

GENERAL NOTES:

1. PERMITS: CONTRACTOR SHALL OBTAIN IN THEIR BID AS WELL AS SECURE ALL NECESSARY BUILDING PERMITS, NOT LIMITED, ROOFING, PLUMBING, ELECTRICAL, MECHANICAL, OCCUPANCY AND OTHER PERMITS, AT HIS EXPENSE, SO THAT THE OWNER CAN OBTAIN HIS / HER CERTIFICATE OF OCCUPANCY.

2. QUALIFICATION OF CONTRACTOR: THE GENERAL CONTRACTOR AND ALL SUB - CONTRACTORS SHALL BE LICENSED BY THE STATE OF FLORIDA, AS WELL AS THE COUNTY AND BE INSURED TO MEET THE REQUIREMENTS OF BROWARD COUNTY AND THE CITY OF HOLLYWOOD.

3. OWNER SHALL HAVE THE RIGHT OF APPROVAL OR REJECTION OF ALL SUBCONTRACTORS PRIOR TO SIGNING THE CONTRACT. GENERAL CONTRACTOR SHALL SUBMIT A LIST OF ALL PROPOSED SUBCONTRACTORS AND SUPPLIERS TO THE OWNER FOR THIS PURPOSE.

4. EXISTING CONDITIONS: CONTRACTOR BY AND THROUGH SUBMISSION OF HIS BID, AGREES THAT HE SHALL BE HELD RESPONSIBLE FOR HAVING EXAMINED THE SITE, THE PROPOSED PLANS, THE LOCATION OF ALL PROPOSED WORK AND FOR HAVING SATISFIED HIMSELF FROM HIS OWN PERSONAL KNOWLEDGE AND EXPERIENCE OR PROFESSIONAL ADVICE AS TO THE CHARACTER AND LOCATION OF THE SITE, THE NATURE OF EXISTING CONDITIONS, THE LOCATION OF EXISTING UTILITIES AND ANY OTHER CONDITIONS SURROUNDING AND AFFECTING THE WORK, ANY OBSTRUCTIONS, AND ALL OTHER PHYSICAL CHARACTERISTICS OF THE SITE, IN ORDER THAT HE MAY INCLUDE IN HIS PRICE ALL COSTS PERTAINING TO THE WORK AND THEREBY PROVIDE FOR THE SATISFACTORY COMPLETION OF ANY OBJECTS OR OBSTRUCTION WHICH MAY BE ENCOUNTERED IN DOING THE PROPOSED WORK.

5. ALL MEASUREMENTS AND DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD. THE DIMENSIONS SHOWN ARE AS ACCURATE AS THE BASE BUILDING DOCUMENTS PERMIT. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE DRAWINGS - USE DIMENSIONS ONLY. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL. IF DIMENSIONS ARE NOT DESIGNATED ON THE PLANS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THEM WITH THE ARCHITECT.

6. COMPLY AT ALL TIMES WITH REQUIREMENTS OF THE LATEST EDITION OF THE FLORIDA BUILDING CODE, LIFE AND SAFETY CODE (N.F.P.A. 101), AND ALL LOCAL CODES AND ORDINANCES.

7. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT ONE COPY ON REPRODUCIBLE MEDIA AND FOUR (4) HARD COPIES OF ALL REQUIRED SHOP DRAWINGS CALLED FOR ON THE DRAWINGS OR REQUIRED BY BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED SO AS TO CAUSE NO TIME DELAY IN THE CONSTRUCTION SEQUENCE, PRIOR TO ORDERING OF ANY ITEM.

8. PROTECTION: THE CONTRACTOR SHALL PROTECT ADJACENT PARTS OF EXISTING BUILDINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION, AND BE LIABLE FOR SAME.

9. WORKMANSHIP: ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE NEW AND ALL WORKMANSHIP SHALL BE FIRST CLASS FOLLOWING THE MANUFACTURER'S SPECIFICATIONS ALONG WITH THE BEST TRADE PRACTICES AND STANDARDS.

10. ALL WORK TO BE GUARANTEED AGAINST POOR WORKMANSHIP AND DEFECTS.

11. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT (UNLESS OTHERWISE NOTED) REQUIRED FOR THE COMPLETION OF THE JOB IN ACCORDANCE WITH THESE DRAWINGS.

12. CLEAN UP ALL RUBBISH, REFUSE, SCRAP MATERIALS AND DEBRIS CAUSED BY THIS PROJECT AT THE END OF EACH DAY AND INSURE THAT THE SITE OF WORK SHALL PRESENT A NEAT ORDERLY AND WORKMANLIKE APPEARANCE.

13. GENERAL CONTRACTOR SHALL PRESENT THE JOB TO THE OWNER FOR ACCEPTANCE CLEANED AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEEP BROOM CLEAN, CARPETS VACUUMED, FIXTURES WASHED AND ALL LABELS REMOVED.

14. STORE MATERIALS IN A SAFE AND APPROVED LOCATION. COMPLY WITH ALL REGULATIONS GOVERNING THE NEIGHBORHOOD AS TO MINIMIZE INTERRUPTIONS AND/OR INTERFERENCE WITH ANY OF THE SURROUNDING OPERATIONS.

15. ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.

16. ALL WOOD BLOCKING, FRAMING, NAILERS & FINISHES SHALL BE FIRE-RETARDANT TREATED AS REQUIRED BY THE LATEST EDITION OF THE FLORIDA BUILDING CODE FOR THIS TYPE OF CONSTRUCTION.

PROJECT INFORMATION:

SCOPE OF WORK:

- 1. NEW BUILDING CONSTRUCTION OF 8 STORY OPEN PARKING GARAGE AND VANILLA SPACE BUILDOUT FOR FUTURE RETAIL. STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM 4 SPRINKLERS SYSTEMS, EXTERIOR AND INTERIOR FINISHES.
2. NEW SITE WORK, PAVING, DRAINAGE, SITE LIGHTING & LANDSCAPE.

ADDRESS:

321 NEBRASKA STREET HOLLYWOOD, FLORIDA 33019

LEGAL DESCRIPTION:

LOTS 10, 11, 12, 13, 14 AND 15, LESS THE WEST 120 FEET OF LOTS 11 THROUGH 14, BLOCK II OF 'HOLLYWOOD BEACH FIRST ADDITION' ACCORDING TO PLAT THEREOF, AS RECORDED IN PLAT BOOK I, PAGE 31, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, FLORIDA.

BUILDING CODES:

FLORIDA BUILDING CODE, 2010 ED (WITH BROWARD COUNTY AMENDMENTS 2012) FLORIDA BUILDING CODE, ACCESSIBILITY, 2010 ED FAIR HOUSING ACT DESIGN MANUAL NFPA LIFE SAFETY CODE, 2010 ED FLORIDA FIRE PREVENTION CODE, 5TH EDITION (2012)

JURISDICTION:

CITY OF HOLLYWOOD BROWARD COUNTY STATE OF FLORIDA

SITE INFORMATION:

1. ZONING:

CODE PROVISION:

GU

2. LAND USE DESIGNATION:

GOVERNMENT

3. LOT AREA:

22,927 SF. (0.53 ACRES)

4. PARKING SPACES:

316 SPACES PROVIDED (6 STANDARD HANDICAP) (2 VAN HANDICAP)

GREEN BUILDING CERTIFICATIONS:

GREEN PARKING COUNCIL - GREEN GARAGE CERTIFICATION

BUILDING INFORMATION:

1. EXISTING USE:

CODE PROVISION:

VACANT FIRE STATION

CODE REFERENCES:

S-2 4 M NEW OPEN GARAGE / RETAIL FBC 2010 - 309.4.311 & NFPA 101 - CH. 42 & 36

2. PROPOSED USE:

S-2 4 M NEW OPEN GARAGE / RETAIL

3. TYPE OF CONSTRUCTION:

TYPE II-B (NEW 8 STORY - SPRINKLED)

FBC 2010 - TABLE 406.3.5 & 503 (NOTE 1)

4. BUILDING AREA:

140,065 SQ. FT.

FBC 2010 - TABLE 503

5. FLOOR AREAS:

GROUND FLOOR: = 63 SF
FIRST FLOOR: = 12,112 SF
SECOND FLOOR: = 18,919 SF
THIRD FLOOR: = 18,919 SF
FOURTH FLOOR: = 18,919 SF
FIFTH FLOOR: = 18,919 SF
SIXTH FLOOR: = 18,919 SF
SEVENTH FLOOR: = 14,258 SF
ROOF LEVEL: = 140,065 SF (TOTAL)

6. FIRE ALARM SYSTEM:

REQUIRED

NFPA 101 - 36.4.5.4

7. FIRE SPRINKLER SYSTEM:

REQUIRED

NFPA 101 - 36.4.5.5

8. FIRE PROTECTION:

OCCUPANCY SEPARATION

F.B.C. 508.4 & NFPA 101 36.13.2

OCCUPANCIES

A. STRUCTURAL FRAME 0-HRS
B. INTERIOR BEARING WALLS 0+HRS
C. EXTERIOR BEARING WALLS 1-HRS
D. INTERIOR NON-BEARING WALLS 0-HRS
E. EXTERIOR NON-BEARING WALLS 1-HRS
F. FLOOR CONSTRUCTION 0-HRS
G. ROOF CONSTRUCTION 0-HRS
H. OCCUPANCY SEPARATION 1-HR
I. VERTICAL SHAFTS/ELEVATOR 1-HRS
J. TRASH DUMPSTER 1-HRS
K. ELEVATOR MACHINE ROOM DOOR 3/4-HRS
L. MECHANICAL/ELEC. ROOM 1-HRS

PROVIDED (SPRINKLED)

2-HRS
2-HRS
2-HRS
2-HRS
2-HRS
2-HRS
2-HRS
2-HRS
2-HRS
2-HRS
1 1/2-HRS
2-HRS

10. INTERIOR FINISHES REQUIREMENTS (NEW RETAIL - SPRINKLED):

NFPA 101 - TABLE A10.2.2

PROVIDED

CLASS 'A'

A. INTERIOR WALL & CEILING FINISH MATERIAL (AT SPRINKLERED BUILDING)

CLASS 'A', CLASS 'B' NFPA 101, 36.3.3.2 FBC TABLE 803.5

B. INTERIOR FLOOR FINISH (AT SPRINKLERED BUILDING)

CLASS 'I', CLASS 'B' NFPA 101, 36.3.3.3

CLASS 'I'

NOTE:

NOT WITHSTANDING INFORMATION PROVIDED HEREIN, ALL WORK PERFORMED BY THE G.C. AND THE SUB-CONTRACTORS UNDER THIS SET OF CONSTRUCTION DOCUMENTS AND BUILDING PERMIT MUST BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FLORIDA BUILDING CODE, FLORIDA FIRE PREVENTION CODE, AND ALL OTHER CODES AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT.

EXTERIOR WALL FIRE RESISTANCE RATING

BASED ON DISTANCE F.B.C. TABLE 602 GROUP 5-2, TYPE OF CONSTRUCTION II-B

Table with columns: HEIGHT, REQUIRED IHRs, PROPOSED IHRs. Rows: < 5', ≥ 5' < 10', ≥ 10' < 20', ≥ 20' < 30', > 30'

FIRE SPRINKLERS

FULLY SPRINKLERED BUILDING

FIRE EXTINGUISHERS

PROVIDE & INSTALL ONE (1) FIRE EXTINGUISHER TYPE 2A-10BC, FOR EVERY 2500 SF OF AREA TAGGED AND WALL MOUNTED ON BRACKETS OR CABINETS AT 48" AFF. SEE LIFE-SAFETY FLOOR PLAN FOR PROPOSED FIRE EXTINGUISHER LOCATIONS.

BUILDING INSULATION

- 1. EXTERIOR WALL ASSEMBLY @ (CONC. BLOCK WALL) R + 42
2. ROOF ASSEMBLY R + 30
3. GLASS SHADING COEFFICIENT (SEE DOOR/WINDOW SCHEDULE)
4. GLASS U-VALUE (SEE DOOR/WINDOW SCHEDULE)

SHOP DRAWING SCHEDULE

THE FOLLOWING IS A SCHEDULE OF THE 'ENGINEERED' SHOP DRAWINGS TO BE SUBMITTED BY THE GENERAL CONTRACTOR FOR THE REVIEW & APPROVAL OF THE ARCHITECT AND BUILDING DEPARTMENT. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE OTHER REQUIRED SHOP DRAWINGS REQUIRED BY THE BUILDING DEPARTMENT AND ANY OTHER AUTHORITIES HAVING JURISDICTION PRIOR TO FABRICATION.

- A. HANDRAILS AND GUARDRAILS
B. FIRE ALARM
C. FIRE SPRINKLER SYSTEM
D. STOREFRONT
E. DOORS AND DOOR HARDWARE
F. WINDOWS
G. FIRE & EXTINGUISHERS/CABINETS
H. SIGNS
I. EXTERIOR LIGHTING
J. EXIT AND EMERGENCY LIGHT FIXTURES
K. ELEVATOR
L. ELEVATOR MACHINE ROOM
M. ROOF CANOPY
N. ROOFING MEMBRANE SYSTEM
O. STRUCTURAL FLOOR AND ROOF SYSTEMS

OCCUPANT LOAD CALCS:

THE TOTAL TENANT AREA OCCUPANT LOAD CALCULATIONS ARE AS FOLLOWS: (AS PER F.B.C. 2010 TABLE 1004.1.1 & FPC 2010 TABLE 7.3.1.2)

Table with columns: AREA OCCUPANCY, SQUARE FOOTAGE (GROSS), OCCUPANT LOAD. Rows: FIRST FLOOR (RETAIL, STORAGE, GARAGE, EQUIP. ROOMS), 2ND FLOOR (GARAGE, EQUIP. ROOMS), 3RD FLOOR, 4TH FLOOR, 5TH FLOOR, 6TH FLOOR, 7TH FLOOR, ROOF FLOOR, TOTAL OCCUPANT LOAD= 831 OCCUPANTS

Table with columns: FIRE FLOW INFORMATION, CODE PROVISION, CODE REFERENCES. Rows: TYPE OF CONSTRUCTION, FIRE FLOW AREA, MINIMUM REQUIRED FIRE FLOW.

PLUMBING FIXTURE CALCULATION:

RETAIL - GROUP M (FBC-P 2010 403.1). FOR TOTAL OCCUPANT LOAD OF '112 OCCUPANTS' (56 MEN & 56 WOMEN).

Table for plumbing fixture calculation with columns: FIXTURES (WATER COOLER, W/C, URINAL, LAV), MALE/FEMALE (1 per 500, 1 per 750, 1 per 1000), TOTAL REQUIRED, TOTAL PROVIDED.



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PROJECT TITLE NEBRASKA GARAGE

SHEET TITLE PROJECT INFO

REVISIONS

Table with columns: No., DATE, DESCRIPTION. Row 1: 1, 10/02/15, FINAL TAC COMMENTS (NEW SHEET)

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PROJECT No.: 14221 DATE: 01-27-15 DRAWN BY: GMW CHECKED BY: JBK

SHEET

T-2



1 AERIAL

SCALE: NTS



LEGAL DESCRIPTION

LOTS 10, 11, 12, 13, 14 AND 15, LESS THE WEST 12.81 FEET OF LOTS 11 THROUGH 14, BLOCK 11 OF "HOLLYWOOD BEACH FIRST ADDITION" ACCORDING TO PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 31, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, FLORIDA.

PROPERTY ADDRESSES

327 NEBRASKA STREET
HOLLYWOOD, FL 33019

SITE INFORMATION

EXISTING ZONING: GU – GOVERNMENT
EXISTING LAND USE: VACANT FIRE STATION
NET LOT AREA: 22,922.0 SQUARE FEET (0.53 ACRES)

SETBACKS:

THERE ARE NO REQUIRED SETBACKS PROVIDED (FOR INFORMATIONAL PURPOSES ONLY)

FRONT 5'-0"
SIDE STREET (NEVADA) 5'-2"
SIDE STREET (NEBRASKA) 5'-4"
REAR 0'-2"

MINIMUM PLOT SIZE:

THERE ARE NO MINIMUM PLOT SIZE REQUIRED

TOTAL SITE COVERAGE:

TO BE DETERMINED BY THE CITY COMMISSION UPON RECOMMENDATION OF THE PLANNING AND DEVELOPMENT BOARD.

PERVIOUS /IMPERVIOUS AREA:

PERVIOUS AREA:
GROUND LEVEL 1223 S.F. (5.33%)
ROOF GARDEN (THIRD FLOOR) 659 S.F.
IMPERVIOUS AREA:
INCLUDING PAVERS 21699 S.F. (94.67%)

BUILDING SUMMARY

BUILDING HEIGHT:
THERE ARE NO MAXIMUM BUILDING HEIGHTS (ADJACENT ZONING BRT-25-C & BRT-25-A1A-C: 50'-0" MAX ALLOWED) PROVIDED 76'-0"

BUILDING AREAS:

RETAIL	3,513 S.F.
STORAGE	1,975 S.F.
FIRE PUMP ROOM	290 S.F.
ELECTRIC ROOMS	597 S.F.
CCTV ROOM	80 S.F.
TRASH ROOM	63 S.F.
IRRIGATION PUMP ROOM	84 S.F.
GARAGE AREA	129,372 S.F.
ELEVATORS	1,591 S.F.
STAIRWELL	2,500 S.F.
TOTAL	140,065 S.F.

NUMBER OF PARKING SPACES PROVIDED:

1ST FLOOR	28 SPACES
2ND FLOOR	41 SPACES
3RD FLOOR	46 SPACES
4TH FLOOR	46 SPACES
5TH FLOOR	46 SPACES
6TH FLOOR	46 SPACES
7TH FLOOR	46 SPACES
ROOF	17 SPACES
TOTAL	316 SPACES

TYPES OF PARKING SPACES PROVIDED:

STANDARD SPACES	308 SPACES
HC REGULAR ACCESSIBLE SPACES	6 SPACES
HC VAN ACCESSIBLE SPACES	2 SPACES
TOTAL	316 SPACES

ALLOCATED PARKING SPACES PROVIDED:

RETAIL	3,350 S.F./ 250 S.F. = 14 SPACES
STORAGE	1,975 S.F./ 1000 S.F. = 2 SPACES

2 SITE DATA

VARIANCES

	<u>REQUIRED</u>	<u>PROVIDED</u>
WHEELS STOPS	YES	NO
BUILDING HEIGHT	50'-0" MAX PER ADJACENT ZONING BRT-25-C & BRT-25-A1A-C	76'-0"
SIGNAGE	1 SQ FT. PER LINEAR FT. OF SIGNAGE BLDG FACE	
	NORTH FACE = 124 S.F. ALLOWED	523.8 S.F.
	SOUTH FACE = 126 S.F. ALLOWED	518.6 S.F.

SPECIAL EXCEPTION

PARKING GARAGE IN A GU- GOVERNMENT DISTRICT

2 SITE DATA CONT'D



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PROJECT TITLE
NEBRASKA GARAGE

SHEET TITLE
SITE DATA

REVISIONS

No.	DATE	DESCRIPTION
1	10/02/15	FINAL TAC COMMENTS

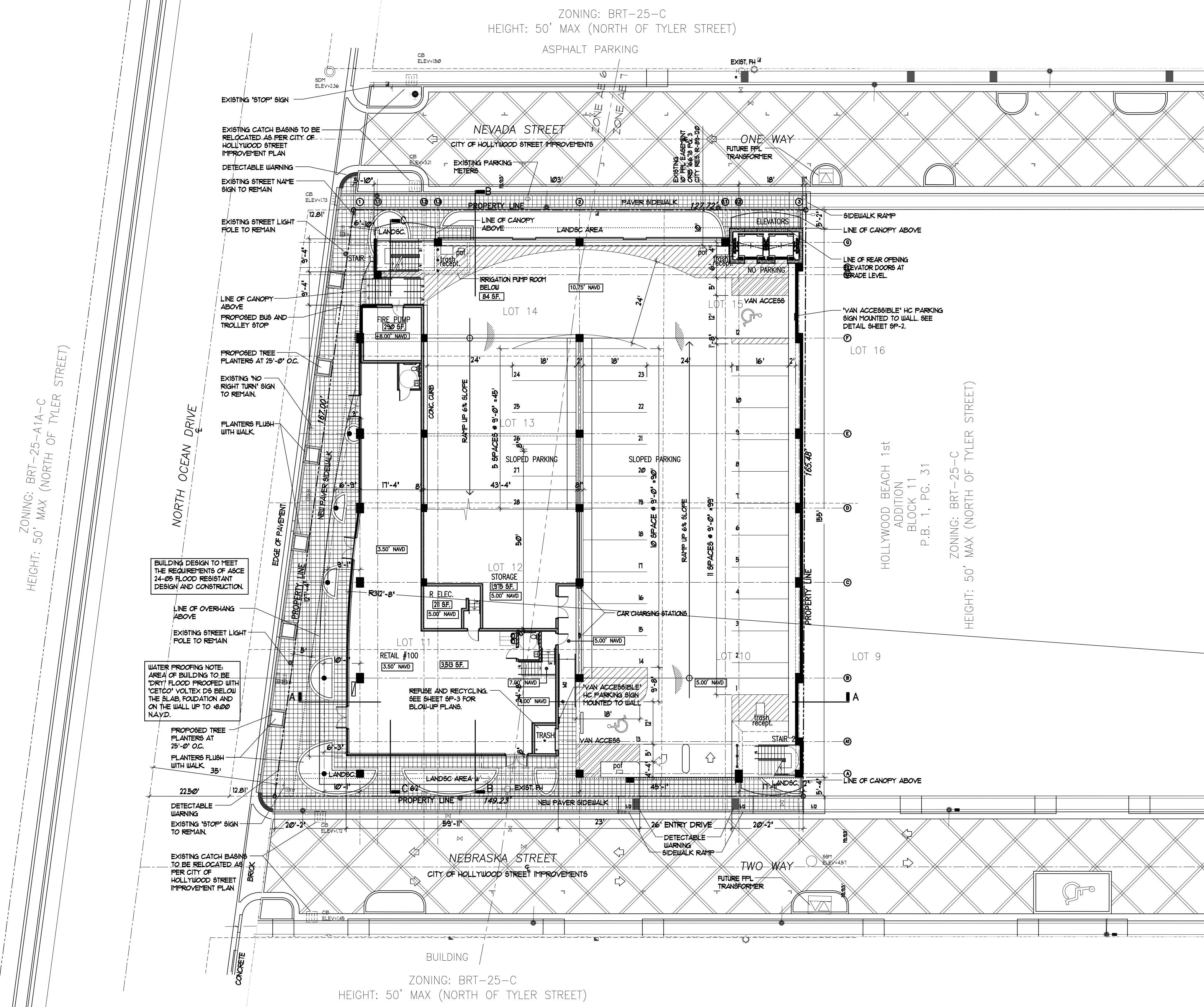
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PROJECT No.: 14221
DATE: 01-27-15
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

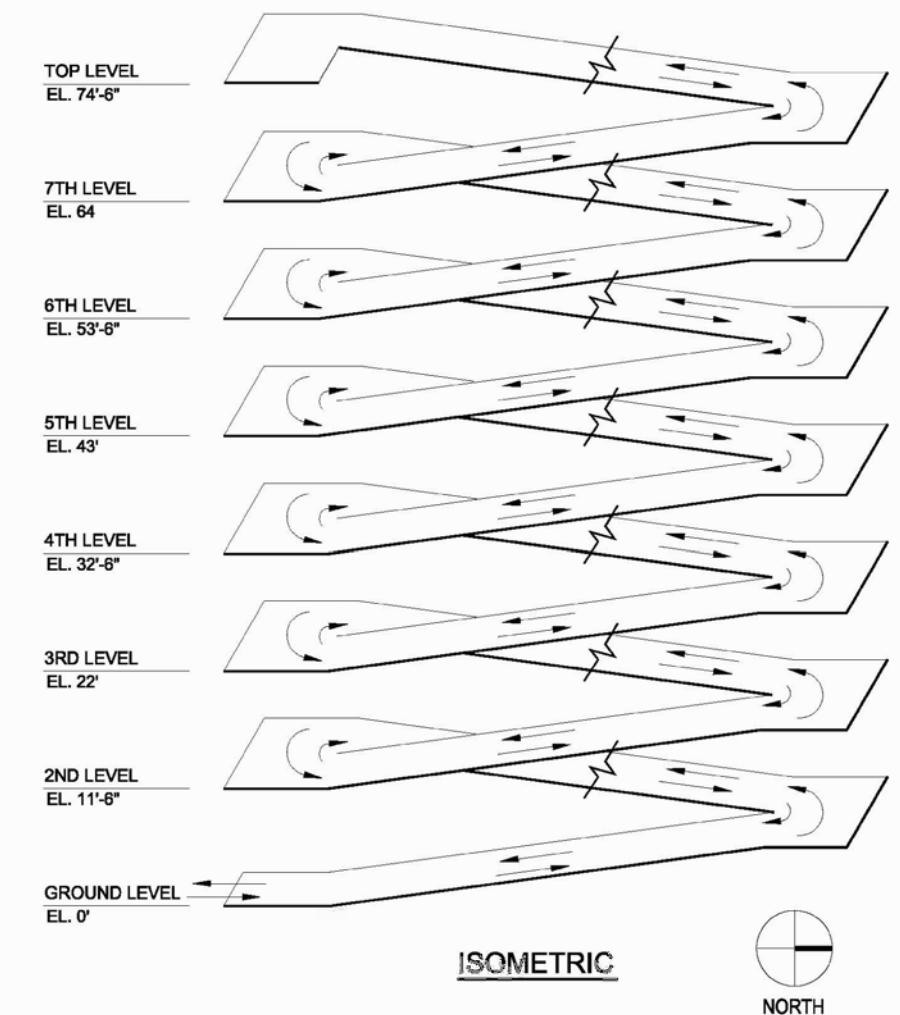
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1 SITE PLAN

SCALE: 1/16" = 1'-0"



2 GARAGE ISOMETRIC

SCALE: 1" = 20'-0"

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C ZONING DISTRICT.

NOTE: BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.

NOTE: ALL MACHINE ROOMS, ELECTRICAL, MECHANICAL AND OTHER EQUIPMENT WILL BE ABOVE THE REQUIRED FEMA BASE FLOOD 6.0'

FEMA NOTE:
1. INFORMATION PROVIDED IS BASED ON NEW FIRM MAPS DATED 08/18/2014.
2. REFERENCE TO FEMA ELEVATIONS IS SHOWN PER THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
3. PROPERTY IS LOCATED IN FIRM PANEL 12010C0500H UNDER ZONE 'AE' WITH ELEVATIONS +6.00' + 11.00' NAVD

SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.

FIRE ALARM NOTE:
A FIRE ALARM SYSTEM IS REQUIRED AS PER FFF.C. 2010 NFPA 101

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

TURTLE LIGHTING ORDINANCE
PROJECT SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPTER 108 LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION OF THE CITY OF HOLLYWOOD CODE OF ORDINANCE.

GREEN BUILDING CERTIFICATION TO BE ACHIEVED.

ART INSTALLATION PANEL NOTE:
DESIGNS FOR ART INSTALLATION PANEL SHALL BE SUBMITTED AT A LATER DATE FOR APPROVAL FROM BOARD/COMMISSION

CLASSIFICATION OF STRUCTURE IN FLOOD HAZARD AREA. PER ASCE 24-05:

STRUCTURE CATEGORY	CATEGORY II	
ELEVATION BELOW WHICH FLOOD-DAMAGE-RESISTANT MATERIALS SHALL BE USED (TABLE 5-1)	BFE +1 OR DFE WHICHEVER IS HIGHER	+8.00' NAVD.
DRY FLOOD PROOFING OF NON-RESIDENTIAL STRUCTURES (TABLE 6-1)	BFE +1 OR DFE WHICHEVER IS HIGHER	+8.00' NAVD.

NOTE:
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PROJECT TITLE
NEBRASKA GARAGE

SHEET TITLE
SITE PLAN

REVISIONS

No.	DATE	DESCRIPTION
1	10/02/15	FINAL TAC COMMENTS

PROJECT No.: 14221
DATE: 01-27-15
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

SP-1

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ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH FOLLOWING:

SLOPE AND RISE
THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RAMP SHALL BE 30 IN.

CLEAR WIDTH
1. MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 44" CLEAR.
2. RAMP WIDTH THAT IS PART OF A REQUIRED MEANS OF EGRESS SHALL BE NOT LESS THAN 44 INCHES CLEAR.

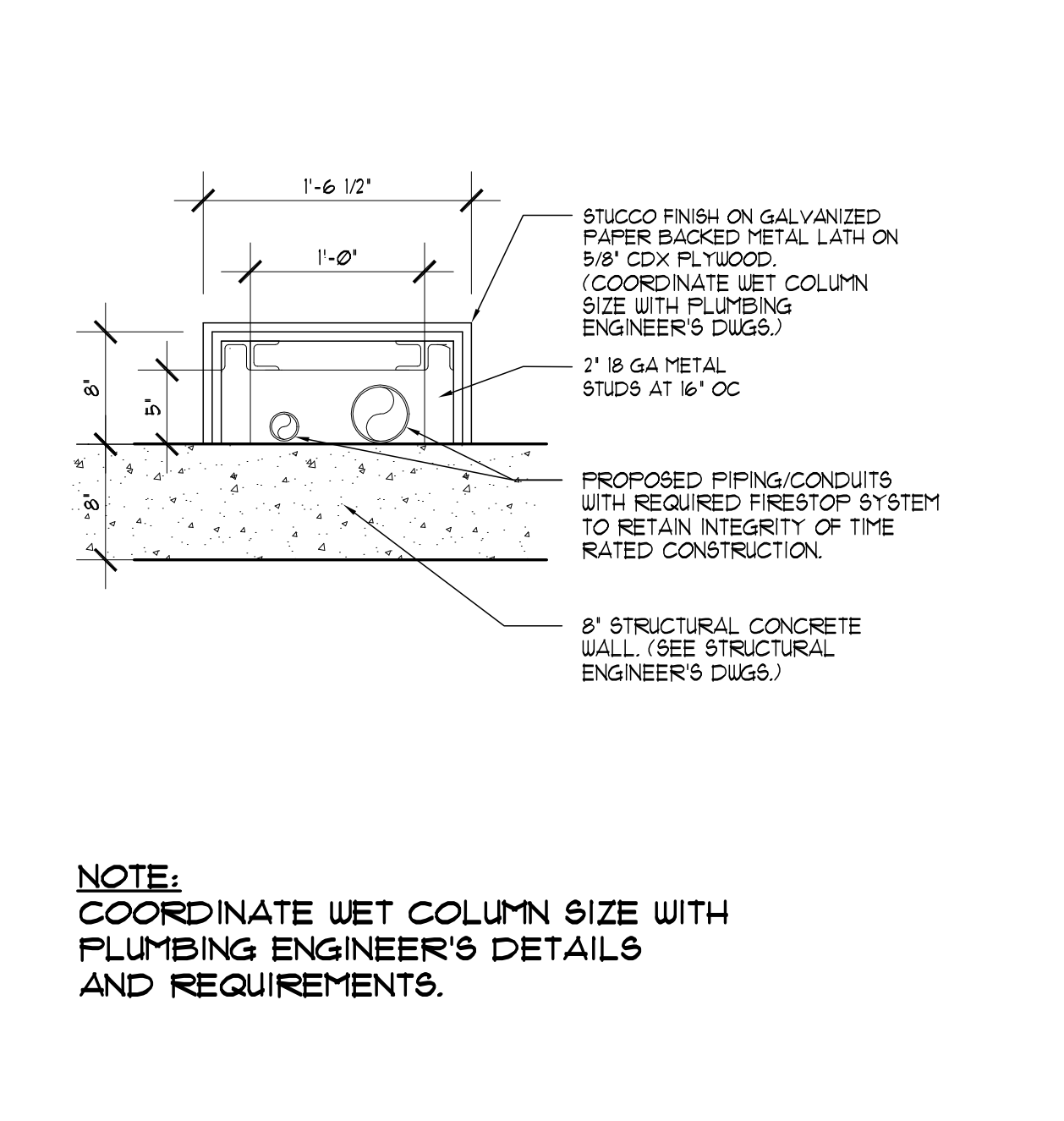
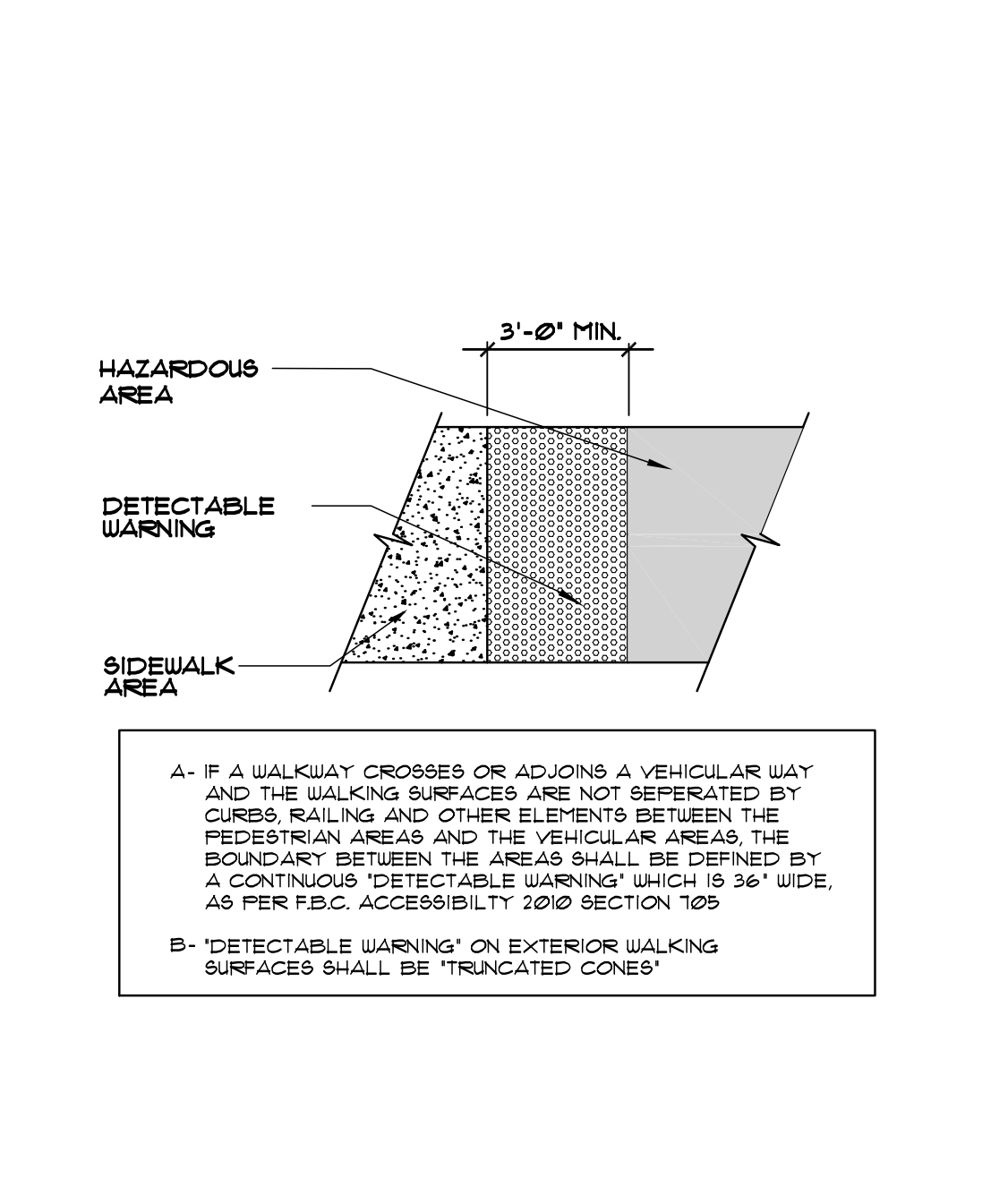
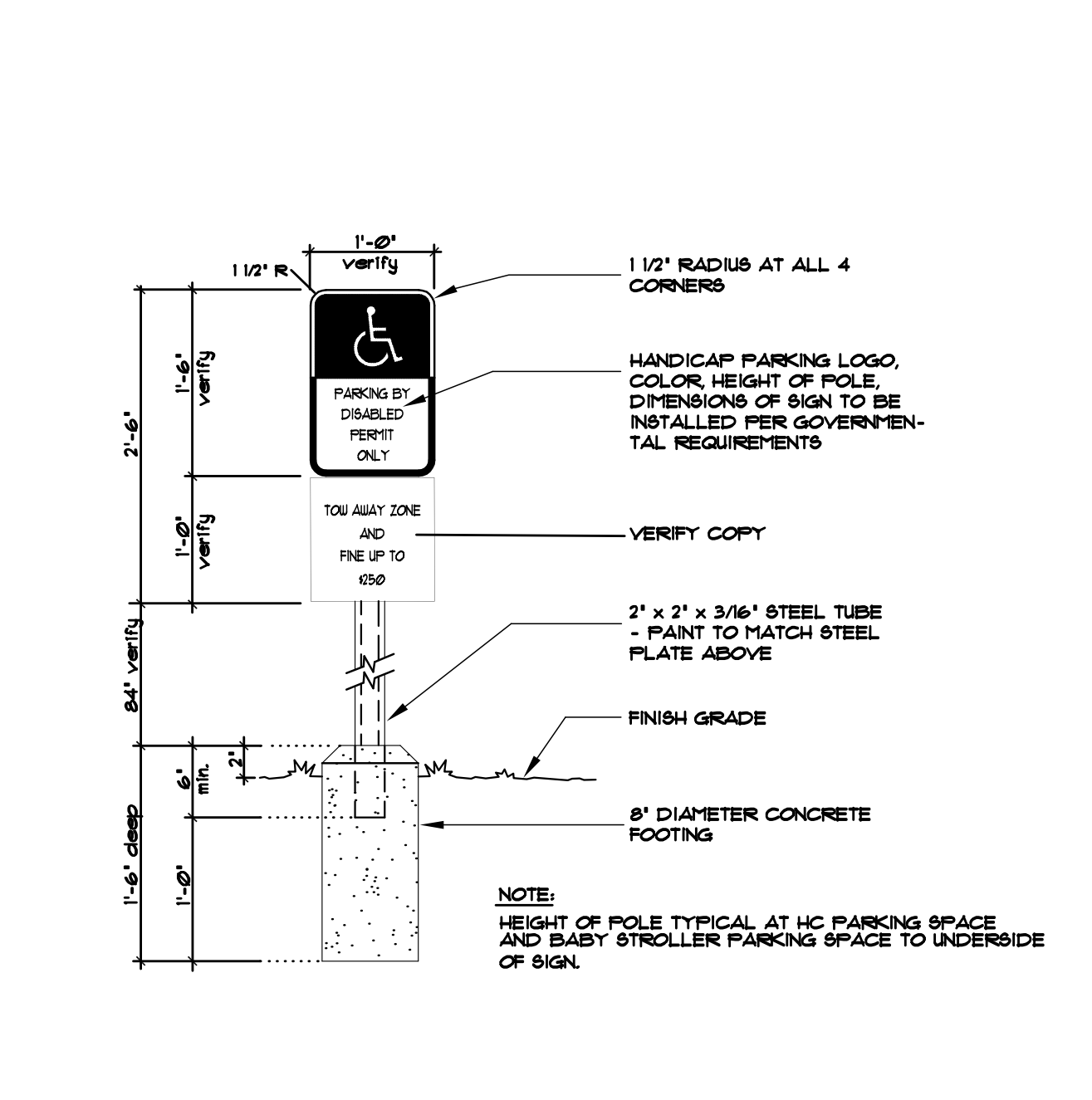
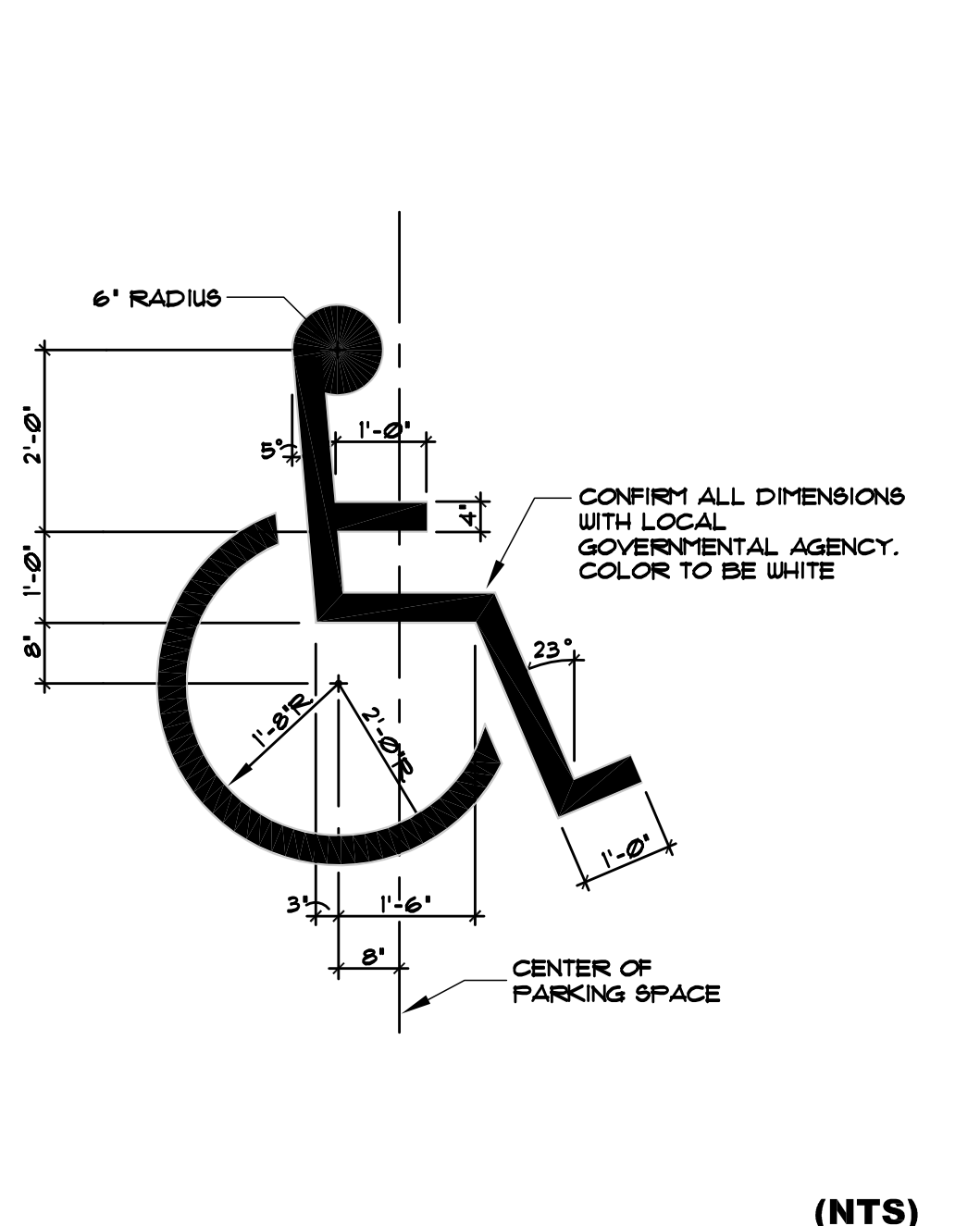
LANDINGS
RAMP SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP AND EACH RAMP RUN. LANDINGS SHALL HAVE THE FOLLOWING FEATURES:
1. THE LANDINGS SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.
2. IF RAMP CHANGES DIRECTION AT A LANDING, THE MINIMUM LANDING SIZE SHALL BE 60 INCHES BY 60 INCHES.
3. IF A DOORWAY IS LOCATED AT A LANDING, THEN THE AREA IN FRONT OF THE DOORWAY SHALL COMPLY WITH 2010 ADA CHAPTER 2010 ACCESSIBILITY REQUIREMENTS.

HANDRAILS
- IF A RAMP RUN HAS A RISE GREATER THAN 6 IN OR A HORIZONTAL PROJECTION GREATER THAN 12 IN THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS OR ADJACENT TO SEATING IN ASSEMBLY AREAS. HANDRAILS SHALL COMPLY WITH 4.26 OF THE ADA CODE AND SHALL HAVE THE FOLLOWING FEATURES:
1. HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP SEGMENTS, THE INSIDE HANDRAIL ON SWITCHBACK OR DOGLEG RAMPS SHALL ALWAYS BE CONTINUOUS.
2. HANDRAILS ON RAMPS WHICH ARE NOT CONTINUOUS SHALL EXTEND NOT LESS THAN 18" BEYOND THE SLOPED SEGMENT AT BOTH THE TOP AND BOTTOM AND SHALL BE PARALLEL TO THE FLOOR OR GROUND SURFACE.
3. THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 1/2 INCH.
4. GRIPPING SURFACES SHALL BE CONTINUOUS.
5. TOP OF HANDRAIL GRIPPING SURFACES SHALL BE MOUNTED BETWEEN 34 IN AND 38 IN ABOVE RAMP SURFACES.
6. ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST.
7. HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

CROSS SLOPE SURFACES
- THE CROSS SLOPE OR RAMP SURFACES SHALL BE NO GREATER THAN 1:50. RAMP SURFACES SHALL COMPLY WITH CHAPTER 4 OF THE 2010 ACCESSIBILITY CODE.

EDGE PROTECTION
RAMP AND LANDINGS WITH DROP-OFFS SHALL HAVE CURBS, WALLS, RAILINGS OR PROTECTING SURFACES THAT PREVENT PEOPLE FROM SLIPPING OFF THE RAMP. CURBS SHALL BE A MINIMUM OF 2 IN HIGH.

OUTDOOR CONDITIONS
OUTDOOR RAMPS AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.



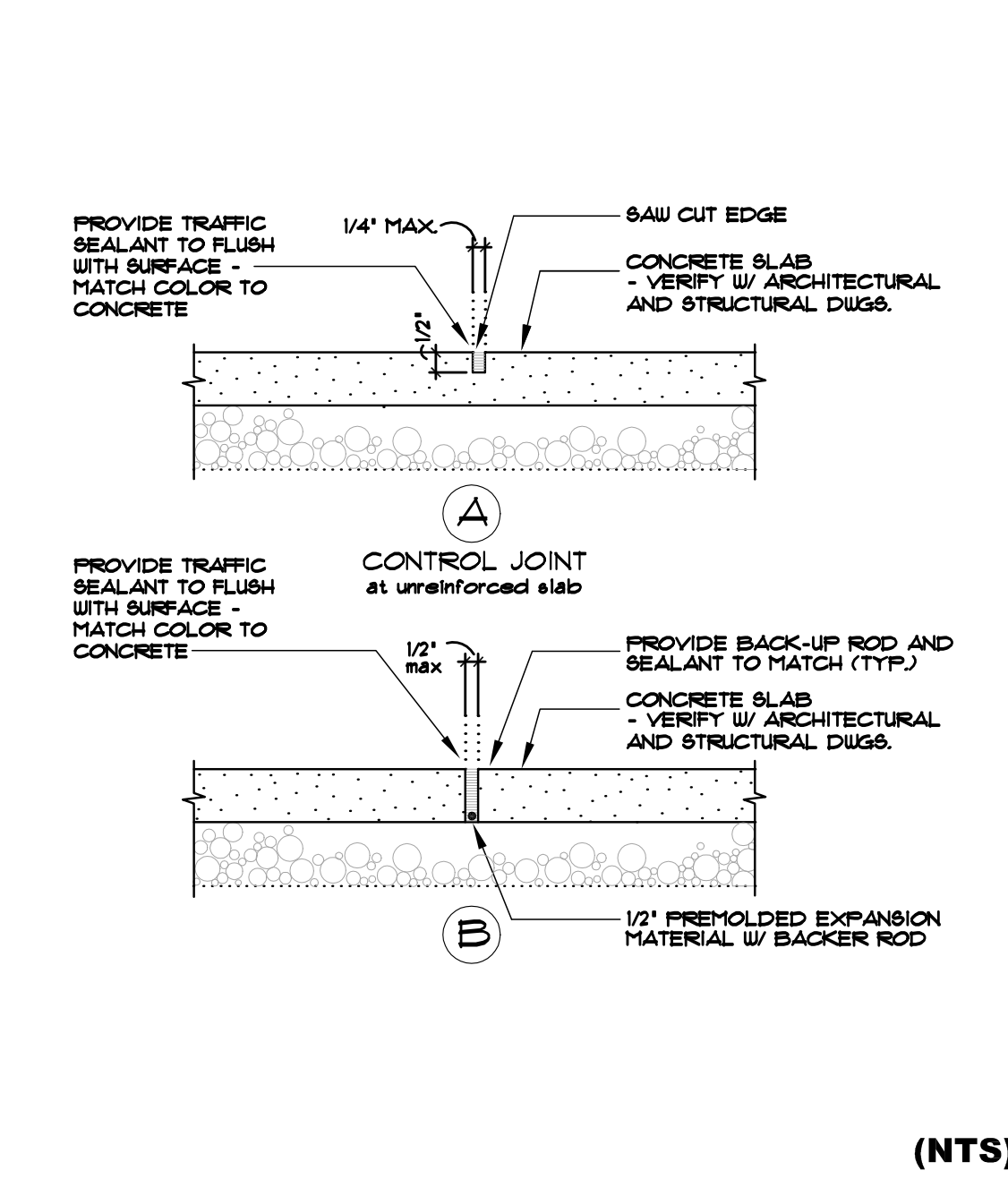
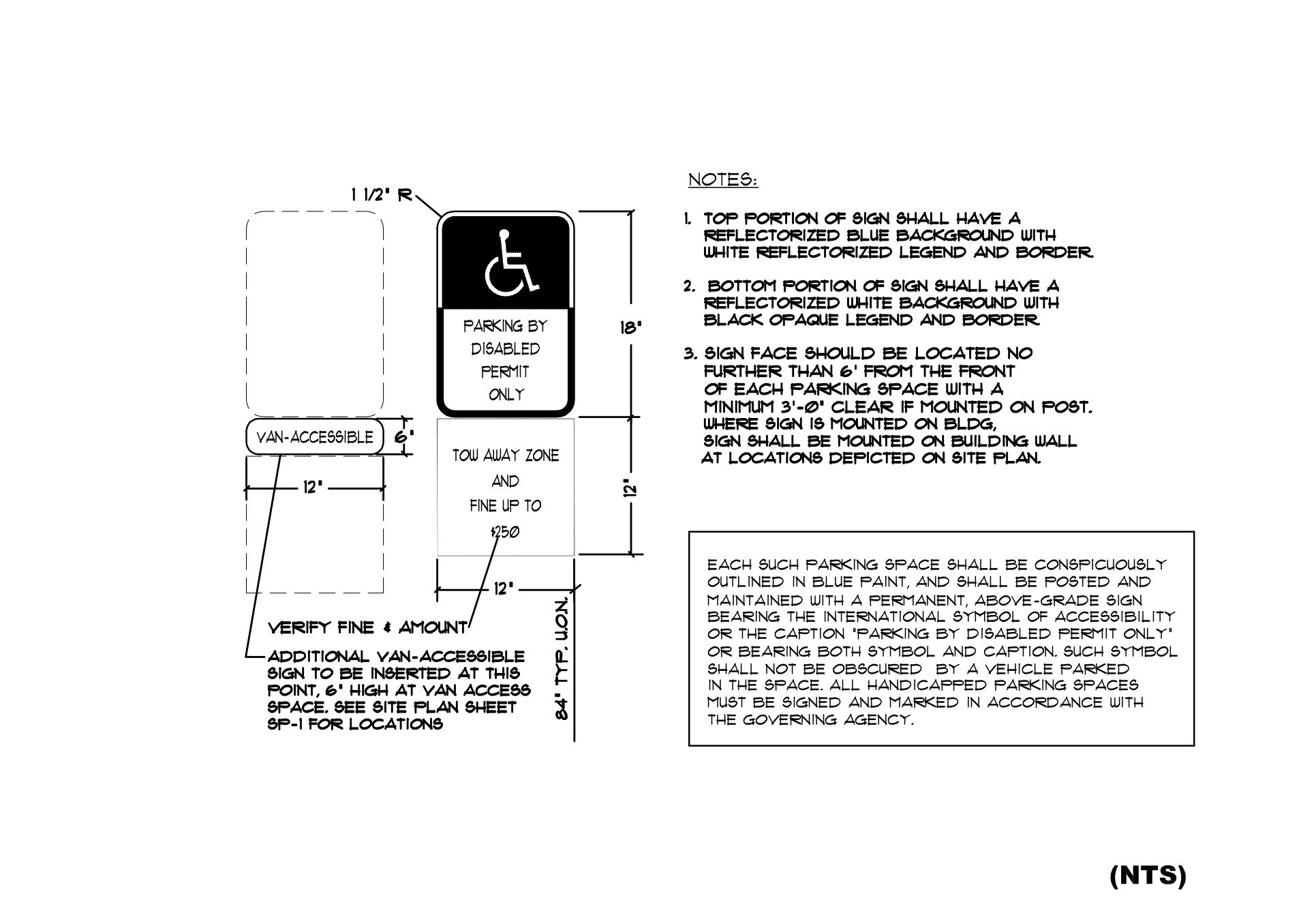
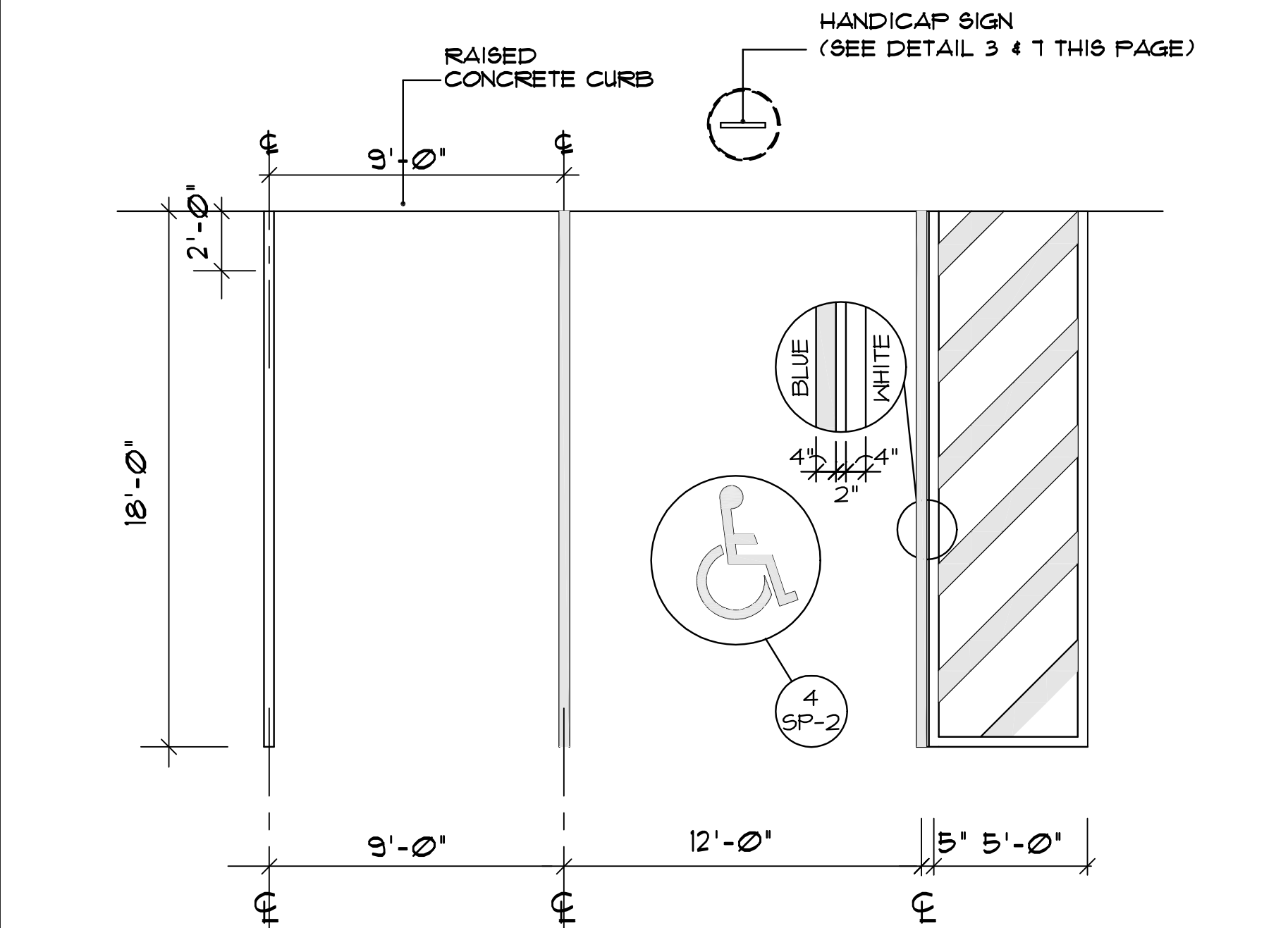
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2 PAINTED H.C. SPACE SYMBOL (NTS)

3 HANDICAPPED PARKING SIGN (NTS)

4 DETECTABLE WARNING

5 WET COLUMN DETAIL

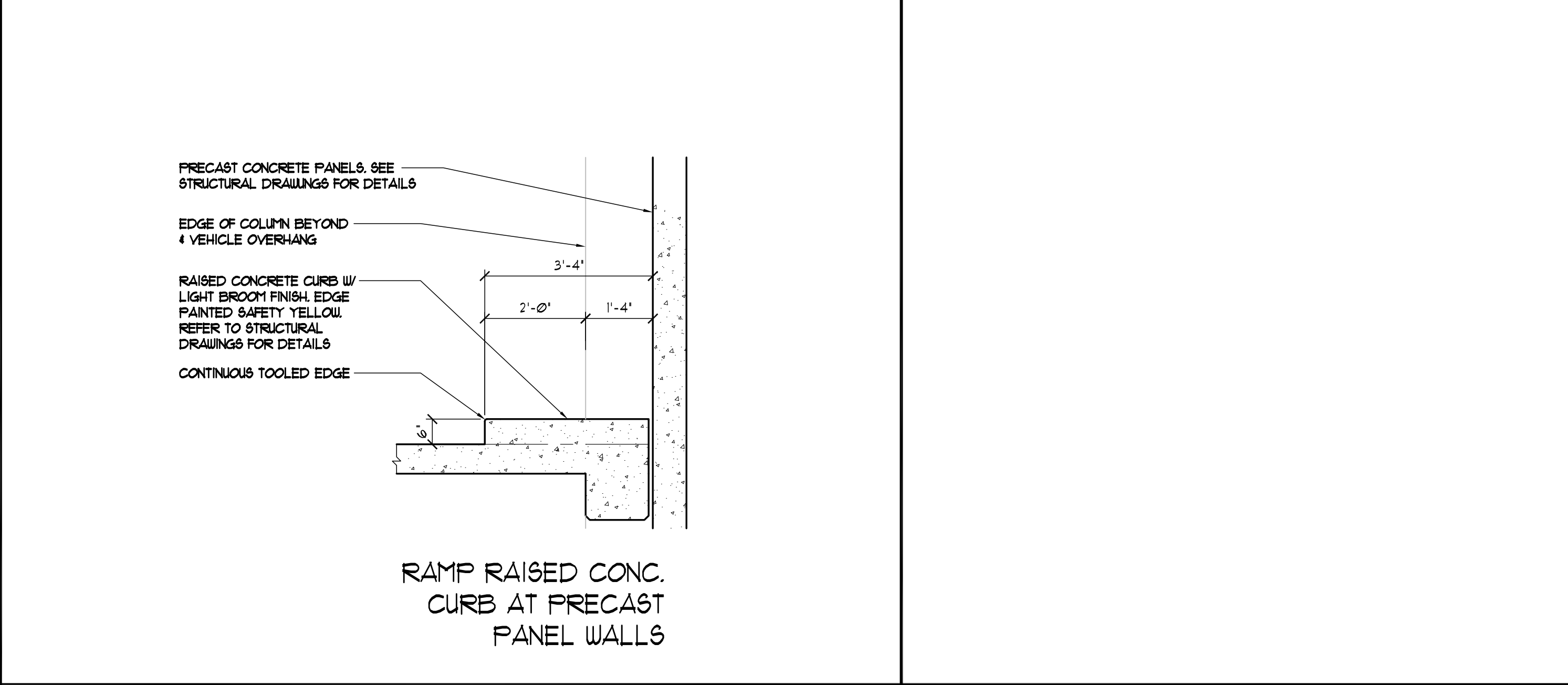
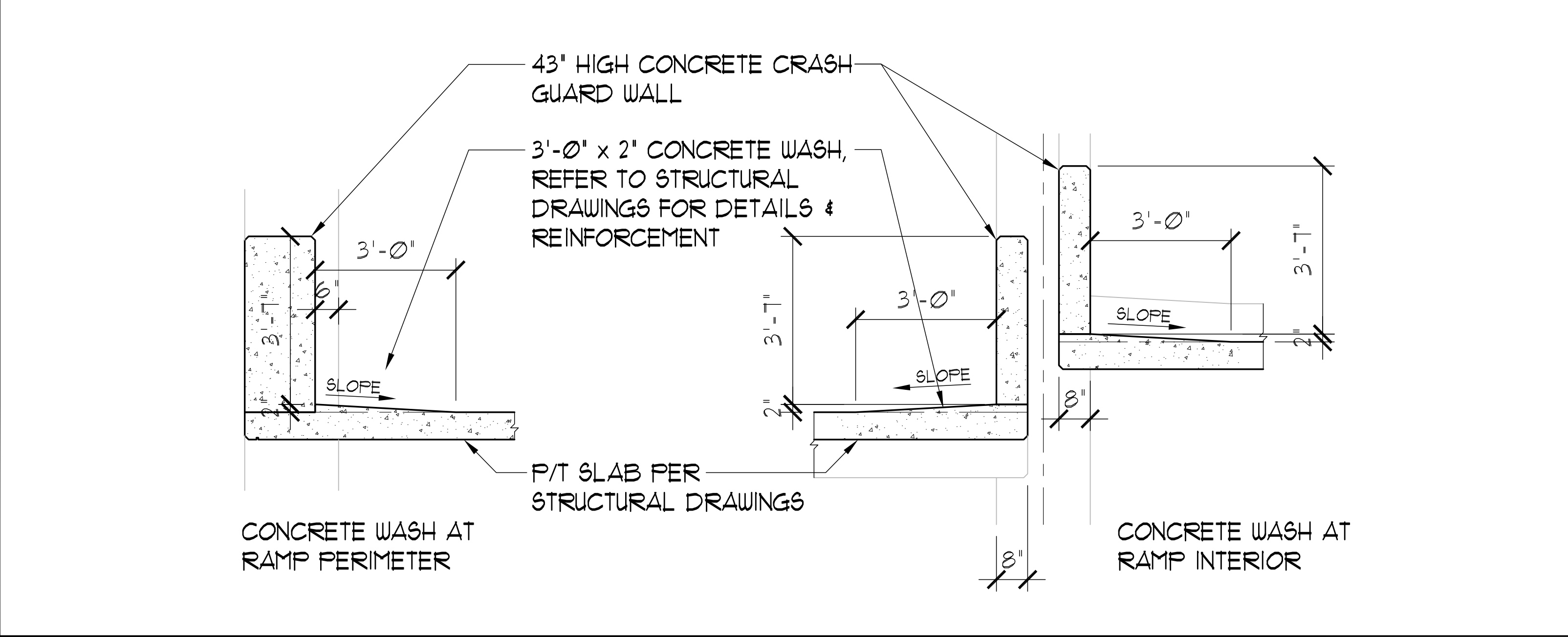


6 TYP. PARKING SPACE DETAILS (NTS)

7 HANDICAPPED SIGNAGE DETAIL (NTS)

8 TYP. CONC. SLAB JOINTS (NTS)

9 NOT USED



10 CONCRETE WASH DETAIL (NTS)

11 RAISED CURB DETAIL @ RAMP (NTS)

Kaller

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813.886.5800 Ph.
813.886.5822 Fax
EE-0003840

PROJECT TITLE
NEBRASKA GARAGE

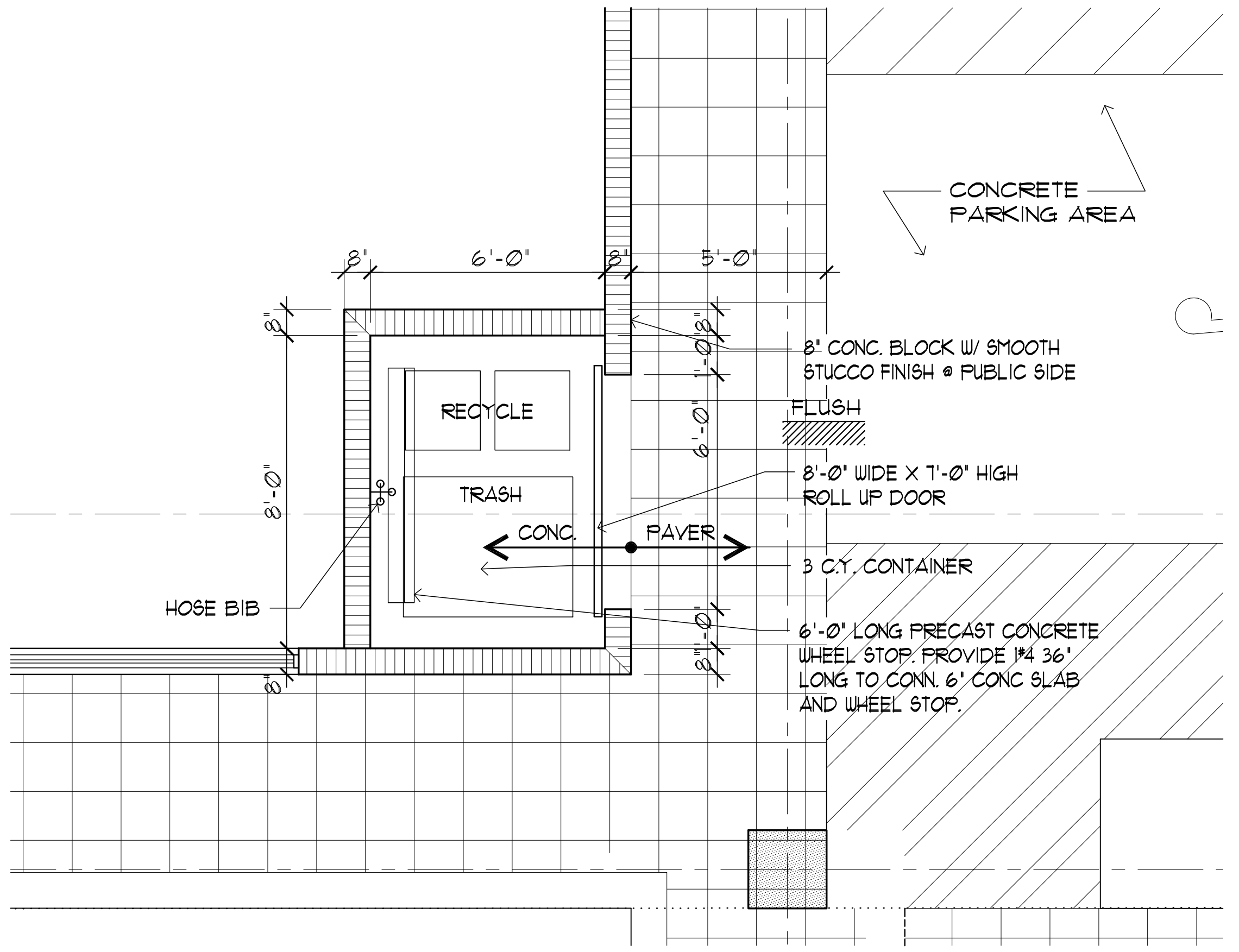
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SITE DETAILS

REVISIONS

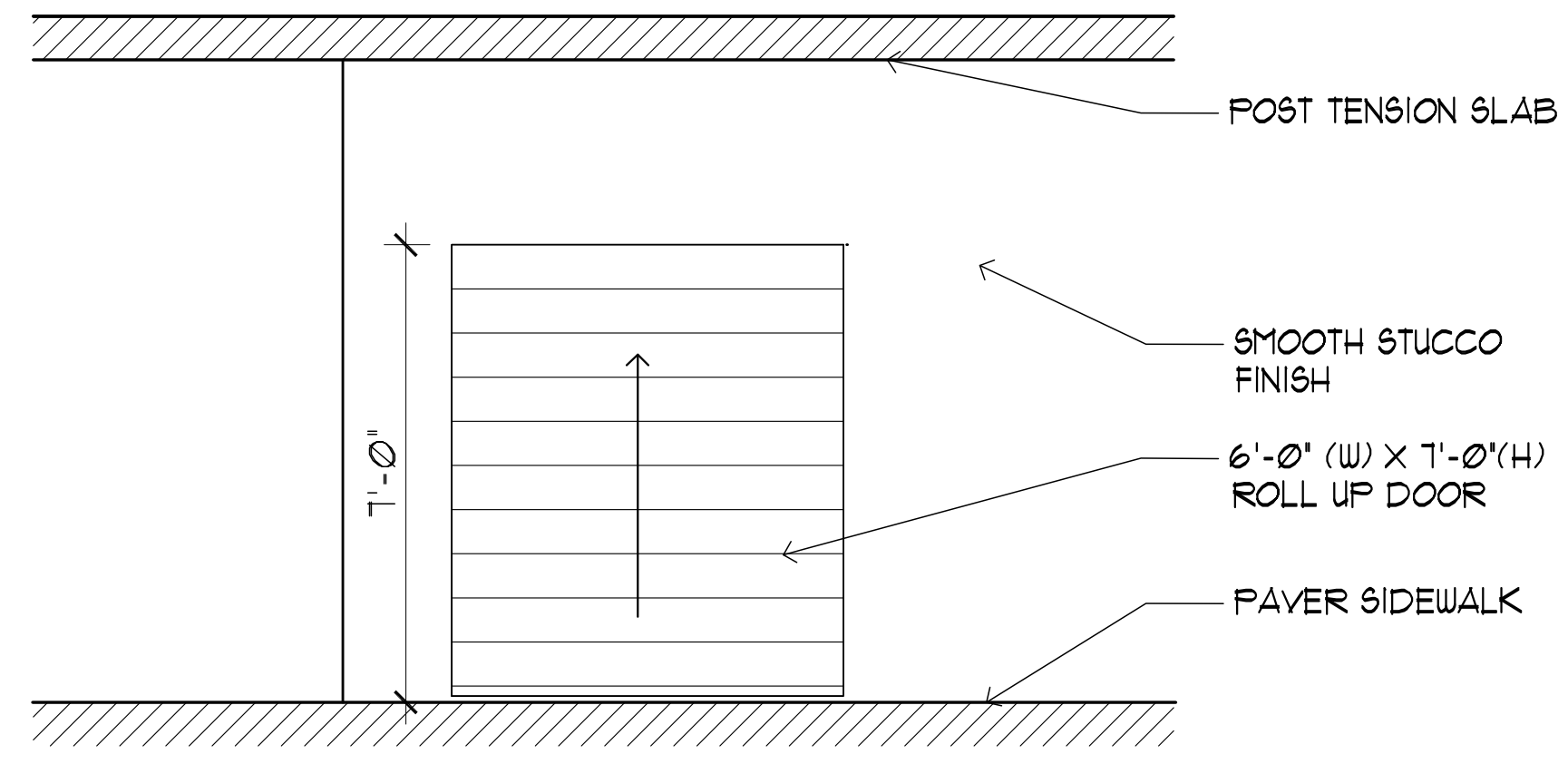
No.	DATE	DESCRIPTION
1	10/02/15	FINAL TAC COMMENTS

PROJECT No.: 14221
DATE: 01-27-15
DRAWN BY: GMV
CHECKED BY: JMK

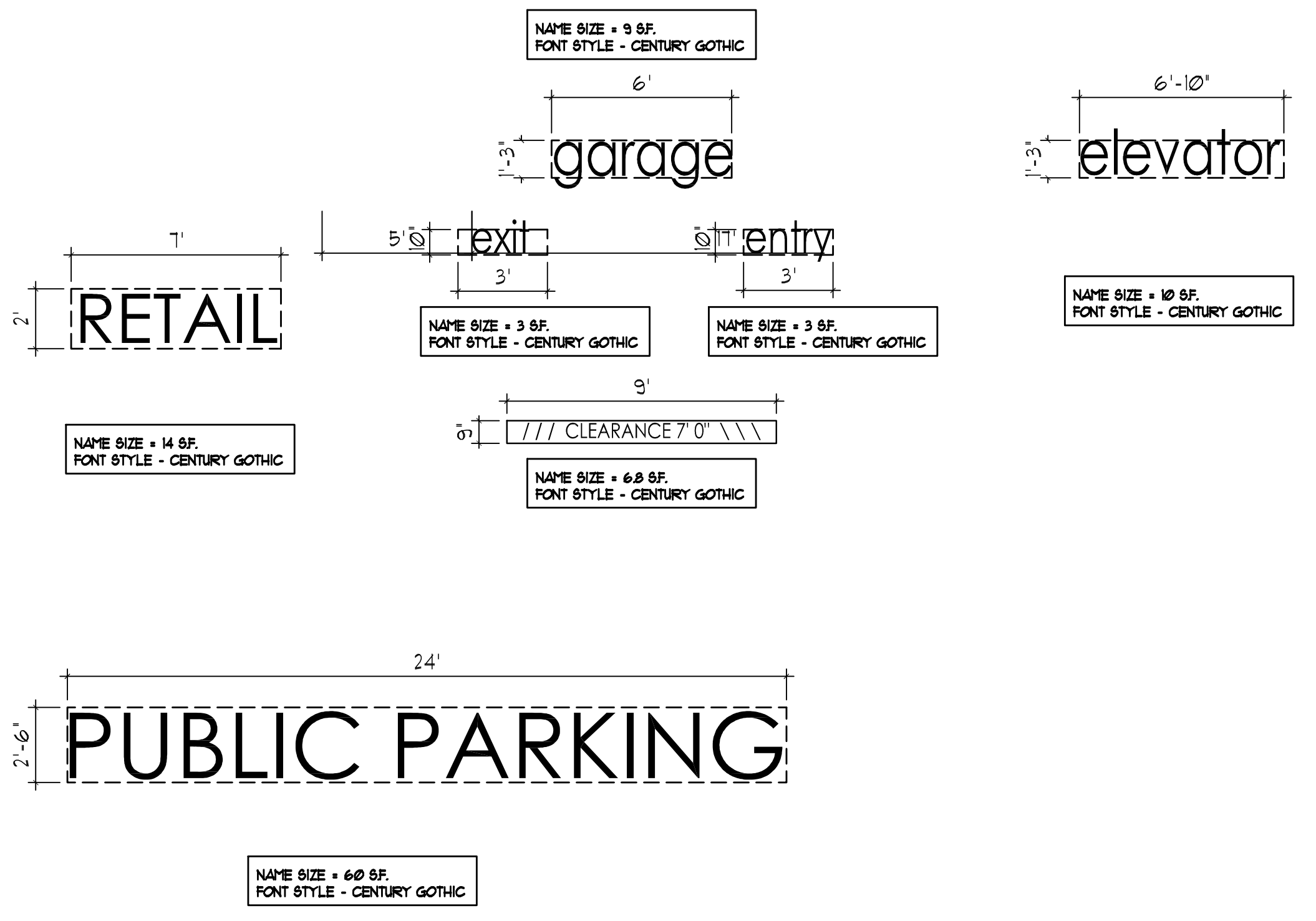
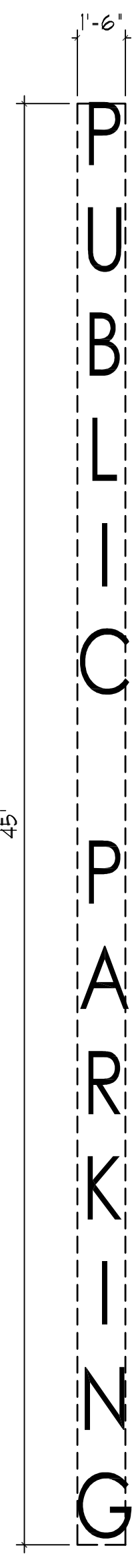
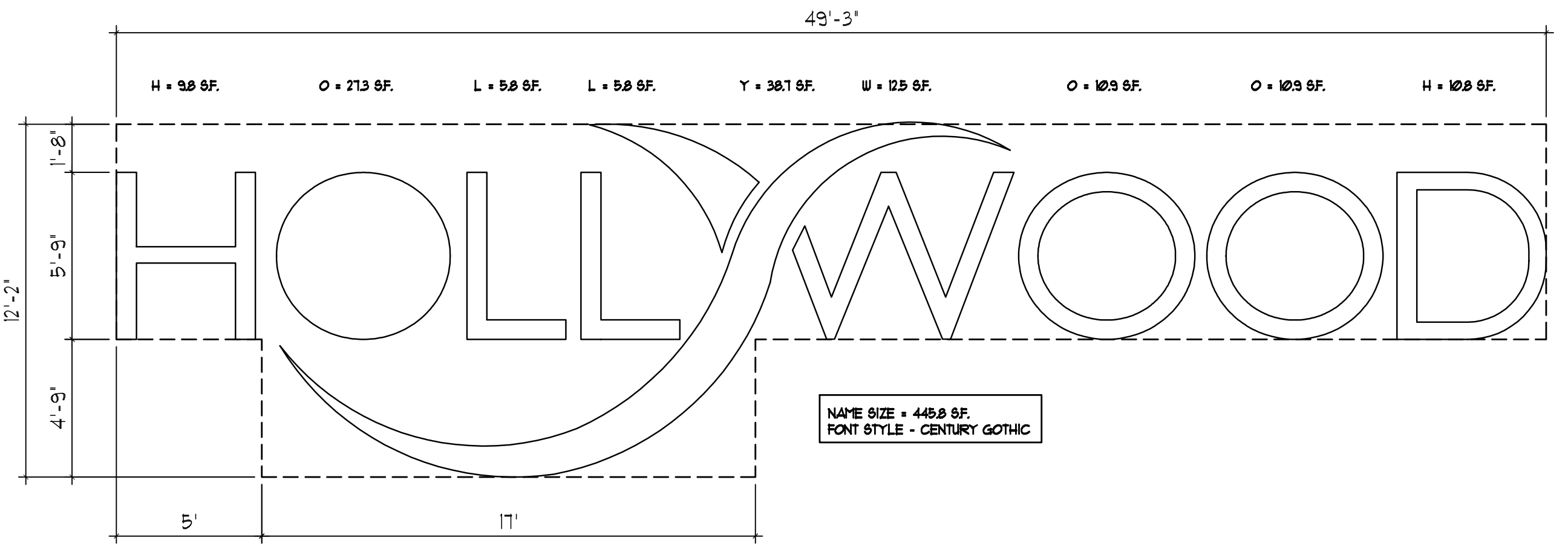
SHEET
SP-2



FLOOR PLAN



EAST ELEVATION



ALL SIGNAGE TO BE NEON BACK LIT PIN MOUNTED CHANNEL LETTERS

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C ZONING DISTRICT.

NOTE:
A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN.
A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR SIGNS REQUIRING ILLUMINATION.

TURTLE LIGHTING ORDINANCE
PROJECT SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPTER 100 'LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION' OF THE CITY OF HOLLYWOOD CODE OF ORDINANCE.



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BE-0003840

PROJECT TITLE
NEBRASKA GARAGE

SHEET TITLE
SIGNS
TRASH ROOM

REVISIONS

No.	DATE	DESCRIPTION
1	10/02/15	FINAL TAC COMMENTS

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PROJECT No.: 14221
DATE: 01-27-15
DRAWN BY: JMW
CHECKED BY: JBK

SHEET

SP-3

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PROPOSED PLANT LIST

TREES / PALMS

Code	Drought	QTY.	Botanical Name / Common Name	Specifications
CN	V	4	Cocco nucifera / Coconut Palm	B&B Field Grown, 20-25' OA
RE (N)	V	6	Roystonea regia / Florida Royal Palm	B&B Field Grown, 20-25' OA
TBD	V	6	To Be Determined	B&B Field Grown, 8-10' OA

ACCENTS / SHRUBS / GROUND COVERS

BRO	V	110	Bromeliads / Fire Ball Bromeliads	1 Gal., 12" OC
FMG	V	34	Ficus macrocarpa Green Island / Green Island Ficus	3 Gal., 24" OA, 2' OC
IVD (N)	V	48	Ilex vomitoria / Dwarf Schellings Ilex	3 Gal., 24" OA, 2' OC
JNC	V	187	Juniperus conferta / Shore Juniper	3 Gal., 24" OA, 2' OC
LM	V	103	Lirape muscari / Liriopae	1 Gal., 12" OC
PM	V	35	Podocarpus macrophylla / Podocarpus columns	3 Gal., 24" OA, 2' OC
PTV	V	54	Pittosporum tobira / Variegated Pittosporum	3 Gal., 24" OA, 30" OC
TJ	V	4	Trachelospermum jasminoides / Confederate Jasmine	10 Gal., 72" OA, 30" OC
ZF	V	5	Zamia furfuracea / Cardboard Plant	7 Gal., 36" OA, 30" OC

MISCELLANEOUS

(N)	Florida Native Plant Species
L	Low Drought Tolerance
M	Moderate Drought Tolerance
V	Very Drought Tolerant

NOTES:

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 50% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

Each lot shall supply, install, and maintain an individual irrigation system for that individual lot.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Wayne K. Tanning, RLA.

The plan takes precedence over the plant list.

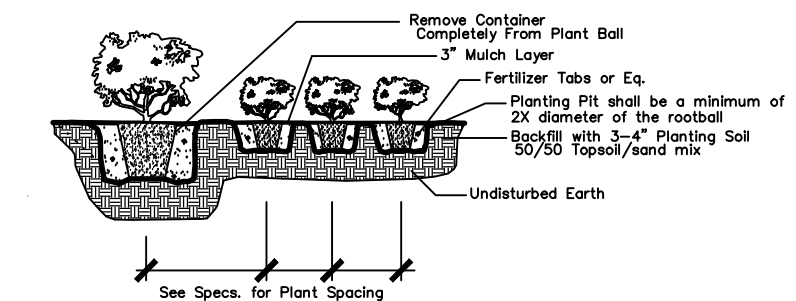
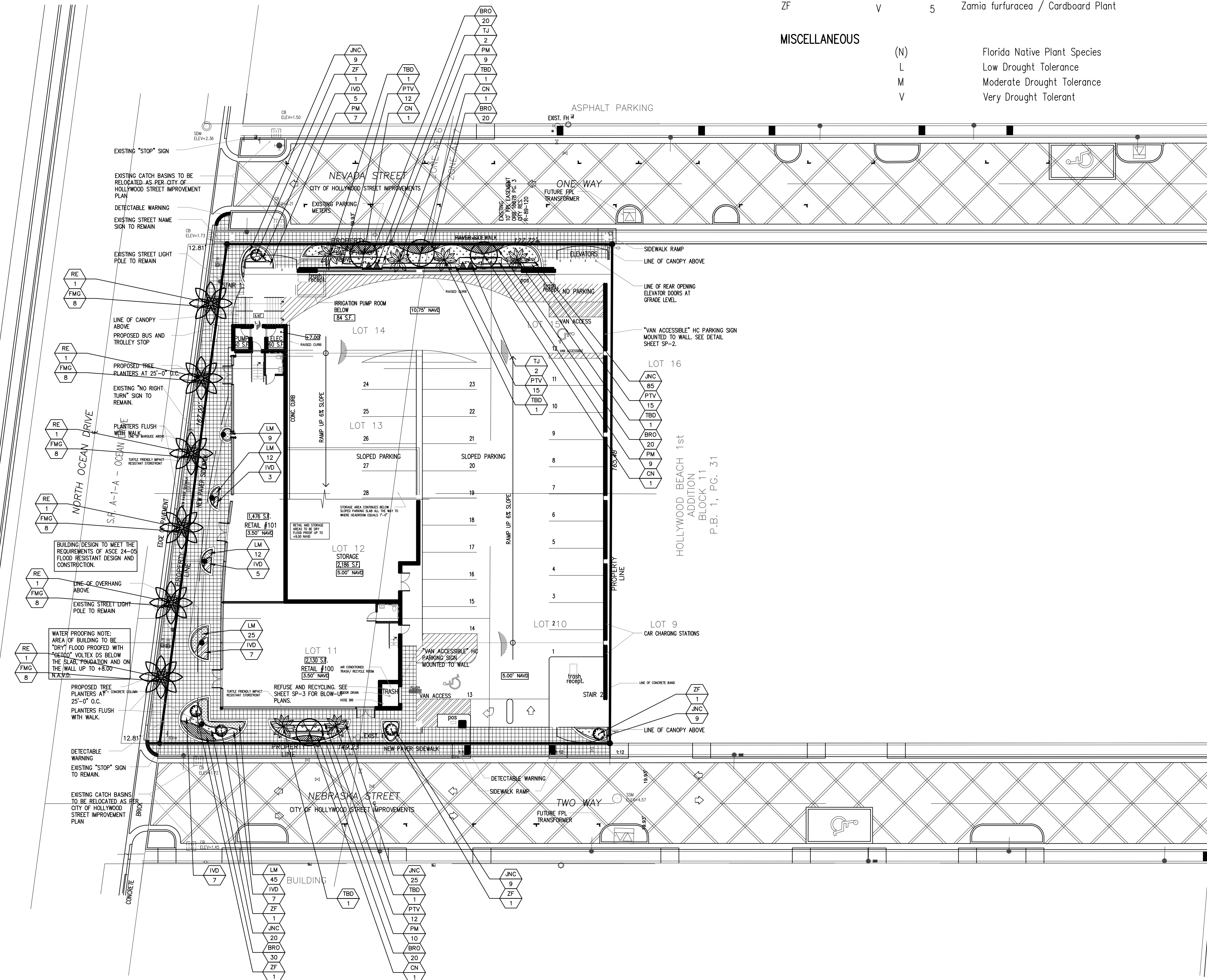
SPECIAL INSTRUCTIONS
General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive Stenotaphrum secundatum, St. Augustine Floratam solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.

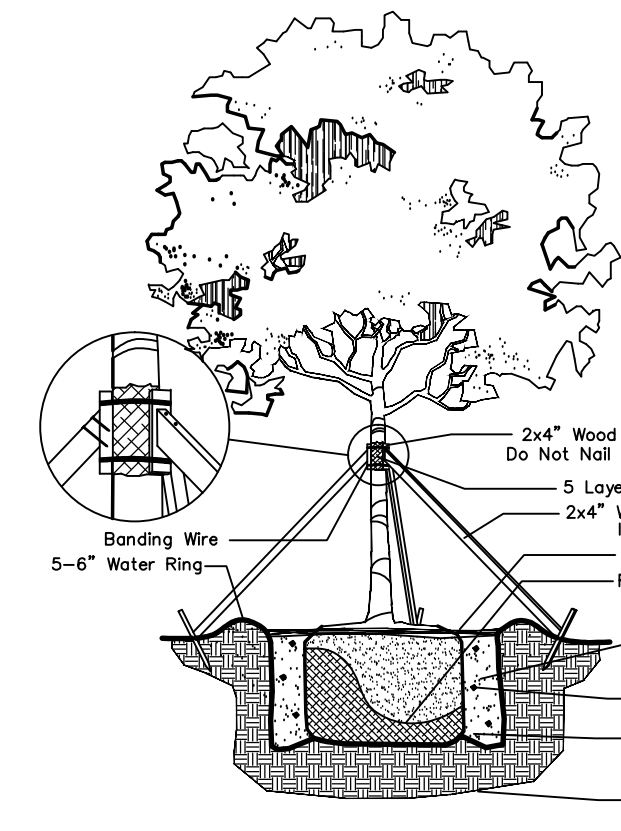
All existing palms to be trimmed and cleaned.
Existing automatic underground irrigation is functional. Rain sensor is to be provided/active.

Landscape permits are required before any planting occurs. Permits are obtained from the Building Department.
Trees are to be planted at a depth so that the root-flare and top of first order root(s) are fully visible.

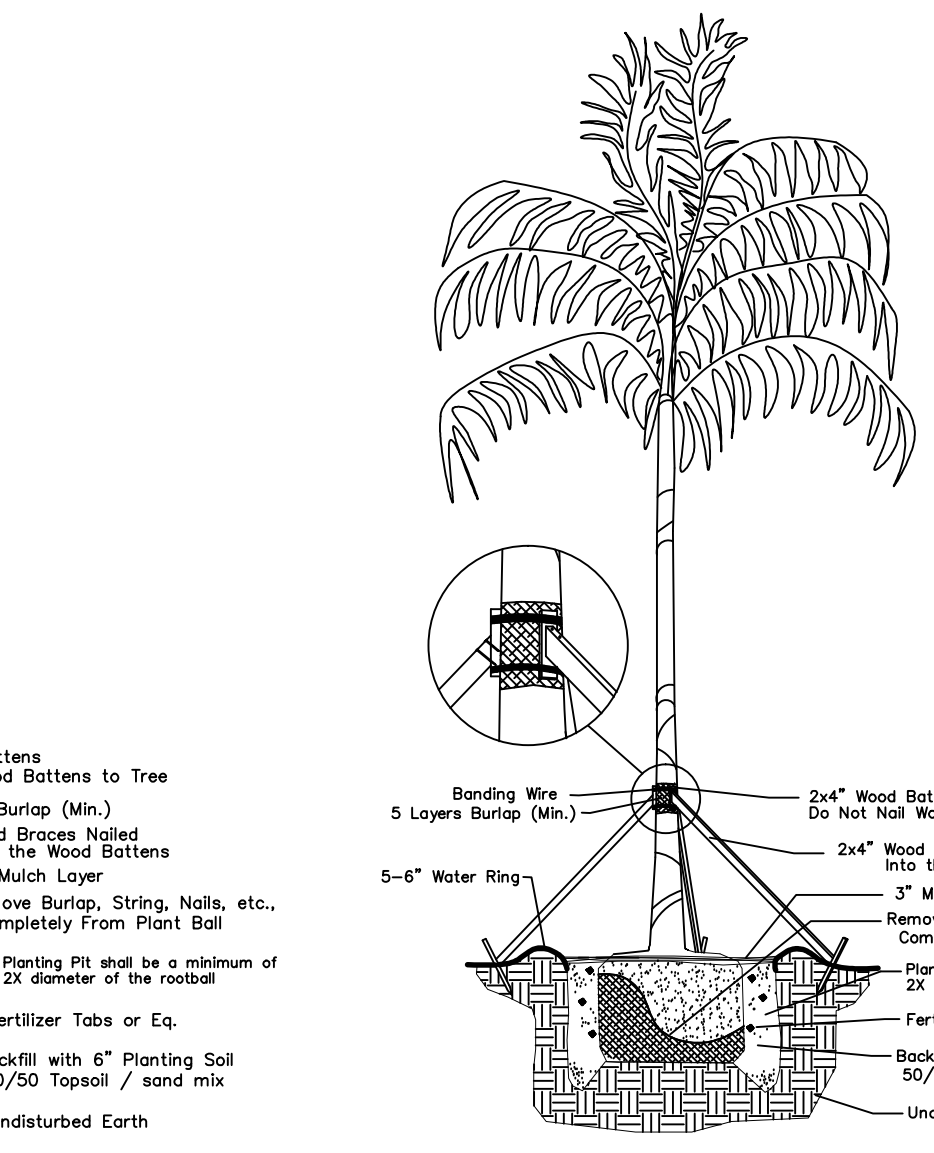
Existing trees, palms, accents, hedges, shrubs, groundcover and sod must be healthy, maintained and live at final inspection. Also, the existing hedges must be continuous and at least 24" tall.



Shrub & Ground Cover Planting Detail



Large Tree Planting Detail



Palm Planting Detail



DRWG. TITLE : LANDSCAPE PLAN - GROUND FLOOR
PROJECT : NEBRASKA GARAGE
327 NEBRASKA STREET
HOLLYWOOD, FLORIDA 33019
CLIENT : KALLER ARCHITECTS

PROJECT NO. 15-110
DRAWN BY WKT
DESIGNED BY WKT
CHECKED BY WKT
DATE : 04-17-15
DWG. NO. LP-1
SHT. NO. 1 of 2
REVISIONS : 12-07-15



SEAL
WAYNE K. TONNING, RLA
FLA #6666709

Exhibit "B"
PROPOSED PLANT LIST

ACCENTS / SHRUBS / GROUND COVERS

CS	V	4	Cupressus sempervirens / Italian Cypress	B&B Field Grown, 14-16' OA
CR (N)	V	3	Clusia rosea / Clusia Tree	B&B Field Grown, 8-10' OA

ACCENTS / SHRUBS / GROUND COVERS

FMG	V	150	Ficus macrocarpa Green Island / Green Island Ficus	3 Gal., 24" OA, 2' OC
FP	V	400	Ficus pumila / Creeping Fig	3 Gal., 24" OA, in Planter Tubes
TJ	V	64	Trachelospermum jasminoides / Confederate Jasmine	10 Gal., 72" OA, 30" OC

MISCELLANEOUS

(N)	Florida Native Plant Species
L	Low Drought Tolerance
M	Moderate Drought Tolerance
V	Very Drought Tolerant

NOTES:

GENERAL PLANTING REQUIREMENTS

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SPECIAL INSTRUCTIONS

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All sod areas as indicated on the planting plan shall receive Stenotaphrum secundatum, SL Augustine Floratam solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.

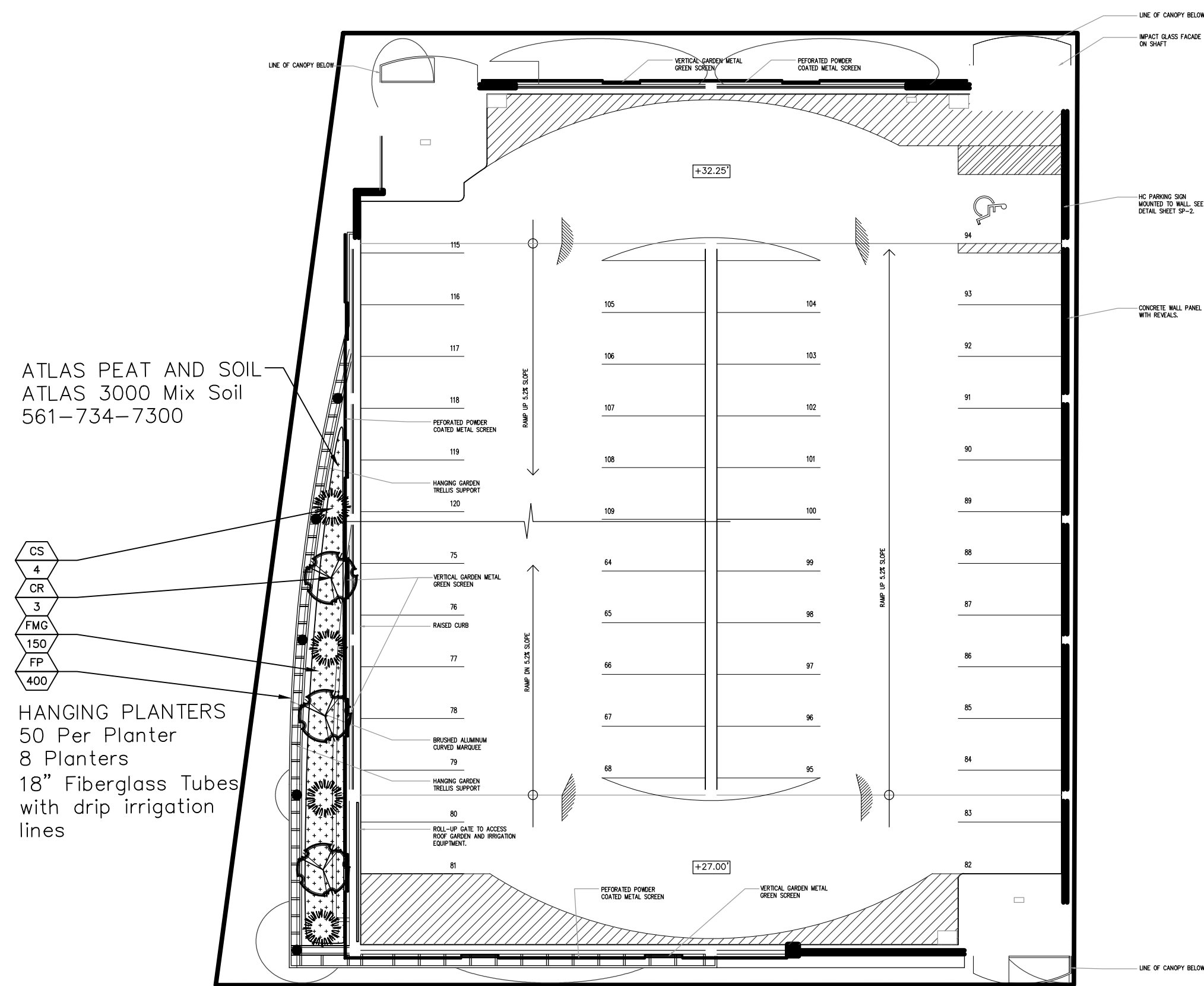
All existing palms to be trimmed and cleaned.

Existing automatic underground irrigation is functional. Rain sensor is to be provided/active.

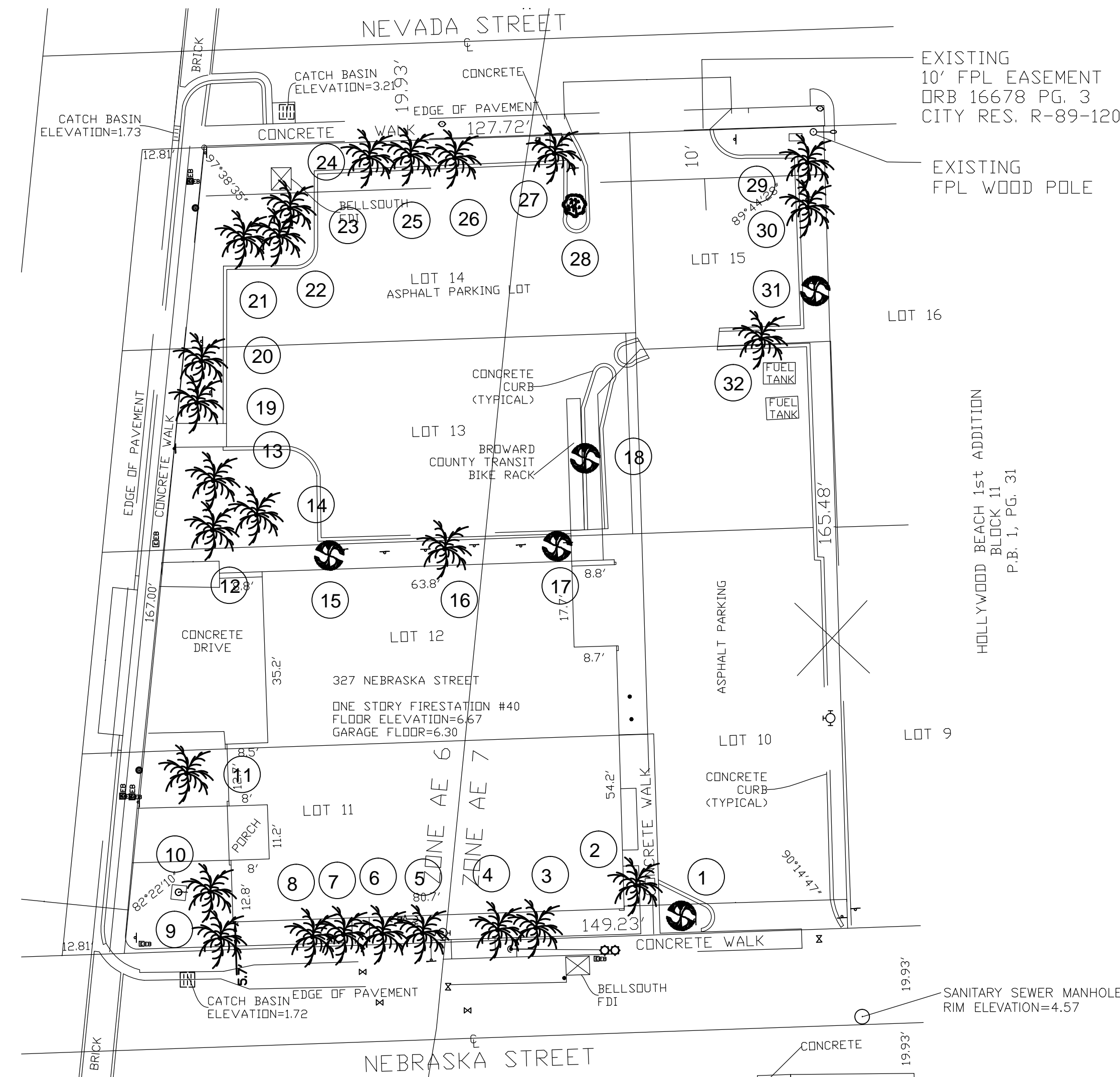
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LANDSCAPE PLAN
SCALE: 1" = 20'-0"



EXISTING CONDITIONS PLAN
SCALE: 1" = 20'-0"

WIRE METAL SCREEN TRELLIS FOR VINE

NEBRASKA GARAGE - HOLLYWOOD, FLORIDA								
Tree #	Type	Caliper	Height	Width Of Canopy	Disposition			Condition
					Remove	Remain	Relocate	
1	Carrotwood	10"	25'	25'	x			Good
2	Sabal Palm	10"	6'	5'	x			Good
3	Sabal Palm	10"	15'	7'	x			Good
4	Sabal Palm	10"	15'	7'	x			Good
5	Sabal Palm	10"	15'	7'	x			Good
6	Sabal Palm	10"	15'	7'	x			Good
7	Sabal Palm	10"	15'	7'	x			Good
8	Sabal Palm	10"	15'	7'	x			Good
9	Sabal Palm	10"	15'	7'	x			Good
10	Royal Palm	16"	25'	15'	x			Good
11	Royal Palm	16"	25'	15'	x			Good
12	Royal Palm	16"	25'	15'	x			Good
13	Royal Palm	16"	25'	15'	x			Good
14	Royal Palm	16"	25'	15'	x			Good
15	Carrotwood	8"	20'	15'	x			Good
16	Sabal Palm	10"	20'	10'	x			Good
17	Carrotwood	8"	20'	15'	x			Good
18	Carrotwood	6"	15'	10'	x			Good
19	Sabal Palm	10"	15'	10'	x			Dead
20	Sabal Palm	10"	15'	10'	x			Good
21	Coconut Palm	12"	25'	15'	x			Good
22	Coconut Palm	12"	25'	15'	x			Good
23	Coconut Palm	12"	25'	15'	x			Good
24	Sabal Palm	10"	20'	10'	x			Good
25	Sabal Palm	10"	20'	10'	x			Good
26	Sabal Palm	10"	20'	10'	x			Good
27	Sabal Palm	10"	20'	10'	x			Good
28	Ligustrum	3"	6'	6'	x			Good
29	Sabal Palm	10"	15'	15'	x			Good
30	Sabal Palm	10"	15'	15'	x			Good
31	Ligustrum	3"	6'	6'	x			Good
32	DEAD-Stump	0	0	0	x			Good

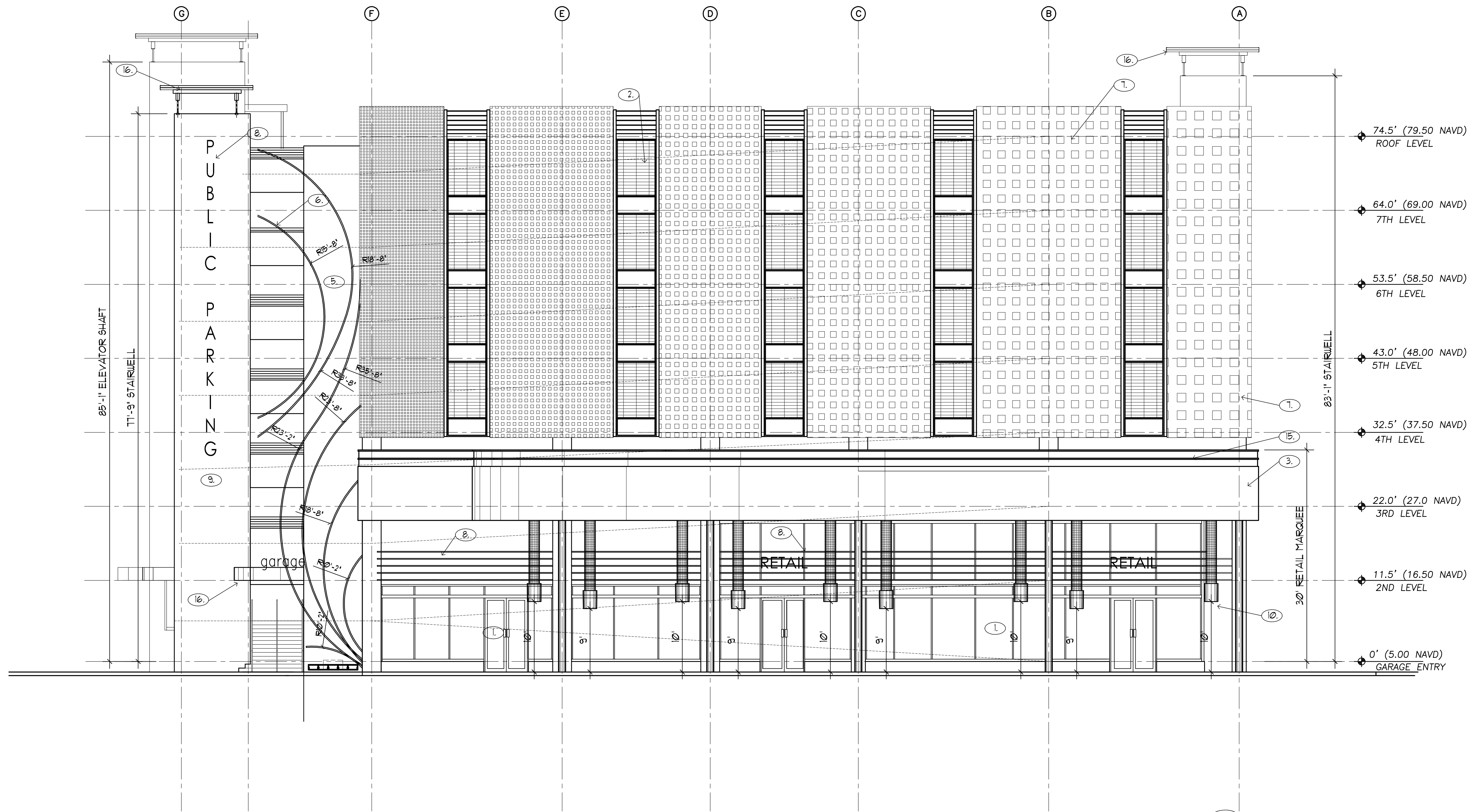


DRWG. TITLE : LANDSCAPE PLAN - THIRD FLOOR
PROJECT : NEBRASKA GARAGE
CLIENT : KALLER ARCHITECTS

SEAL
WAYNE K. TANNING, RLA #666709

PROJECT NO. 15-110
DRAWN BY WKT
DESIGNED BY WKT
CHECKED BY WKT
DATE : 04-17-15
DWG. NO. LP-2
SHT. NO. 2 of 2
REVISIONS : 08-04-15

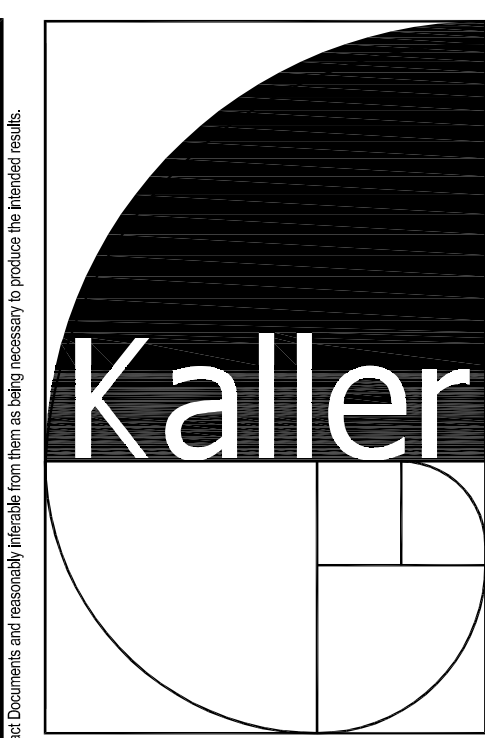
TONNING RLA #666709
Email: TONNINGRLA@aol.com



- 1. TURTLE FRIENDLY TINTED IMPACT RESISTANT STOREFRONT
- 2. VERTICAL POWDER COATED ALUMINUM SCREEN
- 3. BRUSHED ALUMINUM FINISH AT RETAIL MARQUEE
- 4. STUCCO SCORING
- 5. ART INSTALLATION PANEL
- 6. 42' HIGH ALUMINUM GUARD RAILING
- 7. POWDER COATED ALUMINUM SCREEN
- 8. POWDER COATED BACK LIT CHANNEL LETTER SIGNAGE
- 9. SMOOTH STUCCO WALL FINISH
- 10. HANGING VERTICAL PLANTERS
- 11. IMPACT RESISTANT HOLLOW METAL DOOR
- 12. ELEVATOR DOORS
- 13. CONCRETE EYEBROW
- 14. PLANTERS
- 15. ROOF DECK GARDEN
- 16. POWDER COATED METAL CANOPY
- 17. 12ϕ CONCRETE COLUMNS
- 18. RECESSED SQUARE PATTERN IN CONCRETE

1 WEST ELEVATION

SCALE: 1/8" = 1'-0"



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 FLORIDA R.A. # 0009239



PROJECT TITLE
 NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
 WEST ELEVATION

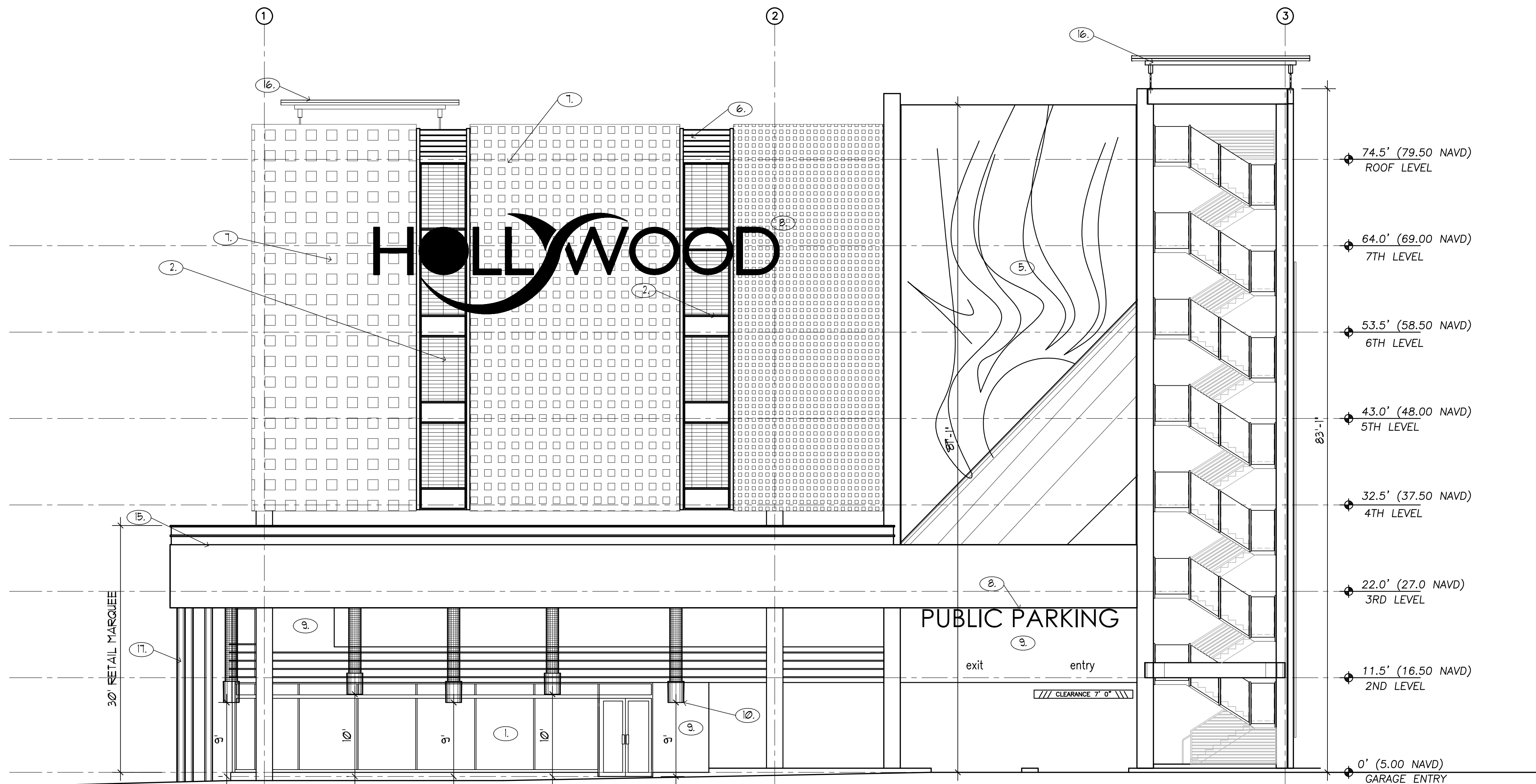
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No.	DATE	DESCRIPTION
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PROJECT No.: 14221
 DATE: 01-27-15
 DRAWN BY: GMV
 CHECKED BY: JBK

SHEET

A-9



74.5' (79.50 NAVD)
ROOF LEVEL

64.0' (69.00 NAVD)
7TH LEVEL

53.5' (58.50 NAVD)
6TH LEVEL

43.0' (48.00 NAVD)
5TH LEVEL

32.5' (37.50 NAVD)
4TH LEVEL

22.0' (27.0 NAVD)
3RD LEVEL

11.5' (16.50 NAVD)
2ND LEVEL

0' (5.00 NAVD)
GARAGE ENTRY

- 1. TURTLE FRIENDLY TINTED IMPACT RESISTANT STOREFRONT
- 2. VERTICAL POWDER COATED ALUMINUM SCREEN
- 3. BRUSHED ALUMINUM FINISH AT RETAIL MARQUEE
- 4. STUCCO SCORING
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- 16. POWDER COATED METAL CANOPY
- 17. 12" CONCRETE COLUMNS
- 18. RECESSED SQUARE PATTERN IN CONCRETE

1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



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BE-0903840

PROJECT TITLE
NEBRASKA GARAGE
327 NEBRASKA STREET
HOLLYWOOD FL

SHEET TITLE
SOUTH ELEVATION

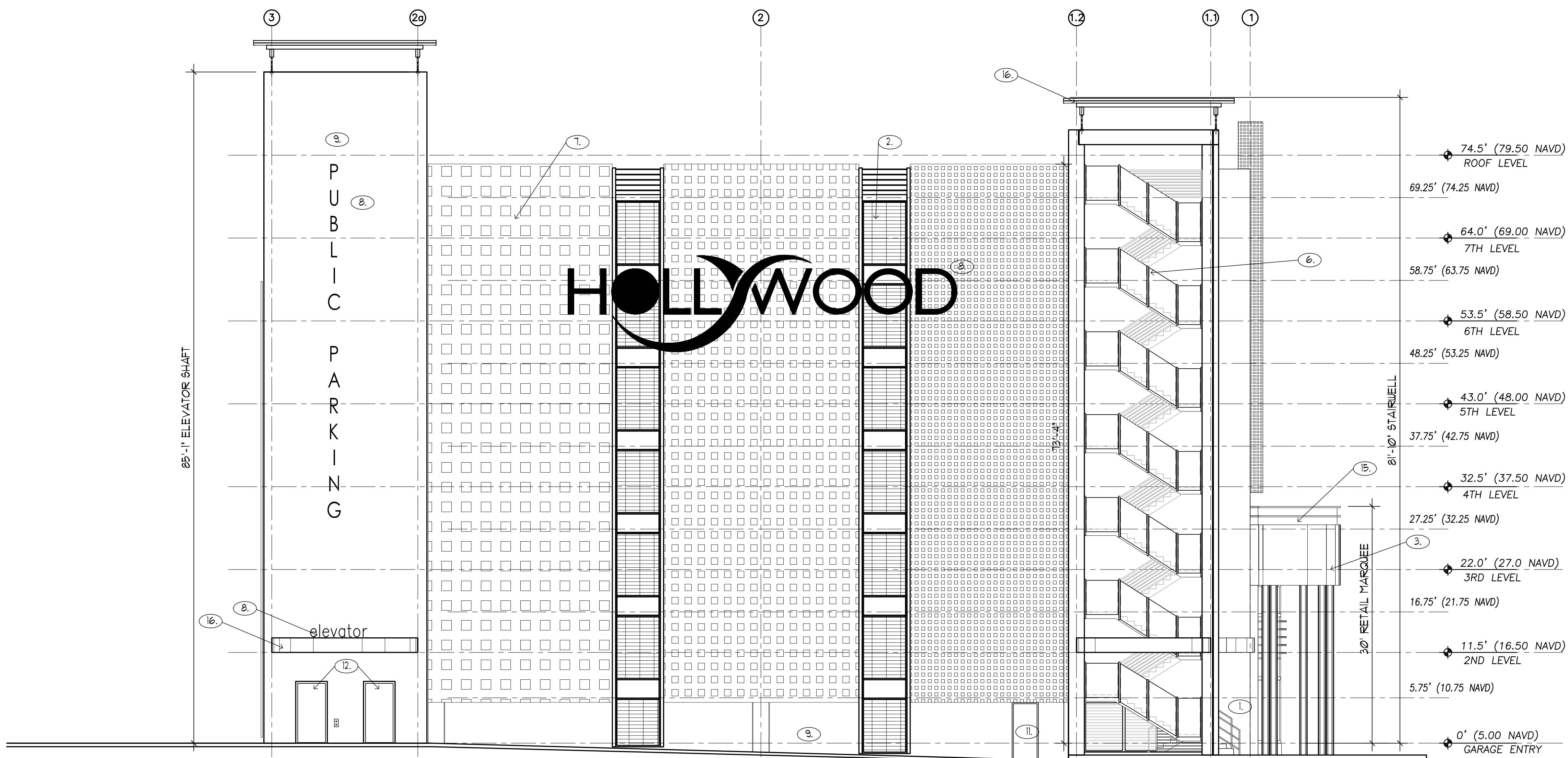
REVISIONS		
No.	DATE	DESCRIPTION
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PROJECT No.: 14221
DATE: 01-27-15
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

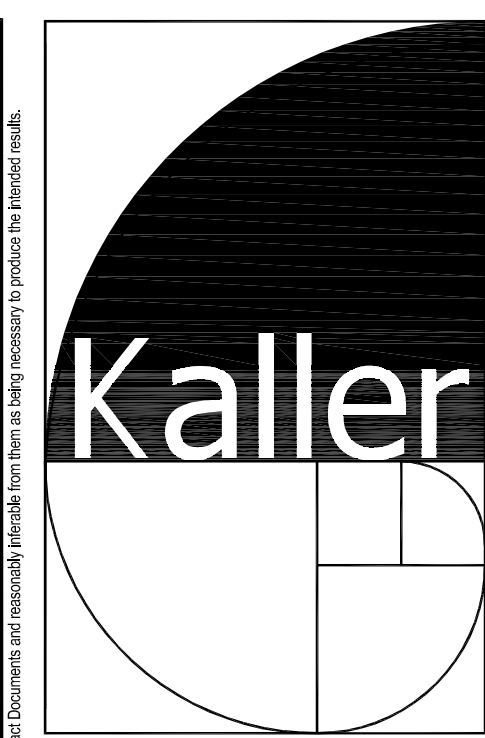
A-10



- 1. TURTLE FRIENDLY TINTED IMPACT RESISTANT STOREFRONT
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- 18. RECESSED SQUARE PATTERN IN CONCRETE

1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



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PROJECT TITLE
 NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
 NORTH ELEVATION

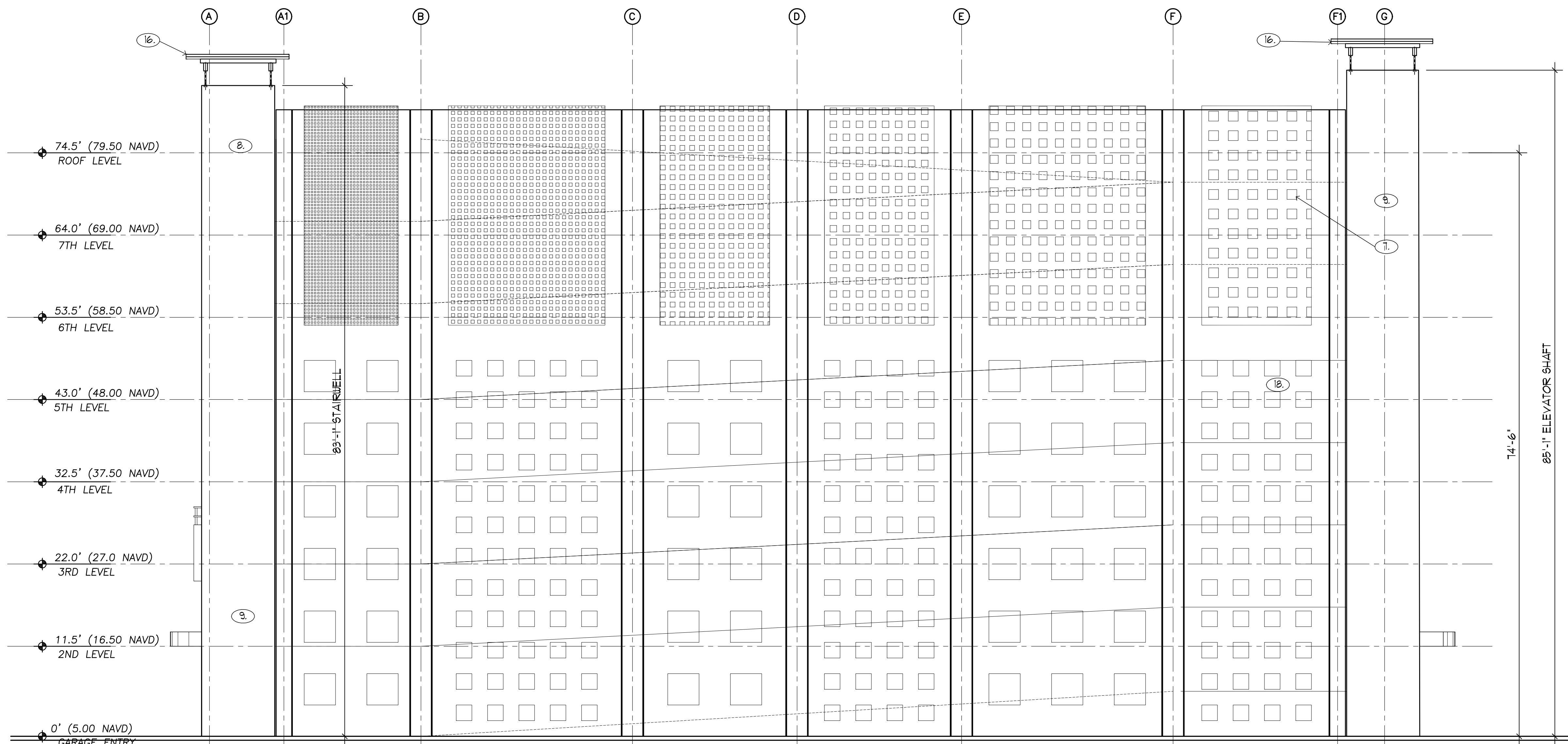
REVISIONS		
No.	DATE	DESCRIPTION
1	10/02/15	FINAL TAC COMMENTS (RENUMBERED SHEET)

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PROJECT No.: 14221
 DATE: 01-27-15
 DRAWN BY: GMV
 CHECKED BY: JBK

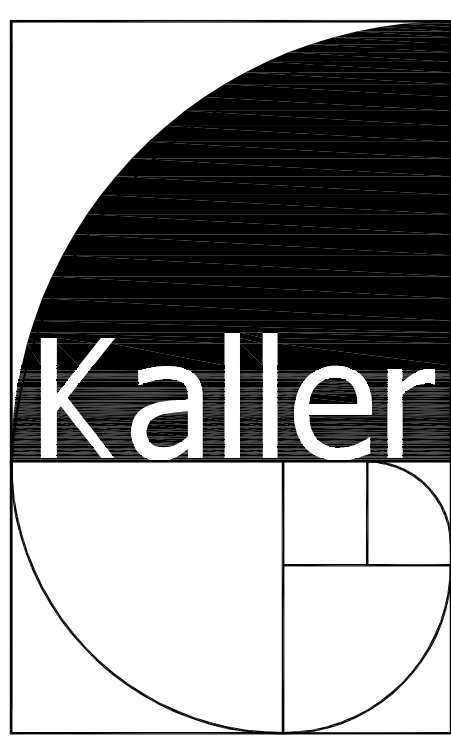
SHEET

A-11



1. TURTLE FRIENDLY TINTED IMPACT RESISTANT STOREFRONT
2. VERTICAL POWDER COATED ALUMINUM SCREEN
3. BRUSHED ALUMINUM FINISH AT RETAIL MARQUEE
4. STUCCO SCORING
5. ART INSTALLATION PANEL
6. 42" HIGH ALUMINUM GUARD RAILING
7. POWDER COATED ALUMINUM SCREEN
8. POWDER COATED BACK LIT CHANNEL LETTER SIGNAGE
9. SMOOTH STUCCO WALL FINISH
10. HANGING VERTICAL PLANTERS
11. IMPACT RESISTANT HOLLOW METAL DOOR
12. ELEVATOR DOORS
13. CONCRETE EYEBROW
14. PLANTERS
15. ROOF DECK GARDEN
16. POWDER COATED METAL CANOPY
17. 12" CONCRETE COLUMNS
18. RECESSED SQUARE PATTERN IN CONCRETE

1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



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NEBRASKA GARAGE
327 NEBRASKA STREET
HOLLYWOOD FL

SHEET TITLE
EAST ELEVATION

REVISIONS

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SHEET
A-12