARCHITECTURE
LC 000393

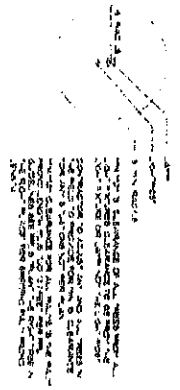
www.elsevier.com/locate/jes



**TYPICAL PLANTINGS FOR
GROUND-MOUNTED EQUIPMENT**

1. The planting shall be made in a square pit 24" x 24" x 24" deep. The pit shall be filled with a mixture of equal parts of top soil and sand. The plant shall be set in the center of the pit with the top of the plant 1" above the ground level. The soil shall be tamped around the plant. The plant shall be watered daily for the first week after planting. The plant shall be fertilized with a 10-10-10 fertilizer at the rate of 1 lb. per 100 sq. ft. of ground. The plant shall be pruned as needed to maintain a height of 4' to 6'.

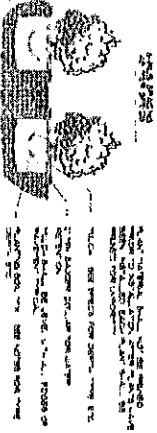
**MINIMUM TREE CLEARANCE
FROM LIGHT FIXTURES**



GROUND COVER DETAIL



SHRUB PLANTING DETAIL



**SHRUB PLANTINGS
BUILDING DETAIL**

PLANTING SOIL:

The planting soil shall be a mixture of equal parts of top soil and sand. The soil shall be tamped around the plant. The plant shall be watered daily for the first week after planting. The plant shall be fertilized with a 10-10-10 fertilizer at the rate of 1 lb. per 100 sq. ft. of ground. The plant shall be pruned as needed to maintain a height of 4' to 6'.

FERTILIZATION:

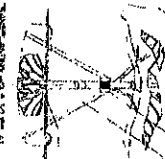
The plant shall be fertilized with a 10-10-10 fertilizer at the rate of 1 lb. per 100 sq. ft. of ground. The fertilizer shall be applied to the soil around the plant. The plant shall be watered daily for the first week after planting. The plant shall be pruned as needed to maintain a height of 4' to 6'.



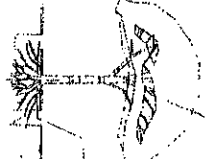
**FIRE HYDRANT
CLEAR ZONE**



**ELEVATION
SECTION
WALL TRELLIS DETAIL**



TREE TRANSPLANT DETAIL



ROOT PRUNING DETAIL



TREE PLANTING DETAIL



PALM PLANTING DETAIL

LANDSCAPE NOTES

1. All plants shall be installed in accordance with the specifications and details shown on this plan. The plants shall be watered daily for the first week after planting. The plants shall be fertilized with a 10-10-10 fertilizer at the rate of 1 lb. per 100 sq. ft. of ground. The plants shall be pruned as needed to maintain a height of 4' to 6'.

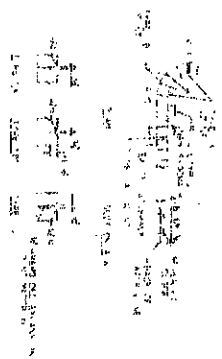
**NOTES, DETAIL,
SPECIFICATIONS, ETC.**

BEACH ONE RESORT LTD.
4111 S. OCEAN DRIVE
HOLLYWOOD, FL
FORTUNE INTERNATIONAL
1300 BRICKELL AVENUE
MIAMI, FL 33131

JFS Design Inc.
LANDSCAPE ARCHITECTURE
LC 000393



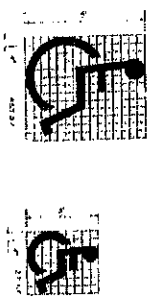
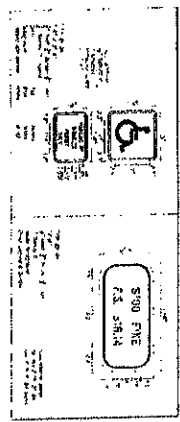
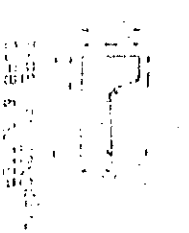
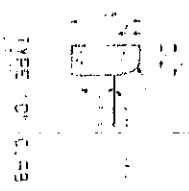
TYPICAL STALL MARKINGS



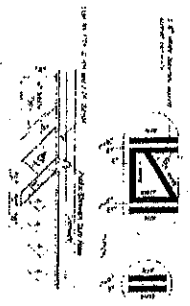
CONCRETE SIDEWALK



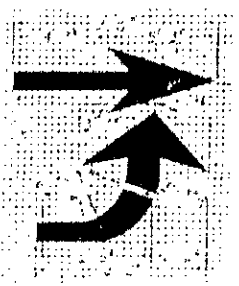
STANDARD CURB NOSING



UNIVERSAL SYMBOL OF ACCESSIBILITY



1. CURB SHALL BE 4" HIGH AND 12" WIDE.
2. CURB SHALL BE 1/2" THICK.
3. CURB SHALL BE 1/2" THICK.
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7. CURB SHALL BE 1/2" THICK.
8. CURB SHALL BE 1/2" THICK.
9. CURB SHALL BE 1/2" THICK.
10. CURB SHALL BE 1/2" THICK.

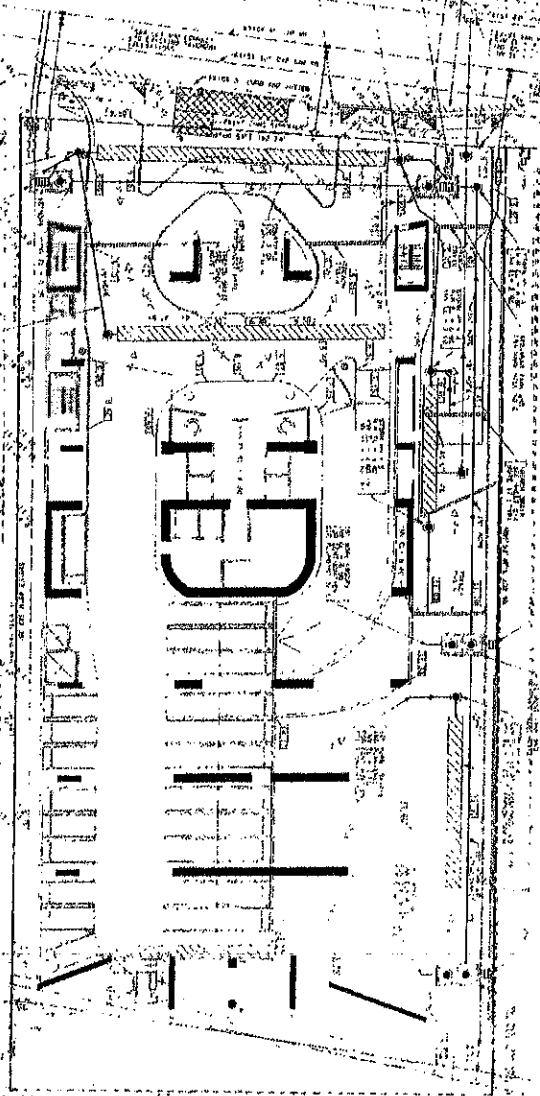


BLACK ONE (1) WHITE
CONCRETE CURB

HALLANDALE
BEACH BLVD

OCEAN BLVD (STATE A1A)

ATLANTIC BLVD



LEGEND:

- 1. EXISTING BUILDING
- 2. PROPOSED BUILDING
- 3. EXISTING PARKING
- 4. PROPOSED PARKING
- 5. EXISTING DRIVEWAY
- 6. PROPOSED DRIVEWAY
- 7. EXISTING SIDEWALK
- 8. PROPOSED SIDEWALK
- 9. EXISTING LANDSCAPING
- 10. PROPOSED LANDSCAPING
- 11. EXISTING STREET LIGHTS
- 12. PROPOSED STREET LIGHTS
- 13. EXISTING UTILITY LINES
- 14. PROPOSED UTILITY LINES
- 15. EXISTING EASEMENTS
- 16. PROPOSED EASEMENTS
- 17. EXISTING SETBACKS
- 18. PROPOSED SETBACKS
- 19. EXISTING ZONING
- 20. PROPOSED ZONING

GRADING AND DRAINAGE PLAN

BEACH UNIT RESORT
CONDOMINIUMS

RESOLUTION NO R-2008-327

(05-P-21)

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA, APPROVING THE SITE PLAN FOR THE BEACH ONE PLANNED DEVELOPMENT (APPROVED BY ORDINANCE NO O-2008-24); APPROVING AND GRANTING MODIFICATIONS FROM THE OFF-STREET PARKING AND LOADING REQUIREMENTS, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Hollywood Zoning and Land Development Regulations require that all development projects that are located in a Planned Development District (PD) must receive site plan approval from the City Commission prior to the issuance of any building permits, and

WHEREAS, on October 15, 2008, O-2008-24 (PO-2008-20) was passed and adopted by the City Commission, which approved the rezoning and the Master Development Plan for the property generally located at 4111 South Ocean Drive, with approximately 1.25 net acres/1.59 gross acres, to PD (for the project known as "Beach One") with the following condition

Prior to the issuance of a Building Permit the Developer shall submit to the Office of Planning and the City Engineer a 9' public beach access easement to be approved by the City Commission, and if accepted, said easement shall be recorded in the Public Records of Broward County, Florida, and

WHEREAS, an application was filed with the Office of Planning requesting site plan approval for the construction of a 477 room hotel and associated uses, including meeting space, spa & salon, restaurant and fitness facilities and public beach access, at a height of 40 stories (418 feet), with 568 valet parking spaces and 6 loading area/loading zone spaces, for property generally located at 4111 South Ocean Drive, Hollywood, Florida, for the project known as Beach One Resort, as more specifically described in Exhibit "A" attached hereto and incorporated herein by reference, and

WHEREAS, the final site plan submitted by the Applicant was reviewed by the Technical Advisory Committee ("TAC") on August 6, 2007, and the TAC found the final site plan to be substantially compliant with all regulations as set forth in Chapter 162 of the Hollywood Code of Ordinances and have recommended approval of the final site plan, and

WHEREAS, on September 11, 2008, the Development Review Board ("DRB") passed and adopted Resolution No 05-DV-21 which approved a variance for the waiver of the required 25 ft. peripheral landscape setback from all external and internal streets as well as Design Approval subject to the following condition

That the Design Review approval is subject to any conditions the City Commission may deem necessary while considering the Master Development Plan and Site Plan, and

WHEREAS, the Office of Planning has reviewed the proposed site plan for the Beach One Planned Development and is recommending approval, and

WHEREAS, Section 4 15 E. 6 of the Zoning and Land Development Regulations sets forth that off-street parking and loading requirements in a Planned Development District shall meet all requirements of Article 7 unless expressly modified by the City Commission, and

WHEREAS, the Applicant has requested that the City Commission approve modifications to the off-street parking and loading requirements of Article 7 as it relates to the required number of parking spaces as more specifically depicted on Exhibit "B", and

WHEREAS, the Office of Planning, and the Building and Engineering Services Department, have reviewed the proposed modifications to the off-street parking and loading requirements of Article 7 of the Zoning and Land Development Regulations and are recommending approval of the modifications as follows.

- (1) The amount of required off-street parking shall be reduced from 792 parking spaces to 568 valet parking spaces,
- (2) To allow 83 additional tandem valet parking spaces (not included in 568 required valet parking spaces); and

WHEREAS, the City Commission has reviewed the proposed site plan for the project and has determined that the site plan should be approved with the aforementioned modifications relating to the parking spaces,

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF HOLLYWOOD, FLORIDA.

Section 1 That it hereby approves The Beach One Planned Development Site Plan, attached hereto and incorporated herein by reference as Exhibit "B"

Section 2 That the off-street parking and loading requirements of Article 7 of the Zoning and Land Development Regulations are hereby modified as they relate to the parking garage as follows.

- (1) The amount of required off-street parking shall be reduced from 792 parking spaces to 568 valet parking spaces.
- (2) To allow 83 additional tandem valet parking spaces (for a total of 651 valet parking spaces).

Section 3 That this resolution shall be in full force and effective immediately upon its passage and adoption.

PASSED AND ADOPTED this 15 day of Oct, 2008

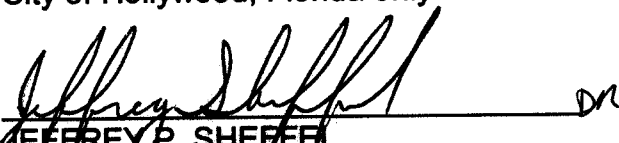
RENDERED this 23 day of Oct, 2008


PETER BOBER, MAYOR

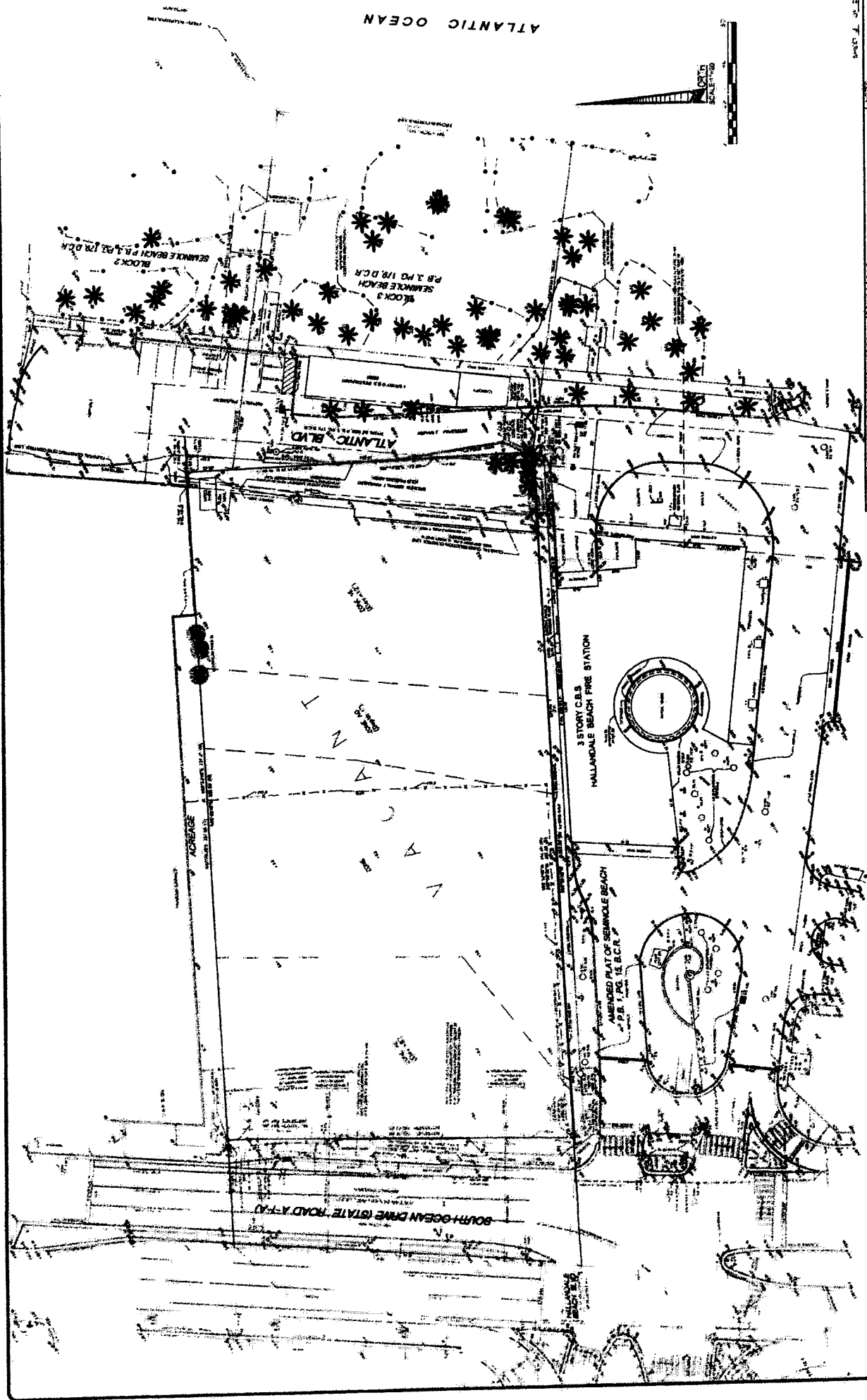
ATTEST


PATRICIA A. GERNY, MMC
CITY CLERK

APPROVED AS TO FORM & LEGALITY
for the use and reliance of the
City of Hollywood, Florida only


JEFFREY P. SHEFFEL
CITY ATTORNEY

[illegible]

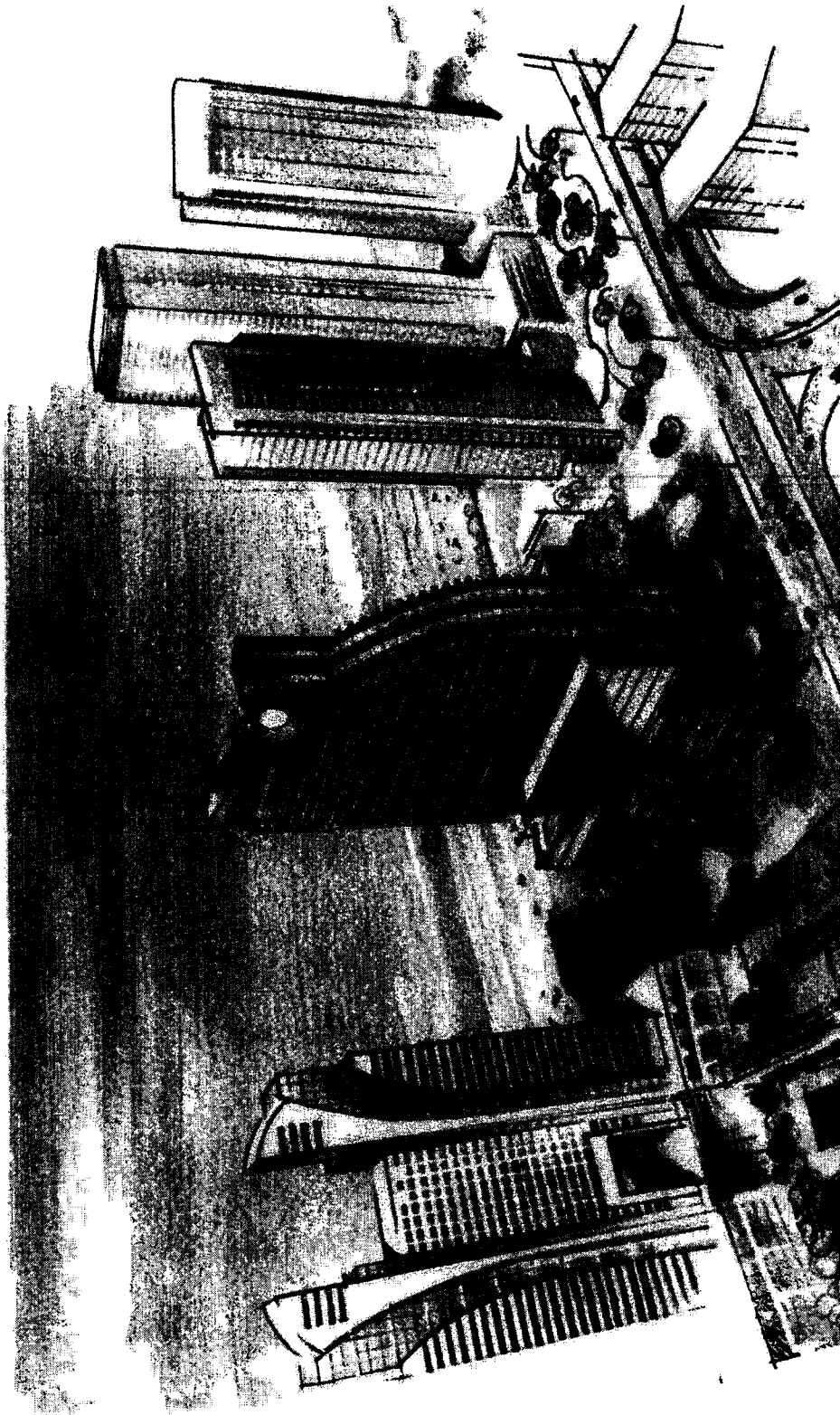


BEACH ONE RESORT (GATEWAY HOLLYWOOD)

PORTLAND INTERNATIONAL
LITTLE HILL & ASSOCIATES, INC.
JAMES H. LITTLE, JR., P.E.
1000 N. W. 10th Ave., Suite 1000
Fort Lauderdale, Florida 33304
Phone: (305) 461-1111
Fax: (305) 461-1112

NO.	DATE	DESCRIPTION
1	10/1/88	PRELIMINARY
2	10/1/88	REVISION
3	10/1/88	REVISION
4	10/1/88	REVISION
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100	10/1/88	REVISION

EXHIBIT B



CARLOSA OTT

BEACH ONE RESORT

JUNE 2003

Aerial View 1

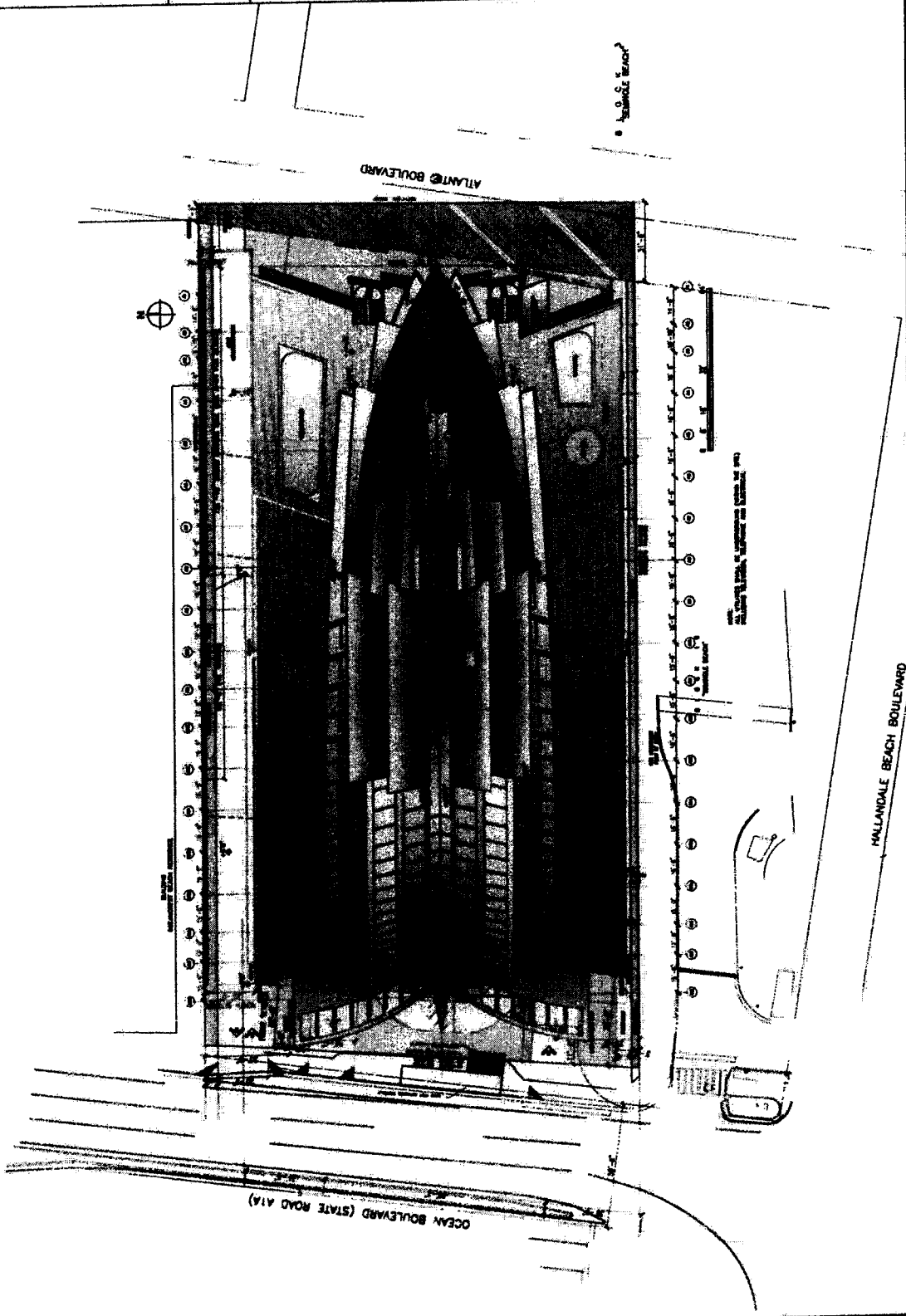
CARLOS A. OTT
PROJECT DESIGNER

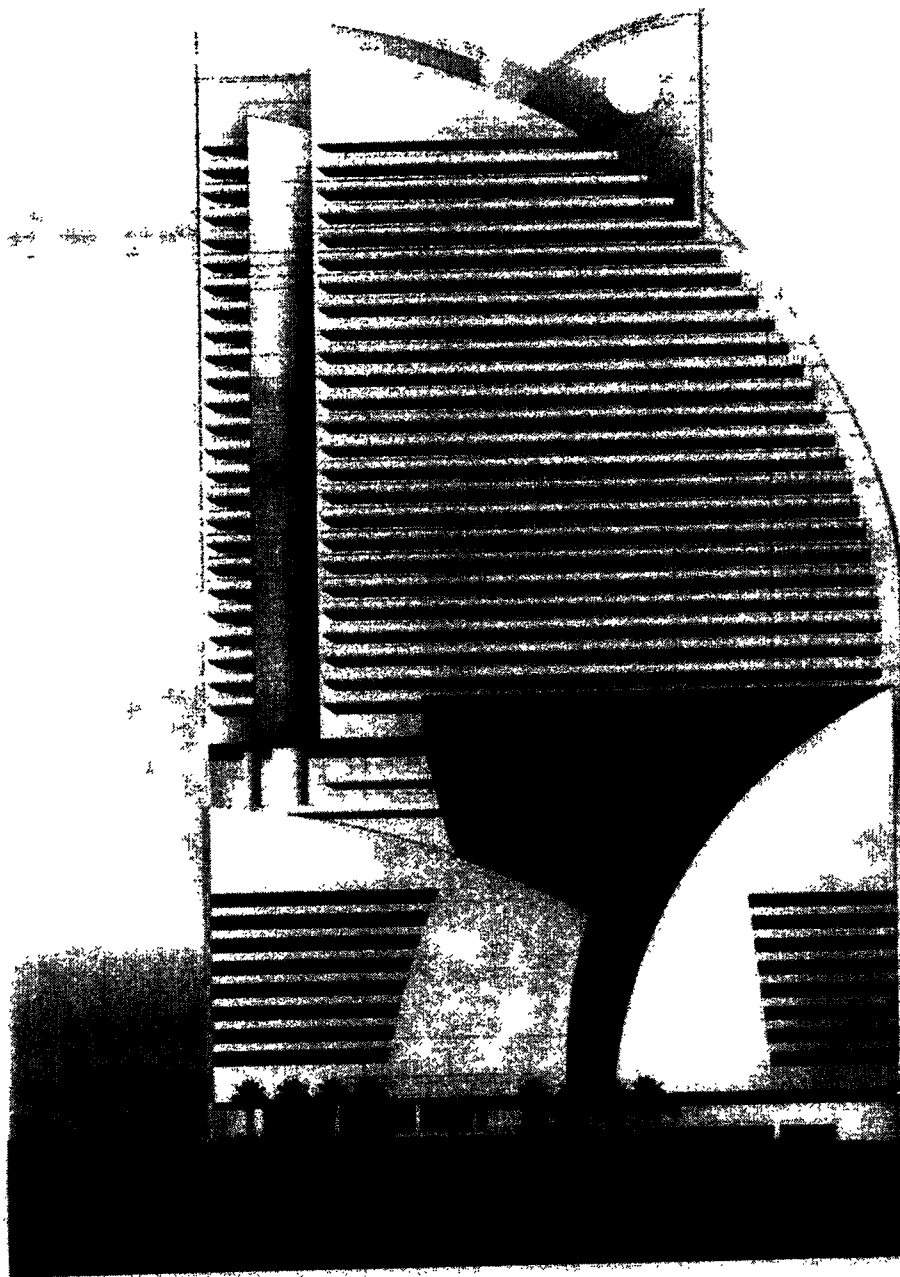
ARC TECH
ASSOCIATES
INCORPORATED
PLANNING - MANAGEMENT
FLORIDA

DATE: 01/15/05
BY: CARLOS A. OTT
CHECKED: [Signature]
APPROVED: [Signature]

STEP 1 PLAN

AB2
01/15/05





ELEVATION NO.	
OF	
BUILDING	
SECTION	
NO.	
1	1
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BEACH ONE RESORT ZONING DATA SUMMARY

Hollywood, Florida

PARKING	100% Value
REQUIRED	
2.7 spaces, space 3.7 spaces	
MEETING ROOM SPALL	
19,400 sq ft space 40 sq ft of area	311 spaces
FITNESS FACILITY (PERSONAL SERVICES)	
4,204 sq ft 11 spaces 250 sq ft of area	17 spaces
SPA & SALON	
2,634 sq ft 1 space 250 sq ft of area	0 spaces
RESTAURANT SPACE	
7,304 sq ft (including building) 2,070 sq ft of area	74 spaces
LOUNGE/OFFICE BARE	
1,250 sq ft space 60 sq ft of area	25 spaces
RESTAUR SPACE	
318 sq ft 1 space 250 sq ft of area	spaces
3RD LEVEL OFFICE SPACE	
6165 sq ft 1 space 250 sq ft of area	22 spaces
TOTAL SPACES (114 HOTEL ROOMS)	spaces
TOTAL SPACES FOR ACCESSORY (approximated by 25%)	315 spaces
TOTAL REQUIRED = 992 spaces	
PARKING PROVIDED	

100% Value (including Employees)

Garage	20 spaces
Building Level 1	64 spaces (incl. 2 handicapped)
Building Level 2	64 spaces (incl. 2 handicapped)
Building Level 3	64 spaces (incl. 2 handicapped)
Building Level 4	64 spaces (incl. 2 handicapped)
Building Level 5	64 spaces (incl. 2 handicapped)
Building Level 6	64 spaces (incl. 2 handicapped)
Building Level 7	64 spaces (incl. 2 handicapped)
Building Level 8	64 spaces (incl. 2 handicapped)
Building Level 9	64 spaces (incl. 2 handicapped)
Building Level 10	64 spaces (incl. 2 handicapped)
Building Level 11	64 spaces
Total	568 spaces

100% value provided 568 spaces (incl. 14 handicapped)
Variance Required pursuant to application = 224 spaces

LOADING SPACES:

4650-4660	5 spaces
4661-4670	
Restaurant Lounge, less than 24,999 sq. ft.	
Pieces of Assembly, less than 40,000 sq. ft.	
TOTAL	64,999 sq. ft.
Total Required	1 space
Provided	6 spaces
(10' wide x 25' long x 14' clear)	6 spaces

VARIANCES REQUESTED:

- Maximum 1 in Size:
Requested 10 acres, provided 146 gross acres.
This variance is requested due to land availability constraints (variance of 6.34 acres)
- From Section 10 (see Property Map)
Requested 25' (see Property Map)
Provided 25'
1'-0" at Entrance Frontage Overlooking to provide land premise on street since building is on the North side of the street and the street is on the South side of the street.
21'-5" at Overlap North of Entrance Frontage

Rest. Services (Atlantic Blvd.)

- Requested parking spaces 992, provided 944 spaces (variance: 224 spaces) This is offset by 62 spaces that do not meet the requirements for access.

AREA BREAKDOWN:

Service Area	Area	Spaces
Hotel 1 (100% Value)	19,400 sq ft	311
Hotel 2 (100% Value)	4,204 sq ft	17
Hotel 3 (100% Value)	2,634 sq ft	0
Hotel 4 (100% Value)	7,304 sq ft	74
Hotel 5 (100% Value)	1,250 sq ft	25
Hotel 6 (100% Value)	318 sq ft	spaces
Hotel 7 (100% Value)	6,165 sq ft	22
Hotel 8 (100% Value)	61,650 sq ft	spaces
Hotel 9 (100% Value)	61,650 sq ft	spaces
Hotel 10 (100% Value)	61,650 sq ft	spaces
Hotel 11 (100% Value)	61,650 sq ft	spaces
Hotel 12 (100% Value)	61,650 sq ft	spaces
Hotel 13 (100% Value)	61,650 sq ft	spaces
Hotel 14 (100% Value)	61,650 sq ft	spaces
Hotel 15 (100% Value)	61,650 sq ft	spaces
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Hotel 20 (100% Value)	61,650 sq ft	spaces
Hotel 21 (100% Value)	61,650 sq ft	spaces
Hotel 22 (100% Value)	61,650 sq ft	spaces
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Hotel 57 (100% Value)	61,650 sq ft	spaces
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Hotel 62 (100% Value)	61,650 sq ft	spaces
Hotel 63 (100% Value)	61,650 sq ft	spaces
Hotel 64 (100% Value)	61,650 sq ft	spaces
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Hotel 71 (100% Value)	61,650 sq ft	spaces
Hotel 72 (100% Value)	61,650 sq ft	spaces
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Hotel 74 (100% Value)	61,650 sq ft	spaces
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Hotel 97 (100% Value)	61,650 sq ft	spaces
Hotel 98 (100% Value)	61,650 sq ft	spaces
Hotel 99 (100% Value)	61,650 sq ft	spaces
Hotel 100 (100% Value)	61,650 sq ft	spaces

ROOMS SCHEDULE:

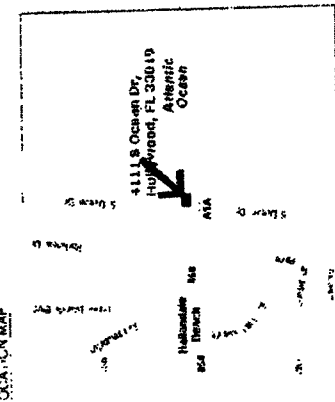
Room	Room #	Room Size	Room Type	Room Count
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3	3	1000 sq ft	Single	1
4	4	1000 sq ft	Single	1
5	5	1000 sq ft	Single	1
6	6	1000 sq ft	Single	1
7	7	1000 sq ft	Single	1
8	8	1000 sq ft	Single	1
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31	31	1000 sq ft	Single	1
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34	34	1000 sq ft	Single	1
35	35	1000 sq ft	Single	1
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41	41	1000 sq ft	Single	1
42	42	1000 sq ft	Single	1
43	43	1000 sq ft	Single	1
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96	96	1000 sq ft	Single	1
97	97	1000 sq ft	Single	1
98	98	1000 sq ft	Single	1
99	99	1000 sq ft	Single	1
100	100	1000 sq ft	Single	1

CHANGES TO BE COMPLETED WITH APPROVED PERMITS

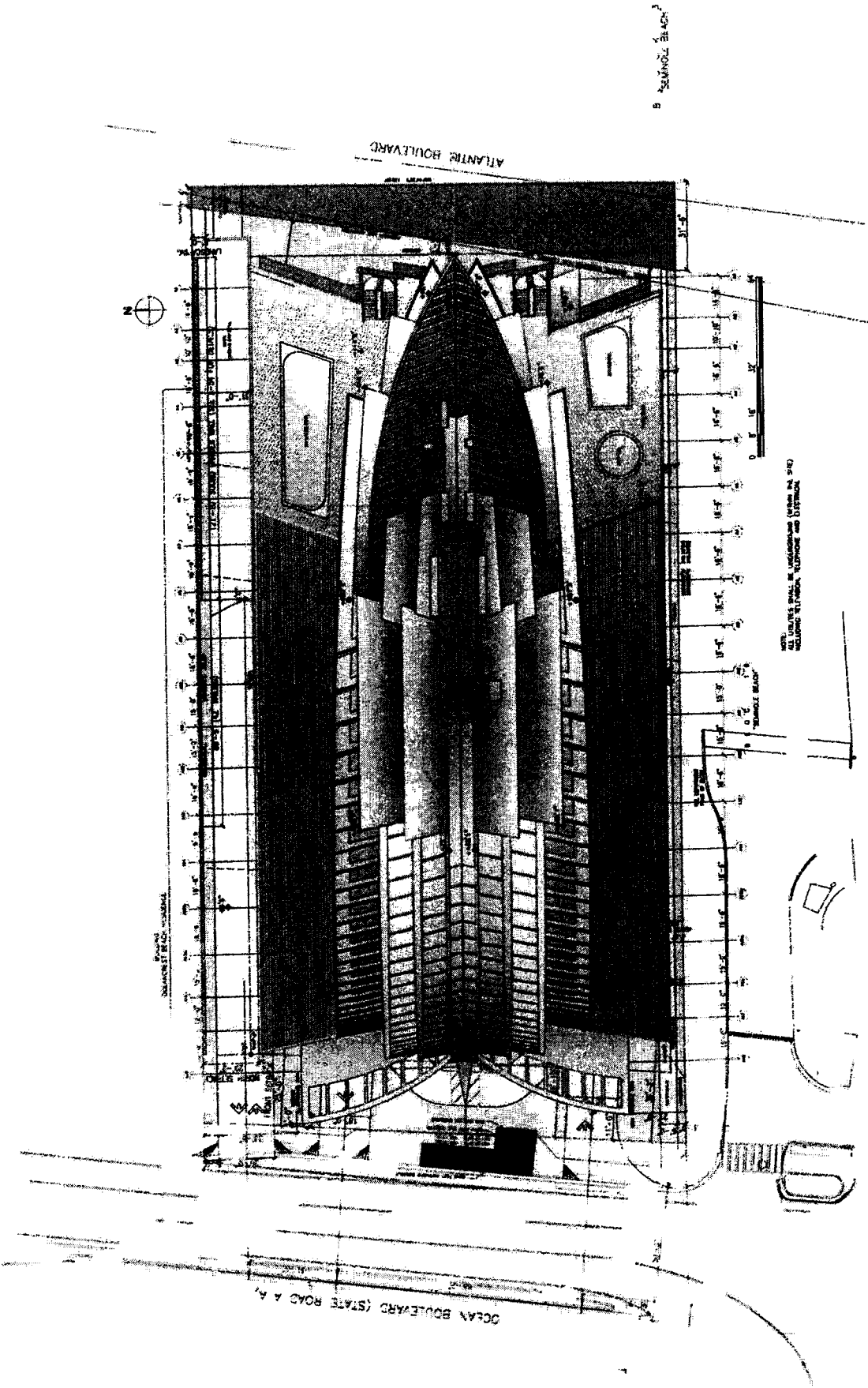
LIST OF DRAWINGS:

1. SITE PLAN	2. FLOOR PLAN
3. SECTION	4. ELEVATION
5. EXTERIOR ELEVATION	6. INTERIOR ELEVATION
7. MECHANICAL	8. ELECTRICAL
9. PLUMBING	10. PAINT
11. FURNITURE	12. LANDSCAPE
13. SIGNAGE	14. OTHER
15. ...	16. ...
17. ...	18. ...
19. ...	20. ...
21. ...	22. ...
23. ...	24. ...
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37. ...	38. ...
39. ...	40. ...
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47. ...	48. ...
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97. ...	98. ...
99. ...	100. ...

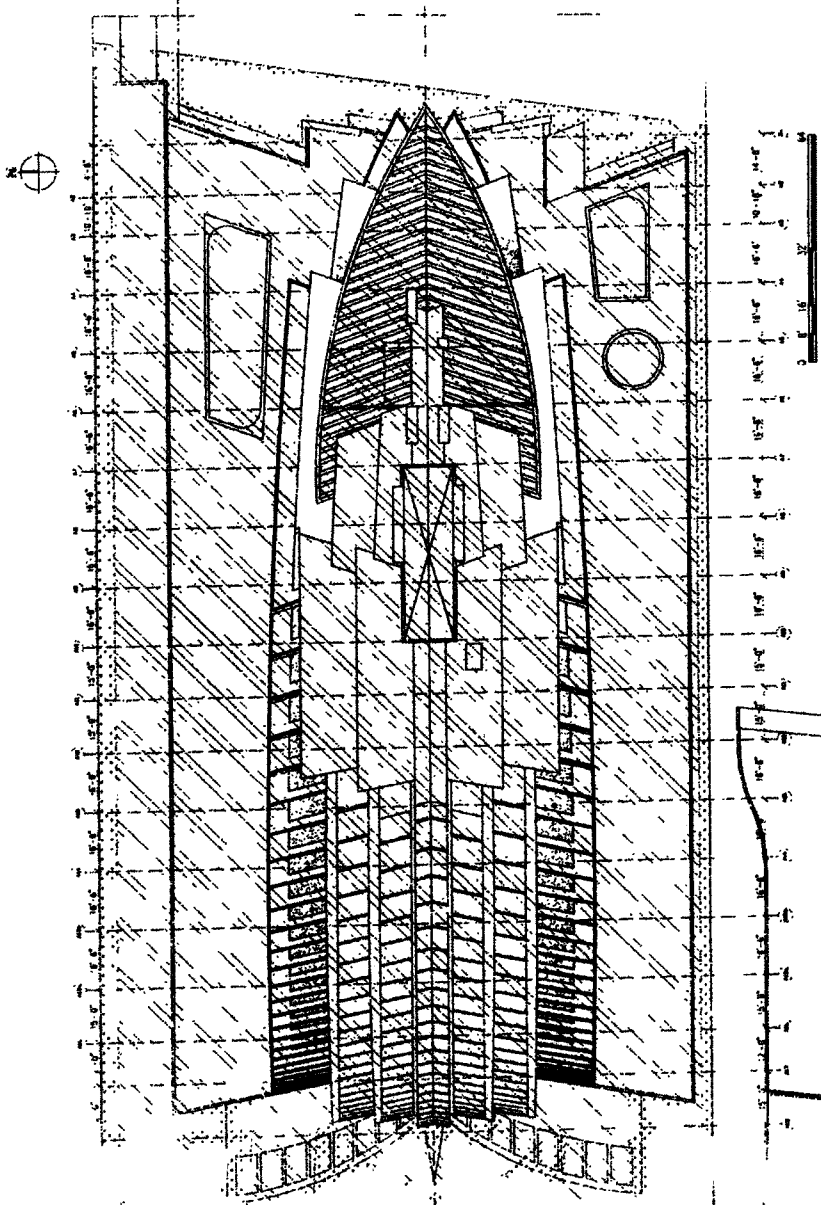
LOCATION MAP



4111 S Ocean Dr
Hollywood, FL 33019
Atlantic Ocean
Hollywood Beach



PLANNING SCALE 1" = 10'



100%

1,255.7 AC. (54,888.29 s.f.)

NET LOT AREA:

87.84%

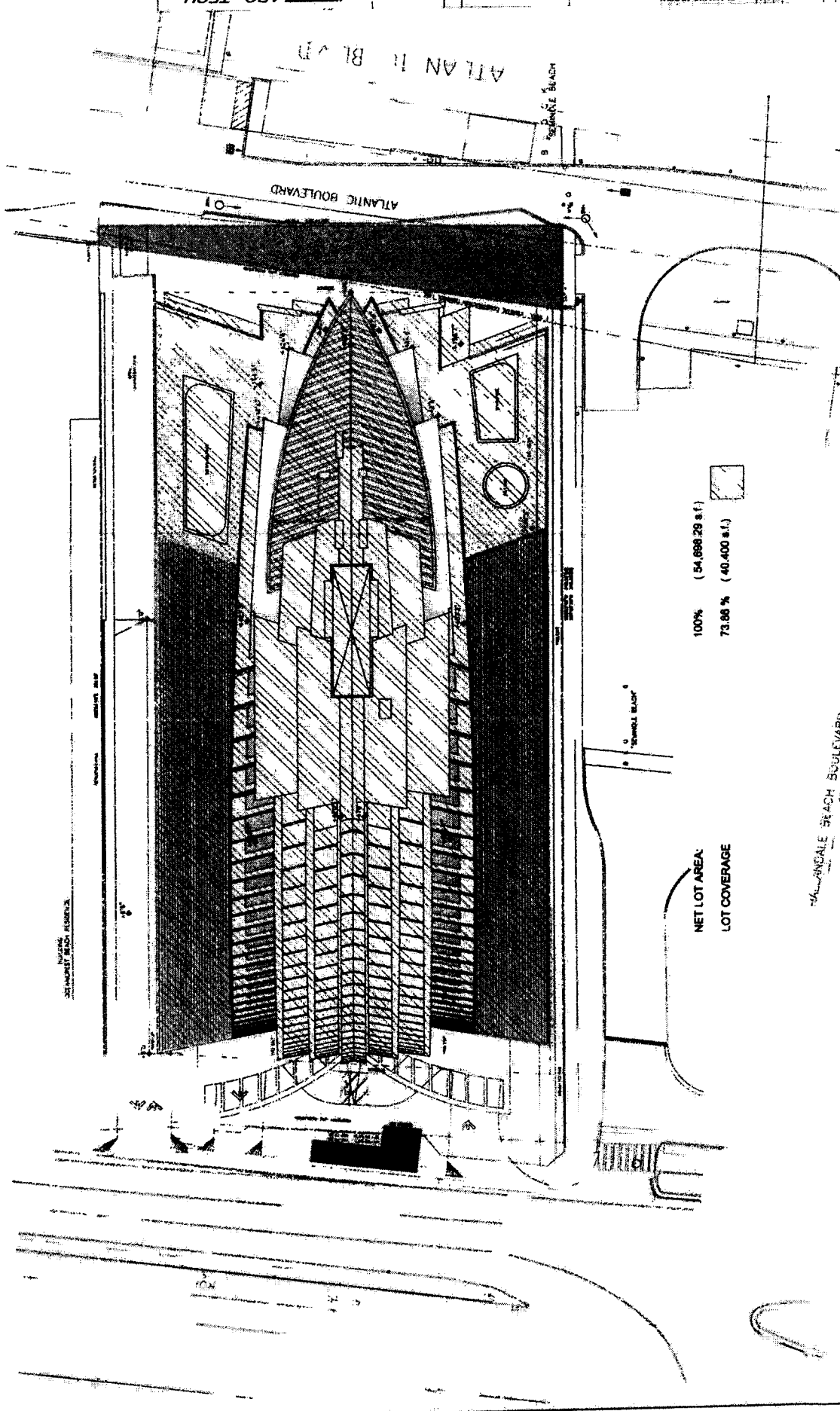
48,049.6 s.f.

IMPERVIOUS AREA
(BUILDING AND PAVED AREAS):

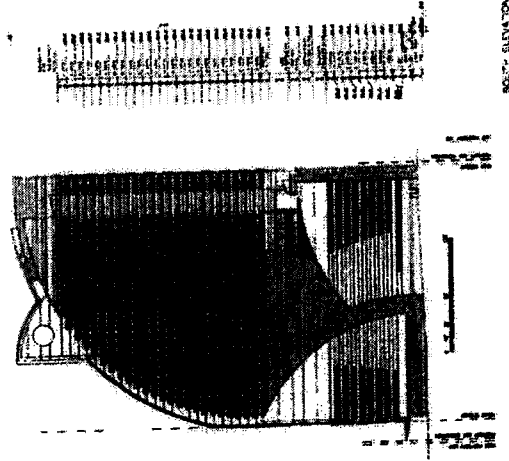
12.16%

6,848.69 s.f.

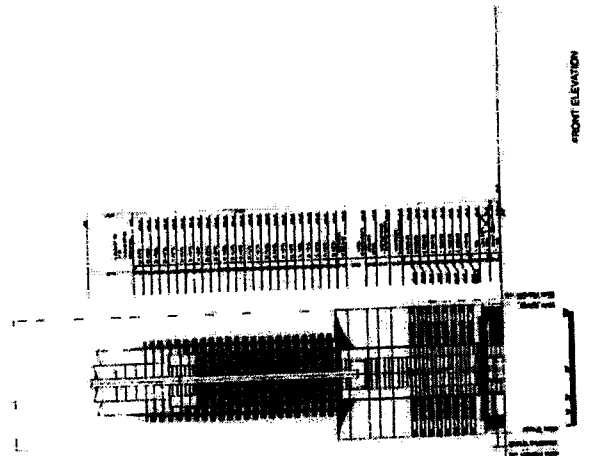
PERVIOUS AREA (LANDSCAPE):



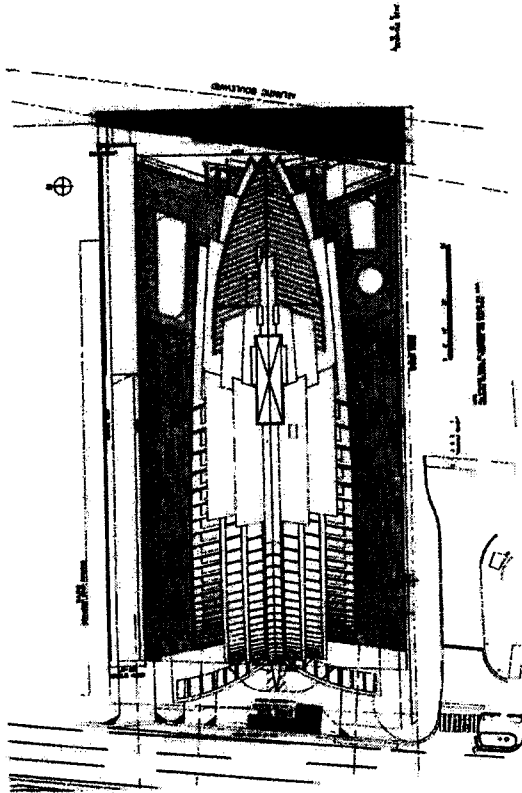
SOUTH ELEVATION



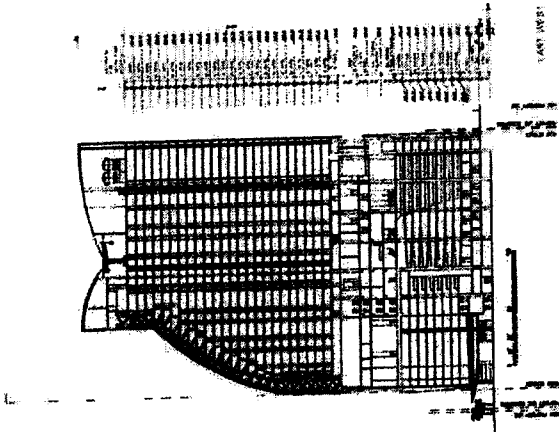
FRONT ELEVATION

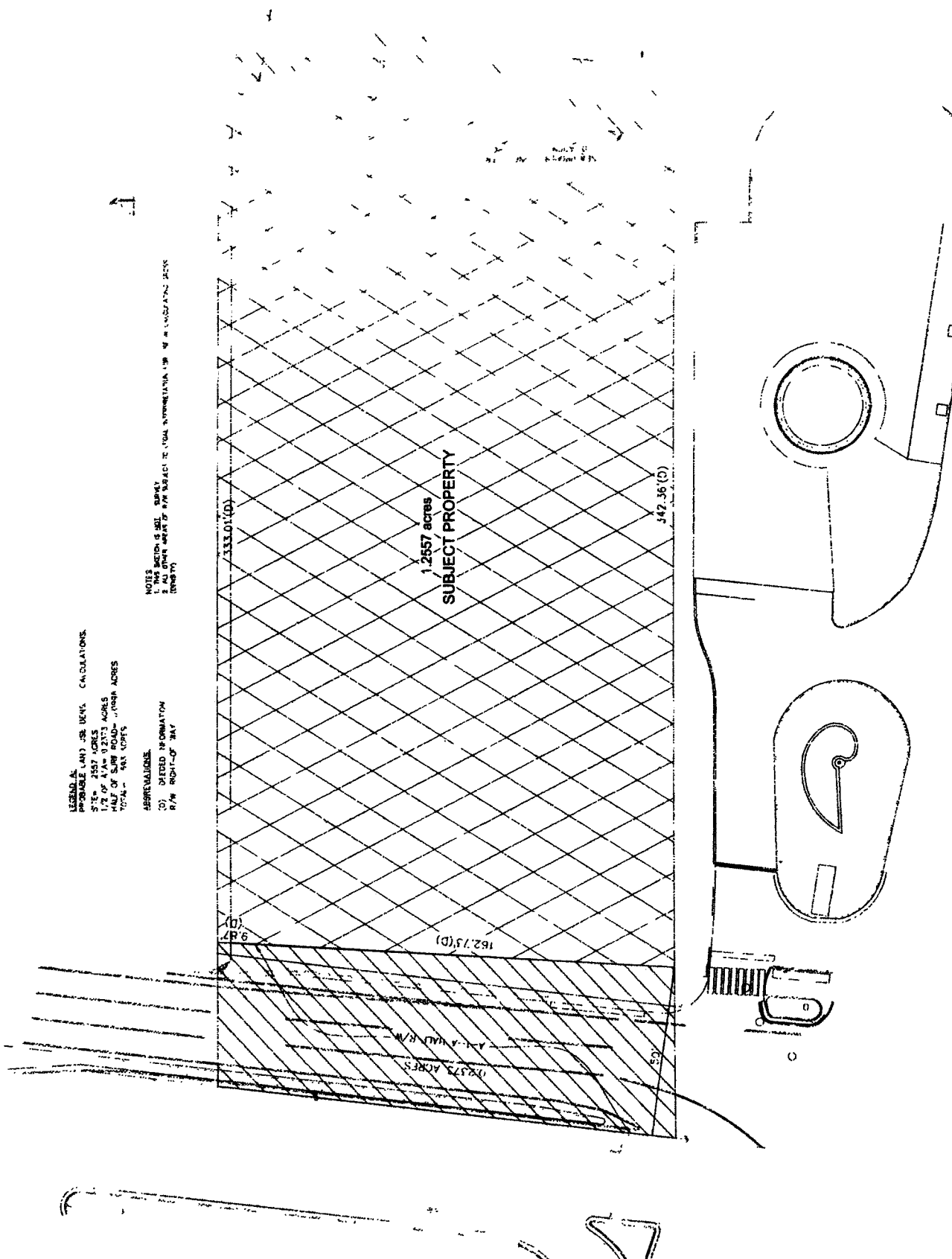


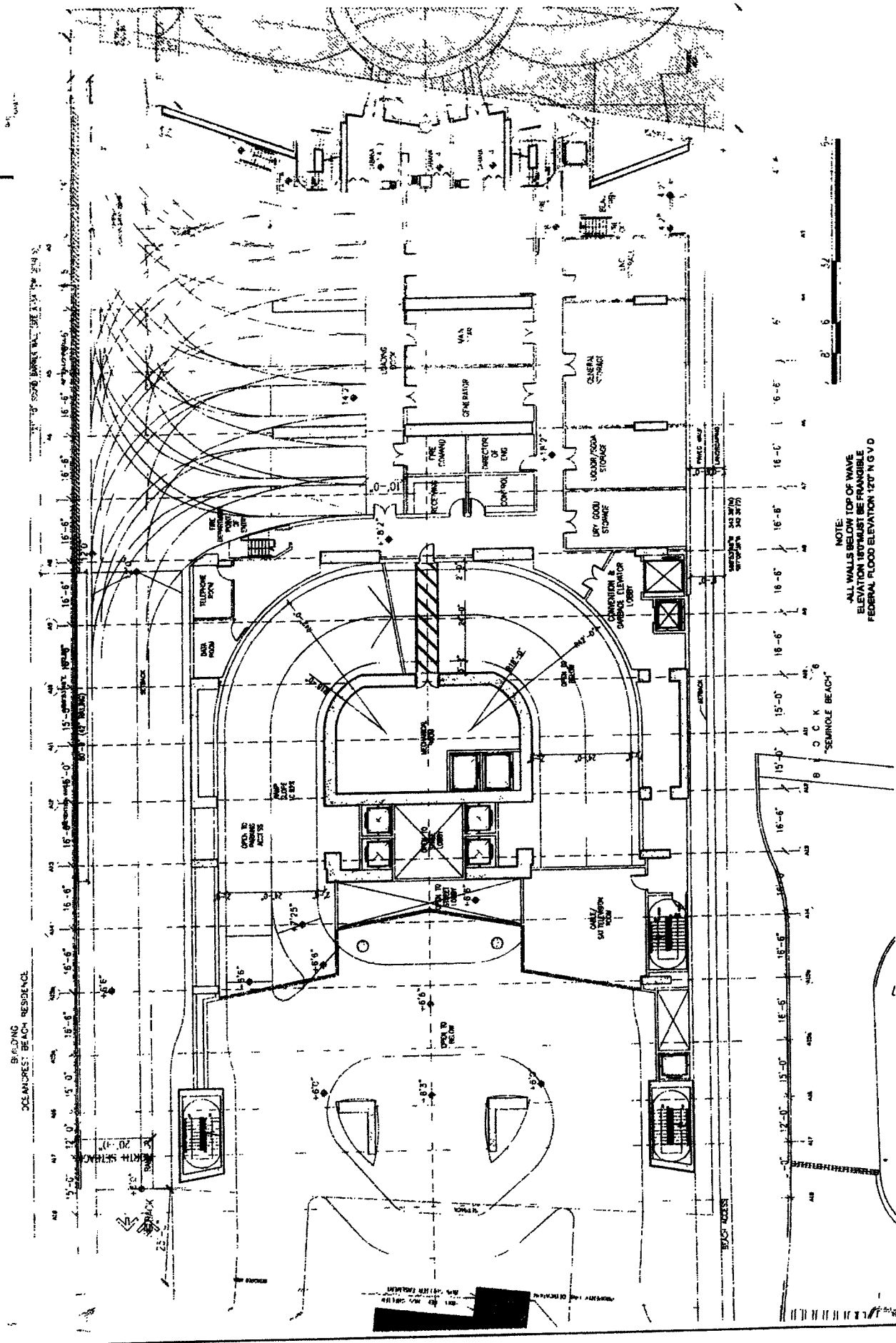
SITE PLAN



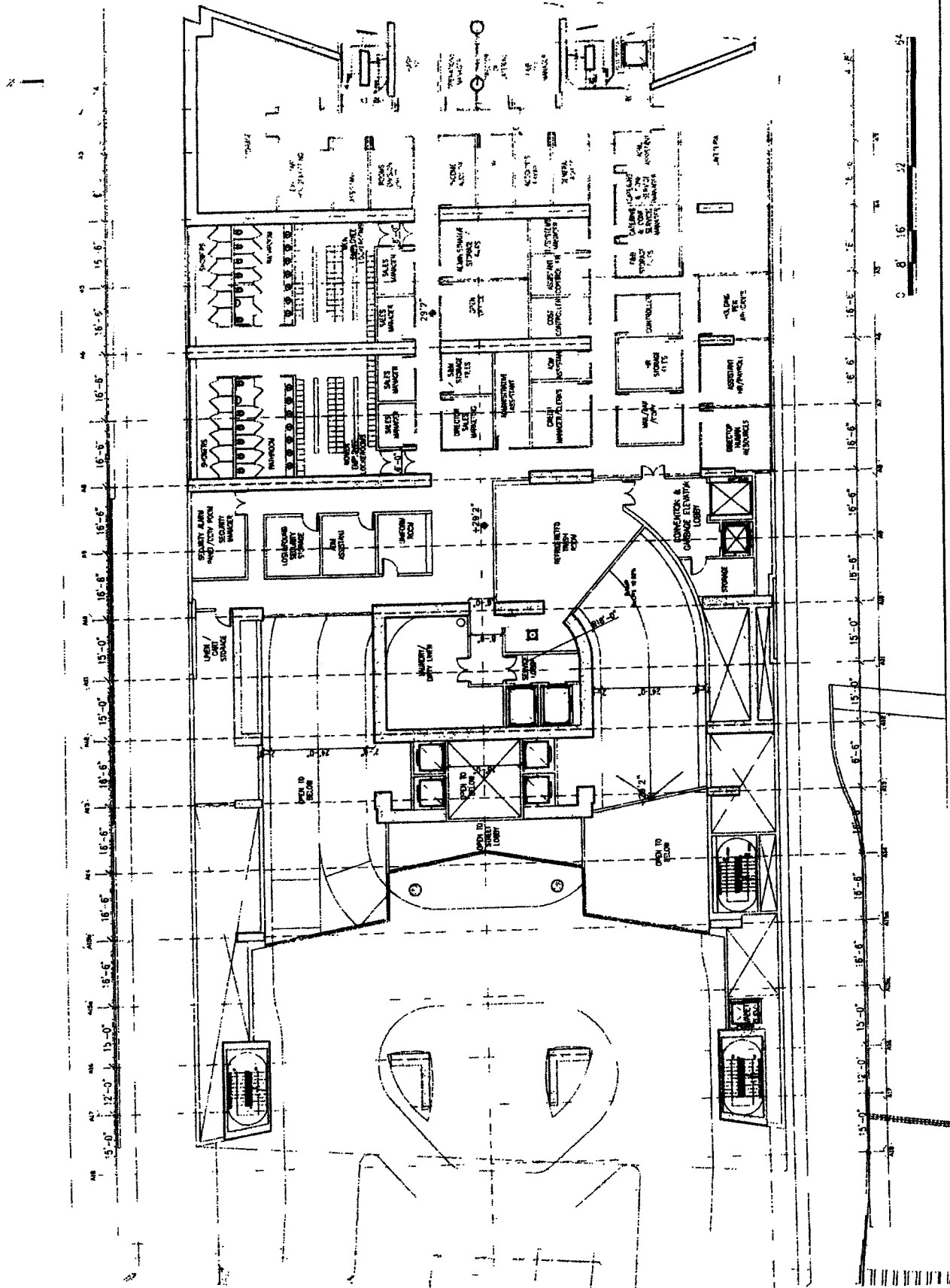
EAST ELEVATION



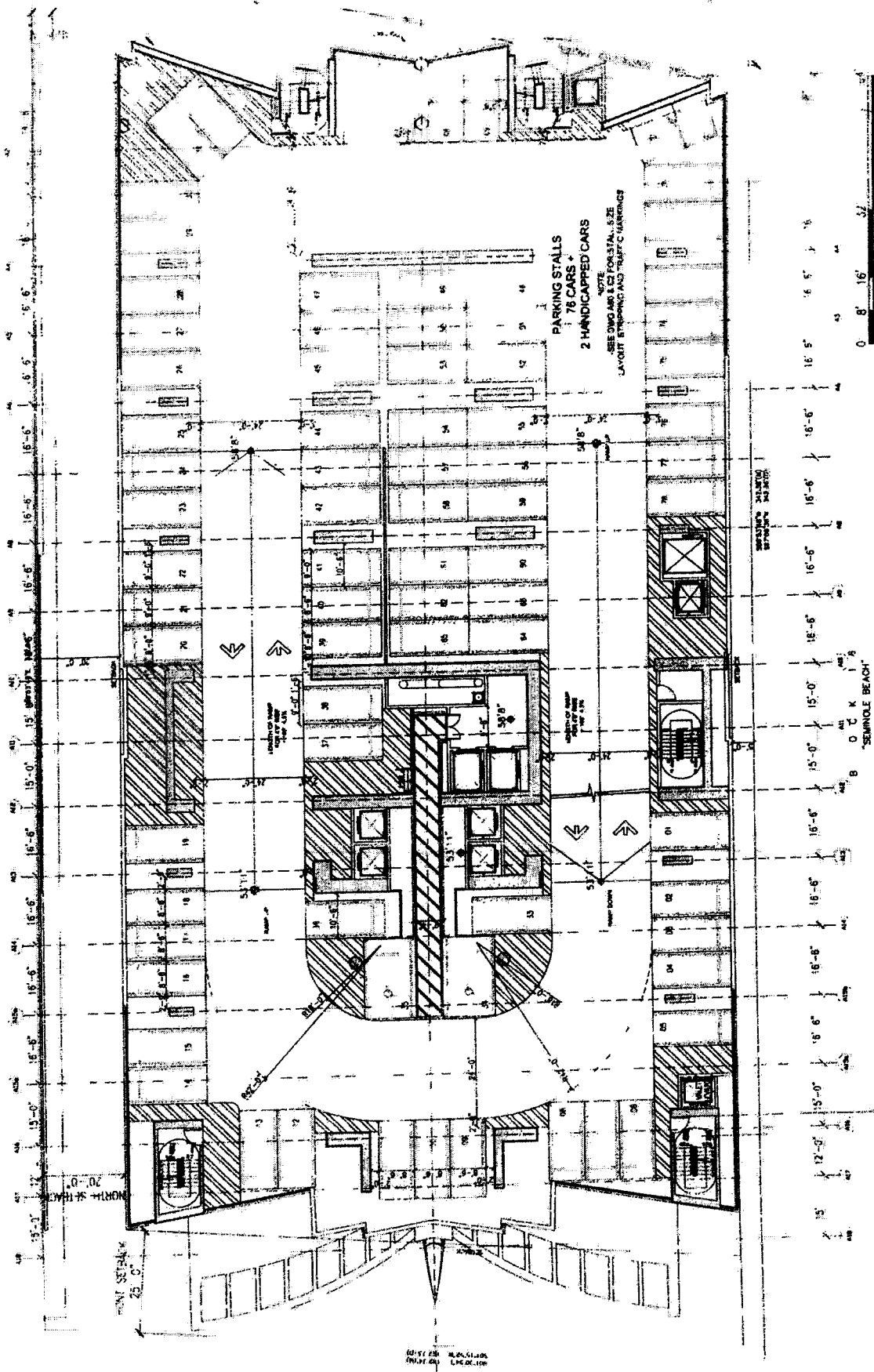




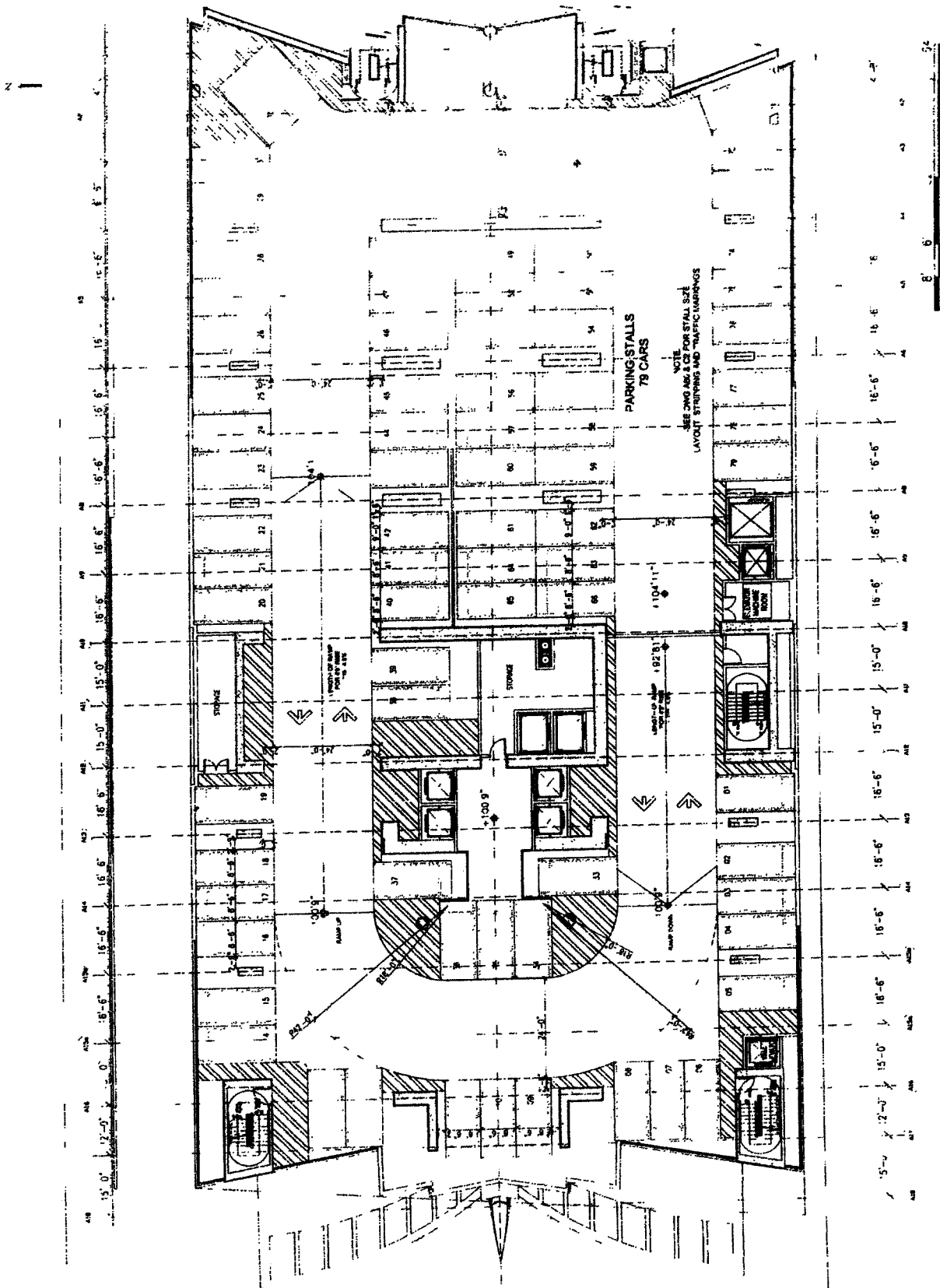
NOTE:
ALL WALLS BELOW TOP OF WAVE
ELEVATION 10' MUST BE FRANGIBLE
FEDERAL FLOOD ELEVATION 12'0" N.G.D.

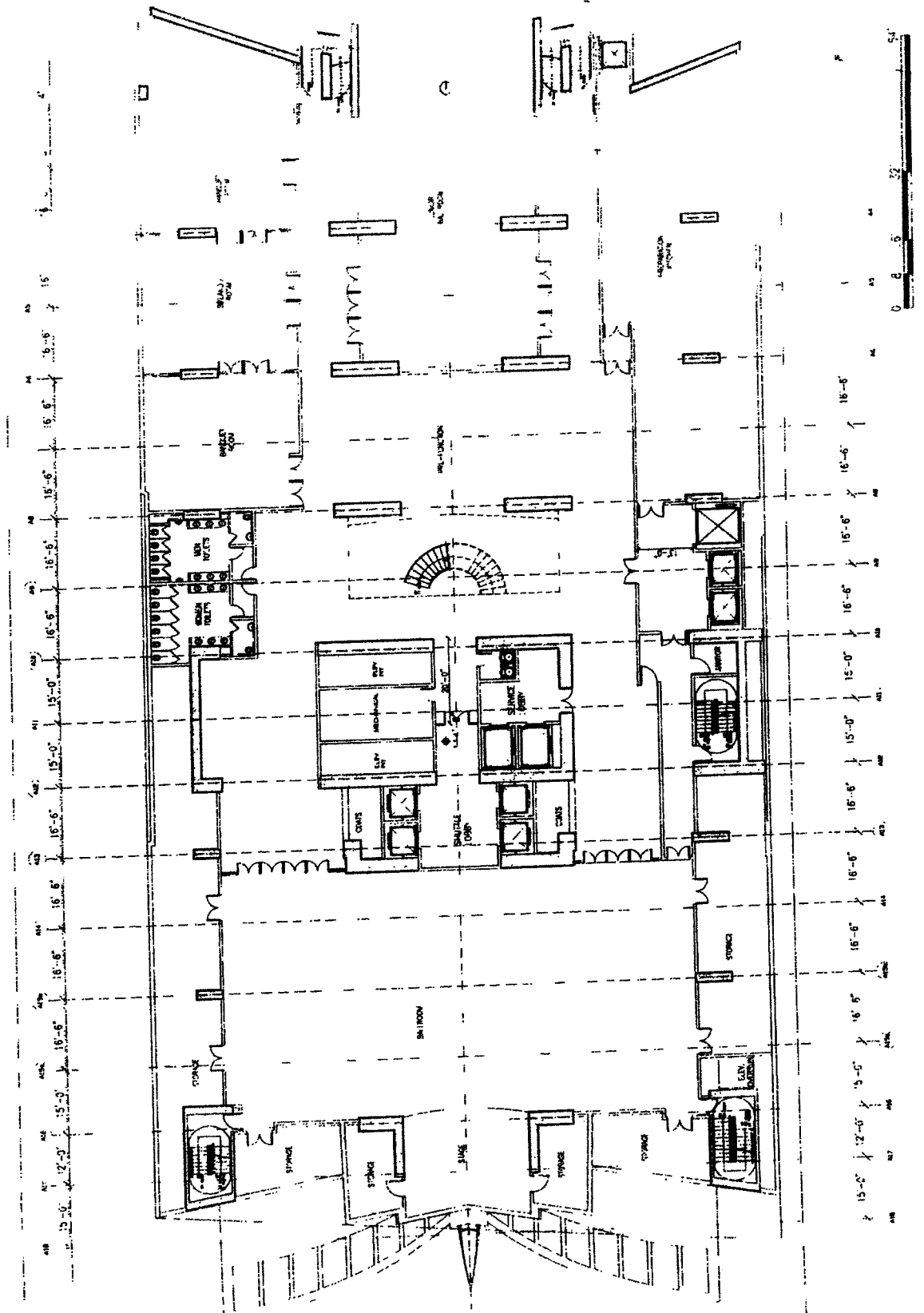


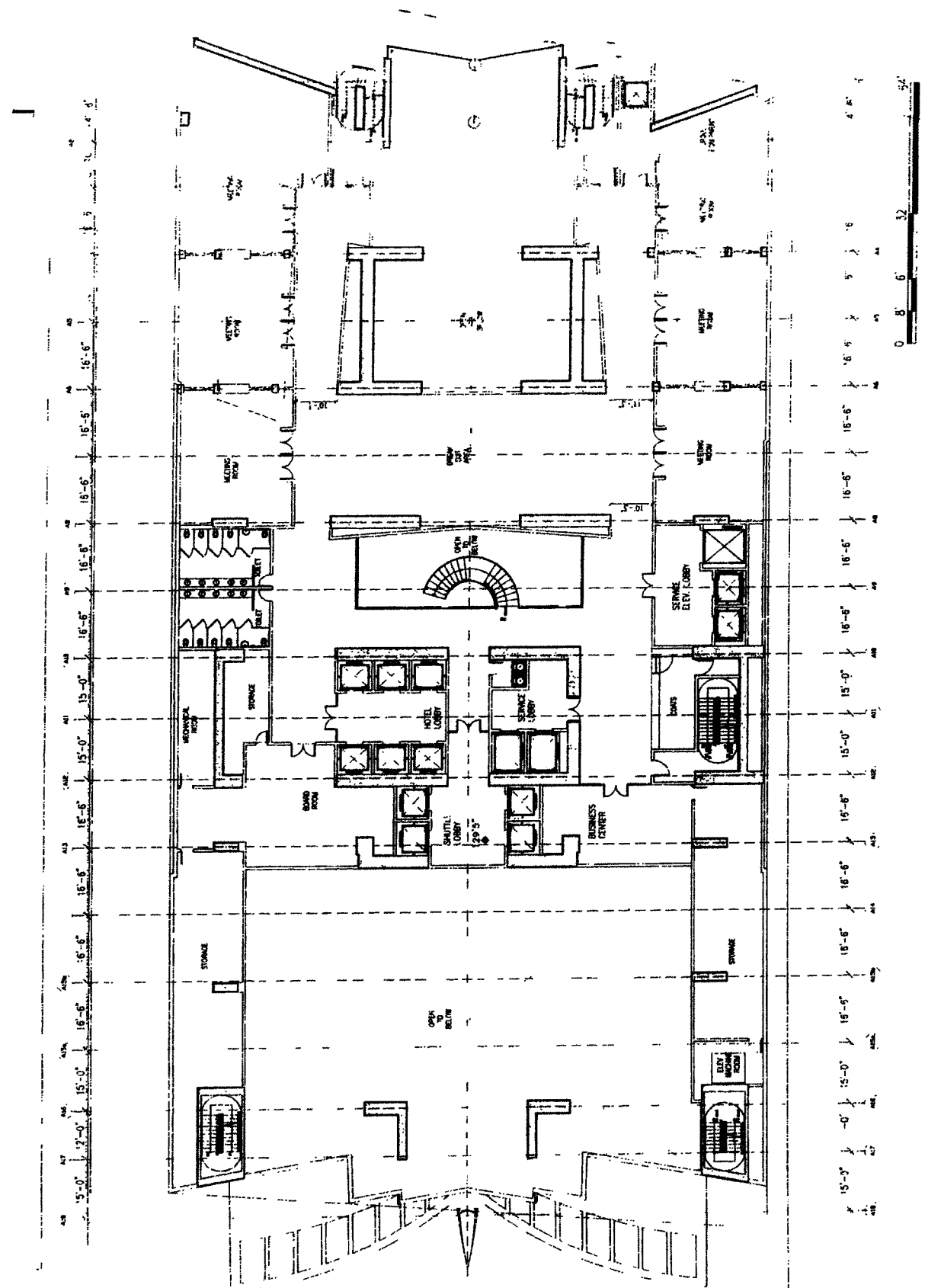


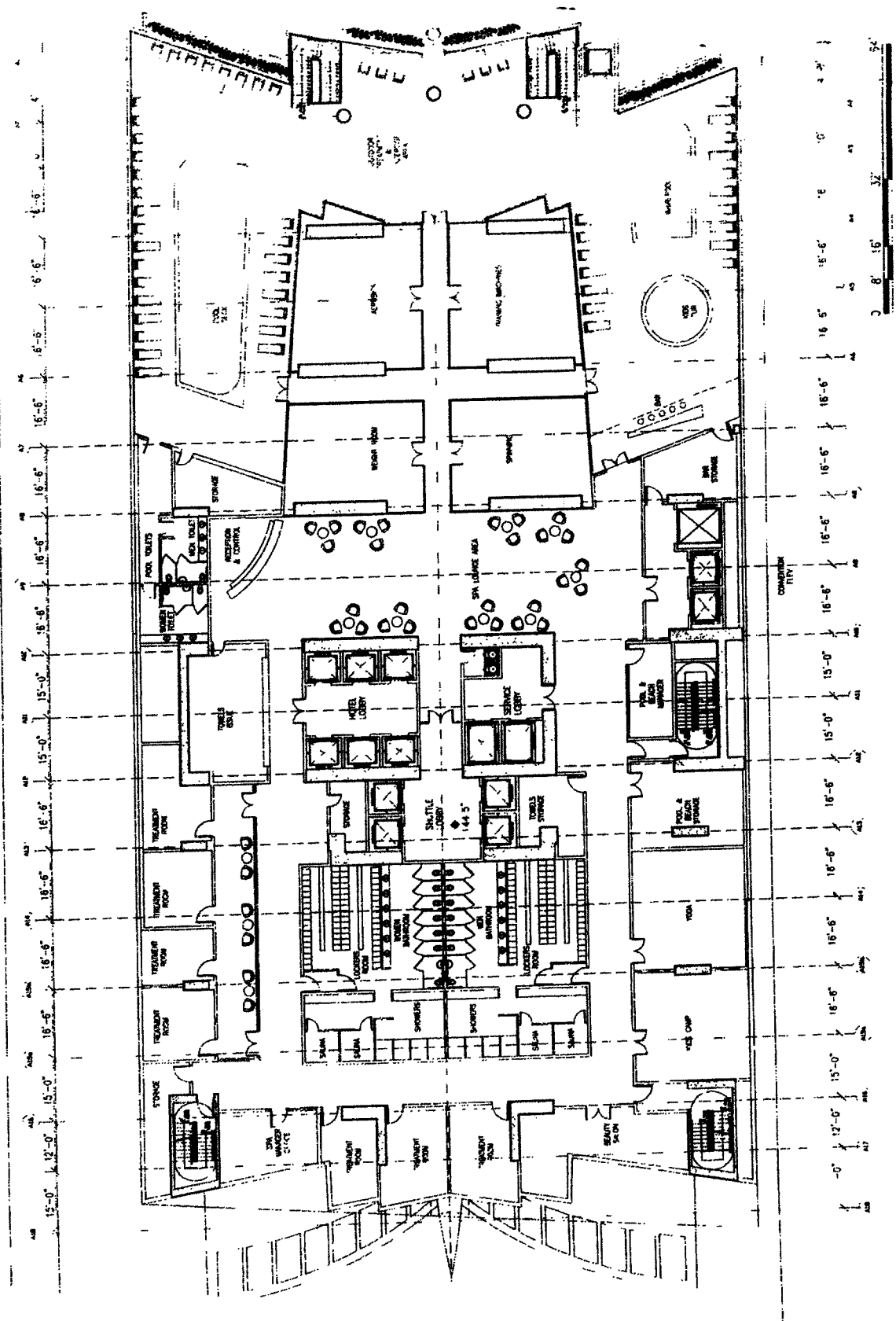
BUILDING
JOCEANCREST BEACH RESIDENCE



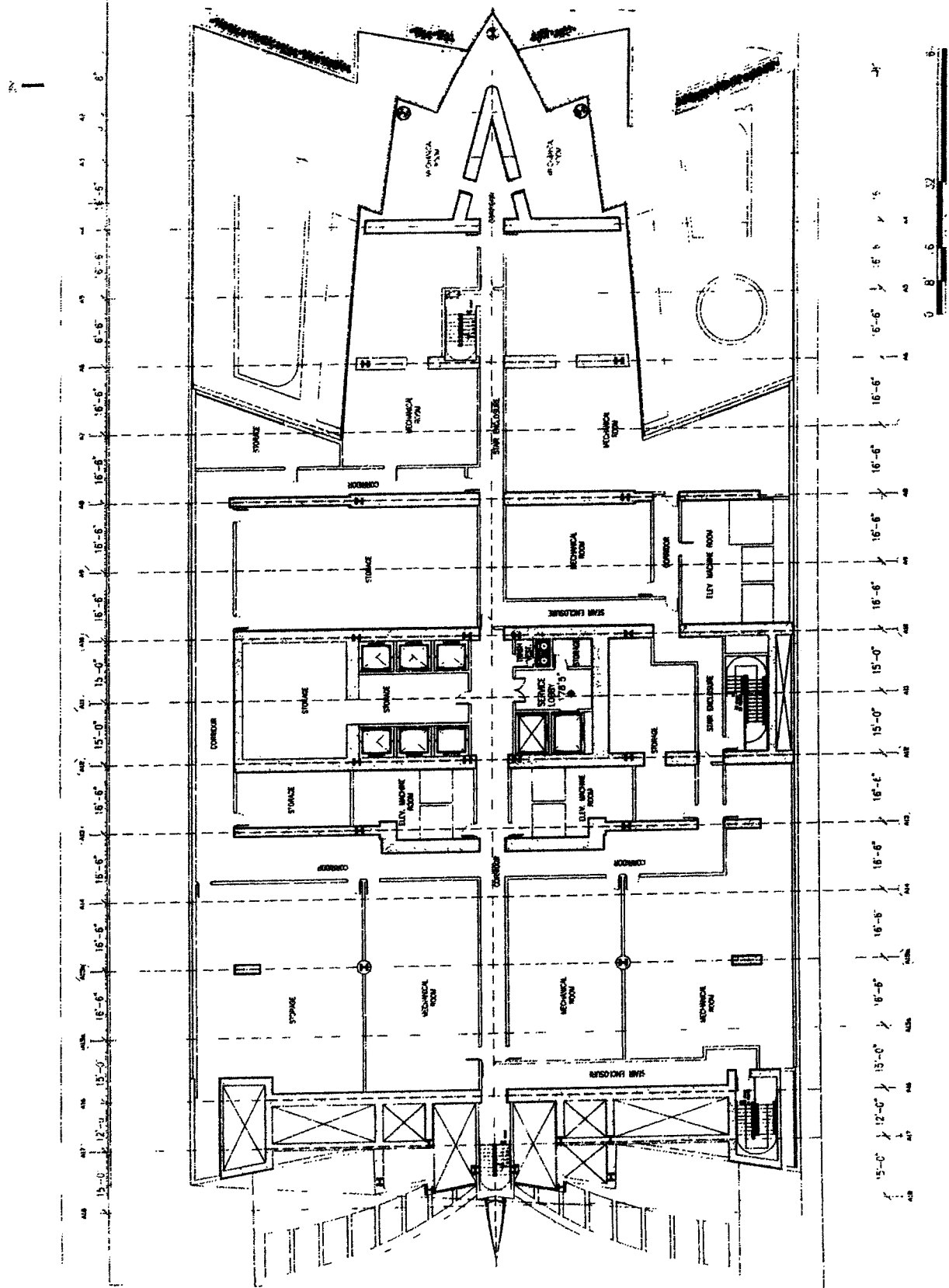












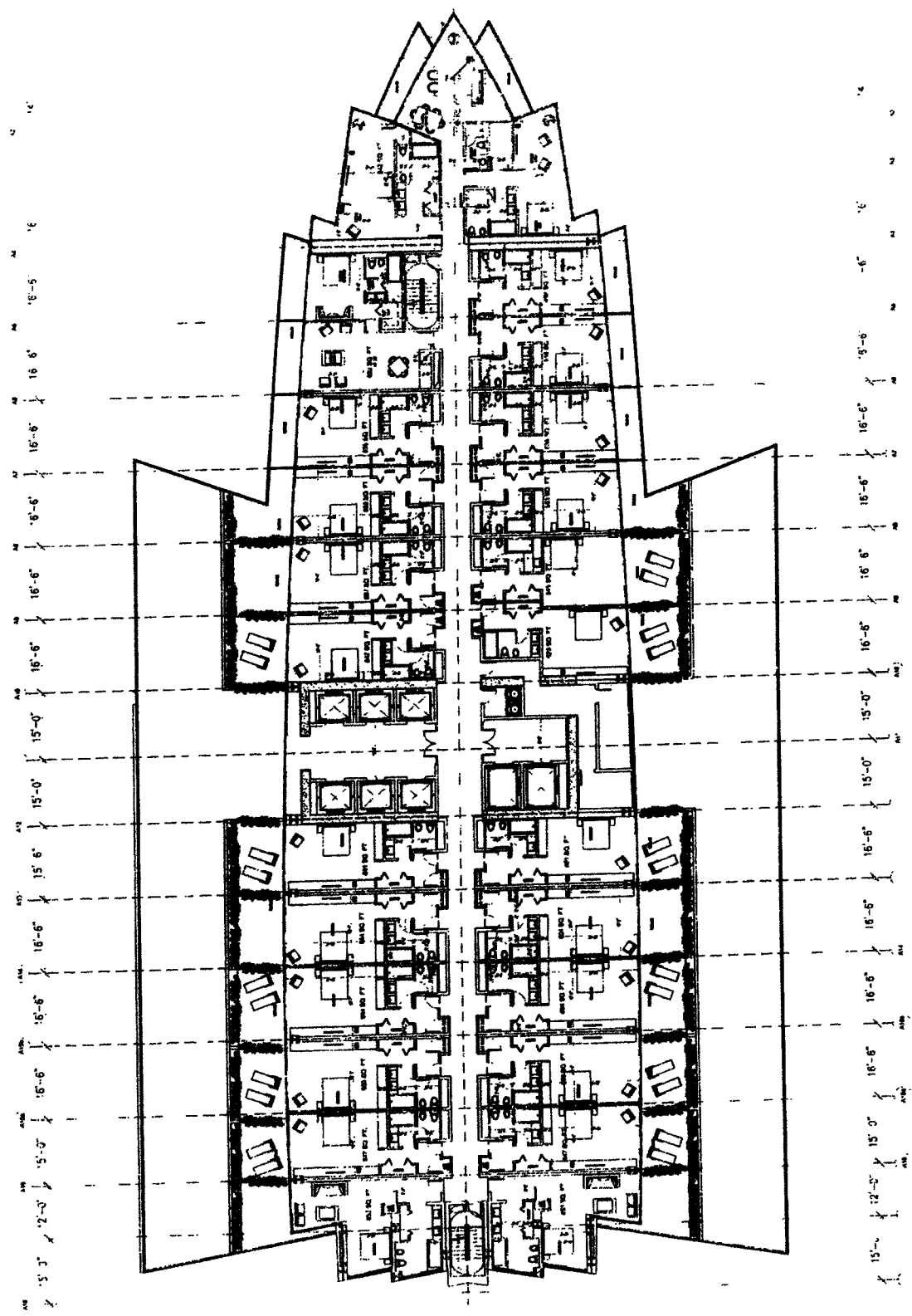


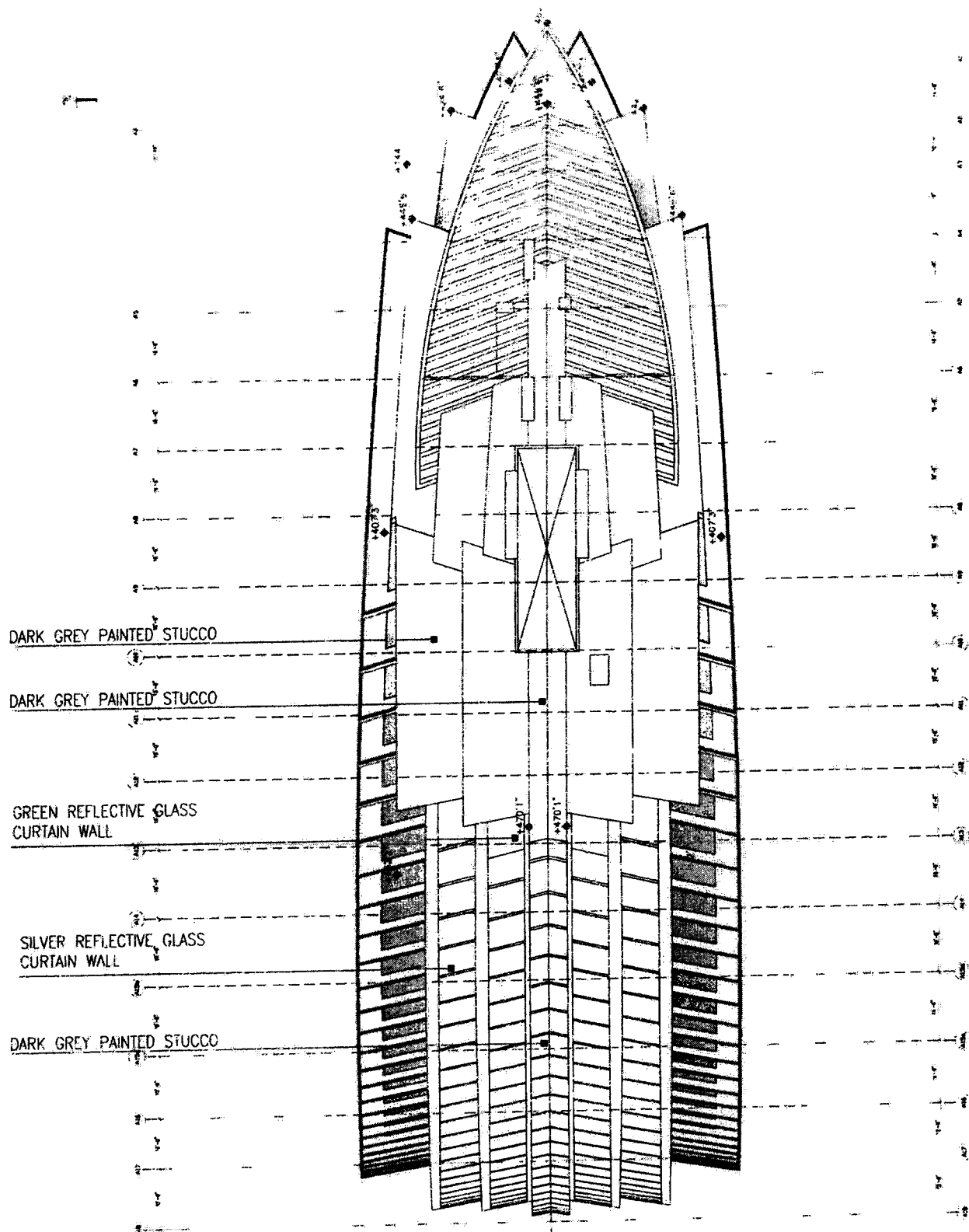
CONDO HOTEL PLANS
 IN A 11' 10" BY 11' 10"

ARC TECH
 ASSOCIATES
 INCORPORATED
 1000 10th St.
 Suite 100
 San Francisco, CA 94103
 Tel: 415.774.1000
 Fax: 415.774.1001
 Email: info@arctech.com

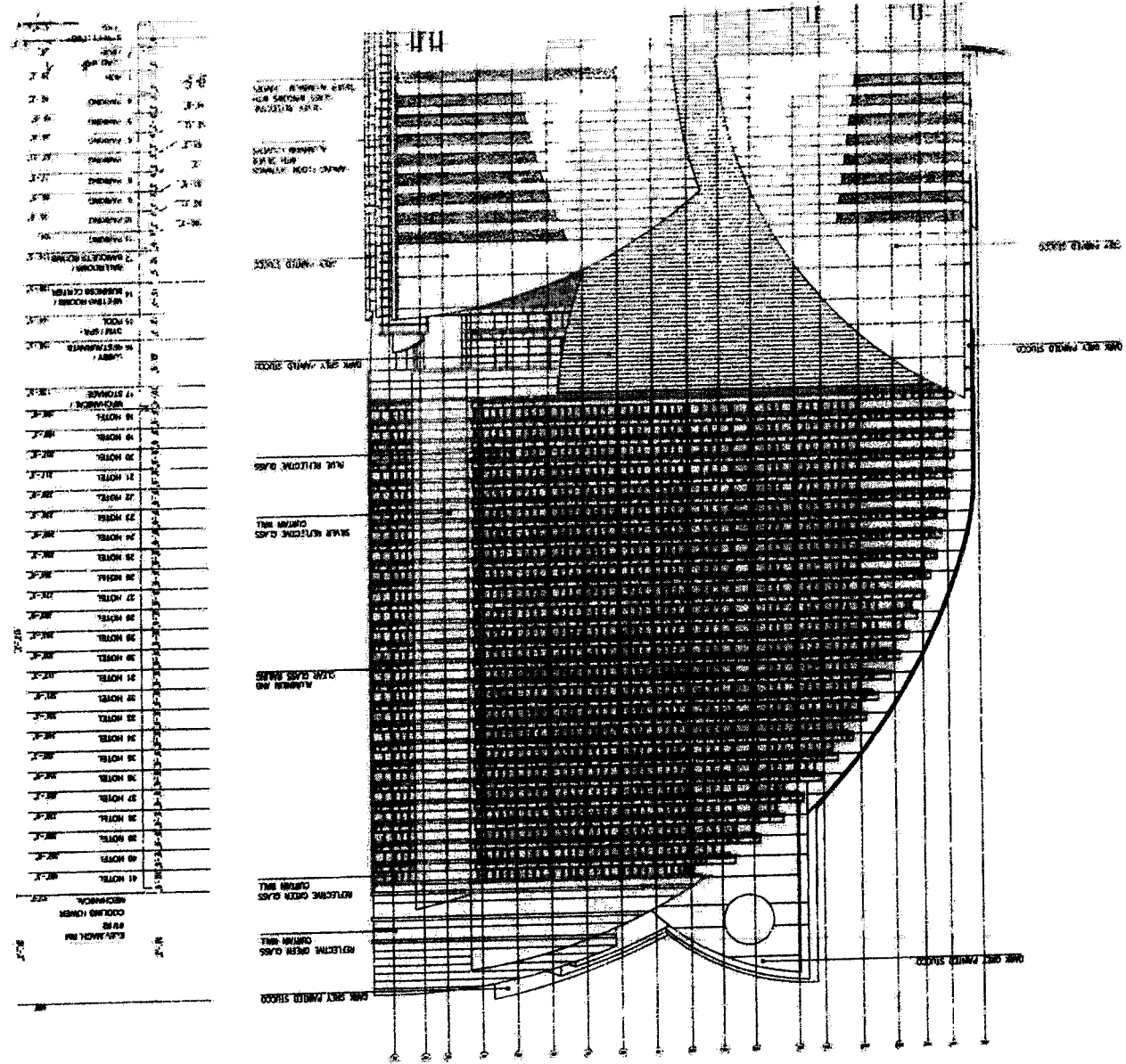
CARLOS A. OIT
 ARCHITECT
 1100 10th St.
 Suite 100
 San Francisco, CA 94103
 Tel: 415.774.1000
 Fax: 415.774.1001
 Email: info@arctech.com

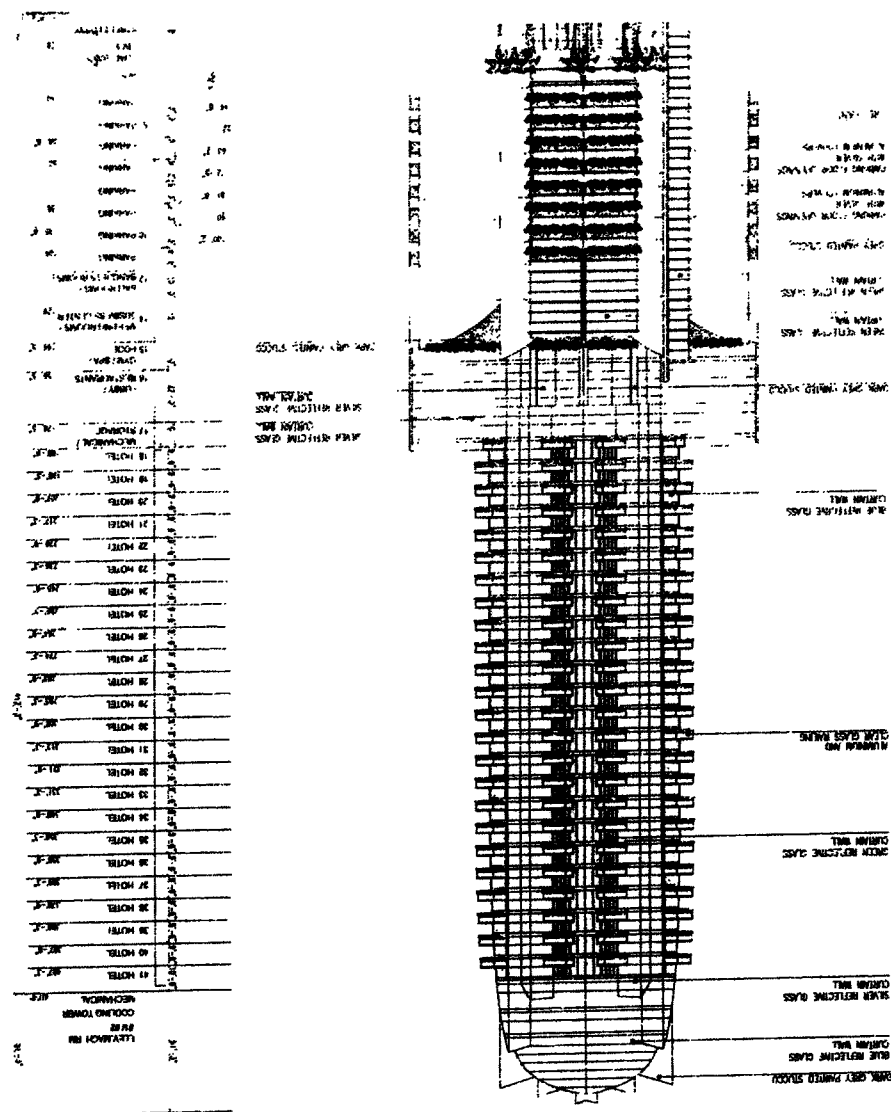
1

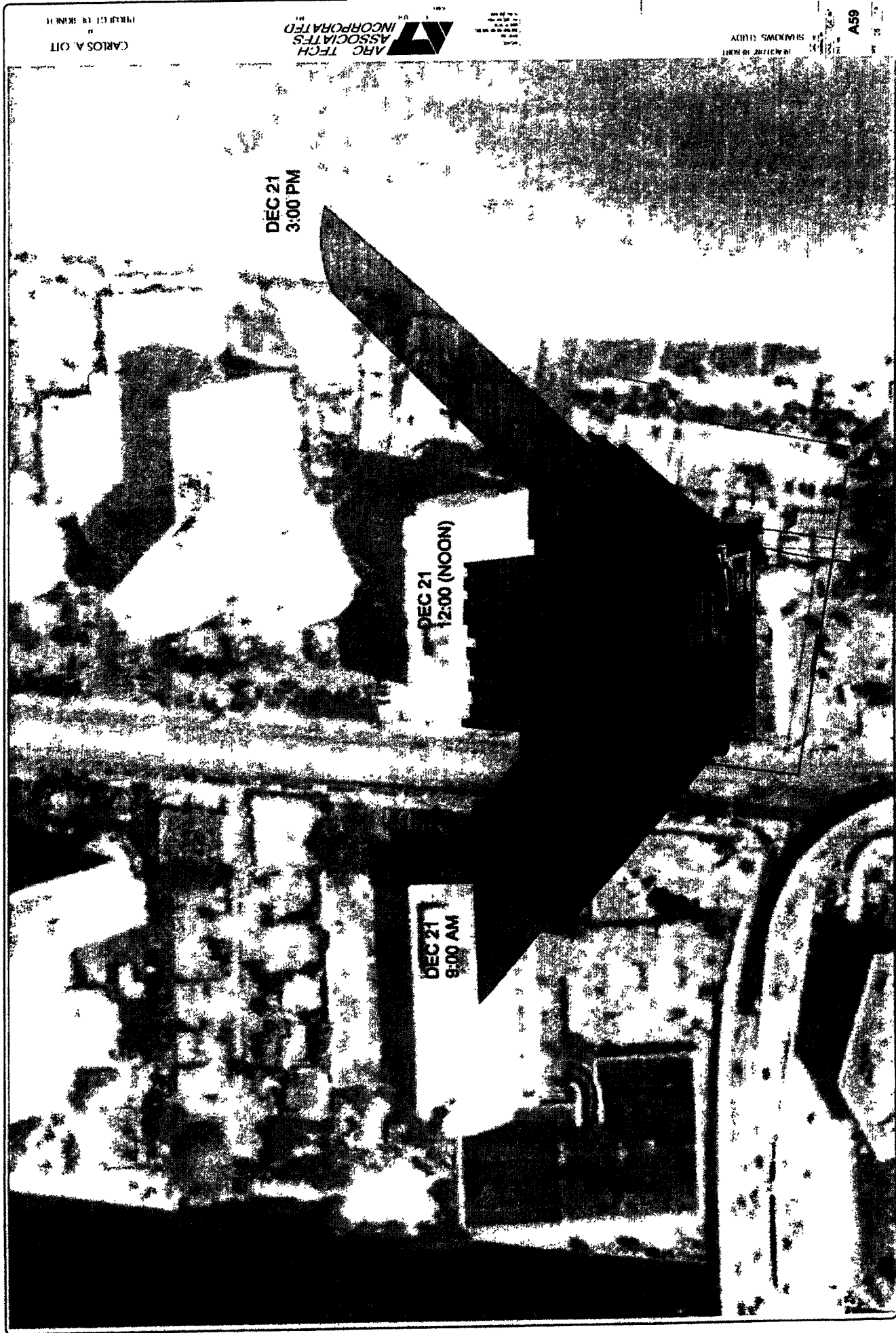




[illegible]





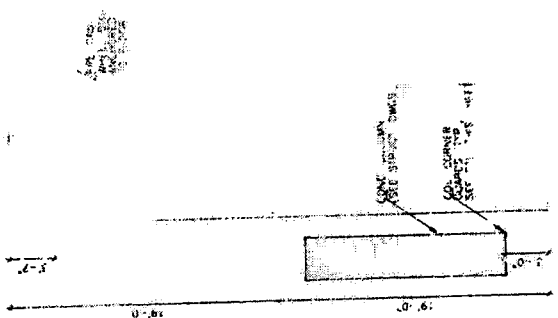


CARLOS A. OIT
PHOTO BY KIM

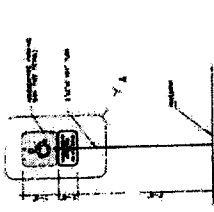
AAC TECH
ASSOCIATES
INCORPORATED

SHADOWS STUDY
DATE: 12/21/01

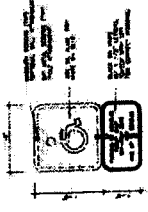
A59



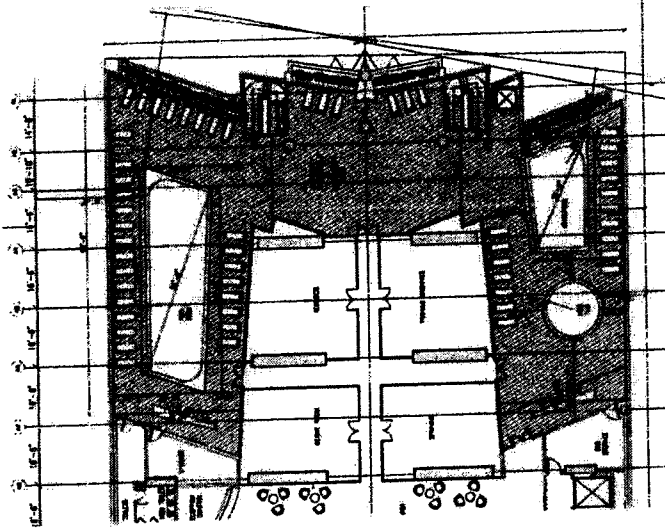
TYPICAL TANDEM PARKING STALL DETAIL



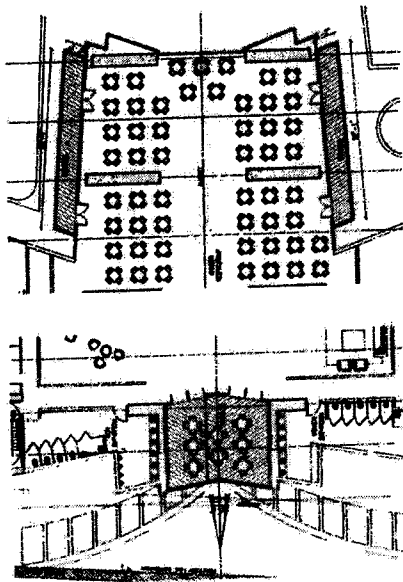
**TYPICAL A.D.A.
PARKING SIGN DETAIL**



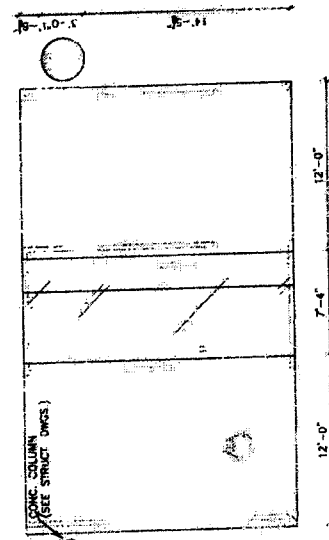
TYPICAL LOADING SCHEDULE



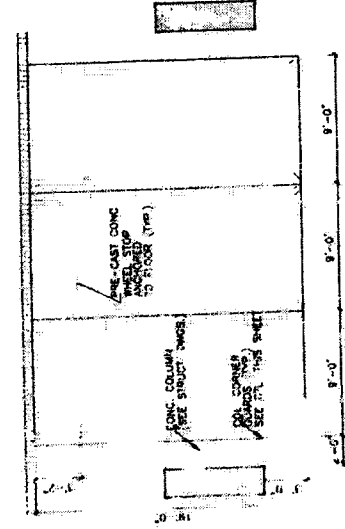
DECK AT GYM LEVEL
SCALE: 1/8" = 1'-0"
ELEVATION: 114.05'



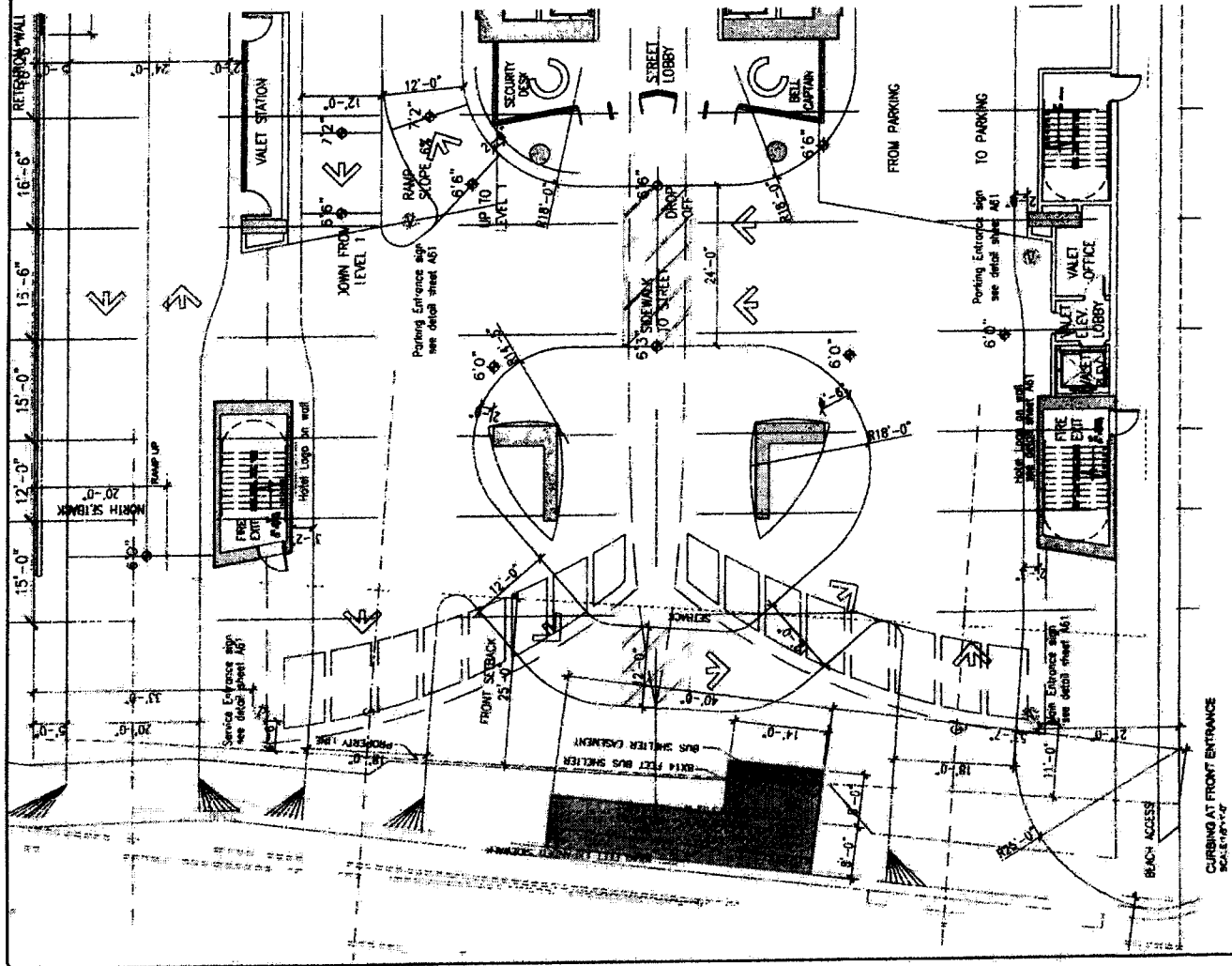
DECK AT LOBBY LEVEL
SCALE 1/8" = 1'-0"



TYPICAL ADA PARKING STALL DETAIL

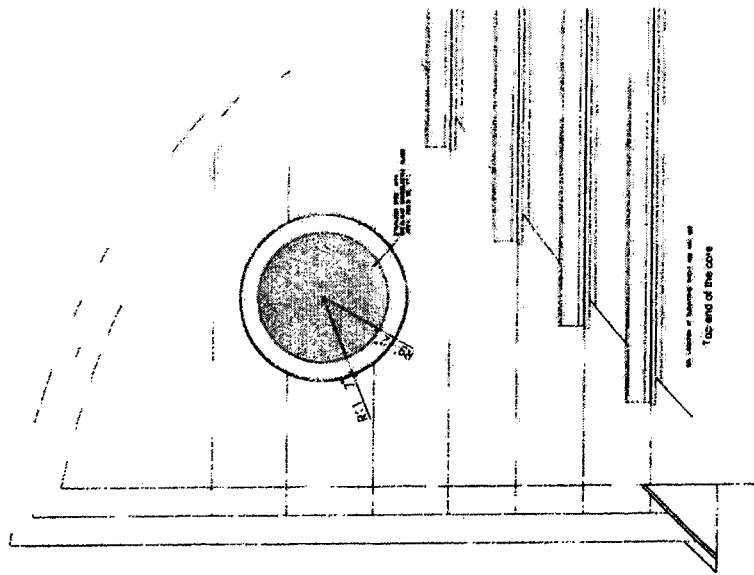


TYPICAL STANDARD PARKING STALL DETAIL

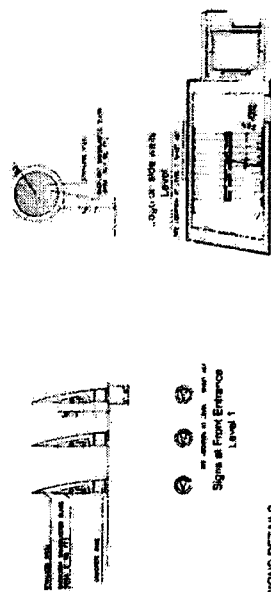


CURBING AT FRONT ENTRANCE
SCALE: 1/8" = 1'-0"

TOP LOGO
SCALE: 1/8" = 1'-0"



SIGNS DETAIL 8
SCALE: 1/8" = 1'-0"



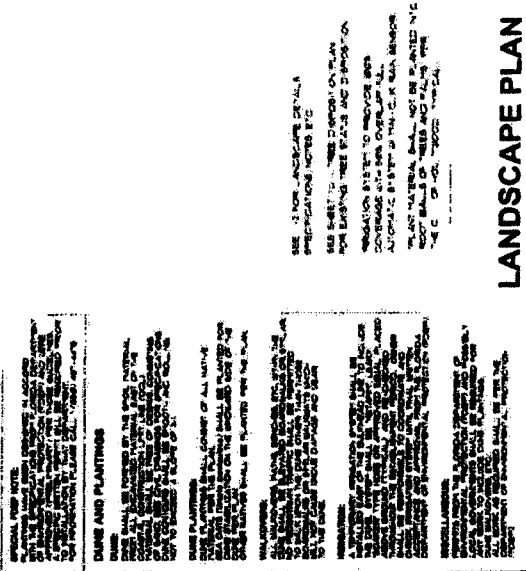
CARLOS A. OTI
ARCHITECT

ARC TECH
INCORPORATED
ARCHITECT

ARC TECH
INCORPORATED
ARCHITECT

A61

NO.	NAME	AGE	SEX	DATE	TIME	PLACE	REMARKS
1	John Smith	25	M	1910	10:30	St. Paul	Arrived
2	Mary Jones	22	F	1910	11:00	St. Paul	Arrived
3	Robert Brown	28	M	1910	11:30	St. Paul	Arrived
4	Elizabeth White	20	F	1910	12:00	St. Paul	Arrived
5	William Black	30	M	1910	12:30	St. Paul	Arrived
6	Anna Green	18	F	1910	13:00	St. Paul	Arrived
7	Thomas Grey	24	M	1910	13:30	St. Paul	Arrived
8	Sarah Hall	21	F	1910	14:00	St. Paul	Arrived
9	James King	26	M	1910	14:30	St. Paul	Arrived
10	Emily Lee	19	F	1910	15:00	St. Paul	Arrived
11	Charles Miller	23	M	1910	15:30	St. Paul	Arrived
12	Frances Moore	27	F	1910	16:00	St. Paul	Arrived
13	George Parker	29	M	1910	16:30	St. Paul	Arrived
14	Julia Quinn	24	F	1910	17:00	St. Paul	Arrived
15	Edward Reed	31	M	1910	17:30	St. Paul	Arrived
16	Margaret Scott	20	F	1910	18:00	St. Paul	Arrived
17	Frank Taylor	25	M	1910	18:30	St. Paul	Arrived
18	Elizabeth Turner	22	F	1910	19:00	St. Paul	Arrived
19	William Walker	28	M	1910	19:30	St. Paul	Arrived
20	Anna Young	19	F	1910	20:00	St. Paul	Arrived
21	Thomas Zane	24	M	1910	20:30	St. Paul	Arrived
22	Sarah Adams	21	F	1910	21:00	St. Paul	Arrived
23	James Baker	26	M	1910	21:30	St. Paul	Arrived
24	Emily Clark	19	F	1910	22:00	St. Paul	Arrived
25	Charles Evans	23	M	1910	22:30	St. Paul	Arrived
26	Frances Fisher	27	F	1910	23:00	St. Paul	Arrived
27	George Fox	29	M	1910	23:30	St. Paul	Arrived
28	Julia Gibson	24	F	1910	24:00	St. Paul	Arrived
29	Edward Hall	31	M	1910	24:30	St. Paul	Arrived
30	Margaret Hill	20	F	1910	25:00	St. Paul	Arrived
31	Frank Jones	25	M	1910	25:30	St. Paul	Arrived
32	Elizabeth King	22	F	1910	26:00	St. Paul	Arrived
33	William Lee	28	M	1910	26:30	St. Paul	Arrived
34	Anna Miller	19	F	1910	27:00	St. Paul	Arrived
35	Thomas Moore	24	M	1910	27:30	St. Paul	Arrived
36	Sarah Parker	21	F	1910	28:00	St. Paul	Arrived
37	James Quinn	26	M	1910	28:30	St. Paul	Arrived
38	Emily Reed	19	F	1910	29:00	St. Paul	Arrived
39	Charles Scott	23	M	1910	29:30	St. Paul	Arrived
40	Frances Taylor	27	F	1910	30:00	St. Paul	Arrived
41	George Turner	29	M	1910	30:30	St. Paul	Arrived
42	Julia Walker	24	F	1910	31:00	St. Paul	Arrived
43	Edward Young	31	M	1910	31:30	St. Paul	Arrived
44	Margaret Zane	20	F	1910	32:00	St. Paul	Arrived
45	Frank Adams	25	M	1910	32:30	St. Paul	Arrived
46	Elizabeth Baker	22	F	1910	33:00	St. Paul	Arrived
47	William Clark	28	M	1910	33:30	St. Paul	Arrived
48	Anna Evans	19	F	1910	34:00	St. Paul	Arrived
49	Thomas Fisher	24	M	1910	34:30	St. Paul	Arrived
50	Sarah Fox	21	F	1910	35:00	St. Paul	Arrived
51	James Gibson	26	M	1910	35:30	St. Paul	Arrived
52	Emily Hall	19	F	1910	36:00	St. Paul	Arrived
53	Charles Hill	23	M	1910	36:30	St. Paul	Arrived
54	Frances Jones	27	F	1910	37:00	St. Paul	Arrived
55	George King	29	M	1910	37:30	St. Paul	Arrived
56	Julia Lee	24	F	1910	38:00	St. Paul	Arrived
57	Edward Miller	31	M	1910	38:30	St. Paul	Arrived
58	Margaret Moore	20	F	1910	39:00	St. Paul	Arrived
59	Frank Parker	25	M	1910	39:30	St. Paul	Arrived
60	Elizabeth Quinn	22	F	1910	40:00	St. Paul	Arrived
61	William Reed	28	M	1910	40:30	St. Paul	Arrived
62	Anna Scott	19	F	1910	41:00		



PLANTLIST				LANDSCAPE SITE CALCULATIONS		1805297	
SP. NO.	SP. NAME	NOTE	BOTANICAL NAME	PROPAGATION	GRASS SITE AREA	SP. NO.	SP. NAME
001	100	10	PERENNIAL PLANT	Commonly perennials	100.00	001	100
002	100	10	PERENNIAL PLANT	Commonly perennials	100.00	002	100
003	100	10	PERENNIAL PLANT	Commonly perennials	100.00	003	100
004	100	10	PERENNIAL PLANT	Commonly perennials	100.00	004	100
005	100	10	PERENNIAL PLANT	Commonly perennials	100.00	005	100
006	100	10	PERENNIAL PLANT	Commonly perennials	100.00	006	100
007	100	10	PERENNIAL PLANT	Commonly perennials	100.00	007	100
008	100	10	PERENNIAL PLANT	Commonly perennials	100.00	008	100
009	100	10	PERENNIAL PLANT	Commonly perennials	100.00	009	100
010	100	10	PERENNIAL PLANT	Commonly perennials	100.00	010	100
011	100	10	PERENNIAL PLANT	Commonly perennials	100.00	011	100
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013	100	10	PERENNIAL PLANT	Commonly perennials	100.00	013	100
014	100	10	PERENNIAL PLANT	Commonly perennials	100.00	014	100
015	100	10	PERENNIAL PLANT	Commonly perennials	100.00	015	100
016	100	10	PERENNIAL PLANT	Commonly perennials	100.00	016	100
017	100	10	PERENNIAL PLANT	Commonly perennials	100.00	017	100
018	100	10	PERENNIAL PLANT	Commonly perennials	100.00	018	100
019	100	10	PERENNIAL PLANT	Commonly perennials	100.00	019	100
020	100	10	PERENNIAL PLANT	Commonly perennials	100.00	020	100
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022	100	10	PERENNIAL PLANT	Commonly perennials	100.00	022	100
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044	100	10	PERENNIAL PLANT	Commonly perennials	100.00	044	100
045	100	10	PERENNIAL PLANT	Commonly perennials	100.00	045	100
046	100	10	PERENNIAL PLANT	Commonly perennials	100.00	046	100
047	100	10	PERENNIAL PLANT	Commonly perennials	100.00	047	100
048	100	10	PERENNIAL PLANT	Commonly perennials	100.00	048	100
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066	100	10	PERENNIAL PLANT	Commonly perennials	100.00	066	100
067	100	10	PERENNIAL PLANT	Commonly perennials	100.00	067	100
068	100	10	PERENNIAL PLANT	Commonly perennials	100.00	068	100
069	100	10	PERENNIAL PLANT	Commonly perennials	100.00	069	100
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LANDSCAPE REQUIREMENTS		LANDSCAPE REQUIREMENTS	
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For more free literature, send an SASE to: **Typical Plantings for Ground-Mounted Equipment**, Dept. ENR-10, 10000 Wilshire Blvd., Suite 1000, Los Angeles, CA 90024. For more information on our products, call 1-800-368-7676. We'll be glad to help you.

**TYPICAL PLANTINGS FOR
GROUND-MOUNTED EQUIPMENT**

NTA

[illegible]

ATLANTIC BLVD

COASTAL CONSTRUCT ON CON'RG. 11:12

HALLANDALE BEACH FIRE STATION

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0A7B BLVD

GENERAL NOTES

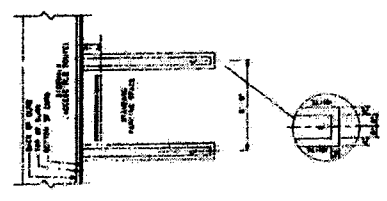
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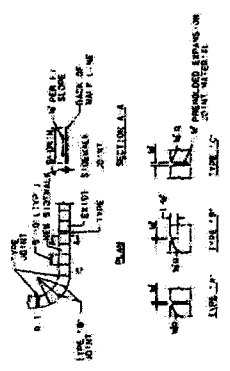
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BEACH BLVD

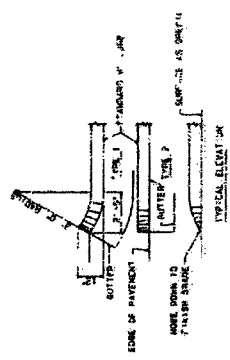
SITE AND PAVING DETAILS



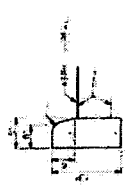
TYPICAL STALL MARKINGS
 NOTE: ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES
 UNLESS OTHERWISE NOTED



CONCRETE SIDEWALK
 NOTE: ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES
 UNLESS OTHERWISE NOTED



STANDARD CURB NOSING
 NOTE: ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES
 UNLESS OTHERWISE NOTED



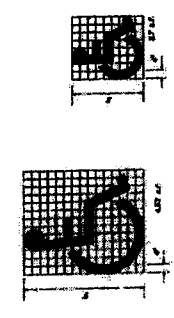
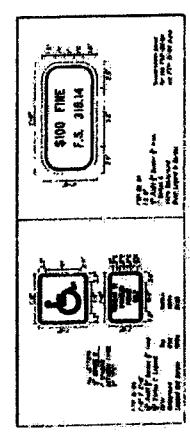
TYPE D* CURB



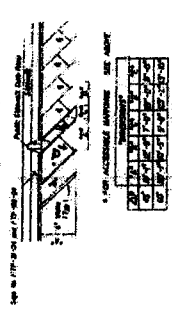
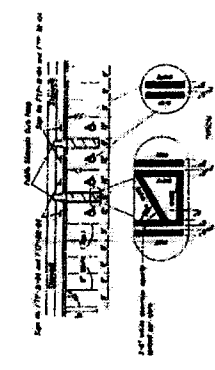
TYPE F CONCRETE CURB & GUTTER



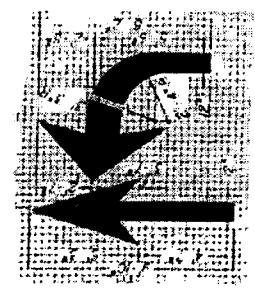
VALLEY GUTTER



TYPICAL STALL MARKINGS
 NOTE: ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES
 UNLESS OTHERWISE NOTED

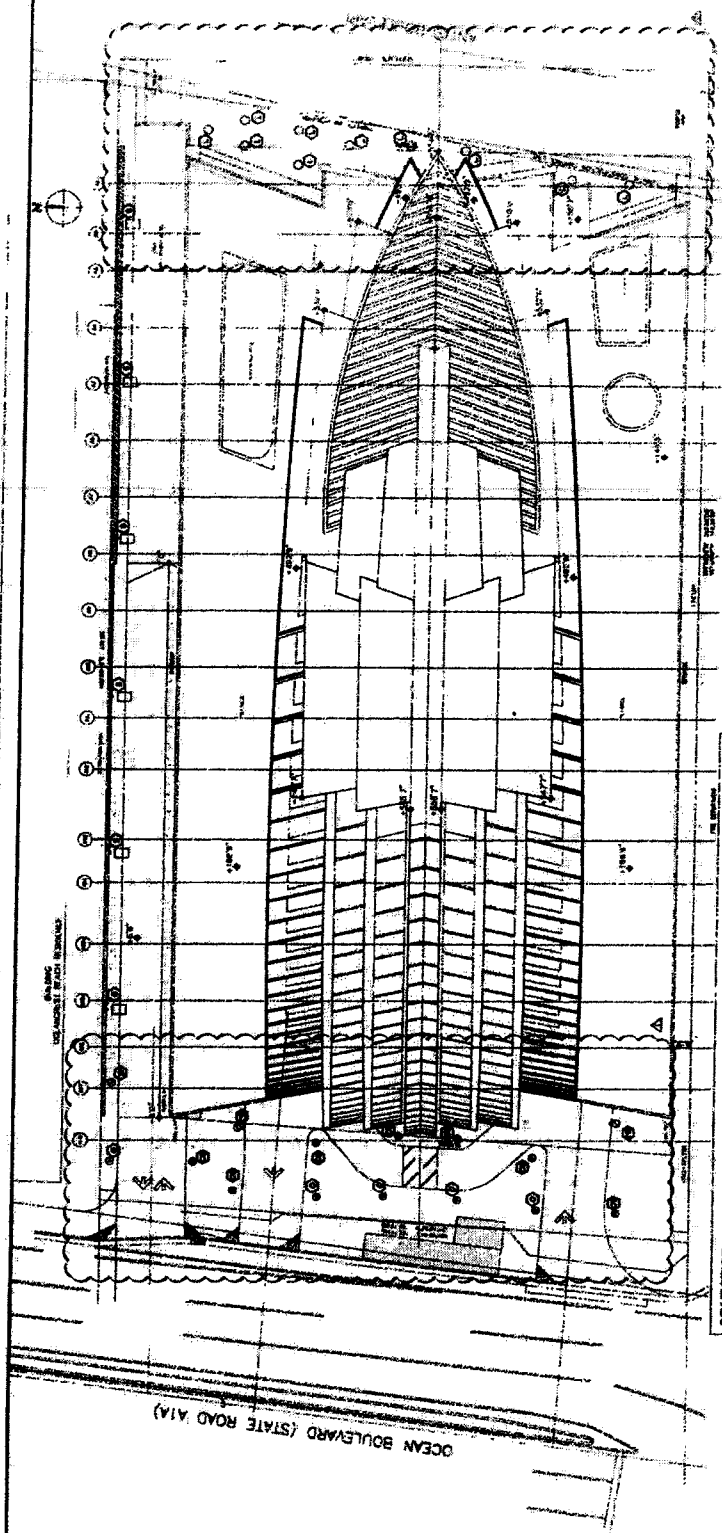
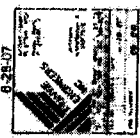


TYPICAL STALL MARKINGS
 NOTE: ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES
 UNLESS OTHERWISE NOTED



TYPICAL STALL MARKINGS
 NOTE: ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES
 UNLESS OTHERWISE NOTED

BEACH ONE RESORT
 CONDOMINIUMS
 1000 S. BEACH BLVD.
 MIAMI BEACH, FL 33139

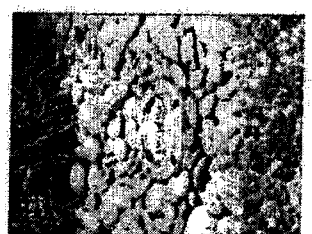
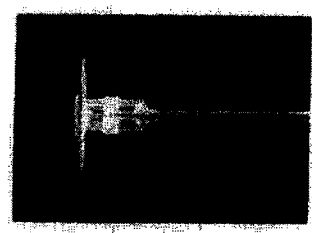


SITE LIGHTING PLAN

TYPE M & ME
TYPE N & NE
TYPE O & DE

TYPE L

TYPE S



Symbol	Qty	Area	Vol	Height	Angle
20000 MANS	1	17.30	0.5	9.9	30-1

Symbol	Label	Quantity	Description	Unit	File	Location	LP	Notes
①	LOUIS POLARISEN BATT-4000 1700MMX1700MM MOUNTED ON T- ROD-4.5' X 12' W/4T	1	ADJUSTABLE CLUSTER LUMINAIRE USE CLUSTER ALUMINUM HANGING LUMINAIRE CAST ALUMINUM HANGING SHELL BALLPARKED BROOKLYN ALUMINUM HANGING BOWLS	70000	0.00	0.00	0.00	0.00
②	LOUIS POLARISEN BATT-4000 1700MMX1700MM MOUNTED ON T- ROD-4.5' X 12' W/4T	1	ADJUSTABLE CLUSTER LUMINAIRE USE CLUSTER ALUMINUM HANGING LUMINAIRE CAST ALUMINUM HANGING SHELL BALLPARKED BROOKLYN ALUMINUM HANGING BOWLS	70000	0.00	0.00	0.00	0.00
③	LOUIS POLARISEN BATT-4000 1700MMX1700MM MOUNTED ON T- ROD-4.5' X 12' W/4T	1	ADJUSTABLE CLUSTER LUMINAIRE USE CLUSTER ALUMINUM HANGING LUMINAIRE CAST ALUMINUM HANGING SHELL BALLPARKED BROOKLYN ALUMINUM HANGING BOWLS	70000	0.00	0.00	0.00	0.00
④	LOUIS POLARISEN BATT-4000 1700MMX1700MM MOUNTED ON T- ROD-4.5' X 12' W/4T	1	ADJUSTABLE CLUSTER LUMINAIRE USE CLUSTER ALUMINUM HANGING LUMINAIRE CAST ALUMINUM HANGING SHELL BALLPARKED BROOKLYN ALUMINUM HANGING BOWLS	70000	0.00	0.00	0.00	0.00

8000 LED BATTERIES
INCLUDED WITH THE FIXTURE

ATTACHMENT D

Land Use and Zoning Map



PLANNING AND
DEVELOPMENT SERVICES

Legend

Subject Property

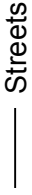


Subject Property

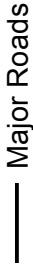


City Boundary

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Streets



Major Roads

LAND USE



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GBUS

ZONING



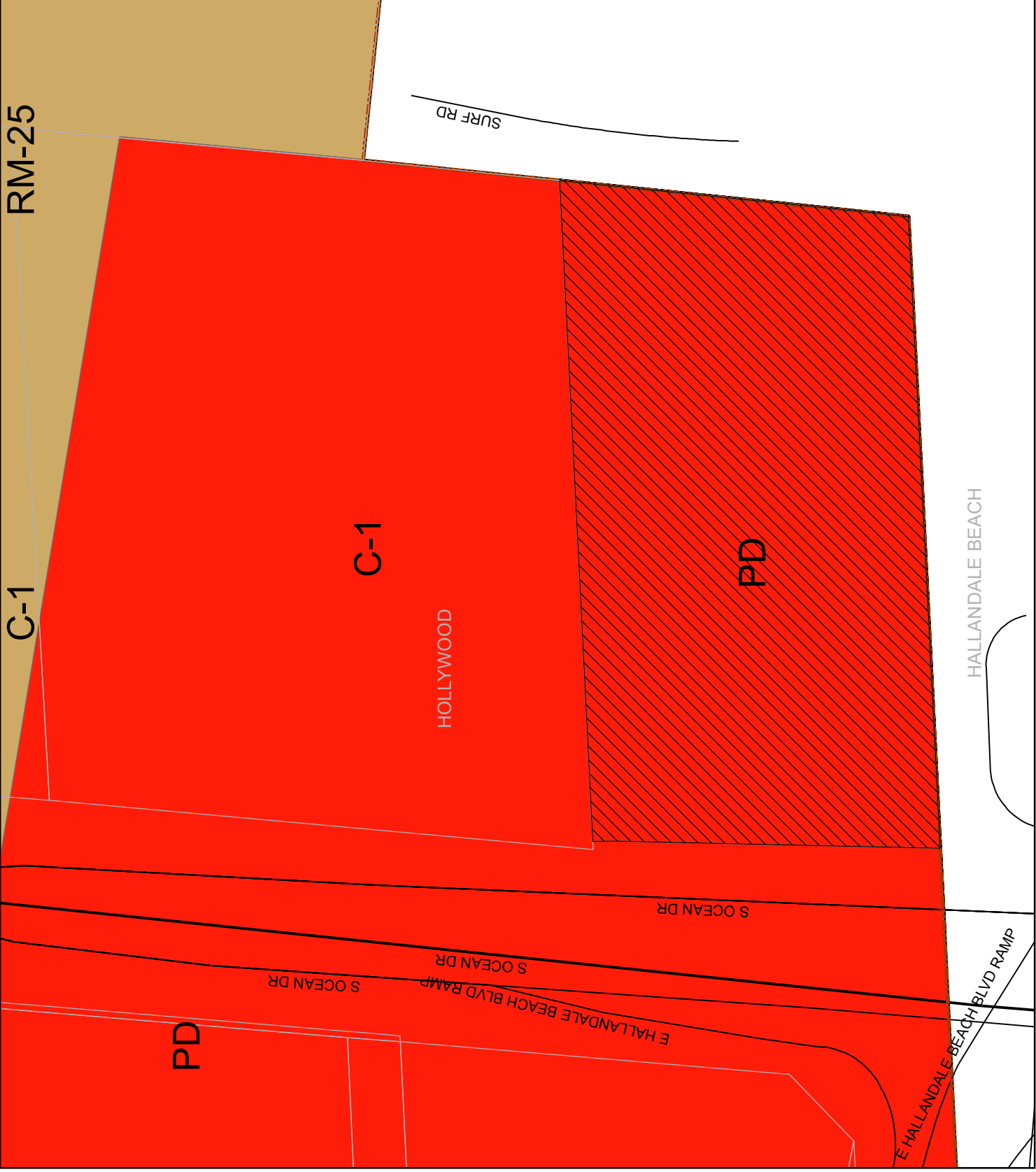
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PD



RM-25



HALLANDALE BEACH



0 15 30 60 Feet

Attachment E

Flex Zone Map

MAP-LU-1A

