

PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development Board

Date of Application: 08.08.23

Location Address: 813 HARRISON STREET

Lot(s): 12-13 Block(s): 74 Subdivision: HOLLYWOOD LAKES

Folio Number(s): 514214024580

Zoning Classification: RS-6 Land Use Classification: RESIDENTIAL

Existing Property Use: SINGLE FAMILY Sq Ft/Number of Units: 3,249 SQFT (1)

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: New Two Story Single Family Residence

Number of units/rooms: 1 Sq Ft: 4,616 SQFT

Value of Improvement: 400,000 Estimated Date of Completion: 12.15.2024

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: SF&GM PROPERTY LLC

Address of Property Owner: 137 GOLDENISLED DR # 403

Telephone: 954-488-4321 Fax: \_\_\_\_\_ Email Address: \_\_\_\_\_

Name of Consultant  Representative /  Tenant (circle one): KALLER ARCHITECTURE

Address: 2417 HOLLYWOOD BLVD Telephone: 305-586-7952

Fax: \_\_\_\_\_ Email Address: JOSEPH@KALLERARCHITECTS.COM

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ( ) No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

PLANNING DIVISION



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2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION

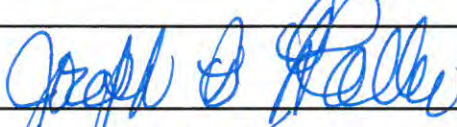
**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: GRANT MANUKYAN  Date: 07/10/2023

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Consultant/Representative:  Date: 7-10-23

PRINT NAME: JOSEPH B. KALLER Date: 7-10-23

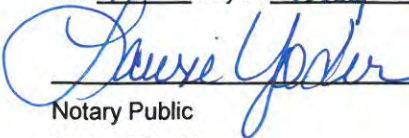
Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

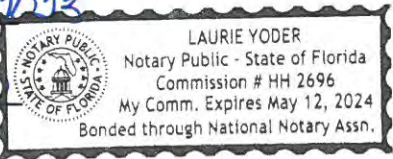
PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

**Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for Historic Preservation Review to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kaller to be my legal representative before the Historic Preservation (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 10 day of July 2023

  
Notary Public  
State of Florida



  
Signature of Current Owner

Grant Manukyan  
Print Name

My Commission Expires: \_\_\_\_\_ (Check One)  Personally known to me; OR  Produced Identification \_\_\_\_\_



813



NAME OF OWNER **L. D. GREISHORF**

ADDRESS OF CONSTRUCTION

**513 HARRISON ST**

LEGAL DESCRIPTION

**lot 12 - BLK - 7 + lower**

**SECTION**

OWNERS ADDRESS

DESCRIPTION OF CONSTRUCTION

COST

**\$ 11,000.00**

**ALTERATIONS & ADDITION**

**CEDRIC STANT** ARCHITECT

PERMIT TYPE	NO.	DATE ISSUED	TO WHOM	FIXTURES OR OUTLETS
BLDG.	57817	8-6-64	BERRY ELDR'S	
ROOF				
ELECTRICAL	31548	9-4-64	MOORE	1-1-330
(6) PLUMBING & GAS	25708	9-3-64	HEH P.S.	(6)
SEPTIC TANK				
Chainlink Wood Fence	54979	2-5-65	Doyle	

INSPECTIONS REVERSE SIDE



# JOB CARD

OWNER  C. GLASSO	JOB ADDRESS  813 Harrison St.
------------------------	-------------------------------------

LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
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MICROFILM NO.	ARCHITECT	FEE \$ 12.00	VALUATION \$ 300
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DESCRIPTION OF CONSTRUCTION Replace front door & Fram & Stucco Front of House	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
--	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	46311	3/13/78	Owner	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

## Permit Search Results

[Search](#) > Properties located at/on/near '...813...'

3 permits were found for  
**813 HARRISON ST 1-2**

View	<u>Process #</u>	<u>Permit #</u>	<u>Description</u>	<u>Appl. Date</u>	<u>Permit Date</u>
<a href="#">Details</a>	2729	<b>E0501923</b>	ELECTRICAL WORK	9/8/2005	<b>9/8/2005</b>
<a href="#">Details</a>	19549	<b>B9602139</b>	RE-ROOF-FLAT	4/1/1996	<b>4/1/1996</b>
<a href="#">Details</a>		<b>B9106363</b>	CITY SIDEWALK (IN R.O.W)		<b>9/26/1991</b>

**FLORIDA MASTER SITE FILE**  
**Site Inventory Form**

FDAHRM 802 ==  
1009 ==

DS-HSP-3AAA Rev. 3-79

Site Name S.A. Black Residence (FORMER) Site No. 830 ==  
 Address of Site: 813 Harrison Street Hollywood, Florida Survey Date 8008 820 ==  
 Instruction for locating on the N. side of Harrison St. between 8th and 9th St. 813 ==  
 Location: Hollywood Lakes Section 1-32 B 74 12,13 868 ==  
subdivision name block no. lot no.  
 County: Broward 808 ==  
 Owner of Site: Name: C.M. and Bernadette Glassco ;  
 Address: 813 Harrison Street  
Hollywood, Florida 33020 902 ==  
 Type of Ownership Private 848 == Recording Date 832 ==

Recorder:  
 Name & Title: Marlyn Kemper, Director ;  
 Address: Historic Broward County Preservation Board  
1900 Tyler Street Hollywood, Florida 33020 818 ==

Condition of Site: Integrity of Site: Original Use Residence 838 ==

Check One		Check One or More		Present Use <u>Residence</u>	850 ==
<input type="checkbox"/> Excellent	863 ==	<input checked="" type="checkbox"/> Altered	858 ==	Dates: Beginning <u>c1925</u>	844 ==
<input checked="" type="checkbox"/> Good	863 ==	<input type="checkbox"/> Unaltered	858 ==	Culture/Phase <u>American</u>	840 ==
<input type="checkbox"/> Fair	863 ==	<input checked="" type="checkbox"/> Original Site	858 ==	Period <u>Twentieth Century</u>	845 ==
<input type="checkbox"/> Deteriorated	863 ==	<input type="checkbox"/> Restored ( ) (Date: ) ( )	858 ==		
		<input type="checkbox"/> Moved ( ) (Date: ) ( )	858 ==		

NR Classification Category: Building 916 ==

Threats to Site:

Check One or More

<input type="checkbox"/> Zoning ( )	( ) 878 ==	<input type="checkbox"/> Transportation ( )	( ) 878 ==
<input type="checkbox"/> Development ( )	( ) 878 ==	<input type="checkbox"/> Fill ( )	( ) 878 ==
<input type="checkbox"/> Deterioration ( )	( ) 878 ==	<input type="checkbox"/> Dredge ( )	( ) 878 ==
<input type="checkbox"/> Borrowing ( )	( ) 878 ==		
<input checked="" type="checkbox"/> Other (See Remarks Below):	<u>Unknown</u>		878 ==

Areas of Significance: Historical, Other, Streetscape 910 ==

Significance:

**HISTORICAL:** c1925: As indicated on "Building Cards, Broward County Appraiser's Office."

HOLLYWOOD GUIDE AND CITY DIRECTORY 1928-1929)

According to this publication, Dr. Black's occupation is listed as "druggist."

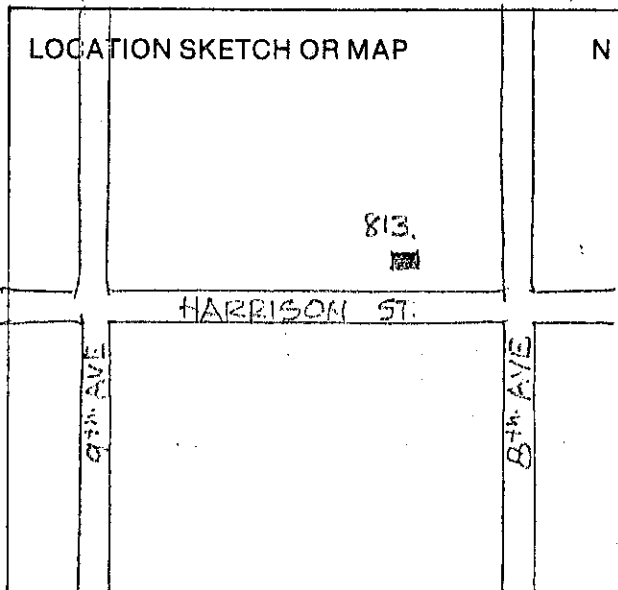
"Frank Yaguda Buys Black's Drug Store," HOLLYWOOD HERALD, May 24, 1940.

Dr. Black is one of Hollywood's pioneers and has been in business as a druggist for forty years. He came in 1922 and has operated his business at the present location at Hollywood Boulevard and Twentieth Avenue for the last 18 years. His Walgreen Drug Store changed hands when he sold it to Frank Yaguda of Albany, New York. Yaguda operates his own chain of five drug stores in that city. 911 ==

Additional Statement of Significance attached.



ARCHITECT Unknown 872 ==  
 BUILDER Unknown 874 ==  
 STYLE AND/OR PERIOD Masonry vernacular 964 ==  
 PLAN TYPE Irregular: unknown 966 ==  
 EXTERIOR FABRIC(S) Stucco: unknown 854 ==  
 STRUCTURAL SYSTEM(S) Masonry: hollow tile 856 ==  
 PORCHES Unknown 942 ==  
 FOUNDATION: Piling: unknown, unknown 942 ==  
 ROOF TYPE: Flat, built-up 942 ==  
 SECONDARY ROOF STRUCTURE(S): Hip 942 ==  
 CHIMNEY LOCATION: NA 942 ==  
 WINDOW TYPE: Awning, metal, single 942 ==  
 CHIMNEY: NA 882 ==  
 ROOF SURFACING: Built-up, tile 882 ==  
 ORNAMENT EXTERIOR: None 882 ==  
 NO. OF CHIMNEYS 1 952 == NO. OF STORIES 2 950 ==  
 NO. OF DORMERS None 954 ==  
 Map Reference (incl. scale & date) USGS Ft. Lauderdale South, Fla.  
7.5 Min. 1962 (1969) 809 ==  
 Latitude and Longitude: " " " " " " 800 ==  
 Site Size (Approx. Acreage of Property): LT 1 833 ==



Township	Range	Section	
51S	42E	14	812 ==

UTM Coordinates:  
17 587860 2877000 890 ==  
Zone Easting Northing

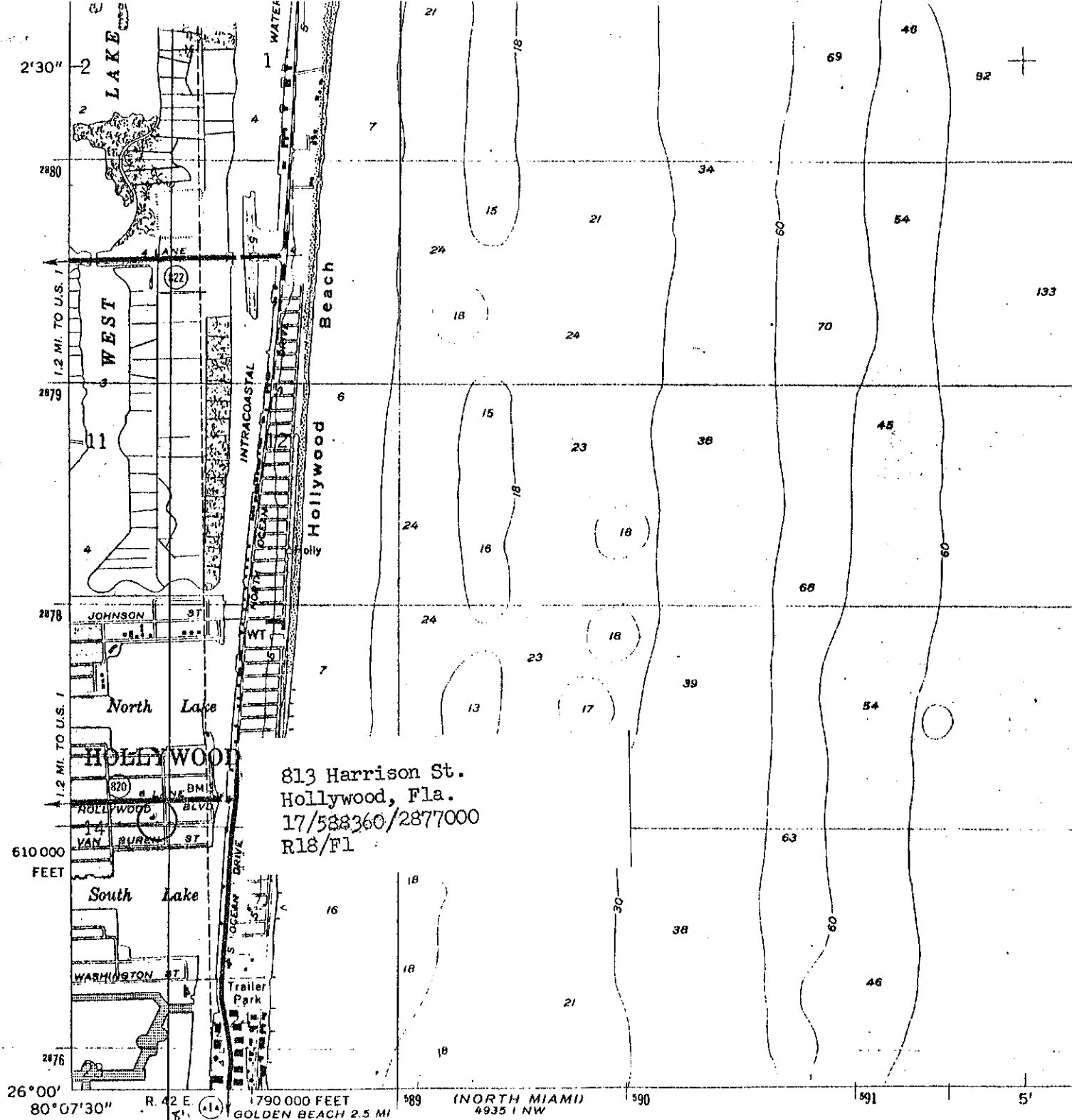
Photographic Records Numbers R18/F1 860 ==

Contact Print

Statement of Significance (use continuation sheet if necessary)

**OTHER:** This building is significant because it dates from the earliest construction period in Hollywood, Florida. Although this building is not architecturally significant on an individual basis, its significance in the historic built environment may become greater as the older structures in Hollywood are demolished.

**STREETSCAPE:** One of a series of residences on Harrison St. between 8th and 16th Ave. Establishes a definite character, but the sites are too dispersed to form a district. However, neighborhood conservation is recommended.



813 Harrison St.  
 Hollywood, Fla.  
 17/588360/2877000  
 R18/F1

(NORTH MIAMI)  
 4935 1 NW

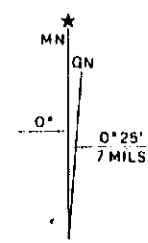
Mapped by the U.S. Coast and Geodetic Survey  
 Edited and published by the Geological Survey  
 Control by USC&GS and USCE

Planimetry by photogrammetric methods from aerial photographs  
 taken 1942. Topography by planetable surveys 1945  
 Revised by the Geological Survey from aerial photographs taken 1961  
 Field checked 1962

Selected hydrographic data compiled from USC&GS Charts 1248 (1961)  
 and 546 (1963). This information is not intended for navigational purposes

Polyconic projection. 1927 North American datum  
 10,000-foot grid based on Florida coordinate system, east zone  
 1000-meter Universal Transverse Mercator grid ticks,  
 zone(17, shown in blue

Red tint indicates areas in which only landmark buildings are shown



UTM GRID AND 1969 MAGNETIC NORTH  
 DECLINATION AT CENTER OF SHEET

Revisions shown in purple compiled by the Geological  
 Survey in cooperation with State of Florida  
 agencies from aerial photographs taken 1969  
 This information not field checked.



HISTORICAL STRUCTURE FORM  
FLORIDA SITE FILE

Update

Site #8 \_\_\_\_\_  
Recorder #: \_\_\_\_\_  
Field Date: 5/20/95  
Form Date: \_\_\_/\_\_\_/\_\_\_

*Block*  
Site Name: S.A.<sup>A</sup> Residence (former) (Mult. List. #8 \_\_\_\_\_)  
Survey: \_\_\_\_\_ (Survey # \_\_\_\_\_)  
National Register Category: Building

LOCATION AND IDENTIFICATION

Address: 813 Harrison Street  
Cross Streets: N. side of Harrison Street between 8th and 9th Avenues  
Nearest City/Town: Hollywood In Current City Limits: Yes  
County: Broward Tax Parcel #: 314241024580  
Subdivision Name: Hollywood Lakes 1-32B Block: 74 Lot: 12, 13  
Ownership: priv.-profit priv.-indiv. priv. unspecified city county state federal unk.  
Name of Public Tract (e.g., park): \_\_\_\_\_  
Route To: \_\_\_\_\_

MAPPING

USGS 7.5' Map Name: USGS Ft. Lauderdale South, Fl. 7.5 Min. 1962 (1969)  
Township: 51S Range: 42E Sect: 14 1/4 \_\_\_ 1/4-1/4 \_\_\_ Irreg. Sect.? \_\_\_ y \_\_\_ n  
(UTM: Zone 17 Easting 5/8/7/8/6/0 Northing 2/8/7/7/0/0/0)  
Plat or Other Map (map's name, location): \_\_\_\_\_

DESCRIPTION

Style: Masonry Vernacular Exterior Plan: Irregular No. Stories: 2  
Structural Systems: Masonry: hollow tile  
Foundations: Types: Piling Materials: unknown  
Exterior Fabrics: Stucco  
Roof: Types: combination: flat, sloped, hip  
Materials: barrel tile  
Secondary structures (dormers, etc.): None  
Chimney: No.: 1 Materials: stucco Locations: east  
Windows (types, materials, placement): aluminum awning, fixed  
Main Entrance (stylistic details): None significant  
Porches: None  
Exterior ornament: brick capping  
Interior Plan: unknown Condition: Good  
Surroundings: A - All or nearly all residential  
Ancillary Features (No., type of outbuildings; major landscape features): None  
Archaeological Remains at Site: Archaeological form completed? No - NA  
Narrative: Facade has not been significantly altered since 1980 survey. The property has an incompatible addition to the front, which had already been constructed by the 1980 survey.

## HISTORY

Construction Date: 1925      Circa: Yes  
Architect (last name first): Unknown  
Builder (last name first): Unknown  
Moves: No  
Alterations: Yes      Dates: \_\_\_\_\_      Nature: \_\_\_\_\_  
Additions: Yes  
Original Uses: Residence  
Intermediate Uses: Residence  
Present Uses: Residence  
Ownership History: \_\_\_\_\_  
\_\_\_\_\_

## SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?  yes  no  insuff. info.      LOCAL DESIG. CATEGORY  
Individually elig. for Nat. Register?  yes  no  insuff. info.      \_\_\_\_\_  
Potential contributor to NR district?  yes  no  insuff. info.      \_\_\_\_\_

**Historical associations (ethnic heritage, etc.):** c1925: As indicated on "Building Cards, Broward County Appraiser's office." Also, according to *Hollywood Guide and City Directory 1928-1929*, Dr. Black 's occupation is listed as "druggist." See attached *Statement of Significance*.

**Explanation of evaluation:** This building is significant because it dates from the earliest construction period on Hollywood, Florida. Although this building is not architecturally significant on an individual basis, its significance in the historic built environment will become greater as the older structures in Hollywood are demolished. See attached *Statement of Significance*.

## CROSS REFERENCES

**Bibliographic references (author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available):** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Photographs:** B&W print(s) at least 3X5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.

**Location of negatives/neg. nos.** Neg. Nos. 6A-7 and 7A-8/Sheet 2

## RECORDER

**Name (last first)/Addr/Phone/Affiliation:** Rosenthal, Melinda; 1933 Wilson Street, Hollywood, Florida 33020; (305) 921-9663; Intern, City of Hollywood

**REQUIRED:** (1) USGS MAP WITH STRUCTURE PINPOINTED  
(2) LARGE SCALE STREET OR PLAT MAP  
(3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5

NAME OF OWNER

L. D. GREISHORF

ADDRESS OF CONSTRUCTION

513 HARRISON ST

LEGAL DESCRIPTION

lot 12 - BLK - 7 +   
 *hook*  
 *direction*

OWNERS ADDRESS

DESCRIPTION OF CONSTRUCTION

COST

\$ 11,000.00

ALTERATIONS & ADDITION

ARCHITECT  
CEDRIC STANT

PERMIT TYPE	NO.	DATE ISSUED	TO WHOM	FIXTURES OR OUTLETS
BLDG.	57837	8-6-64	BERRY ELDR'S	
ROOF				
ELECTRICAL	31548	9-4-64	MOORE	1-1-330
(6) PLUMBING & GAS	25708	9-3-64	HEX P.B.	(6)
SEPTIC TANK				
Chainlink Wood Fence	54979	2-5-65	DOFLY	

INSPECTIONS REVERSE SIDE



Date 8/6/64 Permit No. 57837

Owner L. D. Schneider

Description Alterations & Additions

Location 813 Harrison

Lot \_\_\_\_\_ Block \_\_\_\_\_ Sub. Div. \_\_\_\_\_

Contractor or Builder Berry Bldg.

Architect Redic Start

Cubic Ft. \_\_\_\_\_ Valuation \$ 11,000.00 ✓

Electric \_\_\_\_\_ Plumbing 6 P. 70

Chief Bldg. Inspector [Signature]

Zoning Inspector [Signature]

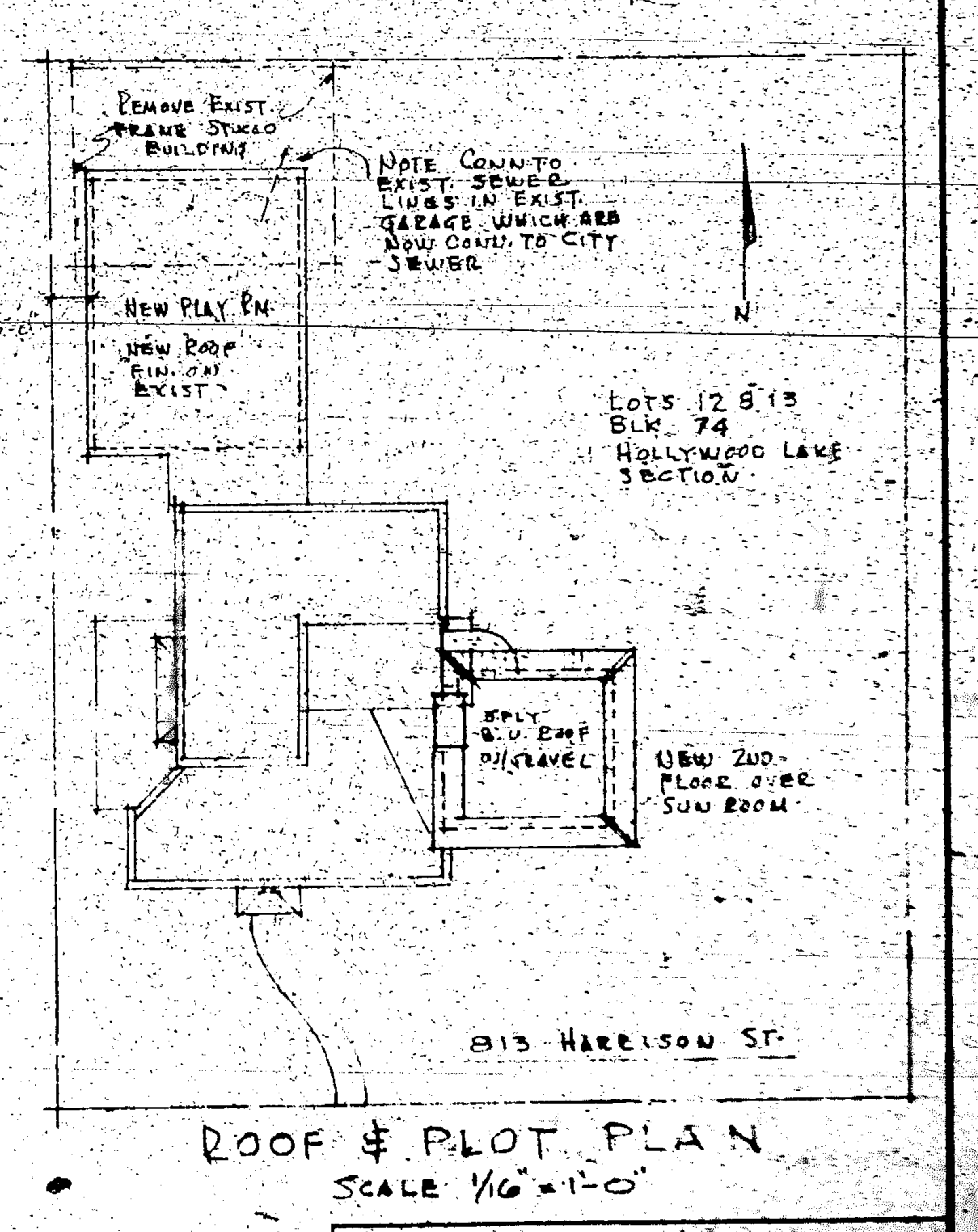
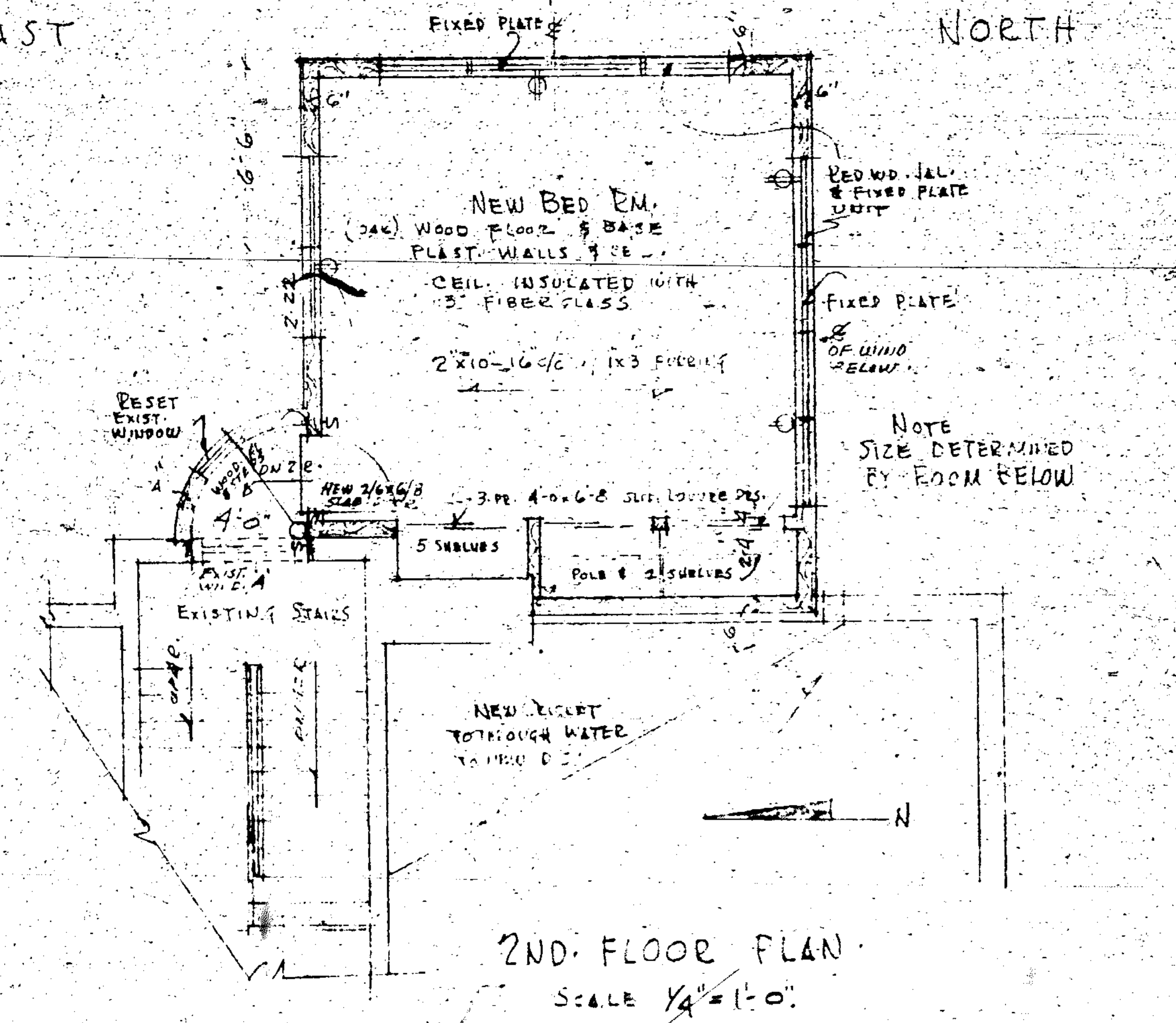
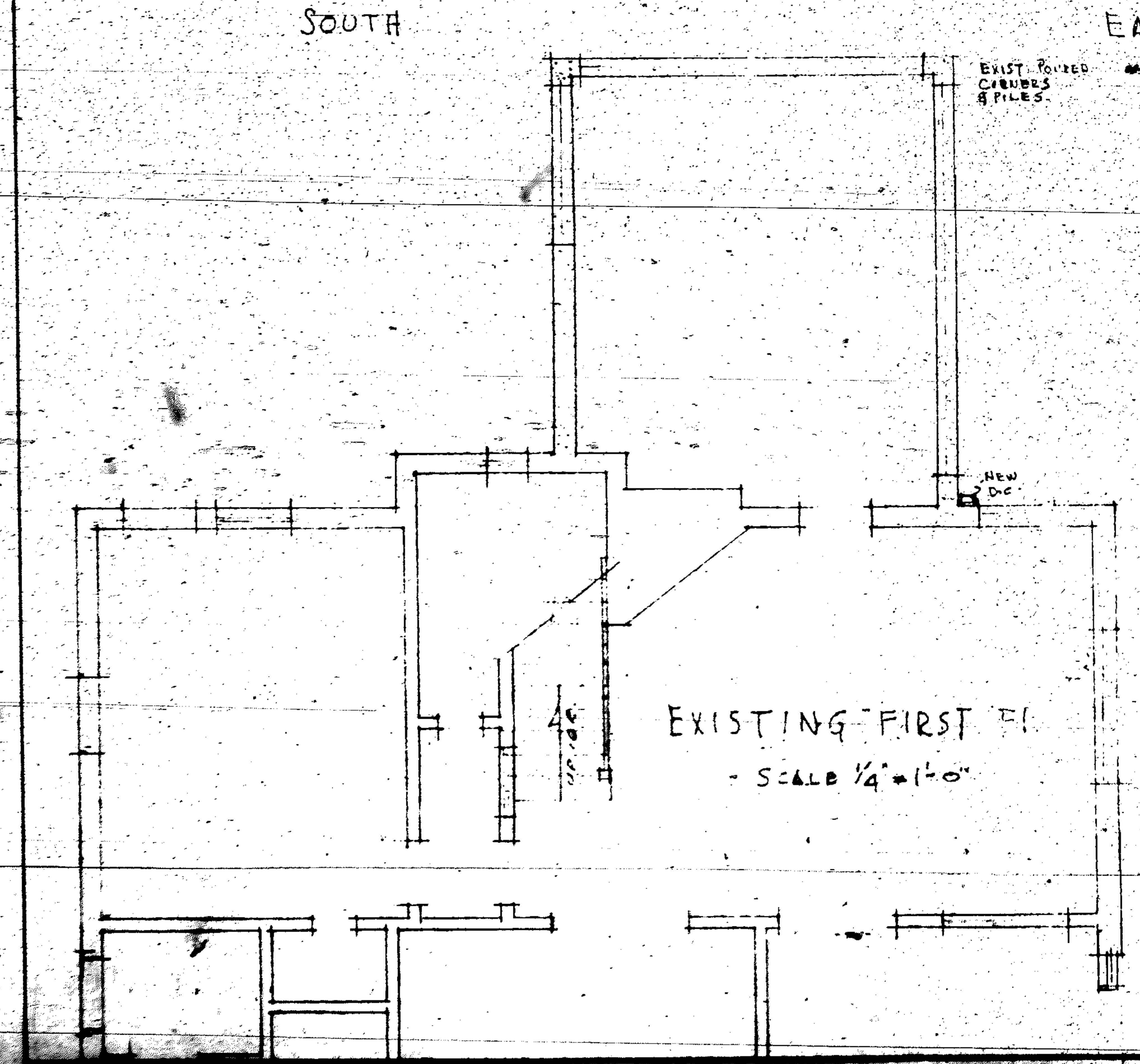
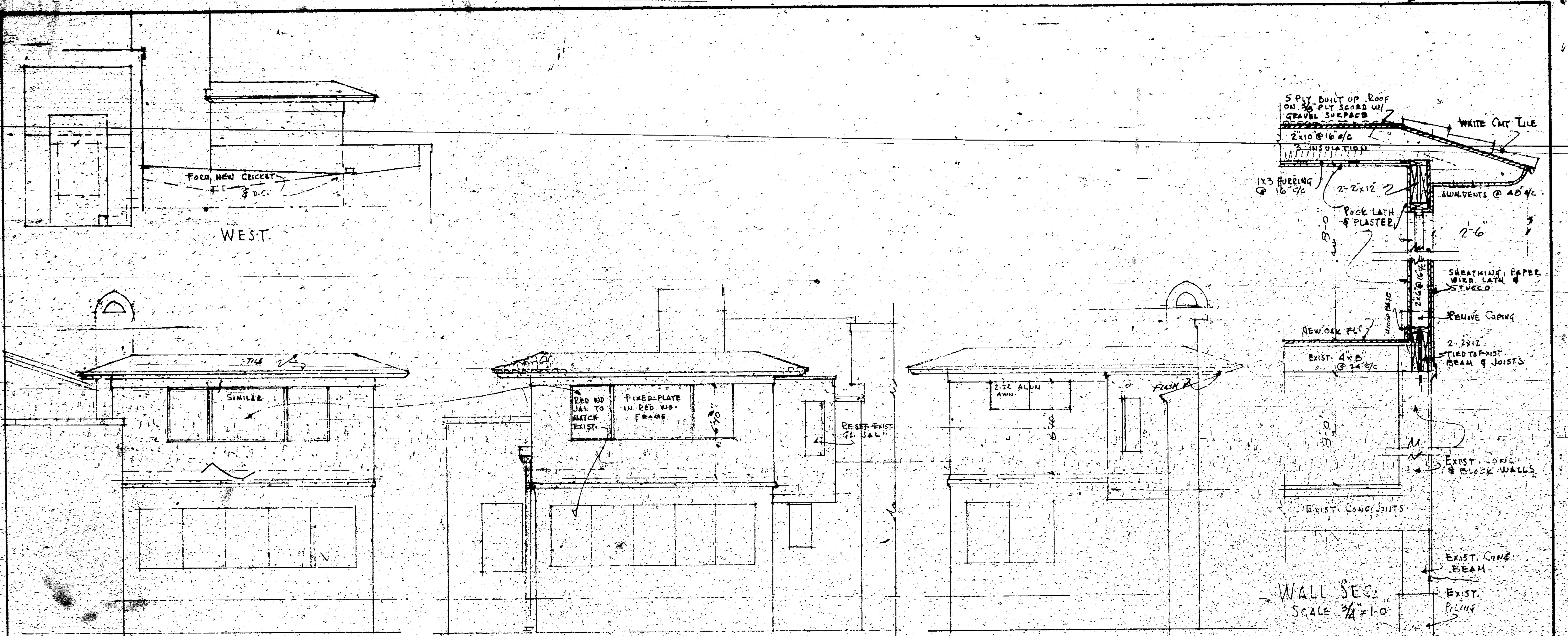
City Engineer \_\_\_\_\_

State Hotel Inspector \_\_\_\_\_

State Health Inspector \_\_\_\_\_

27.50  
Fee

*For owner use only*  
*No Rental - ~~Kitchen~~*

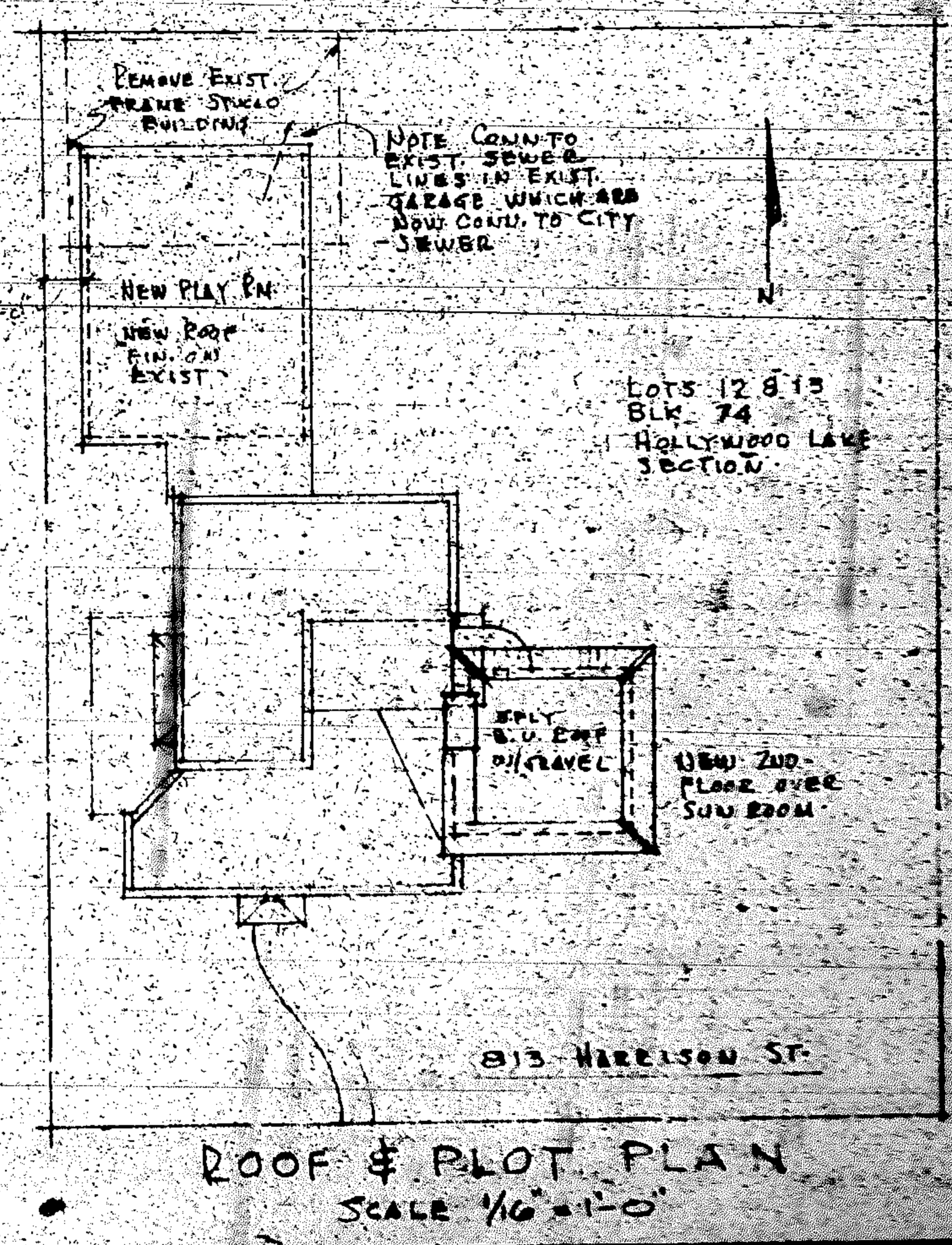
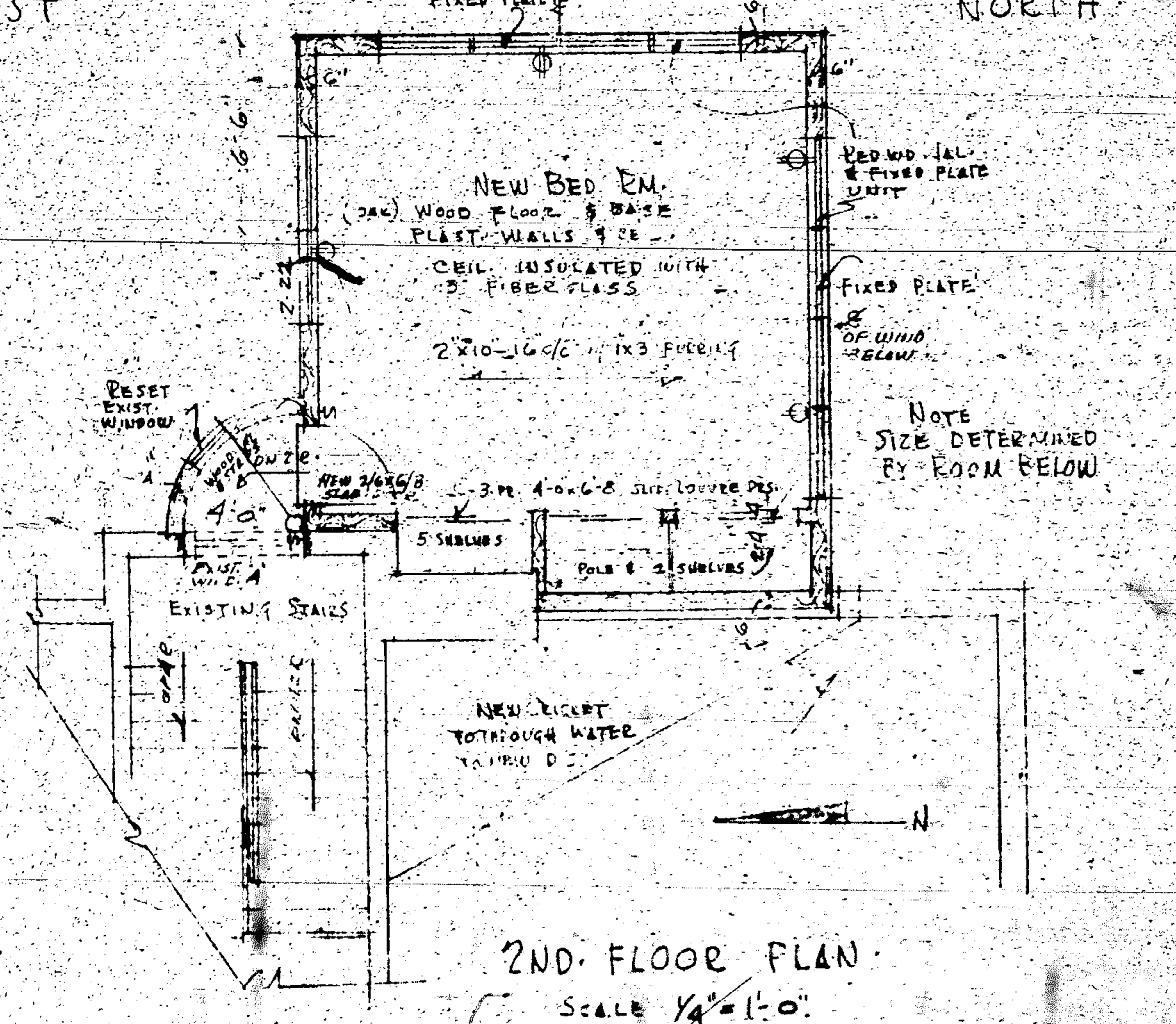
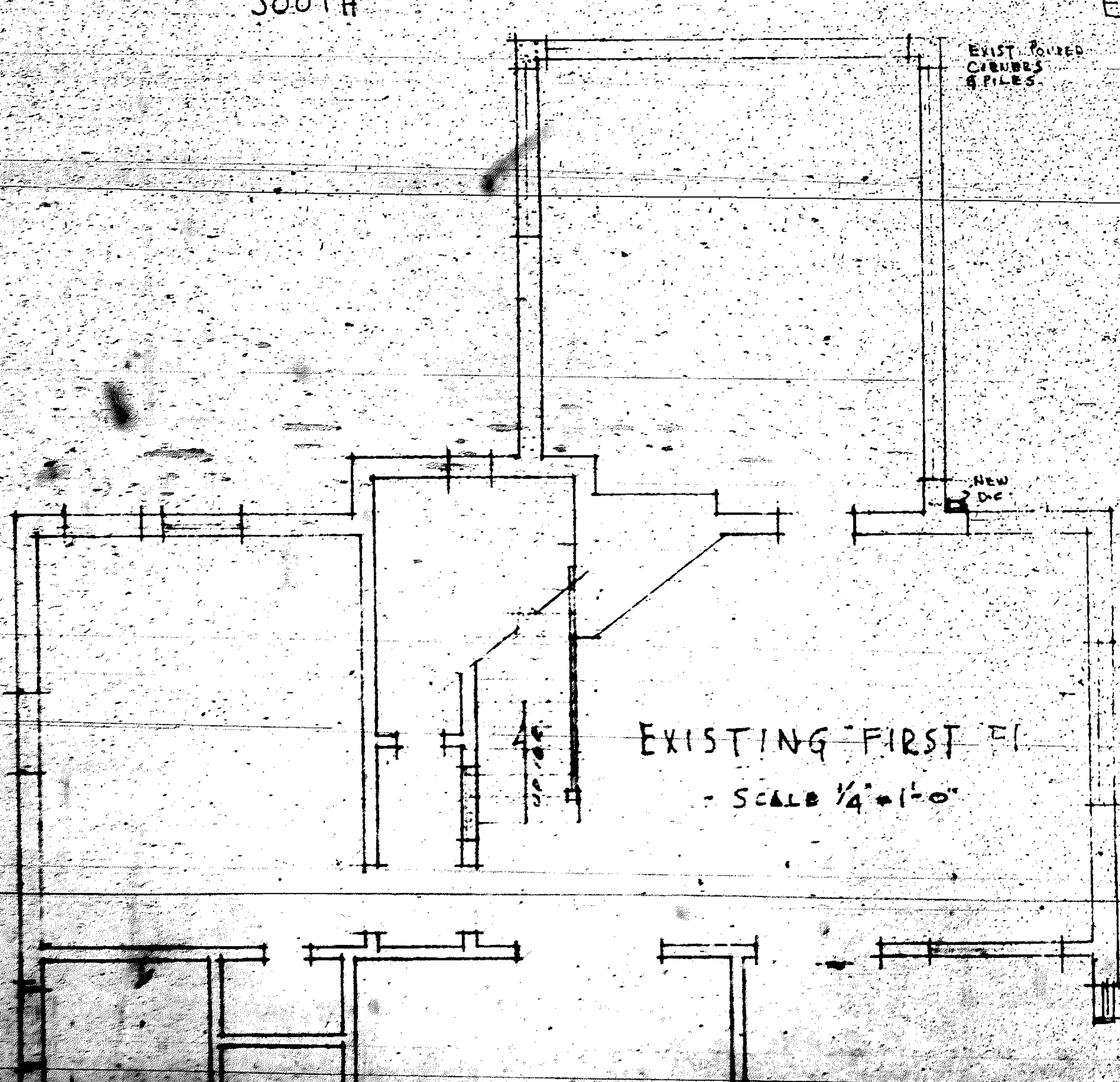
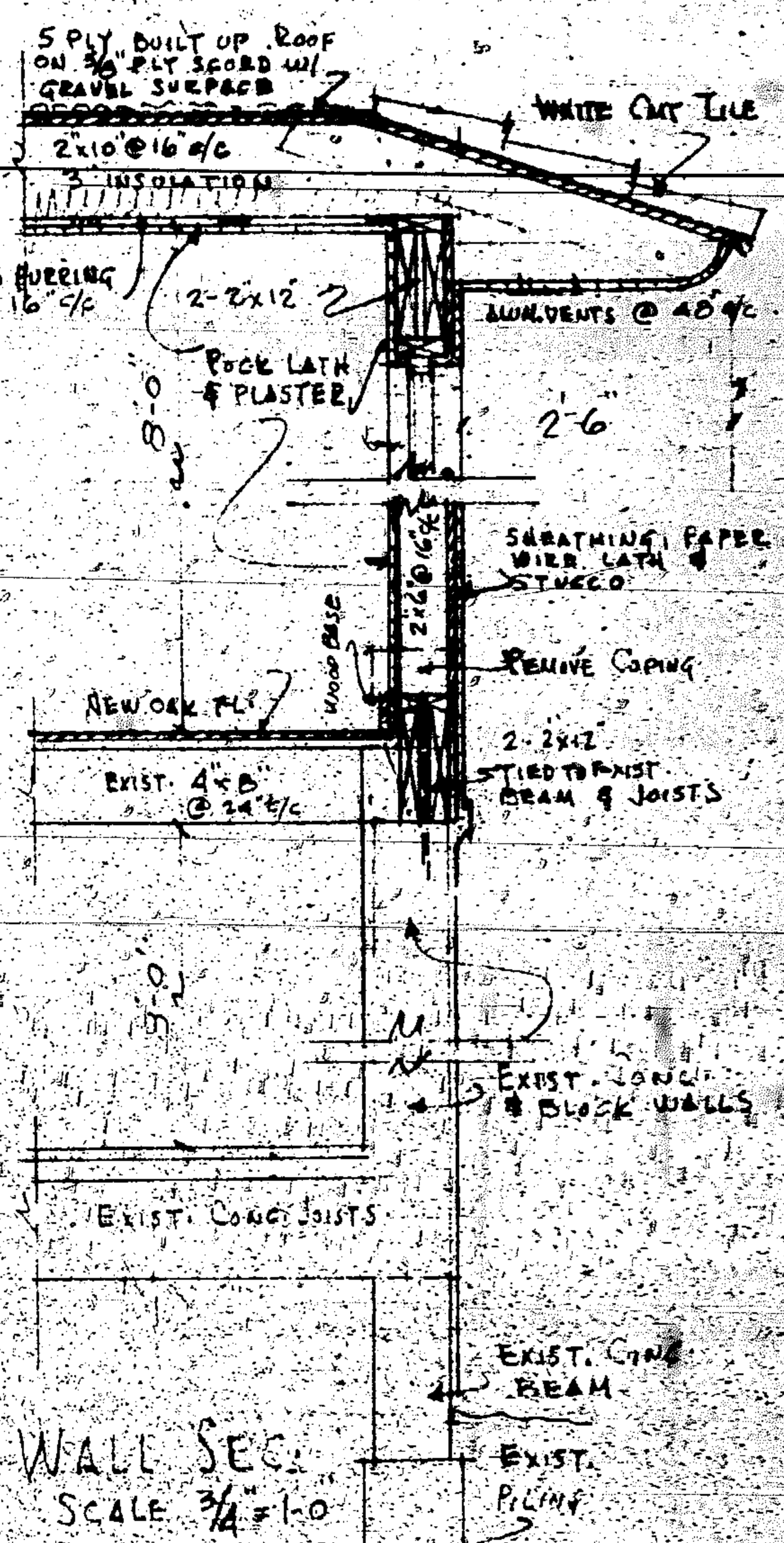
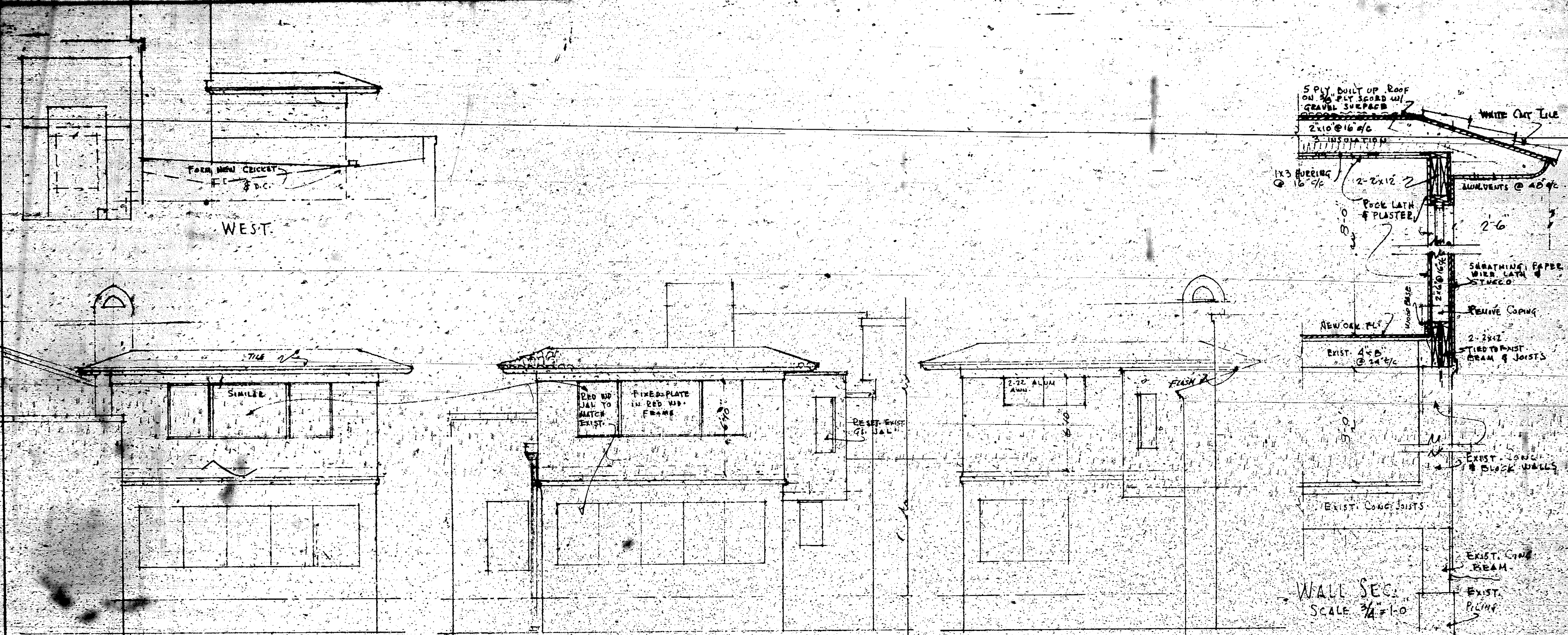


**ALTERATION & ADDITION TO**  
**RES. OF MR. & MRS. L.D. GEISDORF**  
 813 HARRISON ST.  
 HOLLYWOOD, FLORIDA

DATE: JUNE 17, 64  
 THE OFFICE OF  
 CEDRIC STANT, AIA  
 DONALD MOELLER, AIA  
 ARCHITECTS  
 HOLLYWOOD, FLORIDA

99-64  
 1 OF 2



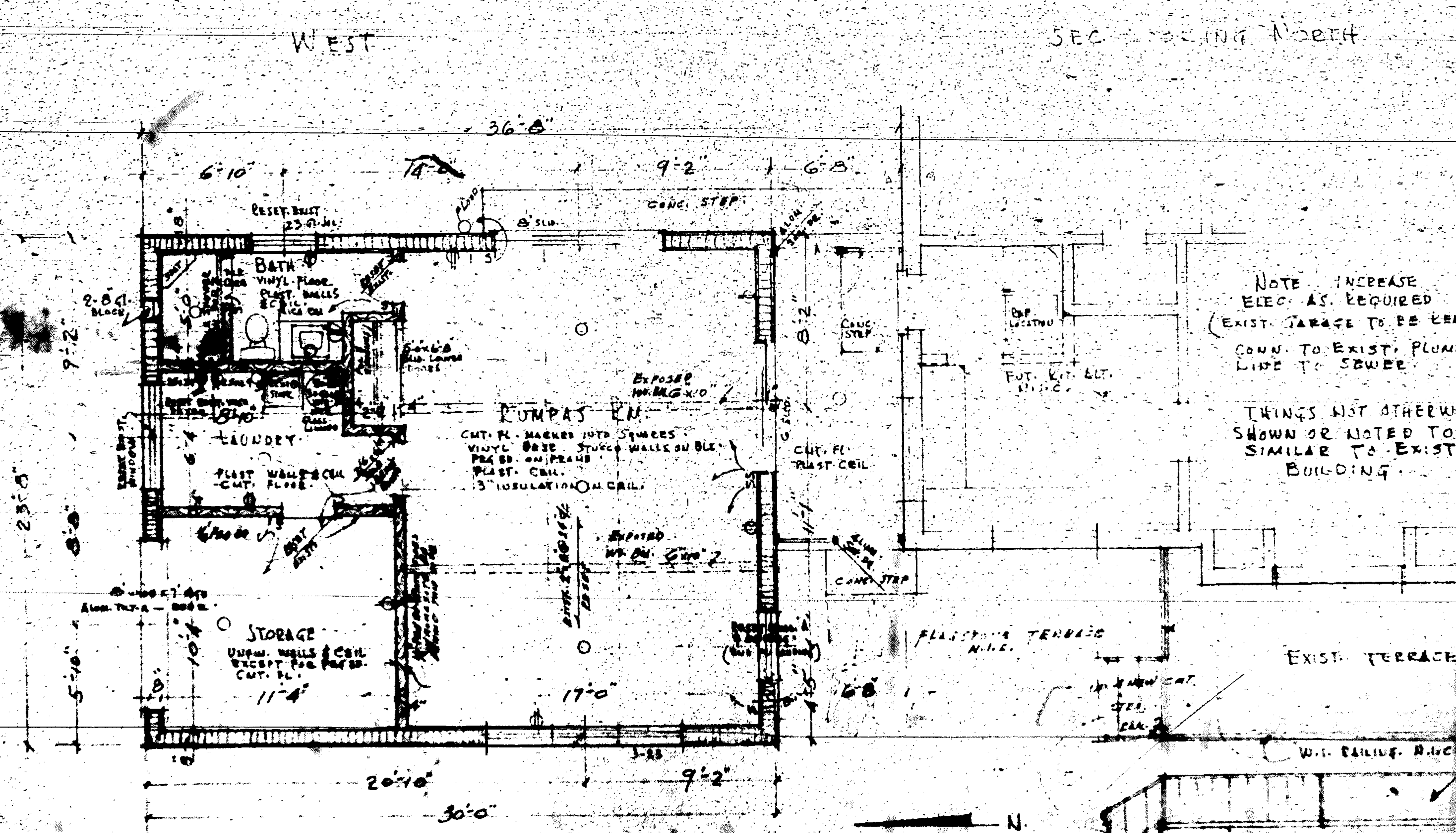
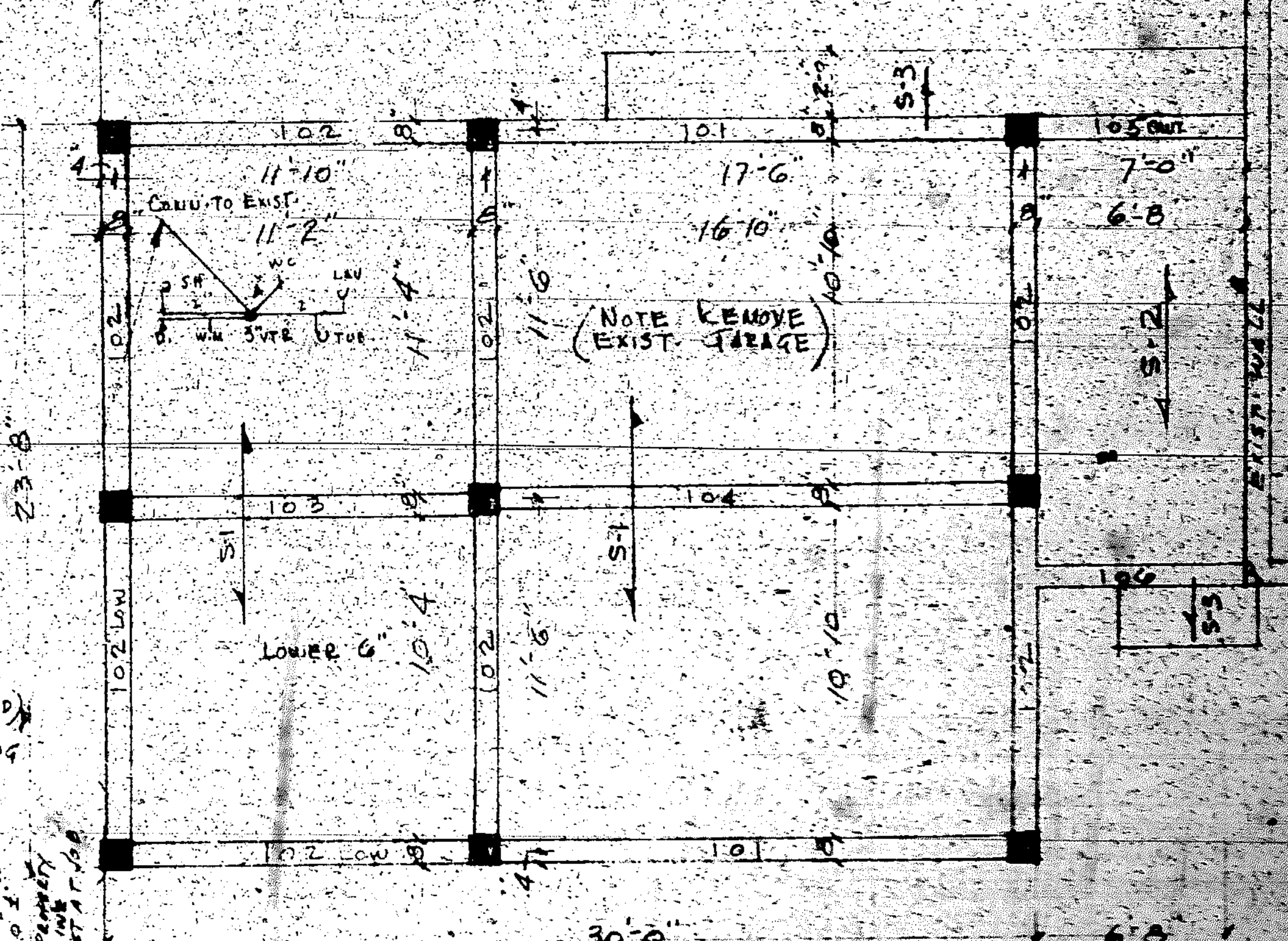
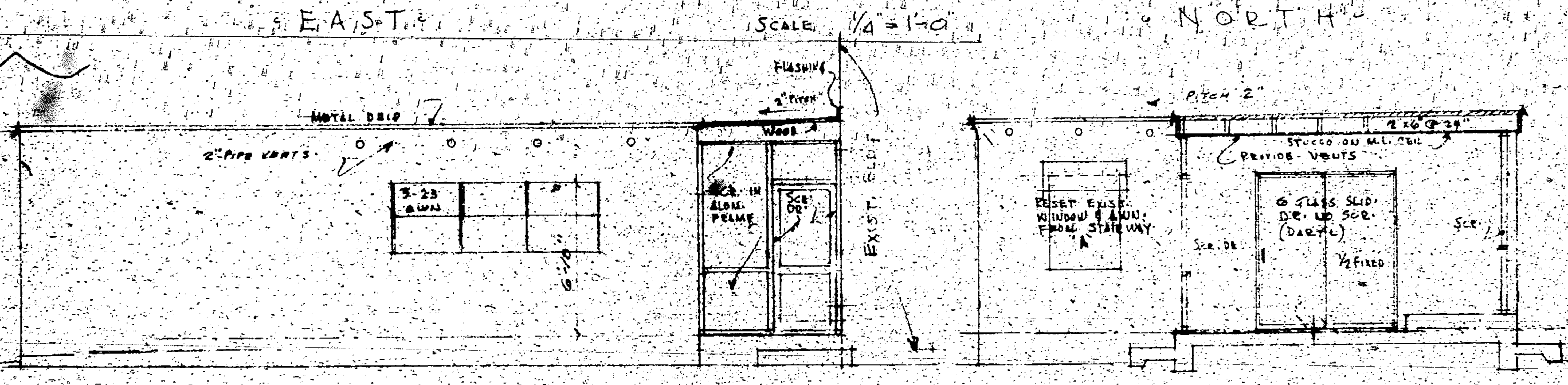
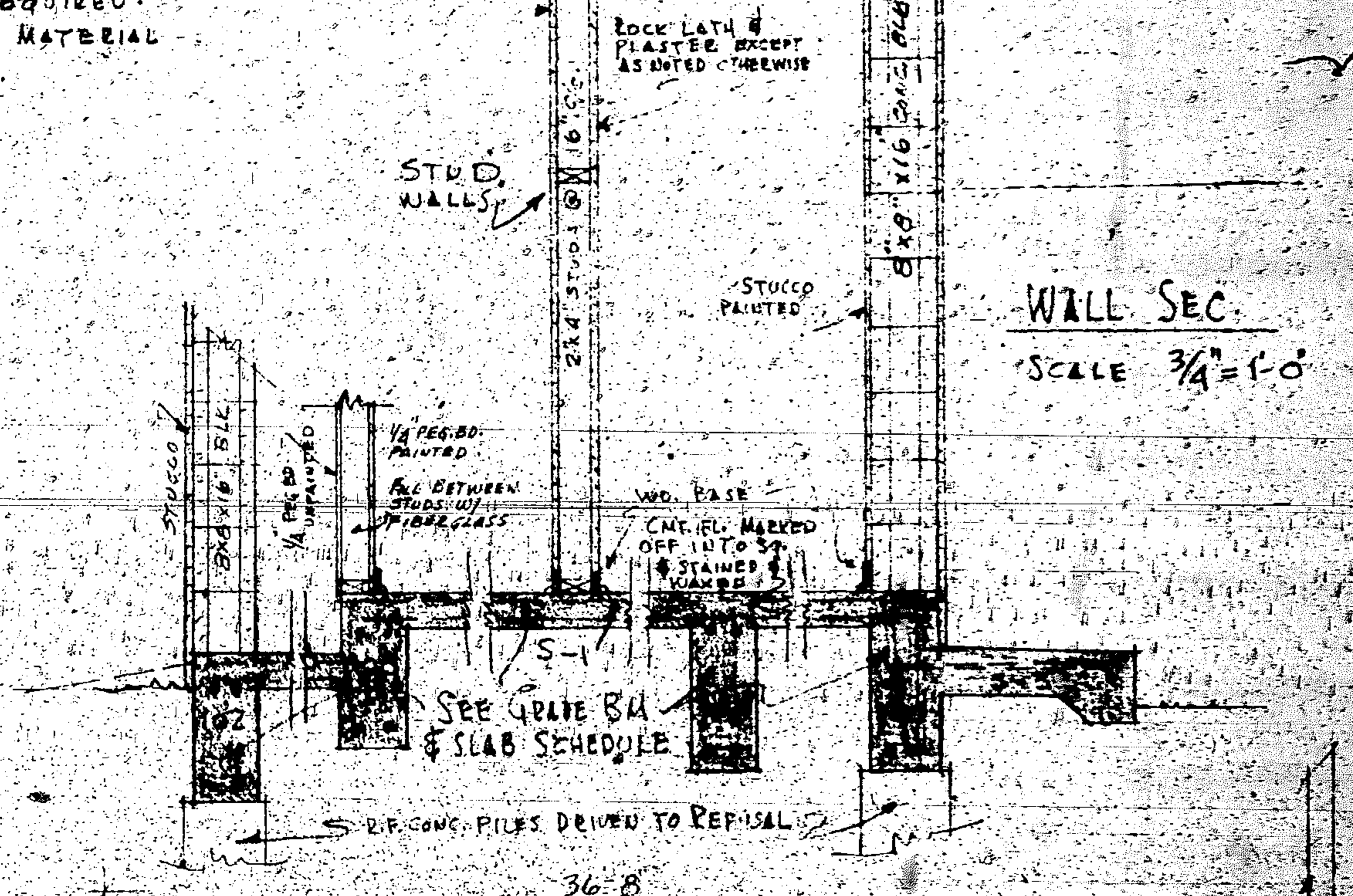
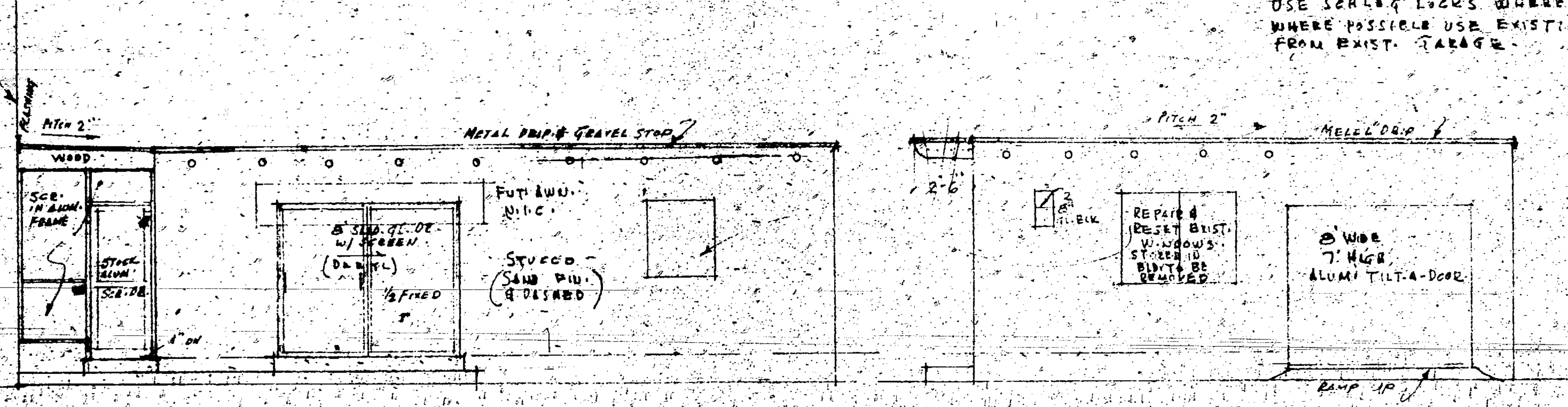
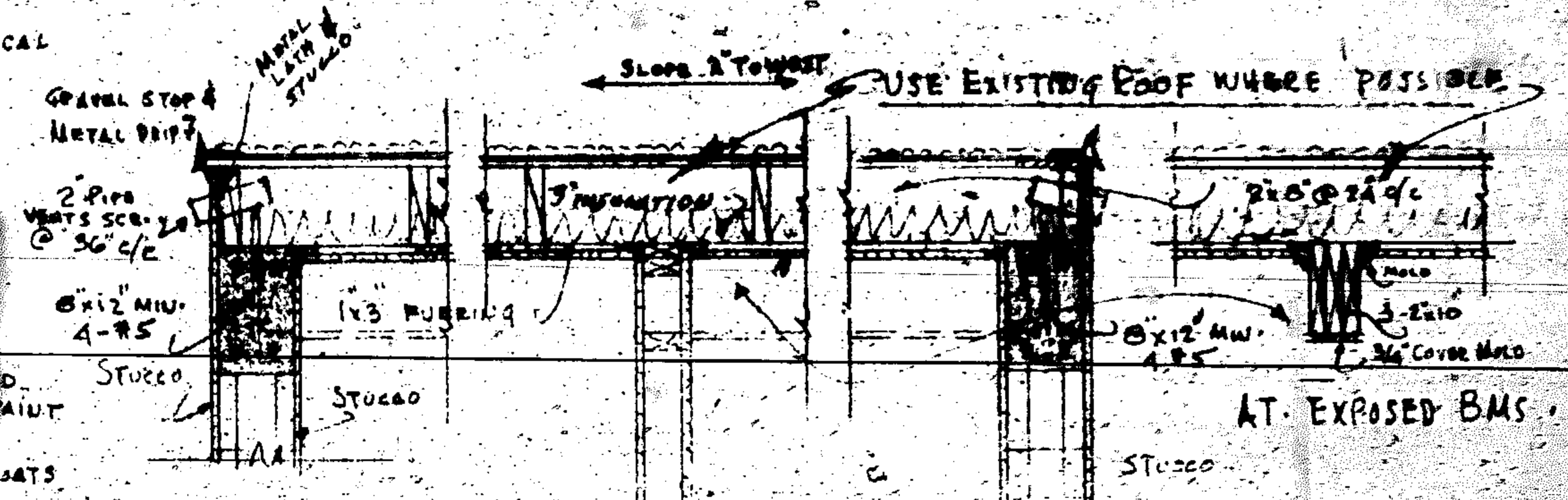
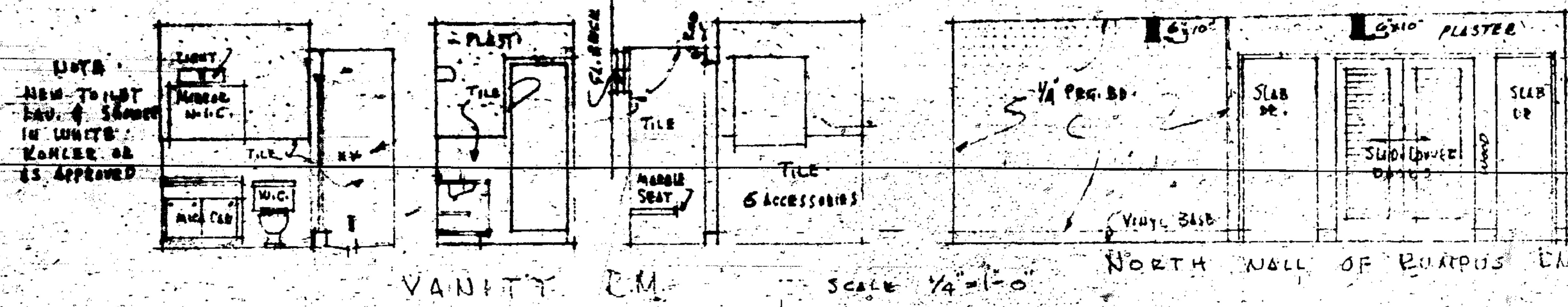


**ALTERATION & ADDITION TO RES. OF MR. & MRS. L. D. BRISBON**  
 813 HARRISON ST. HOLLYWOOD, CALIF.  
 DATE: JUN 12, 1941  
 DRAWN BY: DONALD HOLLER, AIA  
 HOLLYWOOD, CALIF.



**GENERAL NOTES**

ALL WORK SHALL COMPLY WITH LOCAL BUILDING CODES IS MIM.  
 ALL LUMBER IN CONTACT WITH MASONRY SHALL BE TREATED WITH CALCOB OR WOOD LIFE ACCORD. TO M.P.G.S. DIRECTIONS.  
 ALL NEW EXTERIOR CMT. & STUCCO SHALL BE PAINTED W/ 2 COATS OF APPROVED POLYVINYL PAINT.  
 ALL NEW INTERIOR STUCCO WALLS SHALL BE GIVEN 2 COATS TO MATCH SAND FINI. PLAST. ALL NEW #8 LD WOOD SHALL BE GIVEN 2 COATS OF OIL PAINT WHERE EXPOSED. PEG BOARD ON RUMPS CM. SIDE SHALL HAVE 2 COATS OF APPROVED VINYL PAINT.  
 USE SCHLIG LOCKS WHERE REQUIRED. WHERE POSSIBLE USE EXISTING MATERIAL FROM EXIST. GARAGE.



**GRADE BEAM SCHEDULE**

MARK	W	D	ST	BUT	TOP	REMARKS
101	22	18	1-8	1-8	2-3	EXTEND BUT TO INTO 105
102	22	18	2-7	2-7	2-4	
103	22	18	2-7	2-7	2-4	
104	22	18	2-7	2-7	2-4	
105	22	18	2-7	2-7	2-4	BUTING BUT TO FROM 101 TO 105
106	22	18	2-7	2-7	2-4	KEY INTO EXIST. CONCRETE

ALL SLAB & BEAM CONC. 3000 P.S.I.

**SLAB SCHEDULE**

MARK	THICK	REINFORCING	YEM.
S-1	4"	#5 @ 12" ON C.	#3 @ 12"
S-2	6"	#5 @ 12" ON C.	#3 @ 12"
S-3	6"	#4 @ 12" ON C.	BENT UP BAR.

**ALTERATION & ADDITION TO RES. OF MR. & MRS. L.D. GEISDOERF**  
 813 HARBOR HILLS WOOD - FLORIDA

ALL SLABS POURED MANUALLY IN PLACES  
 9" MIN. CONC. PILLS DRIVEN TO REFUSAL.

CREATING OFFICE: DONALD W. HARRIS, AIA  
 HELLWOOD, ALABAMA



REMOVE EXIST.  
FRAME STUDIO  
BUILDING

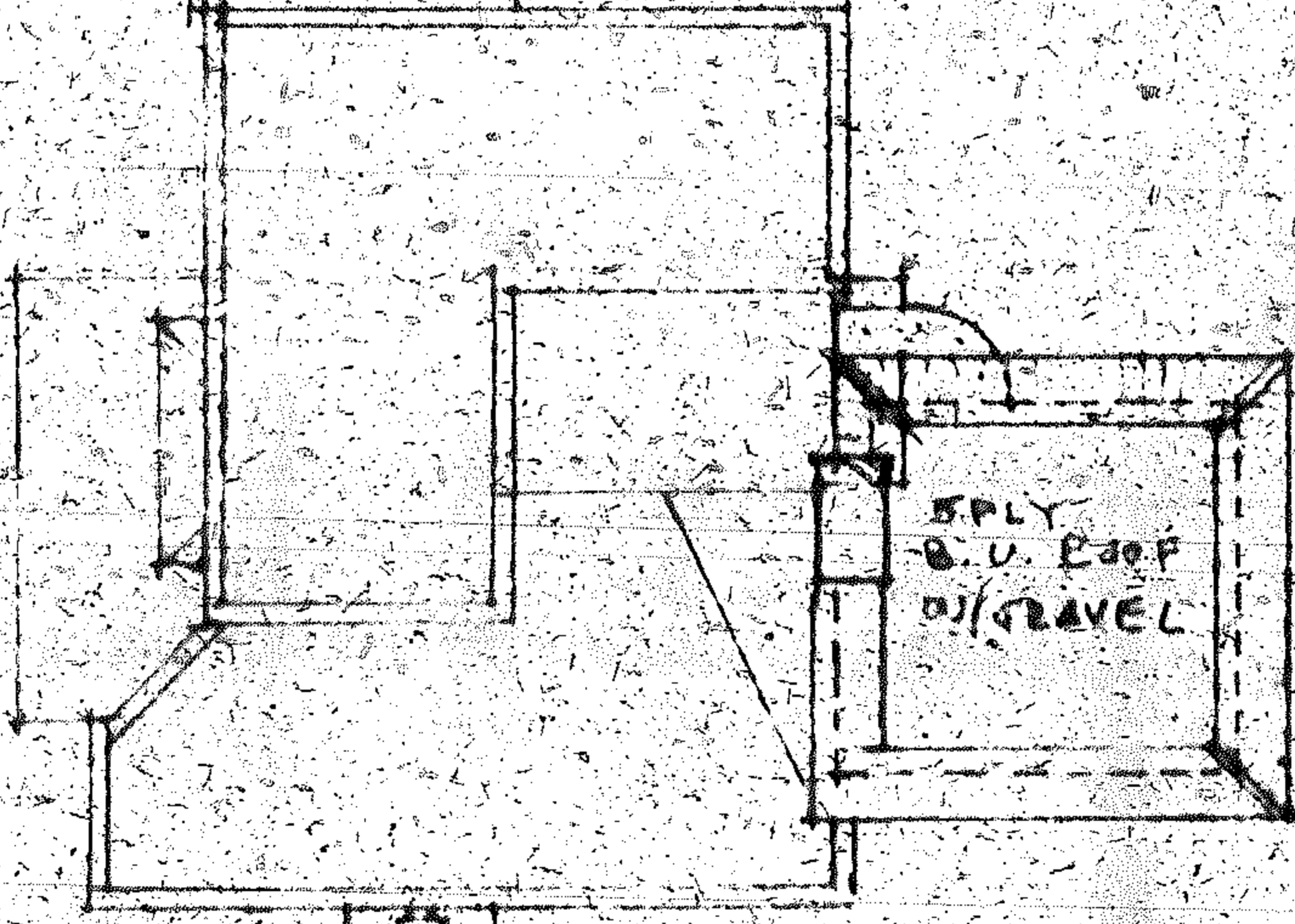
NOTE CONN. TO  
EXIST. SEWER  
LINES IN EXIST.  
GARAGE WHICH ARE  
NOW CONN. TO CITY  
SEWER



NEW PLAY RM.

NEW ROOF  
FIN. ON  
EXIST.

LOTS 12 8 13  
BLK 74  
HOLLYWOOD LAKE  
SECTION



NEW 2ND  
FLOOR OVER  
SUN ROOM

813 HARRISON ST.

ROOF & PLOT PLAN  
SCALE 1/16" = 1'-0"



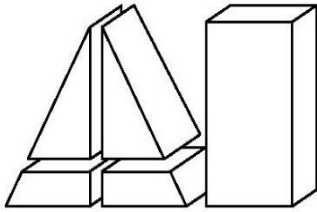


## **Existing**

**Lots 12 and 13, Block 74, Hollywood Lakes Section, according to the map or plat thereof as recorded in Plat Book 1, Page 32, Public Records of Broward County, Florida.**

## **Proposed**

**Two-Story Single-Family Residence. 5 bedrooms +1 office space, 5 bathrooms + 1 powder room 2 vehicle carport and private pool deck.**



## **ARBAB ENGINEERING, INC.**

CONSULTING ENGINEERS. 3363 NE 163rd STREET, SUITE 701.N.MIAMI BEACH, FL 33160. (305)940-3088. FAX: (305)940-3273

---

July 31, 2023

City of Hollywood Planning Division  
2600 Hollywood Boulevard, Room 315  
Hollywood, Florida 33022

Re: **Structural Evaluation Report for:**  
**813 Harrison Street**  
**Hollywood, Florida**

To Whom It May Concern:

This report has been prepared for the specific purpose of evaluating the current structural condition of the two story single-family residence located at above referenced property. The descriptions below are our professional opinions based on experience as a result of visual observations of the building on June 15 and July 27, 2023.

While there may be latent conditions that have not been fully explored and are not identified such as attic and crawl spaces, this does not impede the fundamental conclusions stated in this report.

### **STRUCTURAL FRAMING OF THE HOUSE:**

The main house is a two-story residence, with roof and floor joists transferring the load to the existing exterior and interior load bearing walls and ultimately to the foundation.

The foundation of the house was not exposed for verification and there are no existing drawings for verification, however, it appeared to be on spread footing.

One story detached guest house is located to the North of the main residence.

The exterior walls of the two-story residence are masonry, with tie beams and tie columns. Ground floor framing consists of 2x wood floor joists above the crawl space which are supported by exterior and interior stem walls. The second floor of this house is also 2x wood joist members, supported by exterior masonry load bearing walls and interior stem walls.

A wood stair is providing access to the second floor of this residence.

Continued on Page 2



City of Hollywood Planning Division

Page 2  
July 31, 2023

Re: **Structural Evaluation Report for:  
813 Harrison Street**

**STRUCTURAL INSPECTION AND FINDINGS:**

During our observations we noticed that the majority of the first floor wood joists are completely collapsed into the crawl space and only minor portion of the floor system stayed in place. The first floor area is in poor and unsafe condition. The extent of the collapsed floor is to the point that makes it difficult to walk inside the house. Please see attached photographs.

The existing wood stair and railing is also affected by the collapse of the floor and they are in very poor and unsafe condition.

Second floor joists are also affected by first floor collapse and appeared to be in poor and unsafe condition at this time.

In order to repair and replace the interior of the house, the entire first and most or all of second floor framing shall be removed, leaving only the exterior walls in place.

Condition of the exterior walls of this house are unknown and requires additional investigation, in order to completely verify their condition.

The one story detached guest house at North side of property appeared to be in fair condition at this time.

Much of the original electrical system still in place, which represents a potential fire hazard, due to the use of outdated cloth wiring.

Finished floor of the house appeared to be below the minimum FEMA flood elevation criteria.

Despite relatively fair condition of this house from outside, due to the extent of the damage to interior of the house, which include first floor, second floor, damaged interior stud walls, damaged existing stair, the entire interior of the main house needs to be demolished and completely replaced with new.

Sub-standard windows and door shall be replaced with new, to comply with the requirements of South Florida Building Code.

All damaged concrete beams, some with exposed reinforcing, require complete structural restoration.

A/C unit requires replacement.

Continued on Page 3

City of Hollywood Planning Division  
Page 3  
July 31, 2023

Re: **Structural Evaluation Report for:  
813 Harrison Street**

**Conclusion:**

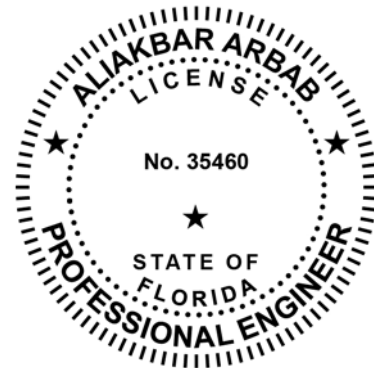
It is clear that the foundation, floor joists, floor & roof decking, plumbing system, and electrical systems are damaged and continue to deteriorate for reasons previously stated. The first floor of this residence appeared to be a couple of feet below flood level. It appears that the house is supported by spread footing and not by piles and grade beams. The lack of adequate reinforcing inside the exterior masonry walls and proper metal connectors to fasten the roof structure to the exterior walls and foundation, make the building unsafe and suspect to catastrophic failure and potential collapse during a hurricane or other strong wind event. The considerable cost required to repair, reinforce, replace, and reconstruct the structural of this residence, particularly reconstruction of the entire interior framing of this residence, due to collapse of the interior framing, and MEP systems. To provide a building that meets the current Florida Building Code and allow for the safe & healthy human habitation, would lead to a substantial improvement. That would mandate that the building be brought into full compliance with current FEMA regulations and the 2020 Florida Building Code. In my professional opinion, based on knowledge and experience, due to the extent and magnitude of damage to the structure that is visibly evident, FEMA flood requirement, as well as the latent damage and deterioration that is festering below the ground and behind finishes, the existing two-story residence may be considered to be replaced with re-building new residence, in order to comply with all requirements of the Florida Building Code, since rehabilitation is not a feasible option.

If you have any questions regarding this structural evaluation report, feel free to contact me in my office at 305-940-3088 during office hours.

Sincerely,



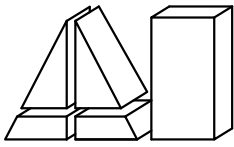
Ali Arbab, P.E.  
**For Arbab Engineering, Inc.**  
**FL # PE 35460, SI #456**



**Attachments**

AA/aa

Z:\Drive\2023 Projects\728 Tyler/ Report\813 Harrison Evaluation Report



**ARBAB ENGINEERING, INC.**  
**CONSULTING ENGINEERS**

3363 NE 163rd STREET, SUITE 701  
NORTH MIAMI BEACH, FLORIDA 33160  
PHONE NO. (305) 940-3088 FAX. NO. (305) 940-3273

Page: P-1  
Project: STRUCTURAL EVALUATION REPORT

813 Harrison Street  
Hollywood, Florida

Date: July 31, 2023

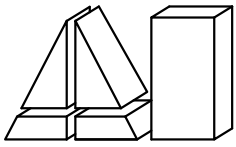


SOUTH ELEVATION AND ENTRANCE  
TO THE HOUSE



SOUTH-WEST CORNER OF THE  
HOUSE ( TWO STORY PORTION)





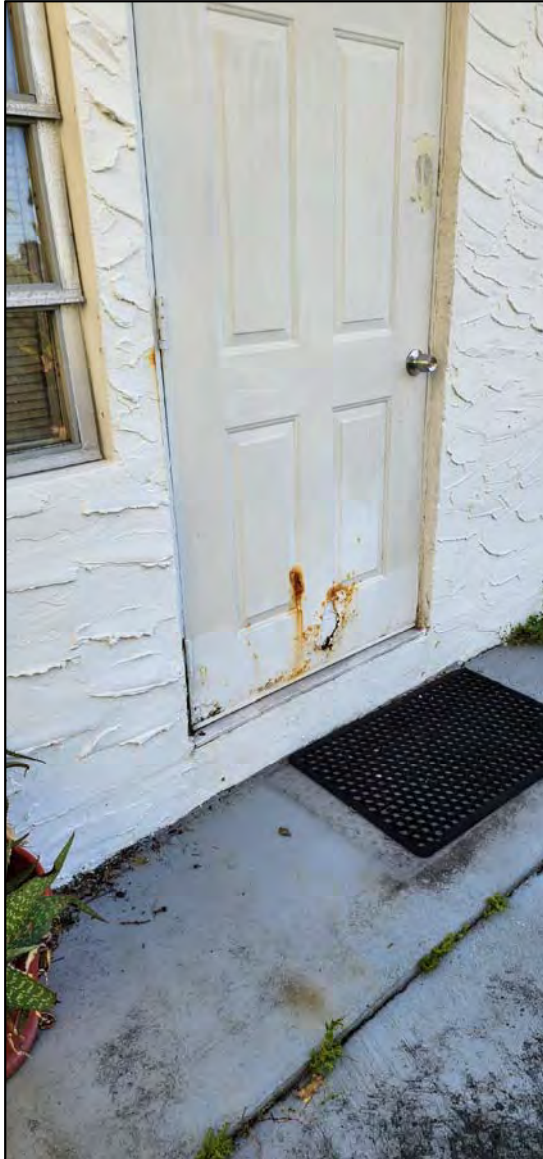
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813 Harrison Street  
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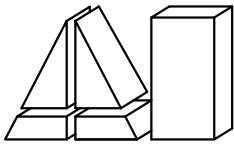
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REAR ENTRANCE TO THE HOUSE



VIEW OF NORTH DETACHED GUEST  
HOUSE AND TWO STORY  
RESIDENCE



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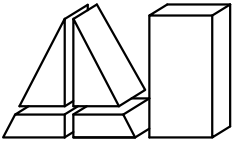


NORTH ELEVATION OF GUEST HOUSE



COLLAPSE OF INTERIOR OF FIRST FLOOR





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PHONE NO. (305) 940-3088 FAX. NO. (305) 940-3273

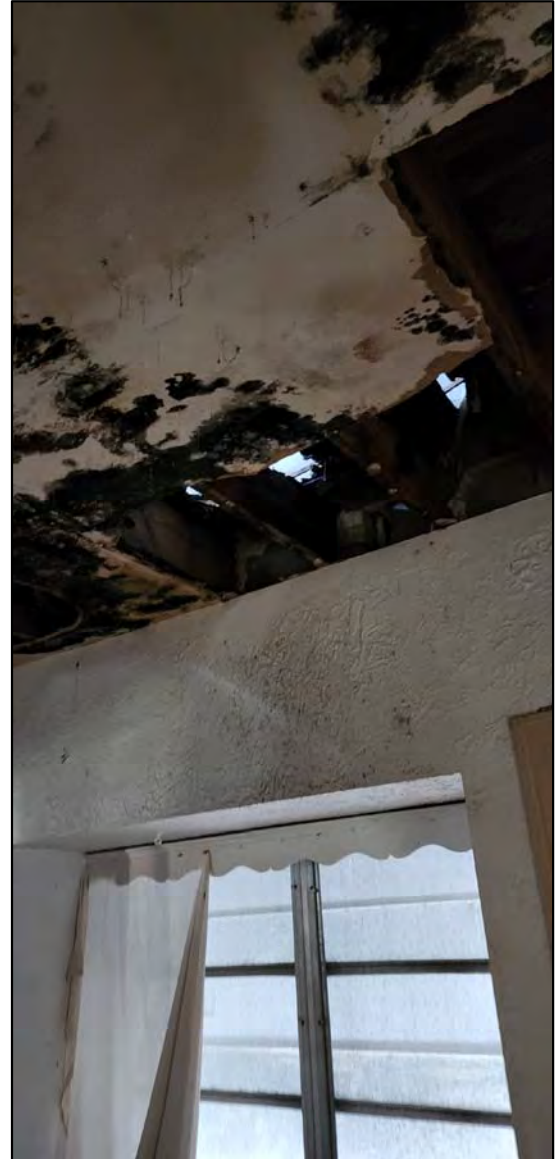
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Project: STRUCTURAL EVALUATION REPORT

813 Harrison Street  
Hollywood, Florida

Date: July 31, 2023

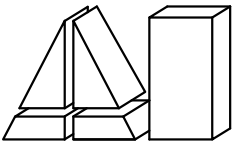


DAMAGED INTERIOR OF THE HOUSE  
(VERY POOR CONDITION)



CEILING DAMAGE AND CONDITION  
OF INTERIOR FINISHES





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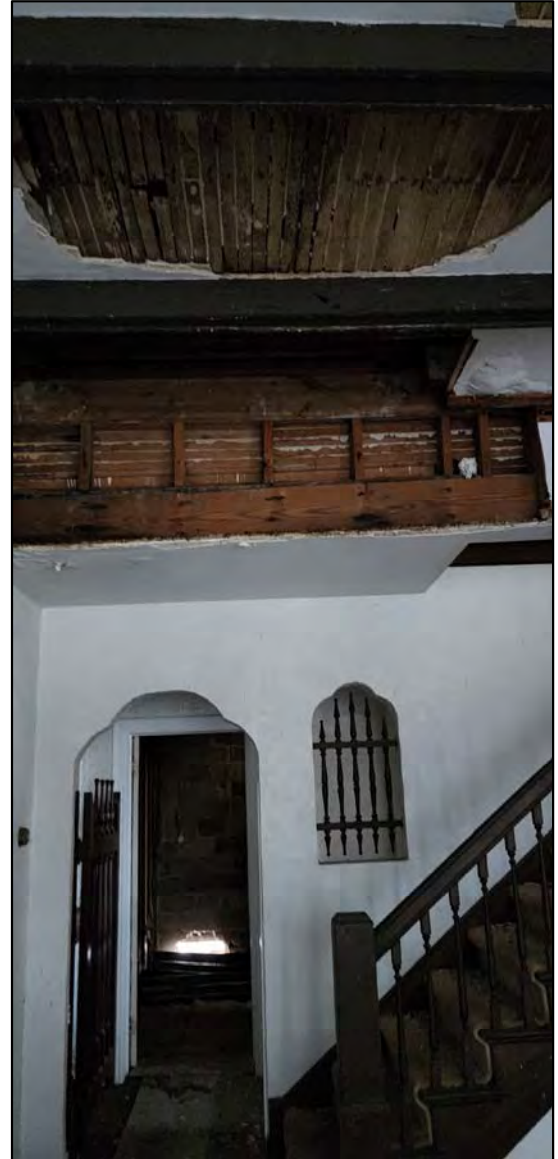
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813 Harrison Street  
Hollywood, Florida

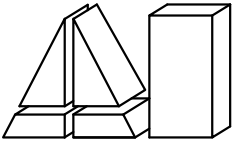
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COMPLETE COLLAPSE OF FIRST  
FLOOR



WOOD STAIR AND DAMAGED  
CEILING



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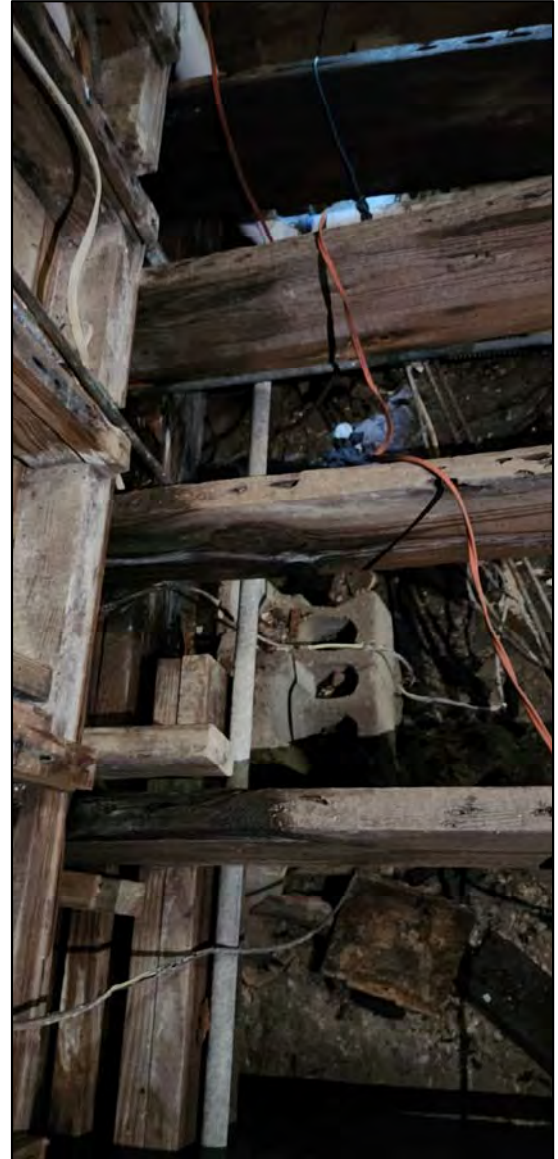
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Hollywood, Florida

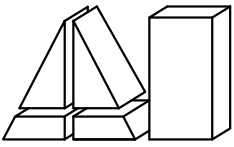
Date: July 31, 2023



**COLLAPSE OF THE FIRST FLOOR AND  
EXPOSED DETERIORATED FLOOR  
JOISTS AND WOOD STUDS**



**COLLAPSED FLOOR AND  
DETERIORATED WOOD JOISTS AND  
WOOD STUDS**



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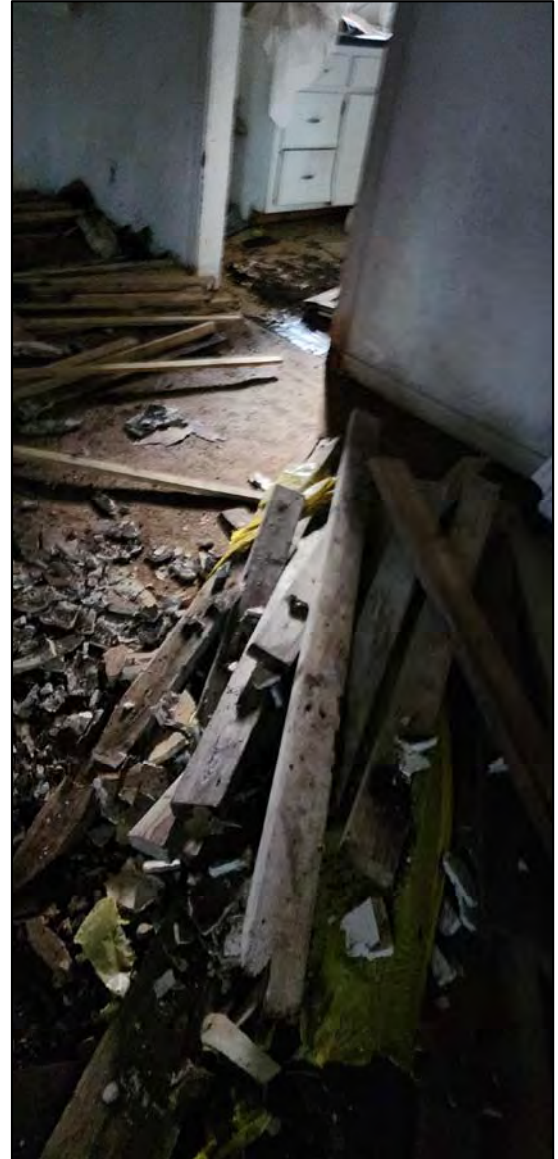
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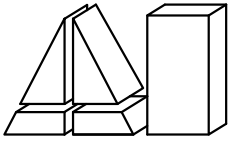


DAMAGED SECOND FLOOR



VIEW OF COLLAPSED FIRST FLOOR





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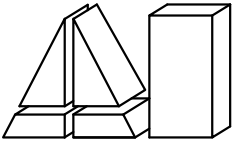
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PARTIAL VIEW OF SECOND FLOOR



DAMAGED INTERIOR FRAMING



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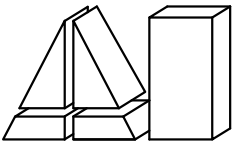


DETERIORATED WINDOW FRAME AND  
EXPOSED RUSTED REINFORCING IN  
CONCRETE BEAM



COLLAPSE OF ENTIRE FIRST FLOOR





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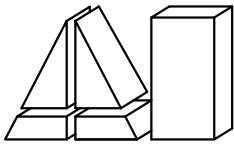
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COLLAPSE OF FIRST FLOOR



DIAGONAL CRACKS ABOVE THE  
DOOR



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**CONSULTING ENGINEERS**

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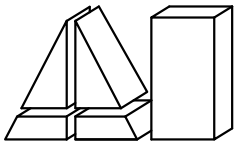


COLLAPSE OF FIRST FLOOR AND  
DETERIORATED MEMBERS



DAMAGED INTERIOR





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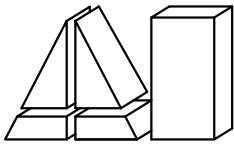
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DAMAGED INTERIOR



DAMAGED INTERIOR



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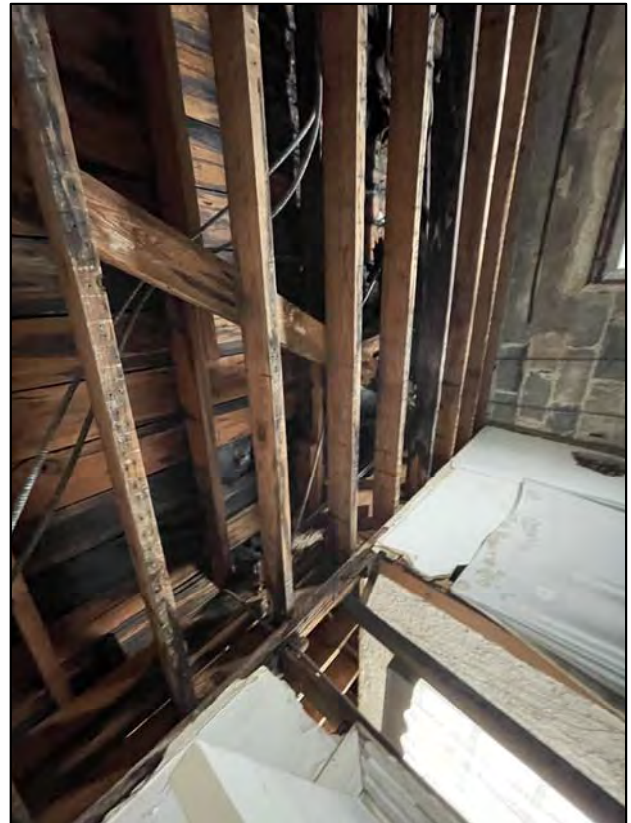
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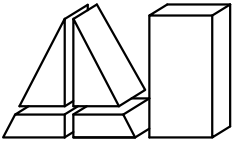


DAMAGED INTERIOR



DAMAGED INTERIOR





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Project: STRUCTURAL EVALUATION REPORT

813 Harrison Street  
Hollywood, Florida

Date: July 31, 2023



DAMAGED INTERIOR



DAMAGED INTERIOR



KallerArchitecture

City of Hollywood  
2600 Hollywood Boulevard  
Hollywood, Florida 33020

August 2nd, 2023

Re:  
813 Harrison Street  
Hollywood, Florida 33019  
Architect's Project #23064

## **CRITERIA OF APPROPRIATENESS FOR DESIGN**

### **813 Harrison Street – New Two-Story Single-Family Residence**

#### **CRITERION 1: INTEGRITY OF LOCATION**

The property is located in the Hollywood Beach North and Southlake District on the southern side of Hollywood Boulevard close proximity to the Intracoastal Waterway, built in 1940 as a One-Story Multi-Family Duplex that sits alongside its respective residential zoning. The newly proposed Two-Story Single-Family Residence sits on a 100'-0" wide lot similar to its neighboring properties within its zoning designation of RS-6.

#### **CRITERION 2: DESIGN**

**ANALYSIS:** The existing building was built in 1940 and there are no records revealing the existing structure has any contribution to the Historic District. Through the years, it was repaired and renovated, however, in no way shape or form has it contributed to its aesthetic appeal. On the contrary, the new proposed building refreshes the curb appeal alongside Harrison Street with a modern-contemporary style. This proposed structure will become a gateway to Hollywood Beach Boardwalk from Harrison Street, in which the design highlights a two-story volume with horizontal and vertical glass windows at the front and rear of the building inviting an abundance of natural light while also highlighting the richness of the

surrounding contextual environment. The main design concept is based on two cubes that wrap around a tiered center core. The cube that wraps the southeast corner serves as the bedroom quarters. The second cube that wraps the southwest corner is comprised of social spaces, private bedroom and open to sky terrace. The center core serves as the main living space with a staircase that encompasses a two-story volume with a second floor “catwalk” connecting both cubes.

### **CRITERION 3: SETTING**

The setting of the existing duplex is typical to most of the homes in the Historic District Section seating on the north side of Harrison St. with access to Hollywood Beach Boardwalk and The Intracoastal Waterway.

### **CRITERION 4: MATERIALS**

All materials/colors to be used in the proposed building are to be a series of light and dark grey tones with features of composite wood panels and smooth stucco finishes.

### **CRITERION 5: ASSOCIATION**

The proposed new construction has been designed to be a Two- Story Single Family Residence with access to a rooftop terrace. On the ground floor will be a series of steps leading to the main entry door. Upon entry is the double-height living room, to the left will be a fully open staircase, utilities and social spaces. To the right side will be the main bedroom towards the rear of the building overlooking the private pool deck. Upon arrival at the second floor, to the left will be a private bedroom and a fully open outdoor terrace. To the right side of the “catwalk” will be the bedroom quarters with direct access to their respective private bathrooms and terraces.

The Architectural style reflects Modern-Contemporary with pure orthogonal geometries and hierarchical volumes.

## CRITERION 6: WORKMANSHIP

The workmanship on the proposed new construction will be a guarantee that all State and Local regulations are to be upheld. Proper barricading will be provided during the demolition of the existing structure and new construction work. All practices will meet or exceed requirements of the Florida Building Code 2020, 7<sup>th</sup> edition and the State of Florida Department of Environmental Protection.

Should you have any questions, please feel free to contact this office.

Sincerely,



KallerArchitecture

**Giovanni Muñoz Vargas** NCARB – NAR - AIA assoc. | Associate

2417 Hollywood Blvd Hollywood, FL

t. 954 920 5746 c. 305 586 7952

e. [giovanni@kallerarchitects.com](mailto:giovanni@kallerarchitects.com)

w. [kallerarchitects.com](http://kallerarchitects.com)



KallerArchitecture

**Mitchell Fraiman** | NCARB, AIA | Architectural Associate

2417 Hollywood Blvd Hollywood, FL

t. 954 920 5746 e. [mfraiman@kallerarchitects.com](mailto:mfraiman@kallerarchitects.com)

w. [Kallerarchitects.com](http://Kallerarchitects.com)











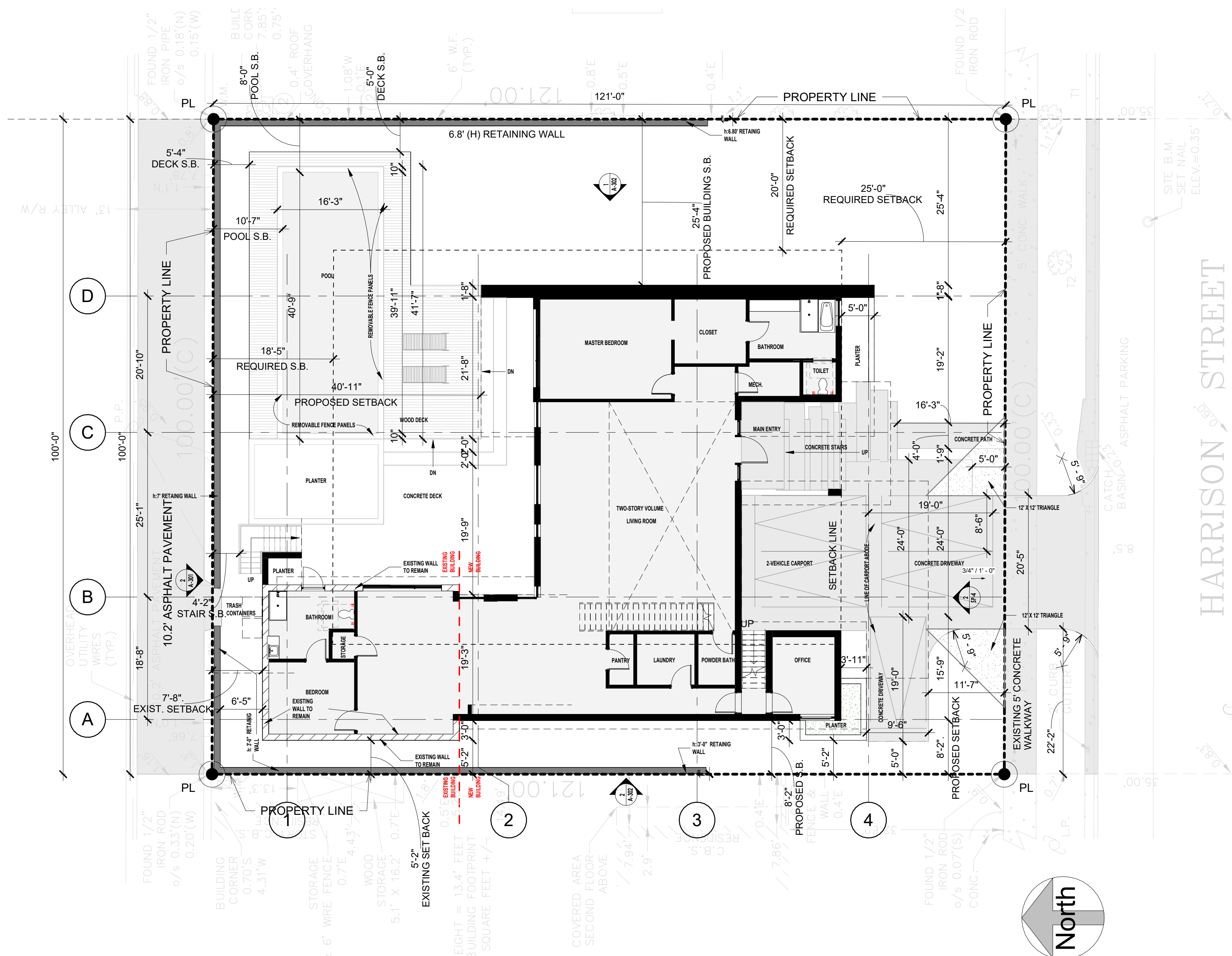












**1 01. GROUND LEVEL.**  
3/32" = 1'-0"

**GREEN BUILDING PRACTICES FROM CITY OF HOLLYWOOD ORDINANCE #0-2015-06**

- RADIANT BARRIER ROOF - SEALOFLEX COOL ROOF - REFLECTO WHITE. WALLS - AL-FOIL REFLECTIVE
- WINDOWS AND GLAZING LOW E, TINTED DOUBLE GLAZING- U FACTOR 0.56, SHGC 0.25
- DOORS INSULATED AND FIRE RATED
- ENERGY STAR ROOFING SEALOFLEX COOL ROOF - REFLECTO WHITE.
- PROGRAMMABLE THERMOSTATS
- OCCUPANCY SENSORS
- DUAL FLUSH TOILETS
- 80% OF PLANT MATERIAL NATIVE
- ENERGY EFFICIENT OUTDOOR LIGHTING
- INSULATED PIPING
- RECYCLING AREA
- ENERGY STAR APPLIANCES
- ONE LOW FLOW SHOWERHEAD
- ENERGY EFFICIENT OUTDOOR LIGHTING
- ENERGY EFFICIENCY 10% BETTER THAN STANDARD ESTABLISHED BY ASHRAE.
- MERV 8 AC FILTERS

SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.

SITE LIGHTING NOTE:  
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.

PER NFPA 1, 12.3.2\* A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.

NFPA 1(2015 EDITOR) CHAPTER 11.10 REQUIRES THAT MINIMUM RADIO SIGNAL STRENGTH FROM FIRE DEPARTMENT COMMUNICATIONS BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ FROM ALL NEW AND EXISTING BUILDINGS INCLUDING COMPLYING WITH NFPA T2 (2013 EDITOR) BDA SYSTEM MAY BE REQUIRED

A PRE-HEAT MAP PLAN, CONCEPTUAL DRAWINGS AND CUT SHEETS WILL BE REQUIRED TO BE SUBMITTED WITH THE MAIN SET OF ARCHITECTURAL DRAWINGS FOR THE BDA SYSTEM

ALL CHANGES TO THE DESIGN WILL REQUIRE PLANING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

FEMA NOTE:  
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

NOTE:  
BUILDING TO COMPLY WITH CHAPTER 108 REGARDING ALL MARINE TURTLE PROTECTION

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE MC-1 ZONING DISTRICT. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION.

NOTE: PRIOR TO POURING THE FIRST FLOOR TIE BEAM A SPOT SURVEY OF THE FINISHED FLOOR ELEVATION MUST BE SUBMITTED TO THE BUILDING DEPT.

FEMA NOTE: THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS . AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

FEMA NOTE:  
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT THE TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT

TWO WAY RADIO COMPLIANCE: BUILDING WILL BE IN COMPLIANCE WITH N.F.P.A. 1, 11.10 AND BROWARD COUNTY CODE AMENDMENT 118.2 FOR TWO WAY RADIO COMMUNICATION.

NOTE: TRASH AND RECYCLE BIN TO BE INDIVIDUAL PER UNIT

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE HOLLYWOOD LAKES SECTION 1-32 B LOT 12.13 BLK 74 RS-6 ZONING DISTRICT

**PROPERTY ADDRESS**

813 HARRISON STREET  
HOLLYWOOD, FL 33019

**FOLIO**

# 514214024580

**LEGAL DESCRIPTION**

HOLLYWOOD LAKES SECTION 1-32 B LOT 12,13 BLK 74

SITE INFORMATION	EXISTING	PROPOSED
ZONING:	RS-6	N/A
SUB-DISTRICT:	N/A	N/A
BUILDING USE:	SINGLE FAMILY DWELLING	N/A
LAND USE DESIGNATION:	RESIDENTIAL	N/A
COUNTY USE DESIGNATION:	RESIDENTIAL	N/A
NET LOT AREA:	12,070 SQFT- 0.28 ACRES	N/A
GROSS LOT AREA:	15,564 SQFT- 0.36 ACRES	N/A
BASE FLOOD ZONE :	AE - 8.0' NAVD	

BUILDING INTENSITY	ALLOWED	PROVIDED
LOT COVERAGE	N/A	N/A
FAR:	N/A	N/A
A/C AREA:	N/A	5775.14 SF
BUILDING FOOT PRINT	N/A	3339.20
PROPOSED DWELLING:	1	1
NUMBER OF FLOORS	2	2
BUILDING HEIGHT	30 FEET	30 FEET

BUILDING INFORMATION	EXISTING	PROVIDED
TYPE OF CONSTRUCTION	TBD	TBD
SPRINKLER (REQUIRED)	TBD	TBD
FIRE ALARM (REQUIRED)	TBD	TBD

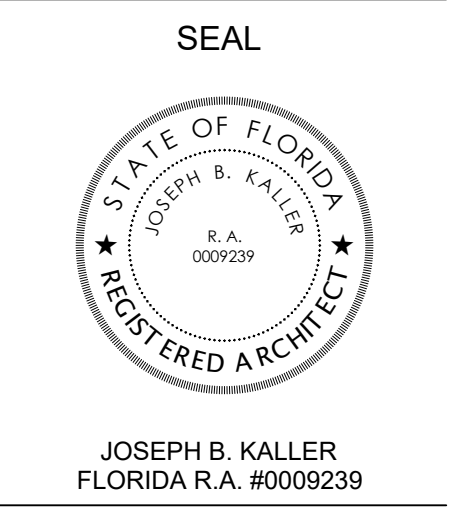
PARKING CALCULATION:	REQUIRED	PROVIDED
	5	5

SETBACKS:	REQUIRED	PROVIDED
(a) FRONTAGE (TYLER) (NORTH)	25' 0"	25' 0"
(b) SIDE INTERIOR (EAST)**	**	25' 4"
(c) SIDE INTERIOR (WEST)**	**	5'-2" EXISTING TO REMAIN
(d) REAR*	18.15'	7'-8" EXISTING TO REMAIN
* 15% LOT DEPTH		
** 25% OF LOT WITH		

LANDSCAPE	PROVIDED
IMPERVIOUS AREA BUILDING FOOTPRINT, PARKING, SIDEWALKS & DRIVES	7,260.00 S.F.
PERVIOUS AREA LANDSCAPE AREAS (TOTAL)	4,840.64 S.F.
GROSS BUILDING AREA:	INTERIOR
	FIRST FLOOR (A.C.) 3,054.62 SF
	SECOND FLOOR (A.C.) 2,027.24 SF
	TOTAL 5,081.86 SF



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**NEW TWO-STORY SINGLE-FAMILY RESIDENCE**  
**813 HARRISON STREET**  
**HOLLYWOOD, FL 33019**

**PROJECT TITLE**  
**SITE PLAN**

**REVISIONS**

No.	Description	Date

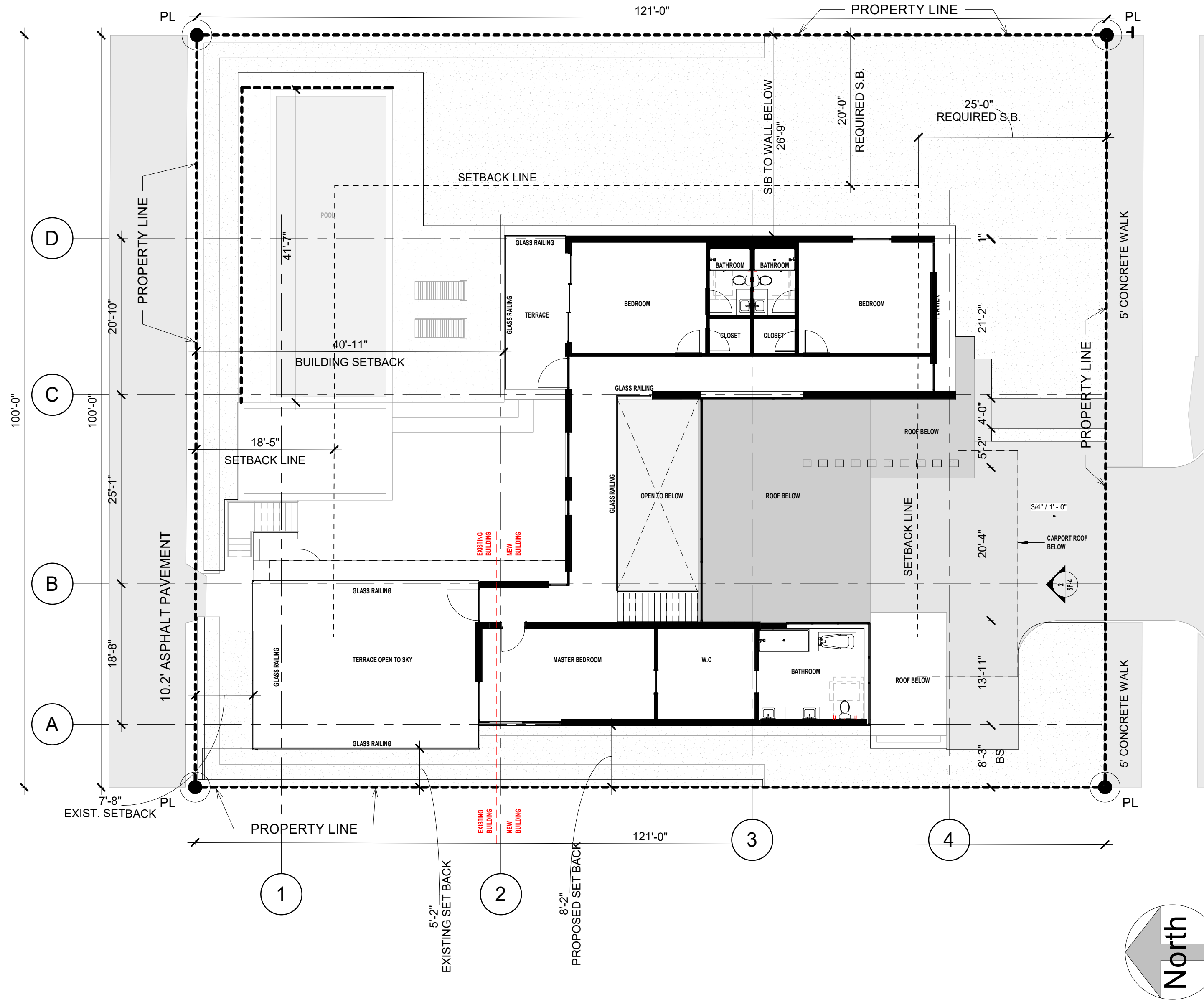
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PROJECT No.: 23064  
DATE: JULY 2023  
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CHECKED BY: GM

SHEET  
**SP-1**



**1 02. SECOND LEVEL**  
3/32" = 1'-0"



**HARRISON STREET**  
(70' RIGHT-OF-WAY)  
23.8' ASPHALT PAVEMENT

REVISIONS

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**1 801 HARRISON STREET**  
NTS



**3 750 HARRISON STREET**  
NTS



**5 804 HARRISON STREET**  
NTS



**7 820 HARRISON STREET**  
NTS



**9 821 HARRISON STREET**  
NTS



**2 745 HARRISON STREET**  
NTS



**4 800 HARRISON STREET**  
NTS



**6 814 HARRISON STREET**  
NTS



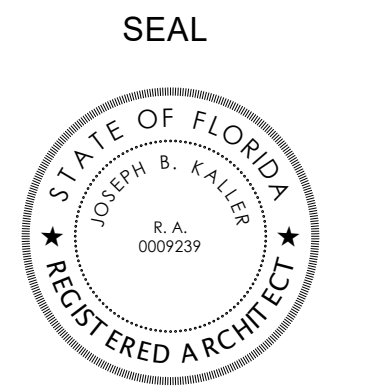
**8 826 HARRISON STREET**  
NTS



**10 817 HARRISON STREET**  
NTS



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JOSEPH B. KALLER  
FLORIDA R.A. #0009239

**PROJECT TITLE**  
NEW TWO-STORY SINGLE-FAMILY RESIDENCE  
**813 HARRISON STREET**  
HOLLYWOOD, FL 33019

**SHEET TITLE**  
HISTORIC

**REVISIONS**

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SHEET  
**SP-2**









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SEAL

JOSEPH B. KALLER  
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PROJECT TITLE  
**NEW TWO-STORY SINGLE-FAMILY RESIDENCE**  
**813 HARRISON STREET**  
 HOLLYWOOD, FL 33019

SHEET TITLE  
**STREET PROFILE VIEW**

REVISIONS

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SHEET

**SP-4**



**PROPOSED - FRONT**



**PROPOSED - REAR**

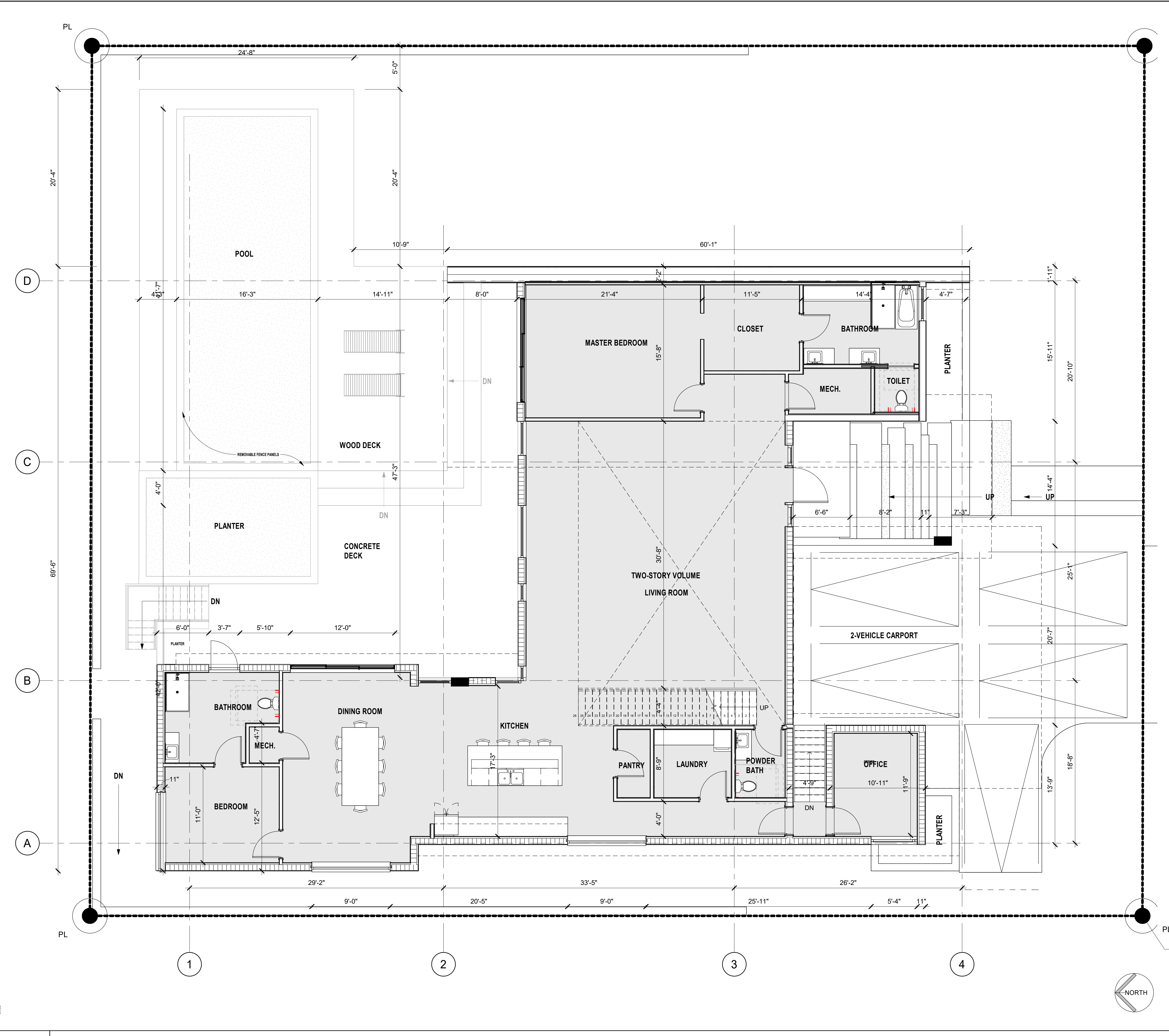


**2 STREET PROFILE**  
 1/8" = 1'-0"

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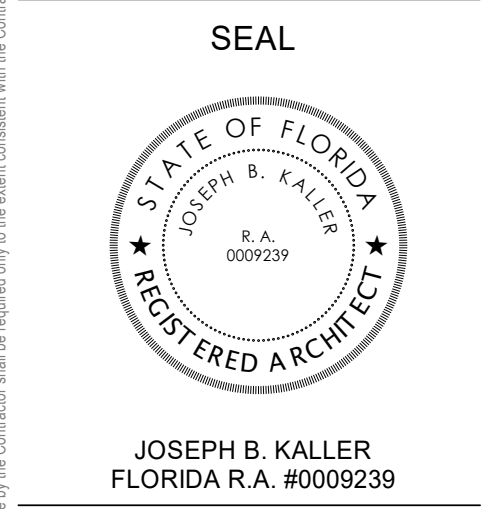
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  - ALL BALCONIES/TERRACES SLOPES SHALL BE 1/4"/FT MIN.
  - ALL WINDOWS TO BE IMPACT RESISTANT GLASS WINDOWS. GC TO PROVIDE NOA AND SHOP DRAWINGS FOR ARCHITECTS APPROVAL. SEE WINDOWS SCHEDULE FOR SAFETY GLASS CATEGORY
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  - ALL INTERIOR FINISHES SHALL COMPLY WITH CHAPTER 8, TABLE 803.11 OF THE 2017 FBC 5TH EDITION.
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- EGRESS NOTES:**
- EACH SLEEPING ROOM SHALL HAVE (2) MEANS OF EGRESS. THE SECONDARY MEANS SHALL BE AN OPERABLE WINDOW AS PER NFPA 101 SECTION 24.2.2.3
  - THE BOTTOM OF THE OPENING SHALL BE NO MORE THAN 44" AFF
  - A MIN WIDTH OF 20" & MIN HEIGHT 24"
  - SHALL NOT BE LESS THAN 5.7 sq.ft. CLEAR OPENING

- BATHROOM NOTES:**
- PROVIDE (MOISTURE RESISTANT) 5/8" DENS-SHIELD TILE BACKER & WATER-PROOF JOINT-GROUT (OR SIMILAR) @ ALL WET AREAS
  - PROVIDE A WIPEABLE / NON-ABSORBENT SURFACES/FINISHES @ ALL BATHROOMS (WET LOCATIONS) (WALLS & CEILINGS) - FINISH SELECTION BY OWNER/ INTERIOR DESIGNER (TYP)
  - ALL SHOWER ENCLOSURES & GLASS RAILS SHALL BE TEMPERED (SAFETY) GLASS CATEGORY II, AS SET FORTH BY FBC 8th ED
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  - FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1



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**NEW TWO-STORY SINGLE-FAMILY RESIDENCE**  
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 HOLLYWOOD, FL 33019

**PROJECT TITLE**  
 GROUND LEVEL FLOOR PLAN

**REVISIONS**

No.	Description	Date

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PROJECT No.: 23064  
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SHEET

**A-101**

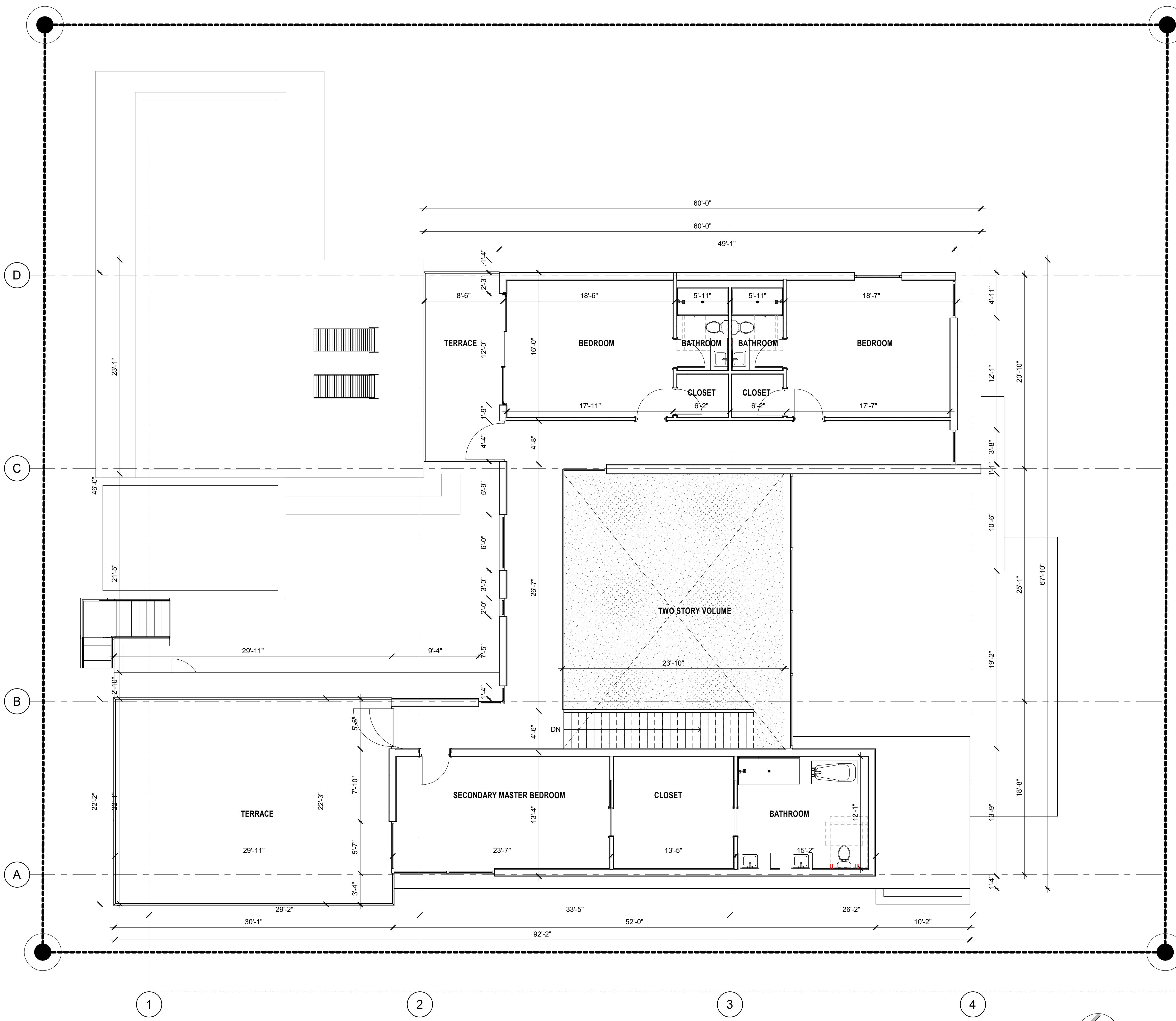
**1**

**GROUND FLOOR**  
 3/16" = 1'-0"

**2**

**GENERAL NOTES**





- GENERAL PLAN NOTES:**
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  2. CONTRACTOR TO SUPPLY ALL (TREATED) WALL-BLOCKING TO SUPPORT ALL FURNITURE & OTHER THAT REQUIRE BEING MOUNTED OR FIXED TO THE WALL
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  9. PROPOSED FRAMED/GWB CEILING SHALL NOT BE LESS THAN 7'-6" AFF (TYP)
  10. ANY WOOD IN CONCEALED SPACES SHALL BE FIRE RETARDANT (TYP)
  11. TERMITE PROTECTION: ALL SOIL AND FILL UNDER FLOORS AND/OR WITHIN OR UNDER BUILDING SHALL HAVE PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTING AGAINST TERMITES. THE STANDARDS OF THE NATIONAL PEST CONTROL ASSOCIATION SHALL BE DEEMED AS APPROVED IN RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY
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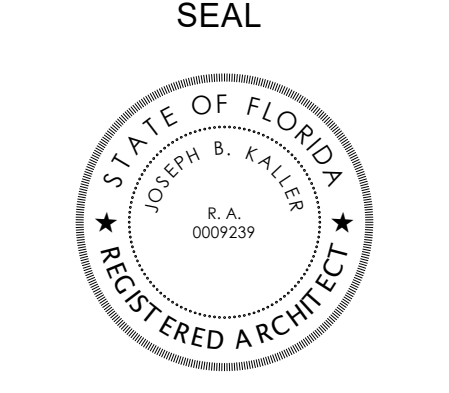
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**PROJECT TITLE**  
 NEW TWO-STORY SINGLE-FAMILY RESIDENCE  
**813 HARRISON STREET**  
 HOLLYWOOD, FL 33019

**SHEET TITLE**  
 SECOND LEVEL FLOOR  
 PLAN

**REVISIONS**

No.	Description	Date

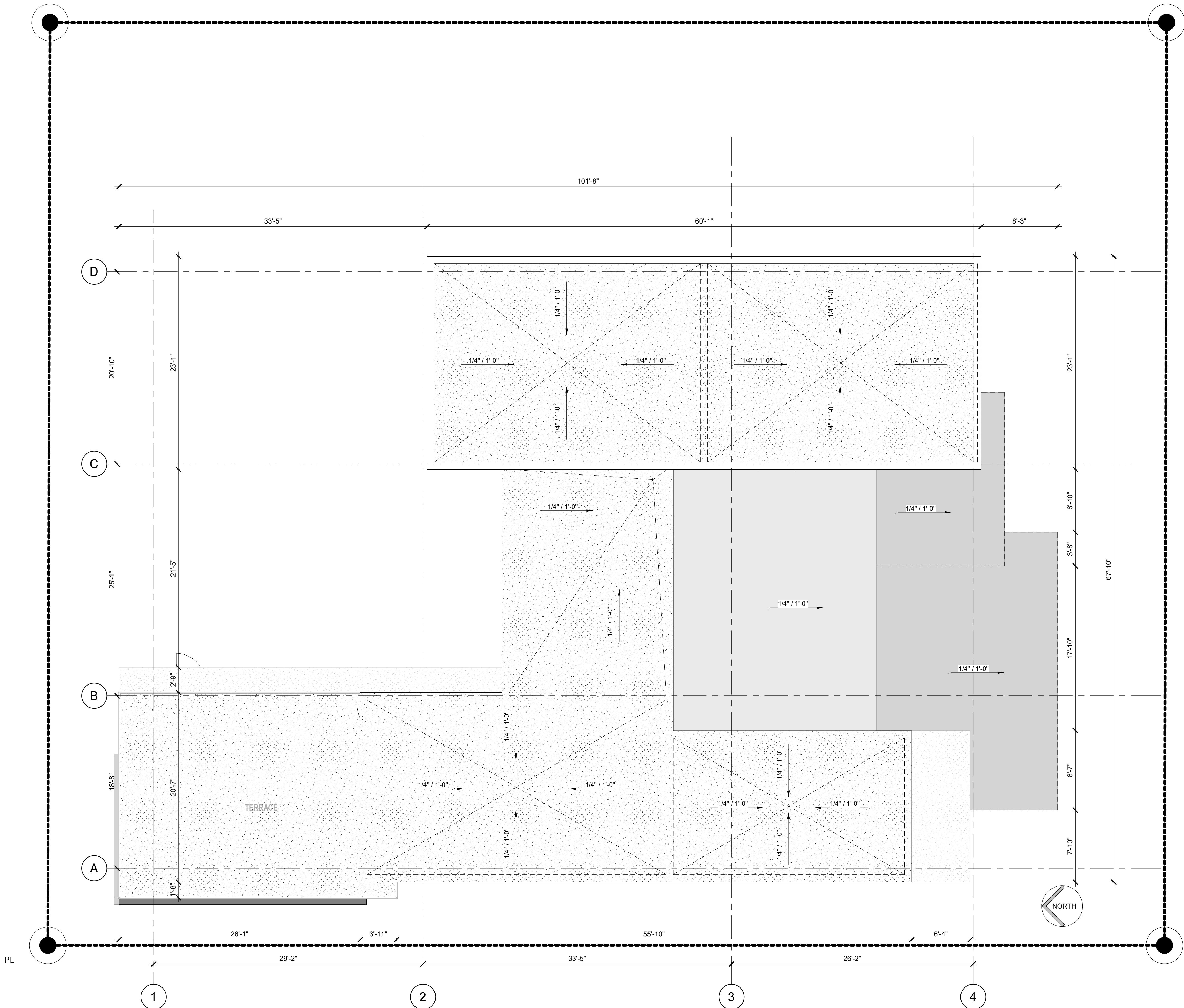
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SHEET



PL



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- CONTRACTOR TO PROVIDE VIBRATION ABSORBING PADS OR SPRINGS TO THE CONDENSING UNITS TO REDUCE NOISE VIBRATION (TYP)
- CONTRACTOR SHALL COORDINATE LABOR, INSTALLATION PROCESS & ALL WALL FINISHES (EX. STONE) W/ OWNER/D. (TYP)
- PROVIDE R-5 (min) INSULATION @ ALL EXTERIOR CBS WALLS (TYP)
- ALL BALCONIES/TERRACES SLOPES SHALL BE 1/4"/FT MIN.
- ALL WINDOWS TO BE IMPACT RESISTANT GLASS WINDOWS. GC TO PROVIDE NOA AND SHOP DRAWINGS FOR ARCHITECTS APPROVAL. SEE WINDOWS SCHEDULE FOR SAFETY GLASS CATEGORY
- ALL EXTERIOR DOORS TO BE IMPACT RESISTANT WEATHER SEALED DOORS. SEE DOOR SCHEDULE. GC TO PROVIDE NOA.
- ALL EXTERIOR SLIDING ALUMINUM AND GLASS DOORS TO BE IMPACT RESISTANT SAFETY (CAT II) GLASS/ALUMINUM DOORS. SEE DOOR SCHEDULE.
- ALL INTERIOR FINISHES SHALL COMPLY WITH CHAPTER 8, TABLE 803.11 OF THE 2017 FBC 5TH EDITION.
- ALL GUARDRAILS TO BE 42" AFF ALUMINUM & GLASS GUARDRAILS. GC TO PROVIDE SHOP DRAWINGS/NOA FOR APPROVAL.

EGRESS NOTES:

- EACH SLEEPING ROOM SHALL HAVE (2) MEANS OF EGRESS. THE SECONDARY MEANS SHALL BE AN OPERABLE WINDOW AS PER NFPA 101 SECTION 24.2.2.3
  - A. THE BOTTOM OF THE OPENING SHALL BE NO MORE THAN 44" AFF
  - B. A MIN WIDTH OF 20" & MIN HEIGHT 24"
  - C. SHALL NOT BE LESS THAN 5.7 sq.ft. CLEAR OPENING

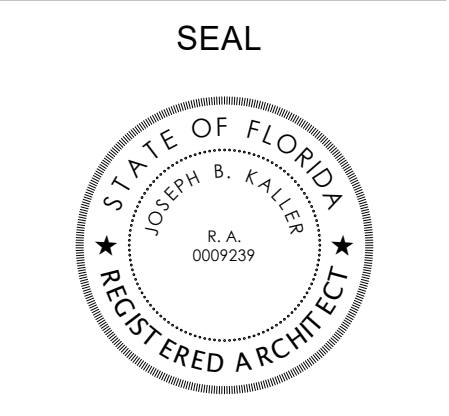
BATHROOM NOTES:

- PROVIDE (MOISTURE RESISTANT) 5/8" DENS-SHIELD TILE BACKER & WATER-PROOF JOINT-GROUT (OR SIMILAR) @ ALL WET AREAS
- PROVIDE A WIPEABLE / NON-ABSORBENT SURFACES/FINISHES @ ALL BATHROOMS (WET LOCATIONS) (WALLS & CEILINGS) - FINISH SELECTION BY OWNER/ INTERIOR DESIGNER (TYP)
- ALL SHOWER ENCLOSURES & GLASS RAILS SHALL BE TEMPERED (SAFETY) GLASS CATEGORY II, AS SET FORTH BY FBC 8th ED
- FBC R307.2 - BATHTUB AND SHOWER SPACES, BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.
- FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1



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JOSEPH B. KALLER  
 FLORIDA R.A. #0009239

**PROJECT TITLE**  
 NEW TWO-STORY SINGLE-FAMILY RESIDENCE  
**813 HARRISON STREET**  
 HOLLYWOOD, FL 33019

**SHEET TITLE**  
 ROOFTOP LEVEL

**REVISIONS**

No.	Description	Date

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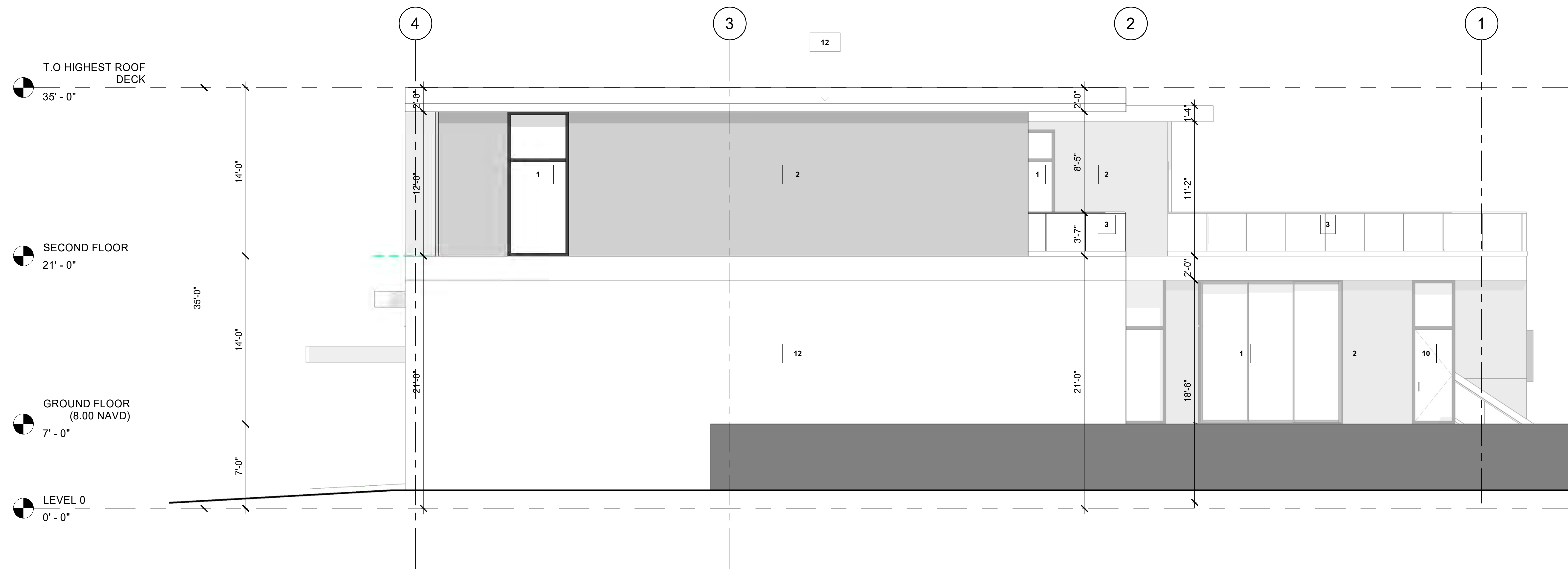
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**A-103**

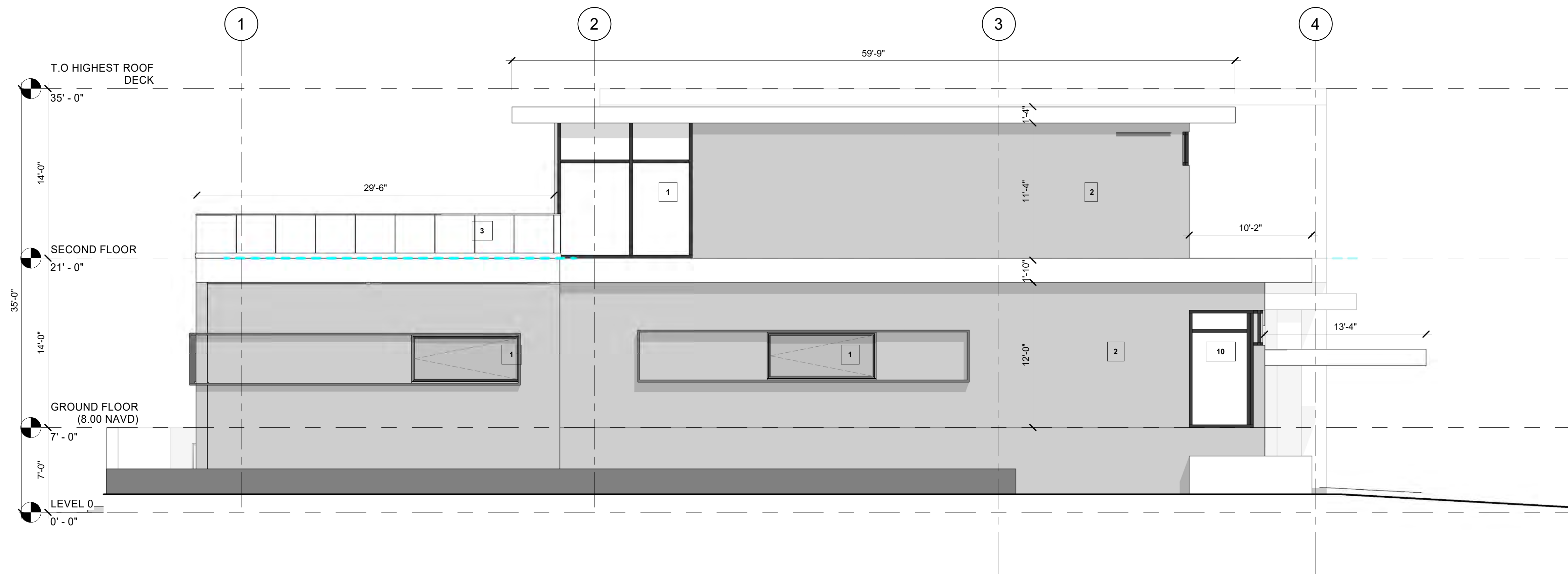
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**1 SIDE ELEVATION (EST)**  
3/16" = 1'-0"



**2 SIDE ELEVATION (WEST)**  
3/16" = 1'-0"

**GENERAL NOTES:**

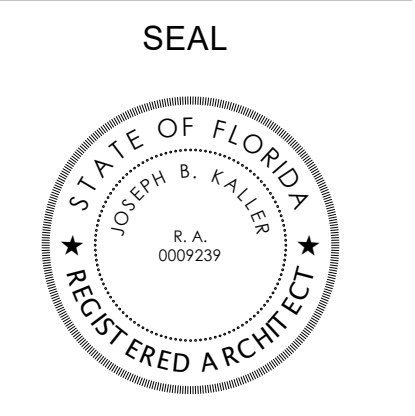
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**ELEVATIONS / SECTIONS**

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**HOLLYWOOD, FL 33019**

**EAST / WEST ELEVATIONS**

**REVISIONS**

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SHEET

**A-302**

**3 GENERAL NOTES**





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SEAL

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**813 HARRISON STREET**  
**HOLLYWOOD, FL 33019**

PROJECT TITLE  
**813 HARRISON STREET**  
 GENERAL SECTIONS

SHEET TITLE

REVISIONS		
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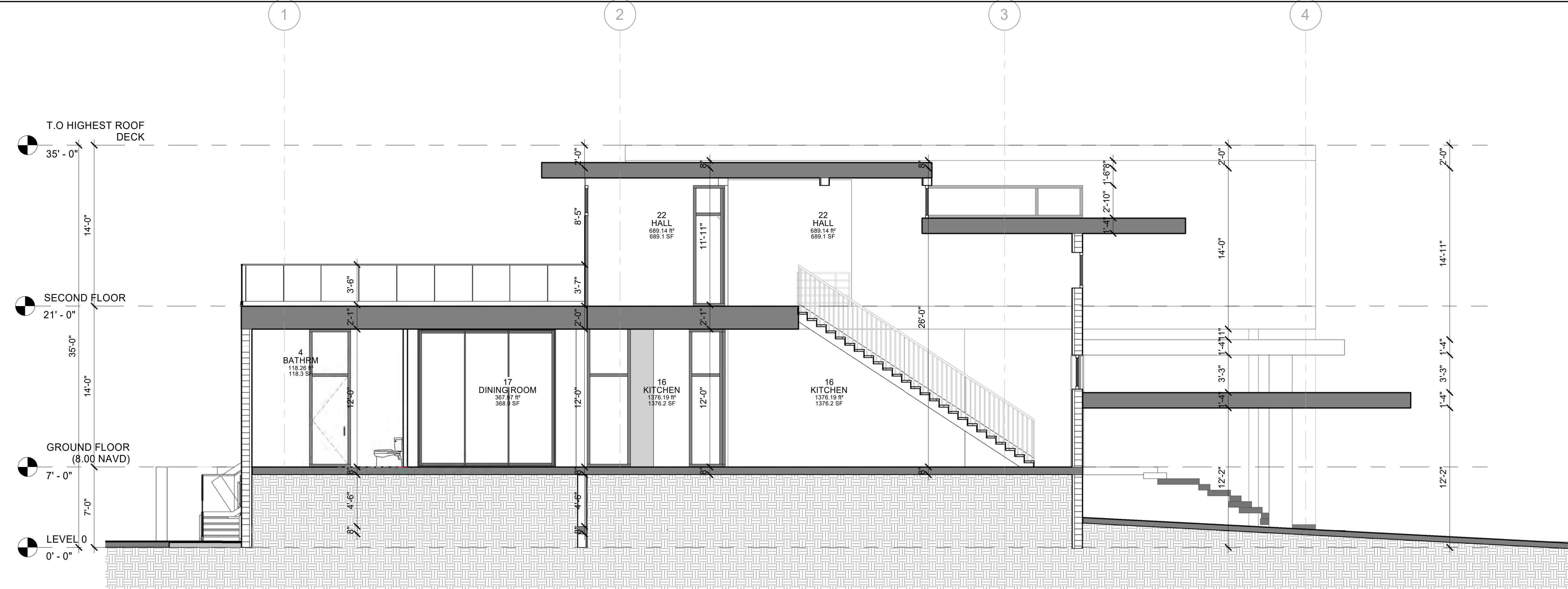
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**GENERAL NOTES:**

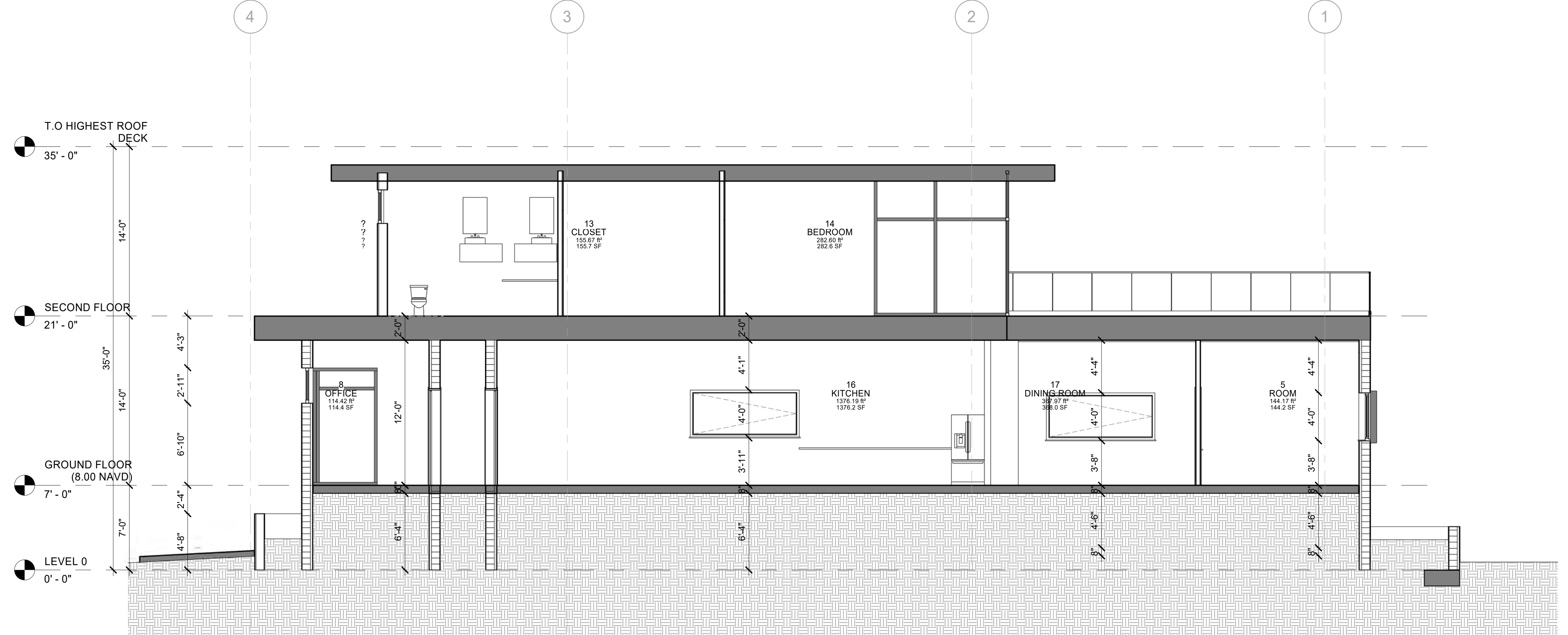
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**SECTION A**  
 3/16" = 1'-0"



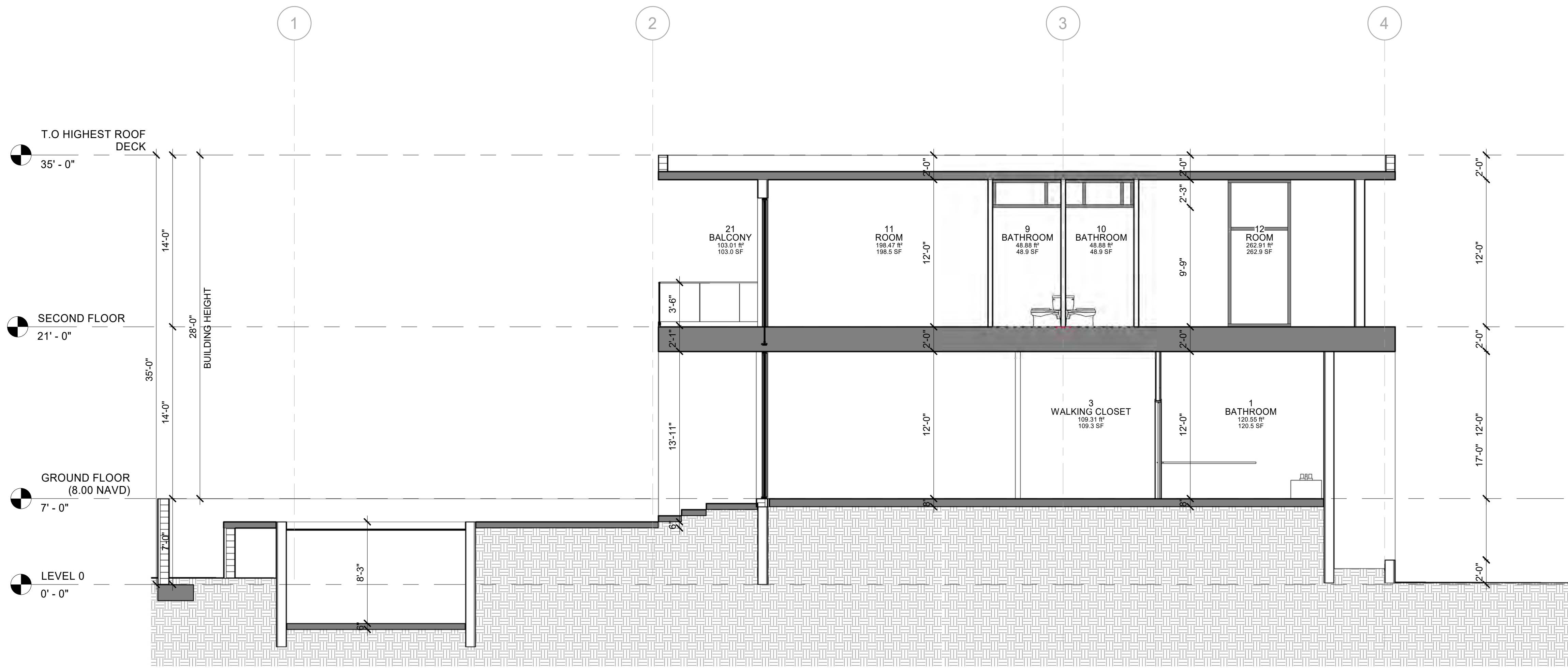
**SECTION B**  
 3/16" = 1'-0"

**2 PLAN NOTES**

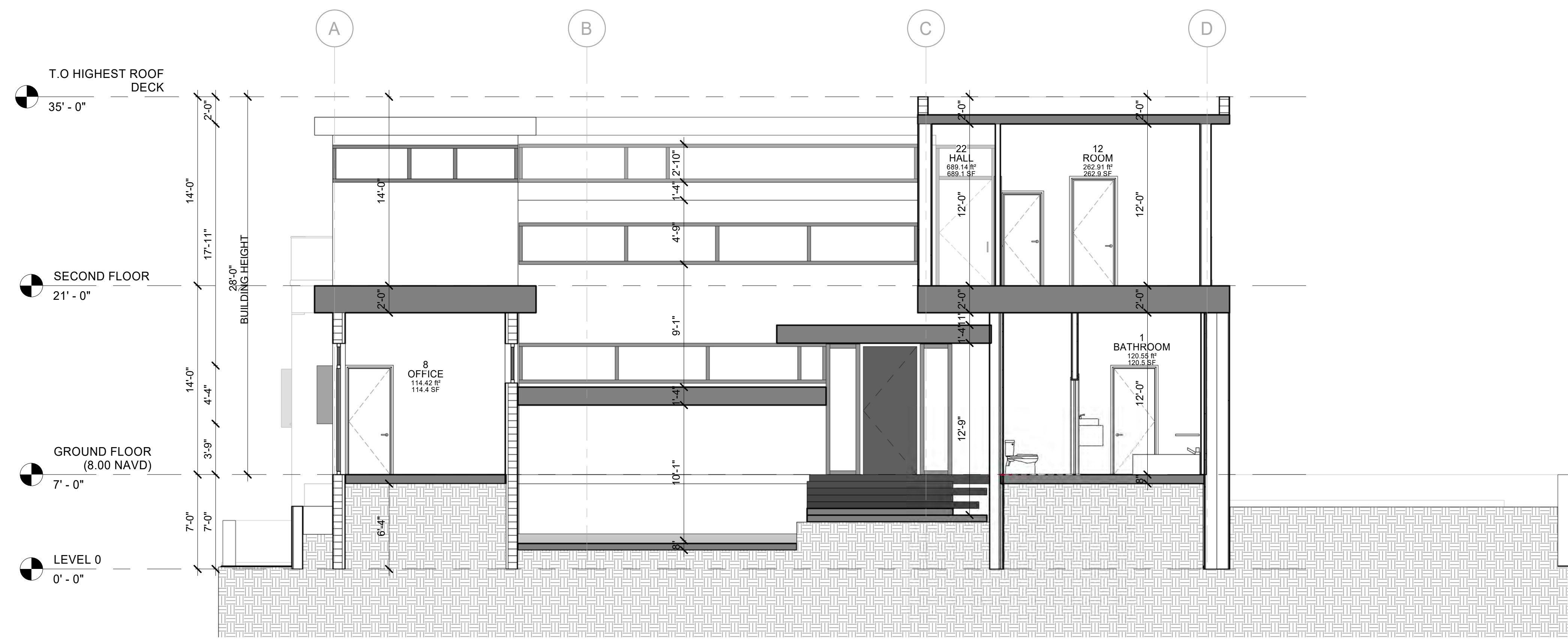
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**1 SECTION C**  
3/16" = 1'-0"



**2 SECTION D**  
3/16" = 1'-0"

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SEAL

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**813 HARRISON STREET**  
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PROJECT TITLE

GENERAL SECTIONS

SHEET TITLE

**REVISIONS**

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DRAWN BY: GioMV  
CHECKED BY: JBK

SHEET

**A-402**

**2 PLAN NOTES**



# **813 HARRISON STREET**

## **PROPOSED PAINT CHIPS AND MATERIALS**



**Benjamin Moore  
Timber Wolf (Selected Walls)**



**Benjamin Moore  
Charcoal Grey ( Garage door + Louvers)**



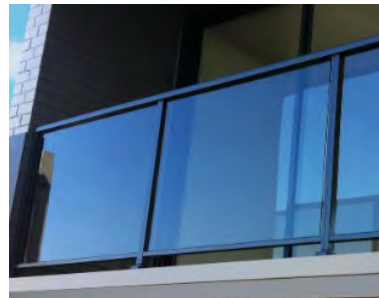
**Horizontal white stucco  
Selected Walls**



**Dark Bronze aluminum window h**



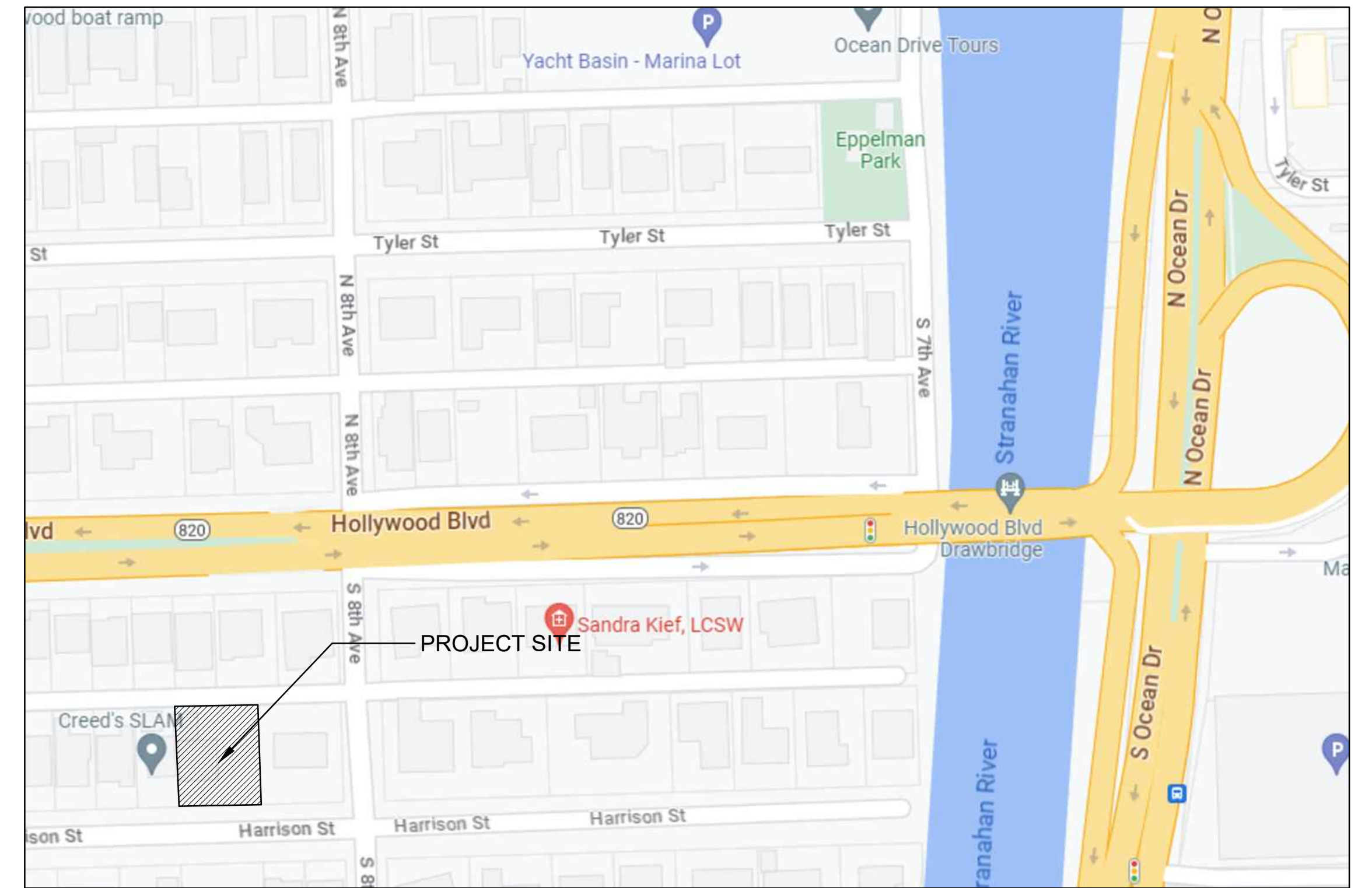
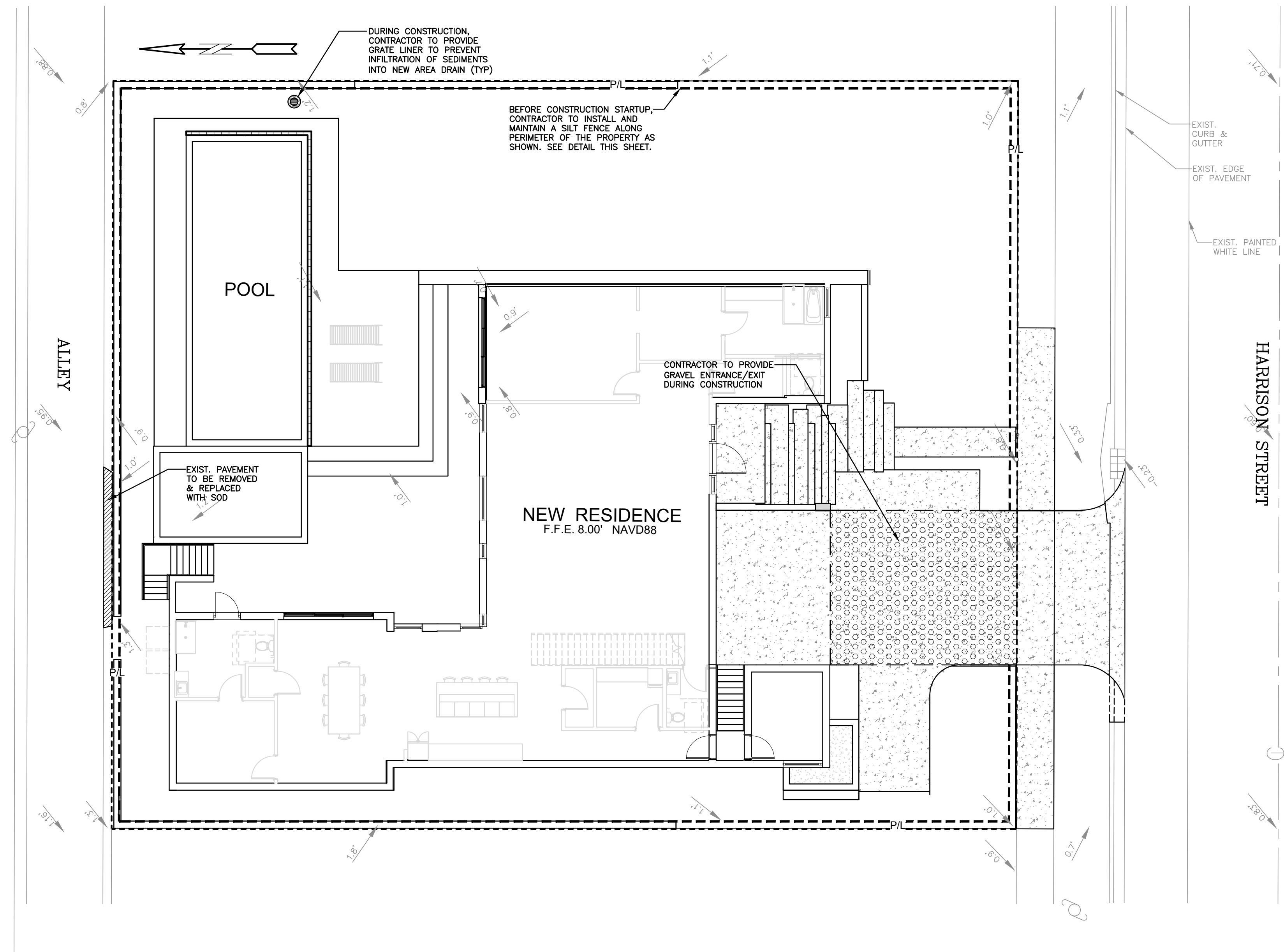
**Raw Concrete  
Ground floor and accent walls**



**Glass railings**

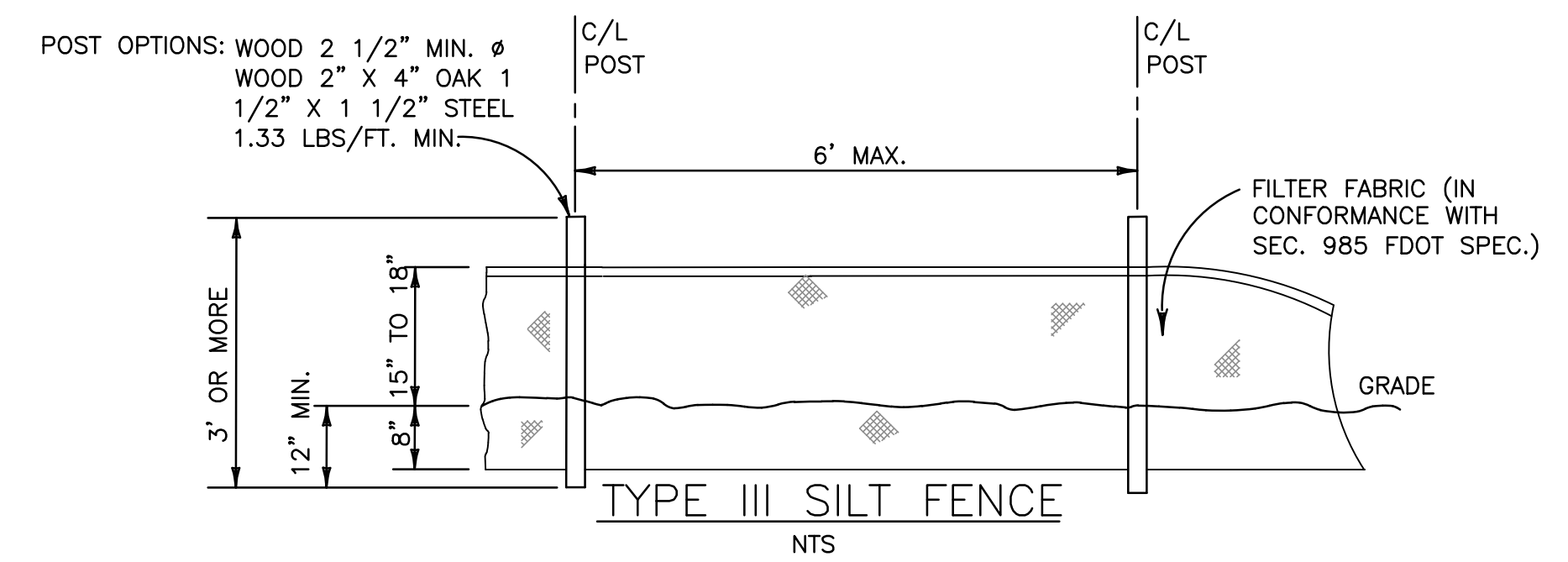


ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM



LOCATION MAP  
NOT TO SCALE

- BMP NOTES:**
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
  2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
  3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LOADED WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
  4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
  5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
  6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
  7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
  8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
  9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
  10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
  11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.

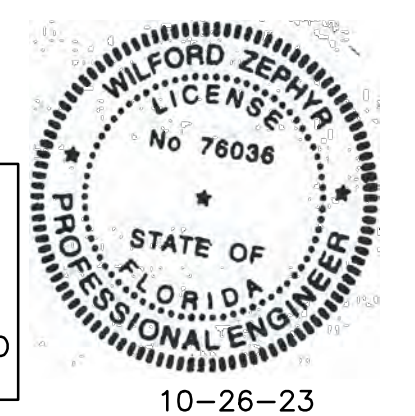


**LEGEND**

	PROPOSED CONCRETE
	PROPOSED GRADE
	EXISTING ELEVATION
	PROPOSED WATER METER
	PROPOSED BMP DEVICE

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

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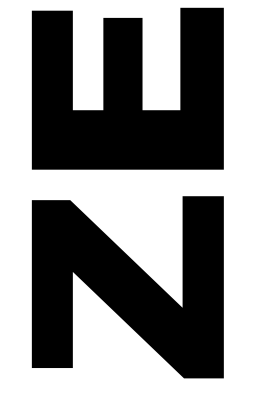


**EROSION & SEDIMENT CONTROL PLAN**  
SCALE: 1"=10'

**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/25/23	CITY REVIEW COMMENTS

**ZEPHYR ENGINEERING**  
 WILFORD ZEPHYR, P.E.  
 HOLLYWOOD, FL  
 (786) 302-7693  
 wzephyr@gmail.com  
 CA#: 31158



NEW RESIDENCE FOR 813 HARRISON STREET HOLLYWOOD, FLORIDA 33019

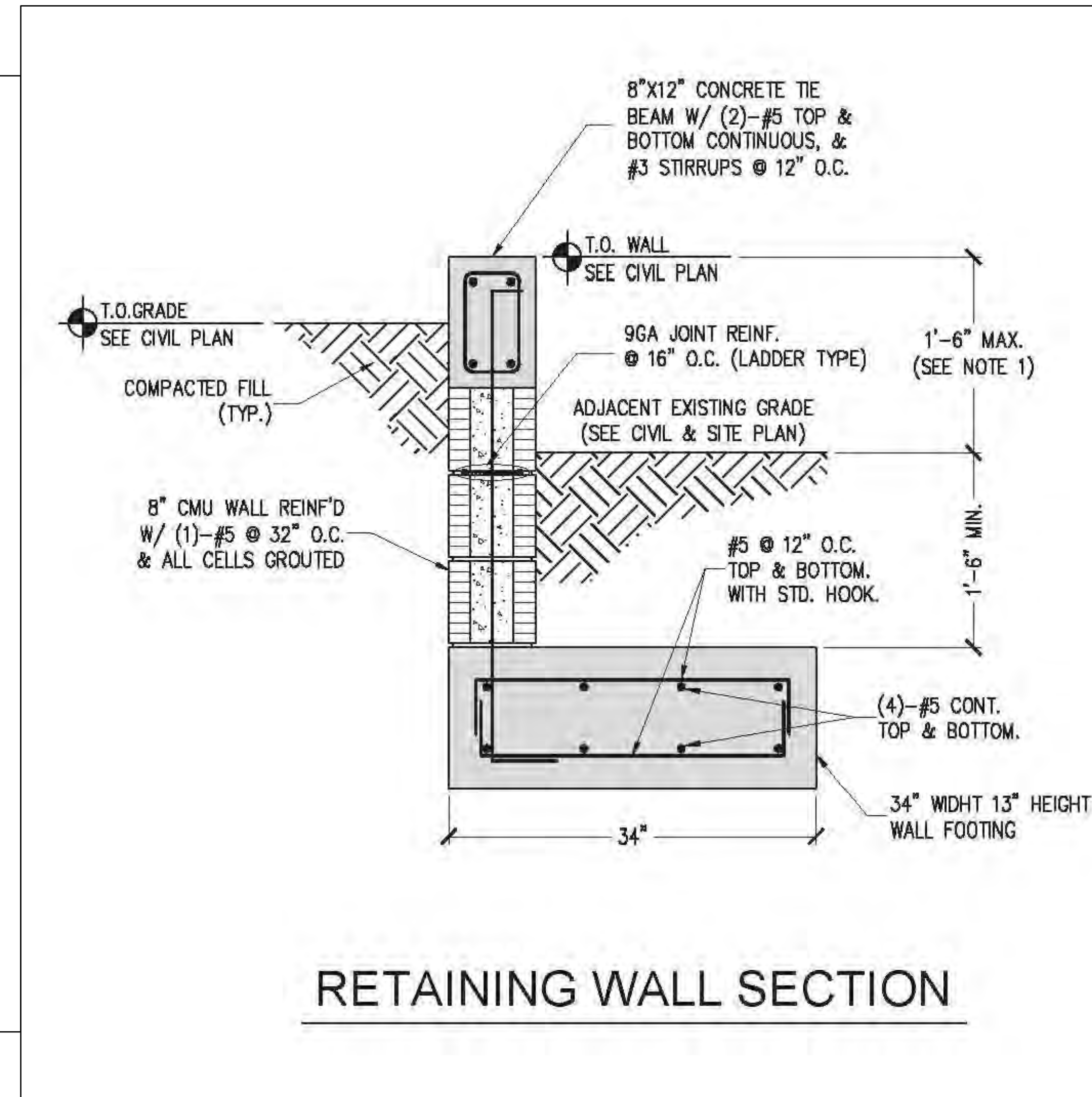
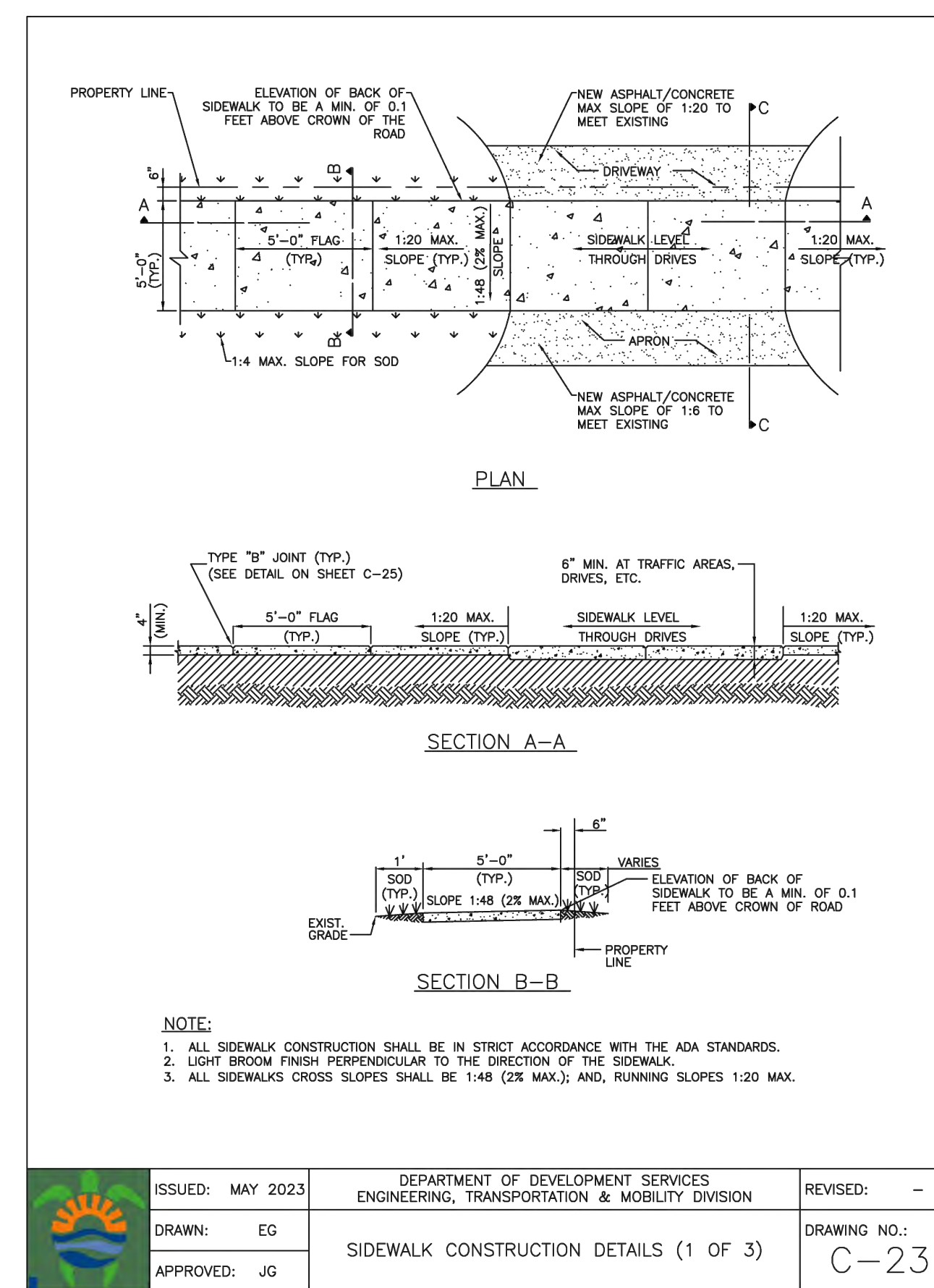
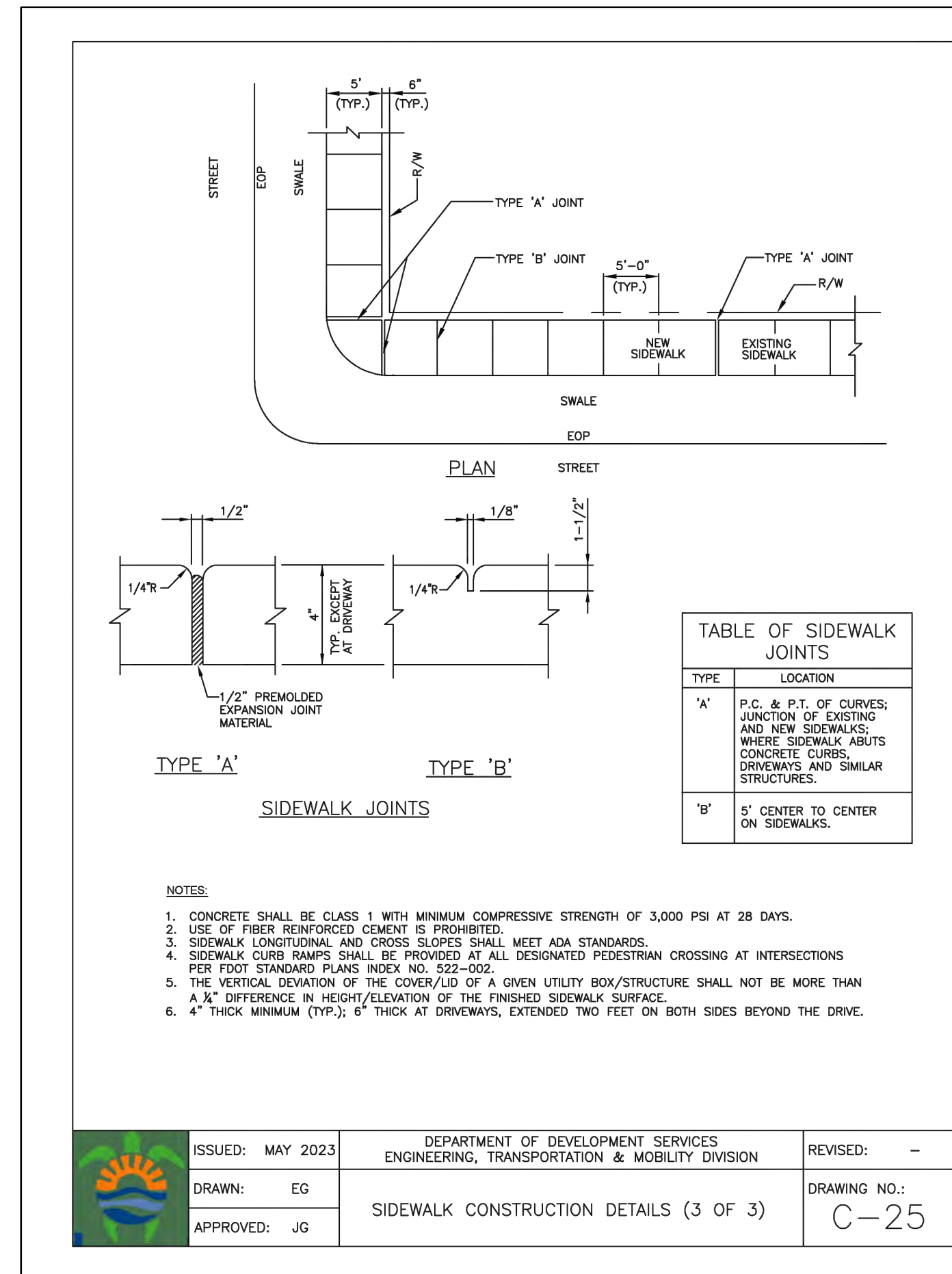
P.E.#: 76036  
 DATE: 8/2/23  
 SCALE: 1"=10'  
 SHEET NO.: C1  
 1 OF 5  
 PROJECT NO.: 23-36







ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

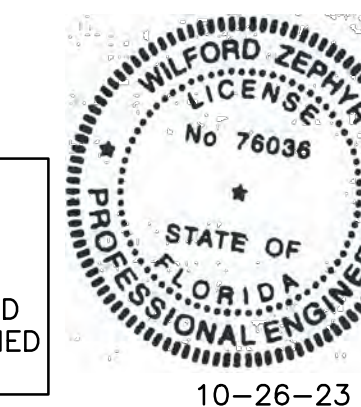


**LEGEND**

- PROPOSED CONCRETE
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED WATER METER
- PROPOSED BFP DEVICE

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**CIVIL DETAILS**  
SCALE: N.T.S.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/20/23	CITY REVIEW COMMENTS

**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyr@zephyr.com  
CA#: 31158

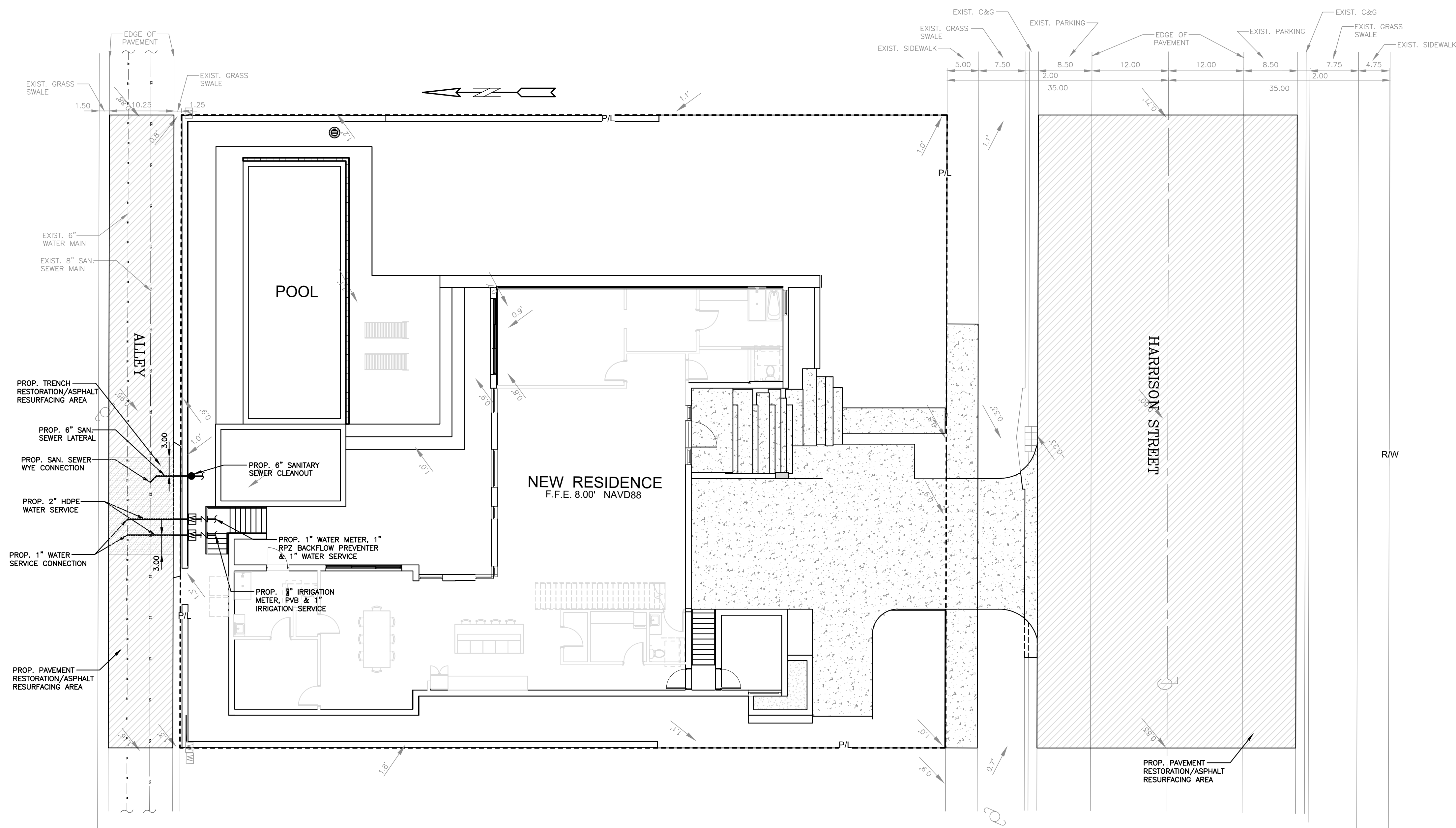
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NEW RESIDENCE FOR 813 HARRISON STREET HOLLYWOOD, FLORIDA 33019

P.E.#: 78036  
DATE: 8/2/23  
SCALE: N.T.S.  
SHEET NO.: C3  
3 OF 5  
PROJECT NO.: 23-36



ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

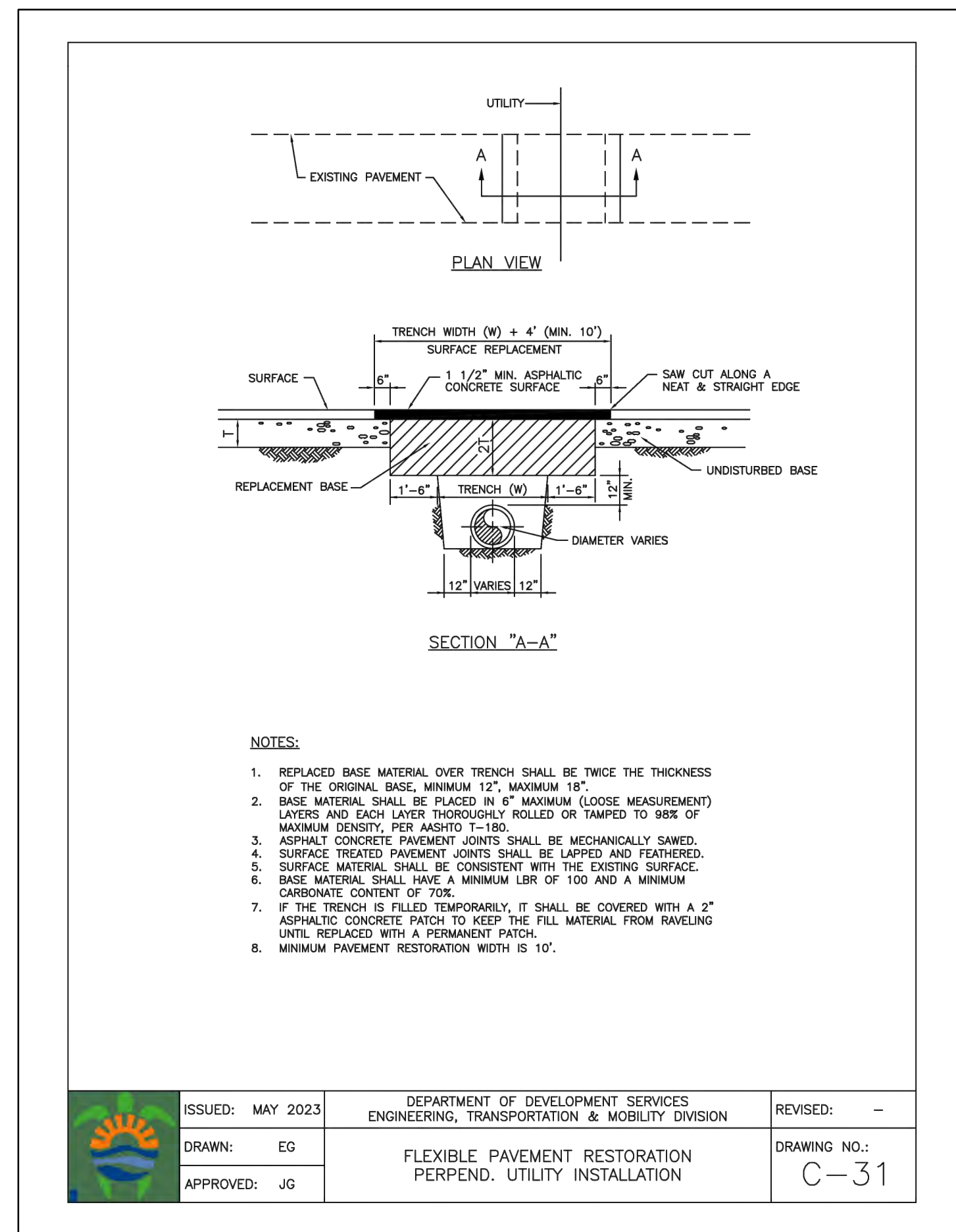


**WATER & SEWER DEMAND CALCULATIONS:**

PROJECT INFO:  
SINGLE FAMILY RESIDENCE

WATER DEMAND  
(1 RESIDENTIAL UNIT)X(199 GPD/UNIT)=199 GPD  
**TOTAL WATER DEMAND=199 GPD**

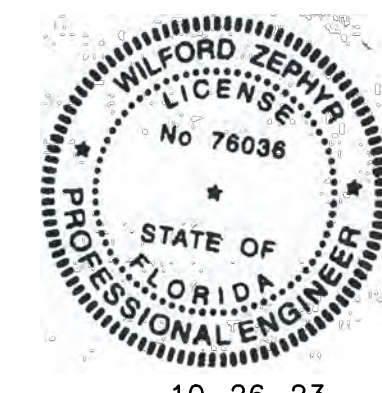
WASTEWATER DEMAND  
(1 RESIDENTIAL UNIT)X(142 GPD/UNIT)=142 GPD  
**TOTAL WASTEWATER DEMAND=142 GPD**



	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
	DRAWN: EG	FLEXIBLE PAVEMENT RESTORATION PERPEND. UTILITY INSTALLATION	DRAWING NO.: C-31
	APPROVED: JG		

**LEGEND**

- PROPOSED CONCRETE
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED WATER METER
- PROPOSED BFP DEVICE



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**WATER PLAN & DETAILS**

SCALE: 1"=10'

**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/20/23	CITY REVIEW COMMENTS
1	10/25/23	CITY REVIEW COMMENTS

**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyr@zephyreng.com  
CA#: 31158

**ZE**

NEW RESIDENCE  
FOR  
813 HARRISON STREET  
HOLLYWOOD, FLORIDA 33019

P.E.#: 78036

DATE: 8/2/23

SCALE: 1"=10'

SHEET NO.:  
**C4**  
4 OF 5

PROJECT NO.: 23-36

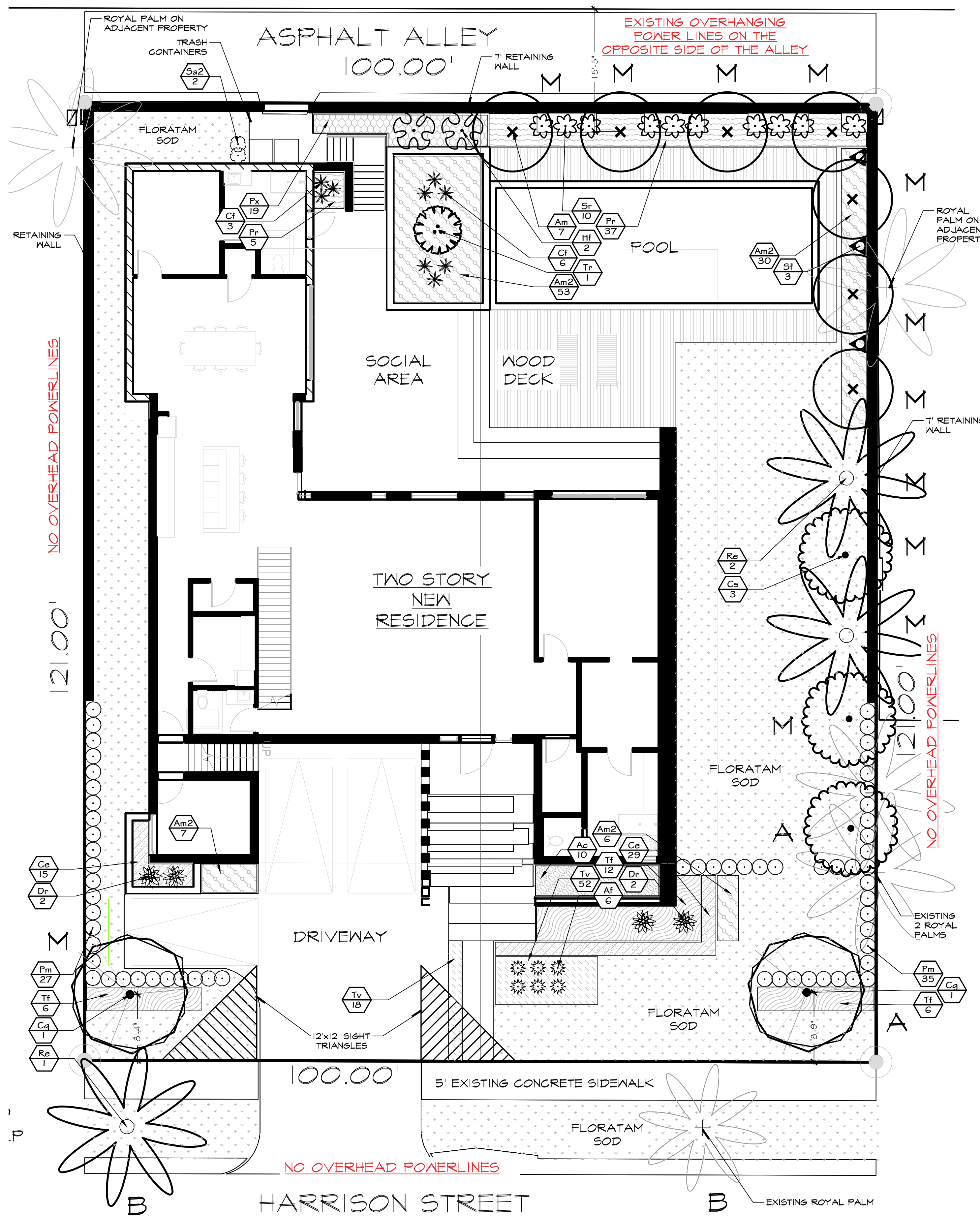












**PLANT SCHEDULE**

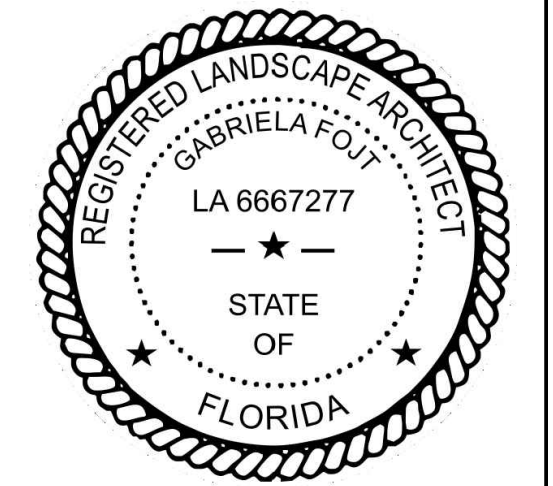
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
	Cg	2	Caesalpinia granadillo	Bridal Veil Tree	12'0A, 2"dbh, matched	AS SHOWN	NO	HIGH
	Cs	3	Conocarpus erectus f. sericeus	Silver Buttonwood	12'0A, 2"dbh, matched	AS SHOWN	YES	HIGH
	Re	3	Roystonea elata	Florida Royal Palm	8' CT matched	AS SHOWN	YES	HIGH
	Tr	1	Thrinax radlata	Florida Thatch Palm	6'0A, triple	AS SHOWN	YES	HIGH
	Am	7	Veitchia montgomeryana	Montgomery Palm	8'CT, single, matched	AS SHOWN	NO	HIGH
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
	Af	6	Aechmea chantinii 'Fantasy'	Fantasy Bromellad	3 gal.	AS SHOWN	NO	HIGH
	Cf	4	Cordyline fruticosa 'Red Pepper'	Red Pepper TI Plant	7 gal	AS SHOWN	NO	HIGH
	Dr	4	Dracaena reflexa	Song of India	15 gal, 4'-5'0A	AS SHOWN	NO	HIGH
	HF	2	Heliconia stricta 'Firebird'	Firebird Heliconia	25 gal, full	AS SHOWN	NO	MODERATE
	Pm	62	Podocarpus macrophyllus	Yew Podocarpus	7 gal, 24"0A, ftb	24"0C	NO	HIGH
	Sa2	2	Schefflera arboricola	Schefflera	min.36"0A	24"0C	NO	HIGH
	Sf	3	Stephanotis floribunda	Madagascar Jasmine	7 gal trellis	AS SHOWN	NO	HIGH
	Sr	10	Strelitzia reginae	Orange Bird Of Paradise	7 gal	36"0C	NO	HIGH
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
	Ac	10	Alocasia odora 'California'	California Elephant Ear	3 gal	30"0C	NO	LOW
	Am2	46	Asparagus densiflorus 'Myersii'	Myers Asparagus Fern	3 gal 15"0A	24"0C	NO	HIGH
	Ce	44	Carissa macrocarpa 'Emerald Blanket'	Emerald Blanket Natal Plum	3 gal, full	18"0C	NO	HIGH
	Pr	42	Philodendron x 'Hope'	Hope Philodendron	3 gal	24"0C	NO	MODERATE
	Fx	14	Philodendron xanadu	Xanadu Philodendron	3 gal 18"0A	24"0C	NO	HIGH
	TF	24	Tripsacum dactyloides	Fakahatchee Grass	3 gal, full	36"0C	YES	HIGH
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
	Sa	3,552 sf	Stenotaphrum secundatum 'Floratum'	Floratum St. Augustine Grass sod				
	TV	70	Trachelospermum jasminoides 'Variegatum'	Variegated Star Jasmine	1 gal	15"0C	NO	HIGH

**NOTES:**

- SOD AS INDICATED.
- MULCH ALL BEDS AS INDICATED ON DETAIL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.
- PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.

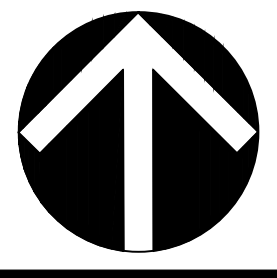
LANDSCAPE REQUIREMENTS RS-6	Required	Existing	Proposed	Total Provided
<b>TREES REQUIRED ON THE LOT</b>				
<b>A</b> 1 tree/each 1,250 sq.ft of front yard (2,186 sf/1,250=1.7) Min. 20% of front yard pervious area to be landscaped ( 1,708 sf x.2=341.6.2 sf)	2 342 sf		1 Silver Buttonwood, 1 Bridalveil (+)342 sf	2 provided (+)342 sf provided
<b>SWALE TREES</b>				
<b>B</b> 1 tree/each 50 lf of street frontage	2	1 Royal palm	1 Royal palm	2 provided
<b>Project plants:</b> Palms no more than 50% of required trees (4 x .5=2) Min 60% of required trees to be native (4 x .6=2.4) Min species required	2 3 2	1 Royal palm 1 1	1 Royal palm 2 2	2 provided 3 provided 3 provided
<b>M MITIGATION TREES</b>			7 Adonidia palms, 2 Royal palms 2 Silver Buttonwood, 1 Bridaveil	9 palms 6" dbh hardwood

**B CODE CHART**



**The Mirror of Paradise**

Gabriela Fojt  
LA 6667277  
LC 26000628  
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Suite C  
Fort Lauderdale  
FL 33306  
c (954) 478 3064  
www.florida-landscape.com  
gabriela@themirrorofparadise.com

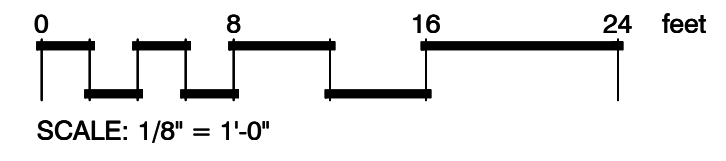


SCALE	1/8"=1'-0"
DESIGNED BY	GF
DRAWN BY	...
CHECKED BY	GF
CAD DWG.	
DATE	08.04.2023
REVISIONS	
City comments	10.25.2023

813 HARRISON STREET  
HOLLYWOOD  
FLORIDA, 33019

LANDSCAPE PLAN, PLANT SCHEDULE, CODE CHART

**A GENERAL LAYOUT**  
scale 1/8" = 1'-0"



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SUNSHINE STATE ONECALLING OF FLORIDA, INC.  
IT'S THE LAW

**NOTE:**  
INDICATED UTILITIES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR UTILITY DAMAGE.



**GENERAL LANDSCAPE NOTES**

- CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
- CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
- ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, MARCH 1998.
- PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF MILDRGANITE PER 6 CU. YDS.
- TREES & PALMS GUARANTEED TO BE IN HEALTHY THRIVING CONDITION FOR ONE YEAR FROM PROJECT COMPLETION.
- APPLY 3" MELALEUCA/EUCALYPTUS MULCH AROUND ALL PLANTS WITHIN 2 DAYS.
- CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
- WHERE THERE IS A DISCREPENCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
- ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS.
- ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.
- TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
- ROOT FLARES TO BE SET ABOVE GRADE AND VISIBLE WITH ROOT SYSTEMS 10% ABOVE FINAL GRADE AT TIME OF PLANTING.
- LANDSCAPING SHALL COMPLY WITH ALL ZONING AND LAND DEVELOPMENT REGULATIONS.

**WHERE REQUIRED FOR SCREENING PURPOSES, HEDGE SHALL BE PLANTED AT EQUIPMENT HEIGHT FOR VISUAL SCREENING. PROVIDE MINIMUM OF 36" HT.**

**HOLLYWOOD LANDSCAPE NOTES**

- PLANT MATERIAL WILL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS.
- THERE WILL BE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER.

**JOB CONDITIONS:**

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

**PLANT MATERIAL:**

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

**TREES:**

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

**MULTIPLE TRUNK TREES:**

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

**MATERIALS LIST:**

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

**SUBSTITUTIONS:**

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

**MEASUREMENTS:**

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head.

Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

**IRRIGATION:**

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

**GUARANTEE:**

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

**MULCH:**

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

**SOD:**

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

**STAKING:**

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

**FERTILIZER:**

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

**CLEANUP:**

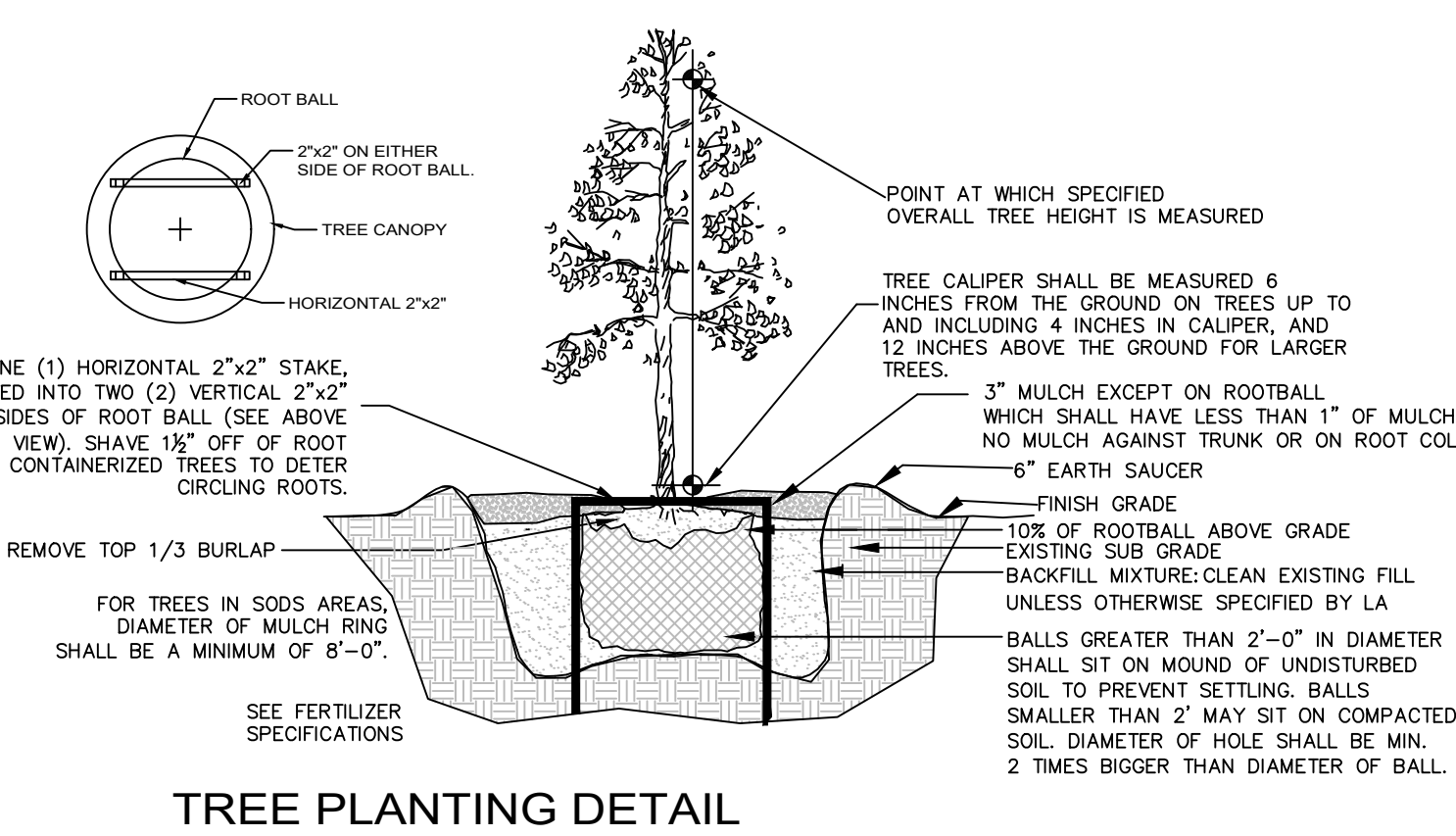
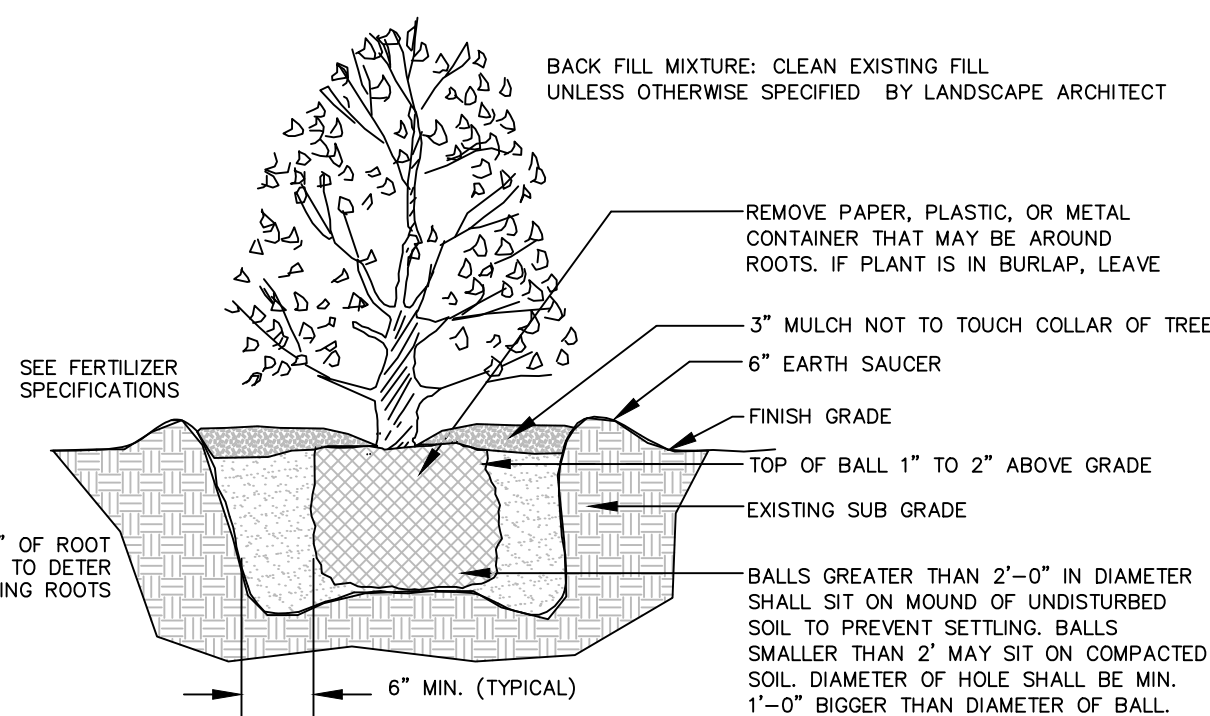
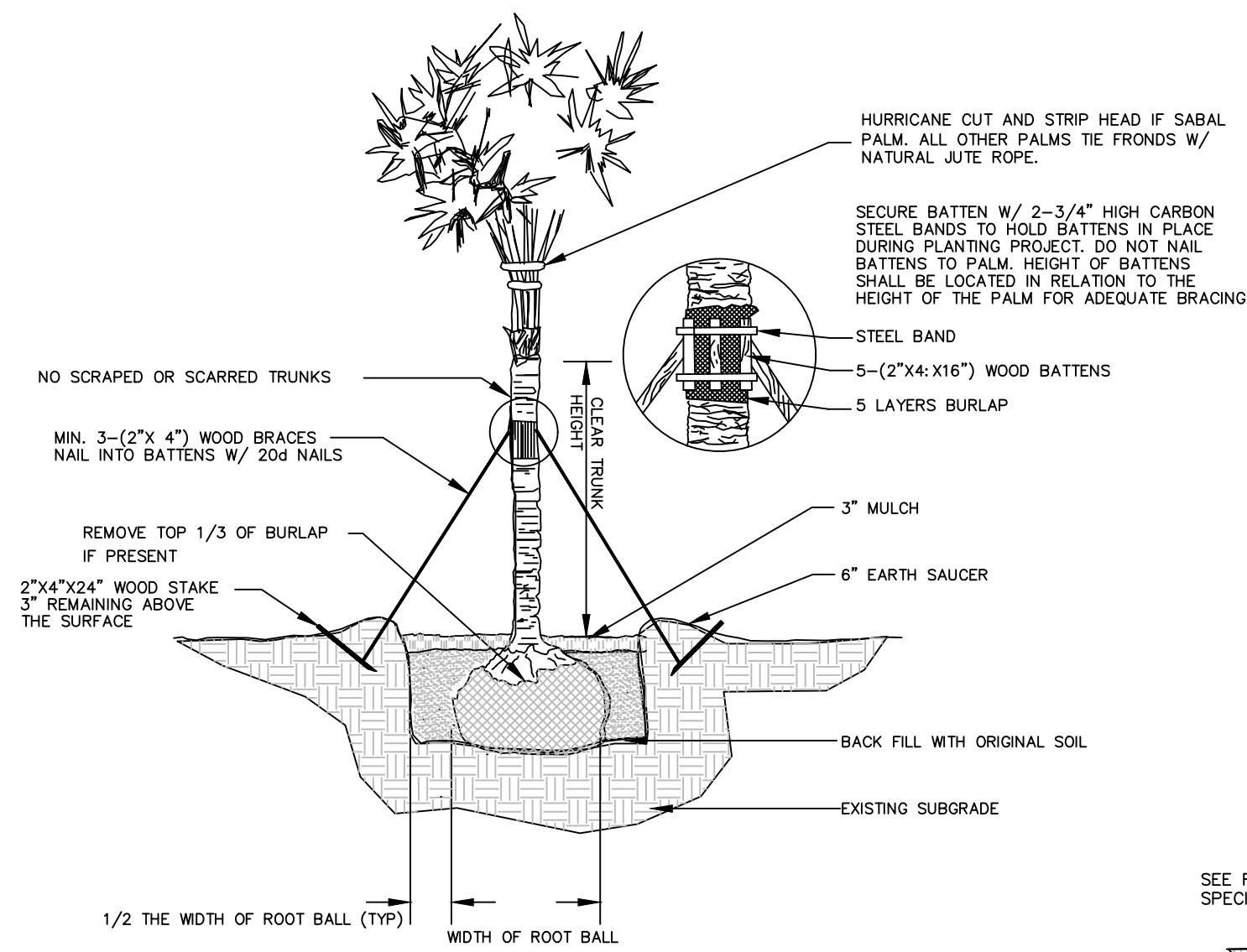
Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

**INSPECTION:**

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

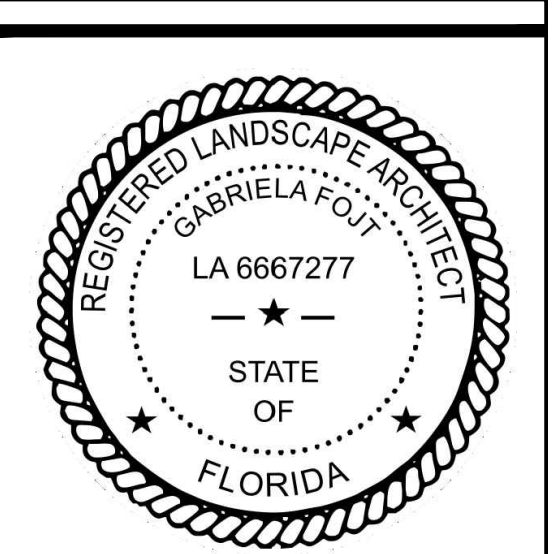
**ACCEPTANCE:**

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.



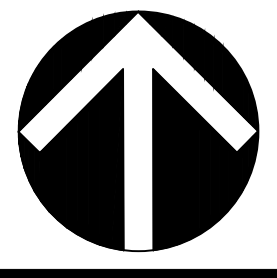
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**NOTE:**  
 INDICATED UTILITIES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR UTILITY DAMAGE.



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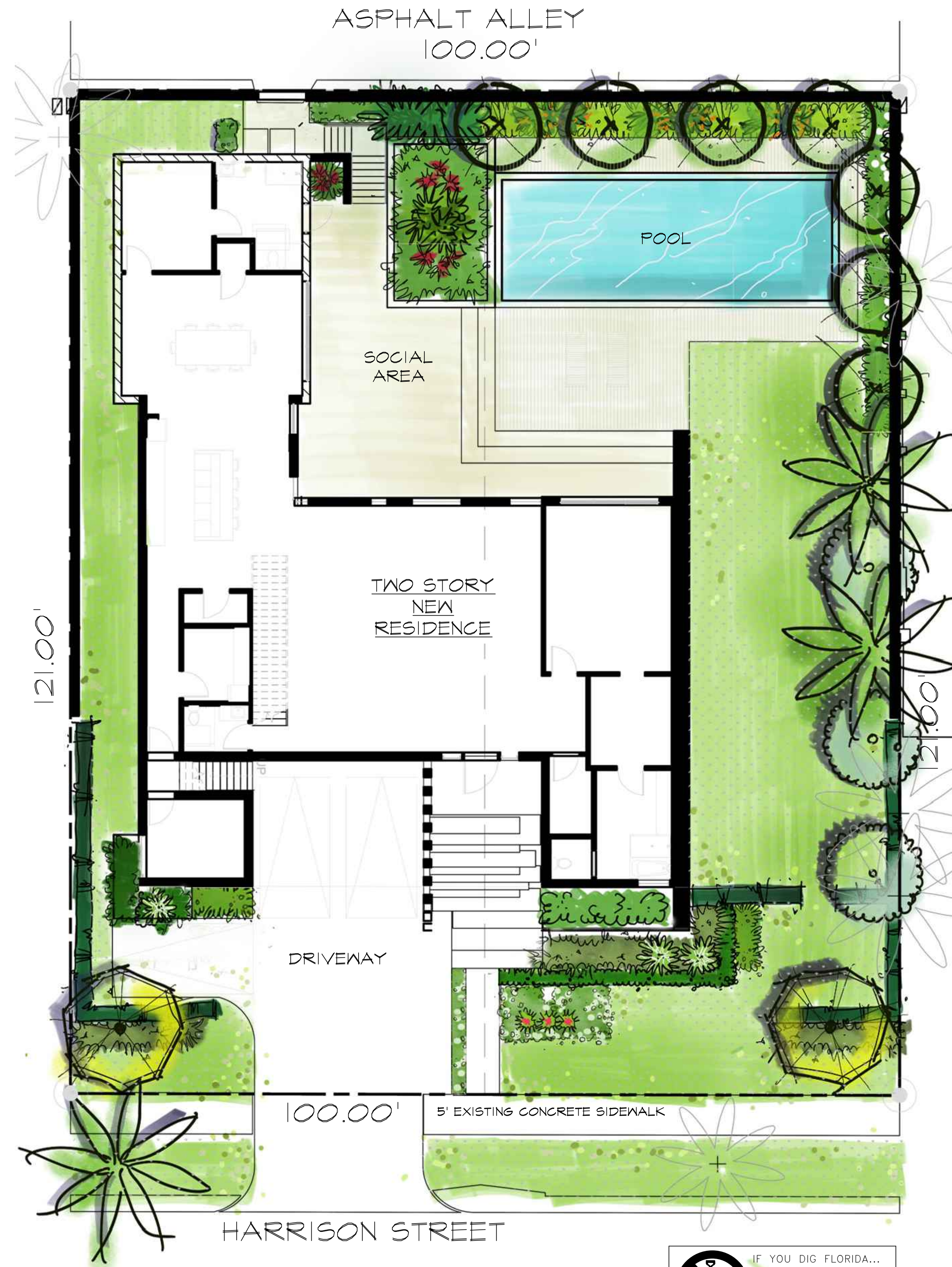


SCALE	as noted
DESIGNED BY	GF
DRAWN BY	...
CHECKED BY	GF
CAD DWG.	
DATE	08.04.2023
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City comments	1 (10.25.2023)

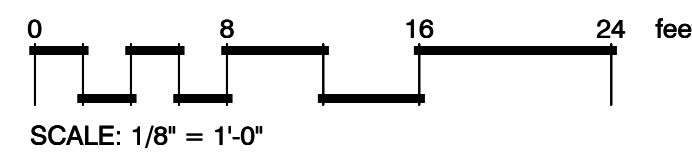
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**LANDSCAPE NOTES & DETAILS**





A COLORED PLAN  
scale 1/8" = 1'-0"



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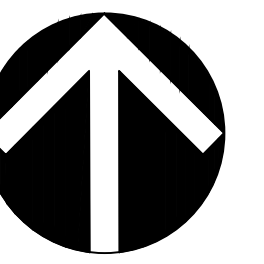
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COLORED PLAN