

# ATTACHMENT A

## Application Package

PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development Board

Date of Application: 7/16/2018

Location Address: 1136 SOUTH NORTHLAKE DRIVE

Lot(s): \_\_\_\_\_ Block(s): 41 Subdivision: HOLLYWOOD LAKES SECTION

Folio Number(s): 5142-1401-7022

Zoning Classification: \_\_\_\_\_ Land Use Classification: \_\_\_\_\_

Existing Property Use: VACANT LOT Sq Ft/Number of Units: \_\_\_\_\_

Is the request the result of a violation notice? ( ) Yes  No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: \_\_\_\_\_

Number of units/rooms: 11 Sq Ft: 8,037 TOTAL

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? ( ) Yes  No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: AMERICAN SUNRISE LLC

Address of Property Owner: \_\_\_\_\_

Telephone: (954) 850-1071 Fax: \_\_\_\_\_ Email Address: \_\_\_\_\_

Name of Consultant/Representative/Tenant (circle one): VANESSA CERTAIN

Address: 13050 SW 82 COURT, PINECREST, FL 33156 Telephone: (305) 720-0175

Fax: \_\_\_\_\_ Email Address: VANESSA@VECBUILDERS.COM

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ( ) No

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION

**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: SSKAFF Date: 7-12-18

PRINT NAME: Dr. Sam A SKAFF for American Sunrise LLC Date: 7-12-18

Signature of Consultant/Representative: Vanessa Certain Date: 7.12.2018

PRINT NAME: Vanessa Certain Date: 7.12.2018

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

**Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for plan approval to my property, which is hereby made by me or I am hereby authorizing VANESSA CERTAIN to be my legal representative before the HISTORIC PRESERVATION (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 12 day of July

Felipe Rubio  
Notary Public

State of Florida

My Commission Expires: \_\_\_\_\_ (Check One)  Personally known to me; OR  Produced Identification \_\_\_\_\_



SSKAFF  
Signature of Current Owner

Dr. Sam A SKAFF  
Print Name

1136 S. NORTHLAKE DRIVE

LEGAL DESCRIPTION:

The West five feet of Lot 23, all fifty feet of Lot 24 and the East twenty feet of Lot 25, excepting the South 30 feet of said Lots, in Block 41, of Hollywood Lakes Section, including all the portion of and abandoned 60 feet of street lying and adjacent to an directly North of said Lots and including all the portion of an abandoned parkway lying adjacent to and directly North of the above described portion of an abandoned street and also abutting the South shore of Northlake, all the above lots and parcels are according to the plat of Hollywood Lakes Section, as recorded in Plat Book 1, Page 32 of the public record of Broward County, Florida.

FOLIO NO. 5142-14-01-7022.



October 2, 2018

City of Hollywood  
2600 Hollywood Blvd.  
Hollywood, FL 33022

Re: New two-story home located at 1136 S. Northlake Dr., Hollywood, FL

To Whom It May Concern:

I hereby certify that the above referenced project has been designed using materials such as; smooth stucco finish and bands painted in a muted pastel scheme (grays & whites), aluminum casements, windows, and sliding doors.

Entire scheme suggests a clean modern style, which also includes non-aggressive cantilever elements, aluminum trellis, steel columns, and areas finished with stone veneers. This design should blend nicely with the surrounding existing homes.

Please feel free to contact our office, should you have any questions.

Sincerely,

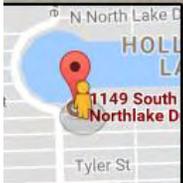
Miguel A. Gonzalez  
Architect # AR5053



# 1149 S North Lake Dr



1144 S North Lake Dr  
Hollywood, Florida  
Google, Inc.  
Street View - Apr 2011



1149 S North Lake Dr



# 1149 S North Lake Dr

Hollywood, Florida  
Google, Inc.  
Street View - Apr 2011



# 1149 S North Lake Dr



Stucco

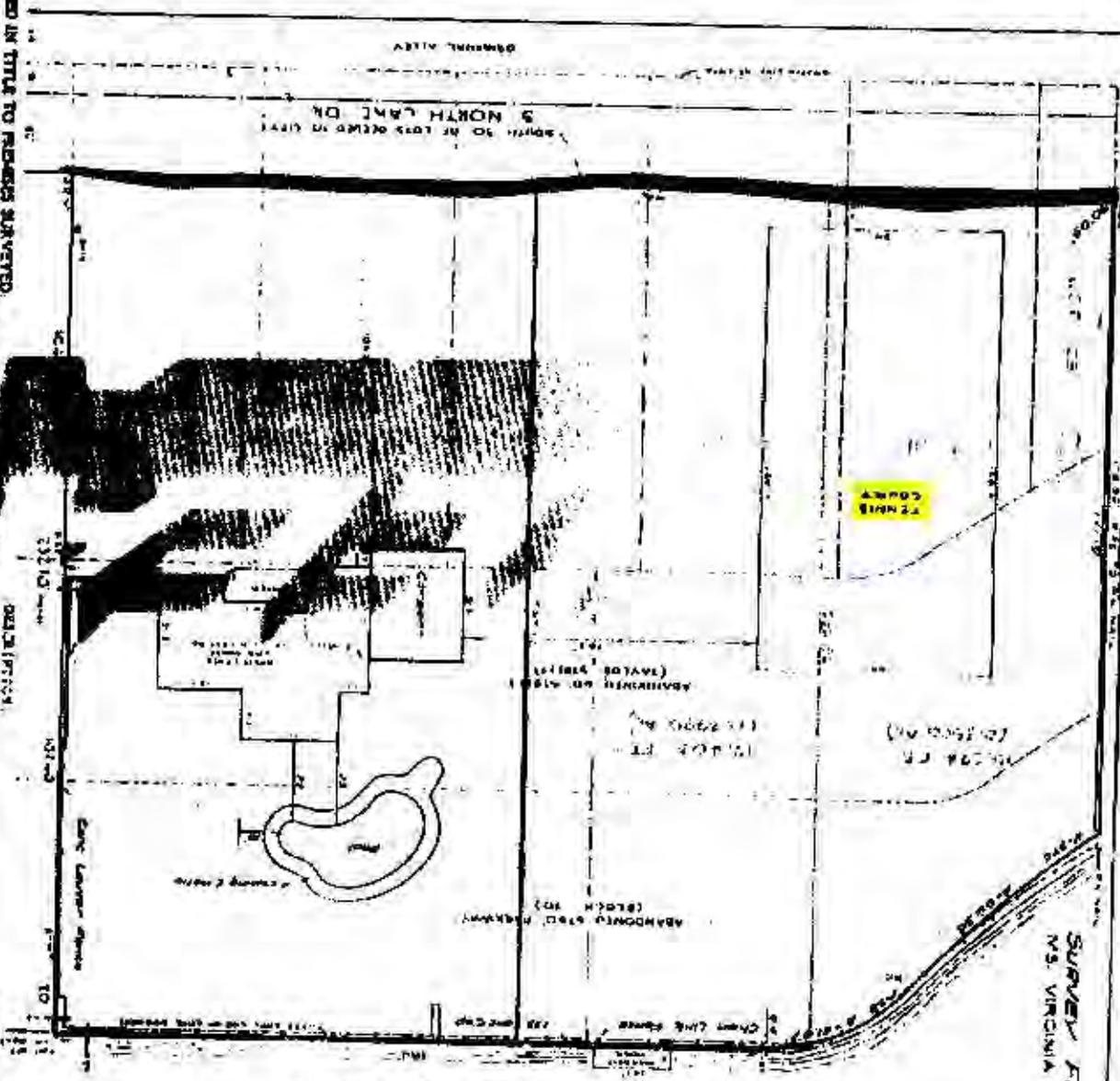
ADD  
ROUNDED  
CAP  
(STYROFOAM)

Stucco

Stucco

RE-PAINT ENTIRE WALL





**TO ALL PARTIES INTERESTED IN TITLE TO PREMISES SURVEYED**

I, **MARVIN E. BERRY**, being sworn, depose that I have made a visual survey of the above described property as indicated, and that there are no abnormal conditions except as shown on above plat, and that said plat is true and correct to the best of my knowledge and belief.

**M. E. BERRY & ASSOCIATES**  
LAND DEVELOPMENT  
1111 N. W. 11th St.  
Miami, Florida 33136

*Marvin E. Berry*  
MARVIN E. BERRY  
1111 N. W. 11th St.  
Miami, Florida 33136

**DEPOSITION**

The year 22, part of Lot 21, comprising the north 30 feet of said lots, and of a abandoned 80-foot street, being adjacent to and directly north of adjacent to and including all that portion of an abandoned parking strip adjacent to and directly north of the above described portion of said lots, and also abutting the north shore of said lake; all the above lots and parcels are according to the plat of "MILLWOOD LAKES SECTION", as recorded in Plat Book 1, page 21, of the Public Records of Broward County, Florida.

**SURVEY FOR:**  
**Mrs. VIRGINIA SHERWOOD**

7<sup>31</sup>-9<sup>31</sup>

# CITY OF HOLLYWOOD, FLORIDA PERMIT APPLICATION



ALL OF THE FOLLOWING MUST BE FILLED IN BY APPLICANT, ACCORDING TO FS 713.135

DATE 12/1/98 TAX FOLIO # \_\_\_\_\_

DESCRIPTION: LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUBDIVISION \_\_\_\_\_

JOB NAME VINSPNT PHONE # 954 920-7270

JOB ADDRESS 1112 S. NORTH LANE DRIVE CITY OF HOLLYWOOD STATE FL ZIP 33019

DETAILED WORK DESCRIPTION: 4' High CEMENT WALL FAC-LIFT: Change from FLAT -> STUCCO; Repaint Both sides of WALL; ADD Styrofoam cap SQ.FT. \_\_\_\_\_ ESTIMATED VALUE: \$ 2000

CONTRACTOR'S NAME OWNER PHONE # 954-920-7270

CONTRACTOR'S ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

CERTIFICATE OF COMPETENCY # \_\_\_\_\_ FAX # \_\_\_\_\_

CONTRACTOR'S STATE CERTIFICATION OR REGISTRATION NO. \_\_\_\_\_

OWNER OR FEE SIMPLE TITLE HOLDER'S NAME John & Deborah VINSPNT

OWNER OR FEE SIMPLE TITLE HOLDER'S ADDRESS 1112 S. NORTH LANE DRIVE

BONDING COMPANY OWNER

BONDING COMPANY ADDRESS \_\_\_\_\_

ARCHITECT/ENGINEER'S NAME \_\_\_\_\_ PHONE # \_\_\_\_\_

ARCHITECT/ENGINEER'S ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

MORTGAGE LENDER'S NAME \_\_\_\_\_

MORTGAGE LENDER'S ADDRESS \_\_\_\_\_

ELECTRICAL CONTRACTOR: \_\_\_\_\_

Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_

Sworn before me this \_\_\_\_\_ of \_\_\_\_\_, 19 \_\_\_\_\_

Notary Public

Value \$ \_\_\_\_\_

Notarized Signature of Qualifier

MECHANICAL CONTRACTOR: \_\_\_\_\_

Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_

Sworn before me this \_\_\_\_\_ of \_\_\_\_\_, 19 \_\_\_\_\_

Notary Public

Value \$ \_\_\_\_\_

Notarized Signature of Qualifier

PLUMBING CONTRACTOR: \_\_\_\_\_  
 Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_  
 Sworn before me this \_\_\_\_\_ of \_\_\_\_\_, 19\_\_\_\_  
 Notary Public  
 Notarized Signature of Qualifier \_\_\_\_\_ Value \$ \_\_\_\_\_

ROOFING CONTRACTOR: \_\_\_\_\_  
 Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_  
 Sworn before me this \_\_\_\_\_ of \_\_\_\_\_, 19\_\_\_\_  
 Notary Public  
 Notarized Signature of Qualifier \_\_\_\_\_ Value \$ \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_  
 Sworn before me this \_\_\_\_\_ of \_\_\_\_\_, 19\_\_\_\_  
 Notary Public  
 Notarized Signature of Qualifier \_\_\_\_\_ Value \$ \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, BOILERS, TANKS, AIR CONDITIONERS, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**DISCLOSURE STATEMENT**

Owners of property when acting as their own contractor and providing all material supervision themselves, when building or improving farm outbuildings or one-family or two-family residences on such property for the occupancy of use of such owners and not offered for sale or lease, or building or improving commercial building at a cost of under \$25,000 on such property for the occupancy or use of such owners and not offered for sale or lease. In an action brought under this part proof of the sale or lease, or offering for sale or lease, of more than one such structure by the owner-builder within 1 year after completion of same is prima facie evidence that the construction was undertaken for purposes of sale or lease. This subsection does not exempt any person who is employed by such owner and who acts in the capacity of a contractor.

SIGNATURE [Signature]  
 Owner or Agent  
 DATE 12/1/98  
[Signature]  
 NOTARY as to Owner or Agent

SIGNATURE [Signature]  
 Prime Contractor (Owner/Builder)  
 DATE 12/1/98  
 NOTARY as to Contractor

My Commission Expires \_\_\_\_\_

My Commission Expires \_\_\_\_\_

Within Fifteen (15) working days after the plans are submitted and accepted for a building permit, the applicant will be notified in writing that a permit is ready for issuance or that additional information is required. Sixty (60) calendar days after the date of such notification, where such additional information has not been submitted or the permit has not been purchased, the applicant and/or the permit shall become null and void. Once the permit application package has become null and void it will be discarded by the Building Division, S.F.B.C. 302.11.

OFFICE USE ONLY	
MASTER PERMIT # _____	MASTER PROCESS # _____
PROCESS FEE PAID \$ _____	APPLICATION APPROVED BY _____ Permit Officer

## Permit Details

<b>Process #:</b> 68653	<b>Permit #:</b> B0402437	<b>Master Permit:</b> B0402437
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**Status:** Closed

[List All Subpermits](#)

### Site Information

**Address:** 1149 S NORTHLAKE DR

**Folio#:** 514214017022

**Sub-division:** HOLLYWOOD LAKES SECTION

**Value:** \$2,400.00

**Lot:** 25

**Block:** 41

**Sq Ft:** 0

### Permit Information

**Application Type:** FENCE-CHAIN LINK &/OR WOOD

**Application Date:** 04/19/04

**Job Name:** MORTA MONTA

**Permit Date:** 04/27/04

**Film Number:** 0402764

**CO/CC Date:**

**Permit Fee:** \$89.05

### Applicant / Contact Information

**Name:** CLIMATROL QUALITY ALUM INC

**Address:** 890 WEST 84 STREET HIALEAH, FL

### Property Owner Information

**Name:** MONTAMARTA, FRANCISCO T & ANGELAKIS-MONTAMARTA, ROTHO

**Address:** 1149 S NORTHLAKE DR HOLLYWOOD FL 33019-1316

### Contractor Information

**Name:** CLIMATROL QUALITY ALUM INC ([Permits + Details](#))

**Address:** 890 WEST 84 STREET HIALEAH, FL

CITY OF HOLLYWOOD, FLORIDA  
**PERMIT APPLICATION**



**NOTE: AN INCOMPLETE APPLICATION MAY DELAY THE TIMELY ISSUANCE OF YOUR PERMIT;  
PLEASE ENTER N/A IF A SECTION IS NOT APPLICABLE.**

DATE 4/ TAX FOLIO # \_\_\_\_\_  
DESCRIPTION: LOT 23 & 1/2 OF LOT 24 BLOCK \_\_\_\_\_ SUBDIVISION Hollywood Lakes Sect  
JOB NAME MORTA MONTA PHONE # \_\_\_\_\_  
JOB ADDRESS 1149 S. No. LAKE DR SUITE \_\_\_\_\_ HOLLYWOOD, FL ZIP \_\_\_\_\_  
DETAILED WORK DESCRIPTION: 4' HIGH ALUMN. FENCES

USE/OCCUPANCY \_\_\_\_\_ SQ. FT. \_\_\_\_\_ ESTIMATED VALUE: \$ 2400.-  
CONTRACTOR'S NAME CONTROL Quality ALUMN PHONE # 800-273-7897  
CONTRACTOR'S ADDRESS 890 W. 84 ST CITY Hiolcah STATE FL. ZIP 33012  
CERTIFICATE OF COMPETENCY # \_\_\_\_\_ FAX # 305-822-3141  
CONTRACTORS STATE CERTIFICATION OR REGISTRATION NO. CR-000-4040  
OWNER OR FEE SIMPLE TITLE HOLDER'S NAME MORTA MONTA  
OWNER OR FEE SIMPLE TITLE HOLDER'S ADDRESS 1149 S. NORTH LAKE DR  
BONDING COMPANY N/A  
BONDING COMPANY ADDRESS \_\_\_\_\_  
ARCHITECT/ENGINEER'S NAME BOB MANSOUR PHONE # 8305-828-9200  
ARCHITECT/ENGINEER'S ADDRESS 2100 W. 76 ST CITY Hiol STATE FL. ZIP 33014  
MORTGAGE LENDER'S NAME N/A  
MORTGAGE LENDER'S ADDRESS \_\_\_\_\_

ELECTRICAL CONTRACTOR: \_\_\_\_\_  
Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_  
Sworn before me this \_\_\_\_\_ of \_\_\_\_\_ 20 \_\_\_\_\_  
Value \$ \_\_\_\_\_  
Notary Public

Notarized Signature of Qualifier

MECAHNICAL CONTRACTOR: \_\_\_\_\_  
Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_  
Sworn before me this \_\_\_\_\_ of \_\_\_\_\_ 20 \_\_\_\_\_  
Value \$ \_\_\_\_\_  
Notary Public

Notarized Signature of Qualifier

BUILDING DIVISION  
CITY OF HOLLYWOOD

PLUMBING CONTRACT, \_\_\_\_\_

Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_

Sworn before me this \_\_\_\_\_ of \_\_\_\_\_ 20 \_\_\_\_\_

Value \$ \_\_\_\_\_ Notary Public  
CITY OF HOLLYWOOD  
BUILDING DIVISION

Notarized Signature of Qualifier  
2004 APR 27 P 12: 06

CONTRACTOR: \_\_\_\_\_

Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_

Sworn before me this \_\_\_\_\_ of \_\_\_\_\_ 20 \_\_\_\_\_

Value \$ \_\_\_\_\_ Notary Public

Notarized Signature of Qualifier

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, BOILERS, TANKS, AIR CONDITIONERS, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.**

**WARNING TO OWNERS ACTING AS THEIR OWN CONTRACTOR:** FLORIDA STATUTE 489.115 REQUIRES CONSTRUCTION TO BE DONE BY A LICENSED CONTRACTOR. 489.103(7) F.S. ALLOWS OWNERS OF CERTAIN TYPES OF RESIDENTIAL AND COMMERCIAL PROPERTY, TO OBTAIN PERMITS FOR REPAIRS OR IMPROVEMENTS TO THEIR OWN PROPERTY. IN ORDER TO QUALIFY UNDER THIS EXEMPTION YOU MUST BE BOTH THE OWNER AND THE OCCUPANT. YOU MUST PROVIDE DIRECT ON SITE SUPERVISION. YOU MAY NOT HIRE AN UNLICENSED PERSON TO ACT AS YOUR CONTRACTOR OR TO SUPERVISE PEOPLE WORKING ON YOUR BUILDING. ANY PERSON WORKING ON YOUR BUILDING WHO IS NOT LICENSED MUST BE EMPLOYED BY YOU, WHICH MEANS THAT YOU MUST DEDUCT F.I.C.A. AND WITHHOLDING TAX AND PROVIDE WORKERS' COMPENSATION FOR THAT EMPLOYEE, ALL AS PRESCRIBED BY LAW. IF YOU SELL OR LEASE A BUILDING YOU HAVE BUILT OR SUBSTANTIALLY IMPROVED YOURSELF WITHIN 1 YEAR AFTER THE CONSTRUCTION IS COMPLETED, THE LAW WILL PRESUME THAT YOU BUILT OR SUBSTANTIALLY IMPROVED IT FOR SALE OR LEASE, WHICH IS A VIOLATION OF 489.103(7) F.S. BE FURTHER ADVISED THAT, IN ACCORDANCE WITH FLORIDA ATTORNEY GENERALS' OPINION AGO 91-5, A CORPORATION CANNOT QUALIFY FOR AN OWNER/BUILDER EXEMPTION UNDER 489.103(7) F.S. UNLESS THEY POSSESS THE APPROPRIATE LICENSE. **SEE SEPARATE DISCLOSURE STATEMENT FOR COMPLETE DETAILS.**

*EFFECTIVE DATE OF BUILDING CODE: Master Permit Applications received prior to March 1, 2002 and related sub permits received thereafter, are subject to the South Florida Building Code, Broward Edition. Master Permit Applications received after March 1, 2002, including related sub permits are subject to the Florida Building Code, 2001 edition.*

SIGNATURE \_\_\_\_\_  
Owner or Agent

DATE \_\_\_\_\_ 4/15/04  
OFFICIAL NOTARY SEAL  
ANGELO GURIDI  
COMMISSION NUMBER  
DD081767  
NOTARY as to Owner or Agent  
MY COMMISSION EXPIRES  
JAN. 25, 2006

My Commission Expires \_\_\_\_\_

SIGNATURE \_\_\_\_\_  
Prime Contractor (Owner/Builder)

DATE \_\_\_\_\_ 4/15/04  
OFFICIAL NOTARY SEAL  
ANGELO GURIDI  
COMMISSION NUMBER  
DD081767  
NOTARY as to Contractor  
MY COMMISSION EXPIRES  
JAN. 25, 2006

My Commission Expires \_\_\_\_\_

Within 15 working days after plans and/or specifications are submitted and accepted for a building permit, the applicant will be notify in writing that a permit is ready for issuance or that additional information is required. Not more that 60 days after the date of such notification, where such additional information has not been submitted or the permit has not been purchased, the application and/or the permit shall become null and void. Where an application has become null and void, an applicant may again apply as set forth in Section 104.6 of the Florida Building Code. However, such application shall be processed as though there had been no previous application. **Florida Building Code, Section 104.6.1.6**

OFFICE USE ONLY	
FINISHED FLOOR ELEVATION _____	DISCLOSURE STATEMENT ATTACHED TO PERMIT CARD _____
MASTER PERMIT # _____	MASTER PROCESS # _____
PROCESS FEE PAID \$ _____	APPLICATION APPROVED BY _____ Permit Officer







Permit # \_\_\_\_\_

Date: \_\_\_\_\_

## LOT COVERAGE INFORMATION

If you are the applicant for a building permit for a SINGLE FAMILY RESIDENCE, please be aware that the following information is needed in order to process your request for any additions or accessory structures, including pools, decks, and the like:

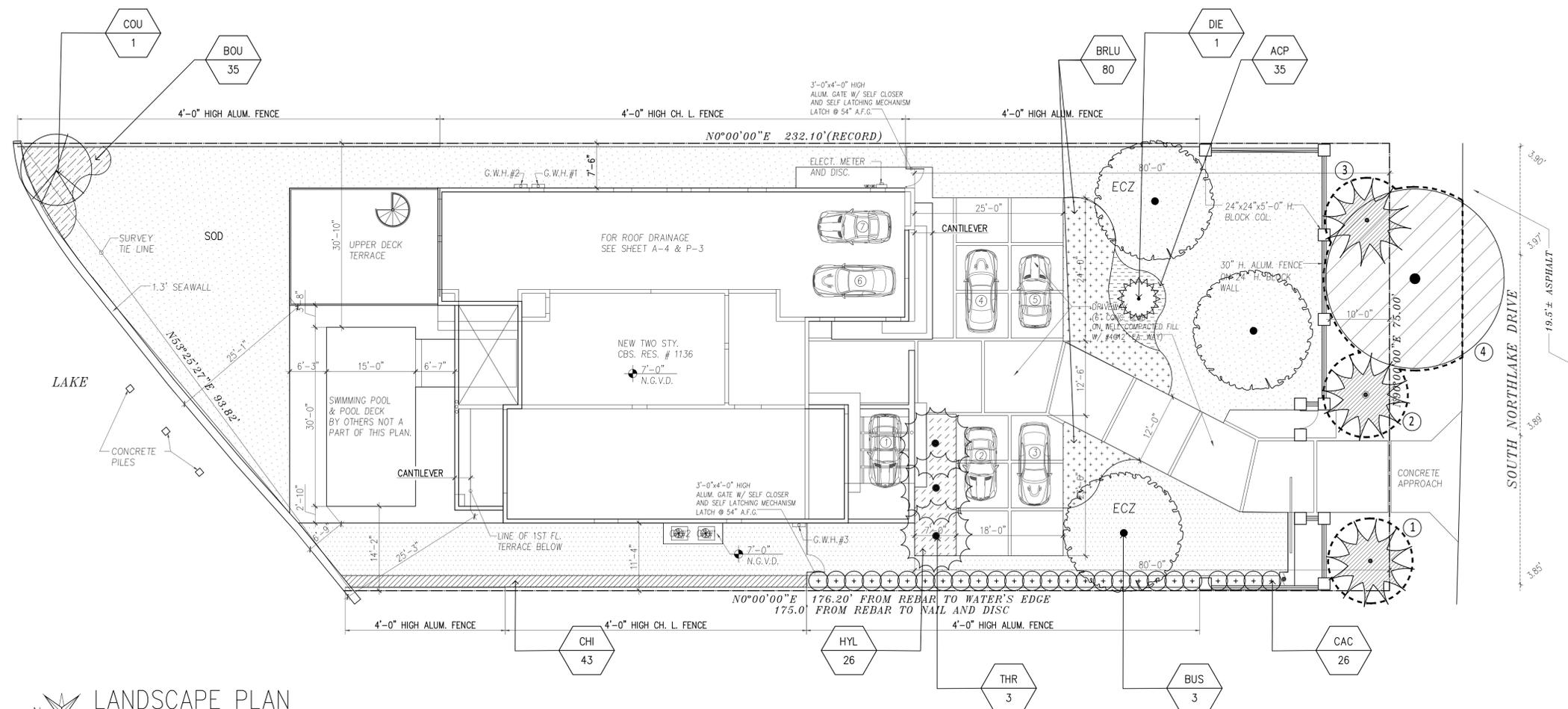
1. 15,532 SQUARE FEET OF YOUR LOT (length x width)
2. 4,129 SQUARE FEET OF YOUR HOUSE
3. 4,326 SQUARE FEET OF ALL EXISTING IMPERVIOUS SURFACES (e.g. Driveways, walkways, decks, pools, storage sheds, etc.)
4. N/A SQUARE FEET OF THE ADDITION, AND OR...
5. N/A SQUARE FEET OF THE PROPOSED ACCESSORY STRUCTURES, DRIVEWAYS, PAVEMENT, DECKS, ETC.
6. 8,455 TOTAL SQUARE FEET OF THE IMPERVIOUS AREA ON YOUR LOT (Add Nos. 2 + 3+ 4+ 5)...
7. 54% PERCENTAGE OF IMPERVIOUS LOT COVERAGE (Divide No.6 by No. 1)



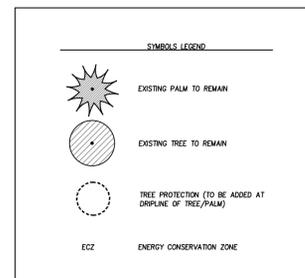








**LANDSCAPE PLAN**  
SCALE: 3/32"=1'-0"



**NOTES:**

- EXISTING VEGETATION INFORMATION IS BASED ON TREE SURVEY PROVIDED BY CLIENT.
- TREE PROTECTION BARRIERS SHALL BE ADDED TO ALL EXISTING TREES AND PALMS TO REMAIN.

**CITY OF HOLLYWOOD**  
INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS  
Zoning District RS-9 Lot Area 15,532SF Acres .36

	REQUIRED/ ALLOWED	PROVIDED
<b>OPEN SPACE</b>		
A. Square feet of required Open Space as indicated on site plan: Lot Area = <u>15,532 SF</u> x <u>20</u> % = <u>3,106 SF</u>	3,106 SF	7,774 SF
B. Square feet of parking lot open space required as indicated on site plan: Number of parking spaces <u>7</u> x 10 SF parking space =	N/A	N/A
C. Total square feet of landscaped open space required: A+B=	3,106 SF	7,774 SF
<b>TREES</b>		
A. Number of trees required: <u>1</u> trees x <u>1,250 SF</u> of Front Yard=	4	4
A1. At least 1 tree in the Back Yard=	1	1
B. % Natives required: Number of trees provided x 60% =	4	4
C. % Low maintenance / drought and salt tolerant required: Number of trees provided x 50%=	3	3
D. Street Trees (maximum average spacing of 50' o.c.) <u>.75</u> linear feet along street divided by 50=	2	3 Ex. Palms + 1 Tree
E. Street tree species allowed directly beneath power lines=	N/A	N/A
<b>SHRUBS</b>		
A. Number of shrubs required: Front Yard=	15	106
A1. Number of shrubs required: Back Yard=	10	79
B. % Native shrubs required: Number of shrubs provided x 50%=	13	149

**PLANT LIST**

Label	Quantity	Scientific Name	Common Name	Specifications	Native	Salt Tolerance
<b>Trees/Palms</b>						
BUS	3	Bursera simaruba	Gumbo Limbo	12' Ht., 5'-6" sp., 2.5" dbh, Florida #1	Yes	Moderate
COU	1	Coccoloba wifera	Seagrape	12' Ht., 2" cal., Florida #1	Yes	Moderate
THR	3	Thrinax radiata	Florida thatch palm	6' GW	Yes	
	7	TOTAL				
<b>Shrubs</b>						
BOU	35	Bougainvillea 'Purple Queen'	Purple Bougainvillea	full, 3 Gal., 24" o.c.		
BRL	80	Brysonima lucida	Locustberry	full, 3 Gal., 24" o.c.	Yes	
CAC	26	Capparis cynophallophora	Jamaican Caper	full, 7 Gal., 36" o.c., 24" ht. at time of planting	Yes	Moderate
CHI	43	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	full, 3 Gal., 24" o.c.	Yes	Moderate
DIE	1	Dioon edule	Dioon	15 Gal.		
	185	TOTAL				
<b>Groundcovers</b>						
HYL	73	Hymenocallis latifolia	Spider lily	full, 3 Gal., 18" o.c.	Yes	
ACP	35	Acalypha pendula	Chenille Firetail plant	full, 1 Gal., 18" o.c.		
	108	TOTAL				
<b>Sod</b>						
	As shown	Stenotaphrum secundatum 'Palmetto'	St. Augustine 'Palmetto'	solid sod		

**TREE DISPOSITION LEGEND**

#	Scientific name	Common name	DBH	Height	Canopy	Condition	Disposition
1	Roystonea regia	Royal palm	24"	40'	15'	Good	To Remain
2	Roystonea regia	Royal palm	14"	40'	15'	Good	To Remain
3	Roystonea regia	Royal palm	16"	40'	15'	Good	To Remain
4	Tabebuia heterophylla	Pink Tabebuia	12"	30'	30'	Good	To Remain

**HISTORY OF DRAWING ISSUED**

DESCRIPTION	DATE OF ISSUED
PROGRESS	
PERMIT	
CONSTRUCTION	

REVISION BY: \_\_\_\_\_

**NEW 2 STY. RESIDENCE FOR:  
DR. SAM & LILA SKAFF**  
1136 S. NORTHLAKE DR. HOLLYWOOD FL.

**ARCHITECTURE - PLANNING.**  
7600 SW 57 AVE. SUITE 128 - S. MIAMI FL 33143  
TEL (305) 6683350 - FAX (305) 6679121 AAC # 002158

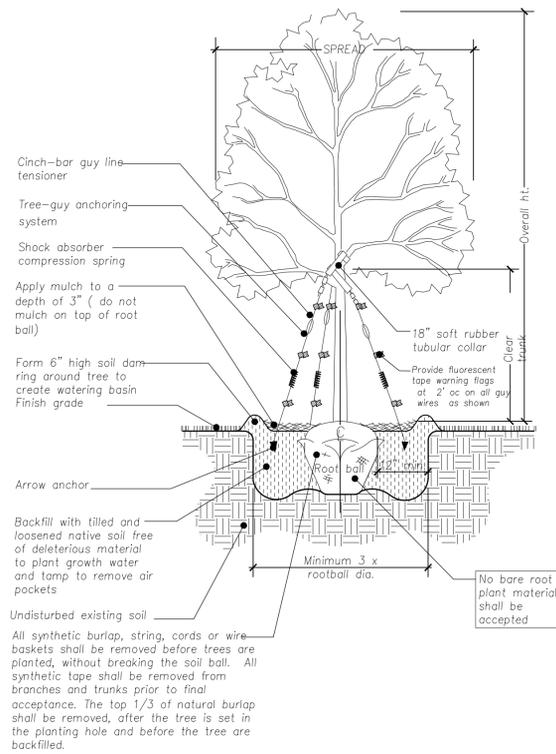
**HAROLD HOYTE**  
LANDSCAPE ARCHITECT  
LICENSE # LA 668689

DATE 06-04-18  
SCALE AS NOTED  
DRAWING XY  
JOB  
SHEET  
**L-1.0**  
OF 4 SHEETS

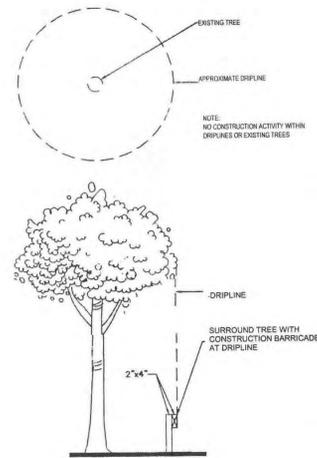


**GENERAL NOTES**

- All plants furnished by the Landscape Contractor unless otherwise specified shall be Florida No. 1 or better, and shall be specified in Grades and Standards for Nursery Plants, Part 1 (2nd Ed., 1998) by the Florida Department of Agriculture and Consumer Services Division of the plant industry.
- All shrubs and groundcovers shall be guaranteed for six months from date of final acceptance. All trees and palms shall be guaranteed for one year from date of final acceptance. The Contractor shall be responsible to remove all the failing plant materials and replace them with the same kind and size material as specified in the plant list, with the same guarantee as initial planting.
- Contractor shall familiarize him/herself with the limits of work and existing conditions and verify all information. Where discrepancies with quantities and/or species differ between the planting plan(s) and the plant list, the contractor shall notify owner's representative in writing within seven (7) calendar days of notice to proceed. No changes shall be made without the prior, written consent of the Landscape Architect and/or Owner.
- Any substitution in size and/or plant material must be approved by the Landscape Architect/Owner's representative in writing. All plants will be subject to approval by the Landscape Architect and/or owner's representative before planting can begin.
- All biodegradable burlap shall be untied and pulled down on the ball. Wire baskets and other non-biodegradable material attached to plants shall be removed prior to planting. Care shall be taken not to break or disturb rootball of plants.
- All plants shall be watered immediately after planting.
- Planting soil shall be weed-free, and consist of 70% clear silica sand and 30% Everglades muck. Mix planting soil with excavated soil in 1:1 ratio.
- All planting beds to be weed and grass free. Contractor shall apply herbicide to soil as recommended by manufacturer.
- Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities and other obstructions and coordinate with owner's representative in writing prior to initiating operations.
- Landscape Contractor shall locate and verify all underground utilities and obtain As-Built information prior to digging, if available. Drawings were prepared according to the best information available at the time. Contractor shall notify owner's representative in writing within seven (7) calendar days of notice to proceed with any discrepancies.
- All trees and palms shall be staked as shown in the plans. No nail staking permitted.
- Typically, shrub and groundcover plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing). Plant center to center dimensions (O.C.) are listed on the plant list.
- The Contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications.
- All trees shall be fertilized at installation with "Agriform Pills", 21 gram size, with a 20-10-5 formulation, (or approved equal), according to manufacturer's recommendations.
- All palms and other plants shall be fertilized at installation with Florida Atlantic East Coast Fertilizer "Palm Special" 8-4-12 time-release fertilizer (with slow release sulphur) according to manufacturer's recommendations, unless otherwise approved by the Landscape Architect.
- Cover all planting beds with a minimum of 3" layer of shredded Melaleuca, or Eucalyptus mulch, Grade B. Do not use Cypress Mulch.

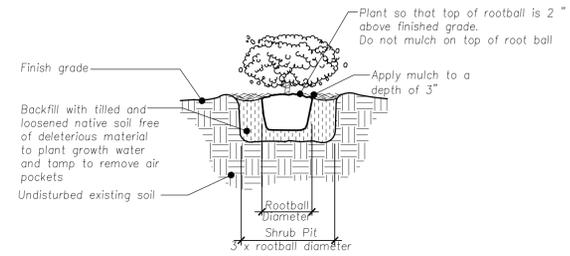


TREE PLANTING DETAIL N.T.S.



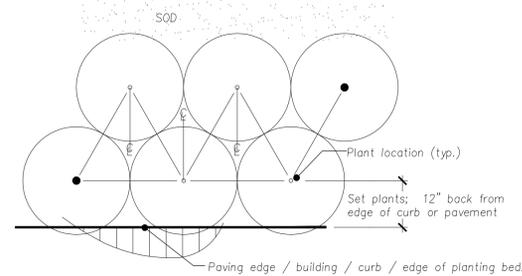
TEMPORARY CONSTRUCTION BARRICADE

SCALE: NOT TO SCALE

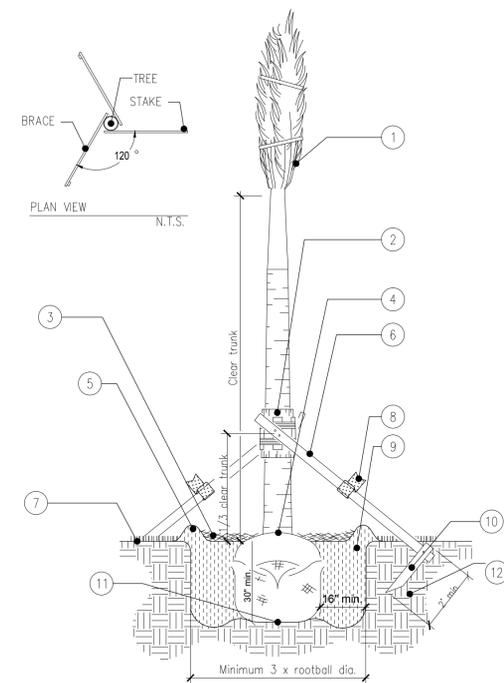


SHRUB PLANTING DETAIL N.T.S.

Notes:  
 - Spacing diagram refers to all planting unless noted otherwise  
 - L= Spacing as called for in planting plan and plant list



SHRUBS /GROUNDCOVERS PLANTING DETAIL N.T.S.



PALM PLANTING DETAIL N.T.S.

HISTORY OF DRAWING ISSUED	DESCRIPTION	DATE OF ISSUED
<input type="checkbox"/>	PROGRESS	
<input type="checkbox"/>	PERMIT	
<input type="checkbox"/>	CONSTRUCTION	
REVISION BY		

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 TEL (305) 6683350 - FAX (305) 6679121 AAC # 002158

**HAROLD HOYTE**  
 LANDSCAPE ARCHITECT  
 LICENSE # LA 8666869

DATE	06-04-18
SCALE	AS NOTED
DRAWING	XY
JOB	
SHEET	<b>L-1.1</b>
OF 4 SHEETS	

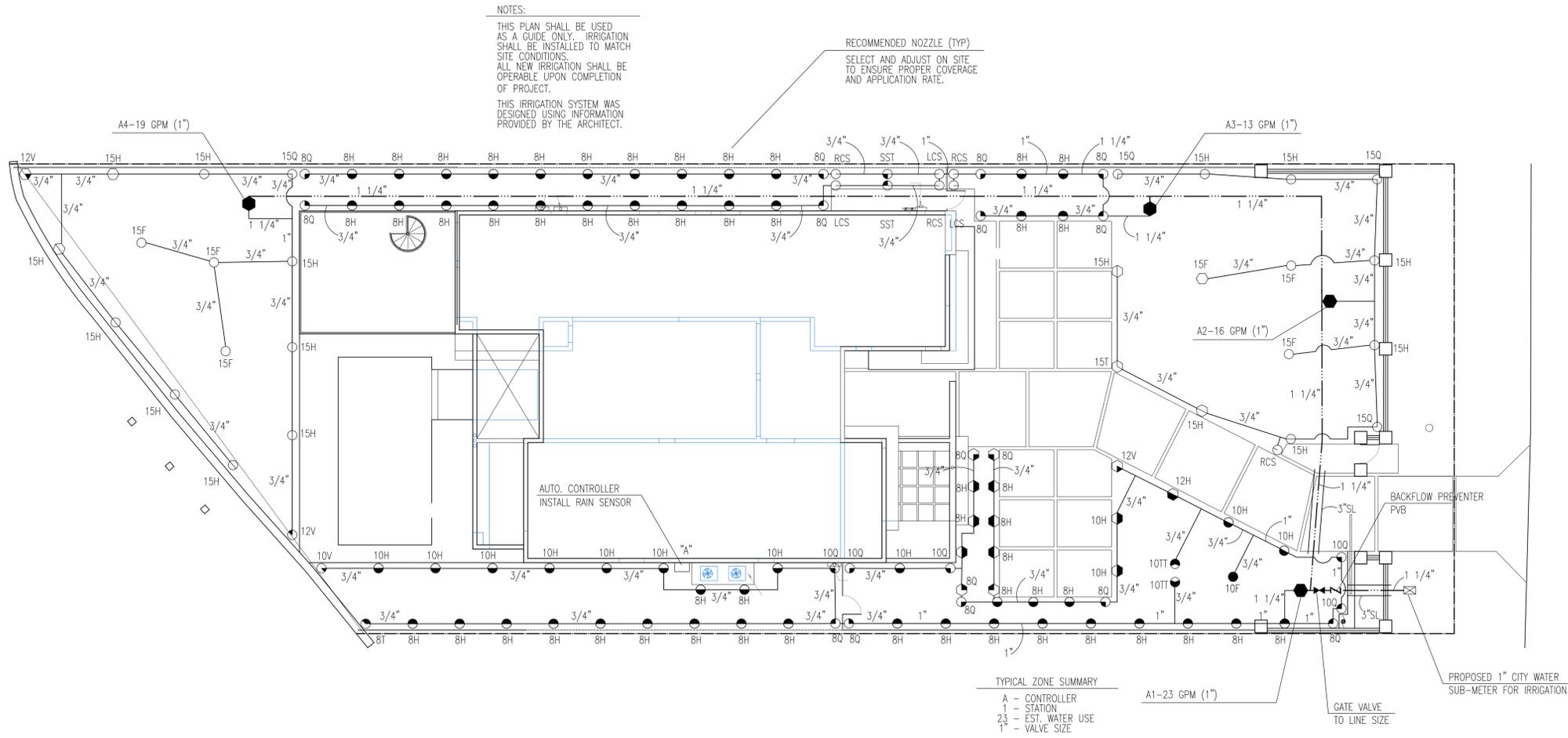
HISTORY OF DRAWING ISSUED	
PROGRESS	DATE OF ISSUED
PERMIT	
CONSTRUCTION	
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JOB	
SHEET	<b>IR-1.0</b>
OF 4	SHEETS



**IRRIGATION PLAN**  
SCALE: 3/32"=1'-0"



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LEGEND			
SYMBOL	MODEL NO.	DESCRIPTION	* EST. QTY.
○ 80	5702-6P-PRECISION-8Q	TORO ADJ. SPRAY (6")	13
○ 8T	5702-6P-PRECISION-8T	TORO ADJ. SPRAY (6")	01
○ 8H	5702-6P-PRECISION-8H	TORO ADJ. SPRAY (6")	47
○ 10V	5702-6P-PRECISION-10V	TORO ADJ. SPRAY (6")	01
○ 100	5702-6P-PRECISION-10Q	TORO ADJ. SPRAY (6")	05
○ 10T	5702-6P-PRECISION-10T	TORO ADJ. SPRAY (6")	01
○ 10H	5702-6P-PRECISION-10H	TORO ADJ. SPRAY (6")	10
○ 10TT	5702-6P-PRECISION-10TT	TORO ADJ. SPRAY (6")	02
○ 10F	5702-6P-PRECISION-10F	TORO ADJ. SPRAY (6")	01
○ 12V	5702-6P-PRECISION-12V	TORO ADJ. SPRAY (6")	01
○ 12Q	5702-6P-PRECISION-12Q	TORO ADJ. SPRAY (6")	04
○ 12H	5702-6P-PRECISION-12H	TORO ADJ. SPRAY (6")	12
○ 12F	5702-6P-PRECISION-12F	TORO ADJ. SPRAY (6")	05
○ 12S	5702-6P-PRECISION-12S	TORO ADJ. SPRAY (6")	04
○ 12CS	5702-6P-PRECISION-12CS	TORO ADJ. SPRAY (6")	04
○ 12SST	5702-6P-PRECISION-12SST	TORO ADJ. SPRAY (6")	02
○ 80	5702-12P-PRECISION-8Q	TORO ADJ. SPRAY (12")	04
○ 8H	5702-12P-PRECISION-8H	TORO ADJ. SPRAY (12")	06
○ 10H	5702-12P-PRECISION-10H	TORO ADJ. SPRAY (12")	02
○ 12V	5702-12P-PRECISION-12V	TORO ADJ. SPRAY (12")	02
○ 12H	5702-12P-PRECISION-12H	TORO ADJ. SPRAY (12")	01
○ 12H	5702-12P-PRECISION-12H	TORO ADJ. SPRAY (12")	04
○ 12T	5702-12P-PRECISION-12T	TORO ADJ. SPRAY (12")	01
○ 12F	5702-12P-PRECISION-12F	TORO ADJ. SPRAY (12")	01
○ 12F	5702-12P-PRECISION-12F	TORO ADJ. SPRAY (12")	01
●	P220	TORO 1" SOLENOID VALVE	04
●	EVO-8	TORO AUTOMATIC CONTROLLER	01
NOT SHOWN	TRS	TORO RAIN SENSOR	01
NOT SHOWN		PAIGE UF WIRE	AS REQUIRED
		#14 AWG VALVE CONTROL	
		#12 AWG VALVE COMMON	
NOT SHOWN		SCH 40 GALVANIZED STEEL	AS REQUIRED
		SCH 40 PVC	AS REQUIRED
---		MAIN	
---		LATERALS	
---		SLEEVES	
---		PVC FITTINGS	
---		WIRE CONDUIT	
---		RISERS	
---		GATE VALVE	01
---		VALVE BOXES	05
---		5/8" CITY WATER SUB-METER	BY OTHERS
---		PVB BACKFLOW PREVENTER	BY OTHERS

NOTE: ABOVE QUANTITIES ARE FOR COMPARISON ONLY.

**ZONE SUMMARY CHART**

STA NO.	VALVE	SPRINKLER TYPE	VALVE SIZE	WATER DEMAND	RUN TIME	WEEKLY USAGE
1	A1	SPRAY	1"	23 GPM	60 MIN/WK	1380 GAL/WK
2	A2	SPRAY	1"	16 GPM	60 MIN/WK	960 GAL/WK
3	A3	SPRAY	1"	13 GPM	60 MIN/WK	780 GAL/WK
4	A4	SPRAY	1"	19 GPM	60 MIN/WK	1140 GAL/WK
5-8	SPARE					
				240 MIN/WK	4,260 GAL/WK	

\* TO APPLY 1.5 IN/WK

**IRRIGATION NOTES & SPECIFICATIONS**

AUTOMATIC IRRIGATION SYSTEM  
 WATER DEMAND / ZONE REFER TO PLAN  
 WATER SOURCE 1" CITY WATER SUB-METER  
 PRESSURE REQUIRED 50 PSI

**GENERAL**

IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES, CONTRACT DRAWINGS, AND CONTRACT SPECIFICATIONS.

IRRIGATION DESIGN BASED ON LANDSCAPE PLAN DATED NOVEMBER 2018.

THIS CONCEPTUAL IRRIGATION PLAN SHALL BE USED AS A GENERAL GUIDE ONLY. CONTRACTOR SHALL INSTALL IRRIGATION TO MATCH ON SITE CONDITIONS AND TO OVERCOME THE INHERENT INACCURACIES THAT RESULT WHEN DESIGNING FROM BASE PLANS SCALED AT 3/32" = 1'-0".

THIS IRRIGATION HAS BEEN DESIGNED AS A TYPICAL BLOCK VALVE TYPE USING TORO SPRINKLERS, AND CONTROL SYSTEM, A RAIN SENSOR SHALL BE INSTALLED TO CONSERVE WATER.

THE WATER SOURCE SHALL BE A 1" CITY WATER SUB-METER.

A BACKFLOW PREVENTER SHALL BE INSTALLED (BY OTHERS) TO MEET LOCAL CODE REQUIREMENTS FOR CROSS CONNECTION CONTROL.

CONTRACTOR IS ADVISED TO STUDY THE PLANS FOR ADDITIONAL INFORMATION AND TO VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS.

TO ENSURE PROPER OPERATION, METER SIZE, PRESSURE REQUIRED, VALVE SIZES, ZONE CAPACITIES, SPRINKLER SPACING, PIPE AND WIRE SIZES, INSTALLATION NOTES AND DETAILS, AND SPECIFICATIONS SHALL BE FOLLOWED AS SHOWN.

**PIPING**

PIPE ROUTING IS SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR ON SITE CONDITIONS.

PIPE SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND PIPE MANUFACTURER'S INSTRUCTIONS.

PIPE ROUTED UNDER HARDSCAPED AREAS SHALL BE SLEEVED IN SCH 40 PVC. EACH SLEEVE SHALL: (1) BE BURIED TO A MINIMUM DEPTH OF 18", (2) BE TWO PIPE SIZES LARGER THAN CARRIER PIPE, AND (3) EXTEND 3' BEYOND HARDSCAPED AREA. CONTRACTOR SHALL VERIFY THE SIZE, DEPTH, AND LOCATION OF ALL EXISTING SLEEVES.

PIPE INSTALLED ABOVE GRADE SHALL BE SH 40 GALVANIZED STEEL. MAINLINE, LATERALS, SLEEVES, RISERS SHALL BE SCH 40 PVC.

PIPE SIZED TO LIMIT FLOW VELOCITIES TO 5 FEET/SECOND AND TO LIMIT FRICTION LOSS IN THE PIPING NETWORK.

PIPE SHALL BE INSTALLED AT SUFFICIENT DEPTH BELOW GROUND TO PROTECT IT FROM HAZARD SUCH AS VEHICULAR TRAFFIC OR ROUTINE OCCURRENCES WHICH OCCUR IN THE NORMAL USE AND MAINTENANCE OF THE PROPERTY. DEPTHS OF COVER SHALL MEET OR EXCEED SCS CODE 430-DD. REFER TO THE APPLICABLE DETAIL FOR ADDITIONAL INFORMATION.

BACKFILL SHALL BE OF SUITABLE MATERIAL, FREE OF ROCKS, STONES, AND OTHER DEBRIS THAT WOULD DAMAGE IRRIGATION SYSTEM COMPONENTS.

**SPRINKLERS**

SPRINKLER LOCATIONS ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR LANDSCAPING, SITE LIGHTING, PREVAILING WIND, MOUNDING, ETC. TO ENSURE PROPER COVERAGE WITH MINIMAL UNDESIRABLE OVERTHROW INTO HARDSCAPED AREAS, PATIOS AND ONTO BUILDINGS.

SPRAY HEADS SHALL BE TORO 5702 SERIES. SIX INCH POP-UP TYPE SHALL BE INSTALLED IN AREAS LANDSCAPED WITH SOIL AND MULCH, TWELVE INCH POP-UP TYPE SHALL BE INSTALLED IN AREAS LANDSCAPED WITH GROUND COVER AND LOW SHRUBS, AND SHRUB HEADS AND BUBBLERS SHALL BE INSTALLED IN AREAS LANDSCAPED WITH TALL SHRUBS AND PALMS.

POP-UP TYPE SHALL BE INSTALLED ON FLEXIBLE SWING JOINTS CONSISTING OF THICK WALLED POLY PIPE AND 1/2" INSERT ELBOWS.

SHRUB TYPE AND BUBBLERS SHALL BE INSTALLED ON 1/2" SCH 40 PVC RISERS. SHRUB HEADS SHALL BE INSTALLED A STANDARD HEIGHT OF 6" ABOVE PLANTS AND SHALL BE INSTALLED WITHIN PLANTS TO BE CONCEALED FROM VIEW. BUBBLERS SHALL BE INSTALLED AT THE BASE OF TALL SHRUBS FOR LOW LEVEL WATERING. RISERS SHALL BE PAINTED FLAT BLACK TO BE LESS VISIBLE.

THE METHOD OF INSTALLATION FOR EACH SPRAY SPRINKLER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

EACH SPRAY HEAD SHALL BE EQUIPPED WITH THE APPROPRIATE PRECISION NOZZLE.

ADJUSTMENT FEATURES OF SPRINKLERS SPECIFIED SHALL BE UTILIZED TO INSURE PROPER COVERAGE WITH MINIMAL UNDESIRABLE OVERTHROW. LOW ANGLE, FLAT SPRAY, AND ADJUSTABLE ARC NOZZLES SHALL BE USED TO MINIMIZE OVERTHROW.

SPRINKLERS LOCATED ADJACENT TO HARDSCAPED AREAS SHALL BE INSTALLED AWAY FROM HARDSCAPED AREAS TO MINIMIZE OVERTHROW AND THE CHANCE OF DAMAGE BY VEHICLES, PEDESTRIANS, AND LAWN MAINTENANCE PERSONNEL. AS A GENERAL RULE, 6" POP-UP SPRAY HEADS SHALL BE INSTALLED IN 4", SHRUB HEADS AND 12" POP-UP SPRAY HEADS SHALL BE INSTALLED IN 12".

**CONTROL SYSTEM**

A TORO EVOLUTION SERIES ELECTRIC CONTROL SYSTEM SHALL BE INSTALLED. ONE 8 STATION CONTROLLER SHALL ACTIVATE 4 IN-LINE VALVES. ONE VALVE SHALL BE CONTROLLED PER STATION EXCEPT AS NOTED. A RAIN SENSOR SHALL BE INSTALLED TO CONSERVE WATER.

CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. PROPER GROUNDING EQUIPMENT SHALL BE PROVIDED.

CONTROLLER LOCATION SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. A 120 VAC ELECTRIC SOURCE IS REQUIRED PER LOCATION.

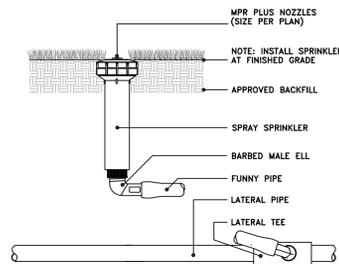
CONTROL LINES FROM AUTOMATIC CONTROLLER TO IN-LINE AUTOMATIC VALVES SHALL BE #14 AWG UNDERGROUND FEED TYPE WHICH SHALL BE: (1) INSTALLED IN ACCORDANCE WITH LOCAL CODES, (2) INSTALLED IN WIRE CONDUIT THROUGHOUT, (3) BURIED TO A MINIMUM DEPTH OF 15", (4) COLOR CODED TO FACILITATE TROUBLESHOOTING, AND (5) SPLICED MOSTLY AT VALVE LOCATIONS. SPLICES SHALL BE MADE WATERPROOF USING APPROVED METHODS. SPARE WIRES SHALL BE ROUTED FROM THE CONTROLLER IN ALL DIRECTIONS TO THE FARTHEST VALVES CONTROLLED.

AN INDIVIDUAL CONTROL WIRE SHALL BE ROUTED TO EACH VALVE AND VALVES WHICH OPERATE SIMULTANEOUSLY SHALL BE TIED TOGETHER AT THE CONTROLLER.

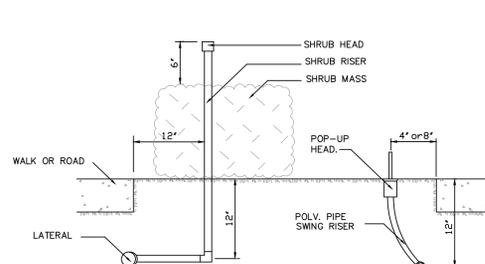
AUTOMATIC VALVE LOCATIONS ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR ON SITE CONDITIONS. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX. A MINIMUM OF ONE CUBIC FOOT OF GRAVEL SHALL BE PROVIDED PER BOX TO PROMOTE DRAINAGE.

**TIMING AND PRECIPITATION**

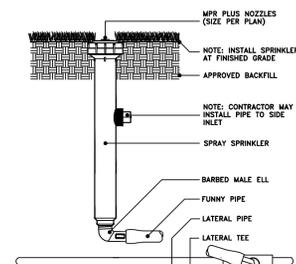
TIMING OF EACH STATION SHALL BE SET IN THE FIELD TO MATCH LOCAL REQUIREMENTS. REFER TO ZONE SUMMARY CHART FOR RECOMMENDED RUN TIMES TO APPLY 1.5 INCHES/WEEK.



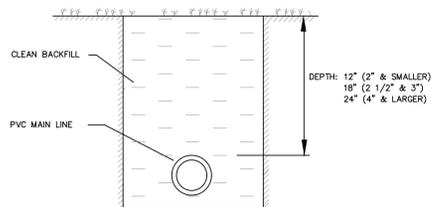
POP-UP SPRAY ON POLY PIPE SWING JOINT NOT TO SCALE



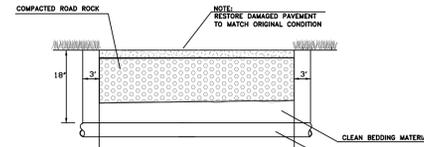
SPRINKLER LOCATION DETAIL NOT TO SCALE



12" POP-UP SPRINKLER ON POLY PIPE SWING JOINT NOT TO SCALE

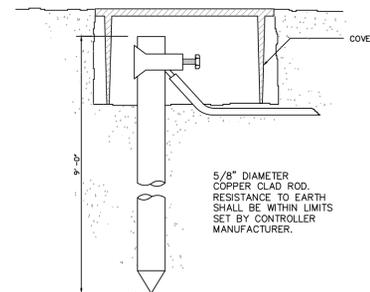


TRENCHING DETAIL NON-VEHICLE TRAFFIC AREA NOT TO SCALE

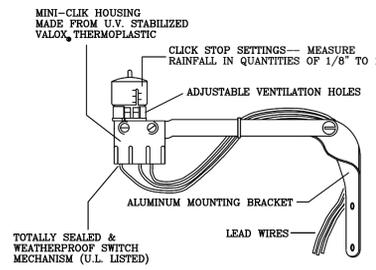


PIPE SLEEVE DETAIL NOT TO SCALE

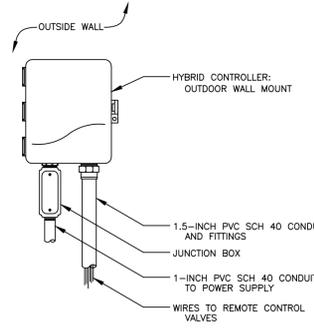
WIRE COLOR CODING CHART	
STATION #	WIRE COLOR
1 . 11	BLACK
2 . 12	RED
3 . 13	GREEN
4 . 14	YELLOW
5 . 15	ORANGE
6 . 16	BLUE
7 . 17	BROWN
8 . 18	PURPLE
9 . 19	TAN
10 . 20	GREY
COMMON	WHITE
SPARE	PINK



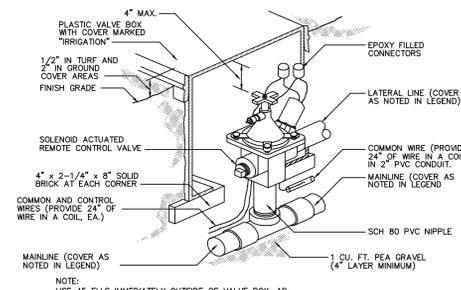
GROUNDING ROD INSTALLATION NOT TO SCALE



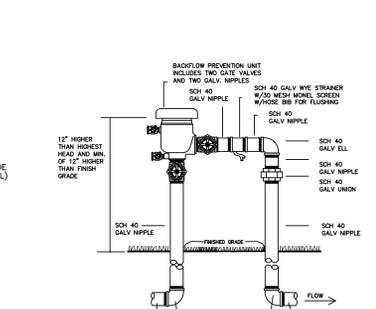
RAIN SENSOR NOT TO SCALE



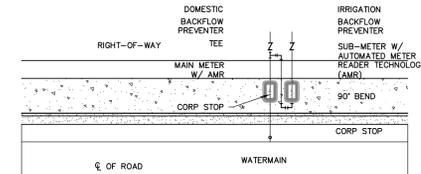
WALL MOUNT CONTROLLER NOT TO SCALE



REMOTE CONTROL VALVE DETAIL NOT TO SCALE



PVB BACKFLOW PREVENTER NOT TO SCALE



- NOTES:
- MUST USE RECTANGULAR BOX TO ACCOMMODATE BOTH THE SUB-METER AND SHUT-OFF VALVE.
  - MUST HAVE SHUT-OFF VALVE ON INLET SIDE BEFORE METER.
  - MUST PLACE SUB-METER BOX WITHIN 5 FEET OF MAIN METER, EASILY ACCESSIBLE TO METER READER.
  - MUST CALL METER SHOP AT 305-673-7681 WHEN INSTALLATION IS COMPLETED FOR FINAL INSPECTION IN ORDER TO OBTAIN SEWER CREDIT.
  - SUB-METER CANNOT BE LARGER THAN THE DOMESTIC METER WATER SERVICE LINE.

TYPICAL SUB-METER INSTALLATION N.T.S.

HISTORY OF DRAWING ISSUED

PROGRESS	
PERMIT	
CONSTRUCTION	

REVISION BY \_\_\_\_\_

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 DESCRIPTION DATE OF ISSUED

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MIGUEL A. GONZALEZ  
 ARCHITECT  
 LICENSE # 10,5053  
 7600 SW 57 AVE. SUITE 128  
 MIAMI, FLORIDA 33143

DATE	06-04-18
SCALE	AS NOTED
DRAWING	Y.T.
JOB	
SHEET	A-0
OF	SHEETS

HISTORY OF DRAWING ISSUED	DESCRIPTION	DATE OF ISSUED
000	PROGRESS	
001	PERMIT	
002	CONSTRUCTION	
	REVISION BY	

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MIGUEL A. GONZALEZ  
ARCHITECT  
LICENSE # 45053  
7600 SW 57 AVE SUITE 128  
MIAMI, FLORIDA 33143

DATE 06-04-18  
SCALE AS NOTED  
DRAWING Y.T.  
JOB  
SHEET **A-1**  
OF SHEETS

**ZONING NOTES:**

(R8-9)		
LOT AREA		15,532 SF.
A/C (1st FLOOR)		2,641 SF.
GARAGE		485 SF.
ENTRY		135 SF.
COVERED CARPORT STORAGE		119 SF.
COVERED TERRACES		670 SF.
OPEN AREA COVERED BY 2ND FL. A/C		79 SF.
1st FLOOR UNIT SIZE		4,129 SF.
A/C (2nd FLOOR)		3,958 SF.
2nd FLOOR BALCONIES		750 SF.
2nd FLOOR UNIT SIZE		3,908 SF.
POOL & POOL DECK		1,254 SF.
DRIVEWAY		2,375 SF.
GREEN AREA		1,114 SF.

SETBACKS	REQUIRED	PROVIDED
FRONT	20'-0"	20'-0"
REAR	25'-0"	25'-0"
SIDE (EAST)	7'-6"	7'-6"
SIDE (WEST)	7'-6"	11'-4"
SIDE (EAST+ WEST)	25% OF 15' (18.75')	18'-10"

- GENERAL NOTES:**
- All wood in contact with masonry or concrete shall be pressure treated.
  - Truss manufacturer shall submit shop drawings, or design and layout (sealed by Registered Engineer) to Engineer / Architect for approval prior to fabrication.
  - Hvac Subcontractor shall submit shop drawings, or design and layout (sealed by Registered Engineer) to Architect / Engineer for approval prior to fabrication.
  - All work to be in full strict accordance and compliance with all codes and agencies having jurisdiction.
  - Written dimensions shall take precedence over scaled dimensions.
  - Contractor shall thoroughly familiarize with drawings and scope of work prior to commencing work. All dimensions shall be field verified and the Architect shall be notified prior to commencing any work of any discrepancies between prepared drawings and field condition.
  - All wood bearing partitions to be one hour fire rated construction.
  - Contractor shall stake out in the field all underground utilities known or encounter before to beginning excavation.
  - Contractor shall coordinate all-trades before placing concrete.
  - All finished materials shall be class "C" min. Flame spread.
  - Partitions to run from floor to underside of slabs, joists or trusses and to consist of wood studs at 16" o.c. with 1/2" gypsum wallboard both sides U.O.N.
  - Complete all bath wall/tiler behind sinks, lavatories, bathtub, showers, water closets and bidets to be water resistance type.
  - Contractor shall coordinate thickness of partitions to accommodate mechanical work.
  - Lumber used for studs in interior nonbearing partitions shall be of a stress grade not less than 228 F.S.I. nominal extreme fiber stress in bending.
  - Contractor shall provide continuous caulk and sealant around all exterior openings to prevent water penetration and air leakage in accordance with F.B.C.
  - General Contractor shall verify with 'Flood Control Department' in Dade County before starting construction.
  - If any discrepancies are found, stop working immediately and notify owner or Architect.

**LEGAL DESCRIPTION:**

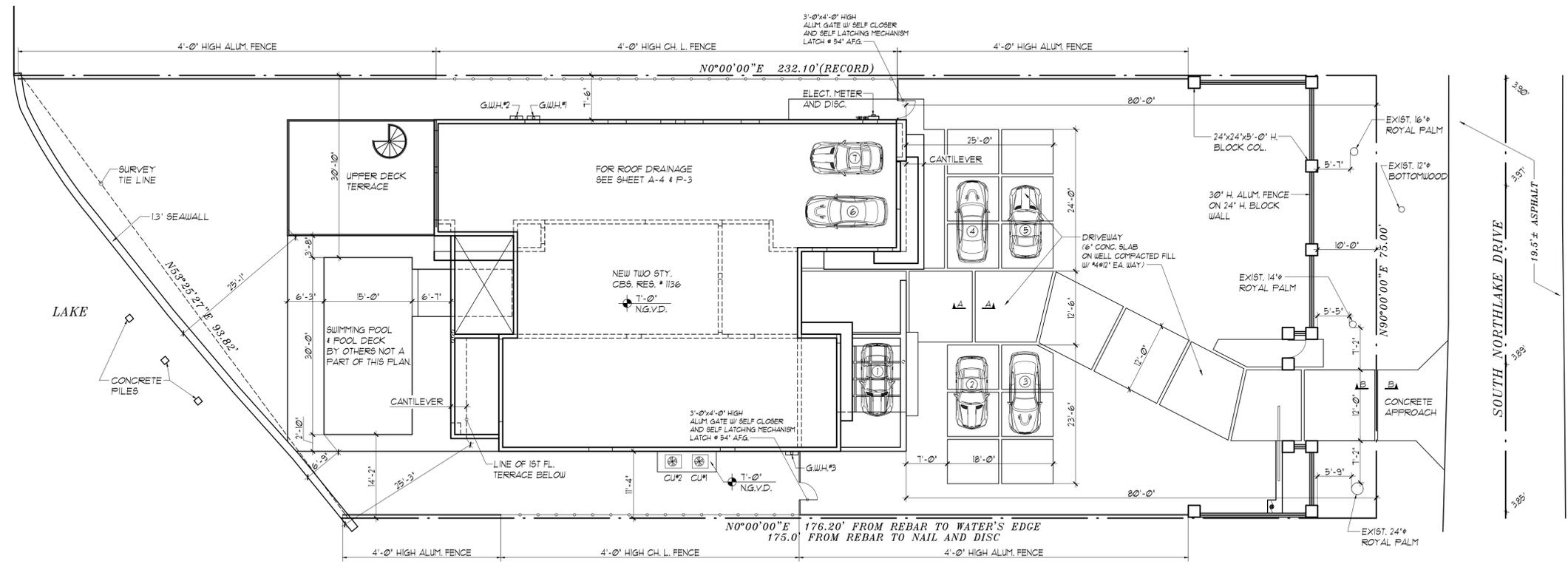
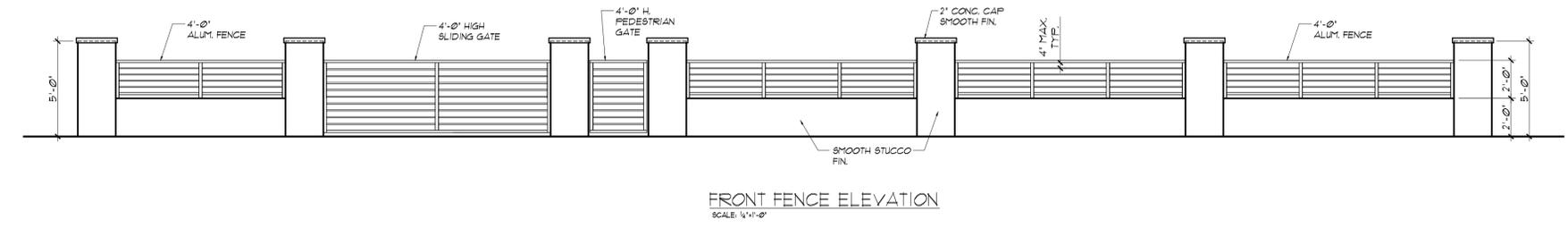
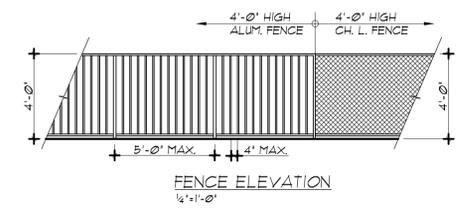
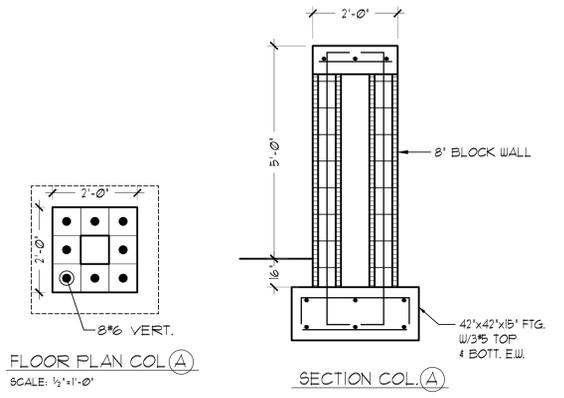
THE WEST FIVE FEET OF LOT 23, ALL FIFTY FEET OF LOT 24 AND THE EAST TWENTY FEET OF LOT 25, EXCEPTING THE SOUTH THIRTY FEET OF SAID LOTS, IN BLOCK 41, OF HOLLYWOOD LAKES SECTION, INCLUDING ALL THAT PORTION OF AN ABANDONED SIXTY FEET OF STREET LYING AND ADJACENT TO AN DIRECTLY NORTH OF SAID LOTS AND INCLUDING ALL THAT PORTION OF AN ABANDONED PARKWAY LYING ADJACENT TO AND DIRECTLY NORTH OF THE ABOVE DESCRIBED PORTION OF AN ABANDONED STREET AND ALSO ABUTTING THE SOUTH SHORE OF NORTHLAKE, ALL THE ABOVE LOTS AND PARCELS ARE ACCORDING TO THE PLAT OF HOLLYWOOD LAKES SECTION, AS RECORDED IN PLAT BOOK 1, PAGE 31, OF THE PUBLIC RECORD OF BROWARD COUNTY, FLORIDA.

**ARCHITECT'S NOTE**

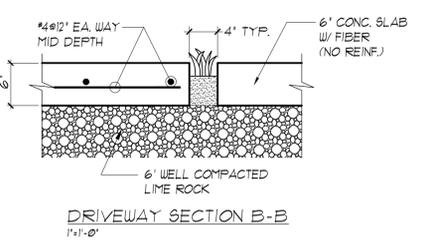
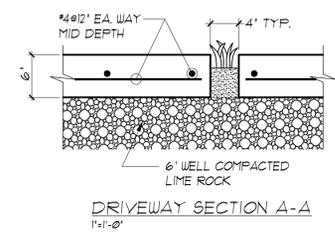
TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, THE STRUCTURAL DESIGN COMPLIES WITH THE APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE AND ALL DADE COUNTY APPLICABLE CODES.

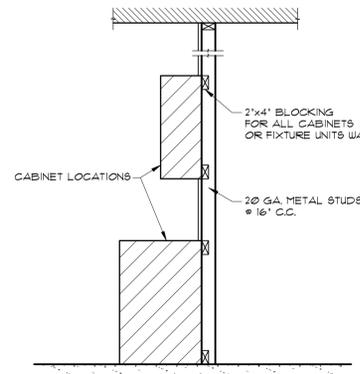
MEANS AND METHODS OF CONSTRUCTION AND SAFETY PRECAUTION ARE THE RESPONSIBILITIES OF THE CONTRACTOR.

THE CONTRACTOR IS TO BE RESPONSIBLE FOR HIS OR HERS EMPLOYEE'S NEGLIGENT ACTS, ERRORS, OR OMISSIONS.

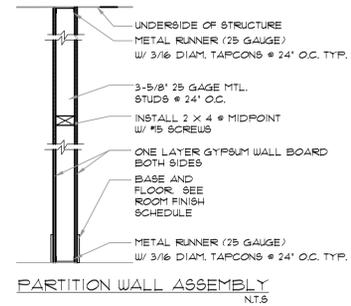


- NOTE: FILL WILL NOT BE INTRODUCED TO PROPERTY
- NOTE: RETAIN ALL RAIN WATER WITHIN PROPERTY LINES
- NOTE: ALL UTILITY SERVICES SUCH AS ELECTRICAL, TELEPHONE, INTERNET, CABLE TV ETC. MUST BE RUN UNDER GROUND.
- NOTE: CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY SERVICES.

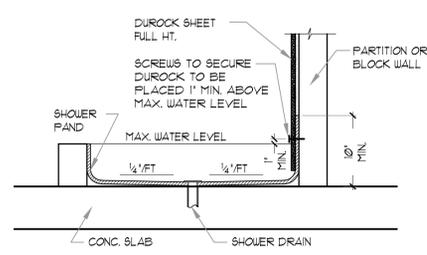




TYPICAL SECTION OF STUD SPACING @ CABINETS & WALL-HUNG ITEMS  
NT5



PARTITION WALL ASSEMBLY  
NT5

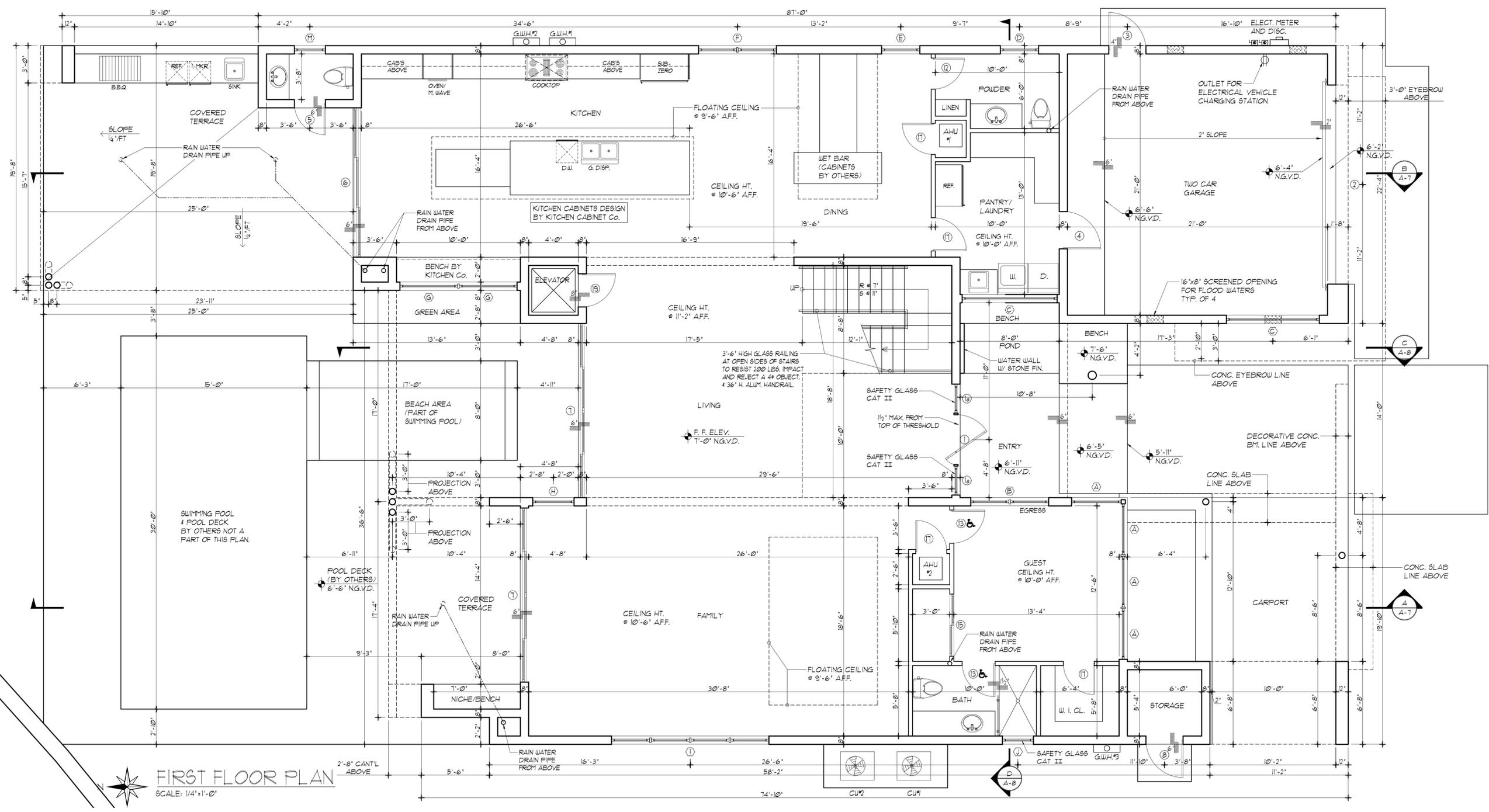


TYP. SHOWER PAN DETAIL  
1" = 1'-0"

**NOTE:**  
ALL SHOWERS, TUB-GLASS ENCLOSURE & FIXED GLASS SHALL BE SAFETY GLASS TYPE II  
ALL SHOWER AND TUB WALLS W/ MARBLE OR CERAMIC TILE FULL HT. COMPLY W/ D243 F.B.C.  
PROVIDE 1/2" DUROCK FULL HEIGHT.

ALL GLASS PANELS/WINDOWS ADJACENT TO SLING DOORS (WITHIN 48") TO BE SAFETY GLASS CAT II

**NOTES**  
1. ALL FINISHES TO BE COORDINATED W/ OWNER.  
2. CONTRACTOR SHALL PROVIDE ALLOWANCES (MEDIUM AVERAGE) FOR KITCHEN/BATHS CABS, PLUMBING AND MECHANICAL FIXTURES, ALL FLOORING MATERIALS, BATHROOM TILES, ETC.



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

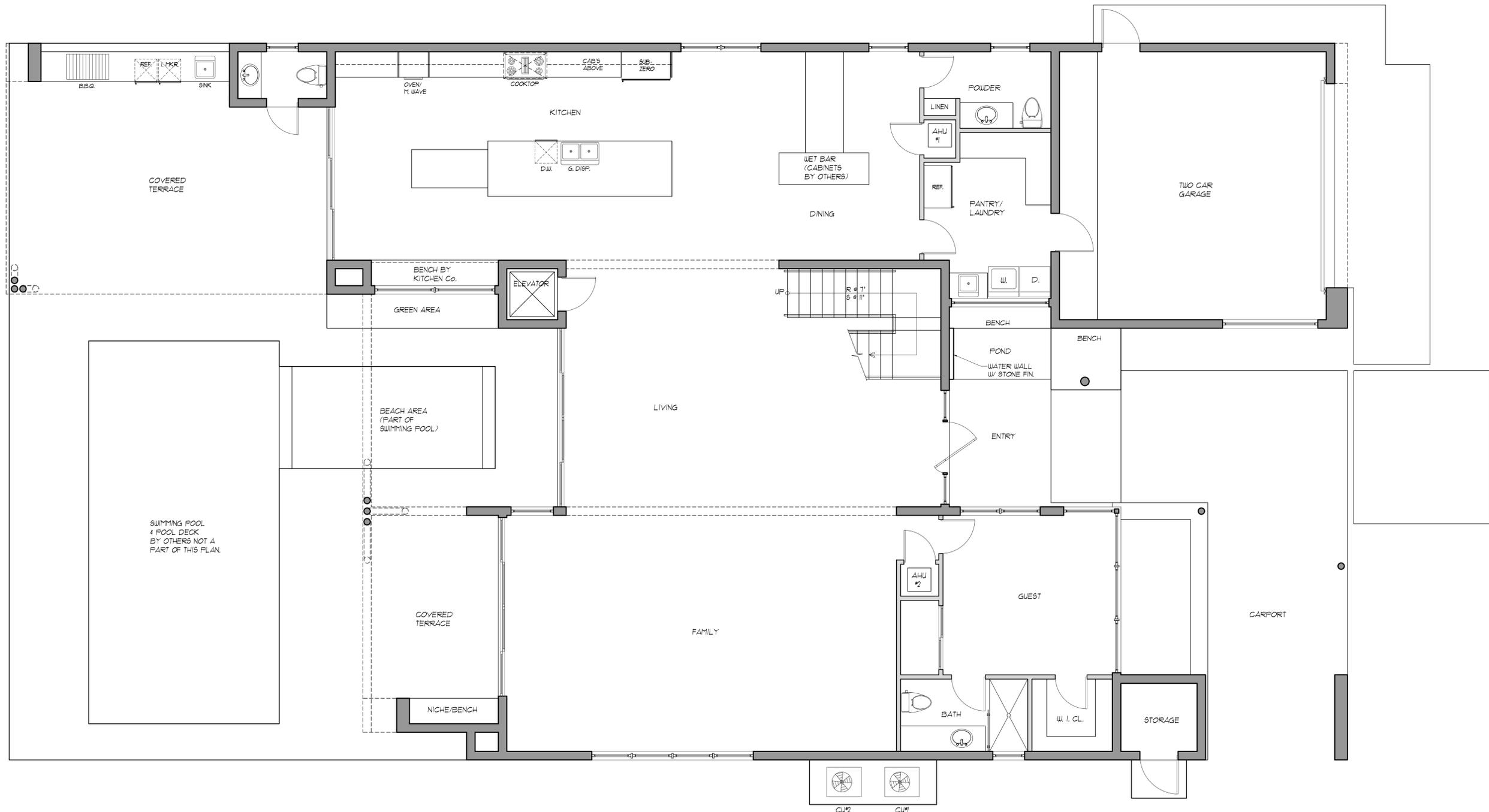
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PERMIT	
CONSTRUCTION	
REVISION BY	

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**DR. SAM & LILA SKAFF**  
1136 S. NORTHLAKE DR. HOLLYWOOD FL.

**ARCHITECTURE - PLANNING.**  
7600 SW 57 AVE. - SUITE 128 - S MIAMI FL 33143  
**PIA GROUP INC**  
TEL (305) 6683350 - FAX (305) 6679121 AAC # 002158

MIGUEL A. GONZALEZ  
ARCHITECT  
LICENSE # 10053  
7600 SW 57 AVE SUITE 128  
MIAMI, FLORIDA 33143

DATE	06-04-18
SCALE	AS NOTED
DRAWING	Y.T.
JOB	
SHEET	<b>A-2</b>
OF	SHEETS




**FIRST FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

HISTORY OF DRAWING ISSUED	
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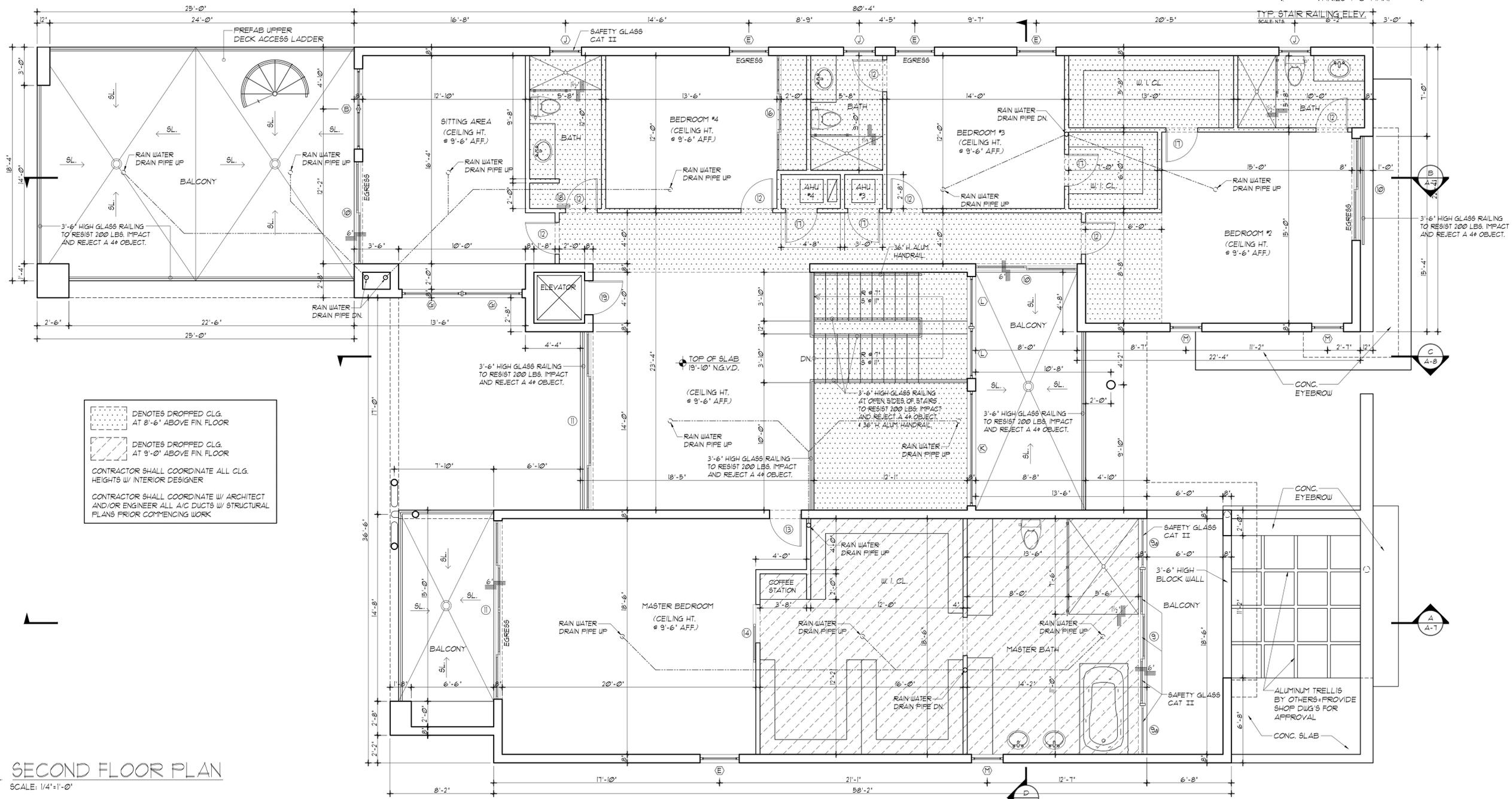


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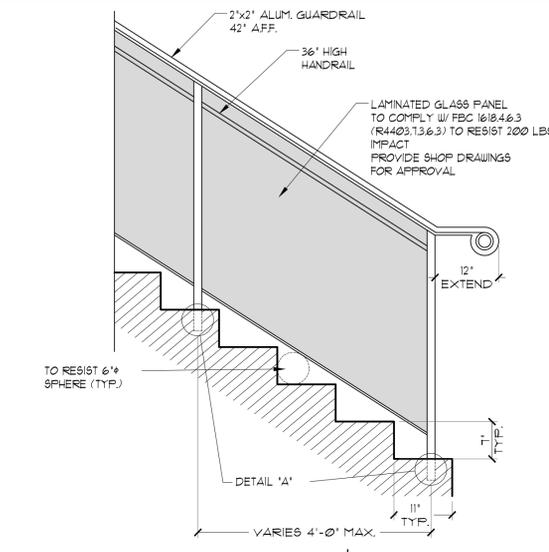
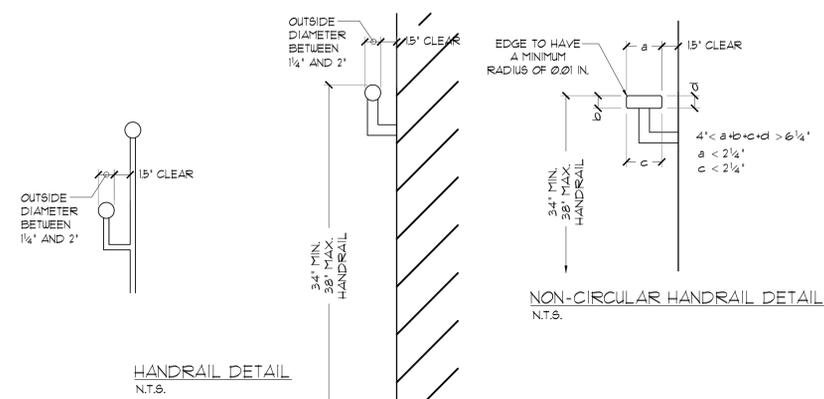
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JOB	
SHEET	<b>A-2A</b>
OF	SHEETS

**SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"



 DENOTES DROPPED CLG. AT 8'-6" ABOVE FIN. FLOOR  
 DENOTES DROPPED CLG. AT 9'-0" ABOVE FIN. FLOOR  
 CONTRACTOR SHALL COORDINATE ALL CLG. HEIGHTS W/ INTERIOR DESIGNER  
 CONTRACTOR SHALL COORDINATE W/ ARCHITECT AND/OR ENGINEER ALL A/C DUCTS W/ STRUCTURAL PLANS PRIOR COMMENCING WORK



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JOB	
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OF	SHEETS




**SECOND FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

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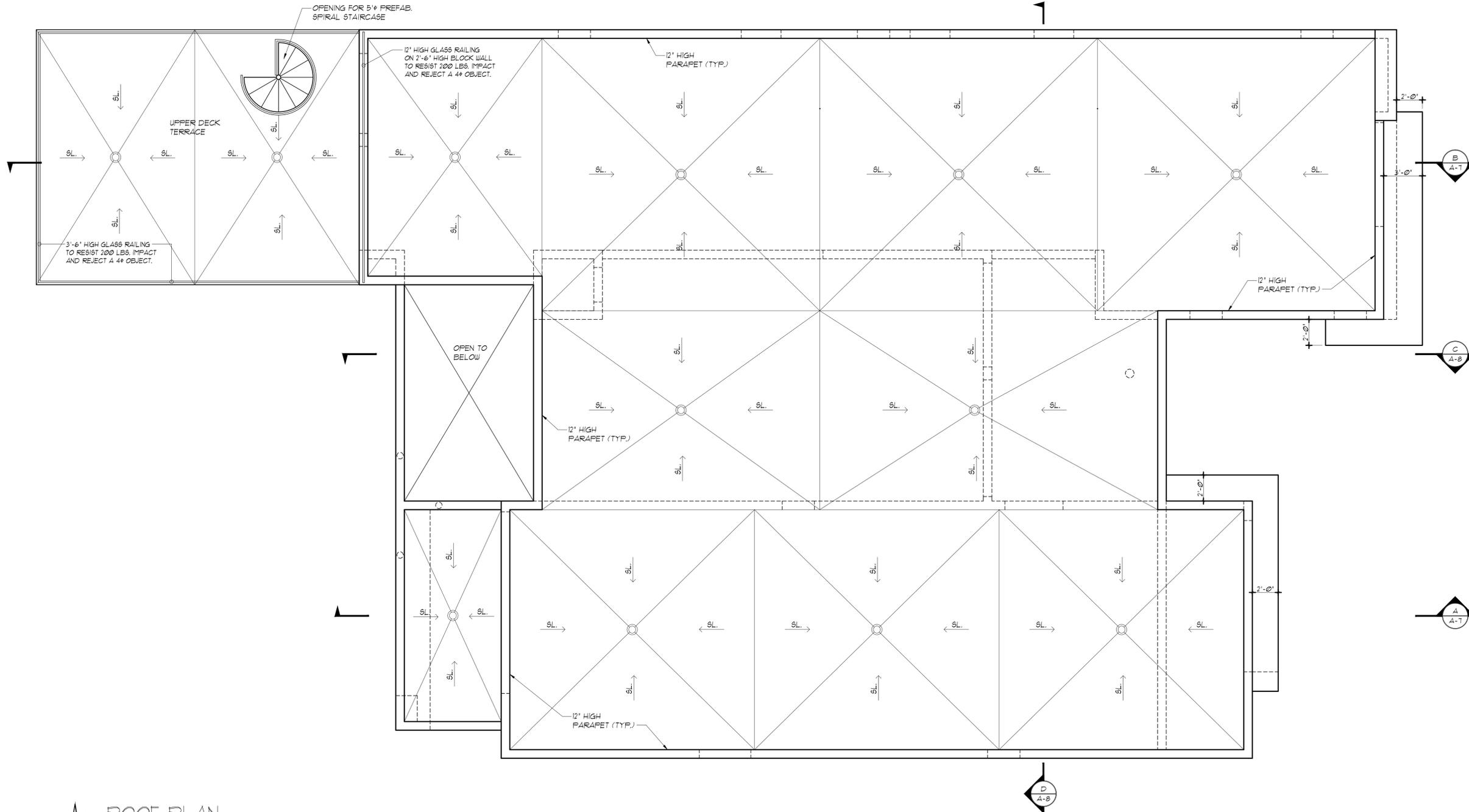
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**ROOF PLAN**  
SCALE: 1/4"=1'-0"

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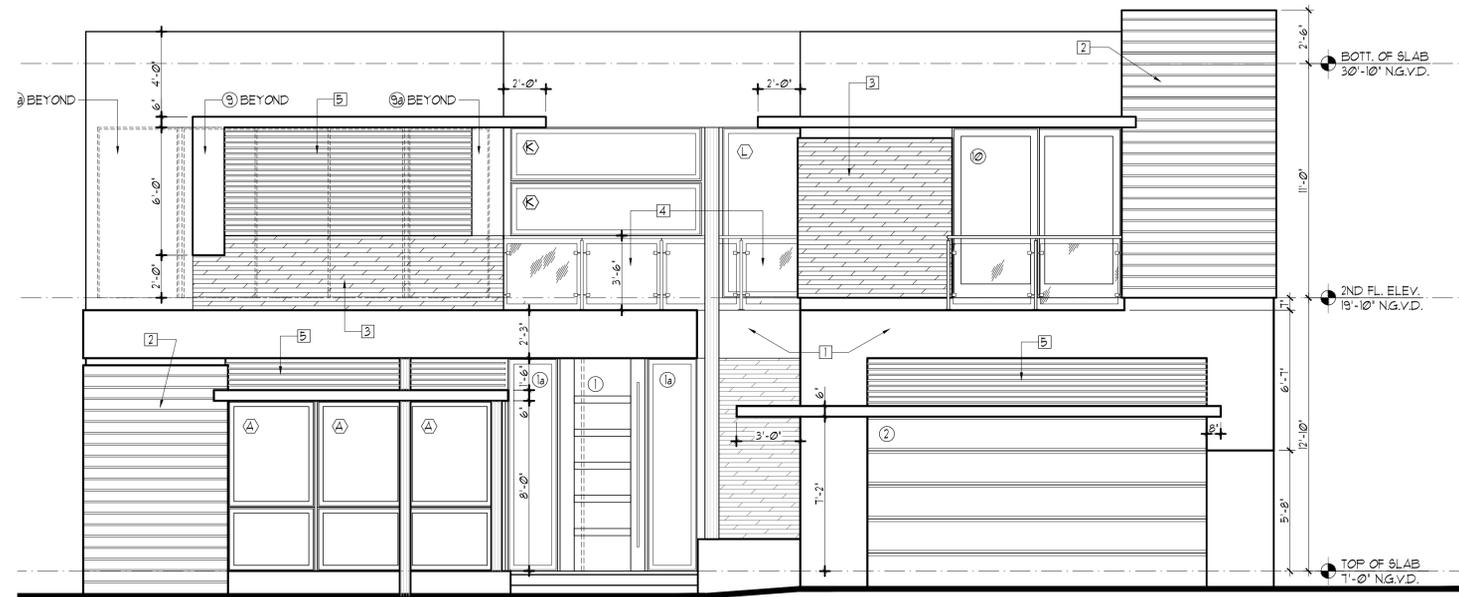
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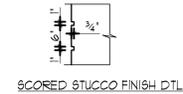
DATE	06-04-18
SCALE	AS NOTED
DRAWING	Y.T.
JOB	
SHEET	<b>A-4</b>
OF	SHEETS



**FRONT ELEVATION**  
SCALE: 1/4"=1'-0"

**ELEVATION NOTES**

- 1 SMOOTH STUCCO FIN.
- 2 SCORED STUCCO FINISH
- 3 STONE VENEER FIN. (TO BE SELECTED BY OWNER)
- 4 3'-6" HIGH GLASS RAILING TO RESIST 200 LBS. IMPACT AND REJECT A 4" OBJECT.
- 5 ALUMINUM LOUVERS BY OTHERS (PROVIDE SHOP DRAWINGS)



1. FOAM PLASTIC SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 & A SMOKE DEVELOPED INDEX OF NO MORE THAN 450 AS PER ASTM E 84 OR UL 713 F.B.C. 316.
2. ATTACHED FOAM SPRAY INSULATION SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY AN APPROVED THERMAL BARRIER F.B.C. 314.4 THRU 314.5.4
3. WALL AND CLG. FINISHES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 200 PER R 302.9.1 & SMOKE DEVELOPED INDEX NOT GREATER THAN 450 PER 302.9.2
4. INSULATION MATERIALS, FACINGS, VAPOR BARRIER SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 & A SMOKE DEVELOPED INDEX OF NO MORE THAN 450 AS PER ASTM E 84 OR UL 713 F.B.C. 302.10
5. STEEL STUD FRAMING SUPPORTING WALL HUNG PLUMBING FIXTURES & OR CABINETS SHALL BE DOUBLED PER R 441.4.5.11 & SHALL HAVE A HORIZONTAL MEMBER SECURED TO NO LESS THAN TWO STUDS PER R 441.4.5.13

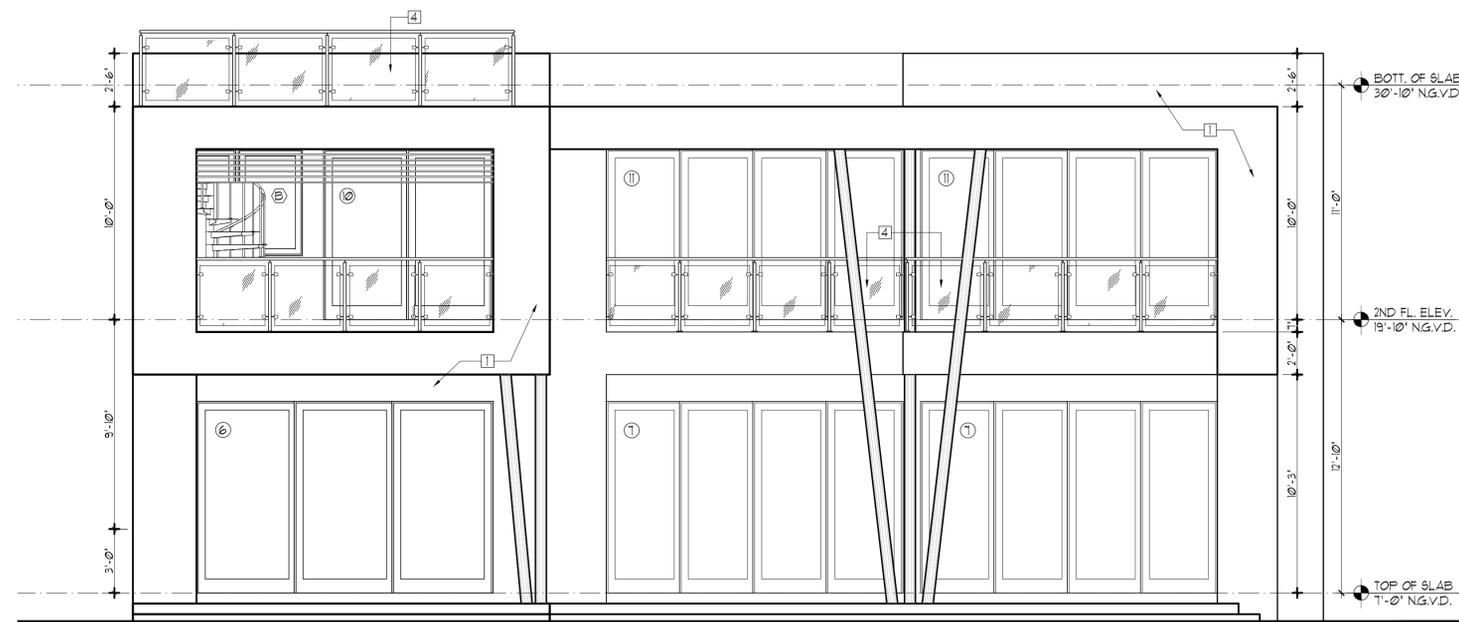
NOTE:  
ALL ROOF SLOPES SHALL BE A MINIMUM OF 1/4" FEET

MARK	CODE	UNIT SIZE		TYPE	MAT.	REMARKS
		WIDTH	HEIGHT			
(A)	---	48"	96"	OUNING/FIXED	ALUM/GLASS	60" FIXED HIGH 36" OUNING LOW
(B)	---	(2) 31"	60"	CASEMENT		
(C)	---	90"	30"	FIXED		
(D)	---	31"	60"	CASEMENT		
(E)	---	31"	96"	OUNING/FIXED		60" FIXED HIGH 36" OUNING LOW
(F)	---	(2) 31"	96"	OUNING/FIXED		60" FIXED HIGH 36" OUNING LOW
(G)	---	56"	72"	FIXED		
(H)	---	56"	60"	FIXED		
(I)	---	40"	108"	FIXED		
(J)	---	(4) 31"	96"	OUNING/FIXED		60" FIXED HIGH 36" OUNING LOW
(K)	---	30"	50 3/8"	CASEMENT		
(L)	---	104"	30"	FIXED		
(M)	---	48"	96"	FIXED		
(N)	---	30"	60"	CASEMENT		

- ALL WINDOWS AND EXTERIOR GLASS DOORS TO BE IMPACT RESISTANT. PROVIDE SHOP DRAWINGS FOR APPROVALS.
- ALL SHOWER ENCLOSURES TO BE SAFETY GLASS CAT. II
- ALL EXTERIOR GLASS DOORS TO BE SAFETY GLASS CAT. II
- ALL GLASS TO COMPLY W/ 0.75 SHGC AND 0.63 U-FACTOR

DOOR SCHEDULE						
TYPE	WIDTH	HGT.	THICK.	TYPE	MATERIAL	REMARKS
(1)	4'-0"	10'-0"	1-3/4"	PIVOT	WOOD/GLASS	1/2" TRUSSOM ABOVE
(2)	2'-4"	10'-0"	---	FIXED	ALUM/GLASS	
(3)	16'-0"	8'-0"	---	ROLL-UP	METAL/GLASS	
(4)	3'-0"	---	1-3/4"	SWING	METAL	
(5)	3'-0"	---	1-3/4"	SWING	WOOD/METAL	1HR FIRE RATED W/ SELF CLOSER
(6)	2'-6"	---	---	SWING	ALUM GLASS	
(7)	12'-0"	9'-0"	---	SLIDING	ALUM GLASS	
(8)	14'-0"	9'-0"	---	SLIDING	ALUM GLASS	
(9)	3'-0"	8'-0"	---	SWING	METAL	FULL LOUVERS
(10)	10'-6"	---	---	SLIDING	ALUM GLASS	
(11)	3'-10"	---	---	FIXED		
(12)	8'-0"	---	---	SLIDING		
(13)	14'-0"	---	---	SLIDING		
(14)	2'-6"	---	1-3/4"	SWING	WD. SOLID	
(15)	2'-8"	---	---	SWING		HANDICAPPED
(16)	2'-6"	---	---	BARN		FULL LOUVERS
(17)	5'-0"	---	---	SLIDING		FULL LOUVERS
(18)	9'-0"	---	---	SLIDING		FULL LOUVERS
(19)	2'-6"	---	---	SWING		FULL LOUVERS
(20)	2'-0"	---	---	BI-FOLD		FULL LOUVERS
(21)	2'-8"	---	---	SWING	WOOD/GLASS	ELEVATOR

ALL GLASS PANELS/WINDOWS ADJACENT TO SWING DOORS (WITHIN 48") TO BE SAFETY GLASS CAT II



**REAR ELEVATION**  
SCALE: 1/4"=1'-0"

HISTORY OF DRAWING ISSUED

DESCRIPTION	DATE OF ISSUED
PROGRESS	
PERMIT	
CONSTRUCTION	

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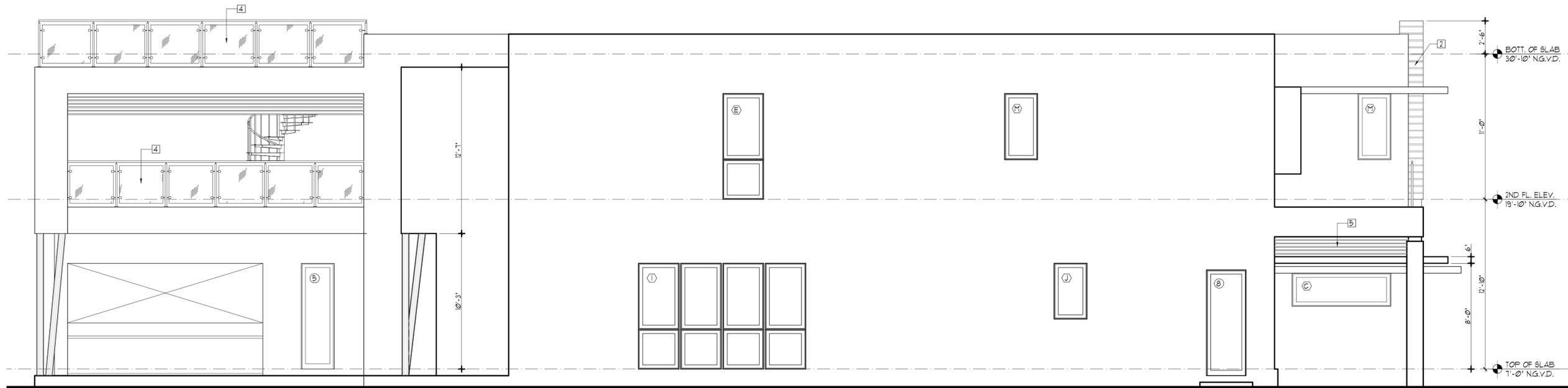
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MIGUEL A. GONZALEZ  
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DATE	06-04-18
SCALE	AS NOTED
DRAWING	Y.T.
JOB	
SHEET	<b>A-5</b>
OF	SHEETS

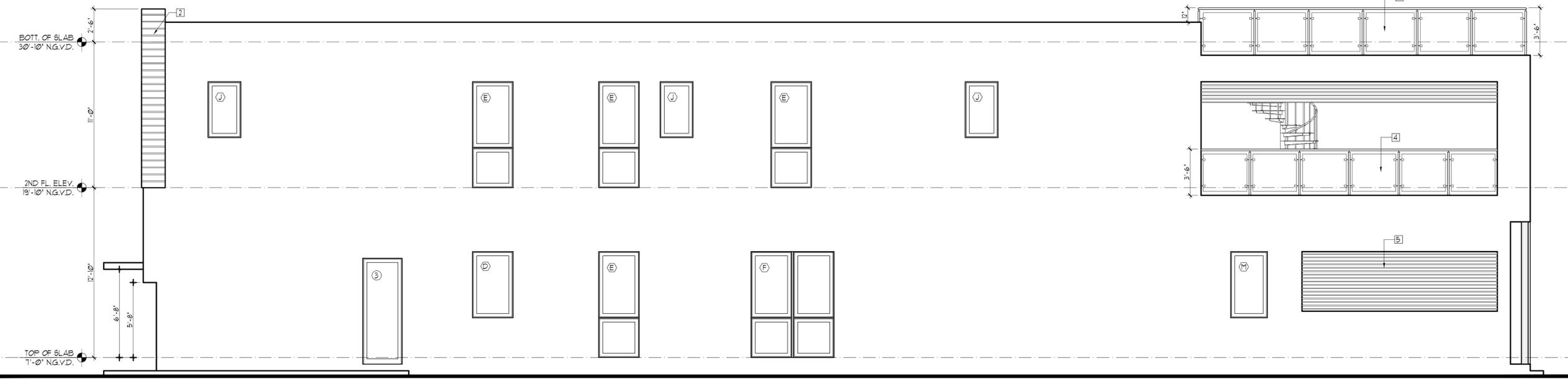
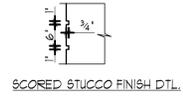
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LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- 1] SMOOTH STUCCO FIN.
- 2] SCORED STUCCO FINISH
- 3] STONE VENEER FIN. (TO BE SELECTED BY OWNER)
- 4] 3'-6" HIGH GLASS RAILING TO RESIST 200 LBS. IMPACT AND REJECT A 4" OBJECT.
- 5] ALUMINUM LOUVERS BY OTHERS (PROVIDE SHOP DRAWINGS)



RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

HISTORY OF DRAWING ISSUED

DESCRIPTION	DATE OF ISSUED
PROGRESS	
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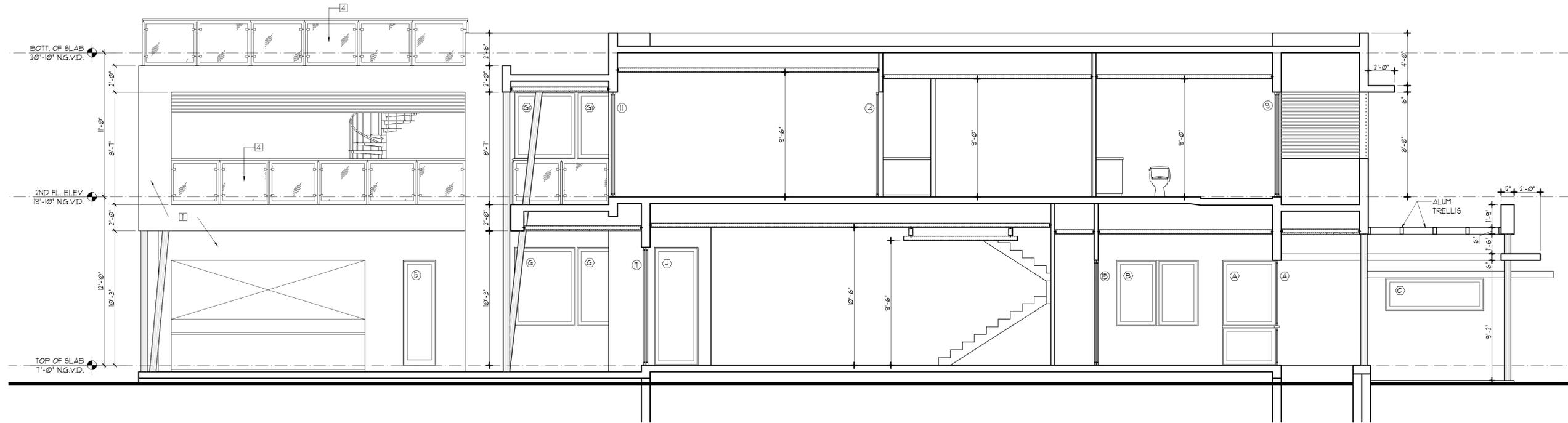
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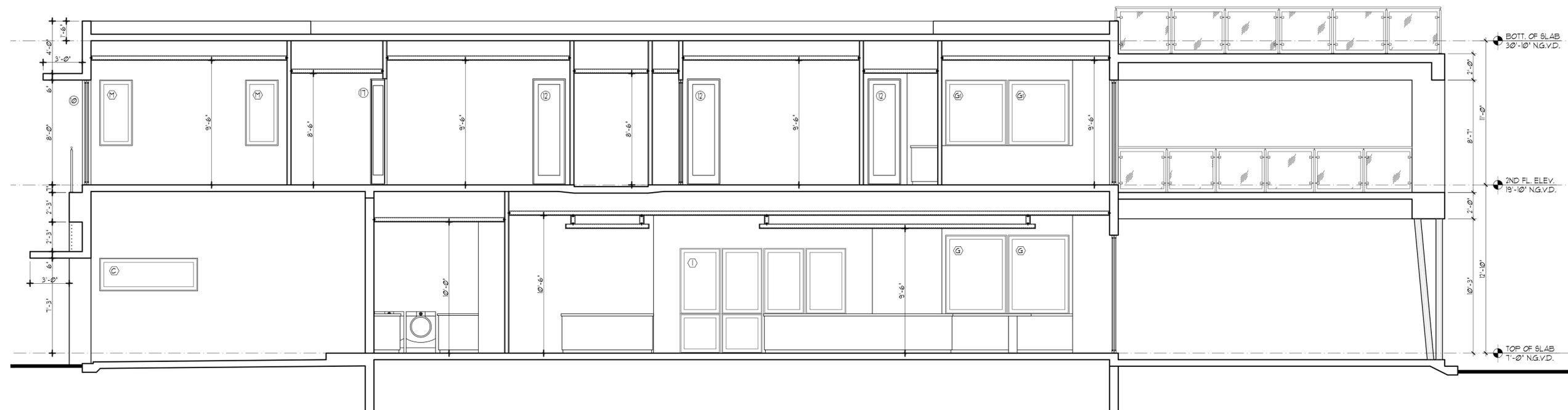
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JOB	
SHEET	A-6
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SECTION A/A-1  
SCALE: 1/4"=1'-0"



SECTION B/A-1  
SCALE: 1/4"=1'-0"

HISTORY OF DRAWING ISSUED  
DESCRIPTION DATE OF ISSUED

PROGRESS  
PERMIT  
CONSTRUCTION

REVISION BY

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ARCHITECTURE - PLANNING.  
7600 SW 57 AVE. - SUITE 128 - S. MIAMI FL 33143  
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MIGUEL A. GONZALEZ  
ARCHITECT  
LICENSE # AR 5053  
7600 SW 57 AVE. - SUITE 128  
MIAMI, FLORIDA 33143

DATE 06-04-18

SCALE AS NOTED

DRAWING Y.T.

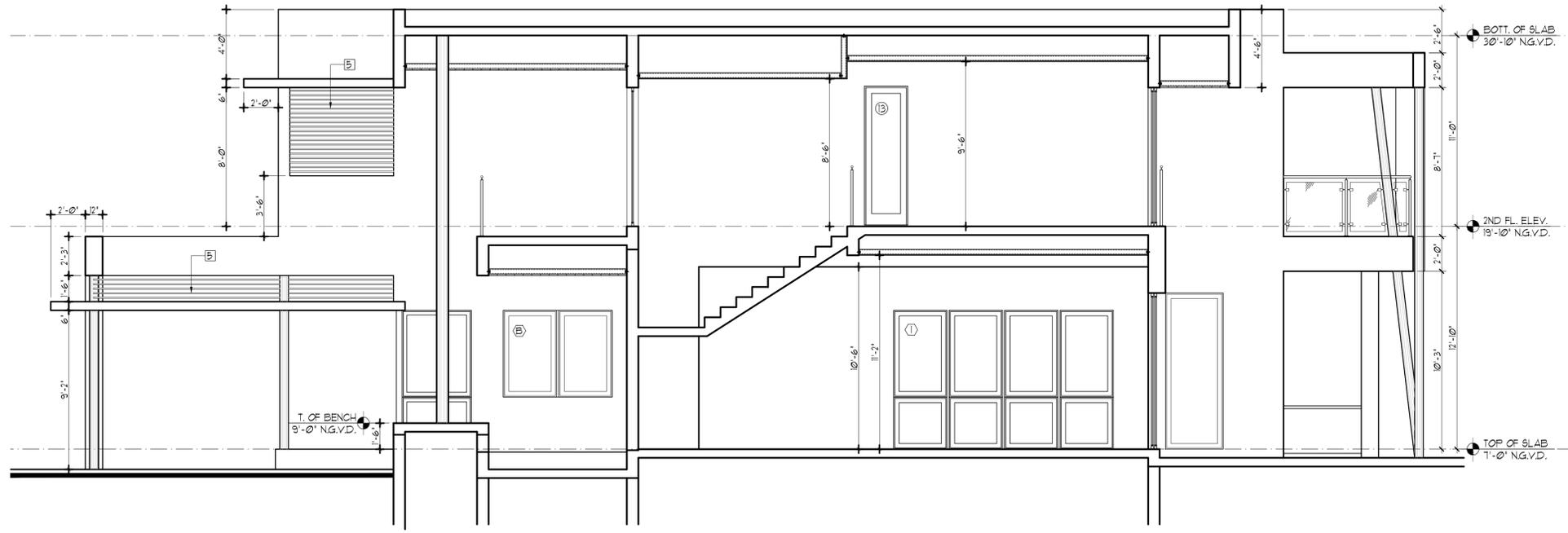
JOB

SHEET

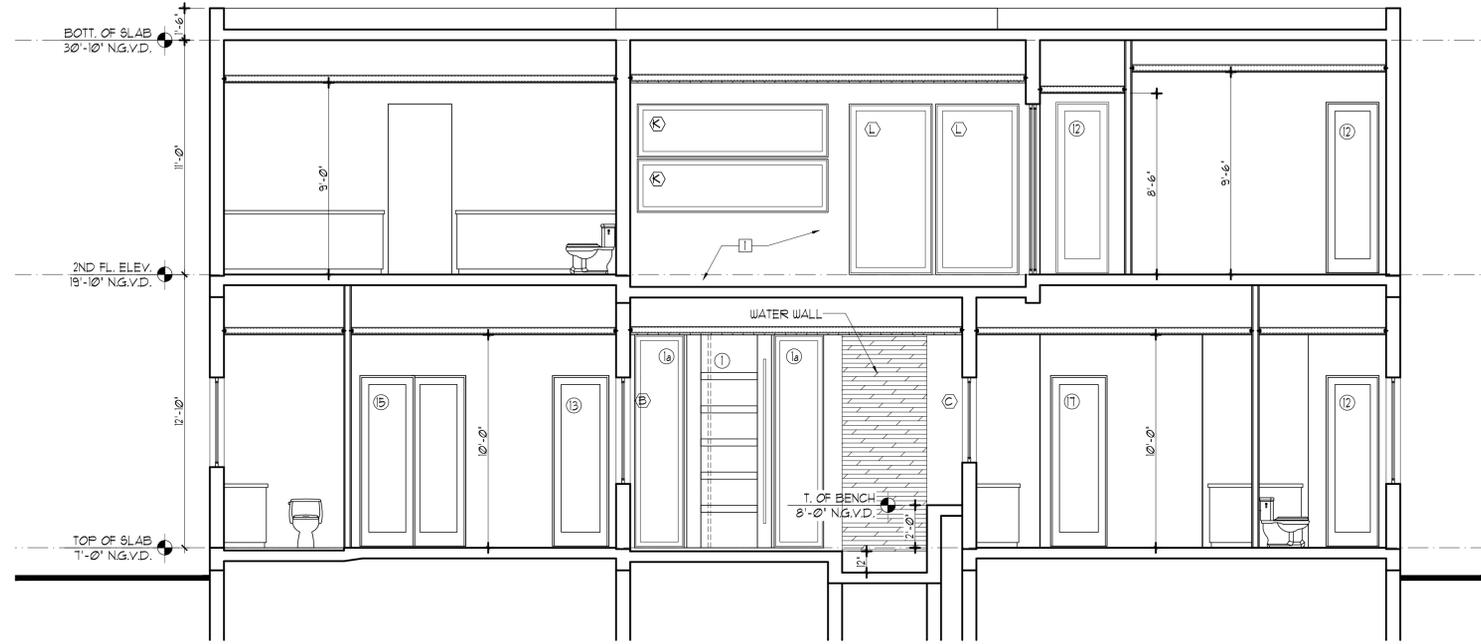
A-7

OF SHEETS

THE ARCHITECTURAL DESIGN AND DETAIL DRAWINGS FOR THIS BUILDING AND/OR OVERALL PROJECT ARE THE LEGAL PROPERTY OF AND ALL RIGHTS ARE RESERVED BY THE ARCHITECT. THEIR USE FOR REPRODUCTION, CONSTRUCTION, OR DISTRIBUTION IS PROHIBITED UNLESS AUTHORIZED IN WRITING BY THE ARCHITECT.

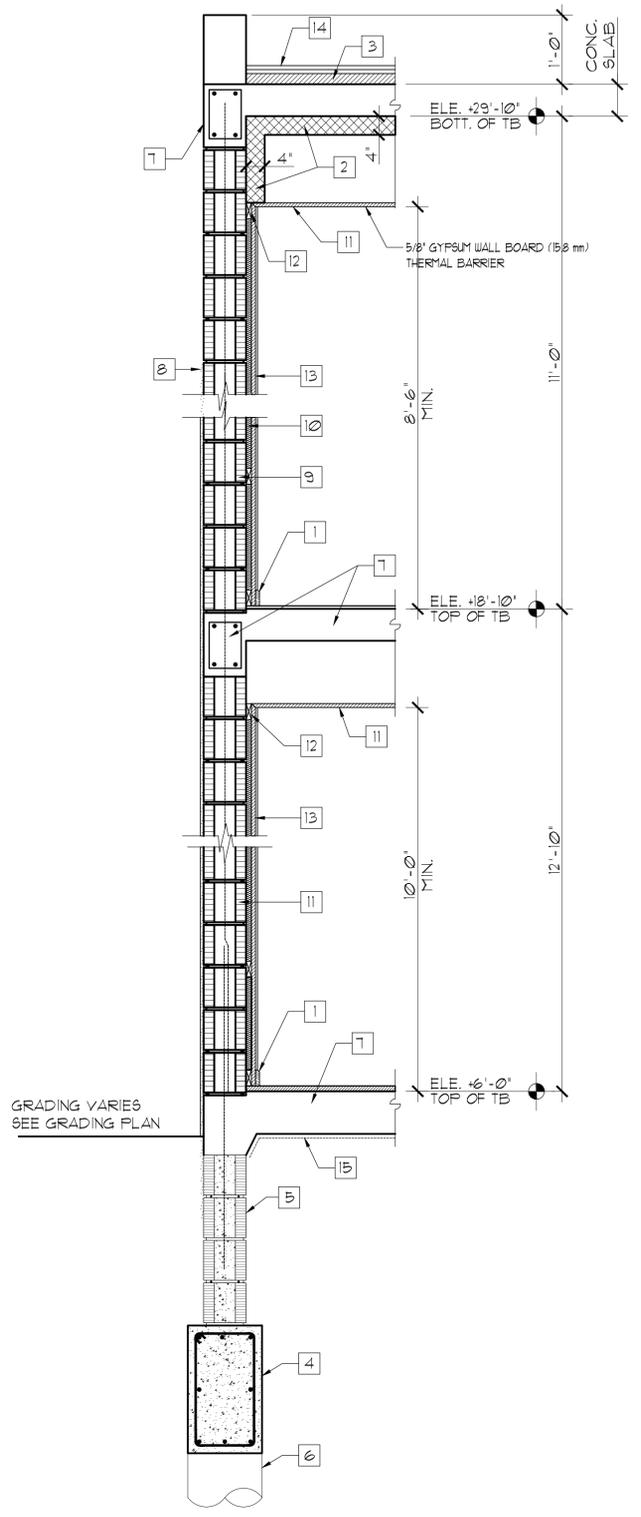


SECTION C/A-8  
SCALE: 1/4"=1'-0"



SECTION D/A-8  
SCALE: 1/4"=1'-0"

- TYP. SECTION NOTES
1. 5 1/4" WD. BASE
  2. 6" FOAM INSULATION (QUADFOAM NATURESEAL 500) 4.1 R PER INCH, TOTAL R VALUE 4x4IR+24GR
  3. LIGHT WEIGHT CONCRETE
  4. REINF. CONC. GRADE BEAM SEE STRUCTURAL PLANS
  5. FOR STEM WALL REINF. SEE STRUCTURAL PLANS.
  6. 14" AUGER PILES SEE STRUCTURAL PLANS
  7. FOR REINF. CONC. SLABS, & CONC. BEAMS, SEE STRUCT. PLANS
  8. SMOOTH STUCCO FIN.
  9. 8" BLOCK WALL REINF. W/ #3 GALV. TRUSS TYPE, HORIZONTAL JT REINF. @ 16" O.C.
  10. R4.1 INSULATION
  11. 5/8" GYPSUM WALL BOARD (15.8 mm) THERMAL BARRIER OVER 3" GALV. CHANNELS @ 16" O.C.
  12. 1x4 P.T. CONT. FURRING STRIP @ 2'-0" MAX. AFF.
  13. 5/8" REQ. DRYWALL ON 1/2 P.T. FURRING STRIP @ 16" O.C.
  14. TPO WATER PROOFING SYSTEM (NOA 14.002.10)
  15. 6 MIL VAPOR BARRIER MEMBRANE SEE S-1



TYPICAL SECTION  
SCALE: 1/4"=1'-0"

PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES AS PER F.B.C. 1816.1.1 A CERTIFICATE OF COMPLIANCE SHALL BE ISSUE TO THE BUILDING DEPARTMENT BY THE LICENSE PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND THE LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

HISTORY OF DRAWING ISSUED

PROGRESS	
PERMIT	
CONSTRUCTION	

REVISION BY

NEW 2 STY. RESIDENCE FOR:  
DR. SAM & LILA SKAFF  
1136 S. NORTHLAKE DR. HOLLYWOOD FL.

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