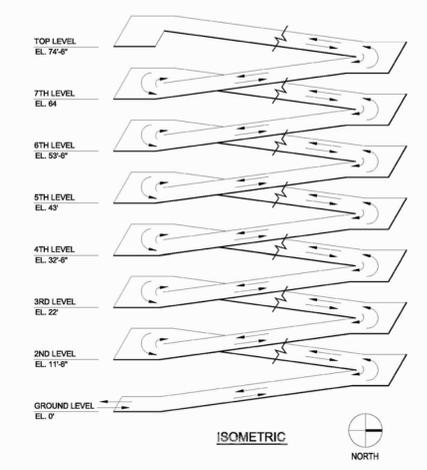


1 SITE PLAN
SCALE: 1/16" = 1'-0"



2 GARAGE ISOMETRIC
SCALE: 1" = 20'-0"

- ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C ZONING DISTRICT.
- NOTE: BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.
- NOTE: ALL MACHINE ROOMS, ELECTRICAL, MECHANICAL AND OTHER EQUIPMENT WILL BE ABOVE THE REQUIRED FEMA BASE FLOOD 6.0'
- FEMA NOTE:
1. INFORMATION PROVIDED IS BASED ON NEW FIRM MAPS DATED 08/18/2014.
2. REFERENCE TO FEMA ELEVATIONS IS SHOWN PER THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
3. PROPERTY IS LOCATED IN FIRM PANEL 12010C0500H UNDER ZONE 'AE' WITH ELEVATIONS +6.00' & +1.00' NAVD
- SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 05 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.
- FIRE ALARM NOTE:
A FIRE ALARM SYSTEM IS REQUIRED AS PER FFFPC, 2010 NFPA 101
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- TURTLE LIGHTING ORDINANCE
PROJECT SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPTER 108 LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION OF THE CITY OF HOLLYWOOD CODE OF ORDINANCE.
- GREEN BUILDING CERTIFICATION TO BE ACHIEVED.
- ART INSTALLATION PANEL NOTE:
DESIGNS FOR ART INSTALLATION PANEL SHALL BE SUBMITTED AT A LATER DATE FOR APPROVAL FROM BOARD/COMMISSION

CLASSIFICATION OF STRUCTURE IN FLOOD HAZARD AREA. PER ASCE 24-05:

STRUCTURE CATEGORY	CATEGORY II	
ELEVATION BELOW WHICH FLOOD-DAMAGE-RESISTANT MATERIALS SHALL BE USED (TABLE 5-1)	BFE +1 OR DFE WHICHEVER IS HIGHER	+0.00' NAVD.
DRY FLOOD PROOFING OF NON-RESIDENTIAL STRUCTURES (TABLE 6-1)	BFE +1 OR DFE WHICHEVER IS HIGHER	+0.00' NAVD.

NOTE:
NOT WITHSTANDING INFORMATION PROVIDED HEREIN, ALL WORK PERFORMED BY THE G.C. AND THE SUB-CONTRACTORS, UNDER THIS SET OF CONSTRUCTION DOCUMENTS AND BUILDING PERMIT, MUST BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FLORIDA BUILDING CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION LIFE SAFETY CODE 101, THE FLORIDA FIRE PREVENTION CODES, AND ALL OTHER CODES AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT.

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Tampa, FL 33634
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813.888.5822 Fax
BE-0003840

PROJECT TITLE
NEBRASKA GARAGE

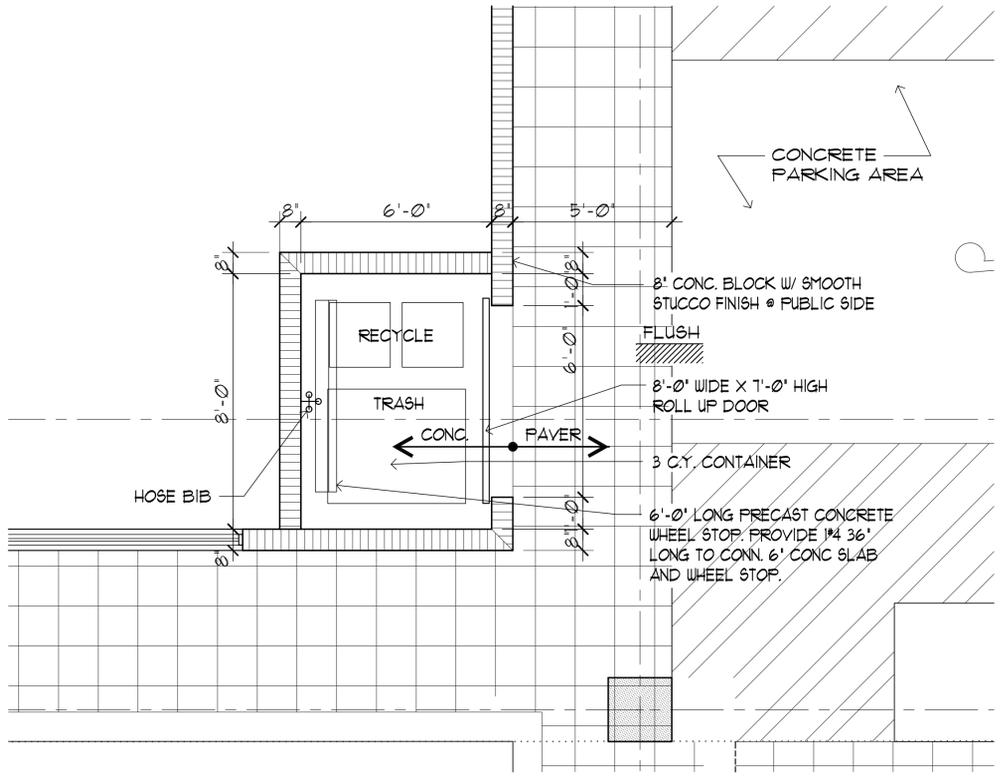
SHEET TITLE
SITE PLAN

REVISIONS

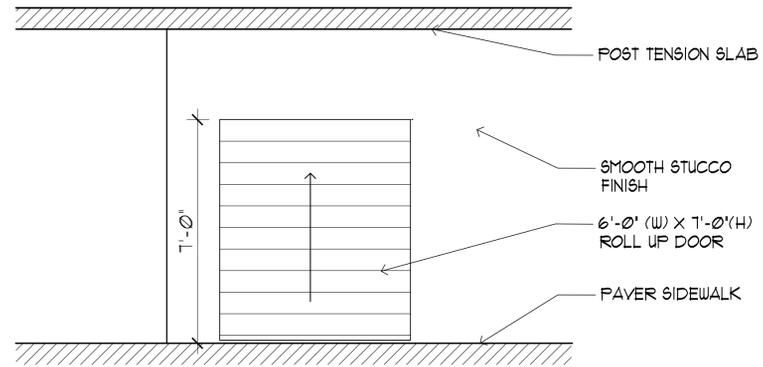
No.	DATE	DESCRIPTION
1	10/02/15	FINAL TAC COMMENTS

PROJECT No.: 14221
DATE: 01-27-15
DRAWN BY: GMV
CHECKED BY: JBK

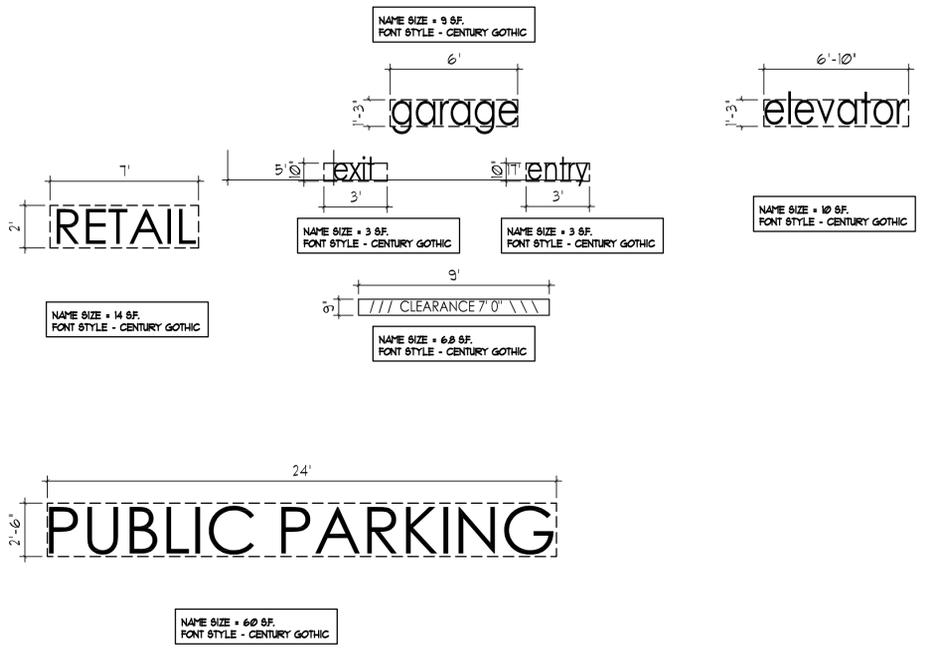
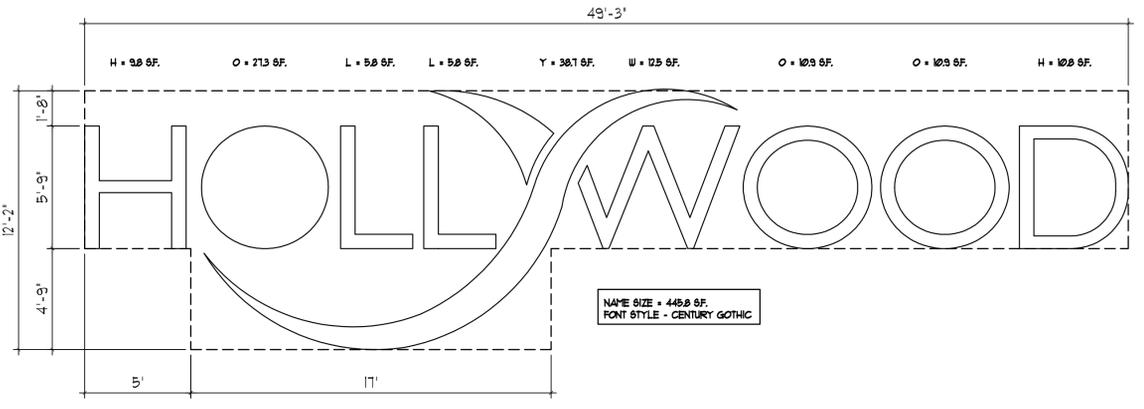
SHEET
SP-1



FLOOR PLAN



EAST ELEVATION



ALL SIGNAGE TO BE NEON BACK LIT PIN MOUNTED CHANNEL LETTERS

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C ZONING DISTRICT.

NOTE:
A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN.
A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR SIGNS REQUIRING ILLUMINATION.

TURTLE LIGHTING ORDINANCE
PROJECT SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPTER 100 'LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION' OF THE CITY OF HOLLYWOOD CODE OF ORDINANCE.



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EE-0003840

PROJECT TITLE
NEBRASKA GARAGE

SHEET TITLE
SIGNS
TRASH ROOM

REVISIONS		
No.	DATE	DESCRIPTION
1	10/02/15	FINAL TAC COMMENTS

PROJECT No.: 14221
DATE: 01-27-15
DRAWN BY: JMW
CHECKED BY: JBK

SHEET

SP-3

PROPOSED PLANT LIST

TREES / PALMS

Code	Drought	QTY.	Botanical Name / Common Name	Specifications
CN	V	4	Cocco nucifera / Coconut Palm	B&B Field Grown, 20-25' OA
RE (N)	V	6	Roystonea regia / Florida Royal Palm	B&B Field Grown, 20-25' OA
TBD	V	6	To Be Determined	B&B Field Grown, 8-10' OA

ACCENTS / SHRUBS / GROUND COVERS

BRO	V	110	Bromeliads / Fire Ball Bromeliads	1 Gal., 12" OC
FMG	V	34	Ficus macrocarpa Green Island / Green Island Ficus	3 Gal., 24" OA, 2' OC
IVD (N)	V	48	Ilex vomitoria / Dwarf Schellings Ilex	3 Gal., 24" OA, 2' OC
JNC	V	187	Juniperus conferta / Shore Juniper	3 Gal., 24" OA, 2' OC
LM	V	103	Lirape muscari / Liriopae	1 Gal., 12" OC
PM	V	35	Podocarpus macrophylla / Podocarpus columns	3 Gal., 24" OA, 2' OC
PTV	V	54	Pittosporum tobira / Variegated Pittosporum	3 Gal., 24" OA, 30" OC
TJ	V	4	Trachelospermum jasminoides / Confederate Jasmine	10 Gal., 72" OA, 30" OC
ZF	V	5	Zamia furfuracea / Cardboard Plant	7 Gal., 36" OA, 30" OC

MISCELLANEOUS

(N)	Florida Native Plant Species
L	Low Drought Tolerance
M	Moderate Drought Tolerance
V	Very Drought Tolerant

NOTES:

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 50% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

Each lot shall supply, install, and maintain an individual irrigation system for that individual lot.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Wayne K. Tanning, RLA.

The plan takes precedence over the plant list.

SPECIAL INSTRUCTIONS

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive Stenotaphrum secundatum, St. Augustine Floratam solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.

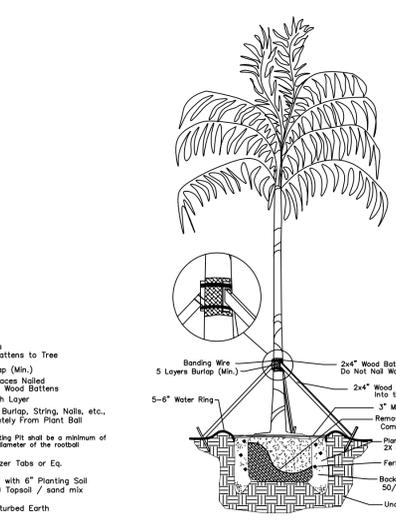
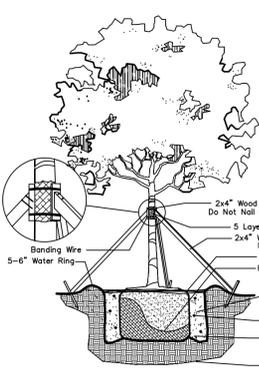
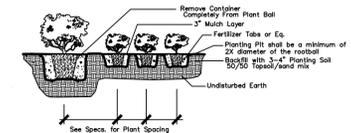
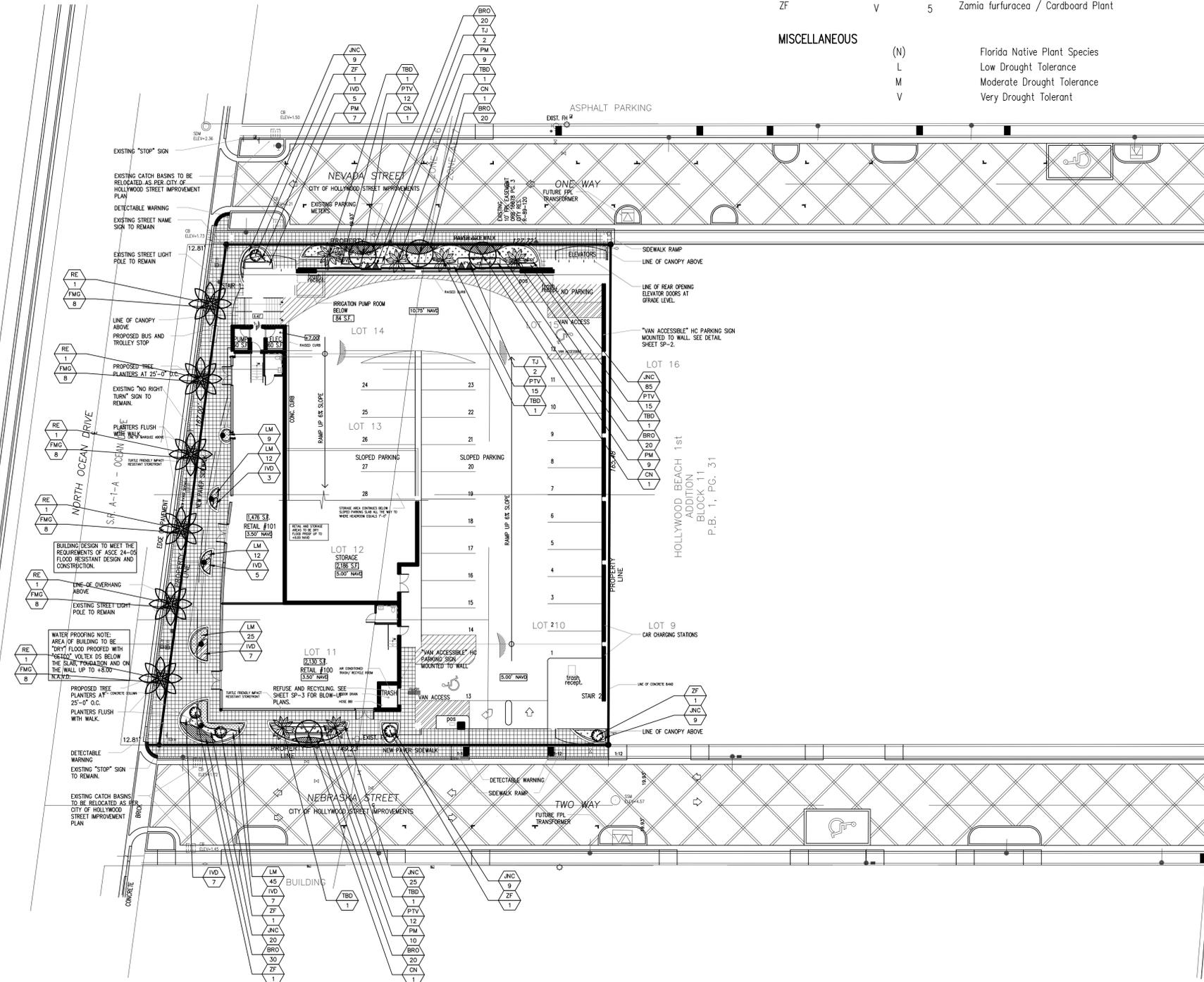
All existing palms to be trimmed and cleaned.

Existing automatic underground irrigation is functional. Rain sensor is to be provided/active.

Landscape permits are required before any planting occurs. Permits are obtained from the Building Department.

Trees are to be planted at a depth so that the root-flare and top of first order root(s) are fully visible.

Existing trees, palms, accents, hedges, shrubs, groundcover and sod must be healthy, maintained and live at final inspection. Also, the existing hedges must be continuous and at least 24" tall.



DRWG. TITLE : LANDSCAPE PLAN - GROUND FLOOR
 PROJECT : NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD, FLORIDA 33019
 CLIENT : KALLER ARCHITECTS

PROJECT NO. 15-110
 DRAWN BY WKT
 DESIGNED BY WKT
 CHECKED BY WKT
 DATE : 04-17-15
 DWG. NO. LP-1
 SHT. NO. 1 of 2
 REVISIONS : 12-07-15

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SEAL
 WAYNE K. TONNING, RLA
 RLA #6666709

Exhibit "B"
PROPOSED PLANT LIST

ACCENTS / SHRUBS / GROUND COVERS

CS	V	4	Cupressus sempervirens / Italian Cypress	B&B Field Grown, 14-16' OA
CR (N)	V	3	Clusia rosea / Clusia Tree	B&B Field Grown, 8-10' OA

ACCENTS / SHRUBS / GROUND COVERS

FMG	V	150	Ficus macrocarpa Green Island / Green Island Ficus	3 Gal., 24" OA, 2' OC
FP	V	400	Ficus pumila / Creeping Fig	3 Gal., 24" OA, in Planter Tubes
TJ	V	64	Trachelospermum jasminoides / Confederate Jasmine	10 Gal., 72" OA, 30" OC

MISCELLANEOUS

(N)	Florida Native Plant Species
L	Low Drought Tolerance
M	Moderate Drought Tolerance
V	Very Drought Tolerant

NOTES:

GENERAL PLANTING REQUIREMENTS

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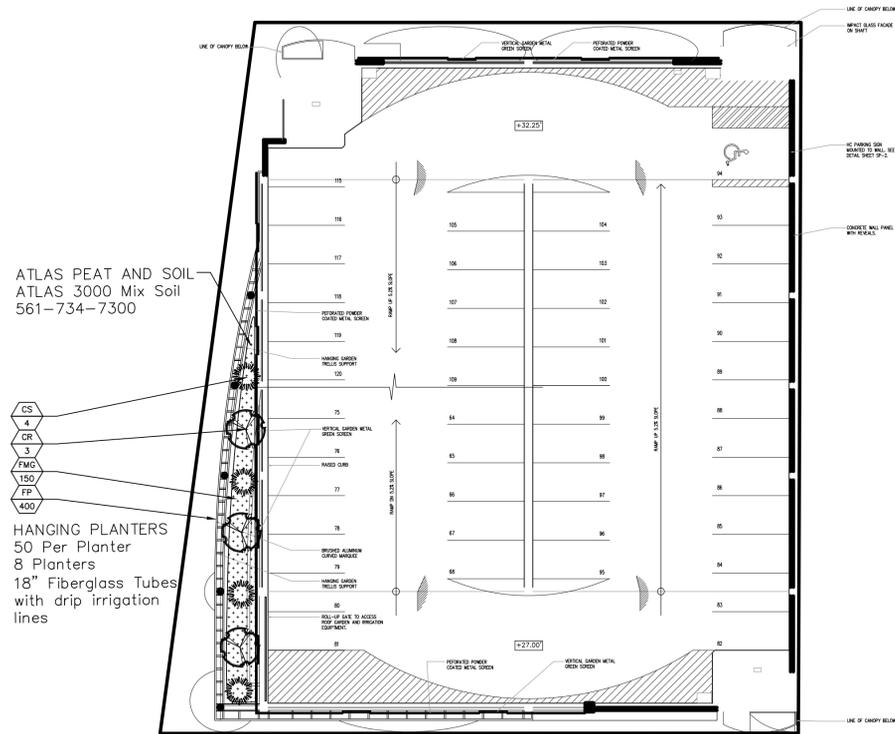
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Existing automatic underground irrigation is functional. Rain sensor is to be provided/active.

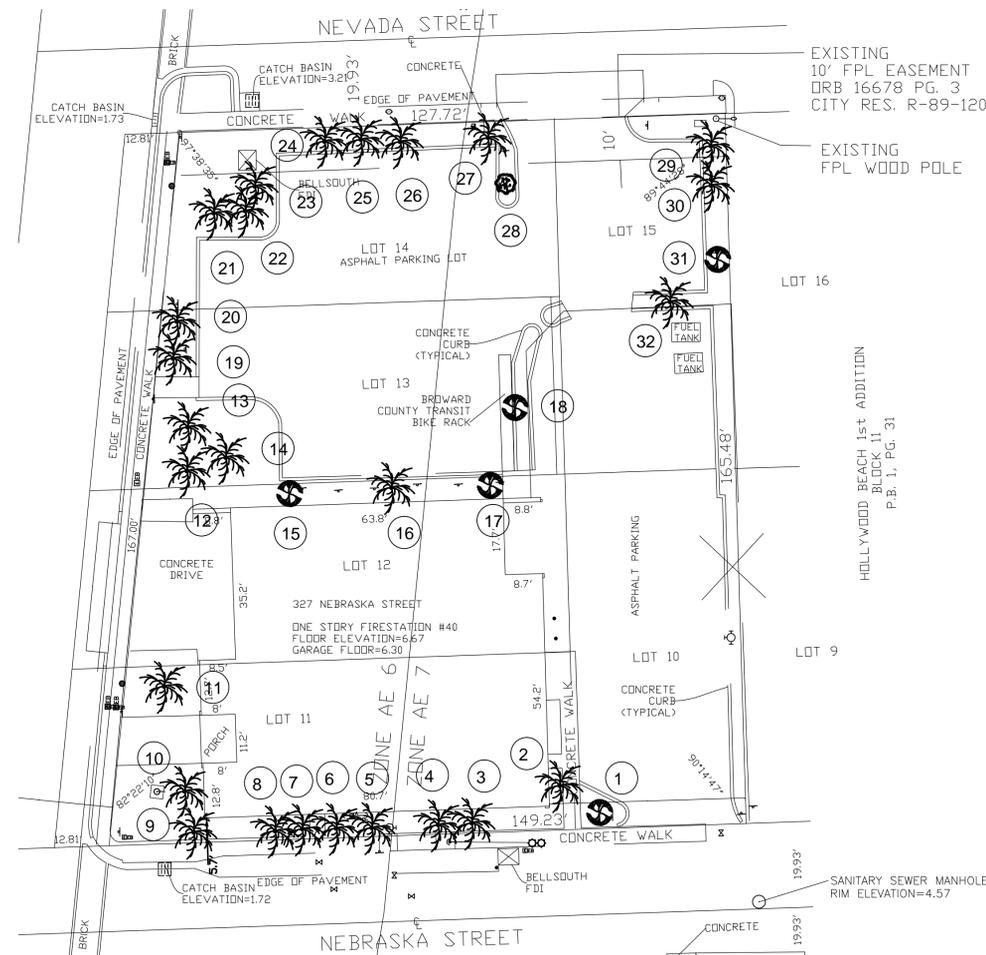
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LANDSCAPE PLAN
SCALE: 1" = 20'-0"



EXISTING CONDITIONS PLAN
SCALE: 1" = 20'-0"

WIRE METAL SCREEN TRELLIS FOR VINE

NEBRASKA GARAGE - HOLLYWOOD, FLORIDA

Tree #	Type	Caliper	Height	Width Of Canopy	Disposition			Condition
					Remove	Remain	Relocate	
1	Carrotwood	10"	25'	25'	x			Good
2	Sabal Palm	10"	6'	5'	x			Good
3	Sabal Palm	10"	15'	7'	x			Good
4	Sabal Palm	10"	15'	7'	x			Good
5	Sabal Palm	10"	15'	7'	x			Good
6	Sabal Palm	10"	15'	7'	x			Good
7	Sabal Palm	10"	15'	7'	x			Good
8	Sabal Palm	10"	15'	7'	x			Good
9	Sabal Palm	10"	15'	7'	x			Good
10	Royal Palm	16"	25'	15'	x			Good
11	Royal Palm	16"	25'	15'	x			Good
12	Royal Palm	16"	25'	15'	x			Good
13	Royal Palm	16"	25'	15'	x			Good
14	Royal Palm	16"	25'	15'	x			Good
15	Carrotwood	8"	20'	15'	x			Good
16	Sabal Palm	10"	20'	10'	x			Good
17	Carrotwood	8"	20'	15'	x			Good
18	Carrotwood	6"	15'	10'	x			Good
19	Sabal Palm	10"	15'	10'	x			Dead
20	Sabal Palm	10"	15'	10'	x			Good
21	Coconut Palm	12"	25'	15'	x			Good
22	Coconut Palm	12"	25'	15'	x			Good
23	Coconut Palm	12"	25'	15'	x			Good
24	Sabal Palm	10"	20'	10'	x			Good
25	Sabal Palm	10"	20'	10'	x			Good
26	Sabal Palm	10"	20'	10'	x			Good
27	Sabal Palm	10"	20'	10'	x			Good
28	Ligustrum	3"	6'	6'	x			Good
29	Sabal Palm	10"	15'	15'	x			Good
30	Sabal Palm	10"	15'	15'	x			Good
31	Ligustrum	3"	6'	6'	x			Good
32	DEAD-Stump	0	0	0	x			Good

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DRWG. TITLE : LANDSCAPE PLAN - THIRD FLOOR
PROJECT : NEBRASKA GARAGE
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HOLLYWOOD, FLORIDA 33019
CLIENT : KALLER ARCHITECTS

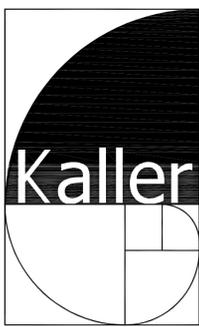
SEAL
PROJECT NO. 15-110
DRAWN BY WKT
DESIGNED BY WKT
CHECKED BY WKT
DATE : 04-17-15
DWG. NO. LP-2
SHT. NO. 2 of 2
REVISIONS : 08-04-15



1. TURTLE FRIENDLY TINTED IMPACT RESISTANT STOREFRONT
2. VERTICAL POWDER COATED ALUMINUM SCREEN
3. BRUSHED ALUMINUM FINISH AT RETAIL MARQUEE
4. STUCCO SCORING
5. ART INSTALLATION PANEL
6. 42' HIGH ALUMINUM GUARD RAILING
7. POWDER COATED ALUMINUM SCREEN
8. POWDER COATED BACK LIT CHANNEL LETTER SIGNAGE
9. SMOOTH STUCCO WALL FINISH
10. HANGING VERTICAL PLANTERS
11. IMPACT RESISTANT HOLLOW METAL DOOR
12. ELEVATOR DOORS
13. CONCRETE EYEBROW
14. PLANTERS
15. ROOF DECK GARDEN
16. POWDER COATED METAL CANOPY
17. 12φ CONCRETE COLUMNS
18. RECESSED SQUARE PATTERN IN CONCRETE

1 WEST ELEVATION

SCALE: 1/8" = 1'-0"



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PROJECT TITLE
 NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
 WEST ELEVATION

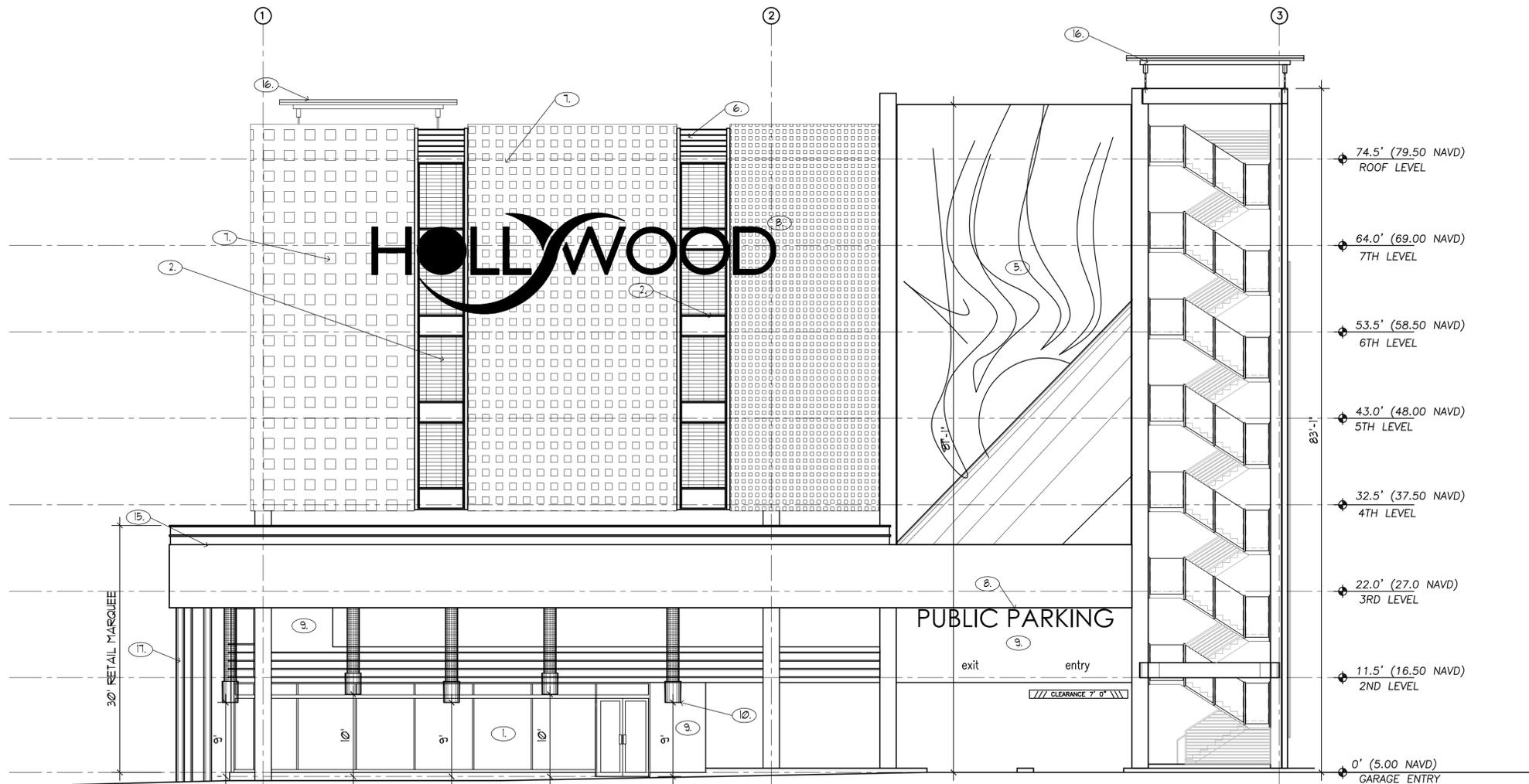
REVISIONS		
No.	DATE	DESCRIPTION
1	10/02/15	FINAL TAC COMMENTS (RENUMBERED SHEET)

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PROJECT No.: 14221
 DATE: 01-27-15
 DRAWN BY: GMV
 CHECKED BY: JBK

SHEET

A-9



74.5' (79.50 NAVD)
ROOF LEVEL

64.0' (69.00 NAVD)
7TH LEVEL

53.5' (58.50 NAVD)
6TH LEVEL

43.0' (48.00 NAVD)
5TH LEVEL

32.5' (37.50 NAVD)
4TH LEVEL

22.0' (27.0 NAVD)
3RD LEVEL

11.5' (16.50 NAVD)
2ND LEVEL

0' (5.00 NAVD)
GARAGE ENTRY

PUBLIC PARKING

exit entry

30' RETAIL MARQUEE

- 1. TURTLE FRIENDLY TINTED IMPACT RESISTANT STOREFRONT
- 2. VERTICAL POWDER COATED ALUMINUM SCREEN
- 3. BRUSHED ALUMINUM FINISH AT RETAIL MARQUEE
- 4. STUCCO SCORING
- 5. ART INSTALLATION PANEL
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- 12. ELEVATOR DOORS
- 13. CONCRETE EYEBROW
- 14. PLANTERS
- 15. ROOF DECK GARDEN
- 16. POWDER COATED METAL CANOPY
- 17. 12" CONCRETE COLUMNS
- 18. RECESSED SQUARE PATTERN IN CONCRETE

1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



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BE-0903840

PROJECT TITLE
NEBRASKA GARAGE
327 NEBRASKA STREET
HOLLYWOOD FL

SHEET TITLE
SOUTH ELEVATION

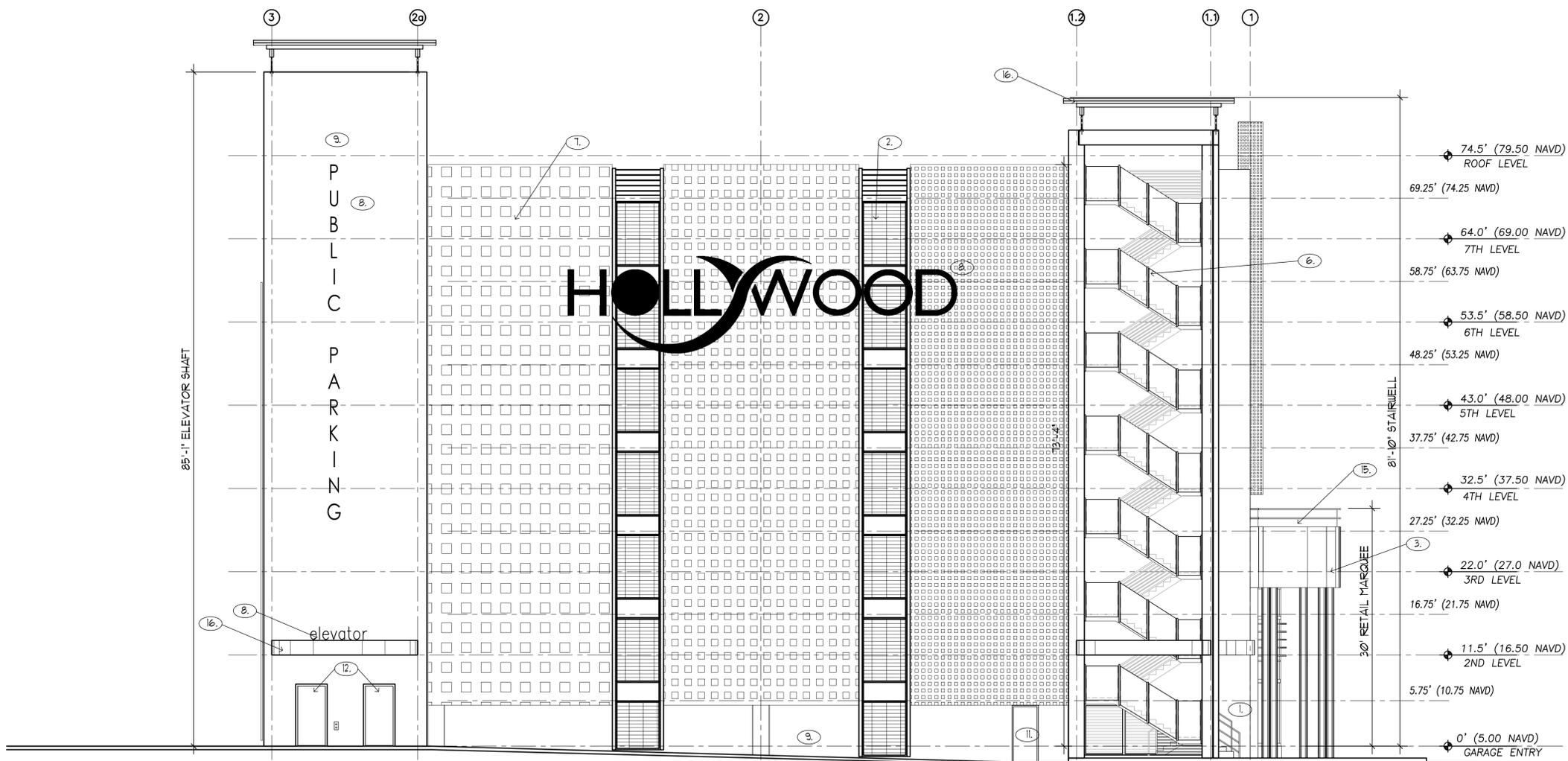
REVISIONS		
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PROJECT No.: 14221
DATE: 01-27-15
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

A-10

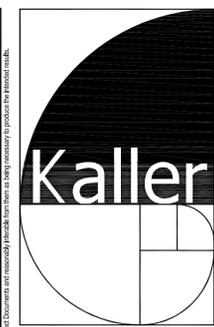


- 74.5' (79.50 NAVD) ROOF LEVEL
- 69.25' (74.25 NAVD)
- 64.0' (69.00 NAVD) 7TH LEVEL
- 58.75' (63.75 NAVD)
- 53.5' (58.50 NAVD) 6TH LEVEL
- 48.25' (53.25 NAVD)
- 43.0' (48.00 NAVD) 5TH LEVEL
- 37.75' (42.75 NAVD)
- 32.5' (37.50 NAVD) 4TH LEVEL
- 27.25' (32.25 NAVD)
- 22.0' (27.0 NAVD) 3RD LEVEL
- 16.75' (21.75 NAVD)
- 11.5' (16.50 NAVD) 2ND LEVEL
- 5.75' (10.75 NAVD)
- 0' (5.00 NAVD) GARAGE ENTRY

- 1. TURTLE FRIENDLY TINTED IMPACT RESISTANT STOREFRONT
- 2. VERTICAL POWDER COATED ALUMINUM SCREEN
- 3. BRUSHED ALUMINUM FINISH AT RETAIL MARQUEE
- 4. STUCCO SCORING
- 5. ART INSTALLATION PANEL
- 6. 42' HIGH ALUMINUM GUARD RAILING
- 7. POWDER COATED ALUMINUM SCREEN
- 8. POWDER COATED BACK LIT CHANNEL LETTER SIGNAGE
- 9. SMOOTH STUCCO WALL FINISH
- 10. HANGING VERTICAL PLANTERS
- 11. IMPACT RESISTANT HOLLOW METAL DOOR
- 12. ELEVATOR DOORS
- 13. CONCRETE EYEBROW
- 14. PLANTERS
- 15. ROOF DECK GARDEN
- 16. POWDER COATED METAL CANOPY
- 17. 12φ CONCRETE COLUMNS
- 18. RECESSED SQUARE PATTERN IN CONCRETE

1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



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 BE-003840

PROJECT TITLE
NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
NORTH ELEVATION

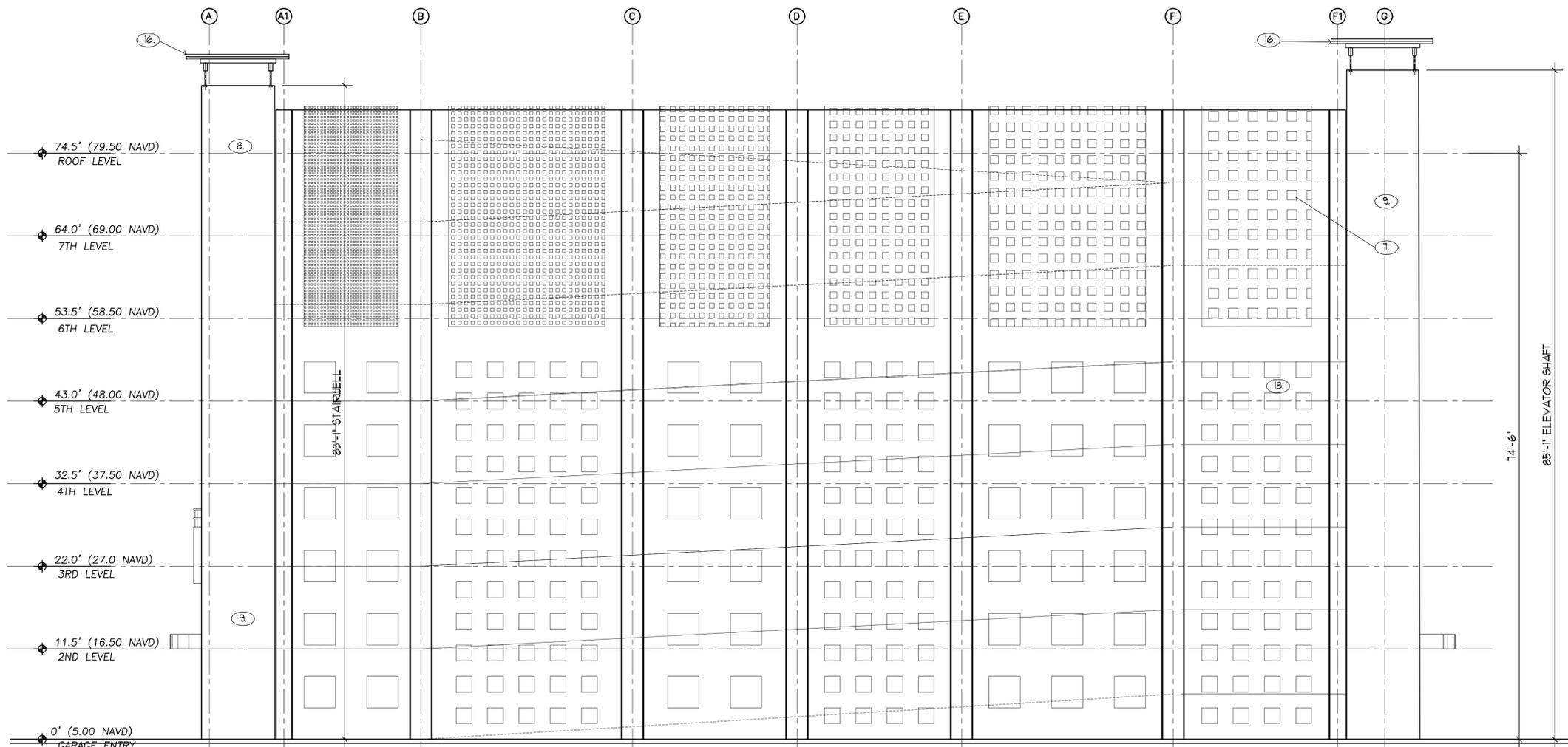
REVISIONS		
No.	DATE	DESCRIPTION
1	10/02/15	FINAL TAC COMMENTS (RENUMBERED SHEET)

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PROJECT No.: 14221
 DATE: 01-27-15
 DRAWN BY: GMV
 CHECKED BY: JBK

SHEET

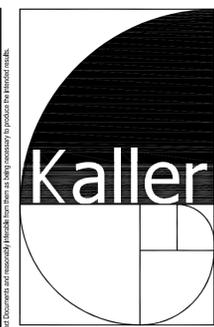
A-11



1. TURTLE FRIENDLY TINTED IMPACT RESISTANT STOREFRONT
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16. POWDER COATED METAL CANOPY
17. 12" CONCRETE COLUMNS
18. RECESSED SQUARE PATTERN IN CONCRETE

1 EAST ELEVATION

SCALE: 1/8" = 1'-0"



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PROJECT TITLE
 NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
 EAST ELEVATION

REVISIONS

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