

January 23, 2025  
147507131

Cameron Palmer  
Principal Planner  
The Division of Planning and Urban Design  
City of Hollywood  
2600 Hollywood Blvd., Room 315  
Hollywood, FL 33020-4807

**RE: *Modifications to Site Plan Application***  
***Subject: Final Site Plan Review for a commercial building of approximately 120,000 sq. ft. and associated parking areas in a Planned Development (PD) Zoning District within the Oakwood Activity Center.***  
***File No: 24-DP-31***

Cameron:

As you are aware, the site plan went before the Planning and Development Board on November 12, 2024. The Board provided insightful feedback on the site plan design, which the applicant has taken into consideration. In response to the comments received from the Board, as well as comments provided by Staff in its memo to the Board, we have made several changes to the elevations originally submitted on June 12, 2024. For ease of reference, below is a comparison between the original submission and the revised elevation:

**Building Elevation Revisions:**

1. The overall store front elevation has been revised to include more glazing, which reduces the amount of wall surface that was previously proposed:
  - a. The windows on either side of the entrance have expanded by approximately 48 linear feet (20% of the frontage) to incorporate more glazing as requested.
  - b. The northeast corner of the building now includes visual access to the climbing wall feature. Instead of housing the climbing wall within the store interior, the climbing wall feature was relocated to the northeast corner; glazing was also added to showcase the wall and provide more interest to that important corner of the building. The increased glazing provides more daylight into the store, along with activating the corner by increasing the visual interest of this community benefit and retail store feature.
  - c. The northwest corner of the building has incorporated more glazing as well. This again allows more light to enter the store and visually activate the space.
  - d. The west elevation has an enhanced design bringing the building and the field into better harmony than was previously presented.
2. At the suggestion of the Planning and Development Board, we have added benches and bike racks along the front of the building to provide a place to sit and park your bike while in the store.

The following images compare elevations that were submitted previously with the updated design.

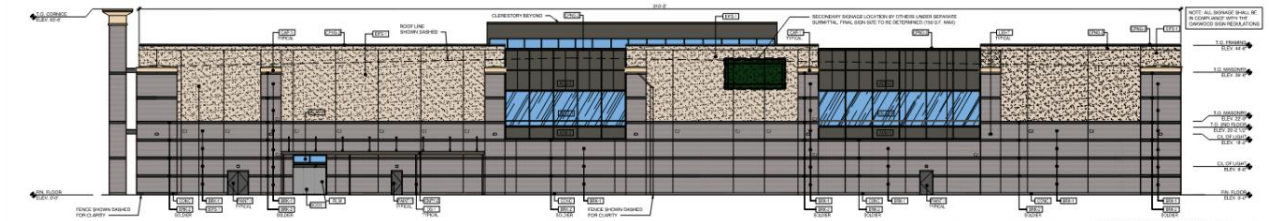
### ORIGINAL NORTH ELEVATION:



### REVISED NORTH ELEVATION



**ORIGINAL WEST ELEVATION:**



**REVISED WEST ELEVATION**



**Site Plan/Landscaping Plan Revisions:**

1. A minor change was made to the handicap parking row to make the handicap parking spaces closer to the front of the store per ADA requirements. (see revision 2)
2. Canopy trees impair visibility of the storefront, working against the intention of the recommended building design improvements. Accordingly, we are proposing changes to the landscaping plan to show Cabbage Palmetto trees at the end of the parking islands along the front drive lane of the store (Northern façade where the storefront is located). This is a design option based on the Oakwood Plaza PD Guidelines. A total of six (6) sabal palms were substituted for the previous Satinleaf trees that were shown.

## Response to Additional Comments:

In addition to comments on the building elevation, the Board noted the following comments:

### 1. Field Location:

The multi-purpose field at the DICK'S House of Sport is programmed to be an auxiliary use to the Store. The field is accessed through the store for safety purposes. When there is a customer on the field, an employee is out on the field as well. For this reason, the field must be located where it is proposed on the site plan to ensure appropriate access and connectivity to the interior retail space. **During the initial phases of this project we reviewed several options for the field placement in other locations on the site and were not able to have it in any other location but adjacent to the store based on the following site constraints:**

- **There is an existing ingress-egress easement that is located over the existing Oakwood Lane. We are not allowed to change the access since it also serves as a vehicular and delivery route for the two adjacent buildings that use this driveway.**
- **Oakwood Lane connects to our main driveway for the Store, and also Oakwood Lane continues and ends the rear of the site for the Fire Truck and Delivery Truck access. Having the delivery and loading functions at the back of the building is ideal, so it is screened for public view and there is enough room to safely maneuver.**
- **The field needs to be adjacent to the store due to security issues as mentioned above but also we have drainage, lighting and other utilities that connect to the store and having it further away would create additional cost and challenges for the systems to work efficiently if they were separated.**

### 2. Use of Parking Structure Versus Surface Lot:

The Oakwood Plaza PD development standards permit the use of both surface lots and parking structures. This project, and any retail project in this market, would not be feasible if structured parking were included. There is also a market preference amongst retailers for locating their store where they can provide customers with unrestricted access to parking spaces in view of the store. The Planning and Development Board raised comparisons to Dania Pointe in the prior meeting. It is worth noting that Dania Pointe was built in a succession of phases and the first phase projects in Dania Pointe were also organized around surface parking. Similarly, Oakwood Plaza is also being redeveloped in phases. This proposed development, which includes a surface lot, is only Phase 1. As an example, Phase 2 of the Oakwood Plaza redevelopment is a proposed multi-family development that will include structured parking.

### 3. Include Green Initiatives:

Kimco is committed to lowering greenhouse gas emissions at its properties. One of the ways in which Kimco works to achieve this goal is by installing EV chargers in the shopping centers. In accordance with Fla. Stat. § 366.94, the regulation of electric vehicle charging stations has been preempted to the state; the City is not permitted to regulate or require EV charging stations. Notwithstanding this, the applicant will designate four (4) parking spaces located along the western edge of the parking lot to be EV-ready. Kimco is open to the possibility of adding EV parking spaces in the future, should the market demonstrate that demand exists for increased EV spaces at this location. Additionally, Kimco will explore potential opportunities to incorporate

smart, green, solar technology within site amenities if feasible, such as utilizing smart benches which contain access to solar power chargers and/or Wi-Fi.

We are excited to be working with a first-rate retailer that is a leader in their market for this project. We thank you for your consideration and we look forward to advancing this project to make it a reality.

Should you have any additional questions please do not hesitate to contact me at (772) 794-4119 or [greg.wilfong@kimley-horn.com](mailto:greg.wilfong@kimley-horn.com)..

Sincerely,



Greg Wilfong, P.E.  
Project Manager

CC: Andria Wingett, Development Services Director



# Oakwood Plaza



**OAKWOOD PLAZA SOUTH  
RETAIL SHOPPING CENTER  
PLANNING RATIONALE REPORT  
JANUARY 2025  
CITY FILE NUMBER 24-DP-31**

**1.0 Introduction**

The Oakwood Plaza PD was approved with a set of design and other objective guidelines which all future projects within the Oakwood Plaza Shopping Center are required to satisfy. This planning rationale report will demonstrate that this project, as outlined below, conforms to the intent of the approved Oakwood Plaza PD Guidelines.

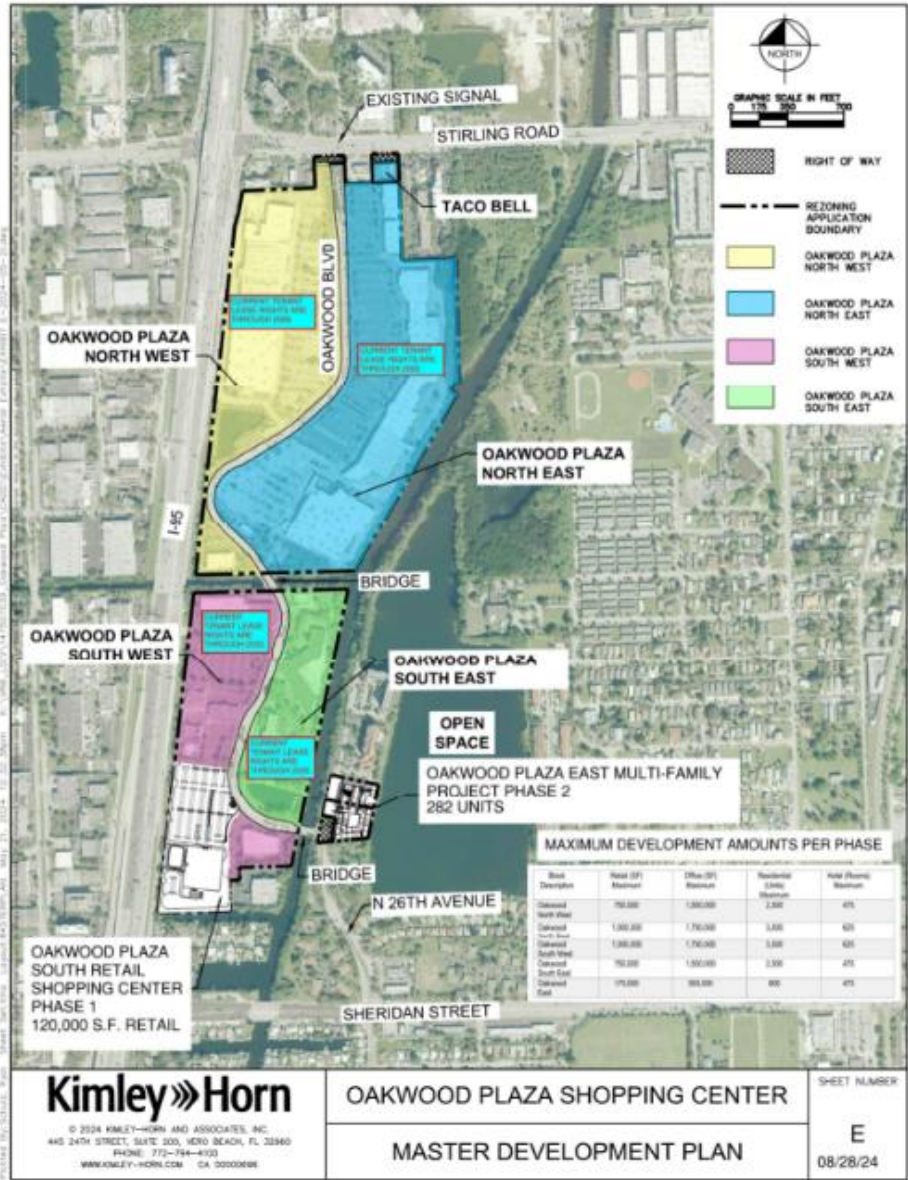
This proposed Project is located at 2800 Oakwood Boulevard, at the southwestern corner of the existing Oakwood Plaza Shopping Center. The existing 54,000 s.f. Regal Movie Theater is going to be demolished and a 120,000 s.f. two-story retail building will be constructed along with associate parking lot improvements.

The project has been reviewed multiple times to date:

- A pre-application conceptual overview meeting was held with staff on March 18, 2024.
- A preliminary technical advisory committee application was submitted to the City on April 13, 2024.
- A preliminary technical advisory committee meeting was held on May 6, 2024.
- A virtual neighborhood community meeting was held on May 20, 2024.
- A Final TAC meeting was held on August 19, 2024
- A Planning Development Board meeting was held on November 12, 2024

**1.1 Master Plan and Phasing Summary**

Below is the master plan for the first phase and second phase of the Oakwood Plaza Shopping Center.



**Phasing Summary:**

We are confident that the development of this parcel will complement, not hinder, our plans for the development of the rest of this parcel.

This location is planned to be a Dick’s House of Sports – more than just a retailer, the store format includes numerous interactive zones including a climbing wall and playing field, batting cages and golf simulators. The playing field will also function as an amenity for the community. This store format



will serve to enliven the retail and dining zone within Oakwood and complement planned multi-family developments to come in the future.

After the development of this parcel, the owners of this parcel anticipate that the remaining parcels will be redeveloped one at a time starting from the south and advancing north towards Sterling Blvd over a period of many years, as current leasehold rights of tenants preclude further redevelopment of the site at this time.

As we continue to develop Oakwood over time, we anticipate that this new use will complement our existing entertainment and dining tenants and help attract other uses that will help Oakwood evolve into a place where people would like to live work and play.

Specifically, this use will enhance the Oakwood location to facilitate the development of the proposed project: a multi-story residential apartment project with up to 282 units located on N 26th Ave currently in pre-development review with the City. In turn, we believe this multi-story apartment project will energize the existing southern gateway entrance, revitalize the corner of N 26th Avenue and Oakwood Boulevard and activate the existing underutilized City of Hollywood Park .

In the future, an entertainment district may be developed; if so, this entertainment district could evolve to incorporate a variety of vertical uses including residential and office and hotel, or it may remain a horizontal mix of uses. This will evolve over time as we gain control of spaces that are currently controlled by tenants through long-term leases.

We anticipate that the next few phases would likely be Oakwood Plaza Southeast and Southwest, based on when leases expire. It will likely be some time before we are able to redevelop Oakwood Plaza Northeast and Northwest as the lease rights extend more than 30 years.

**2.0 Site Location**

The proposed project is located within the Oakwood Plaza PD South Parcel as show in the following figures below:



Figure 1 Oakwood PD Location Map

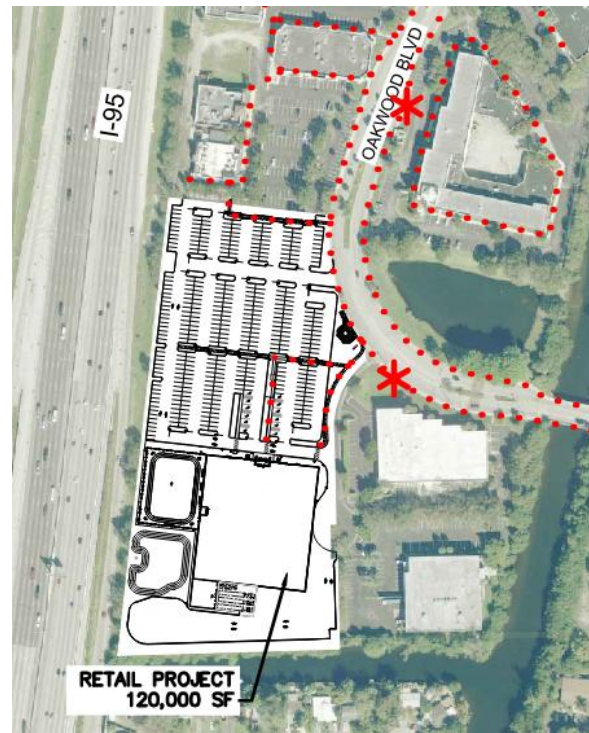


Figure 2 Proposed Project

### 3.0 Legal Description and Owner

The proposed project is within two separate folio numbers which include 5142-04-12-0620 and 5142-04-12-0627. A survey has been submitted showing the legal description.

The site is owned by Oakwood Plaza LP and Oakwood Business Center LP whose address is 1 Oakwood Boulevard Suite 70, Hollywood, FL 33023.

### 4.0 Physical Features of the Site

The proposed project scope of improvements are approximately 8.19 acres.

The existing shopping center includes an existing Regal Movie theater which opened in 1997 that will be demolished along with the associated parking lot improvements.

The existing shopping center currently is in operation and has existing water, sewer, electric, gas, drainage, telephone and other facilities for us to connect into for our project. Based on our current research and findings there is sufficient capacity to serve our project.

## 5.0 Purpose and Intent

The following sections below outline conformance to the previously approved Oakwood Plaza PD Design Guidelines.

***This project has been designed with the intent to meet the following:***

- Integrate uses.
  - ***The proposed retail project is a commercial use and will integrate with the surrounding businesses such as restaurants, other retail establishments, existing and future offices and future residential or hotel uses.***
- Improve mobility access and connections for all modes (bike/ped/transit/vehicle).
  - ***The proposed retail project is proposing to add bike racks, benches, and an integrated sidewalk network to connect with the north portion of the existing shopping center and the existing sidewalk along Oakwood Boulevard. Also, we are proposing a pedestrian plaza and seating area to allow the Public to comfortably wait for the exiting bus stops which are in the immediate area. A proposed parking lot is also planned that has immediate access to the proposed retail store and direct access to Oakwood Boulevard so they can shop or go to adjacent businesses nearby. The existing sidewalk along Oakwood Boulevard which continues south over the bridge to N. 26<sup>th</sup> Avenue will remain.***
- Complementary to the surrounding areas.
  - ***The proposed retail project is complementary to the surrounding uses. This two-story retail store will provide goods and services to the local residents and activate the southwestern corner that has not been fully utilized to its potential.***
  - ***The building has been designed to engage the surrounding area with a northern façade which contains double height glazing making the front of the store welcoming from outside.***
  - ***The NE corner of the building has been designed to include a climbing wall feature exposed in glass on both sides of the building signaling to all passersby on Oakwood Boulevard that this is an active space.***
  - ***The west façade faces I-95 and includes a strong Dick's retail branding indicating that the building is a place for sports, as well as feature windows on the second floor that will contain space for visitors to observe the playing field from above.***
  - ***The landscaping provides trees, bushes and ground cover throughout the parcel, surrounding the building and in the parking lot.***

**5.0 Permitted Use**

***The proposed retail project is consistent with the permitted use as outlined below since it's a retail service establishment.***

Permitted Uses for the Oakwood Plaza Planned Development shall be consistent with the provisions of Section 4.15 D. Permitted Uses include (permit) the following:

- (1) Retail/Commercial

Specific uses include the following:

1. Retail and service establishments including department stores, grocery stores, farmer's market, marine market, home improvement centers, major appliance stores, furniture stores, liquor stores, package stores, wine stores, retail/grocery stores with wine and liquor, micro-breweries, restaurants, billiard parlors, bars or taverns for on-premises and or off-premise consumption of alcoholic beverages, night clubs, spas, salons, beauty shops, barbershops, athletic clubs or gymnasiums, group instruction, art gallery, daycare center, pet shop, dry cleaning/laundry, deli, baked goods/bakery including those within a retail/grocery store, bowling alleys, indoor motion picture theaters, and theater for live stage productions; also includes uses utilizing a drive-thru facility, automotive parts sales. Note: with respect to liquor stores, package stores, wine stores, free-standing stores less than 10,000 square feet are permitted.

**6.0 Density/Intensity:**

***The following table further identifies the location, type, and maximum amount of development within Oakwood Southwest which may be developed providing that the maximum amount of 1.2 M SF of Retail, 1.89 M SF of Office, 3,800 Residential Units and 625 Hotel Rooms is not exceeded within the overall PD.***

The maximum amount of development for Oakwood Southwest is the following:

Block Description	Retail (SF) Maximum	Office (SF) Maximum	Residential (Units) Maximum	Hotel (Rooms) Maximum
Oakwood South West	1,000,000	1,750,000	3,000	625



The existing retail users within Oakwood Plaza includes the following:

OAKWOOD PLAZA RETAIL	
TENANT	SQ. FT.
Big Lots	20,000
BJ's Wholesale Club	120,251
Just for Sports	15,200
Home Depot	142,280
Home Goods	24,439
Kmart	114,764
Madrag	8,125
Marshalls	30,400
Mattress Firm	4,965
Michaels	25,104
Office Max	23,500
Hair Cuttery	1,000
Old Navy	23,833
Party City	10,049
Vacant (Payless Shoes)	3,000
Vacant (Fallas)	15,000
Vacant (Avenue Plus)	5,002
Dollar Star	3,975
Footlocker	2,975
Famous Footwear	7,001
Sally Beauty	1,508
Vacant (Perfumania)	2,200
Petsmart	20,000
Ross	27,692
Starlite Diner	3,000
Burlington	35,178
Taco Bell	2,780
Trends	7,000
Vacant (Simons Sportswear)	3,000
Wendy's	3,350
Supercuts -	1,421
GNC	2,017
Natbank	4,965
Yum Berry	2,093
Blush Nail & Spa	1,421
EyeLab	3,000
Dave & Busters	57,812
Subway	1,250
You Fit	13,665
Goldensun Tan	1,614
Hair Cuttery	1,250
Hollywood Ale House	7,800
Red Lobster	7,974
Sweet Tomatoes	8,000
TGI Friday's	6,820
Vacant (Jewelry Depot)	7,223
Pearle Vision	3,000
Vacant (Verizon)	3,877
United Nails	997
Sal's Italian Restaurant	2,161
<b>TOTAL</b>	<b>844,931</b>

**Based on the existing retail density of 844,931 s.f. plus the proposed 120,000 s.f. the total would be 964,931 s.f which is less than the maximum amount of 1,200,000 s.f.**

**7.0 Lot Coverage/Lot Size Standards**

***The proposed retail project complies with the following:***

- (1) Lot Size Standards (acreage/sq.ft.): No minimum lot size is required.
- (2) Lot Width/Depth: No minimum lot width and/or depth is required.
- (3) The maximum lot (building) coverage shall be 90 percent.
  - o This standard shall not be applied to lease areas which tend to reflect the building pad site only and not the full lot in which the building may be located
- (4) The maximum impervious coverage shall be 90 percent.
- (5) Corner lots, multiple frontage lots and through lots shall be permitted in the PD; setbacks shall be provided in accordance with Section (5)(B) below.
- (6) Open Space: Open space inclusive of pervious spaces as well as plazas, public spaces, sidewalks, pedestrian amenities, amenity areas, public lakes, stormwater facilities or similar shall be consistent with those standards of the LUPA.

***The proposed maximum impervious area for this project is approximately 81 percent which is less than the 90 % requirement. This is shown on our site plan sheet C-300.***

**8.0 Buildings:**

***The proposed retail project complies with the following:***

General Building Comments and Notes:

- (1) Building Height. Maximum: 30 stories/300'; this provides flexibility considering the different uses proposed and the possible variety in floor-to-floor height requirements. Buildings exceeding 175' will require coordination and approval with the Federal Aviation Administration, Broward County Aviation Department and/or Florida Department of Transportation (Aviation Division), as applicable.
  - ***Our proposed building is only 2 stories and approximately 64' high.***
- (2) There shall be no minimum and or maximum building floorplate within the PD.
  - ***Our footprint meets this since there is no minimum or maximum.***
- (3) Buildings shall comply with the Florida Building Code, latest edition.
  - ***Our building will comply with all applicable codes.***

**9.0 Building Type:**

***The proposed retail store complies with the Type 1 Building Type as shown below:***

Building Type	Primary Use
<b>Type 1. Commercial</b>	Commercial

This building type is primarily commercial and may include an individual retail building, major retail store, part of a small retail center and may also be part of a shopping or lifestyle center. Sidewalks may include an arcade. Outdoor cafes and restaurant seating areas may be provided adjacent to the frontage.

***The proposed building type is a retail building and the other requirements are optional which we are not planning on including.***

**10.0 Setbacks**

***The proposed retail project complies with the setbacks as shown:***

Except as provided below, Front or side street: zero feet (0'); Side Interior and Rear: zero feet (0)'. Setbacks are measured from current and or proposed property lines.

Buffers and setbacks shall be identified on the Site Plans. Buffers and setbacks shall be measured from the external PD property line or at the right-of-way line.

- ***Our proposed building is greater than 0' as shown on the site plan.***

**11.0 Building Architecture**

***The proposed retail project complies with the building architecture as shown:***

Design Intent

- i. The buildings within the PD are to be designed to create a high-quality signature character.

Building Design

- ii. Building facades shall be designed to continue the character established by the front or primary building façade.

Building Materials

- iii. The building materials will serve as a reinforcement to the objective of creating a high-quality signature character for the PD and shall consist of hard, durable materials that convey an impression of permanence and durability. Materials such as masonry, stone, Synthetic stucco, glass, metal panels, composite panels, terracotta panels, and tile.
- iv. Building materials shall be used to compliment the architectural style of the building and vary in texture and type to accentuate the public entrances / exits, façade projections and other architectural features.
- v. Glass used as an exterior material shall be clear or lightly tinted.

***The proposed building design creates a signature appearance which aligns with the retail tenant's brand standards nationwide. The building is designed as a four-sided structure, meaning that the design is cohesive across all elevations and reinforcing the design of the façade with the primary entrance. The building materials are primarily brick, synthetic stucco, ACM, metal, and glass which align with the requirements in section (iii) above and also compliment the building***

**architecture. Vision glass will be clear with a low-e coating to comply with the FBC requirements.**

**Below are some images from the revised Elevations**

**(NORTH FACING)**



**(WEST FACING)**



## **12.0 Building Colors**

- i. The color palette for the exterior building materials shall compliment the architectural style and shall be neutral tones with accent colors. An accent color may be used to emphasize architectural form or material texture.
- ii. Accent colors may also be used to emphasize the brand of the retail establishment in Type 1 Commercial Buildings.

***The proposed building colors are neutral and of an earth-tone palette. Accent color is Hartford Green to align with the tenant's brand.***

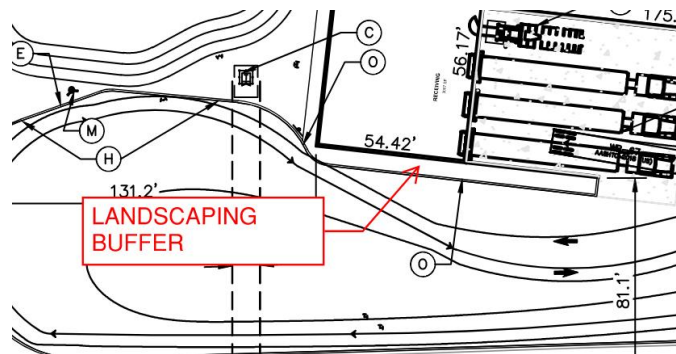


**13.0 Loading Spaces**

***The proposed retail project complies with the loading requirements as shown below:***

Loading shall be visually screened from public view as practical. Public rights-of-way, excluding alleys shall not be utilized for maneuvering associated with building loading access. Loading areas shall be convenient to the building(s) in which it serves. Due to the compact nature of the PD, no minimum number of loading/unloading spaces shall be required.

***The proposed loading dock is screened from public view based on the landscaping that is existing and proposed (as indicated on proposed site plan sheet C-200):***



**14.0 Service Structures and Uses**

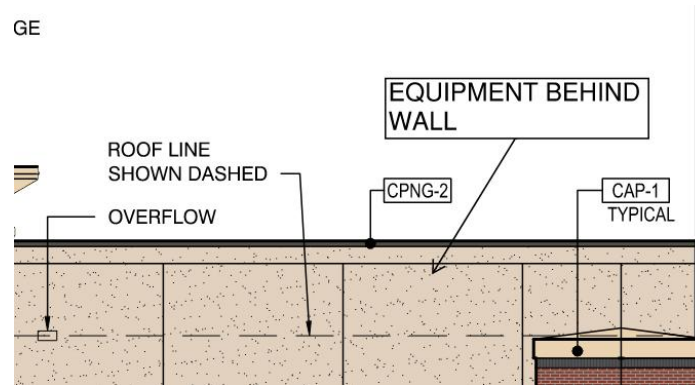
***The proposed retail project complies with the service structures and uses as shown below:***

These standards are intended to guide the design and development of service structures and uses including dumpsters and HVAC units, utility boxes and other similar equipment.

**Building Mechanical, Electrical, Communication and Service Equipment**

- Wall-mounted mechanical, electrical, communication, and service equipment, including satellite dishes and vent pipes, shall be located in the building service area.
- Rooftop and sidewall mechanical equipment and other extensions allowed above the building height shall be concealed by or integrated within the roof form or screened from view of the public right-of-way. The following appurtenances or necessary extensions above the roofline that require screening include air conditioning units, large vents, heat pumps and mechanical equipment.

**The proposed building will have a parapet wall to screen the mechanical equipment, see dashed line on Elevations sheet A-300.**

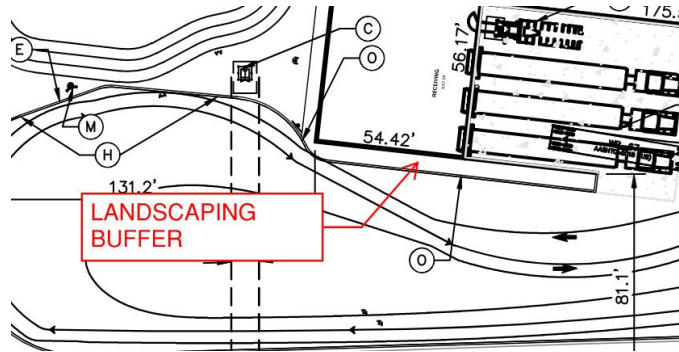


**15.0 Building Refuse Collection**

- Trash dumpsters are to be located in close proximity to the building service areas. For trash dumpsters not located within an enclosed service area provide screen walls that are constructed using materials as listed in the code, complementary material as the adjacent building; landscaping can be provided to screen these areas as well in addition to required wall. Dumpsters, compactors, and similar uses shall be enclosed within buildings or screened using walls or fences to match the architecture and color of the building which it serves.
- Trash compactors attached to the building are to be located within the building service area and screened as required under building service and loading areas.
- There are no minimum or maximum trash/dumpster enclosure sizes. Pedestrian openings are not required except for residential users. Trucks accessing dumpsters are not allowed to back into public roadways or private Roadways, as where practical, and identified through signage or other similar means. Where loading/unloading is proposed within the roadway, at least one vehicular travel lane shall be preserved to ensure the flow of traffic. Dumpsters shall follow the same setback requirements as principal structures.

Vehicular service areas for multiple buildings shall be consolidated whenever practical.

- ***The proposed building will use a self-contained compactor for trash and recycling products, located on the loading dock area which is screened from view.***

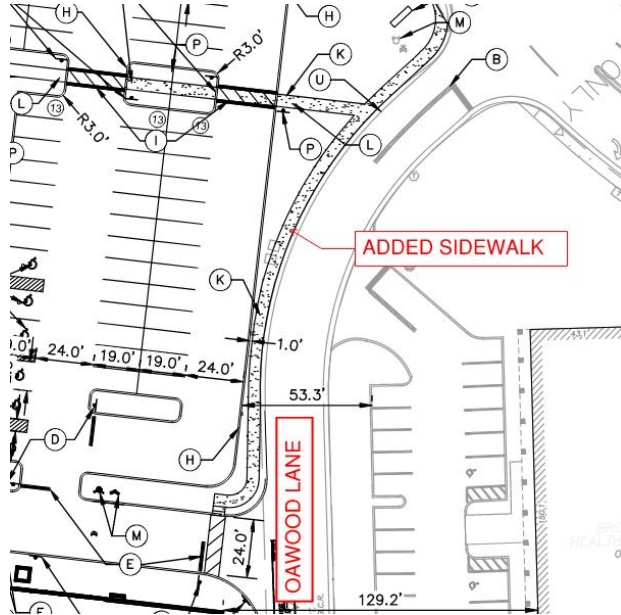


Detail from proposed site plan sheet C-200

16.0 Connectivity

The proposed retail project complies with the connectivity as shown below:

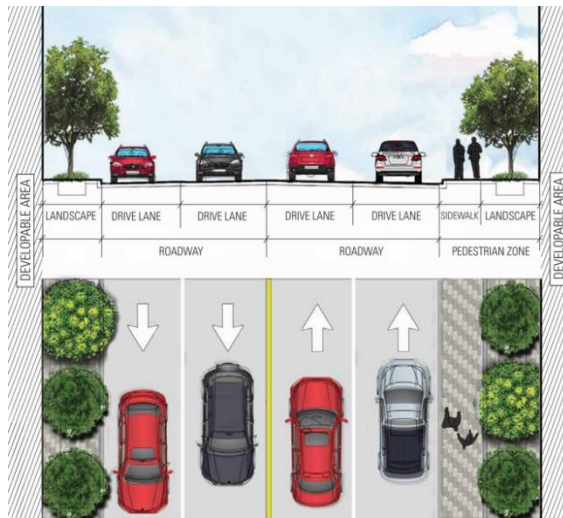
The site is accessed from Oakwood Boulevard, the existing eastern roadway, (which is grandfathered into the PD Guidelines). The other existing eastern service roadway is Oakwood Lane which is classified as tertiary roadway. A sidewalk has been added to connect to the front of the retail building along the west side.



Detail from the proposed site plan sheet C-200

Oakwood Boulevard

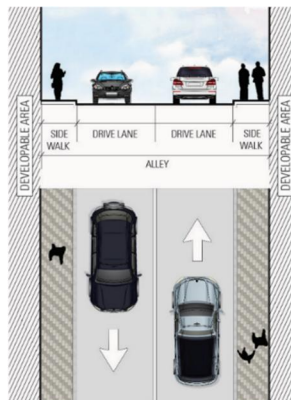
The existing four lane boulevard has two lanes in each direction with a sidewalk and landscaping as shown below. The boulevard may be used for this development.



**Oakwood Lane**

Tertiary Roadways (Accessways and Alleys)

Tertiary roadways are internal to the Primary, Secondary and Minor roadways and shall consist of Accessways and Alleys. The Tertiary roadways provide access to internal areas of the developable areas such as parking lots, garages, service areas, loading areas and pick-up areas. They shall be designed to meet the criteria outlined in this section.





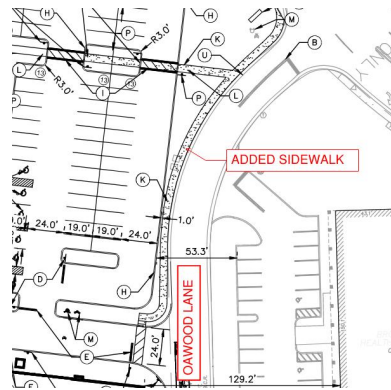
Criteria specific for Tertiary roadway design:

- One-way accessways and alleys shall be a minimum of fifteen feet (15') wide.
- Two-way accessways and alleys shall be a minimum of twenty-two feet (22') wide.

Tertiary roads are primarily for vehicular access and service; thus pedestrians are encouraged to use other roadways

- Sidewalks shall be a minimum of five feet (5'), and can be reduced to three feet (3') if not used for accessible ingress/egress
- Sidewalks are not required on both sides of the road
- Dedicated bike lane is not required
- Street landscape is not required
- Street parking is allowed, and can be parallel, angled, or perpendicular

***The proposed project complies with the existing roadway conditions, the new 5' sidewalk along the western side of Oakwood Lane provides enhanced pedestrian access to the proposed retail store.***



***Detail of proposed site plan sheet C-200***

**17.0 Sidewalks**

***The proposed retail project complies with sidewalk section as shown below:***

Sidewalks are intended to complement the overall compact urban form envisioned by Oakwood Plaza and further add to the projects, multimodal connectivity, and pedestrian scale designs. Sidewalks are provided as part of the urban fabric providing for not only

pedestrian movements but also for other pedestrian oriented uses and features including out-door seating and public gathering spaces.

- (1) Sidewalks as referenced above serve as the main pedestrian facilities and shall be designed to create a comfortable, outdoor public space to accommodate a range of active and passive pedestrian activities. Sidewalks and pedestrian corridors within the PD shall maintain a clear unobstructed width and maximum slopes as required by the latest Florida Accessibility Code.
- (2) Sidewalks can be attached to curbs or detached.
- (3) Sidewalks shall be constructed to meet minimum density requirements set forth by the City code and as recommended by a licensed geotechnical engineer.
- (4) Pedestrian crossings will be highlighted by changes in material, finish treatment, and or elevation, including, but not limited to, stamped or colored concrete and pavers. Striping may also be used. In addition, appropriate pedestrian treatments, such as handicap ramps will be provided at all intersections and pedestrian crossings, where needed, to accommodate the mobility needs of patrons.
- (5) "Squeeze" points along sidewalks and pathways shall meet ADA requirements.

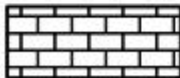
***The proposed design includes brushed concrete finish for all sidewalks for consistency. Also, we are including pavers for the crosswalk areas and pavers at the pedestrian plaza area. New handicap ramps are also being proposed for the driveways and other areas.***



PROPOSED SIDEWALK (STANDARD GREY CONCRETE WITH BROOM FINISH)



6X9, 3 1/8" CROSSWALK VEHICULAR PAVERS FROM BELGARD PATTERN: HERRINGBONE



12X6, 2 3/8" PEDESTRIAN PAVERS FROM BELGARD PATTERN 1/2 RUNNING BOND

## 18.0 Public Spaces

***The proposed retail project complies with public spaces section as shown below:***

Public Spaces shall also be counted towards open space standards and may be used within PD to highlight prominent areas of the project and to provide opportunities for formal and informal gatherings, pedestrian congregation and other social encounters. Public spaces may include storm water facilities or similar, the storm water facility shall be designed to complement the public space through the use of pedestrian pathways, benches, shade structures, signage or similar features. Public space(s) should be located in areas with increased visibility from roadways and in prominent areas of the project.

- (1) Water Features

Water features may be used within open space areas of the PD, within medians or within lots/blocks. The water features may include large or small fountains that are either interactive or formal.

(2) Site Amenities/Hardscape

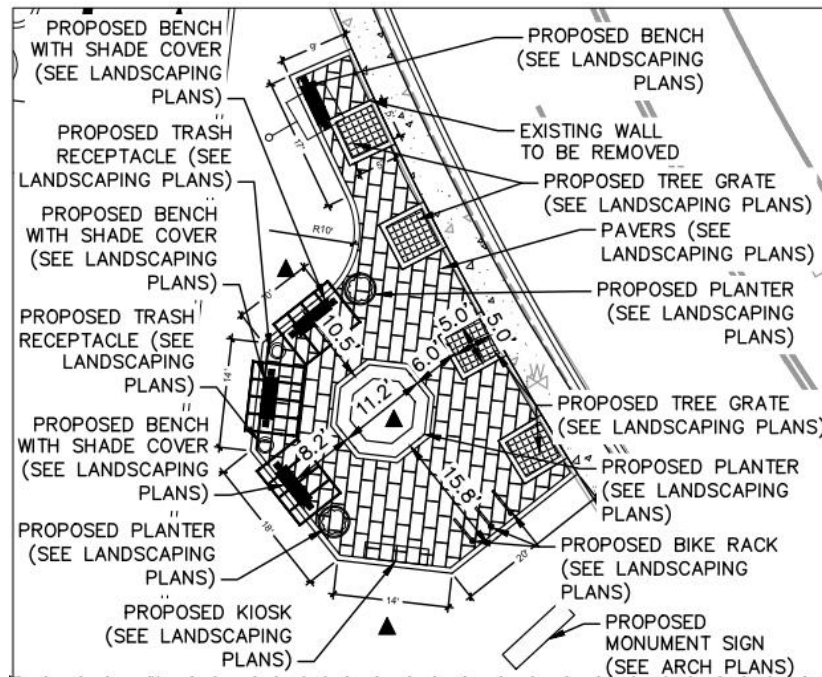
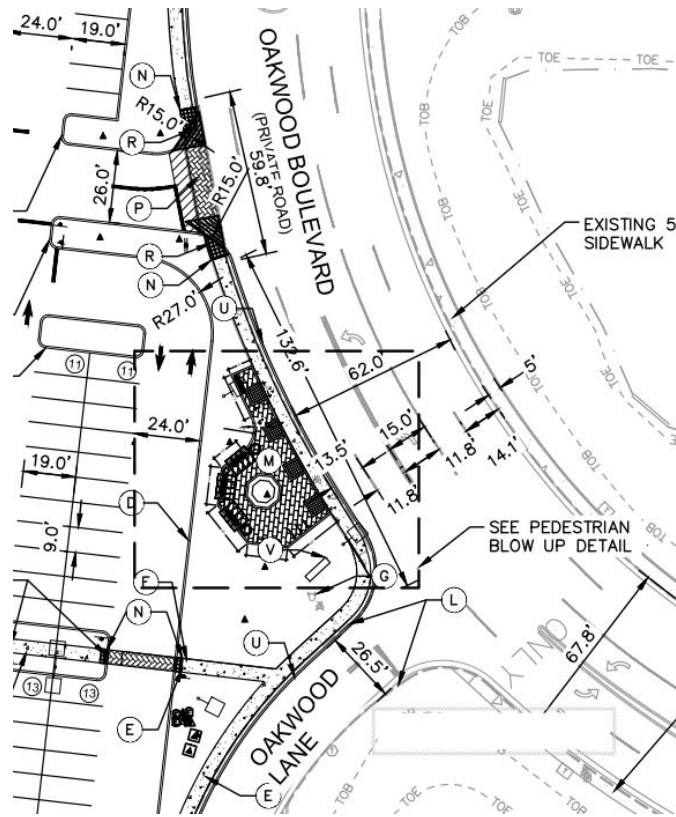
Pedestrian-scale site amenities and hardscape features shall be included within the PD. These may include seating opportunities, such as benches, low walls and wide planter edges, pedestrian scale lighting, trash receptacles, bicycle racks, bollards, drinking fountains, kiosks, tables and chairs. Site Amenities listed below are the recommended materials within the PD; materials may be substituted with like kind materials of similar quality and or color as part of a Site Plan: It is understood that Master Developer branded items and features, i.e., those including the Master Developer’s logo, brand and or name, may be used throughout the Project and shall not count towards or be considered as signage.

- a. Tree Grate –Chinook (or other product that is ADA compliant)
- b. Bike Rack (Ring or FGP)
- c. Bench (Parc Vue or SCB 1600)
- d. Litter Bin (Chase Park or MLWR200)
- e. Lounge Furniture (Madagascar)
- f. Permanent and Retractable Bollard (Stainless)
- g. Additional Items include but not limited to (materials to be determined at Site Plan):
- h. Public Art
- i. Fountains
- j. Statuary
- k. Accent Lighting Landscape planters

***As part of our project, we have included the following:***

- ***Pedestrian Plaza area:***

***Based on the tenant requirements and our long-term vision for the redevelopment of Oakwood South, we strongly believe the best location for the pedestrian plaza is the corner of Oakwood Boulevard and Oakwood Lane where it is currently located on the plans. This location will benefit both patrons of the shopping center where they can gather and relax before walking to another part of the shopping center and users of the bus stops located a short distance away from the pedestrian plaza. The pedestrian plaza now shows covered benches, large planters, raised concrete planters, pavers, tree grates and other items. We have added benches, landscaping and other amenities to the front sidewalk of the building along with pavers to activate the pedestrian experience.***





- **Concrete sidewalks to have broom finish**
- **Vehicular pavers (Herringbone)**

CONCRETE PAVERS BY BELGARD (305) 522-0002 - FRANK GONZALEZ.

**PAVER B**

6" X 9" X 2" MODULE  
 PATTERN: 50% SLATE FINISH: GROUND FACE  
 50% TITANIUM FINISH: GROUND FACE  
 PATTERN: HERRINGBONE W/ 8" CONCRETE HEADER BAND  
 (ORIENT AS SHOWN ON HARDSCAPE PLAN)

CONTRACTOR TO PROVIDE SHOP DRAWINGS, COLOR SAMPLES, AND 10'X10' MOCKUPS FOR OWNER'S REP APPROVAL PRIOR TO CONSTRUCTION AS WELL AS SIEVE ANALYSIS FOR JOINT AND BEDDING SAND.

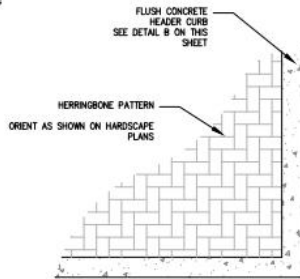
PAVERS SHALL BE SWEEPED WITH TECHNICAL POLYMERIC SAND.

REFER TO CIVIL PLANS FOR GRADING.

REFER TO IOP1 TECHNICAL SPECIFICATION NUMBER 2 'CONSTRUCTION OF INTERLOCKING CONCRETE PAVEMENTS' FOR INSTALLATION SPECS.

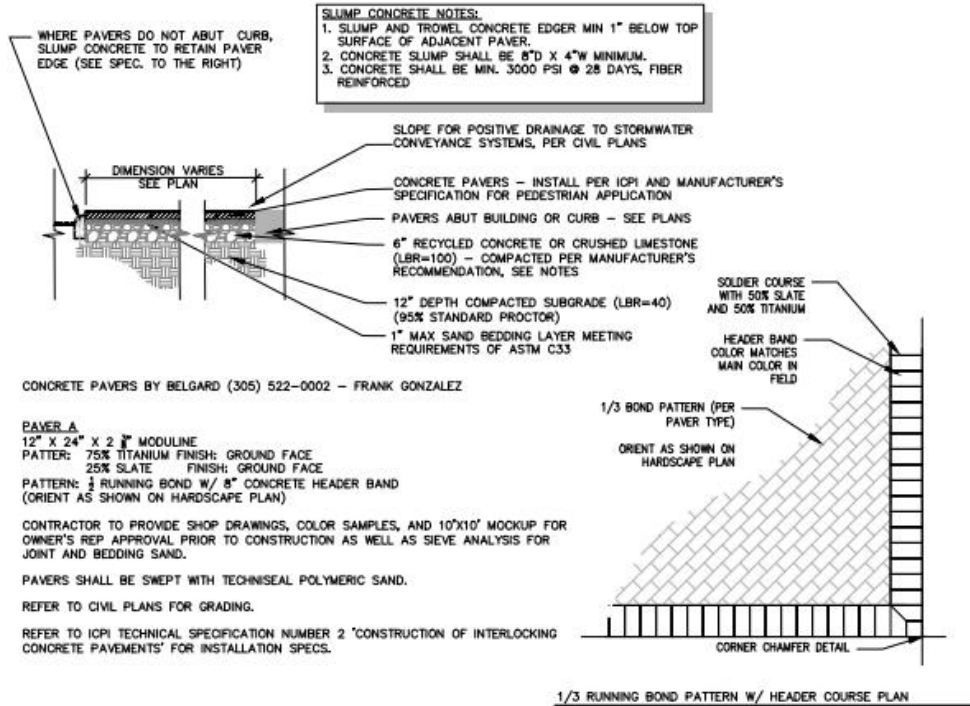
**\*NOTE:**

1. CONTRACTOR SHALL SUBMIT DETAILED, (SIGNED AND SEALED) ENGINEERED SHOP DRAWINGS FOR REVIEW AND ACCEPTANCE BY THE CLIENT, CIVIL ENGINEER, AND LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION. PAVERS MUST MEET ALL FLORIDA BUILDING CODE SLIP COEFFICIENT REQUIREMENTS.
2. CONTRACTOR SHALL PROVIDE MOCK-UP AND SAMPLES FOR REVIEW AND ACCEPTANCE BY THE CLIENT, CIVIL ENGINEER, LANDSCAPE ARCHITECT, AND PRODUCT MANUFACTURER PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION. MOCK-UP SHALL BE ITERATIVE AND RE-WORKED UP TO (3) THREE TIMES BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER UNTIL ACCEPTED BY CLIENT, CIVIL ENGINEER, LANDSCAPE ARCHITECT AND PRODUCT MANUFACTURER.
3. CONTRACTOR SHALL SUBMIT PRODUCT DATA FOR REVIEW AND ACCEPTANCE BY THE CLIENT, CIVIL ENGINEER, AND LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION.

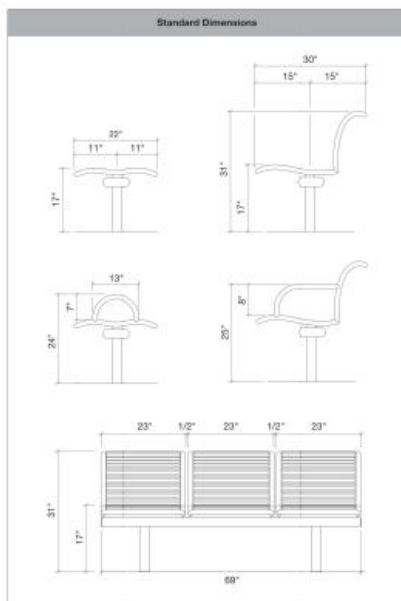


HERRINGBONE PATTERN W/ 8" FLUSH CONCRETE BAND PLAN

• **Pedestrian pavers (Belgard Pattern)**



• **Benches at pedestrian plaza, parking area and along front of building.**



MANUFACTURER: LANDSCAPE FORMS  
[www.landscapeforms.com](http://www.landscapeforms.com)  
 (800) 521-2546

MODEL: Kaleidoscope  
 Backless Presidio Seat

SIZE: 1 Bay  
 LENGTH: 116 1/4"  
 WIDTH: 87 1/4"  
 HEIGHT: 106 1/2"

COLOR: BRONZE. SUBMIT CUT SHEET AND COLOR CHART FOR APPROVAL.

NOTES: BELOW GRADE MOUNT PER MANUFACTURER



- **Trash receptacles at Plaza and front of building.**

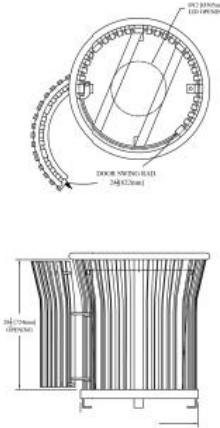
MANUFACTURER: KEYSTONE RIDGE  
[www.keystoneridgedesigns.com](http://www.keystoneridgedesigns.com)  
 (724) 284-1213

MODEL: HARMONY – HIID-32

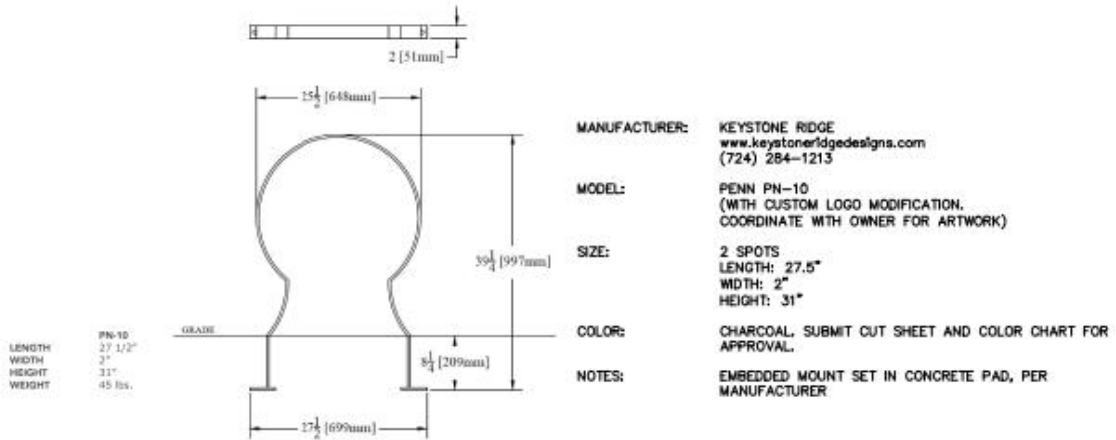
SIZE: LENGTH: 31"  
 WIDTH: 31"  
 HEIGHT: 34"

COLOR: BRONZE OR OWNER APPROVED

NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS  
 EMBEDDED MOUNT PER MANUFACTURER.



- **Bike racks at pedestrian plaza and near building.**



- **Shade cover for benches at pedestrian plaza.**

**Kaleidoscope OS**  
Shelter, Two Post, Offset Canopy, Solid panels, BelowGrade Mount

**Product Drawing**

landscapeforms®  
www.landscapeforms.com Ph: 800.521.2546

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www.landscapeforms.com  
(800) 521-2546

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COLOR: BRONZE. SUBMIT CUT SHEET AND  
COLOR CHART FOR APPROVAL.

NOTES: BELOW GRADE MOUNT PER  
MANUFACTURER

ATTACHED PRESIDIO BACKLESS SEATING, NO ARMS, LOW VOLTAGE LIGHTING

NOTE:  
SEE KALEIDOSCOPE INSTALLATION  
GUIDE FOR FOOTING DETAILS.

LOW VOLTAGE LIGHTING OPTION:  
WIRING AND BULB NOT INCLUDED

APPROVED \_\_\_\_\_  
REUSE AND RESUBMIT \_\_\_\_\_  
REJECTED \_\_\_\_\_

COMMENTS MADE ON THESE SUBMITTALS ARE  
FOR INFORMATION ONLY. ANY CHANGES REQUIRE  
RE-SUBMITTAL AND APPROVAL. CUSTOMER IS  
RESPONSIBLE FOR CONFIRMING ALL QUANTITIES,  
DIMENSIONS, AND INSTALLATION TECHNIQUES.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

Drawing: KA560-05  
Date: 05/20/2011  
Dimensions are in Inches/mm  
U.S. Patent Nos. D420,812; D421,132; D412,863; D413,314

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INTENDED USE IS LIMITED TO DESIGN PROFESSIONALS SPECIFYING LANDSCAPE FORMS, INC. PRODUCTS AND  
THEIR DIRECT CLIENTS. DRAWING IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT  
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- **Large Planter pots at pedestrian plaza at along sidewalk at front of building.**

MANUFACTURER: JAY SCOTTS  
jayscotts.com  
(954) 922 - 3939

MODEL: SEE BELOW

SIZES: SMALL POT: ALZIRA 23"x23"x22"  
LARGE POT: ALZIRA 36"x36"x34"

COLOR: TO BE SELECTED BY OWNER FROM MANUFACTURER'S FULL RANGE

NOTES: INSTALL 12" DEEP DRAINAGE STONE IN BOTTOM OF POT WITH LANDSCAPE  
FILTER FABRIC FOR MEDIAN SEPARATION. ALL POTS TO BE FURNISHED WITH  
DRAINAGE HOLES.

\*NOTE:  
1. CONTRACTOR SHALL SUBMIT  
PRODUCT DATA FOR REVIEW  
AND ACCEPTANCE BY THE  
CLIENT, CIVIL ENGINEER,  
AND LANDSCAPE ARCHITECT  
PRIOR TO PROCUREMENT,  
FABRICATION, AND  
INSTALLATION.

- **Information kiosk at pedestrian plaza.**

MANUFACTURER: Floor Stands  
floorstands.com  
(844) 409 - 1131

MODEL: SEE BELOW

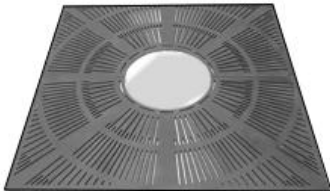
SIZES: Eco-Design 6-sided Multi-View Kiosk

COLOR: TO BE APPROVED BY OWNER

NOTES: INSTALL PER MANUFACTURERS IN GROUND  
POST MOUNT OPTION WITH LED LIGHTING.



- **Decorative bollards at front of building.**
- **Landscaping uplighting for trees.**
- **Tree grates**



MANUFACTURER: KEYSTONE RIDGE  
www.keystoneridgedesigns.com  
(724) 284-1213

MODEL: HARMONY - HIIID-32

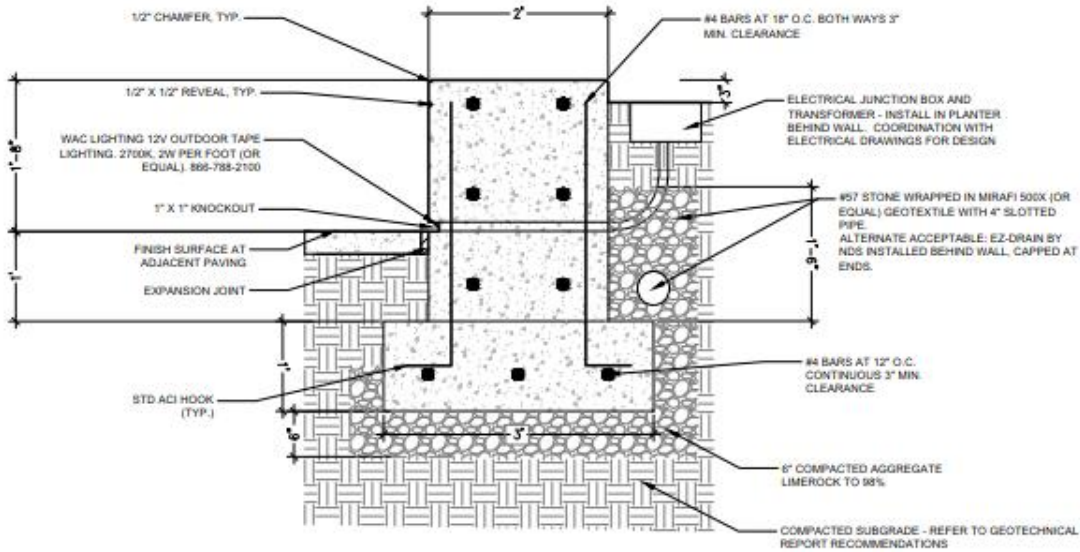
SIZE: LENGTH: 31"  
WIDTH: 31"  
HEIGHT: 34"

COLOR: BRONZE OR OWNER APPROVED

NOTES: INSTALL PER MANUFACTURER'S  
SPECIFICATIONS  
EMBEDDED MOUNT PER MANUFACTURER.



- **Raised Concrete Planter**



**19.0 Transit**

*The proposed retail project complies with the transit section as shown below:*

Oakwood Plaza Planned Development proposes to maintain the current location and number of transit stop locations including improvements. The site circulation is (will be) laid out such that buses may route internally should transit route onsite (internal).

***The proposed retail project is maintaining the existing transit stops along Oakwood Boulevard and is adding a pedestrian plaza to have additional seating area.***

**20.0 Parking**

*The proposed retail project complies with parking section as shown below:*

The Oakwood Plaza Planned Development has the ability to share parking facilities, surface, structured and on-street within and between individual uses including the respective mixed-use areas. In addition, parking facilities shall be subject to the following:

General:

- Arrangement of spaces. Parking areas shall be so arranged that any automobile may be parked/ unparked without moving another, except for parking structures which may be designed to allow tandem parking and/or valet services.
- No parking space may encroach, hinder, or otherwise block a public roadway, internal Boulevard, or Avenues.
- Combined loading areas. Collective, joint, or combined provisions for loading areas for two or more buildings or uses may be made.
- Parking spaces may be located within required building setbacks.
- Parking facilities including spaces and drive aisles may be used for special events and temporary uses providing emergency service access is not restricted.
- Off-street parking provides surface parking within a lot located off a public roadway or internal boulevard. In general, surface parking shall be provided with 90-degree parking.
  - i. 90-degree stalls with a minimum dimension of eight feet six inches (8.5') feet wide by eighteen (18) feet deep with a minimum drive-aisle of twenty-four (24) feet wide; a one-way drive aisle may be a minimum fifteen feet (15') wide. This length may be reduced to sixteen (16) feet where a two (2) foot overhang is provided over landscape. Where the two-foot overhang is provided over a sidewalk, a minimum clear width for accessibility standards shall be maintained.
  - ii. Accessible spaces shall meet latest ADA requirements.

***The proposed parking lot is using a minimum of 9' wide x 18' deep parking stalls.***

Compact spaces shall be a minimum of eight feet wide (8') by sixteen (16') feet long. Compact spaces shall be marked / designated on the Site Plan and when constructed.

- The use of wheel stops is discouraged. If a curb, curb-stop, bollard or similar cannot be provided and wheel stops are used, they shall be painted, provide reflective materials, or otherwise set aside from the parking space for increased visibility. The use of wheel stops requires the Planned Development Master Developer's approval.
- Parking may be shared between uses and buildings provided the minimum parking standard, below, is provided for the entirety of the Oakwood Plaza Planned Development.
- Parking spaces / areas may also be used for short-term pickup of people, goods or services including ride-share and mobile delivery services. Where provided, these spaces shall count towards the overall parking provided within the PD and not be excluded.

Required Number of Spaces for Parking. Due to the nature of the Oakwood Plaza PD incorporating commercial/retail, office, hotel, residential and related open spaces, it is understood that mixed use projects are intended to provide for shared infrastructure including parking facilities whether in the form of surface parking and or parking garages. The required minimum number of parking spaces for each use shall be:

Minimum Parking Standard:

(1) Non-Residential Uses

Commercial/Office:

3.5 spaces per 1,000 square feet Gross Leasable Area (GLA) using Building Owners and Managers Association (BOMA) Industry standards (includes retail, restaurant, financial, fitness & spa, entertainment; no additional parking is required for outdoor dining area/seating)

***The proposed project meets the 3.5/1000 parking ratio for commercial using shared parking which is allowed under the PD Guidelines.***

Bicycle parking:

- i. Bicycle racks will be provide based on minimum code requirements or what is appropriate based on users whichever is less stringent.
  - ***The proposed parking lot is using a minimum of 8.5' wide x 18' deep parking stalls. We are allowed to have reduced parking depth of 16' with 2' overhang.***

Electric Vehicle (EV) Charging Parking (if proposed):

- i. EV parking stalls are counted as part of the overall required number of parking spaces. Within mixed-use or non-residential areas, electric vehicle charging kiosks shall be allowed where parking spaces are provided.
- ii. Although EV stalls are not required based on Fla. Stat. § 366.94, we will designate four (4) parking spaces located along the western edge of the parking lot to be EV-ready so it can be easily activated without disturbing the new parking lot improvements.

**21.0 Landscaping-Buffering**

***The proposed retail project complies with the landscaping-buffering section as shown below:***

Landscaping, including vehicular use areas shall be integrally designed to enhance the high-quality signature character and visual interest of the overall development while implementing Florida Friendly design principles. Landscaping shall be used and located throughout the development. Buffers and landscaping are proposed based on the intensity of development within the planned development areas. There shall be no required landscape buffers or yards between any structure, property line, lease line, boundary line and similar demising lines internal to the PD, except for the typical street

and roadway cross-sections guidelines provided. Buffers along public right of way shall be grandfathered if no changes are proposed. Additional Buffering Standards:

Fences, walls, and hedges are allowed along the interior edge of the buffers as well as throughout the development. The maximum height of fences and walls is eight feet (8) based on code for non-residential zone. Barbed wire fences are prohibited. Site visibility triangles requirements shall be met.

- ***Our project complies with this requirement: there is an existing fence along I-95 with a landscaping buffer. Also, at the south side of the project we are keeping a landscaping buffer.***
- General Landscape Standards:
  1. Landscaping is encouraged as a tool to enhance the pedestrian experience, beautification, delineation of access, features, architecture, and environmental enhancement. In general, landscaping when used within a sidewalk shall include trees that provide shade and aesthetic enhancements without conflicting with vehicle or pedestrian movement, awnings, or signs.
  2. Landscape and Irrigation Plans are required and may be at a consistent scale as the site plans provided as part of specific submittals to the city.
  3. Root Barriers:
    - a. Trees installed within five feet (5') of utilities, or a sidewalk shall provide a root barrier; utilities and site amenities may be permitted to within seven feet, six inches (7'-6") of a tree.
  4. Tree Equivalency Standards. For the purposes of calculating required trees (but not for mitigation replacement):
    - a. Five (5) Large Palms from approved list may count as 1 canopy tree. All other palms shall have eight feet (8') CT and counted as 3:1.
    - b. A grouping of three (3) palm trees with a typical DBH at maturity of less than twelve inches (12") shall be the equivalent of one (1) canopy tree.
    - c. Palms with typical DBH at maturity of less than twelve inches (12") that are specified with trunks emerging from a common root ball shall be equivalent to one (1) palm tree.

5. Irrigation plan submittals will be provided per City Code for construction permit submittals. Irrigation will be installed prior to the certificate of occupancy.
  6. Low-volume drip irrigation may be provided in narrow landscape spaces to avoid overspray onto paved surfaces.
  7. Mitigation requirements as outlined under Section 106.29 of the City Code will be followed except for item (C) - remuneration in lieu of replacement. We are proposing that if any replacement costs are required for removing trees required prior to building permit, these costs would be allowed to be used for public art, pedestrian walkway enhancements, building façade enhancements for the public, open space amenities or other similar items for this project. Street Trees shall be planted along Boulevards, Drives and Avenues, per the following parameters:
  9. Boulevard street trees: One (1) Canopy tree, intermediate tree, or palm at fifty feet (50') on center (max) spacing at road edges and 40 feet on center (max) spacing within medians.
- Landscaping within non-buffer areas shall be consistent with the following:
    1. Parking structures and garages shall be exempt from landscaping requirements.
    2. An area, or combination of areas equal to 8% of the total vehicular use area (VUA), exclusive of perimeter buffers, is required to be devoted to interior VUA landscaping. This standard shall be applied to the overall PD. and is not required for each block, parcel, or individual development. Furthermore, the VUA standard only applies to surface parking and/or driveways serving such areas; no VUA is required for parking garages or similar.
    3. Required landscape for non-buffer landscape areas, inclusive of interior VUA landscaping:
      - a. One (1) tree or palm and ten (10) shrubs are required for every 2,000 square feet of required non-buffer landscape area, excluding specific purpose landscaped open spaces such as designated recreation spaces (including safety zones), grass amphitheaters, stormwater treatment areas, swales, or similar.
    4. Landscape islands shall be provided at the ends of a parking aisle and are encouraged throughout the surface parking areas to break up the expanses of the parking area. Islands must be of sufficient width to accommodate the plantings being proposed within them or root barriers, drip irrigation and other methods shall be implemented. Interior landscape islands may be clustered so as to provide larger, functional islands at the end caps.



5. Terminal and intermediate islands shall generally require at least one (1) tree or palm and shall be a minimum of seven feet (7') wide (back of curb to back of curb) or as practical to provide a suitable planting area. Terminal and intermediate islands must be a minimum of seven feet (7') wide for a Canopy tree. A maximum of 20 spaces may be provided between intermediate landscape peninsulas. Wider end islands may be provided if intermediate islands are not provided.
  6. All landscaped areas adjacent to VUAs shall be protected by raised curbing.
  7. A separate buffer is not required between the vehicle use area, public right-of-way and or a building in excess of those required at the property perimeter.
- Project entrances shall provide enhanced landscaping and design; however, entrance landscapes are not required to exceed the minimum requirements of these PDs.
  - Plants
    1. The plant palette used for the Oakwood Plaza PD shall be composed of a minimum of 50 percent native species and nursery stock grown within the region. Trees, shrubs and similar shall, at a minimum, meet Florida No. 1 standards. Plants that are identified as category I and II invasive species per Section 825-50 (Definitions) of the Hollywood Code of Ordinances are prohibited. Plant species should complement the design of previously installed portions within the Oakwood Plaza Planned Development, applying the design precedence observed for previously approved parking lots, buffers, building foundations, and internal roadway plantings. Plant species identified in the Hollywood Landscape Technical Manual shall be utilized for at least 75% of all plantings per landscape plan application.
  - Open Space: The Design Guidelines will comply with the standards from the LUPA. Approximately 2.50 acres of open space will be incorporated into the overall 112.50 gross acres as a wet pond/dry pond or other allowed use.

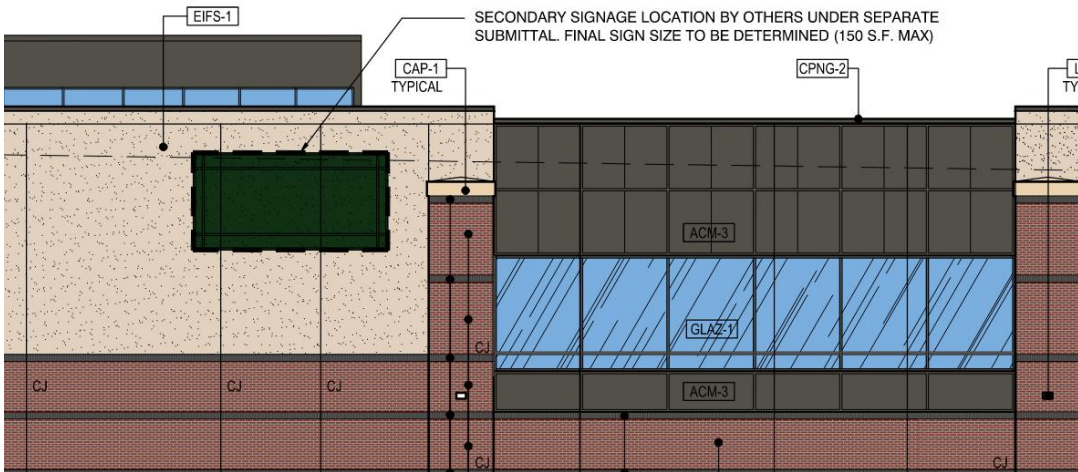
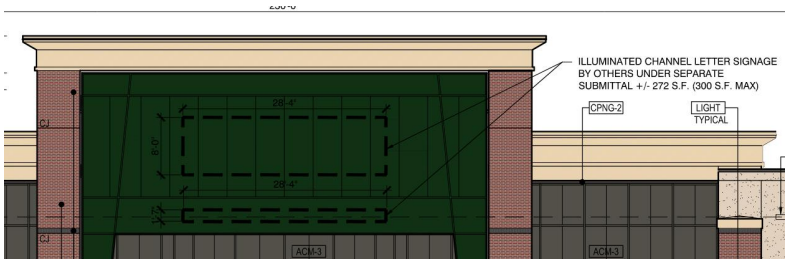
***Our project complies with these landscaping requirements.***

## **22.0 Signage**

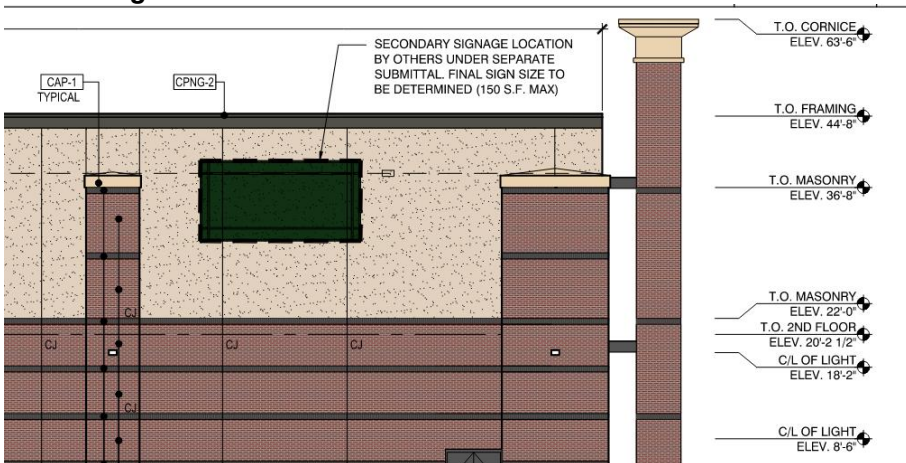
The proposed monument sign will meet current sign program approved as part of the PD.

***The proposed building signage is shown on the Elevations sheet A-300 which is also shown below:***

***North facing: 272 s.f.***



East facing: 150 s.f. max.



### 23.0 Lighting

The proposed lighting system will meet current PD requirements.

## **24.0 Utilities**

Water and wastewater infrastructure is presently available to the property and provisions have been made for the connection to these systems; connection points will be coordinated with the City of Hollywood. The water service shall connect to the existing private 8-inch PVC water main. The sewer service shall connect to the existing private 8-inch PVC gravity main. Utility designs will meet City of Hollywood Water and Sewer, Broward County and Florida Department of Health and Environmental Protection Standards.

Development will comply with Florida State Statutes 633, Florida Administrative Code 69A, currently adopted NFPA codes, the currently adopted edition of The Florida Fire Prevention Code and the currently adopted edition of the Broward County Amendments to The Florida Fire Prevention Code.

***Our project will comply with these requirements.***

## **25.0 Stormwater**

Stormwater design will meet the requirements as approved as part of the Oakwood Activity Center Land Use Plan Amendment and shall remain privately owned and maintained.

## **26.0 Site Plan Submittals**

Site Plan review shall follow City Article 6.22 Site Plan review process using these established PD Guidelines.

***Our project will comply with these requirements.***

## **27.0 Other Provisions**

### Sustainability

SFA Atlantis Associates, LP & Oakwood Business Center Ltd. Prt. (Master Developer) is committed to the long-term success of the Oakwood Plaza PD. Environmental, Social and Governance (ESG) principles are embedded into Master Developer's design & construction process. The Master Developer will also comply with Chapters 151.150 through 151.160 of the City's Code regarding Mandatory Green Building Practices.

- Temporary easements for construction shall be permitted on-site by the Master Developer.
- Due to the nature of PD and its improvements (private), a maintenance and responsible party agreement shall be provided with each respective Site Plan. The Oakwood Plaza will be maintained up to the minimum standards, included within a declaration of covenants restrictions and easements as administered by the Master Developer.
- Master Developer approval is required to be submitted prior to the submittal of the building permit submittal.

- Any permit, building or similar, submitted by a third-party applicant requires approval in writing by the PD Master Developer prior to submittal to the City of Hollywood.
- Redevelopment. Existing uses including those located within the PD may continue as currently approved and or developed including but not limited to building height, signage, parking, buffers, roadway networks, driveway locations, landscaping areas or other changes can be made if less than 50 percent of the total structure value and land values are made within the existing parcel areas within the redevelopment. If this requirement is met the PD Guidelines would not have to be adhered to.

***Our project will comply with these requirements.***

**28.0 City of Hollywood Goals, Objectives and Policies**

The PD is consistent with the goals, objectives, and policies of the City Land Use Plan as outlined below:

GOAL: Promoted a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing landowners to maximize the use of their property.

***Our project will maximize the use by having a new two story retail store which will activate the rear of the shopping center.***

Policy 7.24 To ensure through coordination with the South Florida Water Management District (SFWMD), the Broward County Water Resources Management Division (WRMD), and the Broward County Environmental Protection Department in the development review process to ensure that new development is required to provide adequate drainage measures to service itself and to neutralize any deficiencies which would be created by such new development.

**Our project is constructing the site and drainage system to meet adopted Broward County, City of Hollywood, and FEMA requirements.**