

ATTACHMENT A

Application Package

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans
(i.e. Architect or Engineer)
- One electronic **combined** PDF
submission (max. 25mb)
- Completed Application
Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR
FORMS, CHECKLISTS, &
MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- ☐ Technical Advisory Committee
 ☐ Art in Public Places Committee
 ☐ Variance
☒ Planning and Development Board
 ☐ Historic Preservation Board
 ☐ Special Exception
☐ City Commission
 ☐ Administrative Approval

PROPERTY INFORMATION

Location Address: 1225 N 17th CT

Lot(s): N/A Block(s): N/A Subdivision: TRACT A, FRED ZIRBS

Folio Number(s): 5142-10-33-0010

Zoning Classification: FH-1 Land Use Classification: RAC

Existing Property Use: VACANT Sq Ft/Number of Units: NONE

Is the request the result of a violation notice? ☐ Yes ☒ No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 20-DP-52

DEVELOPMENT PROPOSAL

Explanation of Request: DESIGN AND SITE PLAN APPROVAL OF A 15 UNIT RESIDENTIAL DEVELOPMENT

Phased Project: Yes ☐ No ☒ Number of Phases: N/A

Project	Proposal
Units/rooms (# of units)	# UNITS: <u>15</u> #Rooms <u> </u>
Proposed Non-Residential Uses	<u>0</u> S.F.)
Open Space (% and SQ.FT.)	Required %: <u>20</u> (Area: <u>2401.8</u> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <u>19</u>)
Height (# of stories)	(# STORIES) <u>4</u> (<u>44</u> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<u>19,714</u> FT.)

Name of Current Property Owner: RITOS DEVELOPMENT LP

Address of Property Owner: 4491 S STATE ROAD 7 PH2, DAVIE FL 33314

Telephone: (954) 552-9247 Email Address: TIM@RITVOCONSULTING.COM

Applicant SENGA ARCHITECTURE LLC Consultant ☒ Representative ☐ Tenant ☐

Address: 3434 MCKINLEY STREET, HOLLYWOOD FL 33021 Telephone: (954) 613 8371

Email Address: FITZMURPHY@SENGAARCHITECTURE.COM

Email Address #2: ROBERTOG@ROCAGB.COM

Date of Purchase: 06/14/2023 Is there an option to purchase the Property? Yes ☐ No ☒

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : CUTRO & ASSOCIATES

E-mail Address: CUTROPLANNING@YAHOO.COM

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] Date: 2/28/24

PRINT NAME: Timothy S. Rivas / Rivas Development Date: 2/28/24

Signature of Consultant/Representative: [Signature] Date: 02.28.2024

PRINT NAME: FITZ MURPHY, SENG ARCHITECTURE LLC Date: 02.28.2024

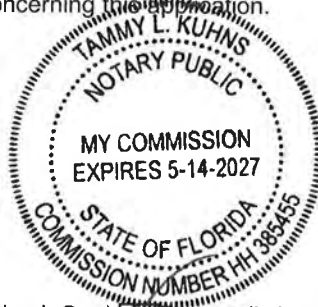
Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for DESIGN AND SITE PLAN to my property, which is hereby made by me or I am hereby authorizing SENG ARCHITECTURE LLC to be my legal representative before the Planning and Development (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 29th day of February
[Signature]
Notary Public
State of Florida



[Signature]
Signature of Current Owner
Tim Rivas / Rivas Development
Print Name

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

FILE NO 23-DP-41
ARTHUR APARTMENTS
1225 N 17TH CT

September 18th, 2023

DESIGN CRITERIA STATEMENT

(1) Architectural and design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment. The design should consider architectural elements that are characteristic of the surrounding neighborhood.

The design is contemporary, utilizing simple rectilinear lines and intentional framing, moving away from symmetry and creating a varying volumetric facade elements. Materials used include concrete, stucco, large aluminum-framed glazing, and stone and wood veneers. Pedestrian connectivity is provided through the engagement of the useable front and side yard garden and a distinct pedestrian entry. Sixty percent of the projects units are directly visible to primary public right-of-way in order to enhance the public right-of-way, as recommended by the Design Guidelines and recently adopted Transit Oriented Regulations.

(2) Compatibility. The harmonious relationship between existing architectural language and composition and proposed construction, including how each building along the street relates to the whole and the pattern created with [adjacent](#) structures and the surrounding neighborhood, and with the established and adopted vision for the area.

The Design Guidelines state new construction should differentiate itself from neighboring buildings in terms of architectural style while the scale, rhythm, height and setbacks as well as the location of windows, doors and balconies bear some relationship to neighboring buildings and maintain some resemblance of compatibility. While the primary architectural style along the activity center is post war modern, the vision for the area lends itself to a larger scale contemporary structure. As this section of the Regional Activity Center is meant to serve as a transition from the dense mixed uses commercial uses along Federal Highway to the single family residential neighborhood to the east, the proposed development is consistent with the surrounding buildings in scale, massing, placement, and use. Redevelopment of this site is a step closer to redeveloping and enhancing the Regional Activity Center. The placement of the building on the site creates a harmonious relationship between the proposed building and the existing context, as well as adhering to the patterns for future developments. The building layout is also consistent with the surrounding neighborhood as it maintains the minimum required setback on Arthur Street and 17th Court in order to maintain a pedestrian oriented experience.

(3) Scale/massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures, and with the established and adopted vision of the area. Building geometries shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with [adjacent](#) buildings.

The scale of the development is reflective of the adopted vision for the area, proposing a four-story building at approximately 45 feet in height. The building geometries reflect a simple composition that is a direct product of the lot it sits on. The height of the building is slightly less than a half of the building's frontage, making for pleasant proportions that will not stand out as an aberration.

The building mass is reduced and articulated by the composition of architectural details; street-facing facades are articulated with framed volumes creating large balconies and rich materiality. The adjacent exterior building materials include concrete, smooth stucco, and aluminum-framed glass windows.

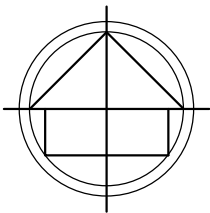
(4) Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

The Landscaping for this project has been carefully coordinated to ensure that a variety of native species and preferred plant types were integrated into the design.” The proposed landscape provides a transition from the site to its context and vice versa, through the use of complementary plant material that blurs the lines between the public and private realm and frames the entry to the building. This enhances the design of the proposed building and the pedestrian experience along Arthur Street.

ALTA/NSPS LAND TITLE SURVEY

LAND DESCRIPTION:

TRACT A, FRED ZIRBS RESUBDIVISION OF LOTS 22, 23, 24, 25, 26, 27 & 28 ST. JAMES COURT WEST, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 16, PAGE 2, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



NOTES :

1.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2.

THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
3.

THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
4.

UNDERGROUND IMPROVEMENTS NOT SHOWN.
5.

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
6.

BENCHMARK REFERENCE: BROWARD COUNTY BENCHMARK # 1895
ELEVATION= 9.57' (NAVD88)
7.

THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.
8.

THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY PINO AND RITVO LAW FIRM, DATED 08/11/2023. SEARCH BASIS: DATE OF PLATTING (1928) ENCUMBRANCES/MATTERS AFFECTING TITLE: - PLATTING LANGUAGE OF THE FRED ZIRBS RESUBDIVISION CONTAINING THE PROPERTY AS RECORDED IN PLAT BOOK 16, PAGE 2 (AFFECTS/PLOTTED)
9.

ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
10.

THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
11.

THE PROPERTY HAS DIRECT ACCESS TO ARTHUR STREET, A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 16, PAGE 2, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.
12.

THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
13.

THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
14.

THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
15.

THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
16.

THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
17.

NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.

LEGEND:

- CKD

CHECKED BY
- CONC

CONCRETE
- DWN

DRAWN BY
- FB/PG

FIELD BOOK AND PAGE
- SIR

SET IRON ROD & CAP #6448
- SNC

SET NAIL AND CAP #6448
- FIR

FOUND IRON ROD
- FIP

FOUND IRON PIPE
- FNC

FOUND NAIL AND CAP
- FND

FOUND NAIL & DISC
- P.B.

PLAT BOOK
- B.C.R.

BROWARD COUNTY RECORDS
- CBS

CONCRETE BLOCK STRUCTURE
- A/C

AIR CONDITIONER
- WM

WATER METER
- WV

WATER VALVE
- CO

CLEAN OUT
- TSB

TRAFFIC SIGNAL BOX
- TSP

TRAFFIC SIGNAL POLE
- CLP

CONCRETE LIGHT POLE
- MLP

METAL LIGHT POLE
- EB

ELECTRIC BOX
- 5.40

ELEVATIONS
- ALTA

AMERICAN LAND TITLE ASSOCIATION
- NSPS

NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS

LOCATION MAP (NTS)

CERTIFIED TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6 (A), (B), (NON SUPPLIED), 7 (A), (B) AND (C), 8, 9, 13, 14, 16 AND 17 OF TABLE A THEREOF.

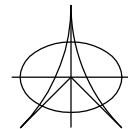
THE FIELDWORK WAS COMPLETED ON AUGUST 18, 2023.

Richard E. Cousins

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4188



COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954)689-7766 FAX (954)689-7799

PROJECT NUMBER : 9351-20

CLIENT :

PETER STERZ

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	09/16/20	SKETCH	AM	REC
UPDATE TO ALTA STANDARDS	10/03/20	SKETCH	AM	REC
UPDATE SURVEY	08/18/23	SKETCH	JD	REC
REVIWED O&E REPORT	08/22/23	-----	AM	REC

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0569 H
ZONE	X
BASE FLOOD ELEV	N/A
EFFECTIVE DATE	08/18/14

PROPERTY ADDRESS :
1225 N 17TH COURT

SCALE: N/A

SHEET 1 OF 2



ARTHUR APARTMENTS

1225 N 17TH CT :: HOLLYWOOD, FLORIDA

2326 FMM

PROJECT NO: DRAWN / CHECKED:

ARCHITECT



3434 MCKINLEY STREET | HOLLYWOOD, FL 33021

T. 954.631.8371

HTTP: //WWW.SENGAARCHITECTURE.COM

SENGA ARCHITECTURE LLC

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
FITZ MANNINGHAM MURPHY, AIA
AR101069
ON 3/5/24.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

FITZ MANNINGHAM MURPHY
REGISTERED ARCHITECT
101069

LOCATION MAP



APPLICABLE CODE:

OCCUPANCY TYPE: GROUP R-2

CONSTRUCTION TYPE: V(B)

2020 FLORIDA BUILDING CODE

CITY OF HOLLYWOOD CODE OF ORDINANCES

CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS

SCOPE OF WORK :

15 UNIT RESIDENTIAL DEVELOPMENT

SHEET INDEX:

ID	NAME	PTAC 09.23.23	FTAC R1 10.02.23	SIGNOFF R2 11.27.23	SIGNOFF R3 12.13.2023	SIGNOFF R4 12.18.2023	SIGNOFF R4A 01.22.2024	SIGNOFF R5 02.12.2024	PDB 04.09.2024
GENERAL AND SITE INFORMATION									
A000	COVER SHEET AND GENERAL NOTES	X	R	R	R	R		R	U
A001	SITE PLAN	X	R	R	R	R		R	U
A002	SITE DATA		X	R	U	U		U	U
A003	GARAGE SECTIONS							X	U
A004	COLORED SITE PLAN								X
A005	CONTEXT ELEVATIONS								X
A006	SITE PHOTOGRAPHS								X
A007	CONTEXT PHOTOGRAPHS								X
CIVIL									
C-1	EROSION & SEDIMENT CONTROL PLAN		X	R			U	U	U
C-2	PAVING, GRADING & DRAINAGE PLAN		X	R			U	U	U
C-3	CIVIL DETAILS I		X				U	U	U
C-4	CIVIL DETAILS II		X	R			U	U	U
C-5	PAVEMENT MARKINGS & SIGNAGE PLAN		X				U	R	U
C-6	PAVEMENT MARKINGS & SIGNAGE DETAILS		X				U	U	U
C-7	WATER & SEWER PLAN & DETAILS		X				R	U	U
C-8	WATER & SEWER DETAILS		X				U	U	U
LANDSCAPE									
L100	TREE DISPOSITION PLAN		X	R	U	U			U
L200	PLANTING PLAN		X	R	R	R			U
L201	PLANTING DETAILS		X	U	U	U			U
ARCHITECTURE									
A101	TYPICAL FLOOR PLAN (LEVELS 2-4)	X	R						U
A200	SOUTH ELEVATION	X	R						U
A201	NORTH ELEVATION	X	R						U
A202	WEST ELEVATION	X	R						U
A203	EAST ELEVATION	X	R						U
A600	3D STUDY - FRONT	X	R						U

X = NEW

R = REVISED SHEET

U = RESUBMITTED UNREVISED SHEET

D = DELETED SHEET

MEETING / SUBMITTAL DATES:

PRE-APPLICATION CONCEPTUAL OVERVIEW JULY 17TH 2023

PRELIMINARY TECHNICAL ADVISORY COMMITTEE SEPTEMBER 5TH, 2023

FINAL TECHNICAL ADVISORY COMMITTEE OCTOBER 2ND, 2023

SIGNOFF SUBMITTAL NOVEMBER 27TH, 2023

SIGNOFF APPROVAL FEBRUARY 27TH, 2024

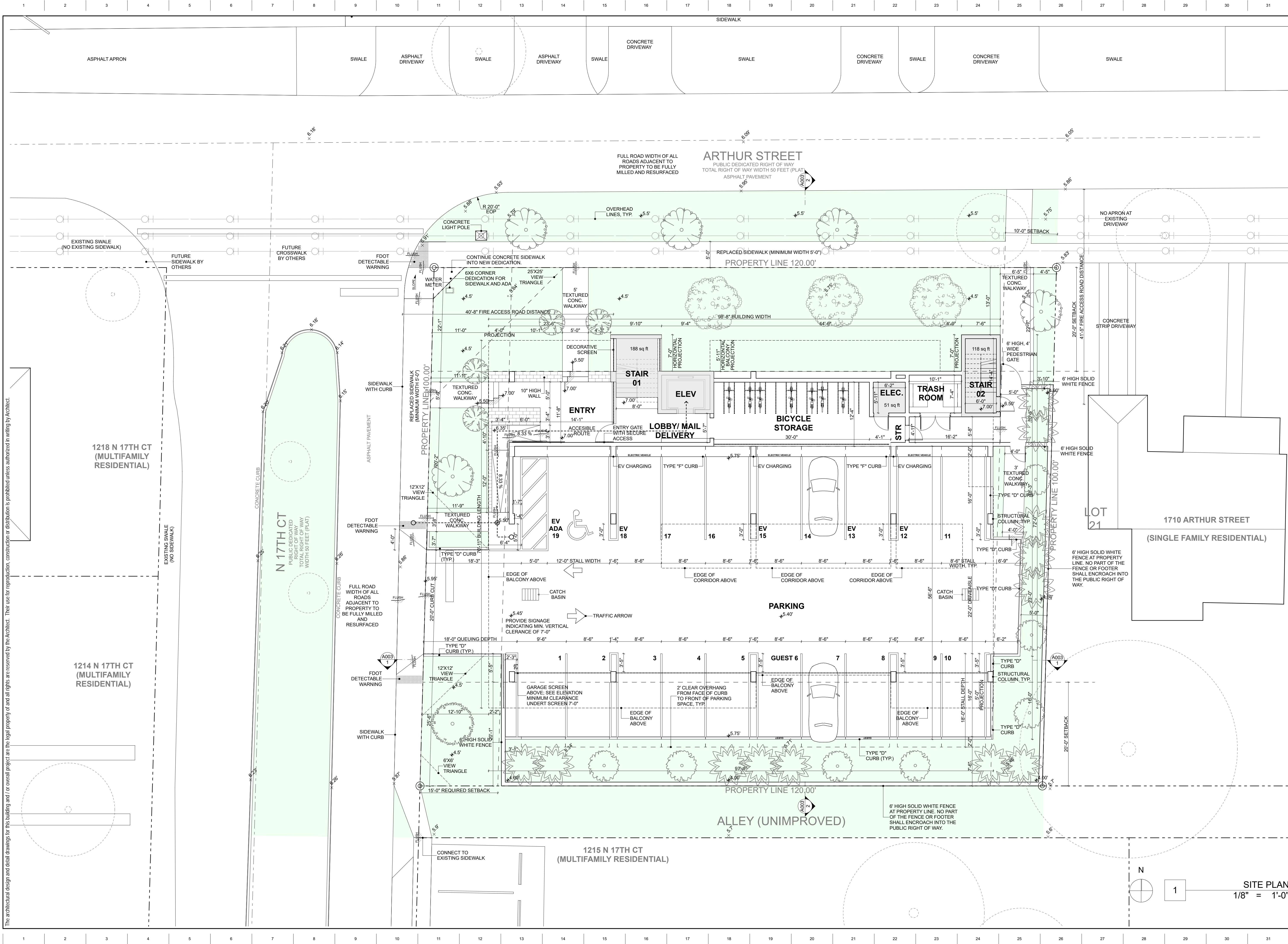
PLANNING AND DEVELOPMENT BOARD APRIL 9TH, 2024

SUBMITTAL: CITY OF HOLLYWOOD PLANNING AND DEVELOPMENT BOARD

DATE: Tuesday, March 5, 2024

COVER SHEET AND GENERAL NOTES

A000



ARCHITECT
AG/ES
3434 MONKEY STREET | HOLLYWOOD, FL 33321
T 954.631.8311
HTTP://WWW.SENGAARCHITECTURE.COM
SENGA ARCHITECTURE LLC

CIVIL ENGINEER
IZEPHYR
ENGINEERING
CERTIFICATE OF AUTHORIZATION NO. 31158
HOLLYWOOD, FL 33351
T 774.302.7893
WWW.ZEPHYRENGINEERINGFL.COM
ZEPHYR ENGINEERING

ARTHUR STREET APARTMENTS

1225 N 17TH CT HOLLYWOOD FLORIDA 33020 USA

ARCHITECT
THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
FITZ MANNINGHAM MURPHY, AIA
AR101069
ON 3/5/24.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

FITZ MANNINGHAM MURPHY
REGISTERED ARCHITECT
AR101069

SUBMITTAL & REVISIONS
1. FTAC / REVISION 01
2. SIGNOFF / REVISION 02
5. SIGNOFF / REVISION 05

2326
PROJECT NO.

3/5/24
DATE

FMM
DRAWN / CHECKED

SITE PLAN

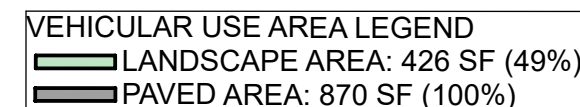
A001



ROOF FLOOR AREA	
STAIR 02	FLOOR AREA 118 SF
TOTAL	118 SF



GROUND FLOOR AREA	
STAIR 01	100 SF
STAIR 02	118 SF
ELEVATOR	88 SF
ELECTRICAL	51 SF
TOTAL	357 SF



ADA NOTES	
1.	ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS



ARCHITECT

AGNES

3434 MONKEY STREET | HOLLYWOOD, FL 33021
T 954.431.8311
HTTP://WWW.SENGAARCHITECTURE.COM

SENGA ARCHITECTURE LLC

CIVIL ENGINEER

ZEPHYR ENGINEERING

CERTIFICATE OF AUTHORIZATION NO. 31158
HOLLYWOOD, FL 33351
T 774.302.7863
WWW.ZEPHYRENGINEERINGFL.COM

ZEPHYR ENGINEERING

ARTHUR STREET
APARTMENTS
1225 N 17TH CT HOLLYWOOD FLORIDA 33020 USA

ARCHITECT

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
FITZ MANNINGHAM MURPHY, AIA
AR101069
ON 3/5/24.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

FITZ MANNINGHAM MURPHY
REGISTERED ARCHITECT
AR101069

SUBMITTAL & REVISIONS
5. SIGNOFF / REVISION 05

2326
PROJECT NO.

3/5/24
DATE

FMM
DRAWN / CHECKED

GARAGE
SECTIONS

A003



ARCHITECT
AGENCE
3434 MONKEY STREET | HOLLYWOOD, FL 33021
T 954.931.8371
HTTP://WWW.SENGAARCHITECTURE.COM
SENGA ARCHITECTURE LLC

CIVIL ENGINEER
IZEPHYR
ENGINEERING
CERTIFICATE OF AUTHORIZATION NO. 31158
HOLLYWOOD, FL 33351
T 774.302.7693
WWW.ZEPHYRENGINEERINGFL.COM
ZEPHYR ENGINEERING

ARTHUR STREET APARTMENTS

1225 N 17TH CT HOLLYWOOD FLORIDA 33020 USA

ARCHITECT
THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
FITZ MANNINGHAM MURPHY, AIA
AR101069
ON 3/5/24.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

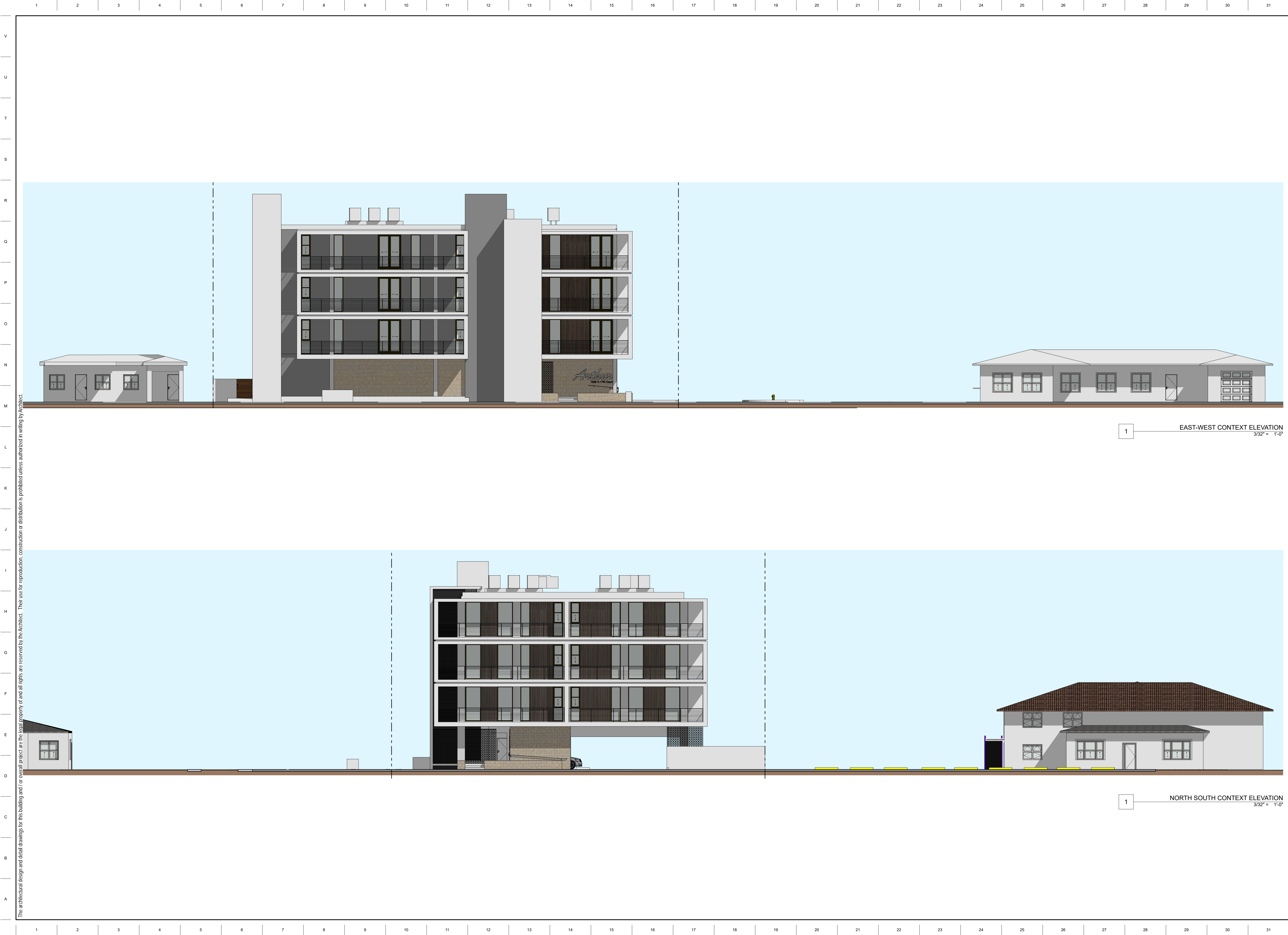
FITZ MANNINGHAM MURPHY
REGISTERED ARCHITECT
AR101069

SUBMITTAL & REVISIONS

2326
PROJECT NO.
3/5/24
DATE
FMM
DRAWN / CHECKED

**COLORED SITE
PLAN**

A004



ARCHITECT



3434 MONKEY STREET | HOLLYWOOD, FL 33021
T 954.431.8311
HTTP://WWW.SENGAARCHITECTURE.COM

SENGA ARCHITECTURE LLC

CIVIL ENGINEER



CERTIFICATE OF AUTHORIZATION NO.: 31152
HOLLYWOOD, FL 33351
T 786.302.7603
WWW.ZEPHYRENGINEERINGFL.COM

ZEPHYR ENGINEERING

ARTHUR STREET APARTMENTS

1225 N 17TH CT HOLLYWOOD FLORIDA 33020 USA

ARCHITECT

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
FITZ MANNINGHAM MURPHY, AIA
AR101069
ON 3/5/24.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

FITZ MANNINGHAM MURPHY
REGISTERED ARCHITECT
AR101069

SUBMITTAL & REVISIONS

2326

PROJECT NO.

3/5/24

DATE

FMM

DRAWN / CHECKED

CONTEXT
ELEVATIONS

A005

ARCHITECT

SENGA

3434 MONKEY STREET | HOLLYWOOD, FL 33021
T 954-931-8311
HTTP://WWW.SENGAARCHITECTURE.COM

SENGA ARCHITECTURE LLC

CIVIL ENGINEER

ZEPHYR
ENGINEERING

CERTIFICATE OF AUTHORIZATION NO.: 31158
HOLLYWOOD, FL 33351
T 770-302-7603
WWW.ZEPHYRENGINEERINGFL.COM

ZEPHYR ENGINEERING

ARTHUR STREET
APARTMENTS

1225 N 17TH CT HOLLYWOOD FLORIDA 33020 USA

ARCHITECT

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
FITZ MANNINGHAM MURPHY, AIA
AR101069
ON 3/5/24.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

FITZ MANNINGHAM MURPHY
REGISTERED ARCHITECT
AR101069

SUBMITTAL & REVISIONS

2326
PROJECT NO.

3/5/24
DATE

FMM
DRAWN / CHECKED

CONTEXT
PHOTOGRAPHS

A007



The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

ARCHITECT

AGNES

3434 MONKEY STREET | HOLLYWOOD, FL 33021
T 954.431.8311
HTTP://WWW.SENGAARCHITECTURE.COM

SENGA ARCHITECTURE LLC

CIVIL ENGINEER

ZEPHYR
ENGINEERING

CERTIFICATE OF AUTHORIZATION NO.: 31152
HOLLYWOOD, FL 33031
T 774.302.7603
WWW.ZEPHYRENGINEERINGFL.COM

ZEPHYR ENGINEERING

ARTHUR STREET
APARTMENTS

1225 N 17TH CT HOLLYWOOD FLORIDA 33020 USA

ARCHITECT

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
FITZ MANNINGHAM MURPHY, AIA
AR101069
ON 9/18/23.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

FITZ MANNINGHAM MURPHY
REGISTERED ARCHITECT
AR101069

SUBMITTAL & REVISIONS

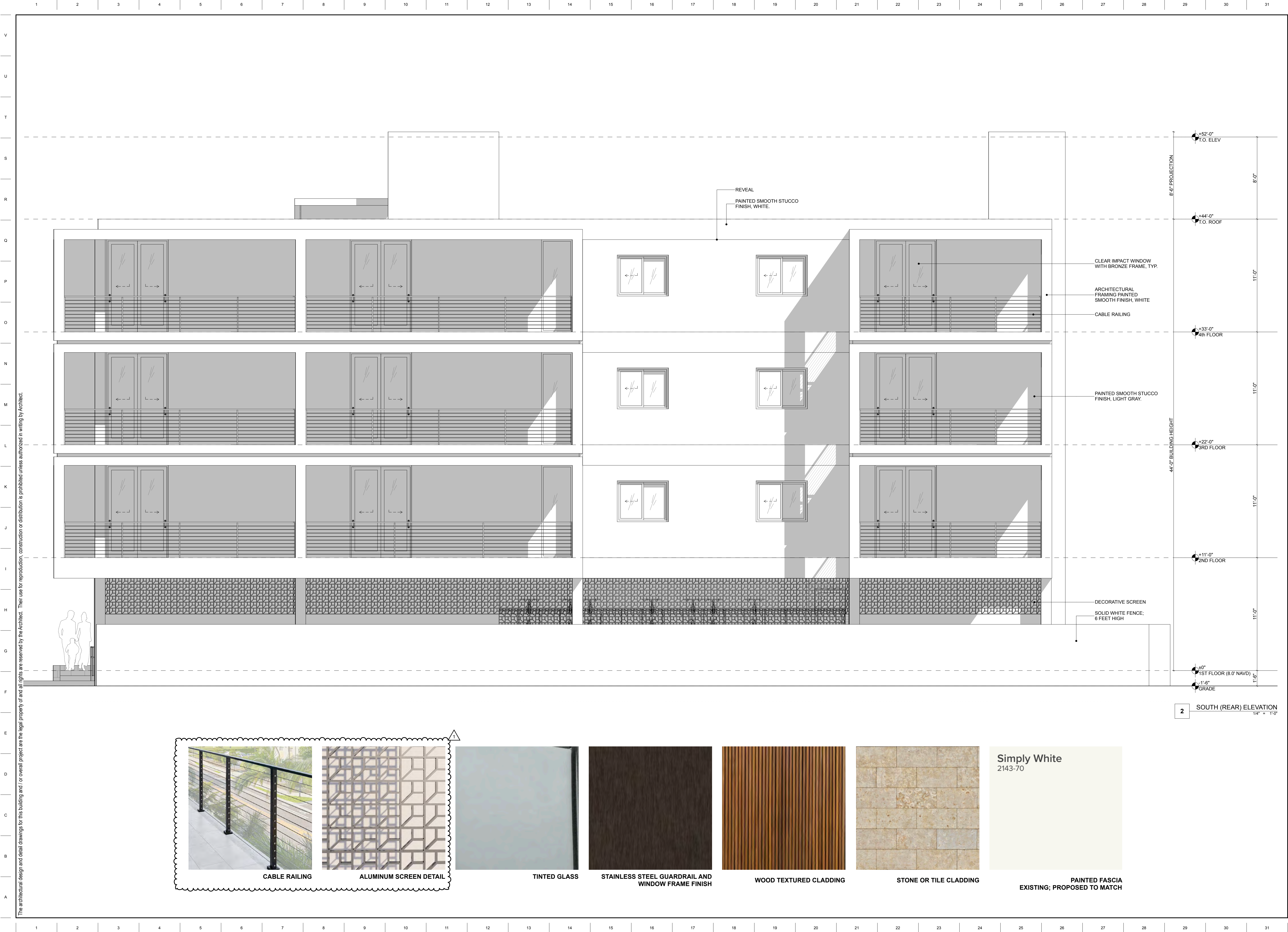
2326
PROJECT NO.

9/18/23
DATE

FMM
DRAWN / CHECKED

**TYPICAL FLOOR
PLAN (LEVELS
2-4)**

A101



ARCHITECT

AGNES

3434 MONKEY STREET | HOLLYWOOD, FL 33021
T 954-431-8371
HTTP://WWW.SENGAARCHITECTURE.COM

SENGA ARCHITECTURE LLC

CIVIL ENGINEER

ZEPHYR
ENGINEERING

CERTIFICATE OF AUTHORIZATION NO.: 31152
HOLLYWOOD, FL 33351
T 786-302-7803
WWW.ZEPHYRENGINEERINGFL.COM

ZEPHYR ENGINEERING

**ARTHUR STREET
APARTMENTS**
1225 N 17TH CT HOLLYWOOD FLORIDA 33020 USA

ARCHITECT

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
FITZ MANNINGHAM MURPHY, AIA
AR101069
ON 9/18/23.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

FITZ MANNINGHAM MURPHY
REGISTERED ARCHITECT
AR101069

SUBMITTAL & REVISIONS

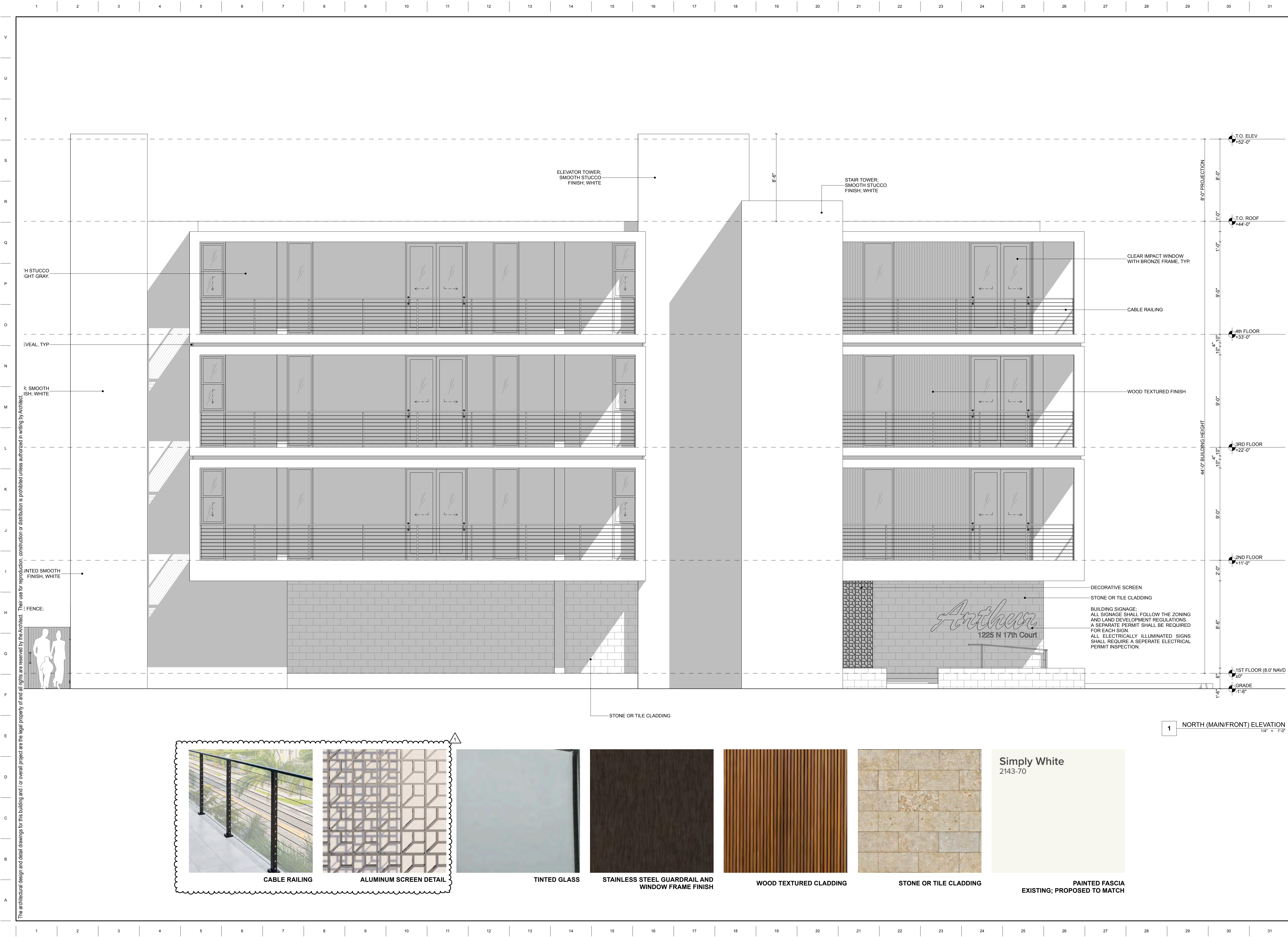
2326
PROJECT NO.

9/18/23
DATE

FMM
DRAWN / CHECKED

**SOUTH
ELEVATION**

A200



ARCHITECT

AGNES

3434 MONKEY STREET | HOLLYWOOD, FL 33021
T 954.431.8311
HTTP://WWW.SENGAARCHITECTURE.COM

SENGA ARCHITECTURE LLC

CIVIL ENGINEER

ZEPHYR
ENGINEERING

CERTIFICATE OF AUTHORIZATION NO. 31152
HOLLYWOOD, FL 33351
T 774.302.7863
WWW.ZEPHYRENGINEERINGFL.COM

ZEPHYR ENGINEERING

ARTHUR STREET APARTMENTS

1225 N 17TH CT HOLLYWOOD FLORIDA 33020 USA

ARCHITECT

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
FITZ MANNINGHAM MURPHY, AIA
AR101069
ON 9/18/23.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

FITZ MANNINGHAM MURPHY
REGISTERED ARCHITECT
AR101069

SUBMITTAL & REVISIONS

2326
PROJECT NO.

9/18/23
DATE

FMM
DRAWN / CHECKED

NORTH
ELEVATION

A201

ARCHITECT

<p>THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY FITZ MANNINGHAM MURPHY, AIA APR101089 ON 9/18/23.</p> <p>PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.</p>

SUBMITTAL & REVISIONS

FMM
DRAWN / CHECKED

A202



PAINTED FASCIA
EXISTING; PROPOSED TO MATCH

ARCHITECT

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
FITZ MANNINGHAM MURPHY, AIA
AR101069
ON 9/18/23.

FITZ MANNINGHAM MURPHY
REGISTERED ARCHITECT
AR101069

2326
PROJECT NO.

9/18/23
DATE

FMM
DRAWN / CHECKED

A203





The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.

ARCHITECT



3434 MONKEY STREET | HOLLYWOOD, FL 33021
T 954-431-8311
HTTP://WWW.SENGGAARCHITECTURE.COM

SENGGA ARCHITECTURE LLC

CIVIL ENGINEER



CERTIFICATE OF AUTHORIZATION NO.: 31158
HOLLYWOOD, FL 33381
T 786-302-7603
WWW.ZEPHYRENGINEERINGFL.COM

ZEPHYR ENGINEERING

ARTHUR STREET APARTMENTS

1225 N 17TH CT HOLLYWOOD FLORIDA 33020 USA

ARCHITECT

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
FITZ MANNINGHAM MURPHY, AIA
AR101069
ON 9/18/23.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

FITZ MANNINGHAM MURPHY
REGISTERED ARCHITECT
AR101069

SUBMITTAL & REVISIONS

2326
PROJECT NO.

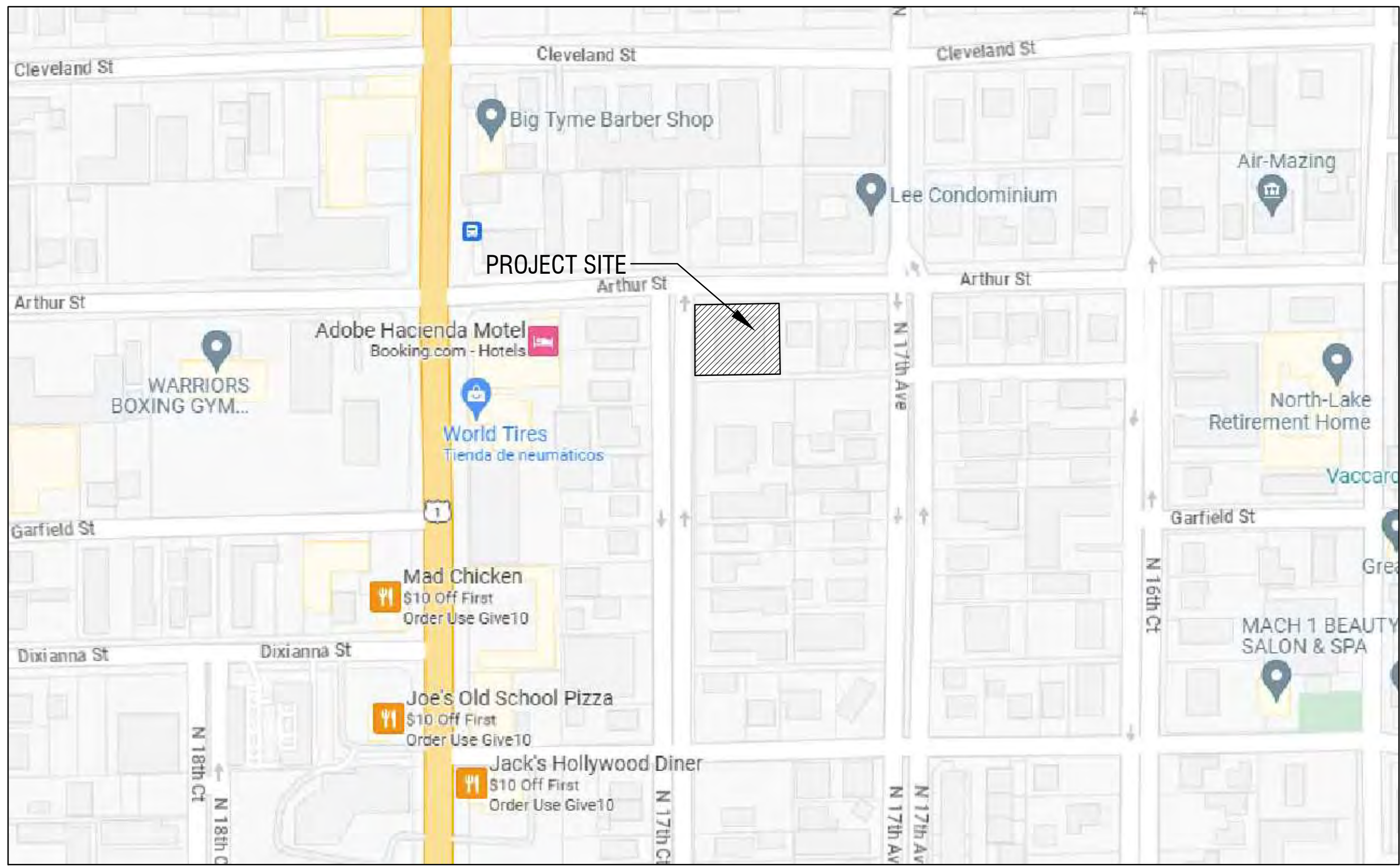
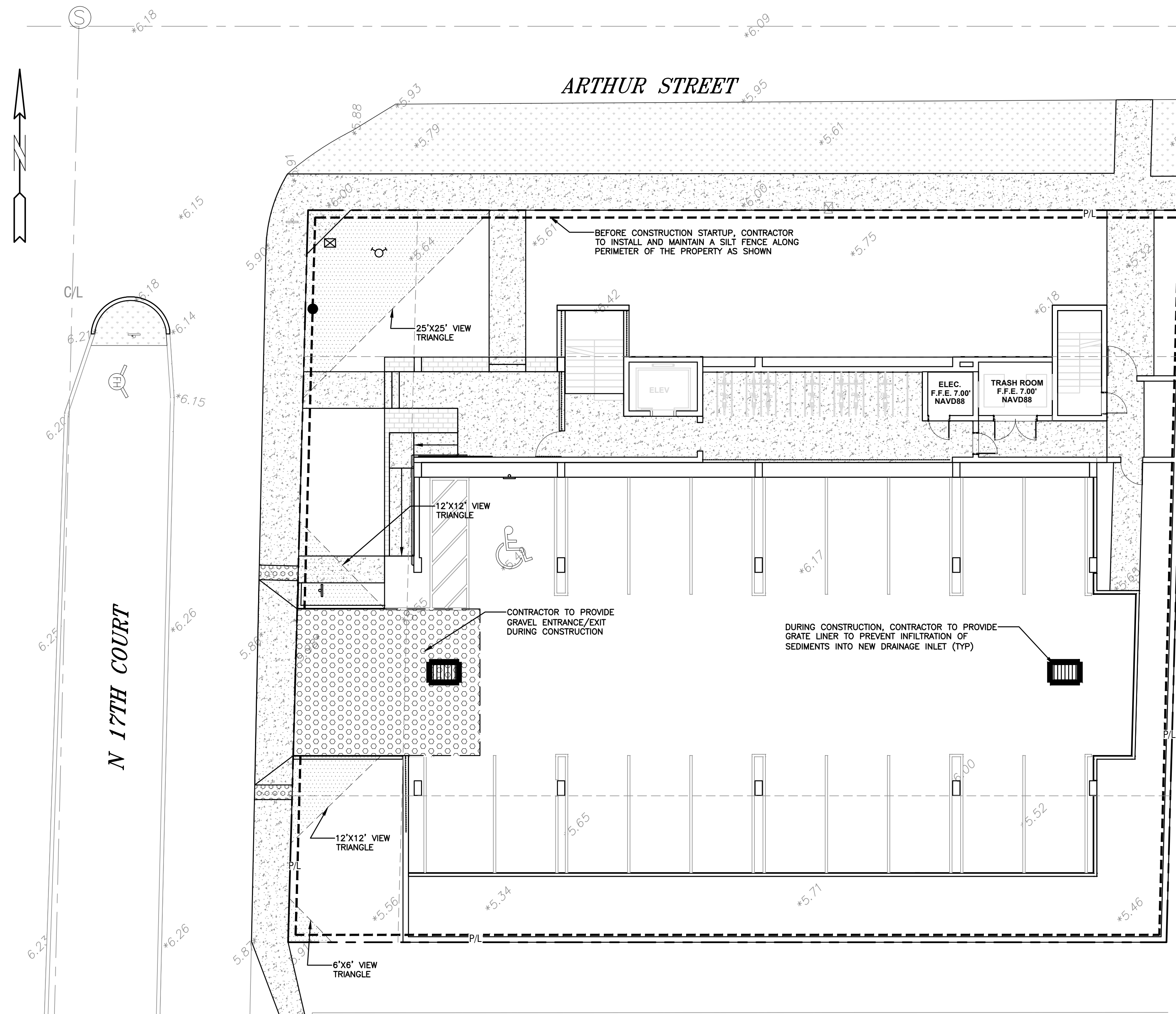
9/18/23
DATE

FMM
DRAWN / CHECKED

3D STUDY -
FRONT

A600

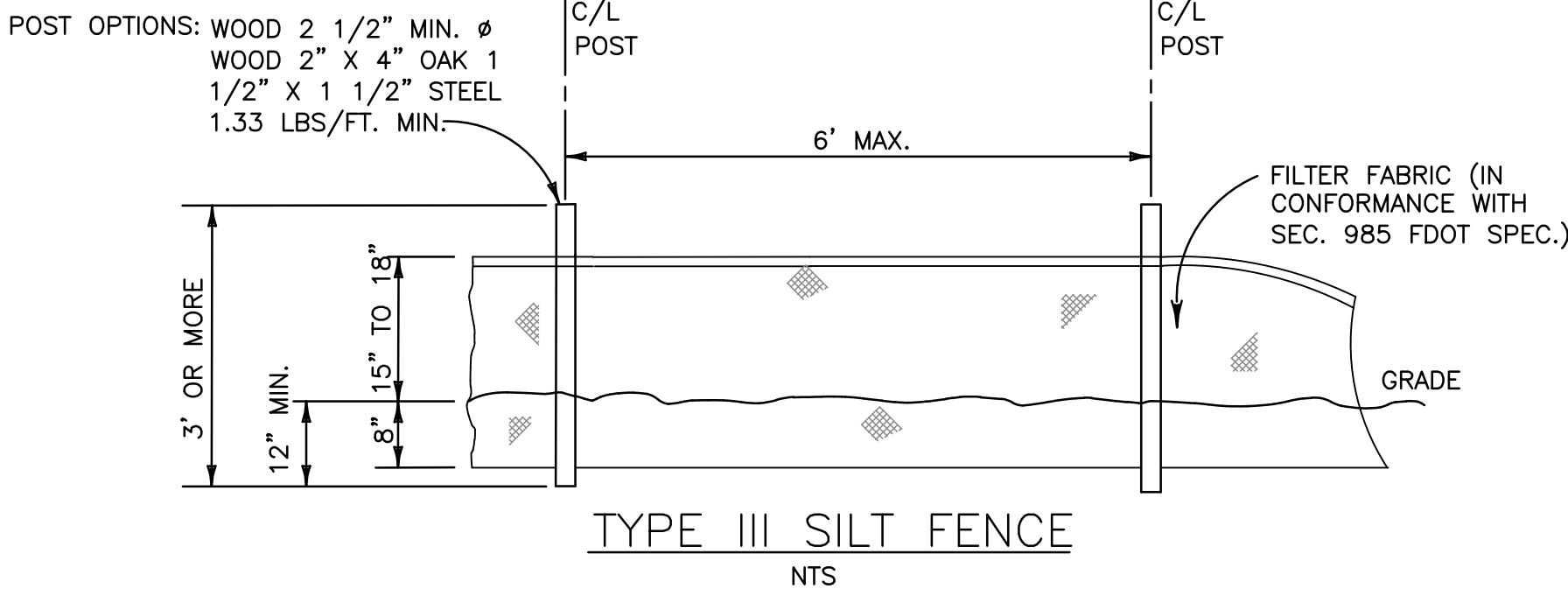
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM



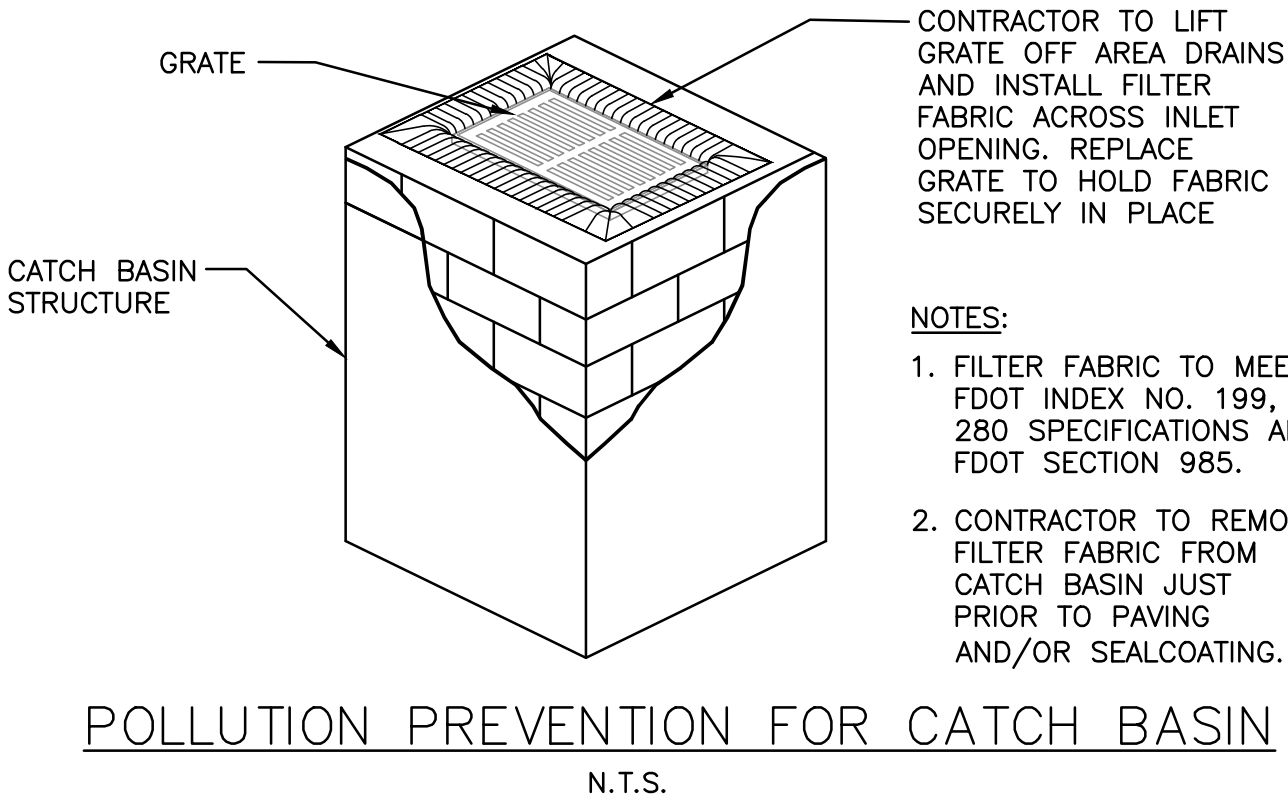
LOCATION MAP
NOT TO SCALE

BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



TYPE III SILT FENCE
NTS



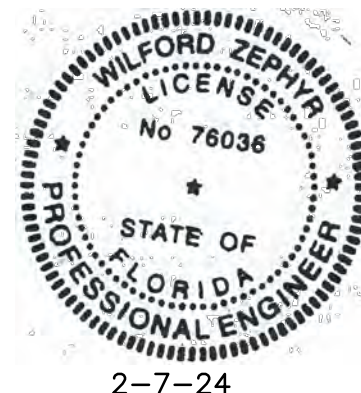
POLLUTION PREVENTION FOR CATCH BASIN
N.T.S.

LEGEND

- | | | | |
|--|----------------------|--|------------------------|
| | PROPOSED CONCRETE | | PROPOSED WATER METER |
| | PROPOSED ASPHALT | | EXISTING WATER METER |
| | PROPOSED GRADE | | EXISTING WATER VALVE |
| | EXISTING ELEVATION | | PROPOSED BFP DEVICE |
| | PROPOSED CATCH BASIN | | EXISTING SAN. SEWER MH |
| | EXISTING CATCH BASIN | | EXISTING FIRE HYDRANT |

EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=10'



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS		
NO.	DATE	DESCRIPTION
1	11-2-23	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING

ZE

ARTHUR STREET APARTMENTS
1225 N 17th CT
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 8/22/23

SCALE: 1"=10'

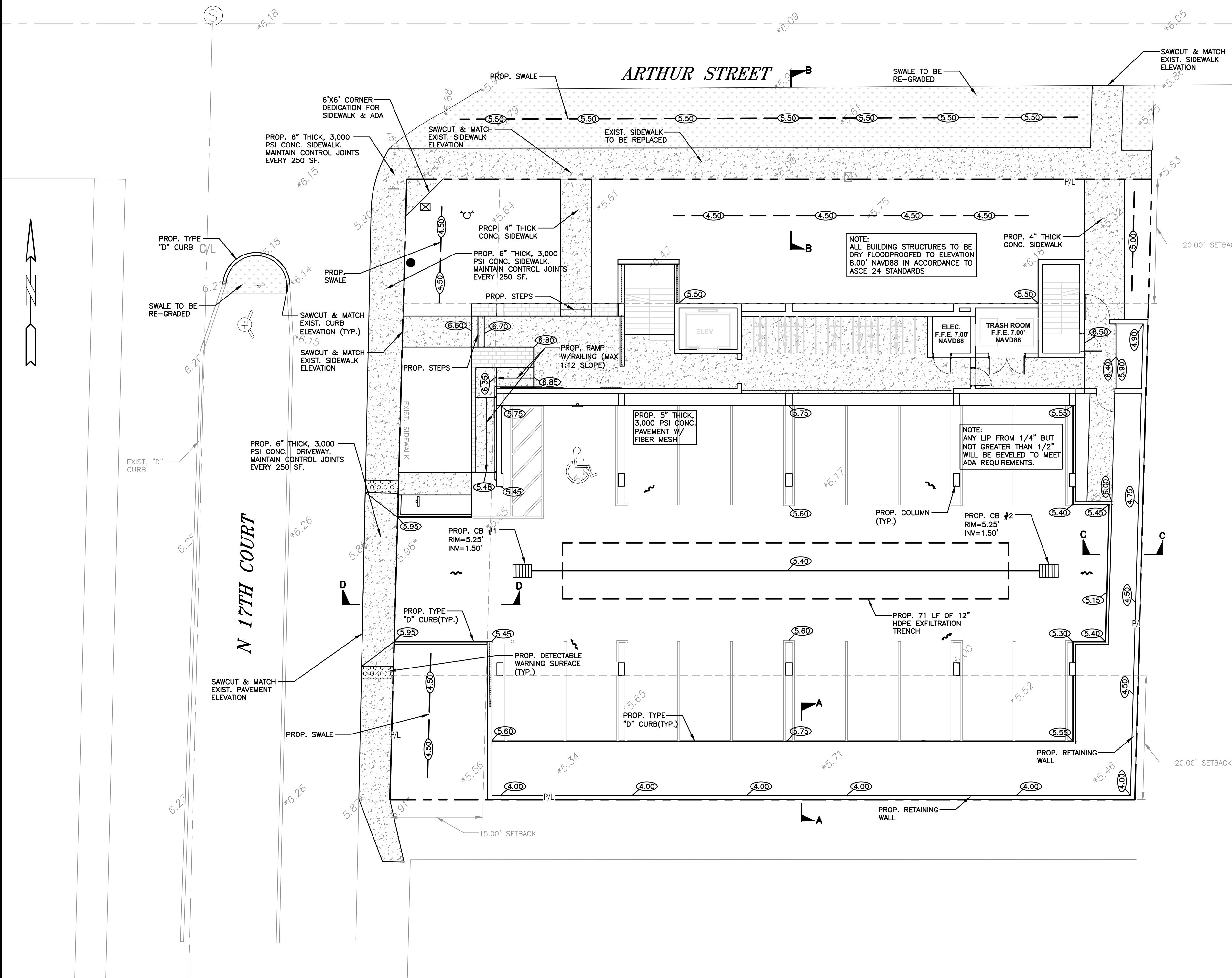
SHEET NO.:

C1

1 OF 8

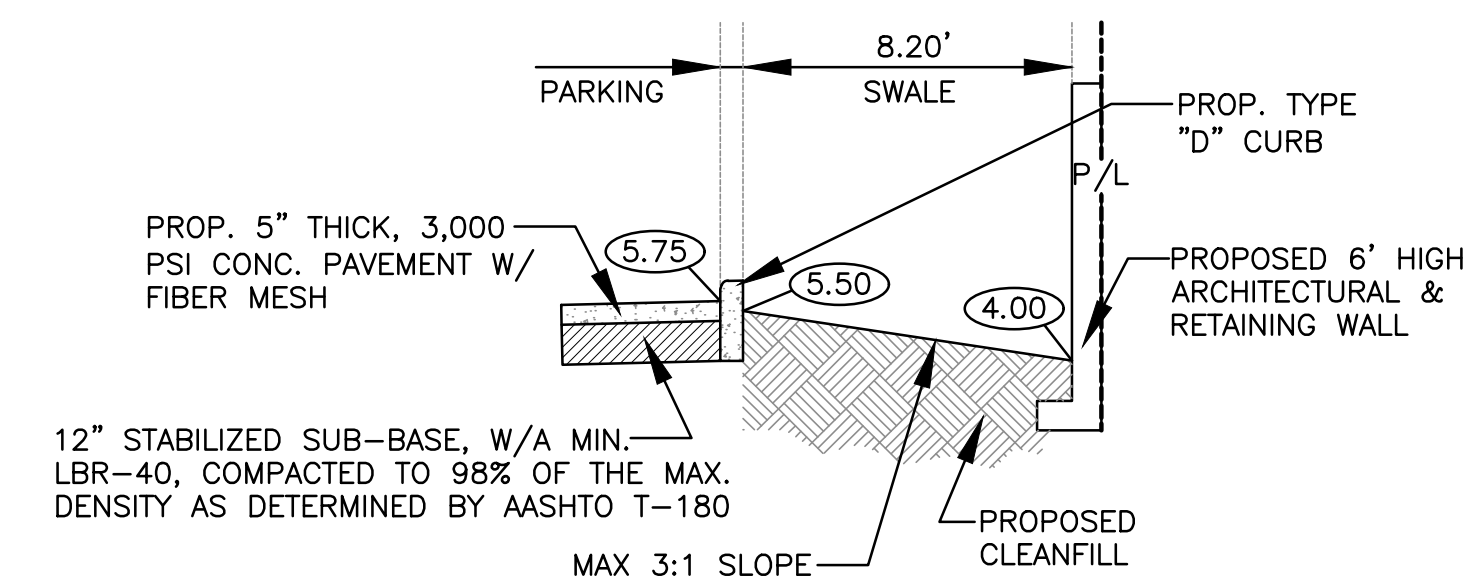
PROJECT NO.: 23-38

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM

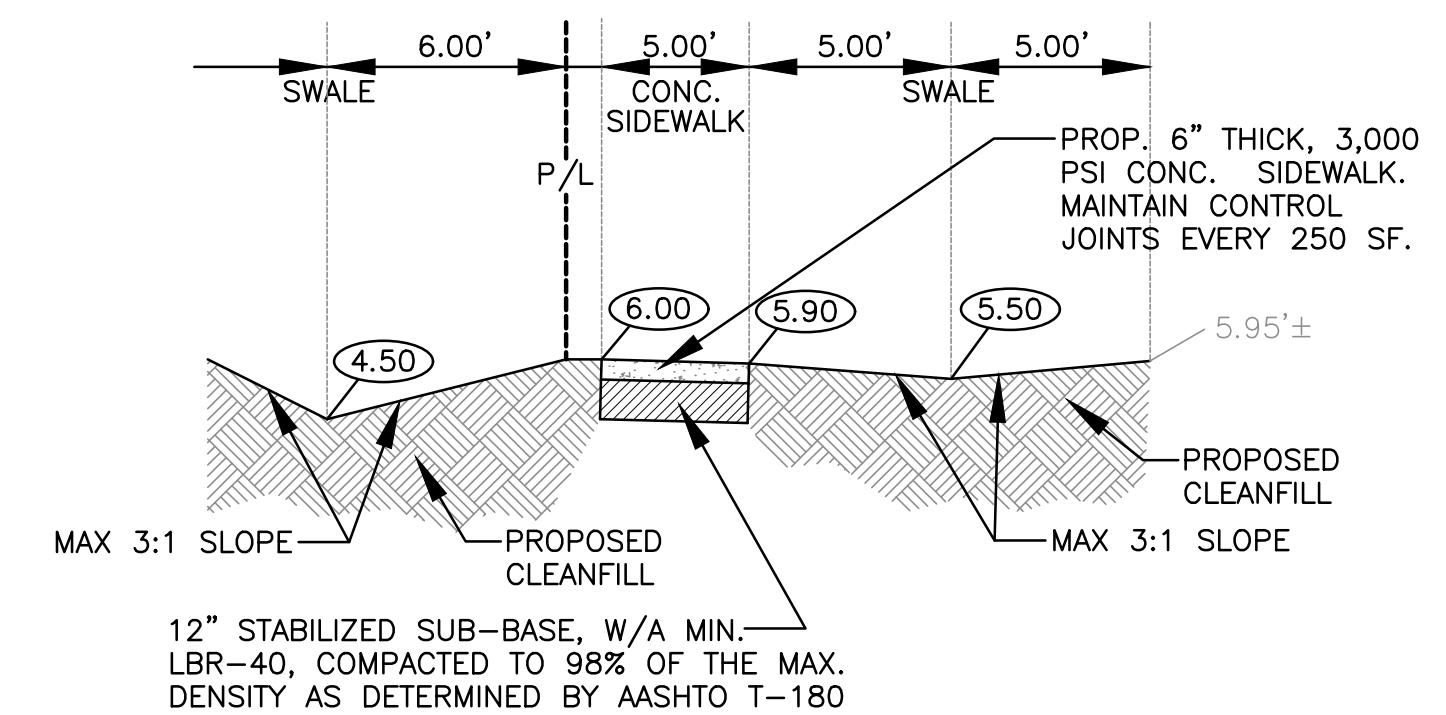


NOTES:

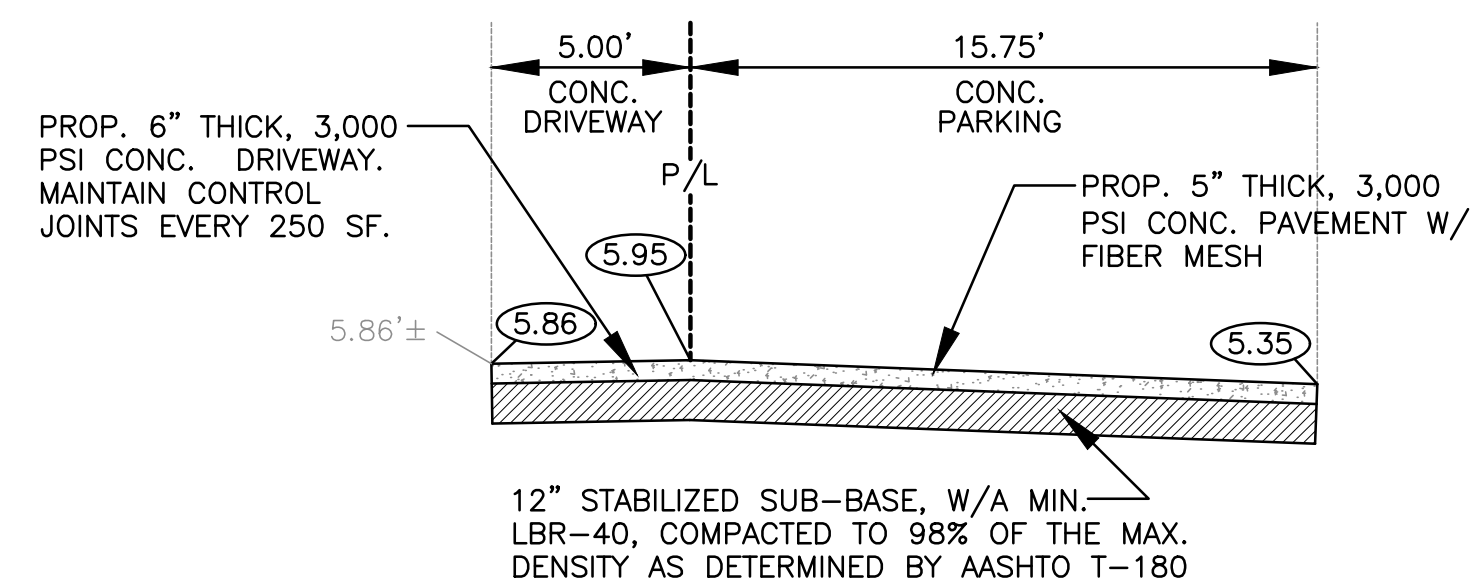
- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
- 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
- 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
- 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
- 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
- 6) CONTRACTOR PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
- 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.



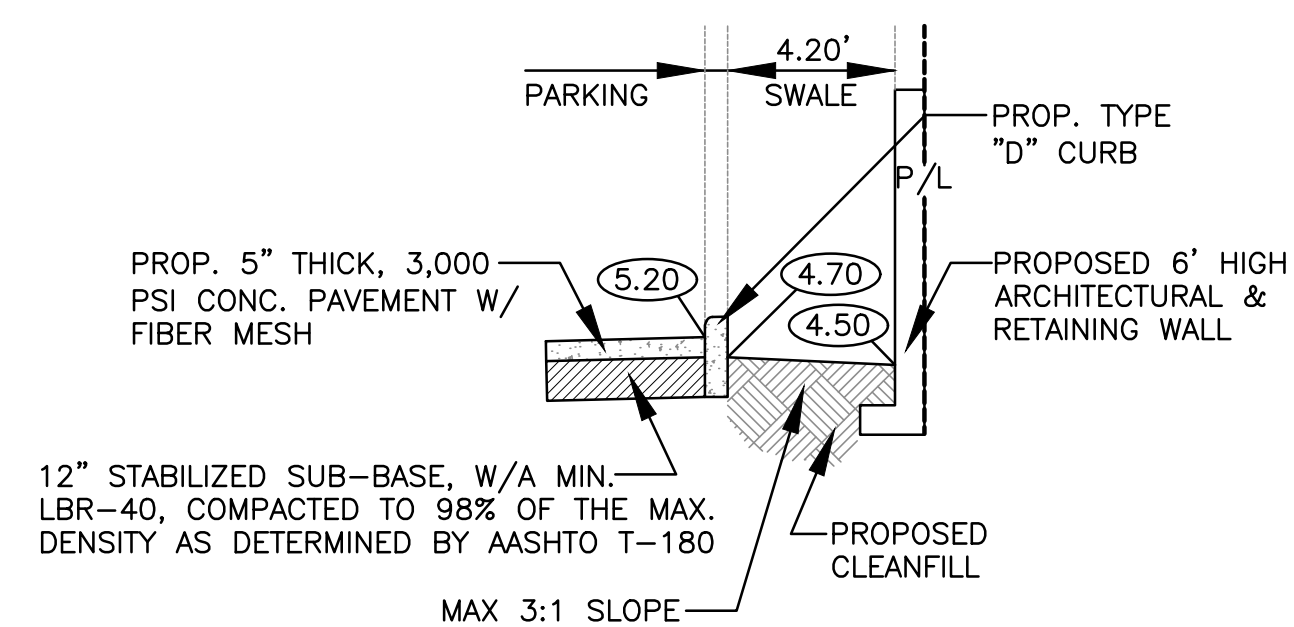
SECTION A-A
N.T.S.



SECTION B-B
N.T.S.



SECTION D-D
N.T.S.



SECTION C-C
N.T.S.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

PAVING, GRADING & DRAINAGE PLAN

SCALE: 1"=10'

REVIEWS		
NO.	DATE	DESCRIPTION
1	10-25-23	CITY REVIEW COMMENTS
2	11-2-23	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyreng@gmail.com
CA # 31158

W
N

ARTHUR STREET APARTMENTS
1225 N 17th CT
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 8/22/23

SCALE: 1"=10'

SHEET NO.:

C2

2 OF 8

PROJECT NO.: 23-38

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM

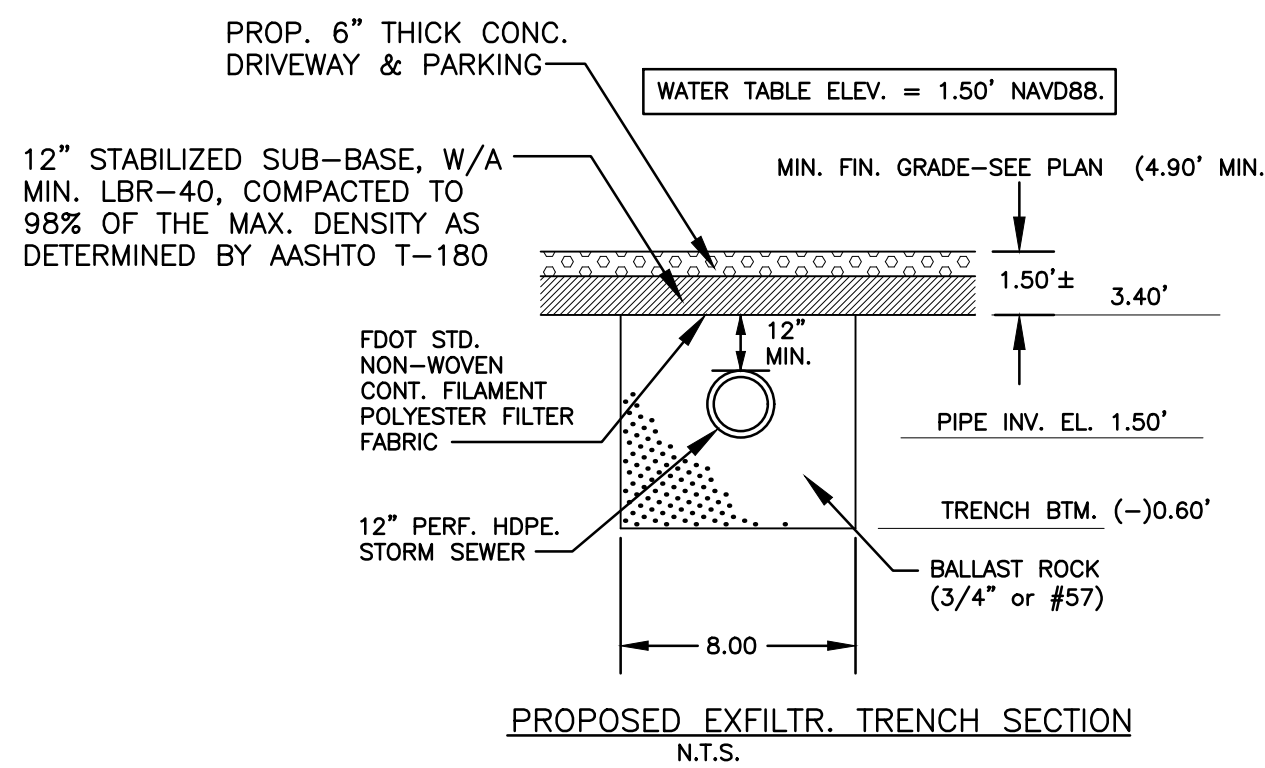
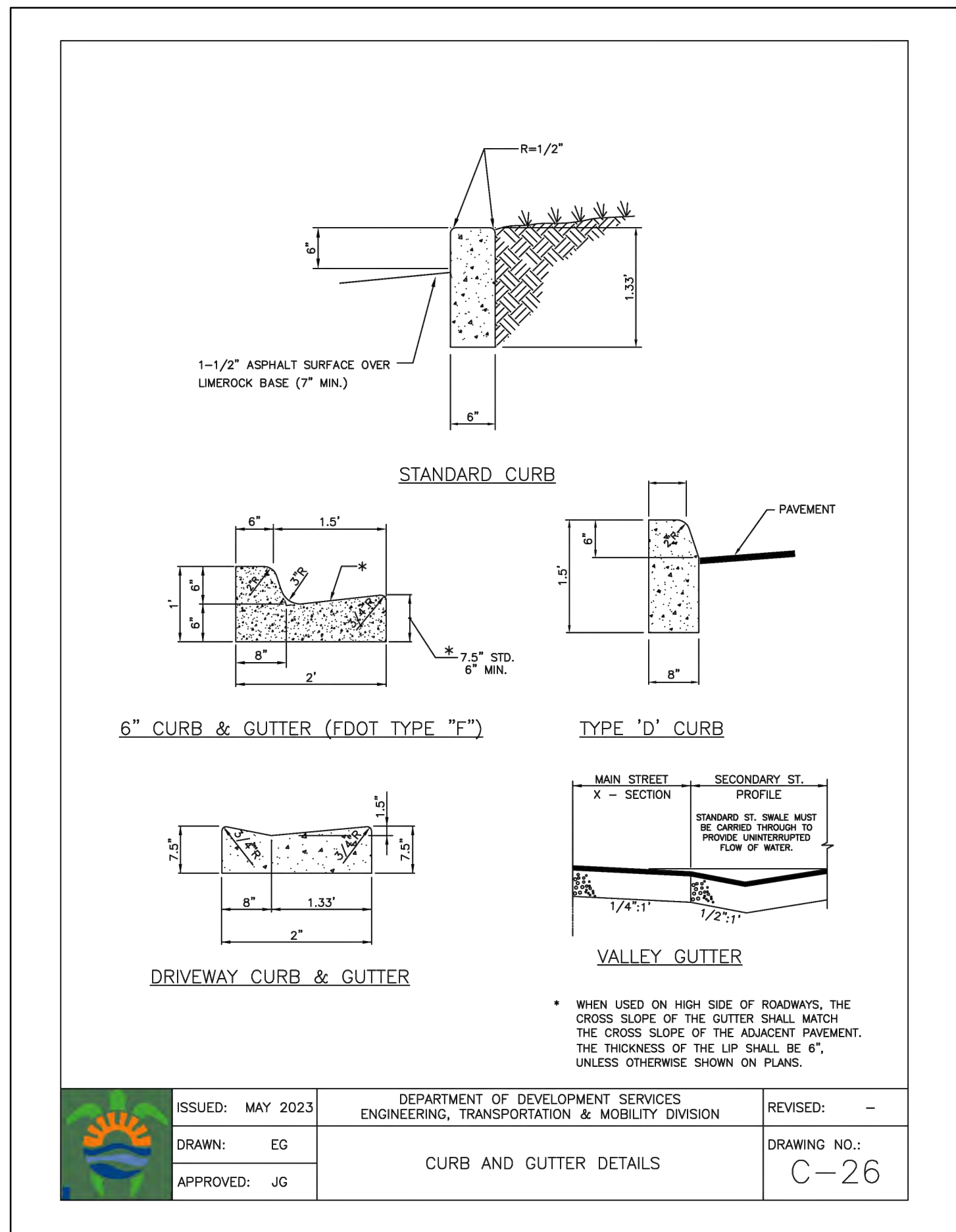
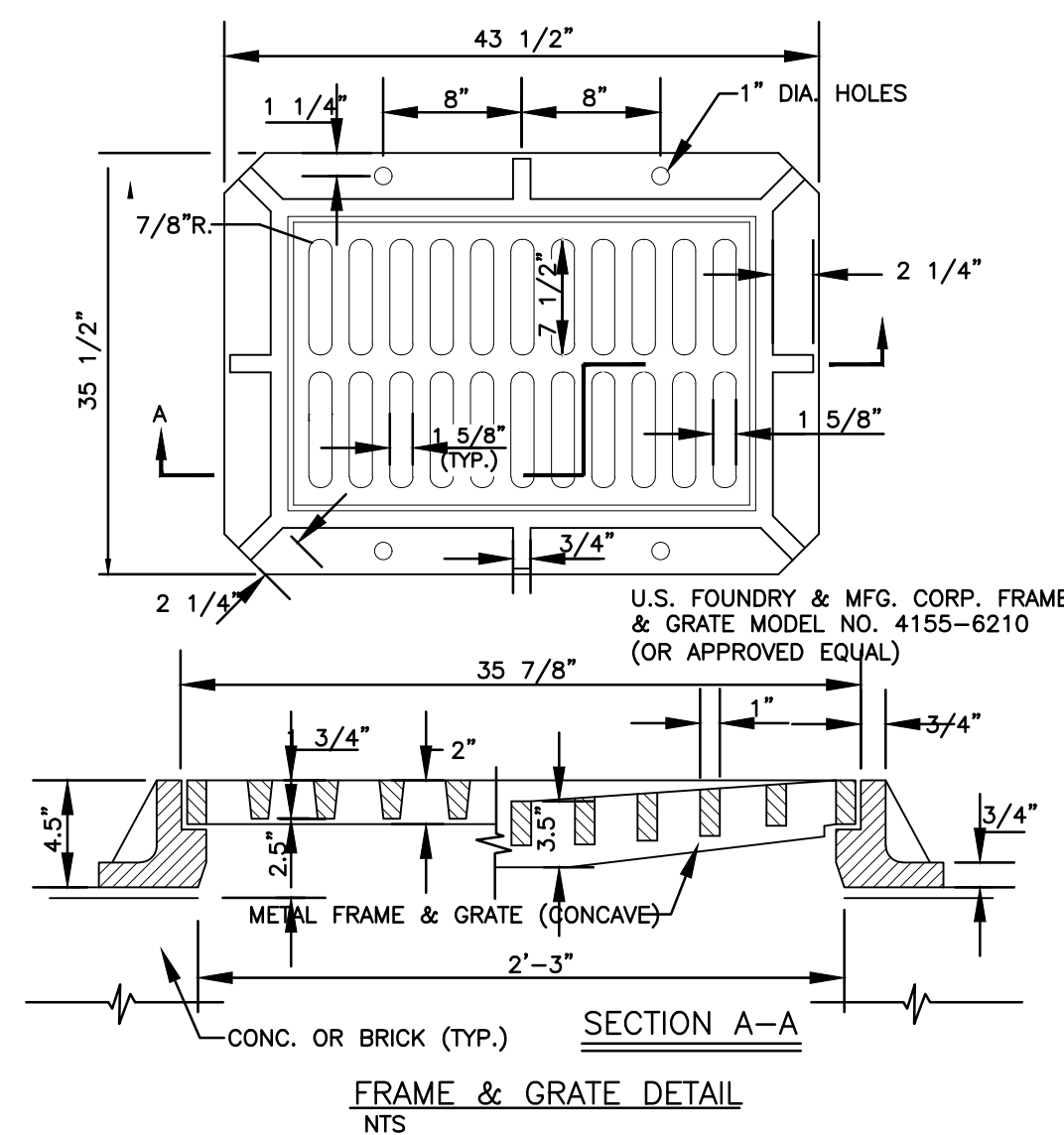
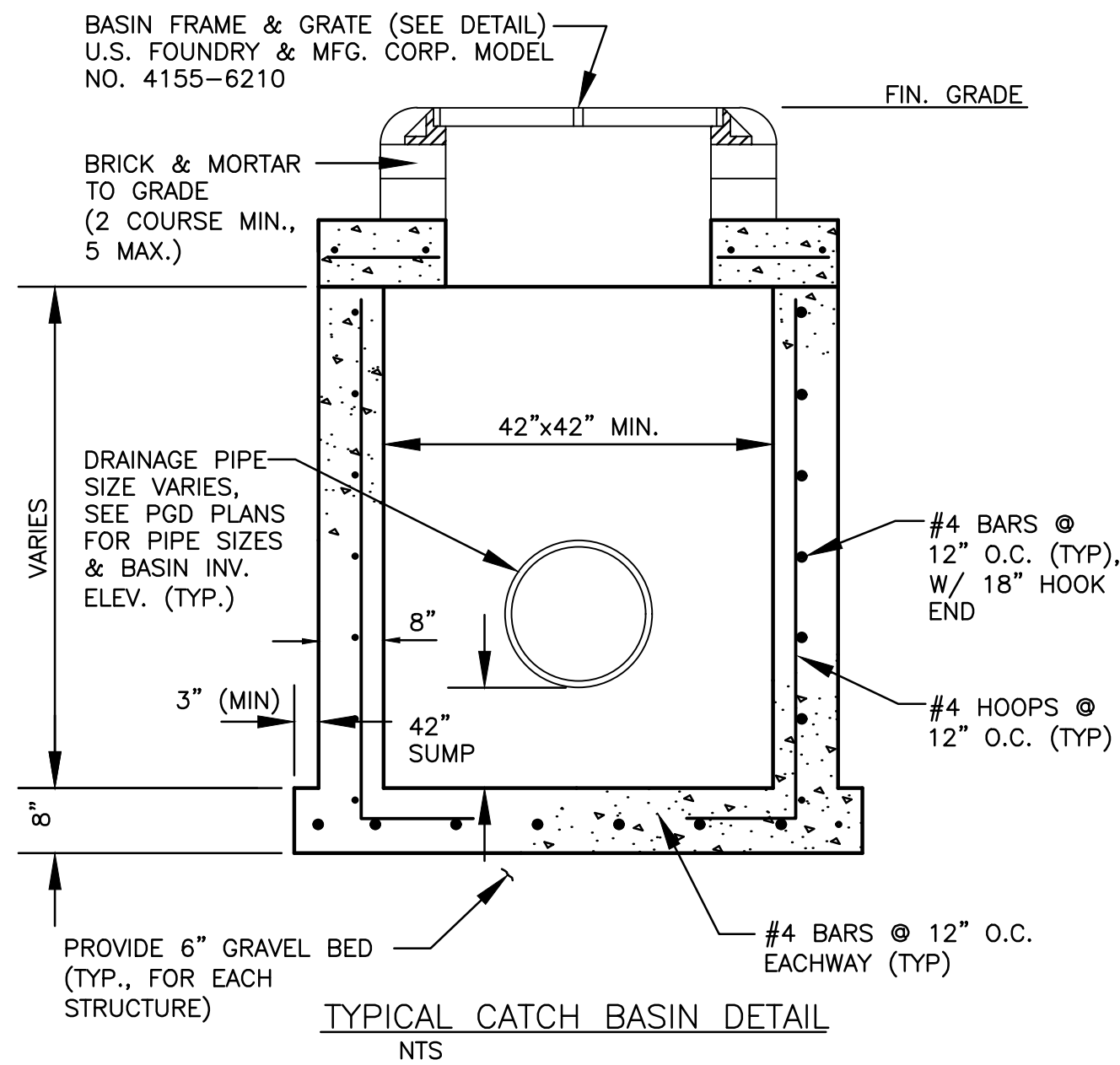
- FLORIDA POWER & LIGHT CO., CONSTRUCTION
BELL SOUTH
COMCAST
TECO
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
UNDERGROUND UTILITIES NOIFICATION CENTER OF FLORIDA
(S.U.N.S.H.I.N.E.)

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.


- RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
 CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
 CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
 SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
 PVC = POLYVINYLCHLORIDE PIPE
 PCMP = PERFORATED CMP, FDOT SECTION 945
 DIP = DUCTILE IRON PIPE
 HDPE = HIGH DENSITY POLYETHYLENE PIPE.

- DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
3. STOP BARS SHALL BE 24" WHITE.
4. ALL SITE PAVEMENT MARKINGS SHALL BE PAINT. (UNLESS OTHERWISE SPECIFIED)
5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPE T-1-P-06-001.

[illegible]

ZEPHYR ENGINEERING



ARTHUR STREET APARTMENTS
1225 N 17th CT
HOLLYWOOD, FL 33020

3 OF

PROJECT NO.: 23-38

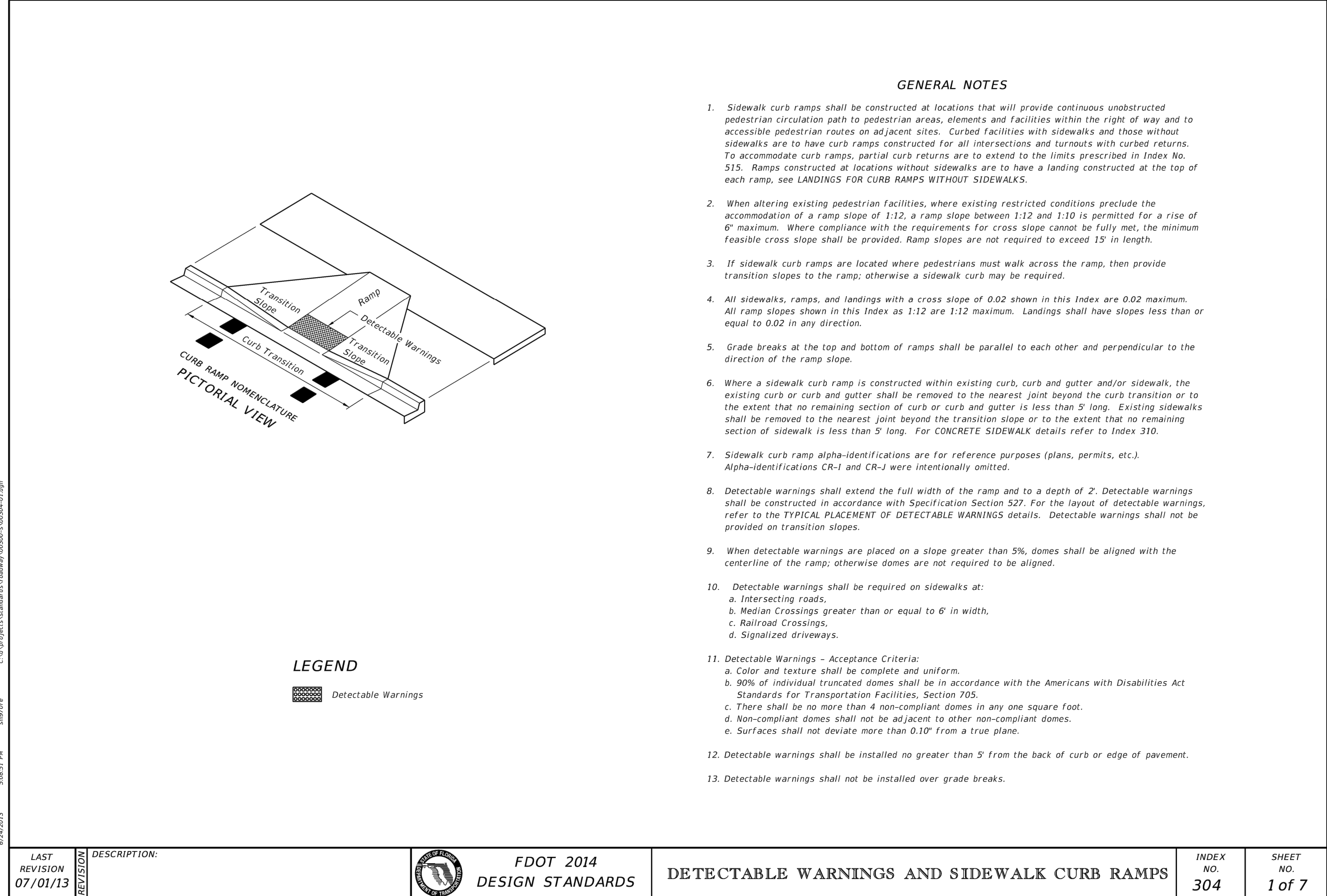
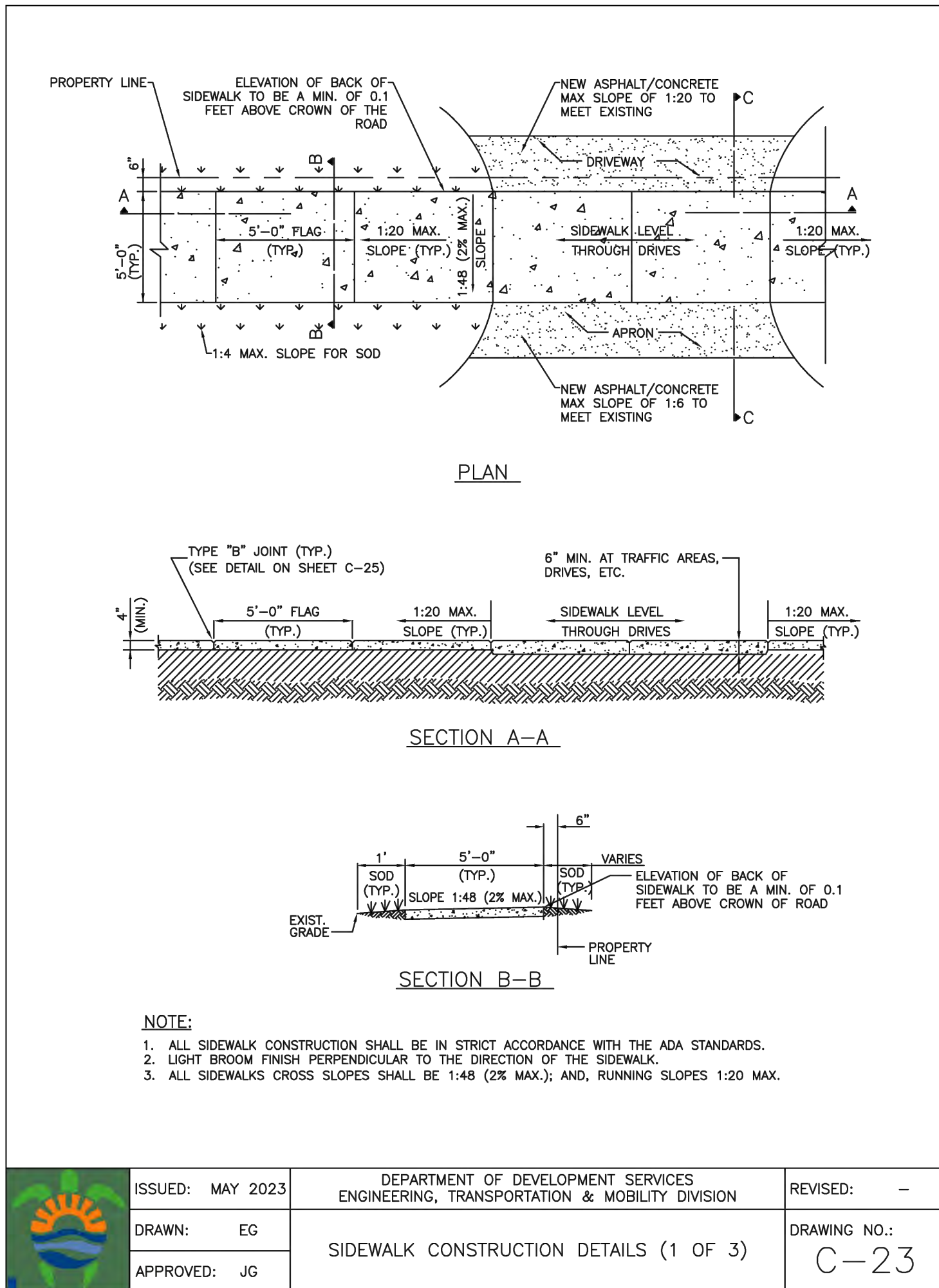
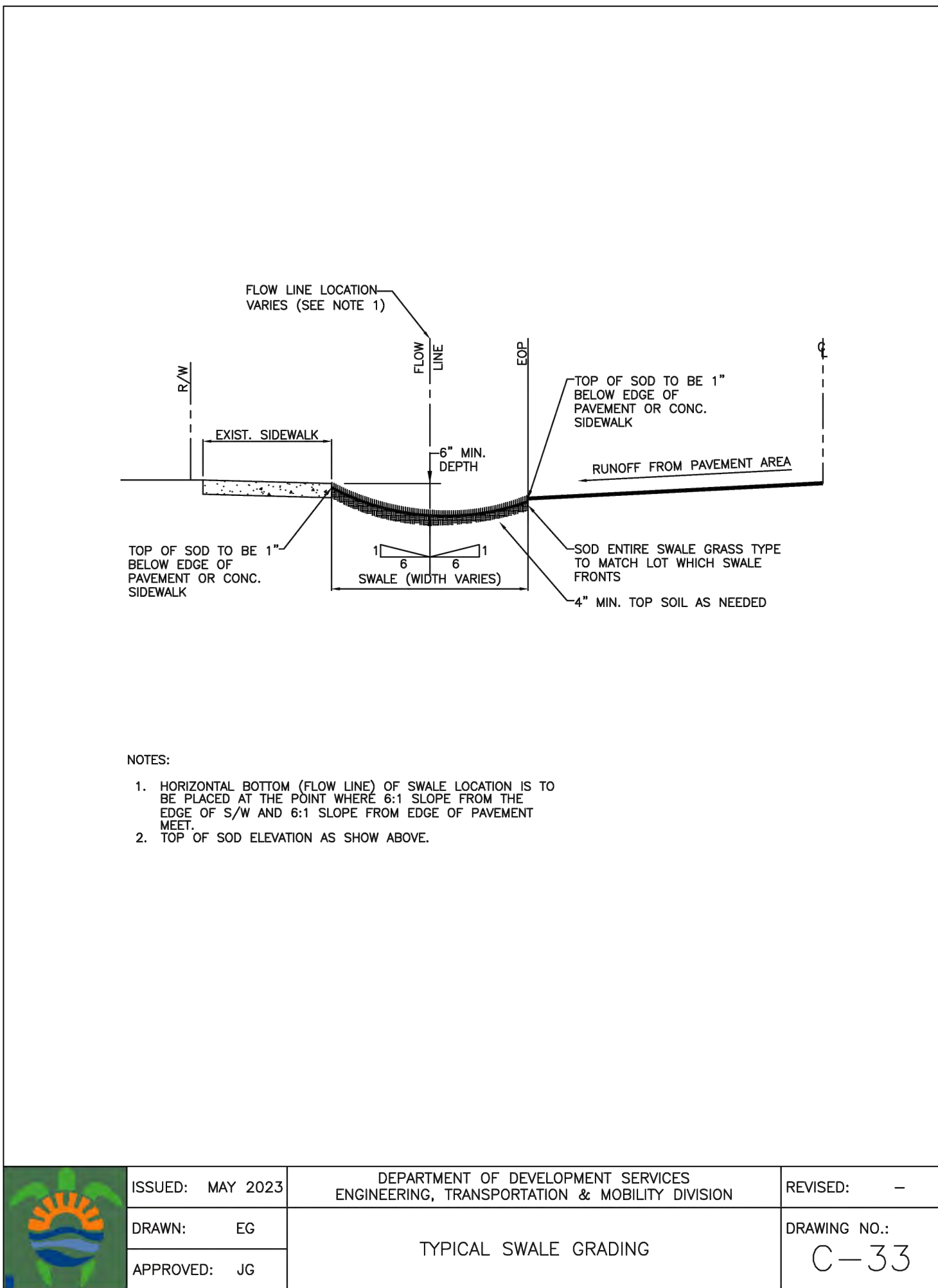
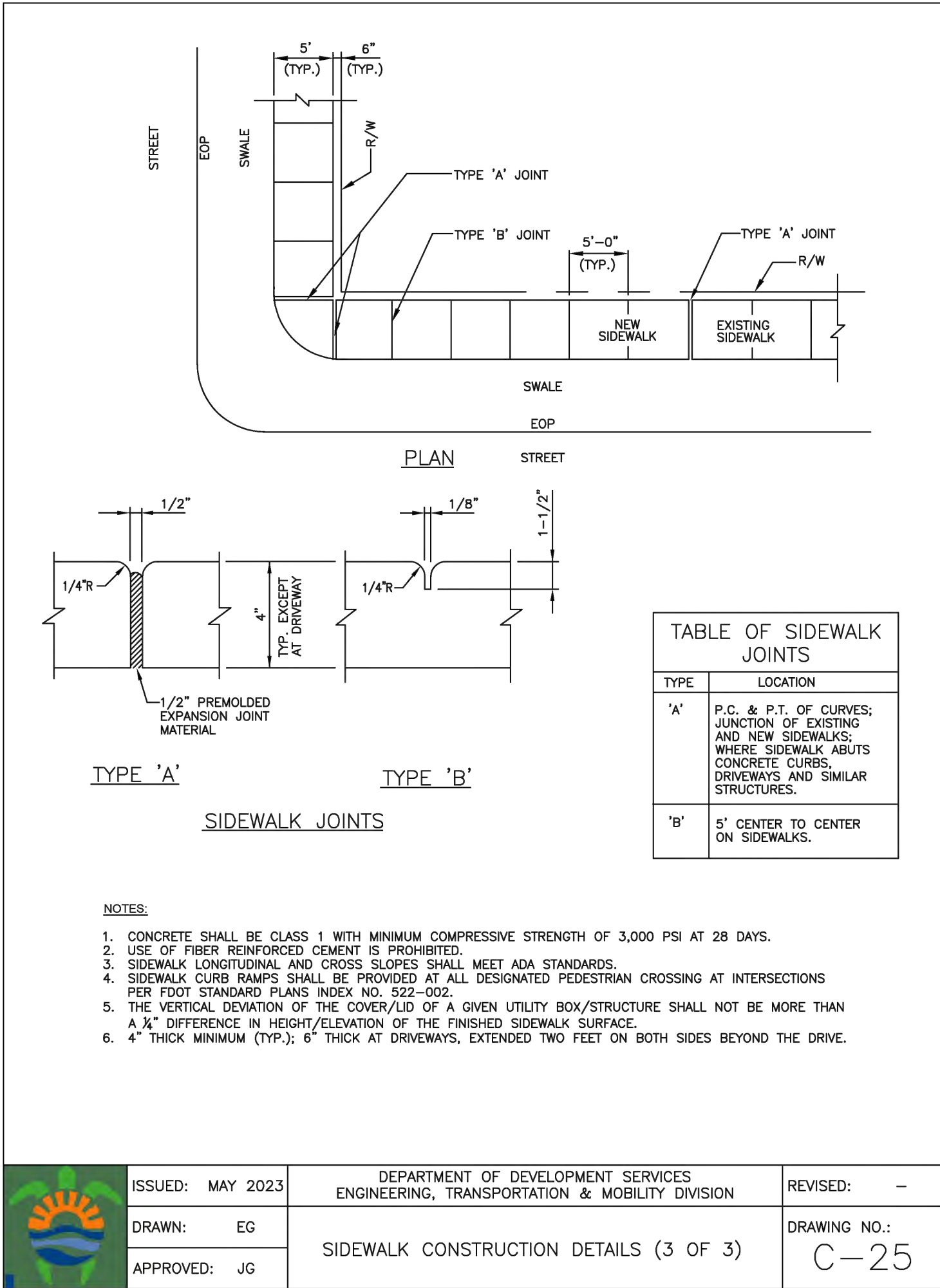
CIVIL DETAILS I

SCALE: N.T.S



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.



CIVIL DETAILS II

SCALE: N.T.S.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS	
NO.	DESCRIPTION

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA# 31158

ZE

ARTHUR STREET APARTMENTS
1225 N 17th CT
HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 8/22/23

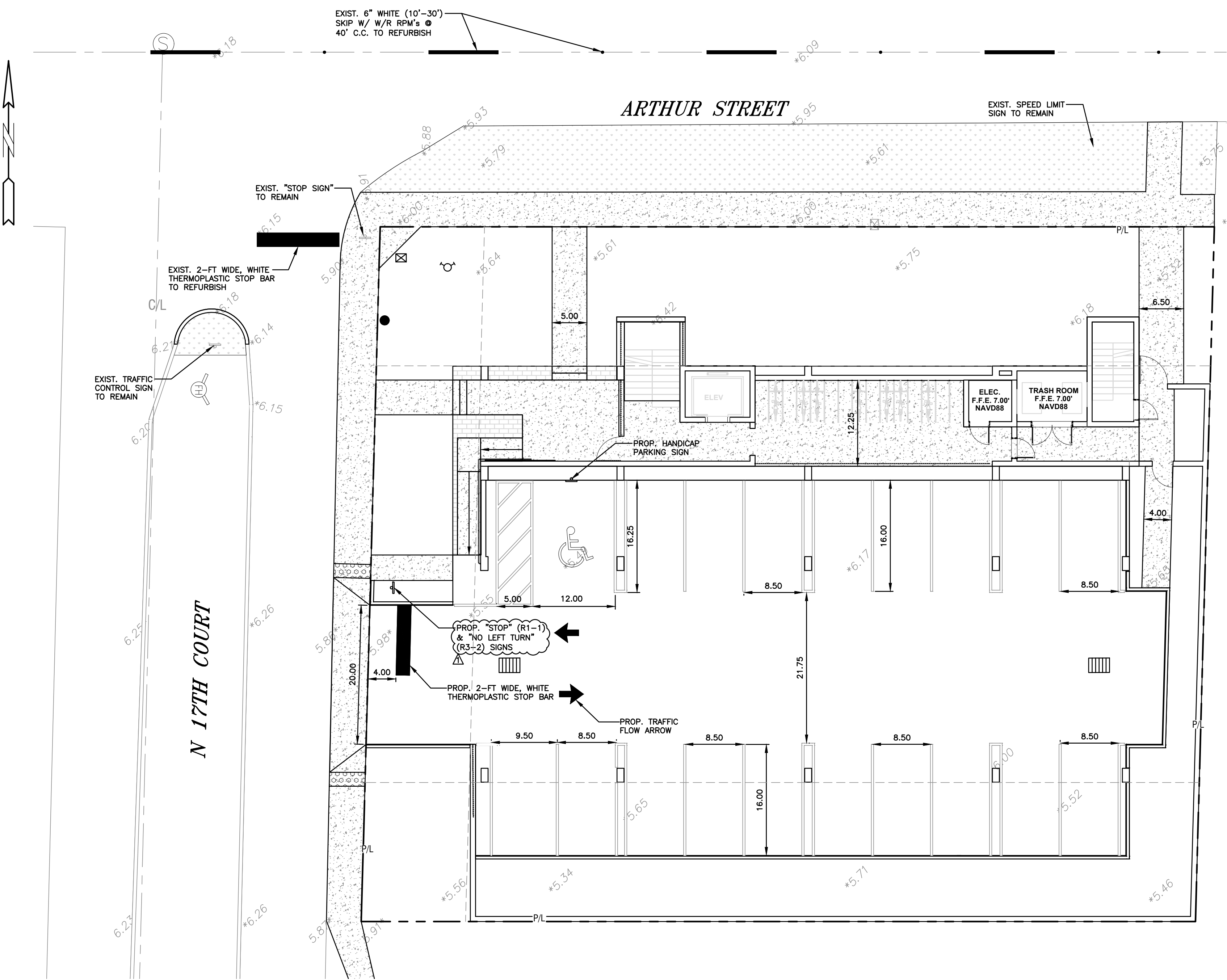
SCALE: N.T.S.

SHEET NO.: C4

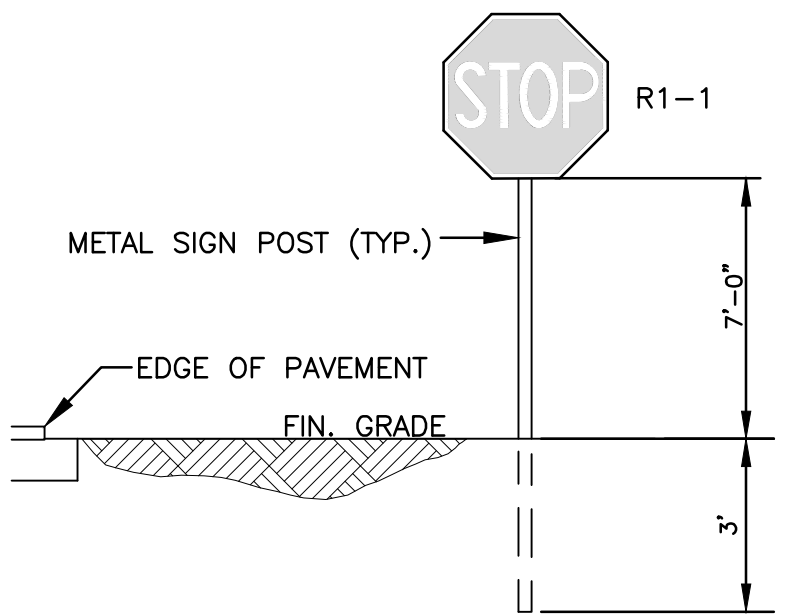
4 OF 8

PROJECT NO.: 23-38

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



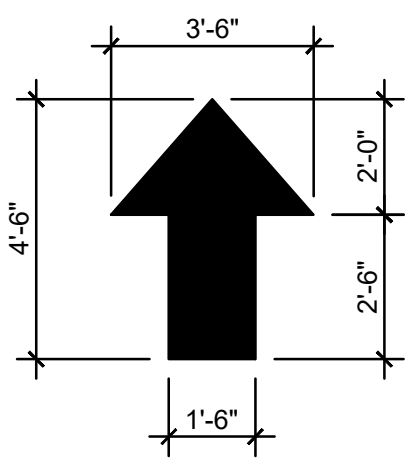
LEGEND			
	PROPOSED CONCRETE		PROPOSED WATER METER
	PROPOSED ASPHALT		EXISTING WATER METER
	PROPOSED GRADE		EXISTING WATER VALVE
	EXISTING ELEVATION		PROPOSED BFP DEVICE
	PROPOSED CATCH BASIN		EXISTING SAN. SEWER MH
	EXISTING CATCH BASIN		EXISTING FIRE HYDRANT



TYPICAL SIGN INSTALLATION DETAIL
NTS

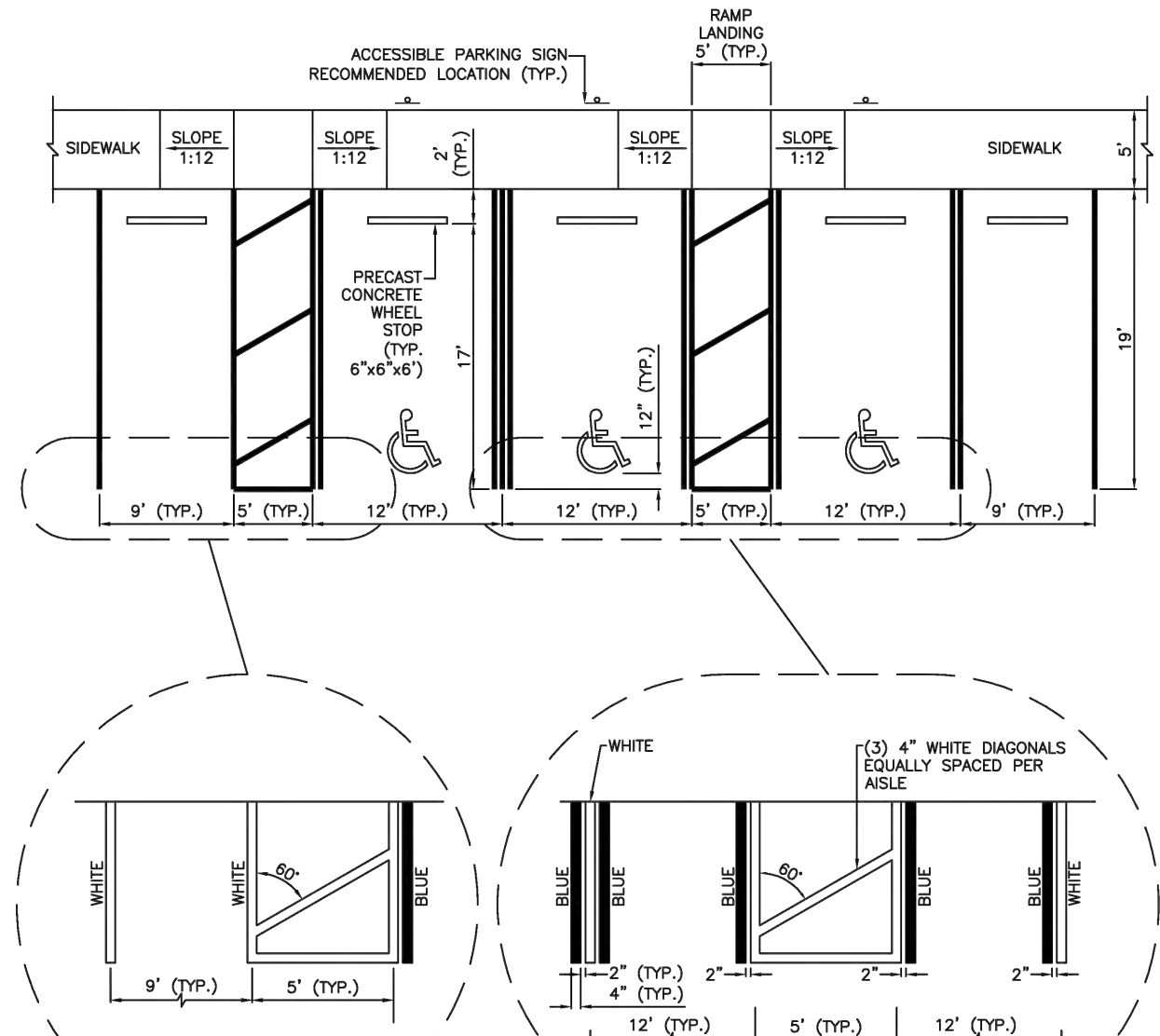
TRAFFIC CONTROL ARROWS: DIRECTIONAL
ARROWS PAINTED ON CONCRETE - SEE
LOCATIONS THIS SHEET.

PAINT FOR ARROWS: PROVIDE A MINIMUM
OF 2-COATS OF D.O.T. APPROVED PAINT -
UTILIZE "YELLOW" COLORED PAINT ON
CONCRETE.



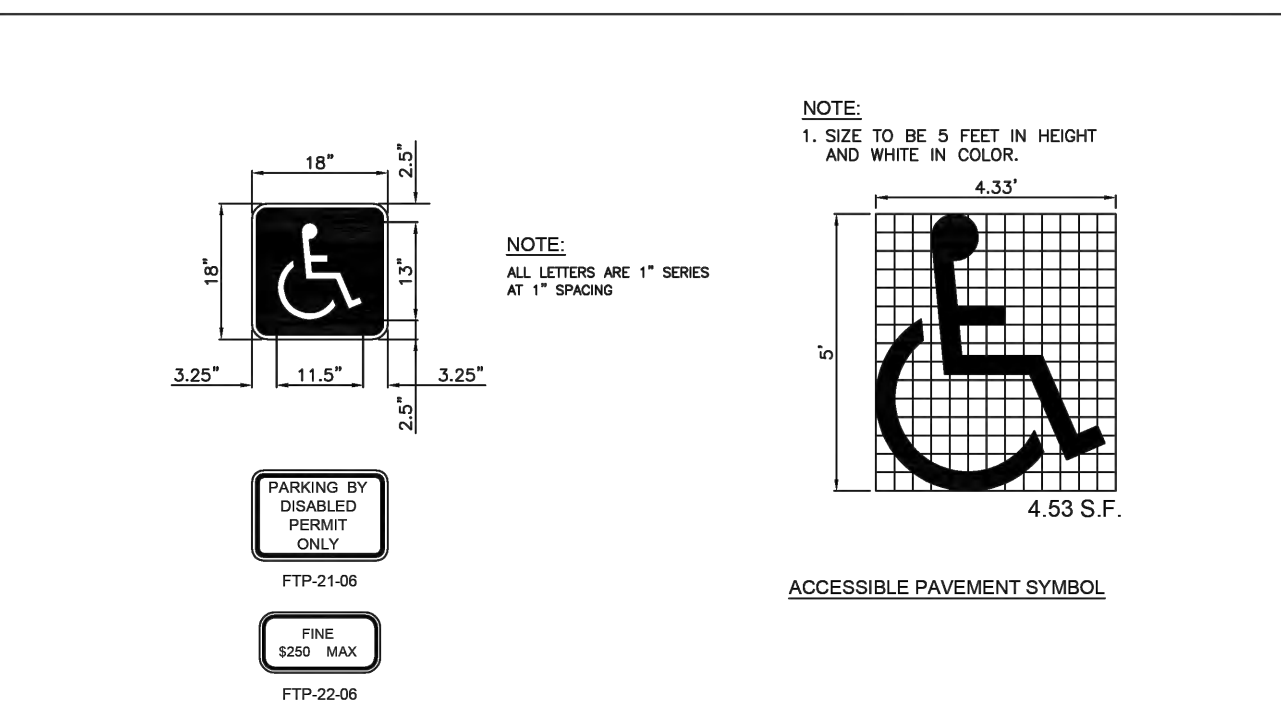
TRAFFIC CONTROL ARROWS DETAILS
NTS

ACCESSIBLE PARKING SPACE COMPLYING WITH FLORIDA AND ADA REQUIREMENTS (*)



(*) IN CASE OF CONFLICT PLANS TO COMPLY WITH ADA 406 & 502, AND FDOT 711-001 (SHEET 11)

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	ACCESSIBLE PARKING SPACE DETAILS (1 OF 2)	DRAWING NO.: C-21
APPROVED: JG		



SIGNAGE NOTES:

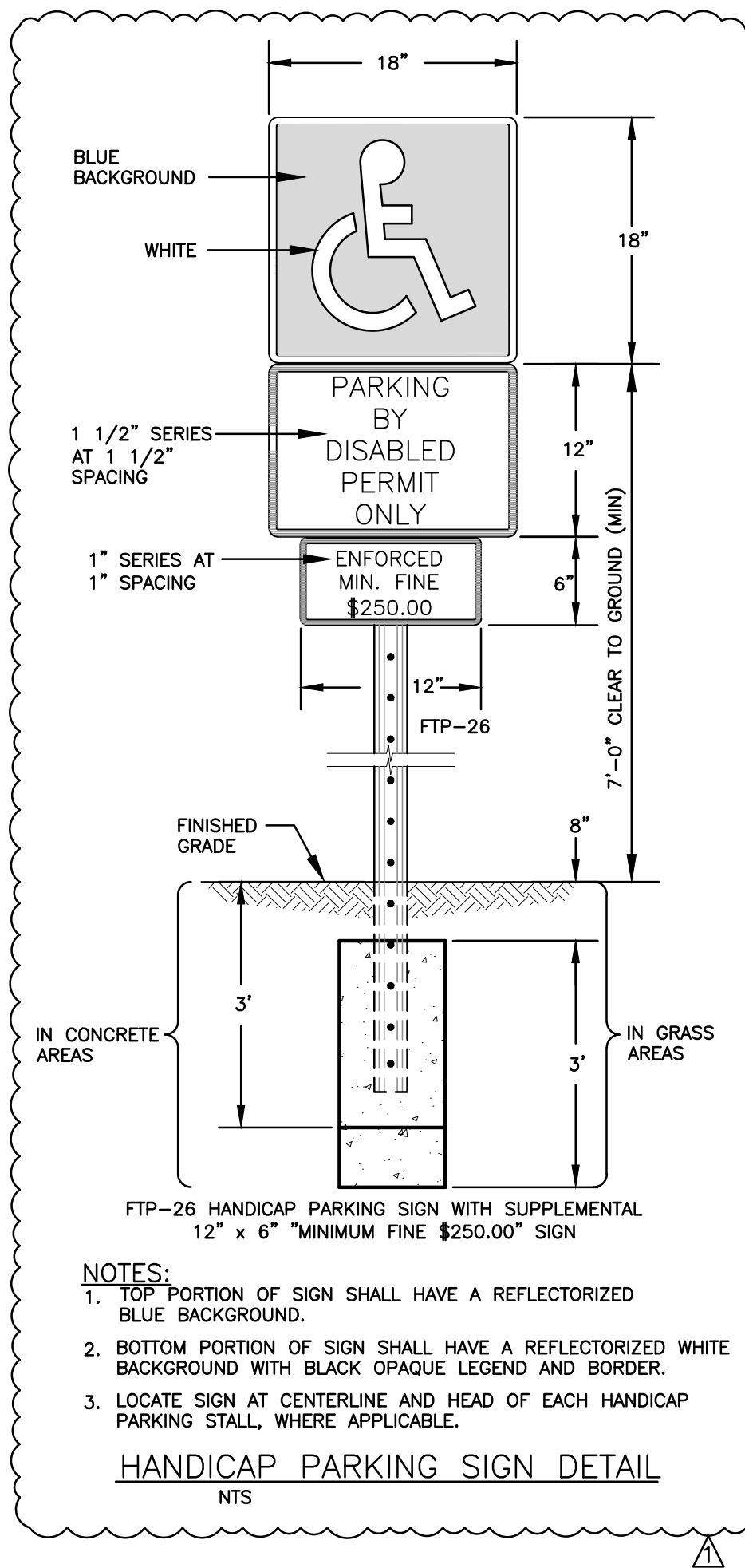
- FTP-21-06 & FTP-22-06 SIGN SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 700-102.
- SIGN POST SHALL BE IN ACCORDANCE WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION "GROUND SIGN ASSEMBLY DETAILS", LATEST REVISION.

NOTES:

- PROVIDE PAVEMENT SYMBOL IN ACCESSIBLE PARKING SPACES. THE SYMBOL SHALL BE WHITE IN COLOR PER ADA STANDARDS.
- BLUE MARKINGS SHALL BE SHADED.
- SLOPES NO GREATER THAN 1:48 SHALL BE PERMITTED IN ALL DIRECTIONS FOR BOTH THE ACCESSIBLE PARKING SPACE AND ACCESSIBLE PARKING ACCESS AISLE.
- ALL RAMP, SIDEWALK, CURB RAMPS, AND ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT.
- WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE WHITE PAVEMENT MARKINGS. HOWEVER, WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST PAVEMENT MARKING.
- ALL ACCESSIBLE ELEMENTS SHALL BE COMPLIANT WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE FLORIDA BUILDING CODE LATEST EDITION FOR "ACCESSIBILITY".
- ALL PARKING PAVEMENT MARKINGS SHALL BE 4" REFLECTORIZED PAINT MEETING FDOT/BCTED STANDARDS.
- ACCESSIBLE PARKING SIGNS SHALL BE 60" MINIMUM ABOVE FINISH FLOOR OR GROUND SURFACE MEASURED FROM BOTTOM OF THE SIGN.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	ACCESSIBLE PARKING SPACE DETAILS (2 OF 2)	DRAWING NO.: C-22
APPROVED: JG		

BCTED NO. XXXXXXXX



NOTES:

- TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
- BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
- LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP PARKING STALL, WHERE APPLICABLE.

HANDICAP PARKING SIGN DETAIL
NTS

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

PAVEMENT MARKINGS & SIGNAGE PLAN

SCALE: 1"=10'

REVISIONS

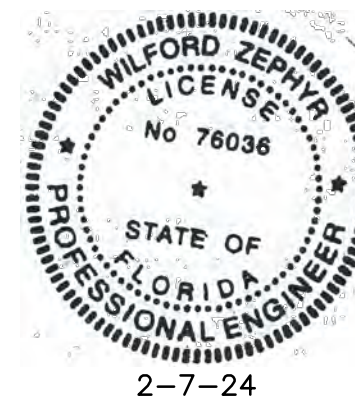
NO.	DATE	DESCRIPTION
1	2-7-24	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA# 31158

ZE

ARTHUR STREET APARTMENTS
1225 N 17th CT
HOLLYWOOD, FL 33020



P.E.#: 76036

DATE: 8/22/23

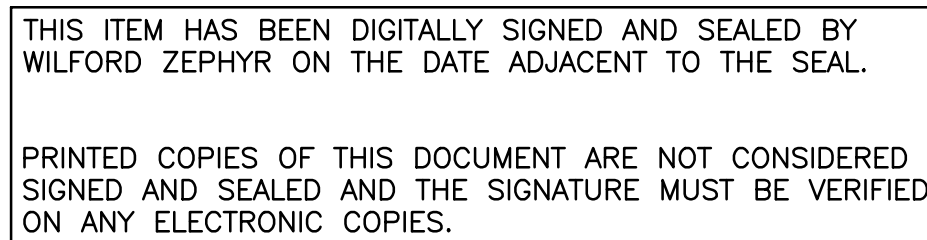
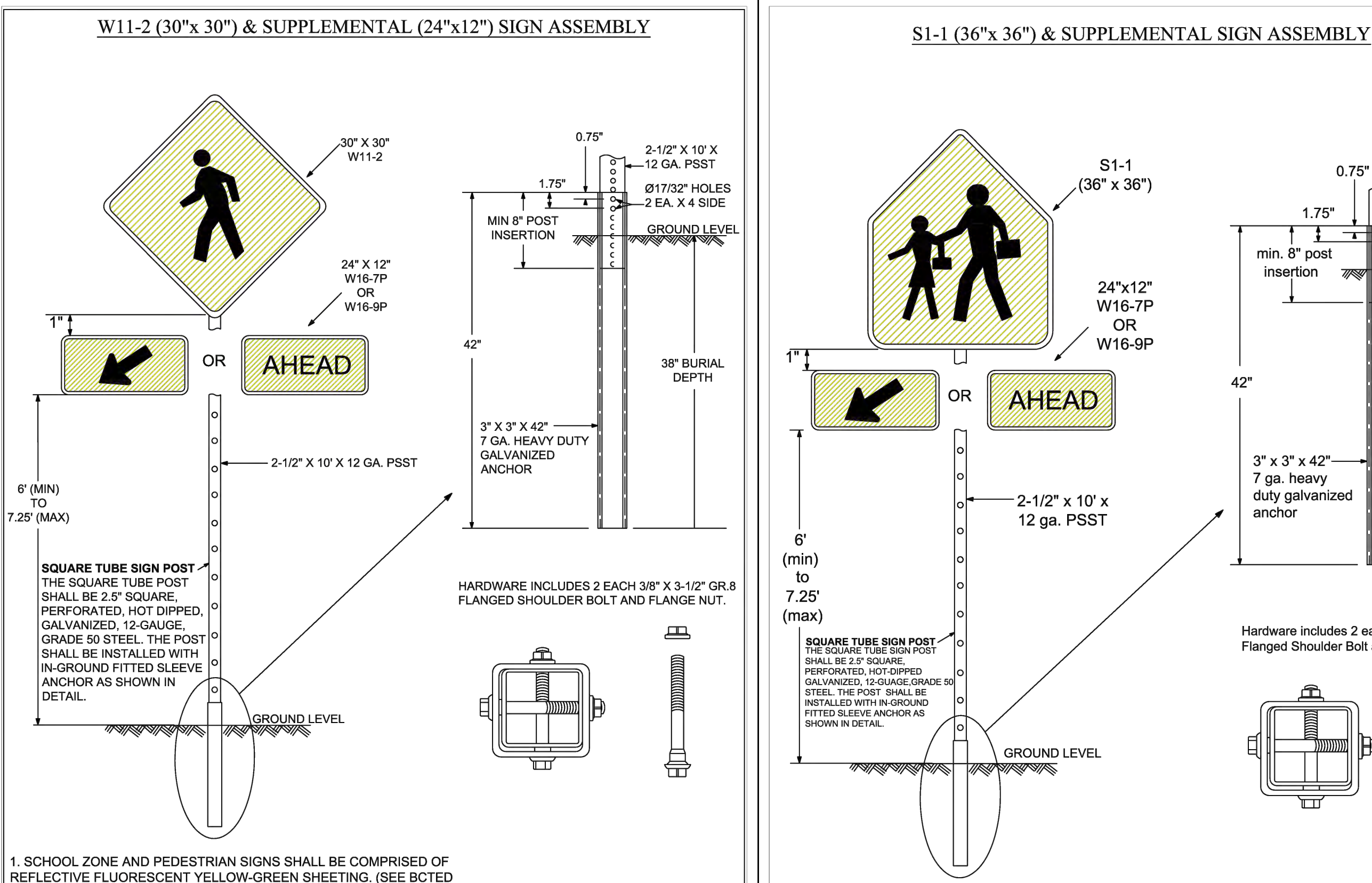
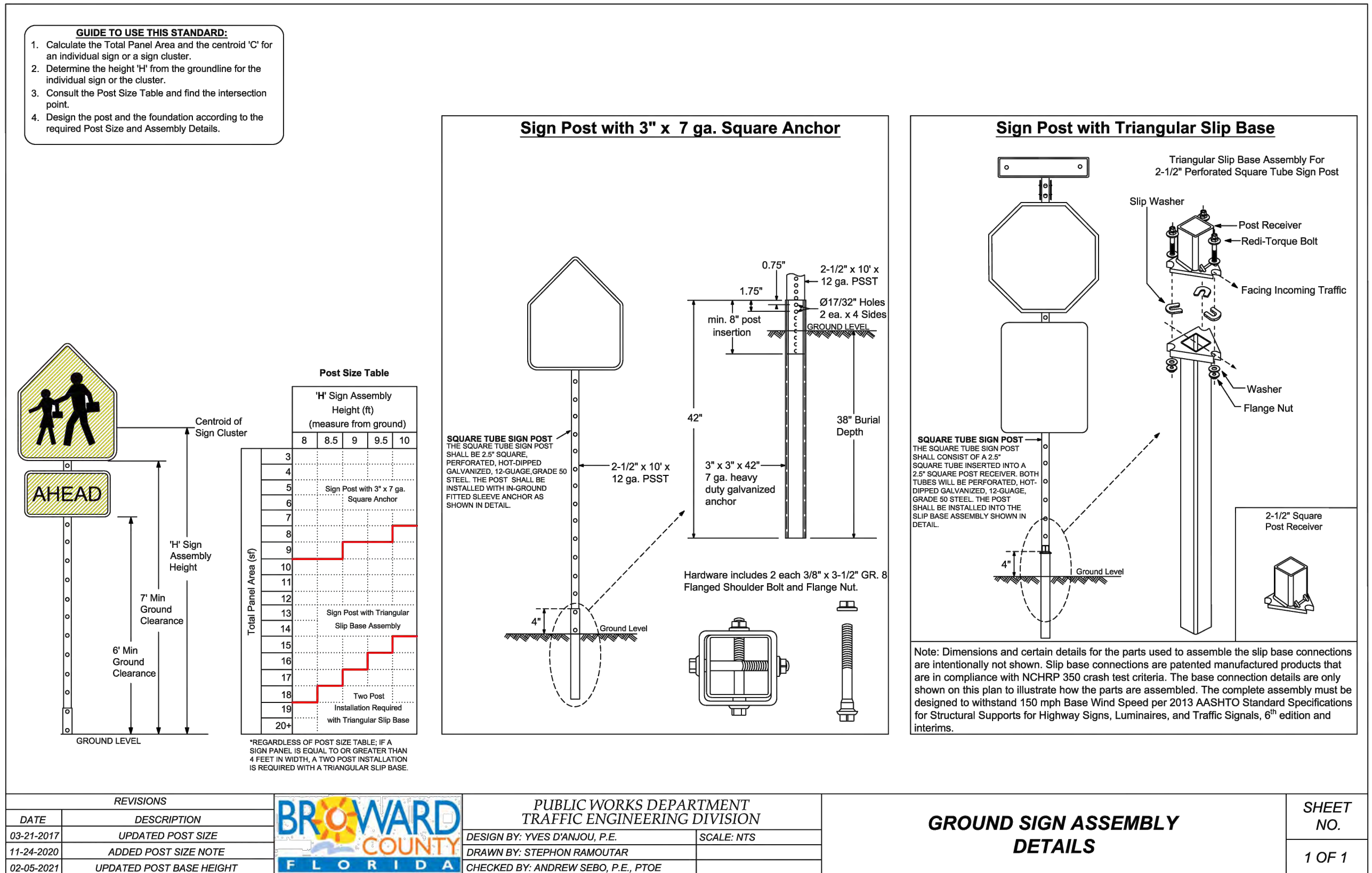
SCALE: 1"=10'

SHEET NO.:

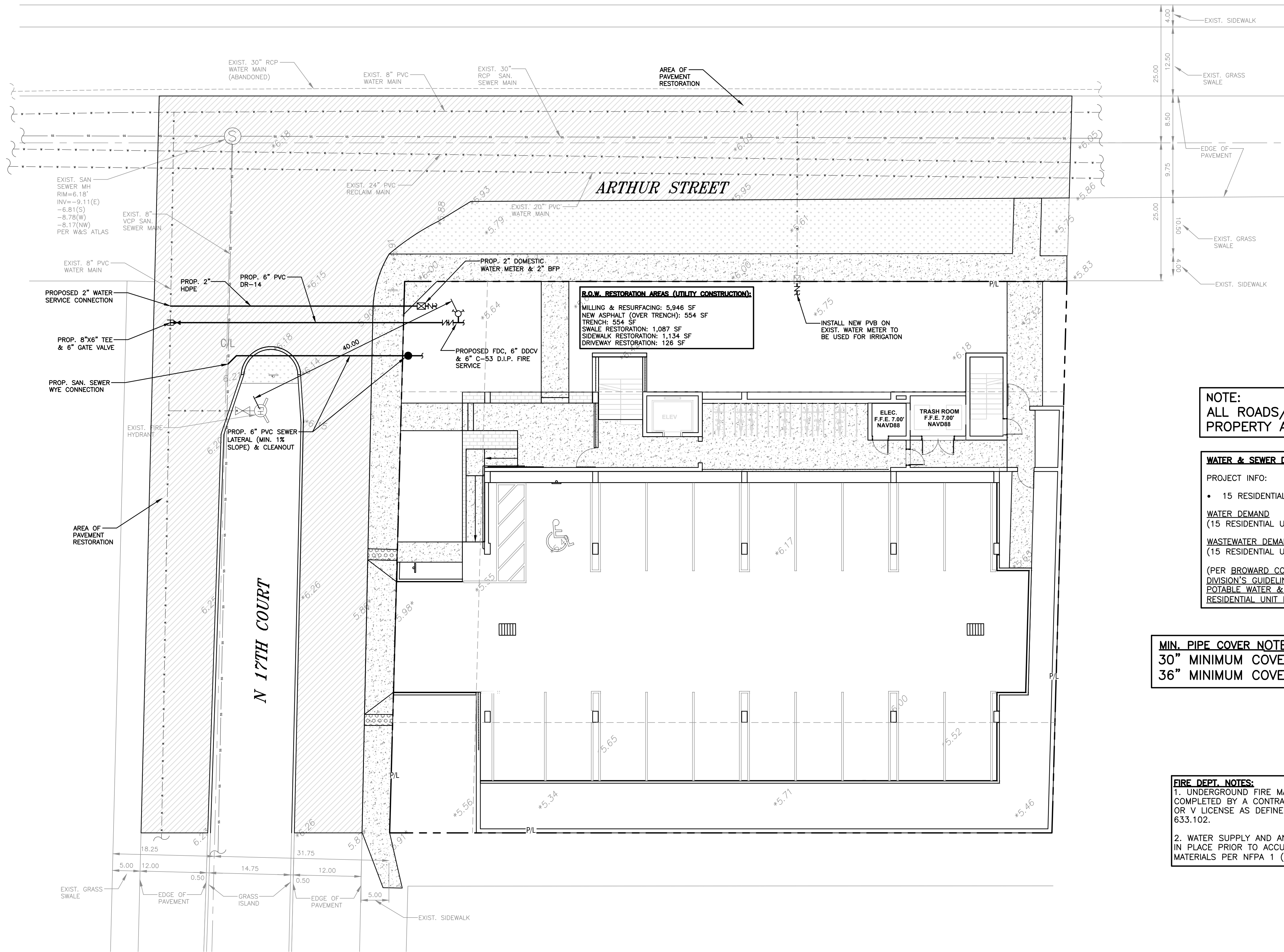
C5

5 OF 8

PROJECT NO.: 23-38



ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



R.O.W. RESTORATION AREAS (UTILITY CONSTRUCTION):
MILLING & RESURFACING: 5,946 SF
NEW ASPHALT (OVER TRENCH): 554 SF
TRENCH: 554 SF
SIDEWALK RESTORATION: 1,087 SF
SIDEWALK RESTORATION: 1,134 SF
DRIVEWAY RESTORATION: 126 SF

NOTE:
ALL ROADS/ALLEY ADJACENT TO THE
PROPERTY ARE TO BE RESURFACED

WATER & SEWER DEMAND CALCULATIONS:

PROJECT INFO:

- 15 RESIDENTIAL UNITS

WATER DEMAND
(15 RESIDENTIAL UNITS)X(141 GPD/UNIT)=2,115 GPD

WASTEWATER DEMAND
(15 RESIDENTIAL UNITS)X(100 GPD/UNIT)=1,500 GPD

(PER BROWARD COUNTY WATER & WASTEWATER ENGINEERING
DIVISION'S GUIDELINE FOR DETERMINING ABILITY TO PROVIDE
POTABLE WATER & WASTEWATER SERVICE AND EQUIVALENT
RESIDENTIAL UNIT FACTORS PUBLICATIONS)

MIN. PIPE COVER NOTE:
30" MINIMUM COVER FOR DIP WATER & SEWER MAINS.
36" MINIMUM COVER FOR PVC WATER & SEWER MAINS

FIRE DEPT. NOTES:

1. UNDERGROUND FIRE MAIN WORK WILL BE
COMPLETED BY A CONTRACTOR HOLDING A CLASS I,II,
OR V LICENSE AS DEFINED BY FLORIDA STATUTE
633.102.

2. WATER SUPPLY AND ANY NEW HYDRANTS SHALL BE
IN PLACE PRIOR TO ACCUMULATION OF COMBUSTIBLE
MATERIALS PER NFPA 1 (2018 Ed.) SECTION 16.4.3.1.1.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

WATER & SEWER PLAN & DETAILS

SCALE: 1"=20'

LEGEND

- PAVEMENT TO BE MILLED & RESURFACED
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT

REVISIONS		
NO.	DATE	DESCRIPTION
1	11-11-24	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyreng@gmail.com
CA#: 31158

ZE

ARTHUR STREET APARTMENTS
1225 N 17th CT
HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 8/22/23

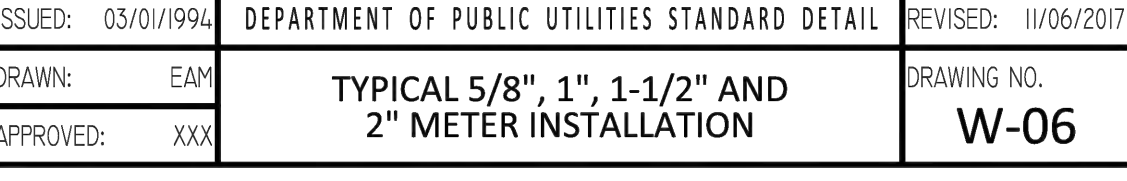
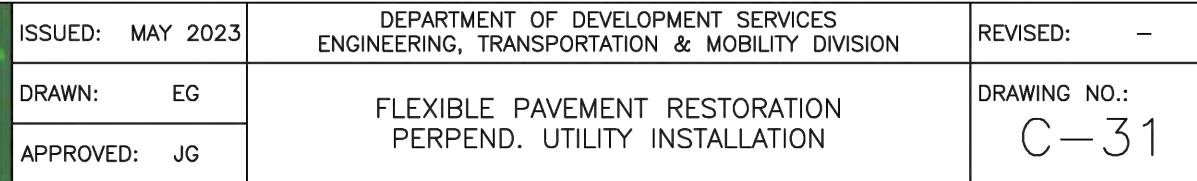
SCALE: 1"=20'

SHEET NO.:

C7

7 OF 8

PROJECT NO.: 23-38



SCALE: N.T.S

L100





ARTHUR STREET
APARTMENTS
1225 N 17TH CT HOLLYWOOD FLORIDA 33020 USA

ARCHITECT

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
FITZ MANNINGHAM MURPHY, AIA
AR101069
ON 12/18/23.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FITZ MANNINGHAM MURPHY
REGISTERED ARCHITECT
AR101069

SUBMITTAL & REVISIONS

1. FTAC / REVISION 01
2. SIGNOFF / REVISION 02
3. SIGNOFF REVISION / REVISION 03
4. SIGNOFF REVISION / REVISION 04

2326
PROJECT NO. _____

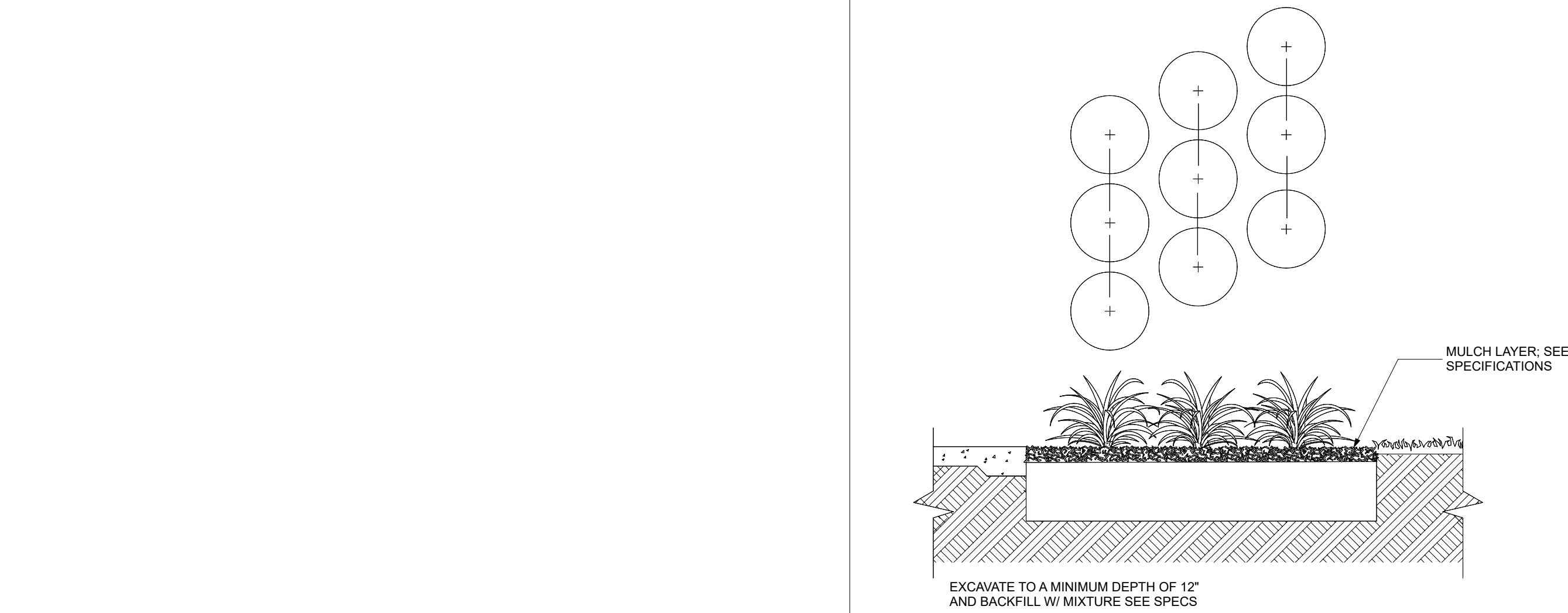
12/18/23

FMM

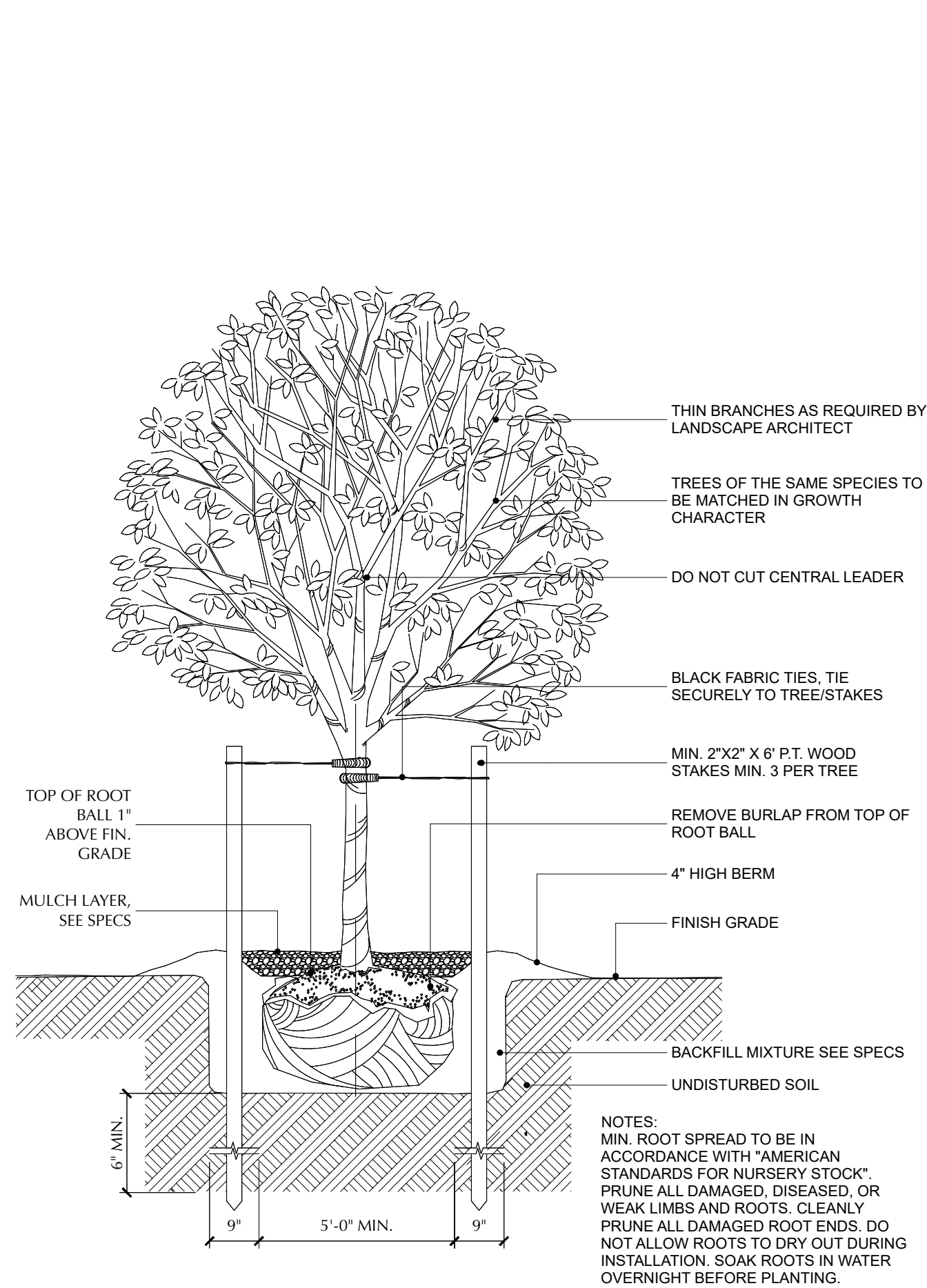
PLANTING PLAN

L200

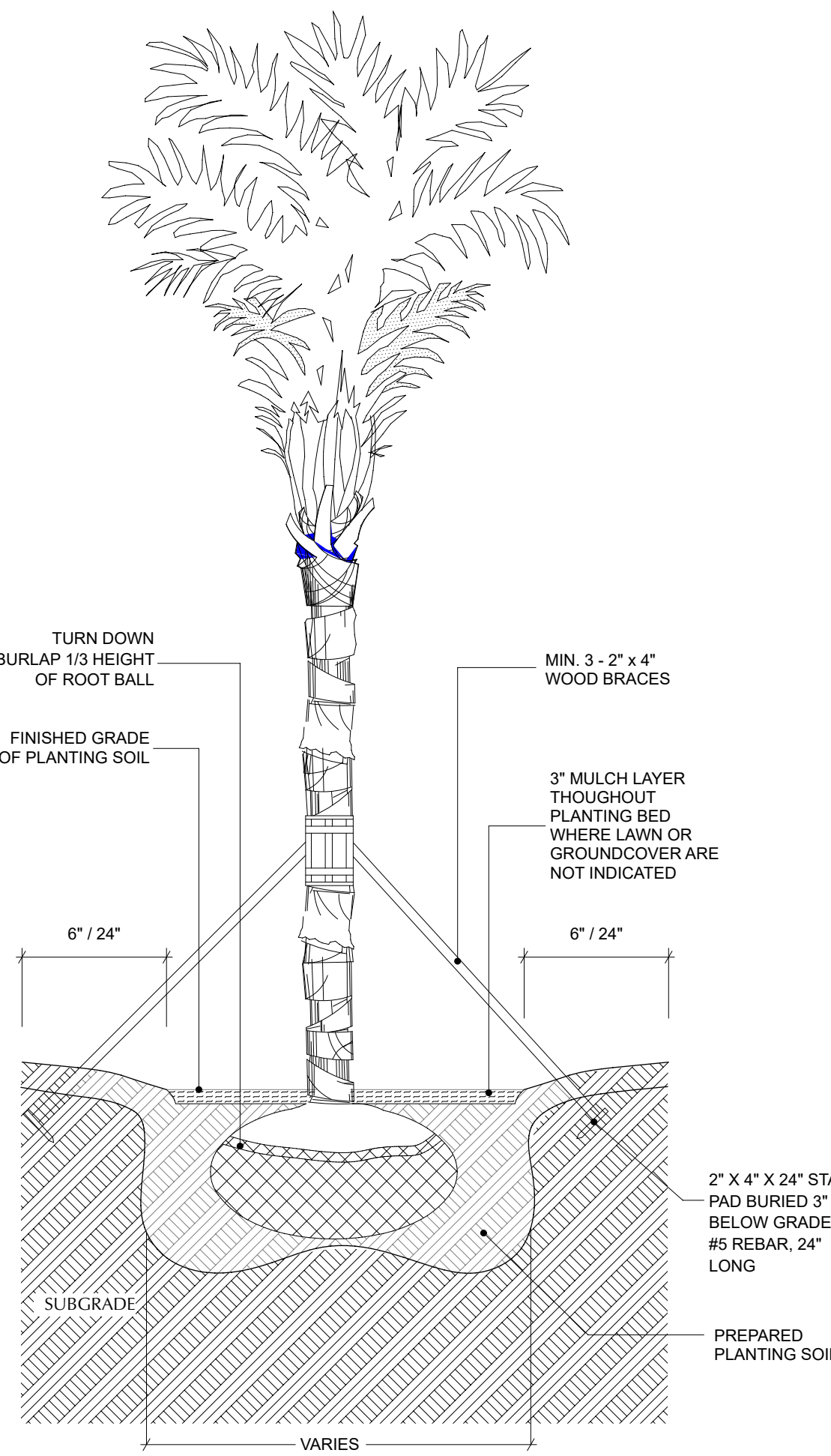
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.



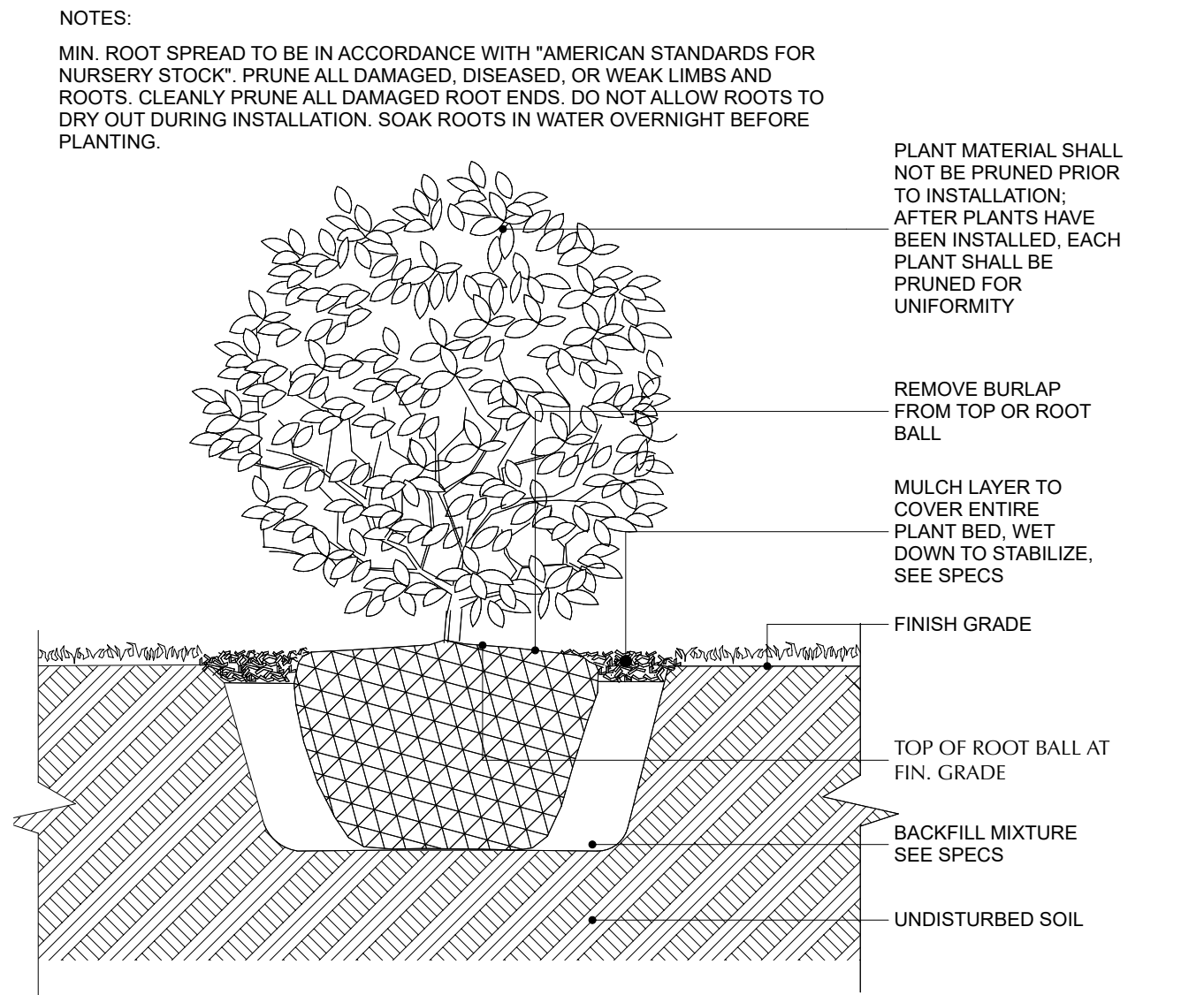
5 GROUNDCOVER DETAIL



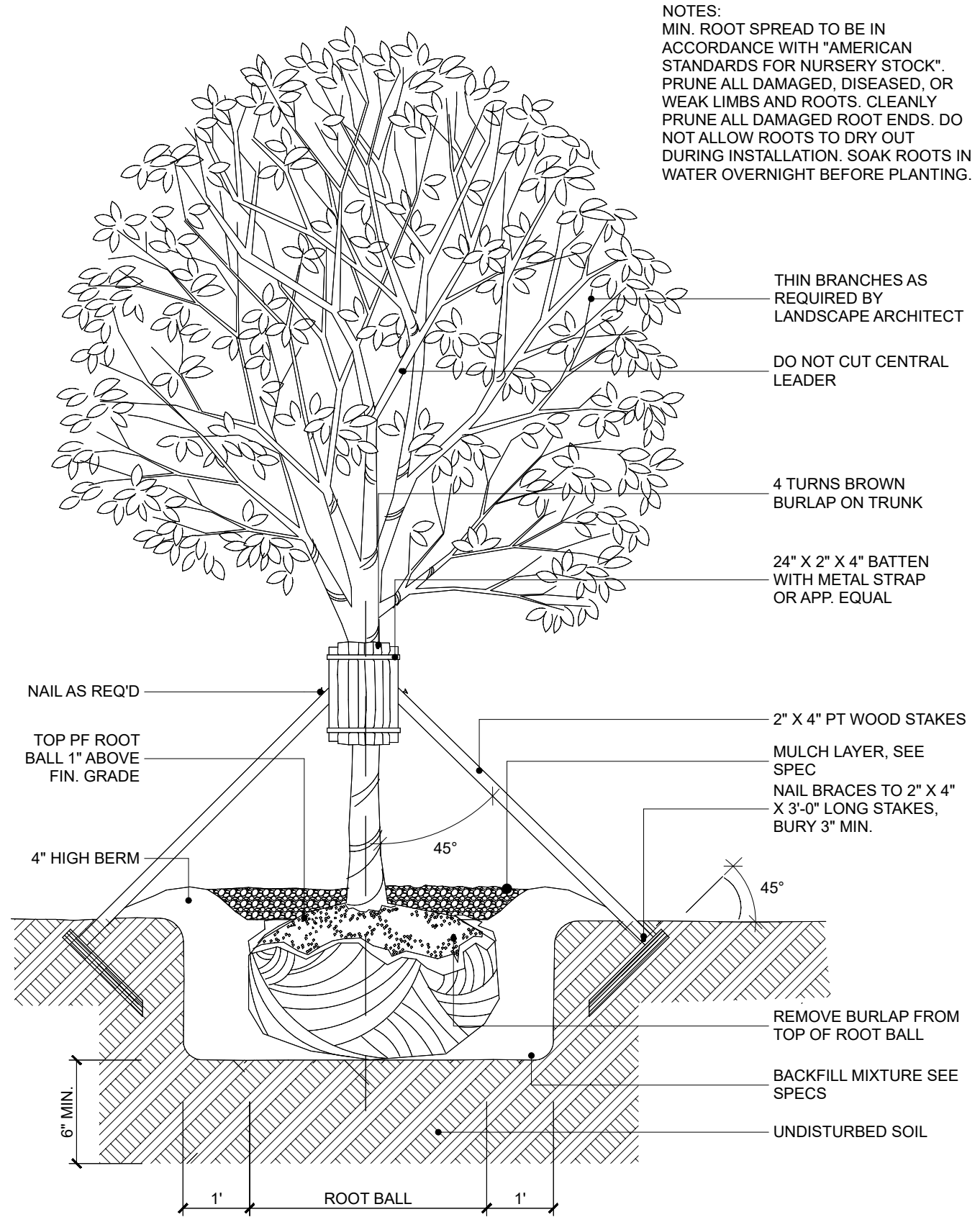
3 SMALL TREE GUYING DETAIL



2 PALM PLANTING DETAIL



4 SHRUB DETAIL



1 LARGE TREE STAKE DETAIL

- PLANTING NOTES**
- PLANTING SPECIFICATIONS**
- The Contractor is responsible for maintaining, all planting areas (including watering, weeding, mulching, mowing, fertilizing, etc.) until the job is accepted, in full, by the Owner and/or Landscape Architect.
 - All root balls shall conform to the size standards set forth in "American Standards for Nursery Stock".
 - All plant material shall be protected during transport and delivery to final location with shade cloth or other acceptable means of windburn prevention.
 - All trees must be guyed or staked as shown in the details.
 - Installation - All plant material shall be installed in a sound, workman-like manner and according to accepted good planting and tree relocation procedures with the quality of plant materials as hereinafter described. All elements of landscaping shall be installed so as to meet all applicable ordinances and code requirements.
 - There shall be no chains or cables used on trees or palms. Handle with two inch (2") minimum width nylon straps or equal.
 - Contractor shall assure drainage and percolation of all planting pits prior to installation of plant material. Contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drainage conditions.
 - Contractor to request final acceptance of project in writing. If all work is satisfactory and complete in accordance with conditions of contract documents, then the Owner and the Architect shall declare the project substantially complete.
 - Contractor to replace rejected plant material within one (1) week of written notice.
 - Plant Material which is not installed at the direction of the landscape architect or owner will become the property of the contractor unless it becomes relocated on site. The Contractor shall provide the owner a credit for any plant material not installed on the site.
 - Sod shall be strongly rooted, free from weed, fungus, insects and disease. Contractor shall sod all areas as indicated on the plans or as directed.
- SOIL PREPARATION AND SOIL MIX**
- All shrub beds shall be provided with a minimum 30" depth of approved planting soil if existing soil is not acceptable to the Landscape Architect. Shrub beds shall be excavated to 30" depth and soil replaced as specified. Acceptable soil composition shall be 70% sand, 30% organic content with an overall pH range between 6.5 and 7.5.
 - Contractor to ensure total weed eradication from all areas to be planted and protect existing plants to remain.
 - Before replacing topsoil, rake subsoil surface clear of stones (1" diameter and larger), debris, rubbish, and remaining roots from removed plant material.
 - Scarify subsoil to a depth of six inches (6").
 - Planting Soil Mixtures:
All plant material on grade with the exception of palms and beach material, shall be planted with the following soil mix:
Planting Soil Mixture A:
a.) Weed free soil and consist of
70% clean silica sand,
30% everglades muck, and
b.) There must be a slight acidic reaction to the soil with no excess calcium or carbonate.
c.) Soil shall be delivered in a loose friable condition.
- All palms + beach material on grade shall be planted with the following:
Planting Soil Mixture B:
a.) 80% clean silica sand
b.) 20% everglades muck
- All elevated planting areas on structure shall be planted with the following unless otherwise approved by L.A.
Planting Soil Mixture C:
Mix specifically designed to meet project requirements based on climatic region and plant requirements.
a.) 50% Coarse Salite, 5/16" Expanded aggregate
b.) 25% Clean Silica Sand
c.) 10% Pine fines
d.) 15% Compost
- Topsoil shall be natural, fertile, agricultural soil capable of sustaining vigorous plant growth. It shall be of uniform composition throughout, with admixture of subsoil. It shall be free of stones, lumps, live plants and their roots, sticks, and other extraneous matter. Spread topsoil mixture to minimum depth of three inches (3") throughout all lawn areas.
 - Remove all rocks and other objects over one inches (1") in diameter.
 - Smooth all soil mixture to five inches (5") below top of surrounding pavement edges. This allows room for 3" of mulch and 2" clear space below top of pavement.
 - Smooth topsoil mixture to two inches (2") below finish grade in areas to be sodded.
 - The topsoil pH shall be in the range of pH 6.5 to 7.5. Topsoil shall not be extremely acid or alkaline, nor contain toxic substances which may be harmful to plant growth. If necessary, the Contractor shall apply the appropriate soil amendments adjusting soil pH to assure a pH range of 6.5 to 7.5.
 - Finish grade all topsoil areas to a smooth, even surface, assuring positive drainage away from the structures and eliminate any low areas which may collect water.
 - Contractor shall assure percolation and drainage of all planting pits prior to planting. Contractor will be responsible for all plants lost due to the lack of percolation.
 - Contractor to remove debris and excess material daily from job site. Contractor shall remove all staking of trees and palms after twelve (12) months of substantial completion.
- MULCH**
- Contractor shall mulch all plant material throughout to a three inch (3") depth of loose, weed free, sterilized 100% Flormulch (melaleuca mulch). Do not place mulch directly on top of shade tree root balls.
 - Any other mulch must be submitted for approval.