

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

☐ Technical Advisory Committee

☐ Historic Preservation Board

☐ City Commission

☒ Planning and Development Board

Date of Application: _____

Location Address: _____

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): _____

Zoning Classification: _____ Land Use Classification: _____

Existing Property Use: _____ Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

☐ Economic Roundtable

☐ Technical Advisory Committee

☐ Historic Preservation Board

☐ City Commission

☐ Planning and Development

Explanation of Request: _____

Number of units/rooms: _____ Sq Ft: _____

Value of Improvement: _____ Estimated Date of Completion: _____

Will Project be Phased? () Yes ☒ No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: _____

Address of Property Owner: _____

Telephone: _____ Fax: _____ Email Address: _____

Name of Consultant/Representative/Tenant (circle one): _____

Address: _____ Telephone: _____

Fax: _____ Email Address: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No ☒

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Varghese Ponmattam Date: 2/21/2023

PRINT NAME: Varghese Ponmattam Date: 2/21/2023

Signature of Consultant/Representative: Joseph B. Kauer Date: 2/21/23

PRINT NAME: Joseph B. Kauer Date: 2/21/23

Signature of Tenant: _____ Date: _____

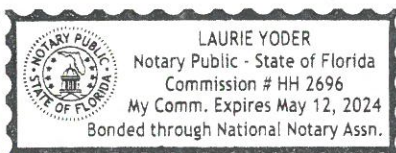
PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Technical Advisory Review to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kauer to be my legal representative before the Technical Advisory (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 21st day of Feb 2023

Laurie Yoder
Notary Public
State of Florida



Varghese Ponmattam
Signature of Current Owner

Varghese Ponmattam
Print Name

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



KallerArchitecture

PROJECT DESCRIPTION & LEGAL DESCRIPTION

Project Description:

Proposed new construction, 27-unit residential multifamily building comprised of 4 stories with a rooftop amenities area and structured parking screened and underneath the building.

Legal Description:

2215 FILLMORE STREET HOLLYWOOD FL 33020

- HOLLYWOOD LITTLE RANCHES 1-26 B LOT 2 BLK 10



KallerArchitecture

January 23, 2024

City of Hollywood

2600 Hollywood Boulevard
Hollywood, FL 33022

Reference: 2215 Fillmore Street Apartments
2215 Fillmore Street
Hollywood, Florida
File #23-DP-23

To Whom It May Concern,

The following is our analysis of Criteria and findings for Review for the above referenced Residential Building as per the City of Hollywood Zoning and Land Development Regulations.

DESIGN REVIEW

GENERAL CRITERIA: All plans/architectural drawings shall be reviewed based upon the evaluation of compatibility with the City's Design Guidelines, including the following elements:

CRITERION 1: Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

ANALYSIS: The proposed new construction apartment building exterior design proposes a contemporary concept which emphasizes the building's horizontal structure. The facade of the building emphasizes the elements of the composite wood siding and differential paint colors which helps to break up the verticality of the building and creates a continuous communication between the front façade and Fillmore Street.

The overall design concept is derived from a mass structure with moments of voided elements. Furthermore, the upper levels are designed entirely with a variety of painted stucco such of greys and whites, the wood slats bring a natural texture to the front façade.

CRITERION 2: Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

ANALYSIS: The proposed building follows the intent of the District per the Downtown Master Plan. The building design also provides a building base, a common design feature in the neighborhood, which encourages pedestrian movement around the building along the streets. The colors palate selected and use of stucco work are also elements common to the existing and proposed buildings in the surrounding neighborhood.

CRITERION 3: Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.

ANALYSIS: The proposed building scale is consistent with the permitted and approved height restrictions allowed by the Downtown Master Plan for the District. The overall scale of the building is broken up at the base of the building with the proposed wood panels at the building and the use of expansive windows and sliding doors at the apartment levels. The clean stucco color selection at the apartment levels creates a contrast with the composite wood treatment at the base as well. The massing of the building is further broken up by pulling back the apartments at the upper levels to soften the verticality further.

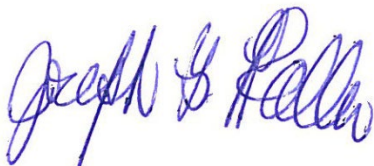
CRITERION 4: Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

ANALYSIS: The proposed design incorporates the use of native plants selected specifically for use in this area with careful consideration of insects and diseases common to the area. The proposed planting also creates variations of color and texture and are integrated in the front yards of the apartment units and simultaneously along the public sidewalks.

Should you have any questions, please feel free to contact this office.

Sincerely,

Kaller Architecture



Joseph B. Kaller AIA, LEED AP BD+C
President



KallerArchitecture

Property Photos:

SUBJECT PROPERTY PHOTOS:





ADJACENT NEIGHBORING PROPERTY PHOTOS:





2223 FILLMORE STREET
(OPPOSITE OF STREET)



**2236 FILLMORE STREET
(OPPOSITE OF STREET)**





**2236 FILLMORE STREET SAME
SIDE OF STREET)**



**2139 FILLMORE STREET (SAME
SIDE OF STREET)**

ALTA/NSPS LAND TITLE SURVEY

DESCRIPTION:

LOT 2, BLOCK 10, "AN AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES,"
ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 26, OF THE
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LAND SITUATED IN THE
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

SURVEYOR NOTES:

- 1). THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.
- 2). THE BOUNDARY SURVEY OF THE REAL PROPERTY DEPICTED ON THIS SURVEY REPRESENTS THE PROFESSIONAL OPINION OF THE UNDERSIGNED, BASED ON THE DESCRIPTION ATTACHED HEREON.
- 3). THE USE OF THE WORD "CERTIFY" AS USED HEREON IS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE.
- 4). THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
- 5). BENCHMARK REFERENCE - NATIONAL GEODETIC SURVEY DESIGNATION - M 312, PID - AD2500, ELEVATION = 13.44
- 6). ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- 7.) THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY DEPICTED.
- 8). THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
- 9.)NORTH ARROW RELATIVE TO ASSUMED EAST ALONG THE CENTERLINE OF FILMORE STREET.
- 10.)ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.
- 11.)WATER SERVICE MAIN LOCATED NEAR REAR PROPERTY LINE UNABLE TO FIELD LOCATE UNKNOWN SIZE. CALL FOR LOCATES BEFORE DIGGING.
- 12.)UNRECORDED EASEMENTS OBSERVED ON THE NORTH PROPERTY LINE: OVERHEAD UTILITIES, WATER METERS AND WEST PROPERTY LINE, OVERHEAD UTILITY.

SUMMARY TABLE OF TITLE EXCEPTIONS

ORT FILE NUMBER 23005784 DATED: January 31,2023

EXCEPTIONS	DESCRIPTION	COMMENTS
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1-7) STANDARD EXCEPTIONS

- | | | |
|---|-----------------------|-------------------------------|
| 8.)Plat matters Hollywood Little Ranches, Plat Book 1, Pg. 26. B.C.R. | Shown on Survey | Does not affect this property |
| 9.) Right-of-Way Map in Plat Book 8, Pg. 14 | | |
| 10.)Development Ordinance ORB 8136/244 | Street Name Ordinance | Affects "Filmore Street" |
| 11.) Utility Easements ORB 40244/1465 and 38247/425 | | Does not affect this property |
| 12.)Ordinance No. 2002-61 ORB 34145/1891 | Updated Wetlands Map | Does not affect this property |
| 13.)Rights of Lessees under unrecorded leases | | Does not affect this property |

TITLE SEARCH REPORT

- FURNISHED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
- PROVIDED FOR: ATTORNEYS TITLE PARTNERS
- AGENT'S FILE#: 2215 FILMORE STREET TSR
- PREPARED DATE: JANUARY 31, 2023 ORT FILE No. 23005784

SURVEY CERTIFICATION:

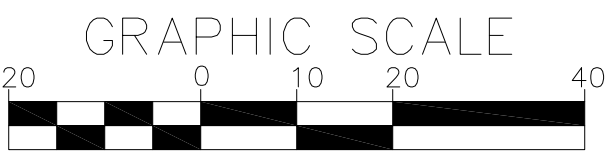
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, EFFECTIVE FEBRUARY 23, 2021 AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11(LIMITED), AND 13 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON FEBRUARY 06, 2023

LAND AREA/PROPERTY SIZE:
GROSS: 22,500 SQUARE FEET - 0.52 ACRE
(TO RIGHT-OF-WAY CENTERLINE)
NET: 20,500 SQUARE FEET - 0.47 ACRE



LOCATION MAP
NOT TO SCALE



FEMA FLOOD
INSURANCE RATE MAP
HOLLYWOOD
BROWARD COUNTY, FLORIDA
125113
ZONE X
BASE FLOOD ELEVATION=N/A
PANEL No. 12011 C0 569 H
FIRM DATE- 08/18/2014

TREE LEGEND

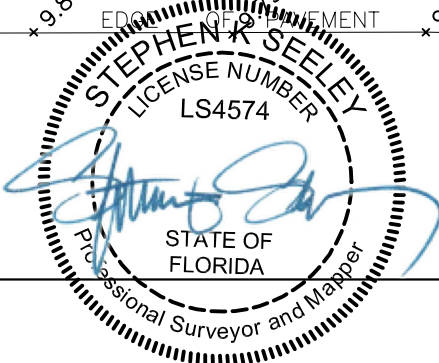
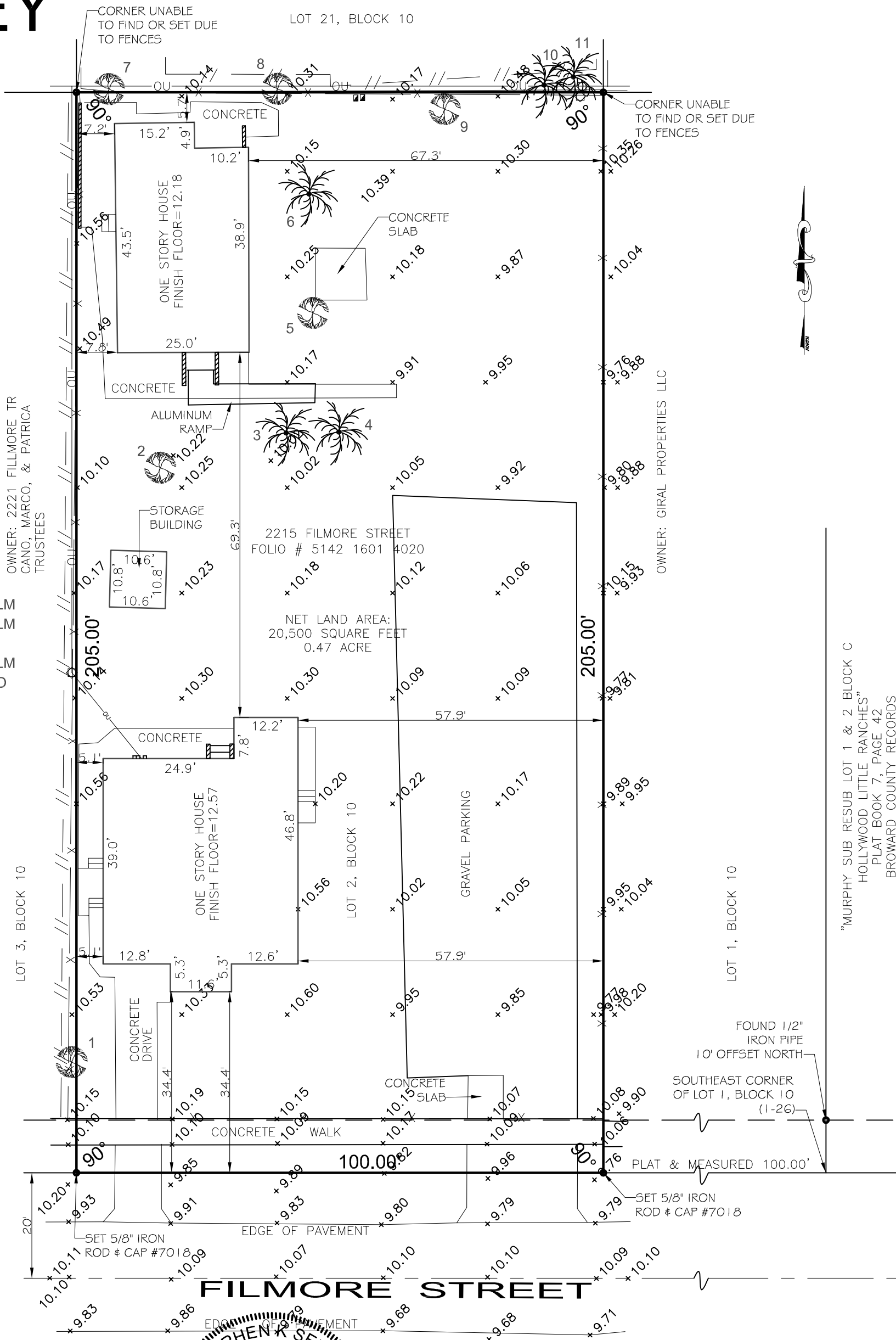
TREE #	TREE SIZE	TREE TYPE
1.	24"	FICUS
2.	18"	BISCHOFIA
3.	10"	COCONUT PALM
4.	10"	COCONUT PALM
5.	24"	AVOCADO
6.	10"	COCONUT PALM
7.	18"	GUMBO LIMBO
8.	8"	OAK
9.	4"	DEAD
10.	10"	SABLE PALM
11.	10"	SABLE PALM

LEGEND

— x — x —	CHAIN/LINK FENCE	TRAFFIC SIGN POST
— // — // — // —	WOOD FENCE	CLEANOUT
— // — // — // —	CONCRETE WALL	CONCRETE
— ss —	SANITARY SEWER LINE	
— wl —	WATER LINE	LARGE TREE
— ou —	OVERHEAD UTILITY	PALM
— — — — —	CENTERLINE	
— — — — —	RIGHT-OF-WAY LINE	ELEVATION
■	WATER METER	WH
⊙	WOOD POWER POLE	B.C.R.
CS	CONCRETE SLAB	O.R.B.

CERTIFIED TO:

PONMATTAM FAMILY REAL ESTATE TRUST
THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OT THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO, FOR THE EXPRESS PURPOSES STATED HEREON AND/OR CONTAINED IN THE CONTRACT/AGREEMENT WITH THE AFOREMENTIONED CLIENT FOR THIS PROJECT, AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL. COPYING, DISTRIBUTING OR RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION WILL BE AT THE RE-USER'S SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR.
NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.



THIS ITEM HAS BEEN DIGITALLY SIGNED
AND SEALED BY STEPHEN K SEELEY ON
THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE MUST BE
VERIFIED ON ANY ELECTRONIC COPIES.

ALTA/NSPS LAND TITLE SURVEY

JOB #:RN9318	DATE: 02/02/2023	DRAWN BY: CM
SCALE: 1"=20'	SHEET 1 of 1	CHECKED BY: SKS

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER

STEPHEN K. SEELEY, FOR THE FIRM
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 4574

GIBBS LAND SURVEYORS

2131 HOLLYWOOD BOULEVARD, SUITE 204
HOLLYWOOD, FL 33020 (954) 923-7666
LICENSED BUSINESS NO. 7018

OWNER

PONMATTAM FAM REAL ESTATE TR
PONMATTAM, VARGHESE P TRSTEE

ARCHITECT

JOSEPH KALLER

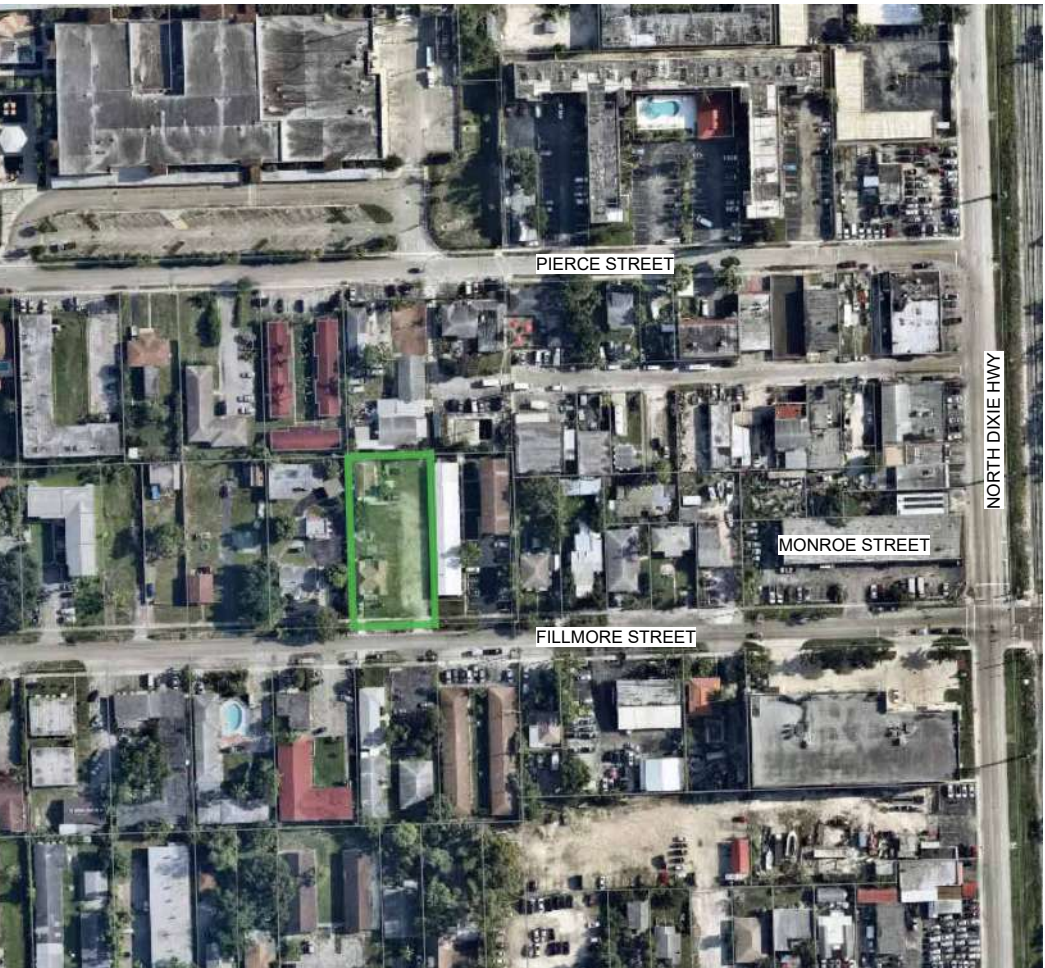
AA#26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com

FILLMORE STREET APARTMENTS

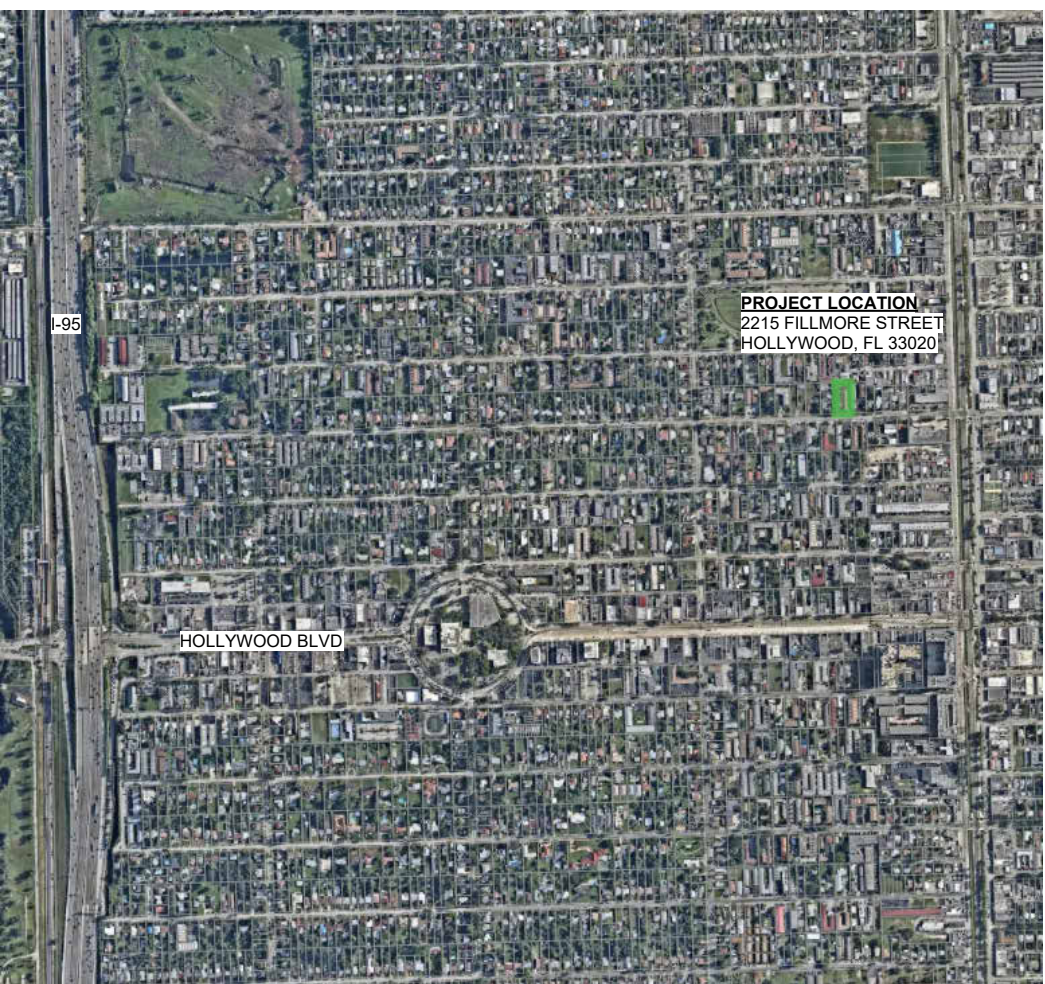
2215 FILLMORE ST. HOLLYWOOD, FL 33020



SITE MAP



VICINITY MAP



2215 FILLMORE ST.
HOLLYWOOD, FL. 33020

Parcel ID: 514216014020
Lot Area - Public Records: 20,502 ft²
Legal Description: HOLLYWOOD LITTLE RANCHES
1-26 B LOT 2 BLK 10

BASIC ZONING

Municipal Future Land Use: Regional Activity Center (RAC)
Zone: DH-2
Existing Building Use: Single Family Residential
Existing Land Use: Residential
County Future Land Use: Regional Activity Center

ADDITIONAL ZONES

Opportunity Zone: No
FEMA Flood Zone: N/A
Future Conditions 100-Year
Flood Elevation (Feet NAVD88) 12.0'

BUILDING INTENSITY

	ALLOWED	PROPOSED
Maximum Building Height:	45 ft	45 ft
Maximum Height - Stories:	4	4
Floor Area Ratio:	1.75	1.64
Maximum Built Area:	35,878 ft²	34,617 ft²
Minimum Open Space:	20%	23%

SETBACKS AT GROUND LEVEL	ALLOWED	PROVIDED
Minimum Primary Frontage Setback:	15'-0"	15'-2"
Minimum Side Setback (WEST):	10'-0"	10'-0"
Minimum Side Setback (EAST):	11'-2"	11'-2"
Minimum Rear Setback:	20'-0"	23'-11"

TECHNICAL ADVISORY COMMITTEE MEETING AGENDA

PRELIMINARY SITE PLAN REVIEW	MARCH 6, 2023
FINAL SITE PLAN REVIEW	JULY 3RD, 2023

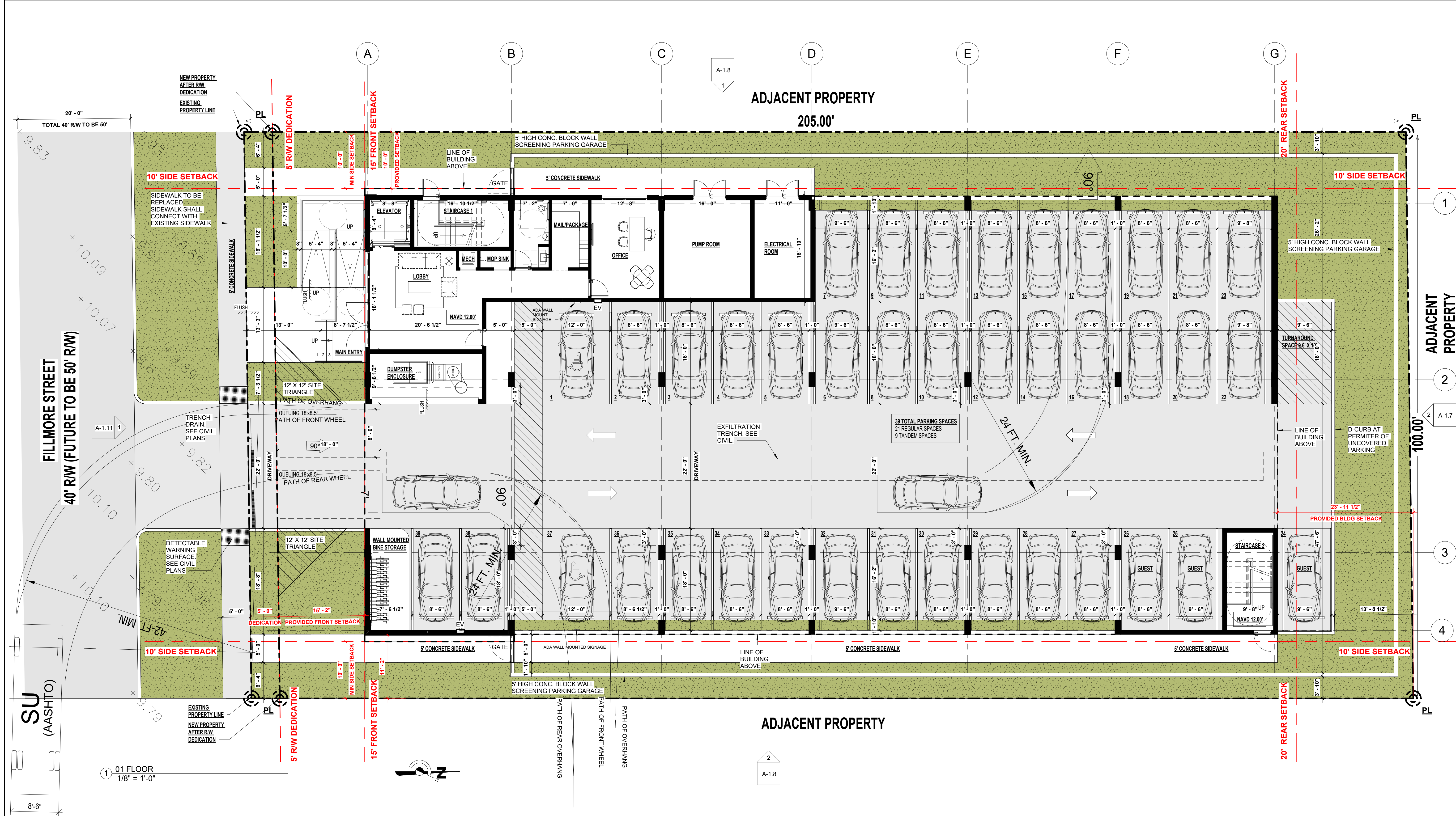
UNIT TYPE INFORMATION			
UNIT TYPE	QUANTITY	PERCENTAGE	
TWO BED UNIT + DEN	9	33.3%	
ONE BED UNIT	18	66.7%	
TOTAL	27	100%	
UNIT TYPE	A/C AREA	NON A/C AREA	TOTAL AREA
TWO BED UNIT + DEN	1232.14 SF	248.50 SF	+/- 1480.64 SF
ONE BED UNIT	788.37 SF	159.00 SF	+/- 947.37 SF

NOTE:
- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
- ANY LIP 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.
- ALL SIGNAGE SHALL COMPLY WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS



Kaller Architecture

2417 Hollywood Blvd.
Hollywood Florida 33020



2215 FILLMORE ST. HOLLYWOOD, FL. 33020

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EXTERNAL LIGHTING

Parking lots, vehicle roadways, pedestrian walkways and building entryways should have "adequate" levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

- Parking Lots 3-5 foot candles
- Walking Surfaces 3 foot candles
- Recreational Areas 2-3 foot candles
- Building Entryways 5 foot candles
- Maximum 0.5 foot candle level at all property lines

UNIT TYPE INFORMATION

<u>UNIT TYPE</u>	<u>QUANTITY</u>	<u>PERCENTAGE</u>	
TWO BED UNIT + DEN	9	33.3%	
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PARKING REQUIREMENTS

	REQUIRED	PROVIDED
TWO BED UNIT (9 UNITS x 1.5)	14 SPACES	18 SPACES
ONE BED UNIT (18 UNITS x 1)	18 SPACES	18 SPACES
VISITORS (27 UNITS / 10)	3 SPACES	3 SPACES

TOTAL: 35 SPACES 39 SPACES

ACCESSIBLE PARKING SPACES

	REQUIRED	PROVIDED
	2 SPACES	2 SPACES

PARKING BREAKDOWN

	PROVIDED
REGULAR SPACES:	21
TANDEM SPACES:	9

TOTAL: 39 SPACES

2215 FILLMORE ST.
HOLLYWOOD, FL. 33020

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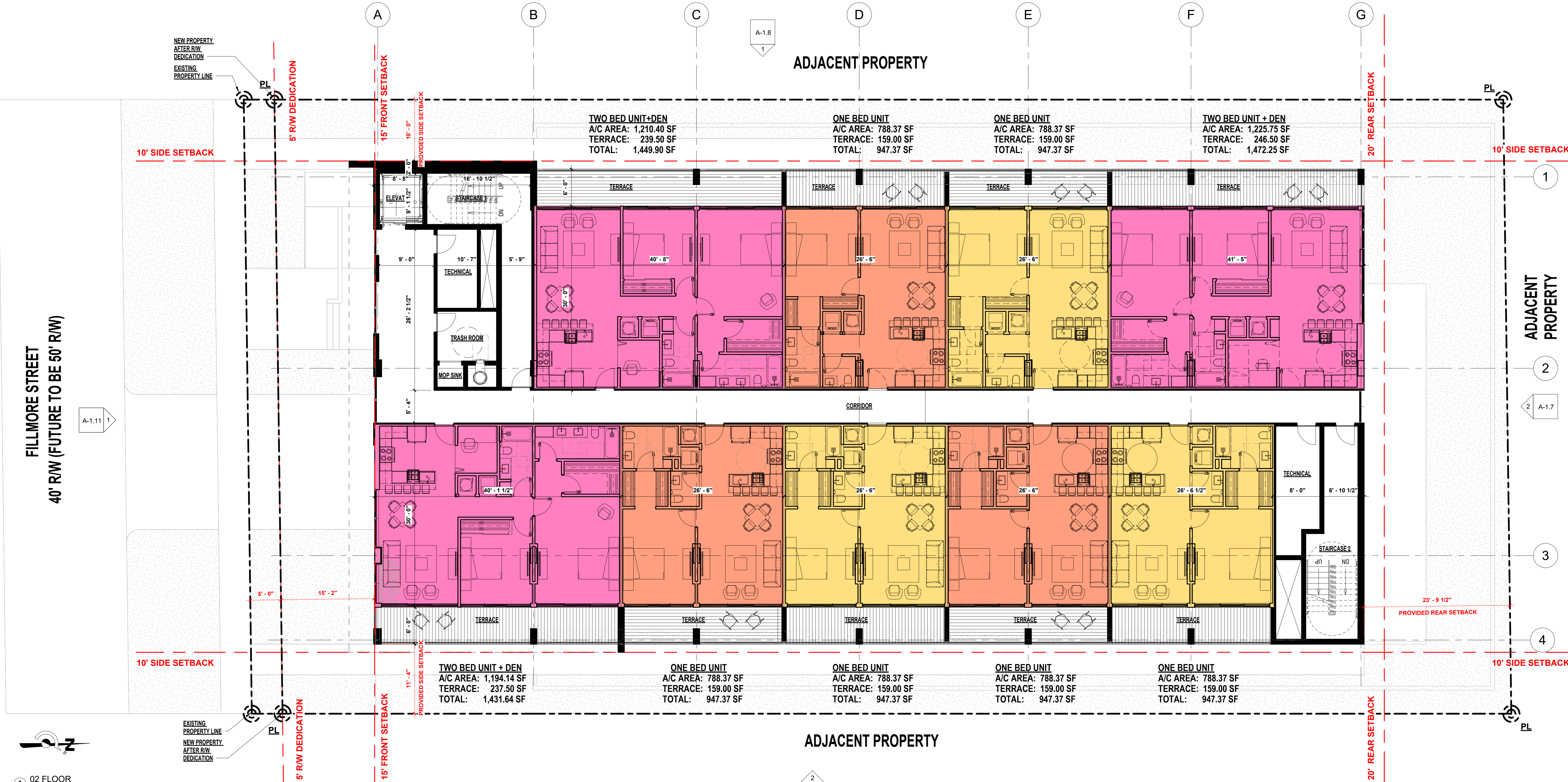
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PARKING BREAKDOWN	PROVIDED
REGULAR SPACES:	21
TANDEM SPACES:	9
TOTAL:	39 SPACES



1 02 FLOOR
1/8" = 1'-0"



Kaller Architecture
AA#26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com

SEAL
STATE OF FLORIDA
JOSEPH B. KALLER
R.A.
0009239
REGISTERED ARCHITECT
JOSEPH B. KALLER
FLORIDA R.A. #0009239

PROJECT TITLE
2215 FILLMORE ST. HOLLYWOOD, FL 33020

SHEET TITLE
2ND, 3RD, 4TH FLOOR
PLANS

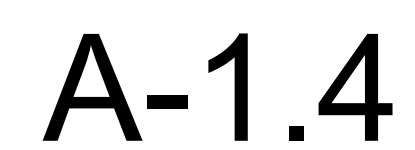
REVISIONS		
No.	Description	Date

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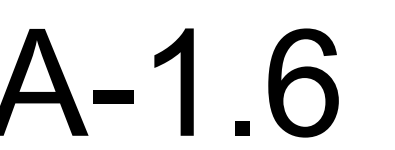
PROJECT No.: 22-219
DATE: 1/16/23
DRAWN BY: SCHIFFINO
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SHEET

A-1.2





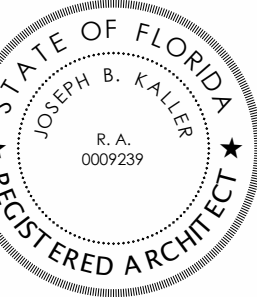




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EAL



JOSEPH B. KALLER
FLORIDA R.A. #0009239

2215 FILLMORE ST. HOLLYWOOD, FL 33020

NORTH & SOUTH ELEVATIONS

REVISIONS

[illegible]

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DATE: 1/16/23

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EET

A-1.7



COMPOSITE WOOD SIDING W/ BROWN COLOR
SHERWIN WILLIAMS SW 9186

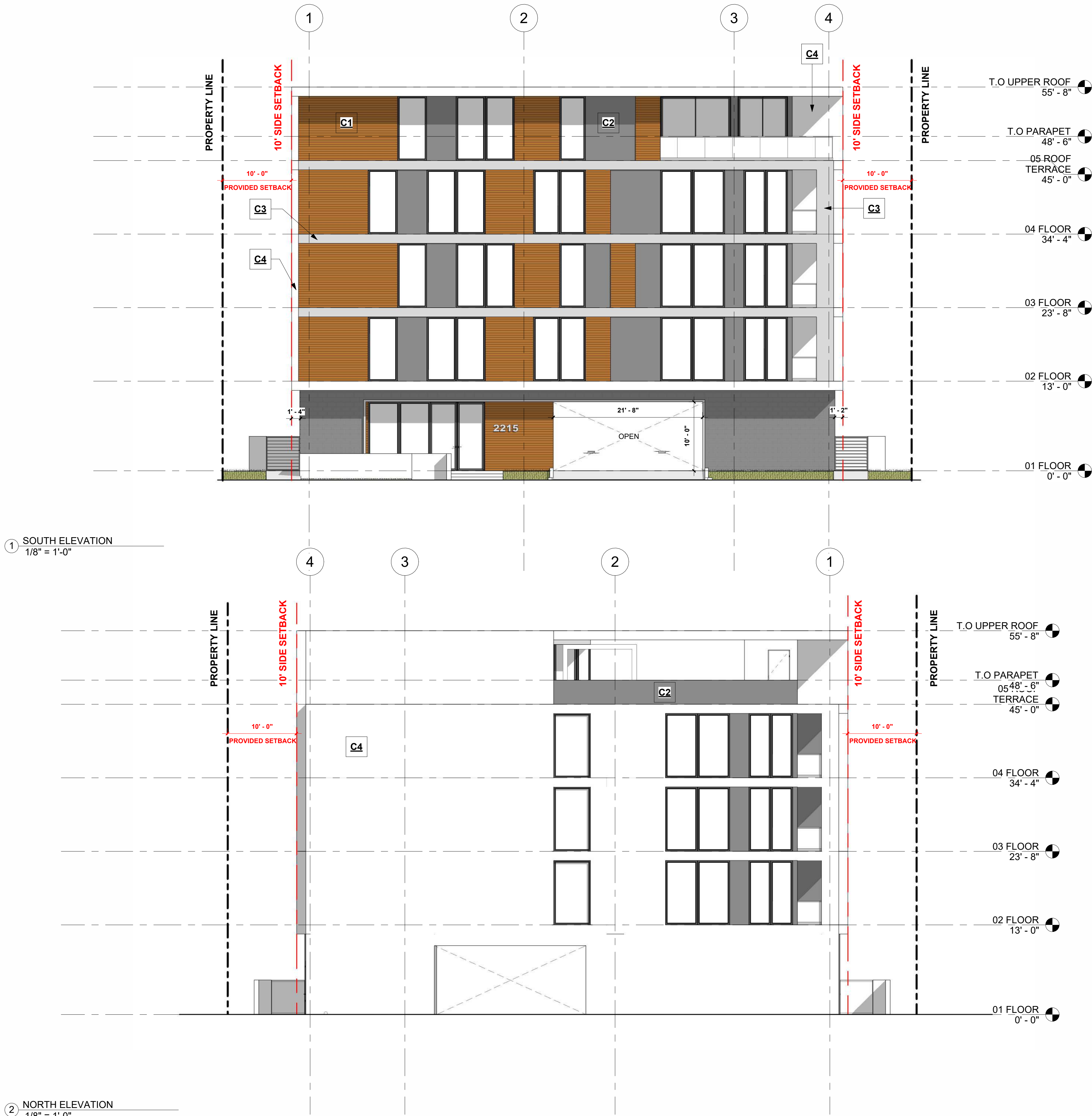


DARK GREY
SHERWIN WILLIAMS SW 7674

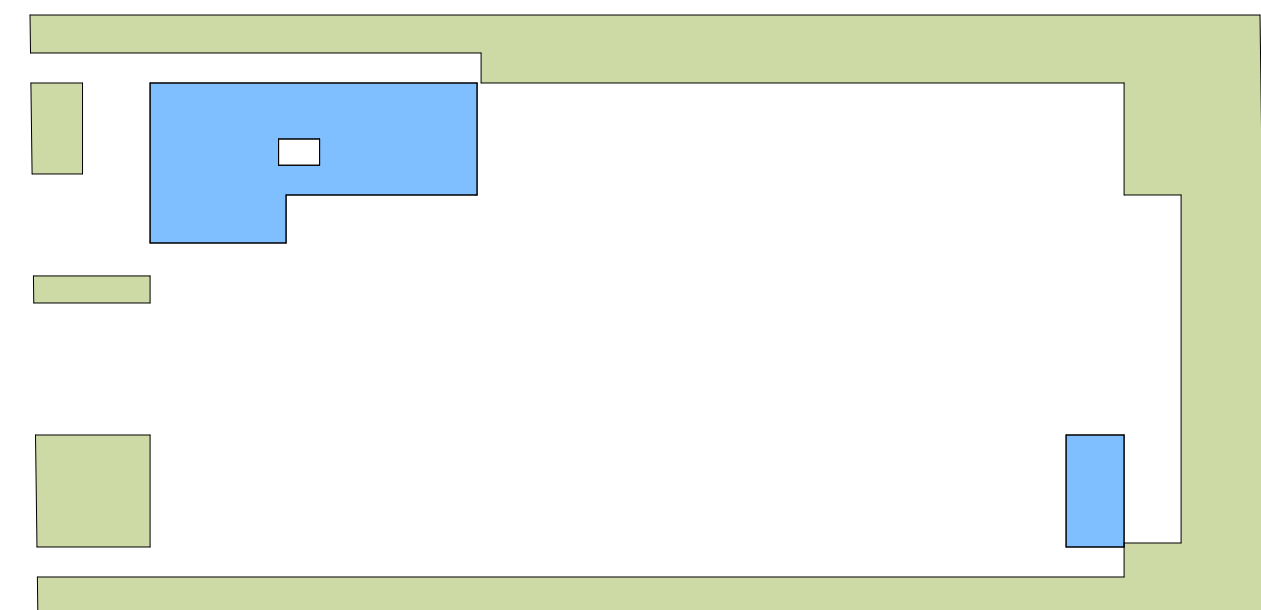
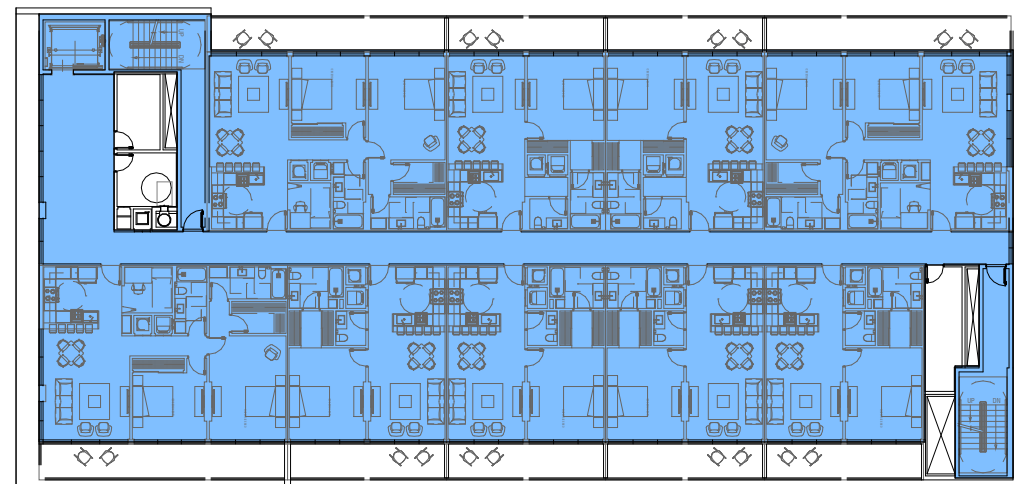
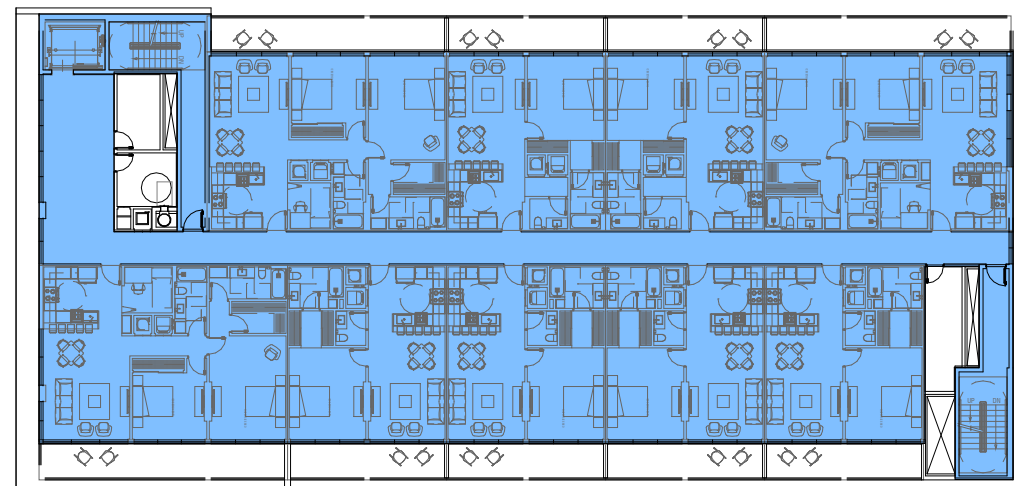
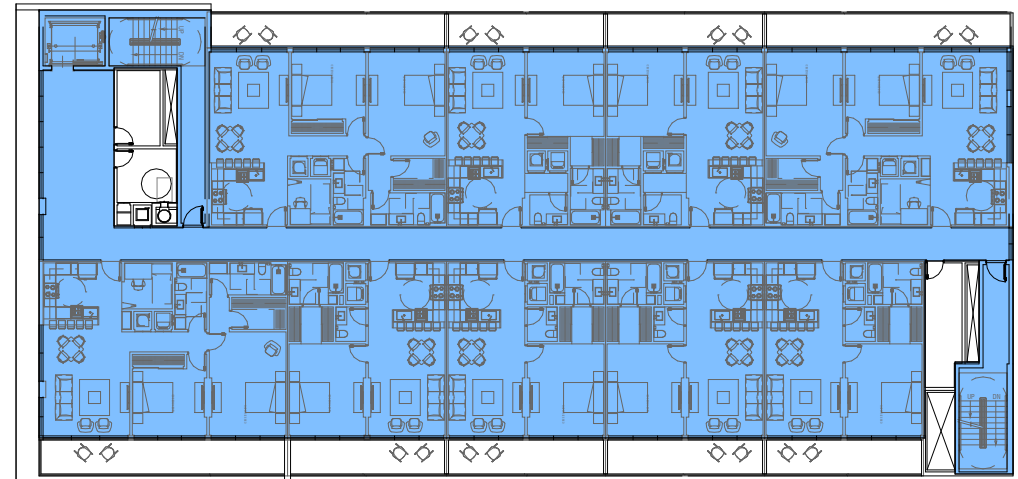


GRIZZLE GREY
SHERWIN WILLIAMS SW 7068

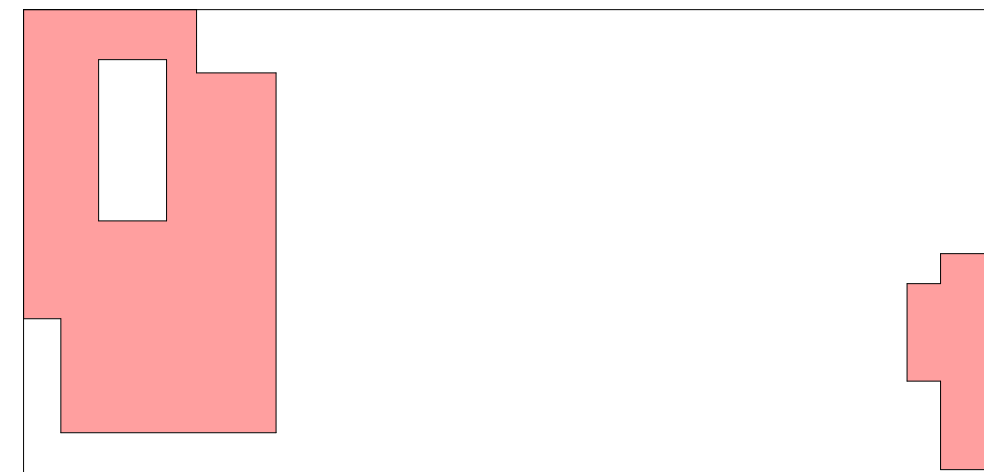
PURE WHITE
SHERWIN WILLIAMS SW 7005



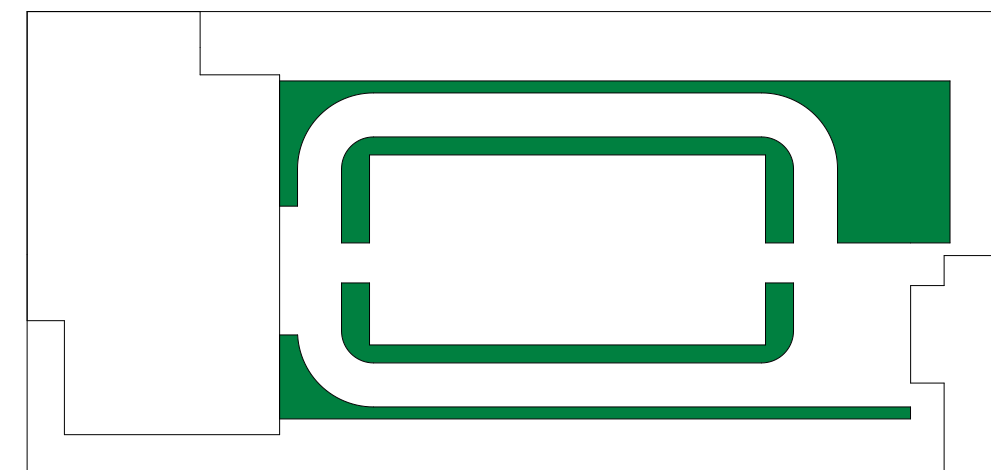
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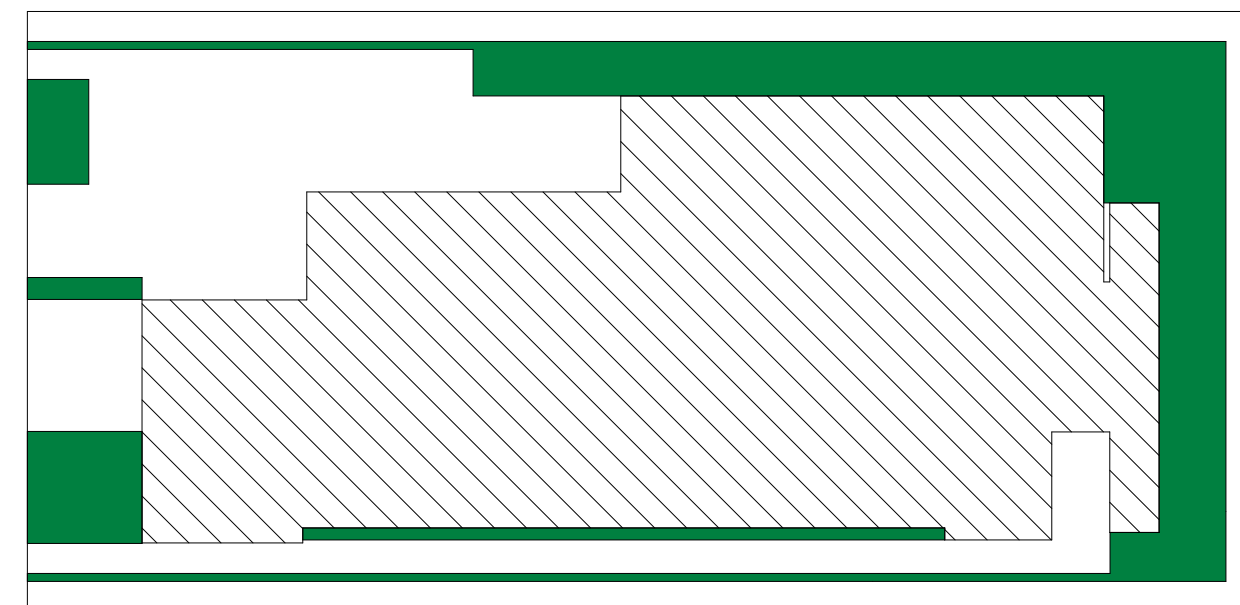
<u>NET LOT AREA</u>	20,502 SF	
	<u>REQUIRED</u>	<u>PROVIDED</u>
<u>MAX FAR</u>	1.75(35,828 SF)	(1.64)34,617 SF



<u>TOTAL GROSS ROOFTOP AREA</u>	12,513 SF	
	<u>REQUIRED</u>	<u>PROVIDED</u>
<u>MAX COVERED ROOF AREA</u>	30%	23%



■ ADDITIONAL LANDSCAPE AREA - 1,759 SF



<u>TOTAL LOT AREA</u>	20,502 SF
<u>VEHICULAR USE (V.U.A)</u>	10,747 SF X 25% = 2,686 SF
	REQUIRED PROVIDED
<u>LANDSCAPE AREA</u>	2,686 SF 5,060 SF

NOTE: CALCULATION EXCLUDES LANDSCAPE BUFFERS

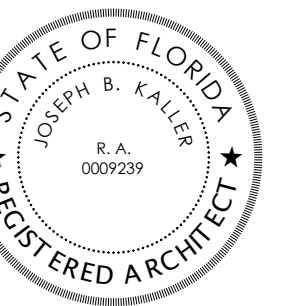


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DIAGNOSIS

REVISIONS

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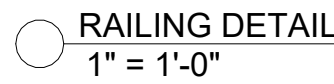
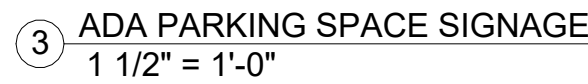
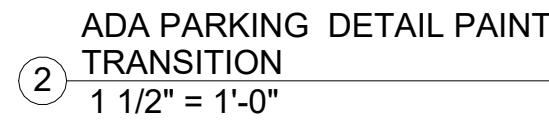
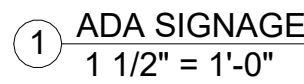
DATE: 1/16/23

DRAWN BY: SCHIFFINO

CHECKED BY: JBK

SHEET

A-1.9



VERTICAL-WALL MOUNT RACK DIMENSIONS				
BIKE SPACING	BIKE CAPACITY	L	W	H
13	2	34.8	30.7	84
13	3	47.8	30.7	84
13	4	60.8	30.7	84
13	5	73.8	30.7	84
13	6	86.8	30.7	84
13	7	99.8	30.7	84
13	8	112.8	30.7	84
13	9	125.8	30.7	84
16	2	40.8	30.7	84
16	3	56.8	30.7	84
16	4	72.8	30.7	84
16	5	88.8	30.7	84
16	6	104.8	30.7	84
16	7	120.8	30.7	84
17	2	42.8	30.7	84
17	3	59.8	30.7	84
17	4	76.8	30.7	84
17	5	93.8	30.7	84
17	6	110.8	30.7	84
17	7	127.8	30.7	84
18	2	44.8	30.7	84
18	3	62.8	30.7	84
18	4	80.8	30.7	84
18	5	98.8	30.7	84
18	6	116.8	30.7	84
18	7	134.8	30.7	84

④ TRAFFIC SIGNAL SIGNAGE
3/4" = 1'-0"

○ BIKE RACK WALL HUNG DETAIL
1/4" = 1'-0"

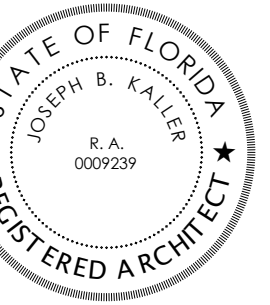


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AL



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20

2213 FILLMORE ST. HOLLYWOOD, FL 33020

DESIGN

REVISIONS

[illegible]

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DATE: 1/16/23

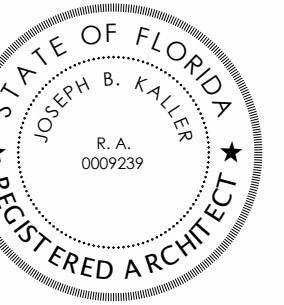
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A-1.10

REAL



JOSEPH B. KALLER
FLORIDA R.A. #0009239

PROJECT TITLE

2215 FILLMORE ST. HOLLYWOOD, FL 33020

SHEET TITLE

SIREEI PROFILE

REVISIONS

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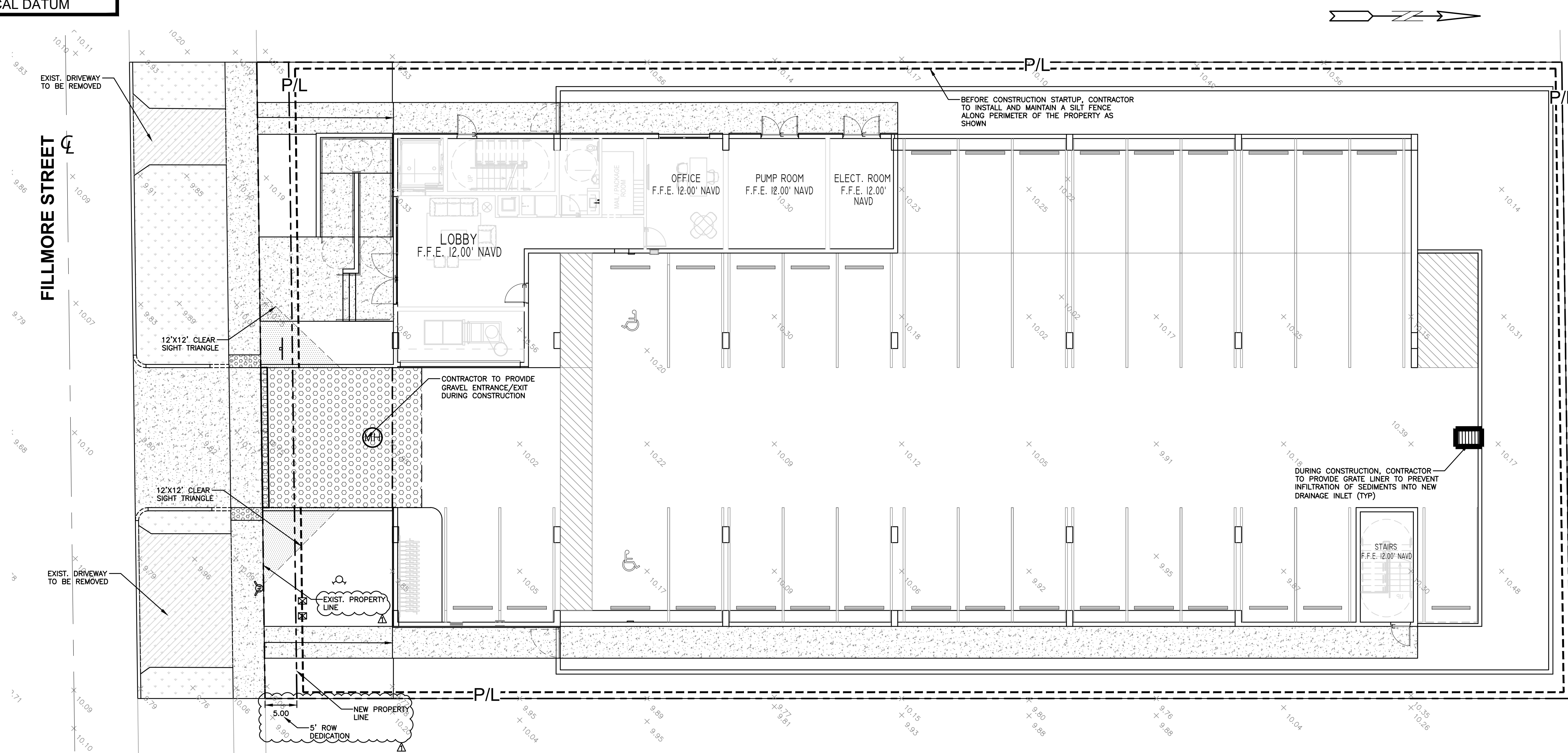
MEET

A-1.11



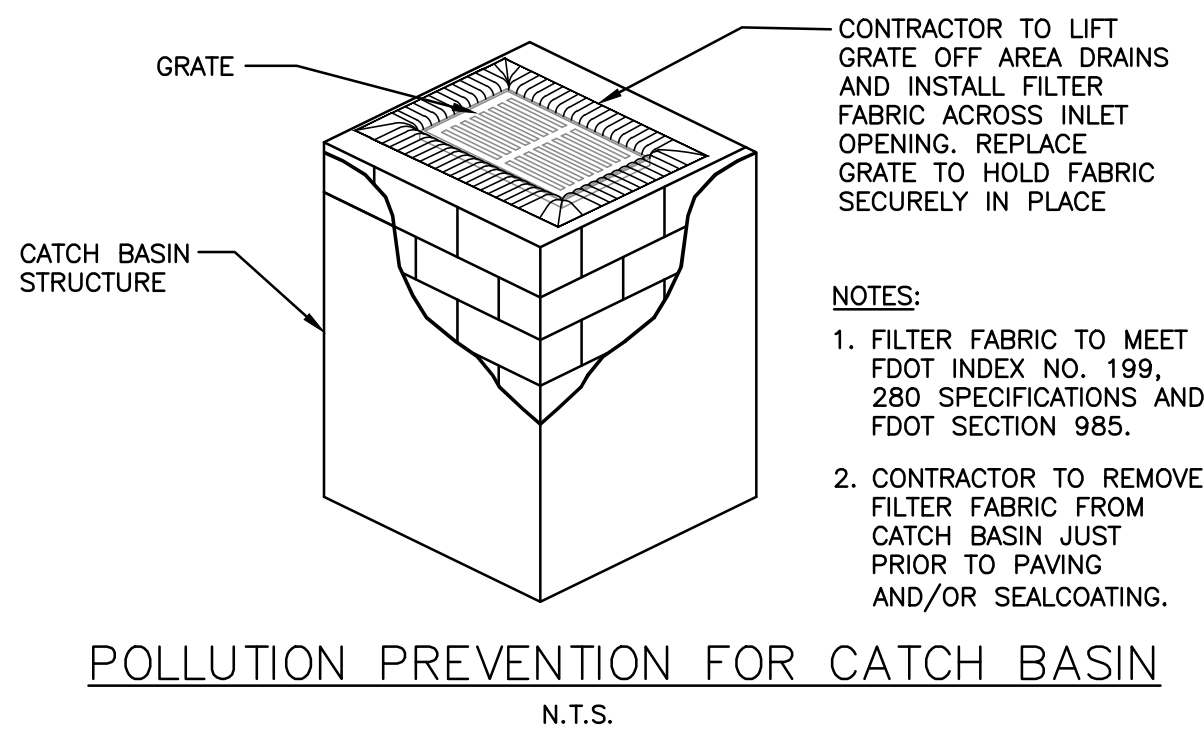
① FILLMORE STREET - STREET PROFILE
1/16" = 1'-0"

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM

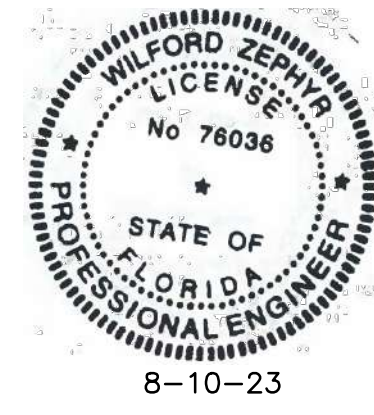
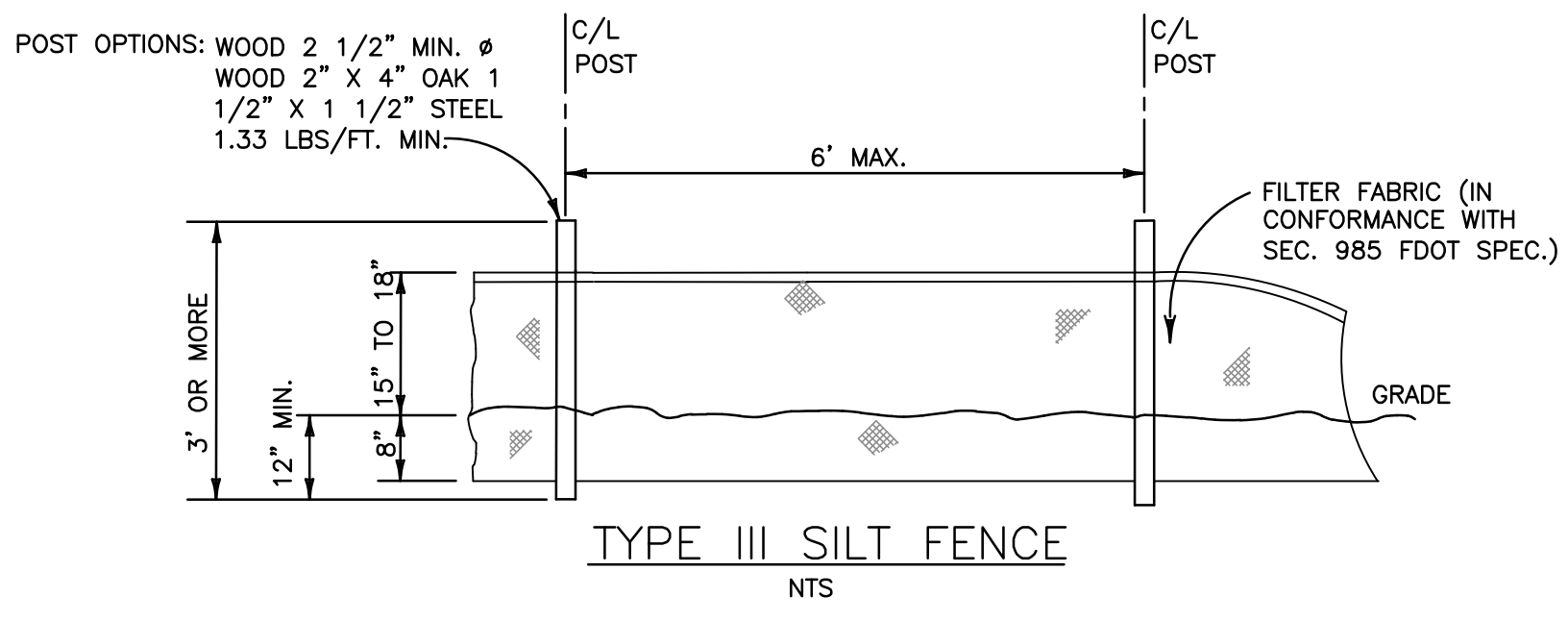


LEGEND		
	PROPOSED CONCRETE	
	PROPOSED ASPHALT	
	PROPOSED GRADE	
	EXISTING ELEVATION	
	PROPOSED CATCH BASIN	
	EXISTING CATCH BASIN	
	PROPOSED WATER METER	
	EXISTING WATER METER	
	PROPOSED BFP DEVICE	
	EXISTING SAN. SEWER MH	
	EXISTING FIRE HYDRANT	

- BMP NOTES:**
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
 2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
 3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
 4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
 5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
 6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT-TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
 7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
 9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
 10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
 11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



- CONTRACTOR TO LIFT GRATE OFF AREA DRAINS AND INSTALL FILTER FABRIC ACROSS INLET OPENING. REPLACE GRATE TO HOLD FABRIC SECURELY IN PLACE**
- NOTES:**
1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
 2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.



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WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=10'

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REVISIONS		
NO.	DATE	DESCRIPTION
1	7-28-23	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyreng@gmail.com
CA#: 31158

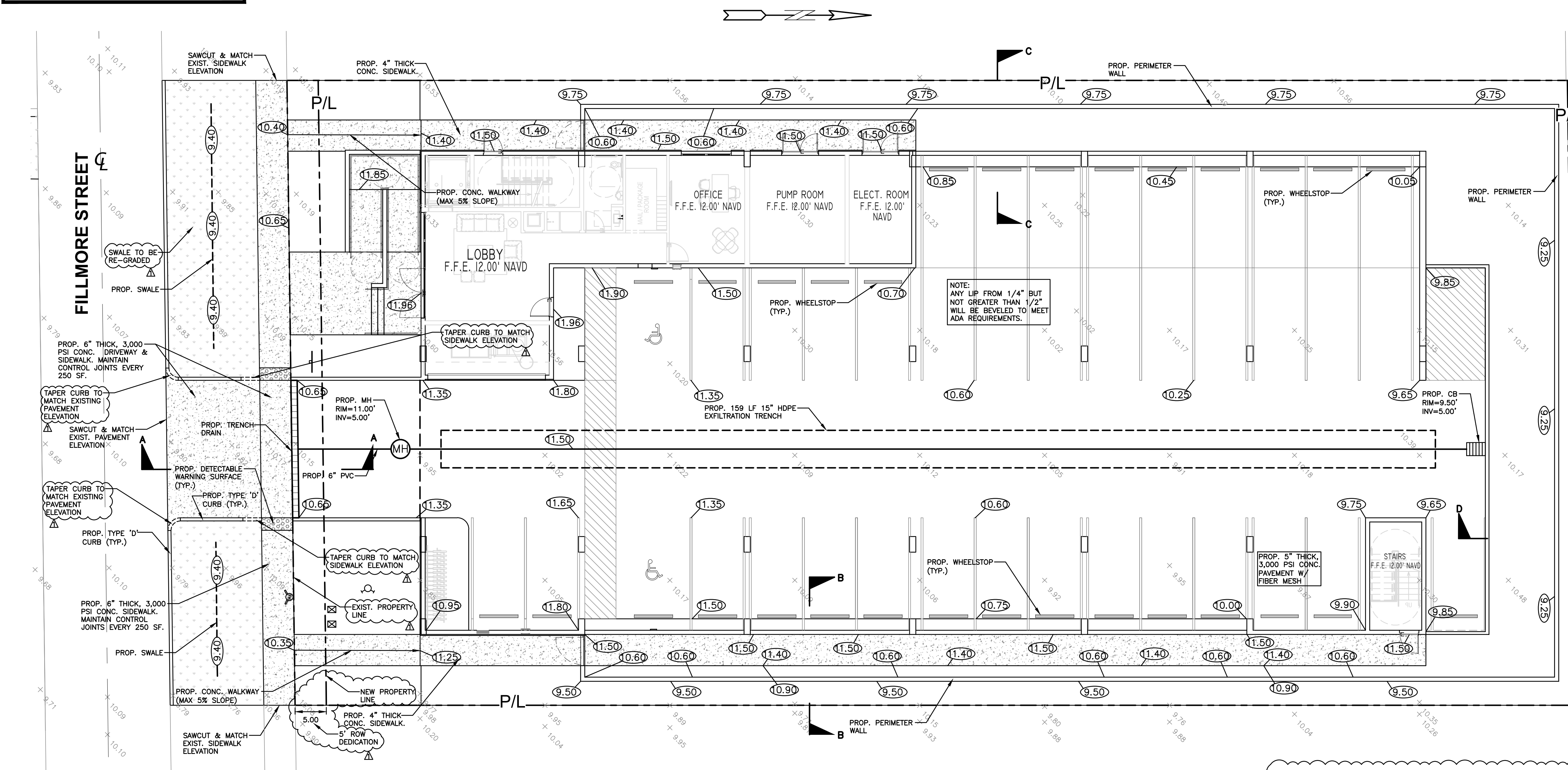
ZE

FILLMORE STREET APARTMENTS
2215 FILLMORE STREET
HOLLYWOOD, FL 33020

P.E.#: 76036
DATE: 5/9/23

SCALE: 1"=10'
SHEET NO.:
C1
1 OF 11
PROJECT NO.: 23-15

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM

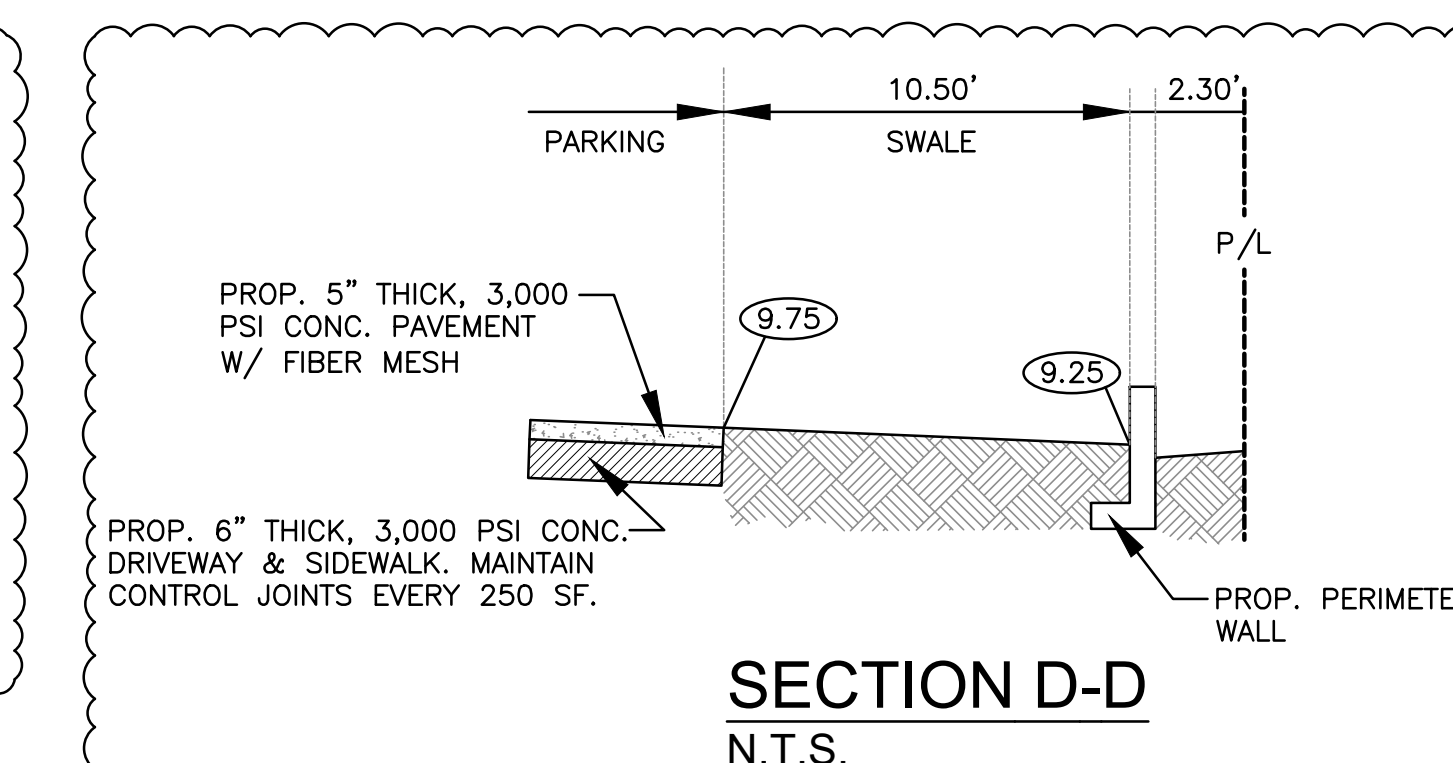
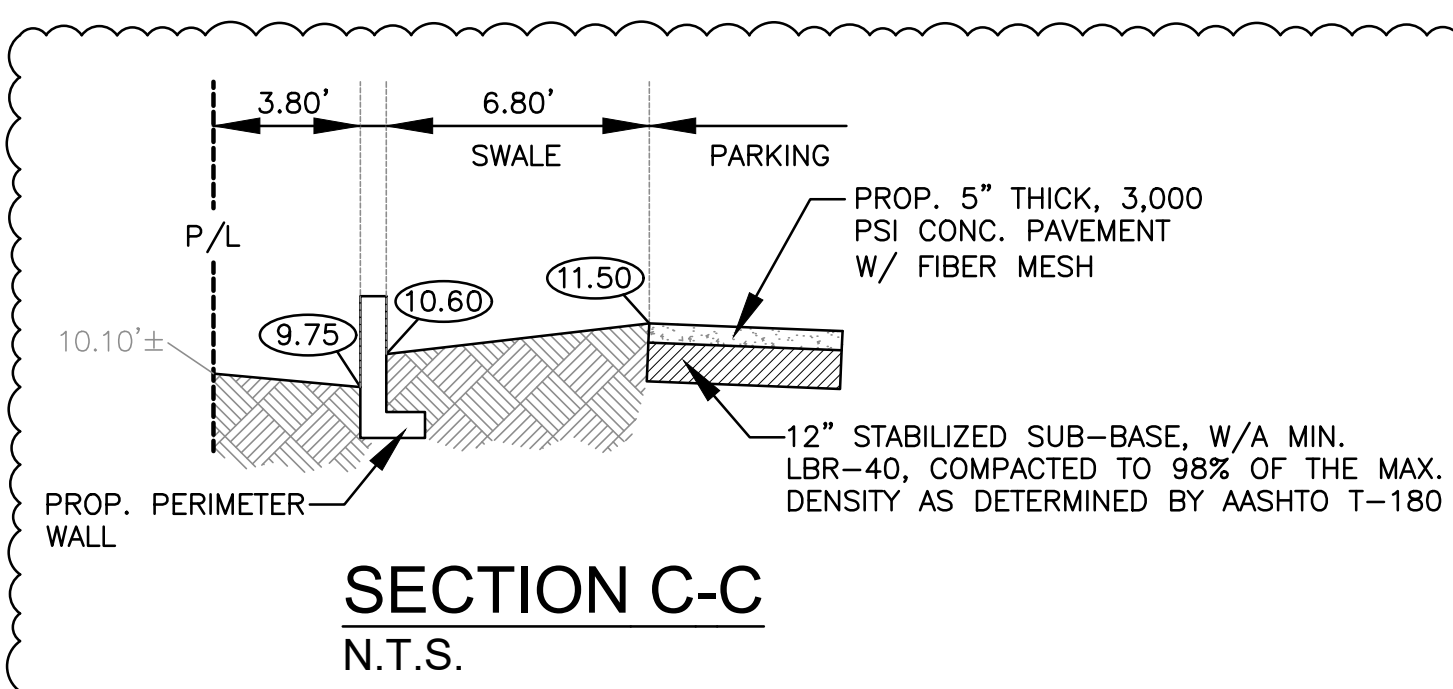
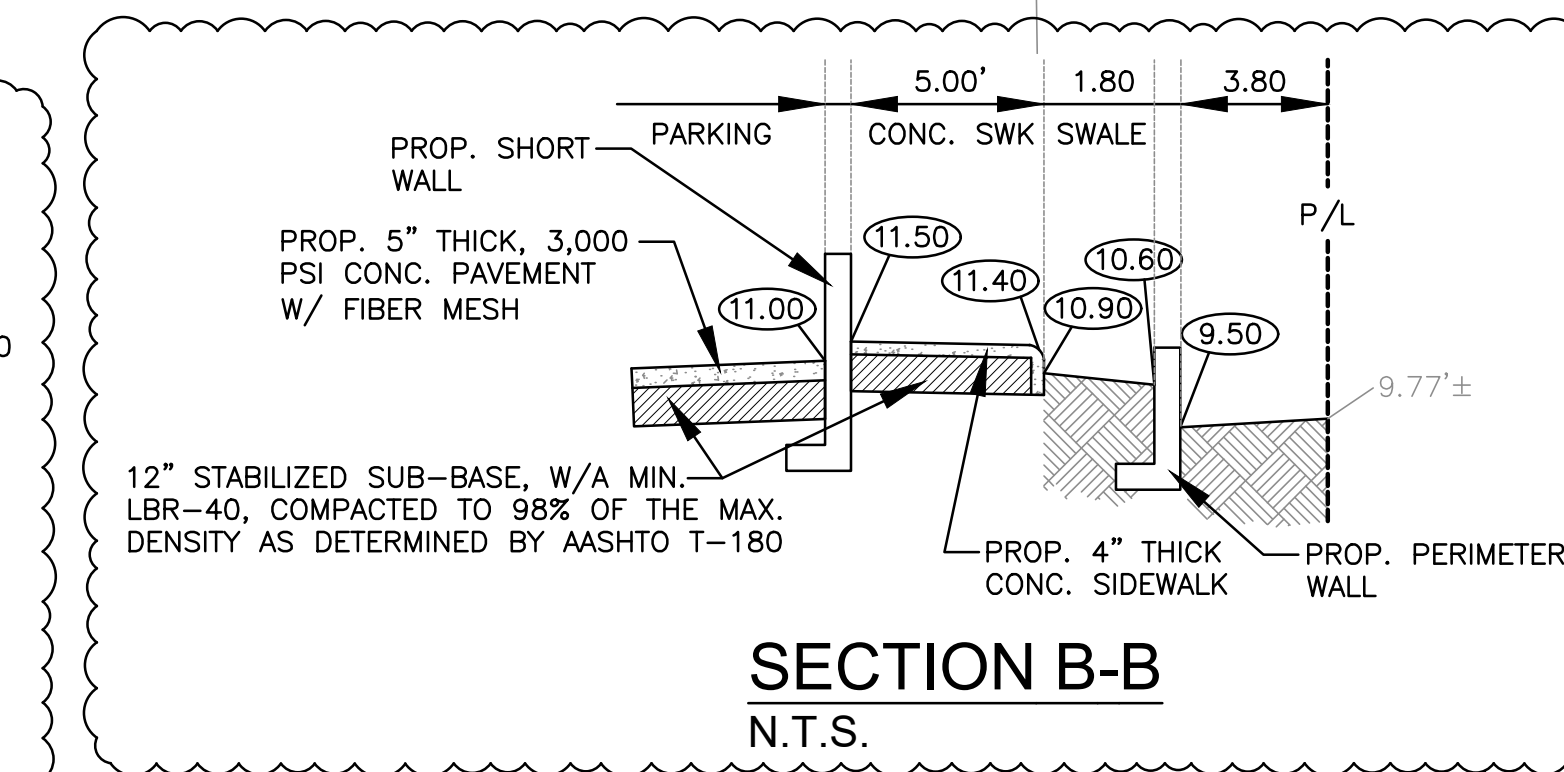
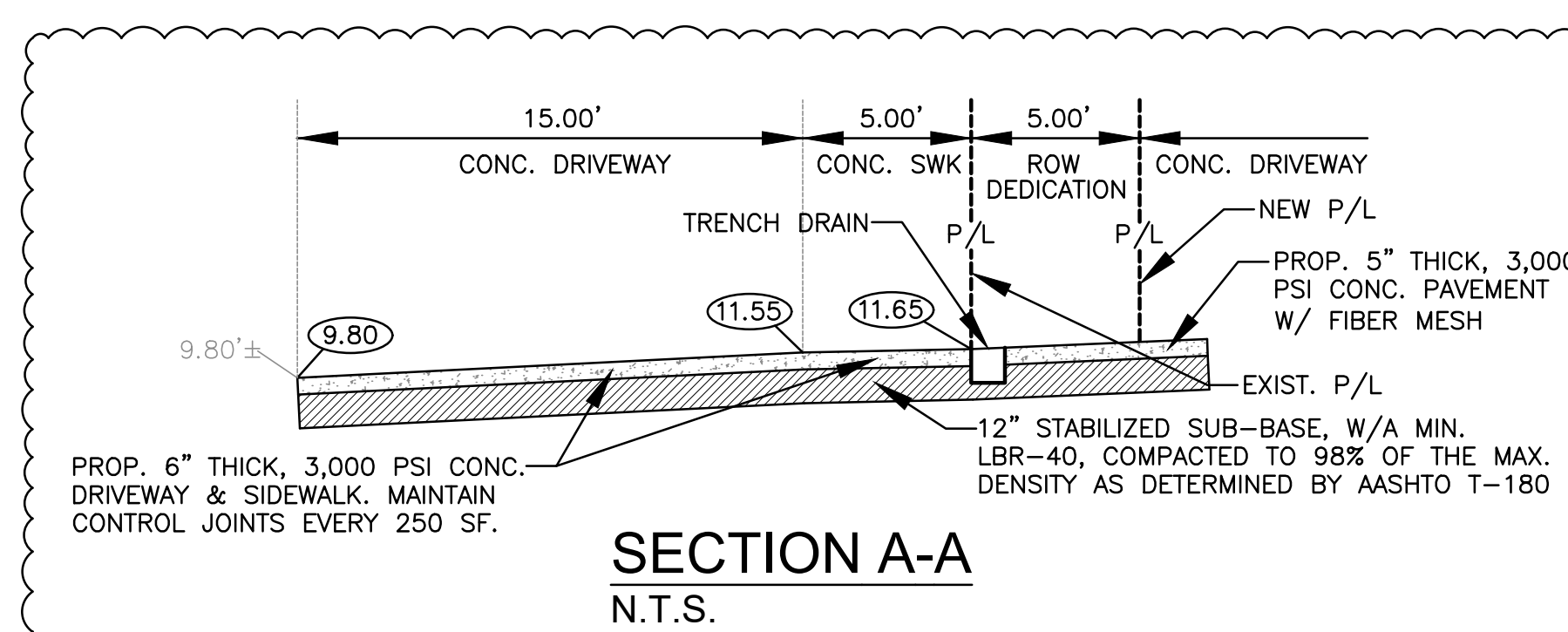


NOTES:

- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
- 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
- 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
- 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
- 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
- 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
- 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.

LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT



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PAVING, GRADING & DRAINAGE PLAN

SCALE: 1"=10'

NO.	DATE	DESCRIPTION
1	7-28-23	TAC REVIEW COMMENTS

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wzephyr@gmail.com
CA#: 31158

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FILLMORE STREET APARTMENTS
2215 FILLMORE STREET
HOLLYWOOD, FL 33020

P.E.#:76036
DATE: 5/9/23
SCALE: 1"=10'
SHEET NO.:
C2
2 OF 11
PROJECT NO.: 23-15

GENERAL CONDITION NOTES :

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:
FLORIDA POWER & LIGHT CO., CONSTRUCTION
BELLSOUTH
COMCAST
TECO
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -

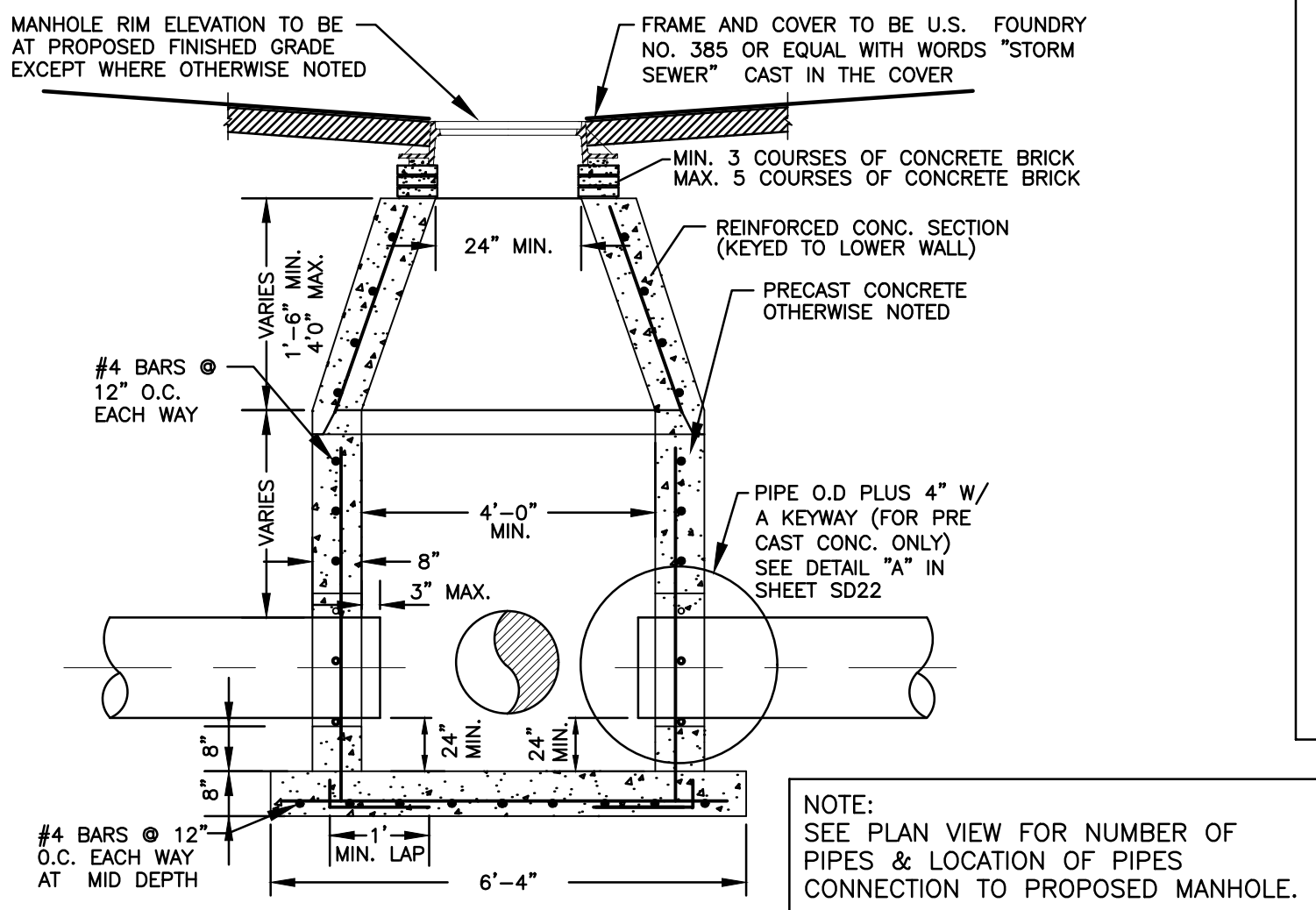
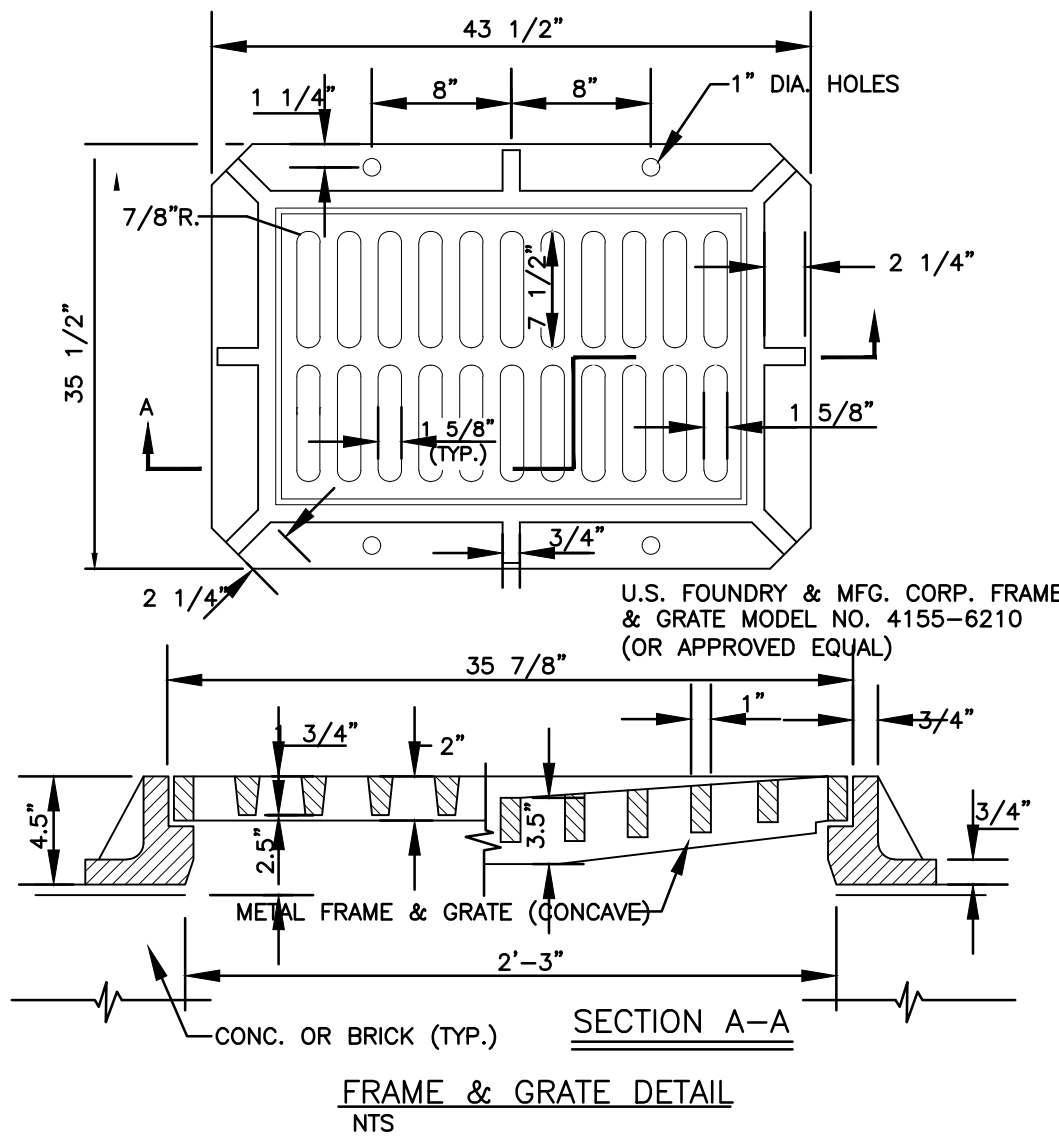
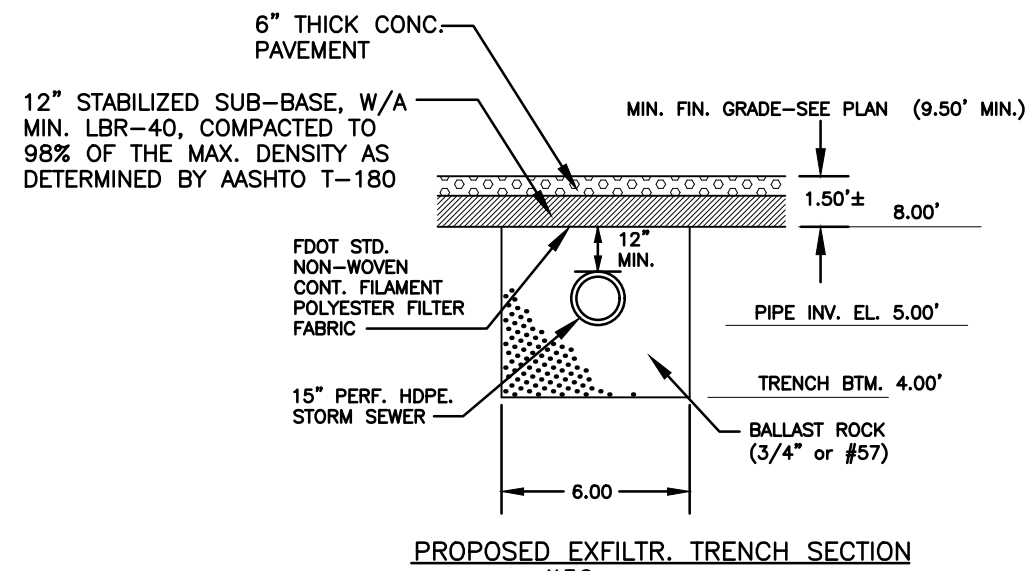
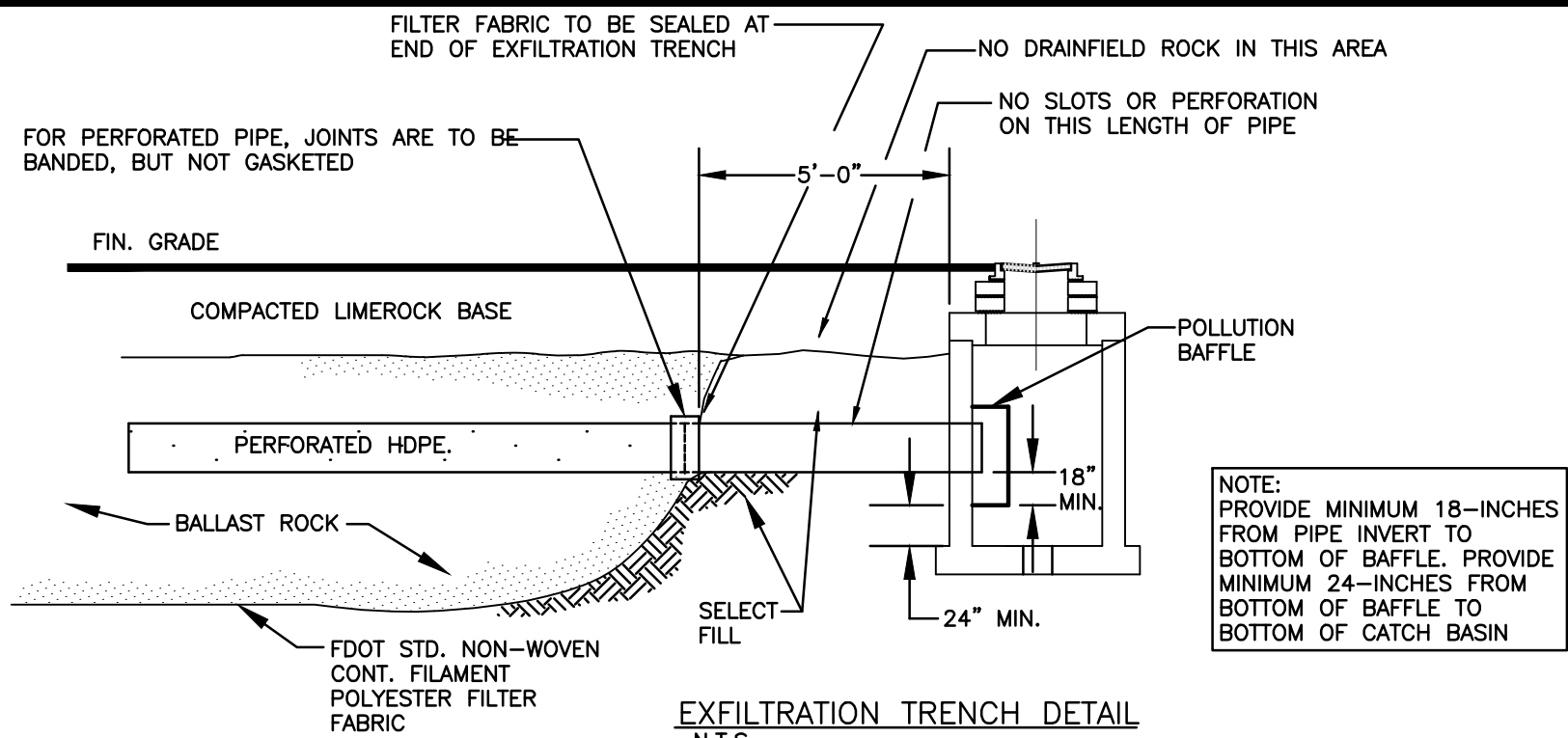
RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
PVC = POLYVINYLCHLORIDE PIPE
POMP = PERFORATED CMP, FDOT SECTION 945
DIP = DUCTILE IRON PIPE
HDPE = HIGH DENSITY POLYETHYLENE PIPE.

15. ASPHALT -
BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1.
PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE - 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE - 0.02 TO 0.08 GALS./S.Y.

DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

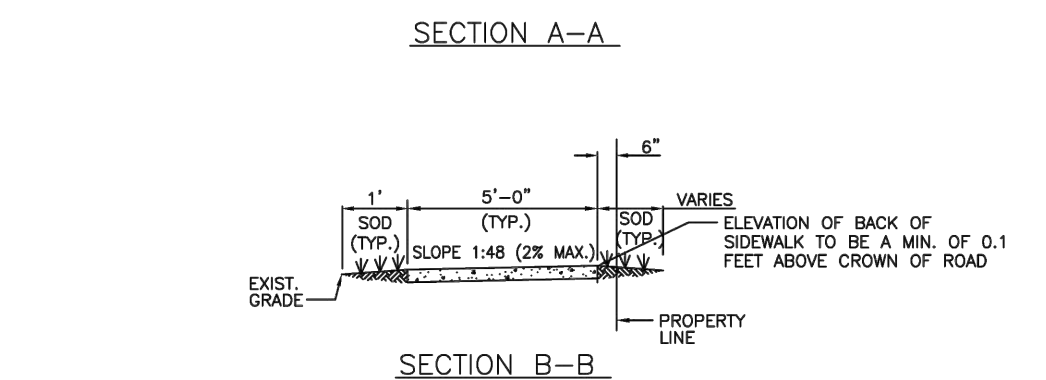
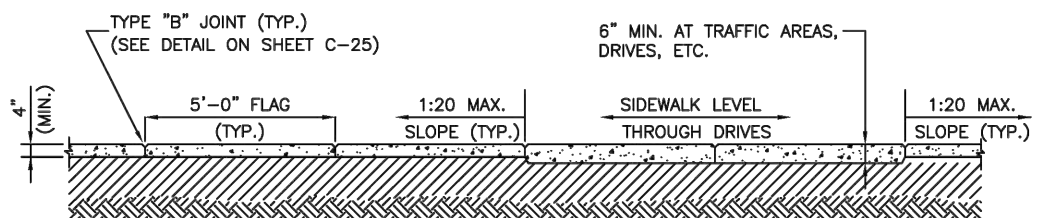
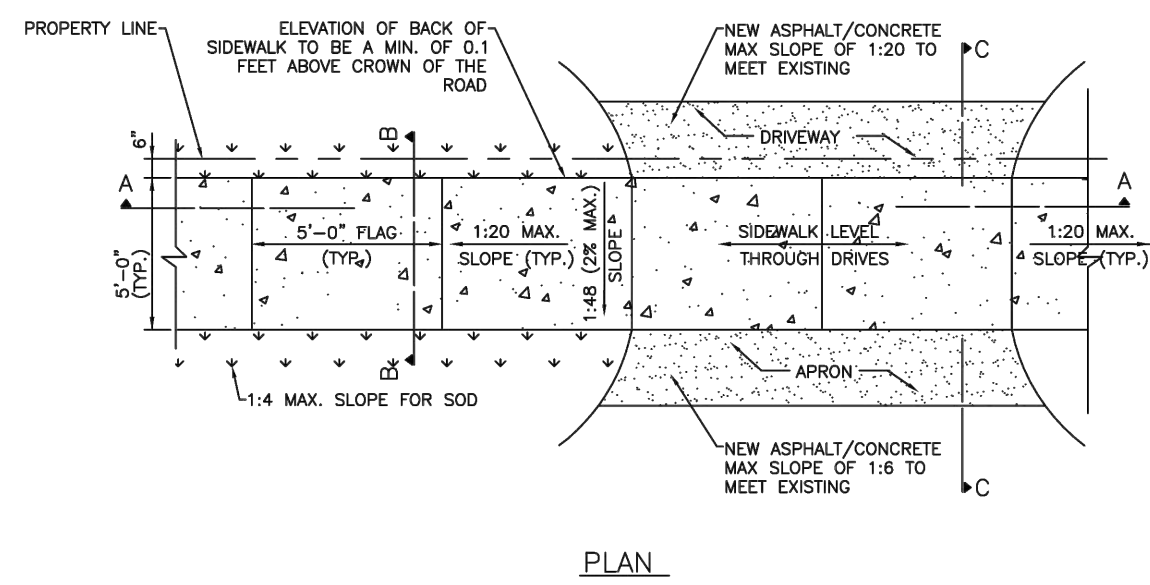
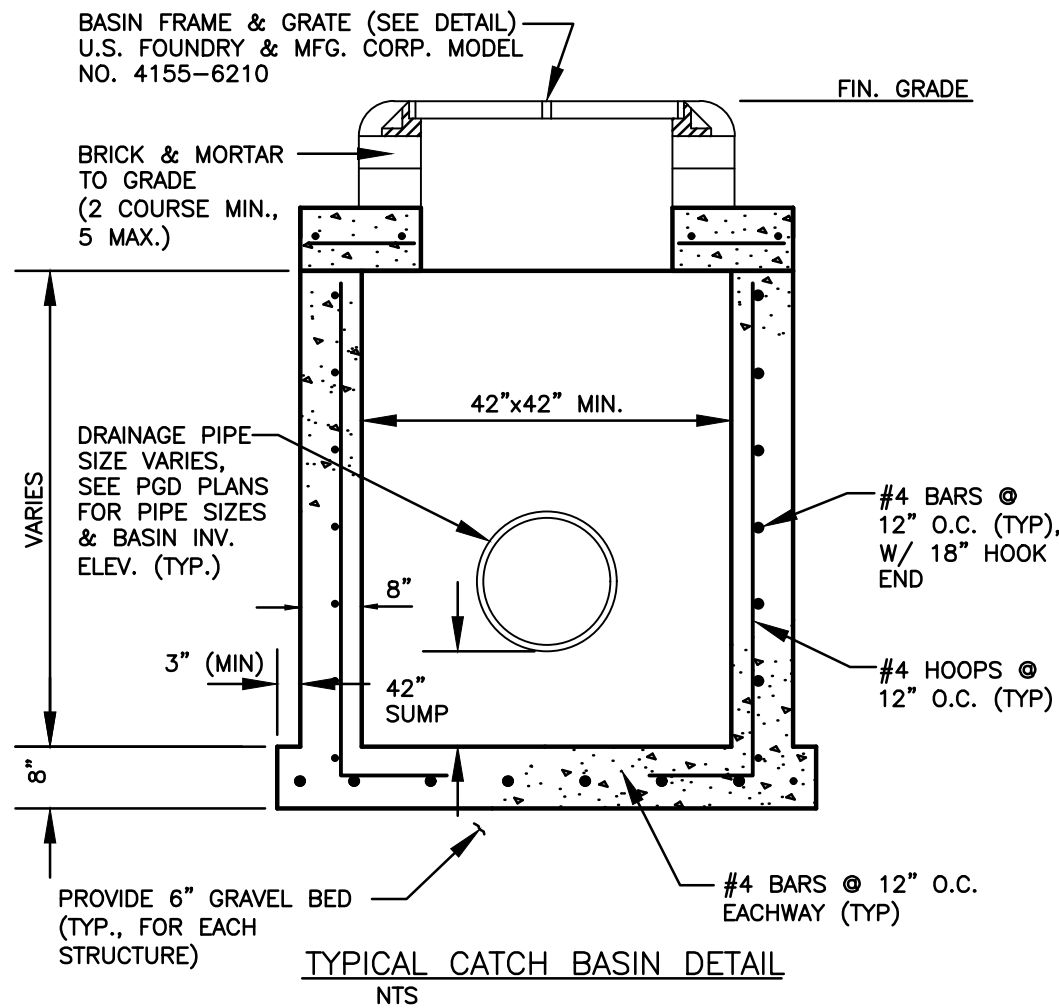
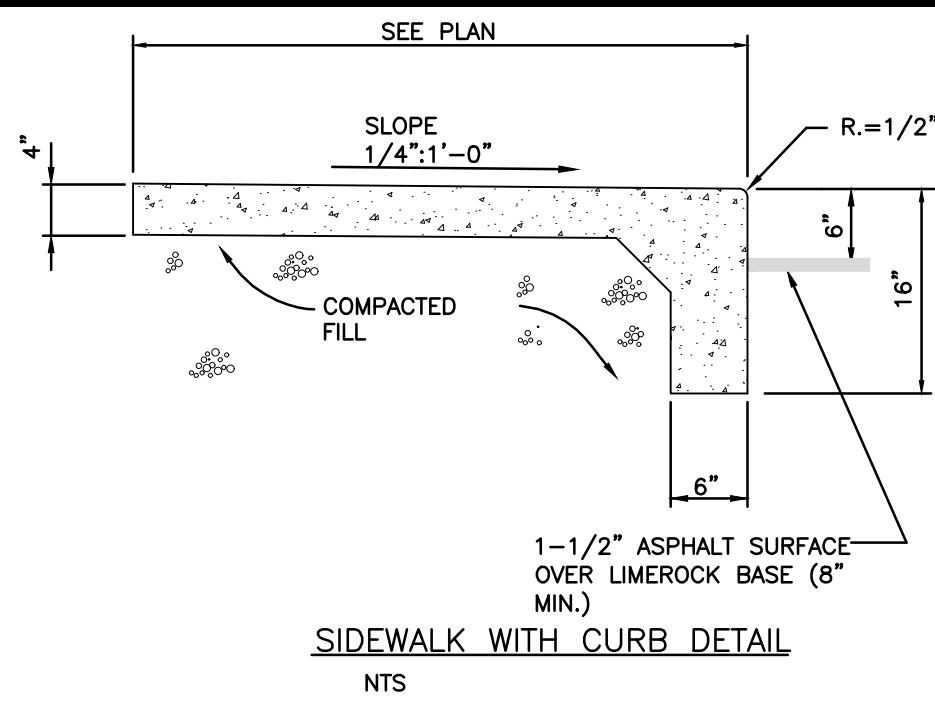
PAVEMENT MARKING & SIGNING STANDARD NOTES :

1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
3. STOP BARS SHALL BE 24" WHITE.
4. ALL SITE PAVEMENT MARKINGS SHALL BE PAINT. (UNLESS INDICATED OTHERWISE)
5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.



- GENERAL DETAILS:
1. PROVIDE SHOP DRAWINGS OF STRUCTURES.
 2. PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C478, SHALL BE TYPE II ACID RESISTANT CEMENT AND SHALL MAINTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN 28 DAYS.
 3. REFER TO FDOT INDEX 200 FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
 4. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60, ALL COVER SHALL BE 3 INCHES MINIMUM.
 5. ALL OPENINGS SHALL BE SEALED WITH ELASTOMETRIC GROUT (TYPE 3 CEMENT) SEE DETAIL "A", IN SHEET SD22.

CONCENTRIC PRECAST DRAINAGE MANHOLE (4'-0" MIN. DIA.) DETAIL N.T.S.



- NOTE:
1. ALL SIDEWALK CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE ADA STANDARDS.
 2. LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF THE SIDEWALK.
 3. ALL SIDEWALKS CROSS SLOPES SHALL BE 1:48 (2% MAX.); AND, RUNNING SLOPES 1:20 MAX.



ISSUED: MAY 2023
DRAWN: EG
APPROVED: JG

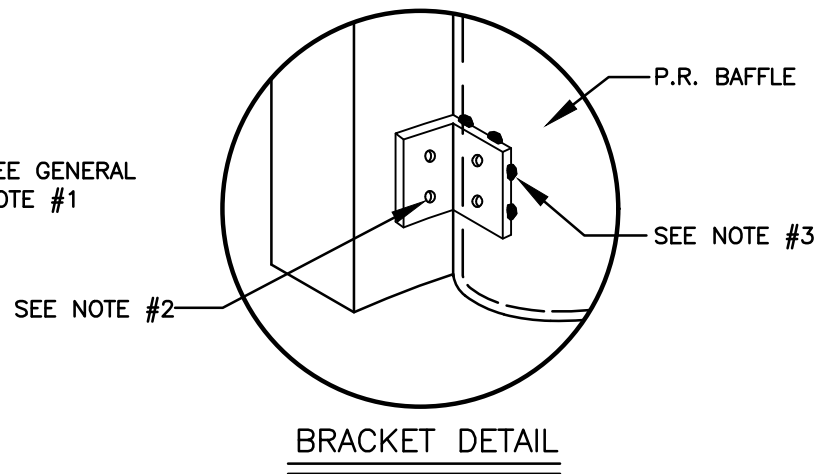
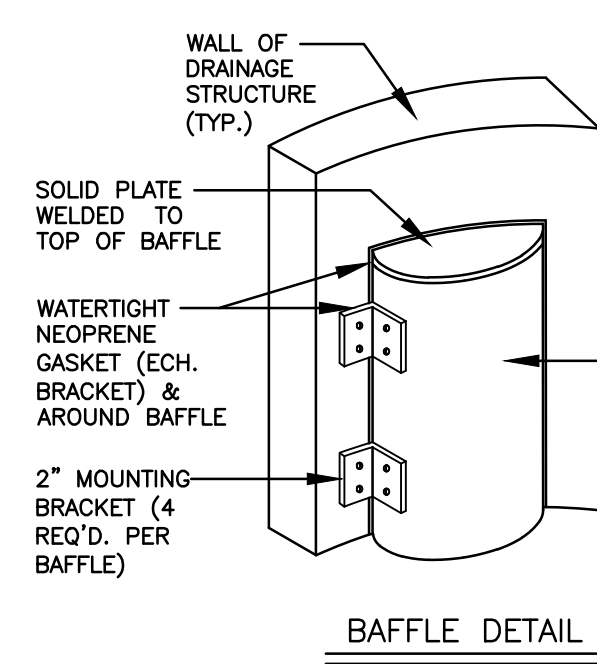
DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION
SIDEWALK CONSTRUCTION DETAILS (1 OF 3)

REVISED: -
DRAWING NO.: C-23

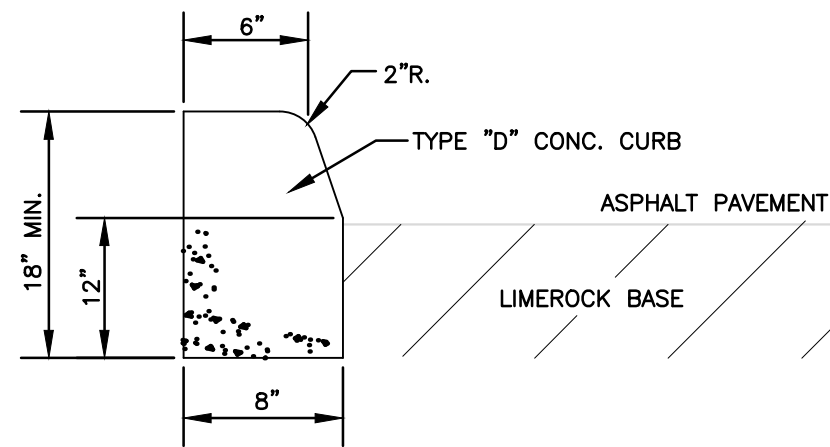
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

GENERAL NOTES :

1. BAFFLE TO BE SECTION OF CMP CUT IN HALF, CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE LINE.
2. 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
3. WELD, OR 2 1/2" S.S. THRU BOLTS
4. GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.



POLLUTION RETARDANT BAFFLE DETAIL N.T.S.



TYPE 'D' CONCRETE CURB DETAIL N.T.S.

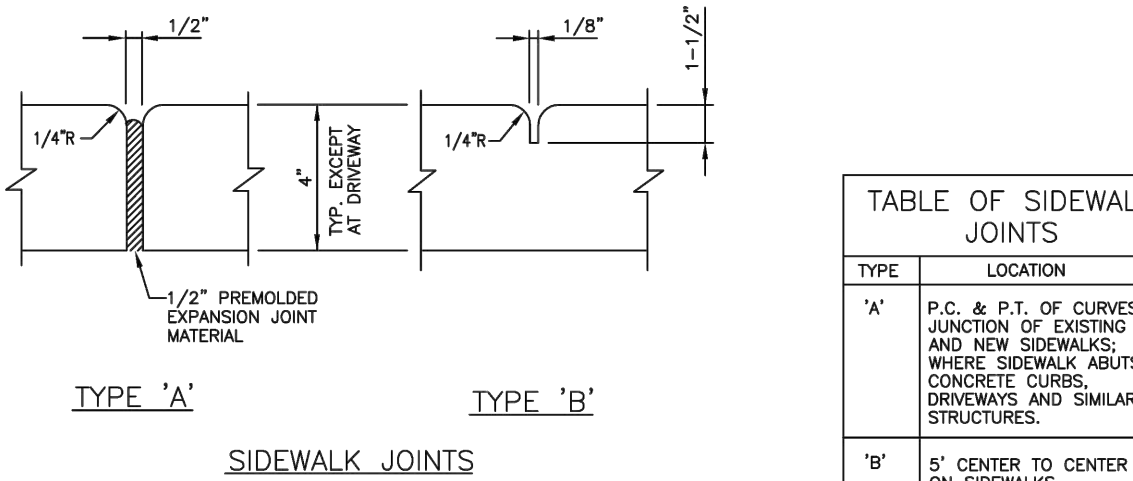
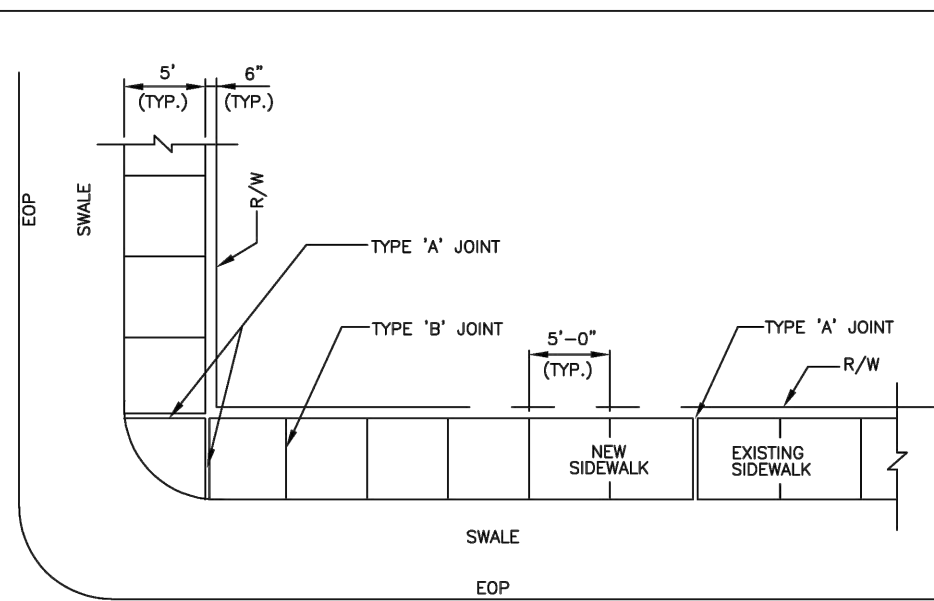


TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
'A'	P.C. & P.T. OF CURVES; JUNCTION OF EXISTING AND NEW SIDEWALKS; WHERE SIDEWALK ADJUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES.
'B'	5' CENTER TO CENTER ON SIDEWALKS.

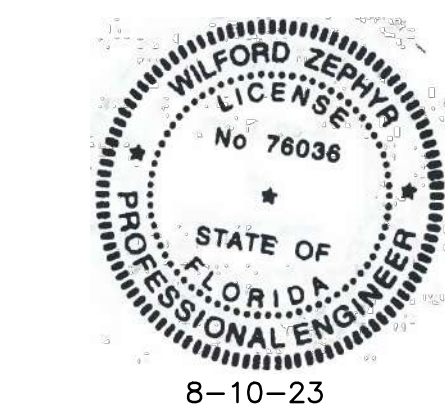
- NOTES:
1. CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
 2. USE OF FIBER REINFORCED CEMENT IS PROHIBITED.
 3. SIDEWALK LONGITUDINAL AND CROSS SLOPES SHALL MEET ADA STANDARDS.
 4. SIDEWALK CURB RAMP SHALL BE PROVIDED AT ALL DESIGNATED PEDESTRIAN CROSSING AT INTERSECTIONS PER FDOT STANDARD PLANS INDEX NO. 522-002.
 5. THE VERTICAL ELEVATION OF THE COVER/LID OF A GIVEN UTILITY BOX/STRUCTURE SHALL NOT BE MORE THAN A 1/4" DIFFERENCE IN HEIGHT/ELEVATION OF THE FINISHED SIDEWALK SURFACE.
 6. 4" THICK MINIMUM (TYP.), 6" THICK AT DRIVEWAYS, EXTENDED TWO FEET ON BOTH SIDES BEYOND THE DRIVE.



ISSUED: MAY 2023
DRAWN: EG
APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION
SIDEWALK CONSTRUCTION DETAILS (3 OF 3)

REVISED: -
DRAWING NO.: C-25



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CIVIL DETAILS I
SCALE: N.T.S.

REVISIONS

NO.	DATE	DESCRIPTION

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CA# 31158

FILLMORE STREET APARTMENTS
2215 FILLMORE STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 5/9/23

SCALE: N.T.S.

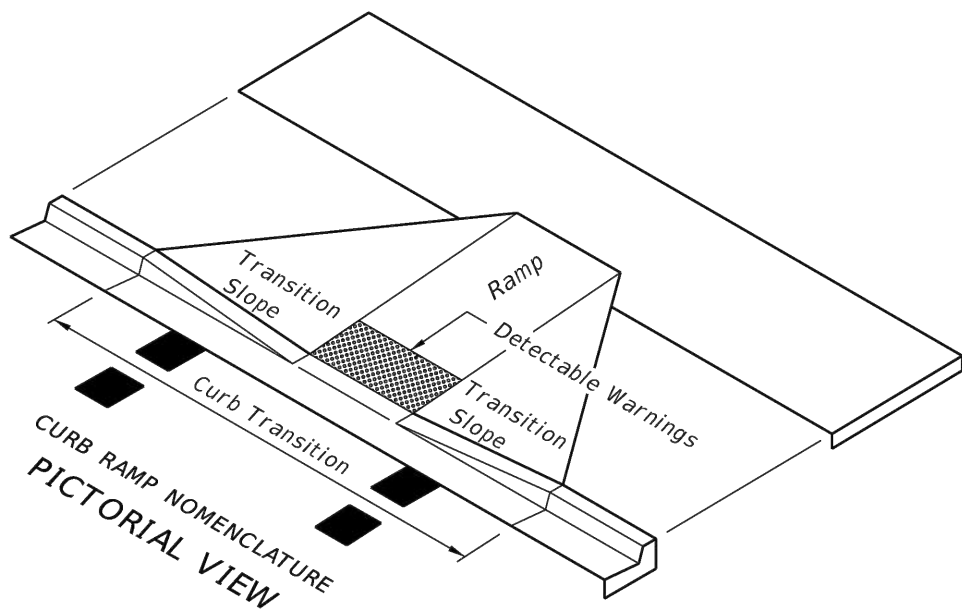
SHEET NO.:

C3

3 OF 11

PROJECT NO.: 23-15

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5/22/2023 5:58:51 PM sse070e



LEGEND

Detectable Warnings

GENERAL NOTES

- Sidewalk curb ramps shall be constructed at locations that will provide continuous unobstructed pedestrian circulation path to pedestrian areas, elements and facilities within the right of way and to accessible pedestrian routes on adjacent sites. Curbed facilities with sidewalks and those without sidewalks are to have curb ramps constructed for all intersections and turnouts with curbed returns. To accommodate curb ramps, partial curb returns are to extend to the limits prescribed in Index No. 515. Ramps constructed at locations without sidewalks are to have a landing constructed at the top of each ramp; see LANDINGS FOR CURB RAMPS WITHOUT SIDEWALKS.
- When altering existing pedestrian facilities, where existing restricted conditions preclude the accommodation of a ramp slope of 1:12, a ramp slope between 1:12 and 1:10 is permitted for a rise of 6" maximum. Where compliance with the requirements for cross slope cannot be fully met, the minimum feasible cross slope shall be provided. Ramp slopes are not required to exceed 15' in length.
- If sidewalk curb ramps are located where pedestrians must walk across the ramp, then provide transition slopes to the ramp; otherwise a sidewalk curb may be required.
- All sidewalks, ramps, and landings with a cross slope of 0.02 shown in this Index are 0.02 maximum. All ramp slopes shown in this Index as 1:12 are 1:12 maximum. Landings shall have slopes less than or equal to 0.02 in any direction.
- Grade breaks at the top and bottom of ramps shall be parallel to each other and perpendicular to the direction of the ramp slope.
- Where a sidewalk curb ramp is constructed within existing curb, curb and gutter and/or sidewalk, the existing curb or curb and gutter shall be removed to the nearest joint beyond the curb transition or to the extent that no remaining section of curb or curb and gutter is less than 5' long. Existing sidewalks shall be removed to the nearest joint beyond the transition slope or to the extent that no remaining section of sidewalk is less than 5' long. For CONCRETE SIDEWALK details refer to Index 310.
- Sidewalk curb ramp alpha-identifications are for reference purposes (plans, permits, etc.). Alpha-identifications CR-I and CR-J were intentionally omitted.
- Detectable warnings shall extend the full width of the ramp and to a depth of 2'. Detectable warnings shall be constructed in accordance with Specification Section 527. For the layout of detectable warnings, refer to the TYPICAL PLACEMENT OF DETECTABLE WARNINGS details. Detectable warnings shall not be provided on transition slopes.
- When detectable warnings are placed on a slope greater than 5%, domes shall be aligned with the centerline of the ramp; otherwise domes are not required to be aligned.
- Detectable warnings shall be required on sidewalks at:
 - Intersecting roads,
 - Median Crossings greater than or equal to 6' in width,
 - Railroad Crossings,
 - Signalized driveways.
- Detectable Warnings - Acceptance Criteria:
 - Color and texture shall be complete and uniform.
 - 90% of individual truncated domes shall be in accordance with the Americans with Disabilities Act Standards for Transportation Facilities, Section 705.
 - There shall be no more than 4 non-compliant domes in any one square foot.
 - Non-compliant domes shall not be adjacent to other non-compliant domes.
 - Surfaces shall not deviate more than 0.10" from a true plane.
- Detectable warnings shall be installed no greater than 5' from the back of curb or edge of pavement.
- Detectable warnings shall not be installed over grade breaks.

LAST
REVISION
07/01/13

REVISION
DESCRIPTION:

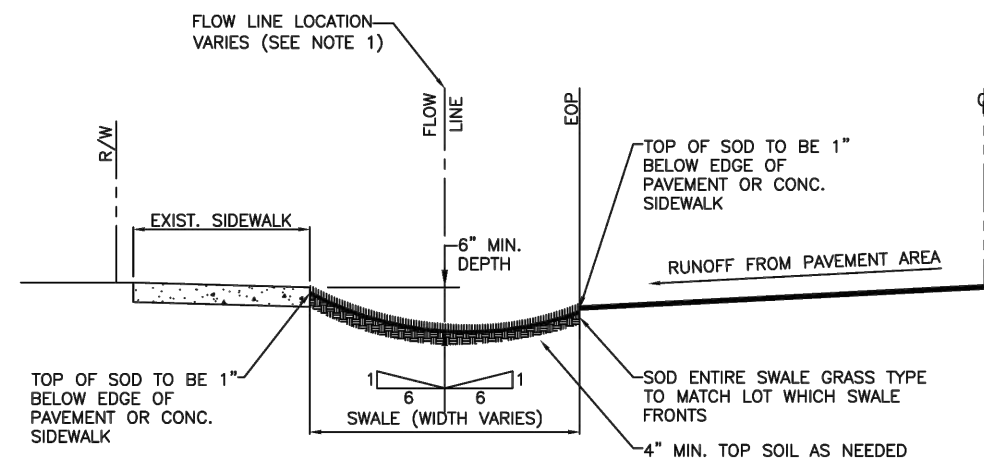


FDOT 2014
DESIGN STANDARDS

DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS

INDEX
NO.
304

SHEET
NO.
1 of 7



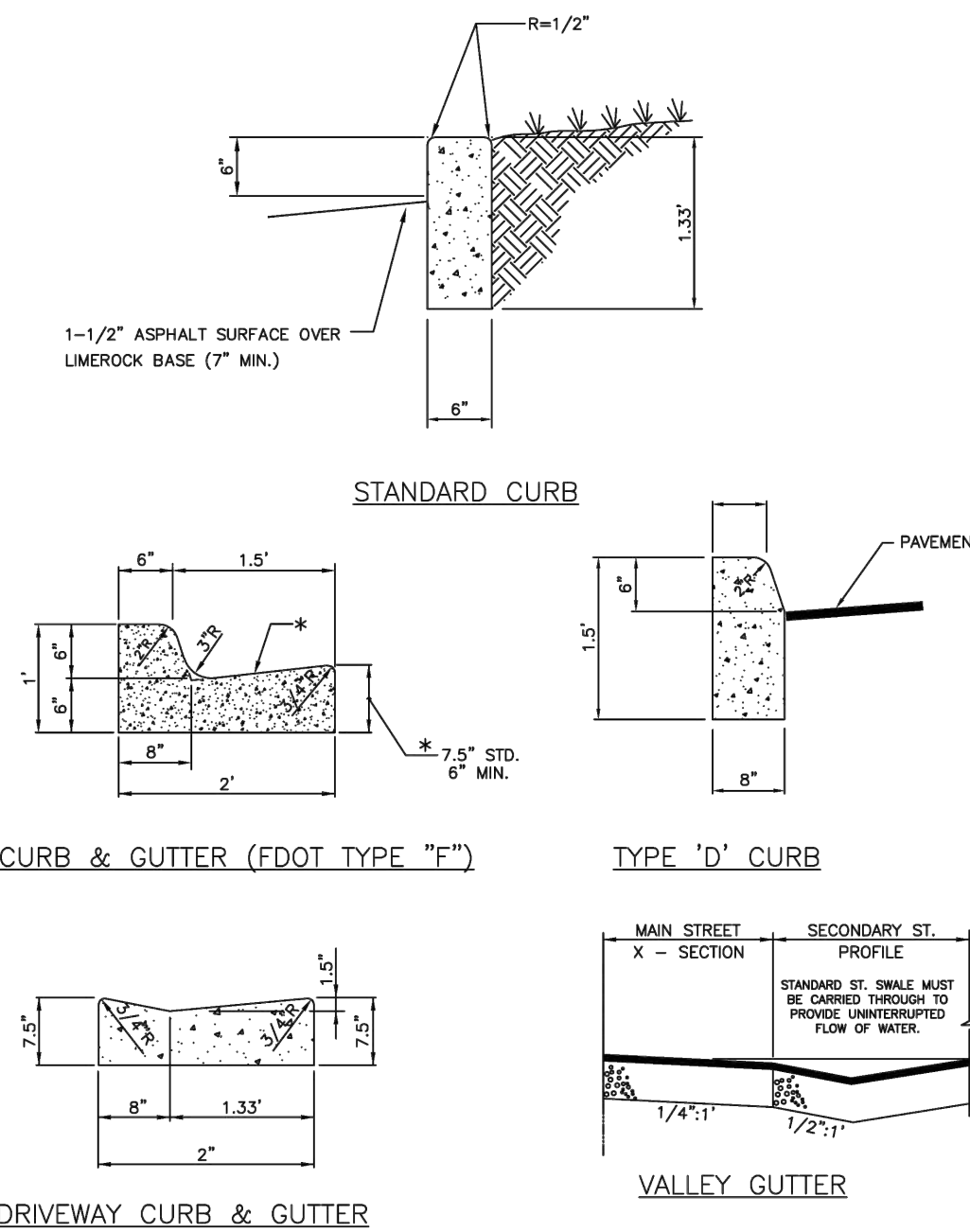
- NOTES:
- HORIZONTAL BOTTOM (FLOW LINE) OF SWALE LOCATION IS TO BE PLACED AT THE POINT WHERE A 1 SLOPE FROM THE EDGE OF S/W AND 6:1 SLOPE FROM EDGE OF PAVEMENT MEET.
 - TOP OF SOD ELEVATION AS SHOWN ABOVE.



ISSUED: MAY 2023
DRAWN: EG
APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION
TYPICAL SWALE GRADING

REVISED: -
DRAWING NO.:
C-33



ISSUED: MAY 2023
DRAWN: EG
APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION
CURB AND GUTTER DETAILS

REVISED: -
DRAWING NO.:
C-26



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CIVIL DETAILS II

SCALE: N.T.S.

REVISIONS

NO.	DATE	DESCRIPTION

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HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 5/22/23

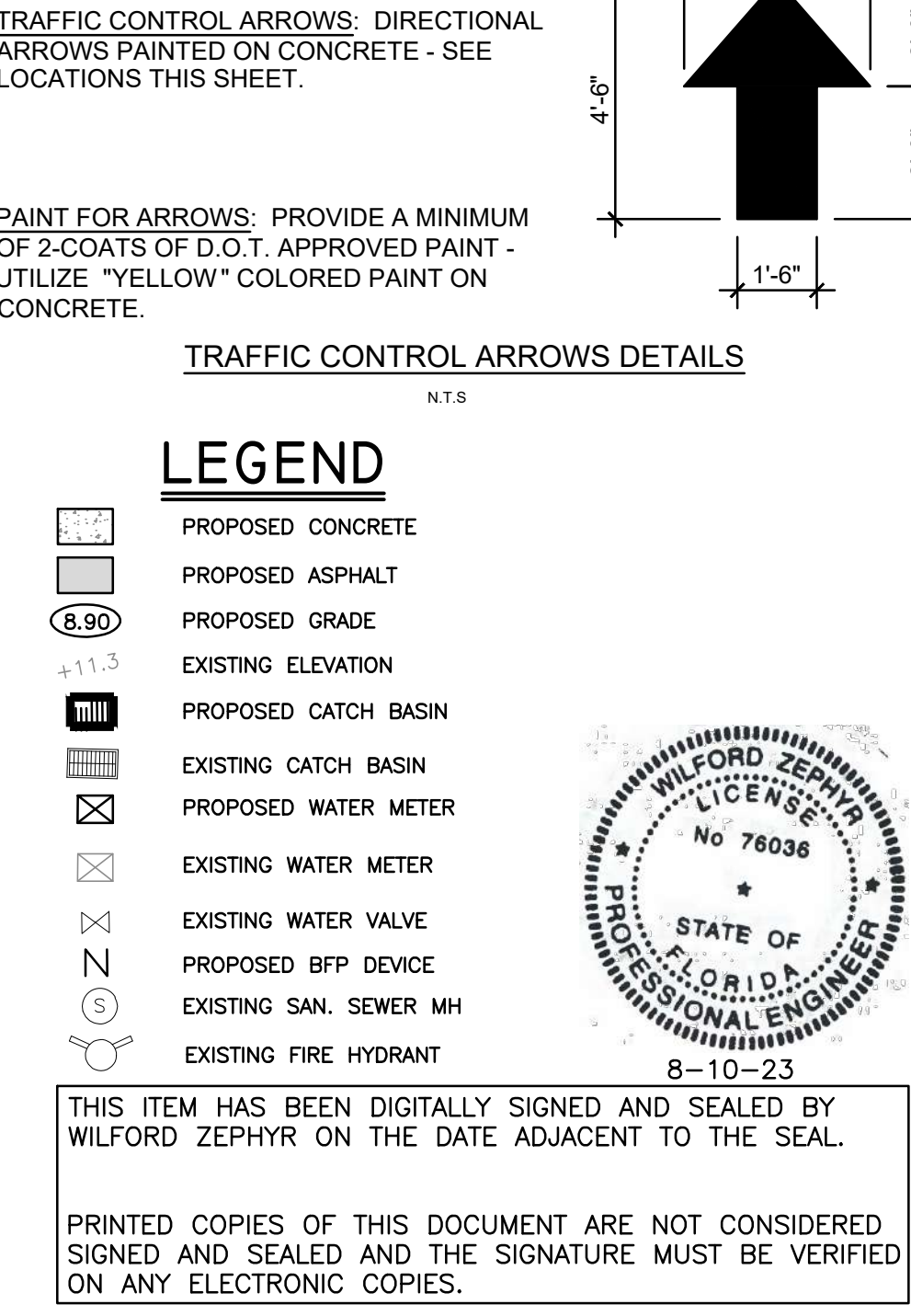
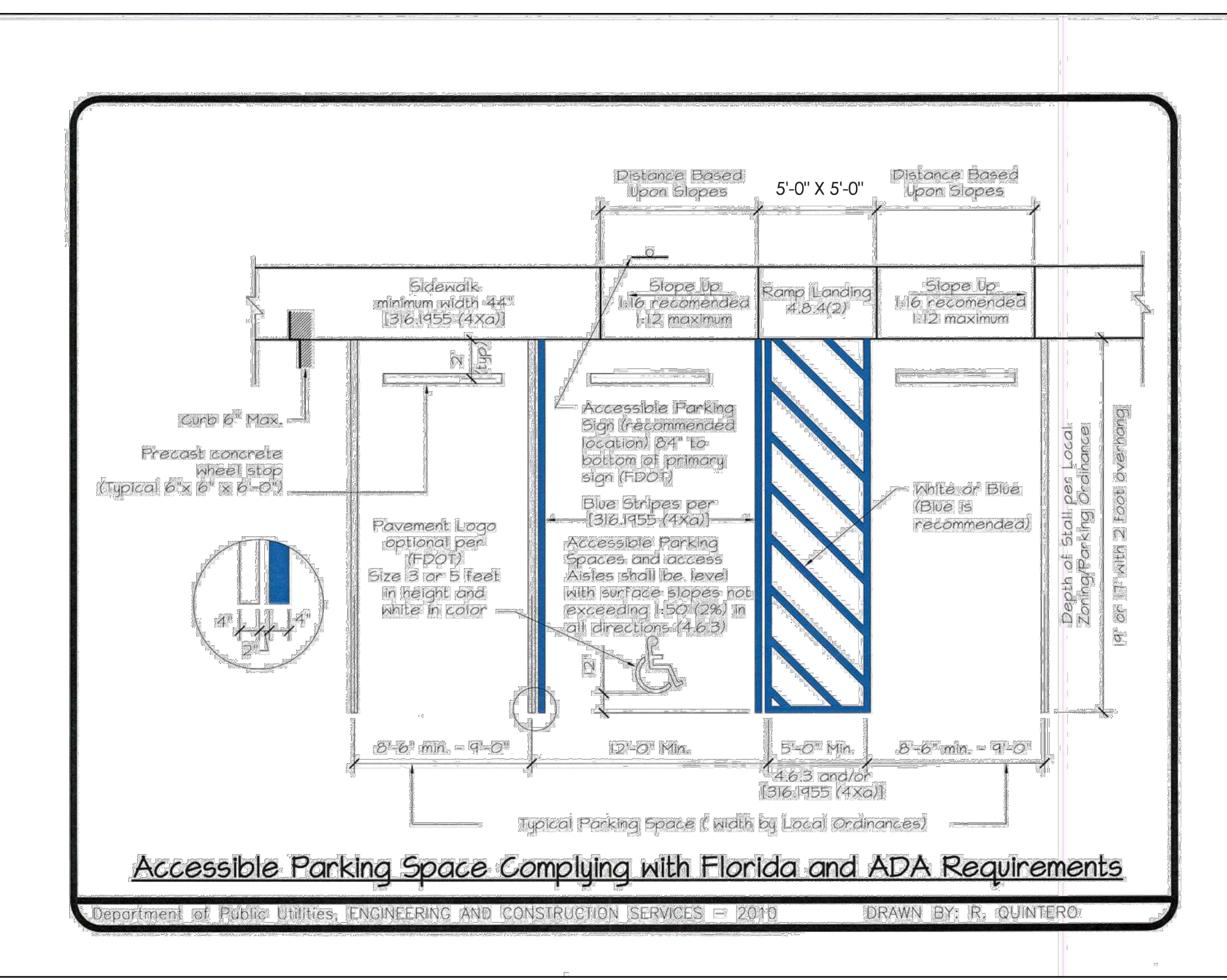
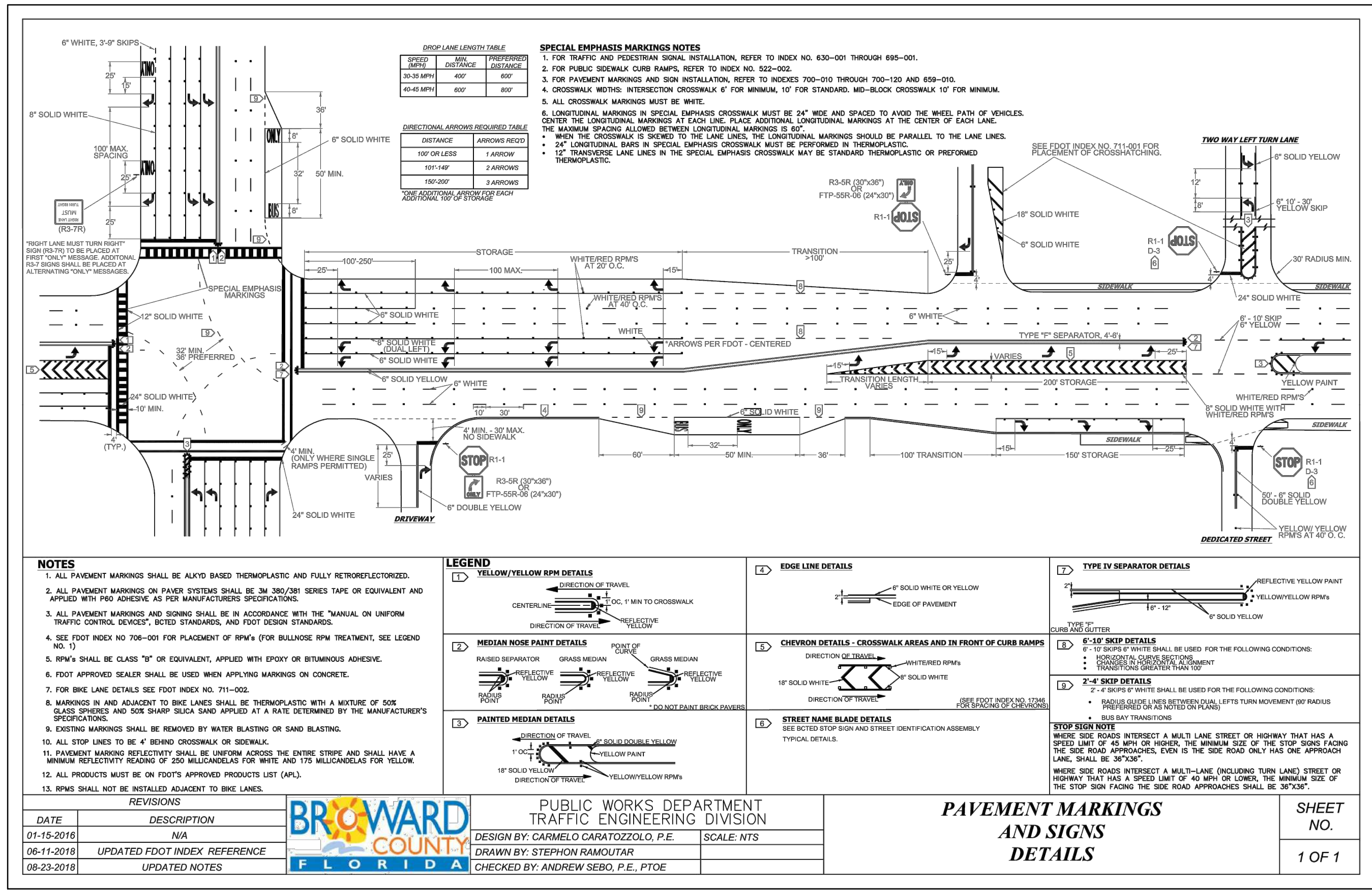
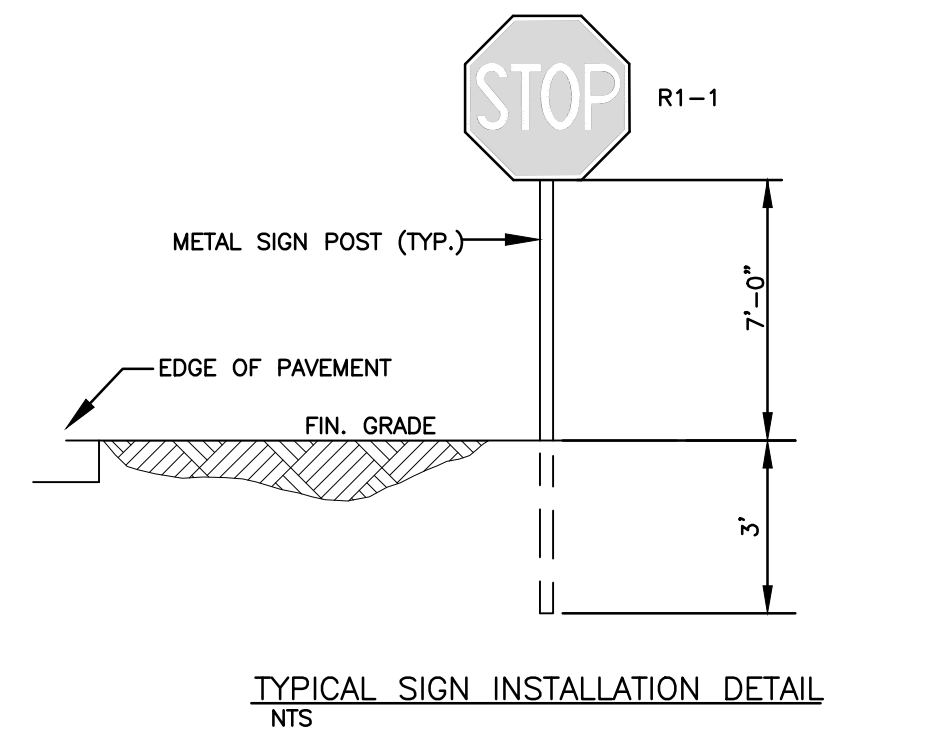
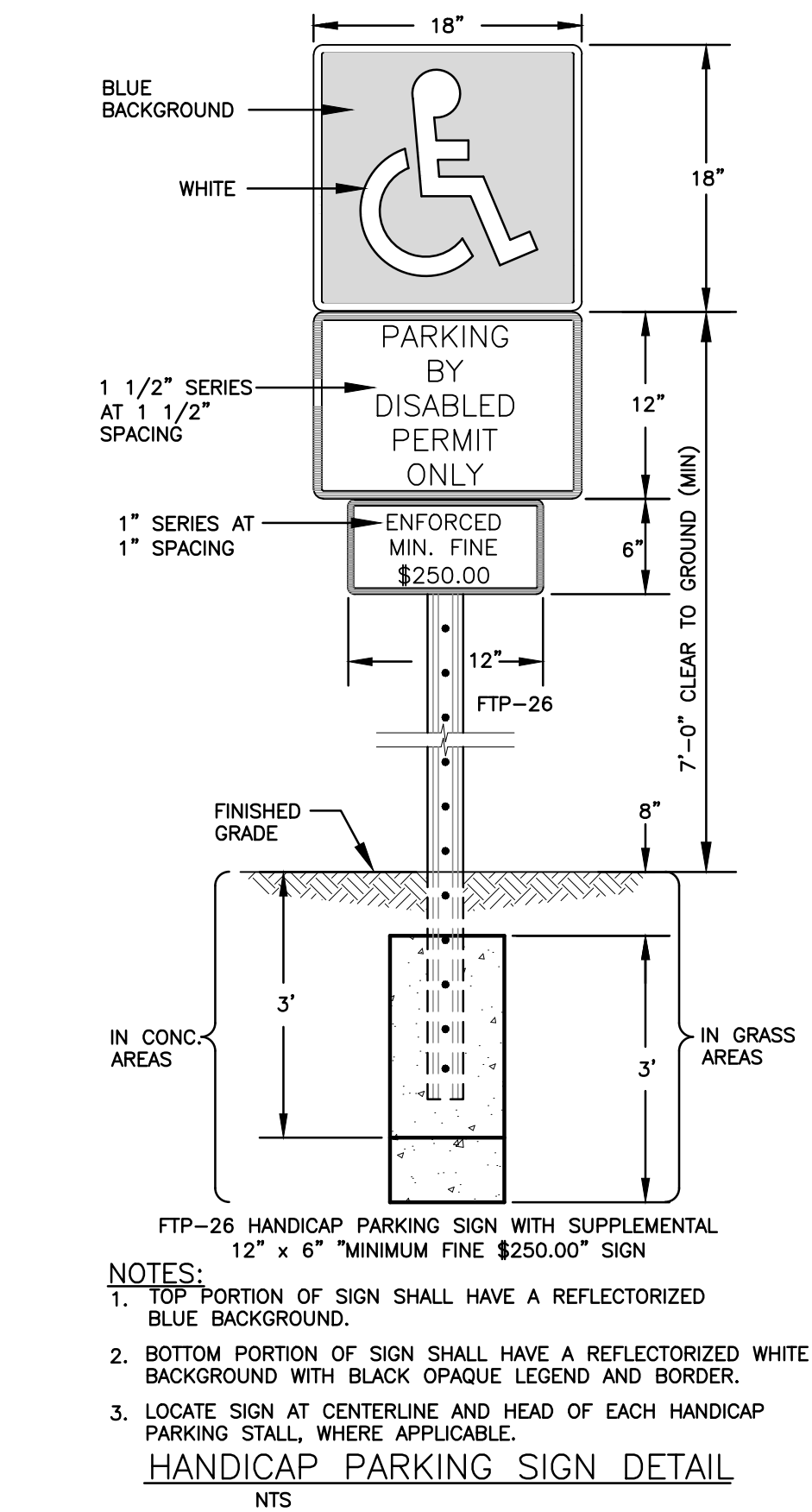
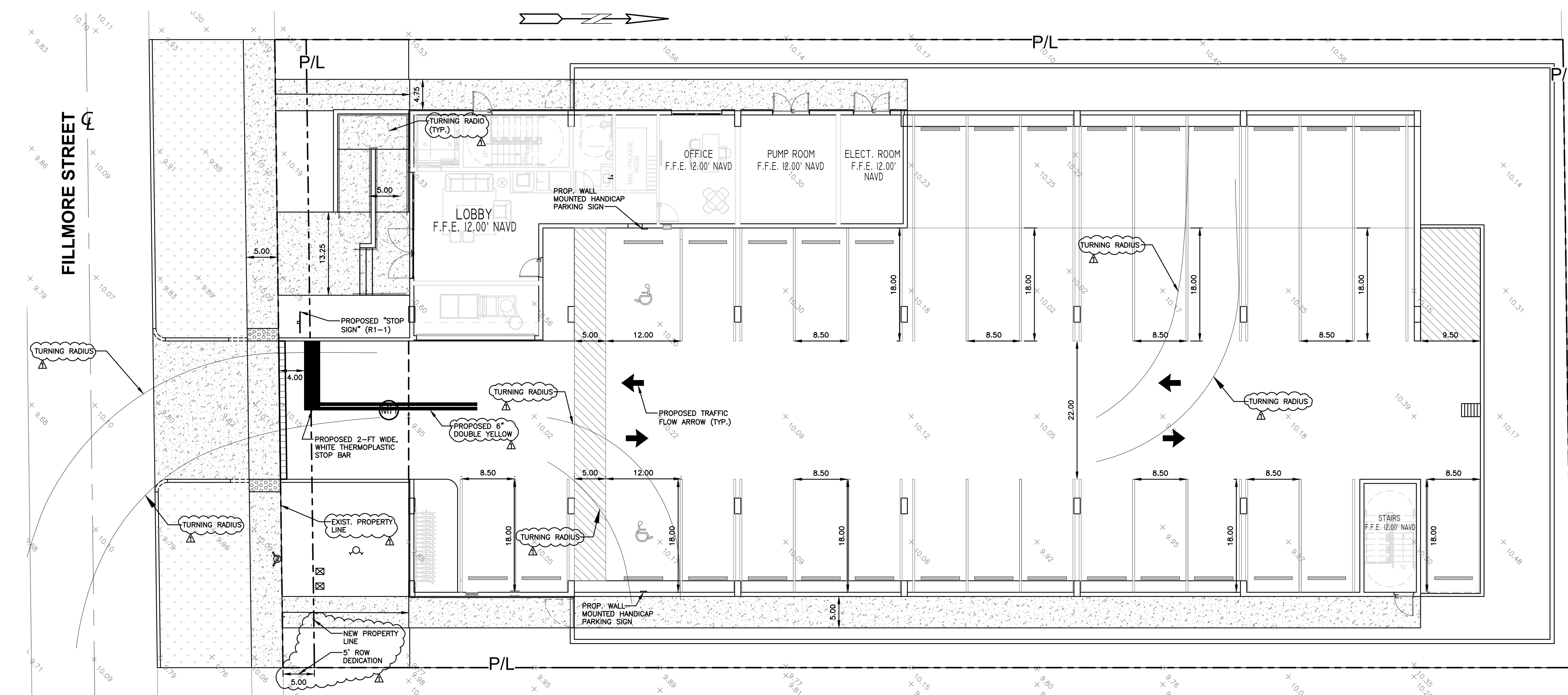
SCALE: N.T.S.

SHEET NO.:

C4

4 OF 11

PROJECT NO.: 23-15



PAVEMENT MARKINGS & SIGNAGE PLAN

SCALE: 1"=10'

REVISIONS

NO.	DATE	DESCRIPTION
1	7-28-23	TAC REVIEW COMMENTS

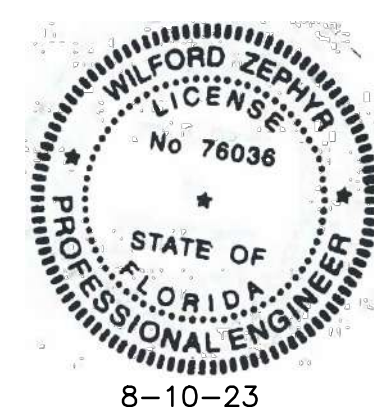
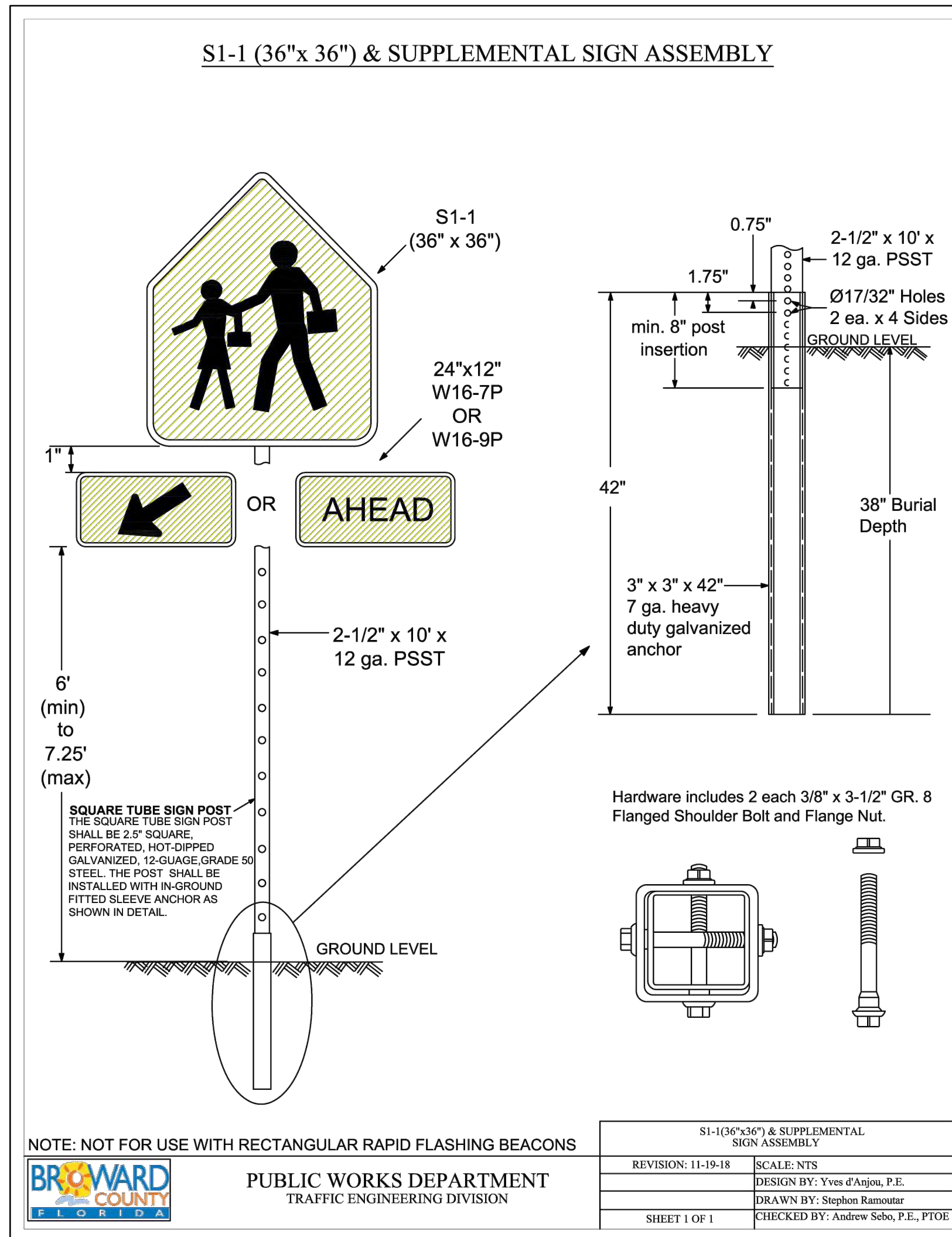
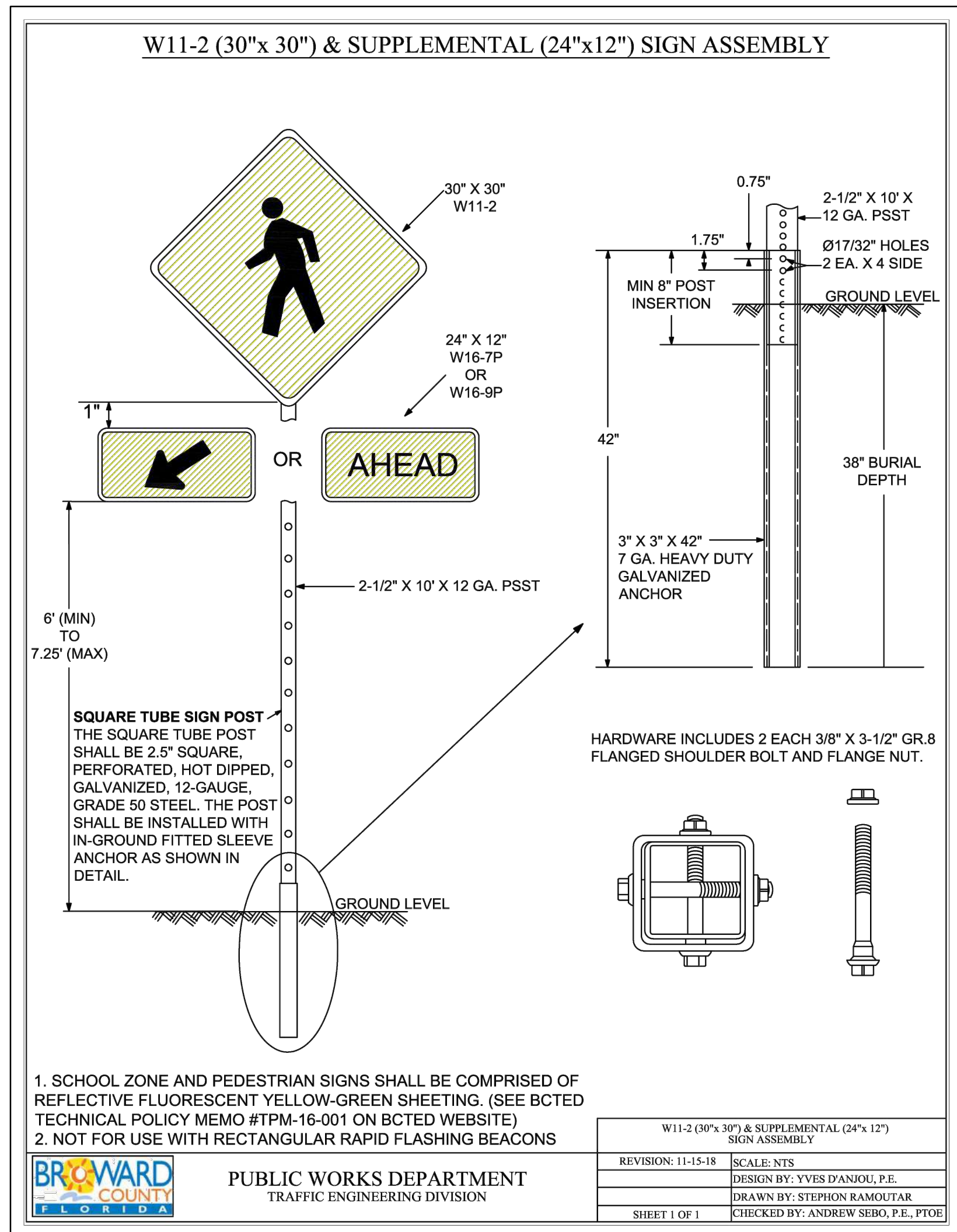
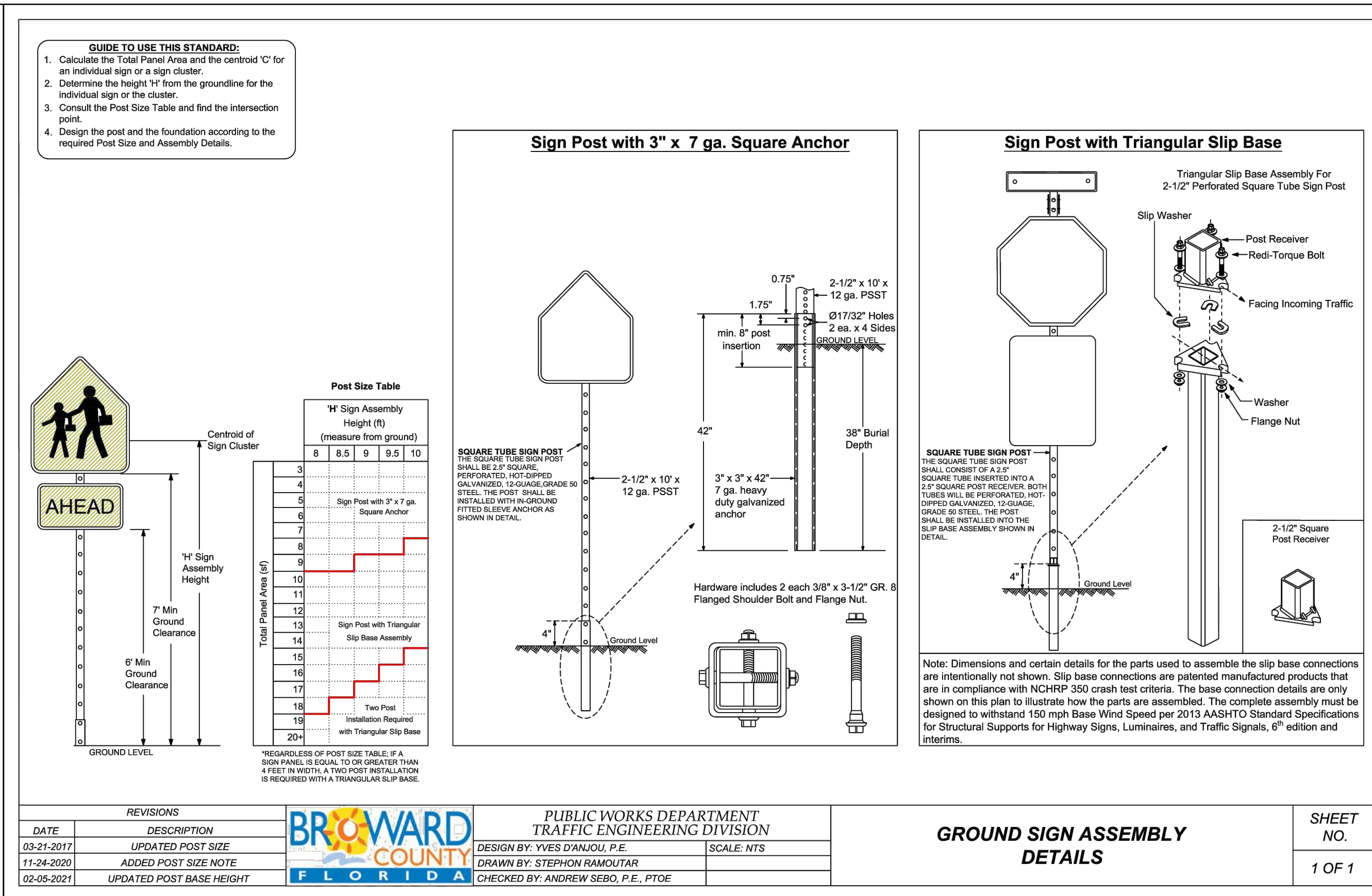
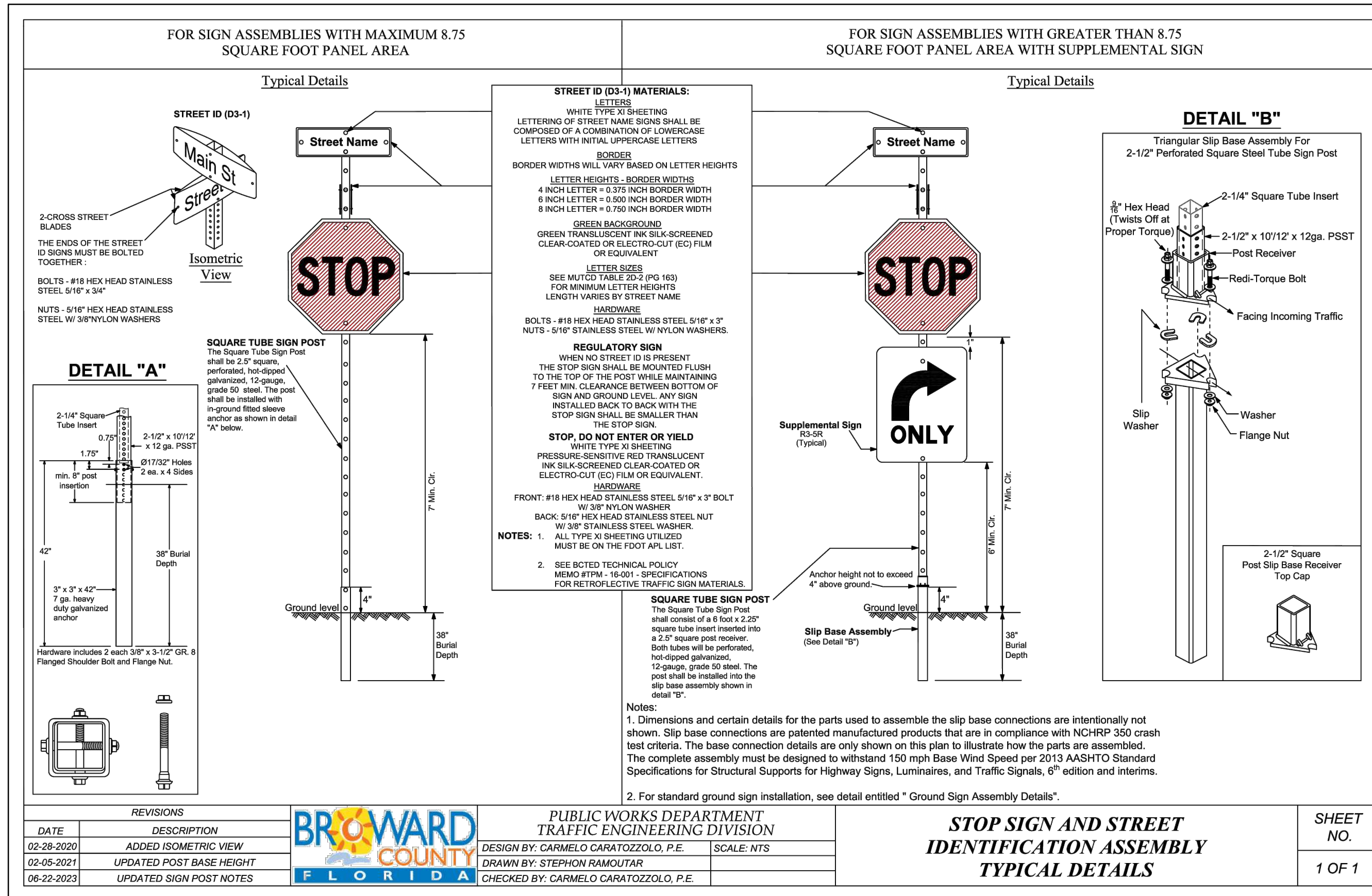
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HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 5/9/23
SCALE: 1"=10'
SHEET NO.: C5
5 OF 11
PROJECT NO.: 23-15



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PAVEMENT MARKINGS DETAILS

SCALE: N.T.S.

NO.	DATE	DESCRIPTION

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CA#: 31158

ZE

FILLMORE STREET APARTMENTS
2215 FILLMORE STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 5/22/23

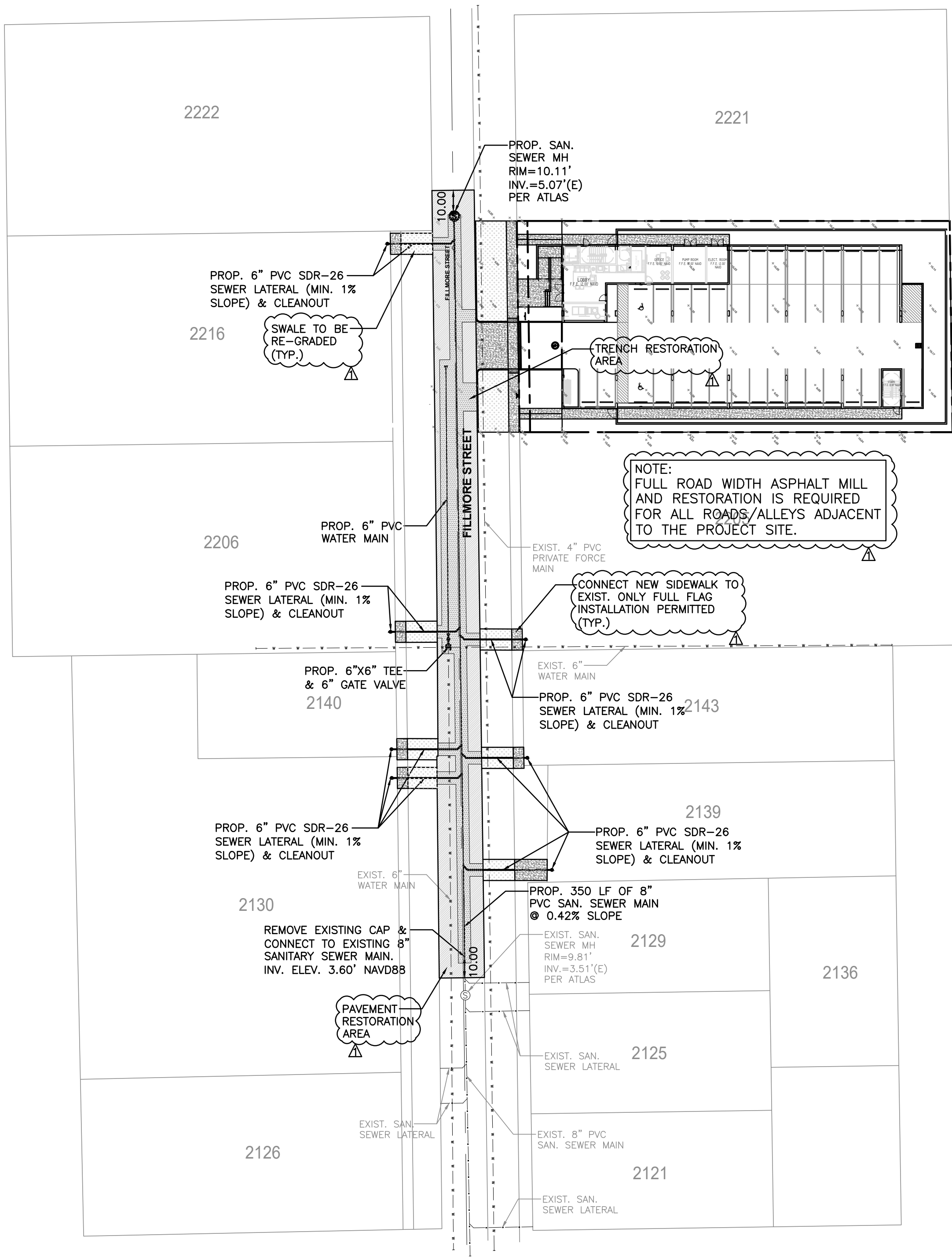
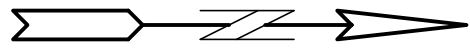
SCALE: N.T.S.

SHEET NO. C6

6 OF 11

PROJECT NO.: 23-15

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM

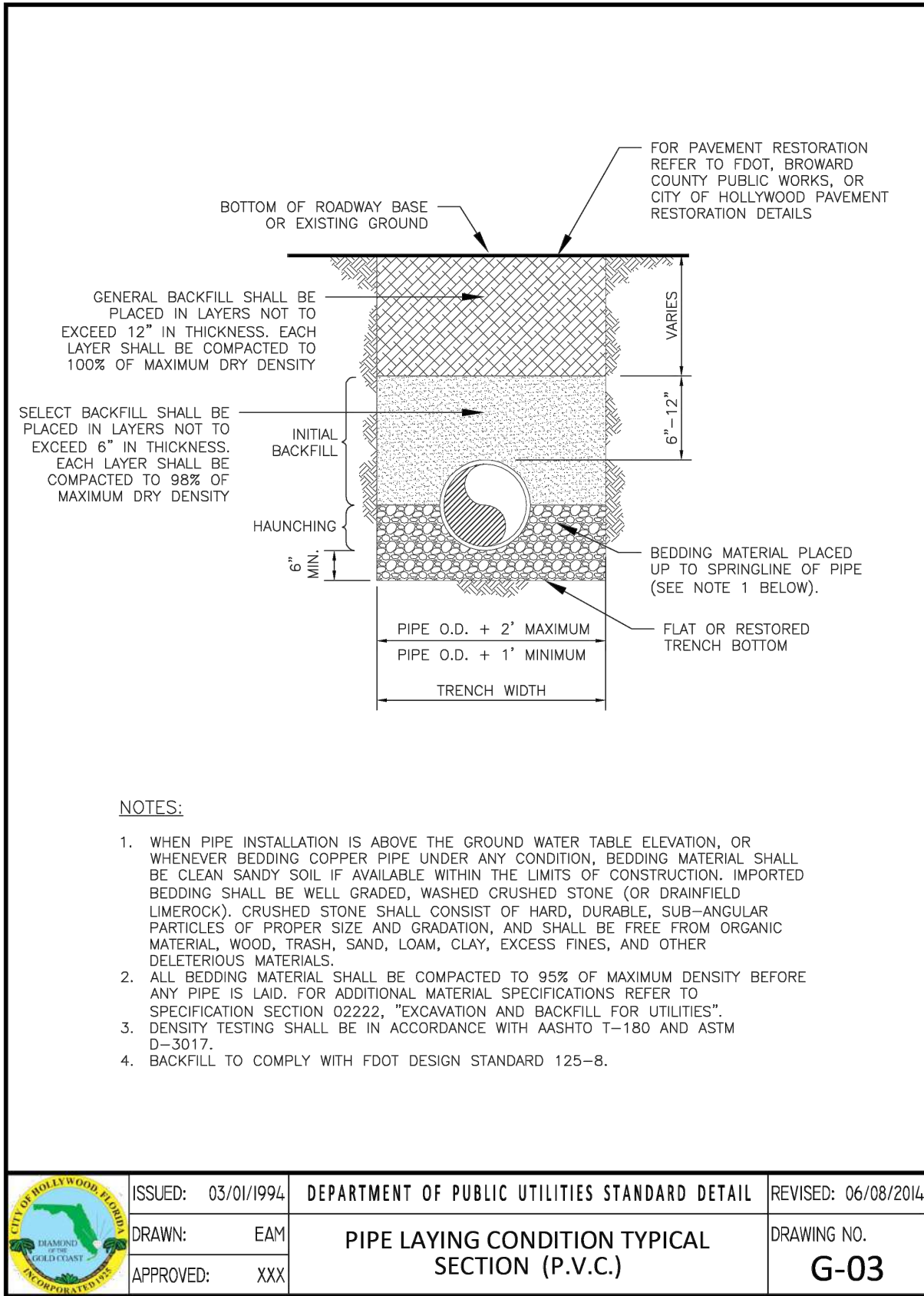


NOTE:
FULL ROAD WIDTH ASPHALT MILL
AND RESTORATION IS REQUIRED
FOR ALL ROADS/ALLEYS ADJACENT
TO THE PROJECT SITE.

CONNECT NEW SIDEWALK TO
EXIST. ONLY FULL FLAG
INSTALLATION PERMITTED
(TYP.)

LEGEND

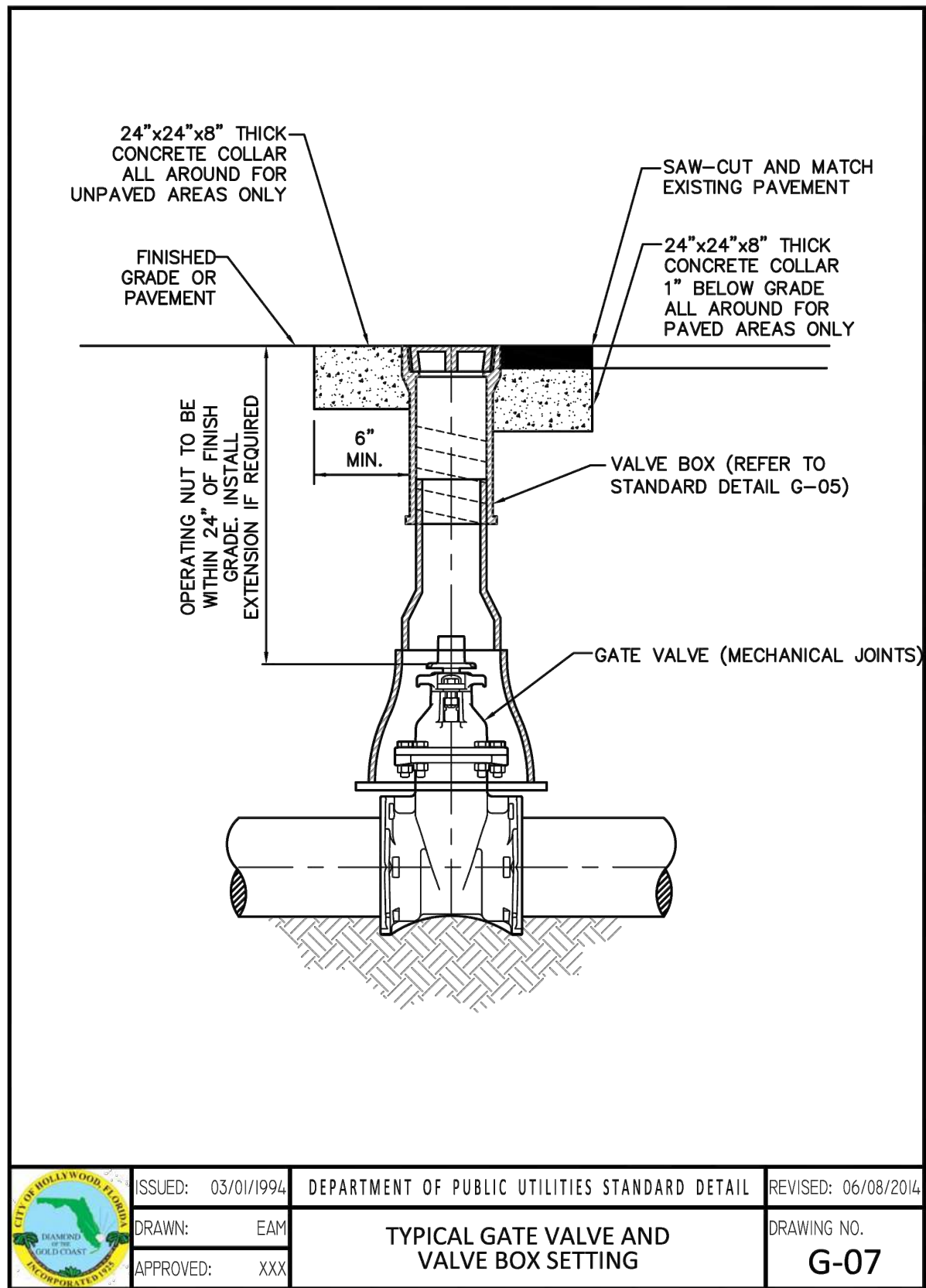
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT



NOTES:

- WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK). CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
- ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS, REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
- DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
- BACKFILL TO COMPLY WITH FDOT DESIGN STANDARD 125-8.

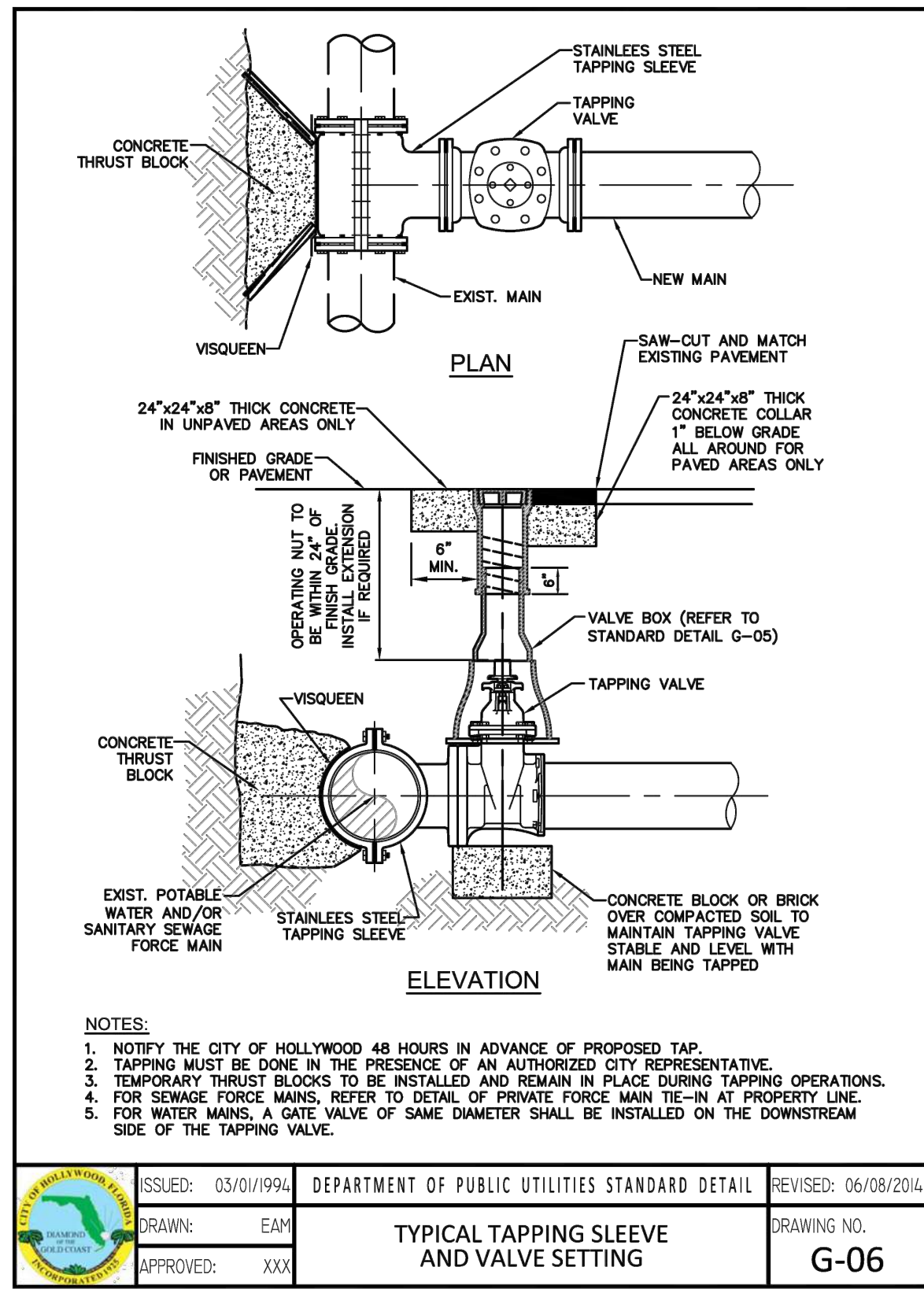
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	PIPE LAYING CONDITION TYPICAL SECTION (P.V.C.)	DRAWING NO. G-03
APPROVED: XXX		



NOTES:

- THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FDOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
- LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK.
- LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
- STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
- BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
- ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
- RESURFACING MATERIAL SHALL BE FDOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
- MILL AND BUTT JOINT TO EXISTING PAVEMENT.
- IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
- REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
- WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK, REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL GATE VALVE AND VALVE BOX SETTING	DRAWING NO. G-07
APPROVED: XXX		



NOTES:

- NOTIFY THE CITY OF HOLLYWOOD 48 HOURS IN ADVANCE OF PROPOSED TAP.
- TAPPING MUST BE DONE IN THE PRESENCE OF AN AUTHORIZED CITY REPRESENTATIVE.
- TEMPORARY THRUST BLOCKS TO BE INSTALLED AND REMAIN IN PLACE DURING TAPPING OPERATIONS.
- FOR SWAGE FORCE MAINS, REFER TO DETAIL OF PRIVATE FORCE MAIN TIE-IN AT PROPERTY LINE.
- FOR WATER MAINS, A GATE VALVE OF SAME DIAMETER SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF THE TAPPING VALVE.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL TAPPING SLEEVE AND VALVE SETTING	DRAWING NO. G-06
APPROVED: XXX		

FLEXIBLE PAVEMENT RESTORATION NOTES:

- THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FDOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
- LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK.
- LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
- STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
- BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
- ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
- RESURFACING MATERIAL SHALL BE FDOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
- MILL AND BUTT JOINT TO EXISTING PAVEMENT.
- IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
- REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
- WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK, REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	FLEXIBLE PAVEMENT RESTORATION NOTES	DRAWING NO. G-12
APPROVED: XXX		



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SEWER EXTENSION PLAN & DETAILS

SCALE: 1"=40'

NO.	DATE	DESCRIPTION
1	7-28-23	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA#: 31158

ZE

FILLMORE STREET APARTMENTS
2215 FILLMORE STREET
HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 5/9/23

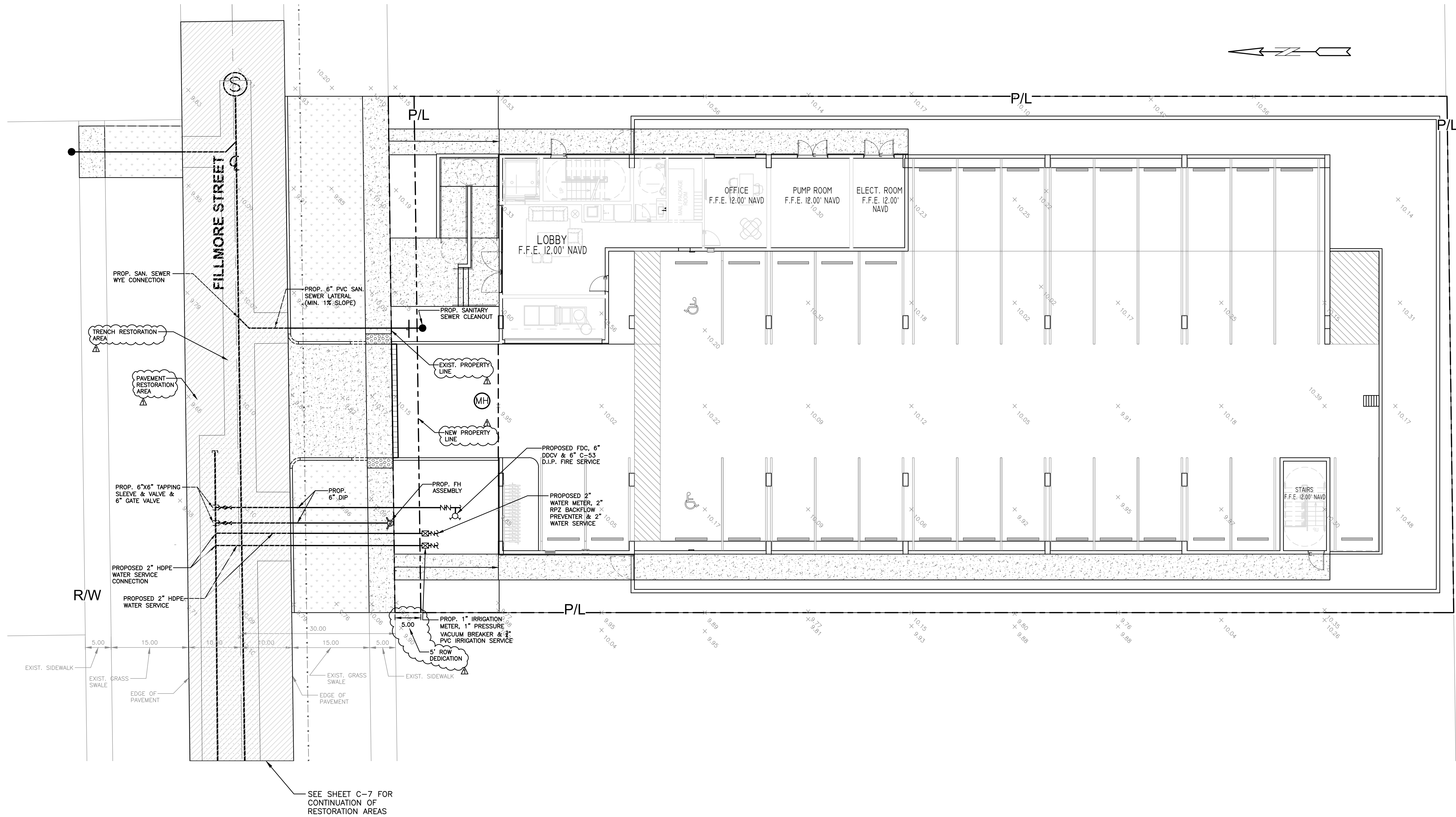
SCALE: 1"=40'

SHEET NO.: C7

7 OF 11

PROJECT NO.: 23-15

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT

NOTE:
UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED
BY A CONTRACTOR HOLDING A CLASS I, II, OR V
LICENSE AS DEFINED BY FLORIDA STATUTE 633.102.

WATER & SEWER DEMAND CALCULATIONS:

PROJECT INFO:

- 27 RESIDENTIAL UNITS

WATER DEMAND

(27 RESIDENTIAL UNITS)X(141 GPD/UNIT)=3,807 GPD

WASTEWATER DEMAND

(27 RESIDENTIAL UNITS)X(100 GPD/UNIT)=2,700 GPD

(PER BROWARD COUNTY WATER & WASTEWATER ENGINEERING
DIVISION'S GUIDELINE FOR DETERMINING ABILITY TO PROVIDE
POTABLE WATER & WASTEWATER SERVICE AND EQUIVALENT
RESIDENTIAL UNIT FACTORS PUBLICATIONS)



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WATER & SEWER CONNECTION PLAN

SCALE: 1"=10'

REVISIONS

NO.	DATE	DESCRIPTION
1	7-28-23	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING

ZE

FILLMORE STREET APARTMENTS

2215 FILLMORE STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 5/9/23

SCALE: 1"=10'

SHEET NO.:

C8

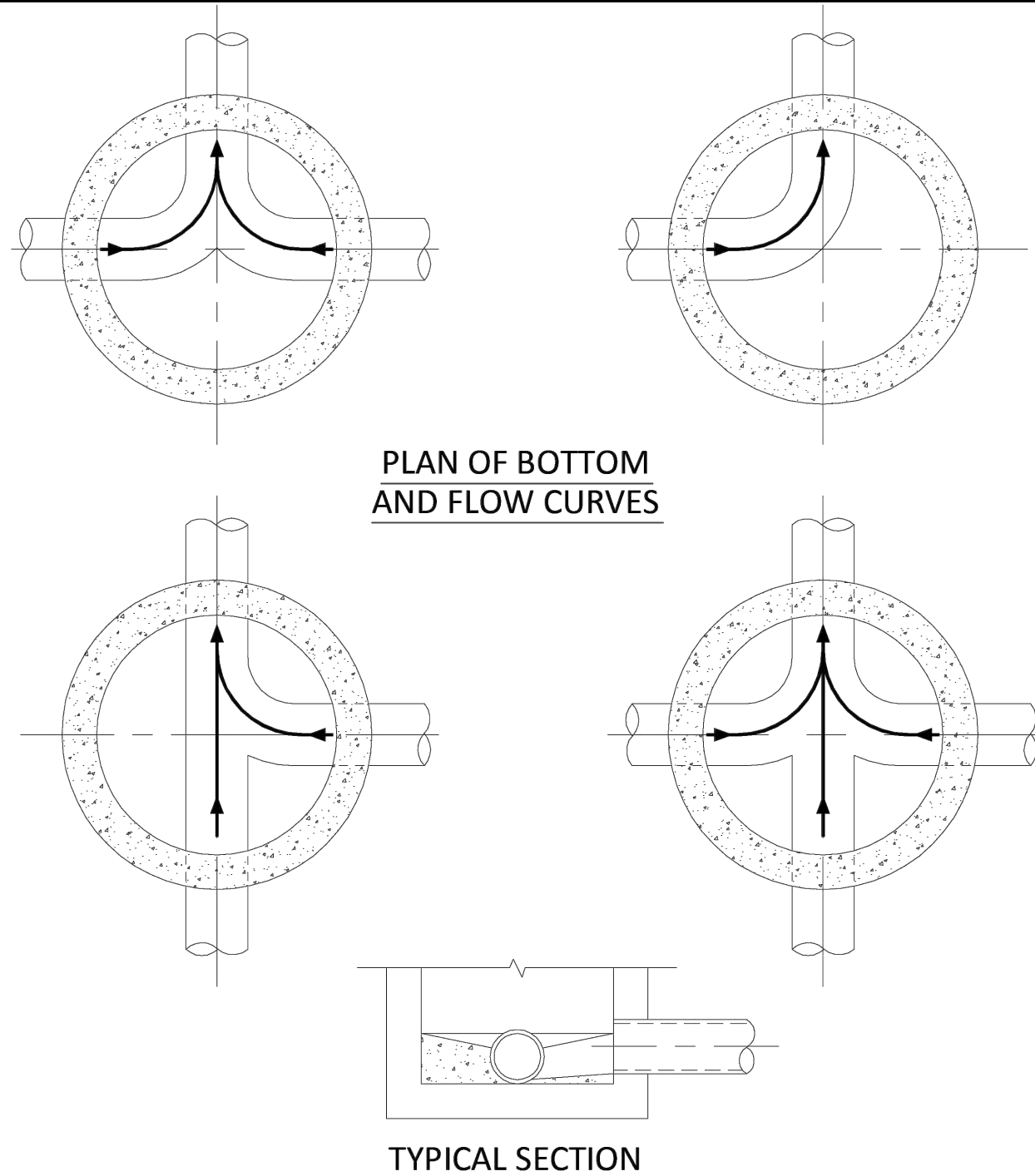
8 OF 11

PROJECT NO.: 23-15


1. THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 36".
2. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
4. LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
5. LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
6. FORCE MAINS SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:
$$L = \frac{5 \times D \times \sqrt{P}}{148,000}$$

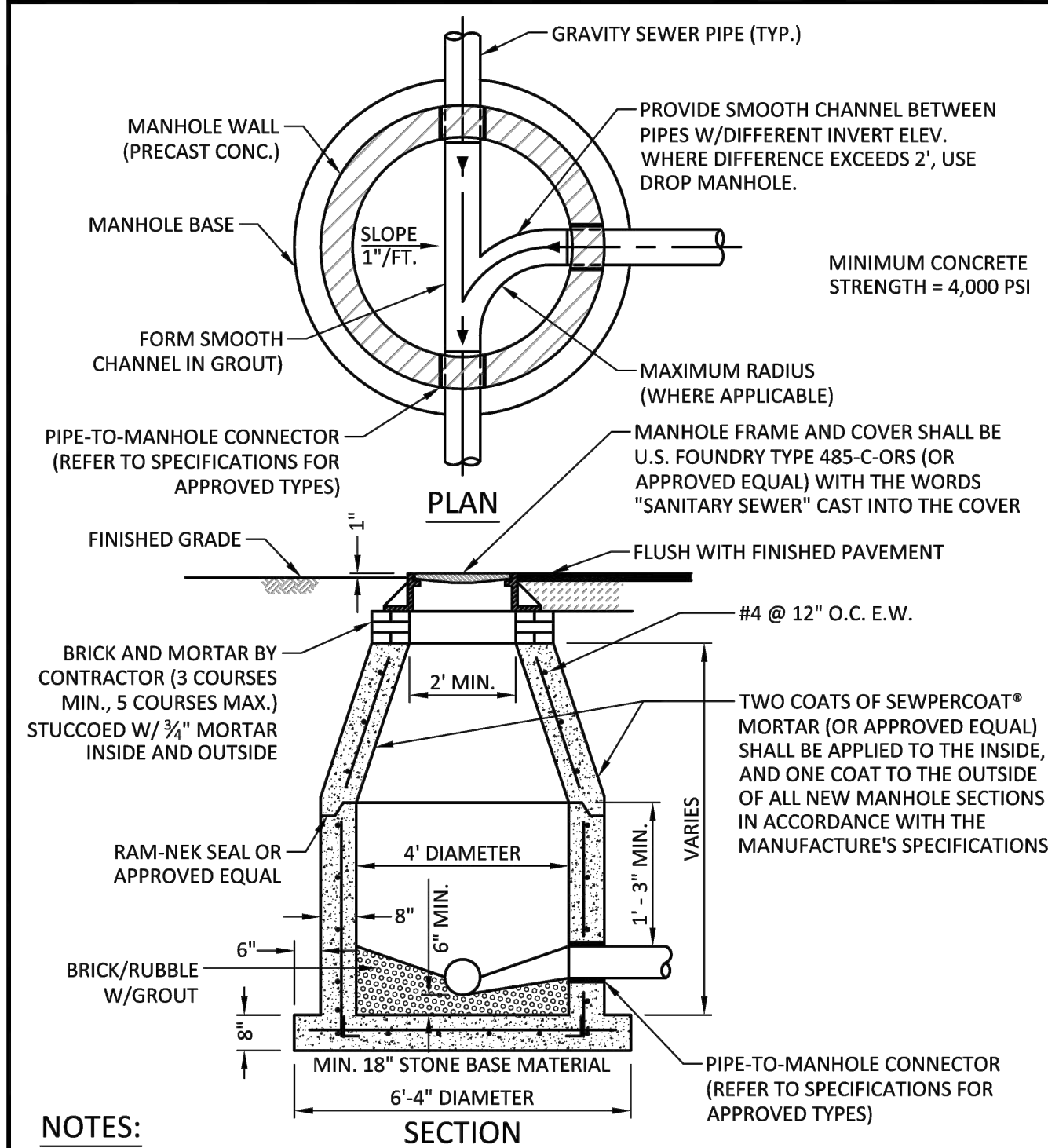
WHERE:
L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR
D = PIPE DIAMETER IN INCHES
S = LENGTH OF LINES IN LINEAL FEET
P = AVERAGE TEST PRESSURE IN PSI
7. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONDITIONS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
8. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	<p align="center">SANITARY SEWER MAIN CONSTRUCTION NOTES</p>	DRAWING NO.
	APPROVED: XXX		S-01




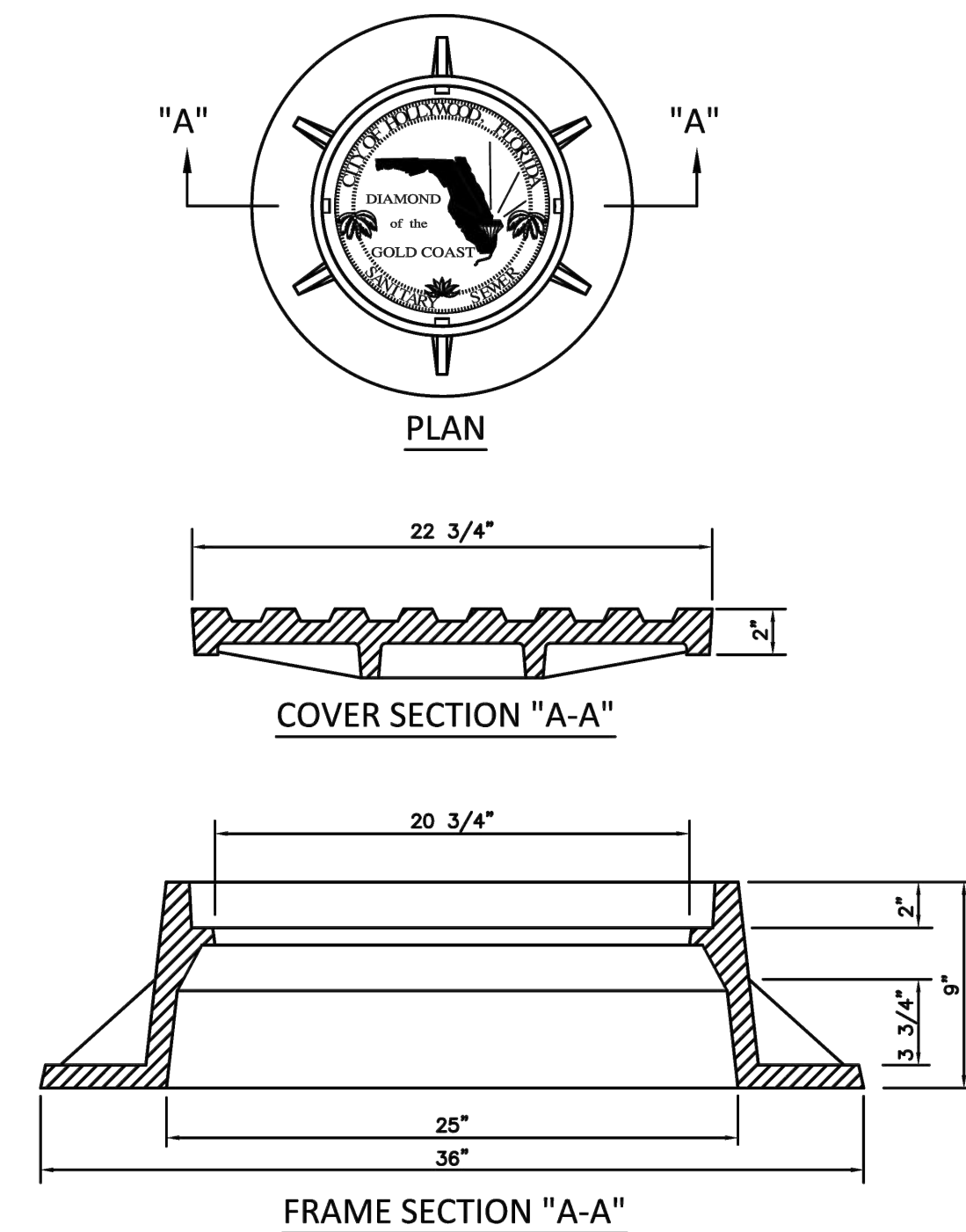
1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING SMOOTH FLOWS.
3. CHANNELS FOR FUTURE CONNECTIONS (STUBS) SHALL BE CONSTRUCTED FILLED WITH SAND & COVERED WITH 1" OF MORTAR.
4. WHEN FLOW LINE DEFLECTS MORE THAN 45°, A DROP OF 0.10' IS REQUIRED.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2010
	DRAWN: EAM	MANHOLE FLOW PATTERNS	DRAWING NO.
	APPROVED: XXX		S-02




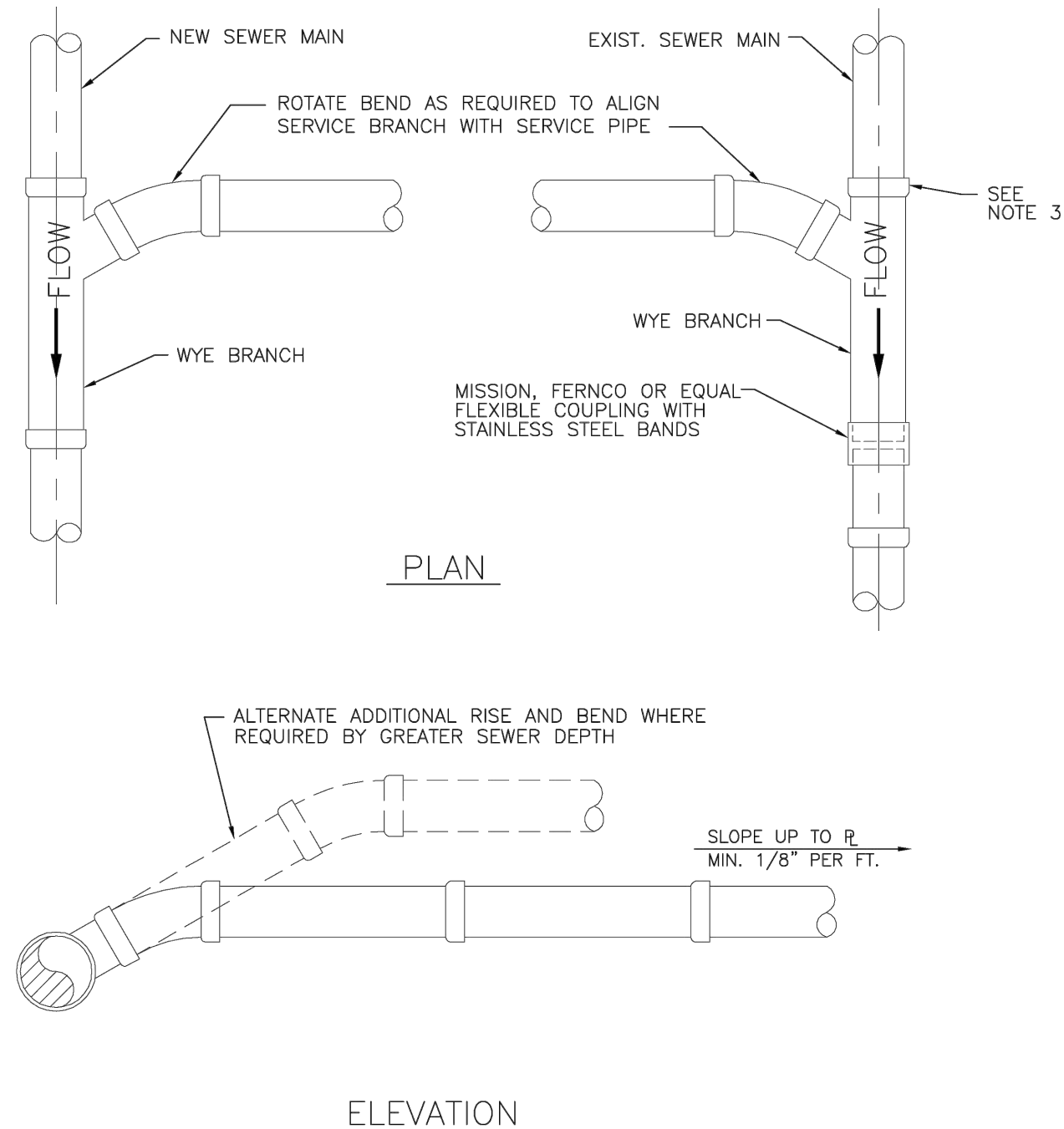
1. SHOP DRAWINGS SHOWING ALL DIMENSIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
2. THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION TO A MINIMUM OF 3' ABOVE SLAB BASE.
3. NO CONSTRUCTION JOINTS ARE ALLOWED BELOW ELEVATION +2.00 NAVD. ABOVE ELEVATION +2.00 NAVD CONSTRUCTION JOINTS ARE ALLOWED, IF ADEQUATE JOINTS WITH KEY-WAYS AND WATER STOPS ARE PROVIDED. SUBMIT SHOP DRAWINGS OF JOINT DETAILS TO THE ENGINEER FOR APPROVAL.

	ISSUED: 03/07/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 07/18/2018
	DRAWN: EAM	STANDARD PRECAST MANHOLE	DRAWING NO.
	APPROVED: XXX		S-03



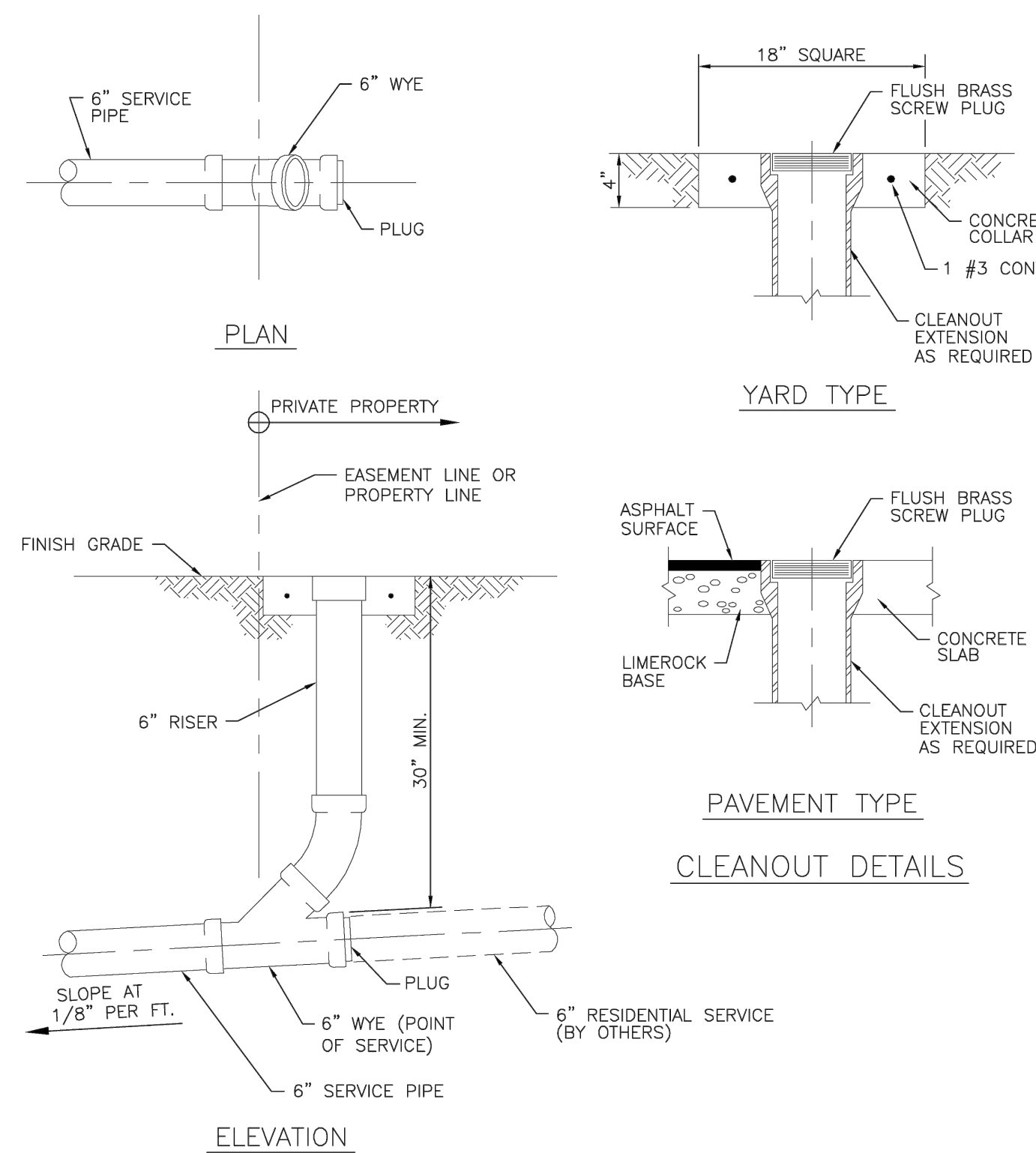
1. LETTERS ON COVER TO BE 3/8" HIGH, 1/4" TO 5/16" THICK AND FLUSH WITH TOP OF COVER.
2. ALL BEARING SURFACES TO BE MACHINED.
3. MINIMUM WEIGHTS: COVER - 160 LBS., TOTAL - 400 LBS.
4. MANHOLE FRAME AND COVER SHALL BE U.S. FOUNDRY 485-C-ORS TYPE EL, WITH THE WORDS "SANITARY SEWER" CAST INTO THE COVER.

	ISSUED: 03/17/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	MANHOLE FRAME AND COVER CITY OF HOLLYWOOD	DRAWING NO.
	APPROVED: XXX		S-06.1




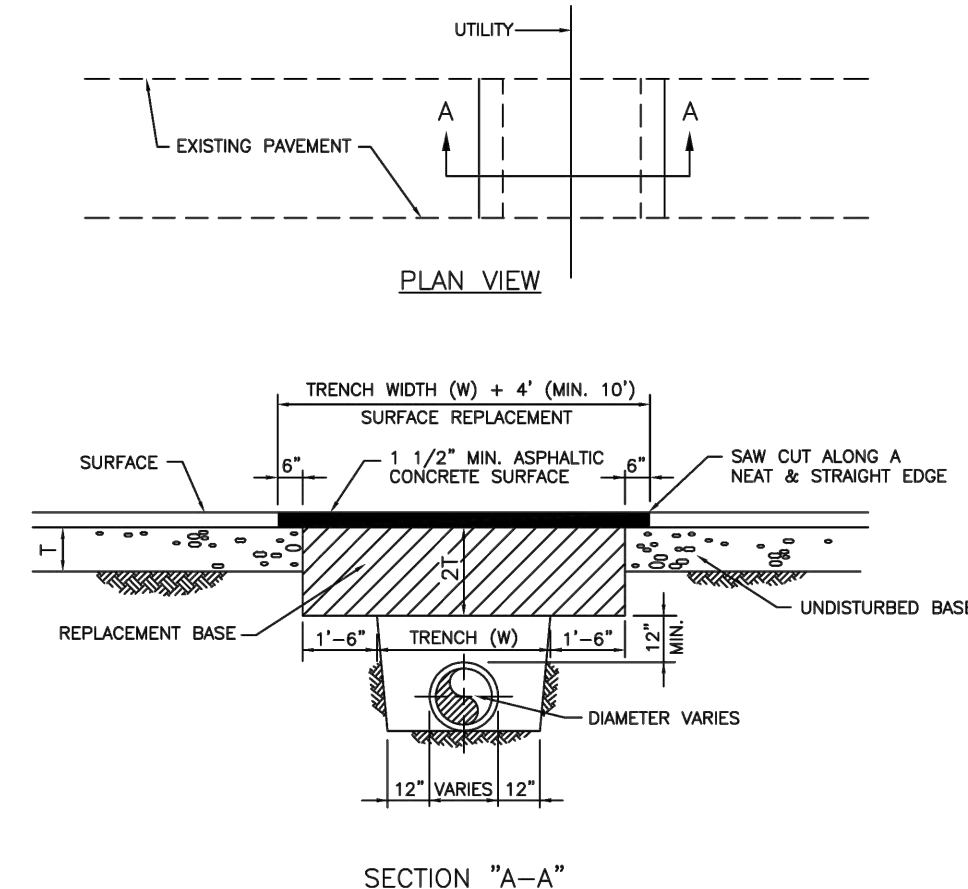
1. SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.
2. USE RISER CONNECTIONS WHERE INVERT OF SEWER IS GREATER THAN 7'-0" DEEP.
3. WHERE BELL OF WYE AND SPIGOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	WYE BRANCH CONNECTION	DRAWING NO.
	APPROVED: XXX		S-09




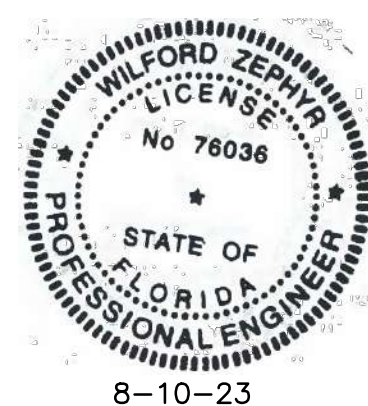
SEWER SERVICE CONNECTION AND
CLEANOUT AT PROPERTY LINE

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO.
	APPROVED: XXX		S-12



1. REPLACED BASE MATERIAL OVER TRENCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE, MINIMUM 12", MAXIMUM 18".
2. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM (LOOSE MEASUREMENT) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180.
3. ASPHALT CONCRETE PAVEMENT SHALL BE MECHANICALLY SAWED, SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED AND FEATHERED.
4. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE.
5. BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
6. IF A TRENCH IS NOT TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALT CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
7. MINIMUM PAVEMENT RESTORATION WIDTH IS 10'.

	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
	DRAWN: EG	FLEXIBLE PAVEMENT RESTORATION PERPEND. UTILITY INSTALLATION	DRAWING NO.:
	APPROVED: JG		C-31



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SCALE: N.T.S.

[illegible]

WN

FILLMORE STREET APARTMENTS
2215 FILLMORE STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 5/9/23

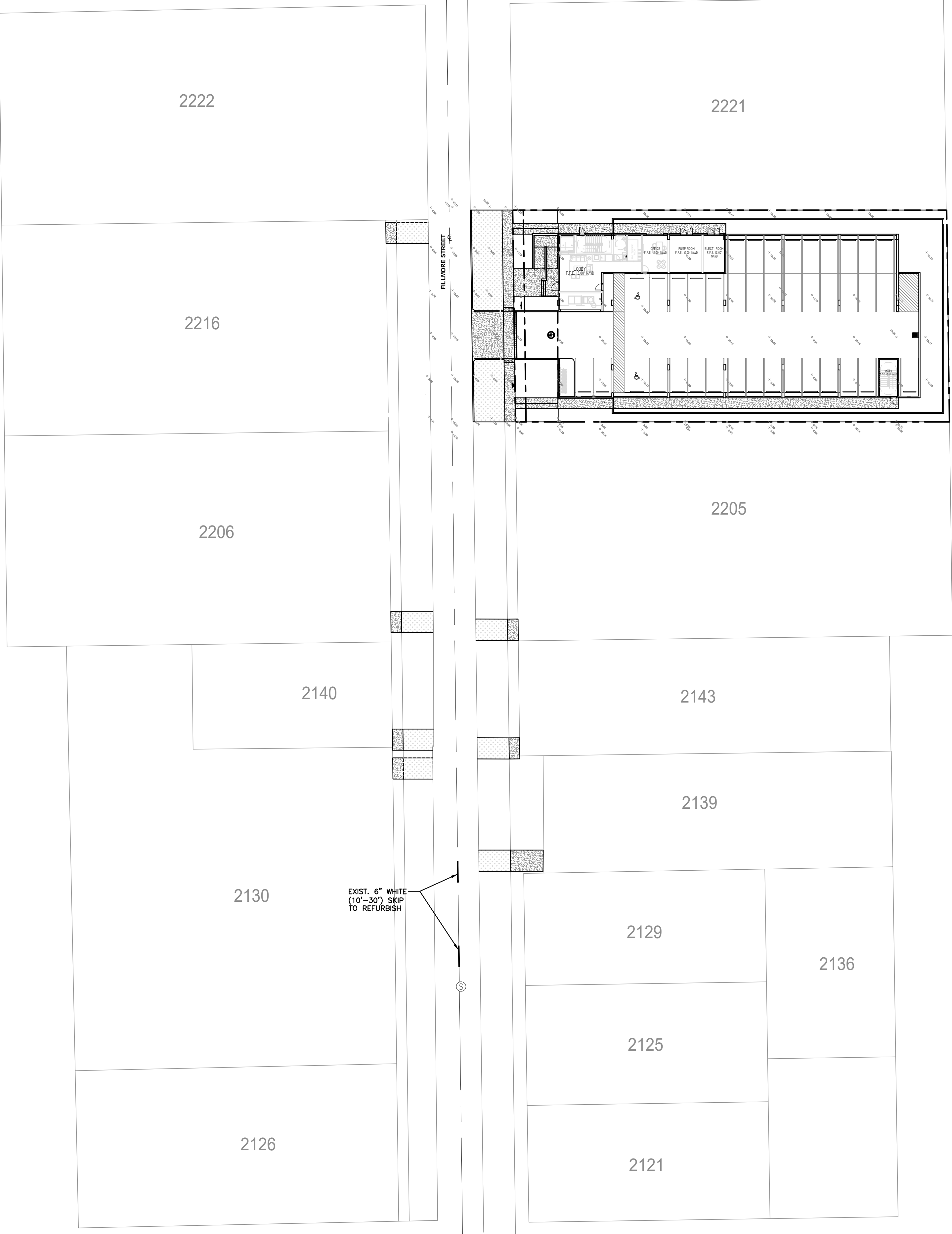
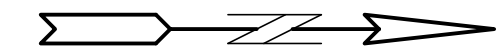
SCALE: N.T.S.

SHEET NO.

610

10 OF 11

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



- LEGEND**
- PROPOSED CONCRETE
 - PROPOSED ASPHALT
 - PROPOSED GRADE
 - EXISTING ELEVATION
 - PROPOSED CATCH BASIN
 - EXISTING CATCH BASIN
 - PROPOSED WATER METER
 - EXISTING WATER METER
 - EXISTING WATER VALVE
 - PROPOSED BFP DEVICE
 - EXISTING SAN. SEWER MH
 - EXISTING FIRE HYDRANT



PUBLIC WORKS DEPARTMENT
TRAFFIC ENGINEERING DIVISION
2300 W. Commercial Boulevard • Fort Lauderdale, Florida 33309 • 954-847-2600 • FAX 954-847-2700



MAINTENANCE OF TRAFFIC - SCHOOL/PEDESTRIAN

The Maintenance of Traffic plan, provided by the Contractor, shall include provisions for pedestrian and/or school student traffic as well as vehicular traffic. The following are minimum requirements:

- The safe walk route for all school students within the vicinity of the construction zone shall be maintained during student arrival and dismissal times. If the current walking surface cannot be maintained, then a temporary walkable surface shall be created. The safe walk route shall be separated from the construction activity during the entire length of the project encompassing the entire walk route with proper pedestrian openings at designated crossings in compliance with FDOT Design Standards Index No. 600 as well as meeting all ADA requirements.
- All construction equipment activity around any designated crosswalk shall cease to operate during the student arrival and dismissal times. All construction equipment activity adjacent to a designated walk route shall cease operating unless satisfactorily barricaded from the walk route.
- In the case that a designated crossing or any portion of the designated walk route cannot be maintained, the Contractor shall notify the Special Projects Coordinator at Broward County Traffic Engineering Division, (954) 847-2600, a minimum of ten (10) working days prior to closing that route in order to establish an alternate crossing/route.
- It shall be the Contractor's responsibility to install any necessary pavement, road rock, pavement markings and signage and/or any pedestrian signalization and/or signal modification to accommodate an existing or alternate walk route throughout the entire length of the project.
- It shall be the Contractor's responsibility to provide State Certified School Crossing Guards or Off Duty Police Officers to cross students at all locations other than those previously designated. The Contractor may use Flagmen, but **ONLY** if they are State Certified as a School Crossing Guard.
- Thirty (30) days prior to the beginning of construction the Contractor shall notify the Special Projects Coordinator at Broward County Traffic Engineering Division, (954) 847-2600 or at broward@traffic.org to discuss all necessary safety measures.
- It shall be the Contractor's responsibility to notify the following Broward County School Board Pupil Transportation Department personnel if construction will impact any bus routes:
 - Ruth Masters Routing (754) 321-4400 Ext. # 2309 ruth.masters@browardschools.com
 - Vincent Harrell Student Transportation & Fleet Service (754) 321-4472 vincent.harrell@browardschools.com
 - Mary Tochtermann Student Transportation & Fleet Service (754) 321-4400 Ext. # 2006 mary.tochtermann@browardschools.comUpon coordination with the aforementioned personnel, and if deemed necessary, a pre-construction meeting will be held to determine all bus routes and to make any necessary arrangements for rerouting. The Special Projects Coordinator from the Broward County Traffic Engineering Division, (954) 847-2600, will be notified and may attend the pre-construction meeting.
- The Contractor shall be responsible for obtaining an approved Maintenance of Traffic Plan (MOT), specifying the above school/pedestrian conditions, through the Broward County Traffic Engineering Division or the Local Municipality, depending on the roadway jurisdiction. The conditions outlined in the MOT are fully effective as part of the proposed improvements. The Contractor shall be responsible for ensuring that all work associated with the project is in compliance with all the requirements of the approved MOT.
- The Contractor shall ensure that there are **NO** speed limit signs installed within the designated reduced speed school zone at any time throughout the project.

Revised: 9/24/14



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8-10-23

R.O.W. PAVEMENT MARKINGS PLAN & DETAILS

SCALE: 1"=30'

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@engmail.com
CA# 31158

ZE

FILLMORE STREET APARTMENTS
2215 FILLMORE STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 5/9/23

SCALE: 1"=30'

SHEET NO.:

C11

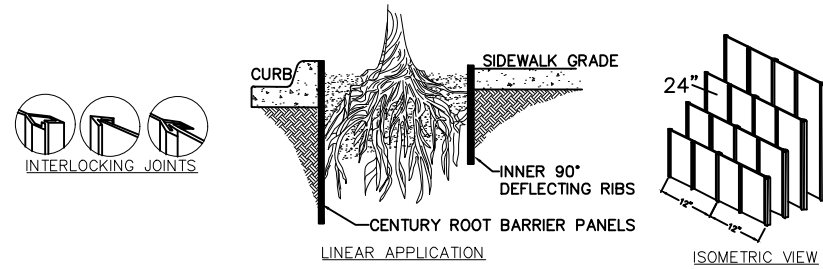
11 OF 11

PROJECT NO.: 23-15



CENTURY PRODUCTS
1144 N. GROVE ST.
ANAHEIM, CA 92806
TOLL FREE:
1-800-480-8084
PHONE: (714)
WWW.CENTURYROOTBARRIER.COM

SPECIFICATIONS:
CPU-SERIES: CPU12-2, CPU 24-2, CPU 36-2, CPU 48-2, CPU 60-2
A. THE ROOT BARRIER SHALL BE CPU-SERIES PANELS MANUFACTURED BY C.P. (714) 632-5470
OR APPROVED EQUIVALENT.
B. BARRIERS ARE BLACK, EXTRUDED, MODULAR PANELS MANUFACTURED USING
RECYCLED POLYETHYLENE PLASTIC WITH ULTRAVIOLET STABILIZERS. EACH PANEL
HAS FLEXIBLE, EXTRUDED, 90° VERTICAL ROOT DEFLECTING RIBS PROVIDING 3"-IN
HEIGHT WITH A MINIMUM THICKNESS OF 0.090 AND ARE PLACED 6" (15 CM) APART.
INTERLOCKING PANEL TO PANEL JOINTS SYSTEM DESIGNED TO RESIST HORIZONTAL
PULL. JOINTS PROVIDE FOR FLEXIBILITY WITHOUT WEAKENING ONE PANEL.
C. JOINTS ARE 1/2" (12.7 MM) WIDE.
D. JOINTS ARE 1/2" (12.7 MM) WIDE.
E. JOINTS ARE 1/2" (12.7 MM) WIDE.
F. JOINTS ARE 1/2" (12.7 MM) WIDE.
G. JOINTS ARE 1/2" (12.7 MM) WIDE.
H. JOINTS ARE 1/2" (12.7 MM) WIDE.
I. JOINTS ARE 1/2" (12.7 MM) WIDE.
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K. JOINTS ARE 1/2" (12.7 MM) WIDE.
L. JOINTS ARE 1/2" (12.7 MM) WIDE.
M. JOINTS ARE 1/2" (12.7 MM) WIDE.
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O. JOINTS ARE 1/2" (12.7 MM) WIDE.
P. JOINTS ARE 1/2" (12.7 MM) WIDE.
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S. JOINTS ARE 1/2" (12.7 MM) WIDE.
T. JOINTS ARE 1/2" (12.7 MM) WIDE.
U. JOINTS ARE 1/2" (12.7 MM) WIDE.
V. JOINTS ARE 1/2" (12.7 MM) WIDE.
W. JOINTS ARE 1/2" (12.7 MM) WIDE.
X. JOINTS ARE 1/2" (12.7 MM) WIDE.
Y. JOINTS ARE 1/2" (12.7 MM) WIDE.
Z. JOINTS ARE 1/2" (12.7 MM) WIDE.



NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
3. DO NOT SCALE DRAWING.
4. THESE DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES AND ARE FOR INFORMATION
PURPOSES ONLY. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF
DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE
CONSIDERED ACCURATE.
5. TOLERANCES MAY VARY IN ORDER TO MAINTAIN THE INTEGRITY OF POST-CONSUMER
MATERIALS AND ASSURE THE MATERIAL'S DURABILITY. WE MAKE NO OTHER WARRANTIES,
EXPRESS OR IMPLIED, AND SPECIFICALLY DISCLAIM THE WARRANTY OF MERCHANTABILITY OR
FITNESS FOR A PARTICULAR PURPOSE.

24" ROOT BARRIER DETAIL

NTS

CITY OF HOLLYWOOD PLANTING CALCULATIONS

4.6 RAC

	Street Trees: One Per 30 LF of Street Frontage	Required	Provided	
4.d.(3)1	100 LF Feet of Fillmore Street	4	4	
4.d.(3)2	5' Landscape Buffer Required and Provided. One Tree per 20 LF			
	510 LF Perimeter of East, North and West Boundaries	26	26	
4.d.(3)5	5' Landscape Buffer Required and Provided. 42" Landscape Element			
	510 LF Perimeter of East, North and West Boundaries	42" Hedge	42" Hedge	CIR 42" See Plant List
4.d.(3)9	One Tree per every 1,000 square feet of Pervious Area			
	5,164 Square Feet of Pervious (Net Lot) Area.	6	6	
4.d.(3)12	20% Landscape Open Space			
		4,100 20%	5,164 25%	
Total Trees		36	36	

CITY OF HOLLYWOOD

SITE PLAN INFORMATION-GROUND FLOOR

Property Use:		RAC Single Family Residential		
Property Zoning:		DH-2		
Gross Site Area:	20,502 Sq. Feet	=	0.47	Acres
Building Footprint Area:	12,585 Sq. Feet	=	61.4%	
Driveway/Walks:	1,775 Sq. Feet	=	8.7%	
VUA Exterior:	978 Sq. Feet	=	4.8%	
Total Impervious Areas:	15,338 Sq. Feet	=	74.8%	
Landscape Area:	5,164 Sq. Feet	=	25.2%	
Total Pervious Areas:	5,164 Sq. Feet			

Filmore Street Plant List

Code	Drought	QTY.	Botanical Name / Common Name	Specifications			
PROPOSED TREES / PALMS							
CE	(N)	V	6	Conocarpus erectus sericeus / Silver Buttonwood	12"x4-5', 2" DBH, Sng. Trunk		
CS	(N)	V	4	Cordia sebestena / Orange Geiger	12"x4-5', 2" DBH, Sng. Trunk		
ED		V	4	Elaeocarpus decipiens / Japanese Blueberry	12"x4-5', 2" DBH, Sng. Trunk		
LB	(N)	V	6	Lysiloma bahamensis / Wild Tamarind	12"x4-5', 2" DBH, Sng. Trunk		
LI		V	6	Lagerstroemia indica 'Natchez' / Crape Myrtle, Watermelon Red	12"x4-5', 2" DBH, Sng. Trunk		
MC	(N)	V	4	Myrica cerifera / Wax Myrtle	12"x4-5', 3" DBH, Sng. Trunk		
QV	(N)	V	4	Quercus virginiana / Live Oak	12"x4-5', 2" DBH, Sng. Trunk		
VM		V	6	Veitchia montgomeryana / Montgomery Palm	8' CT Min.		
			36	Total Trees/Palms (VM Counted 3:1)			
			24	Native Trees			
			67%	Native Trees			
MITIGATION TREE/PALM LIST							
Code	Drought	QTY.	Botanical Name / Common Name	Specifications	DBH (Inches)	Total (Inches)	
BA		V	4	Bulnesia arborea / Verawood	12' Ht., 4" DBH, Sng. Trunk	4	16
LI		V	2	Lagerstroemia indica 'Natchez' / Crape Myrtle, Watermelon Red	12' Ht., 3" DBH, Sng. Trunk	3	6
MC	(N)	V	8	Myrica cerifera / Wax Myrtle	12"x4-5', 3" DBH, Sng. Trunk	3	24
VM		V	1	Veitchia montgomeryana / Montgomery Palm	8' CT Min.		
				Total DBH Added		46	
				Total DBH Removed		65	
				DBH Deficiency		19	
				Payment Into the Tree Trust Fund @ \$350 per ea. 2" =		\$3,325	
				Total Palms Added		1	
				Total Palms Removed		1	
				Palms Deficiency		0	
HEDGES / SHRUBS							
CIR	(N)	V	205	Chrysobalanus icaco 'Red Tip' / Cocoplum	7 Gal., 42-48"x 24-30", 30" OC		
CRS	(N)	V	11	Clusia rosea / Small Leaf Clusia	7 Gal., 48"x 24", 36" OC		
IXP		V	65	Ixora 'Petite' / Red Taiwan Dwarf	3 Gal., 15-18" OA Ht., 18-20" OC		
TRF	(N)	V	3	Thrinax radiata / Florida Thatch Palm	6-7' OA Ht., Dbl. Trunks		
			284	Total Shrubs			
			219	Native Shrubs			
			77%	Native Shrubs			
GROUND COVERS / SOD							
FMG		V	80	Ficus microcarpa / Green Island Ficus	3 Gal., 18" Spr., 18-20" OC		
LME		V	180	Liriope muscari 'eg' / Liriope Evergreen Giant	1 Gal., 12" OA Ht., 12" OC		
Sod		M	By GC	S.F. Stenotaphrum secundatum / St. Augustine 'Palmetto'	Solid application - no gaps between seams		



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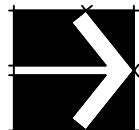
REVISIONS

6-25-2023: Per City
Comments
7-25-2023: Perimeter
Wall Revised
8-18-2023: Revised civil
added.

Landscape Permit Plan
Filmore Street Apartments
2215 Filmore Street
Hollywood, Florida 33020



DRAWN:
TW
CHECKED:
TW
DATE:
5-19-2023
SCALE: 1"=10'



Sheet No.
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Sheet 2 Of 3

GENERAL LANDSCAPE NOTES

The plan takes precedence over the plant list.

2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.

All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All linerrock shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod 1.5-2" topsoil comes furnished.

All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.

All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details

All landscape areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. Each system shall be installed with an operational rain sensor and rust inhibitor.

No fertilizers are required.

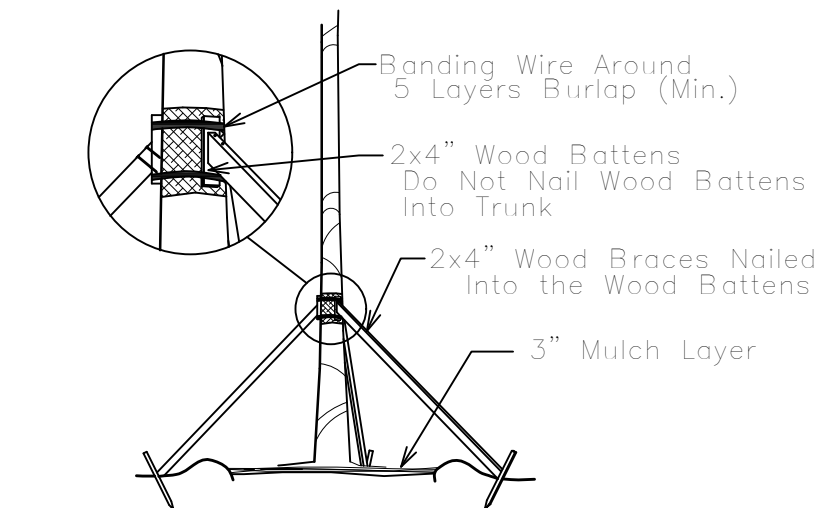
All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of two inches (2") of cover when settled. Spread mulch to 1" thickness 3" away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4' diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.

Please refer to the planting details for a graphic representation of the above notes.

All plant material shall be warranted by the landscape contractor for One Year after Final Inspection.

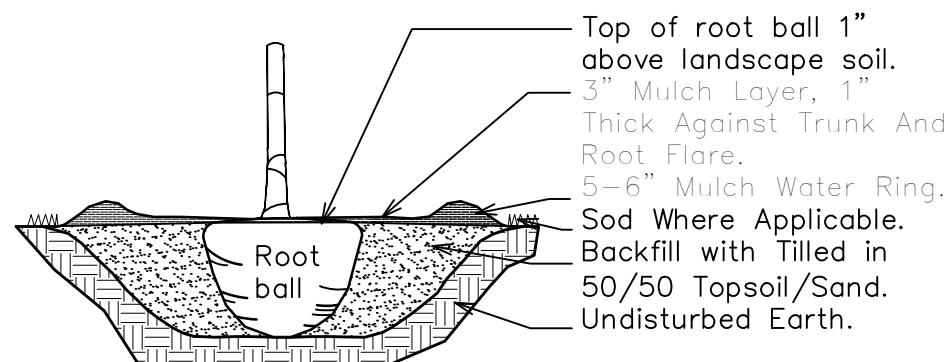
Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.

No landscape substitutions shall be made without the City of Hollywood approval.



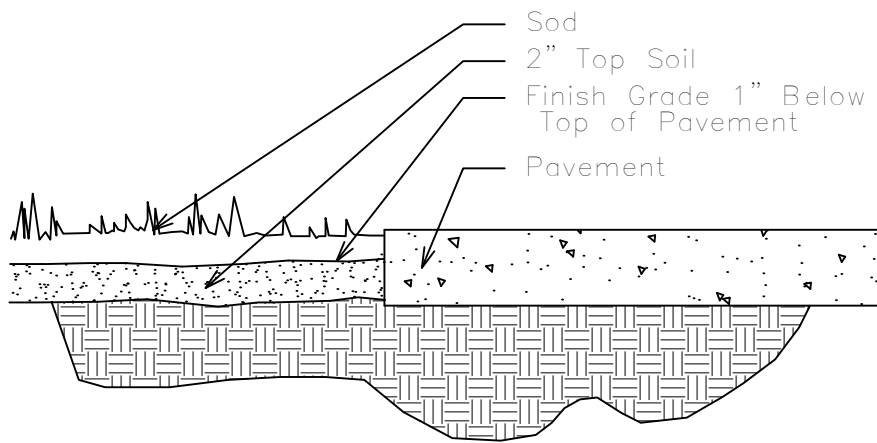
TREE/PALM BRACING DETAIL

NTS



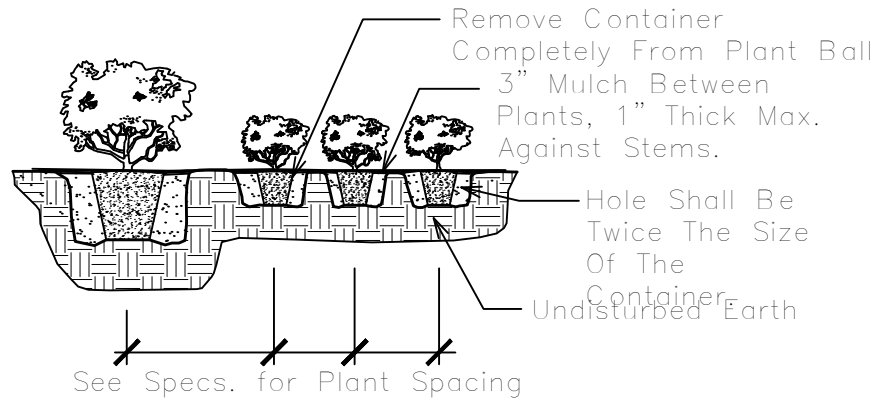
TREE/PALM PLANTING DETAIL

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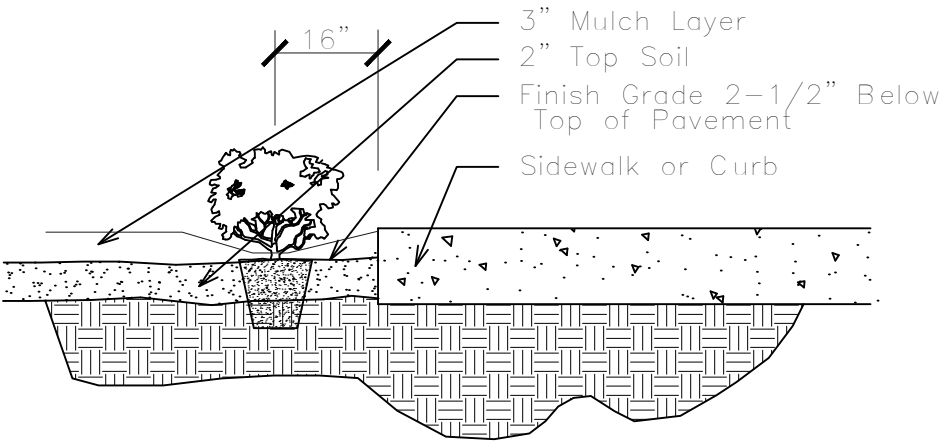
SOD INSTALLATION DETAIL

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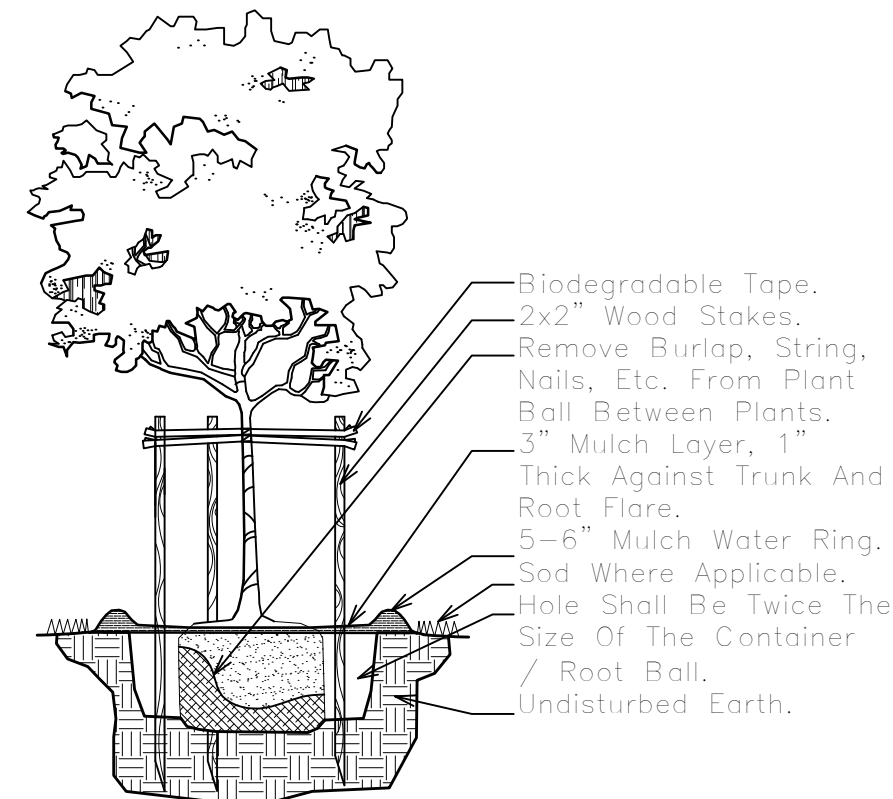
SHRUB PLANTING DETAIL

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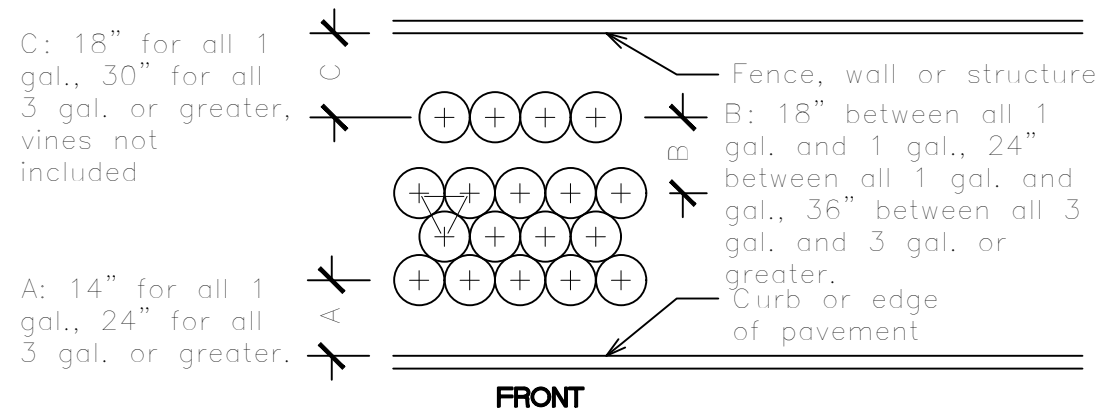
SHRUB INSTALLATION DETAIL

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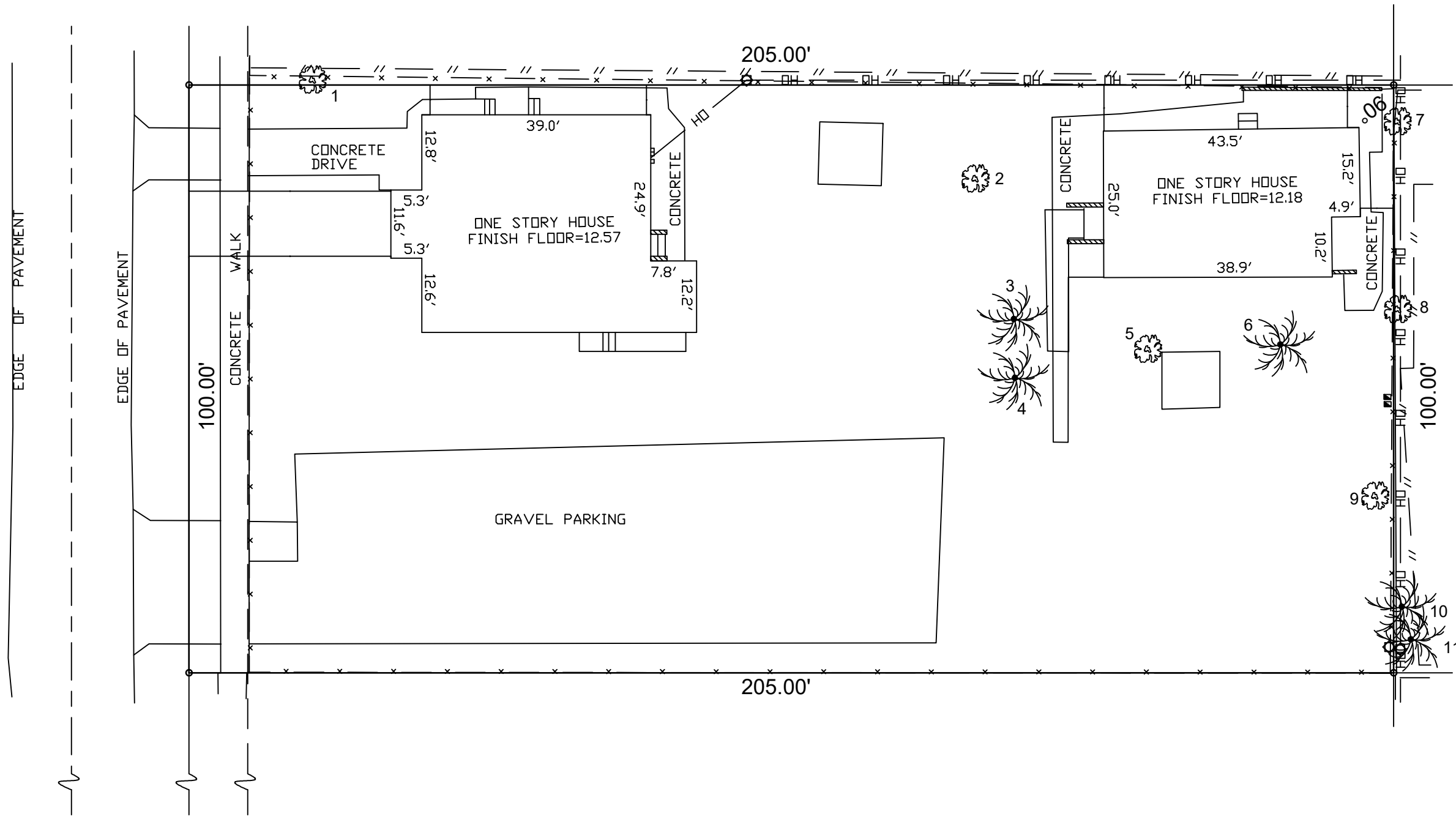
SMALL TREE PLANTING DETAIL

NTS



TYPICAL SHRUB SPACING DETAIL

NTS



2215 Fillmore Street Existing Tree List

Case/Location: 2215 Fillmore Street, Hollywood, FL

Date: 5/20/2023

Appraiser: Thomas White, ASLA-ISA, Arborist FL-5248A

Tree #	Species Botanical Name / Common Name	Ht. (Feet)	Spr. (Feet)	DBH (Inches)	Condition	DBH Removed (Inches)	Disposition
1	Ficus microcarpa / Indian Laurel	20	30	24	Fair-Poor	24	Remove
2	Bischofia javanica / Bishopwood	25	25	18	Poor	0	Remove
5	Persea americana / Avocado	20	8	17	Near Dead	17	Remove
7 **	Bursera simarubra / Gumbo Limbo	20	10	16	Very-Very Poor	16	Remove
8 **	Quercus virginiana / Live Oak	16	8	8	Very-Very Poor	8	Remove
					DBH Removed	65	
**	Hat racked from utility line clearance trimming						

Existing Palm List

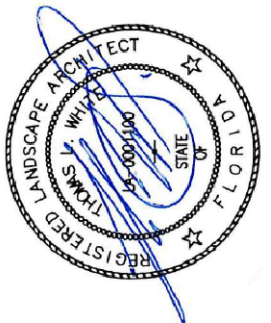
Article 9.9.B.3.c. per City of Hollywood. Palm species that are highly susceptible to lethal yellowing (per UF-IFAS) = Cocos nucifera / Coconut Palm

Palm #	Species Botanical Name / Common Name	Ht. (Feet)	CT (Feet)	DBH (Inches)	Condition	Replacement Palms	Disposition
3	Hyophorbe lagenicaulis / Bottle Palm	5	1	10	Fair	0	Remove
4	Hyophorbe lagenicaulis / Bottle Palm	5	1	10	Fair	0	Remove
6	Cocos nucifera / Coconut Palm	15	6	10	Good-Fair	0	Remove
9	Sabal palmetto / Cabbage Palm	15	10	10	Poor	1	Remove
10	Sabal palmetto / Cabbage Palm	8	1	10	Fair	0	Remove
11	Sabal palmetto / Cabbage Palm	12	6	10	Fair	0	Remove
						1	

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REVISIONS

Tree Survey / Landscape Notes & Details
Fillmore Street Apartments
2215 Fillmore Street
Hollywood, Florida 33020

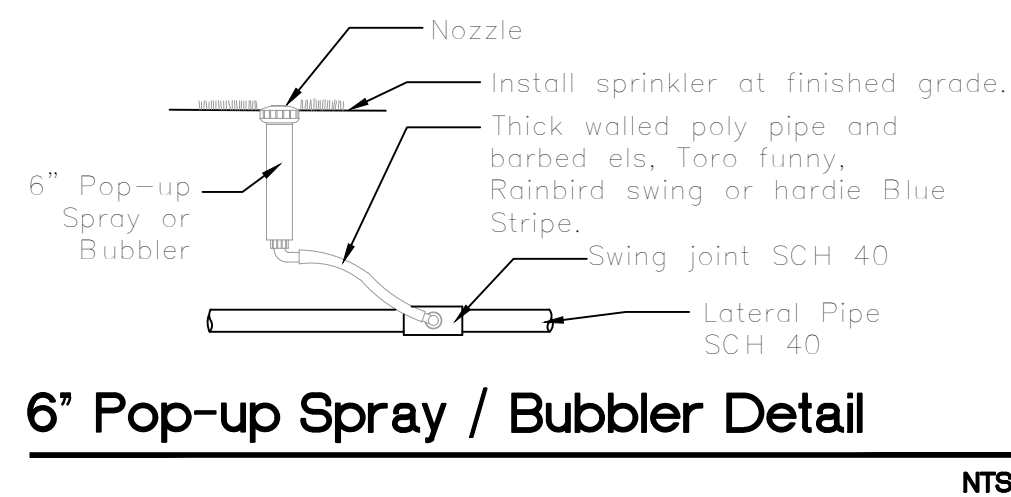
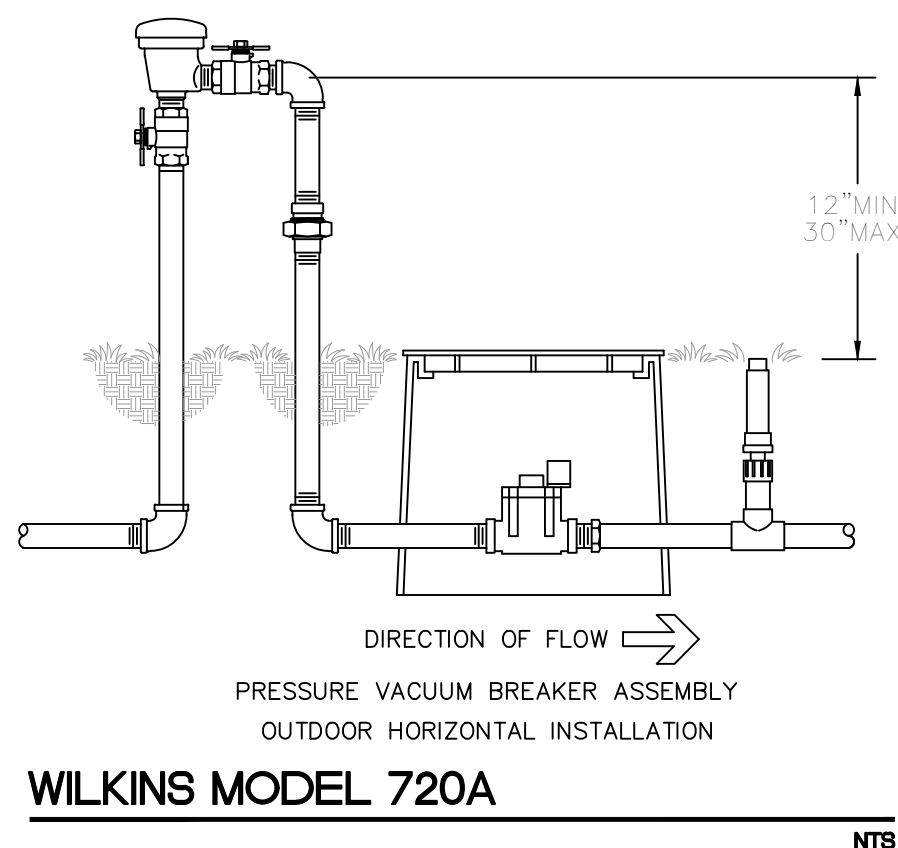


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DATE:
5-19-2023
SCALE: 1"=20'

Sheet No.
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Sheet 1 Of 3

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Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
Check positive response codes before you dig!



IRRIGATION LEGEND:

-----	1" MAIN LINE
-----	LATERAL ZONE LINES.
☐	CONTROLLER - Intermatic Electric 8 station controller wall mounted outside.
★	Mini Klik automatic rain sensor shutoff switch mounted outside on eave of structure.
⊕	ZONE VALVES - Fimco 4 Station Indexing.
W	1" WATER METER & BACKFLOW (See Civil Plans).
Ⓢ	SLEEVES - Sch. 40, 2 Sizes Larger; NOTE - Pipe Size Shown is the Lateral Size, NOT the Sleeve Size
6" PDP-UP SPRAY - Hunter Pro-Spray Series: Fixed or Adjustable Arc Nozzles as Required. NOTE - All of the below may not be used	
	13-21' Series 8-15' Series 6-12' Series
90 Q	⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙
120 T	⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙
180 H	⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙
240 TT	⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙
270 TQ	⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙
360 F	⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙ ⊙
SS-530 5 x 30'	
LCS-515 5 x 15'	
0.0 GPM	
1 ZONE #	
1" VALVE SIZE	

IRRIGATION NOTES:

Piping:
Main Lines: PVC SCH 40 Solvent Weld.
Zone Lines: PVC SCH 40 Solvent Weld. 1/2 in. is not used.
All pipe is 3/4 inch.
Sleeves and suction Line: PVC SCH 40.

Fittings: SCH 40 PVC

Fabrication: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.

Allow all main lines to cure for 24 hours before pressuring.

All pipe, fittings, and solvents to conform to latest ASTM specs.

Depth of Lines: Main Line and wiring = 18 in. depth, min.
Sleeving under pavement = 24 in. depth, min.
Suction Line = 24 in. depth, nominal.
Zone Lines 1-1/2 in. and smaller = 10 in. depth, min.

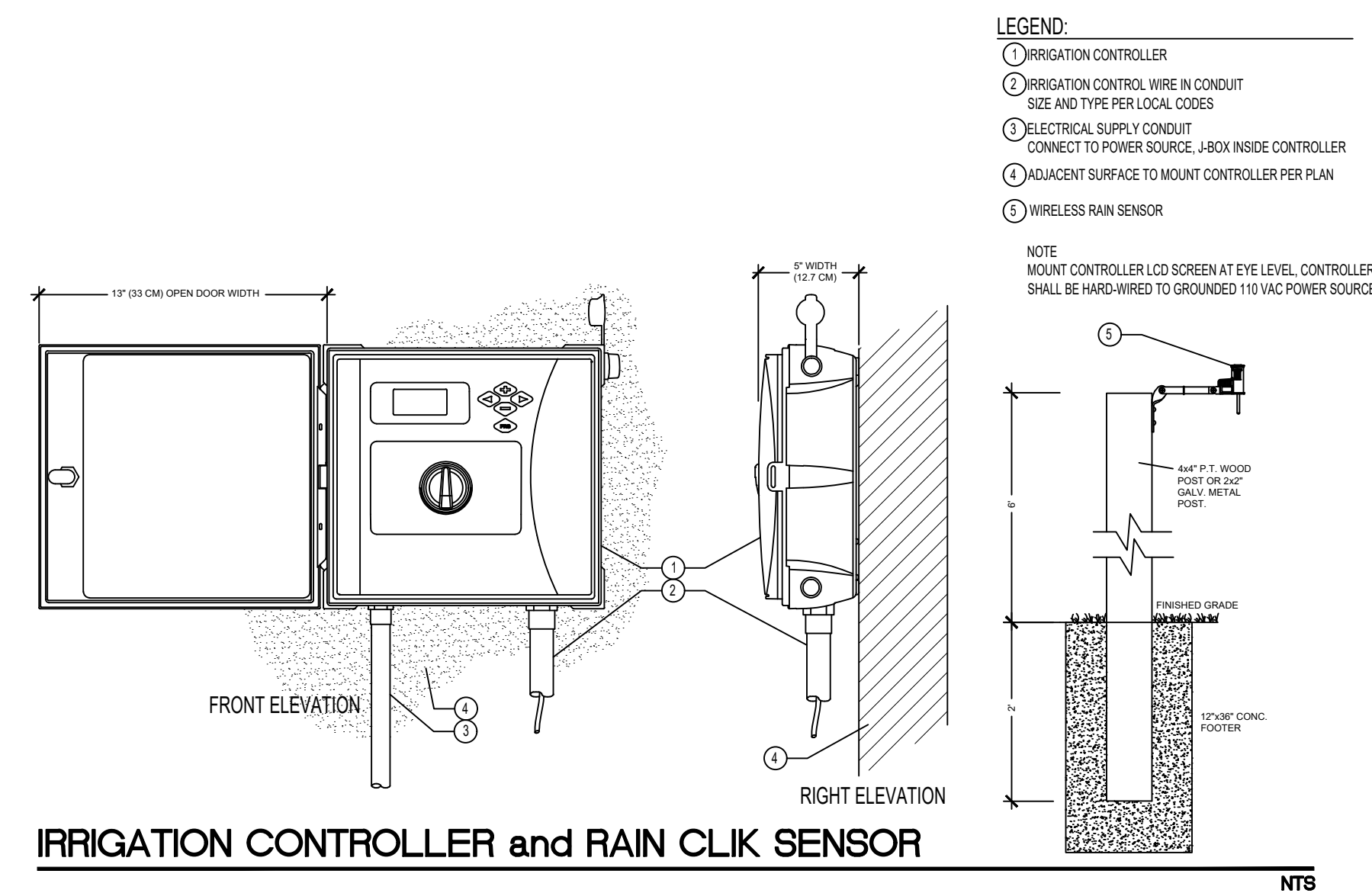
Control Wires: AWG 14 for all hot wires and AWG 12 for common.
Solid copper type UF UL listed for direct burial.
Run wires under main.
Run spares, two min.
Splice wires only in a valve box. All splices shall be moisture proof using Snap tite or DBY UL connectors.
Common shall be white, hot shall be red or color coded.
Spares shall be black. Run all wires in Grey Electrical SCH 40 conduit.

Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.

All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractors responsibility to assure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans, it is the contractors responsibility to comply. The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.

Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.

Contractor shall verify all underground utilities prior to commencement of work.



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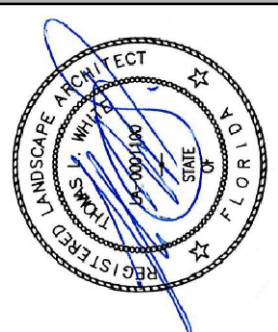
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REVISIONS
8-16-2023 Per New

Irriation Permit Plan
Fillmore Street Apartments
22115 Fillmore Street
Hollywood, Florida 33020



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L-3
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