

**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING AND URBAN DESIGN**

DATE: February 9, 2021 **FILE:** 17-DFPSV-12

TO: Planning and Development Board

VIA: Leslie A. Del Monte, Planning Manager

FROM: Alexandra Guerrero, Principal Planner

SUBJECT: Ocean Drive Commercial Realty Management LLC requests allocation of Residential to Commercial Flex of an approximate 1.4 acres for a proposed office building located at 831 N. Highland Drive (3500 Building).

REQUEST

An amendment to change the Land Use designation from Residential to Commercial Flex through the application of the 5% residential-to-commercial flexibility rule and amending the City's Land Use Map to reflect said change, of an approximate 1.4 acres for a proposed office building.

RECOMMENDATION

Land Use: Staff recommends the Planning and Development Board, acting as the Local Planning Agency, forward this petition (17-DFPSV-12) to the City Commission.

BACKGROUND

The subject site is generally located south of Johnson Street and west of North 35th Avenue. It is zoned Light Intensity Office District (O-1), with a Future Land Use Designation of Low Residential, within Flex Zone 88. The property, at approximately 1.4 acres, is partially vacant and has contains two single family homes (which will be demolished).

REQUEST

The Applicant, Ocean Drive Commercial Realty Management LLC is proposing to build an approximate 19,000 square foot medical office building (3500 Building). Although the Zoning District, O-1 allows for the proposed use, the City's Land Use Element states that no more than 5% of an area designated for residential uses within a flexibility zone on the City's Land Use Map may be used for neighborhood office and/or retail sales of merchandise or services.

The Applicant, is requesting an amendment to change the Land Use designation of the subject site from Residential to Commercial Flex through the application of the 5% residential-to-commercial flexibility rule and amending the City's Land Use Map to reflect said change. Specifically, this request would allocate Flex of approximately 1.4 acres (61,030 sq. ft.) within Flex Zone 88

Flexibility Rule

The subject site is located within an Office Zoning District with a Residential Land Use designation. While the Zoning allows for the proposed use, the Land Use does not allow for the office without the application of the 5% flexibility rule. This rule states that no more than 5% of the area designated for residential use on the Broward County Land Use Plan within a flexibility zone to be used for neighborhood office and/or retail sales of merchandise or services, subject to compliance with Policy 13.01.10 of the Broward County Land Use Plan. The subject parcel is within Flex Zone 88 and there is currently 111.9 acres available for application of Residential to Commercial Flex. Application of the 5% Flex Rule for this site specifically 1.4 acres (61,030 sq. ft.) will not exceed the available acreage for application of the residential-to-commercial flexibility rule. As such, should this application be approved, there would still be 110.50 acres (111.9 acres – 1.4 acres) remaining within Flex Zone 88. While the application of flexibility will not change the Future Land Use Map designation of the property, it does permit office uses.

Owner/Applicant:	Ocean Drive Commercial Realty Management LLC
Address/Location:	831 N. Highland Drive
Net Area of Property:	61,030 Sq. Ft. (1.4 acres)
Land Use:	Low Residential (LRES)
Zoning:	Light Intensity Office District (O-1)
Existing Use of Land:	Vacant/Single-Family Homes

ADJACENT LAND USE

North:	Community Facility
South:	Low Residential
East:	Low Residential
West:	Office

ADJACENT ZONING

North:	Hospital District(HD)
South:	Single Family District(RS-5)
East:	Single Family District (RS-5)
West:	Light Intensity Office District (O-1)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Land Use Element:

Goal: Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.

Policy 6.6: Comprehensively analyze zoning and land use on the south side of Johnson Street at I-95 to determine if more appropriate uses should be pursued.

Objective 4: Promote improved architectural and streetscape design standards, code enforcement, economic development, neighborhood planning, and public information dissemination to maintain and enhance neighborhoods, businesses, and tourist areas.

- As indicated, the proposed project is for construction of a new medical office building in a Residential Land Use area. The subject site is located south of Johnson Street and west of North 35th Avenue, directly across from Memorial Hospital. Application of the 5% flexibility rule will bring the subject property into conformance with the surrounding area which contains other office uses.

FINDING: Consistent.

Transportation Element:

Objective 2: The City of Hollywood shall coordinate with adjacent local governments, Broward County Planning Council (BCPC), the Broward County Metropolitan Planning Organization BCMPO, South Florida Regional Planning Council (SFRPC)/Tri-Rail, and appropriate state agencies to maintain and improve the functional relationship between the multimodal transportation system and future Land Use map. The coordination between the transportation system and the future Land Use maps is necessary to ensure that transportation modes and services meet the transportation needs of existing and future population densities, housing, employment patterns, and land uses.

Objective 4: In conjunction with the development of the Citywide Master Plan, the City of Hollywood shall, in coordination with BCT, Miami-Dade Transit Authority (MDTA), South Florida Regional Transit Authority, (SFRTA), and other appropriate public and private transit providers, address improvements to public transit services. These coordination efforts will address existing and proposed major trip generators and attractors, safe and convenient public transit terminals, land uses and accommodation of the special needs of the Transportation Disadvantages.

- The proposed office building is located along Johnson Street, west of I-95. If approved, the applicant will comply with current regulations at County and City level with regards to safe access in and out of the property. Furthermore, appropriate spacing and safe design of driveways will be provided while keeping in mind current traffic signals/patterns available to this parcel.

FINDING: Consistent.

Conservation Element:

Policy 1.6: *Encourage the use of native instead of exotic plants in landscaping.*

- The applicant was encouraged to utilize native plantings to beautify the proposed development. This project will provide required trees and hedging while complying with the native requirements. These will help beautify the parcel while providing new buffers from and to existing uses.

FINDING: Consistent.

Utilities Element:

Policy 1.1: *The City of Hollywood and other appropriate drainage districts shall continue to implement land development regulations which implement the minimum design criteria for stormwater management identified in the level of service standard to assess adequacy of service and concurrency during the development review process where jurisdictionally appropriate.*

Objective 4: *Maintain and protect ground water recharge of the surficial aquifer system so as to maintain all of the functions of the Biscayne Aquifer, including the reduction of saltwater intrusion.*

- Through the Development Review process, City Staff will ensure drainage and recharge requirements, including, but not limited to, installation of natural vegetation and minimum design criteria for water management are met.

FINDING: Consistent.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

Sub-Area 6, West-Central Hollywood, is surrounded by Sub-Areas 1, 3 and 7 ((US 441/SR 7 Corridor, East-Central Hollywood and North Hollywood). Sub-Areas 1, 3 and 7 are highly populated areas. Sub-Area 1 is a highly active commercial and business corridor with adjacent residential neighborhoods that connect to the residential neighborhoods located in Sub-Area 6. Sub-Areas 3 and 7 are predominantly residential with commercial corridors existing along the major roadways.

The project is located in Sub-Area 6, defined by I-95 to the east, Pembroke Road to the south, Sheridan Street to the north, and 56th Avenue to the west. This area is comprised of the residential neighborhoods of Hollywood Hills, Park East, and Hillcrest. The proposed request is consistent with the City-Wide Master Plan, based upon the following Guiding Principles and Policies. It is located in a residential and office district which contains residential, hospital, and other office uses. This project, if approved, compliments surrounding uses and allows for a new building which will provide a service to the surrounding community.

The proposed Land Use plan amendment from Residential to Commercial Flex is consistent with the City-Wide Master Plan (CWMP), based upon the following:

Guiding Principle: *Attract and retain businesses that will increase economic opportunities while enhancing the quality of life for residents.*

Guiding Principle: *Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.*

SUMMARY OF FINDINGS

1. Pursuant to the City’s Comprehensive Plan as identified, Staff finds the proposed Land Use change from Residential to Commercial Flex, to be consistent with the City’s Comprehensive Plan.
2. Pursuant to the City-Wide Master Plan Guiding Principles as identified, Staff finds the proposed Land Use change from Residential to Commercial Flex, to be consistent with the City-Wide Master Plan.

Additional review will be required during the Site Plan approval process to ensure consistency with the Zoning and Land Development Regulations and the City’s vision.

ATTACHMENTS

- ATTACHMENT A: Application Package
- ATTACHMENT B: Land Use and Zoning Map
- ATTACHMENT C: Permitted Uses in Areas Designated Industrial
- ATTACHMENT D: Flex Zone Map

ATTACHMENT A
Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- City Commission
- Historic Preservation Board
- Planning and Development Board

Date of Application: DEC 15 2020

Location Address: 831 North Highland Drive
Lot(s): 19, 20, 21, 22, 23, 24, 25 Block(s): 49 Subdivision: Hollywood Hills

Folio Number(s): _____
Zoning Classification: O1/RS-5 Land Use Classification: RES / VACANT

Existing Property Use: Residential Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes (Y) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- Economic Roundtable
- City Commission
- Technical Advisory Committee
- Planning and Development
- Historic Preservation Board

Explanation of Request: REQUEST FOR FLY & SPECIAL EXEMPTION

Number of units/rooms: _____ Sq Ft: 18,673

Value of Improvement: \$,000,000.00 Estimated Date of Completion: 2021

Will Project be Phased? () Yes (Y) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: OLEAN DRIVE COMMERCIAL REALTY MANAGEMENT

Address of Property Owner: 3000 South OLEAN DR #1120 HOLLYWOOD FL

Telephone: _____ Fax: _____ Email Address: _____

Name of Consultant/Representative/Tenant (circle one): FRANK ZINGALO

Address: 6182 NW 62nd Ave Parkland FL Telephone: 954-444-8480

Fax: _____ Email Address: FZINGALO@BELLSouth.net

Date of Purchase: 3/8/16 Is there an option to purchase the Property? Yes () No ()

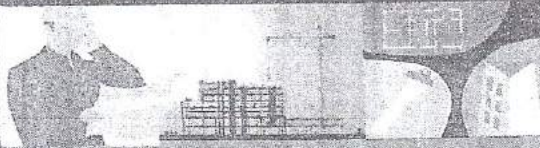
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (Internal use only) _____

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

f Signature of Current Owner: *Ha Nguyen MD* Date: 12/15/20

f PRINT NAME: HA NGUYEN MD Date: 12/15/20

Signature of Consultant/Representative: *Frank Zingale* Date: 12/16/20

PRINT NAME: FRANK ZINGALE Date: 12/16/20

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Power of Attorney to my property, which is hereby made by me or I am hereby authorizing FRANK ZINGALE to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 15th day of Dec 2020

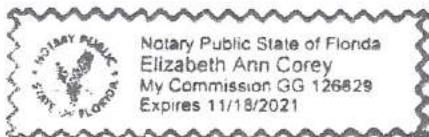
Elizabeth Ann Corey
Notary Public

State of Florida

My Commission Expires: 11/18/2021 (Check One) Personally known to me; OR Produced Identification _____

f *Ha Nguyen MD*
Signature of Current Owner

f HA NGUYEN MD
Print Name





Zingale General Construction, Inc.
6482 N.W. 62 nd Terr. Parkland, Fl 33067
(954) 753-9916 Fax (954) 346-8636
License #CGC 045402

December 15, 2020

To the City Hollywood Planning Board

Criteria Statement for the rezoning of the 3500 building

Site Data

Owner: Ocean Drive Commercial Realty Management, LLC
Location: 831 North Highland Drive
Net area of Property: 60,522 Sq. Ft. (1.39 acres)
Land use: Low Residential
Zoning: Office (0-1)/ Single Family (RS-5)
Exiting Use of Land: Single Family Home/Vacant

Criteria Statement

- A.) Our petition of rezoning thru the use of Flex does not result in spot zoning. We believe that the best possible use for this project is to rezone this property's for the use of this Medical Building. (O1). With the Hospital across the street, and the Memor Breast Care Cancer Facility to the North West of us. Stating these facts we believe we are not at odds with the city's Master Plan
- B.) This project is consistent with the city's Goals, Objectives and Policies. We have design this project as a None Ambulatory Medical Center with normal business hours. With the review of our site plan, we believe that it can be understood that we have designed a project that conforms to the surrounding properties. With the Hospital Growth and the Medical Office building/facilities around our project this will enhance this corner of Johnson, 35th avenue and Rainbow Drive.
- C.) The conditions with this area has change with the zoning that these properties were first classified. The growth of the hospital and the commercial building around us make this project essential to the growth of the neighborhood as well as the city. Our design will enhance this corner as well as being a benefit to the surrounding community.

D.) We do believe that this project will not adversely affect the living conditions of this neighborhood. One of this projects benefits is for the community to be able to walk to a doctor's office.

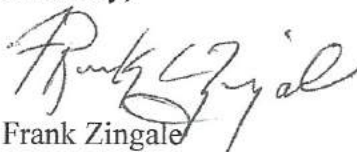
We have proposed to relocate the alley way that travels east to 35th Avenue. This will result in a much safer intersection, as the alley way currently empties at the intersection of Johnson and 35th Avenue.

We are proposing to donate the property on Johnson Street to allow for a turning lane on to 35th Avenue going north. This should alleviate some of the traffic at Johnson Street. This propose change will help with the safety of this intersection. We have proposed design elements to our project that are a result of the meeting we had with the neighborhood. We believe we have listen to their concerns of the neighbors and have meet there approval. We have had many meeting with staff to help get this project to come together. It has been a pleasure to work with the staff to develop a project that will be a benefit to the city of Hollywood.

E.) We believe that our proposed change is compatible with the development with in the neighborhood. This properties best use is a Medical office building. With the land donation for future improvements to the intersection, relocation of the alley-way and the design elements we have incorporated to our project based on our meeting with the neighborhood, we believe we have put together a compatible project for the neighborhood.

Finally, we hope that this board will grant our request for FLEX in a Residential Future Land Designation and approval of our project.

Sincerely,



Frank Zingale

Zingale General Construction, Inc.



OWNER

OCEAN DRIVE COMMERCIAL REALTY MANAGEMENT, LLC
 3000 SOUTH OCEAN DRIVE, NO. 1120
 HOLLYWOOD, FLORIDA 33019

SITE LOCATION

839-831 N HIGHLAND DRIVE, -828 N 35 AVE.
 HOLLYWOOD, FLORIDA 33332

PROPOSED LAND USE

18,673 SQUARE FOOT MEDICAL OFFICE BUILDING
 NUMBER OF STORIES IN THE BUILDING IS 2
 OCCUPANCY IS B
 BUILDING TYPE III

DATES

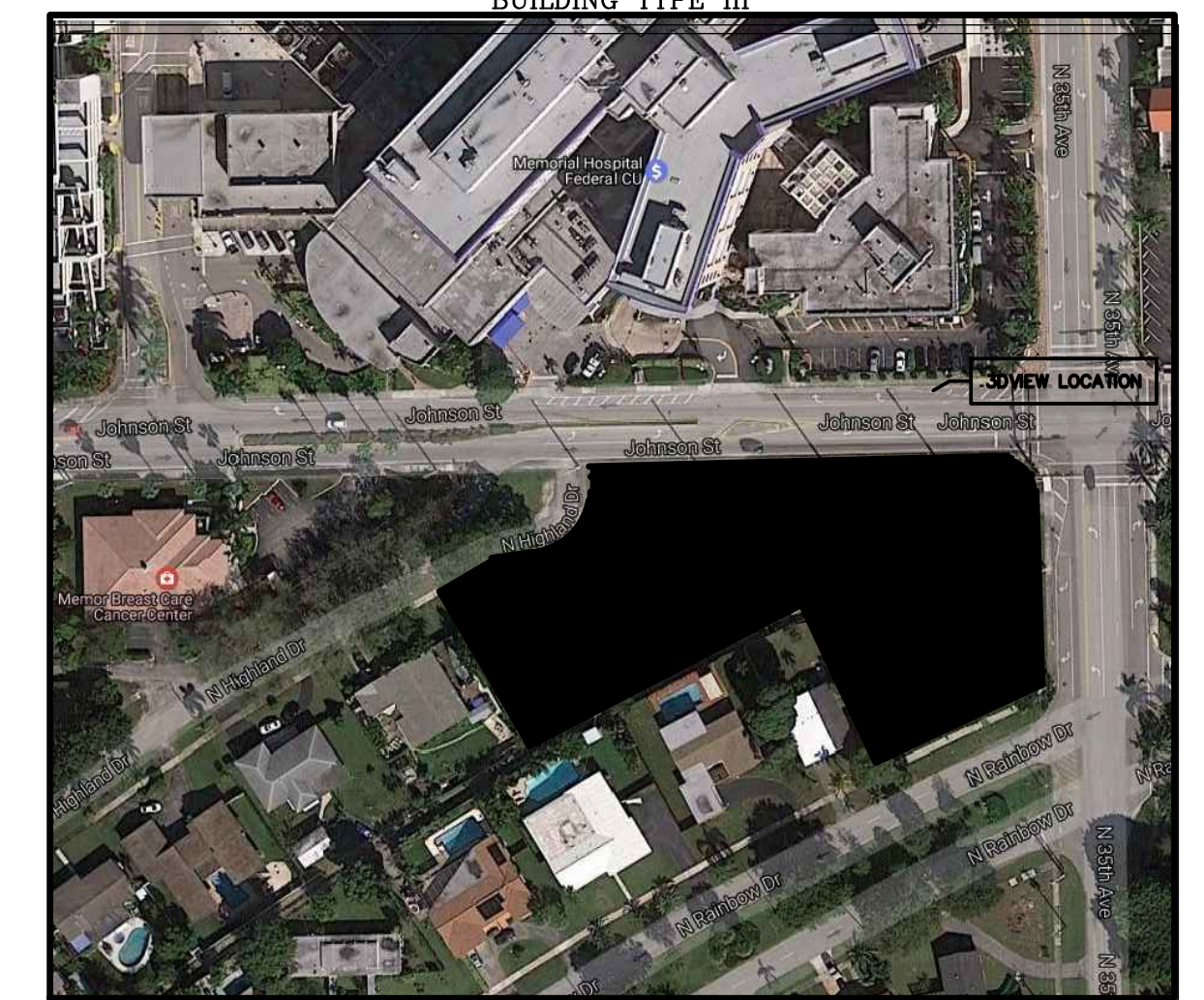
FINAL TAC MEETING
 NOVEMBER 05, 2018

PDB MEETING
 TBD

SHEET INDEX

ARCHITECTURAL

- COVER SHEET
- A1 SITE PLAN
- A2 FIRST FLOOR PLAN
- A3 SECOND FLOOR PLAN
- A4 PARKING LOT LIGHTING FIRE TRUCK PATH PLAN
- A5 SIGN DETAIL, DUMPSTER ENCLOSURE SECTION
- 8'-WALL DETAIL
- A6 BUILDING ELEVATIONS
- A7 SURVEY
- LE-1 EXISTING TREE DISPOSITION
- LI-1 IRRIGATION PLAN
- LP-1 LANDSCAPE PLAN
- LP-2 LANDSCAPE NOTES
- 1-14 ENGINEERING PLANS



LOCATION MAP

3500 BUILDING

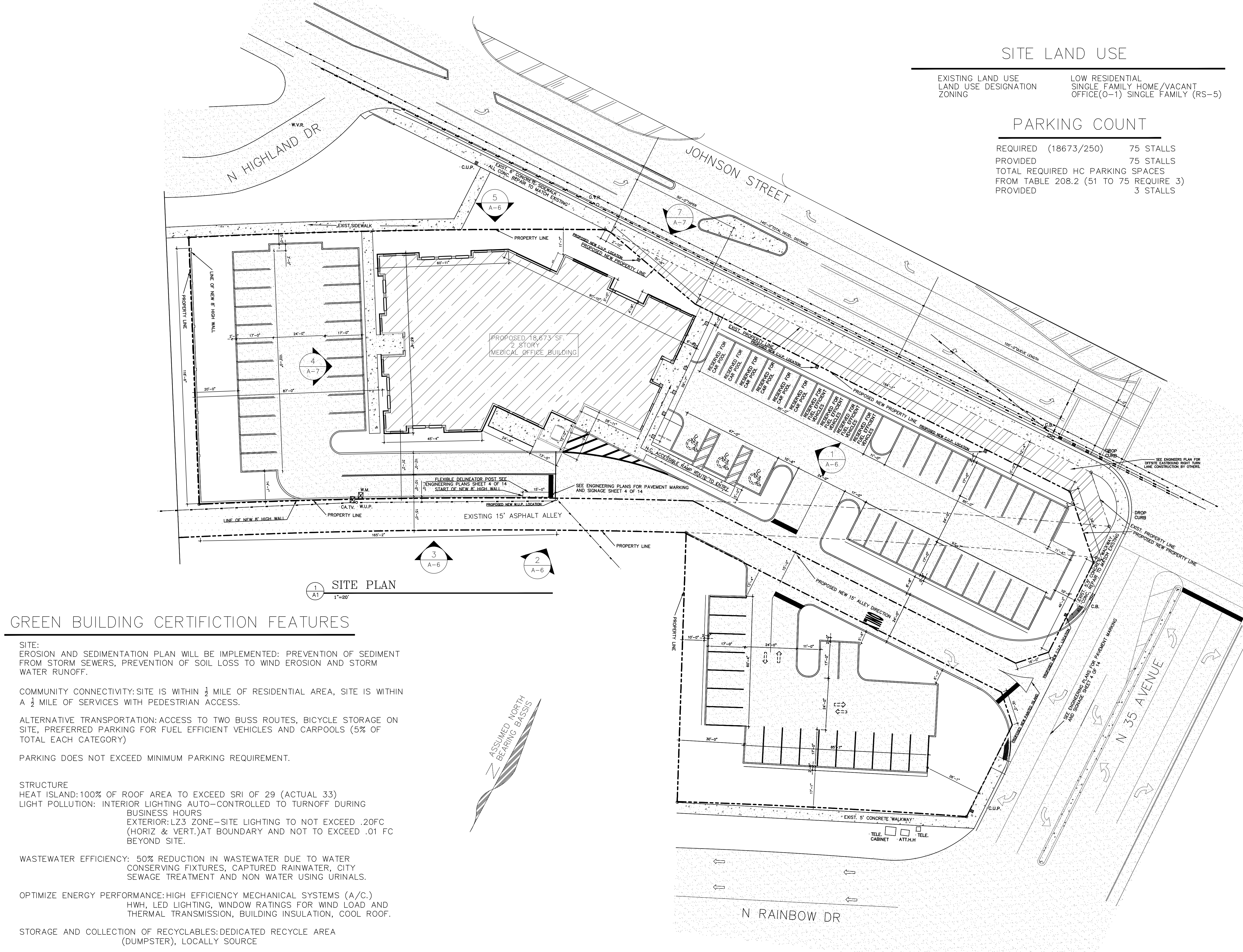
COVER SHEET

SHEET OF

DATE 07/10/2019

REVISION #1

REVISION #1



SITE LAND USE

EXISTING LAND USE: LOW RESIDENTIAL
 LAND USE DESIGNATION: SINGLE FAMILY HOME/VACANT OFFICE(0-1) SINGLE FAMILY (RS-5)
 ZONING: OFFICE(0-1) SINGLE FAMILY (RS-5)

PARKING COUNT

REQUIRED (18673/250)	75 STALLS
PROVIDED	75 STALLS
TOTAL REQUIRED HC PARKING SPACES FROM TABLE 208.2 (51 TO 75 REQUIRE 3)	3 STALLS

CODE INFORMATION

1. APPLICABLE CODES:
 2017 FLORIDA BUILDING CODE
 2017 NATIONAL ELECTRIC CODE
 2017 FLORIDA PLUMBING CODE
 2017 MECHANICAL CODE
 2017 EXISTING BUILDING CODE

SITE INFO

PROPOSED MEDICAL OFFICE
 18,673 SQUARE FEET, TWO STORY
 CONTEMPORARY TUSCAN BUILDING
 30'-0" MAX ROOF HEIGHT.
 FINISH FLOOR HEIGHT 11.50 NAVD

SETBACKS

REQUIRED	PROVIDED
FRONT SIDES	20'0"
BACK SIDES	20'0"
FRONT	5'0"
BACK	31'2"
WEST SIDES	8'7'0"
EAST SIDES	208'2"

SITE AREA

BUILDING	18,673 S.F. A/C
SITE AREA	60,522 S.F. (1.39 ACRES)

TOTAL SQUARE FEET 1ST. FLOOR	9,119'
TOTAL SQUARE FEET 2ND. FLOOR	9,554'
FRONT ENTRY	131'
BACK ENTRY	92'
FRONT STAIRWELL	121'
BACK STAIRWELL	132'
ELEVATOR SHAFT	64'
LOBBY	237'
COMMAND HALLWAY 1ST. FL.	713'
COMMAND HALLWAY 2ND FL.	720'
RESTROOMS 1ST FLOOR	297'
RESTROOMS 2ND FLOOR	297'

PROPOSED PARCEL; 1 45116.97 SQ.FT.=1.03 ACRE
 PROPOSED PARCEL; 2 13539.66 SQ.FT.= .31 ACRE
 TOTAL SQ.FT. =58656.63 SQ.FT.=1.34 ACRE

SURFACE LEGEND

- ASPHALT
- CONCRETE
- PROPOSED LAND DONATION
- PROPOSED BUILDING
- PROPOSED LANDSCAPE AREA

NOTE:

THE FLEXIBLE DELINEATOR POST TO BE MAINTAINED BY DEVELOPER

NOTE:

GREEN BUILDING CERTIFICATION SHALL BE ACHIEVED

NOTE:

MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES SHALL BE MAXIMUM 0.5

SPECIAL EXCEPTION

PROPOSED PARKING IN A SINGLE-FAMILY DISTRICT (RS-5) FOR USE BY AN ADJUTING COMMERCIAL USE

SPECIAL REQUEST

REQUEST FOR A 18500 SQ. FT OFFICE SPACE, IS BEING REQUESTED FOR COMMERCIAL FLEX IN A RESIDENTIAL FUTURE LAND USE DESIGNATION FOR FLEX ZONE 88

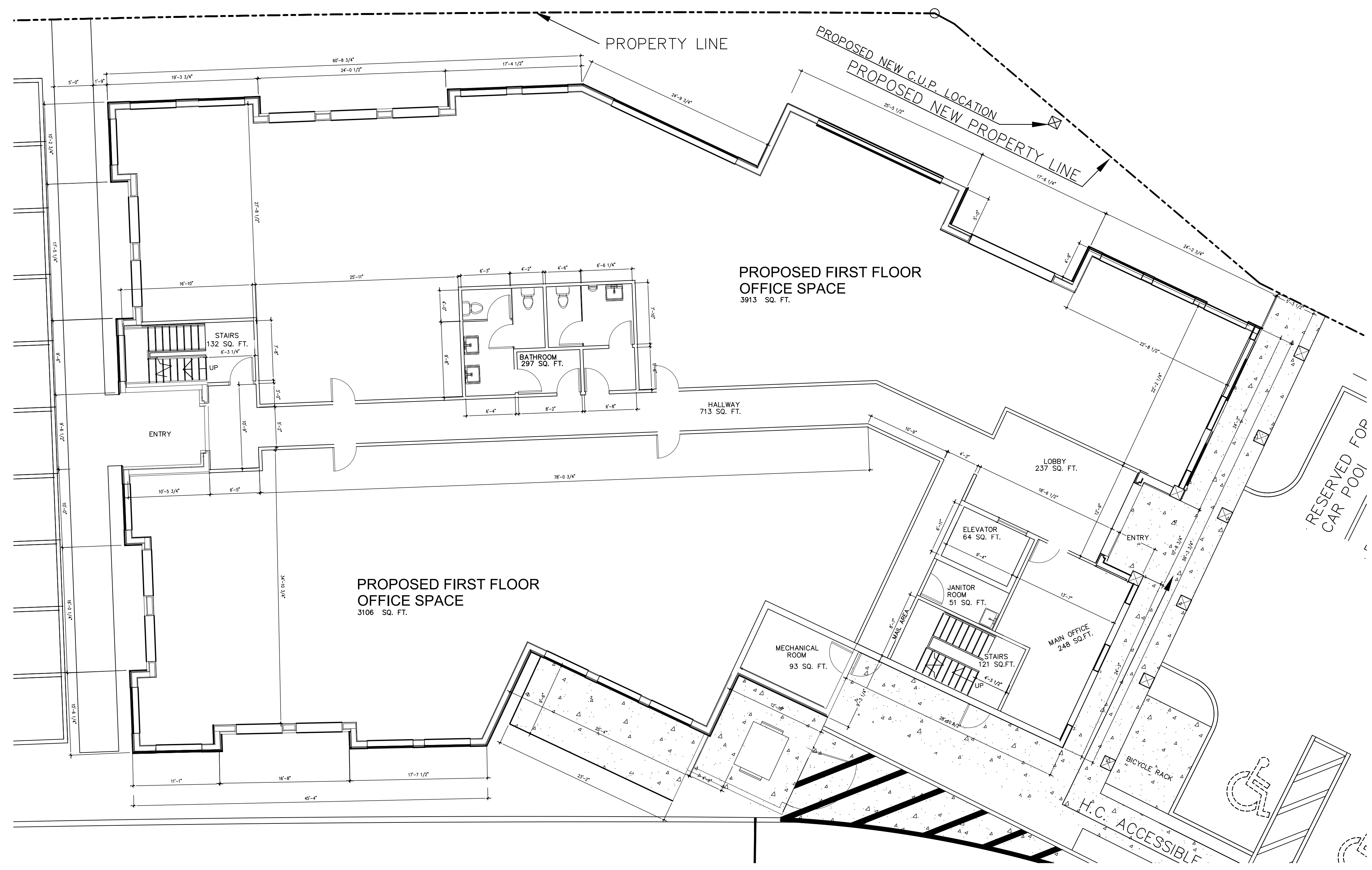
GREEN BUILDING CERTIFICATION FEATURES

- SITE:**
EROSION AND SEDIMENTATION PLAN WILL BE IMPLEMENTED: PREVENTION OF SEDIMENT FROM STORM SEWERS, PREVENTION OF SOIL LOSS TO WIND EROSION AND STORM WATER RUNOFF.
- COMMUNITY CONNECTIVITY:** SITE IS WITHIN 1/2 MILE OF RESIDENTIAL AREA, SITE IS WITHIN A 1/2 MILE OF SERVICES WITH PEDESTRIAN ACCESS.
- ALTERNATIVE TRANSPORTATION:** ACCESS TO TWO BUSS ROUTES, BICYCLE STORAGE ON SITE, PREFERRED PARKING FOR FUEL EFFICIENT VEHICLES AND CARPOOLS (5% OF TOTAL EACH CATEGORY)
- PARKING DOES NOT EXCEED MINIMUM PARKING REQUIREMENT.**
- STRUCTURE**
HEAT ISLAND: 100% OF ROOF AREA TO EXCEED SRI OF 29 (ACTUAL 33)
LIGHT POLLUTION: INTERIOR LIGHTING AUTO-CONTROLLED TO TURN OFF DURING BUSINESS HOURS
EXTERIOR: LZ3 ZONE-SITE LIGHTING TO NOT EXCEED .20FC (HORIZ & VERT.) AT BOUNDARY AND NOT TO EXCEED .01 FC BEYOND SITE.
- WASTEWATER EFFICIENCY:** 50% REDUCTION IN WASTEWATER DUE TO WATER CONSERVING FIXTURES, CAPTURED RAINWATER, CITY SEWAGE TREATMENT AND NON WATER USING URINALS.
- OPTIMIZE ENERGY PERFORMANCE:** HIGH EFFICIENCY MECHANICAL SYSTEMS (A/C.)
HWH, LED LIGHTING, WINDOW RATINGS FOR WIND LOAD AND THERMAL TRANSMISSION, BUILDING INSULATION, COOL ROOF.
- STORAGE AND COLLECTION OF RECYCLABLES:** DEDICATED RECYCLE AREA (DUMPSTER), LOCALLY SOURCE
- INDOOR AIR QUALITY:** LOW EMITTING MATERIALS, ADHESIVES AND SEALANTS WILL BE SPECIFIED.
NO SMOKING EXCEPT IN DESIGNATED SMOKING AREA WITHIN THE BUILDING OR 25' FROM ENTRANCE OUTSIDE OF BUILDING.



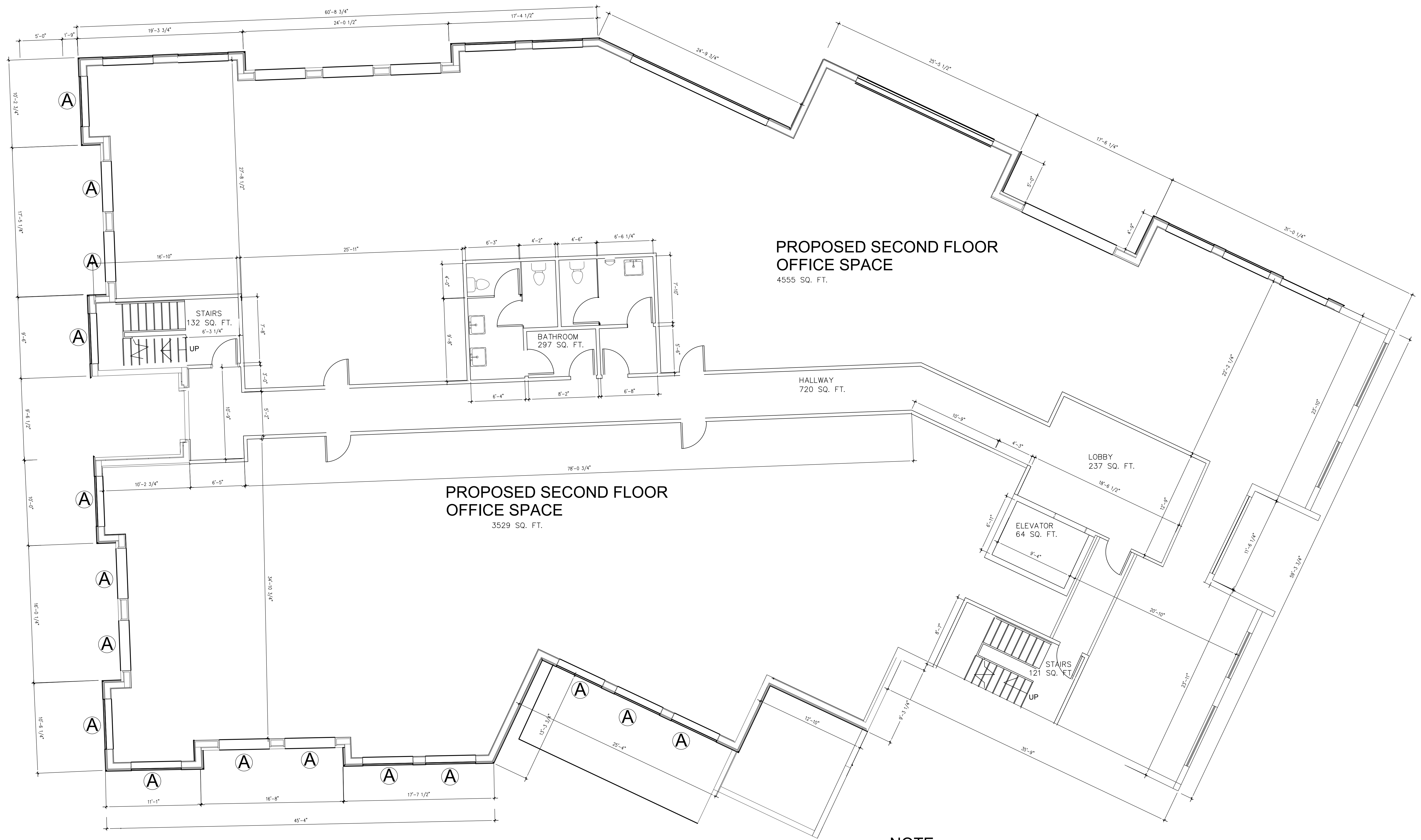
SITE PLAN

3500 BUILDING
 PHONE 9548188485
 8731 WAKEFIELD DRIVE
 PALM BEACH GARDENS, FL. 33410
 561-429-8580
 FAX 561-429-8580
 HOLLWOOD FLA. 33332
 RODNEY NORTH GREEN ARCHITECT
 4R591



1 FIRST FLOOR PLAN
A2 1/8"=1'-0"

FIRST FLOOR PLAN



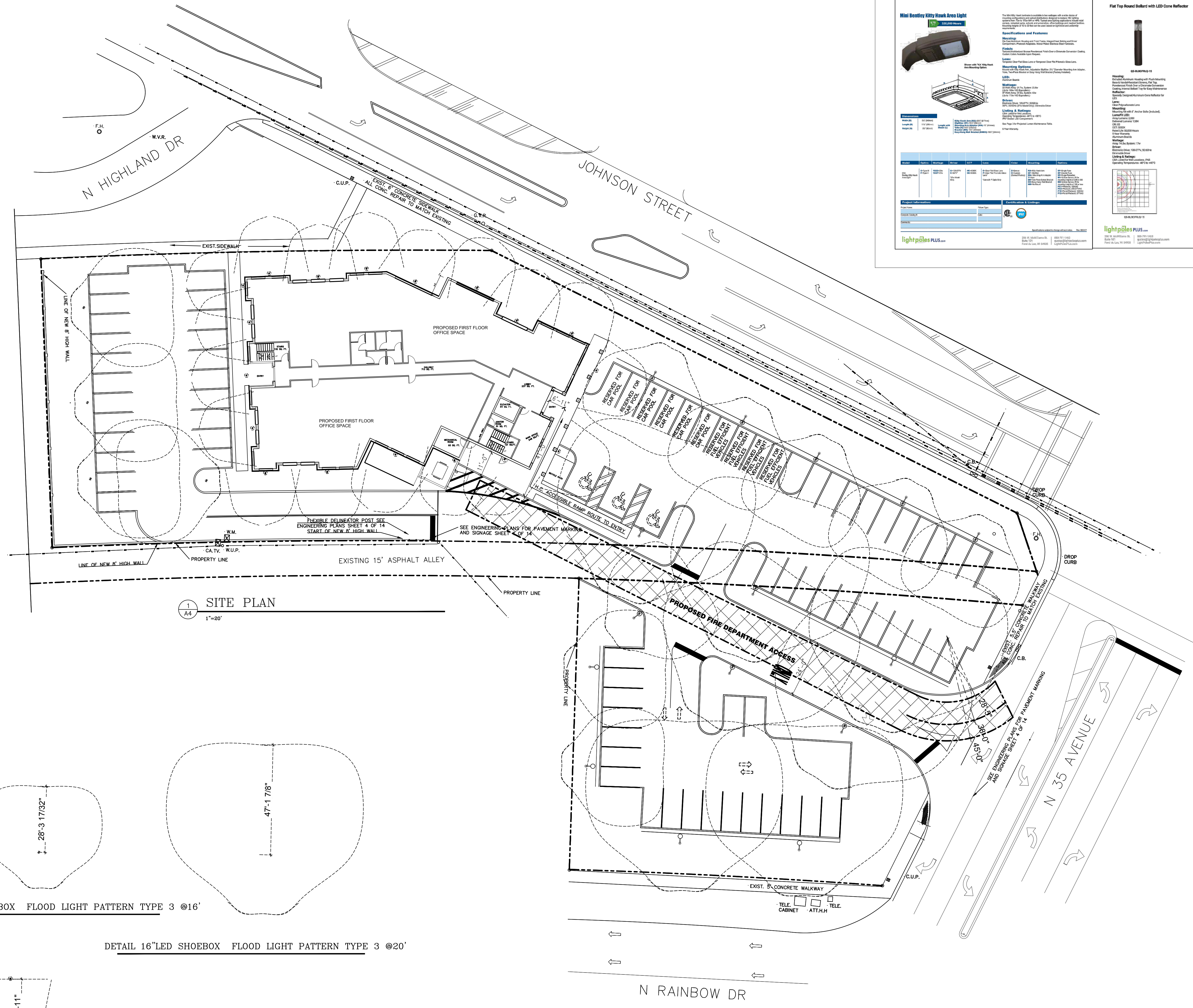
**PROPOSED SECOND FLOOR
OFFICE SPACE**
4555 SQ. FT.

**PROPOSED SECOND FLOOR
OFFICE SPACE**
3529 SQ. FT.

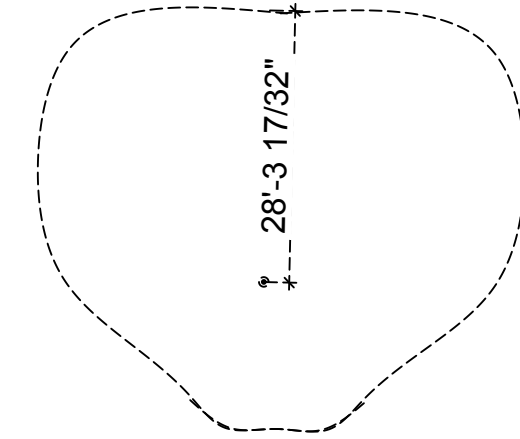
NOTE:
Ⓐ WINDOWS TO BE FROSTED FINISH

1 SECOND FLOOR PLAN
A3 1/8"=1'-0"

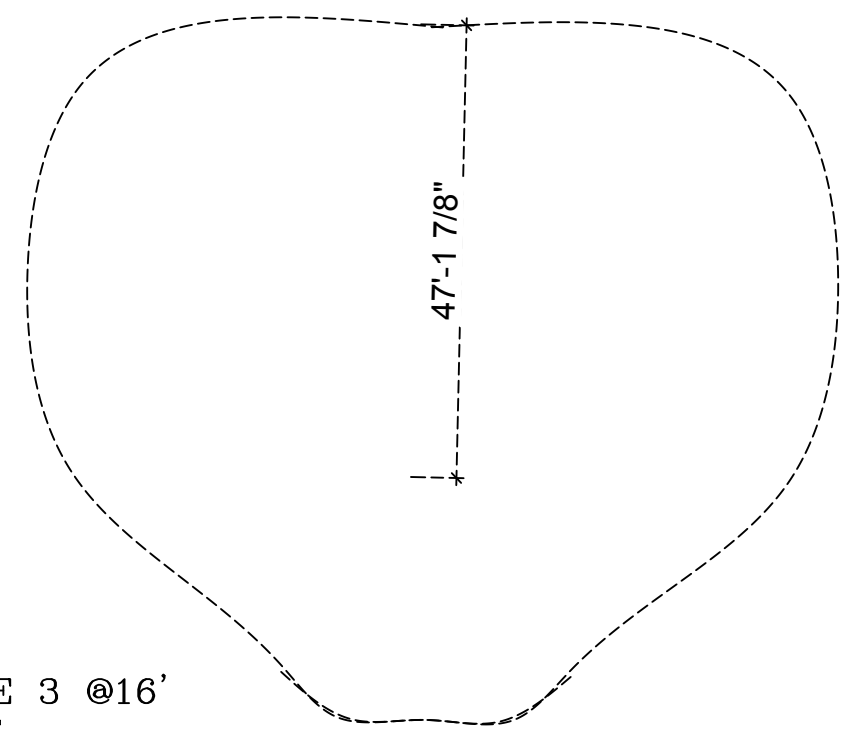
SECOND FLOOR PLAN



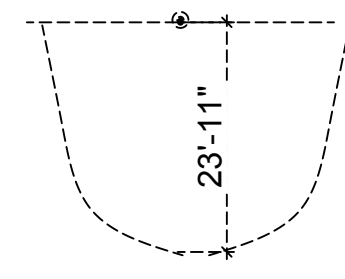
SITE PLAN
1
A/4
1"=20'



DETAIL 16"LED SHOEBOX FLOOD LIGHT PATTERN TYPE 3 @16'



DETAIL 16"LED SHOEBOX FLOOD LIGHT PATTERN TYPE 3 @20'



DETAIL MINI BENTLEY KITTY HAWK AREA WALL LIGHT @16'

PARKING LOT LIGHTING & FIRE TRUCK PATH

Mini Bentley Kitty Hawk Area Light

350,000 Hours

Specifications and Features:

- Mounting:** Concealed, recessed, surface mount, or pole mount.
- Finish:** Powder coated aluminum, stainless steel, or custom finish.
- Lighting Options:** High pressure sodium, LED, or custom color.

Item	Quantity	Unit	Notes
Mini Bentley Kitty Hawk Area Light	1	each	See notes for specifications

Flat Top Round Bollard with LED Cone Reflector

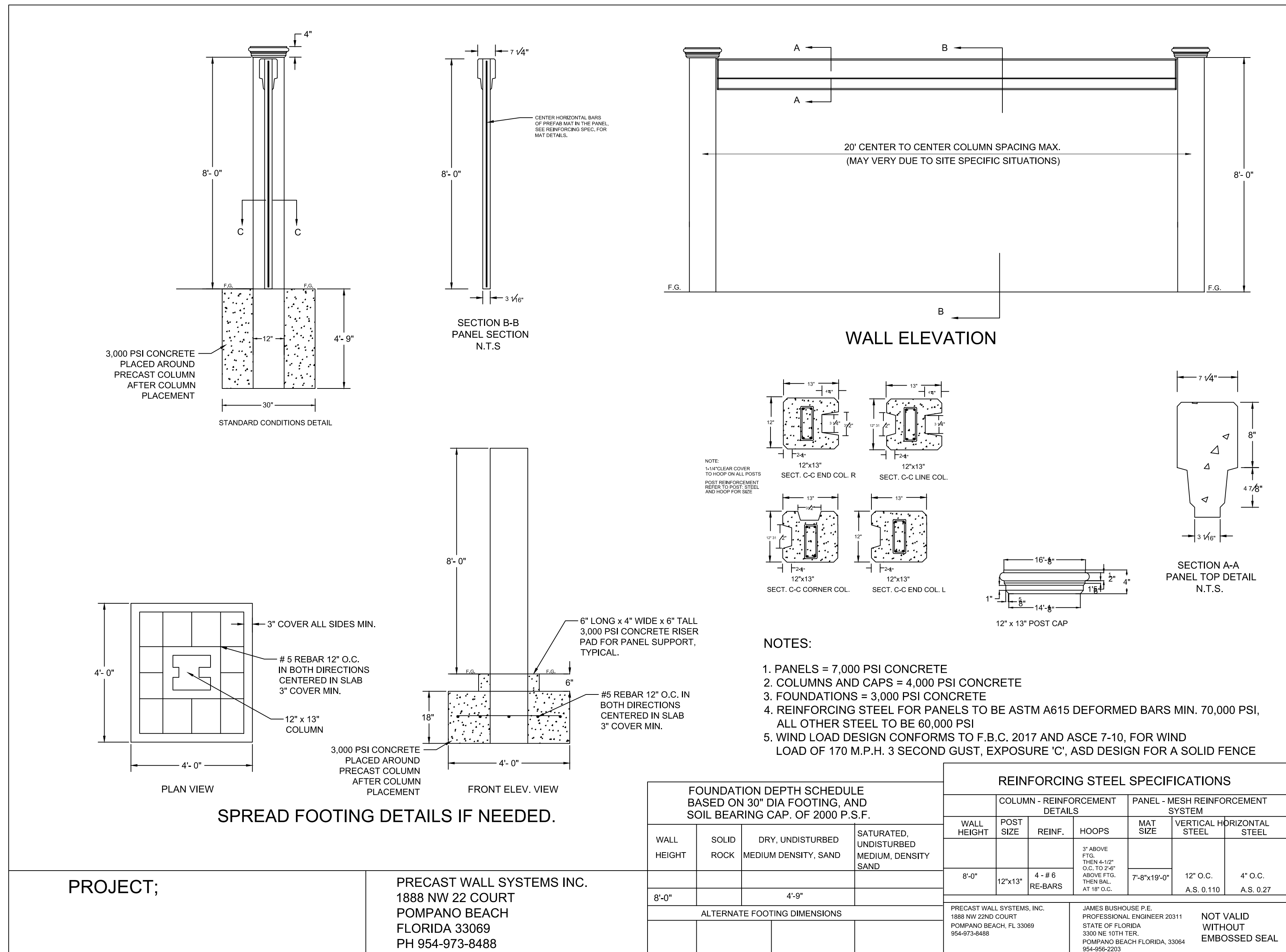
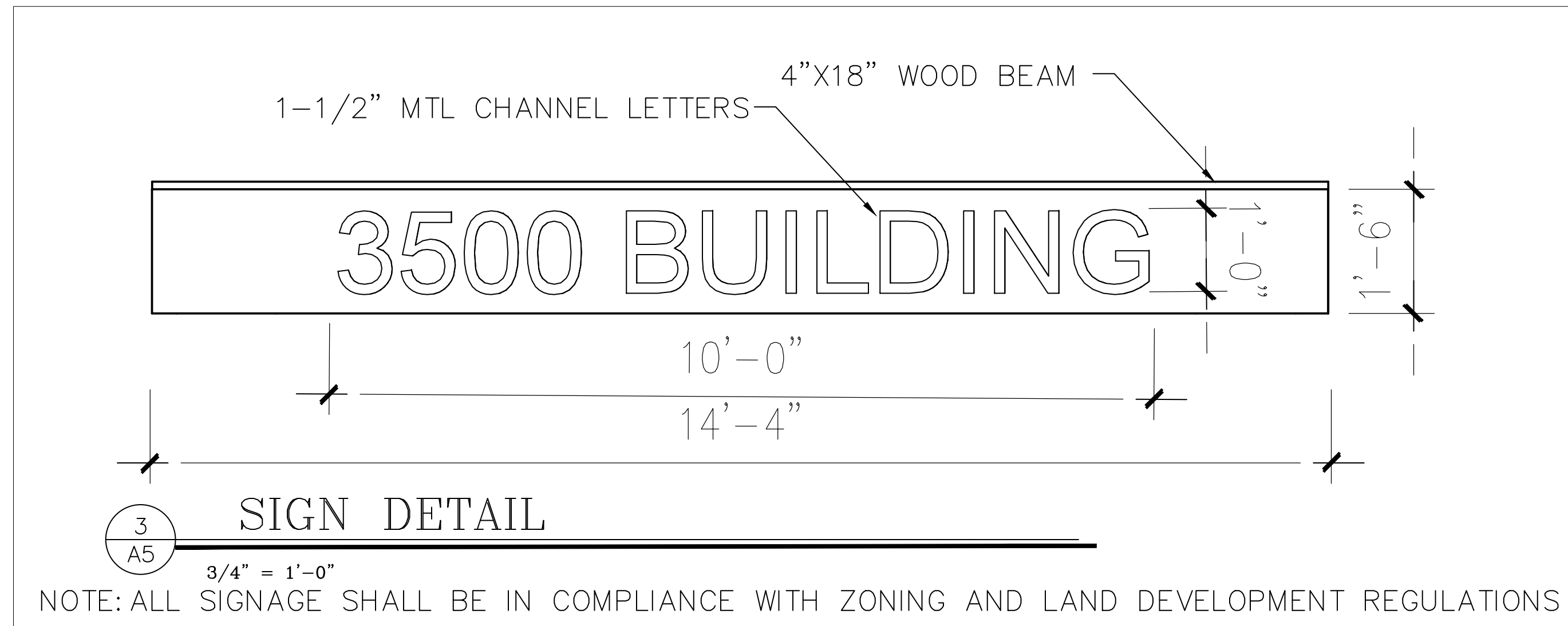
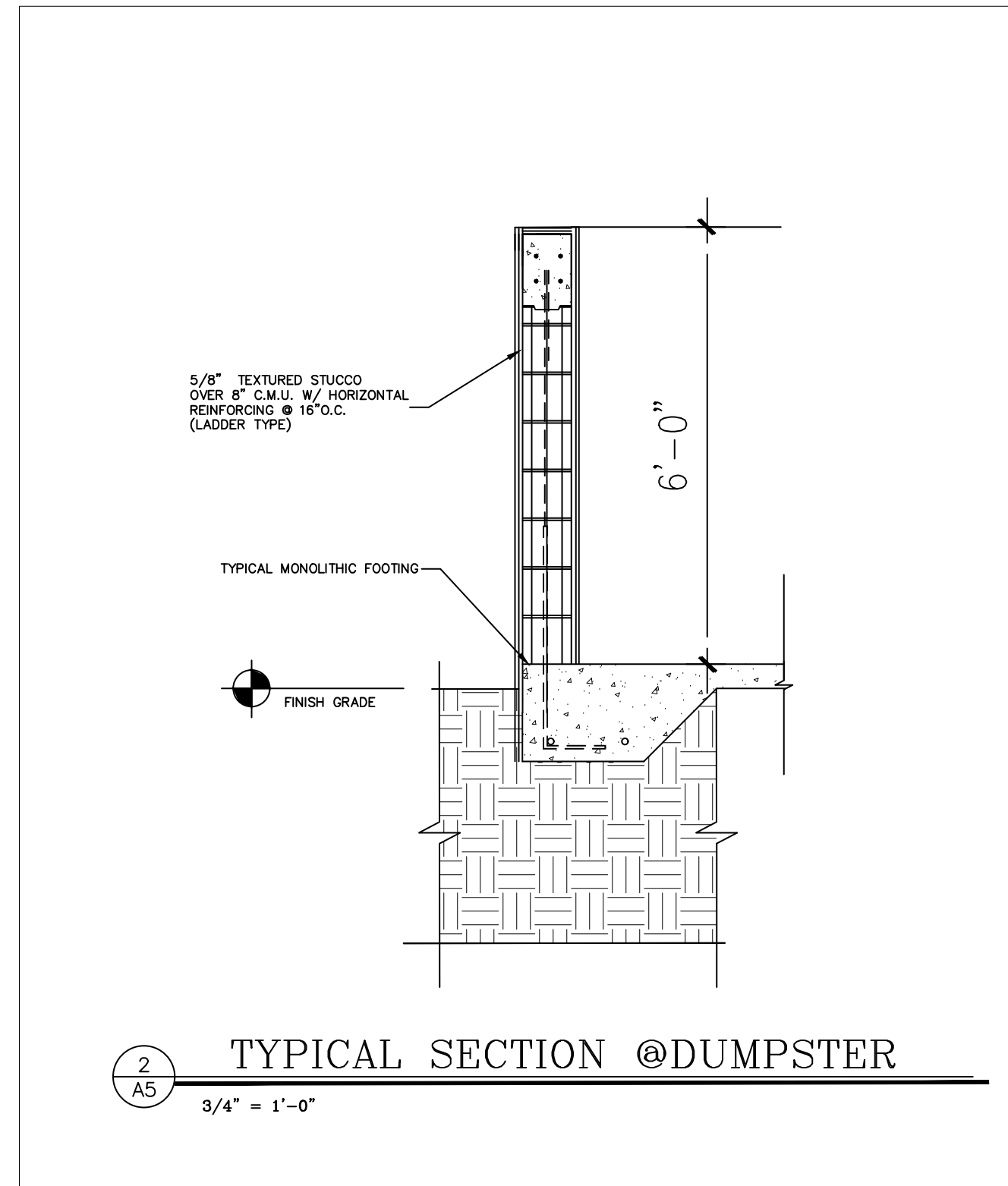
Specifications and Features:

- Material:** 304 stainless steel or aluminum.
- Finish:** Polished, brushed, or powder coated.
- Lighting:** LED cone reflector.

12" & 16" LED Shoebox Area & Flood Lights - Heritage Series

Product Overview:

- Highly adjustable and directional.
- LED technology for long life and energy efficiency.
- Available in 12" and 16" sizes.



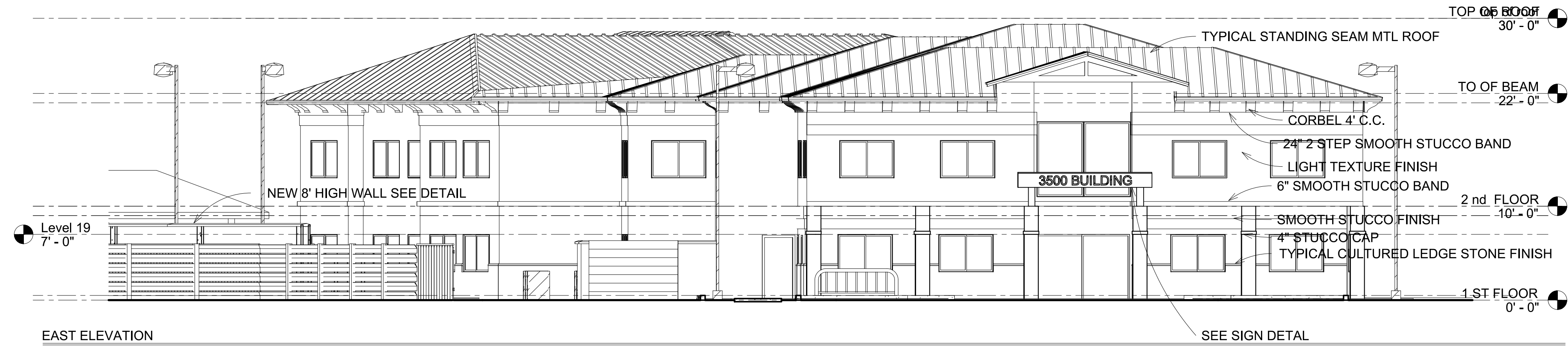
- NOTES:**
- PANELS = 7,000 PSI CONCRETE
 - COLUMNS AND CAPS = 4,000 PSI CONCRETE
 - FOUNDATIONS = 3,000 PSI CONCRETE
 - REINFORCING STEEL FOR PANELS TO BE ASTM A615 DEFORMED BARS MIN. 70,000 PSI, ALL OTHER STEEL TO BE 60,000 PSI
 - WIND LOAD DESIGN CONFORMS TO F.B.C. 2017 AND ASCE 7-10, FOR WIND LOAD OF 170 M.P.H. 3 SECOND GUST, EXPOSURE 'C', ASD DESIGN FOR A SOLID FENCE

FOUNDATION DEPTH SCHEDULE BASED ON 30\"/>			
WALL HEIGHT	SOLID ROCK	DRY, UNDISTURBED MEDIUM DENSITY, SAND	SATURATED, UNDISTURBED MEDIUM DENSITY SAND
8'-0"		4'-9"	
ALTERNATE FOOTING DIMENSIONS			

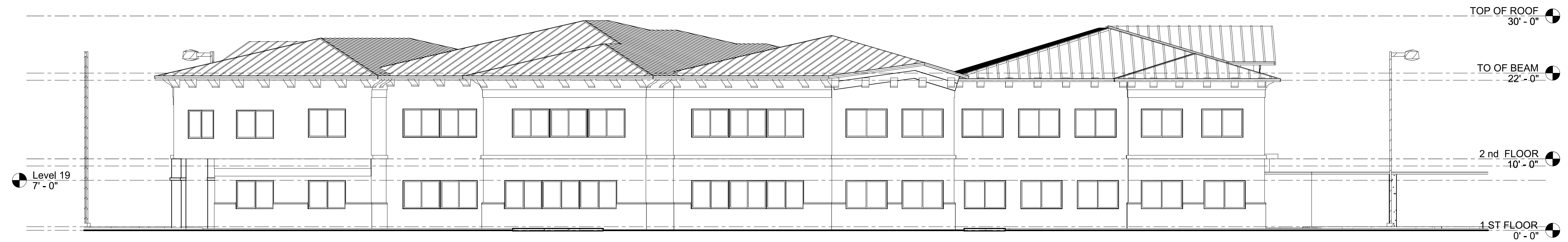
REINFORCING STEEL SPECIFICATIONS					
COLUMN - REINFORCEMENT DETAILS			PANEL - MESH REINFORCEMENT SYSTEM		
WALL HEIGHT	POST SIZE	REINF.	HOOPS	MAT SIZE	VERTICAL HORIZONTAL STEEL
8'-0"	12"x13"	4 - #6 RE-BARS	3\"/>		

PROJECT;

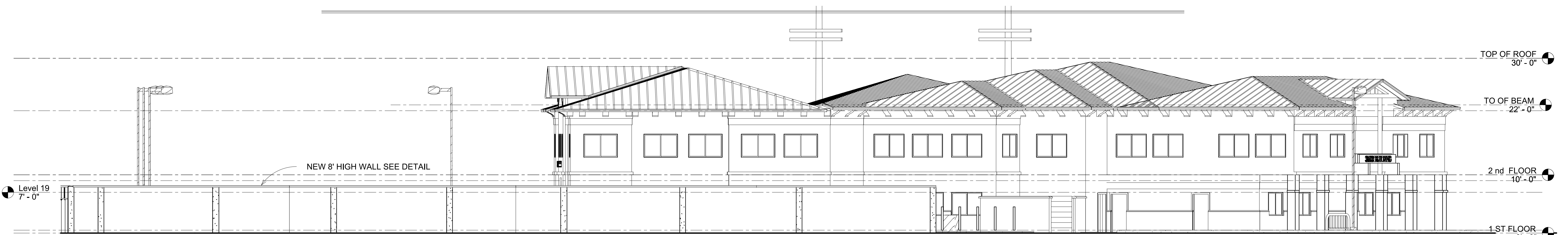
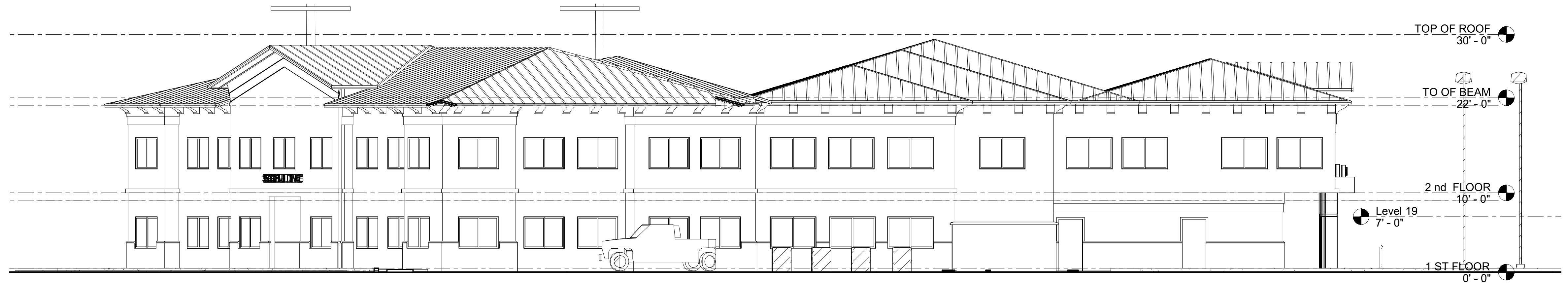
PRECAST WALL SYSTEMS INC.
 1888 NW 22ND COURT
 POMPANO BEACH
 FLORIDA 33069
 PH 954-973-8488



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION WITH 8' WALL

ELEVATIONS

SKETCH OF ALTA/NSPS SURVEY

DATES OF LAST FIELD WORK: 3/5/2017, 9/27/17, 10/17/18

PARCEL 1: 831 N HIGHLAND DRIVE
 PARCEL 2: 839 N HIGHLAND DRIVE
 PARCEL 3: VACANT LAND, JOHNSON STREET
 PARCEL 4: VACANT LAND, 828 N 35 AVENUE
 ALL IN HOLLYWOOD, FLORIDA 33332

CITY OF FORT HOLLYWOOD 125113
 MAP/PANEL NUMBER 120110568H
 INDEX DATE 8/18/14 PANEL EFFECTIVE DATE 8/18/14
 FLOOD ZONE "AH"/"X" BASE FLOOD ELEVATION "10"/"NOT-APPLICABLE"
 NOTE: FLOOD ZONE LINE PLACED ON SKETCH BY SCALING FROM MAP LISTED ABOVE

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND REFERENCED FROM CITY OF HOLLYWOOD BENCH MARK 3 NAIL AND TAB LOCATED AT THE INTERSECTION OF 40th AVENUE AND ARTHUR STREET. ELEVATION = 9.15(1929 DATUM)
 SPOT ELEVATION = x#.##

SURVEY BASED ON THE FOLLOWING INFORMATION

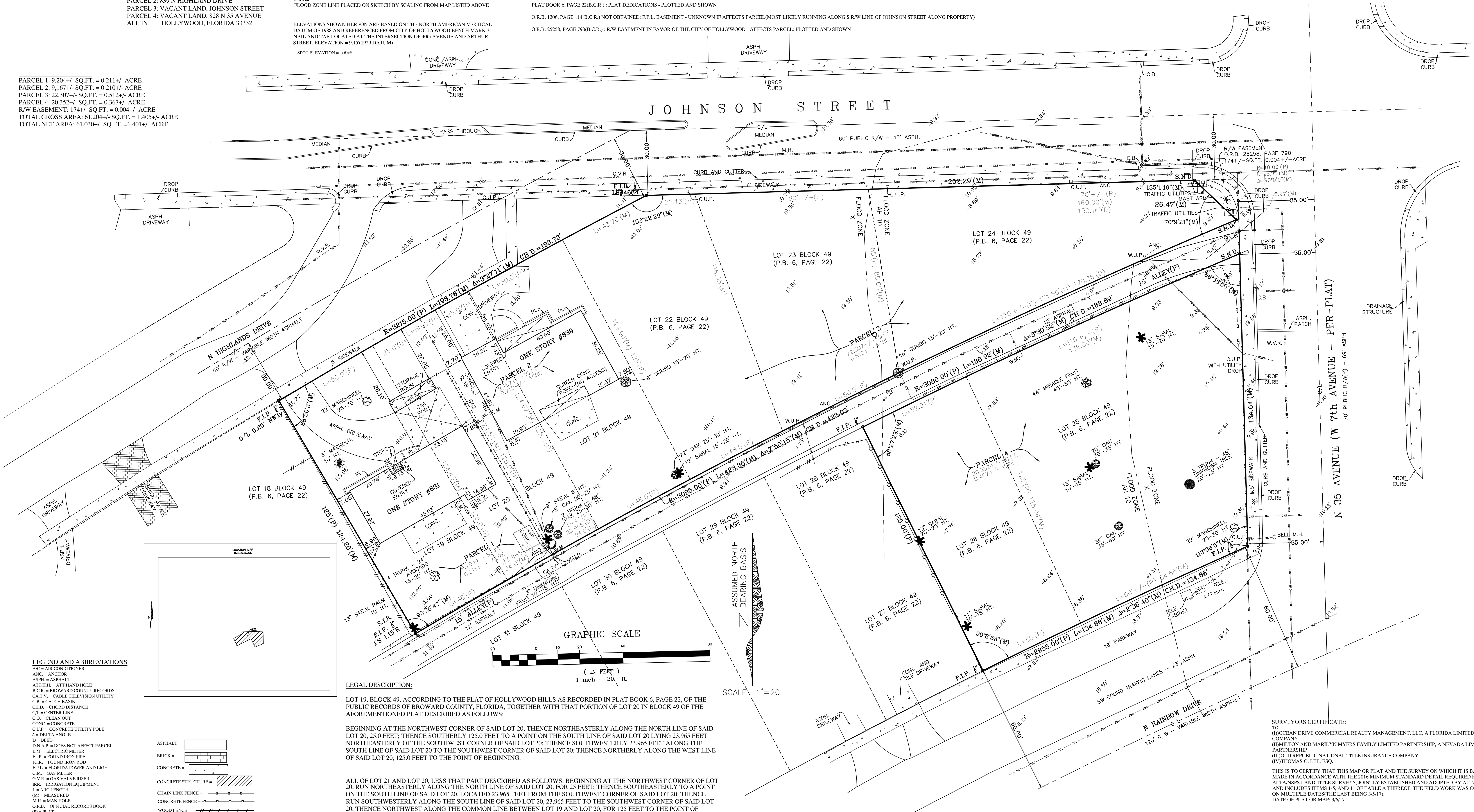
DATED: OCTOBER 11, 2018 11:00 PM
 PROVIDED BY: THOMAS G. LEE, ESQ.

PLAT BOOK 6, PAGE 22(B.C.R.) : PLAT DEDICATIONS - PLOTTED AND SHOWN

O.R.B. 1306, PAGE 114(B.C.R.) NOT OBTAINED: E.P.L. EASEMENT - UNKNOWN IF AFFECTS PARCEL(MOST LIKELY RUNNING ALONG S/R/W LINE OF JOHNSON STREET ALONG PROPERTY)

O.R.B. 25258, PAGE 790(B.C.R.) : R/W EASEMENT IN FAVOR OF THE CITY OF HOLLYWOOD - AFFECTS PARCEL: PLOTTED AND SHOWN

PARCEL 1: 9,204+/- SQ.FT. = 0.211+/- ACRE
 PARCEL 2: 9,167+/- SQ.FT. = 0.210+/- ACRE
 PARCEL 3: 22,307+/- SQ.FT. = 0.512+/- ACRE
 PARCEL 4: 20,352+/- SQ.FT. = 0.367+/- ACRE
 R/W EASEMENT: 174+/- SQ.FT. = 0.004+/- ACRE
 TOTAL GROSS AREA: 61,204+/- SQ.FT. = 1.405+/- ACRE
 TOTAL NET AREA: 61,030+/- SQ.FT. = 1.401+/- ACRE



LEGEND AND ABBREVIATIONS

- AC = AIR CONDITIONER
- ANC = ANCHOR
- ASPH = ASPHALT
- ATT.H.H. = ATT HAND HOLE
- B.C.R. = BROWARD COUNTY RECORDS
- CAT.V. = CABLE TELEVISION UTILITY
- C.B. = CATCH BASIN
- CH.D. = CHORD DISTANCE
- CL = CENTER LINE
- CO. = CLEAN OUT
- CONC. = CONCRETE
- C.U.P. = CONCRETE UTILITY POLE
- D = DEED
- D.N.A.P. = DOES NOT AFFECT PARCEL
- E.M. = ELECTRIC METER
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- F.P.L. = FLORIDA POWER AND LIGHT
- G.M. = GAS METER
- G.V.R. = GAS VALVE RISER
- IRR. = IRRIGATION EQUIPMENT
- L = ARC LENGTH
- M = MEASURED
- M.H. = MAN HOLE
- O.R.B. = OFFICIAL RECORDS BOOK
- P = PLAT
- P.B. = PLAT BOOK
- PL = PLASTER
- R = RADIUS
- R/W = RIGHT-OF-WAY
- S.I.R. = SET # IRON ROD LB#689
- S.N.D. = SET NAIL AND DISC LB#889
- TELE. = TELECOMMUNICATIONS UTILITY
- W.M. = WATER METER
- W.U.P. = WOOD UTILITY POLE
- W.V.R. = WATER VALVE RISER

LEGAL DESCRIPTION:

LOT 19, BLOCK 49, ACCORDING TO THE PLAT OF HOLLYWOOD HILLS AS RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH THAT PORTION OF LOT 20 IN BLOCK 49 OF THE AFOREMENTIONED PLAT DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 20; THENCE NORTHEASTERLY ALONG THE NORTH LINE OF SAID LOT 20, 25.0 FEET; THENCE SOUTHERLY 125.0 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 20 LYING 23.965 FEET NORTHEASTERLY OF THE SOUTHWEST CORNER OF SAID LOT 20; THENCE SOUTHWESTERLY 23.965 FEET ALONG THE SOUTH LINE OF SAID LOT 20 TO THE SOUTHWEST CORNER OF SAID LOT 20; THENCE NORTHERLY ALONG THE WEST LINE OF SAID LOT 20, 125.0 FEET TO THE POINT OF BEGINNING.

ALL OF LOT 21 AND LOT 20, LESS THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF LOT 20, RUN NORTHEASTERLY ALONG THE NORTH LINE OF SAID LOT 20, FOR 25 FEET; THENCE SOUTHEASTERLY TO A POINT ON THE SOUTH LINE OF SAID LOT 20, LOCATED 23.965 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 20, THENCE RUN SOUTHWESTERLY ALONG THE SOUTH LINE OF SAID LOT 20, 23.965 FEET TO THE SOUTHWEST CORNER OF SAID LOT 20, THENCE NORTHWEST ALONG THE COMMON LINE BETWEEN LOT 19 AND LOT 20, FOR 125 FEET TO THE POINT OF BEGINNING, OF ALL OF THE ABOVE BEING PART OF BLOCK 39, OF HOLLYWOOD HILLS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LOTS 22, 23 AND 24, BLOCK 49, OF HOLLYWOOD HILLS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PREMISES ALSO KNOWN AS TRIANGULAR PARCEL EAST OF 839 NORTH HIGHLANDS DRIVE, HOLLYWOOD, FLORIDA.

LOTS 35 AND 26, BLOCK 49, OF HOLLYWOOD HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LANDS LYING AND BEING IN BROWARD COUNTY, FLORIDA.

TREE NOTES:
 THE TREES AND INFORMATION ABOUT SUCH TREES, ARE LABELED HEREON TO THE BEST KNOWLEDGE OF THE SURVEYOR SHOWN HEREON. THE SURVEYOR IS NOT A LANDSCAPE ARCHITECT, BOTANIST, OR ARBORIST AND INFORMATION ABOUT SUCH TREES SHOULD BE VERIFIED BY A QUALIFIED INDIVIDUAL.

SURVEY NOTES:

- 1) THIS IS A COPYRIGHT DOCUMENT CONTAINING PROPRIETARY INFORMATION AND IS NOT WARRANTED BY THE SIGNING SURVEYOR WHEN COPIED BY OTHERS.
- 2) UNLESS OTHERWISE SHOWN HEREON RECORD AND MEASURED CALLS ARE IN SUBSTANTIAL AGREEMENT
- 3) UNLESS OTHERWISE SHOWN HEREON FOUND MONUMENTATION HAS NO IDENTIFICATION
- 4) FENCE OWNERSHIP IS NOT DETERMINED BY UNDERSIGNED, FENCE TIES ARE TAKEN TO THE CENTER OF THE FENCE, FENCE LINES MAY MEANDER ALONG PROPERTY LINES, FENCE LINES MAY BE SHOWN EXAGGERATED TO BETTER ILLUSTRATE WHERE THEY ARE LOCATED
- 5) SUBSURFACE FOUNDATION FEATURES WERE NOT LOCATED FOR THIS SURVEY
- 6) SUBSURFACE UTILITY FEATURES WERE LOCATED AS SHOWN FOR THIS SURVEY, LOCATIONS OF EXISTING UNDERGROUND UTILITIES WERE OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATES OF MARKED UTILITIES, THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE, ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE DRAWINGS, THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR NOT LOCATED WHERE SHOWN
- 7) SYMBOLS SHOWN ON THIS SURVEY MAY NOT BE DRAWN TO SCALE AND ARE SHOWN THIS WAY FOR ILLUSTRATIVE PURPOSES
- 8) THE LOCATION MAP SHOWN ON THIS SURVEY IS FOR ILLUSTRATIVE PURPOSES ONLY AND ANY ABBREVIATIONS AND SYMBOLS SHOWN MIGHT NOT BE NOTED ON THIS SURVEY
- 9) ABSTRACT OF OPINION OF TITLE HAS BEEN PROVIDED FOR THIS SURVEY AND IS REFERENCED HEREON, OTHER EASEMENTS AND/OR OTHER ENCUMBRANCES NOT ON THE PLAT AND THE SAME, IF ANY MAY NOT BE SHOWN ON THIS SKETCH
- 10) THIS IS NOT A VALID SURVEY WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
- 11) THIS SURVEY MEETS OR EXCEEDS THE ACCURACY STANDARDS IN CHAPTER 54-1 OF THE FLORIDA ADMINISTRATIVE CODE-SUBCHAPTER 1 IN 7.500
- 12) THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE AS AN AID IN OBTAINING TITLE INSURANCE FOR THE CERTIFIED HEREON, NO OTHER WARRANTIES ARE HEREBY EXTENDED OR GRANTED

SURVEYORS CERTIFICATE:
 TO: (O)CEAN DRIVE COMMERCIAL REALTY MANAGEMENT, L.L.C. A FLORIDA LIMITED LIABILITY COMPANY
 (I)MILTON AND MARILYN MYERS FAMILY LIMITED PARTNERSHIP, A NEVADA LIMITED PARTNERSHIP
 (II)OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 (IV)THOMAS G. LEE, ESQ.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIRED FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, AND 11 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MULTIPLE DATES (THE LAST BEING 3/5/17).
 DATE OF PLAT OR MAP: 3/6/17

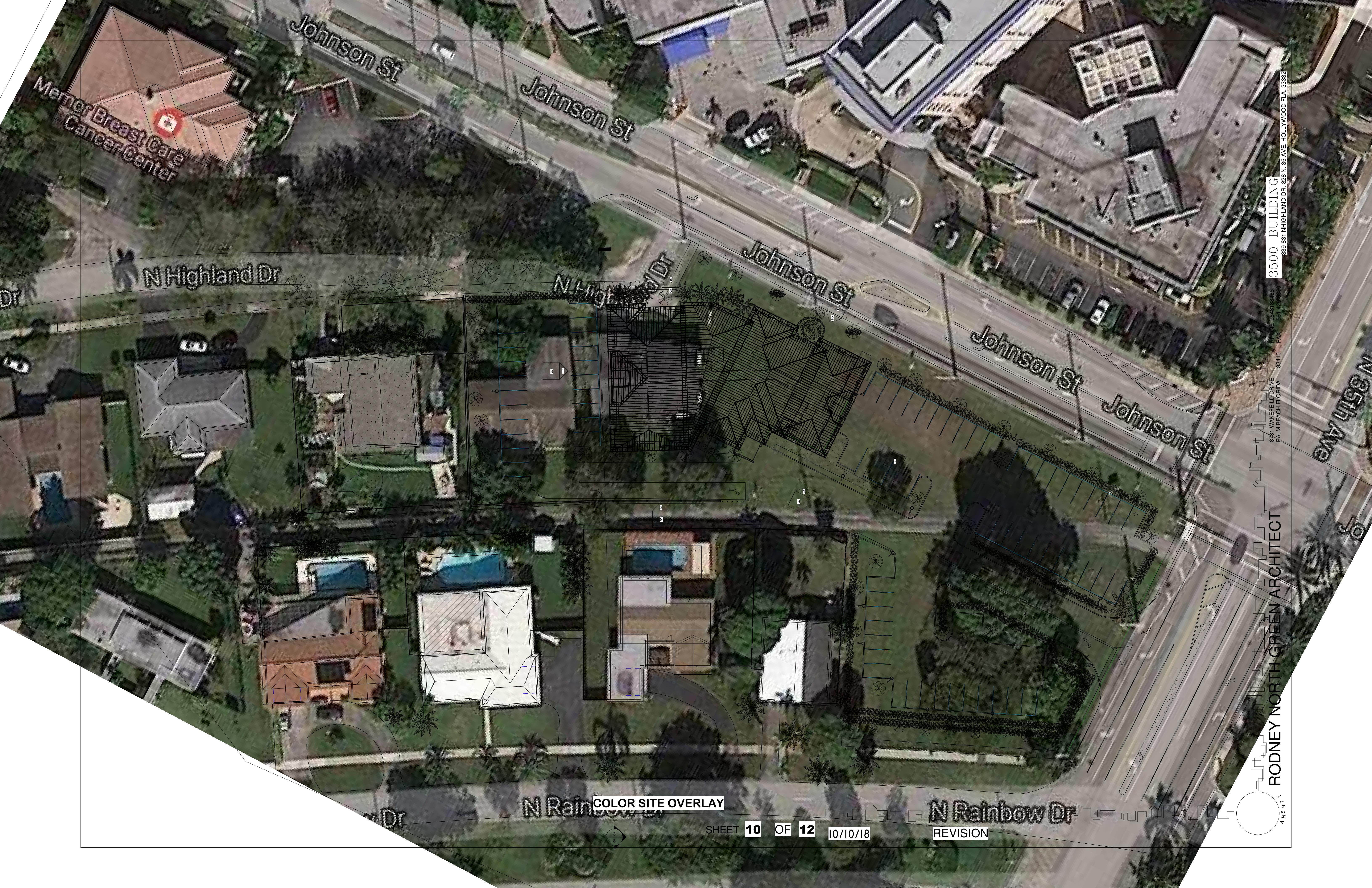
12/11/18

HENRY A. JOHNSTON P.L.S.#6843
 JOHNSTON & JOHNSTON LAND SURVEYING SERVICES LB#7689
 7081 TAFT ST. #160
 HOLLYWOOD, FL 33024
 PHONE: 954-296-9516
 WEB: WWW.JJSURVEYING.COM

ADDED TREES 12/11/18

CURB CUTS AND MISCELLANEOUS REVISIONS 9/27/17

JOB#16-01-007ALTA#6



Memorial Breast Care
Cancer Center

Johnson St

Johnson St

Johnson St

Johnson St

Johnson St

N 85th Ave

N 95th Ave

N Highland Dr

N Highland Dr

N Rainbow Dr

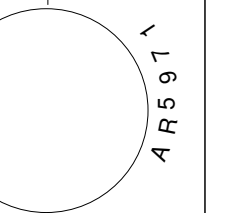
N Rainbow Dr

COLOR SITE OVERLAY

SHEET 10 OF 12 10/10/18

REVISION

RODNEY NORTH GREEN ARCHITECT



3500 BUILDING
839-831 N HIGHLAND DR - 829 N. 35 AVE. HOLLYWOOD FLA. 33332

8731 WAKEFIELD DRIVE
PALM BEACH FLORIDA 33410
PHONE: 561-431-8885
FAX: 561-431-8889

41591



② 3D View 3
12" = 1'-0"



① 3D View 1
12" = 1'-0"



3D VIEW 2
12" = 1'-0"



3D VIEW 4
12" = 1'-0"

COLOR RENDERING



① 3D View 5
12" = 1'-0"



② 3D View 7
12" = 1'-0"



3D VIEW 6
12" = 1'-0"



3D VIEW 8
12" = 1'-0"

COLOR RENDERING



② NORTH Elevation 6 - A1
1/8" = 1'-0"



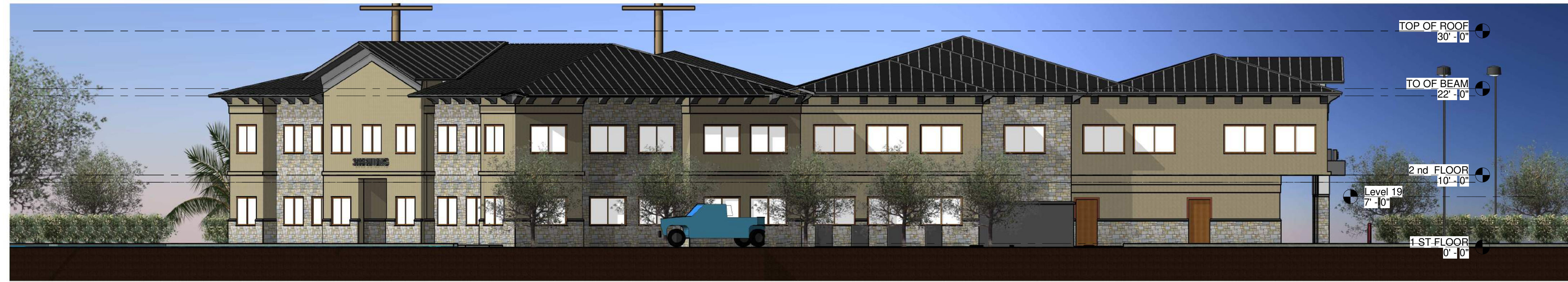
① WEST Elevation 4 - A-7
1/8" = 1'-0"



③ Section 3
1/8" = 1'-0"

COLOR ELEVATION

3500 BUILDING
 839-831 NIGHLAND DR.-828 N. 35 AVE. HOLLYWOOD FLA. 33332
 PHONE 954-810-8485
 8731 WAKEFIELD DRIVE
 PALM BEACH FLORIDA 33410
 FAX 561-429-8390
 RODNEY NORTH GREEN ARCHITECT
 415991



1 SOUTH Elevation 2 - A-6
1/8" = 1'-0"



2 SOUTH Elevation OF WALL 3 - A-6
1/8" = 1'-0"



3 NORTH Elevation 5 - A-6
1/8" = 1'-0"



4 EAST Elevation 1 - A-6
1/8" = 1'-0"

COLOR ELEVATIONS

SEE SIGN DETAIL

MEMOR BREAST CARE CANCER CENTER

MEMORIAL REGINAL HOSPITAL

PROPOSED MEDICAL OFFICE
3500 BUILDING

RESIDENCE #819

RESIDENCE #827

PARKING

PARKING

PARKING

EXISTING ALLEY WAY

RESIDENCE #804

RESIDENCE #810

RESIDENCE #820

RESIDENCE #824

PARKING

COLORED SITE PLAN

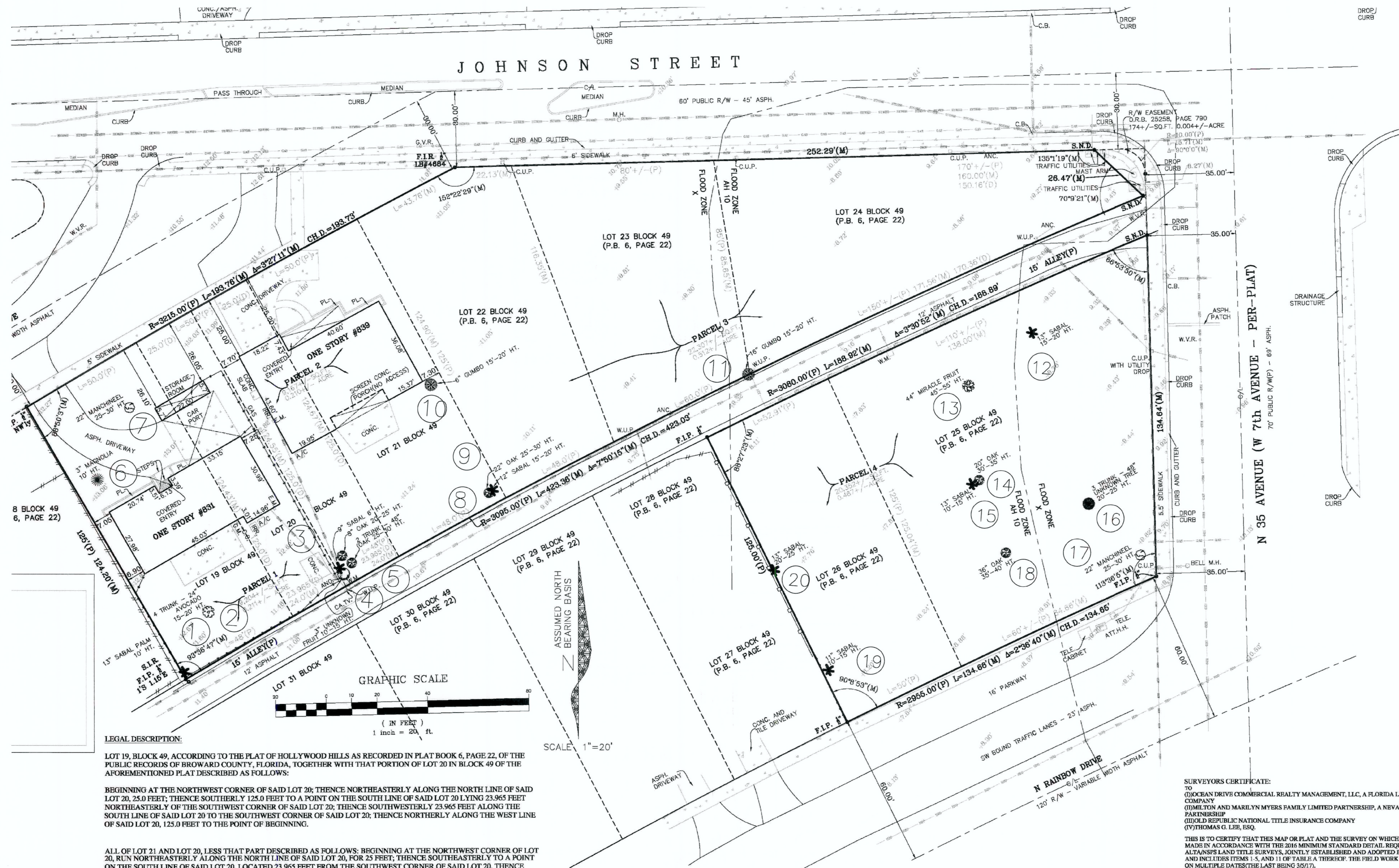
SHEET 13 OF 12 12/14/20 REVISION

3500 BUILDING
839-831 N Highland Dr - 828 N. 35 AVE. HOLLYWOOD FLA 33332

PHONE 954-818-8485
FAX 954-429-8380
8731 WAKEFIELD DR
PALM BEACH FLORIDA 33410

RODNEY NORTH GREEN ARCHITECT

48991



LEGAL DESCRIPTION:
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SURVEYORS CERTIFICATE:
 TO
 OCEAN DRIVE COMMERCIAL REALTY MANAGEMENT, LLC, A FLORIDA LIMITED LIABILITY COMPANY
 (DIMITILION AND MARLYN MYERS FAMILY LIMITED PARTNERSHIP, A NEVADA LIMITED PARTNERSHIP
 (OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 (BY THOMAS G. LEB, ESQ.)
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIRED FOR ALTA'S LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, AND 11 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MULTIPLE DATES THE LAST BEING 3/17/17.
 DATE OF PLAT OR MAP: 3/6/17

PROPOSED DEMOLITION PLANT LIST

TREE #	SPECIES	DBH	DISTRIBUTION	CONDITION
1	Sabal Palm	13"	REMOVE	FAIR/GOOD
2	Avocado	24"	REMOVE	FAIR/GOOD
3	Sabal Palm	9"	REMOVE	FAIR/GOOD
4	Live Oak	8"	REMOVE	FAIR/GOOD
5	Live Oak	48"	REMOVE	FAIR/GOOD
6	Magnolia	6"	REMOVE	FAIR/GOOD
7	Manchineel	22"	REMOVE	FAIR/GOOD
8	Live Oak	22"	REMOVE	FAIR/GOOD
9	Sabal Palm	12"	REMOVE	FAIR/GOOD
10	Gumbo Limbo	6"	REMOVE	FAIR/GOOD
11	Gumbo Limbo	16"	REMOVE	FAIR/GOOD
12	Sabal Palm	13"	REMOVE	FAIR/GOOD
13	Miracle Fruit	44"	REMOVE	FAIR/GOOD
14	Live Oak	20"	REMOVE	FAIR/GOOD
15	Sabal Palm	13"	REMOVE	FAIR/GOOD
16	Ficus	48"	REMOVE	FAIR/GOOD
17	Manchineel	22"	REMOVE	FAIR/GOOD
18	Live Oak	38"	REMOVE	FAIR/GOOD
19	Sabal Palm	11"	REMOVE	FAIR/GOOD
20	Sabal Palm	13"	REMOVE	FAIR/GOOD

MITIGATION
 EXISTING CONDITIONS
 TOTAL DBH to be removed = 324"
 TOTAL Palms to be removed = 7
 REQUIRED: Quantity 162 Trees at 2" DBH
 PROVIDED TREES: 12" of DBH at 2" DBH Trees
 PROVIDED PALMS: 11 Palm
 DEFICIENT CALCULATIONS : 324" Required - 12" Provided = 312" DBH
 312" DBH at 2" DBH/Tree Required = 156 Trees Deficient
 156 Trees at \$ 350 per tree = \$ 54,600 Fee to City of Hollywood Tree Preservation Fund.
 Due to limited green space onsite, owner will pay to the City of Hollywood Tree Preservation Fund a fee of \$ 350 per 2" DBH tree deficient for mitigation, or plant equivalent on Public property at City of Hollywood discretion.



EXISTING TREE DISPOSITION

TONNING & ASSOCIATES, INC.
 Landscape Architecture & Land Planning
 Landscape Architect - Florida License #6666709
 4855 NW 92 Terrace
 Coral Springs, Florida 33067
 Tel: 561-414-8269 Email: w.tonning@tonningandassociates.com

EXISTING TREE DISPOSITION
 PROJECT : 3500 BUILDING
 839-831 NORTH HIGHLAND DRIVE 828 NORTH 35th AVENUE
 HOLLYWOOD, FLORIDA 33332
 CLIENT : RODNEY NORTH GREEN ARCHITECT

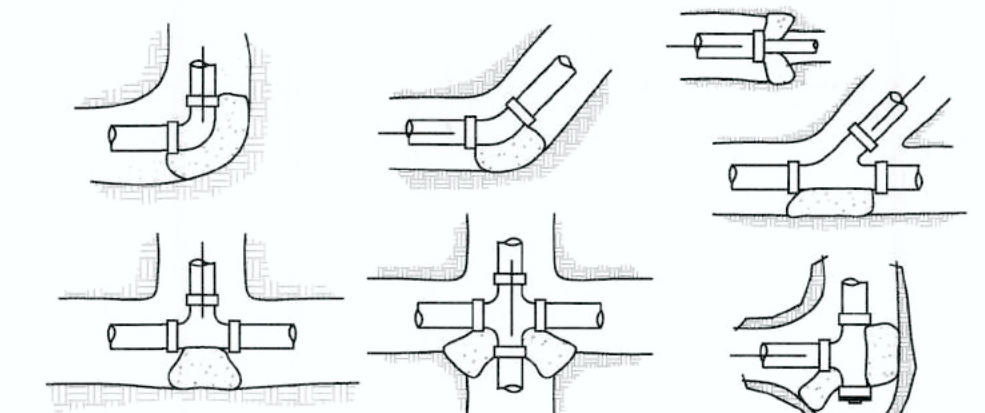
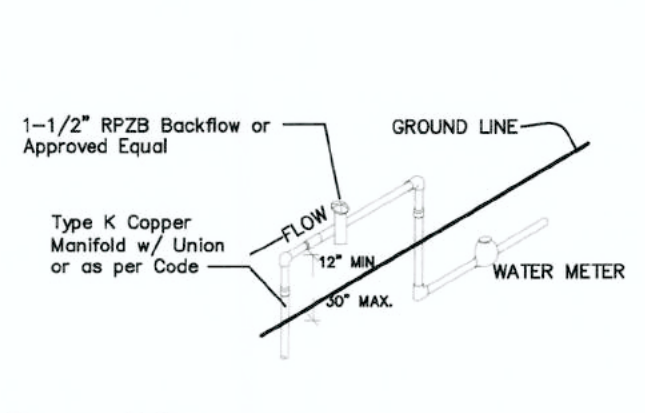
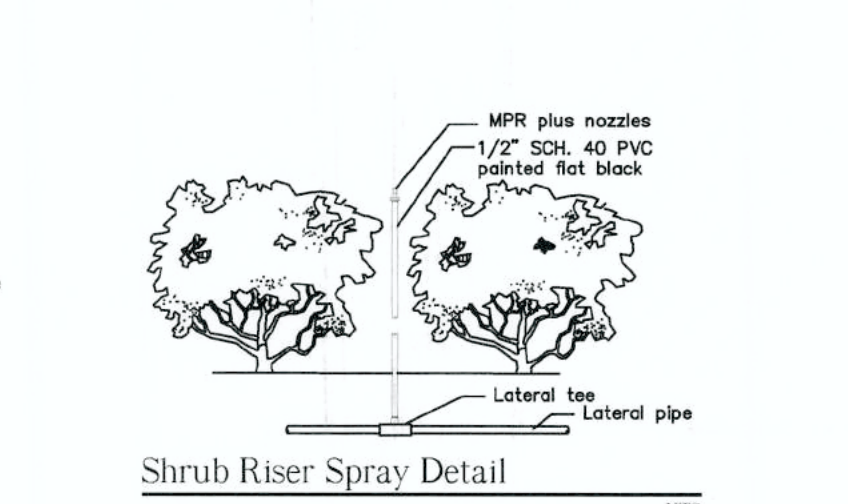
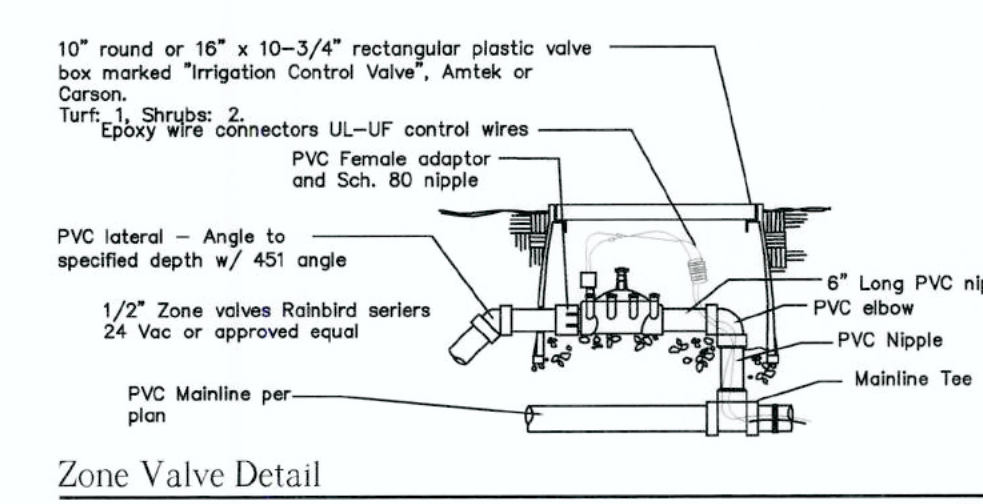
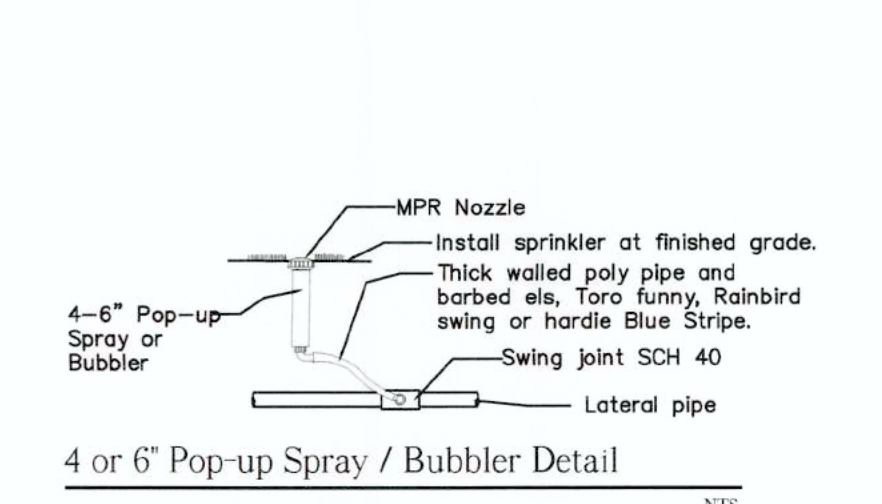
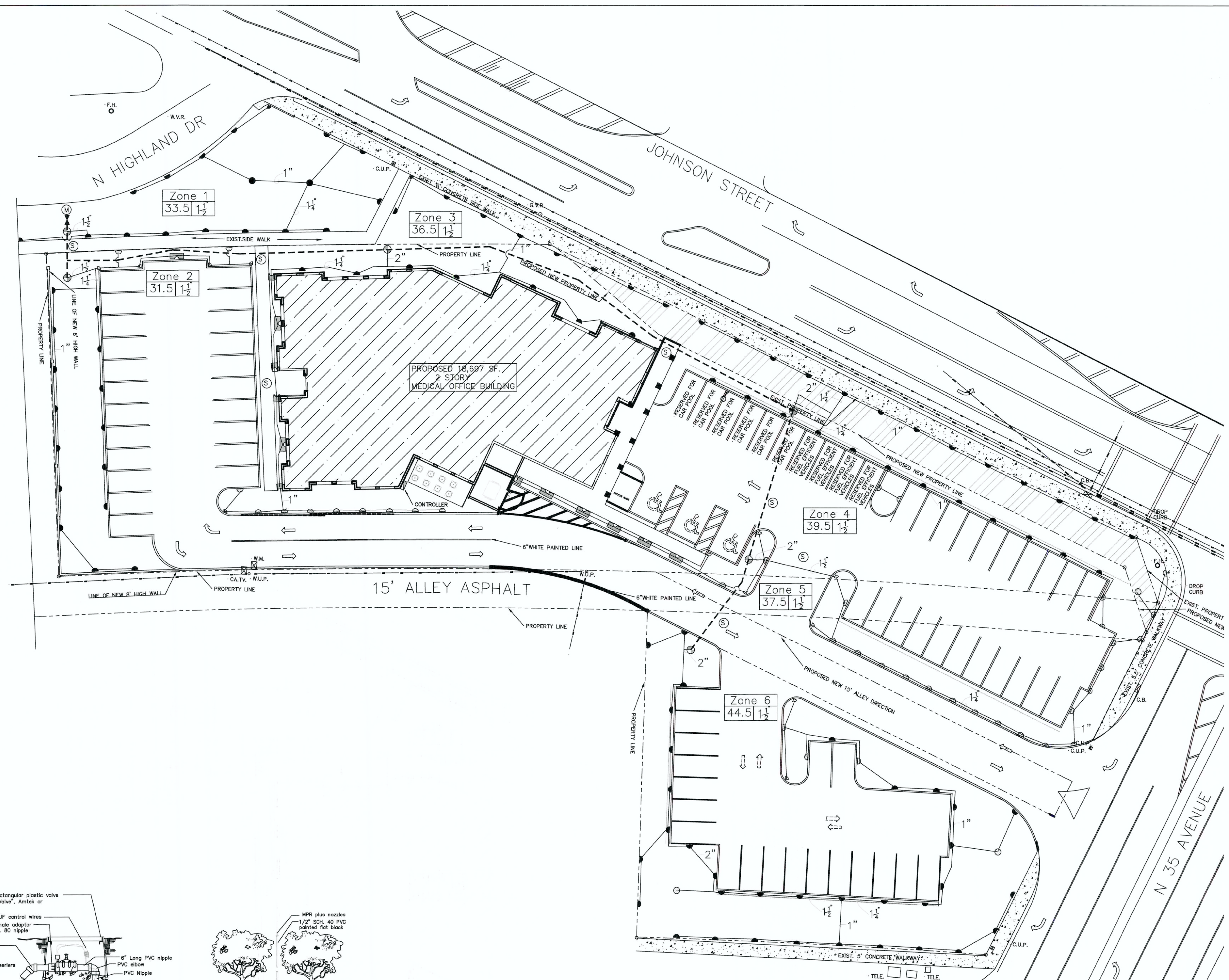
DRWG. TITLE :
 PROJECT :
 CLIENT :
 PROJECT NO. 17-122
 DRAWN BY WKT
 DESIGNED BY WKT
 CHECKED BY WKT
 DATE : 9-5-18
 DWG. NO. LE-1
 SHT. NO. 1 of 2
 REVISIONS :
 9-18-18
 06-16-19

IRRIGATION LEGEND:

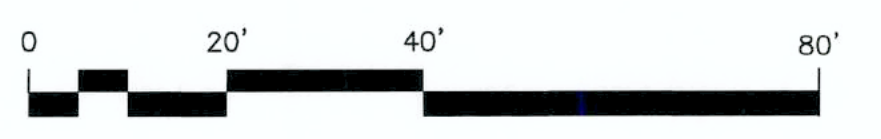
- MAIN LINE - 1-1/2" Field From City Water Source
 - LATERAL ZONE LINES - SDR PVC as noted
 - ZONE BOUNDARIES
 - ▶ BACK FLOW: See Point of Connection Detail.
 - ☑ CONTROLLER - Toro Command Series Electric 6 station controller PC-6 mounted on Southwest corner of structure, with a Rain Check automatic rain sensor shutoff switch mounted outside on eave of structure.
 - ⊙ ZONE VALVES - Toro 252 Series
 - M PROPOSED WATER METER - 1-1/4" as per City Code.
 - ⊙ STEVES - Sch. 40, 2 Size Larger. NOTE - Pipe Size Shown is the Lateral Size, NOT the Steve Size
 - ⊙ 6" POP-UP SPRAY - Toro 570 Series MPR Spray Nozzles as Required. NOTE - All of the below may not be used
 - 15' Series - 15-T-PC - 1/2" 15-H-PC - 1/2" 15-TT-PC - 2/3" 15-TD-PC - 3/4" 15-F-PC - Full
 - 12' Series - 12-Q-PC - 1/4" 12-T-PC - 1/3" 12-H-PC - 1/2" 12-TT-PC - 2/3" 12-TD-PC - 3/4" 12-F-PC - Full
 - 10' Series - 10-Q-PC - 1/4" 10-T-PC - 1/3" 10-H-PC - 1/2" 10-TT-PC - 2/3" 10-TD-PC - 3/4" 10-F-PC - Full
 - 8' Series - 8-Q-PC - 1/4" 8-T-PC - 1/3" 8-H-PC - 1/2" 8-TT-PC - 2/3" 8-TD-PC - 3/4" 8-F-PC - Full
 - 4S-SST-PC 4 x 18'
 - 4-EST-PC 4 x 15'
 - 4-CST-PC 4 x 30'
 - ⊙ 6" POP-UP FLOOD BUBBLER - Toro 570 Series MPR Pressure Compensating Nozzles as Required.
 - SYSTEM DESIGN OPERATING PRESSURE = Between 35 and 40 psi.
- Zone 2 - Zone Number
37.6 1 1/2 - Valve Size
- GPM per Zone
- ▲ 4" POP-UP ROTOR - Hunter PGM Rotor w/ Appropriate Nozzle as Required

IRRIGATION NOTES:

Piping:
Main Lines: PVC SDR 35, Class 150 Solvent Weld.
Zone Lines: PVC, 1/2 in. and 3/4 in. are not used. Min. pipe is 1 in. 315 PSI: 1 in. = SDR 21, 200 PSI: 1-1/4 in. and greater = SDR 25, 160 PSI. All solvent weld.
All end of this line unmarked pipe = 1 in. (min.).
Steves and suction line: PVC, SCH 40.
Fittings: SCH 40 PVC.
Fabrication: To manufacturers specifications. Use blue or gray PVC cement, square cut, clean and prime all joints.
Allow all main lines to cure for 24 hours before pressuring.
All pipe, fittings, and solvents to conform to latest ASTM specs.
Depth of Lines: Main Line and wiring = 18 in. depth, min. Stewing under pavement = 24 in. depth, min. Suction Line = 24 in. depth, nominal. Zone Lines 1-1/2 in. and smaller = 10 in. depth, min.
Control Wires: AWG 14 for all hot wires and AWG 12 for common. Solid copper type UF UL listed for direct burial. Run wires under main and tape every 20 feet. Run splices, two min. Splice wires only in a valve box. All splices shall be moisture proof using Snap Lita or D57 UL connectors. Common shall be white, hot shall be red or color coded. Spare shall be black. Run in conduit where no Main line runs.
Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.
All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractor's responsibility to ensure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans. It is the contractor's responsibility to comply. The landscape architect reserves the right to make minor field changes; the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.
Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.
Contractor shall verify all underground utilities prior to commencement of work.
The perimeter irrigation and landscape may be required to be installed prior to either or both pump stations and all main line / valve wiring. A separate plan showing modifications and alternate water source will be provided prior to construction. The modifications will not impact upon the design intent or substantially affect the construction plan.



IRRIGATION PLAN
SCALE: 1" = 20'-0"

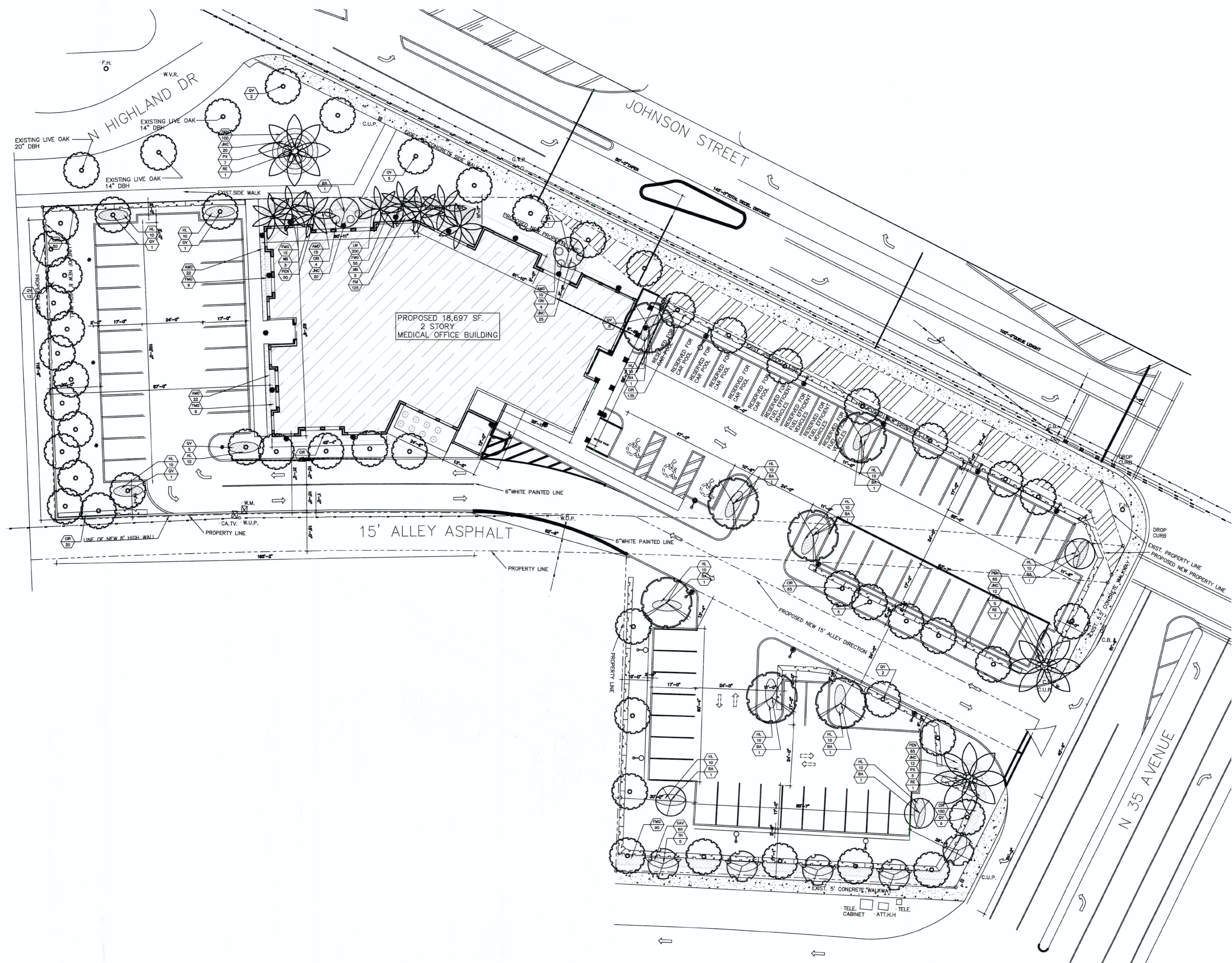


TONNING & ASSOCIATES, INC.
Landscape Architecture & Land Planning
Landscape Architect - Florida License #6666709
4855 NW 92 Terrace
Coral Springs, Florida 33067
Tel: 561-414-8269 Email: wtonning@tonningandassociates.com

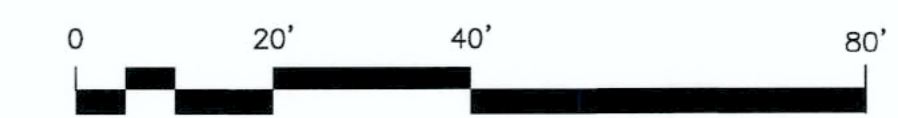
IRRIGATION PLAN
DRAWN BY: WKT
PROJECT: NGUYEN OFFICE
839-831 NORTH HIGHLAND DRIVE 828 NORTH 35th AVENUE
HOLLYWOOD, FLORIDA 33332
CLIENT: RODNEY NORTH GREEN ARCHITECT

SEAL
W. K. TONNING, R.L.A.
#6666709

PROJECT NO. 17-122
DRAWN BY WKT
DESIGNED BY WKT
CHECKED BY WKT
DATE: 10-02-17
DWG. NO. 11-1
SHT. NO. 1 of 1
REVISIONS: 06-16-19



LANDSCAPE PLAN
SCALE: 1" = 20'-0"



TONNING & ASSOCIATES, INC.
Landscape Architecture & Land Planning
Landscape Architect - Florida License #6666709
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DRWG. TITLE : **LANDSCAPE PLAN**
PROJECT : **3500 BUILDING**
839-831 NORTH HIGHLAND DRIVE 828 NORTH 35th AVENUE
HOLLYWOOD, FLORIDA 33332
CLIENT : **RODNEY NORTH GREEN ARCHITECT**



PROJECT NO.	17-122
DRAWN BY	WKT
DESIGNED BY	WKT
CHECKED BY	WKT
DATE :	9-5-18
DWG. NO.	LP-1
SHT. NO.	1 of 2
REVISIONS :	
	9-18-18
	06-16-19
	11-12-20

c. General Landscape Requirements Table

GENERAL LANDSCAPE REQUIREMENTS	
Requirements	
Perimeter Landscape	1 One (1) street tree per 30 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.
	2 Residential Uses shall provide a five (5) foot landscape buffer within required setback areas with one (1) tree for every 20 linear feet of required buffer area.
	3 When abutting or across an alley from a residential zoning district a perimeter landscape buffer shall be included within the required setback area with one (1) tree for every 20 linear feet of required buffer area.
	4 Terminal Islands shall be installed at each end of all rows of parking spaces and landscape islands shall be provided no further apart than every 30 parking spaces. Each island shall contain a minimum of one 190 square feet of pervious area or shall measure the same length and width as the adjacent parking spaces.
Interior Landscape For At-Grade Parking Lots and Vehicular Use Area	5 A five (5) foot landscape buffer including a landscape element of at least 42 inches in height shall be provided along the perimeter. The landscape buffer may be included within required setback areas.
	6 Lots with a width of 50 feet or less: 15 percent of the total square footage of the paved vehicular use area shall be landscaped.
	7 Lots with a width of more than 50 feet: 25 percent of the total square footage of the paved vehicular use area shall be landscaped.
	Note: Percentage calculation excludes required perimeter landscaped setback area.
	8 All pervious areas shall be landscaped with grass, ground cover and/or shrubbery or covered by another sustainable surface or material as permitted and determined by the City Manager or designee. Required landscape open space shall not be used for parking.
	9 A minimum of one (1) tree per 1,000 square feet of pervious area of property; this is in addition to tree requirement for parking lots and paved vehicular use areas.
	10 M-C-1, DH-1 Districts: A minimum of 40 percent of the total site area shall be landscaped open space including landscaped open space located at-grade or at higher elevations such as on pool decks, parking decks, roof decks, etc.
Open Space	11 LT District: A minimum of 30 percent of the total site area shall be landscaped open space including landscaped open space located at-grade or at higher elevations such as on pool decks, parking decks, roof decks, etc.
	12 DH-2, FH-1, ND-1, ND-2, PS-1, PS-2 District: A minimum of 20 percent of the total site area shall be landscaped open space including landscaped open space located at-grade or at higher elevations such as on pool decks, parking decks, roof decks, etc.
	13 Projects containing four (4) or more units on a single site shall comply with Design Guidelines for landscaping.
	14 If within a Historic Preservation District, the landscape shall comply with the Historic Preservation Guidelines.
Planning and Development Board and Historic Preservation Board	15 For corner lots, a sight triangle triangle shall be provided. See the City of Hollywood Landscape Manual for illustration diagram.
	16 Provide 100 percent irrigation coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances and the Regulations of the South Florida Water Management District or apply xeriscape principles. (See the City of Hollywood Landscape Manual)
View Triangle	
Irrigation	

PROPOSED

25 Trees (746 Linear Feet / 30 = 25 Trees Required)

Not Applicable

3 Tree (45 Linear Feet / 20 = 3 Trees Required)

15 Islands = 15 Trees

Acknowledged and met

Not Applicable

Acknowledged and met

Planted with Shrubs/groundcovers.

17 Trees (17,240 SF / 1000 = 17 Trees Required)

Not Applicable

Not Applicable

Not Applicable

Not Applicable

Applicable

Not Applicable

Irrigation will be provided at permit.

PROPOSED PLANT LIST
TREES / PALMS

Code	Drought	QTY.	Botanical Name / Common Name	Specifications
OV	(N) V	51	Quercus virginiana / Live Oak	B&B Field Crown, 3" DBH, 14' OA
RE	(N) V	3	Roystonia elata / Royal Palm	B&B Field Crown, 10' CT, 20' OA
BA	(N) V	12	Bulnesia aborea / Bulnesia	B&B Field Crown, 3" DBH, 14' OA
TH	V	5	Tabebuia heterophylla / Pink Tab	B&B Field Crown, 3" DBH, 14' OA
WB	V	8	Wodyeti bifurcata / Foxtail Palm	B&B Field Crown, 10' CT, 15-20' OA

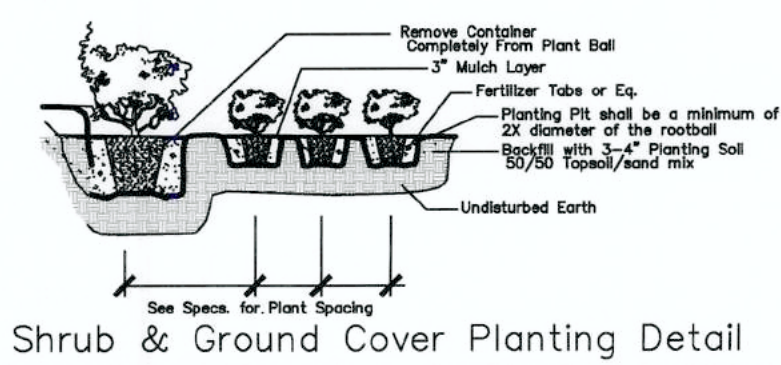
ACCENTS / SHRUBS / GROUND COVERS

AMD	V	74	Asparagus densiflorus Myers / Myers Foxtail Fern	3 Gal., 24" OA, 2' OC
CR	(N) V	510	Chrysoballus laevis / Red Tip Coccoloba	3 Gal., 24" OA, 2' OC
CRI	(N) V	8	Crinum asiaticum Queen Emma / Purple Queen Emma Crinum	7 Gal., 36" OA, 2' OC
HL	(N) V	140	Hymenocallis lictifolia / Spider Lilly	3 Gal., 24" OA, 2' OC
FMG	V	178	Ficus macrocarpa Green Island / Green Island Ficus	3 Gal., 24" OA, 2' OC
JNC	(N) V	89	Juniperus conferta / Blue Rug Juniper	3 Gal., 24" OA, 2' OC
LM	V	200	Liriope muscari / Liriope	1 Gal., 12" OA, 12" OC
PM	V	125	Podocarpus macrocarpa / Podocarpus	7 Gal., 42" OA, 2' OC
PX	V	17	Philodendron xanadu / Xanadu	3 Gal., 24" OA, 2' OC
PEN	V	280	Pentas sp / Pentas	6" Pot, 9" OA, 1' OC
SAV	V	60	Schefflera arboricola / Trinetta	3 Gal., 24" OA, 2' OC

MISCELLANEOUS

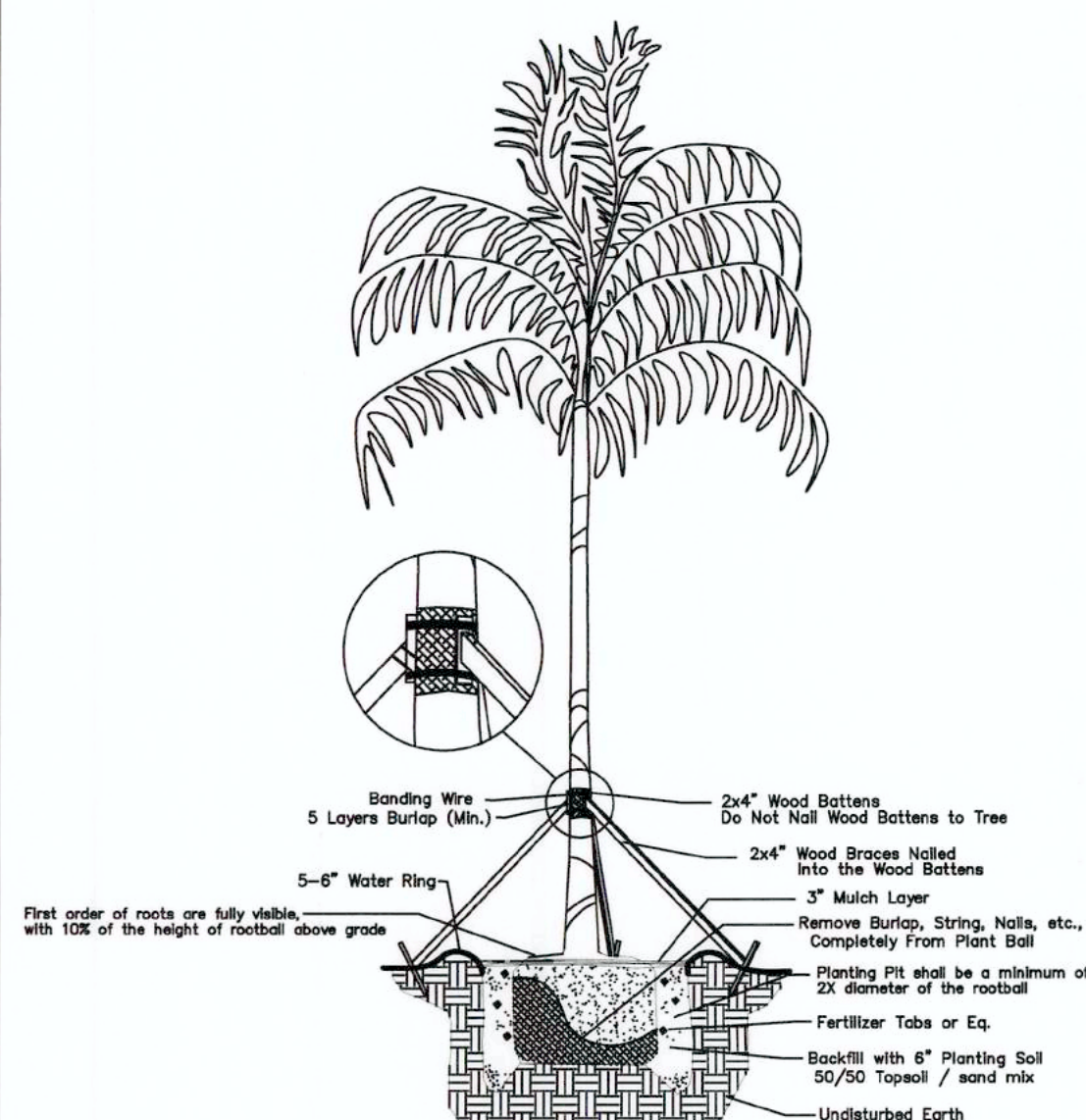
SOD Stenotaphrum secundatum / St. Augustine 'Floratum' Solid application - no gaps between seams

M	Moderate Drought Tolerance
(N)	Florida Native Plant Species
L	Low Drought Tolerance
V	Very Drought Tolerant



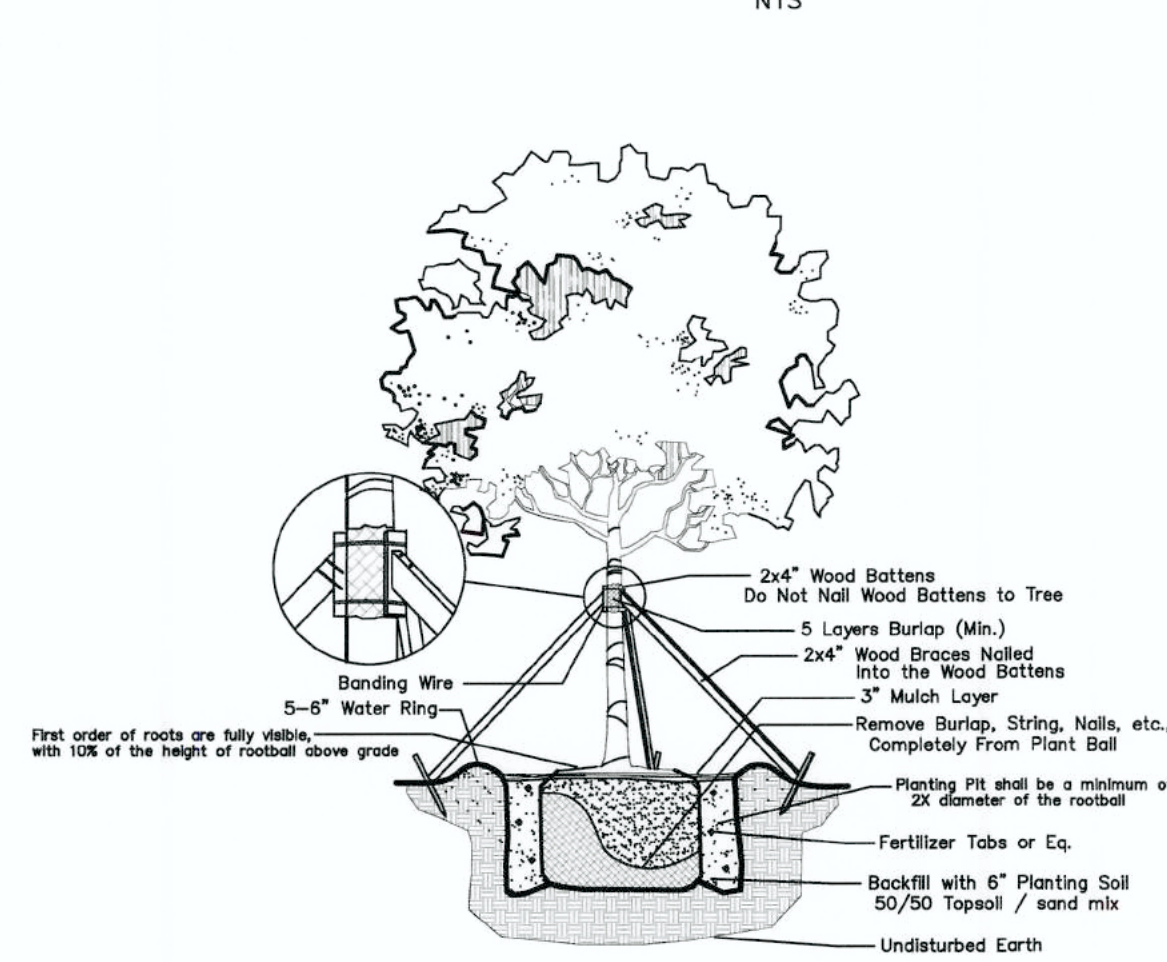
Shrub & Ground Cover Planting Detail

NTS



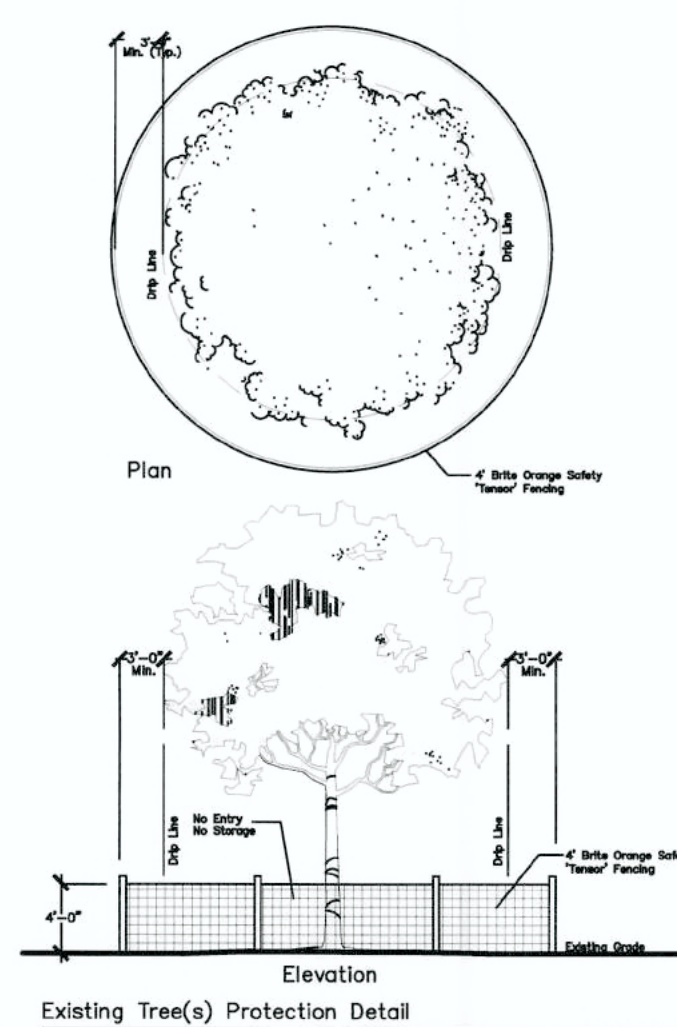
Palm Planting Detail

Not to Scale



Large Tree Planting Detail

NTS



Existing Tree(s) Protection Detail

NTS

NOTES:

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 50% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

Each lot shall supply, install, and maintain an individual irrigation system for that individual lot.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

Special Note

No items to be stored higher than the screening wall or fence.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Wayne K. Tanning, RLA.

The plan takes precedence over the plant list.

SPECIAL INSTRUCTIONS

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive Stenotaphrum secundatum, St. Augustine 'Floratum' solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.

LANDSCAPE PLAN

DRWG. TITLE :

PROJECT : 3500 BUILDING
839-831 NORTH HIGHLAND DRIVE 828 NORTH 35th AVENUE
HOLLYWOOD, FLORIDA 33332

CLIENT : RODNEY NORTH GREEN ARCHITECT



PROJECT NO. 17-122

DRAWN BY WKT

DESIGNED BY WKT

CHECKED BY WKT

DATE : 9-5-18

DWG. NO. LP-2

SHT. NO. 2 of 2

REVISIONS : 9-18-18

06-16-19

11-12-20

TONNING & ASSOCIATES, INC.
Landscape Architecture & Land Planning
Landscape Architect - Florida License #6666709
4855 NW 92 Terrace
Coral Springs, Florida 33067
Tel: 561-414-8209 Email: wktanning@tonningandassociates.com

ENGINEERING PLANS
 PAVING, GRADING, DRAINAGE, WATER & SEWER IMPROVEMENTS
 FOR

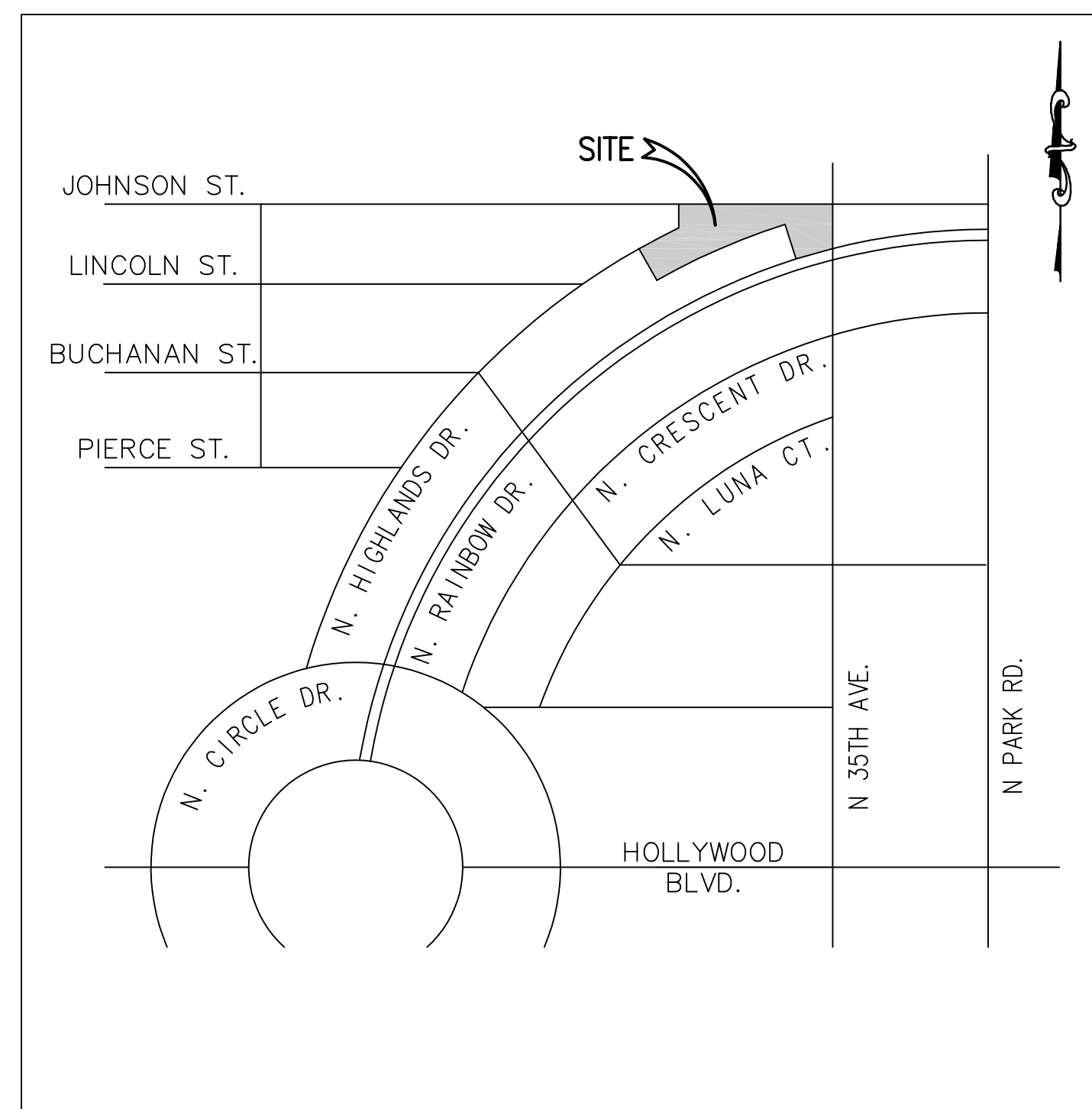
3500 BUILDING
 BROWARD COUNTY
 HOLLYWOOD, FL

APPLICANT: OCEAN DRIVE COMMERCIAL REALTY MANAGEMENT, LLC.

3000 SOUTH OCEAN DRIVE, NO. 1120
 HOLLYWOOD, FL 33019

OWNER: OCEAN DRIVE COMMERCIAL REALTY MANAGEMENT, LLC.

3000 SOUTH OCEAN DRIVE, NO. 1120
 HOLLYWOOD, FL 33019



LOCATION MAP

N.T.S.

SEC. 17 TWP. 51S RGE. 42E

INDEX OF SHEETS

SHEET No.	DESCRIPTION
1	COVER SHEET
2	DEMOLITION PLAN
3	PAVING, GRADING & DRAINAGE PLAN
4	PAVEMENT MARKING & SIGNAGE PLAN
5	STORMWATER POLLUTION PREVENTION PLAN
6-8	PAVING, GRADING & DRAINAGE DETAILS
9	UTILITY PLAN
10-14	CITY OF HOLLYWOOD UTILITY DETAILS

LDi PREPARED BY:
Last Devenport, Inc.

1860 Old Okeechobee Road, Suite 504
 West Palm Beach, FL 33409
 phone (561)615-6567 fax (561)683-0872
 EB 9889

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RONALD W. LAST, P.E. ON THE DATE ADJACENT TO THE SEAL.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ALL ELEVATIONS INDICATED HEREON ARE NAVD 88 VERTICAL DATUM BASED ON SURVEY PROVIDED BY:
 JOHNSTON & JOHNSTON LAND SURVEYING SERVICES INC. LB #7689
 7081 TAFT STREET, SUITE 160
 HOLLYWOOD, FL 33024 TEL:(954) 296-9516

NAVD TO NGVD CONVERSION = NAVD + 1.598 FT

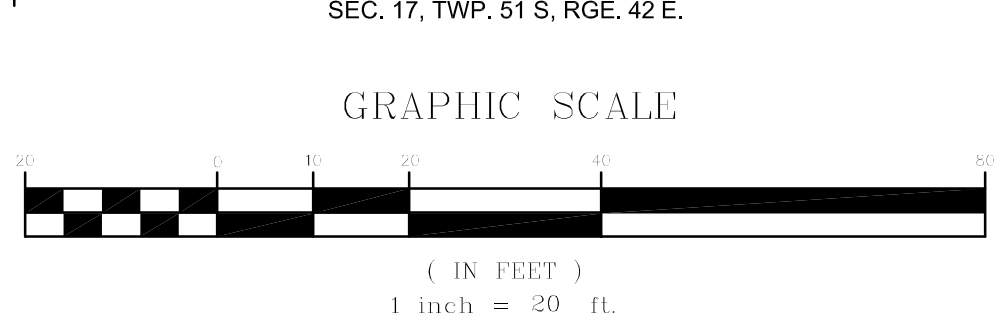
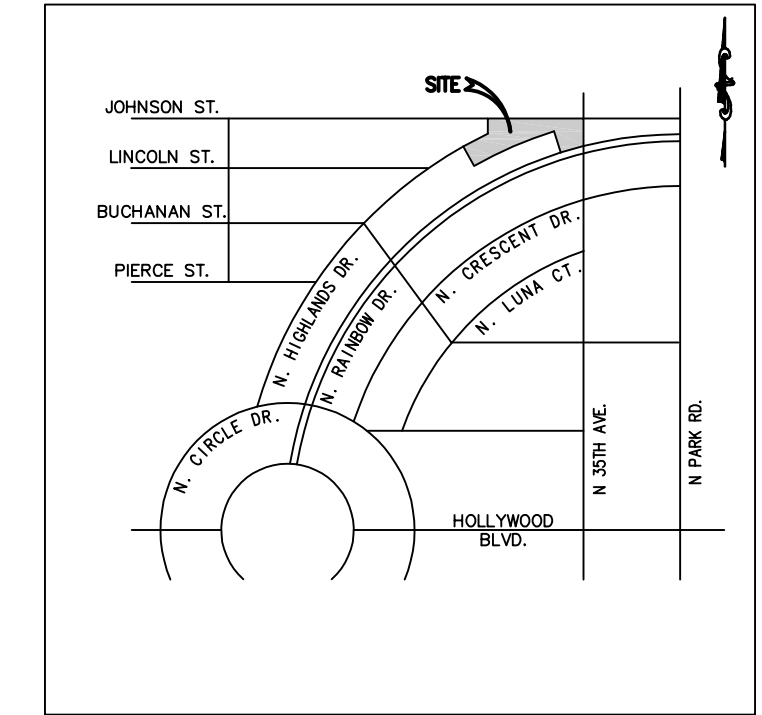
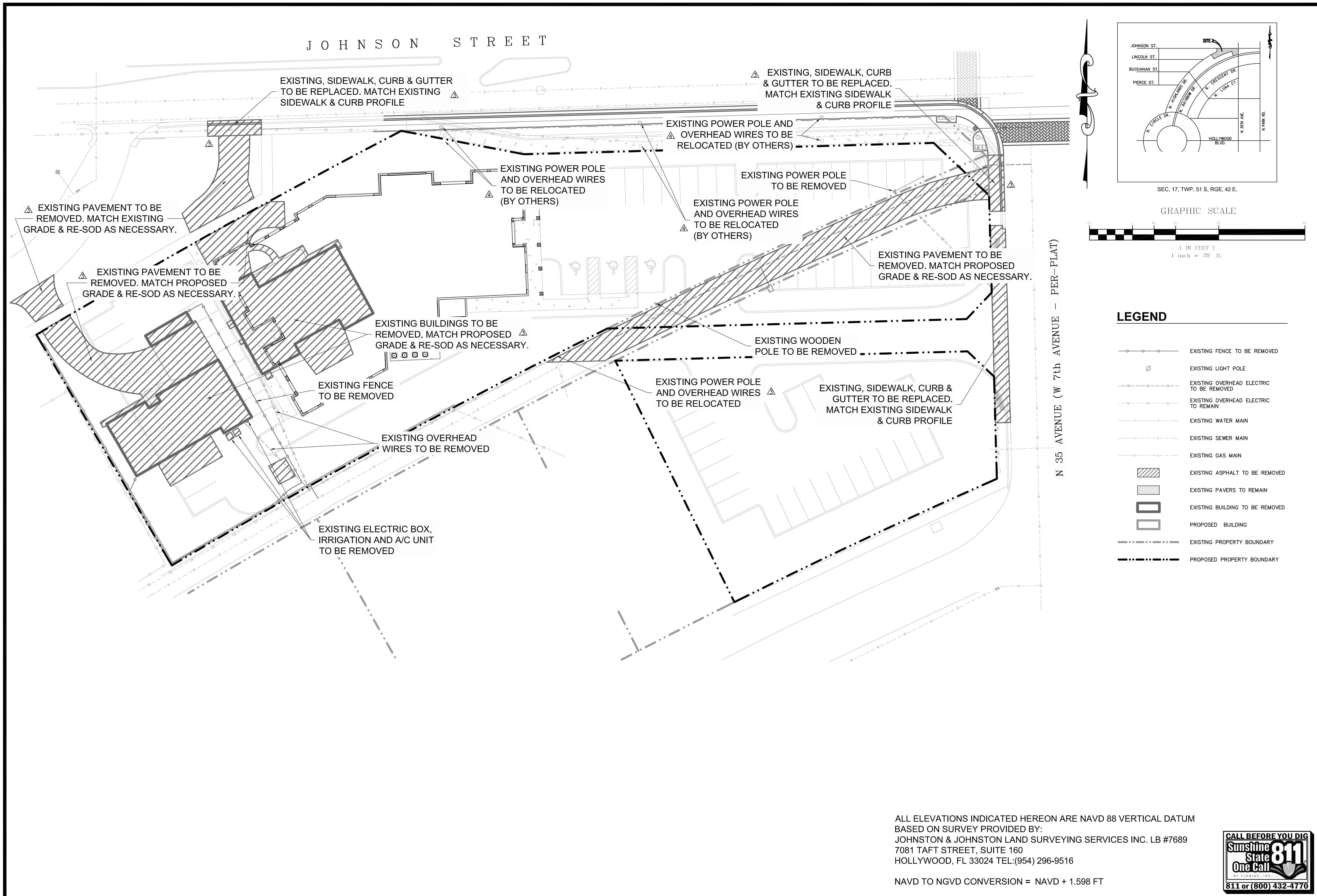


PRELIMINARY
 PROGRESS SET
 BID SET
 PERMIT SET
 CONSTRUCTION SET

9/3/2020
 RONALD W. LAST, P.E.
 FLORIDA P.E. #38707

17-024 COV

SHEET 1 OF 14



LEGEND

- EXISTING FENCE TO BE REMOVED
- EXISTING LIGHT POLE
- EXISTING OVERHEAD ELECTRIC TO BE REMOVED
- EXISTING OVERHEAD ELECTRIC TO REMAIN
- EXISTING WATER MAIN
- EXISTING SEWER MAIN
- EXISTING GAS MAIN
- EXISTING ASPHALT TO BE REMOVED
- EXISTING PAVERS TO REMAIN
- EXISTING BUILDING TO BE REMOVED
- PROPOSED BUILDING
- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY

DEMOLITION PLAN
FOR
3500 BUILDING
HOLLYWOOD, FLORIDA

REVISIONS	DATE	BY	CK
5. REV. ALL SHEETS PER UPDATED T.I.A.	11/06/19	SG	RWL
4. REV. ALL SHEETS PER CITY OF HOLLYWOOD	08/30/19	SG	RWL
3. REV. ALL SHEETS PER REVISED SITE PLAN	06/12/19	SG	RWL
2. REV. ALL SHEETS PER REVISED SITE PLAN	10/17/18	SG	RWL
1. REV. ALL SHEETS PER REVISED SITE PLAN	10/05/17	SG	RWL

EB 9889

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Last Devenport, Inc.
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West Palm Beach, FL 33409
phone (561)615-6567 fax (561)683-0872

SCALE: 1"=20'
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CHECKED BY: RL
DRAWING FILE:
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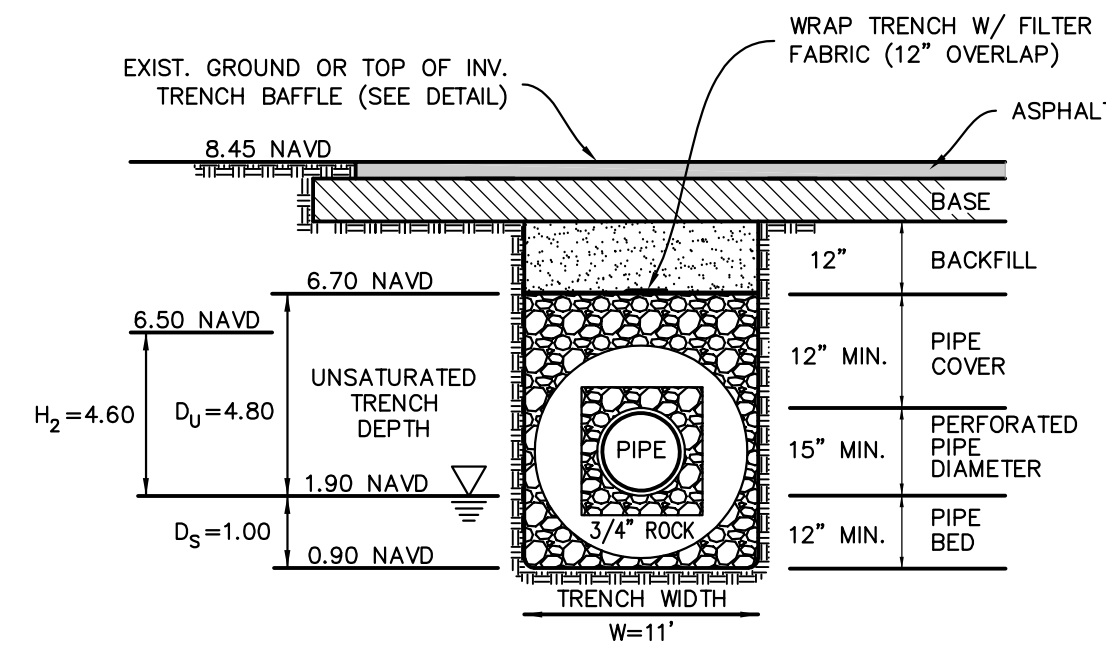
9/3/2020
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

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17-024 PD.1
SHEET 2 OF 14

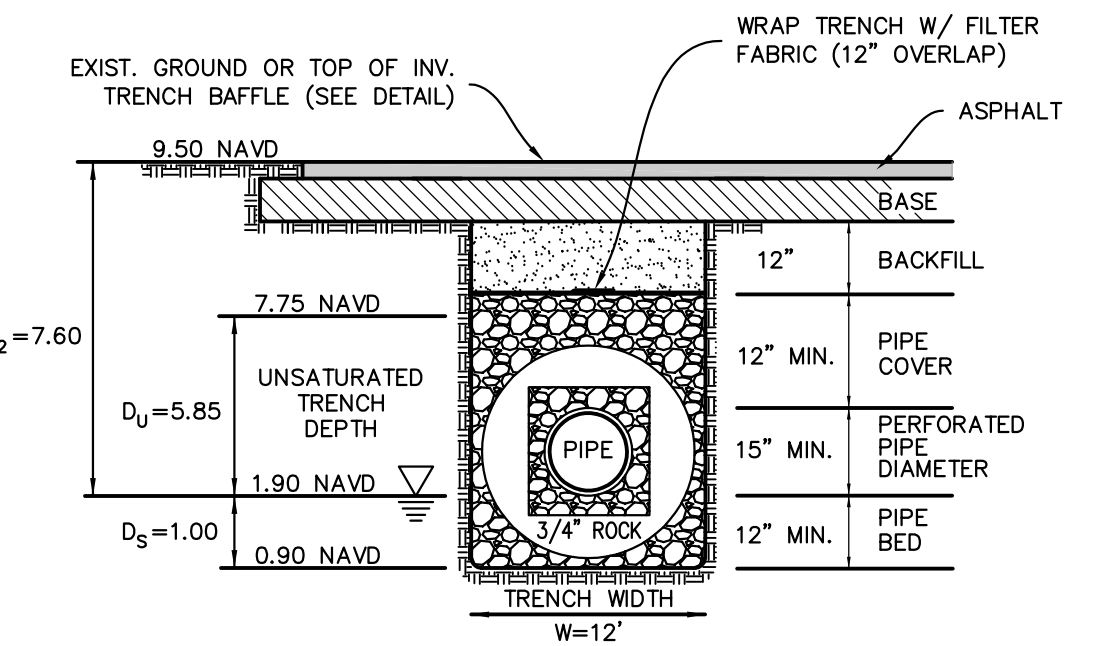
LEGEND

- 13.00 PROPOSED GRADE
- PROPOSED STORM DRAINAGE STRUCTURE
- PROPOSED STORM DRAIN PIPE
- EXISTING STORM DRAIN PIPE
- ASPHALT AREA TO BE MILLED AND RESURFACED (1" MIN. DEPTH)
- EXISTING BRICK PAVERS
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- DRAINAGE STRUCTURE INFORMATION
- PROPOSED PROPERTY BOUNDARY
- EXISTING PROPERTY BOUNDARY
- APPROXIMATE LOCATION OF 6" PERIMETER SWALE
- PROPOSED WATER SERVICE W/ RPZ BACKFLOW PREVENTOR
- PROPOSED WATER MAIN W/ GATE VALVE AND DDCV FIRE LINE ASSEMBLY
- EXISTING WATER MAIN WITH WATER METER
- SEWER SERVICE LATERAL WITH CLEAN OUT
- EXISTING SEWER MAIN WITH SANITARY MANHOLE
- EXISTING OVERHEAD WIRES WITH POWER POLE
- PROPOSED OVERHEAD WIRES WITH POWER POLE
- EXISTING GAS MAIN
- EXISTING UTILITY POLE



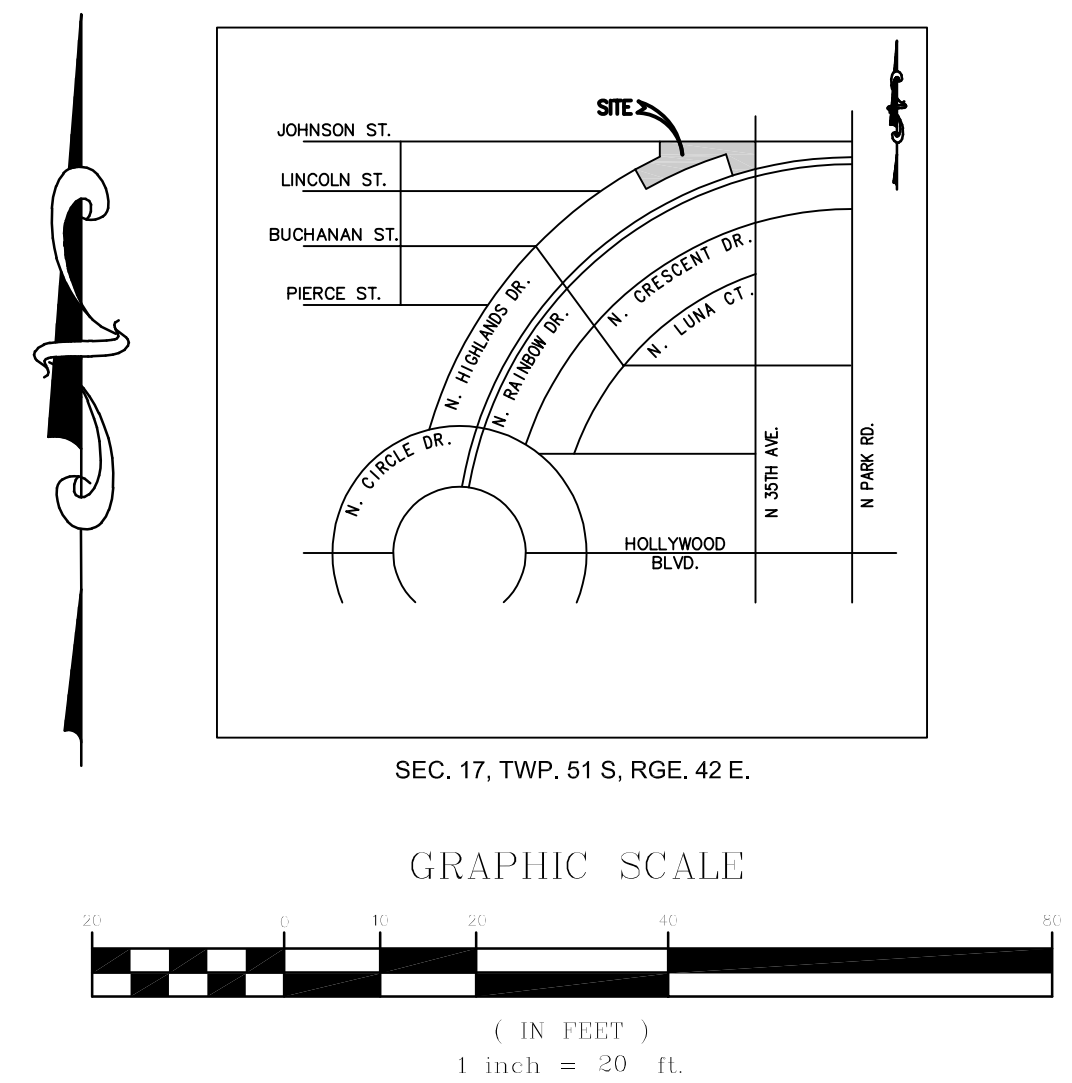
EXFILTRATION TRENCH DETAIL E-E
N.T.S.

NOTES:
1. ALL EXFILTRATION TRENCHES SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE. FIBERGLASS BAFFLES ARE NOT PERMITTED.



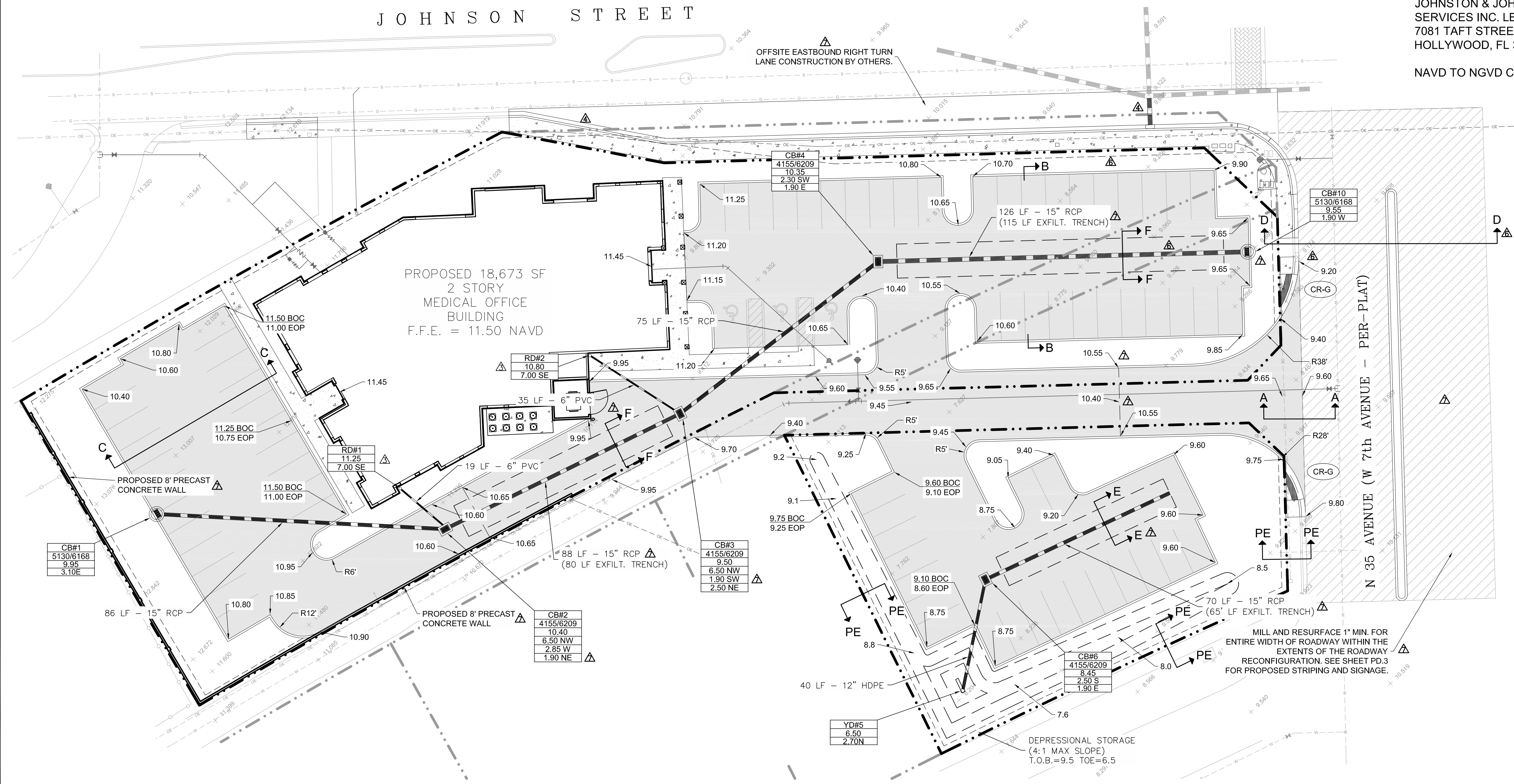
EXFILTRATION TRENCH DETAIL F-F
N.T.S.

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NAVD TO NGVD CONVERSION = NAVD + 1.598 FT



PAVING, GRADING, & DRAINAGE PLAN FOR 3500 BUILDING HOLLYWOOD, FLORIDA

REVISIONS	DATE	BY	CK
7. REV. PER CITY OF HOLLYWOOD COMMENTS	09/02/20	SMG	RWL
6. REV. PER CITY OF HOLLYWOOD COMMENTS	03/24/20	SMG	RWL
5. REV. ALL SHEETS PER UPDATED T.I.A.	11/06/19	SMG	RWL
4. REV. ALL SHEETS PER CITY OF HOLLYWOOD	08/30/19	SMG	RWL
3. REV. ALL SHEETS PER REVISED SITE PLAN	06/12/19	SMG	RWL

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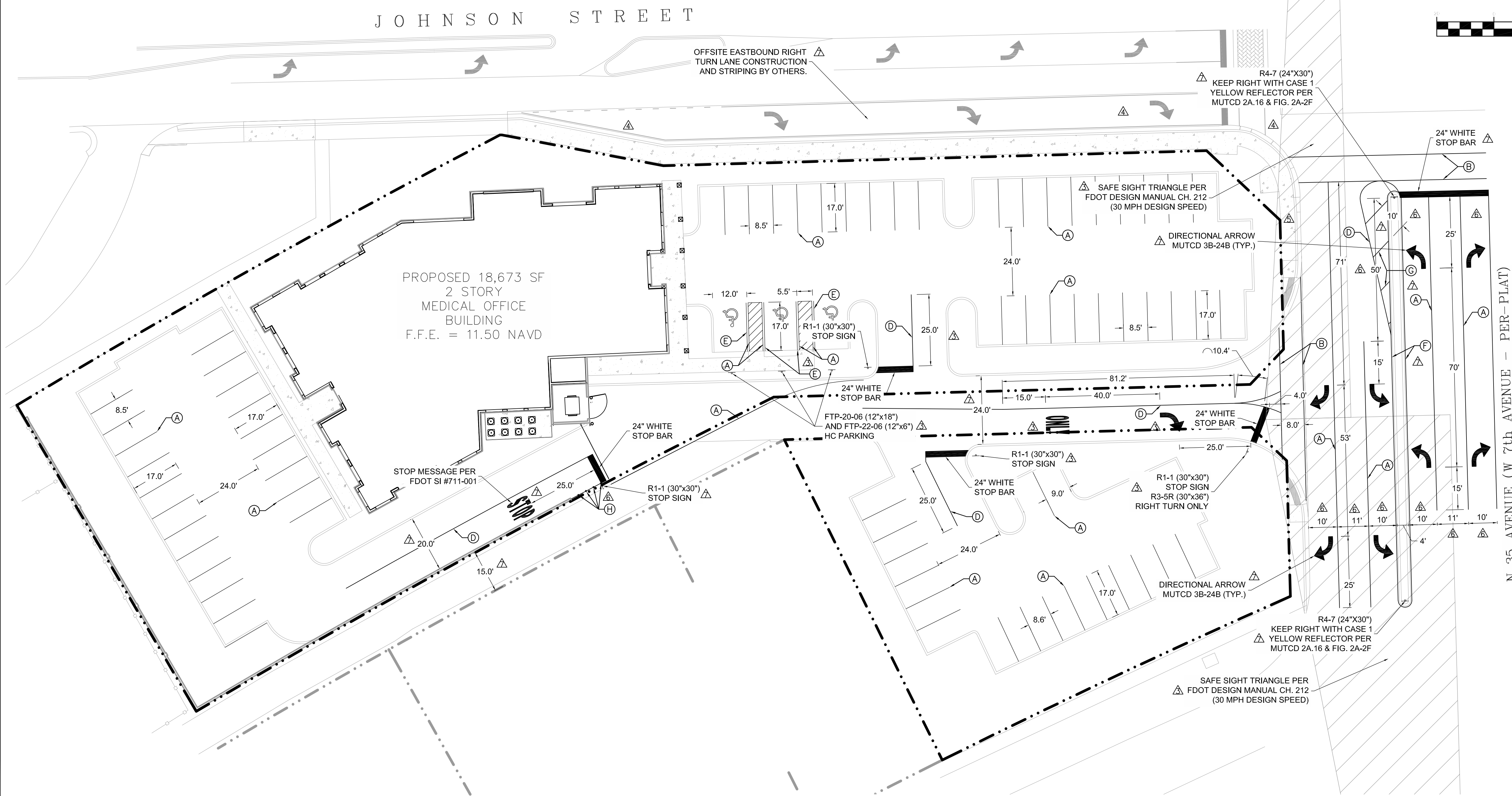
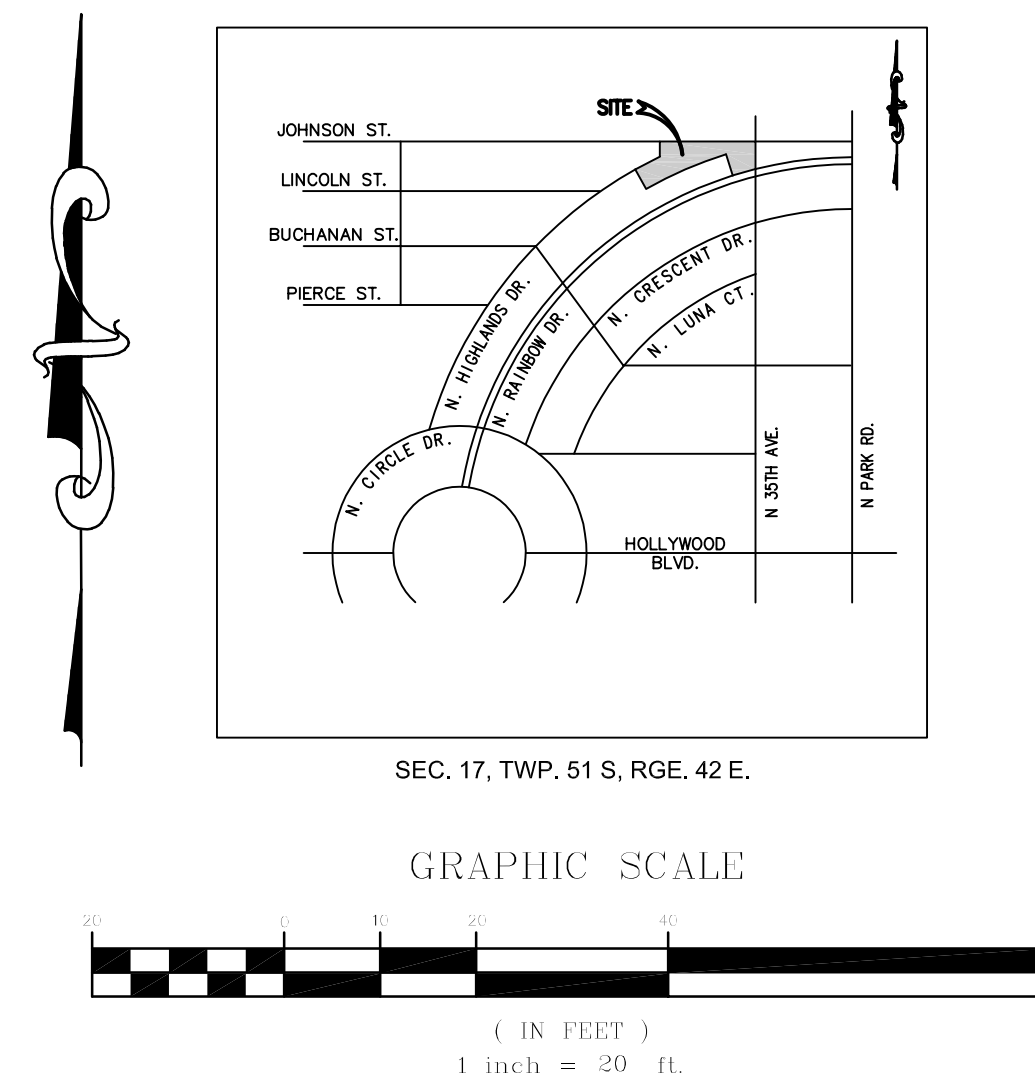
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DESIGNED BY: SG
CHECKED BY: RL
DRAWING FILE: 17-024-PD.2

9/3/2020
RONALD W. LAST, P.E.
FLORIDA P.E. #38707
17-024 PD.2
SHEET 3 OF 14



PAVEMENT MARKING AND SIGNAGE NOTES

- OBTAIN ALL REQUIRED PERMITS AND APPROVALS.
- NOTIFY ALL REGULATORY AGENCIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT.
- ALL PAVEMENT MARKING AND SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH BROWARD COUNTY, AASHTO, MUTCD AND FDOT WHEREVER APPLICABLE. INSTALLATION SHALL INCLUDE PLACEMENT OF ALL REQUIRED REFLECTIVE PAVEMENT MARKERS (RPM'S).
- CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES WITHIN PROJECT LIMITS AND SHALL NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES ON THE PLANS.
- CONTRACTOR SHALL MAINTAIN A CLEAN WORK ENVIRONMENT AND SHALL PROPERLY DISPOSE OF ANY DEBRIS AT THE END OF EACH DAY UNLESS OTHERWISE APPROVED BY OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF TRAFFIC THROUGHOUT THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL TAKE REASONABLE CARE NOT TO DAMAGE ANY SURROUNDING EXISTING PROPERTIES OR IMPROVEMENTS. ANY DAMAGES SHALL BE PROMPTLY REPAIRED TO ORIGINAL OR BETTER CONDITION TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- ALL PERMANENT SIGNAGE SHALL REMAIN COVERED UNTIL SUCH TIME AS CONSTRUCTION IS COMPLETE AND CONSTRUCTION MAINTENANCE OF TRAFFIC SIGNAGE IS REMOVED.
- PAVEMENT MARKINGS & SIGNINGS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS AND THE CITY OF HOLLYWOOD.
- STOP BARS AND STRIPING TO BE THERMOPLASTIC. ALL ONSITE STRIPING TO BE PAINT.
- PROPOSED FLEXIBLE DELINEATOR POSTS TO BE MAINTAINED BY DEVELOPER.



- STRIPING KEY**
- (A) 6" SOLID WHITE
 - (B) 12" SOLID WHITE
 - (C) 6" SKIP WHITE TYP. (2'-4')
 - (D) 6" DOUBLE YELLOW
 - (E) 6" SOLID BLUE
 - (F) 6" SOLID YELLOW
 - (G) 18" SOLID YELLOW
 - (H) FLEXIBLE DELINEATOR POST (WHITE)

PAVEMENT MARKING & SIGNAGE PLAN
FOR
3500 BUILDING
HOLLYWOOD, FLORIDA

REVISIONS	DATE	BY	CK
7. REV. PER CITY OF HOLLYWOOD COMMENTS	09/02/20	SMG	RWL
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3. REV. ALL SHEETS PER REVISED SITE PLAN	06/12/19	SMG	RWL

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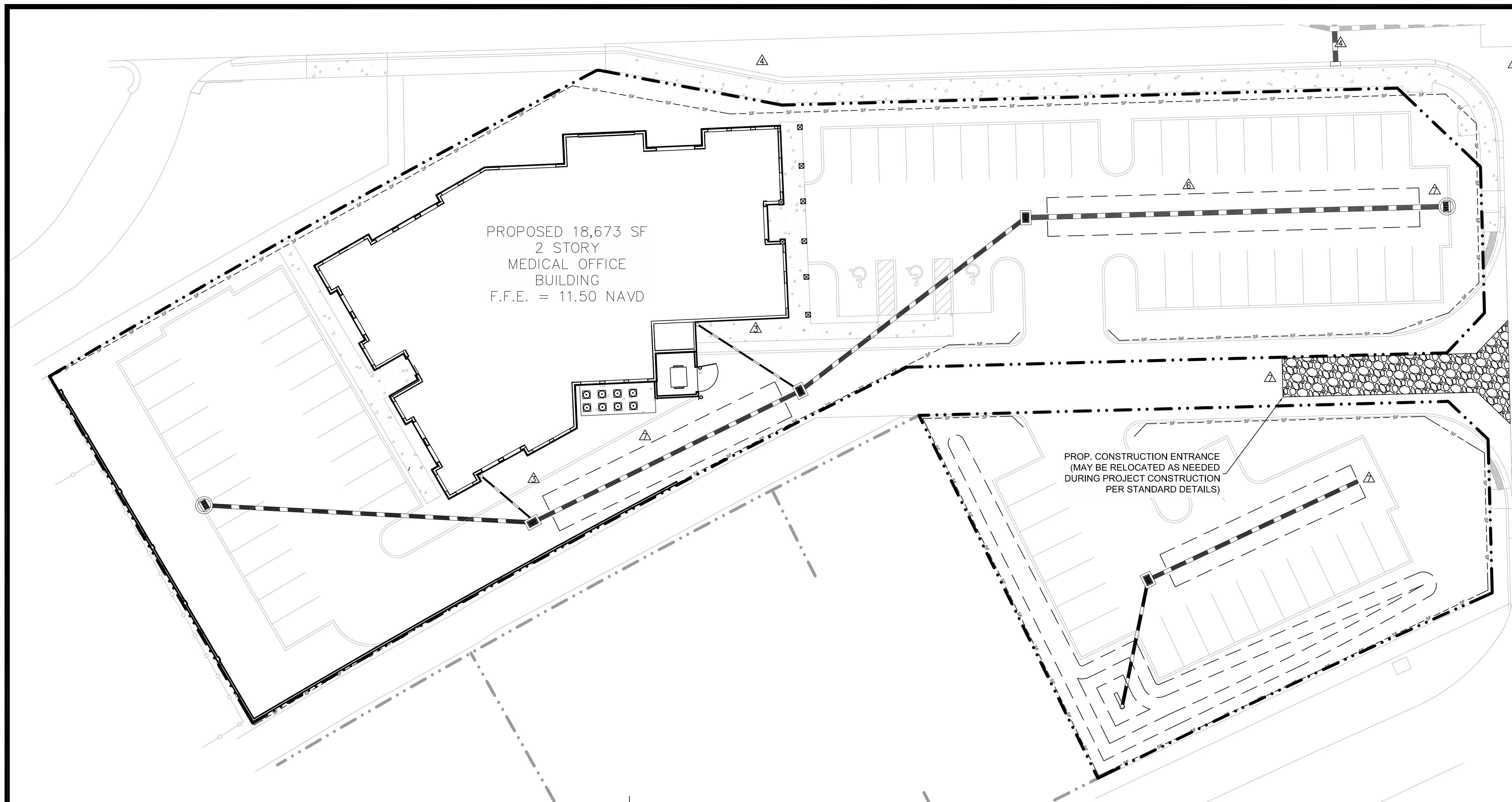
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7081 TAFT STREET, SUITE 160
HOLLYWOOD, FL 33024 TEL:(954) 296-9516

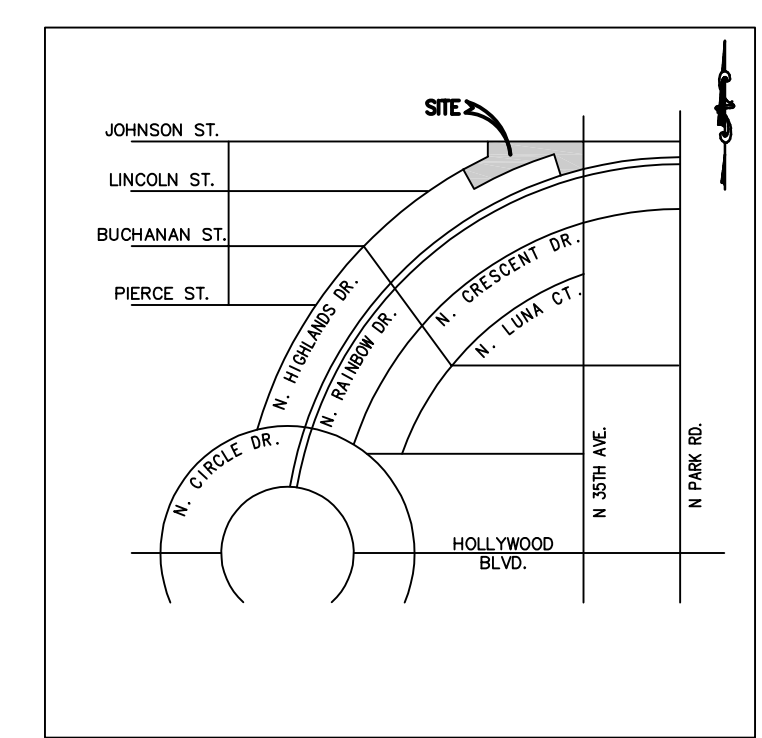
CALL BEFORE YOU DIG
Sunshine 811
State One Call
OF FLORIDA, INC.
811 or (800) 432-4770

9/3/2020
RONALD W. LAST, P.E.
FLORIDA P.E. #38707
17-024 PD.3
SHEET 4 OF 14

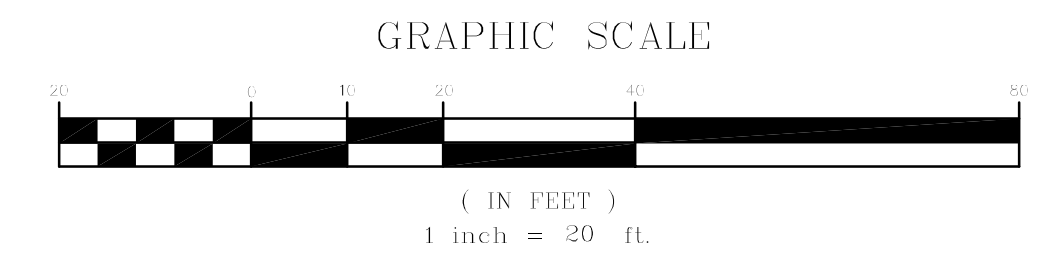
NAVD TO NGVD CONVERSION = NAVD + 1.598 FT



N 35 AVENUE (W 7th AVENUE - PER-PLAT)

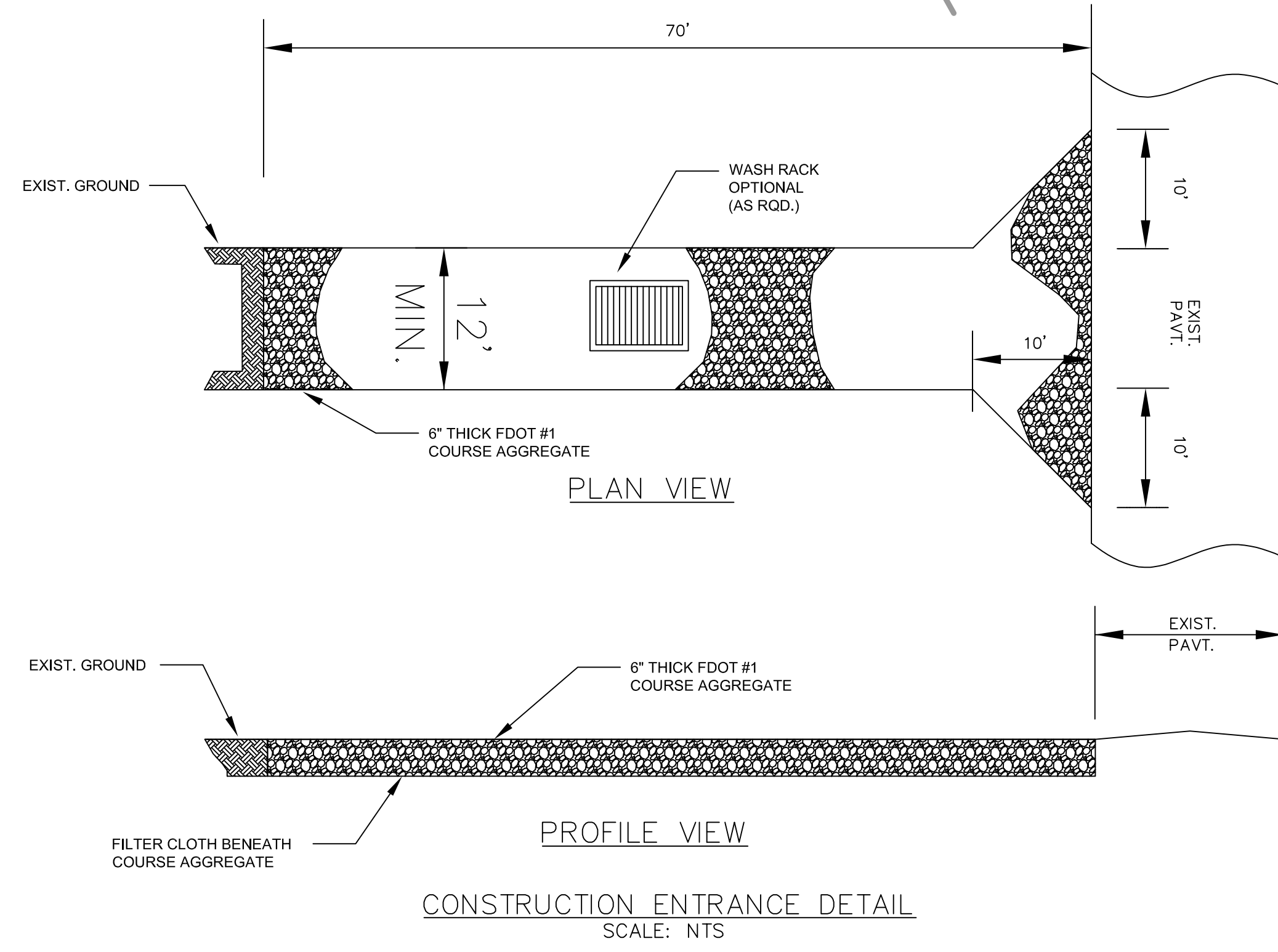


SEC. 17, TWP. 51 S, RGE. 42 E.



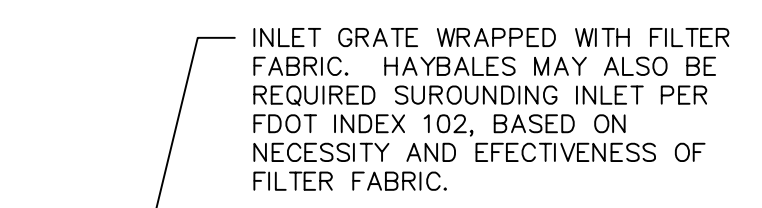
LEGEND

- PROPOSED STORM DRAINAGE STRUCTURE
- PROPOSED STORM DRAIN PIPE
- EXISTING DRAINAGE PIPE
- SILTY FENCE
- PROPOSED BUILDING
- PROPERTY LINE
- CONSTRUCTION ENTRANCE



NOTES:

1. ALL CONTRACTORS AND SUBCONTRACTORS ON THE SITE SHALL UTILIZE NPDES BEST MANAGEMENT PRACTICES THROUGHOUT THE DURATION OF CONSTRUCTION IN ORDER TO PREVENT THE DISCHARGE OF UNCONFINED SOILS AND PARTICULATE MATTER BEYOND THE PROJECT BOUNDARIES.
2. ALL ADJACENT STORM SEWER INLET GRATES AND INLETS WITH THE POTENTIAL FOR IMPACT DURING CONSTRUCTION SHALL BE COVERED WITH FILTER FABRIC (OR APPROVED EQUAL) THROUGHOUT THE DURATION OF DEMOLITION AND CONSTRUCTION AND PROTECTED FROM SEDIMENTATION RESULTING FROM SOIL EROSION.
3. CONTRACTOR SHALL, AT A MINIMUM, PUT INTO PLACE SUCH TEMPORARY EROSION CONTROL MEASURES AS INDICATED ON THE PLANS. THESE MEASURES SHALL BE INSPECTED AND EVALUATED DURING CONSTRUCTION AND DEMOLITION OPERATIONS FOR THEIR EFFECTIVENESS IN PREVENTING EROSION MATERIAL AND SEDIMENT FROM DISCHARGING FROM THE WORK AREA. IF REQUIRED, AND AS DIRECTED BY THE LOCAL BUILDING OFFICIAL OR PROJECT ENGINEER, ADDITIONAL TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTITUTED AND INSTALLED. ALL BEST MANAGEMENT PRACTICES ITEMS (EG. SILTY FENCE, CONSTRUCTION ENTRANCES, ETC.) SHALL BE IN CONFORMANCE WITH FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, RULE 62-621.003 (4)(a), F.A.C., AND THE FDOT DESIGN STANDARDS INDEX 102 FOR TEMPORARY EROSION CONTROL AND WATER QUALITY, 2010 EDITION (AS APPLICABLE).
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY CLEARING, DEMOLITION OR EARTHMOVING ACTIVITIES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED AS NEEDED AFTER COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A LOG OF CHANGES TO THE EROSION AND SEDIMENT CONTROL MEASURES INSTALLED OR REMOVED FROM THE SITE. A NPDES GENERAL NOI PERMIT FOR CONSTRUCTION ACTIVITIES SHALL BE OBTAINED FOR THE CONSTRUCTION ACTIVITIES PROPOSED IN THESE PLANS AND THE CONTRACTOR SHALL MAINTAIN INSPECTION RECORDS IN ACCORDANCE WITH THE NPDES PERMIT REQUIREMENTS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROCURING AND ABATEMENT APPROVALS FOR LEAD, ASBESTOS, MERCURY AND RODENTS PRIOR TO DEMOLITION AS REQUIRED BY LOCAL, STATE AND FEDERAL JURISDICTIONS HAVING AUTHORITY.
6. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED, THE OWNER SHALL BE NOTIFIED. THOSE MATERIALS SHALL BE REMOVED AND DISPOSED OF IN A MANNER APPROVED BY ALL GOVERNING AGENCIES AND IN A LANDFILL OR DISPOSAL FACILITY LICENSED TO ACCEPT THE HAZARDOUS MATERIAL.
7. PREDEMOLITION PHOTOGRAPHS SHALL BE TAKEN SHOWING EXISTING CONDITIONS OF THE SITE AND ADJACENT BUILDINGS TO REMAIN. PHOTOS SHALL INCLUDE DAMAGE TO FINISH SURFACES THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY DEMOLITION OPERATIONS.
8. THE CONTRACTOR MUST VISIT THE SITE AND STUDY EXISTING PHYSICAL CONDITION AND NOTIFY THE ENGINEER OR ARCHITECT OF ANY DISCREPANCIES ON DRAWINGS PRIOR TO COMMENCEMENT OF DEMOLITION AND CONSTRUCTION ACTIVITIES.
9. CONTRACTOR SHALL CALL SUNSHINE ONE CALL 72 HOURS PRIOR TO COMMENCEMENT OF DEMOLITION AND CONSTRUCTION ACTIVITIES. IF ANY CONFLICTS ARISE AS A RESULT OF FIELD UNDERGROUND UTILITY LOCATES AND DESIGNATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ENGINEER AND ARCHITECT IN WRITING PRIOR TO COMMENCEMENT ONSITE ACTIVITIES. FAILURE OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND ARCHITECT IN WRITING SHALL BE DEEMED ACCEPTANCE OF EXISTING CONDITIONS "AS IS, WHERE IS" AND SHALL RELIEVE THE ENGINEER AND ARCHITECT OF ANY LIABILITY ASSOCIATED WITH EXISTING CONDITIONS. FURTHER, THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER AND ARCHITECT FOR ANY EXISTING AND OR UNFORSEEN CONDITIONS THAT MAY RESULT IN ANY FORM OF LIABILITY.
10. ALL CONTRACTORS AND SUBCONTRACTORS MUST SIGN AND DATE THE FOLLOWING CERTIFICATION STATEMENT BEFORE CONDUCTING LAND DISTURBING ACTIVITIES ON THE SITE AS APPLICABLE:
 "I CERTIFY UNDER THE PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THERE UNDER."



NOTES:
1. ALTERNATE SEDIMENT BARRIER DEVICES MAY BE USED SUCH AS A FILTER SOCK OR FILTER BAG FOR FDOT TYPE 1 THROUGH 10 "P" AND "J" STYLE BOXES.

INLET PROTECTION
SCALE: NTS

ALL ELEVATIONS INDICATED HEREON ARE NAVD 88 VERTICAL DATUM BASED ON SURVEY PROVIDED BY:
 JOHNSTON & JOHNSTON LAND SURVEYING SERVICES INC. LB #7689
 7081 TAFT STREET, SUITE 160
 HOLLYWOOD, FL 33024 TEL:(954) 296-9516

NAVD TO NGVD CONVERSION = NAVD + 1.598 FT



STORMWATER POLLUTION PREVENTION PLAN
FOR
3500 BUILDING
HOLLYWOOD, FLORIDA

REVISIONS	DATE	BY	CK
7. REV. PER CITY OF HOLLYWOOD COMMENTS	09/02/20	SMG	RWL
6. REV. PER CITY OF HOLLYWOOD COMMENTS	03/24/20	SMG	RWL
5. REV. ALL SHEETS PER UPDATED T.I.A.	11/06/19	SMG	RWL
4. REV. ALL SHEETS PER CITY OF HOLLYWOOD	08/30/19	SMG	RWL
3. REV. ALL SHEETS PER REVISED SITE PLAN	06/12/19	SMG	RWL

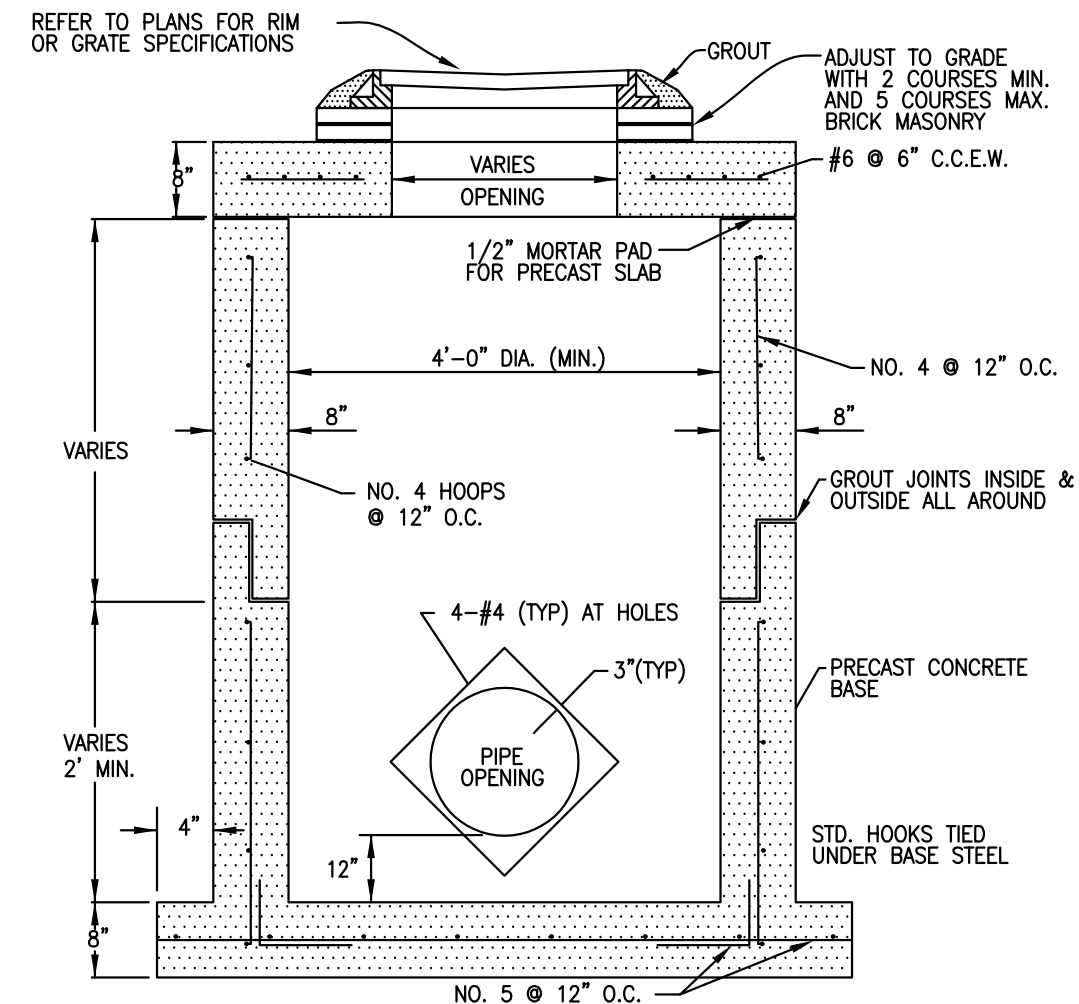
EB 9889

LPI
Last Devenport, Inc.
 1860 Old Okeechobee Road, Suite 504
 West Palm Beach, FL 33409
 phone (561)615-6567 fax (561)683-0872

SCALE: 1"=20'
 DATE: 9/2/20
 DESIGNED BY: SG
 CHECKED BY: RL
 DRAWING FILE:
 17-024-PD.4

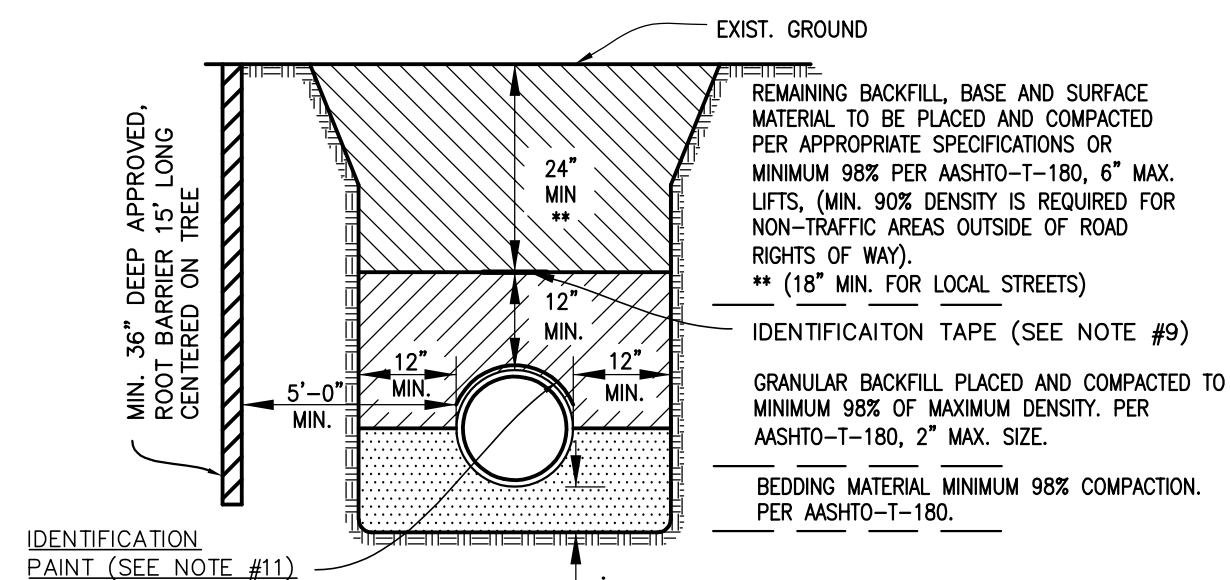
9/3/2020
 RONALD W. LAST, P.E.
 FLORIDA P.E. #38707

17-024 PD.4
 SHEET 5 OF 14



ALL REINFORCING TO MEET CURRENT F.D.O.T. SPECIFICATIONS
THIS STRUCTURE MAY BE SUBSTITUTED WITH OTHER STRUCTURES ONLY IF THE STANDARDS HAVE BEEN MET.

DRAINAGE STRUCTURES
N.T.S.



- NOTES:**
- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING WITH EQUAL OR GREATER STRUCTURAL ADEQUACY AS EXISTING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED.
 - THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES
 - THE PIPE SHALL BE PLACED IN A DRY TRENCH.
 - BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK AND DEBRIS.
 - DENSITY TESTS SHALL BE TAKEN IN 1 FOOT LIFTS ABOVE THE PIPE AT INTERVALS OF 400' MAXIMUM, (MINIMUM 1 SET) OR AS DIRECTED BY THE CONSTRUCTION COORDINATION DIVISION. RESULTS SHALL BE SUBMITTED TO CONSTRUCTION COORDINATION AS PART OF THEIR FIELD REVIEW
 - THE PERMITTEE/DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL TRENCH SAFETY LAWS AND REGULATIONS
 - SEE SEPARATE DETAIL FOR PAVED AREAS (OPEN CUT FOR THOROUGHFARE AND NON-THOROUGHFARE ROADS).
 - THE AFFECTED AREA SHALL BE RESTORED TO EQUAL OR BETTER CONDITION OR AS SPECIFIED IN PERMIT/CONTRACT DOCUMENTS.
 - APPROVED MAGNETIC TAPE IS REQUIRED FOR ALL MAIN PRESSURE PIPES AND CONDUIT IN THE COUNTY'S RIGHT-OF-WAY. INSTALL TAPE 24" BELOW FINISHED GRADE.
 - ROOT BARRIER IS REQUIRED FOR APPROVED PIPE INSTALLATION CLOSER THAN 10 FEET FROM AN EXISTING TREE.
 - CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DIP/PCCP WATER MAINS (BLUE), DIP SANITARY FORCE MAINS (GREEN), DIP RECLAIMED WATER MAINS (PURPLE), GAS MAINS (YELLOW), OR AS REQUIRED BY THE APWA.
 - PERMANENT ABOVE GROUND UTILITY MARKER SHALL BE INSTALLED IF REQUIRED BY PROPERTY OWNER GRANTING THE PIPE INSTALLATION PERMIT.

TYPICAL TRENCH DETAIL WITH ROOT BARRIER INSTALLATION DETAIL (NON-PAVED AREAS)
N.T.S.

GENERAL SPECIFICATIONS

FLAT BLADE: ALCOA #86054-R063-T6 ALLOY, ETCHED, DECREASED WITH #1200 ALCOINE FINISH WITH #3877 GREEN HIGH INTENSITY BACKGROUND AND EQUAL DIMENSIONS - 9" x 12" MIN. H. 24", 30", 36" AND 42" L.

LETTERS: NAME - 6" UPPERCASE WITH 4.5" LOWERCASE & 9" UPPERCASE WITH 6.75" LOWERCASE. SERIES 'B' # 3870 HIGH INTENSITY (SILVER) OR EQUAL - SUFFIX - 4.5".

POST: ALUMINUM COLUMN (POST) DESIGNED AND INSTALLED PER FOOT INDEX 11860.

ZEE BRACKETS SHALL BE ATTACHED FIRMLY ON STANDARD ALUMINUM COLUMN POSTS BY MEANS OF 1/2" U-BOLT SIZED SPECIFICALLY FOR POST DIAMETER WITH NUT AND LOCK WASHER.

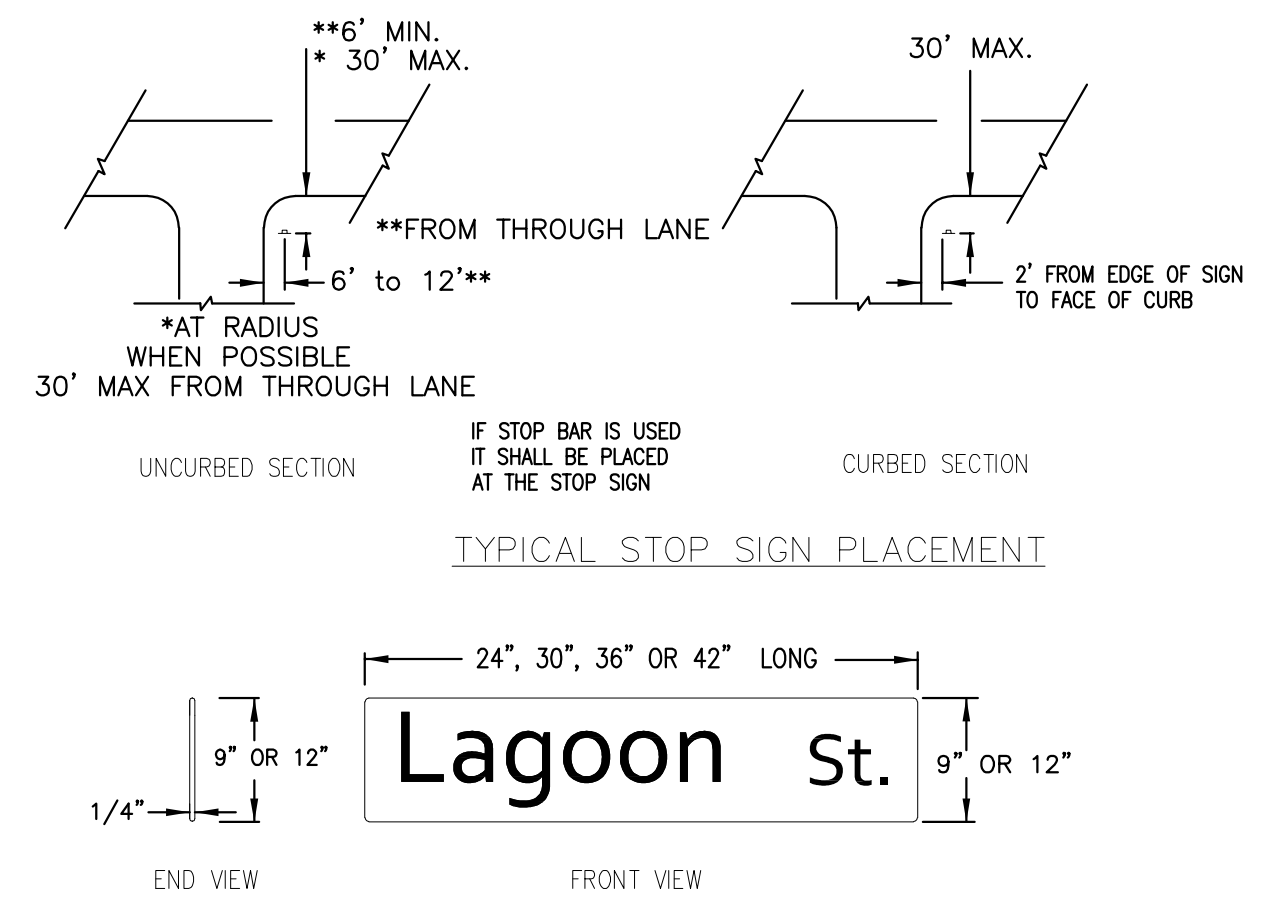
STOP SIGN: R1-1 MUTCD (HIGH INTENSITY)

LOCATION: ONE PER INTERSECTION AS INDICATED ON THE PLANS.

POLICY: 9" BLADES WITH 6" UPPERCASE WITH 4.5" LOWERCASE LETTERS FOR TWO ROADS WITH A SPEED LIMIT UNDER 45 MPH.

12" BLADES WITH 9" UPPERCASE WITH 6.75" LOWERCASE LETTERS FOR: -THOROUGHFARE ROADS FOUR LANES OR WIDER. -TWO LANE ROADS WITH A POSTED SPEED LIMIT OF 45 MPH OR MORE. ONLY ONE BLADE WILL BE INSTALLED AT INTERSECTION WITH THOROUGHFARE ROAD INDICATING THE SIDE STREET NAME.

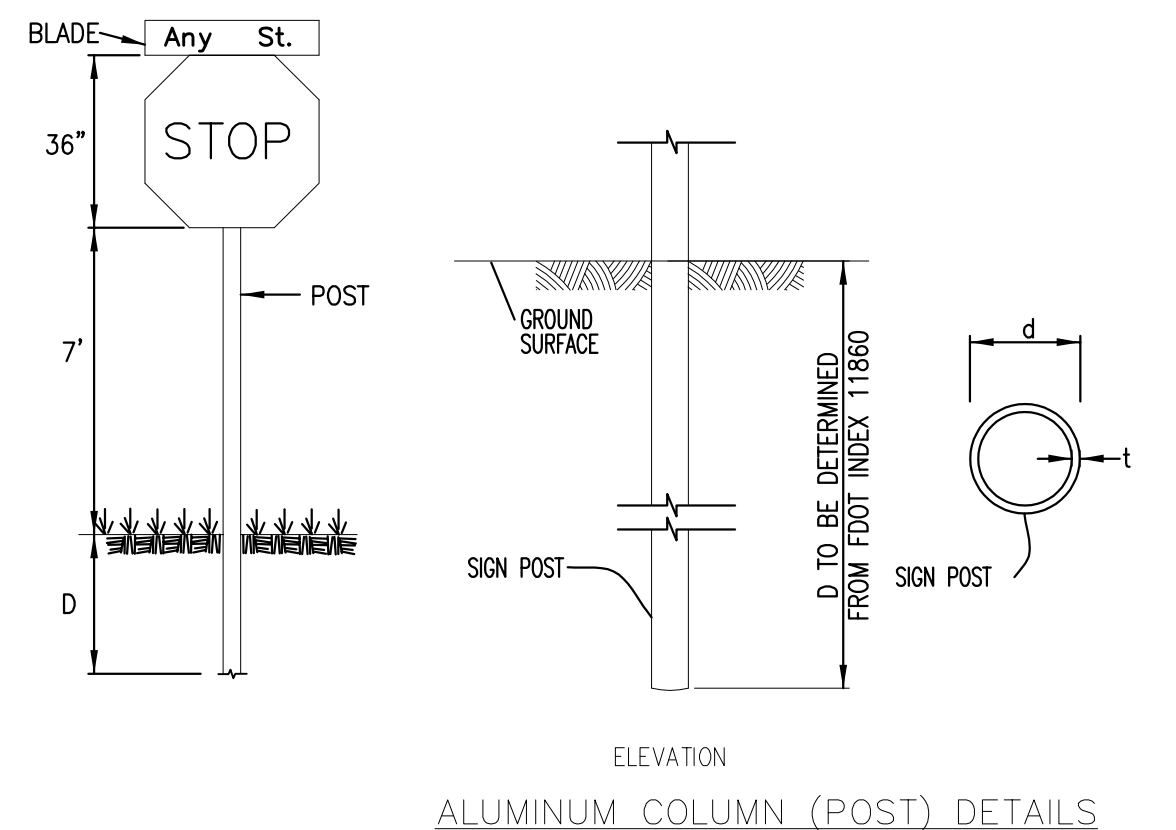
ALL SIGNS SHALL HAVE MANUFACTURER IDENTIFICATION STICKER LOCATED ON THE BACK PER FOOT REQUIREMENTS



TYPICAL STOP SIGN PLACEMENT

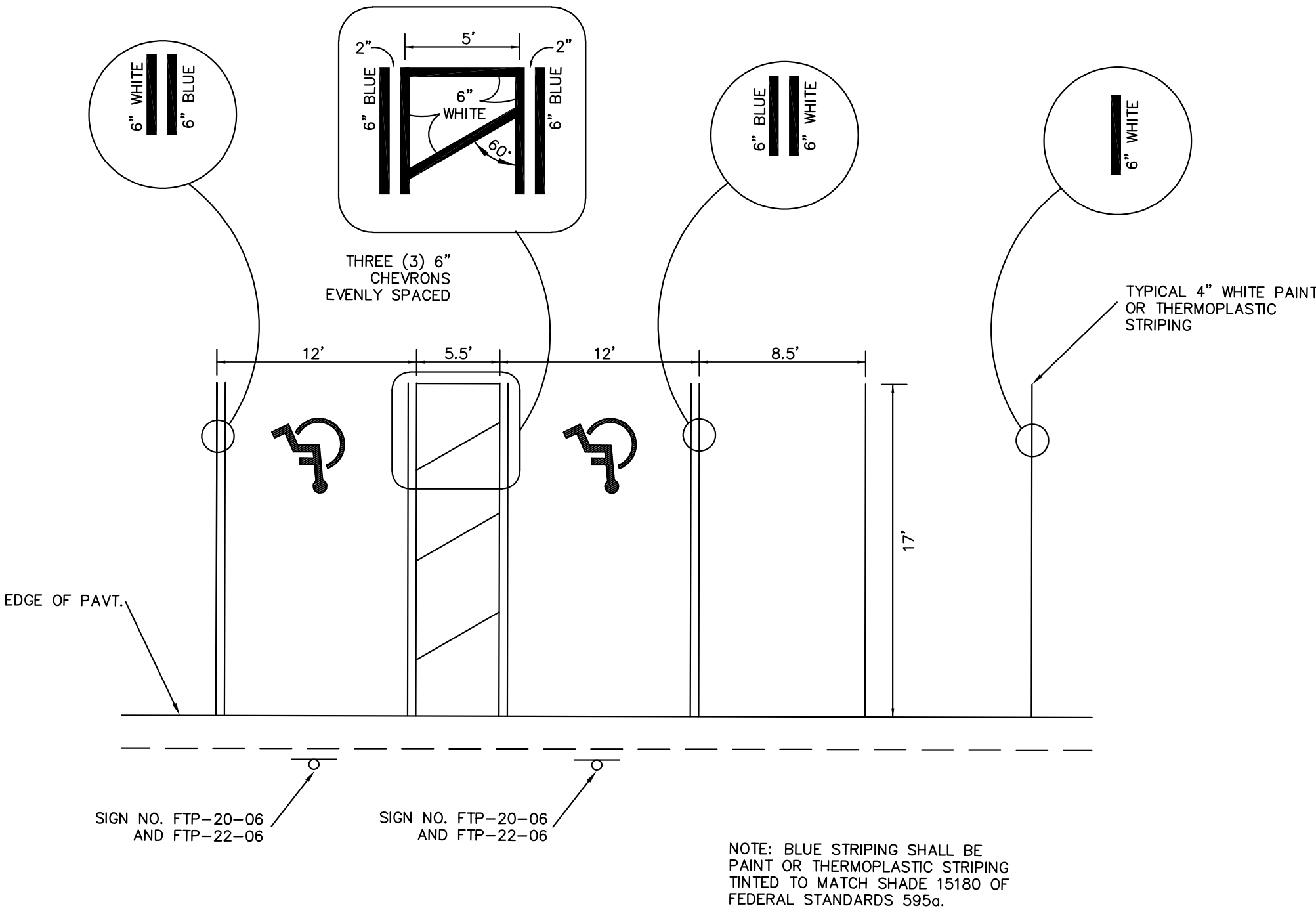


ISOMETRIC VIEW



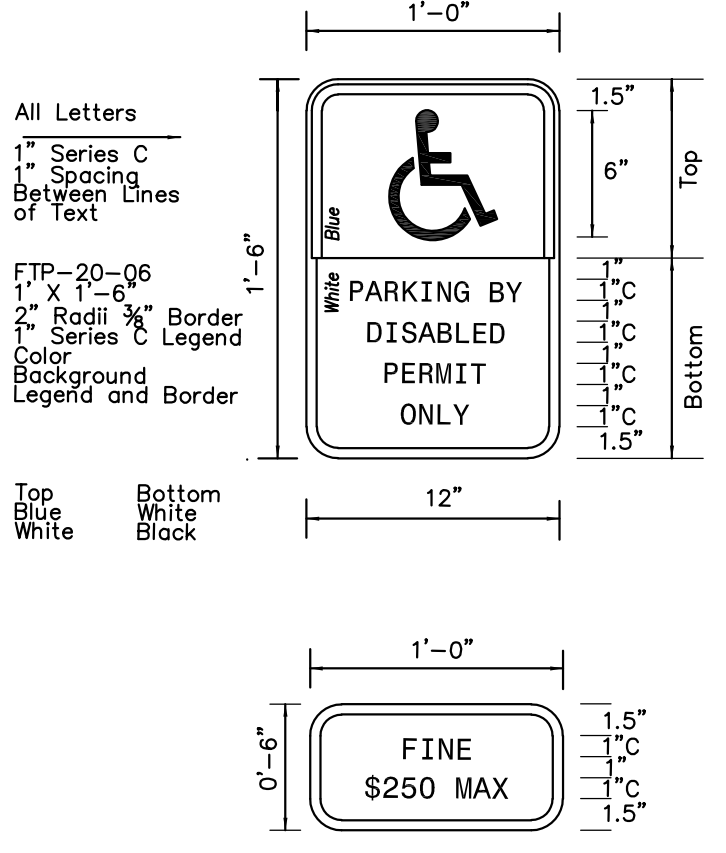
ALUMINUM COLUMN (POST) DETAILS

STREET NAME SIGN WITH STOP SIGN
N.T.S.

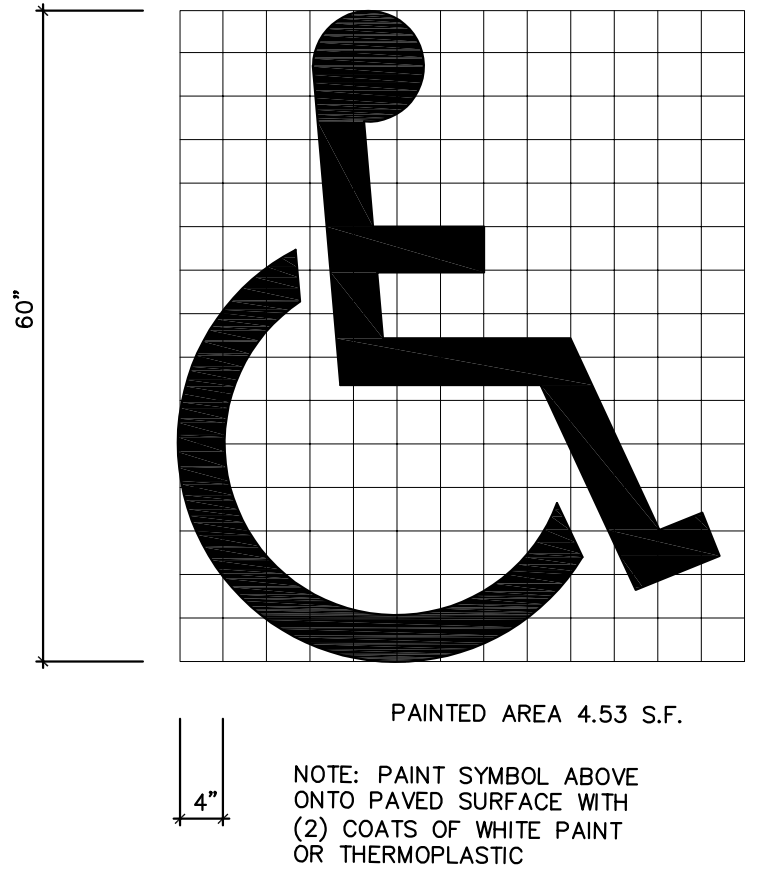


HANDICAP & STANDARD PARKING AND SIGNAGE DETAIL
N.T.S.

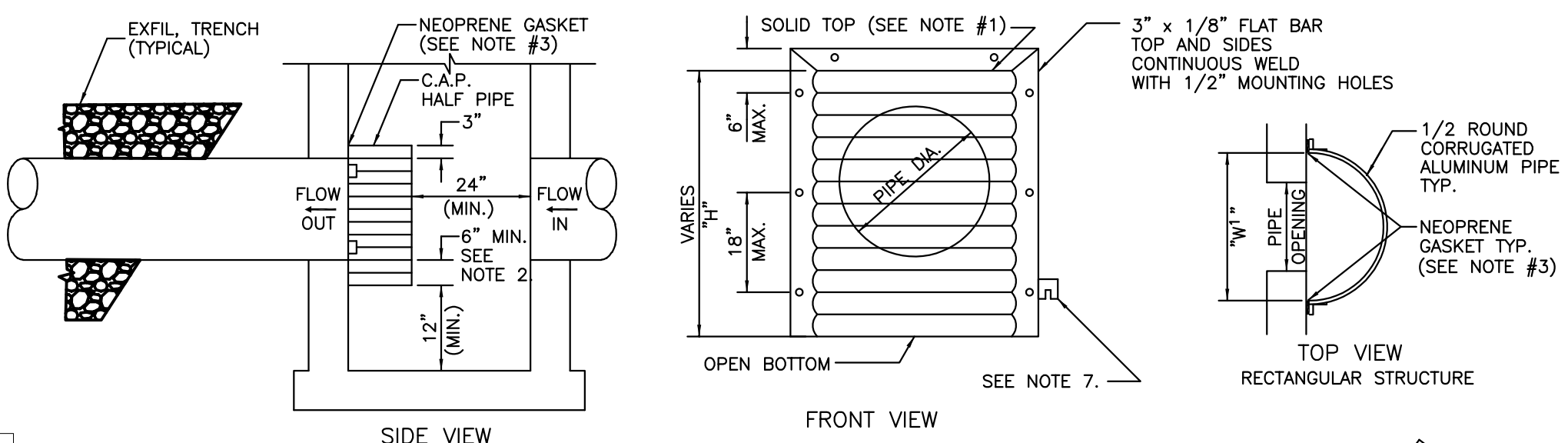
- NOTE:**
- SEE HANDICAP PARKING AND SIGNAGE DETAIL THIS PAGE FOR STRIPING OF HANDICAP PARKING STALLS
 - ALL STRIPING SHALL BE IN ACCORDANCE WITH PALM BEACH COUNTY DESIGN STANDARDS.



HANDICAP PARKING SIGNAGE DETAIL
N.T.S.



HANDICAPPED SYMBOL PARKING DETAIL
N.T.S.



SIDE VIEW

FRONT VIEW

TOP VIEW RECTANGULAR STRUCTURE

PIPE DIA.	W ¹ (IN)	W ² (IN)	T (GAUGE)	H (IN)
15"	21"	21"	16	VARIES
18"	24"	24"	16	VARIES
21"	30"	30"	16	VARIES
24"	30"	36"	16	VARIES
30"	36"	42"	14	VARIES
36"	42"	48"	14	VARIES
42"	48"	54"	14	VARIES
48"	54"	60"	14	VARIES
54"	60"	66"	14	VARIES

1. RECTANGULAR STRUCTURE
2. ROUND STRUCTURE

- NOTES:**
- ALUMINUM SHEET OF SAME THICKNESS (GAUGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING AT THE TOP.
 - THE BOTTOM ELEVATION OF THE POLLUTION RETARDANT BAFFLE MUST BE AT LEAST 2' BELOW CONTROL ELEVATION.
 - NEOPRENE ADHESIVE BACKED GASKET, OR APPROVED EQUAL (1" x 2") SHALL BE INSTALLED ON THE SIDES AND TOP OF ALL BAFFLES.
 - POLLUTION RETARDANT BAFFLE TO BE FASTENED IN PLACE WITH 3/8" x 4" STAINLESS STEEL "RED HEADS", OR APPROVED EQUAL.
 - ALL EXFILTRATION TRENCHES SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE.
 - FIBERGLASS BAFFLES ARE NOT PERMITTED.
 - MOUNTING BRACKETS MAY BE ADDED TO FLAT BARS TO EASE INSTALLATION IN ROUND STRUCTURES. SPACING TO MATCH HOLES IN FLAT BARS.
 - ALTERNATIVE BAFFLES MAY BE USED AS APPROVED BY E.O.R. AND PALM BEACH COUNTY ENGINEERING DEPT.

POLLUTION RETARDANT BAFFLE DETAIL
N.T.S.

STRUCTURE NOTES:

- POLLUTION RETARDANT BAFFLE IS LOCATED IN THE CONTROL STRUCTURE.



PAVING, GRADING & DRAINAGE DETAILS FOR
3500 BUILDING
HOLLYWOOD, FLORIDA

REVISIONS	DATE	BY	CK	COMMENTS
4.	03/24/20	SMG	RWL	REV. PER CITY OF HOLLYWOOD
3.	06/12/19	SMG	RWL	REV. ALL SHEETS PER REVISED SITE PLAN
2.	10/17/18	SMG	RWL	REV. ALL SHEETS PER REVISED SITE PLAN
1.	10/05/17	SMG	RWL	REV. ALL SHEETS PER REVISED SITE PLAN

EB 9889
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)683-0872

SCALE: N/A
DATE: 9/2/20
DESIGNED BY: SG
CHECKED BY: RL
DRAWING FILE:
17-024-PD.6

9/2/2020
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

17-024 PD.6

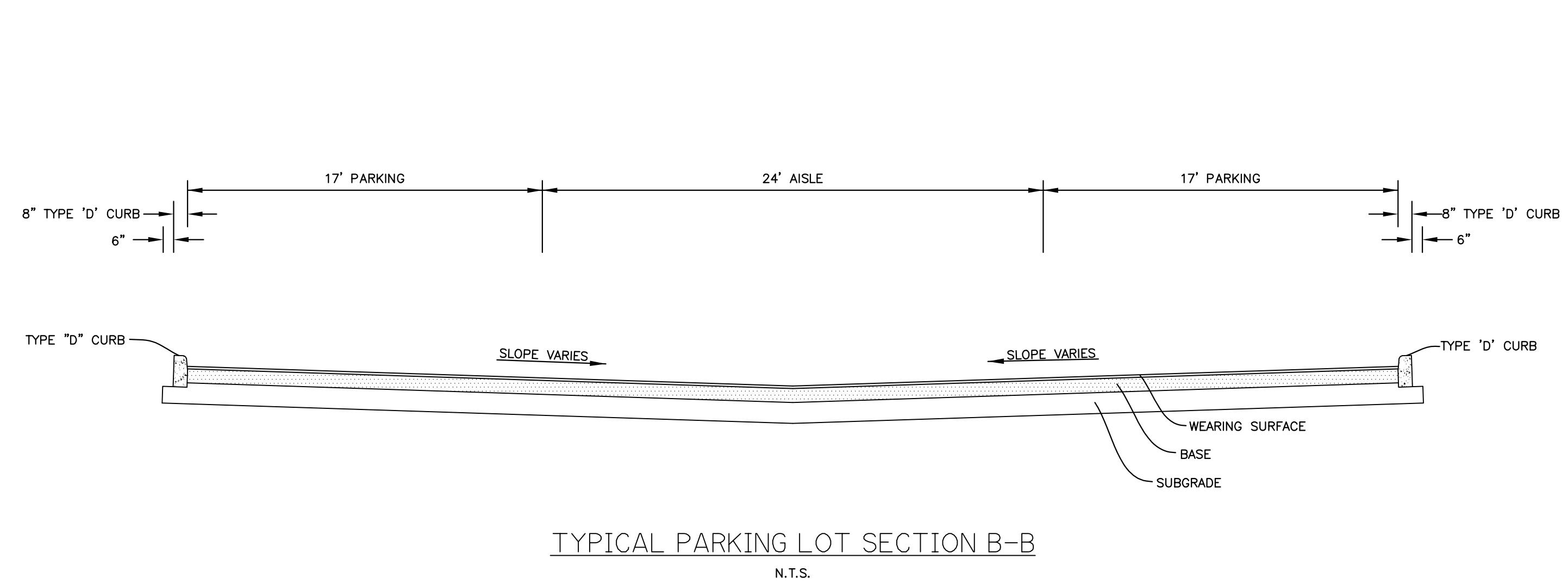
SHEET 7 OF 14

REVISIONS	DATE	BY	CK
5. REV. PER CITY OF HOLLYWOOD COMMENTS	09/02/20	SMG	RWL
4. ADDED PAVEMENT SECTION D-D	03/24/20	SMG	RWL
3. REV. ALL SHEETS PER REVISED SITE PLAN	06/12/19	SMG	RWL
2. REV. ALL SHEETS PER REVISED SITE PLAN	10/17/18	SMG	RWL
1. REV. ALL SHEETS PER REVISED SITE PLAN	10/05/17	SMG	RWL

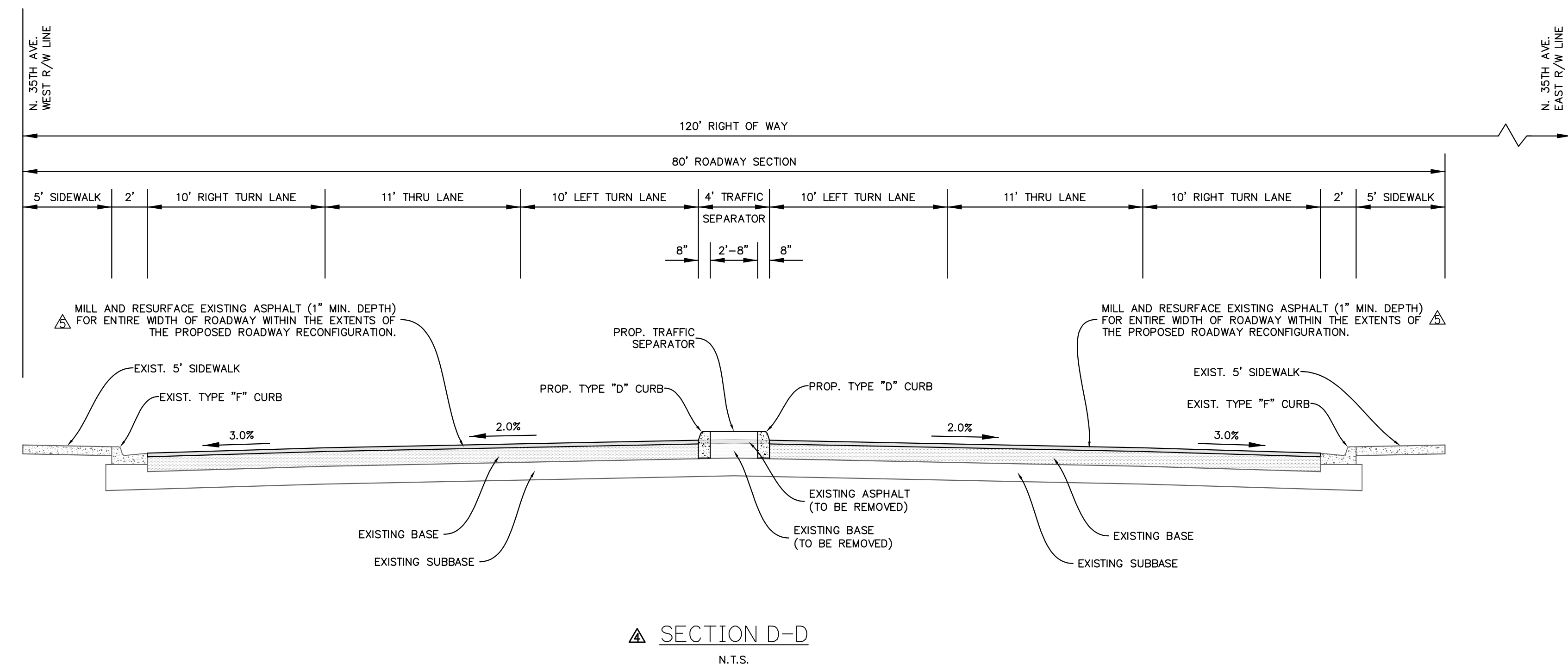
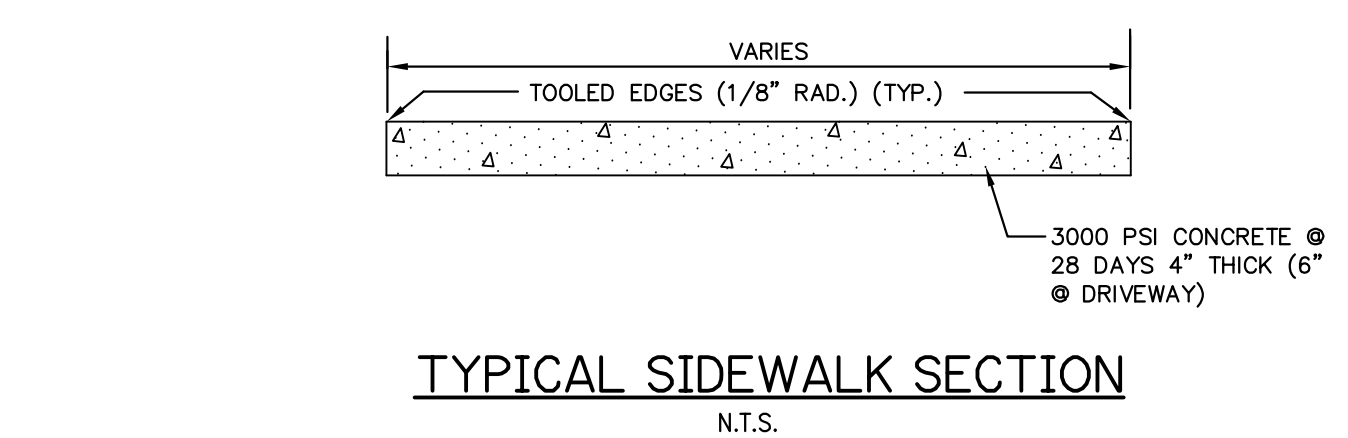
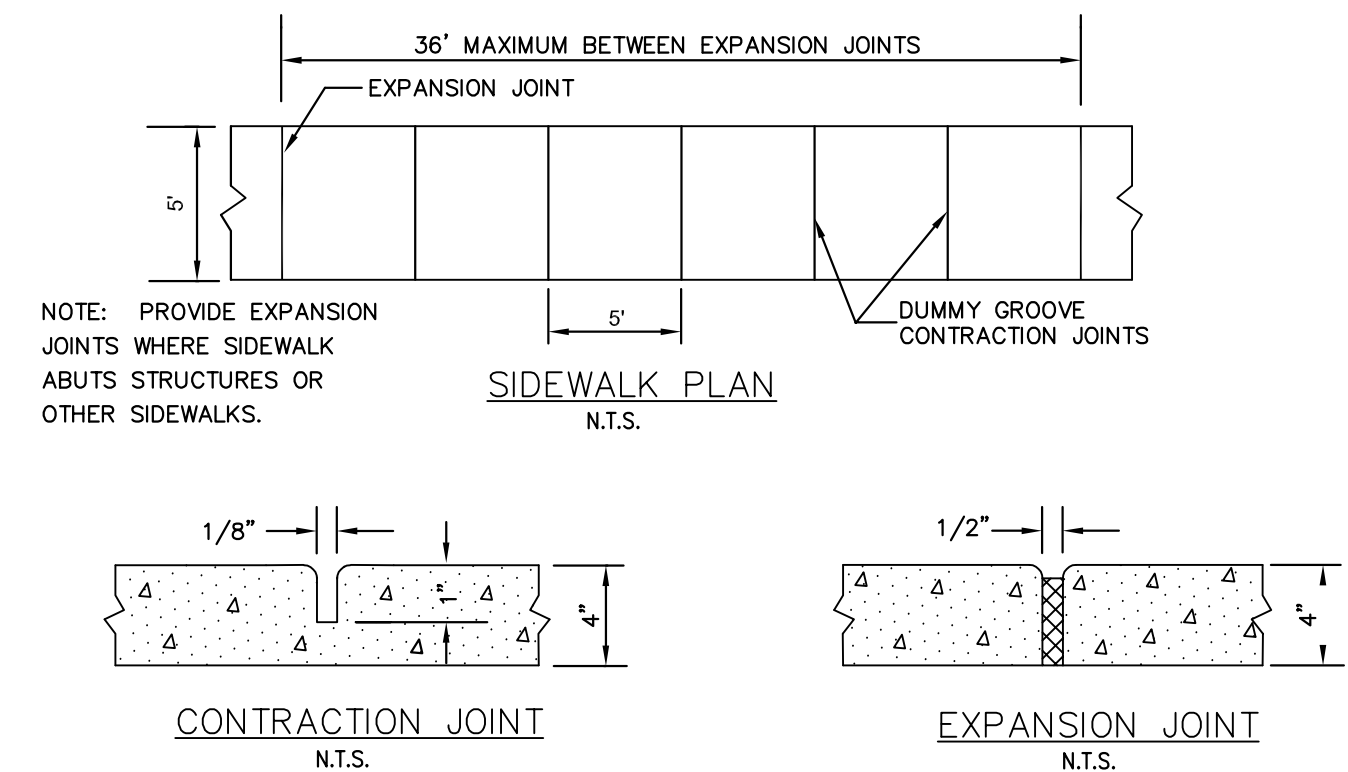
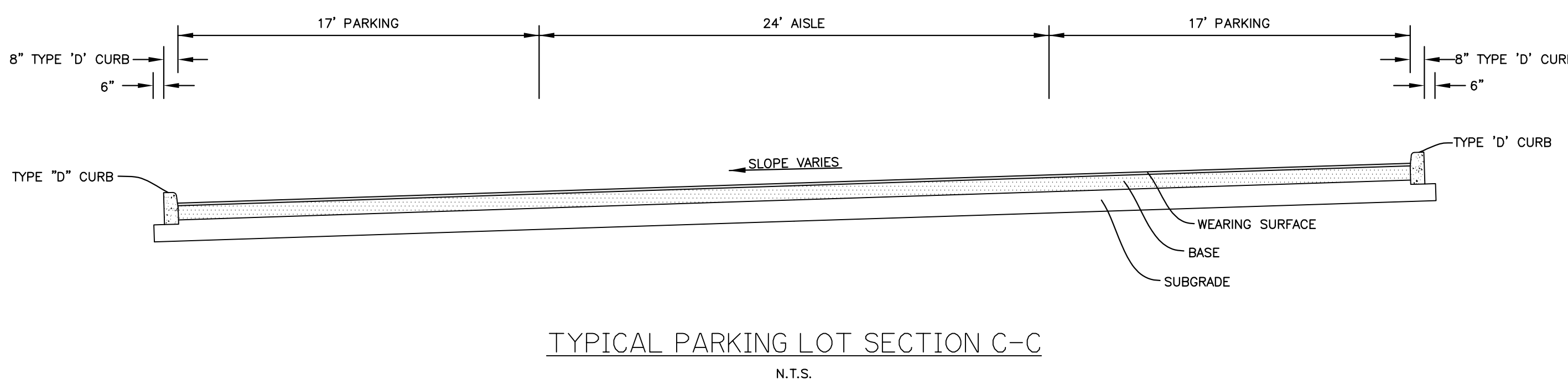
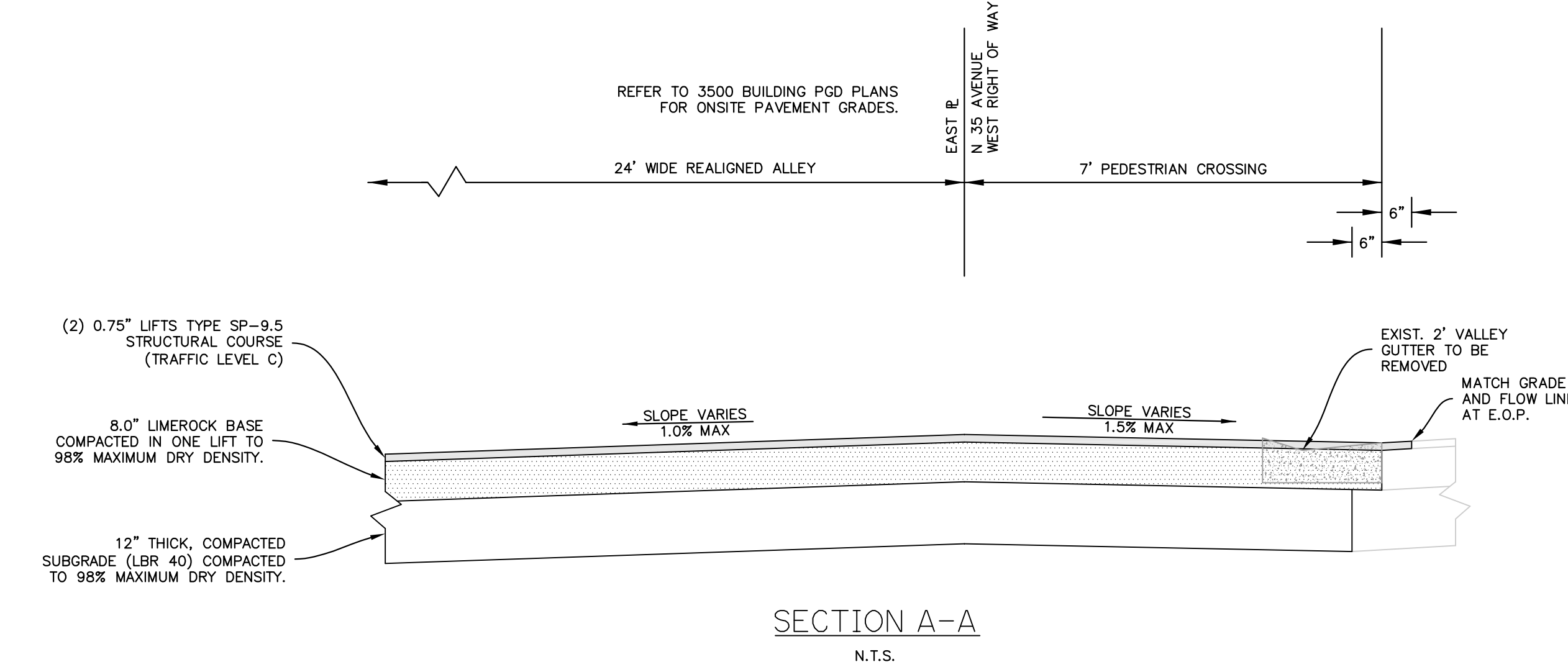
EB 9889
LPI
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)683-0872

SCALE: N/A
DATE: 9/2/20
DESIGNED BY: SG
CHECKED BY: RL
DRAWING FILE:
17-024-PD.7

9/2/2020
RONALD W. LAST, P.E.
FLORIDA P.E. #38707
17-024 PD.7
SHEET 8 OF 14

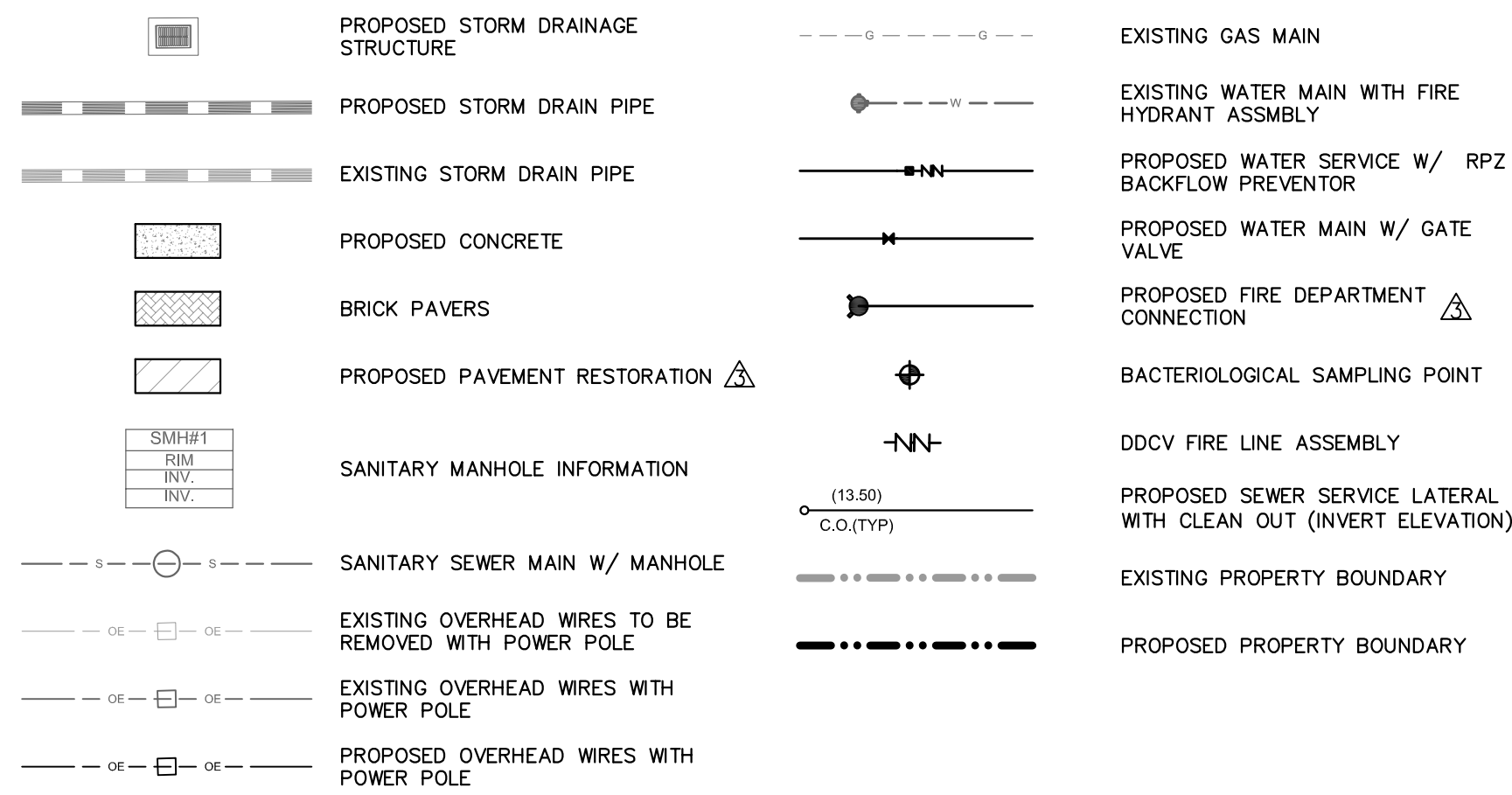


PAVING SPECIFICATIONS / SIDEWALKS				
TYPE	WEARING SURFACE	BASE	SUBGRADE	SIDEWALKS
PARKING LOT & DRIVES	1-1/2" THICK, SUPERPAVE TYPE SP-9.5 (PLACED IN TWO EQUAL LIFTS)	8" THICK, LIMEROCK BASE COMPACTED IN ONE LIFT TO 98% MAXIMUM DRY DENSITY. A.A.S.H.T.O. T-180	12" THICK, COMPACTED SUBGRADE (LBR 40) COMPACTED TO 98% MAXIMUM DRY DENSITY PER A.A.S.H.T.O.-180	4" THICK CONCRETE (2500 PS) WITH 4" COMPACTED BASE. 6" THICK REINFORCED CONCRETE (3,000 PS) REQUIRED AT DRIVEWAYS



811 or (800) 432-4770

LEGEND



WATER AND SEWER NOTES:

- PRIOR TO CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY (ELEVATION & LOCATION) ALL EXISTING UTILITIES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION OF WORK.
- ALL WATER MAINS (BLUE), FORCE MAINS (GREEN) AND RECLAIMED WATER MAINS (PURPLE) SHALL BE P.V.C. (C-90) UNLESS A DIFFERENT MATERIAL IS OTHERWISE NOTED.
- FIRE HYDRANTS SHALL BE LOCATED A MINIMUM OF 7' AND A MAXIMUM OF 12' FROM EDGE OF PAVEMENT WHERE NOT ADJACENT TO CURB AND SHALL BE CONNECTED USING DUCTILE IRON PIPE.
- VALVES SHALL NOT BE PLACED IN CURBS.
- ALL WATER AND SANITARY SERVICES SHALL BE CONSTRUCTED A MINIMUM OF 5' FROM DRAINAGE STRUCTURES.
- MAGNETIC TAPE IS REQUIRED FOR WATER MAINS AND RECLAIM WATER MAINS AND SHALL BE 6" WIDE, IMPRINTED WITH 2" HIGH LETTERING READING "CAUTION - WATER MAIN BURIED BELOW", "CAUTION - FORCE MAIN BURIED BELOW" OR "CAUTION - RECLAIM WATER MAIN BURIED BELOW", AS REQUIRED. TAPE SHALL BE LOCATED APPROXIMATELY 12" ABOVE THE CROWN OF THE PIPE AND THE WORDING SHALL OCCUR EVERY THREE FEET.
- PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS (LATEST EDITION).
- ALL WATER MAINS TO CROSS OVER SANITARY SEWER SERVICES, WHERE 12" MINIMUM CLEARANCE CANNOT BE MAINTAINED, 20 LINEAR FEET OF DUCTILE IRON WATER MAIN SHALL BE CENTERED ON THE CROSSING, THE SEWER SERVICE SHALL BE C-900, SDR-18 IF THE SEWER SERVICE IS ABOVE THE WATER MAIN WITH LESS THAN 12" MINIMUM SEPARATION. IN NO CASE SHALL THERE BE LESS THAN 6" CLEARANCE.
- RECORD DRAWINGS SHALL INCLUDE ALL UTILITY OBJECTS AND ASSOCIATED LOCATIONS IDENTIFIED AS REQUIRED BY CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT AND SHOWN IN THE AS-BUILT LOCATION.
- ALL RECORD DRAWINGS SHALL BE DRAWN IN THE STATE PLANE COORDINATE SYSTEM. STATE PLANE COORDINATES ARE REQUIRED FOR ALL AS-BUILT UTILITY OBJECTS AS REQUIRED BY CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT. ALL OBJECTS SHALL BE IDENTIFIED BY ASSIGNING AN APPROVED FEATURE CODE AND A UNIQUE NUMBER. ALL UTILITY FEATURES SHALL BE SHOWN IN THEIR AS-BUILT LOCATION.
- ALL POTABLE WATER MAIN DUCTILE IRON PIPE, PIPE FITTINGS, AND FIRE LINES SHALL BE PAINTED WITH A 4" WIDE CONTINUOUS BLUE LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. APPROVED PAINT: INDOURON, AQUANAUT 5082 ALASKA BLUE (ONE COAT, 3 MILS DRY FILM THICKNESS APPLIED WITH 1/2" NAP MEDIUM ROLLER).
- PVC PIPING AND SLEEVES USED FOR RECLAIMED WATER SYSTEMS SHALL BE INFUSED DURING MANUFACTURE WITH A PERMANENT PURPLE COLOR.
- BRASS PRODUCTS IN CONTACT WITH POTABLE WATER SHALL BE LEAD FREE.
- ELEVATIONS - ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM 1988.
- PRIOR TO CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY (ELEVATION & LOCATION) ALL EXISTING UTILITIES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION OF WORK.
- FIRE LINE REQUIRES INSPECTION BY CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT PRIOR TO BACKFILL & COMPACTION.
- ALL EXISTING CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT FACILITIES (IE. VALVES) TO BE OPERATED BY CITY OF HOLLYWOOD PERSONNEL ONLY. ANY REMOVAL TO BE UNDER THE DIRECTION OF THE PROJECT'S CITY OF HOLLYWOOD INSPECTOR.

HYDRANT SECURITY EQUIPMENT:

- EACH NEW FIRE HYDRANT SHALL BE EQUIPPED WITH A SET OF AFC "CAPTIVATER" SECURITY CAPS. THE CAPS SHALL BE CHAINED TO THE HYDRANT BODY AND INSTALLED PRIOR TO ISSUANCE OF "CONSTRUCTION WATER RELEASE" CERTIFICATION. A SCHEDULED INSPECTION BY CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT IS REQUIRED TO VERIFY THE INSTALLATION AND OPERATION OF THE CAPS.
- PLEASE NOTE THAT THE SECURITY CAPS CAN ONLY BE REMOVED USING SPECIAL WRENCHES. THE CONTRACTOR SHALL CONTACT THE CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT INSPECTOR FOR ASSISTANCE IF ACCESS TO THE HYDRANT IS REQUIRED FOR FLUSHING OR TESTING PURPOSE.
- NO HYDRANT OBSTRUCTIONS: REQUIRED CLEARANCE OF 7.5' TO FRONT AND SIDES OF HYDRANT AND 7.5' BEHIND HYDRANT.

GENERAL LANDSCAPE NOTE:

- SOD ONLY WITH NO SHRUBS AND/OR TREES TO BE INSTALLED WITHIN 5' OF A WATER METER AND 7.5' OF A FIRE HYDRANT. TREES CANNOT BE INSTALLED WITHIN 10' OF A WATER OR SEWER MAIN WITHOUT PRIOR CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT APPROVAL AND THE INSTALLATION OF A ROOT BARRIER.

NOTES:

- FIRE SPRINKLER RISERS SHALL BE LOCATED ON EXTERIOR OF BUILDINGS.
- UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE PER FS. 633.102.

GENERAL SEWER NOTES:

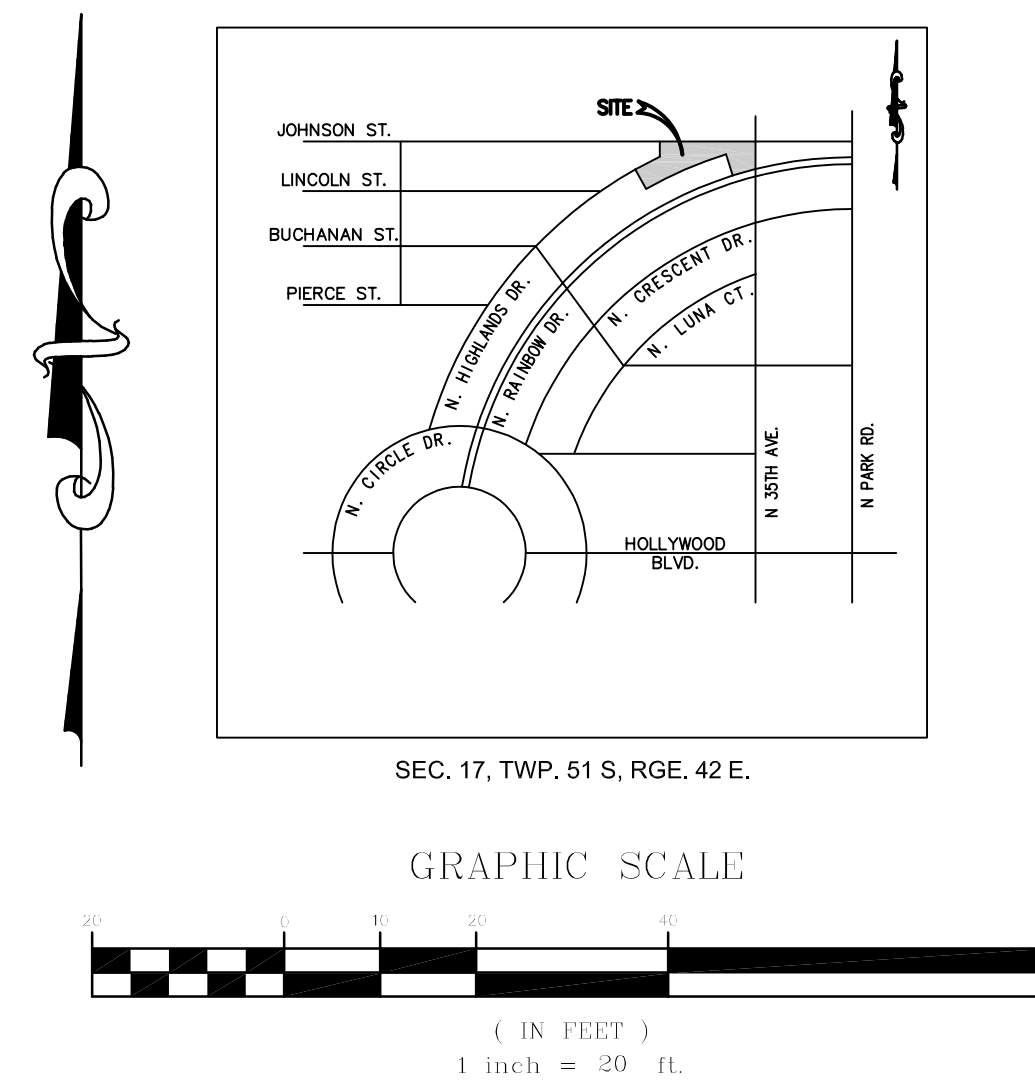
- ON-SITE SEWER LATERALS ARE PRIVATELY OWNED AND MAINTAINED.
- SEWER CLEANOUT MINI-MANHOLES ARE REQUIRED ON ALL CLEANOUTS WITHIN PAVEMENT AREAS.

CITY OF HOLLYWOOD FACILITIES & FFL ELECTRICAL CONDUIT NOTE:

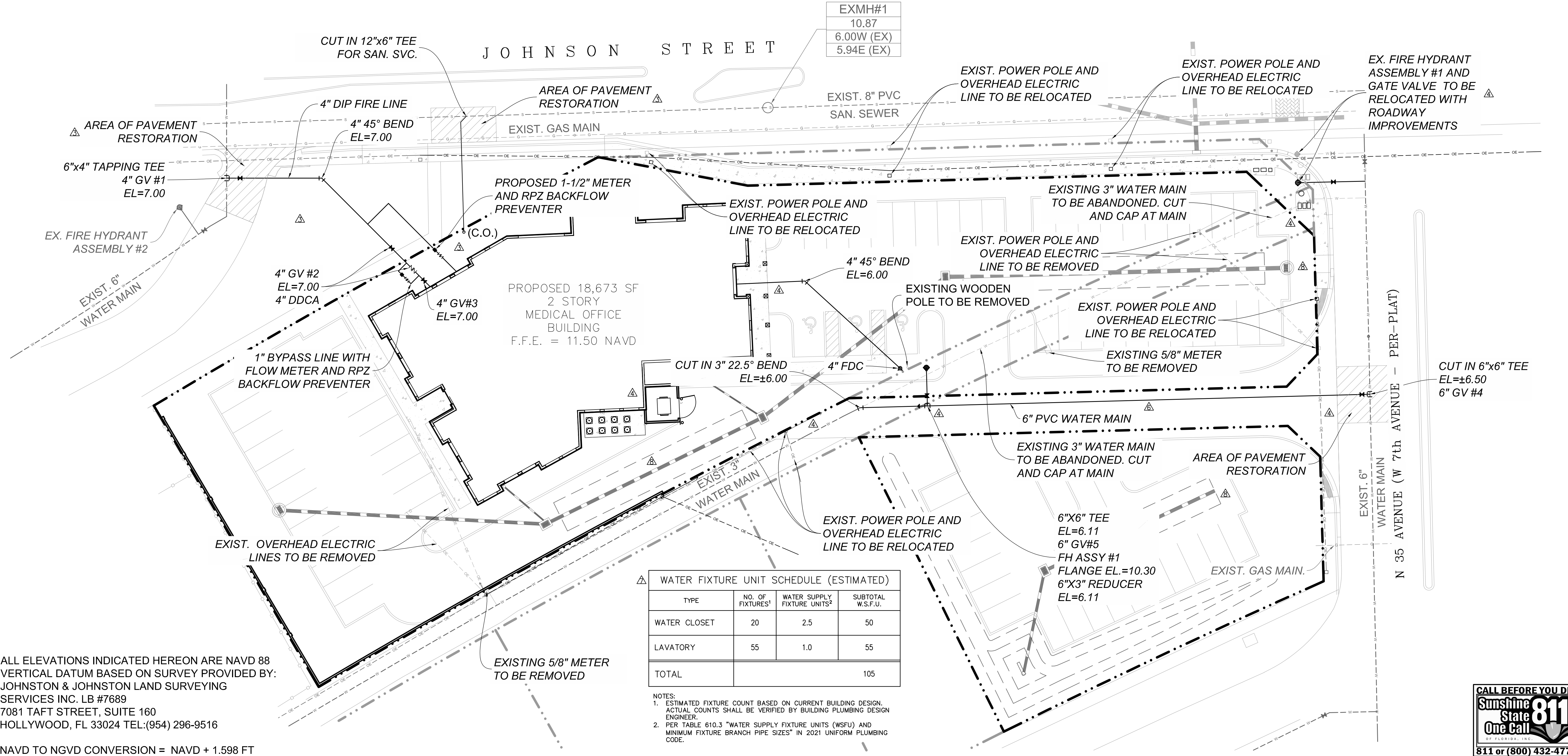
A MINIMUM 1.5' (18") SEPARATION IS REQUIRED BETWEEN ANY ELECTRICAL CONDUIT INSTALLED FOR THE FFL FEEDERS BETWEEN THE FFL TRANSFORMERS AND ANY CITY OF HOLLYWOOD WATER AND WASTEWATER MAINS. THOSE ELECTRICAL CONDUITS SHALL BE SHOWN ON THE CITY OF HOLLYWOOD WATER & WASTEWATER AS-BUILT DRAWINGS WHERE THEY CROSS THE CITY OF HOLLYWOOD MAINS WITH AS-BUILT DATA THAT SHALL INCLUDE SEPARATION AND COORDINATES LOCATING THE CROSSING.

SANITARY SEWER DEMAND CALCULATIONS:

OFFICE BUILDING = 15 GPD / 100 SF OF FLOOR SPACE
 TOTAL AVERAGE DAILY FLOW = (18,673 SF / 100 SF OF FLOOR SPACE) * 15 GPD = 2,801 GPD
 PEAK HOUR FLOW = 2,801 GPD * 4.0 PEAKING FACTOR = 11,204 GPD / 24 HR = 467 GPH



UTILITY PLAN FOR
3500 BUILDING
 HOLLYWOOD, FLORIDA



EXMH#1
10.87
6.00W (EX)
5.94E (EX)

WATER FIXTURE UNIT SCHEDULE (ESTIMATED)			
TYPE	NO. OF FIXTURES ¹	WATER SUPPLY FIXTURE UNITS ²	SUBTOTAL W.S.F.U.
WATER CLOSET	20	2.5	50
LAVATORY	55	1.0	55
TOTAL			105

- NOTES:**
- ESTIMATED FIXTURE COUNT BASED ON CURRENT BUILDING DESIGN. ACTUAL COUNTS SHALL BE VERIFIED BY BUILDING PLUMBING DESIGN ENGINEER.
 - PER TABLE 610.3 "WATER SUPPLY FIXTURE UNITS (WSFU) AND MINIMUM FIXTURE BRANCH PIPE SIZES" IN 2021 UNIFORM PLUMBING CODE.

ALL ELEVATIONS INDICATED HEREON ARE NAVD 88 VERTICAL DATUM BASED ON SURVEY PROVIDED BY: JOHNSTON & JOHNSTON LAND SURVEYING SERVICES INC. LB #7689
 7081 TAFT STREET, SUITE 160
 HOLLYWOOD, FL 33024 TEL:(954) 296-9516
 NAVD TO NGVD CONVERSION = NAVD + 1.598 FT

REVISIONS	DATE	BY	CHK
8. REV. PER CITY OF HOLLYWOOD COMMENTS	09/02/20	SMG	RWL
7. REV. PER CITY OF HOLLYWOOD COMMENTS	05/21/20	SMG	RWL
6. REV. PER CITY OF HOLLYWOOD COMMENTS	03/24/20	SMG	RWL
5. REV. ALL SHEETS PER UPDATED T.I.A.	11/05/19	SMG	RWL
4. REV. ALL SHEETS PER CITY OF HOLLYWOOD	08/29/19	SMG	RWL

EB 9889
LPI
Last Devenport, Inc.
 1860 Old Okeechobee Road, Suite 504
 West Palm Beach, FL 33409
 phone (561)615-6567 fax (561)683-0872

SCALE: 1"=20'
 DATE: 9/2/20
 DESIGNED BY: SG
 CHECKED BY: RL
 DRAWING FILE:
 17-024-UT.1

9/3/2020
 RONALD W. LAST, P.E.
 FLORIDA P.E. #38707
 17-024 UT.1
 SHEET 9 OF 14



GENERAL NOTES:

1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECS), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING UTILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS, AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES. NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK. EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
6. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY ECS AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECS IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
10. THE CONTRACTOR SHALL NOTIFY ECS IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

GENERAL NOTES (CONTINUED):

12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
13. CONTRACTOR SHALL Haul AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
14. CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSD UNLESS OTHERWISE NOTED ON THE DRAWINGS.
19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECS FIELD ENGINEER.
20. THE CONTRACTOR SHALL NOT ENCRoACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
22. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSD FIELD ENGINEER.
25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
26. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECS.

GENERAL NOTES (CONTINUED):

27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CURBS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
32. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTling OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
39. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.

GENERAL NOTES (CONTINUED):

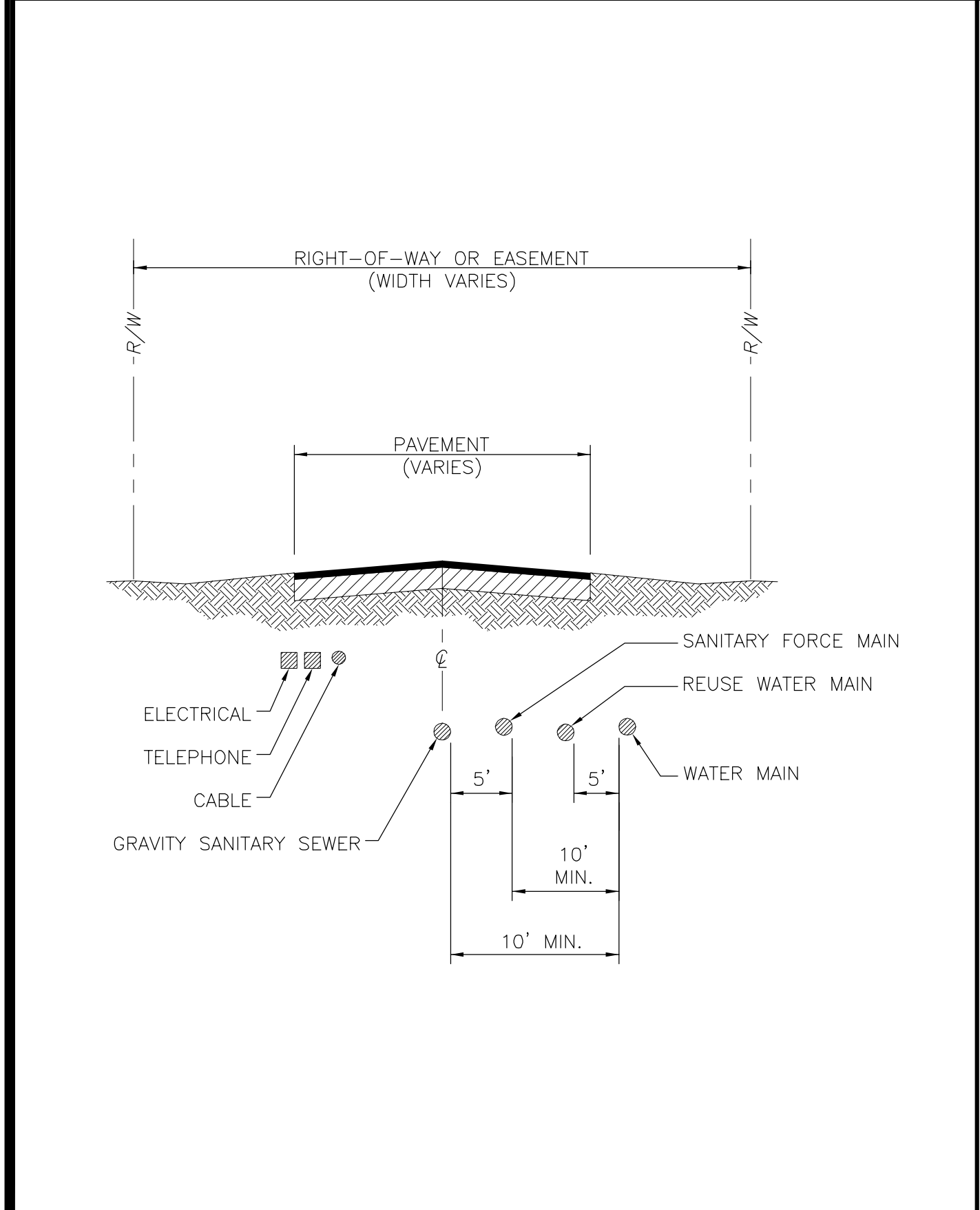
40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).
-
41. WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
 42. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
 43. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECS SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
 - a. PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
 - b. THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - c. THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
 - d. PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - e. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
 - f. ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM
 APPROVED: XXX
GENERAL NOTES
 DRAWING NO. G-00

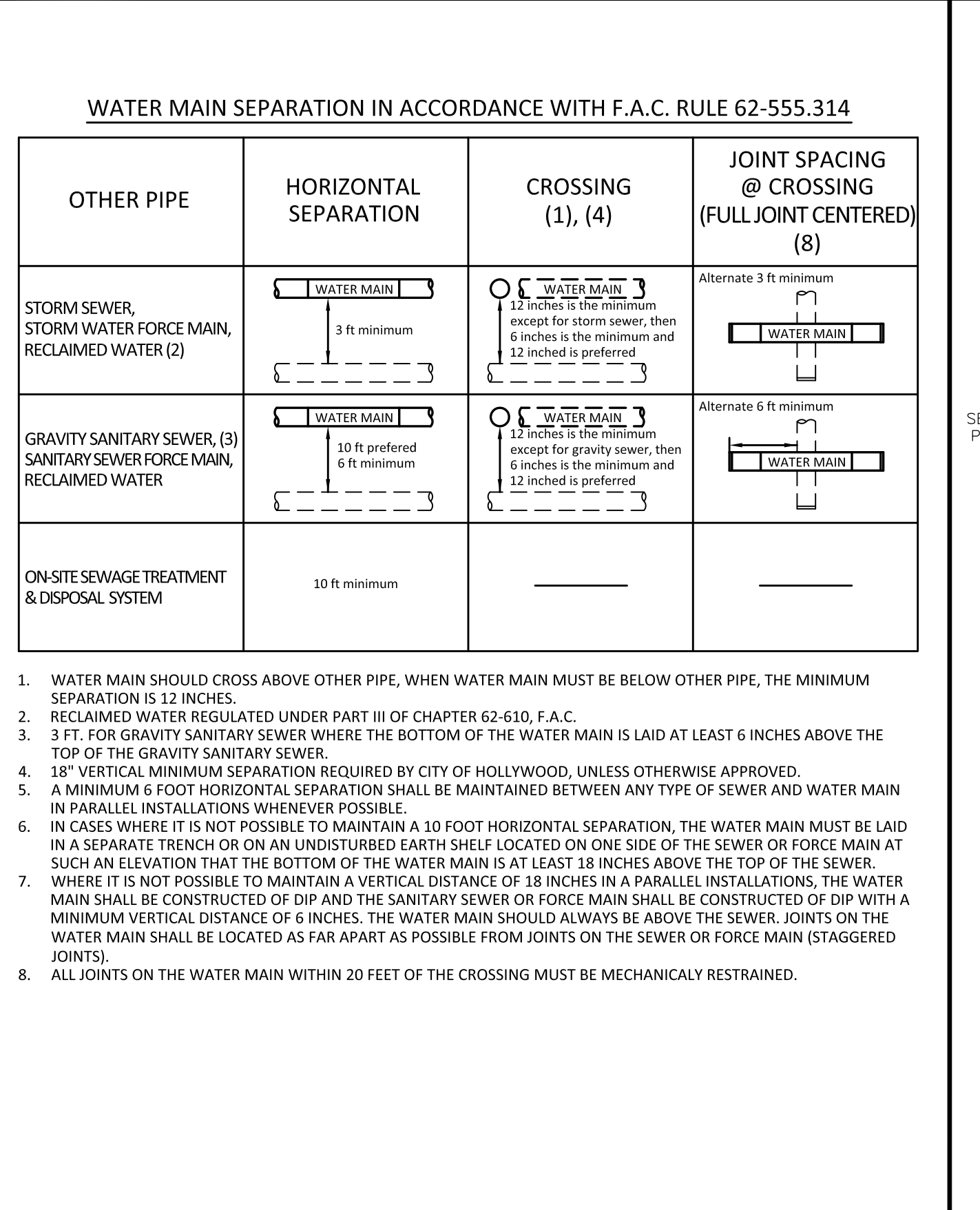
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 APPROVED: XXX
GENERAL NOTES (CONTINUED)
 DRAWING NO. G-00.1

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
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 APPROVED: XXX
GENERAL NOTES (CONTINUED)
 DRAWING NO. G-00.2

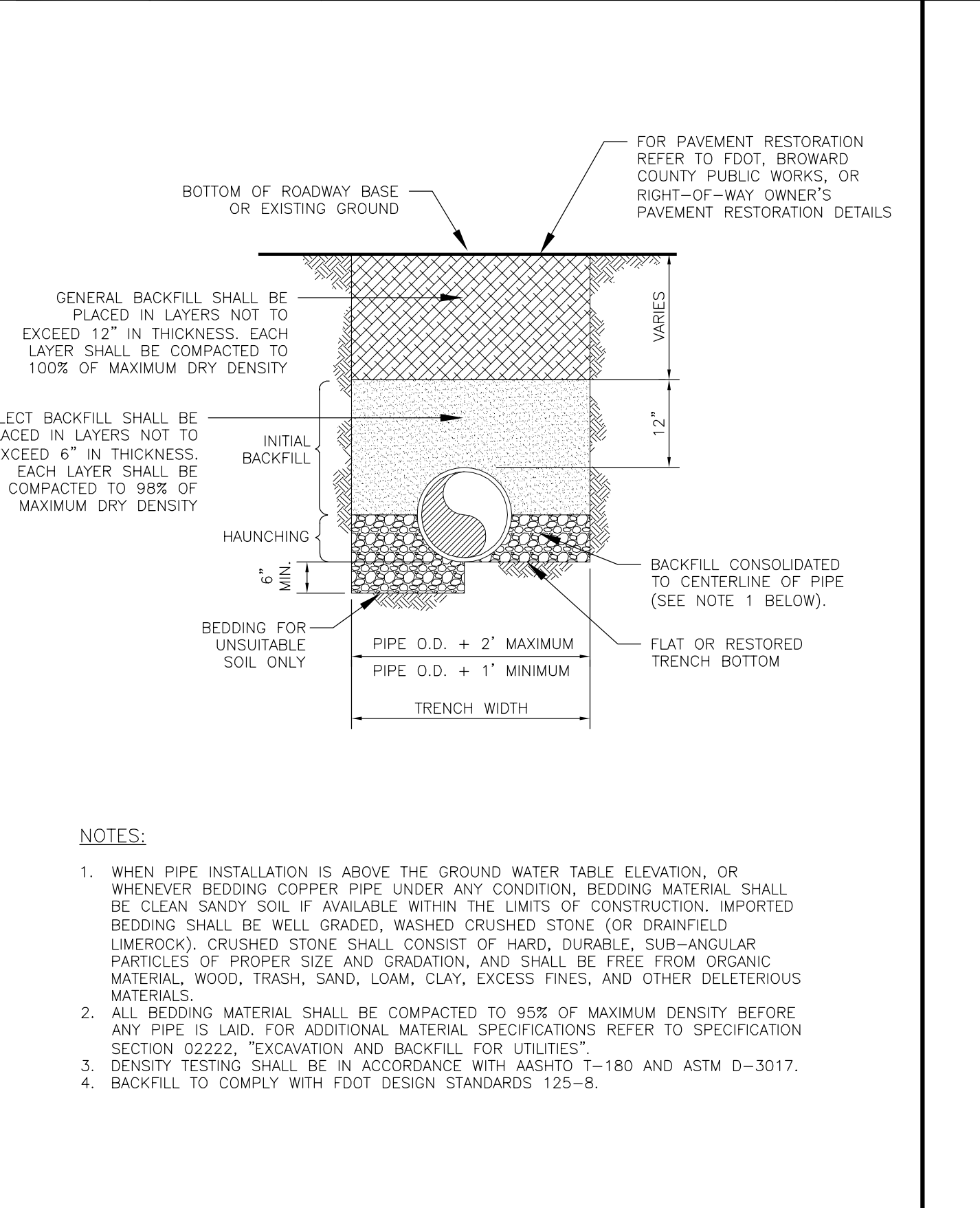
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 APPROVED: XXX
GENERAL NOTES (CONTINUED)
 DRAWING NO. G-00.3



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM
 APPROVED: XXX
TYPICAL UTILITY ACCOMMODATION WITHIN RIGHT-OF-WAY OR EASEMENT
 DRAWING NO. G-01



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
 DRAWN: EAM
 APPROVED: XXX
SEPARATION REQUIREMENTS OF F.D.E.P.
 DRAWING NO. G-01.1



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM
 APPROVED: XXX
PIPE LAYING CONDITION TYPICAL SECTION (D.I.P.)
 DRAWING NO. G-02

CITY OF HOLLYWOOD UTILITY DETAILS
 FOR
3500 BUILDING
 HOLLYWOOD, FLORIDA

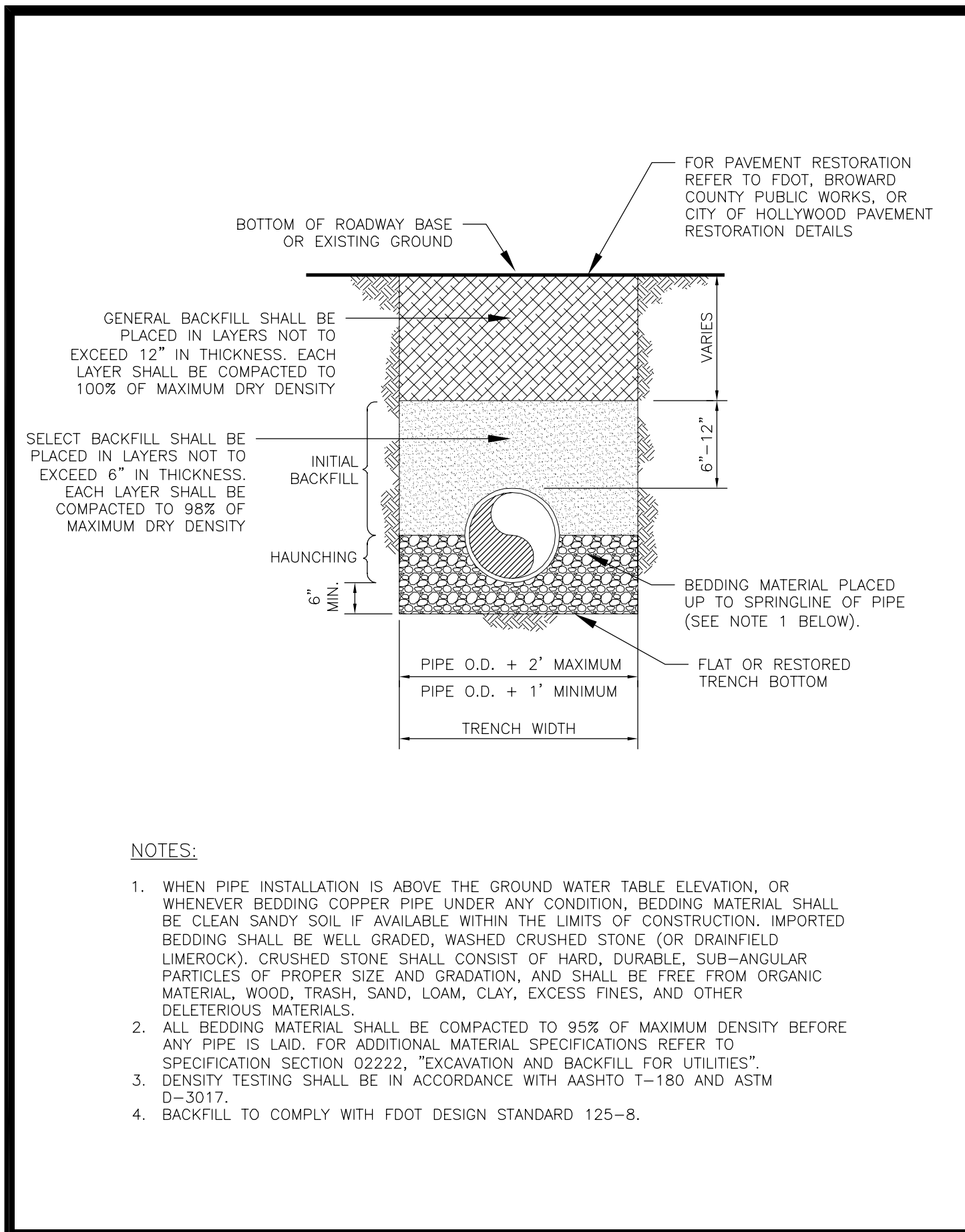
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3	06/12/19	SMG	RWL	REV. ALL SHEETS PER REVISED SITE PLAN
2	10/17/18	SMG	RWL	REV. ALL SHEETS PER REVISED SITE PLAN
1	10/05/17	SMG	RWL	REV. ALL SHEETS PER REVISED SITE PLAN

EB 9889
Last Devenport, Inc.
 1860 Old Okeechobee Road, Suite 504
 West Palm Beach, FL 33409
 phone (561)615-6567 fax (561)683-0872

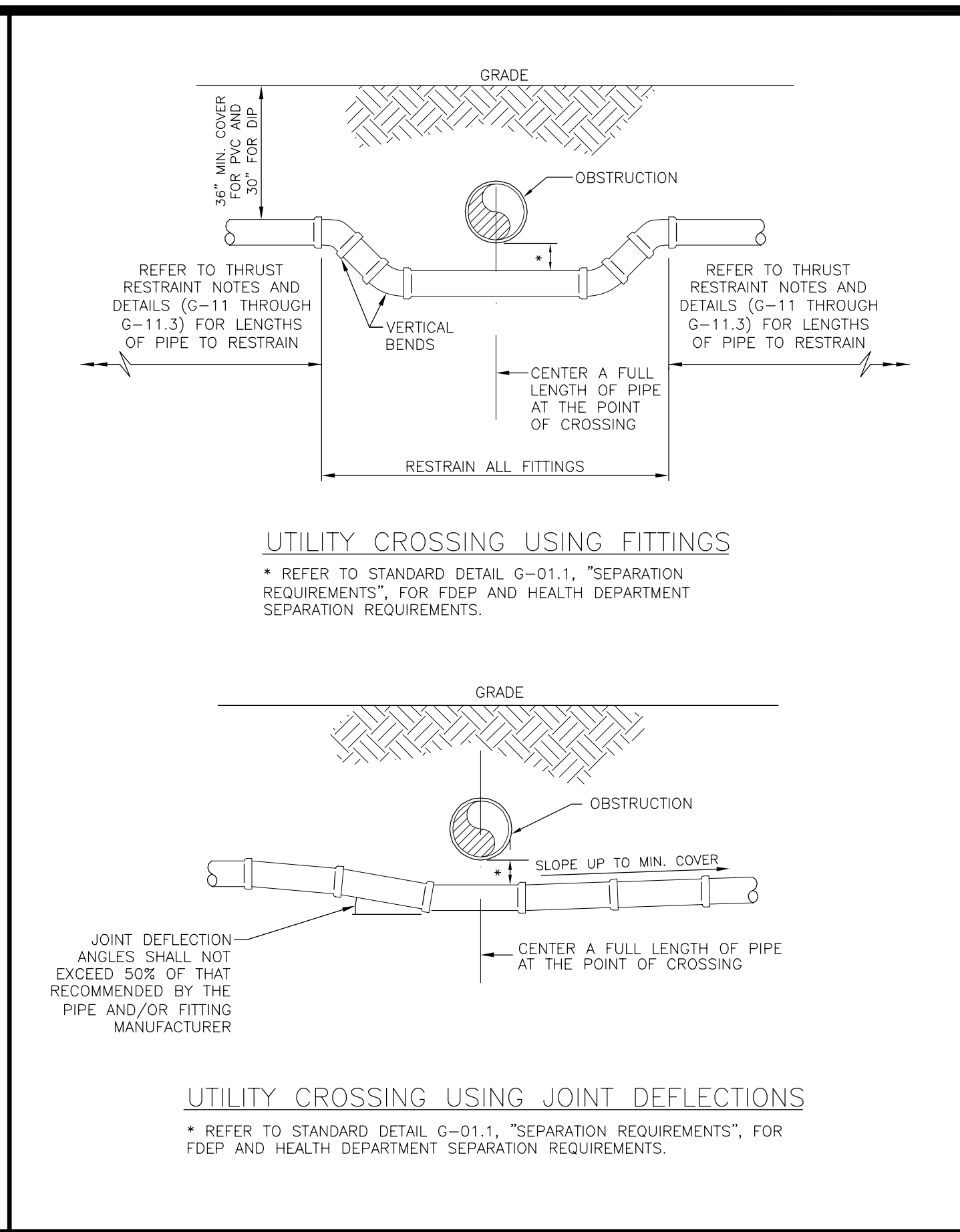
SCALE: N/A
 DATE: 9/2/20
 DESIGNED BY: SG
 CHECKED BY: RL
 DRAWING FILE:
 17-024-UT.2

CALL BEFORE YOU DIG
Sunshine 811
 State One Call
 OF FLORIDA, INC.
 811 or (800) 432-4770

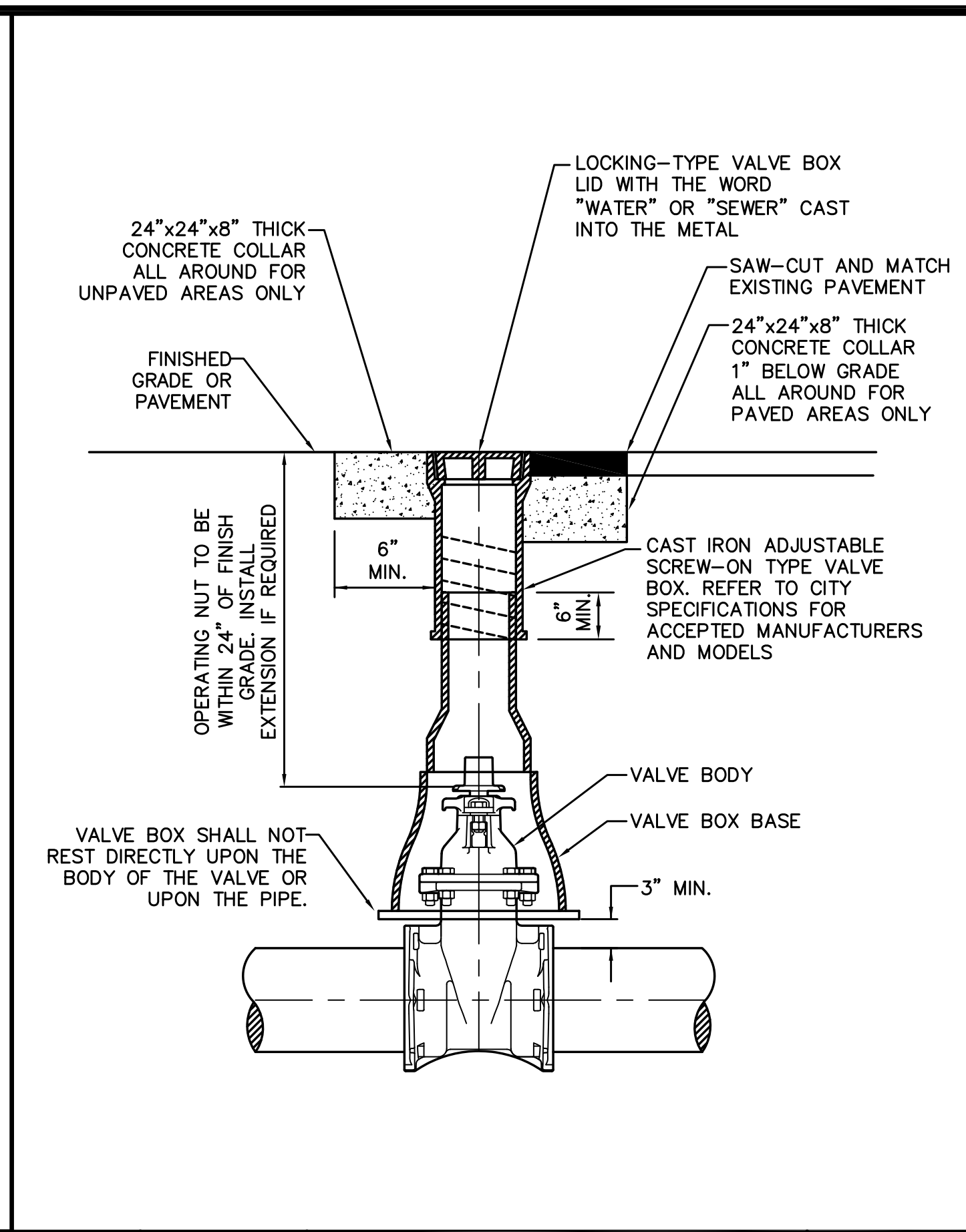
9/3/2020
 RONALD W. LAST, P.E.
 FLORIDA P.E. #38707
 17-024 UT.2
 SHEET 10 OF 14



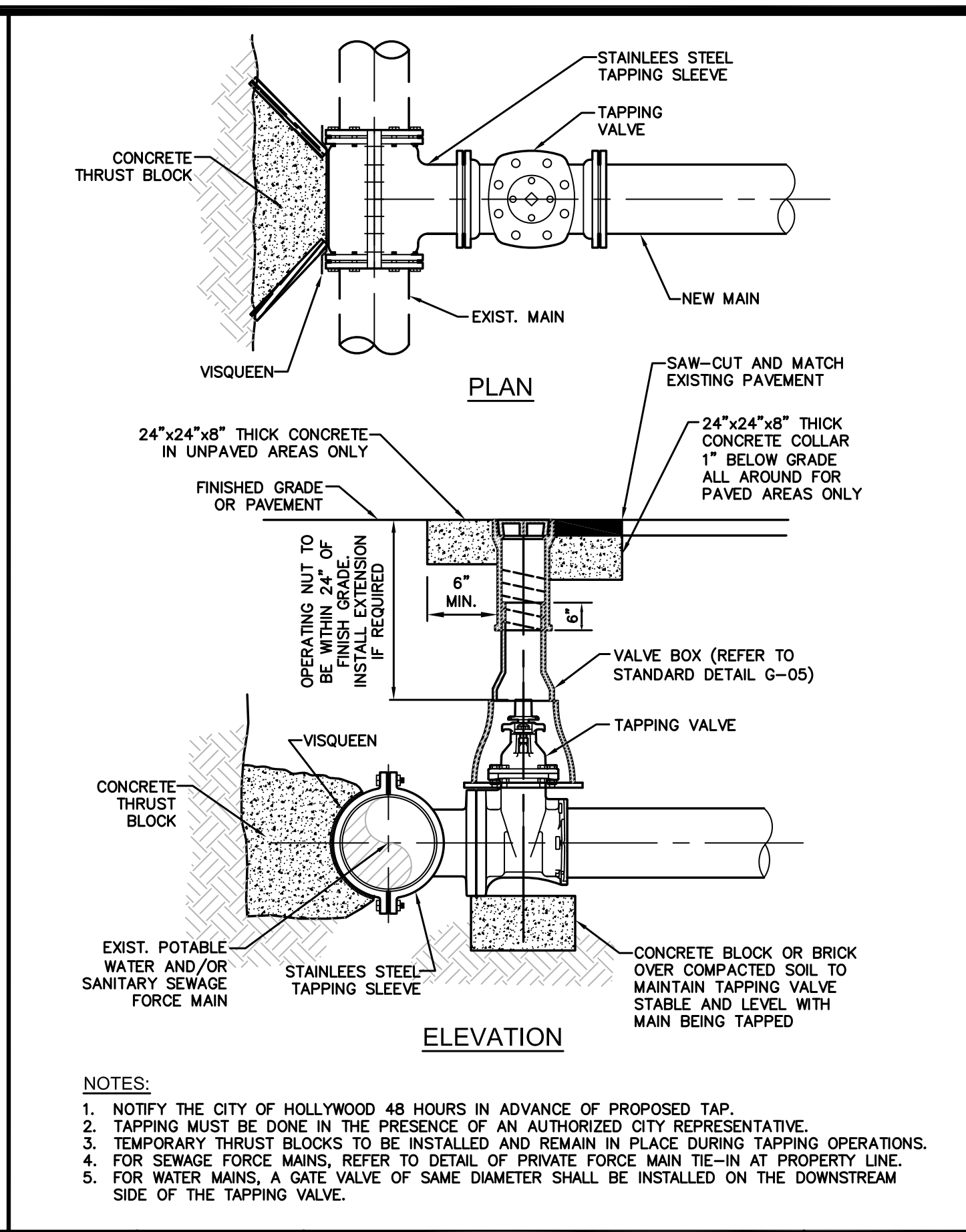
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DRAWN: EAM	PIPE LAYING CONDITION TYPICAL SECTION (P.V.C.)	DRAWING NO. G-03
APPROVED: XXX		



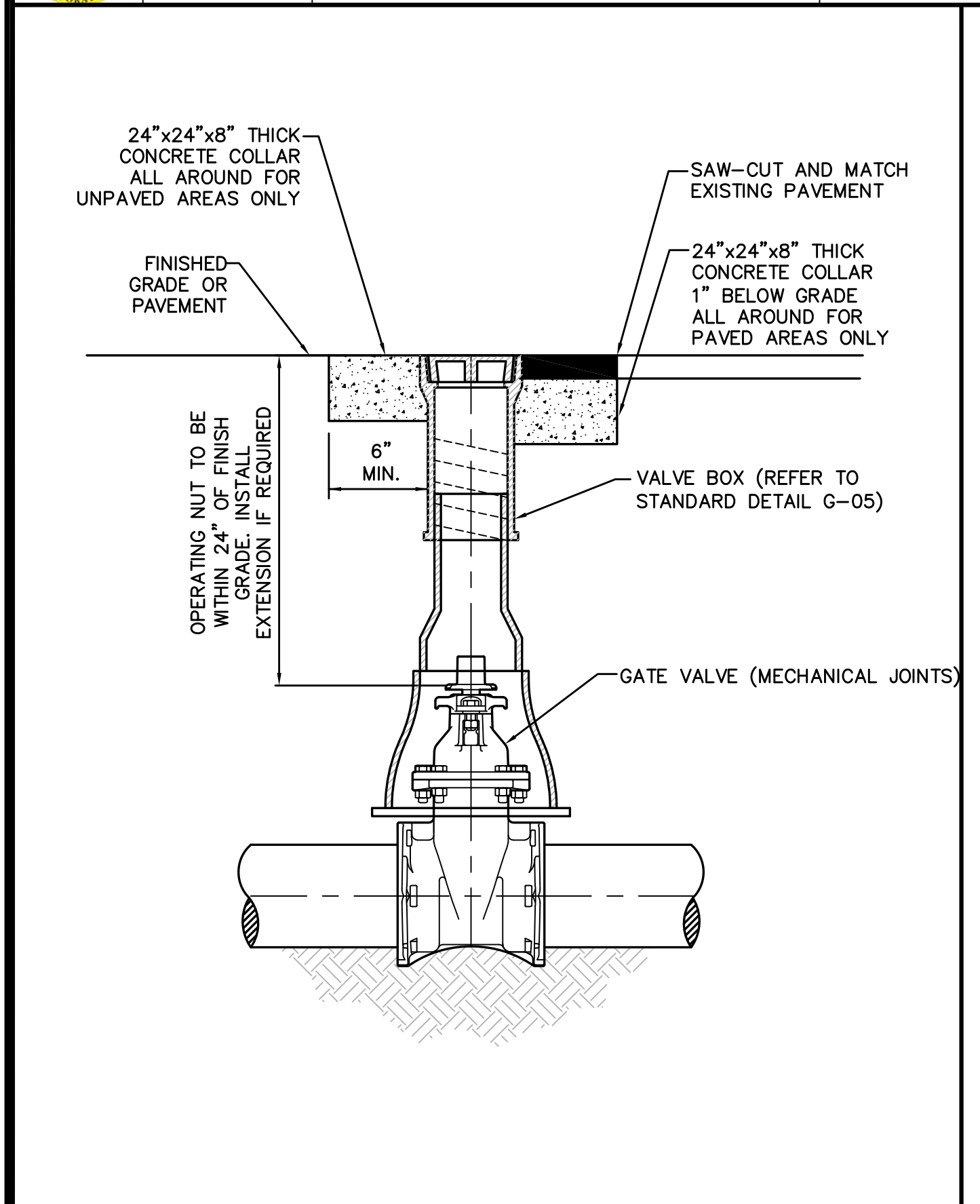
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DRAWN: EAM	UTILITY CROSSING DETAIL	DRAWING NO. G-04
APPROVED: XXX		



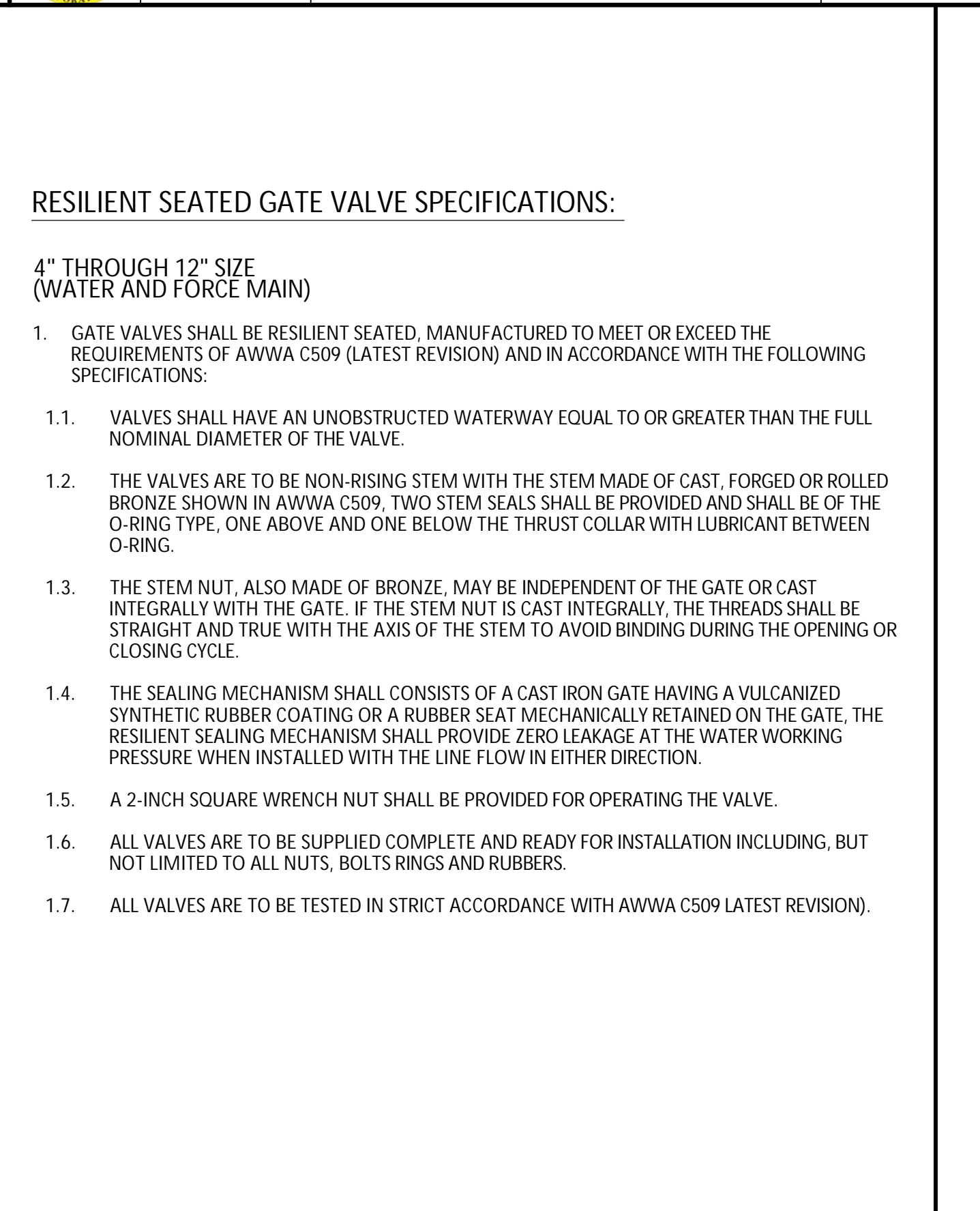
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APPROVED: XXX		



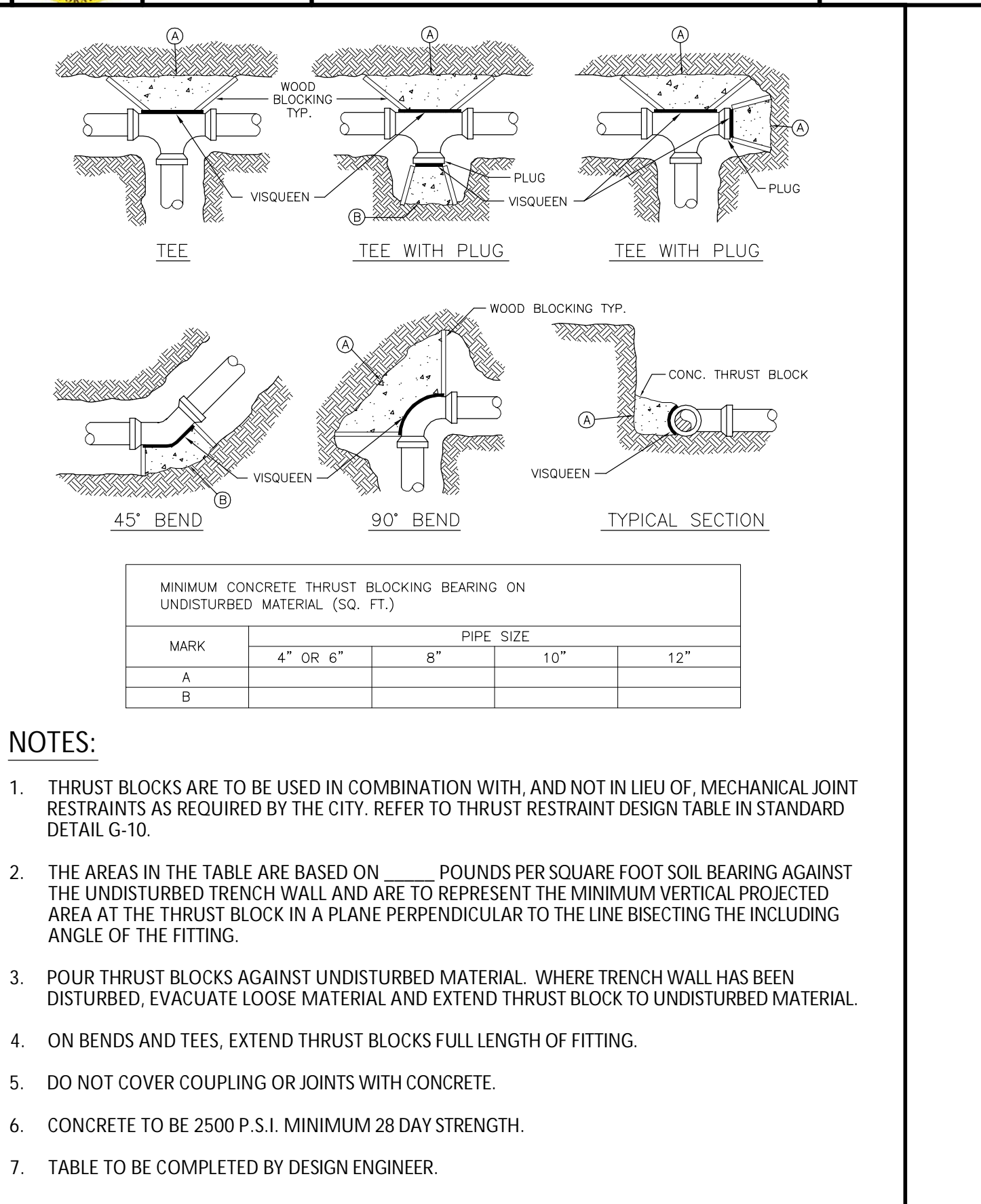
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APPROVED: XXX		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL GATE VALVE AND VALVE BOX SETTING	DRAWING NO. G-07
APPROVED: XXX		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	RESILIENT SEATED GATE VALVE SPECIFICATIONS	DRAWING NO. G-07.1
APPROVED: XXX		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	THRUST BLOCK DESIGN	DRAWING NO. G-10
APPROVED: XXX		

CITY OF HOLLYWOOD UTILITY DETAILS
FOR
3500 BUILDING
HOLLYWOOD, FLORIDA

REVISIONS	DATE	BY	CHK
3. REV. ALL SHEETS PER REVISED SITE PLAN	06/12/19	SMG	RWL
2. REV. ALL SHEETS PER REVISED SITE PLAN	10/17/18	SMG	RWL
1. REV. ALL SHEETS PER REVISED SITE PLAN	10/05/17	SMG	RWL

EB 9889
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)683-0872

SCALE: N/A
DATE: 9/2/20
DESIGNED BY: SG
CHECKED BY: RL
DRAWING FILE:
17-024-UT.3

9/3/2020
RONALD W. LAST, P.E.
FLORIDA P.E. #38707
17-024 UT.3
SHEET 11 OF 14

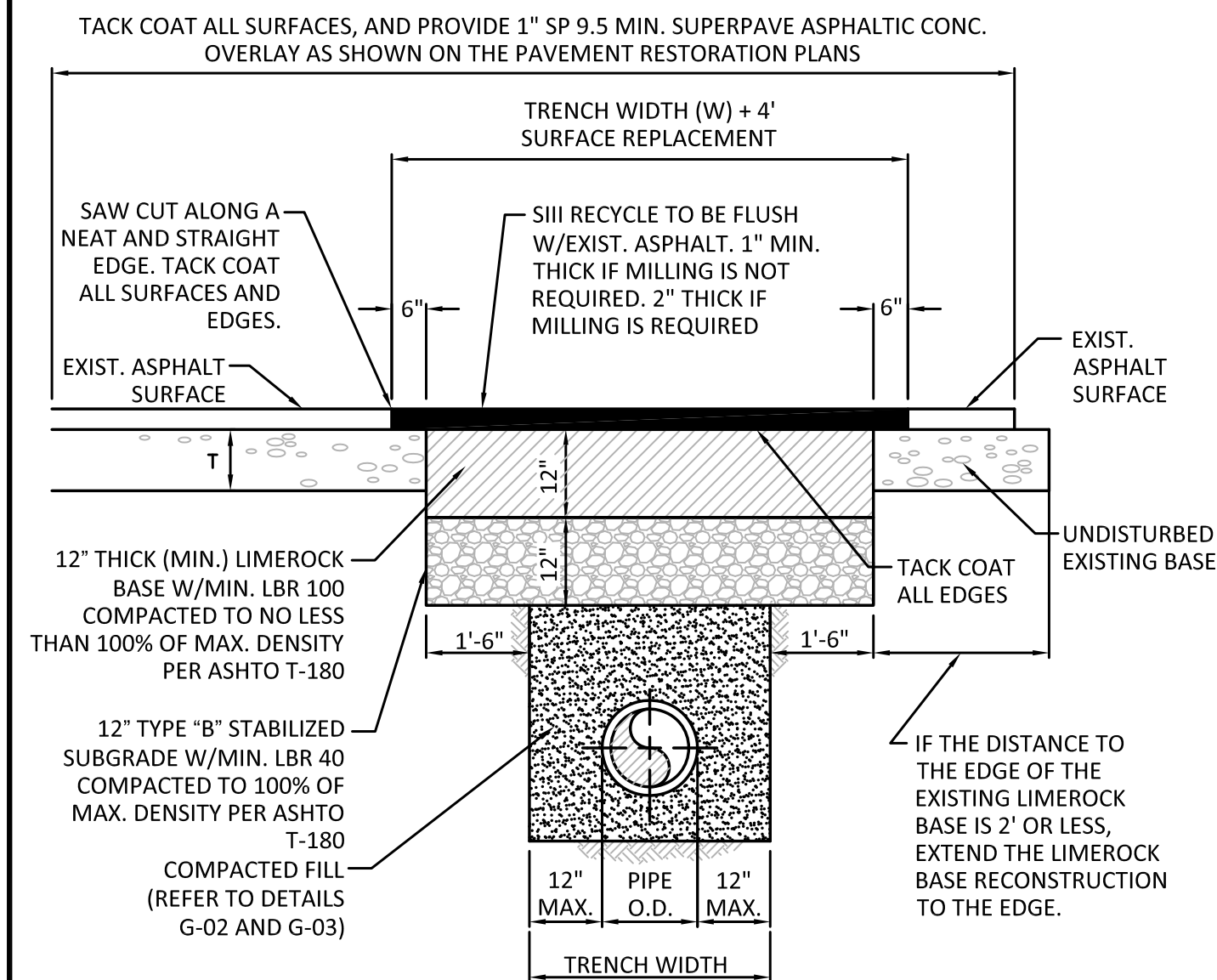


THRUST RESTRAINT NOTES:

- ALL JOINTS BETWEEN BENDS AT HORIZONTAL & VERTICAL OFFSETS SHALL BE RESTRAINED.
- MECHANICAL THRUST RESTRAINTS FOR D.I.P. FITTINGS ON D.I.P. OR P.V.C. PIPE SHALL BE MEGALUG AS MANUFACTURED BY EBAA IRON, INC., OR APPROVED EQUAL.
- DUCTILE IRON FITTINGS UP TO 20-INCHES IN DIAMETER SHALL BE RESTRAINED BY MECHANICAL MEANS, I.E., MEGALUGS OR APPROVED EQUAL.
- DUCTILE IRON FITTINGS 24-INCH IN DIAMETER AND ABOVE SHALL BE RESTRAINED BY MECHANICAL MEANS, I.E., MEGALUGS OR APPROVED EQUAL, WITH THE ADDITION OF THRUST BLOCKS AND CONCRETE ANCHORS AT THE DISCRETION OF THE ENGINEER OF RECORD.
- ANY THRUST BLOCKS AND ANCHORS ARE TO BE DESIGNED BY THE ENGINEER OF RECORD. SIGNED AND SEALED CALCULATIONS SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO INSTALLATION.
- THRUST BLOCKS CONSISTING OF POURED-IN-PLACE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AFTER 28 DAYS.

FLEXIBLE PAVEMENT RESTORATION NOTES:

- THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FDOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
- LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK.
- LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
- STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
- BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
- ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
- RESURFACING MATERIAL SHALL BE FDOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
- MILL AND BUTT JOINT TO EXISTING PAVEMENT.
- IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALT CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
- REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
- WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK, REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.



WATER SYSTEM NOTES:

- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- POLYETHYLENE ENCASUREMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM JOINT RESTRAINT DESIGN FOR PVC AND DIP THRUST RESTRAINT NOTES DRAWING NO. G-11
 APPROVED: XXX

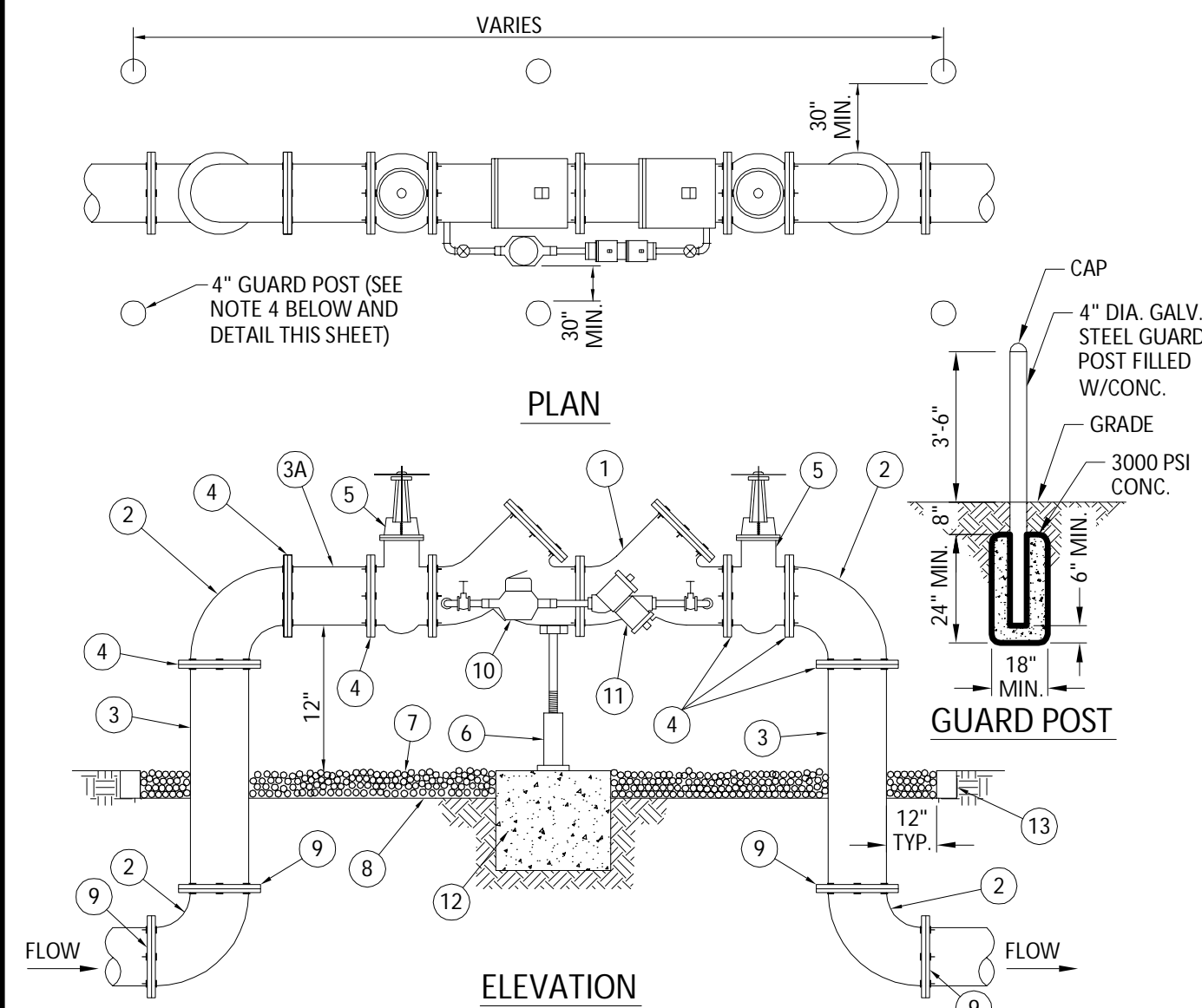
ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
 DRAWN: EAM FLEXIBLE PAVEMENT RESTORATION NOTES DRAWING NO. G-12
 APPROVED: XXX

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
 DRAWN: EAM FLEXIBLE PAVEMENT RESTORATION FOR TRENCHES CUT PERPENDICULAR AND PARALLEL TO THE ROADWAY DRAWING NO. G-12.1
 APPROVED: XXX

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM WATER SYSTEM NOTES DRAWING NO. W-01
 APPROVED: XXX

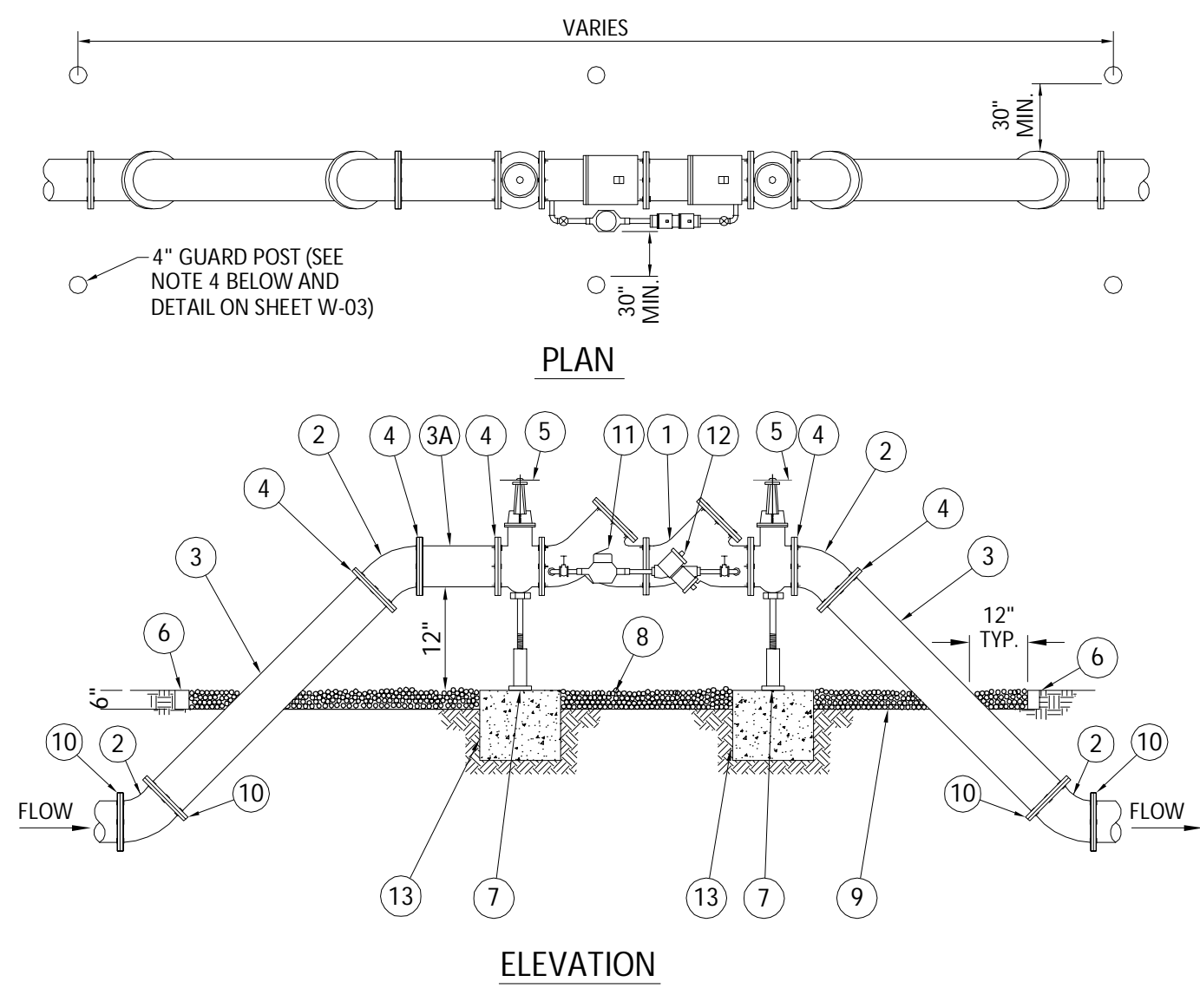
WATER SYSTEM NOTES (CONTINUED):

- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
- ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PIPE PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
- FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
- MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURER'S RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.



MATERIALS					
ITEM	QTY.	DESCRIPTION	ITEM	QTY.	DESCRIPTION
1	1	4" 6" 8" VALVE DOUBLE CHECK	7	N/A	PEA GRAVEL (4" DEEP)
2	4	4" 6" 8" BEND-90°	8	N/A	PLASTIC LINER/WEEP STOP (5 MILS)
3	2	4" 6" 8" D.I.P. SPOOL PIECE	9	4	RESTRAINED JOINTS
3A	1	4" 6" 8" D.I.P. SPOOL PIECE (24" LONG)	10	1	LOW FLOW METER
4	7	4" 6" 8" FLANGE, D.I.P.	11	1	VALVE, BYPASS DOUBLE CHECK
5	2	4" 6" 8" GATE VALVE (SEE NOTE 6)	12	1	16"X16"X16" CONC. SUPPORT
6	1	SCREW JACK/ANCHORED	13	1	P.T. 2X4 LUMBER ALL AROUND

- NOTES:**
- FIELD ADJUST AND CUT ITEM 3 TO THE PROPER LENGTH.
 - ALL PIPING SHALL BE D.I.P. CL 50/52 AS APPLICABLE TO MINIMUM STANDARDS.
 - ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
 - PROTECTIVE 4" GALV. GUARD POSTS SHALL BE SPACED EVENLY APART AS SHOWN ABOVE OR IN ACCORDANCE WITH INSPECTOR'S DIRECTIONS.
 - MAY USE 45° BENDS (SEE DETAIL W-07.2) WHEN WORKING AREA IS NOT LIMITED, AS DIRECTED BY CITY.
 - GATE VALVES SHALL BE CHAINED AND LOCKED TOGETHER TO PREVENT TAMPING.



MATERIALS					
ITEM	QTY.	DESCRIPTION	ITEM	QTY.	DESCRIPTION
1	1	4" 6" 8" VALVE DOUBLE CHECK	7	2	SCREW JACK/ANCHORED
2	4	4" 6" 8" BEND-45°	8	N/A	PEA GRAVEL (4" DEEP)
3	2	4" 6" 8" D.I.P. SPOOL PIECE	9	N/A	PLASTIC LINER/WEEP STOP (5 MILS)
3A	1	4" 6" 8" D.I.P. SPOOL PIECE (24" LONG)	10	4	RESTRAINED JOINTS
4	7	4" 6" 8" FLANGE, D.I.P.	11	1	LOW FLOW METER
5	2	4" 6" 8" GATE VALVE (SEE NOTE 6)	12	1	VALVE, BYPASS DOUBLE CHECK
6	2	P.T. 2"X4" LUMBER (ALL AROUND)	13	1	16"X16"X16" CONC. SUPPORT

- NOTES:**
- FIELD ADJUST AND CUT ITEM 3 TO THE PROPER LENGTH.
 - ALL PIPING SHALL BE D.I.P. CL 50/52 AS APPLICABLE TO MINIMUM STANDARDS.
 - ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
 - PROTECTIVE 4" GALV. GUARD POSTS SHALL BE SPACED EVENLY APART AS SHOWN ABOVE OR IN ACCORDANCE WITH INSPECTOR'S DIRECTIONS.
 - MAY USE 90° BENDS (SEE DETAIL W-03) WHEN WORKING AREA IS LIMITED.
 - GATE VALVES SHALL BE CHAINED AND LOCKED TOGETHER TO PREVENT TAMPING.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM WATER SYSTEM NOTES DRAWING NO. W-02
 APPROVED: XXX

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR ASSEMBLY FOR FIRE SPRINKLER SERVICE (90° BENDS) DRAWING NO. W-03
 APPROVED: XXX

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR ASSEMBLY FOR FIRE SPRINKLER SERVICE (45° BENDS) DRAWING NO. W-05
 APPROVED: XXX

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM WATER SYSTEM NOTES DRAWING NO. W-01
 APPROVED: XXX

CITY OF HOLLYWOOD UTILITY DETAILS
 FOR
 3500 BUILDING
 HOLLYWOOD, FLORIDA

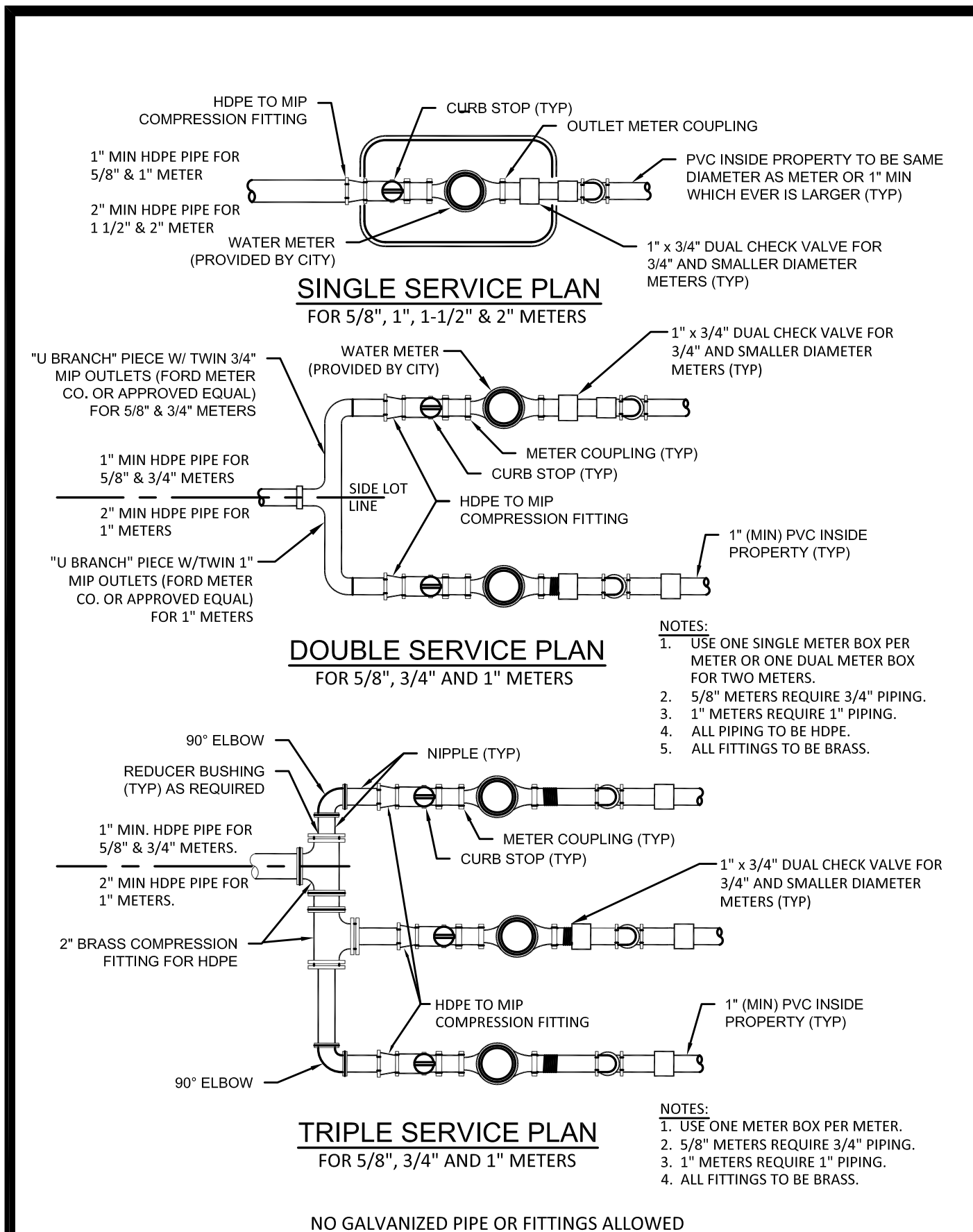
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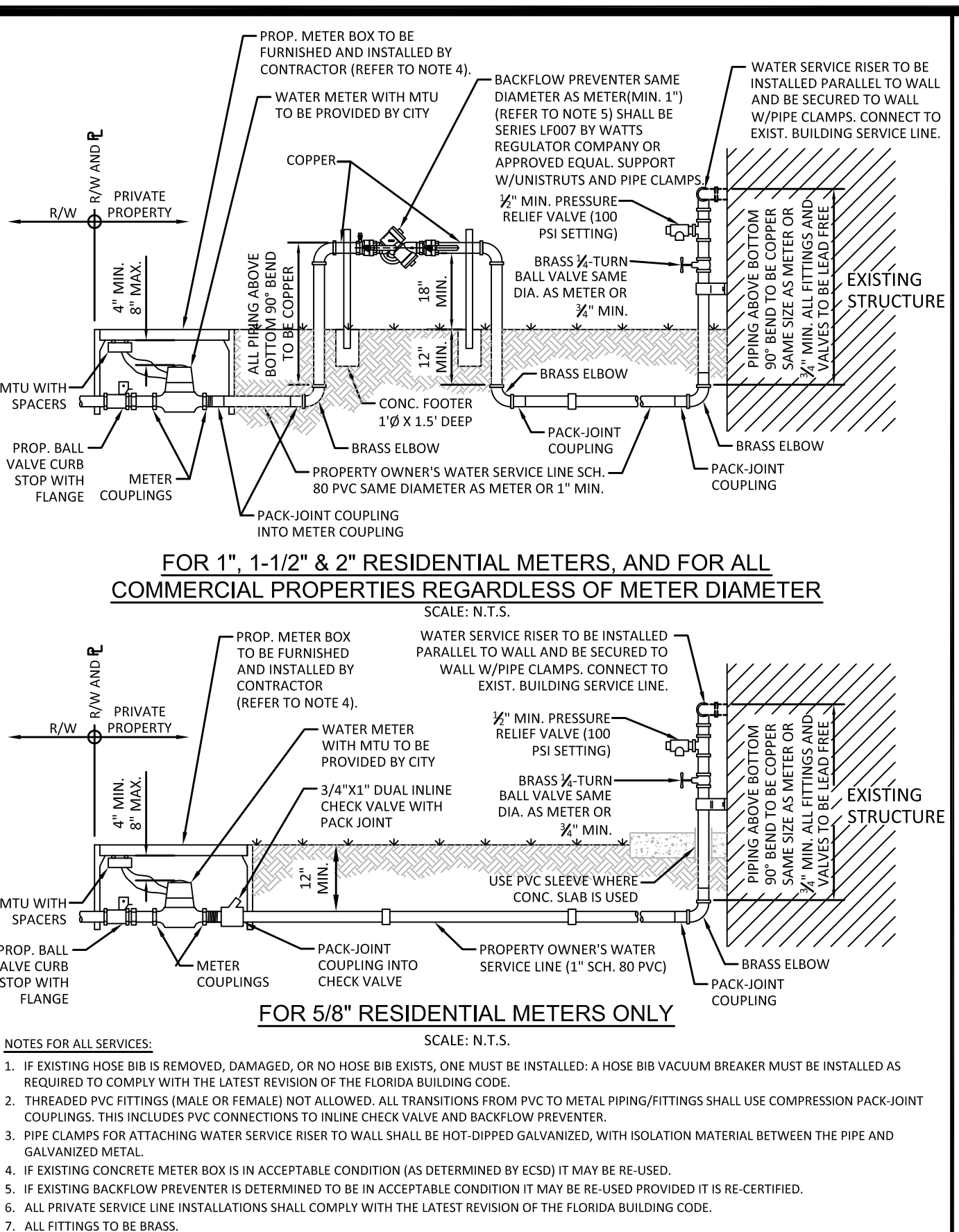
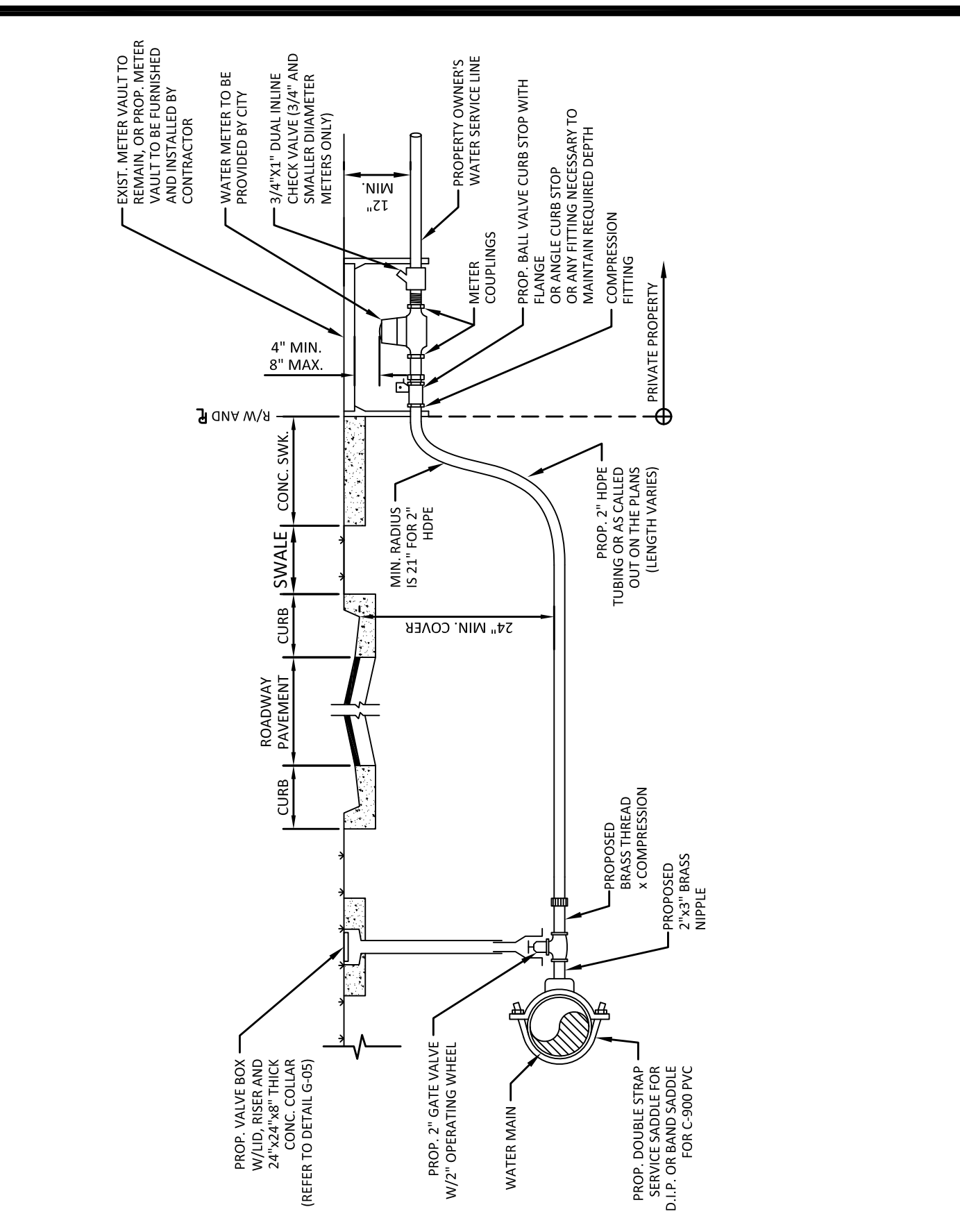
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 SHEET 12 OF 14



WATER METER SERVICE NOTES:

- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
- P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm), FOR WATER SERVICE".
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL 3/4" OR SINGLE 1" DIAMETER METERS.
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1-1/2" OR SINGLE 2" DIAMETER METERS.
- FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
- APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
- FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY THE CITY OF HOLLYWOOD (NEW ACCOUNTS).
- FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE RELOCATED AND INSTALLED BY THE CONTRACTOR.
- FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
 - CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
 - FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
- THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL.
- AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.
- FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION	DRAWING NO. W-06
APPROVED: XXX		

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS	DRAWING NO. W-07
APPROVED: XXX		

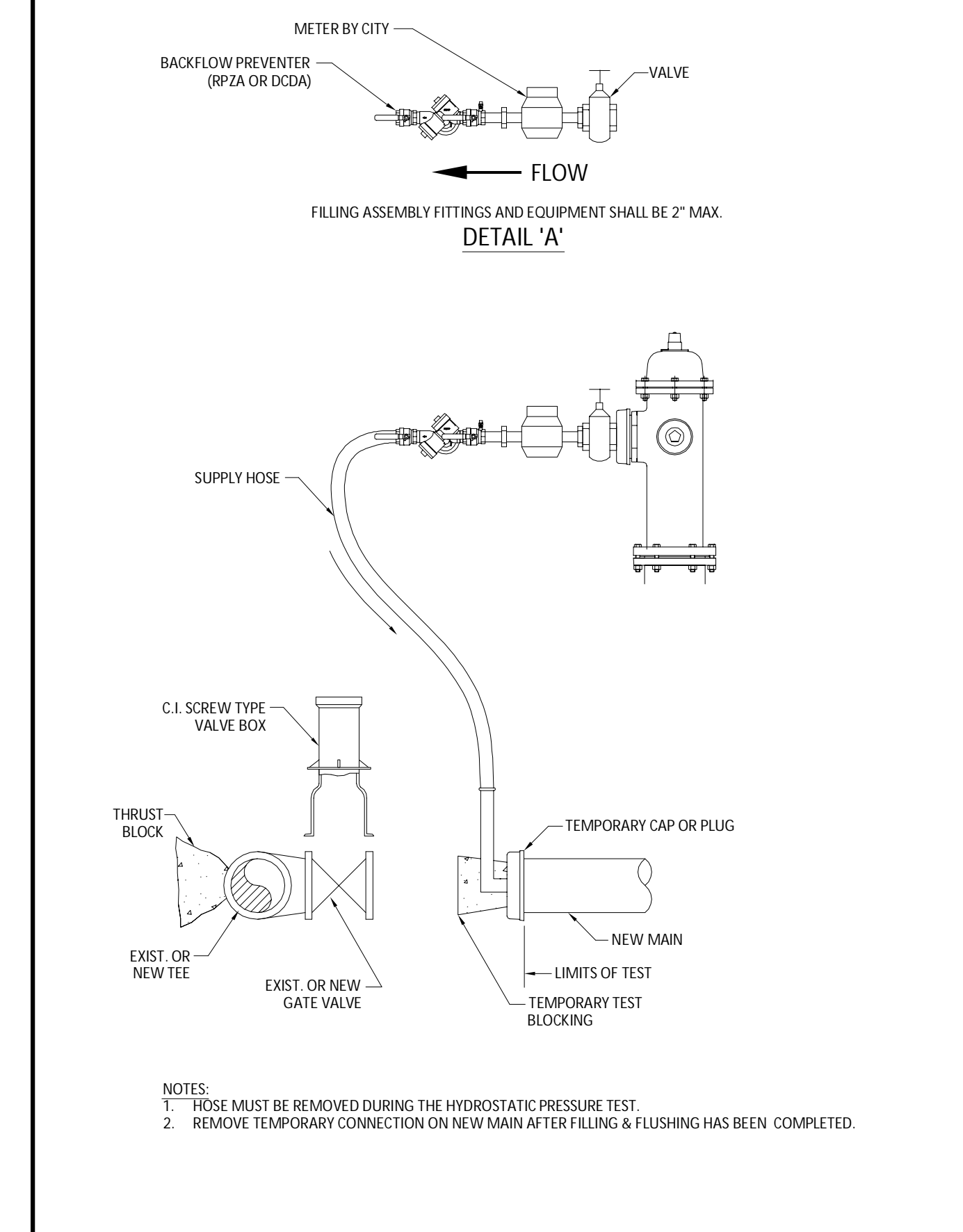
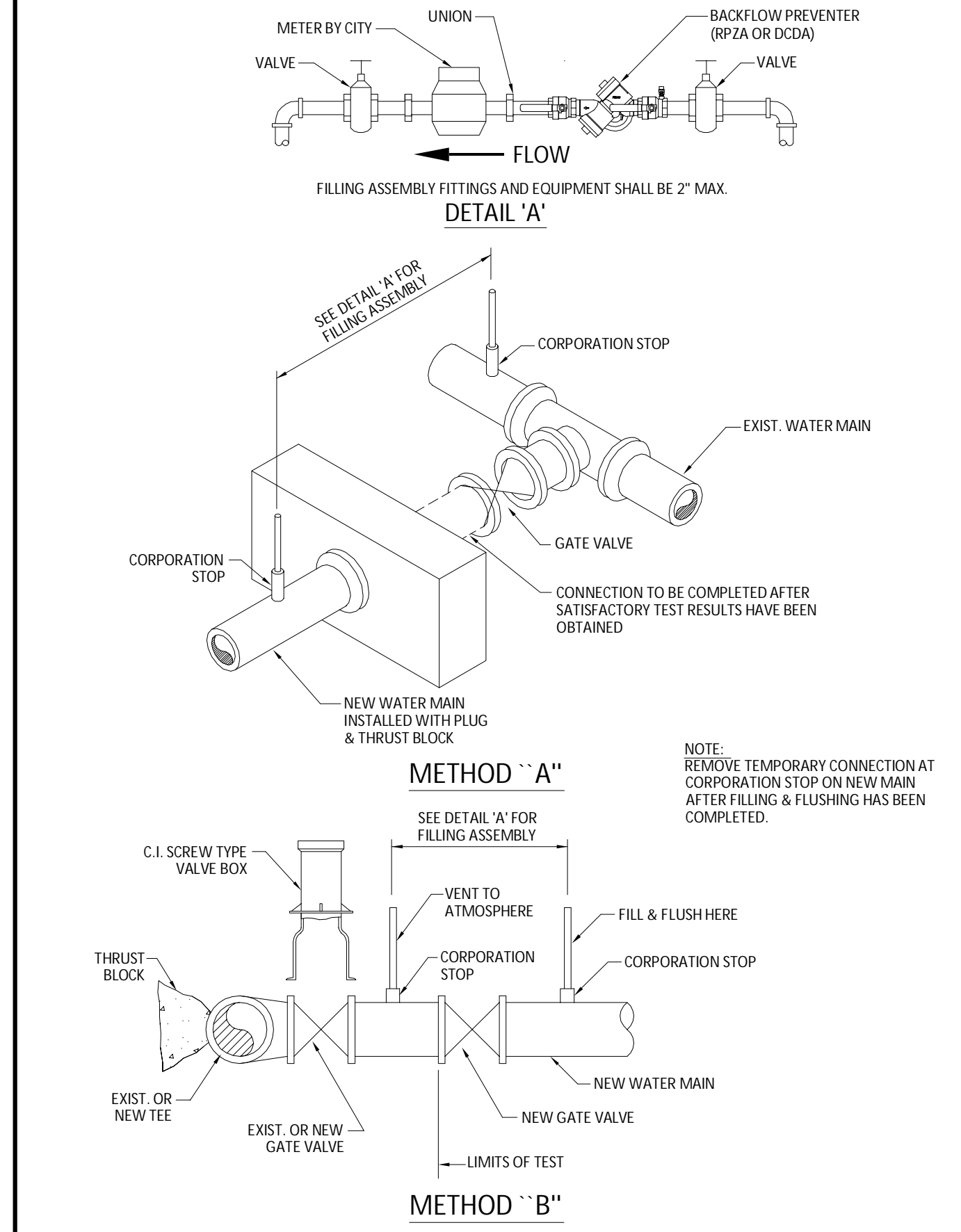
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	TYPICAL 2-INCH HDPE WATER SERVICE FOR SINGLE/DUAL 5/8" TO 1" METERS, AND ANY SINGLE 1-1/2" TO 2" METERS	DRAWING NO. W-09
APPROVED: XXX		

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 02/14/2018
DRAWN: EAM	TYPICAL WATER SERVICE FROM METER TO STRUCTURE FOR 5/8" THROUGH 2" METERS	DRAWING NO. W-10
APPROVED: XXX		

WATER MAIN TESTING AND DISINFECTION NOTES:

- NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.
- THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH RULE 62-555.330 (FAC) C600 AWWA LATEST REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:
$$L = \frac{S \times D \times P}{148,000}$$

L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
S = THE LENGTH OF PIPE BEING TESTED.
D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.
P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.
- THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.
- PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION".
- BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.
- THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WATER MAIN TESTING AND DISINFECTION NOTES	DRAWING NO. W-14
APPROVED: XXX		

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	FILLING AND FLUSHING DETAILS	DRAWING NO. W-15
APPROVED: XXX		

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	CROSS CONNECTION FILLING AND FLUSHING DETAILS	DRAWING NO. W-15.1
APPROVED: XXX		

CITY OF HOLLYWOOD UTILITY DETAILS
FOR
3500 BUILDING
HOLLYWOOD, FLORIDA

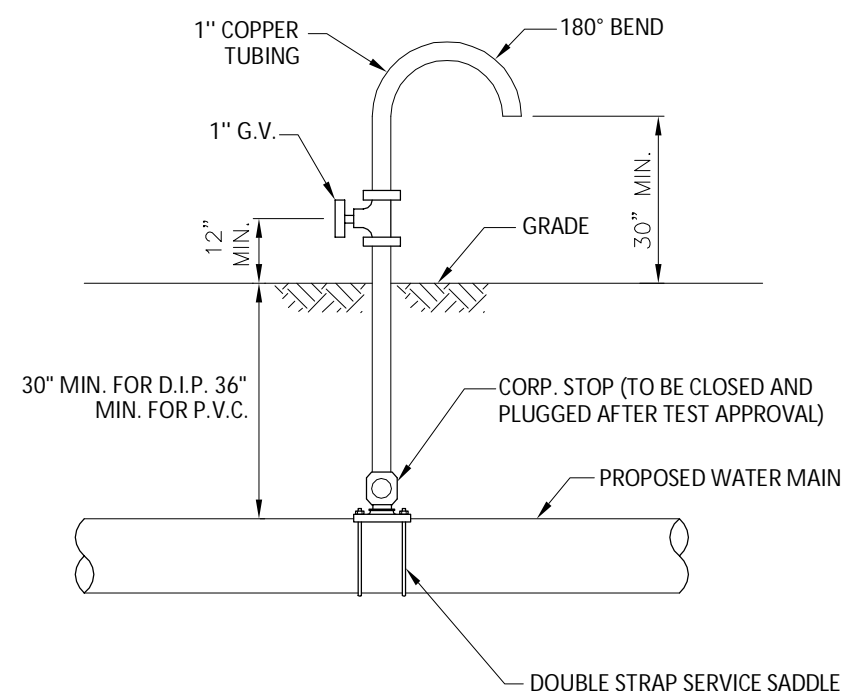
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FLORIDA P.E. #38707
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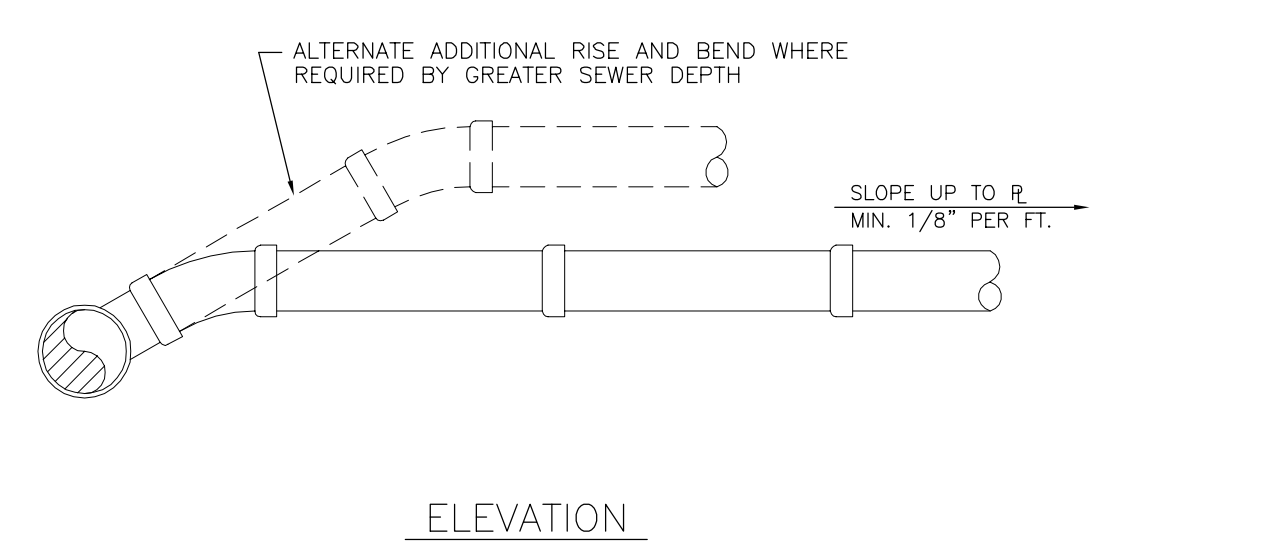
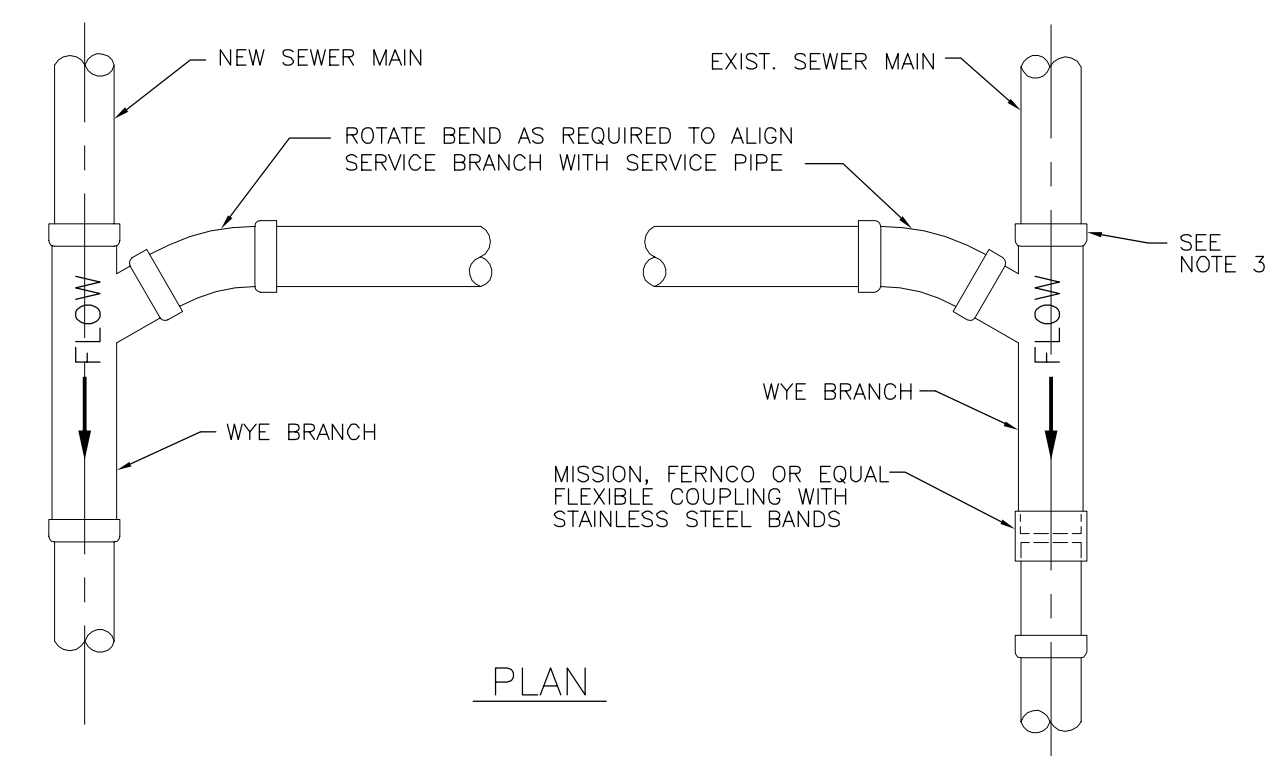


NOTES:
SAMPLING POINT SHALL NOT BE REMOVED UNTIL APPROVAL IS OBTAINED FROM BROWARD COUNTY HEALTH DEPARTMENT.

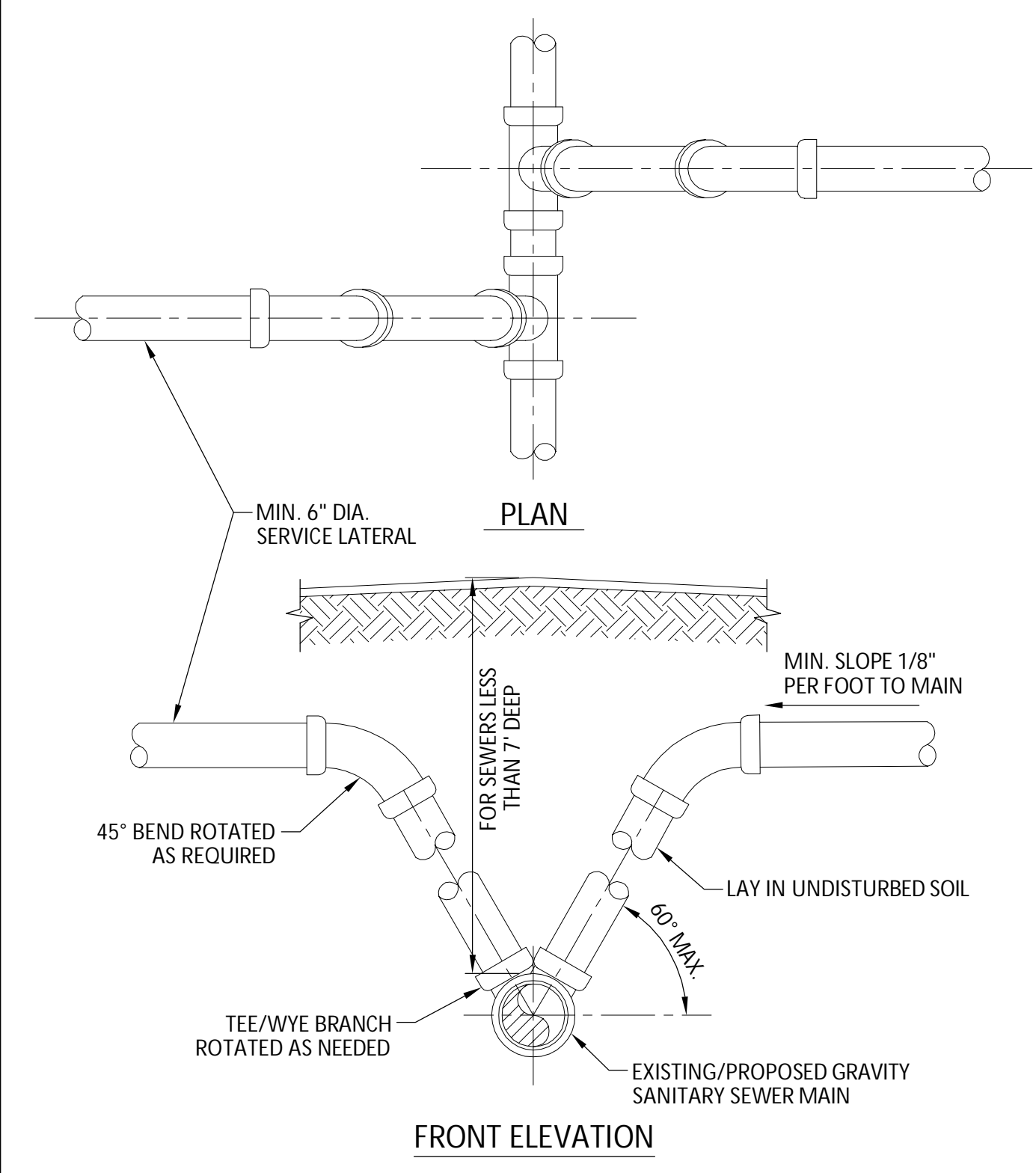
SEWER NOTES:

1. THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 36".
2. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
4. LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
5. LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES. FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS, AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN INFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
6. FORCE MAINS SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:
$$L = \frac{S \times D \times \sqrt{P}}{148,000}$$

WHERE:
L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR
D = PIPE DIAMETER IN INCHES
S = LENGTH OF LINES IN LINEAL FEET
P = AVERAGE TEST PRESSURE IN PSI
7. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
8. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.



NOTES:
1. SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.
2. USE RISER CONNECTIONS WHERE INVERT OF SEWER IS GREATER THAN 7'-0" DEEP.
3. WHERE BELL OF WYE AND SPIGOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.



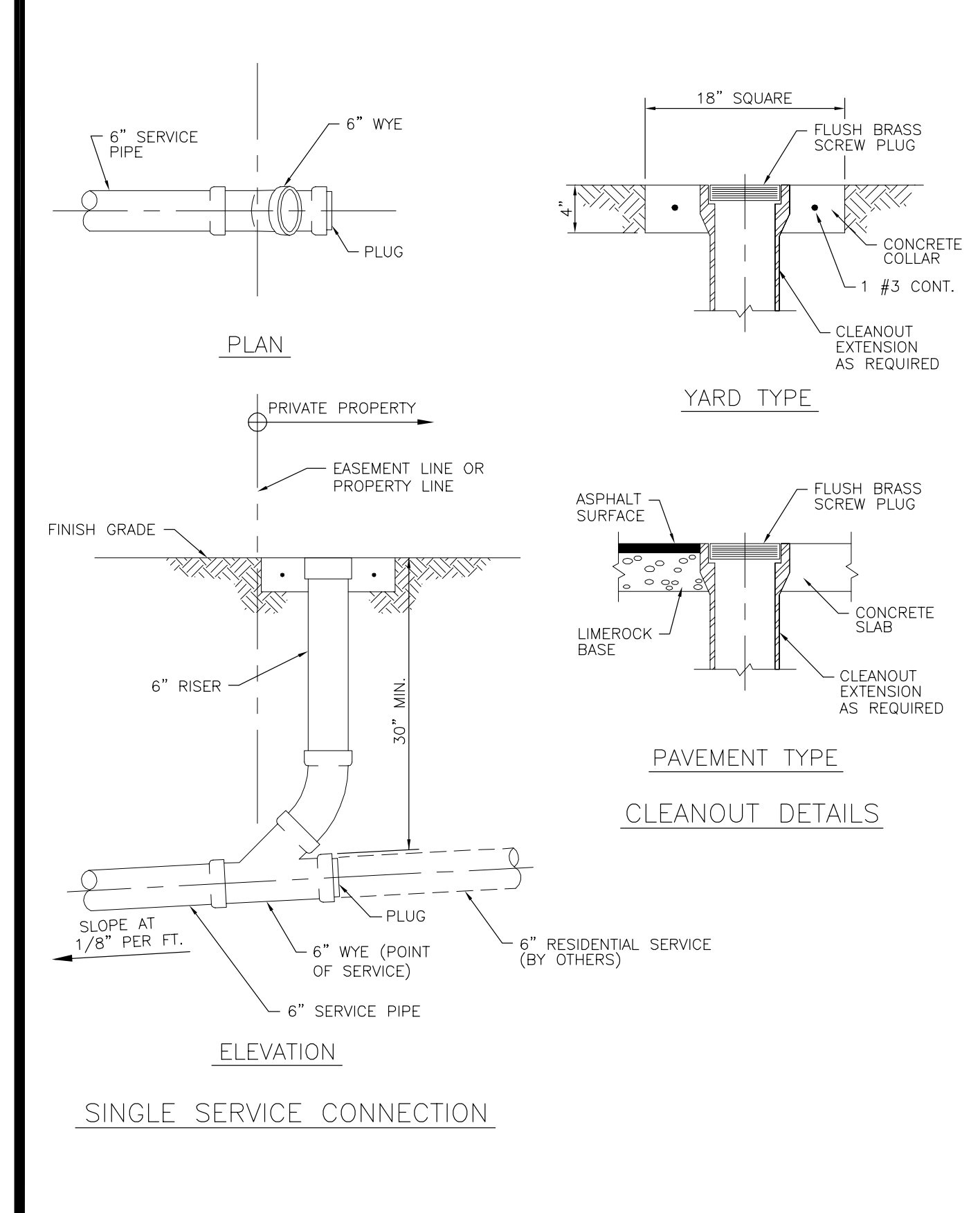
NOTES:
1. MODIFIED RISER CONNECTION TO BE USED ONLY WHEN DIRECTED BY THE CITY.
2. NO. 57 ROCK OR 3/4" DRAINFIELD LIMEROCK MAY BE USED AS BEDDING OVER UNDISTURBED SOIL WITH PVC PIPE.
3. SINGLE SERVICE CONNECTIONS SHALL USE 6" (MIN.) DIAMETER PIPE AND FITTINGS.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
DRAWN: EAM
APPROVED: XXX
SAMPLING POINT DETAIL
DRAWING NO. **W-16**

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
DRAWN: EAM
APPROVED: XXX
SANITARY SEWER MAIN CONSTRUCTION NOTES
DRAWING NO. **S-01**

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
DRAWN: EAM
APPROVED: XXX
WYE BRANCH CONNECTION
DRAWING NO. **S-09**

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
DRAWN: EAM
APPROVED: XXX
SANITARY SEWER LATERAL MODIFIED RISER
DRAWING NO. **S-10**



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
DRAWN: EAM
APPROVED: XXX
SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE
DRAWING NO. **S-12**

CITY OF HOLLYWOOD UTILITY DETAILS
FOR
3500 BUILDING
HOLLYWOOD, FLORIDA

REV. NO.	DATE	BY	CK	COMMENTS
4.	05/21/20	SMG	RWL	REV. PER CITY OF HOLLYWOOD COMMENTS
3.	06/12/19	SMG	RWL	REV. ALL SHEETS PER REVISED SITE PLAN
2.	10/17/18	SMG	RWL	REV. ALL SHEETS PER REVISED SITE PLAN
1.	10/05/17	SMG	RWL	REV. ALL SHEETS PER REVISED SITE PLAN

EB 9889
LPI
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)683-0872

SCALE: N/A
DATE: 9/2/20
DESIGNED BY: SG
CHECKED BY: RL
DRAWING FILE:
17-024-UT.6

CALL BEFORE YOU DIG
Sunshine 811
State One Call
OF FLORIDA, INC.
811 or (800) 432-4770

9/3/2020
RONALD W. LAST, P.E.
FLORIDA P.E. #38707
17-024 UT.6
SHEET 14 OF 14

ATTACHMENT B
Land Use and Zoning Map


831 N. Highland Drive



DEVELOPMENT SERVICES PLANNING

Legend

 Subject Property

 Streets

 Major Roads

LAND USE

 LRES

 OFF

 COMFAC

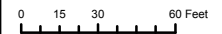
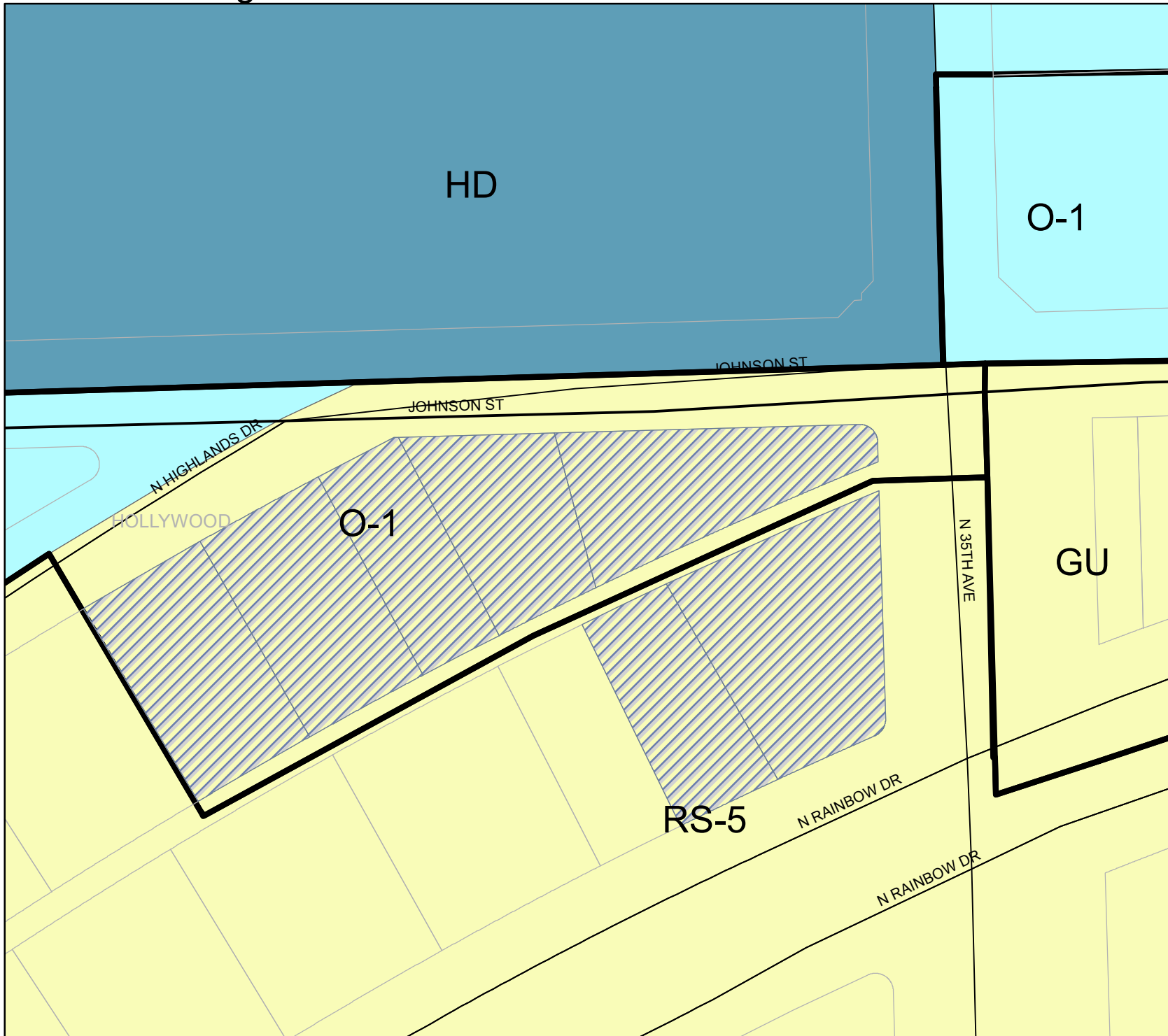
ZONING

 GU

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 O-1

 RS-5



ATTACHMENT C

Permitted Uses in Area Designated Residential

ARTICLE 2

FLEXIBILITY RULES AND REGULATIONS

2.1 FLEXIBILITY UNITS

- (A) Flexibility units, as defined in Section IV.B., "Residential Use" of the Broward County Land Use Plan, mean the difference between the number of dwelling units permitted within a flexibility zone by the Broward County Land Use Plan and the number of dwelling units permitted within the flexibility zone by a local government's certified future land use plan map.
- (B) Assignment of flexibility units by a local government is subject to all of the following rules and regulations:
 - (1) Assignment of flexibility units shall be subject to meeting the provisions of Policy 13.01.10 of the Broward County Land Use Plan concerning compatibility with adjacent land uses and impacts on public schools;
 - (2) Flexibility units must be assigned by the municipality, at a minimum, through (re)zoning or other official action. An amendment to the local land use plan may be required by the applicable municipality.
 - (3) Flexibility units may not be transferred to other flexibility zones except as provided for by Article 5 "Special Residential Facilities" and Article 8 "Affordable Housing Density Bonuses".
 - (4) Upon assignment of flexibility units, the local government shall notify the Planning Council in writing and submit revised charts, as contained within the certified local land use plan, which reflect the current total.
 - (5) Flexibility units shall not be assigned from areas circumscribed by dashed lines on the Broward County Land Use Plan, nor be reflected within the "flexibility unit charts" of the certified local land use plan.
 - (6) The Planning Council, upon determination that a local government has failed to report assignment of flexibility units in a timely or sufficient manner or has assigned flexibility units improperly, shall take such actions as may be necessary and proper, including decertification of the local land use plan, to enforce the requirements of the Broward County Land Use Plan and this Administrative Rules Document.

2.2 RESERVE UNITS

- (A) Reserve units, as defined in Section IV.B., "Residential Use", of the Broward County Land Use Plan, mean additional permitted dwelling units equal to two percent (2%) of the total number of dwelling units permitted within a flexibility zone by the Broward County Land Use Plan.
- (B) A local government may include provisions for reserve units within their certified land use plan and establish a reserve unit pool. Assignment of reserve units is subject to all of the following rules and regulations:
 - (1) Assignment of reserve units shall be subject to meeting the provisions of Policy 13.01.10 of the Broward County Land Use Plan concerning compatibility with adjacent land uses and impacts on public schools;
 - (2) Reserve units may not be transferred between flexibility zones except as provided for by Article 5 "Special Residential Facilities" and Article 8 "Affordable Housing Density Bonuses".
 - (3) A chart or charts reflecting the number of reserve units within a flexibility zone shall be approved by the Planning Council at the time of (re)certification of the local land use plan.
 - (4) Upon assignment of reserve units to a parcel of land, the local government shall notify the Planning Council in writing and submit revised charts, in the format certified by the Planning Council, which reflect the current total.
 - (5) Upon annexation of land, the affected local government may submit revised reserve unit charts, which reflect such annexation and include unassigned reserve units, concurrent with or subsequent to a request for (re)certification of the local land use plan by the Planning Council.
 - (6) Upon deannexation or contraction of lands, the affected local government shall submit revised reserve unit charts which reflect such deannexation to the Broward County Planning Council for recertification.
 - (7) The number of reserve units assigned to a parcel designated for residential use may not exceed 100% of the maximum number of dwelling units indicated for the parcel by the local land use plan map, except as provided for by Article 8 "Affordable Housing Density Bonuses".
 - (8) In no instance shall a density of greater than fifty (50) dwelling units per gross acre be permitted.

- (9) The Planning Council, upon determination that a local government has failed to report assignment of reserve units in a timely or sufficient manner or has assigned reserve units improperly, shall take such actions as may be necessary and proper, including decertification of the local land use plan, to enforce the requirements of the Broward County Land Use Plan and this Administrative Rules Document.

2.3 REARRANGEMENT OF RESIDENTIAL DENSITY

- (A) A local land use plan map may show a different arrangement of residential acreage in a flexibility zone than that shown for the same flexibility zone on the Broward County Land Use Plan, subject to all of the following rules and regulations:
 - (1) The local government shall demonstrate to the Planning Council that no increase in the total number of permitted dwelling units in the flexibility zone results from the rearrangement.
 - (2) When a parcel of land is split by a flexibility zone boundary but is within a single local government, residential density may be redistributed within the parcel without regard to the flexibility zone boundary.
 - (3) The density assigned to an area circumscribed by a dashed line on the Broward County Land Use Plan shall not be reassigned outside the dashed line.
 - (4) A rearrangement of land use designations must produce a reasonable development pattern. Criteria for reasonableness shall include compatibility of adjacent land uses and suitability of parcels for various development patterns.

2.4 DEVELOPED AREAS

- (A) Zoning that is consistent with the established density of a developed area shall be in substantial conformity with the Broward County Land Use Plan so long as the local land use plan, the zoning and the applicable land development regulations do not permit any density higher than fifty dwelling units per gross acre.

For the purpose of these rules and regulations, a developed area means a residential zoning district in which the predominant character had been established as of November 22, 1977 by existing buildings, buildings under construction, or by active building permits.

2.5 INCREASE AND DECREASE OF COMMERCIAL AND RESIDENTIAL ACREAGE

(A) A certified local land use plan may allow a different arrangement of commercial and residential acreage in a flexibility zone than that shown for the same flexibility zone on the Broward County Land Use Plan, if consistent with all of the following provisions:

(1) The land designated “Commercial” within a flexibility zone on the Broward County Land Use Plan (see POLICY 2.04.05 of the Broward County Land Use Plan) may be decreased by twenty percent (20%) and (re)designated to a land use category consistent with the residential land use categories of the Broward County Land Use Plan. (Re)designation to a residential land use category is subject to the following rules and regulations:

- a. The local government must assign available flexibility or reserve units in compliance with the provisions of Section 2.1 (Flexibility Units) or Section 2.2 (Reserve Units), of this Administrative Rules Document; or
- b. The local government must correspondingly reduce, within the local land use element, the density of a residential area so that the total number of permitted dwelling units allowed in the flexibility zone is not increased.

(2) The local land use plan may permit up to five percent (5%) of the area designated for residential use on the Broward County Land Use Plan within a flexibility zone to be used for neighborhood office and/or retail sales of merchandise or services, subject to compliance with Policy 13.01.10 of the Broward County Land Use Plan. No such contiguous area may exceed ten (10) acres in size. For the purpose of this provision, contiguous is defined as: attached; located within 500 feet; or separated only by streets and highways, canals and rivers, or easements.

This five percent (5%) residential-to-commercial flexibility rule may be applied by the local government through (re)zoning or other official action, subject to compliance with Policy 13.01.10 of the Broward County Land Use Plan, and does not require an amendment to the local land use plan map if the provision is certified by the Planning Council within the residential permitted uses section of the local land use plan.

- (3) A mixed residential and retail sales or office land use may be permitted by the local land use plan in areas designated for “Medium-High” or “High” residential density on the Broward County Land Use Plan, subject to the local land use plan providing:
 - a. That no more than fifty percent (50%) of the floor area in a building shall be used for retail sales or offices; and
 - b. At least fifty percent (50%) of the area in a building shall be used for residences.

- (4) A mixed residential and office land use may be permitted by the local land use plan in areas designated for “Medium” residential density on the Broward County Land Use Plan Map, subject to the local land use plan providing:
 - a. That no more than fifty percent (50%) of the floor area in a building shall be used for offices; and
 - b. At least fifty percent (50%) of the area in a building shall be used for residences.

- (5) A residential and/or commercial land use may be permitted by the local land use plan in areas designated “Commercial” on the Broward County Land Use Plan Map, subject to the following:
 - a. The local government shall apply available flexibility and/or reserve units in compliance with Articles 2.1 and 2.2 of this Administrative Rules Document; and
 - b. For parcels 5 acres in size or less, free standing multi-family residential uses are permitted; and/or
 - c. For mixed commercial/residential developments greater than 5 acres in size, free standing multi-family residential uses are permitted provided that the gross residential acreage does not exceed 5 acres or 40% of the total gross acreage of the commercially designated parcel, whichever is greater, and that the entire mixed residential/commercial development be governed by specific zoning regulations that establish criteria to ensure proper integration and compatibility of land uses within and surrounding the development.

- (6) The local land use plan may permit up to twenty percent (20%) of the area designated for “Industrial” use on the Broward County Land Use Plan within a flexibility zone to be used for commercial and retail business uses including hotels, motels and similar lodging, subject to compliance with Policy 13.01.10 of the Broward County Land Use Plan.

This twenty percent (20%) industrial-to-commercial flexibility rule may be applied by the local government through (re)zoning or other official action, subject to compliance with Policy 13.01.10 of the Broward County Land Use Plan, and does not require an amendment to the local land use plan map if the provision is certified by the Planning Council within the industrial permitted uses section of the local land use plan.

- (7) The local land use plan may permit up to twenty percent (20%) of the area designated for “Employment Center” use on the Broward County Land Use Plan within a flexibility zone to be used for commercial and retail business uses, subject to compliance with Policy 13.01.10 of the Broward County Land Use Plan.

This twenty percent (20%) employment center-to-commercial flexibility rule may be applied by the local government through (re)zoning or other official action, subject to compliance with Policy 13.01.10 of the Broward County Land Use Plan, and does not require an amendment to the local land use plan map if the provision is certified by the Planning Council within the employment center permitted uses section of the local land use plan.

- (8) The arrangement of land use designations must produce a reasonable development pattern. Criteria for reasonableness shall include compatibility of adjacent land uses and suitability of parcels for various development patterns.

2.6 RESIDENTIAL USES IN “AGRICULTURAL” / “RURAL RANCHES” LANDS

- (A) This section provides for exceptions to the residential density restrictions within the “Agricultural” and “Rural Ranches” land use category of the Broward County Land Use Plan consistent with Broward County Ordinance No. 79-34. Land designated “Agricultural” or “Rural Ranches” may be permitted one (1) dwelling unit on parcels smaller than two (2) net acres or smaller than two and one-half (2½) gross acres if:

- (1) The parcel is specifically designated on a plat approved by the Board of County Commissioners prior to May 16, 1979; or

- (2) The parcel was of public record prior to May 16, 1979, and
 - a. has not been at any time since the effective date of Broward County Ordinance No. 79-34 (May 30, 1979) contiguous with another parcel or parcels in common ownership which could be combined into a single parcel of at least two net acres, and
 - b. has received the approval of the applicable agency for a sewage disposal system.

Article 2.1 – Amended October 23, 2008

Article 2.6 - Amended June 29, 1989

ATTACHMENT D
Flex Zone Map

MAP-LU-1A BROWARD COUNTY FLEXIBILITY ZONES

