

## DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION

Tel: (954) 921-3471  
Fax: (954) 921-3347

*This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.*

*The applicant is responsible for obtaining the appropriate checklist for each type of application.*

*Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.*

*At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).*

*Documents and forms can be accessed on the City's website at <http://www.hollywoodfl.org/> DocumentCenter/Home/View/21*



### APPLICATION TYPE (CHECK ONE):

Technical Advisory Committee       Historic Preservation Board  
 City Commission       Planning and Development Board

Date of Application: \_\_\_\_\_

Location Address: 333 State Road 7, Hollywood Florida

Lot(s): Parcel B, Plat Book 181, Page 12 Block(s): \_\_\_\_\_ Subdivision: \*SEE ATTACHED SURVEY

Folio Number(s): 514113370021

Zoning Classification: SR7 CCD-CC, C-2 Land Use Classification: 71: Transit Oriented Corridor

Existing Property Use: Commercial Sq Ft/Number of Units: N/A

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s):

Economic Roundtable       Technical Advisory Committee       Historic Preservation Board  
 City Commission       Planning and Development

Explanation of Request: 4,500 sf retail addition to out parcel development

Number of units/rooms: N/A Sq Ft: 4,500 S.F.

Value of Improvement: \$450,000 (est) Estimated Date of Completion: 8/1/2017

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Palm Beach 2000, Inc. and Vestmaz, Inc.

Address of Property Owner: 336 E. Dania Beach Boulevard

Telephone: 954-927-4885 Fax: \_\_\_\_\_ Email Address: amicha@dacarmanagement.net

Name of Consultant/Representative/Tenant (circle one): Kimley-Horn and Associates, Inc.

Address: 445 24th Street, Suite, 200 Vero Beach, FL 32960 Telephone: 772.794.4100

Fax: \_\_\_\_\_ Email Address: Greg.Wilson@Kimley-Horn.com

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ( ) No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

# PLANNING & DEVELOPMENT SERVICES



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

## GENERAL APPLICATION

### **CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on this paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_ Date: 8-10-16

PRINT NAME: Alberto Micha Buzali Date: \_\_\_\_\_

Signature of Consultant/Representative: \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

### **CURRENT OWNER POWER OF ATTORNEY**

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) Retail addition to my property, which is hereby made by me or I am hereby authorizing (name of the representative) \_\_\_\_\_ to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 10 day of August, 2016

SIGNATURE OF CURRENT OWNER

Notary Public State of Florida

	ZENAIDA MARTIN Commission # FF 949565 Expires February 8, 2020 Bonded Thru Troy Fair Insurance #00-385-7018	Palm Beach 2000, Inc and Vestmaz, Inc. By: Alberto Micha Buzali, Vice President
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My Commission Expires: 2/8/20 (Check One) \_\_\_\_\_ Personally known to me; OR \_\_\_\_\_

## AGENT AUTHORIZATION FORM

DATE: Aug 9, 2016

RE: Applications for Permits and Approvals  
Project Name: Phase 6 at The Place at Hollywood

TO: City of Hollywood, South Florida Water Management District,  
Florida Department of Transportation, Broward County and  
other required agencies.

PALM BEACH 2000, INC and VESTMAZ, INC. ("The Companies") are in the process of re-developing that particular parcel of land and the improvements thereon (the "Site") located in the state of Florida, Broward County, City of Hollywood, Florida. On behalf of the Companies, I hereby authorize Kimley-Horn and Associates, Inc. (the "Engineer"), to act as the Companies' agent for the express purpose of obtaining permits and approvals related to the re-development of the Site.

In such capacity, the Engineer's authority is expressly limited to signing and delivering applications for permits and approvals that are related to the development of the Site, advancing nominal funds as may be required to file such applications and to represent the interests of the Companies at meetings and hearings for the applications. The Engineer is not authorized to negotiate on the Companies' behalf or to bind or obligate the Companies in any manner whatsoever, including without limitation accruing any obligations on the Companies' behalf to pay for or construct improvements without additional authorization in writing from the Companies.

Sincerely,  
PALM BEACH 2000, INC and VESTMAZ, INC.

By \_\_\_\_\_  
Alberto Micha Buzali, Vice President

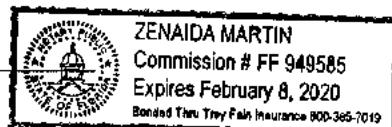
State of FLORIDA

County of BROWARD

This instrument was acknowledged before me on the 10 (date) of August, <sup>2016</sup> (Month)  
by Alberto Micha Buzali (name of person acknowledging).

Signature of Notary Public

My Commission Expires: 2/8/20



## The Place at Hollywood Phase VI

### Legal Description

- A portion of parcel "B" of "Hollywood Plaza" according to the plat thereof as recorded in plat book 181, page 12, of the public records of Broward County, Florida, being more particularly described as follows:

commence at the most southerly southwest corner of said parcel "B"; thence on the westerly boundary of said parcel "B", also being the east right-of-way line of State Road no. 7 (U.S. highway no. 441) the following 4 courses and distances: 1) north 01°47'16" west 48.66 feet to the point of beginning; 2) continue north 01°47'16" west 9.34 feet; 3) north 45°59'46" west 35.35 feet; 4) north 00°59'46" west 84.82 feet; thence north 87°22'36" east 238.28 feet; thence south 02°37'24" east 100.49 feet to a point of curvature of a circular curve, concave northwesterly; thence southwesterly on the arc of said curve, with a radius of 19.33 feet, a central angle of 90°00'00", for an arc distance of 30.36 feet to a point of tangency; thence south 87°22'36" west 197.22 to the point of beginning,

### Project Information

#### **Project Description**

- The proposed Place at Hollywood Phase VI is a 0.65 acre outparcel development consisting of one retail buildings totaling 4,500 square feet, located within The Place at Hollywood development. Improvements include parking lots, landscaping, stormwater system and utilities.

#### **Location**

- Section 13, Township 51 S, Range 41 E

#### **Address**

- 333 S. State Road 7, Hollywood, FL 33023

#### **Zoning**

- SR7 CCD-CC: Commercial Corridor District- Commercial Core Sub-area
- C-2: Low/Medium Intensity Commercial District

#### **Land Use**

- 71: Transit Oriented Corridor



Kimley-Horn  
and Associates, Inc.

### **Sewer Demand Calculations**

Prepared by: Kinan Husainy

<b>Proposed Use</b>	<b>Area (s.f.)</b>	<b>Conversion (gpd/s.f.)</b>	<b>Total Flow (gpd)</b>
TD Bank	2,967	0.1	297
Pollo Tropical	73 seats	50 gpd/seat	3,650
Taco Bell	54 seats	50 gpd/seat	2,700
Walmart	182,322	0.1	18,232
Local Shops	5,600	0.1	560
RaceTrac	5,707	0.1	571
Future Development 1	20,000	0.1	2,000
Future Development 2	35,000	0.1	3,500
Future Fast Food Restaurant 1	60 seats	50 gpd/seat	3,000
Future Fast Food Restaurant 2	60 seats	50 gpd/seat	3,000
Existing Gordon Food Stores	150,000	0.1	15,000
<b>Total</b>			<b>52,510</b>

<b>Existing Use</b>	<b>Area (s.f.)</b>	<b>Conversion (gpd/s.f.)</b>	<b>Total Flow (gpd)</b>
Existing Retail	905,919	0.1	90,592
<b>Total</b>			<b>90,592</b>

## DRAINAGE STATEMENT

August 11, 2016

**SUBJECT:**

5810-5860 Hollywood Blvd.  
Hollywood, FL 33317  
Broward County, Florida  
KHA File No. 147506002

**INTRODUCTION:**

Our Client, respectfully request a letter modification to the current Surface Water Management License (SWM 2014-035-0). This drainage statement is intended to provide a summary of the proposed changes related to the Future Development 4 of exhibit 13 in permit SWM 2014-035-0. The proposed development consist of retail shops in parcel “B”.

**EXISTING CONDITIONS:**

The 1.40 acre site was previously developed as a Mall but recently has been demolished and is currently under construction. The site was included in the design of the overall development as Future Development 3 and was given design criteria based on the master plan.

**PROPOSED DESIGN:**

The proposed design consist of a local retail building, parking lot, landscaping and exfiltration trench. A table of the design criteria from exhibit 13 in permit SWM 2014-035-0 and proposed improvements is shown below. The proposed design conforms to the conditions of the master stormwater plan. See conditions below.

Future Development 4	Required	Provided
Impervious area	Max 50% or 0.33 ac	49.72 % or 0.33 ac
Pervious area	Min. 15% or 0.10 ac	34.27% or 0.22 ac
Building area	Max. 35% or 0.23 ac	16.00% or 0.10 ac
Exfiltration Trench	100	100
F.F.E.	11.0	11.0

KIMLEY-HORN AND ASSOCIATES, INC.

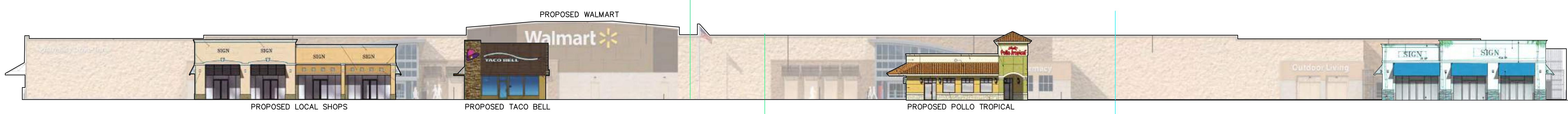
Greg D. Wilfong , P.E.  
Florida Registration No. 61366

# THE PLACE AT HOLLYWOOD

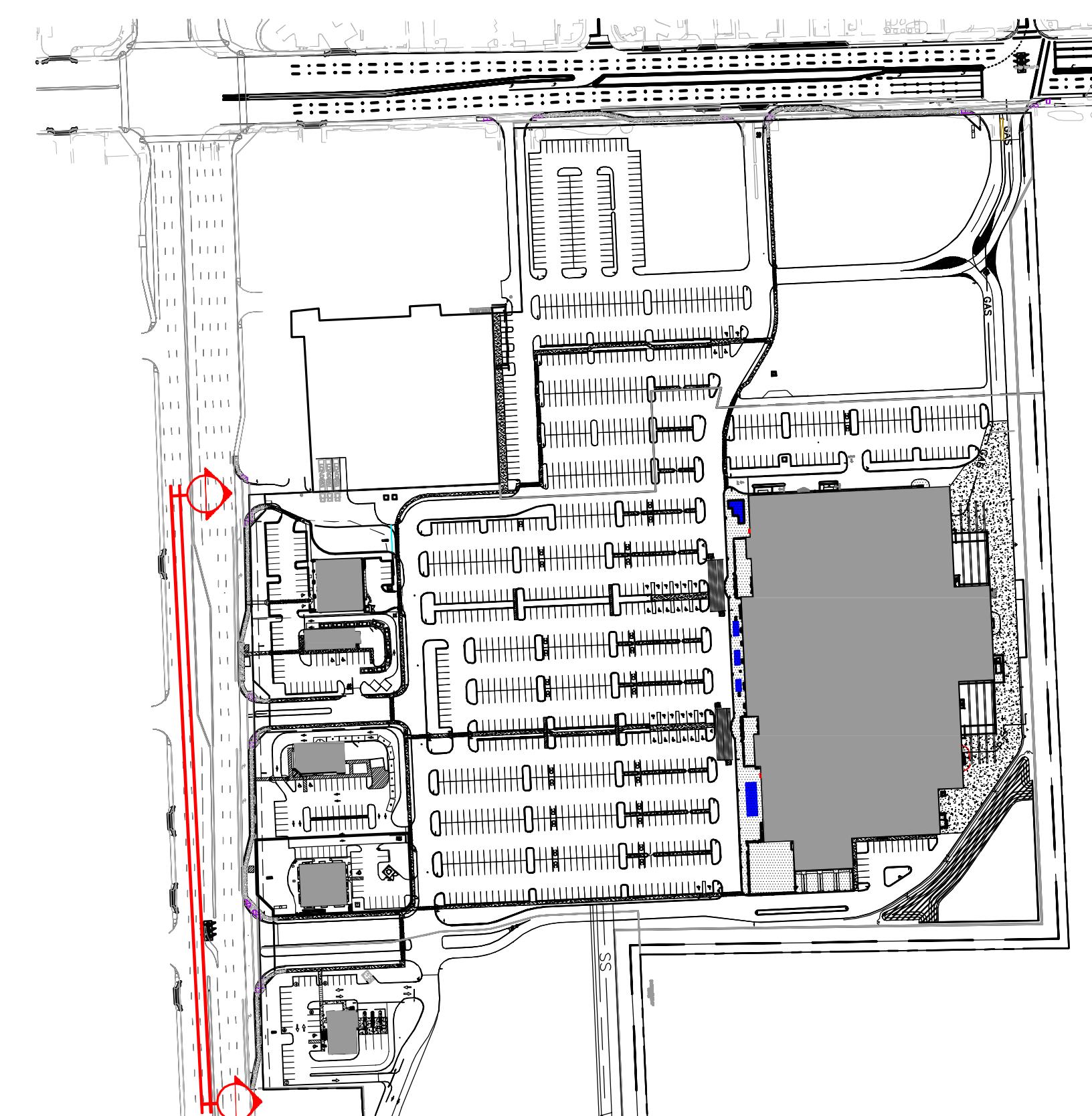
## SR7 STREET VIEW RENDERING

Kimley»Horn

© 2013 KIMLEY-HORN AND ASSOCIATES, INC.  
5200 NW 33rd AVENUE, SUITE 109, FT. LAUDERDALE, FL 33309  
PHONE: 954-535-5100 FAX: 954-739-2247  
WWW.KIMLEY-HORN.COM CA 00000696



GRAPHIC SCALE IN FEET  
0 10 20 40

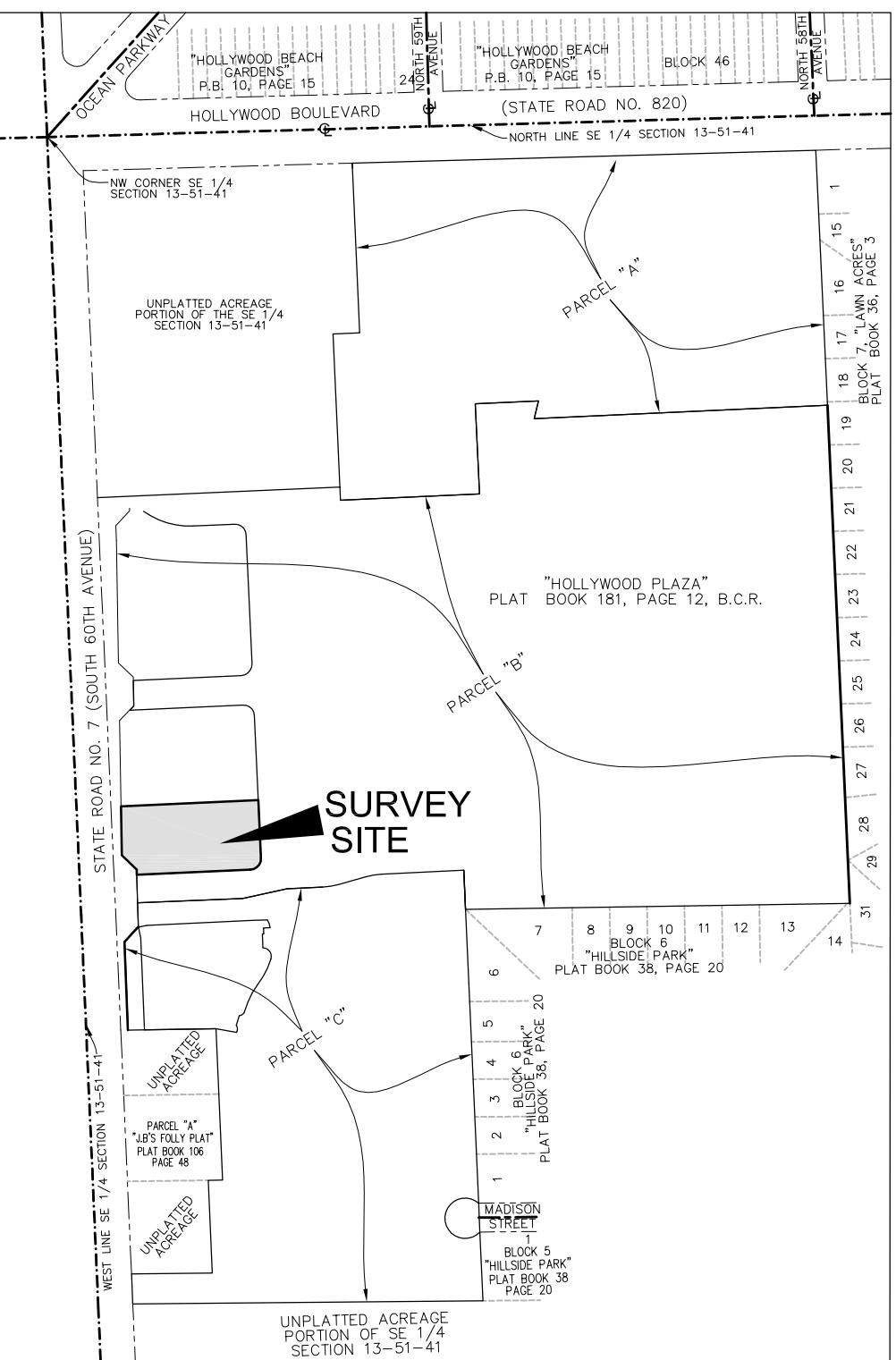
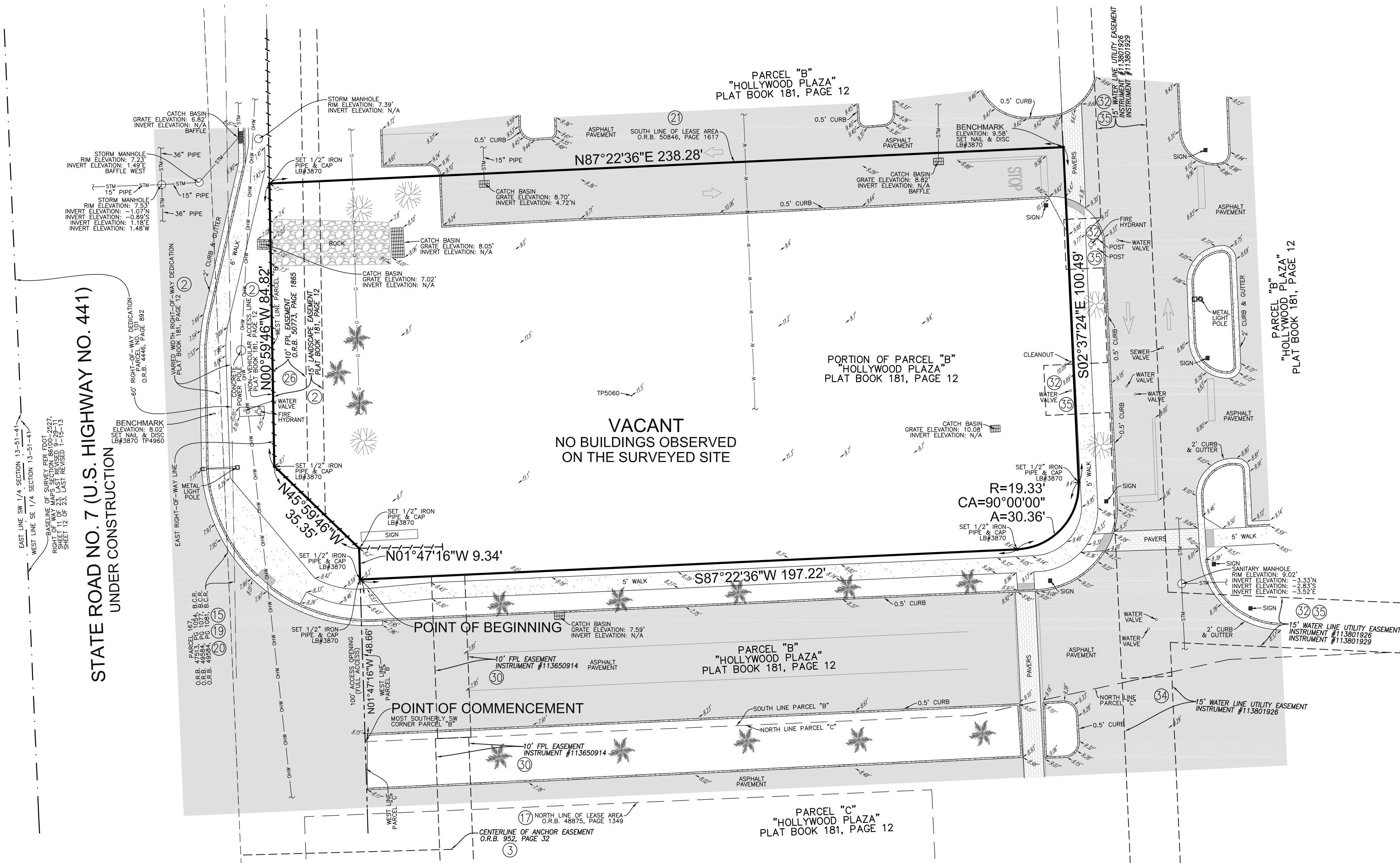


NORTH  
GRAPHIC SCALE IN FEET  
0 100 200 400

KEY PLAN

**LEGEND**

CONCRETE
ASPHALT PAVEMENT
PAVERS
ELEVATION
OHW
OVERHEAD WIRES
UNDERGROUND STORM SEWER LINE
UNDERGROUND SANITARY SEWER LINE
UNDERGROUND WATER LINE
UNDERGROUND GAS LINE
CENTERLINE
O.R.B.
OFFICIAL RECORDS BOOK
B.C.R.
BROWARD COUNTY RECORDS
TP
TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
FPL
FLORIDA POWER & LIGHT COMPANY
RADIUS
CA
CENTRAL ANGLE
ARC LENGTH
PALM TREE
OAK TREE
PG
PAGE

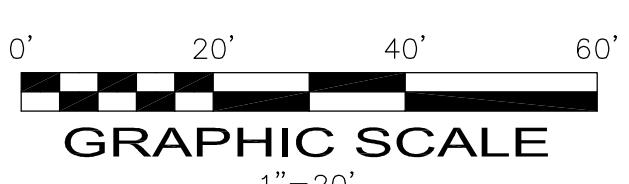


**LEGAL DESCRIPTION:**

A PORTION OF PARCEL "B" OF "HOLLYWOOD PLAZA" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 181, PAGE 12, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE MOST SOUTHERLY SOUTHWEST CORNER OF SAID PARCEL "B"; THENCE ON THE WESTERLY BOUNDARY OF SAID PARCEL "B"; ALSO BEING THE EAST RIGHT-OF-WAY LINE OF STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441) THE FOLLOWING 4 COURSES AND DISTANCES: 1) NORTH 01°47'16" WEST 48.66 FEET TO THE POINT OF BEGINNING; 2) CONTINUE NORTH 01°47'16" WEST 9.34 FEET; 3) NORTH 45°59'46" WEST 35.35 FEET; 4) NORTH 059°46" WEST 84.82 FEET; THENCE NORTH 87°22'36" EAST 238.28 FEET; THENCE SOUTH 02°37'24" EAST 100.49 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE, CONCAVE NORTHWESTERLY; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE, WITH A RADIUS OF 19.33 FEET, A CENTRAL ANGLE OF 90°0'0", FOR AN ARC DISTANCE OF 30.36 FEET TO A POINT OF TANGENCY; THENCE SOUTH 87°22'36" WEST 197.22 FEET TO THE POINT OF BEGINNING,

SAID LANDS SITuate, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAINING 28,120 SQUARE FEET, 0.6456 ACRES.



**NOTES:**

- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #S2062; ELEVATION: 8.50 FEET.
- FLOOD ZONE: AH; BASE FLOOD ELEVATION: 10 FEET; PANEL #125113 0564H; MAP DATE: 8/18/14.
- THIS SITE LIES IN SECTION 13, TOWNSHIP 41 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
- BEARINGS ARE BASED ON THE WEST LINE OF PARCEL "B" BEING NO0°59'46" W.
- REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS  $\pm 0.07'$ . THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS  $\pm 0.07'$ .
- THIS SITE CONTAINS NO PARKING SPACES.
- THIS SURVEY WAS PREPARED WITH BENEFIT OF A CERTIFICATE OF SEARCH OWNERSHIP AND ENCUMBRANCE, FILE NUMBER 5915465, PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, DATED THROUGH JULY 24, 2016 AT 6:00 A.M. THE FOLLOWING ITEMS ARE EXCEPTIONS LISTED IN SAID REPORT:
  - ITEM 1 - NOTICE OF COMMENCEMENT IN INSTRUMENT #113428163 DOES NOT AFFECT THIS SITE.
  - ITEM 2 - PLAT IN PLAT BOOK 181, PAGE 12 AFFECTS THIS SITE AS DEPICTED HEREON.
  - ITEM 3 - EASEMENT IN O.R.B. 952, PAGE 32 DOES NOT AFFECT THIS SITE AS PARTIALLY DEPICTED HEREON.
  - ITEM 4 - EASEMENT IN O.R.B. 952, PAGE 33 DOES NOT AFFECT THIS SITE.
  - ITEM 5 - WARRANTY DEED IN O.R.B. 4225, PAGE 829 DOES NOT AFFECT THIS SITE.
  - ITEM 6 - ORDINANCE NO. 0-71-29 IN O.R.B. 4443, PAGE 805 DOES NOT AFFECT THIS SITE.
  - ITEM 7 - EASEMENT IN O.R.B. 4628, PAGE 196 DOES NOT AFFECT THIS SITE.
  - ITEM 8 - ELECTRIC EASEMENT IN O.R.B. 5058, PAGE 899 DOES NOT AFFECT THIS SITE.
  - ITEM 9 - MUTUAL ACCESS EASEMENT IN O.R.B. 32158, PAGE 1423 DOES NOT AFFECT THIS SITE.
  - ITEM 10 - GRANT OF EASEMENT IN O.R.B. 32158, PAGE 1430 DOES NOT AFFECT THIS SITE.
  - ITEM 11 - GRANT OF EASEMENT IN O.R.B. 32158, PAGE 1434 AFFECTS THIS SITE BUT IS NOT DEPICTED HEREON.
  - ITEM 12 - MEMORANDUM OF LEASE IN O.R.B. 35077, PAGE 850 DOES NOT AFFECT THIS SITE.
  - ITEM 13 - AMENDED AND RESTATED MEMORANDUM OF LEASE IN O.R.B. 39344, PAGE 1377 AFFECTS THIS SITE BUT IS NOT PLOTTED.
  - ITEM 14 - MEMORANDUM OF OPTIONEE'S EXERCISE OF PURCHASE OPTION IN O.R.B. 39521, PAGE 200 AFFECTS THIS SITE BUT IS NOT PLOTTED.
  - ITEM 15 - SUBORDINATION OF CITY UTILITY INTERESTS IN O.R.B. 47513, PAGE 1054 LIES WITHIN THE RIGHT-OF-WAY (PARCEL NO. 167) AS DEPICTED HEREON.
  - ITEM 16 - DECLARATION OF EASEMENTS, RESTRICTIONS AND COVENANTS IN O.R.B. 48703, PAGE 462 AFFECTS THIS SITE, BUT THE LOADING AREA EASEMENT DOES NOT FALL WITHIN THE BOUNDARY OF THIS PROPERTY AND IS NOT DEPICTED.
  - ITEM 17 - MEMORANDUM OF LEASE IN O.R.B. 48875, PAGE 1349 DOES NOT AFFECT THIS SITE WITH NORTH LINE OF LEASE AREA DEPICTED HEREON.
  - ITEM 18 - MEMORANDUM OF LEASE IN O.R.B. 49331, PAGE 207 AFFECTS THIS SITE BUT LEASE AREA EXHIBIT C NOT ATTACHED TO DOCUMENT.
  - ITEM 19 - SPECIAL WARRANTY DEED IN O.R.B. 49584, PAGE 1077 FALLS WITHIN THE RIGHT-OF-WAY (PARCEL NO. 167.1R) AS DEPICTED HEREON.
  - ITEM 20 - QUITCLAIM DEED IN O.R.B. 49584, PAGE 1081 FALLS WITHIN THE RIGHT-OF-WAY (PARCEL NO. 167.1R) AS DEPICTED HEREON.
  - ITEM 21 - AMENDED AND RESTATED MEMORANDUM OF LEASE IN O.R.B. 50846, PAGE 1617 LIES NORTH OF AND ADJACENT TO THIS SITE AS DEPICTED HEREON.
  - ITEM 22 - SECURITY/LIEN AGREEMENT INSTALLATION OF REQUIRED IMPROVEMENTS IN O.R.B. 50295, PAGE 1021 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
  - ITEM 23 - RESOLUTION NO. 12-DPV-93 IN O.R.B. 50597, PAGE 1160 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
  - ITEM 24 - TREE MITIGATION AGREEMENT FOR "THE PLACE OF HOLLYWOOD" IN O.R.B. 50597, PAGE 1180 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
  - ITEM 25 - SEWER USE AGREEMENT IN O.R.B. 50688, PAGE 396 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
  - ITEM 26 - EASEMENT IN O.R.B. 50773, PAGE 1865 AFFECTS THIS SITE AS DEPICTED HEREON.
  - ITEM 27 - EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND (ECR) IN O.R.B. 51033, PAGE 1417 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
  - ITEM 28 - AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT IN INSTRUMENT #113456377 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
  - ITEM 29 - AMENDMENT TO EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND IN INSTRUMENT #113598569 AFFECTS THIS SITE BUT IS NOT PLOTTABLE.
  - ITEM 30 - EASEMENT IN INSTRUMENT #113650914 DOES NOT LIE WITHIN THIS SITE BUT A PORTION ADJOINS THE SOUTH LINE OF THIS PROPERTY PROVIDING TIE IN SERVICE TO THIS SITE AS DEPICTED HEREON.
  - ITEM 31 - EASEMENT IN INSTRUMENT #113650915 DOES NOT AFFECT THIS SITE.
  - ITEM 32 - WATER LINE UTILITY EASEMENT IN INSTRUMENT #113801926 AFFECTS THIS SITE AS DEPICTED HEREON.
  - ITEM 33 - WATER LINE UTILITY EASEMENT IN INSTRUMENT #113801927 DOES NOT AFFECT THIS SITE BUT TIES INTO THE WATER LINE EASEMENT RECORDED IN ITEM 32, AND IS NOT DEPICTED HEREON.
  - ITEM 34 - BILL OF SALE ABSOLUTE IN INSTRUMENT #113801928 DOES NOT AFFECT THIS SITE BUT TIES INTO THE WATER LINE EASEMENT RECORDED IN ITEM 32, AS PARTIALLY DEPICTED HEREON.
  - ITEM 35 - BILL OF SALE ABSOLUTE IN INSTRUMENT #113801929 AFFECTS THIS SITE AS DEPICTED HEREON.

JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691  
 BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136  
 VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274  
 STATE OF FLORIDA

5  
4  
3  
2 #61628 REVIEW, OWNERSHIP & ENCUMBRANCE REPORT 8/27/16 B.E.  
1 #61261 ORIGINAL SURVEY 5/24/16 B.E.  
REVISIONS BY

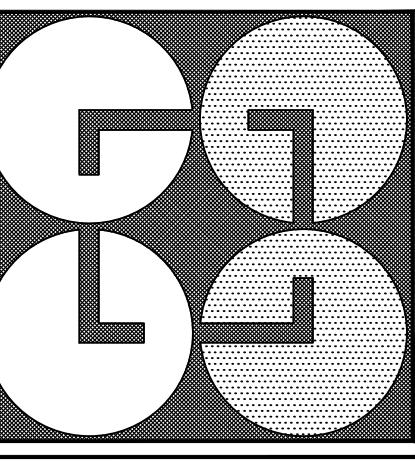
THE PLACE AT HOLLYWOOD PHASE 6  
**HOLLYWOOD PLAZA**  
STATE ROAD NO. 7 SOUTH OF HOLLYWOOD BOULEVARD  
HOLLYWOOD, BROWARD COUNTY  
FLORIDA 33065

BOUNDARY AND TOPOGRAPHIC SURVEY  
ALTA/NSPS LAND TITLE SURVEY

**PULICE LAND SURVEYORS, INC.**  
5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351  
TELEPHONE: (954) 572-1777  
FAX: (954) 572-1778  
E-MAIL: surveys@pulicelandsurveyors.com

CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: B.E. SCALe: 1" = 20' CHECKED BY: J.F.P. SURVEY DATE: 05/24/16 FILE: DACAR MANAGEMENT, LLC. ORDER NO.: 61628



# GUTIERREZ & LOZANO ARCHITECTS

2830 W. STATE ROAD 84, SUITE 117  
FT. LAUDERDALE, FL. 33312  
PHONE: (954) 321-3442  
FAX: (954) 321-3864  
WWW.GUTIERREZLOZANO.COM

# REVISIONS

MANUEL GUTIERREZ   
STATE OF FLA. REG. No. 8253

SEAL

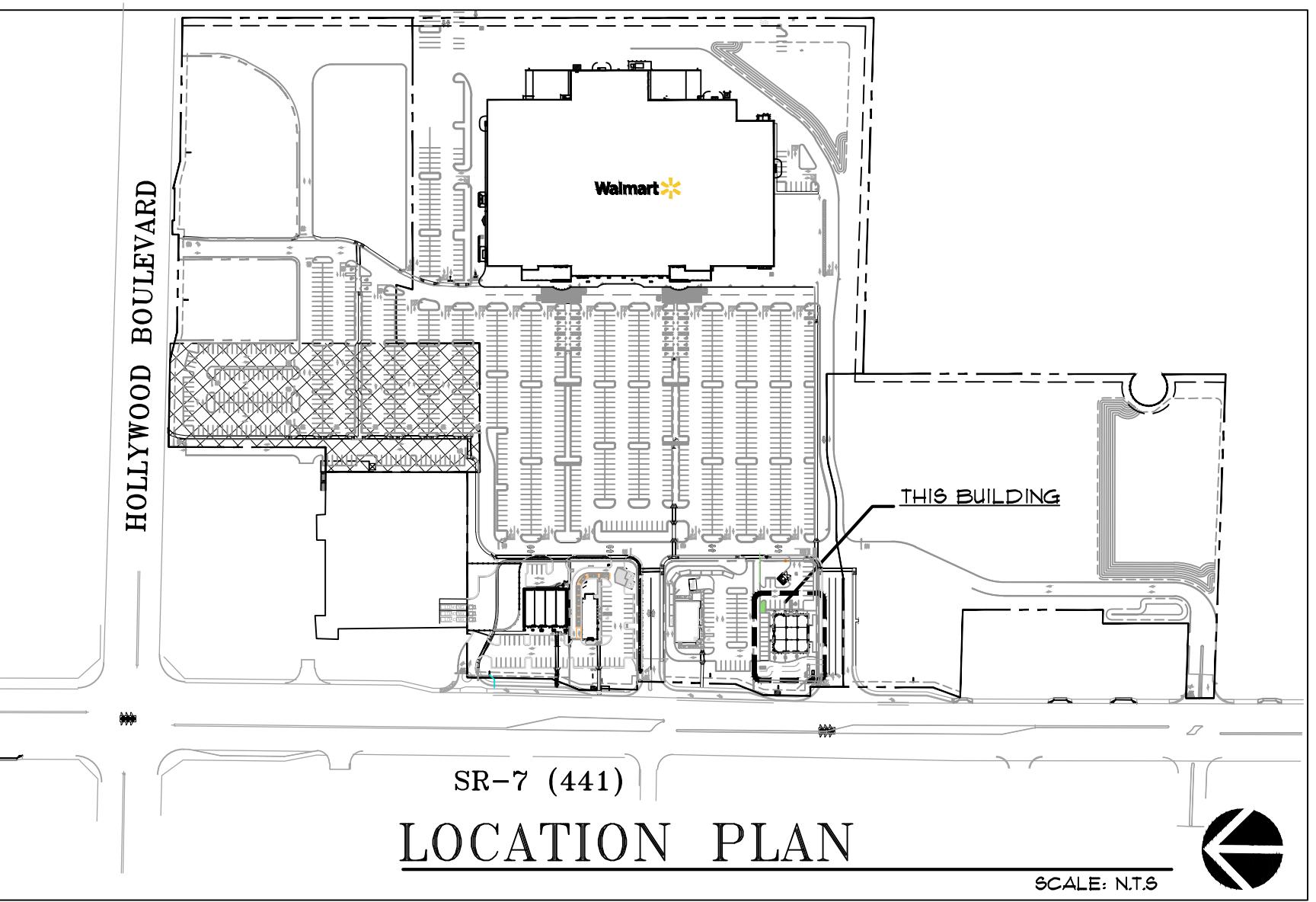
CARLOS LOZANO   
STATE OF FLA. REG. No. 0014722

PHASE VI FOR :  
THE PLACE AT HOLLYWOOD  
AT:  
333 S. SR-7  
HOLLYWOOD,  
FLORIDA

**SHEET TITLE :**

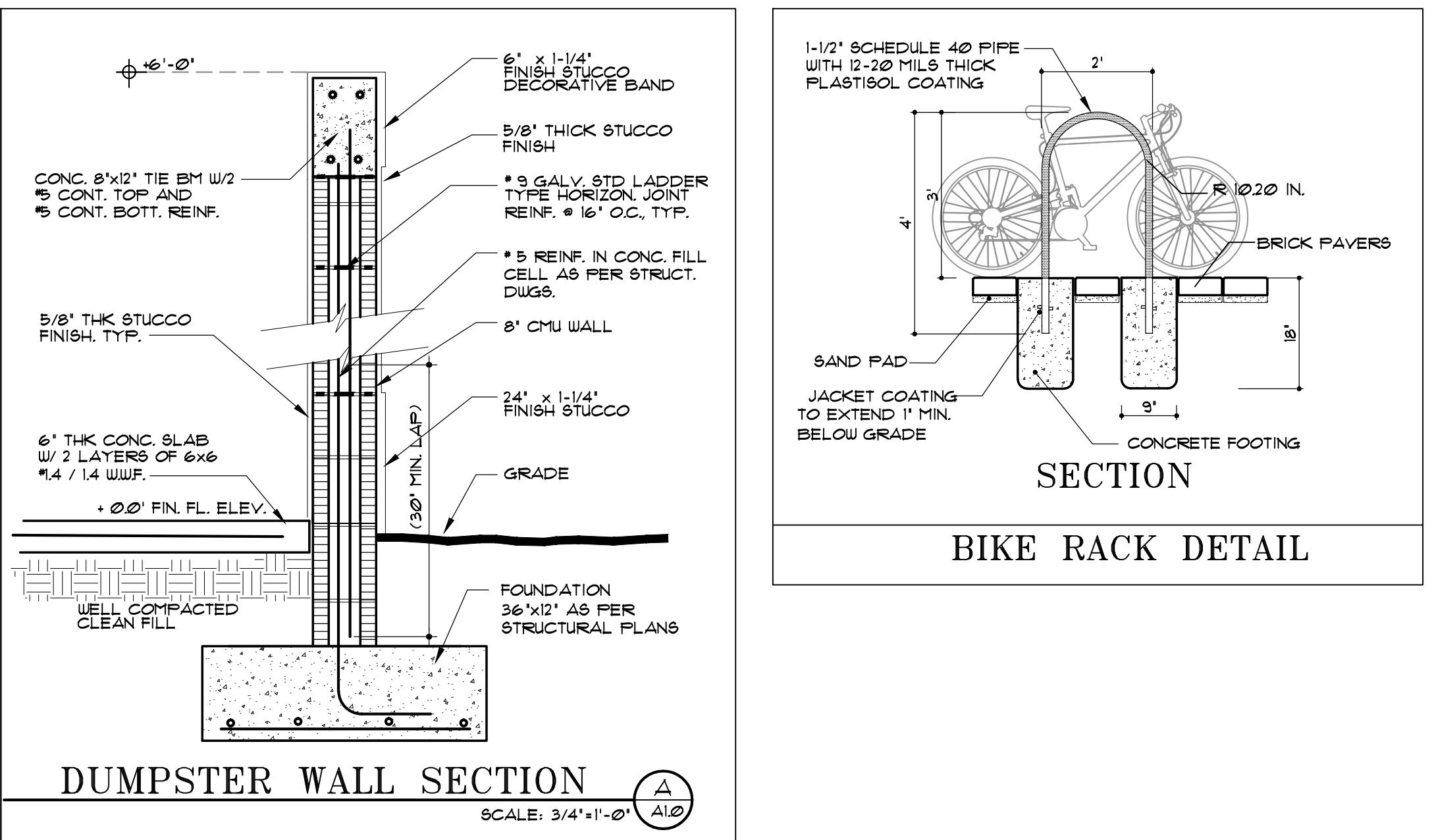
**FLOOR PLAN**

JOB No.:	
DATE:	08/04/16
SHEET	
A1.0	
OF	
DACAR HOLLYWOOD/ Localshops	



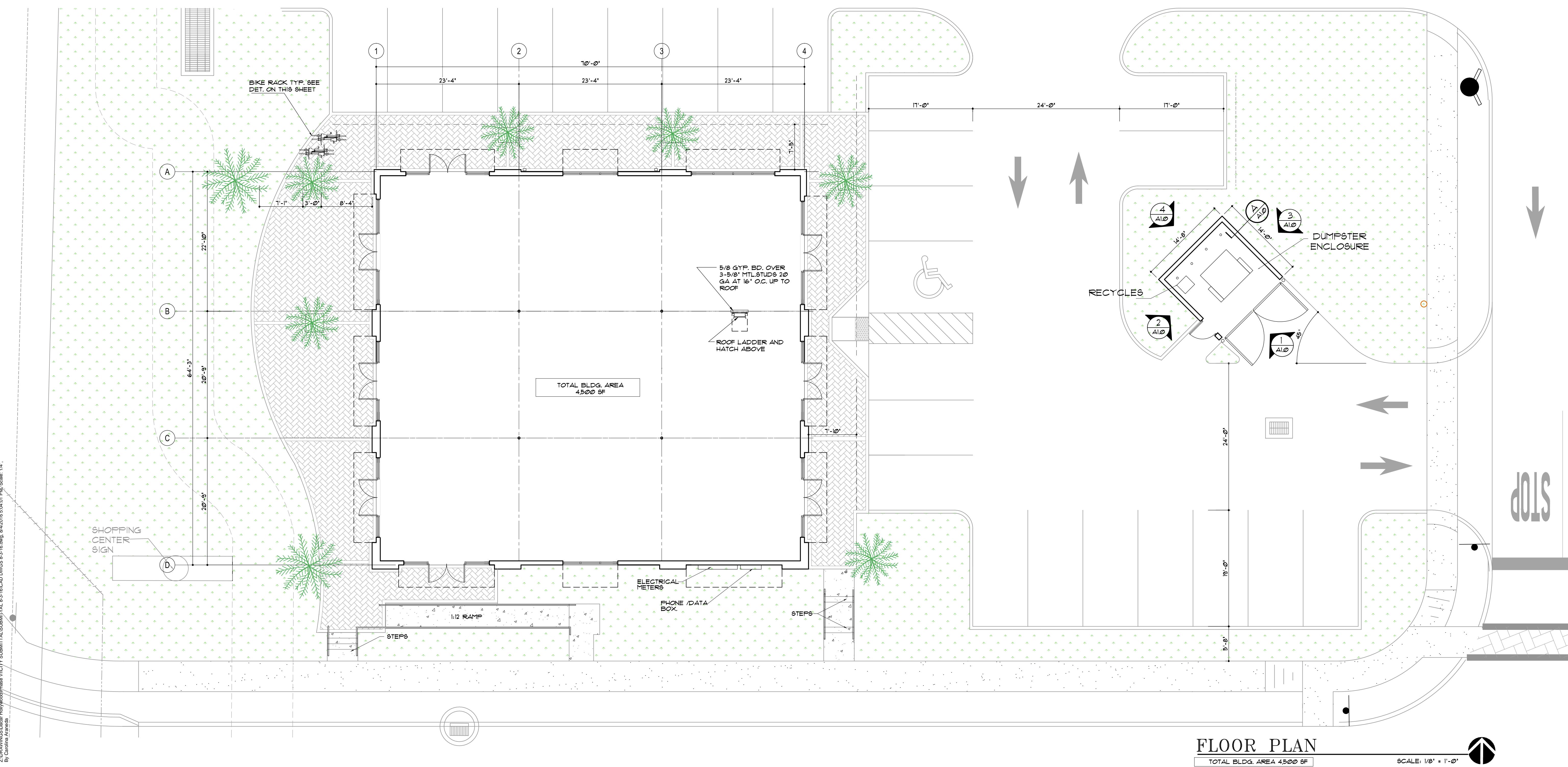
## DUMPSTER ELEVATIONS

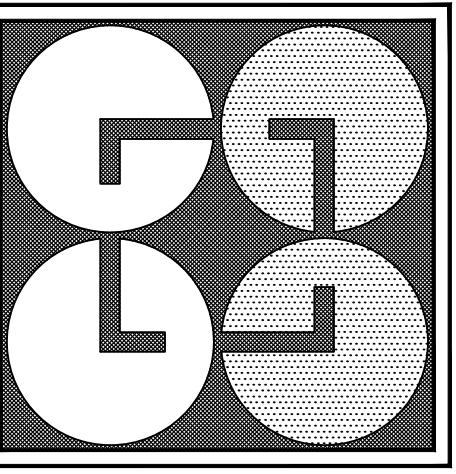
SCALE: 1/4" = 1'-0"



# DUMPSTER WALL SECTION

SCALE: 3/4"=1'-0"





GUTIERREZ  
& LOZANO  
ARCHITECTS

2830 W. STATE ROAD 84, SUITE 117  
FT. LAUDERDALE, FL 33312  
PHONE: (954) 321-3442  
FAX: (954) 321-3864  
WWW.GUTIERREZLOZANO.COM

REVISIONS

MANUEL GUTIERREZ  
STATE OF FLA. REG. No. 8253

SEAL

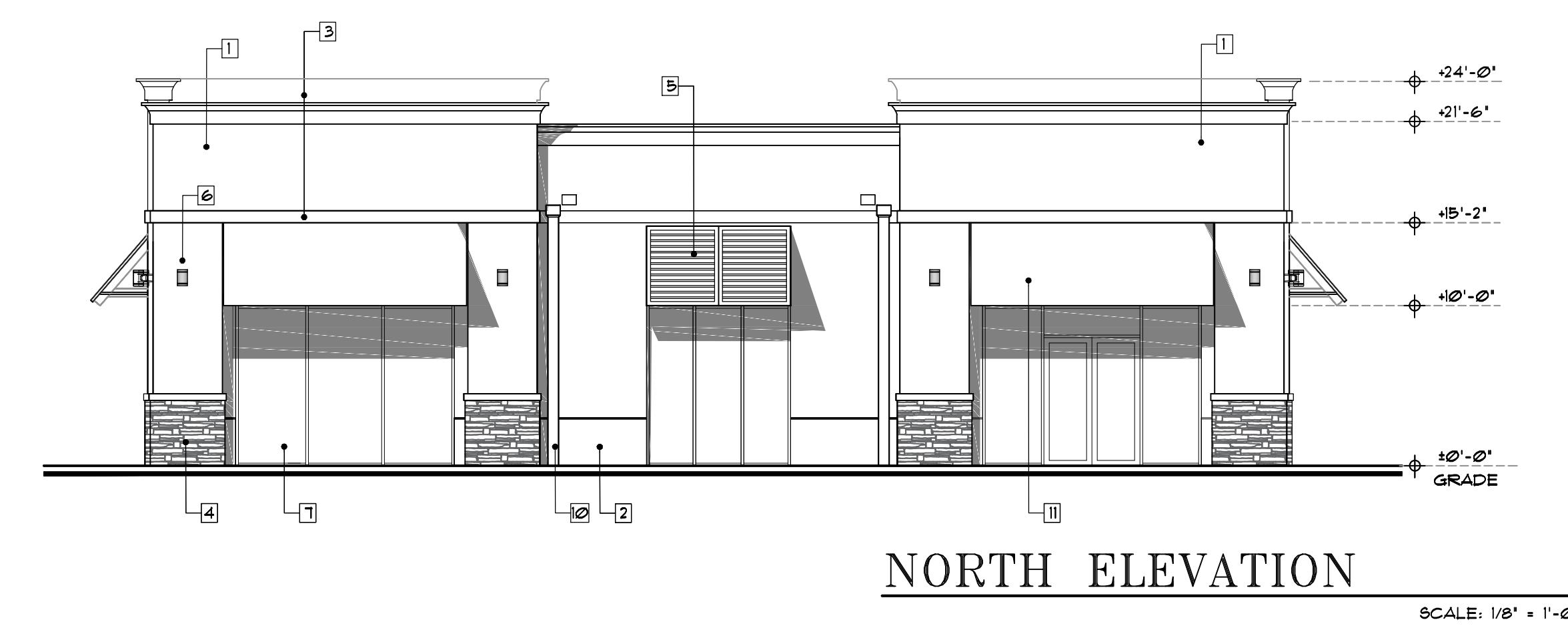
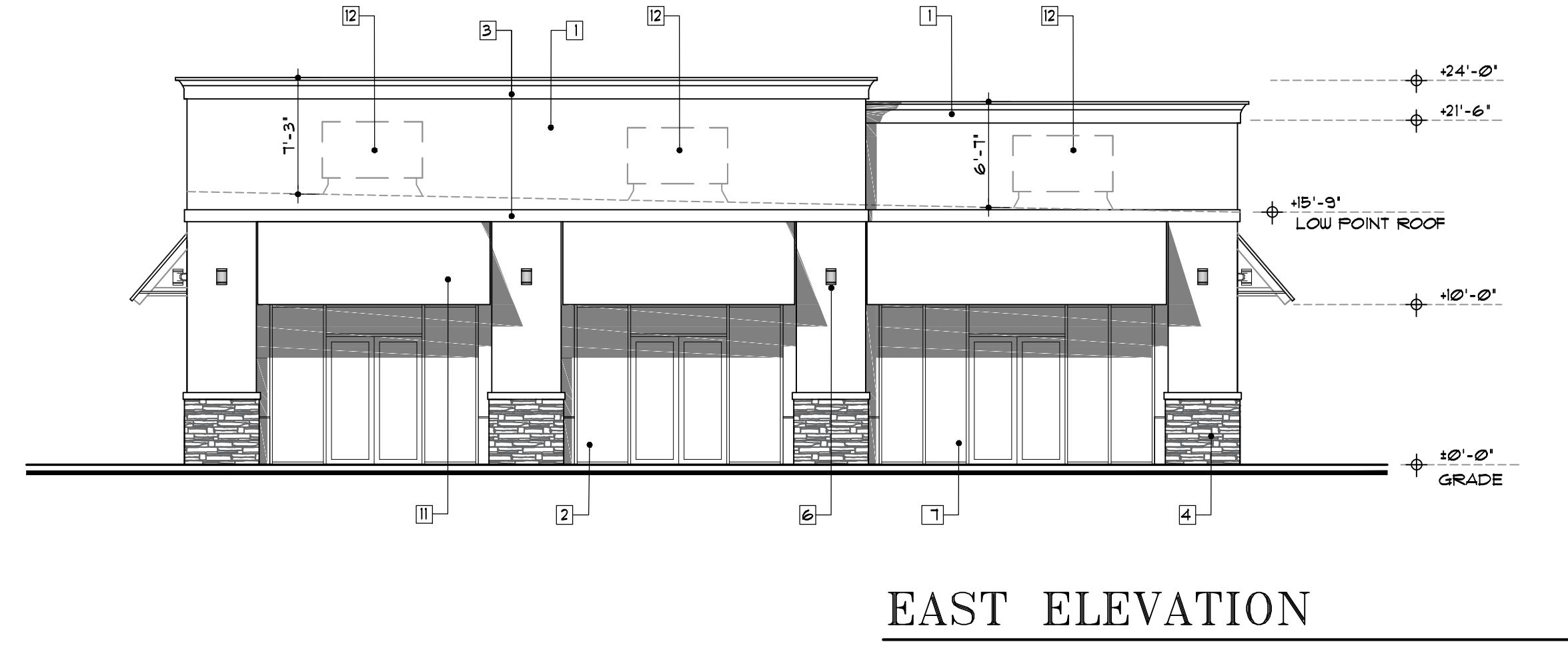
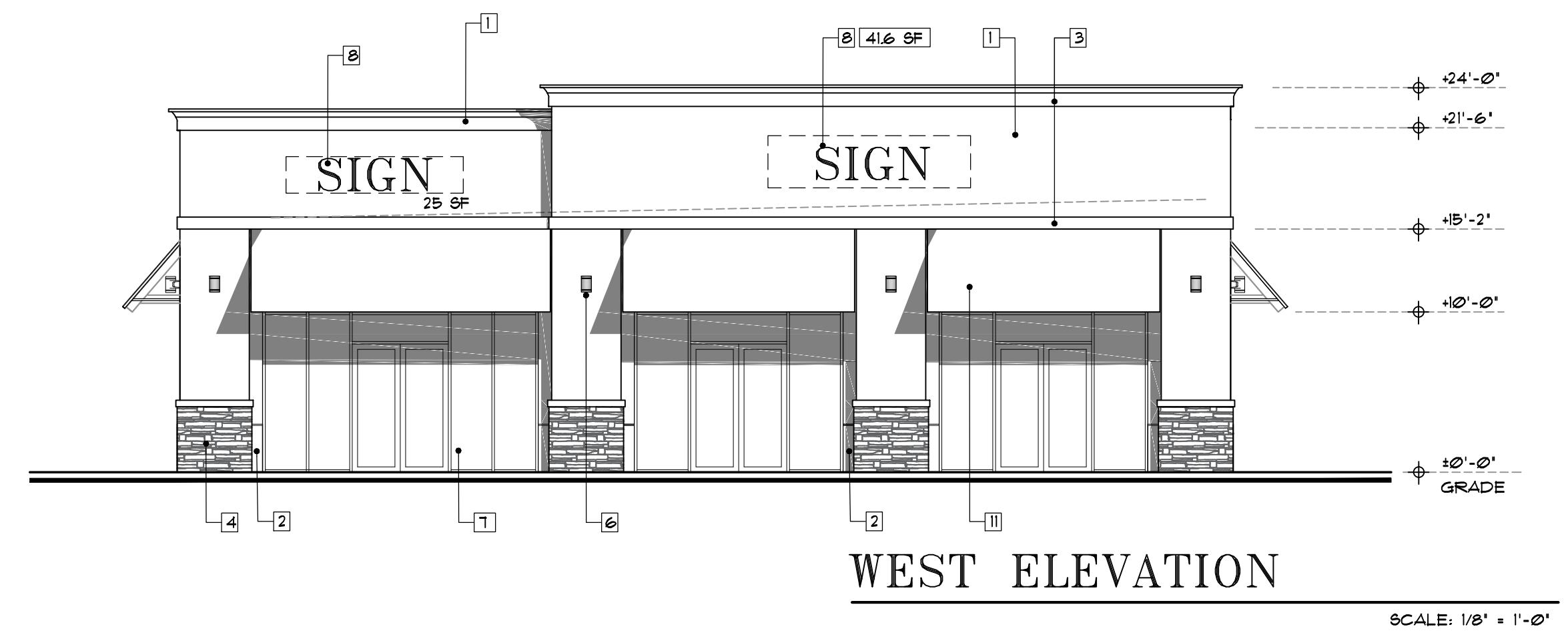
CARLOS LOZANO  
STATE OF FLA. REG. No. 0014722

PHASE VI FOR :  
THE PLACE AT HOLLYWOOD  
AT:  
333 S. SR-7  
HOLLYWOOD, FLORIDA

SHEET TITLE :  
ELEVATIONS  
SCALE: 1' = 1/8"

JOB No.:  
DATE: 08/04/16

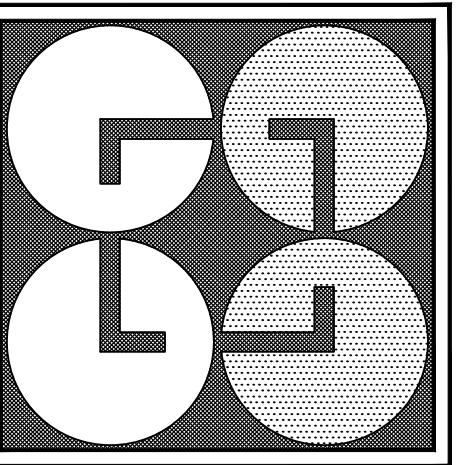
SHEET  
A2.0  
OF  
DACAR HOLLYWOOD / LocalShops



LEGEND

- [1] STUCCO FINISH WALL  
DECORATOR'S WHITE PM-3 BENJAMIN MOORE
- [2] STUCCO FINISH WALL  
DELTA GRAY 164 BENJAMIN MOORE
- [3] STUCCO WALL TRIM  
SUPER WHITE PM-1 BENJAMIN MOORE
- [4] STONE VENEER: LEDGESTONE "PRO-LEDGE 'BLACK FOREST'" BY CORONADO STONE PRODUCTS.
- [5] DECORATIVE MTL. SHUTTER  
ALUMINUM COLOR
- [6] EXTERIOR FIXTURE LIGHTS  
GARDO LIGHTING MODEL: CYLINDERS 301 LINE UP/DN  
CODE: 301-E-W-L-82MH-10-NP (NATURAL ALUMINUM COLOR)
- [7] IMPACT RESISTANT STOREFRONT.  
MTL. FINISH: ALUMINUM COLOR
- [8] LOCATION FOR SIGNAGE BY TENANTS. ALL SIGNAGE  
AND SHADE BLINDS SUBMITTED TO LANDLORD FOR  
APPROVAL.  
SIGNAGE WILL BE REVISED AND APPROVED BY THE  
CITY UNDER SEPARATE PERMIT.
- [9] TUBULAR FIXED LADDER WITH CAGE PROVIDE SHOP DUGGS.
- [10] MTL. DOWNSPOUT, PAINT TO MATCH ADJACENT WALL
- [11] CANVAS AWNING:  
COLOR: BLUE SELECTED BY ARCHITECT
- [12] RTU BY TENANT.

NOTE:  
INSTALL COLOR PAINT SAMPLES IN AN AREA OF 100 SF. APPROX.  
AND CALL ARCHITECT / OWNER FOR SITE APPROVAL BEFORE  
PROCEEDING WITH PAINT JOB.



GUTIERREZ  
& LOZANO  
ARCHITECTS

2830 W. STATE ROAD 84, SUITE 117  
FT. LAUDERDALE, FL 33312  
PHONE: (954) 321-3442  
FAX: (954) 321-3864  
WWW.GUTIERREZLOZANO.COM

REVISIONS

MANUEL GUTIERREZ STATE OF FLA. REG. No. 8253
CARLOS LOZANO STATE OF FLA. REG. No. 0014722

SEAL

PHASE VI FOR :  
THE PLACE AT HOLLYWOOD  
AT:  
333 S. SR-7  
HOLLYWOOD, FLORIDA

SHEET TITLE :
COLOR ELEVATIONS
SCALE: 1' = 1/8"

JOB No.:
DATE: 08/04/16
SHEET
A2.1



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

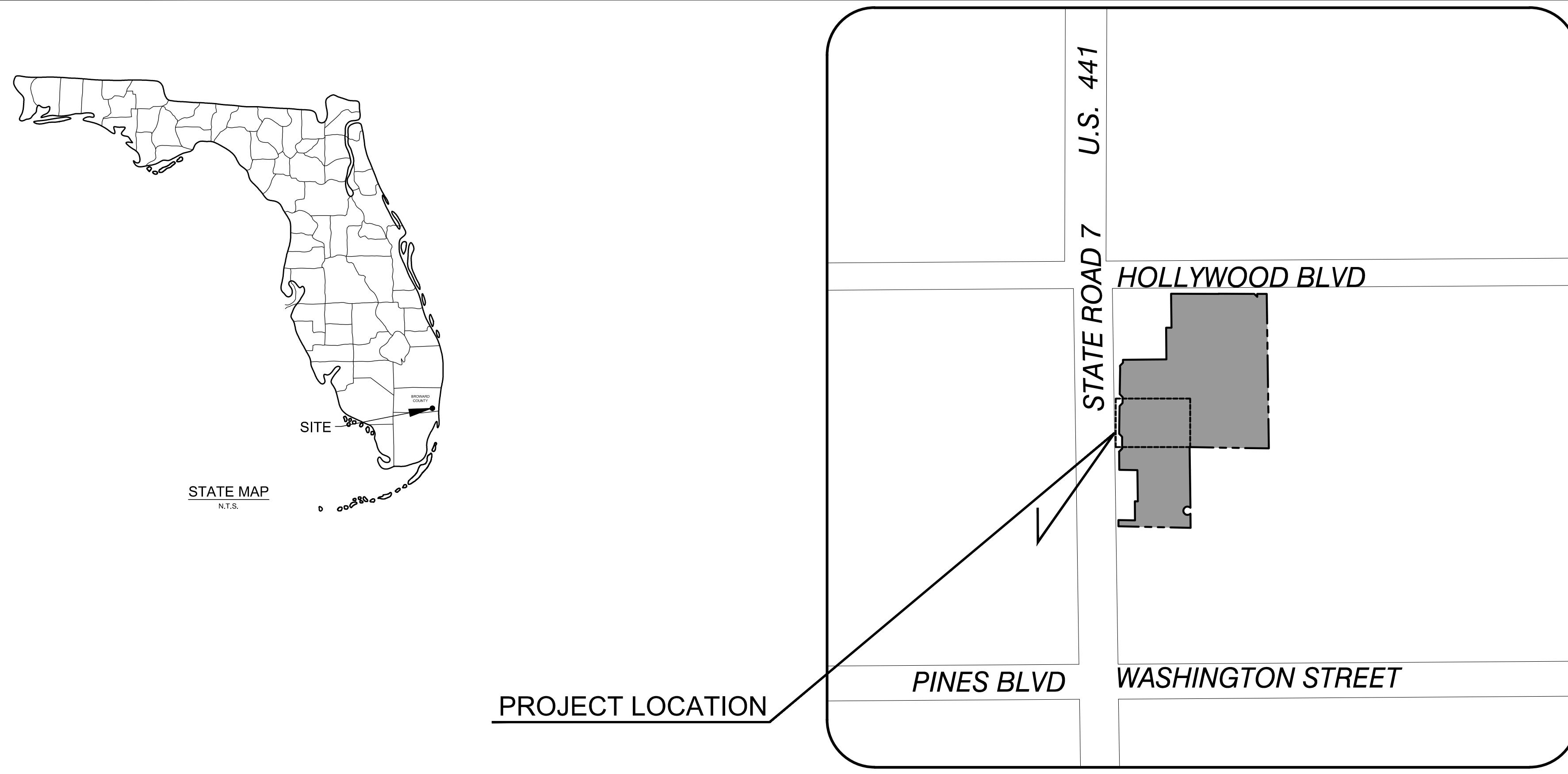
SCALE: 1/8" = 1'-0"

# SITE CONSTRUCTION PLANS

# THE PLACE AT HOLLYWOOD PHASE VI

## 333 SOUTH STATE ROAD 7

## HOLLYWOOD, BROWARD COUNTY, FL



VICINITY AND KEY MAP

N.T.S.

### PROJECT DESIGN TEAM

#### CIVIL

KIMLEY-HORN AND ASSOCIATES, INC.  
GREG WILFONG, P.E.  
445 24TH STREET, SUITE 200  
VERO BEACH, FL 32960  
PHONE: (772) 794-4100

#### SURVEY

PULICE LAND SURVEYORS, INC.  
JOHN PULICE, PLS.  
5301 NO. 5 HILL ROAD  
SUNRISE, FL 33351  
PHONE: (954) 572-1777

#### LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC.  
MATTHEW FRANKO  
3660 MAGUIRE BOULEVARD, SUITE 200  
ORLANDO, FL 32808  
PHONE: (407) 898-1511

#### OWNER:

DACAR MANAGEMENT, LLC  
336 E. DANA BEACH BLVD.  
DANIA, FL 33301  
PHONE: (954) 921-4885

#### ARCHITECT

CARLOS LOZANO  
GUTIERREZ & LOZANO ARCHITECTS, P.A.  
2600 HOLLYWOOD BLVD, SUITE 84  
FORT LAUDERDALE, FL 33312  
PHONE: (954) 321-3442

#### ENVIRONMENTAL

KIMLEY-HORN AND ASSOCIATES  
JASON SHEASLEY, P.G.  
8657 BAYPINE ROAD, SUITE 300  
JACKSONVILLE, FL 32256-8634  
PHONE: (904) 628-3900

### LIST OF CONTACTS

#### CITY ENGINEERING

CITY OF HOLLYWOOD  
WILFORD ZEPHYR, P.E.  
2600 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33022  
PHONE: (954) 921-3254

#### BUILDING OFFICIAL

CITY OF HOLLYWOOD  
REGINALD COX  
2600 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33022  
PHONE: (954) 921-3335

#### CITY PLANNING/ZONING

CITY OF HOLLYWOOD  
2600 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33022  
PHONE: (954) 921-3471

#### WATER

CITY OF HOLLYWOOD  
JAMES RUSNAK  
2600 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33022  
PHONE: (954) 921-3302

#### STORMWATER

BROWARD COUNTY EPD  
JOHANA MARIAZ  
1 N. UNIVERSITY DRIVE  
PLANTATION, FL 33301  
PHONE: (954) 919-1243

#### CABLE

0300CAST CABLE  
LEONARD MAXWELL-NEWBOLD  
2601 S.W. 145TH AVE.  
MIRAMAR, FL 33027  
PHONE: (954) 447-8405

#### TELEPHONE

AT&T  
BILL SERPE  
8601 W. SUNRISE BLVD, ROOM 2106  
PLANTATION, FL 33322  
PHONE: (954) 476-6125

#### SANITARY SEWER

CITY OF HOLLYWOOD  
JAMES RUSNAK  
2600 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33022  
PHONE: (954) 921-3302

#### TRANSPORTATION

FLORIDA DEPT. OF TRANSPORTATION  
JAMES FORD  
3400 WEST COMMERCIAL BLVD.  
FT. LAUDERDALE, FL 33309  
PHONE: (954) 777-4383

#### ELECTRIC

FLORIDA POWER & LIGHT  
JAMES TALLEY  
4000 DAVIE ROAD EXTENSION  
HOLLYWOOD, FL 33024  
PHONE: (954) 442-6347

#### FIRE CHIEF

CITY OF HOLLYWOOD  
2741 STIRLING ROAD  
HOLLYWOOD, FL 33312  
PHONE: (954) 967-4248

#### NATURAL GAS

TECO PEOPLES GAS  
DOUG HOFFMAN  
15779 W. DIXIE HIGHWAY  
NORTH MIAMI, FL 33162  
PHONE: (954) 931-9742

#### MEETINGS

#### DATE

PRELIMINARY TAC  
09/06/16  
FINAL TAC  
\_\_\_\_\_  
PLANNING DEV. BOARD  
\_\_\_\_\_  
CITY COMMISSION  
\_\_\_\_\_

THE PRESENCE OF ROCK SHOULD BE ANTICIPATED  
ON THIS PROJECT. CONTRACTOR'S BID SHALL  
INCLUDE CONSIDERATION FOR ADDRESSING THIS  
ISSUE.

Always call 811 two full business days before you dig

**Sunshine811.com**

#### ALERT TO CONTRACTOR:

1. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE, WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE Dewatering, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
2. ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE. AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT, WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

PHASE VI RETAIL  
AT THE PLACE AT  
HOLLYWOOD  
FL  
CITY OF HOLLYWOOD  
C-000

**Kimley»Horn**

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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960  
PHONE: 772-794-4100  
WWW.KIMLEY-HORN.COM CA 00000696

KHA PROJECT	LICENSED PROFESSIONAL
123456789	GREG D. WILFONG, P.E.
DATE	08/11/16
SCALE AS SHOWN	1:1000
DESIGNED BY	GDW
DRAWN BY	RS
CHECKED BY	GDW

## GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES. SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO THE UTILITY COMPANIES, PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE PROVIDED TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

## DEMOLITION NOTES

- ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN AND LANDSCAPE PLAN FOR DEMOLITION/ PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
- CONTRACTOR SHALL ADJUST GRADE OF ANY EXISTING UTILITIES TO REMAIN.

## PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
- TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED. THESE AREAS SHALL BE SODDED OR SEDED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB, SHALL BE REPAVED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL):1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
- SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPAKTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

## RECORD DRAWINGS

- CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER A MINIMUM OF 10 HARD COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING, AS WELL AS BOTH IN AUTOCAD 2012 OR LATER, BOTH PREPARED BY A FLORIDA REGISTERED SURVEYOR. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE DESIGN PLANS OF THE SAME NAME.

## WATER AND SEWER UTILITY NOTES

- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK FULLY AND IN COMPLIANCE ACCORDING WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPE CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.J. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
- CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFLTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

## EROSION CONTROL NOTES

- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
- EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, CARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.

## EROSION CONTROL NOTES (CONT.)

- STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS. REFER TO SECTION 981 OF THE FDOT STANDARD SPECIFICATIONS FOR SEEDING AND MAINTENANCE REQUIREMENTS.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DU TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

## MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- ALL SEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
- ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

## TYPICAL ENGINEER OBSERVATIONS

CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

- PRE-CONSTRUCTION MEETING
- SUB-GRADE PREPARATION
- BASE INSTALLATION
- ASPHALT INSTALLATION
- UNDERGROUND PIPING AND UTILITIES INSTALLATION
- INSTALLATION OF STRUCTURES, DDCV, HYDRANTS, METERS, ETC.
- SIDEWALK INSTALLATION
- CONNECTIONS TO WATER AND SEWER MAINS
- TESTS OF UTILITIES

## 3RD PARTY TEST REPORTS REQ'D

TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:

- DENSITY TEST REPORTS
- BACTERIOLOGICAL TESTS OF WATER SYSTEM
- PRESURE TEST OF WATER/SEWER
- LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
- ANY OTHER TESTING REQUIRED BY THE AGENCY

## THE PRESENCE OF ROCK SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

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## ALERT TO CONTRACTOR:

- THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
- ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS, OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACTS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER THE LESSEE STATE PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

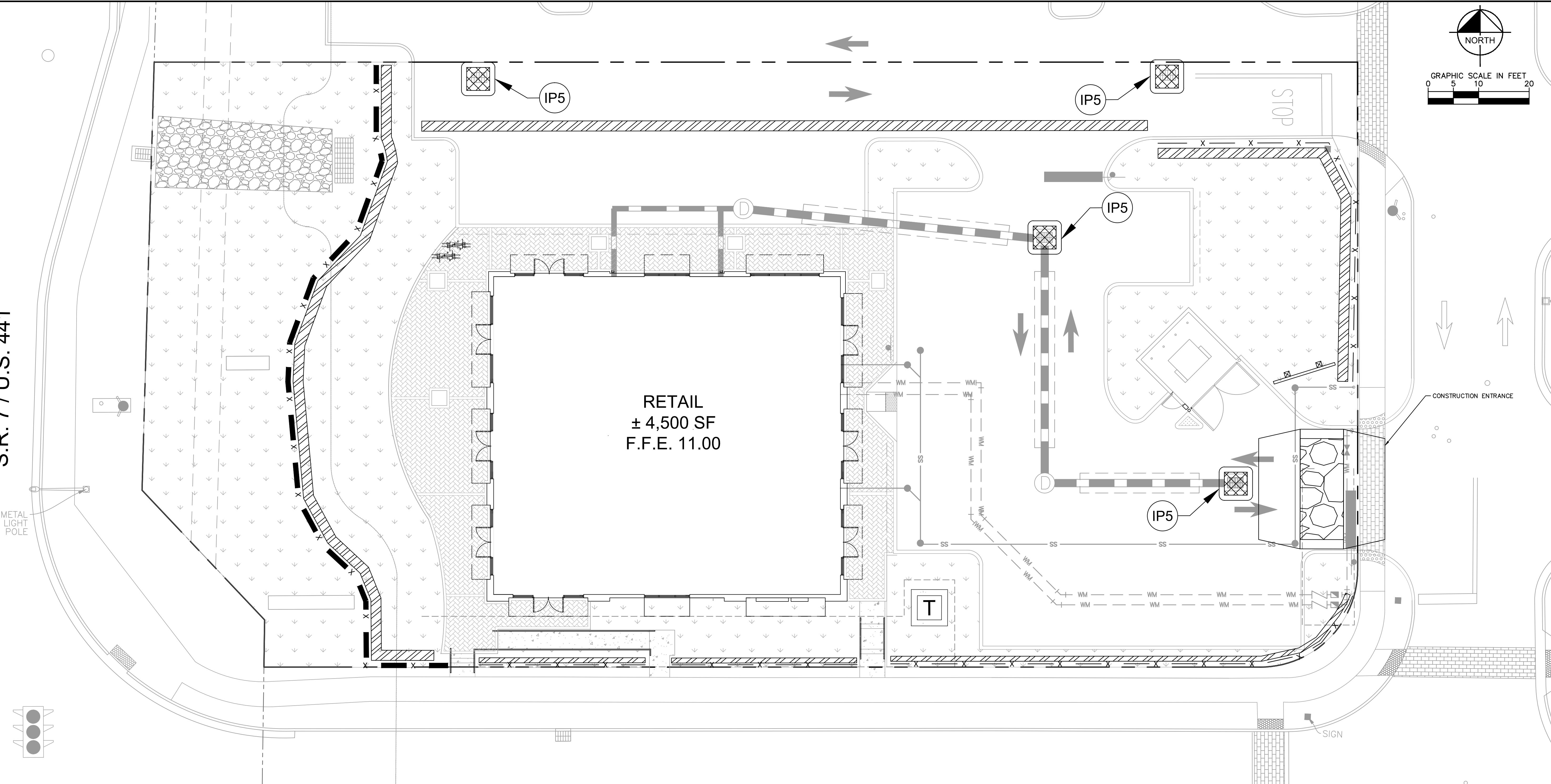
PHASE VI RETAIL  
AT THE PLACE AT  
HOLLYWOOD

CITY OF HOLLYWOOD  
SHEET NUMBER  
C-001

Kimley»Horn

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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960  
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**NOTES**

- ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. PORTABLE TOILETS MUST BE LOCATED AT LEAST 30 FEET FROM INLETS, CHANNELS, SWALES, OR PERMITTED LIMITS OF DISTURBANCE, AND MUST BE LOCATED AT LEAST 50 FEET FROM WATERS OF THE STATE, OR WATERS OF THE U.S. PORTABLE TOILETS MUST BE SECURELY ANCHORED AND/OR TIED DOWN. SECONDARY CONTAINMENT SHALL BE PROVIDED AND FULL CAPACITY SHALL BE RESTORED IMMEDIATELY UPON DISCOVERY OF ITS DIMINISHMENT. THE LOCATION OF SANITARY FACILITIES SHALL BE SHOWN ON THE SITE MAPS. SANITARY FACILITIES MUST BE RESTORED IMMEDIATELY UPON DISCOVERY OF ITS DIMINISHMENT.
- LARGE AREAS OF SOIL THAT ARE DENUDED OF VEGETATION AND HAVE NO PROTECTION FROM PARTICLES BEING PICKED UP AND CARRIED BY WIND SHOULD BE PROTECTED WITH A TEMPORARY COVER OR KEPT UNDER CONTROL WITH WATER OR OTHER SOIL ADHERING PRODUCTS TO PREVENT SOIL PARTICLES FROM BECOMING AIRBORNE, AND FROM EXITING THE SITE PERIMETER.
- WATER TRUCKS OR OTHER DUST CONTROL AGENTS SHALL BE USED AS NEEDED DURING CONSTRUCTION TO MINIMIZE DUST GENERATED ON SITE. FABRICATORS MAY BE USED TO HOLD SOIL IN PLACE AND PREVENT DUST. NO DUST CONTROL AGENTS SHALL BE USED ON THE PROJECT SITE; ANY CHEMICAL APPLICATION NOT INCLUDED IN THE SWPPP MUST BE APPROVED, IN WRITING, BY THE CIVIL ENGINEER.
- DUST CONTROL MUST BE PROVIDED BY THE GC TO A DEGREE THAT IS IN COMPLIANCE WITH APPLICABLE FEDERAL, LOCAL AND STATE DUST CONTROL REGULATIONS.
- THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- IN ADDITION TO BMPs, GC SHALL PERFORM PRACTICES AND PROCEDURES WHICH MINIMIZE AND PREVENT AIRBORNE DUST OR OTHER PARTICLES FROM OCCURRING.
- ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN A MANNER THAT PREVENTS DUST FROM ENTERING STORM DRAIN INLETS.
- TO PREVENT CLOGGING, STORM DRAIN CONTROL STRUCTURES MUST BE MAINTAINED FREQUENTLY.
- CHECK ALL TEMPORARY CONTROL MEASURES DAILY, AND AFTER EACH STORM EVENT.
- CONTROL MEASURES MUST BE BUILT PER DETAIL AND PLAN, AND MUST BE IN GOOD WORKING CONDITION AT ALL TIMES.
- CONSTRUCTION SITE MAPS AND BEST MANAGEMENT PRACTICES SHALL BE PROVIDED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS, NO ADDITIONAL COST OF OWNER, THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- SITE MAN MUST CLEARLY DELINEATE ALL STATE WATERS PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTROLS TO LIMIT DISTURBANCE OF SITE IN STORM ACCORDANCE WITH SWPPP IMPLEMENTATION SEQUENCING, OR AS REQUIRED BY THE APPLICABLE GENERIC PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- ALL DENUDED/BARE AREAS THAT WILL BE INACTIVE FOR 7-DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-DETERMINING ANNUAL GRASS/GRAN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, NETTING AND/OR BLANKETS. COMPLETION MUST BE ACHIEVED WITHIN 7 DAYS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEDEDDED, SODDED, AND/OR VEGETATED IMMEDIATELY, AND COMPLETED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. TEMPORARY AND/OR PERMANENT STABILIZATION SHALL BE PROVIDED FOR ADEQUATE DRAINAGE.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF SITE.
- ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE SITE PLANS.
- STORM WATER POLLUTANT CONTROL MEASURES INSTALLED DURING CONSTRUCTION, THAT WILL ALSO PROVIDE STORM WATER MANAGEMENT BENEFITS AFTER CONSTRUCTION, ARE INCLUDED IN THE CONTRACT DOCUMENTS. THE SITE-SPECIFIC POST CONSTRUCTION STORM WATER OPERATION AND MAINTENANCE (O&M) MANUAL IS INCLUDED IN THE CONTRACT DOCUMENTS.
- ALL CONTROLS AND SYSTEMS MUST BE INSTALLED AND FUNCTIONING AS DESIGNED AND FREE OF ACCUMULATED SEDIMENT AND DEBRIS DURING FINAL PROJECT INSPECTION AND APPROVAL.

**LEGEND**

- PROPERTY LINE
- LIMITS OF DISTURBANCE
- PARCEL LINES
- X CHAIN LINK FENCE
- FILTREXX SEDIMENT CONTROL
- STORM SEWER PIPE
- SS SWPPP INFORMATION SIGN
- IP5 INLET PROTECTION FILTER SACK
- CONSTRUCTION EXIT
- PERMANENT SODDING

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**ALERT TO CONTRACTOR:**

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- ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND OTHER WORK) DURING THE MILESTONE DATE IN PROJECT DOCUMENTS, OUTLOT OUTLET SHALL BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

**PHASE VI RETAIL  
AT THE PLACE AT  
HOLLYWOOD**

**Kimley»Horn**

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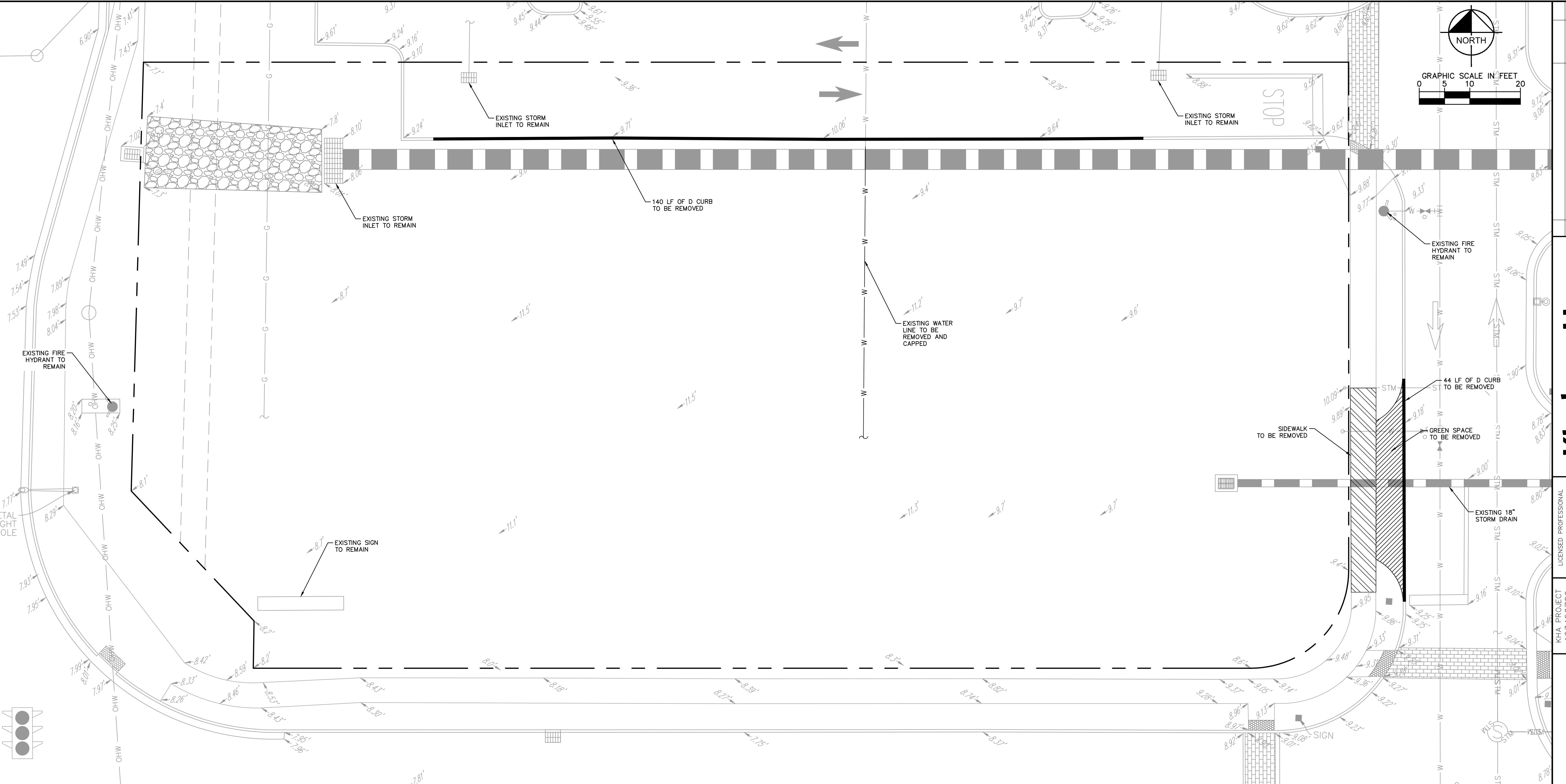
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KHA PROJECT 123456789  
DATE 08/11/16  
SCALE AS SHOWN  
DRAWN BY GOW  
CHECKED BY GOW  
LICENCED PROFESSIONAL  
GREG D. WILFONG, P.E.  
FL LICENSE NUMBER 63166  
DRAWN BY RS  
CHECKED BY GOW

FL  
CITY OF HOLLYWOOD



## S.R. 7 / U.S. 441



### NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, AND OTHER CONCRETE PAVING, LIGHT POLES, FOUNDATIONS, DRAINS, UTILITIES, LANDSCAPING MATERIALS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE RESTORED. ALL UTILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID BY THE UTILITY COMPANY. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. NO WARRANTIES ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES AND APPROVED BY OWNER.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- CONTRACTOR MAY LIMIT SAW-OUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY OF HOLLYWOOD UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF HOLLYWOOD DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.
- THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS REQUIRED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THE THIS DEMOLITION PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBONE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.

### LEGEND

- PROPERTY LINE
- LIMITS OF DISTURBANCE
- CURB TO BE REMOVED
- LANDSCAPE TO BE REMOVED
- ASPHALT TO BE REMOVED

### ALERT TO CONTRACTOR:

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- ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS).
- ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS).

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## PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD

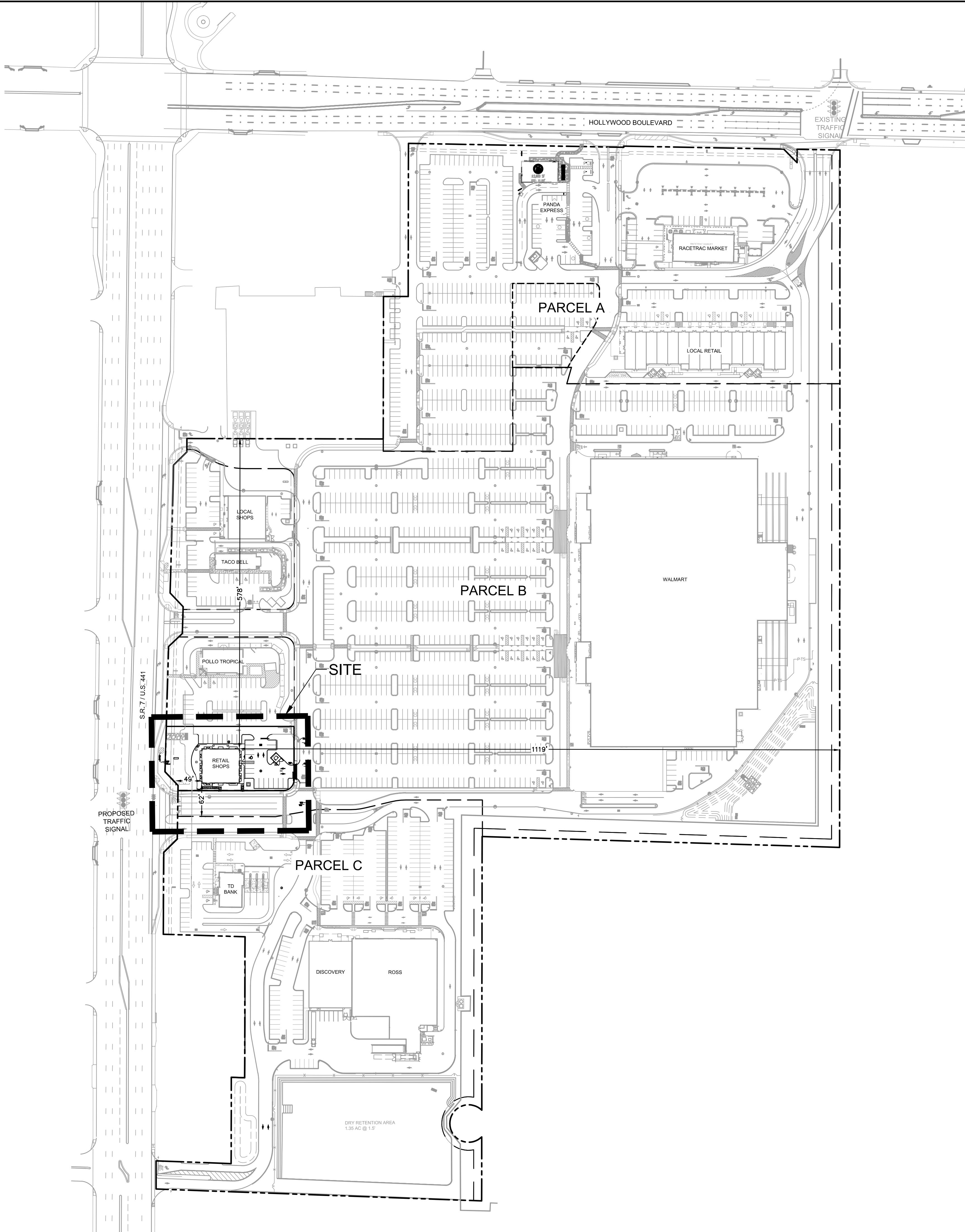
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## Kimley»Horn

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PHONE: 772-794-4100  
WWW.KIMLEY-HORN.COM CA 00000696

KHA PROJECT	123456789	LICENSED PROFESSIONAL
DATE	08/11/16	GREG D. WILFONG, P.E.
DESIGNED BY	GDW	FL LICENSE NUMBER
DRAWN BY	RS	63166
CHECKED BY	GDW	DATE

CITY OF HOLLYWOOD  
CITY OF HOLLYWOOD



#### LEGEND

	PROPOSED STAMPED COLOR CONCRETE
	PROPOSED CONCRETE
	PROPERTY LINE
	SETBACK LINE
	LIMIT OF SCOPE OF WORK
	PARCEL LINES

#### OVERALL SITE DATA

LEGAL DESCRIPTION:	PARCELS 'A', 'B' AND 'C', 'HOLLYWOOD PLAZA' ACCORDING TO THE PLAT THEREFORE, AS RECORDED IN PLAT BOOK 181, PAGE 12, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
LOCATION:	SECTION 13, TOWNSHIP 51 S, RANGE 41 E
ADDRESS:	333 S. STATE ROAD 7, HOLLYWOOD, FL 33023
ZONING:	SR7 CCD-CC: COMMERCIAL CORRIDOR DISTRICT - COMMERCIAL CORE SUB-AREA C-2: LOW/MEDIUM INTENSITY COMMERCIAL DISTRICT C-3: MEDIUM INTENSITY COMMERCIAL DISTRICT
LAND USE:	71: TRANSIT ORIENTED CORRIDOR
NET AREA:	1,747,214 SF OR 40.11 AC
NOTES:	THE MAXIMUM FOOT-CANDLE LEVEL AT PROPERTY LINES (MAXIMUM 0.5 ADJACENT TO RESIDENTIAL).
REVISIONS:	No.

#### SITE DATA: (PHASE VI RETAIL SHOPS)

##### LOT COVERAGE:

BUILDING AREA:	4,500 SF	0.10 AC	16.00%
PERVIOUS AREA:	0,637 SF	0.22 AC	34.27%
VEHICULAR USE AREA:	10,897 SF	0.25 AC	38.75%
WALKWAYS/IMPERVIOUS AREA:	3,086 SF	0.08 AC	10.97%

28,120 SF 0.65 AC 100.00%

VEHICULAR USE AREA: 10,897 SF

REQUIRED LANDSCAPING FOR VEHICULAR USE AREA: 25% or 2,724 SF

PROVIDED: 19.90% or 2,169 SF

##### BUILDING SETBACKS:

	REQUIRED	PROVIDED
FRONT	15'	49'
REAR	15'	1119'
SIDE (NORTH)	15'	578'
SIDE (SOUTH)	15'	62'

#### DEVELOPMENT SUMMARY (PHASE VI)

SITE AREA:	0.65 AC
ZONING DISTRICT:	C-2
MAX. BUILDING HEIGHT:	REQUIRED MAX. HEIGHT: 60'(5 STORIES) PROVIDED 24'

##### BUILDING DATA FOR SHOPPING CENTER:

###### EXISTING

PARCEL A	PANDA EXPRESS	2,600 SF
	LOCAL RETAIL	19,720 SF
	RACETRAC	5,928 SF
	TOTAL PARCEL A	28,248 SF

PARCEL B	WALMART (GROSS LEASABLE AREA)	186,315 SF
	LOCAL SHOPS	5,600 SF
	TACO BELL	2,556 SF
	POLLO TROPICAL	3,505 SF
	RETAIL SHOPS (PHASE VI)	4,300 SF
	TOTAL PARCEL B	202,476 SF

PARCEL C	ROSS	27,250 SF
	DISCOVERY	10,042 SF
	TD BANK	2,967 SF
	TOTAL PARCEL C	40,259 SF

GRAND TOTAL 270,283 SF

VARIANCE BOX		ALLOWED	PROPOSED	SIGN LOCATION	SUMMARY
PROPOSED SIGNAGE	VARIANCE				
PARCEL "B"	1 MONUMENT SIGN PER FRONTAGE	1 MONUMENT SIGN ON WEST SIDE	1 MONUMENT SIGN ON WEST SIDE		VARIANCE FOR ADDITIONAL MONUMENT SIGN (24 SF PER SIDE, 4' HEIGHT)
PROPOSED VEHICULAR USE AREA VARIANCE					
VEHICULAR USE AREA	25% OR 27,224 SF	19.90% OR 2,168 SF			VEHICULAR USE AREA NOT MET DUE TO SITE RESTRAINTS

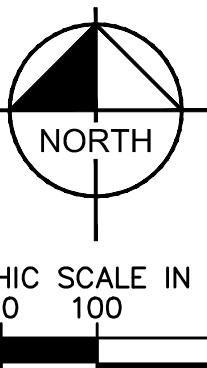
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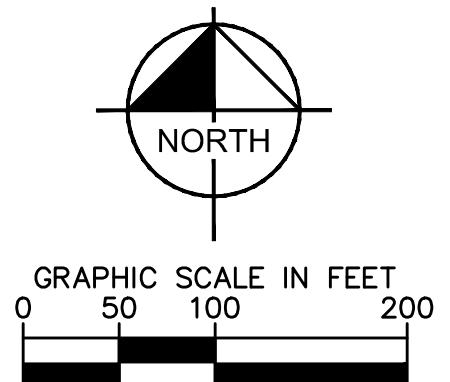
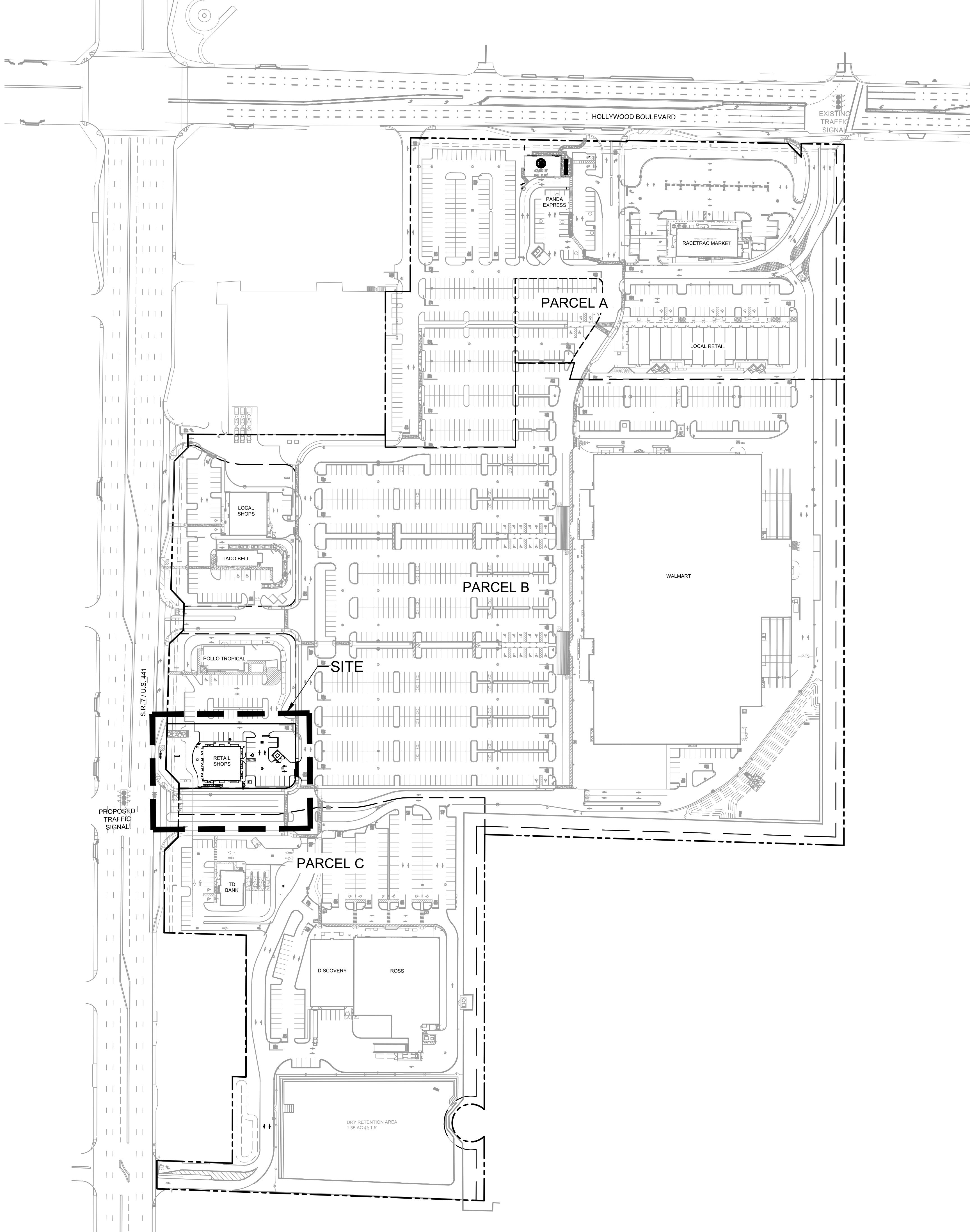


KHA PROJECT	123456789	LICENSED PROFESSIONAL
DATE	08/11/16	GREG D. WILFONG, P.E.
SCALE AS SHOWN		FL LICENSE NUMBER
DESIGNED BY	GDW	63166
DRAWN BY	RS	
CHECKED BY	GDW	
FL		

**Kimley»Horn**

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PHONE: 772-794-4100  
WWW.KIMLEY-HORN.COM CA 00000696

SHEET NUMBER  
C-300



PARKING SUMMARY		REQUIRED	PROVIDED
<b>PARCEL A</b>			
RACETRAC			
STANDARD	27	27	
ACCESSIBLE PER ADA	2	2	
TOTAL	29	29	
PARKING RATIO	4.89 SP/ 1000 SF	4.89 SP/ 1000 SF	
LOCAL RETAIL			
STANDARD	104	112	
ACCESSIBLE PER ADA	5	10	
LOADING SPACES	1	1	
TOTAL	110	122	
PARKING RATIO	5.58 SP/ 1000 SF	6.19 SP/ 1000 SF	
PANDA EXPRESS			
STANDARD	18	33	
ACCESSIBLE PER ADA	2	2	
LOADING SPACES	0	0	
TOTAL	20	35	
PARKING RATIO	7.43 SP/ 1000 SF	13.01 SP/ 1000 SF	
STANDARD	300*	303	
ACCESSIBLE PER ADA	0	0	
*300 PER CROSS PARKING AGREEMENT			
<b>TOTAL</b>	<b>459</b>	<b>489</b>	
<b>PARCEL B</b>			
WALMART			
STANDARD	828	826	
ACCESSIBLE PER ADA	19	26	
CART CORRALS	N/A	29 (NOT INCLUDED IN TOTAL)	
TOTAL	847	852	
PARKING RATIO	4.55 SP/1000 SF	4.58SP/1000 SF	
LOADING SPACES	4 (10' X 25')	6 (10' X 130')	
LOCAL SHOPS			
STANDARD	24	27	
ACCESSIBLE PER ADA	2	2	
TOTAL	26	29	
PARKING RATIO	4.55 SP/1000 SF	5.18SP/1000 SF	
TACO BELL			
STANDARD	11	26	
ACCESSIBLE PER ADA	1	2	
TOTAL	12	28	
PARKING RATIO	4.55 SP/1000 SF	10.95 SP/1000 SF	
POLLO TROPICAL			
STANDARD	15	35	
ACCESSIBLE PER ADA	1	2	
TOTAL	16	37	
PARKING RATIO	4.55 SP/1000 SF	10.56 SP/1000 SF	
PHASE VI			
STANDARD	20	24	
ACCESSIBLE PER ADA	1	1	
TOTAL	21	25	
PARKING RATIO	4.55 SP/1000 SF	5.55 SP/1000 SF	

PARCEL C			
TD BANK			
STANDARD	13	28	
ACCESSIBLE PER ADA	1	2	
LOADING SPACES	0	0	
TOTAL	14	30	
PARKING RATIO	4.55 SP/ 1000 SF	10.11 SP/ 1000 SF	
RETAIL A & B			
STANDARD	164	164	
ACCESSIBLE PER ADA	6	6	
TOTAL	170	170	
PARKING RATIO	4.55 SP/ 1000 SF	4.56 SP/ 1000 SF	
LOADING SPACES	3	3	

NOTE: REQUIRED PARKING SPACES FOR ALL BUILDING USES WERE CALCULATED BASED ON SHOPPING CENTER REQUIREMENT OF ISP/220SF.

## PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD

CITY OF HOLLYWOOD  
SHEET NUMBER  
**C-301**

KHA PROJECT  
123456789  
DATE  
08/11/16  
SCALE AS SHOWN  
FL

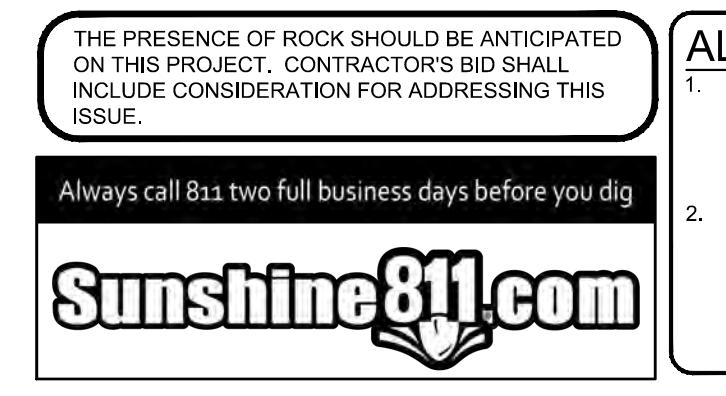
LICENSED PROFESSIONAL  
GREG D. WILFONG, P.E.

DESIGNED BY  
GOW

DRAWN BY  
RS

CHECKED BY  
GOW

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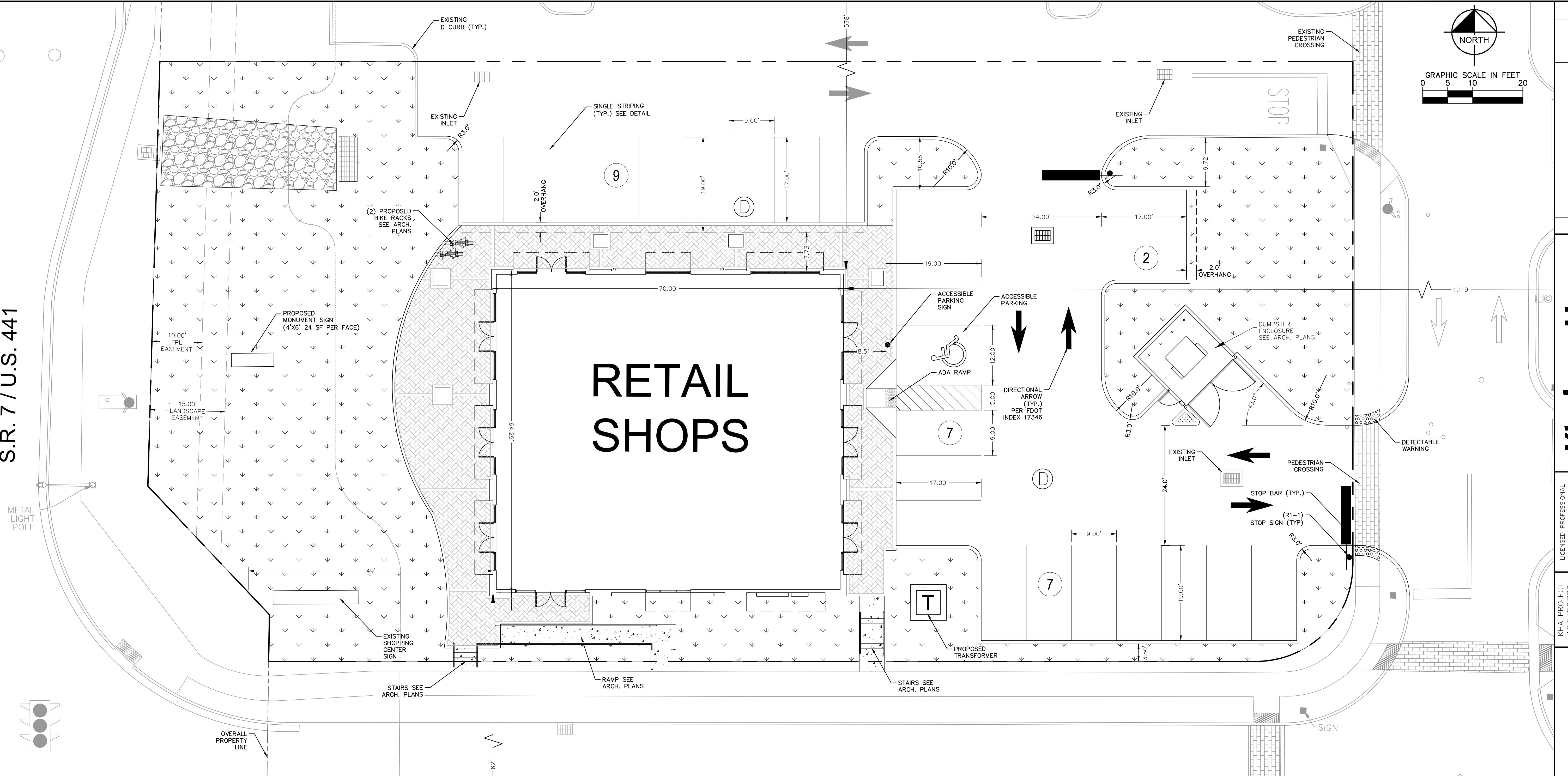


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S.R. 7 / U.S. 441

# RETAIL SHOPS



## LEGEND

- PROPOSED STAMPED COLOR ASPHALT
- PROPOSED GREEN SPACE
- PROPOSED PAVERS
- PROPOSED LEASE LINE
- EXISTING FIRE HYDRANT
- PROPOSED TYPE "D" CURB
- PROPOSED PARKING SPACES

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PHASE VI RETAIL  
AT THE PLACE AT  
HOLLYWOOD

SHEET NUMBER  
C-302

**Kimley»Horn**

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DATE BY

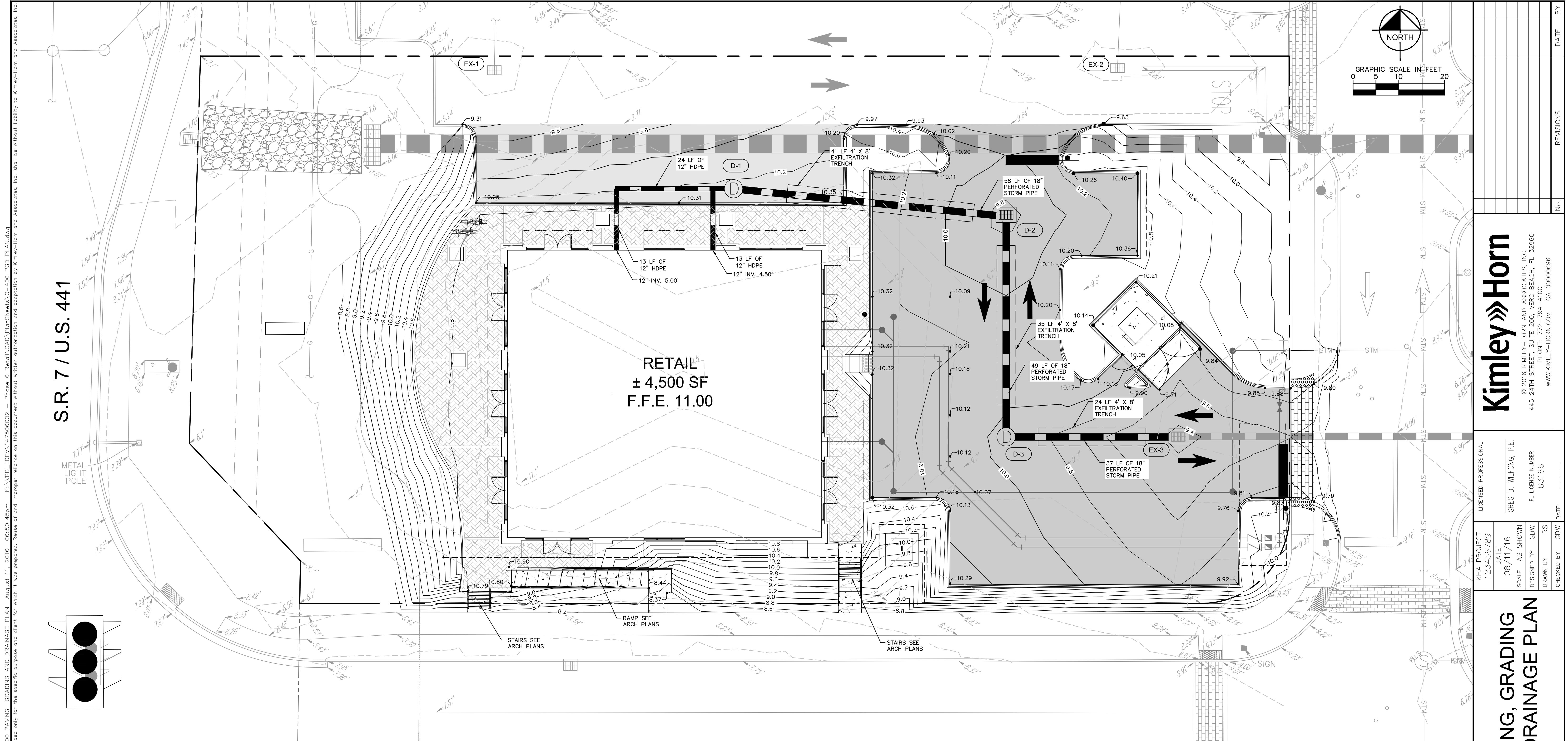
No.

REVISIONS

DATE

BY





#### DRAINAGE STRUCTURE TABLE

**(EX-1)**  
FDOT TYPE C INLET  
RIM EL. 8.70'  
INV. EL. 8.70' (N)

**(EX-2)**  
FDOT TYPE C INLET  
RIM EL. 8.82

**(EX-3)**  
FDOT TYPE C INLET  
ADJUST RIM FROM 9.91' TO 9.35'  
INV. EL. 0.45' (E)  
INV. EL. 0.50' (W)

**(D-1)**  
STORM MANHOLE  
RIM EL. 10.25  
INV. EL. 0.50 (E)  
INV. EL. 4.00 (W)

**(D-2)**  
FDOT TYPE C INLET  
RIM EL. 9.74  
INV. EL. 0.50 (W)  
INV. EL. 0.50 (S)

**(D-3)**  
STORM MANHOLE  
RIM EL. 9.95  
INV. EL. 0.50 (N)  
INV. EL. 0.50 (E)

#### LEGEND

PROPOSED STAMPED COLOR ASPHALT

PROPOSED PAVERS

PROPOSED STANDARD DUTY ASPHALT

PROPOSED HEAVY DUTY ASPHALT

PROPOSED CONCRETE

PROPOSED LEASE LINE

PROPOSED STORM PIPE

STORMWATER INLET

STORMWATER MANHOLE

EXISTING FIRE HYDRANT

#### BROWARD COUNTY DRAINAGE REQUIREMENTS

SITE DATA	REQUIRED	PROVIDED
MAX IMPERVIOUS	50% OR 0.32 ACRES	49.72% OR 0.33 ACRES
MAX BUILDING	35% OR 0.23 ACRES	16.00% OR 0.10 ACRES
MIN PERVEROUS	15% OR 0.10 ACRES	34.27% OR 0.22 ACRES
EXFIL. TRENCH	100 LF	100 LF
F.F.E.	11.00'	11.00'

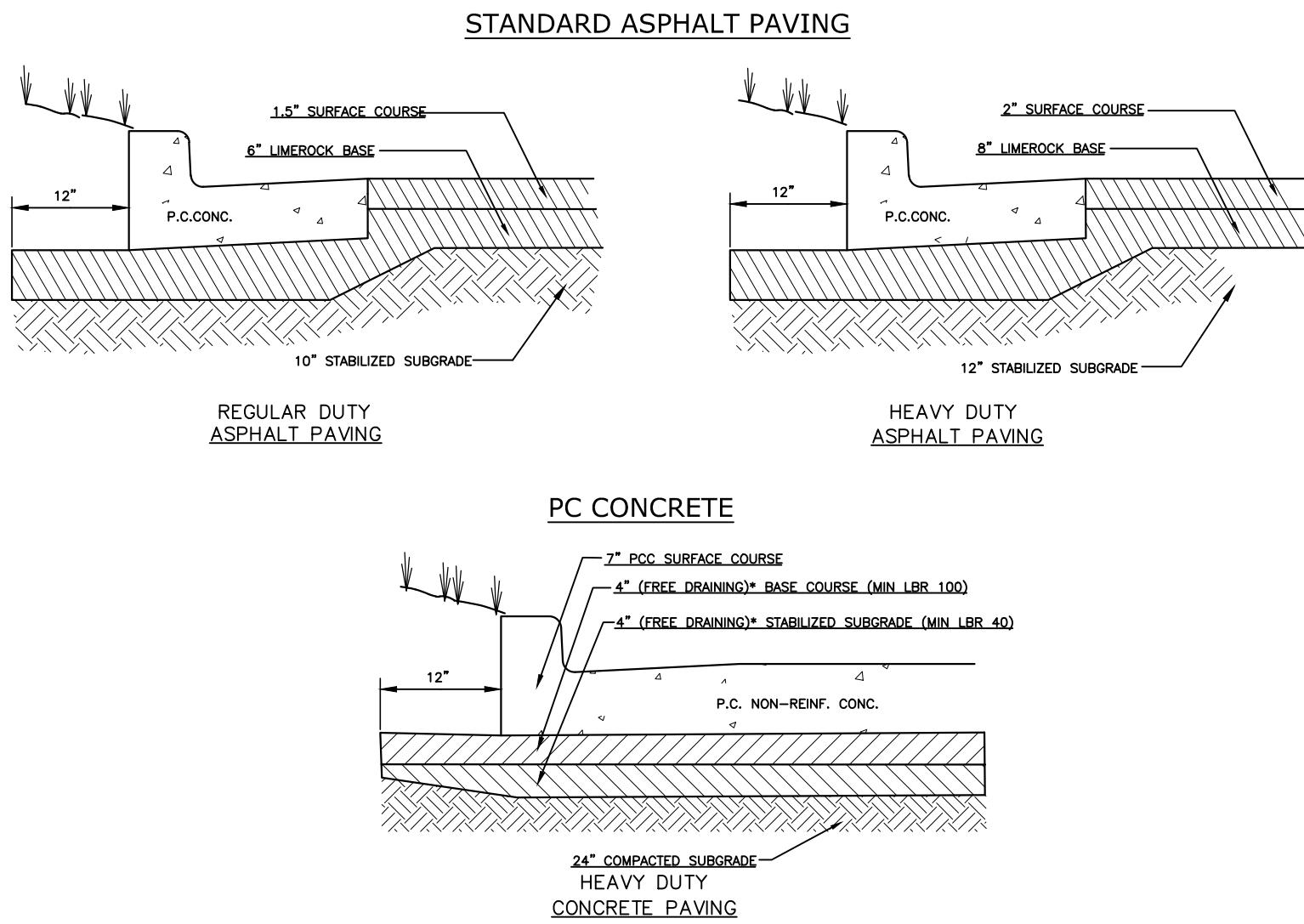
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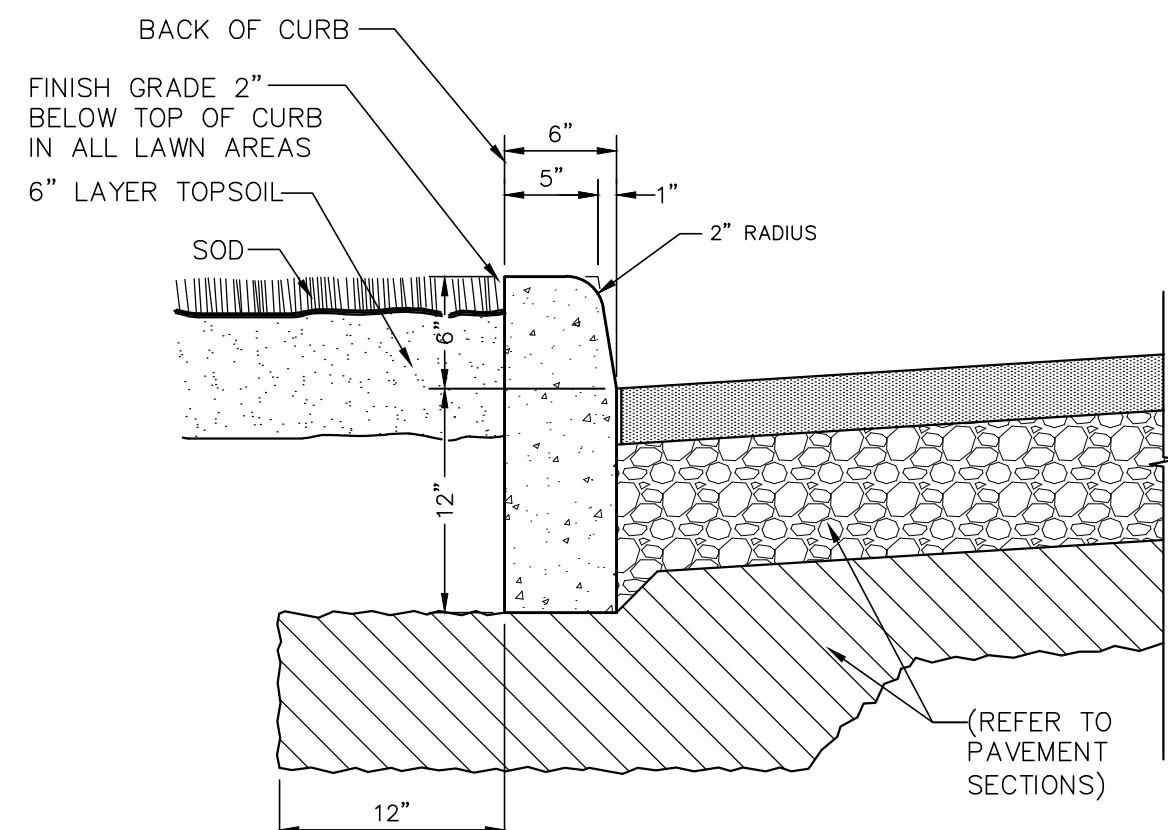


NOTES:

1. FOR PREPARATION OF SUBGRADE, FILL PLACED WITHIN 12 INCHES OF BOTTOM OF STABILIZED SUBGRADE SHOULD BE COMPAKTED TO AT LEAST 98% OF THE MATERIAL'S MODIFIED PROCTOR (AASHTO T 180 / ASTM D 1557) MAXIMUM DRY DENSITY. FILL PLACED BELOW THIS LEVEL SHOULD BE COMPAKTED TO AT LEAST 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY.
2. STABILIZED SUBGRADE SHOULD BE COMPAKTED TO A MINIMUM OF 98% OF THE MATERIAL'S MODIFIED PROCTOR (AASHTO T 180 / ASTM D 1557) MAXIMUM DRY DENSITY.
3. LIMEROCK BASE COURSE SHOULD CONFORM TO THE REQUIREMENTS OF SECTION 200 OF THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND BE COMPAKTED TO AT LEAST 98% OF THE MATERIAL'S MODIFIED PROCTOR (AASHTO T 180 / ASTM D 1557) MAXIMUM DRY DENSITY.
4. ASPHALTIC SURFACE COURSE MIXTURES SHOULD BE IN ACCORDANCE WITH TYPE REFERENCED IN SECTION 330 OF THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE MIXTURE SHOULD HAVE A MINIMUM MARSHALL DENSITY OF 1,400 POUNDS AND THE SURFACE COURSE SHOULD BE COMPAKTED TO A MINIMUM OF 95% MARSHALL DENSITY (ASTM SPECIFICATION D 1559).
5. THE PORTLAND CEMENT CONCRETE PAVEMENT MIXTURE SHOULD BE IN ACCORDANCE WITH THE AIR-ENTRAINED CONCRETE FOR PAVEMENT SECTION 350 OF THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE MIXTURE SHOULD BE DESIGNED TO DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH A 4 INCH MINIMUM SLUMP AND 5% TO 7% ENTRAINED AIR.
6. (\*) BASE AND STABILIZED SUBGRADE COURSES BEHNEATH CONCRETE PAVEMENT SHALL HAVE A MINIMUM PERMEABILITY - (K) GREATER THAN OR EQUAL TO 0.001cm/sec. BASE AND SUBGRADE MATERIALS SHOULD BE COMPAKTED TO AT LEAST 98% OF THE MATERIAL'S MODIFIED PROCTOR (AASHTO T 180 / ASTM D 1557) MAXIMUM DRY DENSITY.

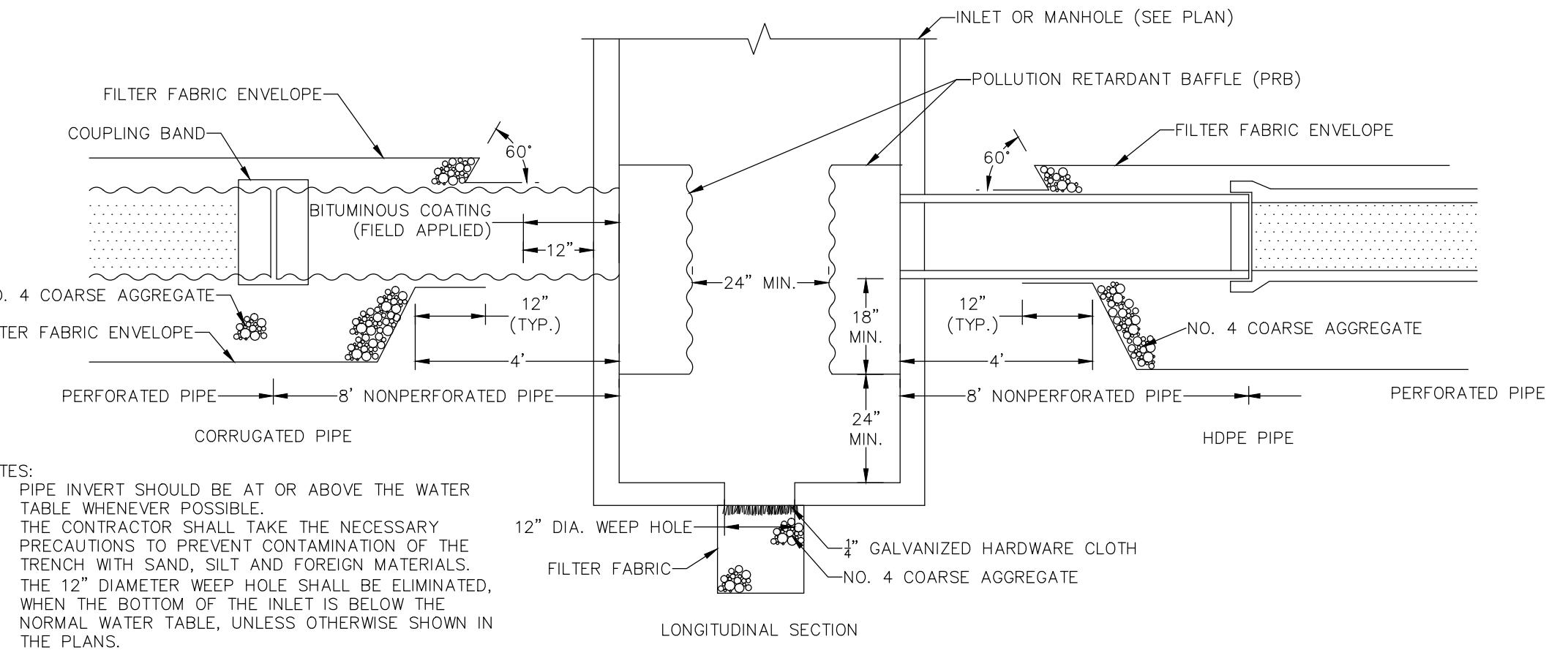
FOR LIMEROCK, COQUINA, BANKRUN SHELL OR CRUSHED CONCRETE, MIN. LBR=100. FOR SOIL CEMENT BASE, MIN. (?) DAY COMPRESSIVE STRENGTH=300 PSI.

CONTROL JOINTS FOR CRACK CONTROL SHOULD BE CLOSELY SPACED, BETWEEN 8 TO 12 FEET APART. CONTROL JOINTS SHOULD BE PROVIDED IN A UNIFORM JIGSAW OR RECTANGULAR PATTERN. THE JOINTS SHOULD BE SUBMITTED FOR REVIEW AND APPROVED PRIOR TO CONSTRUCTION. CONTROL JOINTS SHOULD BE SAWED AS SOON AS THE CONCRETE CAN WITHSTAND TRAFFIC, AND CONCRETE SURFACE AND AGGREGATE Raveling CAN BE PREVENTED.



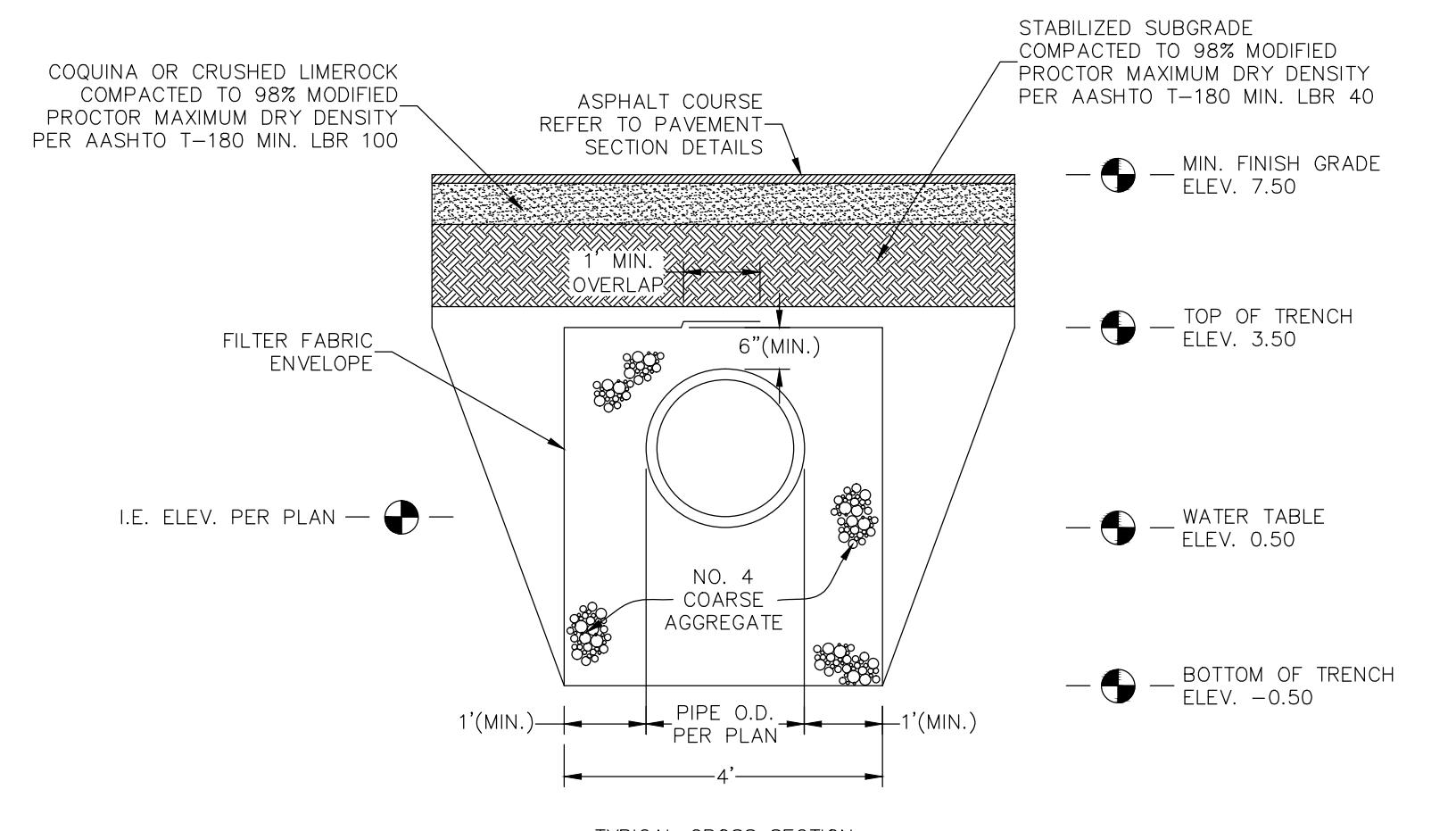
MODIFIED TYPE "D" CURB DETAIL

N.T.S.  
DETAIL PROVIDED BY KIMLEY-HORN AND ASSOCIATES, INC.



NOTES:

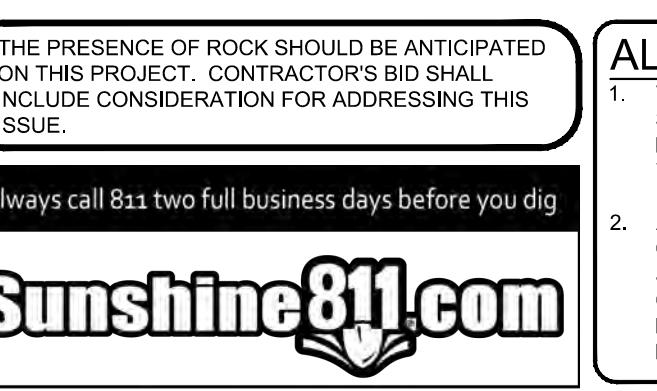
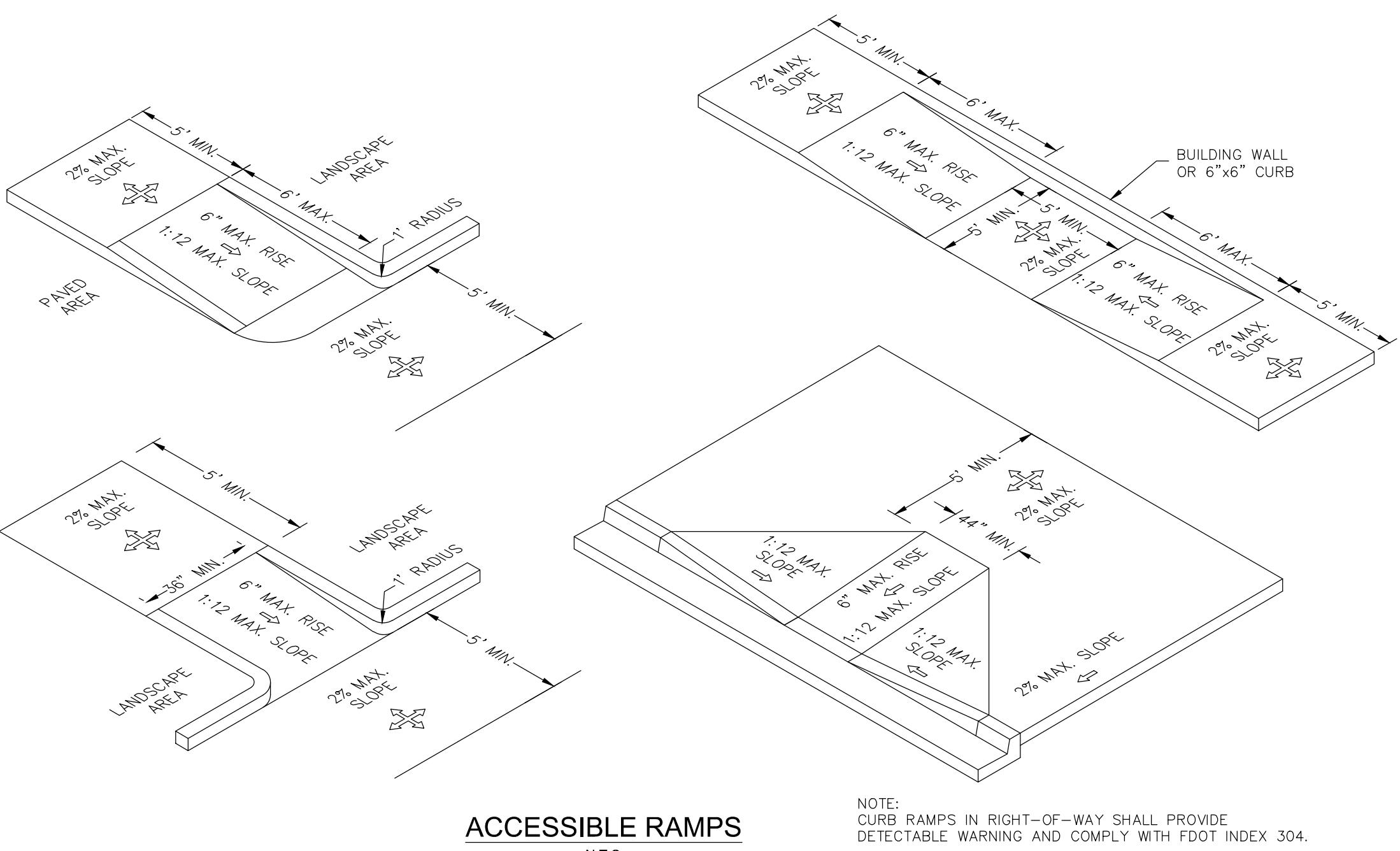
1. PIPE INVERT SHOULD BE AT OR ABOVE THE WATER TABLE WHENEVER POSSIBLE.
2. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH WITH SAND, SILT AND FOREIGN MATERIALS.
3. THE 12" DIAMETER WEEP HOLE SHALL BE ELIMINATED, WHEN THE BOTTOM OF THE INLET IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN IN THE PLANS.



EXFILTRATION TRENCH  
N.T.S.

PHASE VI RETAIL  
AT THE PLACE AT  
HOLLYWOOD  
PAVING, GRADING  
AND DRAINAGE  
DETAILS

FL  
CITY OF HOLLYWOOD  
C-401  
SHEET NUMBER  
C-401



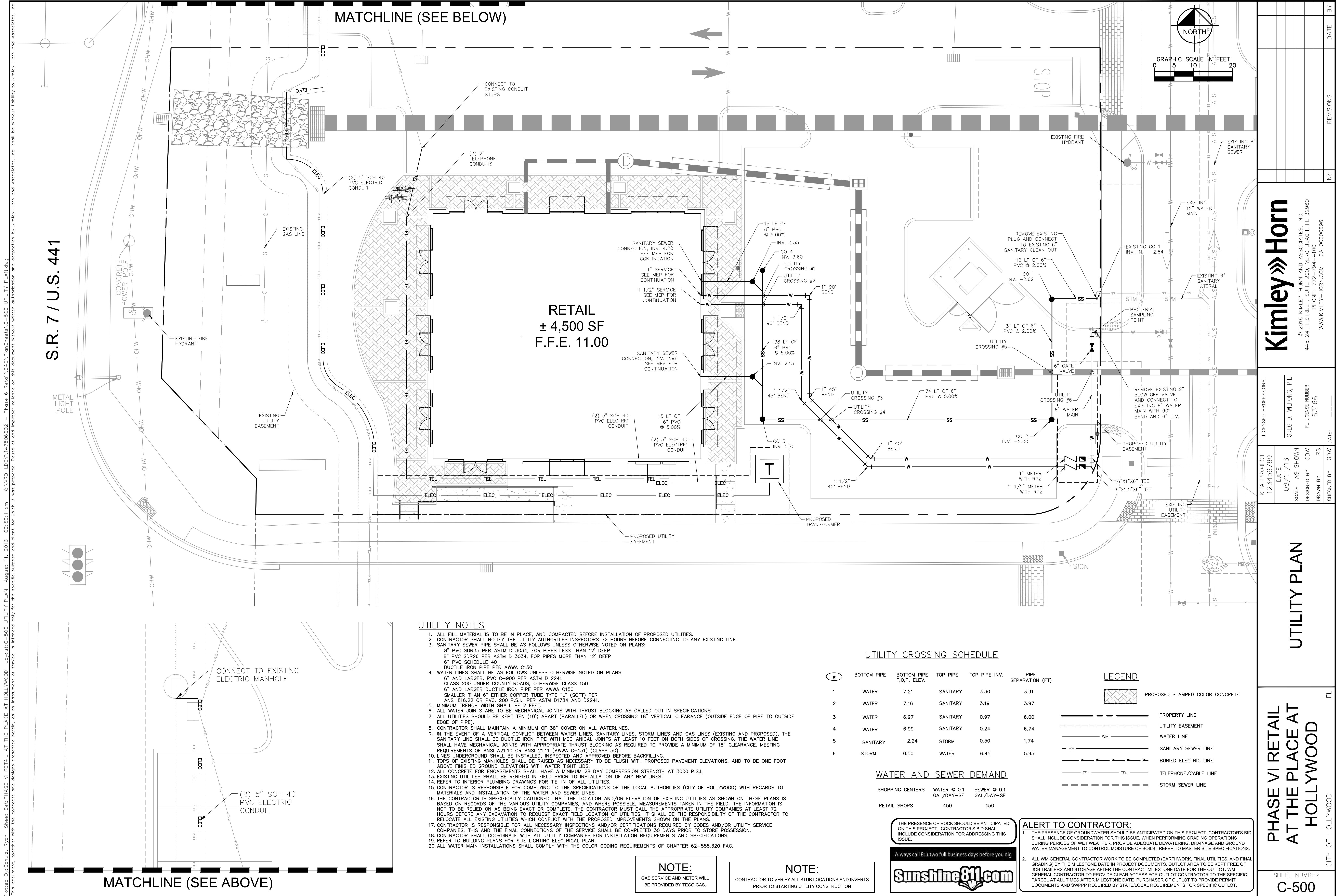
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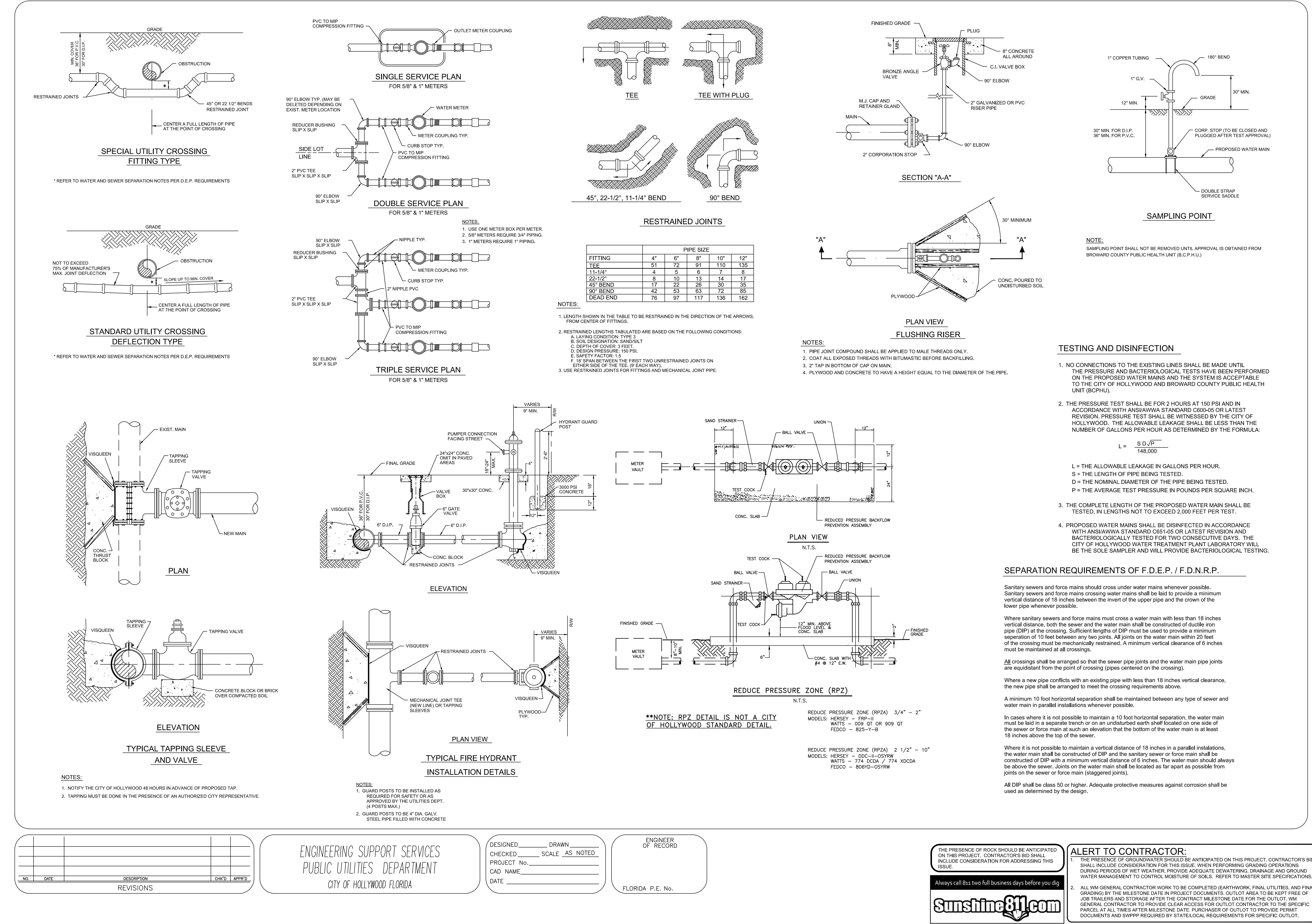
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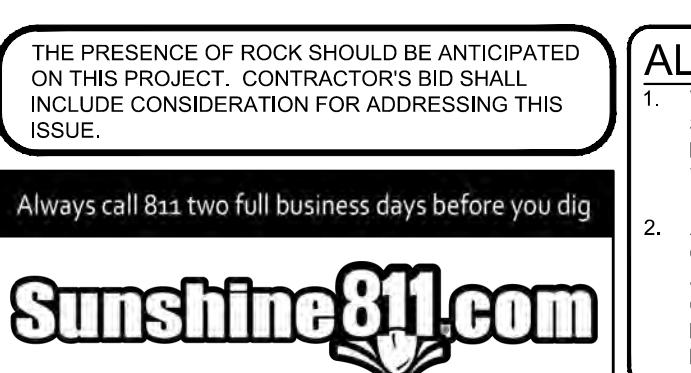
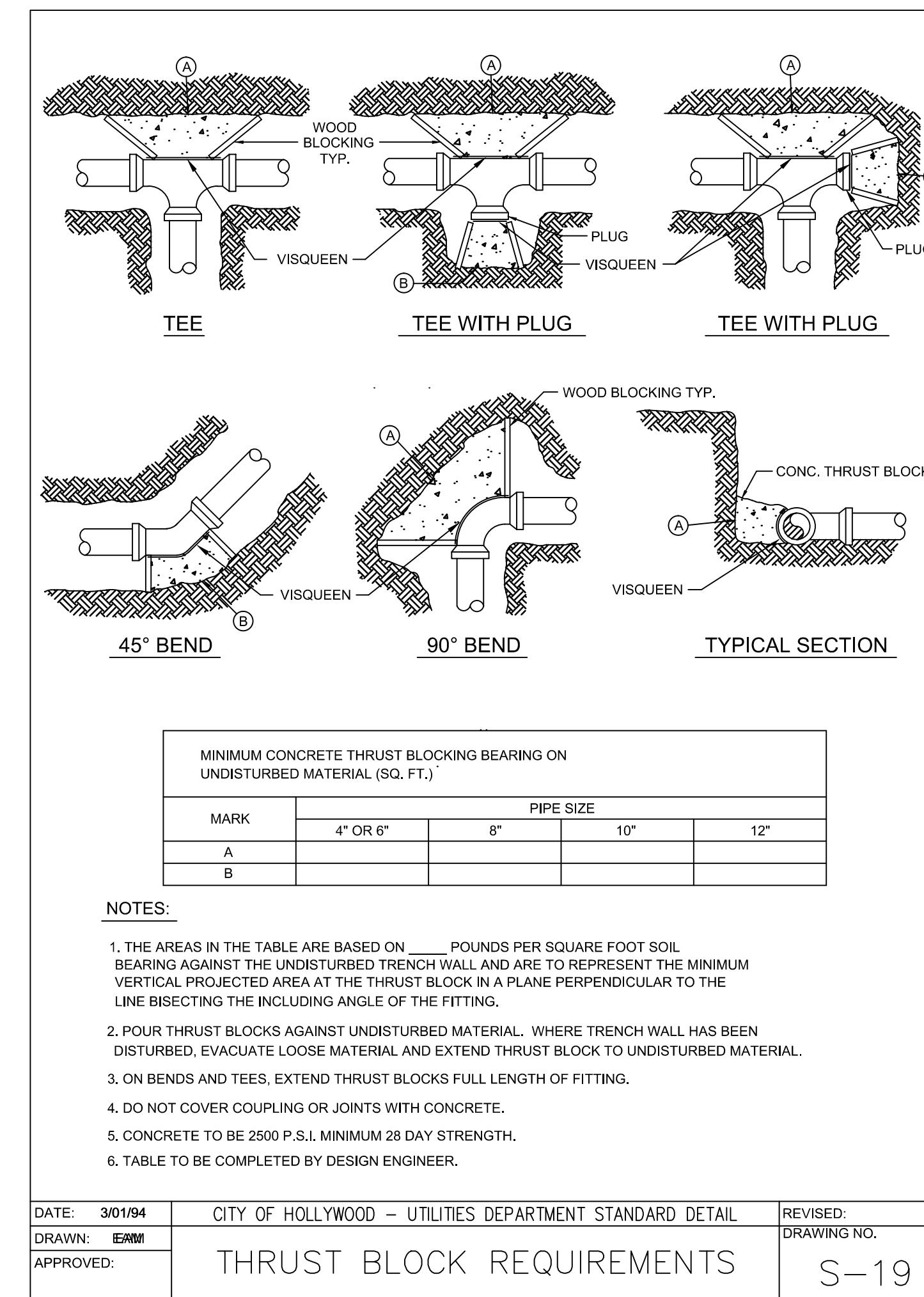
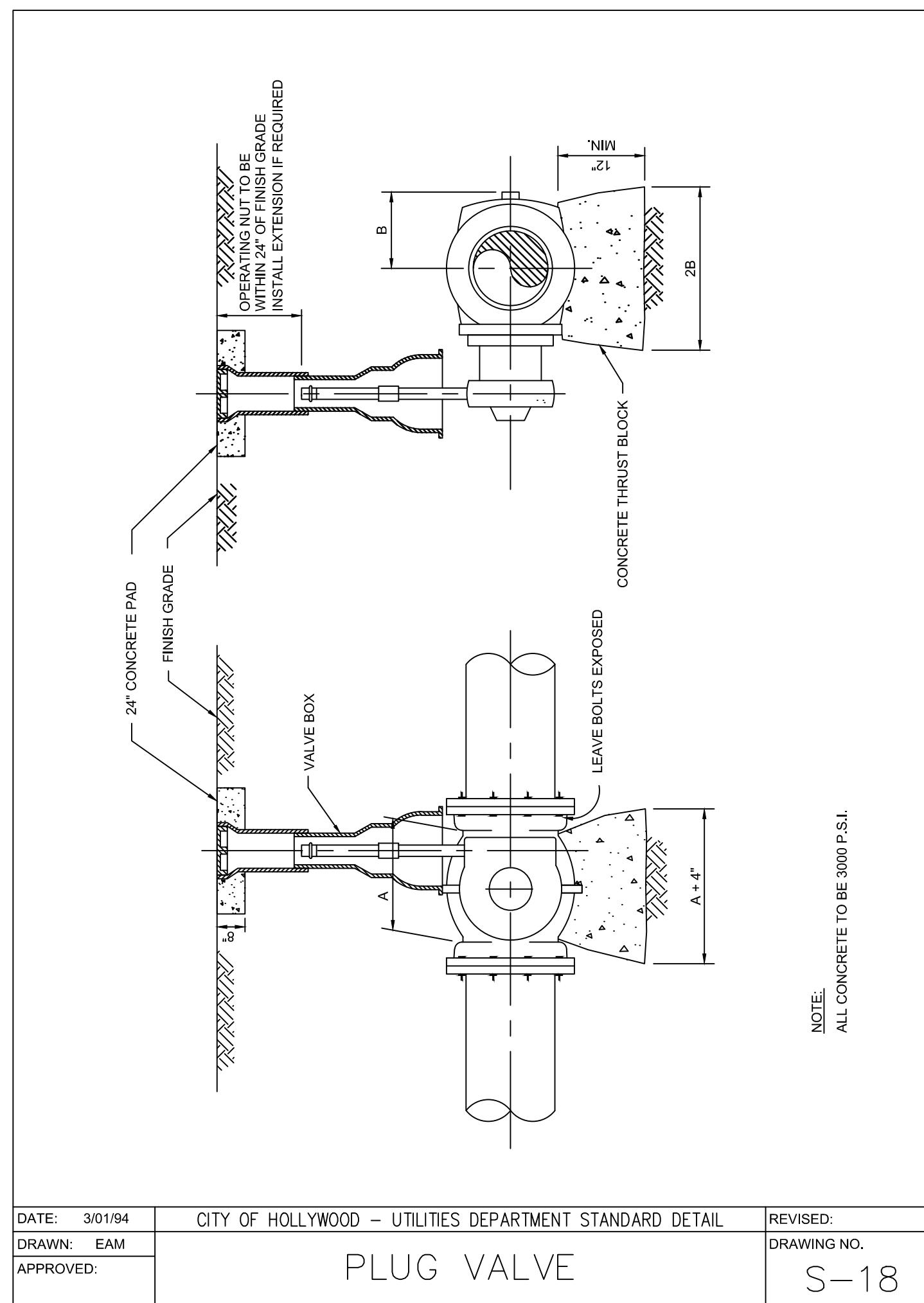
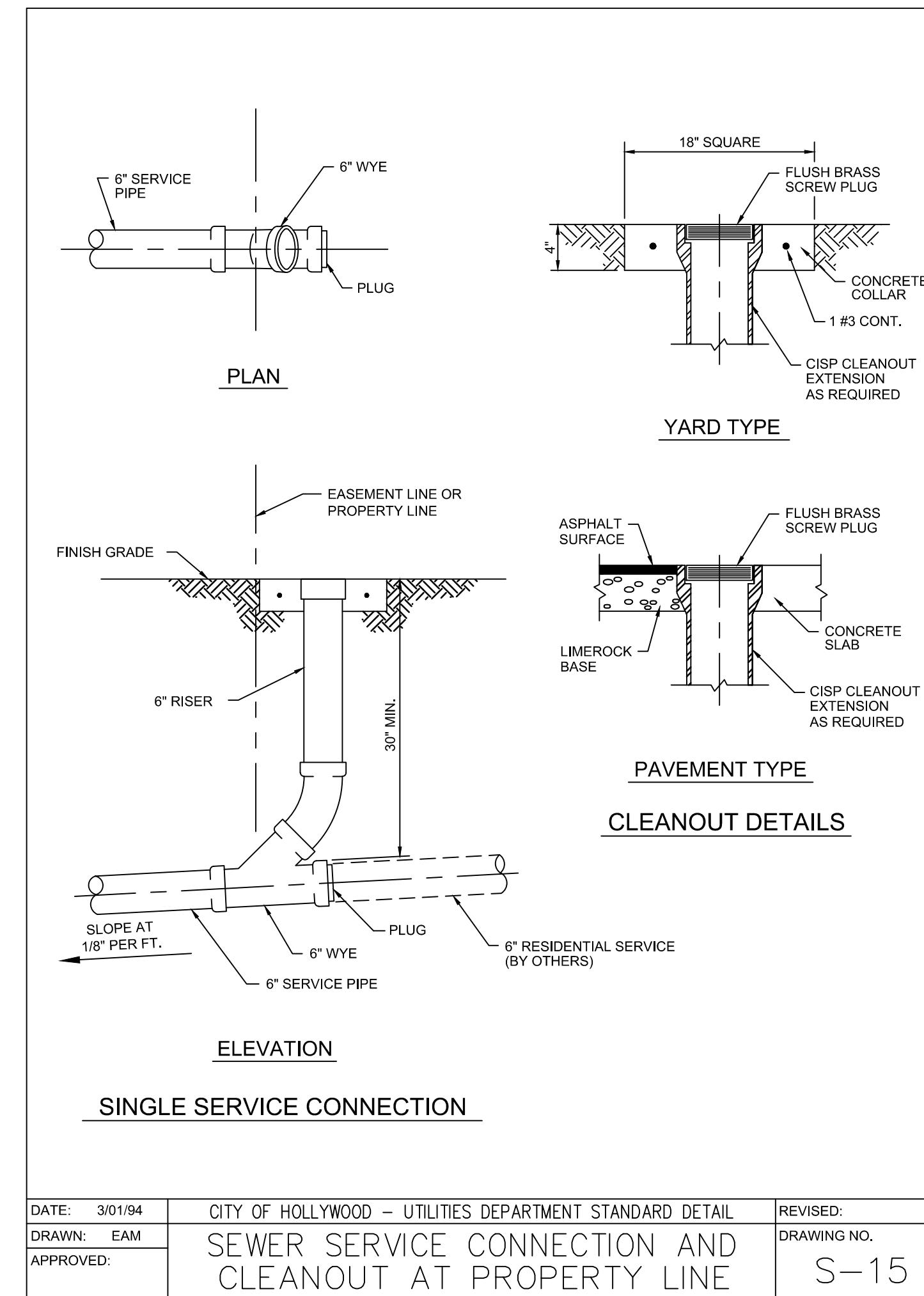
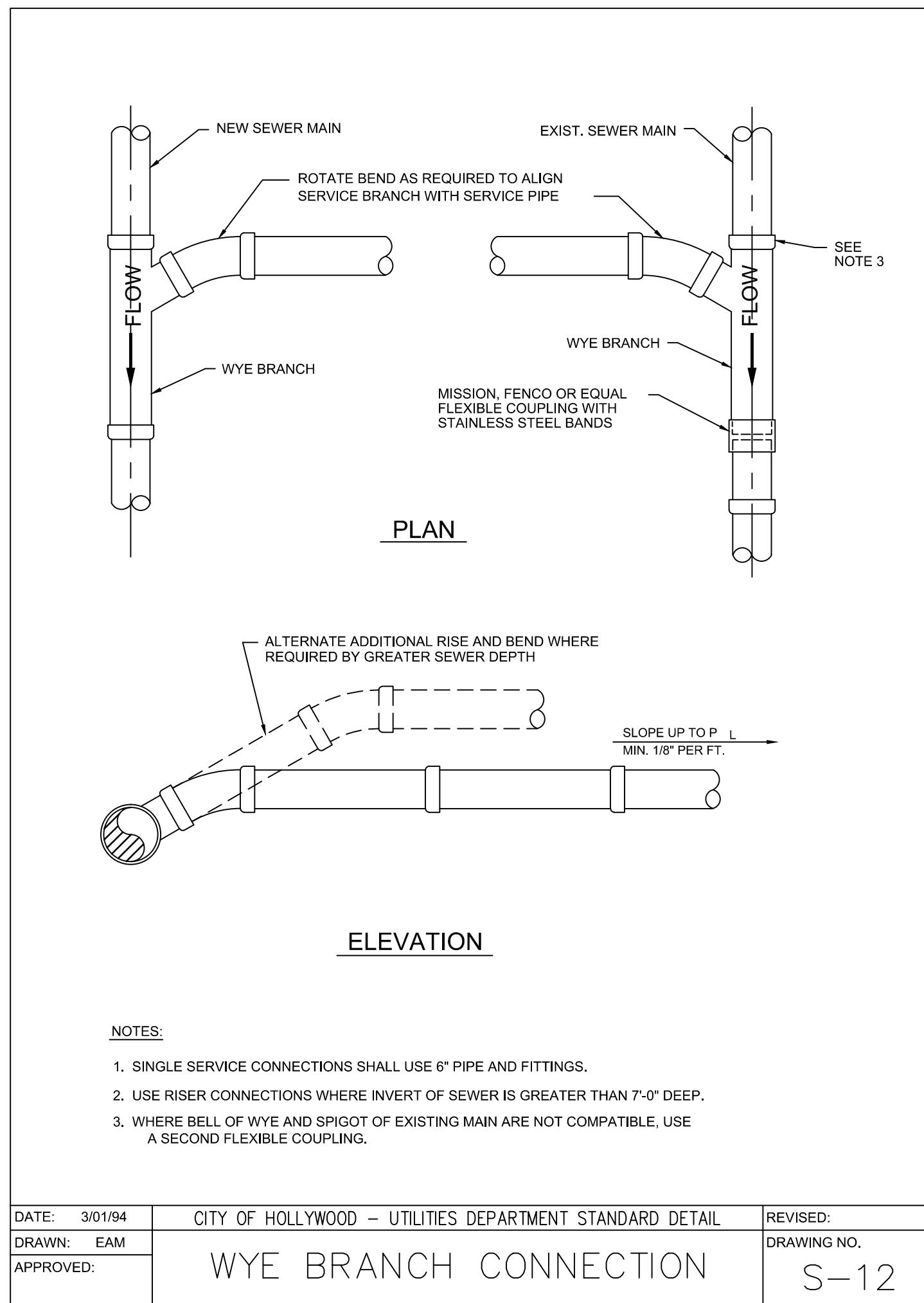
KHA PROJECT 123456789  
LICENSED PROFESSIONAL  
DATE 08/11/16  
SCALE AS SHOWN  
DESIGNED BY GDW  
DRAWN BY RS  
CHECKED BY GOW  
FL  
CITY OF HOLLYWOOD  
C-401  
SHEET NUMBER  
C-401











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DATE	BY	DATE	BY

**PHASE VI RETAIL AT THE PLACE AT HOLLYWOOD**

**CITY OF HOLLYWOOD STANDARD WASTEWATER DETAILS**

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**CITY OF HOLLYWOOD**

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**DATE** 08/11/16  
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