

ATTACHMENT A
Application Package

HOLLYWOOD RESIDENCE

834 POLK ST, HOLLYWOOD, FL 33019

FOLIO: 514214024271 , HOLLYWOOD LAKES SECTION 1-32 B LOT 26 BLK 72



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BELLE COAST GROUP, Inc.

1025 92nd St #701
Bay Harbor Islands, FL 33154
andreu@bellicoast.com
(786) 218-3072

PROJECT:

834 POLK ST
HOLLYWOOD, FL 33019

FOLIO NUMBER: 514214024271

DATE: 11/20/2025

REVISION

NO.	DESCRIPTION

DATE:

DRAFTED BY:

SCALE:

CONSULTANTS:

COVER SHEET +
PROJECT
INFORMATION

T-1

DRAWN BY:

B.C.

PROJECT TEAM

DESIGNER

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DRAWING INDEX

ARCHITECTURAL

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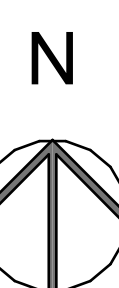
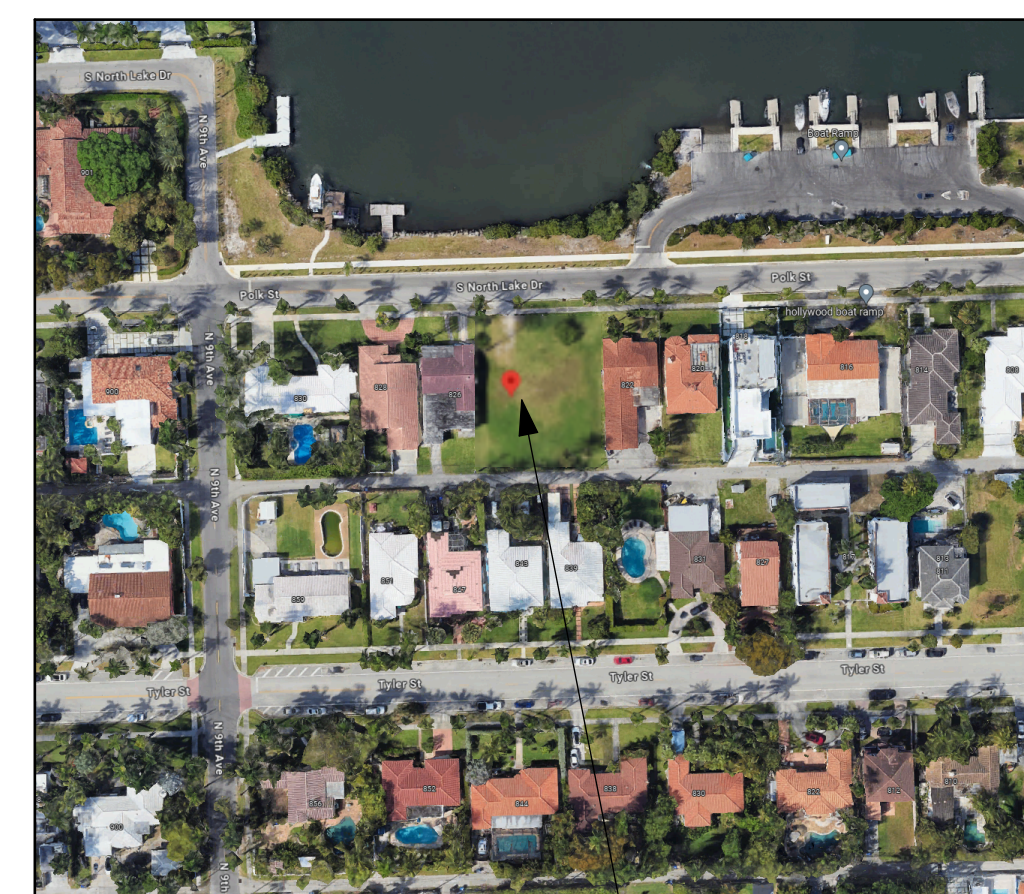
CIVIL

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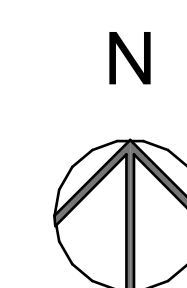
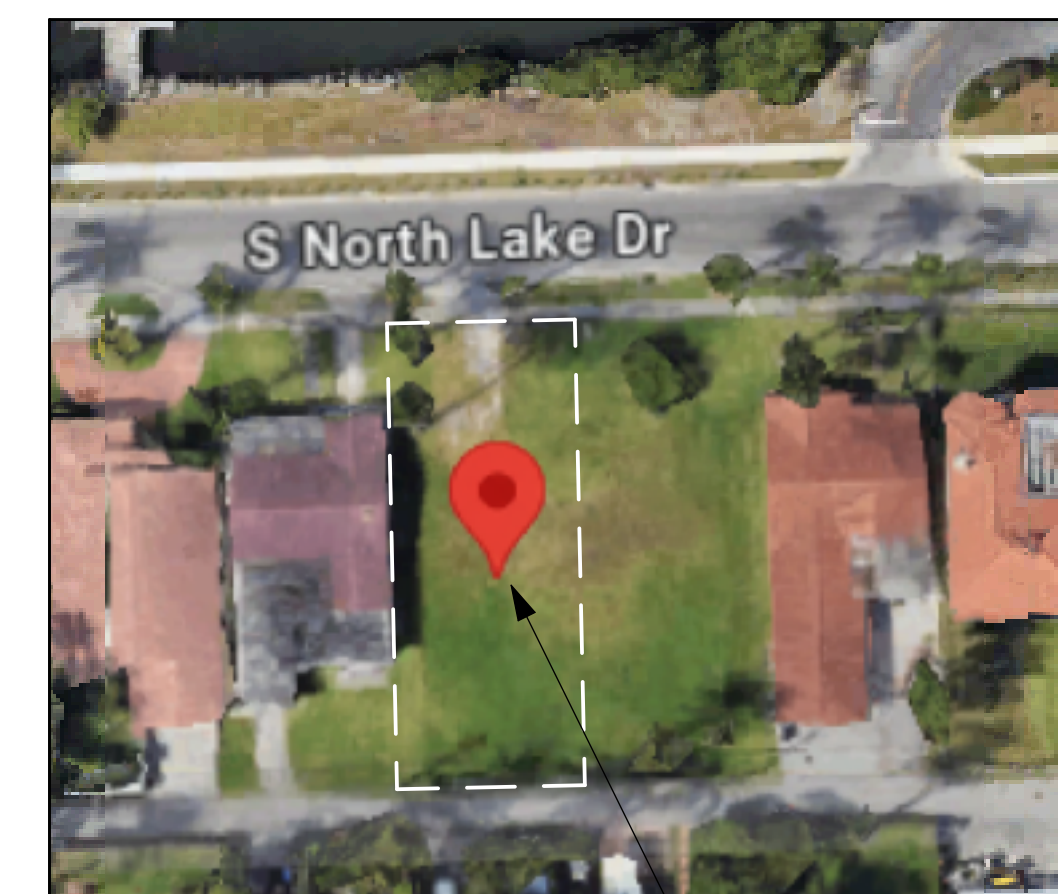
LANDSCAPE

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AERIAL



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SITE PLAN AND SITE
DATA

SP-1

DRAWN BY: B.C.

PROPERTY ADDRESS

834 POLK STREET
HOLLYWOOD, FL 33019

FOLIO

514214024271

LEGAL DESCRIPTION

HOLLYWOOD LAKES SECTION 1-32 B LOT 26 BLK 72

SITE INFORMATION	EXISTING	PROPOSED
ZONING	RS-6	RS-6
SUB-DISTRICT	N/A	N/A
BUILDING USE	VACANT LOT	SINGLE FAMILY HOME
LAND USE DESIGNATION	RESIDENTIAL	RESIDENTIAL
COUNTY USE DESIGNATION	RESIDENTIAL	RESIDENTIAL
NET LOT AREA	6,395 SQFT- 0.146 ACRES	6,395 SQFT- 0.146 ACRES
BASE FLOOD ZONE	AE - 8'-0" NAVD	

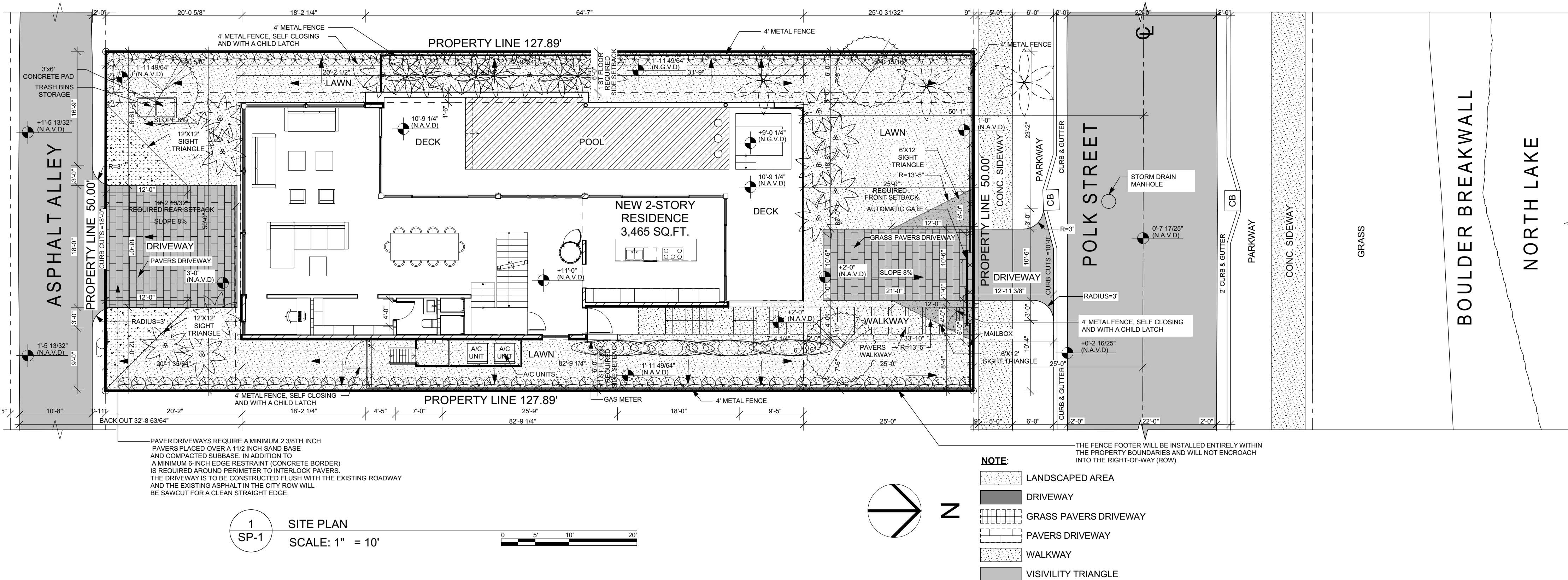
BUILDING INTENSITY	ALLOWED	PROVIDED
FAR	N/A	N/A
A/C AREA	1000 SF	3465.65 SF
BUILDING FOOTPRINT	N/A	2912.00 SF
PROPOSED DWELLING	1	1
NUMBER OF FLOORS	2	2
BUILDING HEIGHT	30'-0"	26'-2 1/2"

PARKING CALCULATION	REQUIRED	PROVIDED
PARKING SPACE	5	5

SETBACKS:	REQUIRED	PROVIDED
FRONT (NORTH)	25'-0"	25'-0"
REAR (SOUTH)	19.17'	19.17'
EAST SIDE 1ST FLOOR	6'-0"	7'-6"
EAST SIDE 2ND FLOOR	7'-6"	7'-6"
WEST SIDE 1ST FLOOR	6'-0"	6'-0"
WEST SIDE 2ND FLOOR	7'-6"	7'-6"

LANDSCAPE	REQUIRED	PROVIDED
IMPERVIOUS AREA BUILDING FOOTPRINT, WALKWAYS & DRIVEWAYS	N/A	3584.08 SF (56.04%)
PERVIOUS AREA LANDSCAPE AREAS	2238.25 SF (40%)	3271.01 SF (51.14%)
FRONT LANDSCAPE AREA	250.00 SF (20%)	923.00 SF (73.84%)

BUILDING AREA	REQUIRED	PROVIDED
FIRST FLOOR (A/C AREA)	N/A	1,578.87 SF
SECOND FLOOR (A/C AREA)	N/A	1,923.12 SF
TOTAL (A/C AREA)		3501.99 SF



GREEN BUILDING PRACTICES FROM CITY OF HOLLYWOOD ORDINANCE #0-2015-06

- RADIANT BARRIER ROOF - SEALOFLEX COOL ROOF - REFLECTO WHITE. WALLS - AL-FOIL REFLECTIVE
- WINDOWS AND GLAZING LOW E, TINTED DOUBLE GLAZING- U FACTOR 0.56, SHGC 0.25
- DOORS INSULATED AND FIRE RATED
- ENERGY STAR ROOFING SEALOFLEX COOL ROOF - REFLECTO WHITE.
- PROGRAMMABLE THERMOSTATS
- OCCUPANCY SENSORS
- DUAL FLUSH TOILETS
- 80% OF PLANT MATERIAL NATIVE
- ENERGY EFFICIENT OUTDOOR LIGHTING
- INSULATED PIPING
- RECYCLING AREA
- ENERGY STAR APPLIANCES
- ONE LOW FLOW SHOWERHEAD
- ENERGY EFFICIENT OUTDOOR LIGHTING
- ENERGY EFFICIENCY 10% BETTER THAN STANDARD ESTABLISHED BY ASHRAE.
- MERV 8 AC FILTERS

SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.

SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONE OR RESIDENTIALLY USED AREAS.

PER NFPA 1, 12.3.2.1 A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.

NFPA 1(2015 EDITOR) CHAPTER 11.10 REQUIRES THAT MINIMUM RADIO SIGNAL STRENGTH FROM FIRE DEPARTMENT COMMUNICATIONS BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ FROM ALL NEW AND EXISTING BUILDINGS INCLUDING COMPLYING WITH NFPA T2 (2013 EDITOR) BDA SYSTEM MAY BE REQUIRED

A PRE-HEAT MAP PLAN, CONCEPTUAL DRAWINGS AND CUT SHEETS WILL BE REQUIRED TO BE SUBMITTED WITH THE MAIN SET OF ARCHITECTURAL DRAWINGS FOR THE BDA SYSTEM

ALL CHANGES TO THE DESIGN WILL REQUIRE PLANING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

FEMA NOTE:
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

NOTE:
BUILDING TO COMPLY WITH CHAPTER 108 REGARDING ALL MARINE TURTLE PROTECTION

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE MC-1 ZONING DISTRICT. SEPARATE PERMIT ARE REQUIRED FOR EACH SIGN. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION.

NOTE: PRIOR TO POURING THE FIRST FLOOR TIE BEAM A SPOT SURVEY OF THE FINISHED FLOOR ELEVATION MUST BE SUBMITTED TO THE BUILDING DEPT.

FEMA NOTE: THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS . AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

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TWO WAY RADIO COMPLIANCE: BUILDING WILL BE IN COMPLIANCE WITH N.F.P.A. 1, 11.10 AND BROWARD COUNTY CODE AMENDMENT 118.2 FOR TWO WAY RADIO COMMUNICATION.

NOTE: TRASH AND RECYCLE BIN TO BE INDIVIDUAL PER UNIT

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE HOLLYWOOD LAKES SECTION 1-32 B LOT 12.13 BLK 74 RS-6 ZONING DISTRICT



1 826 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



3 830 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



5 820 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



7 816 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



2 828 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



4 822 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



6 818 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



8 814 S NORTH LAKE DR, HOLLYWOOD, FL 33019
NTS



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CONSULTANTS:



1 SOUTH-EAST - RENDER



2 SOUTH-WEST - RENDER

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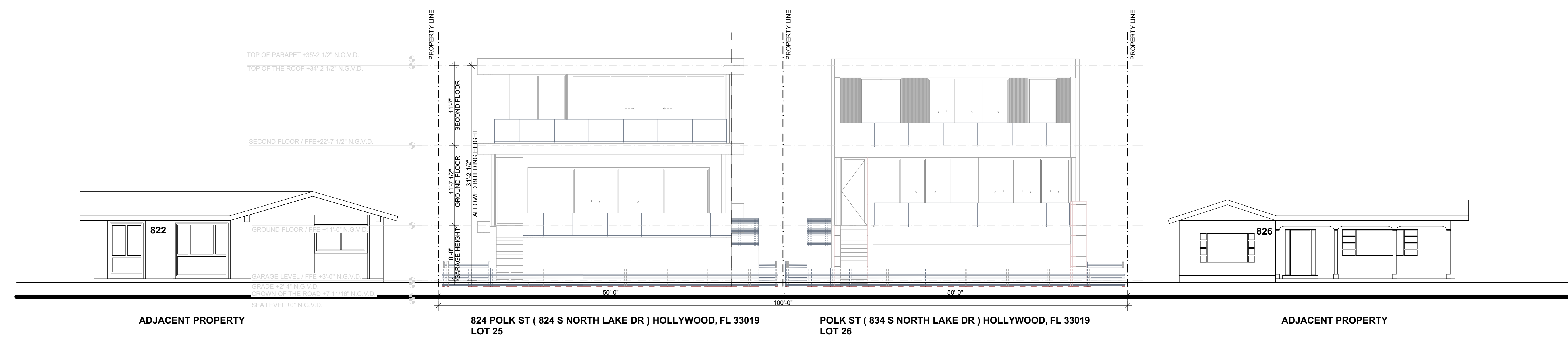
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1 SP-3 STREET PROFILE
0 4 8 16

STREET PROFILE
VIEW

SP-3

DRAWN BY: B.C.

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822 POLK STREET



824 POLK STREET



826 POLK STREET

STREET VIEW ALONG POLK STREET

STREET VIEW

SP-3.1

DRAWN BY: B.C.



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CONSULTANTS:

SUBJECT PROPERTY

SP-4

DRAWN BY: B.C.

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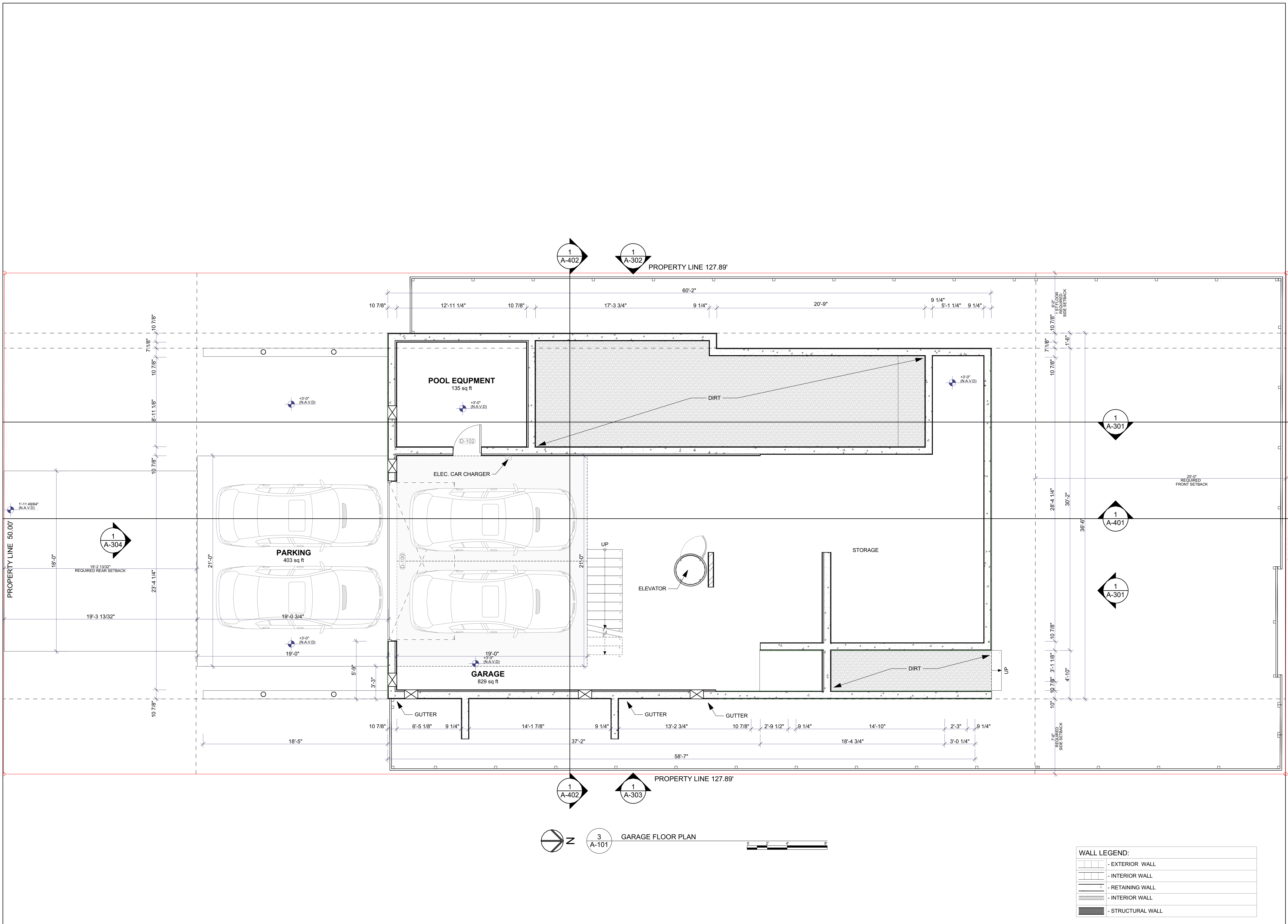
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SCALE:

CONSULTANTS:

GARAGE FLOOR
PLAN

A-101

DRAWN BY: B.C.



3
A-101 GARAGE FLOOR PLAN



WALL LEGEND:

[Symbol]	EXTERIOR WALL
[Symbol]	INTERIOR WALL
[Symbol]	RETAINING WALL
[Symbol]	INTERIOR WALL
[Symbol]	STRUCTURAL WALL

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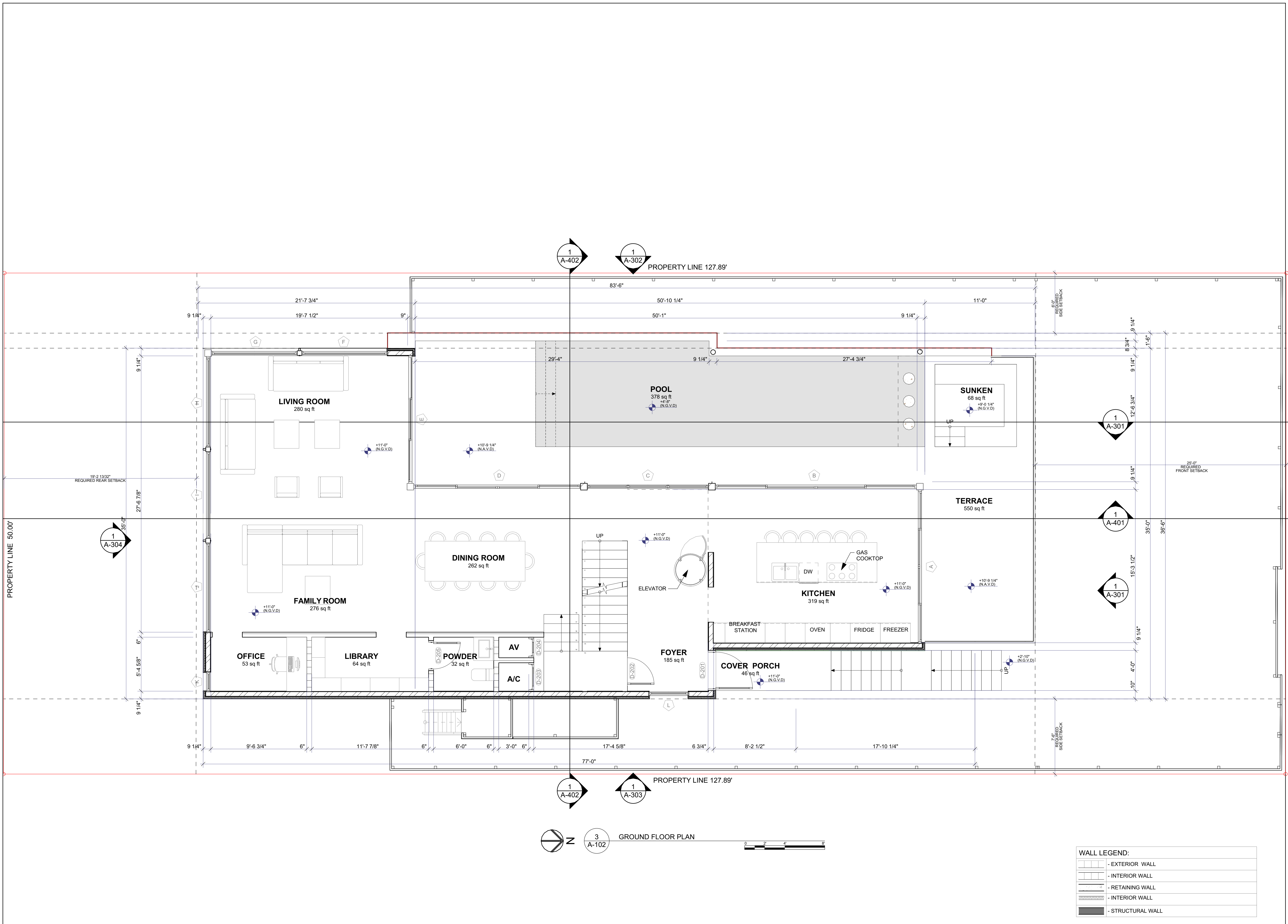
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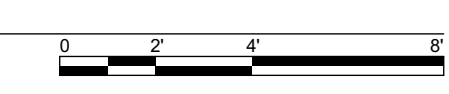
GROUND FLOOR
PLAN

A-102

DRAWN BY: B.C.



3
A-102 GROUND FLOOR PLAN



WALL LEGEND:

	EXTERIOR WALL
	INTERIOR WALL
	RETAINING WALL
	INTERIOR WALL
	STRUCTURAL WALL

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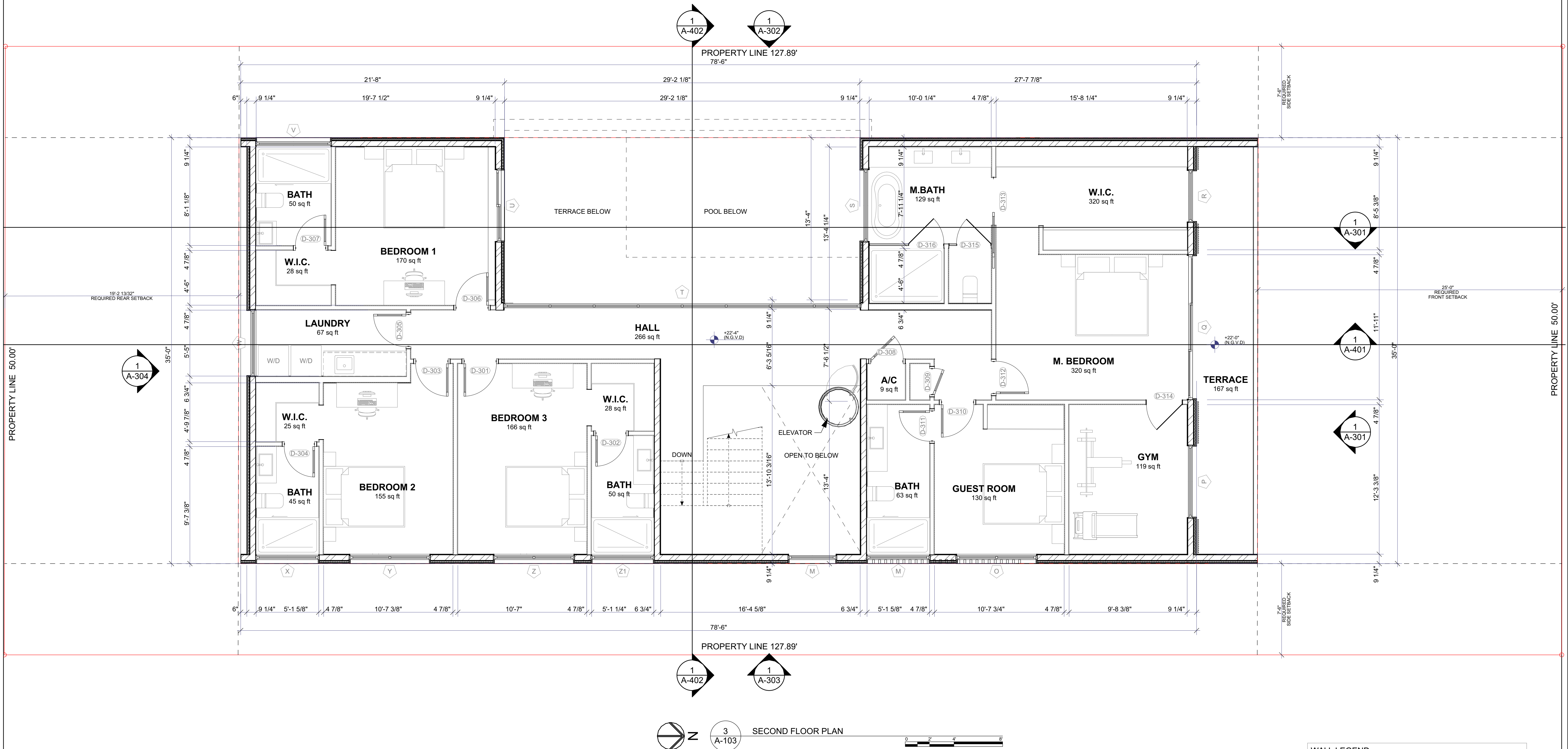
CONSULTANTS:

SECOND FLOOR
PLAN

A-103

DRAWN BY:

B.C.



3
A-103 SECOND FLOOR PLAN

WALL LEGEND:

	EXTERIOR WALL
	INTERIOR WALL
	RETAINING WALL
	INTERIOR WALL
	STRUCTURAL WALL

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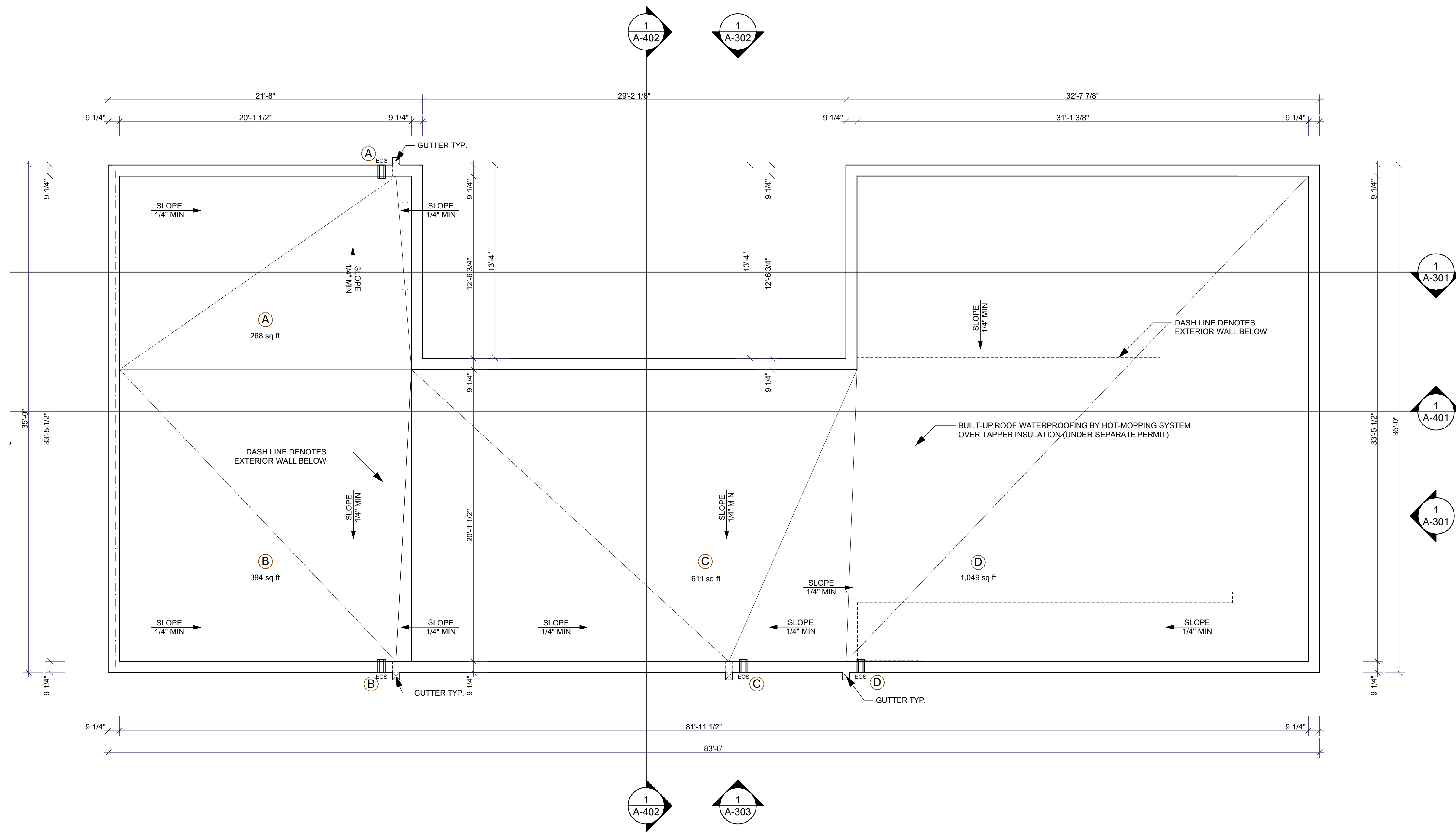
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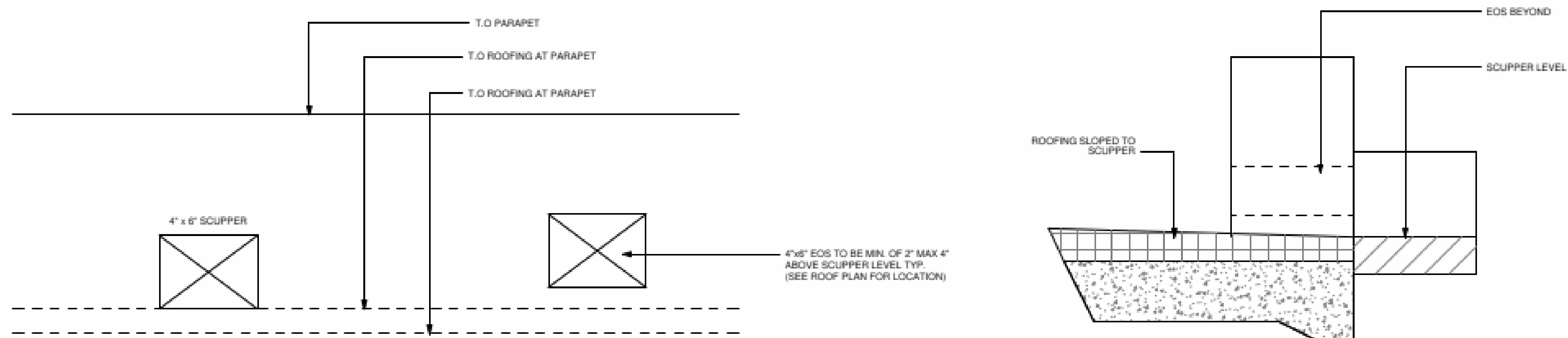
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CONSULTANTS:



1 A-104 ROOF PLAN
SCALE: 1/4" = 1'-0"



SCUPPER & EOS DETAILS
3" = 1'-0"

ROOF DRAINAGE CALCULATIONS	
(100 YEAR, 1-HOUR RAINFALL - 5 INCHES AS PER PFBC2020)	
5 INCHES = 0.0520 GPM PER 1 SQ.FT. HORIZONTAL 1/4" PER LF	
ROOF AREA A-268 SF x 0.0520 = 13.94 GPM PROVIDED: 6" DIA. HORIZONTAL 487 GPM	
ROOF AREA B-405 SF x 0.0520 = 21.06 GPM PROVIDED: 6" DIA. HORIZONTAL 487 GPM	
ROOF AREA C-618 SF x 0.0520 = 32.14 GPM PROVIDED: 6" DIA. HORIZONTAL 487 GPM	
ROOF AREA D-1049 SF x 0.0520 = 54.54 GPM PROVIDED: 6" DIA. HORIZONTAL 487 GPM	
PER TABLE 1106.7, ROOF AREAS A,B,C,D. "4h x 6w"	
SCUPPER DRAINS W/4h x 6w EMERGENCY SCUPPER DRAINS.	

NOTES:
ENCLOSED AREAS BELOW THE DESIGN FLOOD ELEVATION SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE AS PER ASCE 4.6.

ROOFING SYSTEM NOTES:
ALL ROOFING SYSTEM SHALL BE PAINTED "WHITE" AS PER URBAN HEAT ISLAND ORDINANCE.

WATERPROOFING NOTE:
• WATERPROOFING TESTED SHALL BE FLOOD TESTED IN ACCORDANCE WITH ASTM D5957.
• WATERPROOFING WILL COMPLY WITH F.B.C. 1519.16.6
• WATERPROOFING WILL BE SUBMITTED WITH A SEPARATE PERMIT
• FLASHING SHALL BE INSTALLED IN ACCORDANCE TO THE MANUFACTURERS PUBLISHED STANDARD DETAILS, SPECIFIC DETAILS, APPROVED BY THE MANUFACTURE; AND SHALL COMPLY WITH F.B.C. 1519.16

ROOF PLAN

A-104

DRAWN BY: B.C.

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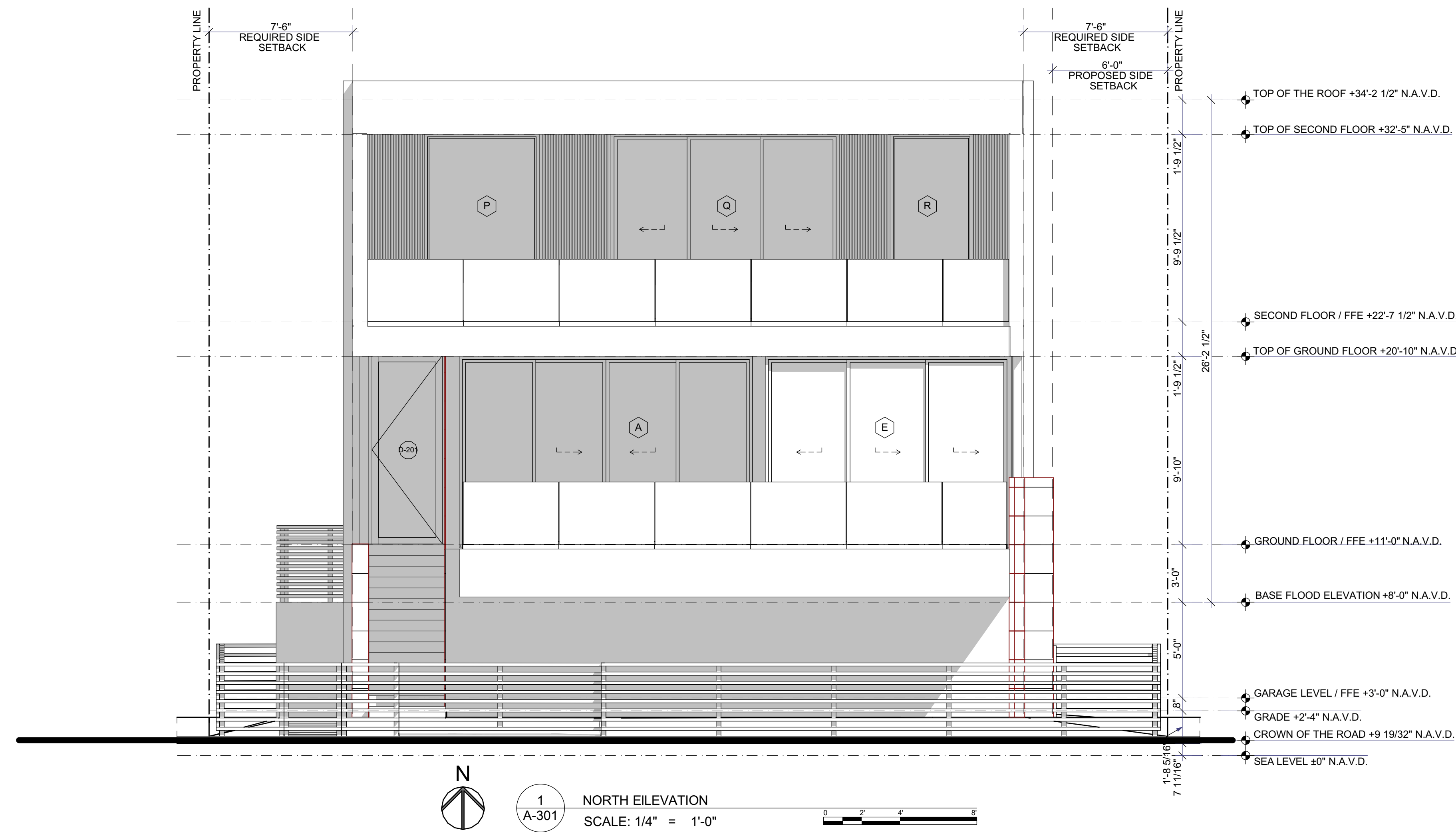
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CONSULTANTS:

NORTH ELEVATIONS

A-301

DRAWN BY: B.C.



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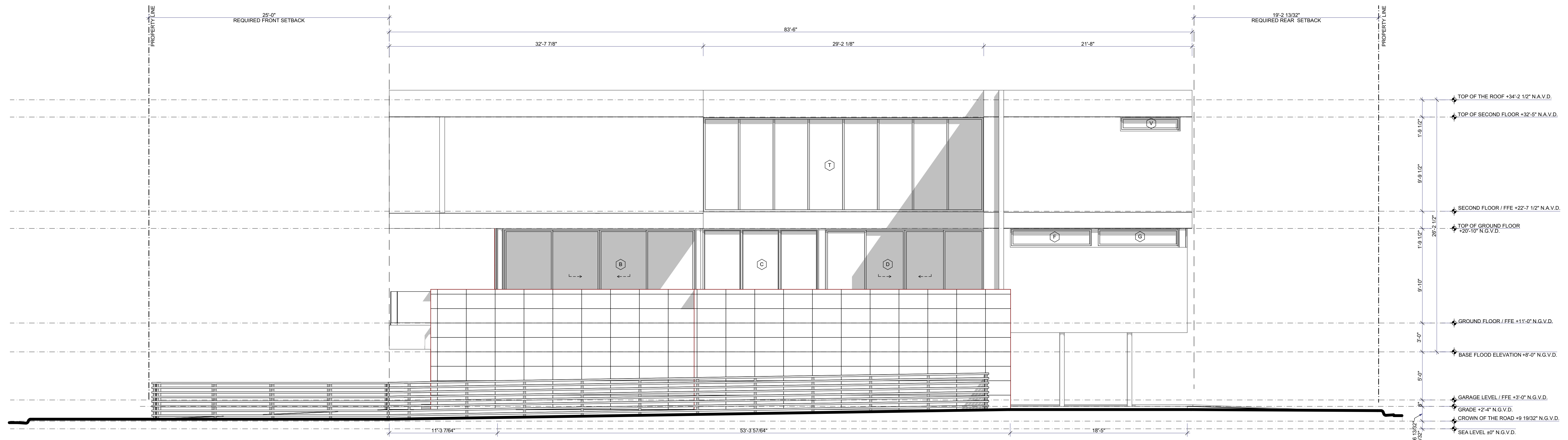
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CONSULTANTS:

WEST ELEVATION

A-302

DRAWN BY: B.C.



WEST ELEVATION
SCALE: 3/16" = 1'-0"



WEST COLORED ELEVATION
SCALE: 3/16" = 1'-0"

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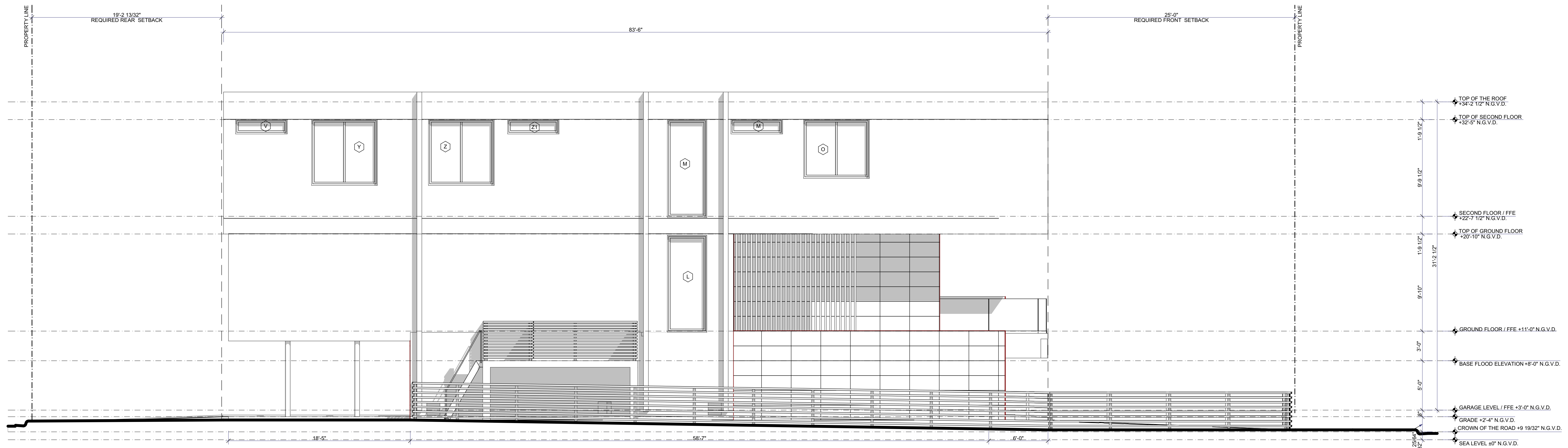
CONSULTANTS:

EAST ELEVATION

A-303

DRAWN BY:

B.C.



1 EAST ELEVATION
A-303
SCALE: 3/16" = 1'-0"



2 EAST COLORED ELEVATION
A-303
SCALE: 3/16" = 1'-0"

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SCALE:

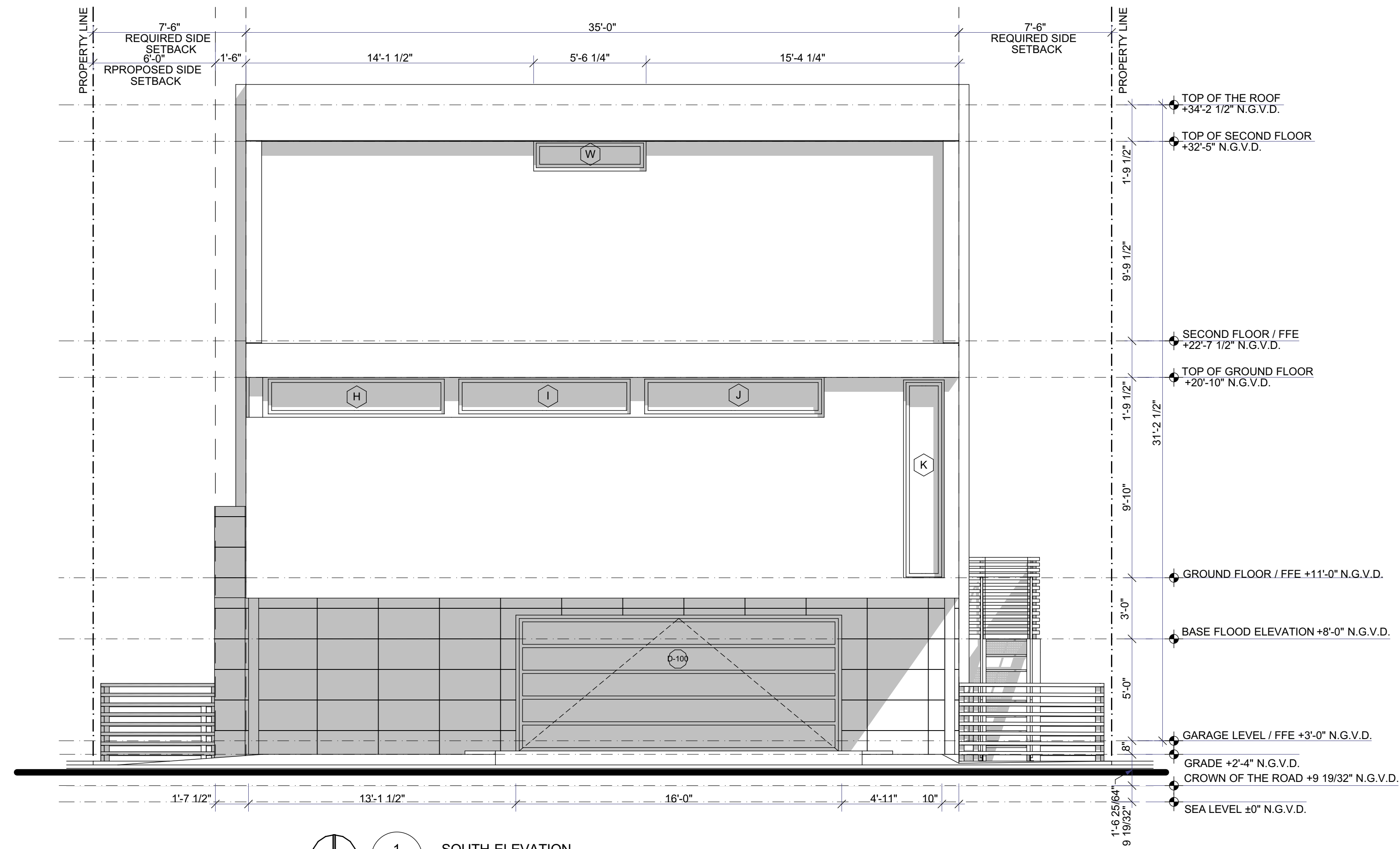
CONSULTANTS:

SOUTH ELEVATION

A-304

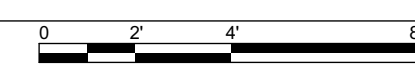
DRAWN BY:

B.C.



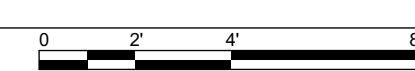
1
A-304

SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A-304

SOUTH COLORED ELEVATION
SCALE: 1/4" = 1'-0"



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BELLE COAST GROUP, Inc.

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(786) 218-3072

PROJECT:

834 POLK ST
HOLLYWOOD, FL 33019

FOLIO NUMBER: 514214024271

DATE: 11/20/2025

REVISION

DATE:

DRAFTED BY:

SCALE:

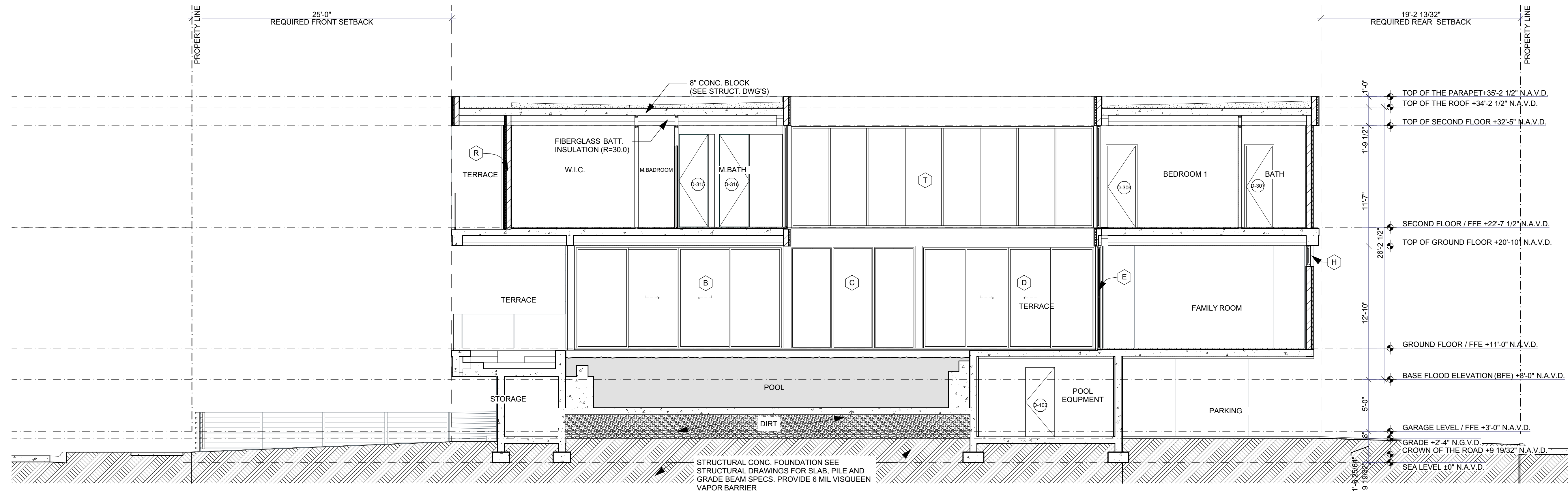
CONSULTANTS:

SECTION VIEWS

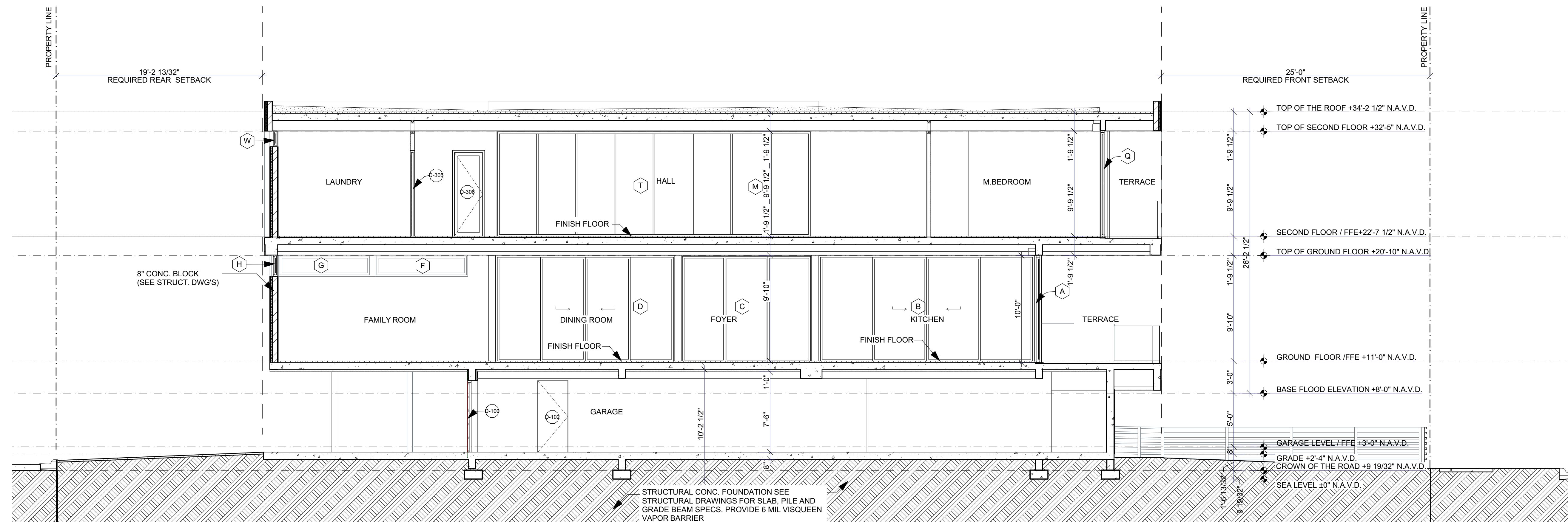
A-401

DRAWN BY:

B.C.



2
A-401 BUILDING SECTION A
SCALE: 3/16" = 1'-0"



1
A-401 BUILDING SECTION C
SCALE: 3/16" = 1'-0"

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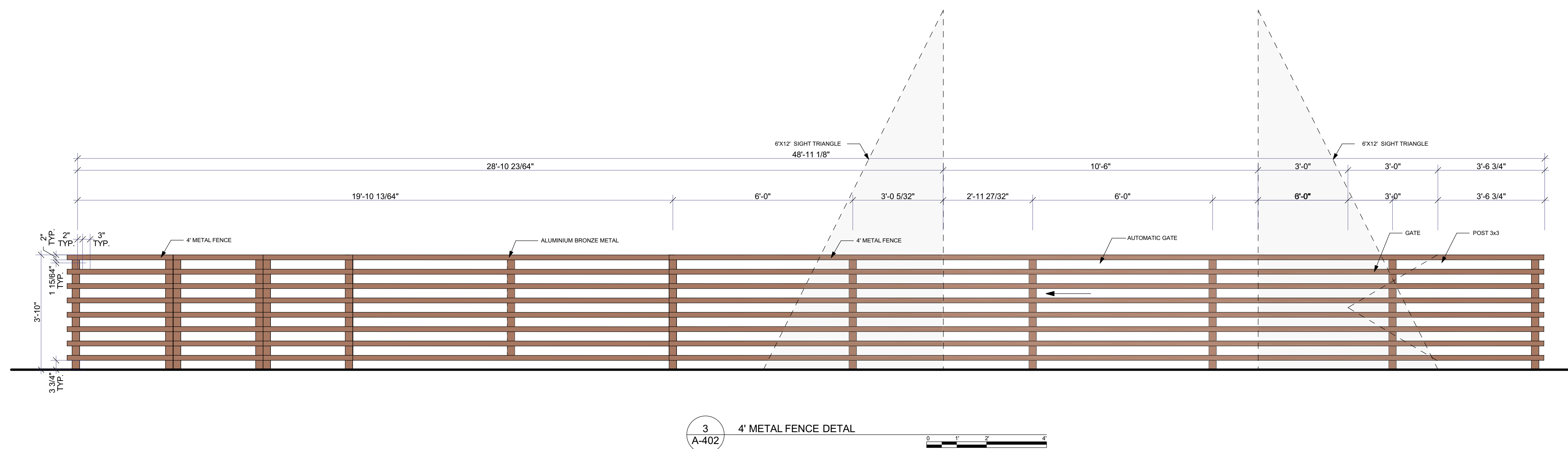
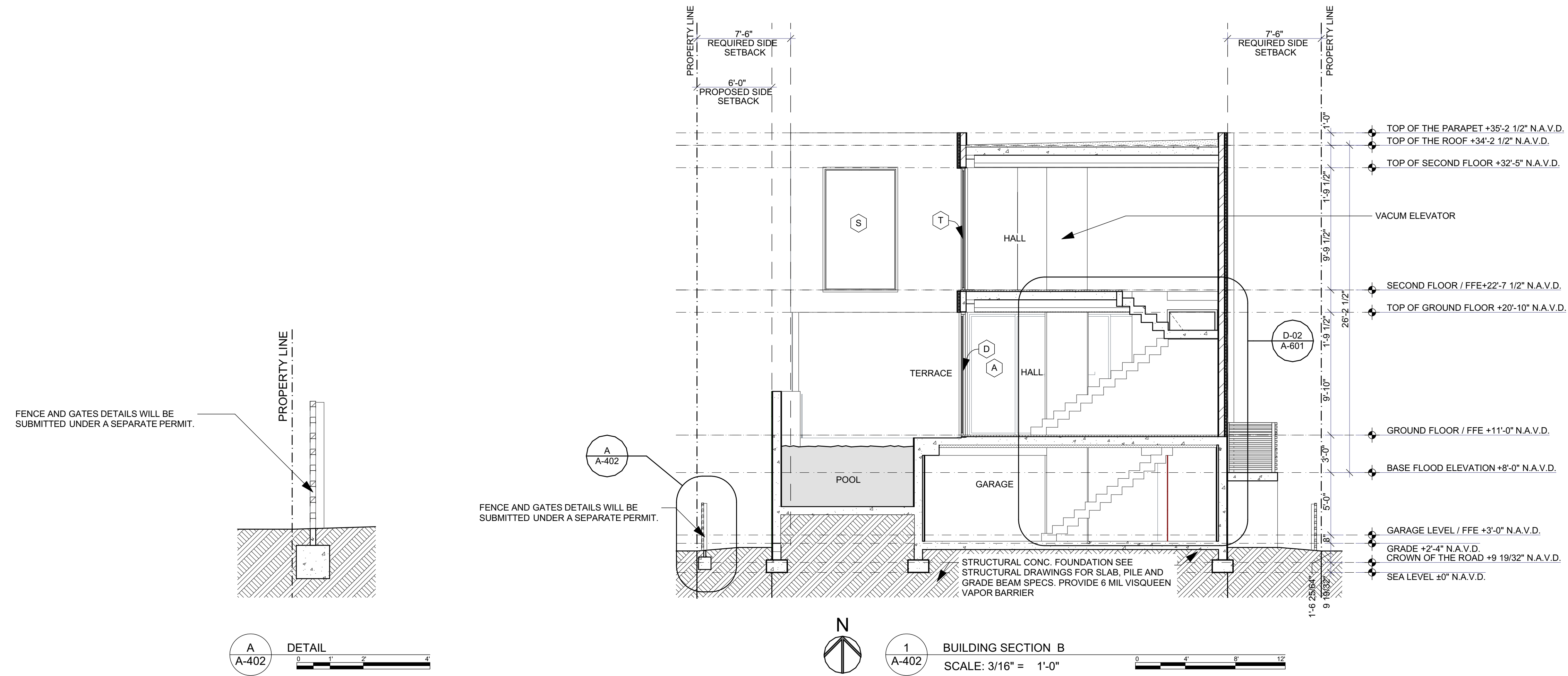
CONSULTANTS:

SECTION VIEW

A-402

DRAWN BY:

B.C.



FENCE AND GATES DETAILS WILL BE SUBMITTED UNDER A SEPARATE PERMIT.

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FOLIO NUMBER: 514214024271

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REVISION

NO.	DESCRIPTION

DATE:
DRAFTED BY:
SCALE:

CONSULTANTS:



RENDERINGS

A-501

DRAWN BY: B.C.

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CONSULTANTS:

RENDERINGS

A-502

DRAWN BY: B.C.



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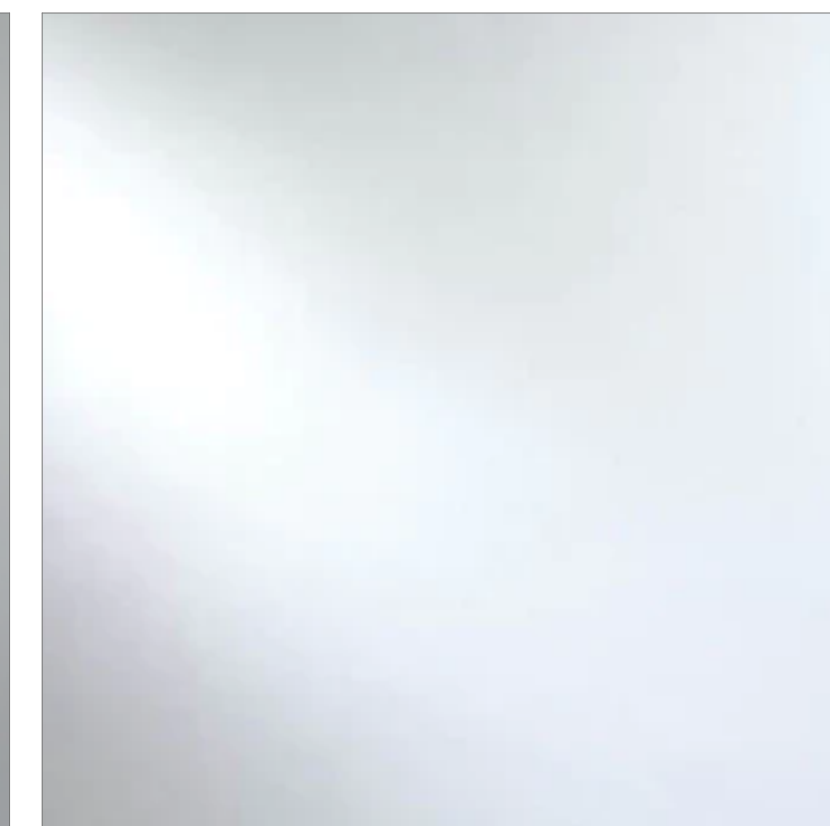
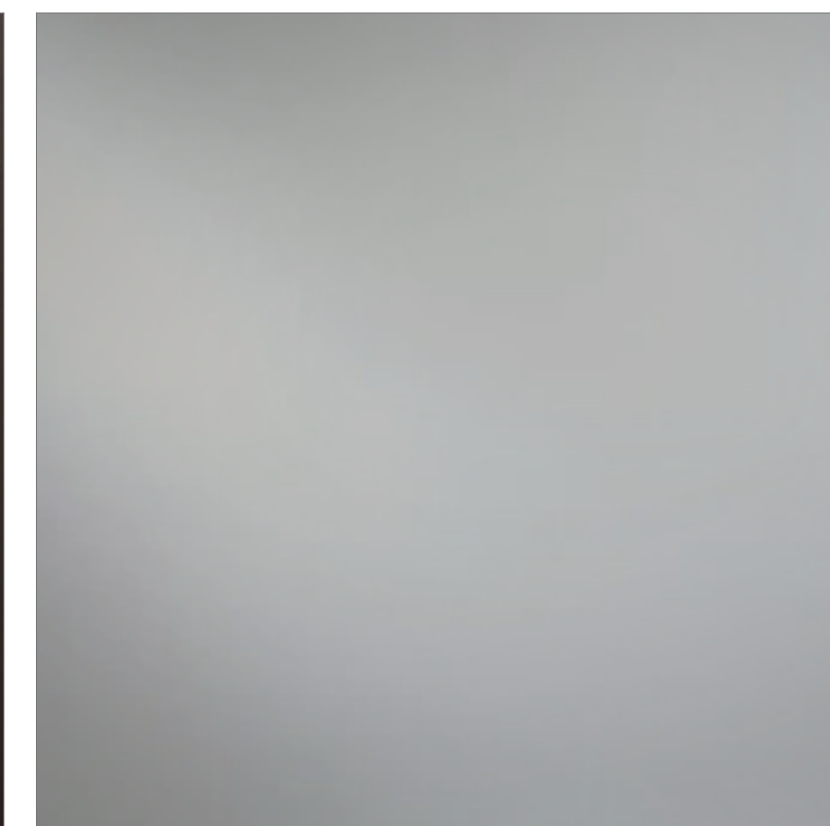
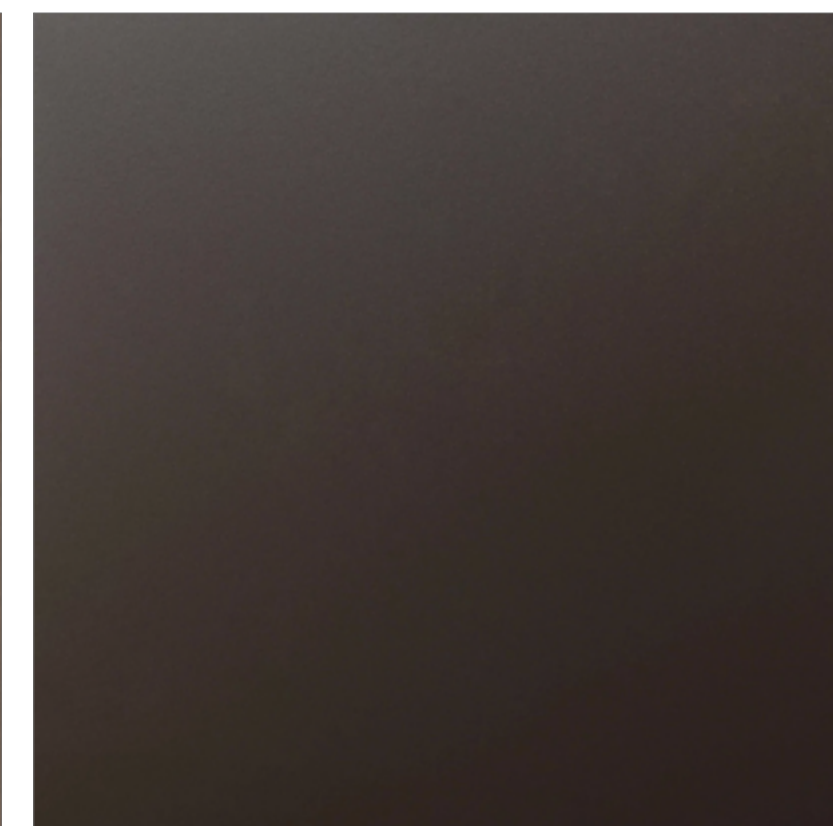
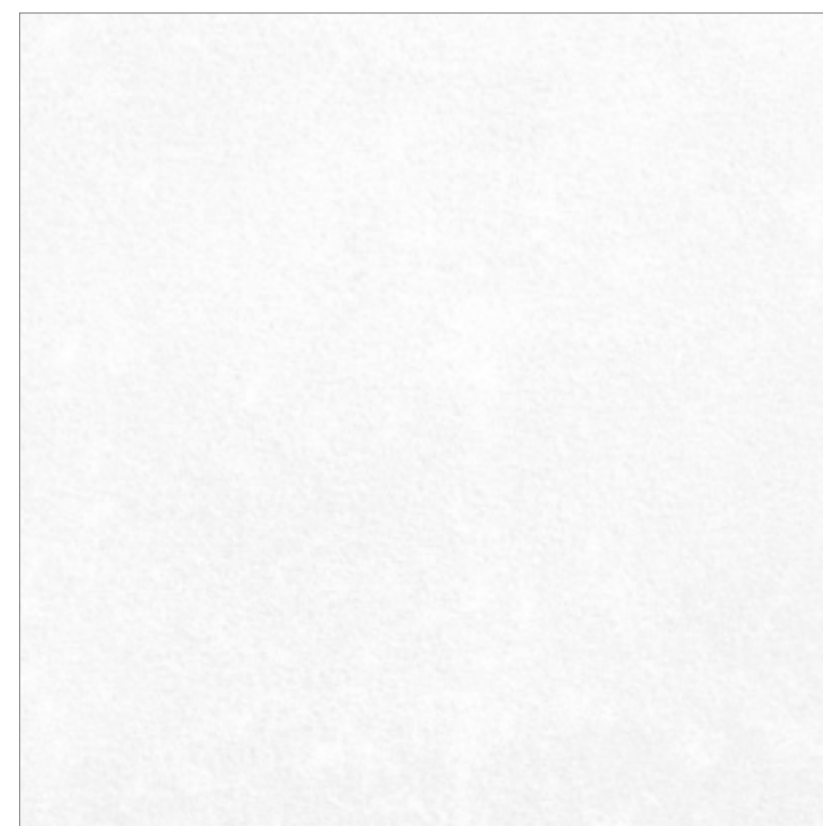
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REVISION	

DATE:
DRAFTED BY:
SCALE:

CONSULTANTS:



01 WHITE STUCCO

02 - BEIGE LIMESTONE

03 - OAK COMPOSITE WOOD

04 - BRONZE ALUMINIUM

05 - GREY IMPACT GLASS

06 - CLEAR IMPACT GLASS

07 - PAVERS DRIVEWAY

MATERIAL
SCHEDULES

A-601