

EXHIBIT "A"

**CRA FUNDING AGREEMENT
BETWEEN THE HOLLYWOOD, FLORIDA COMMUNITY
REDEVELOPMENT AGENCY AND VB HOLLYWOOD HOLDINGS, LLC**

THIS CRA FUNDING AGREEMENT (the "Agreement") dated as of this ____ day of _____, 20 ____, by and between the HOLLYWOOD, FLORIDA COMMUNITY REDEVELOPMENT AGENCY, a dependent special district of the City of Hollywood ("CRA") and VB HOLLYWOOD HOLDINGS, LLC, a Foreign Limited Liability Company authorized to do business in the State of Florida ("Developer").

RECITALS

A. WHEREAS, the Developer owns the property located at 2001 Van Buren Street, which is within the Downtown District of the CRA, and is in the process of developing a residential project pursuant to the Site Plan previously approved by the City of Hollywood Planning and Development Board as per File No. 22-DPV-14 attached as EXHIBIT "A" hereto (the "Project"); and

B. WHEREAS, the Project requires the Developer to complete improvements to certain public properties and public rights-of-way within or adjacent to the Project on S. 20th Avenue between Van Buren Street and the Alleyway north of Van Buren Street pursuant to the approved Site Plan (EXHIBIT "B") (the "Streetscape Improvements"); and

C. WHEREAS, the CRA is desirous of improving certain public properties and public rights-of-way adjacent to the Project, extending the Streetscape Improvements on S. 20th Avenue from the north limits of the Project to Harrison Street (the "Public Improvements"), and the Developer is willing to construct same pursuant to the terms of this Agreement; and

D. WHEREAS, the Developer has estimated that the cost of the Public Improvements as required by the CRA will not exceed \$391,240.00; and

E. WHEREAS, the Public Improvements will significantly reduce blight in the Downtown CRA and will bring significant economic redevelopment to the area; and

F. WHEREAS, the appropriate CRA officials have worked with representatives of the Developer to negotiate the terms and conditions of this Agreement relating to the Public Improvements, and the appropriate CRA officials are recommending this Agreement to the CRA Board.

NOW, THEREFORE, in consideration of the obligations of the parties one to another as set forth in this Agreement, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the CRA and Developer agree as follows:

ARTICLE 1
RECITALS INCORPORATED AND DEFINITIONS

Section 1.1 Recitals. The foregoing recitals are true and correct and are incorporated in this Agreement.

Section 1.2 Definitions. For all purposes of this Agreement, the terms defined in this Article 1 shall have the following meanings and other provisions of this Article 1 shall apply:

“Agreement” is defined as this Agreement by and between Developer and the CRA evidencing the funding provided by the CRA to Developer for the development and construction of the Public Improvements in accordance with the Site Plan.

“City” is defined as the City of Hollywood, Florida, its successors and assign, in whole or in part.

“City Indemnified Party” is defined collectively as City, CRA and the City's and CRA's respective elected and appointed officials, directors, officers, employees and agents.

“CRA” is defined as the Hollywood, Florida Community Redevelopment Agency, a dependent special district of the City, its successors and assigns, in whole or in part.

“Default Notice” is defined as written notice by the CRA to DEVELOPER of Default under this Agreement.

“Developer” is defined as VB HOLLYWOOD HOLDINGS, LLC, a Foreign Limited Liability Company, and its successors, assigns or transferees.

“Developer Indemnified Party” is defined collectively as Developer, its directors, officers, shareholders, partners, members, employees and agents.

“Effective Date” is defined as the date the last party executes this Agreement.

“Event of Default” is defined as set forth in Section 4.1 hereof.

“Notice” is defined as set forth in Section 6.1 hereof.

“Project” is defined as the residential development set forth within the Site Plan and architectural plans as prepared by Caymares Martin Architectural & Engineering Design, Inc., submitted to the City of Hollywood Planning and Development Board, and approved under File No. 22-DPV-14 on October 11, 2022, as more specifically described in EXHIBIT “A” hereto.

“Public Improvements” are defined as improvements to public property and/or public rights-of-way, known as S. 20th Avenue between north limits of the project and Harrison Street as required by the CRA to be completed by the Developer and which improvements are specifically described in Exhibit “C” hereto.

“Streetscape Improvements” are defined as improvements to public property and/or public rights-of-way, known as S. 20th Avenue between Van Buren Street and the Alleyway north of Van Buren Street as required for the Project in accordance with the Site Plan, as more

specifically described in EXHIBIT “B” hereto.

“Substantial Completion” or “Substantially Complete” is defined as all Public Improvements therein shall have been issued temporary or final certificates of completion and may be used for their intended purposes.

“Term” or “Term of Agreement” is defined as that time period commencing with the execution of the Agreement by all parties and continues through the construction and completion of all improvements as permitted by the City/CRA, no later than October 1, 2026, at which time the Agreement shall terminate. The parties’ obligation to maintain their respective public improvements and the CRA’s obligation to fund under this Agreement shall survive the termination of this Agreement.

ARTICLE 2

DEVELOPER’S OBLIGATIONS

Section 2.1 The Developer shall build the Public Improvements consistent with the requirements of the CRA.

Section 2.2 The Developer shall construct the Public Improvements set forth in EXHIBIT “C”. Such Public Improvements shall include removal of existing paver sidewalks, concrete driveways and two Tear Drop lighting assemblies, and the installation of new picture-frame concrete sidewalks and driveways, two new Tear Drop lighting assemblies, and milling, resurfacing, and striping of two lanes and west parallel parking along S. 20th Avenue between the north limits of the Project and Harrison Street. All roadway improvements, including striping, shall comply with current standards set by Broward County and the City of Hollywood. The estimated value of the Public Improvements required by the CRA and set forth in EXHIBIT “D” is \$391,240.00. The Developer shall be responsible for the actual payment for the Public Improvements. CRA shall reimburse Developer in accordance with Section 3.1 hereof. Further, Developer shall be required and be solely responsible for obtaining any and all federal, state, and local approvals and permits relating to the Public Improvements. Developer shall obtain such approvals expeditiously and with reasonable due diligence.

Section 2.3 In order to protect the CRA and City from all accidents and occurrences that occur prior to the CRA’s or City’s acceptance of the Public Improvements, the Developer shall:

(i) Indemnify, hold harmless and, at the City Attorney's/General Counsel's option, defend, or pay for an attorney selected by the City Attorney/General Counsel to defend the City and CRA, their officers, agents, servants and employees, against any and all claims, losses, liabilities, and expenditures of any kind, including attorney's fees, court costs, and expenses, caused by the negligent act or omission of contractor(s) or subcontractor(s), their employees, agents, servants or officers, or accruing, resulting from, or related to the subject matter of this Agreement including, without limitation, any and all claims, demands, or causes of action of any nature whatsoever resulting from injuries or damages to any person or property.

(ii) In order to insure the indemnification obligation contained above, the Developer’s contractor(s) shall, as a minimum, provide, pay for, and maintain in force

at all times during the term of this Agreement (unless otherwise provided), the insurance coverages set forth below, in accordance with the terms and conditions of this section.

(iii) Such policy or policies shall contain deductible amounts no greater than those standard in the insurance industry and shall be issued by United States Treasury approved companies authorized to do business in the State of Florida, and having agents upon whom service of process may be made in Broward County, Florida. Contractor(s) shall specifically protect City and CRA by naming City, CRA and the City Commission Members as additional insureds.

(iv) Developer shall furnish to the CRA's Executive Director, certificates of insurance or endorsements (collectively, "Certificates of Insurance") evidencing the insurance coverages specified by this subsection prior to beginning performance of any work under this Agreement. The required Certificates of Insurance shall name the types of policies provided, refer specifically to this Agreement, and state that such insurance is as required by this Agreement.

(v) Coverage is not to cease and is to remain in force (subject to cancellation notice) until all performance required under this Agreement is completed, including a one-year warranty period after final inspection by the CRA. All policies must be endorsed to provide CRA with at least 30 days' prior written notice of cancellation and/or restriction. If any of the insurance coverages will expire prior to the completion of the work, copies of renewal policies shall be furnished at least 30 days prior to the date of their expiration.

(vi) General Liability: Prior to the commencement of work governed by this contract, the Developer's Contractor shall obtain General Liability Insurance. Coverage shall be maintained throughout the life of the contract and include, as a minimum:

- Premises Operations
- Products and Completed Operations
- Blanket Contractual Liability
- Personal Injury Liability

Expanded Definition of Property Damage. The minimum limits acceptable shall be:

- \$3,000,000.00 Combined Single Limit (CSL)

An Occurrence Form policy is preferred. If coverage is provided on a Claims Made policy, its provisions should include coverage for claims filed on or after the effective date of this contract. In addition, the period for which claims may be reported should extend for a minimum of twelve (12) months following the acceptance of work by the City.

The City of Hollywood, CRA and City Commission Members shall be named as Additional Insured on all policies issued to satisfy the above requirements.

Recognizing that the work governed by this contract involves either underground exposures, explosive activities, or the possibility of collapse of a structure,

the General Liability Policy obtained by the Developer's Contractor shall include coverage for the XCU (explosion, collapse, and underground) exposures with limits of liability equal to those of the General Liability Insurance policy.

(vii) Vehicle Liability: Recognizing that the work governed by this contract requires the use of vehicles, the Developer's Contractor, prior to the commencement of work, shall obtain Vehicle Liability Insurance. Coverage shall be maintained throughout the life of the contract and include, as a minimum, liability coverage for:

Owned, Non-Owned, and Hired Vehicles The minimum limits acceptable shall be:

- \$2,000,000.00 Combined Single Limit (CSL)

The City of Hollywood, CRA and City Commission Members shall be named as Additional Insured on all policies issued to satisfy the above requirements.

(viii) Workers' Compensation: Prior to the commencement of work governed by this contract, the Developer's Contractor shall obtain Workers' Compensation Insurance with limits sufficient to respond to the applicable state statutes.

In addition, the Developer's Contractor shall obtain Employers' Liability Insurance with limits of not less than:

- \$500,000 Bodily Injury by Accident
- \$500,000 Bodily Injury by Disease, policy limits
- \$500,000 Bodily Injury by Disease, each employee

The City of Hollywood must be the certificated holder per the following format:

City of Hollywood
Hollywood CRA
1948 Harrison Street
Hollywood, FL 33020

Coverage shall be maintained throughout the entire term of this Agreement.

Coverage shall be provided by a company or companies authorized to transact business in the state of Florida and the company or companies must maintain a minimum rating of "A" and Class X, as assigned by the A.M. Best Company.

The policy must be endorsed to provide the City with (30) days' notice of cancellation.

If the Developer's Contractor has been approved by the Florida's Department of Labor, as an authorized self-insurer, the City shall recognize and honor the Contractor's status. The Developer's Contractor may be required to submit a Letter of Authorization issued by the Department of Labor and a Certificate of Insurance, providing details on the Contractor's Excess Insurance Program.

If the Developer's Contractor participates in a self-insurance fund, a Certificate of Insurance will be required. In addition, the Developer's Contractor may be required to submit updated financial statements from the fund upon request from the City.

Any sub-consultant shall supply such similar insurance required of the Developer's Contractor. Such certificates shall name the City, CRA and City Commission Members as additional insured in the general liability and auto liability policies.

Section 2.4 Except as provided in Section 2.3 above, Developer shall have the full right and authority to enter into any and all construction agreements it deems necessary for the development and construction of the Public Improvements. Neither the City nor CRA shall have any right of approval over said construction agreements or contractors or subcontractors, and each agrees not to unreasonably interfere with same, except to the extent required to carry out its governmental functions. All such construction agreements shall be the sole responsibility of Developer.

Section 2.5 In connection with any construction work, and with the maintenance, management, use and operation of the Public Improvements and Developer's performance of its obligations hereunder, Developer shall comply promptly with all requirements, without regard to the nature of the work required to be done, whether extraordinary or ordinary, and whether requiring the removal of any encroachment (but Developer may seek to obtain an easement in order to cure an encroachment, if permitted by requirements), or affecting the maintenance, management, use or occupancy of the Public Improvements, or involving or requiring any structural changes or additions in or to the Public Improvements and regardless of whether such changes or additions are required by reason of any particular use to which the Project, or any part thereof, may be put.

Section 2.6 The Public Improvements which lie outside of the property line as depicted on the attached EXHIBIT "C", and which are identified as two Tear Drop light fixture assemblies, and picture-frame sidewalks and driveways, shall be maintained by the CRA or City. Developer shall be responsible for the payment of any required Water & Sewer Fees and Utility Fees associated with the construction of the Public Improvements.

ARTICLE 3

CRA'S OBLIGATIONS

Section 3.1 Reimbursement for the Public Improvements. The CRA shall provide Developer with reimbursement for the Public Improvements specifically set forth in EXHIBIT "C" in an amount not to exceed \$391,240.00 as follows:

Each month Developer shall submit unto the Executive Director of the CRA an application and Certificate for Payment for the percentage of completed work as per the draw schedule attached hereto as EXHIBIT "D" together with other information or documentation reasonably deemed necessary by the CRA, including, but not limited, to releases of liens. The Executive Director shall have 30 days from such submittal to review the application and Certificate for Payment and may request further documentation to substantiate the expenditures. Upon approval of the application and Certificate for Payment, the Executive Director shall forward the approval to the CRA's Financial Manager for reimbursement to the Developer within 15 days.

ARTICLE 4

EVENTS OF DEFAULT, REMEDIES, ETC.

Section 4.1 Definition. Each of the following events shall be an "Event of Default" hereunder:

(a) If Developer shall default in the observance or performance of any term, covenant, or condition of this Agreement, on Developer's part to be observed or performed by Developer and Developer shall fail to remedy such Default within thirty (30) days after written notice by the CRA of such Default (the "Default Notice"). If, however, such a Default is of such a nature that it cannot reasonably be remedied within 30 days (but is otherwise susceptible to cure), the following events shall be an "Event of Default" hereunder: (i) if Developer shall fail, within 30 days after the giving of such Default Notice, to advise the CRA of Developer's intention to institute all steps necessary to remedy such Default, (ii) from time to time, as reasonably requested by the CRA, if Developer shall fail to advise the CRA of the steps being taken necessary to remedy such Default (which steps shall be reasonably designed to effectuate the cure of such Default in a professional and expeditious manner), or (iii) if Developer shall fail thereafter to diligently prosecute to completion all such steps necessary to remedy such Default.

(b) to the extent permitted by law, if Developer admits, in writing, that it is generally unable to pay its debts as such become due;

(c) to the extent permitted by law, if Developer makes an assignment for the benefit of creditors;

(d) to the extent permitted by law, if Developer files a voluntary petition under Title 11 of the United States Code, or if Developer files a petition or an answer seeking, consenting to or acquiescing in, any reorganization, arrangement, composition, readjustment, liquidation, dissolution or similar relief under the present or any future Federal bankruptcy code or any other present or future applicable federal, state or other

bankruptcy or insolvency statute or law, or seeks, consents to, acquiesces in or suffers the appointment of any trustee, receiver, custodian, assignee, sequestrator, liquidator or other similar official of Developer's, of all or any substantial part of its properties, or of all or any part of Developer's interest in the Project, and the foregoing are not stayed or dismissed within 150 days after such filing or other action; or

(e) to the extent permitted by law, if, within 180 days after the commencement of a proceeding against Developer seeking any reorganization, arrangement, composition, readjustment, liquidation, dissolution or similar relief under the present or future federal bankruptcy code or any other present or future applicable Federal, state or other bankruptcy or insolvency statute or law, such proceeding has not been dismissed, or if within 180 days after the appointment, without the consent or acquiescence of Developer, of any trustee, receiver, custodian, assignee, sequestrator, liquidator or other similar official of Developer, of all or any substantial part of its properties, or all or any part of Developer's interest in the Project, such appointment has not been vacated or stayed on appeal or otherwise, or if, within 180 days after the expiration of any such stay, such appointment has not been vacated; or

(f) if CRA fails to make any payments required by Article 3 when due hereunder, and such failure continues for a period of 30 days after written notice is given by Developer that the same is past due; or

(g) if CRA shall default in the observance or performance of any term, covenant, or condition of this Agreement on CRA's part to be observed or performed and CRA shall fail to remedy such Default within 30 days after written notice by the Developer of such Default (the "Default Notice"). If, however, such a Default is of such a nature that it cannot reasonably be remedied within 30 days (but is otherwise susceptible to cure), the following events shall be an "Event of Default" hereunder: (i) if CRA shall fail, within 30 days after the giving of such Default Notice, to advise the Developer of CRA's intention to institute all steps, (ii) from time to time, as reasonably requested by the Developer, if CRA shall fail to advise the Developer of the steps being taken necessary to remedy such Default (which steps shall be reasonably designed to effectuate the cure of such Default in a professional and expeditious manner), or (iii) if CRA shall fail thereafter to diligently prosecute to completion all such steps necessary to remedy such Default.

Section 4.2 Enforcement of Performance; Damages; and Termination. If an Event of Default occurs, the non-defaulting party may elect to either: (a) enforce performance or observance by the defaulting party of the applicable provisions of this Agreement, or (b) subject to the provisions of Article 5, recover damages from the defaulting party for breach of this Agreement. The exercise of a remedy hereunder with respect to an Event of Default shall not limit or otherwise affect a party's right to exercise any of the remedies available hereunder with respect to that Event of Default or to any other Event of Default.

Section 4.3 Strict Performance. No failure by CRA or Developer to insist upon strict performance of any covenant, agreement, term or condition of this Agreement or failure to exercise any right or remedy available to such party by reason of the other party's Default or an Event of Default, shall constitute a waiver of any such Default or Event of Default or of such covenant, agreement, term or condition or of any other covenant, agreement, term or condition. No covenant, agreement, term, or condition of this Agreement to be performed or complied

with by a party, and no Default by a party, shall be waived, altered or modified except by a written instrument executed by the parties. No waiver or any Default or Event of Default shall affect or alter this Agreement, but each and every covenant, agreement, term and condition of this Agreement shall continue in full force and effect with respect to any other then existing or subsequent Default.

Section 4.4 Right to Enjoin Default. In the Event of Developer's Default or Event of Default, the CRA shall be entitled to seek to enjoin the Default or Event of Default and shall have the right to invoke any rights and remedies allowed at law or in equity or by statute or otherwise, except to the extent the CRA's remedies are expressly limited by the terms hereof. In the event of any Default by the CRA of any term, covenant or condition under this Agreement, Developer shall be entitled to seek to enjoin the Default and shall have the right to invoke any rights and remedies allowed at law or in equity or by statute or otherwise, except to the extent Developer's remedies are expressly limited by the terms hereof. Each right and remedy of the CRA and Developer provided for in this Agreement shall be cumulative and shall be in addition to every other right or remedy provided for in this Agreement or now or hereafter existing at law or equity or by statute or otherwise except to the extent the CRA's remedies and Developer's remedies are expressly limited by the terms hereof, and the exercise or beginning of the exercise by the CRA or Developer of any one or more of the rights or remedies provided for in this Agreement or now or hereafter existing by law or in equity or by statute or otherwise shall not preclude the simultaneous or later exercise by the CRA or Developer of any or all other rights or remedies provided for in this Agreement or now or hereafter existing at law or in equity or by statute or otherwise, except to the extent the CRA's remedies and Developer's remedies are expressly limited by the terms hereof.

Section 4.5 Remedies Under Bankruptcy and Insolvency Code. If an order for relief is entered or if any stay of proceeding or other act becomes effective in any proceeding which is commenced by or against Developer, under the present or future Federal Bankruptcy Code or in a proceeding which is commenced by or against Developer seeking a reorganization, arrangement, composition, readjustment, liquidation, dissolution or similar relief under any other present or future applicable federal, state or other bankruptcy or insolvency statute or law, CRA shall be entitle to invoke any and all rights and remedies available to it under such bankruptcy or insolvency code, statute or law or this Agreement.

ARTICLE 5 **ENFORCEMENT OF AGREEMENT**

Section 5.1 CRA Exculpation. Notwithstanding any other provisions of this Agreement, Developer's remedies under this Agreement shall be solely limited to the amount of unpaid reimbursements which are legally owing to Developer pursuant to this Agreement. Nothing contained in this Section or elsewhere in this Agreement is in any way intended to be a waiver of the limitation placed upon the CRA's liability as set forth in Section 768.28, Florida Statutes, or of any other constitutional, statutory, common law or other protections afforded to public bodies or governments.

Section 5.2 Developer's Exculpation. Except for the rights and remedies available to the CRA under Sections 2.3, 4.2, 4.4 and 4.5 of this Agreement, CRA's remedies under this Agreement shall be limited to the reimbursement of any monies paid to Developer pursuant to this Agreement.

ARTICLE 6

NOTICES, CONSENTS AND APPROVALS

Section 6.1 Service of Notices and Other Communications.

(a) In Writing. Whenever it is provided herein that notice, demand, request, consent, approval or other communication shall, or may be given to, or served upon, either of the parties by the other, or whenever a party or either of the parties desire to give or serve upon another any notice, demand, request, consent, approval or other communication with respect hereto or to the Public Improvements, each such notice, demand, request, consent, approval or other communication shall be in writing (whether or not so indicated elsewhere in this Agreement) and shall be effective for any purpose only if given or served by certified or registered U.S. Mail, postage prepaid, return receipt requested, personal delivery with a signed receipt or a recognized national courier service, addressed as follows or to such other address as a party may provide in writing to the other party:

If to CRA: Executive Director
 Hollywood Community Redevelopment Agency
 1948 Harrison Street
 Hollywood, Florida 33020

With a copy to: CRA General Counsel
 City of Hollywood
 2600 Hollywood Blvd.
 Hollywood, Florida 33020

If to Developer: VB Hollywood Holdings, LLC
 6201 SW 70th Street
 Suite 200
 South Miami, Florida 33143

(b) Effectiveness. Every Notice shall be effective on the date actually received, as indicated on the receipt therefor or on the date delivery thereof is refused by the recipient thereof.

(c) References. All references in this Agreement to the "date" of Notice shall mean the effective date, as provided in the preceding subsection (b).

Section 6.2 Consents and Approvals. All consents and approvals which may be given under this Agreement shall, as a condition of their effectiveness, be in writing. The granting by a party of any consent to or approval of any act requiring consent or approval under the terms of this Agreement, or the failure on the part of a party to object to any such action taken without the required consent or approval, shall not be deemed a waiver by the party whose consent was required of its rights to require such consent or approval for any other act unless provided for

elsewhere in this Agreement. Wherever consent or approval is required by either party within this Agreement, such consent or approval shall not be unreasonably withheld.

ARTICLE 7

MISCELLANEOUS

Section 7.1 Governing Law. This Agreement shall be governed by, and construed in accordance with, the laws of the State of Florida, without regard to principles of conflict of laws.

Section 7.2 Assignment. This Agreement shall not be assigned nor transferred by Developer.

Section 7.3 References.

(a) Captions. The captions of this Agreement are for the purpose of convenience of reference only, and in no way define, limit or describe the scope or intent of this Agreement or in any way affect this Agreement.

(b) Reference to Successors and Assigns. The use herein of the words "successors and assigns" shall be deemed to include the heirs, legal representatives and assigns of any of the parties hereto.

(c) City's and CRA's Governmental Capacity. Nothing in this Agreement or in the parties' acts or omissions in connection herewith shall be deemed in any manner to waive, impair, limit or otherwise affect the authority of the City or CRA in the discharge of its police or governmental powers.

(d) Reference to "herein", "hereunder", etc. All references in this Agreement to the terms "herein", "hereunder" and words of similar import shall refer to this Agreement, as distinguished from the paragraph, Section or Article within which such term is located.

Section 7.4 Entire Agreement, etc.

(a) Entire Agreement. This Agreement, together with the exhibits and attachments hereto, contains all of the promises, agreements, conditions, inducements and understandings between the CRA and Developer concerning the Public Improvements and there are no promises, agreements, conditions, understandings, inducements, warranties or representations, oral or written, express or implied, between them other than as expressly set forth herein and in such exhibits and attachments hereto or as may be expressly contained in any enforceable written agreements or instruments executed simultaneously herewith by the parties hereto. This Agreement may be executed in counterparts, each of which shall be deemed an original but all of which together shall represent one instrument.

(b) Waiver, Modification, etc. No covenant, agreement, term or condition of this Agreement shall be changed, modified, altered, waived or terminated except by a written instrument of change, modification, alteration, waiver or termination executed by the CRA and Developer. No waiver of any Default or Event of Default shall affect or alter this Agreement, but each and every covenant, agreement, term and condition of this Agreement shall continue in full force and effect with respect to any other then existing or subsequent Default or Event of Default thereof.

Section 7.5 Invalidity of Certain Provisions. If any provision of this Agreement or the application thereof to any person or circumstances is, to any extent, finally determined by a court of competent jurisdiction to be invalid or unenforceable, the remainder of this Agreement, and the application of such provision to persons or circumstances other than those as to which it is held invalid and unenforceable, shall not be affected thereby and each term and provision of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

Section 7.6 Remedies Cumulative. Each right and remedy of either party provided for in this Agreement shall be cumulative and shall be in addition to every other right or remedy provided for in this Agreement, or now or hereafter existing at law or in equity or by statute or otherwise (except as otherwise expressly limited by the terms of this Agreement), and the exercise or beginning of the exercise by a party of any one or more of the rights or remedies provided for in this Agreement, or now or hereafter existing at law or in equity or by statute or otherwise, except as otherwise expressly limited by this Agreement, shall not preclude the simultaneous later exercise by such party of any or all other rights or remedies provided for in this Agreement or now or hereafter existing at law or in equity or by statute or otherwise except as otherwise expressly limited by the terms of this Agreement.

Section 7.7 Performance at Each Party's Sole Cost and Expense. Unless otherwise expressly provided in this Agreement, when either party exercises any of its rights, or renders or performs any of its obligations hereunder, such party shall do so at its sole cost and expense, except in the event of litigation between the parties hereto, in which case attorney's fees shall be paid to the prevailing party in any such litigation.

Section 7.8 Agreement Negotiated by All Parties. The parties recognize and acknowledge that they both participated, with the assistance of respective counsel in negotiation and preparation of this Agreement and no party shall have any negative inference or presumption raised against it for having drafted the Agreement.

Section 7.9 Successors and Assigns. The agreements, terms, covenants, and conditions herein shall be binding upon, and inure to the benefit of, CRA and Developer and, except as otherwise provided herein, their respective permitted successors and permitted assigns and shall be construed as covenants running with the land.

Section 7.10 Nonliability of Officials and Employees. No member, officer, director, stockholder, partner, elected or appointed official or employee of the CRA, City or Developer shall be personally liable to Developer, CRA or City, as the case may be, or any successor in interest, in the event of default or breach by a party or for any amount or obligation which may become due to the other party or successor under the terms of this Agreement; and, any and all such personal liability, either at common law or inequity or by constitution or statute, any and all such rights and claims against, every such person, or under or by reason of the obligations, covenants or agreements contained in this Agreement or implied therefrom are expressly waived and released as a condition of, and as a consideration for, the execution of this Agreement.

Section 7.11 Conflict of Interest. Developer represents and warrants that, to the best of its knowledge, no member, official or employee of CRA or City has any direct or indirect financial interest in this Agreement, nor has participated in any decision relating to this Agreement that is prohibited by law. Developer represents and warrants that, to the best of its knowledge, no officer, agent, employee or representative of CRA or City has received any payment or consideration for the making of this Agreement, directly or indirectly from Developer. Developer warrants and

represents that it has not been paid or given, and will not pay or give, any third person any money or other consideration for obtaining this Agreement, other than normal costs of conducting business and cost of professional services such as architects, engineers, and attorneys providing services to Developer. Developer acknowledges that CRA and City are relying upon the foregoing representations and warranties in entering into this Agreement and would not enter into this Agreement absent the same.

Section 7.12 No Partnership. The parties hereby acknowledge that it is not their intention under this Agreement to create between themselves a partnership, joint venture, tenancy-in-common, joint tenancy, or agency relationship for the purpose of developing the Site Plan, or for any other purpose whatsoever. Accordingly, notwithstanding any provisions contained herein, nothing in this Agreement or other documents executed by the parties with respect to the Site Plan and Public Improvements, shall be construed or deemed to create, or to express an intent to create, a partnership, joint venture, tenancy-in-common, joint tenancy or agency relationship of any kind or nature whatsoever among the parties hereto. The provisions of this section shall survive the expiration of the Agreement.

Section 7.13 No Third-Party Beneficiaries. Nothing in this Agreement shall confer upon any person, other than the parties hereto and their respective successors and permitted assigns, any rights or remedies under or by reason of this Agreement.

Section 7.14 Progress of Construction/CRA's Representative. Developer shall keep the CRA at all times apprised of the progress of Developer with respect to the Public Improvements and shall deliver written reports of same not less than monthly until completion. The CRA may, from time to time, designate one or more employees or agents to be the CRA's representative ("CRA's Representative") who may, during normal business hours, in a reasonable manner, visit, inspect or appraise the Public Improvements, the materials to be used thereon or therein, contracts, records, plans, specifications and shop drawings relating thereto, whether kept at Developer's offices or at the construction site or elsewhere, and the books, records, accounts and other financial and accounting records of Developer wherever kept, and to make copies thereof as often as may be requested. Further, CRA's Representative shall be advised of, and entitled to attend, meetings among Developer, Developer's representative and the contractor or subcontractor or any subset of this group. Developer will cooperate with the CRA to enable CRA's Representative to conduct such visits, inspections, and appraisals. Developer shall make available to CRA's Representative, upon request, daily log sheets covering the period since the immediately proceeding inspection showing the date, weather, subcontractors on the job, number of workers and status of construction.

Section 7.15 Request for Estoppel. Developer or CRA shall at any time and from time to time, upon not less than ten (10) days prior notice by the other party, execute, acknowledge and deliver to the other a statement in recordable form certifying that this Agreement is unmodified and in full force and effect (or if there have been modifications that the same as so modified is in full force and effect and setting forth such modifications), the dates to which any charges have been paid in advance, if any, the status of progress of the Public Improvements (including whether completed), and, to the knowledge of such party, neither it nor the other party is then in default hereof, it being intended that any such statement of either party, made in accordance with the provisions of this Agreement and delivered pursuant to this Section 7.15, may be relied upon by any prospective purchaser, mortgagee, assignee of any mortgage or assignee of the respective interests in the Project, if any.

FUNDING AGREEMENT BETWEEN THE HOLLYWOOD, FLORIDA COMMUNITY
REDEVELOPMENT AGENCY AND VB HOLLYWOOD HOLDINGS, LLC

IN WITNESS WHEREOF, CRA and DEVELOPER intending to be legally bound, have
executed this Agreement as of the day and year first above written.

CRA

HOLLYWOOD, FLORIDA COMMUNITY
REDEVELOPMENT AGENCY

ATTEST:

BOARD SECRETARY

By: _____
JOSH LEVY, CHAIRPERSON

Approved By: _____
GEORGE R KELLER, JR. CPPT,
EXECUTIVE DIRECTOR, COMMUNITY
REDEVELOPMENT AGENCY

APPROVED AS TO FORM AND LEGAL
SUFFICIENCY:

DAMARIS HENLON
GENERAL COUNSEL

FUNDING AGREEMENT BETWEEN THE HOLLYWOOD, FLORIDA COMMUNITY
REDEVELOPMENT AGENCY AND VB HOLLYWOOD HOLDINGS, LLC

DEVELOPER

VB HOLLYWOOD HOLDINGS, LLC

By, VB HOLLYWOOD PARTNERS, LLC, its sole
member.

By, VB HOLLYWOOD MANAGEMENT, LLC, its sole
manager,

By: _____
ROBERT SURIS, ITS SOLE MANAGER

STATE OF FLORIDA)
COUNTY OF BROWARD)

The foregoing instrument was acknowledged before me by means of ☐ physical
presence or ☐ online notarization, this ____ day of _____, 20____, by Robert
Suris, sole member of VB Hollywood Partners, LLC, sole manager of VB Hollywood
Management, LLC. Such person ☐ is personally known to me or ☐ has produced a
_____ as identification.

Signature of Notary Public – State of Florida

(Print, Type, or Stamp Name)

My Commission Expires: _____

EXHIBIT "A"
SUMMARY OF THE MINUTES
PLANNING AND DEVELOPMENT BOARD
SEPTEMBER 13, 2022

**SUMMARY OF THE MINUTES
PLANNING AND DEVELOPMENT BOARD
September 13, 2022 6:00 P.M.
CITY OF HOLLYWOOD
COMMISSION CHAMBERS – ROOM 219
2600 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020**

A. ADMINISTRATIONS

1. Pledge of Allegiance

The Pledge of Allegiance was said in unison.

2. Roll Call

The meeting of the Planning and Development Board was called to order by Diana Pittarelli on Tuesday, **October 11th, 2022 at 6:02 P.M.** in Room 219, 2600 Hollywood Blvd., Hollywood, Florida, with the following members present:

Ken Crawford
David McLeod
Richard Blattner
Andrew Yanowitz

Diana Pittarelli
Joseph Stadlen
Patrice Duval
Steve Morales

Development Services, Division of Planning and Urban Design Staff present:

Andria Wingett
Laura Gomez
Mawusi Watson
Tasheema Lewis
Carmen Diaz

Assistant Director/Planning Manager
Assistant Planner
Planning Administrator
Associate Planner
Planning Administrator

Also Present:

Richard Doody Senior Assistant City Attorney, Office of the City Attorney
Staff Attorney

3. Approval of the **September 13th** Meeting Minutes.

Approved.

4. Review of projects before the Technical Advisory Committee

Andria Wingett informed the Board of projects before the Technical Advisory Committee.

5. Summary of the City Commission Actions

Andria Wingett informed the Board of projects before the City Commission.

6. Additions, Deletions, Withdrawals, and Continuances

None

7. City Attorney Announcements
Attorney Debra Reese informed the Board of the Quasi-Judicial Proceedings.

B. APPLICATIONS

1. FILE NO.: 20-DP-49
APPLICANT: Housing Program Inc.
LOCATION: 2855 Pierce Street
REQUEST: Design and Site Plan for a 13 unit residential development (Pierce Street Townhomes).

Diana Pittarelli read the Application.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Carmen Diaz, Planning Administrator, made a presentation and answered questions from the Board.

Joseph Kellar, Applicant's Representative was present to answer questions from the Board.

Diana Pittarelli opened the meeting to public comments. Mark Williams, adjacent building tenant, spoke in favor of the development. Diana Pittarelli closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY KEN CRAWFORD AND SECONDED BY JOSEPH STADLEN TO APPROVE THE DESIGN AND SITE PLAN AS SHOWN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

2. FILE NO.: 20-DP-37
APPLICANT: Oron Unger
LOCATION: 1105-1107 S. 19 Avenue
REQUEST: Design and Site Plan for a 18 unit residential development (1105-1107 S 19).

Diana Pittarelli read the Application.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Carmen Diaz, Planning Administrator, made a presentation and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. No public comments were made. Diana Pittarelli closed the public comment portion.

Louis Peroza, Architect and Oron Unger, Applicant, were present to answer questions from the Board.

Board discussion ensued.

MOTION WAS MADE BY KEN CRAWFORD AND SECONDED BY JOSEPH STADLEN TO APPROVE THE DESIGN AS SHOWN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

MOTION WAS MADE BY KEN CRAWFORD AND SECONDED BY RICHARD BLATTNER TO APPROVE SITE PLAN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

3. FILE NO.: 21-DP-49
APPLICANT: CB Jackson
LOCATION: 2037 Jackson Street
REQUEST: Design and Site Plan for a 22 unit residential development (Wesley at Jackson).

Diana Pittarelli read the Application.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Carmen Diaz, Planning Administrator, made a presentation and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. No public comments were made. Diana Pittarelli closed the public comment portion.

Joseph Kellar, Applicant's Representative was present to answer questions from the Board.

Board discussion ensued.

MOTION WAS MADE BY KEN CRAWFORD AND SECONDED BY JOSEPH STATEN TO APPROVE THE DESIGN AND SITE PLAN WITH THE CONDITIONS THAT THE CORNER CHORD PUBLIC ACCESS EASEMENTS SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF PERMITS AND RECORDED IN THE BROWARD COUNTY PUBLIC RECORDS PRIOR TO THE ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF OCCUPANCY (C/O) OR CERTIFICATE OF COMPLETION (C/C), WHICHEVER COMES FIRST; OFF-SITE AND RIGHT-OF-WAY IMPROVEMENTS AND RESTORATION PLANS SHALL BE APPROVED BY THE CITY AT THE TIME OF BUILDING PERMIT; AND THAT THE APPLICANT SHALL PROVIDE A COVENANT RUNNING WITH THE LAND THAT HOLDS THE CITY HARMLESS AGAINST ANY CLAIMS ARISING FROM ACCIDENTS AS A RESULT OF THE TANDEM SPACES #3 AND #8, IN A FORM ACCEPTABLE TO THE CITY. SUCH COVENANT SHALL BE SUBMITTED TO THE CITY PRIOR TO THE ISSUANCE OF PERMITS AND THE CITY SHALL RECORD THE DOCUMENT IN THE PUBLIC RECORDS OF BROWARD COUNTY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLETION (C/C) OR CERTIFICATE OF OCCUPANCY (C/O). MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

4. FILE NO.: 21-DP-50
APPLICANT: CB Taylor LLC.
LOCATION: 1944 Taylor Street
REQUEST: Design and Site Plan for a 22 unit residential development (Wesley at Taylor).

Diana Pittarelli read the Application.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Carmen Diaz, Planning Administrator, made a presentation and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. No public comments were made. Diana Pittarelli closed the public comment portion.

Joseph Kellar, Applicant's Representative was present to answer questions from the Board.

Board discussion ensued.

MOTION WAS MADE BY KEN CRAWFORD AND SECONDED BY JOSEPH STADLEN TO APPROVE THE DESIGN AND SITE PLAN WITH THE CONDITION THAT THE APPLICANT SHALL PROVIDE A COVENANT RUNNING WITH THE LAND THAT HOLDS THE CITY HARMLESS AGAINST ANY CLAIMS ARISING FROM ACCIDENTS AS A RESULT OF THE TANDEM SPACES #3 AND #8, IN A FORM ACCEPTABLE TO THE CITY. SUCH COVENANT SHALL BE SUBMITTED TO THE CITY PRIOR TO THE ISSUANCE OF PERMITS AND THE CITY SHALL RECORD THE DOCUMENT IN THE PUBLIC RECORDS OF BROWARD COUNTY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLETION (C/C) OR CERTIFICATE OF OCCUPANCY (C/O). MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

5. FILE NO.: 22-DP-24
APPLICANT: JS DR Holdings LLC.
LOCATION: 2427 Polk Street
REQUEST: Design and Site Plan for a 29 unit residential development (2427 Polk Street Apartments).

Diana Pittarelli read the Application.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Mawusi Watson, Planning Administrator, made a presentation and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. No Public Comments were made. Diana Pittarelli closed the public comment portion.

Wesley Curran, Applicant was present to answer questions from the Board.

Board discussion ensued.

MOTION WAS MADE BY DAVID MCLEOD AND SECONDED BY KEN CRAWFORD TO APPROVE THE DESIGN AND SITE PLAN AS SHOWN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

6. FILE NO.: 22-DPV-15

APPLICANT: The Estate Companies/Estate Investments Group, LLC.

LOCATION: 2000 Van Buren Street

REQUEST: Variance, Design and Site Plan for a 203 unit residential development (Soleste Village South).

Diana Pittarelli read the Application.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Mawusi Watson, Planning Administrator, made a presentation and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. No public comments were made. Diana Pittarelli closed the public comment portion.

Debbie M. Orshefsky, Applicant's Legal Representative, Nicholas Diaz-Silveira, Development Project Manager and Carmen Diaz, Architect were present to answer questions from the Board.

Board discussion ensued.

MOTION WAS MADE BY JOSEPH STADLEN AND SECONDED BY DAVID MCLEOD TO APPROVE THE VARIANCE. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

MOTION WAS MADE BY STEVE MORALES AND SECONDED BY KEN CRAWFORD TO APPROVE THE DESIGN WITH THE CONDITION THAT THE NORTHEAST CORNER HAVE STORE FRONT GLASS, AS DEPICTED IN THE COLOR ELEVATIONS. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

MOTION WAS MADE BY DAVID MCLEOD AND SECONDED BY RICHARD BLATTNER TO APPROVE THE SITE PLAN WITH THE CONDITIONS THAT A UNITY OF TITLE OR UNITY OF CONTROL, IN A FORM ACCEPTABLE TO THE CITY ATTORNEY, BE SUBMITTED PRIOR TO THE ISSUANCE OF PERMITS AND RECORDED IN THE BROWARD COUNTY PUBLIC RECORDS, BY THE CITY OF HOLLYWOOD, PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY (C/O) OR CERTIFICATE OF COMPLETION (C/C); THAT THE APPLICANT SHALL SUBMIT A DECLARATION OF RESTRICTIVE COVENANTS GRANTING THE RESIDENTS OF THE DEVELOPMENT EXCLUSIVE USE OF 11 PARKING SPACES AT THE "SOLESTE NORTH VILLAGE" PROJECT, IN A FORM ACCEPTABLE TO THE CITY ATTORNEY, THAT WILL BE RECORDED BY THE CITY IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLETION OR IN THE ALTERNATIVE SUBMIT A SIMILAR AGREEMENT/DOCUMENT THAT MEETS THE REQUIREMENTS SET FORTH IN ARTICLE 7 OF THE CITY'S ZONING AND LAND DEVELOPMENT REGULATIONS AND EXPRESSLY SETS FORTH THAT THE REQUIRED PARKING FOR THE PROJECT IS MET UNDER SAID AGREEMENT/DOCUMENT WHICH SHALL BE RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY AND CANNOT BE RELEASED WITHOUT CITY APPROVAL; AND THE APPLICANT SHALL COORDINATE ON-SITE AND OFF-SITE ROADWAY, SIDEWALK AND STREETScape IMPROVEMENTS, SUCH AS BUT NOT LIMITED TO, MILLING AND RESURFACING, HARDSCAPE, LANDSCAPE, LIGHTING AND SITE FURNISHINGS ALONG THE ADJACENT RIGHT-OF-WAY WITH THE ENGINEERING DEPARTMENT AND COMMUNITY

REDEVELOPMENT AGENCY. THESE IMPROVEMENTS SHALL INCLUDE AN ADA EVALUATION OF THE CONDITIONS IN ALL RIGHTS-OF-WAY SURROUNDING THE SUBJECT PROPERTY. OFF-SITE AND RIGHT-OF-WAY IMPROVEMENTS AND RESTORATION PLANS SHALL BE APPROVED BY THE CITY PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

7. FILE NO.: 22-DPV-14

APPLICANT: VB Hollywood Holdings, LLC/The Estates Companies

LOCATION: 2001 Van Buren Street

REQUEST: Variances, Design and Site Plan for a 300 unit residential development (Soleste Village North)

Diana Pittarelli read the Application.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Mawusi Watson, Planning Administrator, made a presentation and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. No Public Comments were made. Diana Pittarelli closed the public comment portion.

Debbie M. Orshefsky, Applicant's Legal Representative, Nicholas Diaz-Silveira, Development Project Manager and Carmen Diaz, Architect were present to answer questions from the Board.

Board discussion ensued.

MOTION WAS MADE BY JOSEPH STADLEN AND SECONDED BY KEN CRAWFORD TO APPROVE THE VARIANCES. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

MOTION WAS MADE BY STEVE MORALES AND SECONDED BY KEN CRAWFORD TO APPROVE DESIGN WITH THE CONDITION THAT THE NORTHEAST CORNER INCLUDE STORE FRONT GLASS, AS DEPICTED IN THE COLOR ELEVATIONS. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

MOTION WAS MADE BY DAVID MCLEOD AND SECONDED BY KEN CRAWFORD TO APPROVE THE SITE PLAN WITH THE CONDITIONS THAT A UNITY OF TITLE OR UNITY OF CONTROL, IN A FORM ACCEPTABLE TO THE CITY ATTORNEY, BE SUBMITTED PRIOR TO THE ISSUANCE OF PERMITS AND RECORDED IN THE BROWARD COUNTY PUBLIC RECORDS, BY THE CITY OF HOLLYWOOD, PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY (C/O) OR CERTIFICATE OF COMPLETION (C/C); A DECLARATION OF RESTRICTIVE COVENANTS, OR OTHER SIMILAR AGREEMENT, GRANTING EXCLUSIVE USE OF ELEVEN (12) PARKING SPACES TO RESIDENTS OF THE "SOLESTE VILLAGE SOUTH" PROJECT (CITY FILE 22-DPV-15), IN A FORM ACCEPTABLE TO THE CITY ATTORNEY, SHALL BE RECORDED IN THE BROWARD COUNTY PUBLIC RECORDS, BY THE CITY OF HOLLYWOOD, PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY (C/O) OR CERTIFICATE OF COMPLETION (C/C); THE APPLICANT SHALL COORDINATE ON-SITE AND OFF-SITE ROADWAY, SIDEWALK AND STREETScape IMPROVEMENTS, SUCH AS BUT NOT LIMITED TO, MILLING AND RESURFACING, HARDSCAPE, LANDSCAPE, LIGHTING AND SITE FURNISHINGS ALONG THE

ADJACENT RIGHT-OF-WAY WITH THE ENGINEERING DEPARTMENT AND COMMUNITY REDEVELOPMENT AGENCY. THESE IMPROVEMENTS SHALL INCLUDE AN ADA EVALUATION OF THE CONDITIONS IN ALL RIGHTS-OF-WAY SURROUNDING THE SUBJECT PROPERTY. OFF-SITE AND RIGHT-OF-WAY IMPROVEMENTS AND RESTORATION PLANS SHALL BE APPROVED BY THE CITY PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT, AND THAT THAT THE APPLICANT WORK WITH STAFF TO CREATE TURNAROUND LOCATIONS ON THE GROUND LEVEL (SHEET A100), WHICH MAY RESULT IN THE LOSS OF TWO PARKING SPACES. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

8. FILE NO.: 21-DP-43

APPLICANT: City of Hollywood / University Station I, LLC. (aka Housing TrustGroup)

LOCATION: 309 N. 21st Avenue, 2031 Polk Street, and 421 N. 21st Avenue

REQUEST: Design and Site Plan for a mixed-use development with 216 units and approximately 426,000 square feet of commercial space (University Station).

Diana Pittarelli read the Application.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Andria Wingett, Assistant Director/Planning Manager, made a presentation and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. No Public Comments were made. Diana Pittarelli closed the public comment portion.

Rodrigo Paredes, Applicant's Representative was present to answer questions from the Board.

Board discussion ensued.

MOTION WAS MADE BY RICHARD BLATTNER AND SECONDED BY KEN CRAWFORD TO FORWARD A RECOMMENDATION OF APPROVAL TO THE CITY COMMISSION FOR THE DESIGN. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

MOTION WAS MADE BY JOSEPH STADLEN AND SECONDED BY KEN CRAWFORD TO FORWARD A RECOMMENDATION OF APPROVAL TO THE CITY COMMISSION FOR THE SITE PLAN WITH THE WITH THE CONDITIONS THAT, ONCE APPROVED, IT SHALL ONLY BECOME EFFECTIVE UPON APPROVAL AND RECORDATION OF THE PLAT FOR THE SUBJECT PROPERTY (CITY FILE NO. P 21-02) IN THE PUBLIC RECORDS OF BROWARD COUNTY; AT THE TIME OF BUILDING PERMIT SUBMITTAL, THE APPLICANT SHALL PROVIDE A COPY OF THE RECORDED PLAT FROM BROWARD COUNTY, MAINTENANCE AGREEMENT FOR THE GROUND LEASE TENANT TO MAINTAIN SIDEWALKS, CURBING ETC. ALONG THE ALLEY EAST OF N. 21ST AVENUE, RIGHT-OF-WAY LICENSE AGREEMENT FOR PEDESTRIAN BRIDGE AT TAYLOR STREET AND ALLEY BETWEEN THE GARAGE AND THE SOUTH TOWER, BROWARD COUNTY HIGHWAY ENGINEERING AND CONSTRUCTION APPROVAL AND STAMPED APPROVED PLANS FOR WORK ON 21ST AVENUE. APPROVAL SHALL ADDRESS HOW MAINTENANCE OF SIDEWALKS AND ALL OTHER IMPROVEMENTS PARTIALLY WITHIN THE COUNTY RIGHT-OF-WAY AND PARTIALLY ON PRIVATE PROPERTY WILL BE ADDRESSED, BROWARD COUNTY TRAFFIC ENGINEERING APPROVAL FOR

MID-BLOCK CROSSING, PLANS AND SPECIFICATIONS FOR INSTALLATION BY THE APPLICANT OF PEDESTRIAN LEVEL STREET LIGHTING ALONG THE ALLEY EAST OF N. 21ST AVENUE FROM POLK STREET. TO FILLMORE STREET, PLANS AND SPECIFICATIONS FOR INSTALLATION BY THE APPLICANT OF PEDESTRIAN LEVEL STREET LIGHTING ALONG N. 20TH AVENUE FROM POLK STREET TO FILLMORE STREET, ADA EVALUATION FOR THE CONDITIONS WITHIN THE RIGHT-OF-WAY AROUND THE PROJECT SITE, AND DDCV AND WATER METERS AT THE SOUTHEAST CORNER OF THE SOUTH TOWER ARE IN CONFLICT WITH THE PROPOSED TREE/LANDSCAPING. SHIFT THE DDCV AND WATER METERS AND PLACE NEAR THE BACK OF HOUSE AREA INSTEAD OF AT THE FRONT OF THE RETAIL AREA. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

9. FILE NO.: 20-S-48

APPLICANT: Richard & Kathy Lesser a/k/a Richard & Kathy Trustee

LOCATION: 2201 & 2207 Hayes Street

REQUEST: Extension of Resolution 20-S-48, Special Exception for the expansion of a lawful nonconforming use within a nonconforming building for the property located at 2201 Hayes Street (Hialeah Products).

Diana Pittarelli read the Application.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Tasheema Lewis, Associate Planner, made a presentation and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. No Public Comments were made. Diana Pittarelli closed the public comment portion.

Kathy and Richard Lesser, Applicants were present to answer questions from the Board.

Board discussion ensued.

MOTION WAS MADE BY RICHARD BLATTNER AND SECONDED BY KEN CRAWFORD TO APPROVE THE EXTENSION. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

10. FILE NO.: 20-V-51

APPLICANT: Ephram & Limor Yeoshoua..

LOCATION: 316 Walnut Street

REQUEST: Extension of Resolution 20-V-51, Variance to allow decreases in the front and rear yard setbacks, deviation of required encroachments, and reduce number of required parking spaces).

Diana Pittarelli read the Application.

Diana Pittarelli asked Staff, the Applicant, and members of the public, if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Tasheema Lewis, Associate Planner, made a presentation and answered questions from the Board.

Diana Pittarelli opened the meeting to public comments. No Public Comments were made. Diana Pittarelli closed the public comment portion.

Joseph Kellar, Applicant's Representative was present to answer questions from the Board.

Board discussion ensued.

MOTION WAS MADE BY KEN CRAWFORD AND SECONDED BY RICHARD BLATTNER TO APPROVE THE EXTENSION AND VARIANCE. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

C. OLD BUSINESS

None

D. NEW BUSINESS

Debra Reese announced it was her last board meeting, the Board members unanimously thanked her for her many years of dedication and service, and wished her the best luck in her future endeavors.

E. ADJOURNMENT

The meeting adjourned at **9:28 P.M.**

EXHIBIT "B"
FILE NO. 22-DPV-14
APPROVED SITE PLAN AND APPLICATION PACKAGE

ATTACHMENT A

Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 09/15/2022

Location Address: 2001 Van Buren Street

Lot(s): 8, 9, 10, 11, 12, 13, 14, 15, 16, 17 Block(s): 7 Subdivision: Hollywood

Folio Number(s): 514215011221; 514215011220; 514215011210; 514215011200; 514215011190

Zoning Classification: PS-3, DH-3 Land Use Classification: Regional Activity Center (RAC)

Existing Property Use: combination of uses: restaurant; office; hotel; residential Sq Ft/Number of Units: N/A

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development

Explanation of Request: Variances. See attached Statement of Conformance with Variance Criteria for details.

Number of units/rooms: 300 apartment rental units Sq Ft: 51,151 SF Survey Net Lot Area

Value of Improvement: \$ 56 011 100 Estimated Date of Completion: Est. June 2025

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: VB Hollywood Holdings, LLC [The Estate Companies]

Address of Property Owner: 6201 SW 70 Street, Suite 200, South Miami, FL 33143

Telephone: (305)663-1002 Fax: _____ Email Address: ndiaz@eigfl.com

Name of Consultant Representative/Tenant (circle one): Debbie Orshefsky / Holland & Knight LLP

Address: 515 East Las Olas Blvd, Suite 1200, Ft. Lauderdale, FL 33301 Telephone: 954.468.7871

Fax: 954.463.2030 Email Address: debbie.orshefsky@hklaw.com

Date of Purchase: 03.15.2021 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: N/A

Address: N/A

Email Address: N/A

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 9/30/22

PRINT NAME: Robert Suris

Date: 9/30/22

Signature of Consultant/Representative: _____

Date: 10/3/22

PRINT NAME: Debbie Orshefsky

Date: 10/3/22

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Planning + Development Board Review to my property, which is hereby made by me or I am hereby authorizing Debbie Orshefsky to be my legal representative before the Planning + Development (Board and/or Committee) relative to all matters concerning this application.

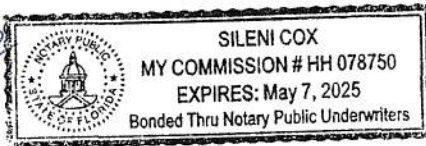
Sworn to and subscribed before me

this 30th day of September 2022

Notary Public

State of Florida

My Commission Expires: 5/17/25 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Signature of Current Owner

Robert + Suris

Print Name

SOLESTE VILLAGE NORTH
CITY OF HOLLYWOOD, FLORIDA
TAC APPLICATION
MAY-2022



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LANDSCAPE ARCHITECT:
WILLIAM A. EAGER IV, A.S.L.A. LA1187
EGS2 CORP. LANDSCAPE ARCHITECTURE
14121 SW 119 AVE, MIAMI, FL 33186
(P) 305 274 2702 EXT 15 (F) 305 274 2887
BILL@SIEGERSUAREZ.COM

ARCHITECT:
CARMEN T. DIAZ, AR 96290
CAYMART DESIGN, INC.
5001 SW 74TH COURT, SUITE 100 MIAMI, FL 33155
TEL. 305-669-5040 www.caymartdesign.com

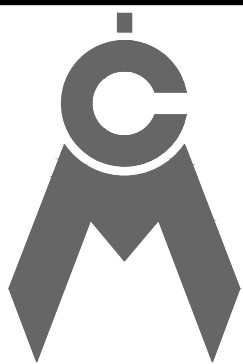
CIVIL ENG:
CRAVEN THOMPSON & ASSOCIATES
3563 NW 53rd STREET, FORT LAUDERDALE,
FLORIDA 33309
(P) 954-739-6400 (F) 954-739-6409

TAC SUBMITTALS:
05/02 MEETING-DEADLINE IS 04/18 PRIOR TO 11AM.
05/16 MEETING-DEADLINE IS 05/02 PRIOR TO 11AM.
06/06 MEETING-DEADLINE IS 05/16 PRIOR TO 11AM.
06/20 MEETING-DEADLINE IS 06/06 PRIOR TO 11AM.
07/05 MEETING-DEADLINE IS 06/20 PRIOR TO 11AM

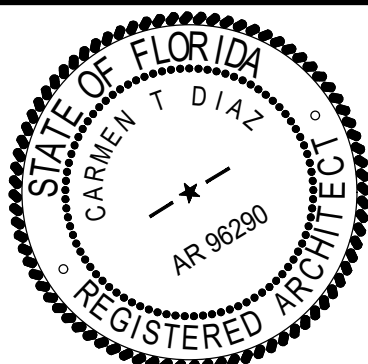
PROJECT No.:	REV. #	DATE
	1	
	2	
DESIGNED BY:	O.M.	3
		4
DRAWN BY:		5
		6
CHECKED BY:	O.M.	7
		8
ISSUE DATE:	11-12-2021	9
		10
DRAWING SCALE:	AS SHOWN	

SOLESTE VILLAGE NORTH
VAN BUREN STREET, HOLLYWOOD FL. 33062

CAYMARES MARTIN
Architectural & Engineering Design
AA 26001552 CA 27136
5001 SW 74th Ct, Ste 100
Miami, FL 33155
Ph: (305) 669-5040 Fax:
(305) 669-5041
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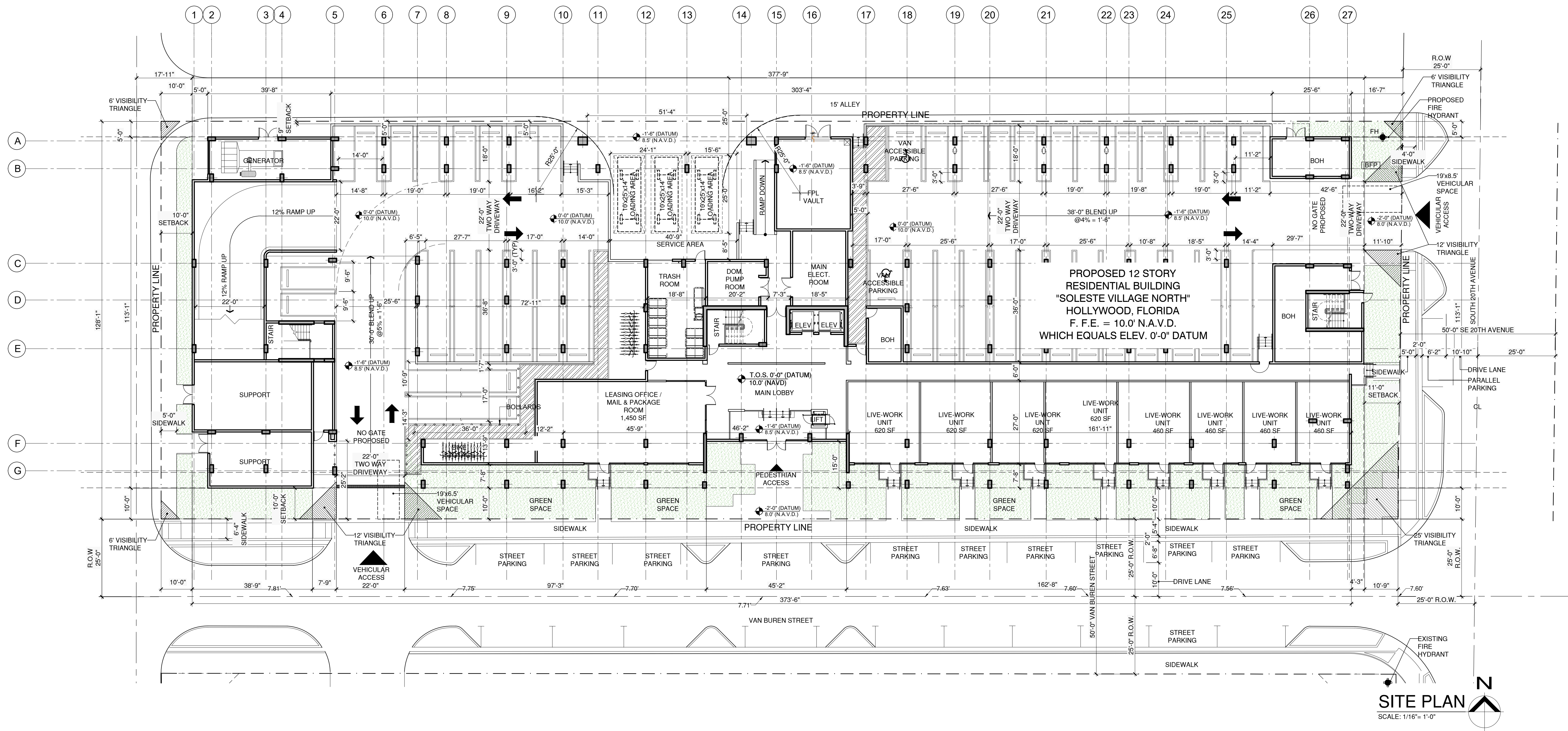


ARCH. CARMEN T. DIAZ
LIC # AR 96290
5001 S.W. 74th COURT
SUITE 100
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TEL. (305) 669-5040
FAX (305) 669-5041



SHEET No:

A-000



NOTES:

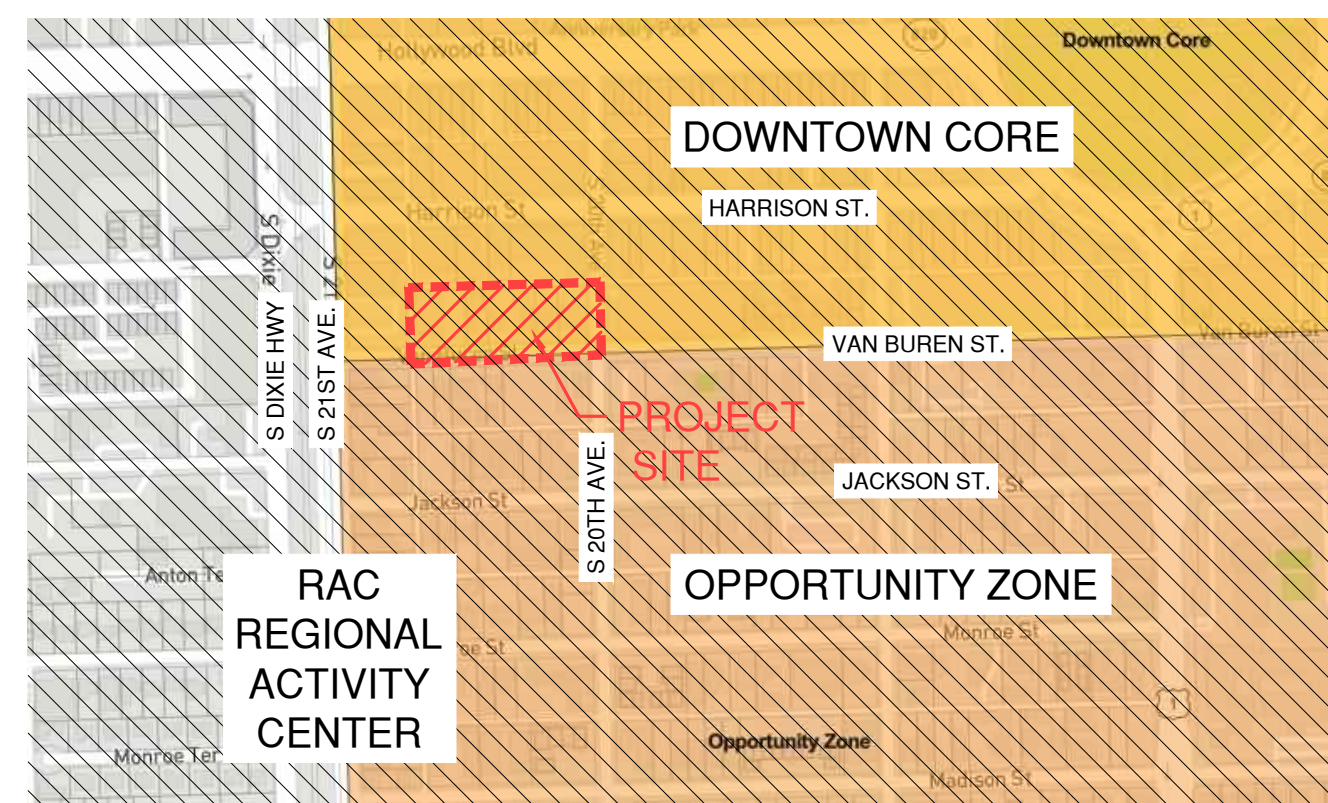
- SIGNAGE:**
1. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.
 2. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.

- LIGHTING:**
1. MAXIMUM ALLOWED 0.5 FOOT-CANDLE LEVEL AT ALL PROPERTY LINES
 2. PROJECT WILL COMPLY WITH THE TURTLE LIGHTING ORDINANCE

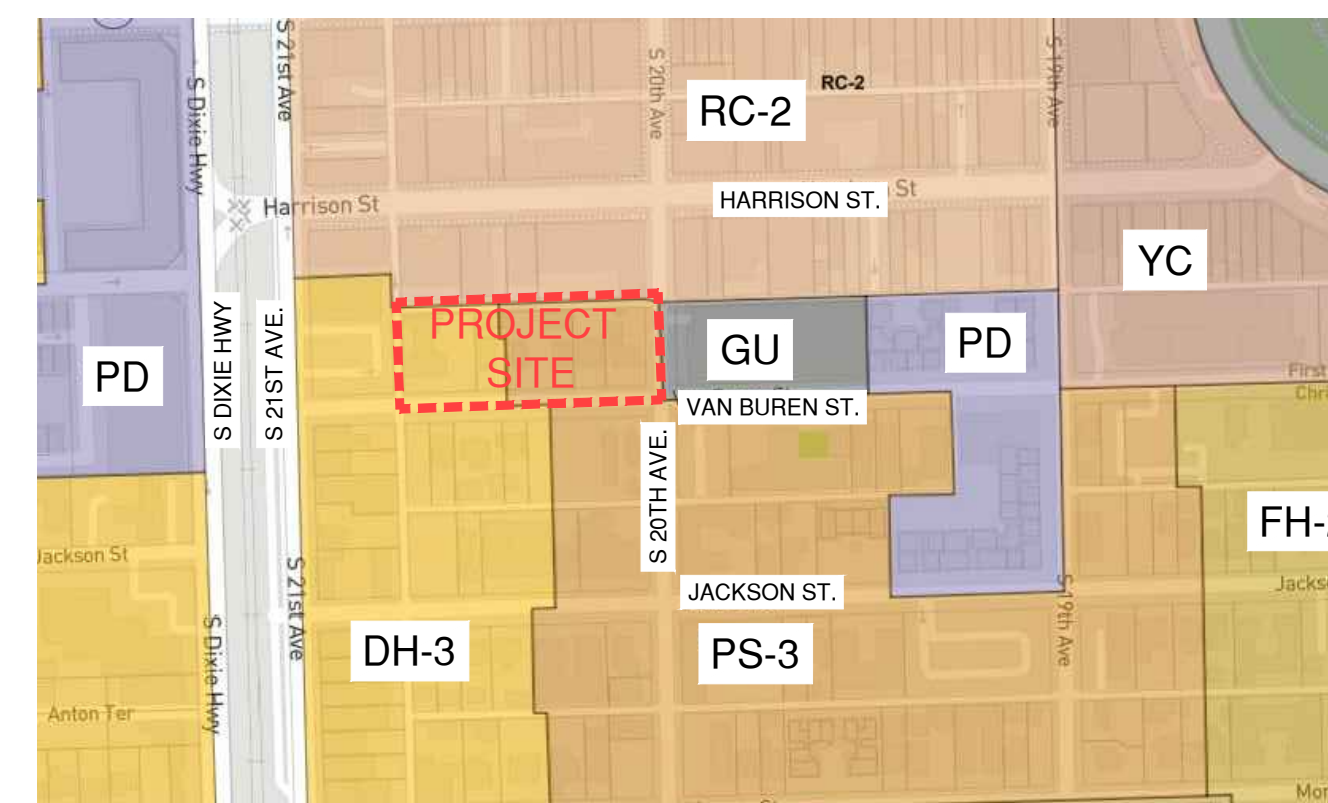
- GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY:**
1. PROJECT WILL REQUIRE A THIRD PARTY GREEN BUILDING CERTIFICATION SINCE THIS PROJECT HAS MORE THAN 20,000 SQUARE FEET OF TOTAL FLOOR AREA. USGBC'S LEED CERTIFICATION OR FGBC CERTIFICATION ARE THE MINIMUM STANDARDS.

LEGAL DESCRIPTION:

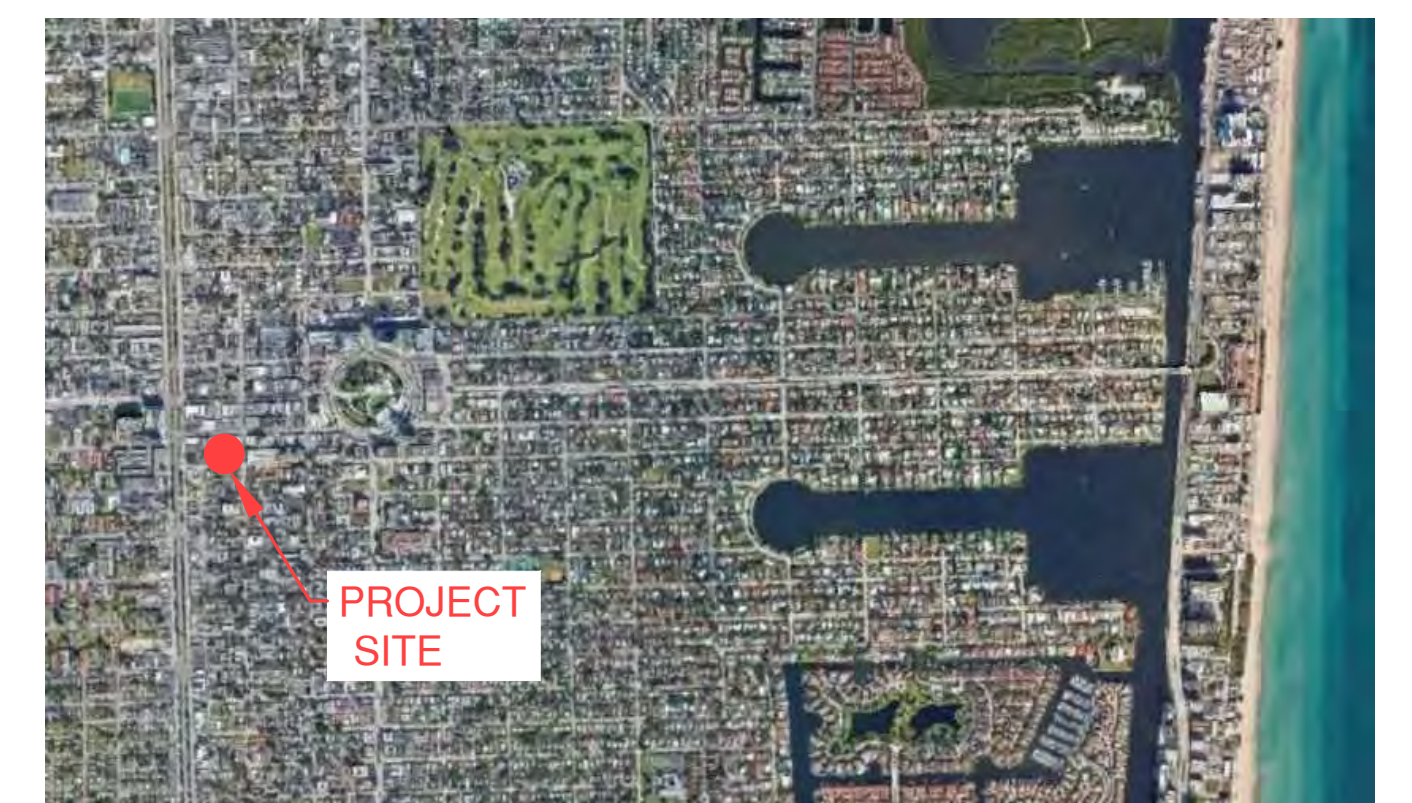
LOTS 8, 9 AND 10, BLOCK 7, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
LOT 11 AND THE SOUTH 85 FEET OF THE WEST 10 FEET OF LOT 12 BLOCK 7, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
LOTS 15, 16 AND 17, LESS THE WEST 12.33 FEET OF LOT 16, IN BLOCK 7 OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
LOTS 13 AND 14, AND ALL OF LOT 12 EXCEPTING THEREFROM THE SOUTH 85 FEET OF THE WEST 10 FEET OF SAID LOT 12, IN BLOCK 7, OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



OVERLAY ZONING MAP
N.T.S.



ZONING MAP
N.T.S.



LOCATION MAP
N.T.S.

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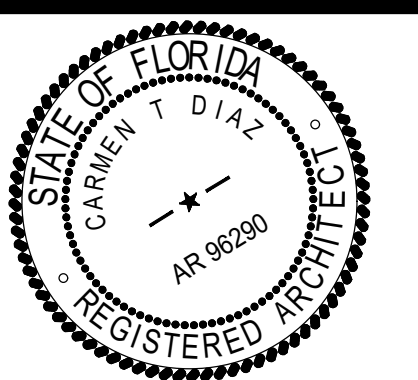
SOLESTE VILLAGE NORTH

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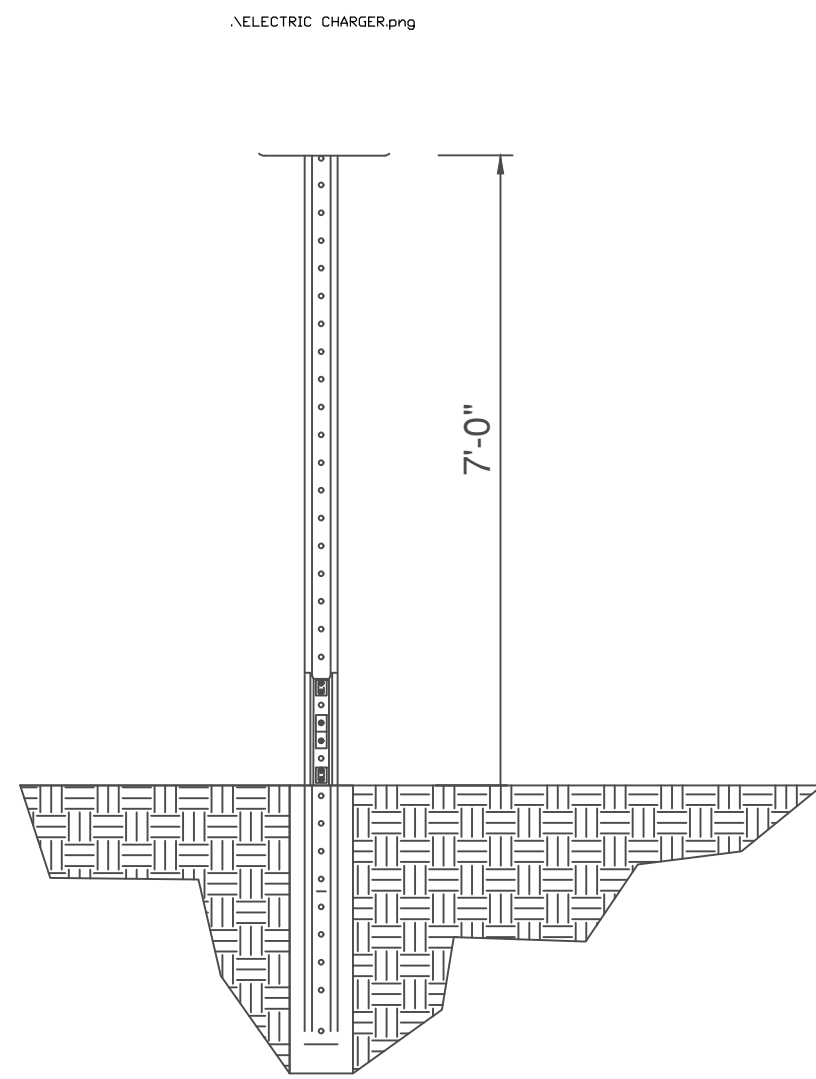


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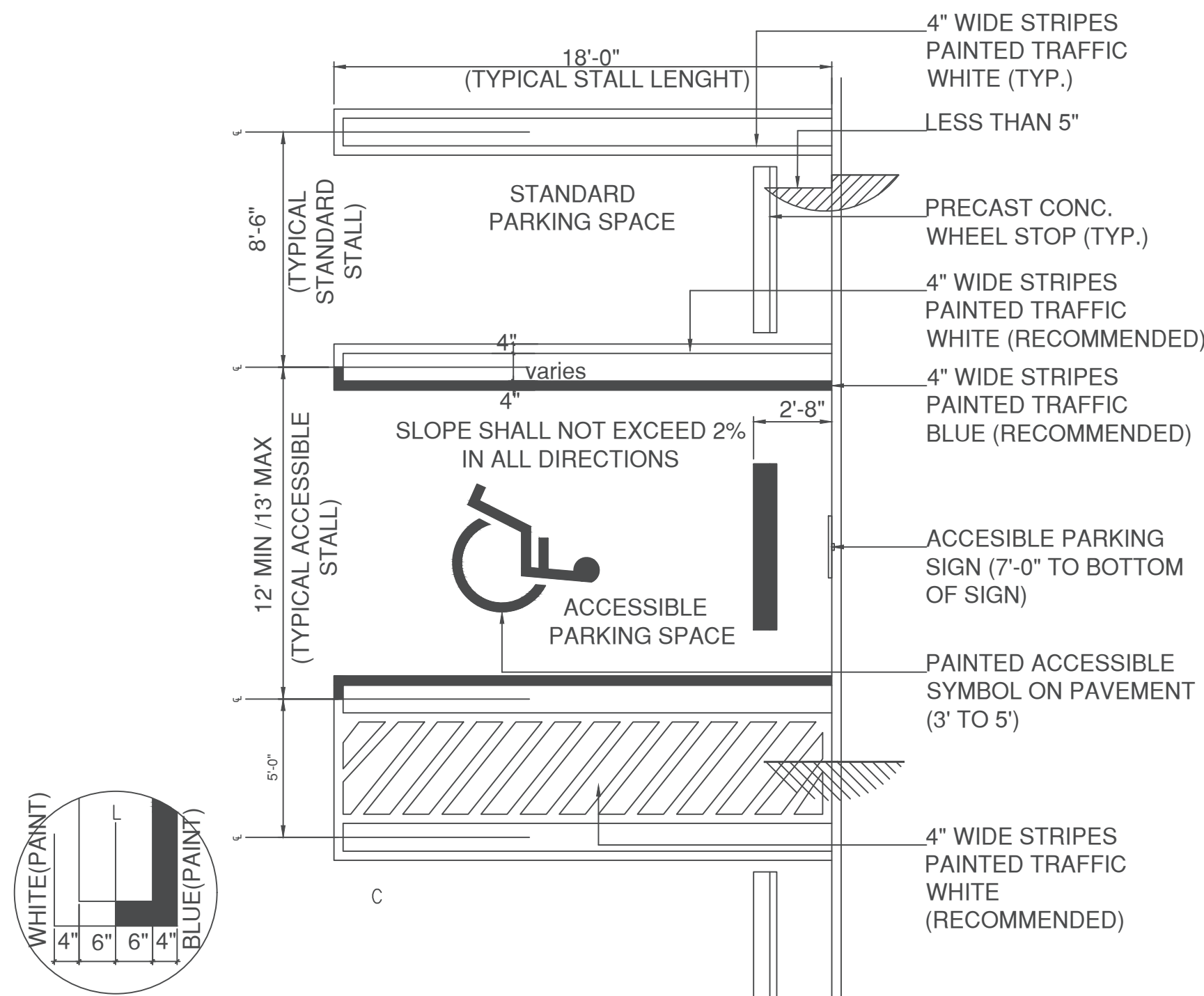


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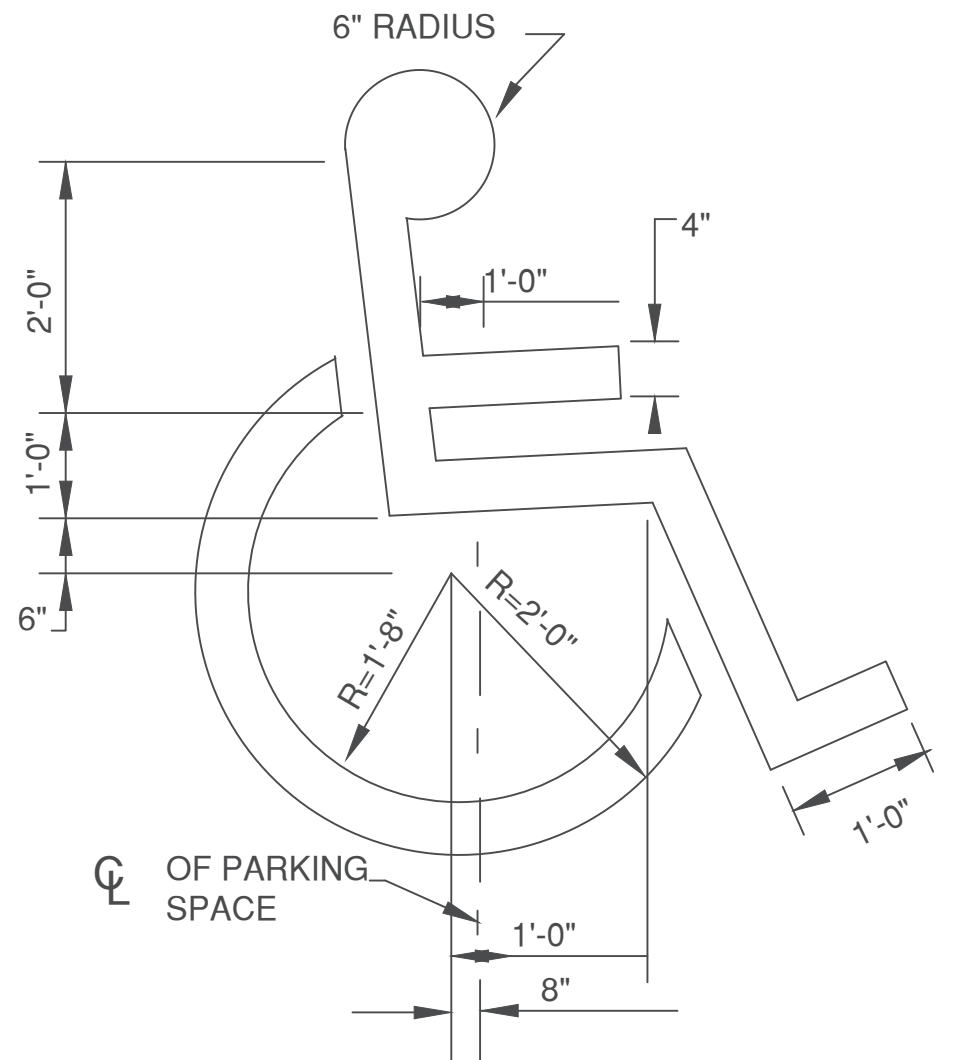
A-100



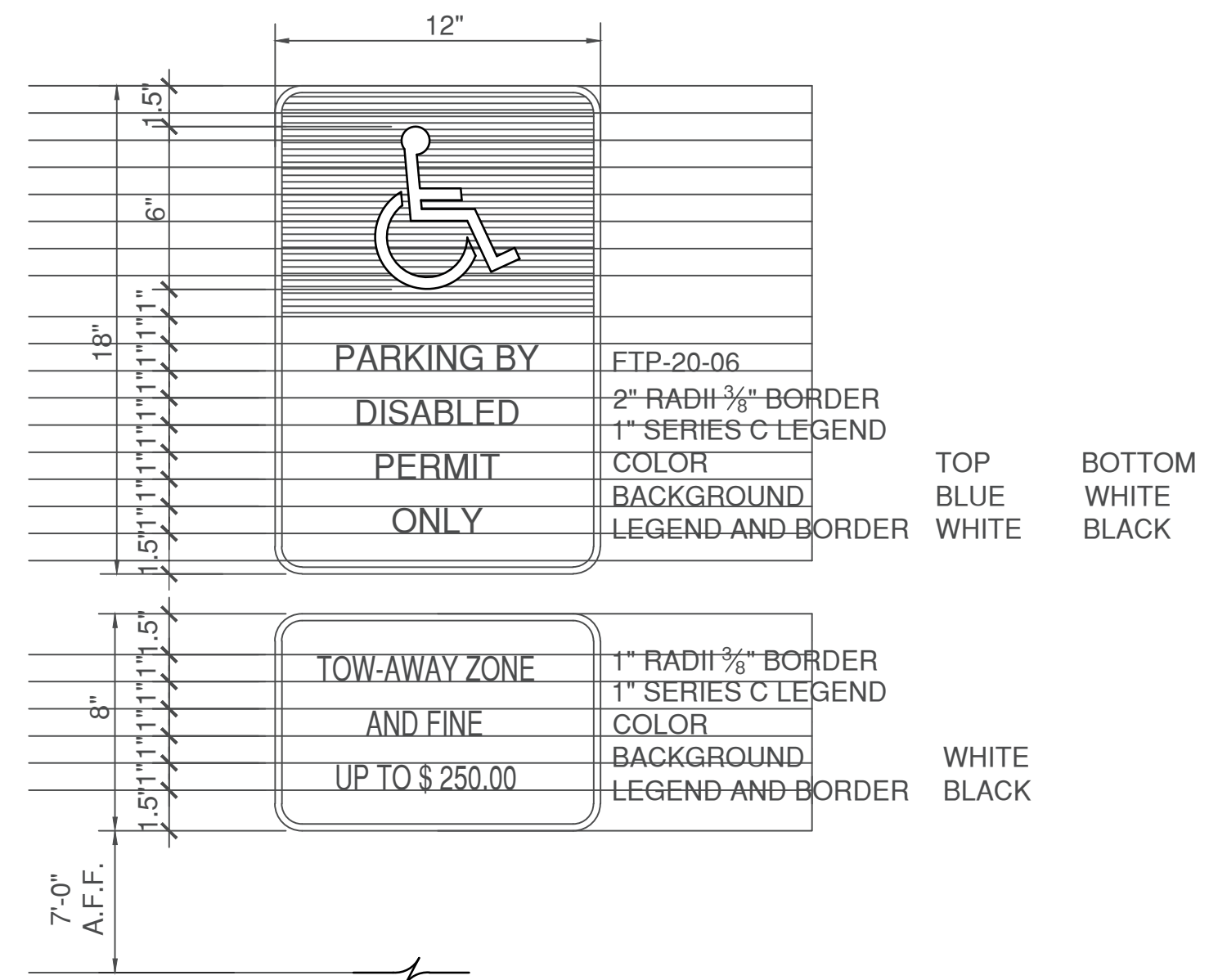
1 EVSE CHARCHING STATION SIGN
A-102 N.T.S.



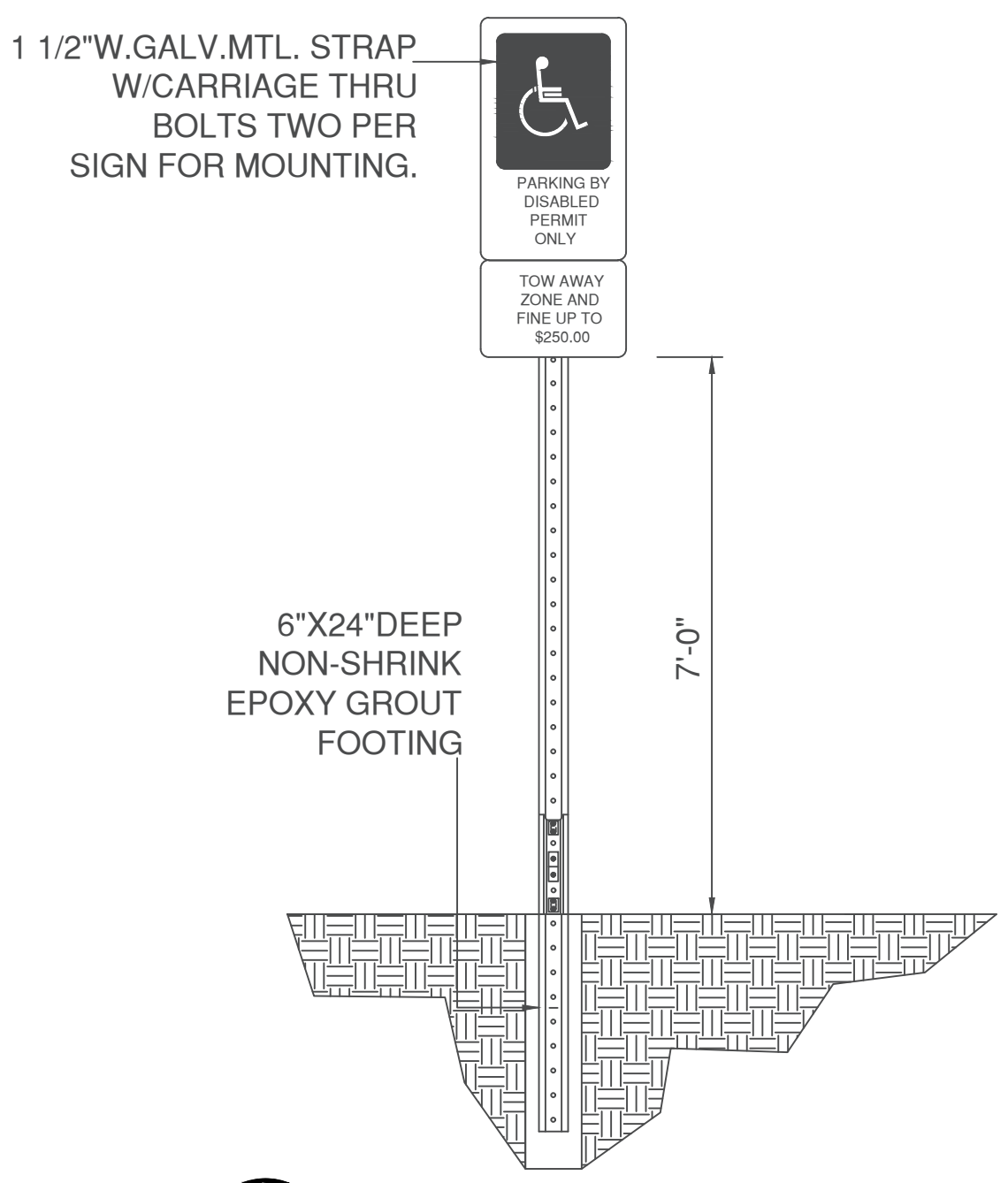
2 TYPICAL PARKING STALLS
A-102 N.T.S.



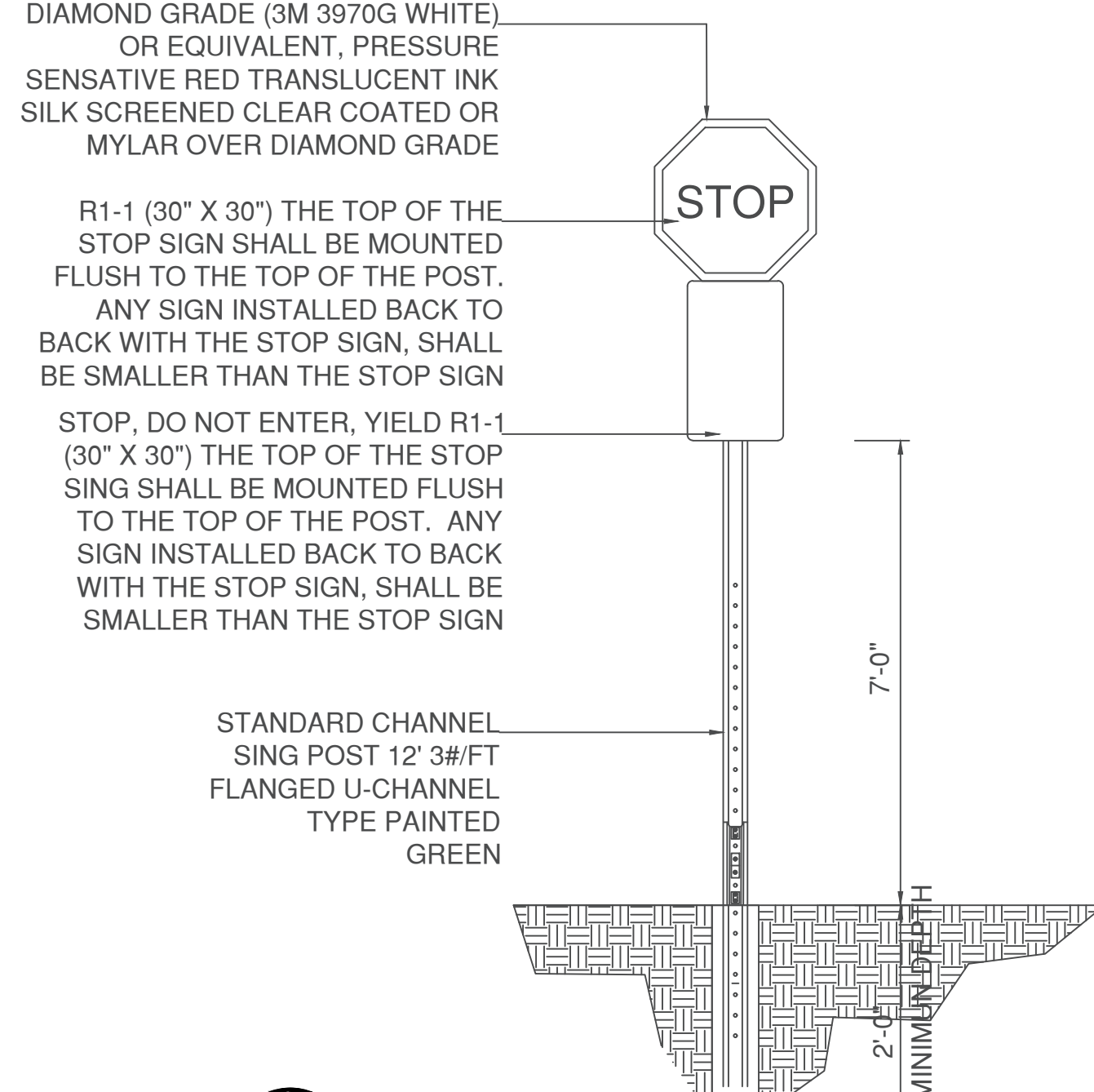
3 TYPICAL HANDICAP SYMBOL
A-102 N.T.S.



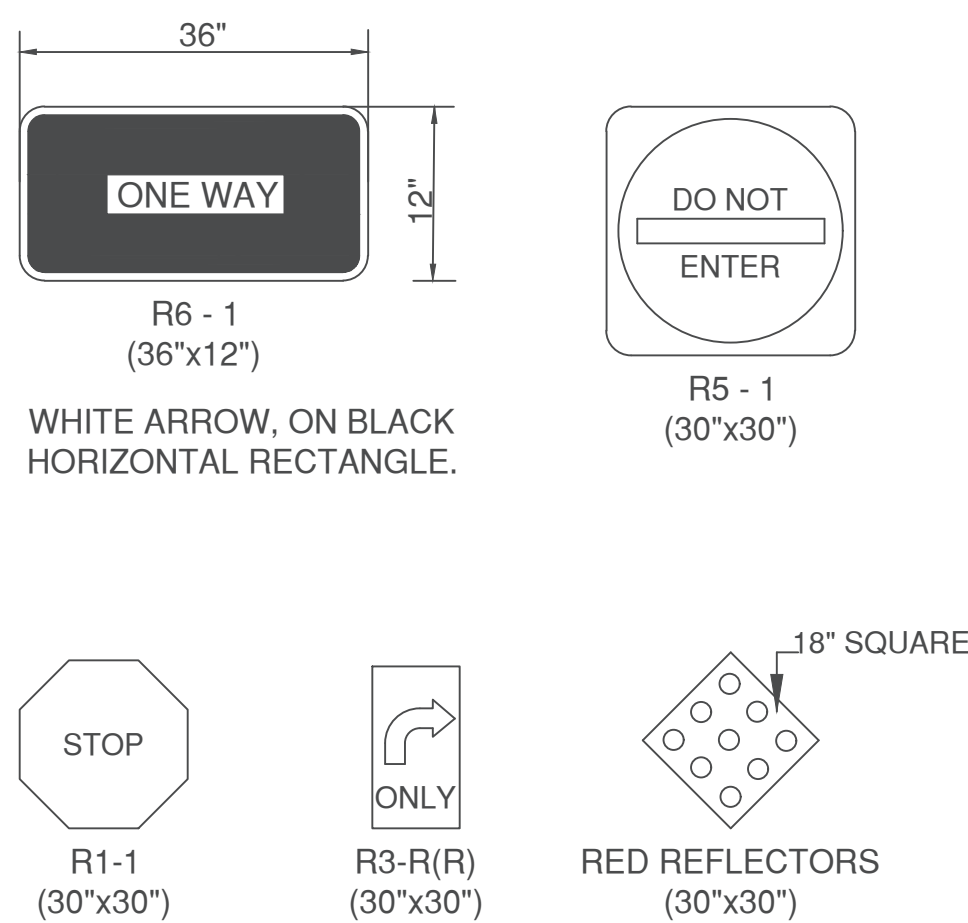
4 HANDICAP SIGN DETAIL PARKING GARAGE
A-102 N.T.S.



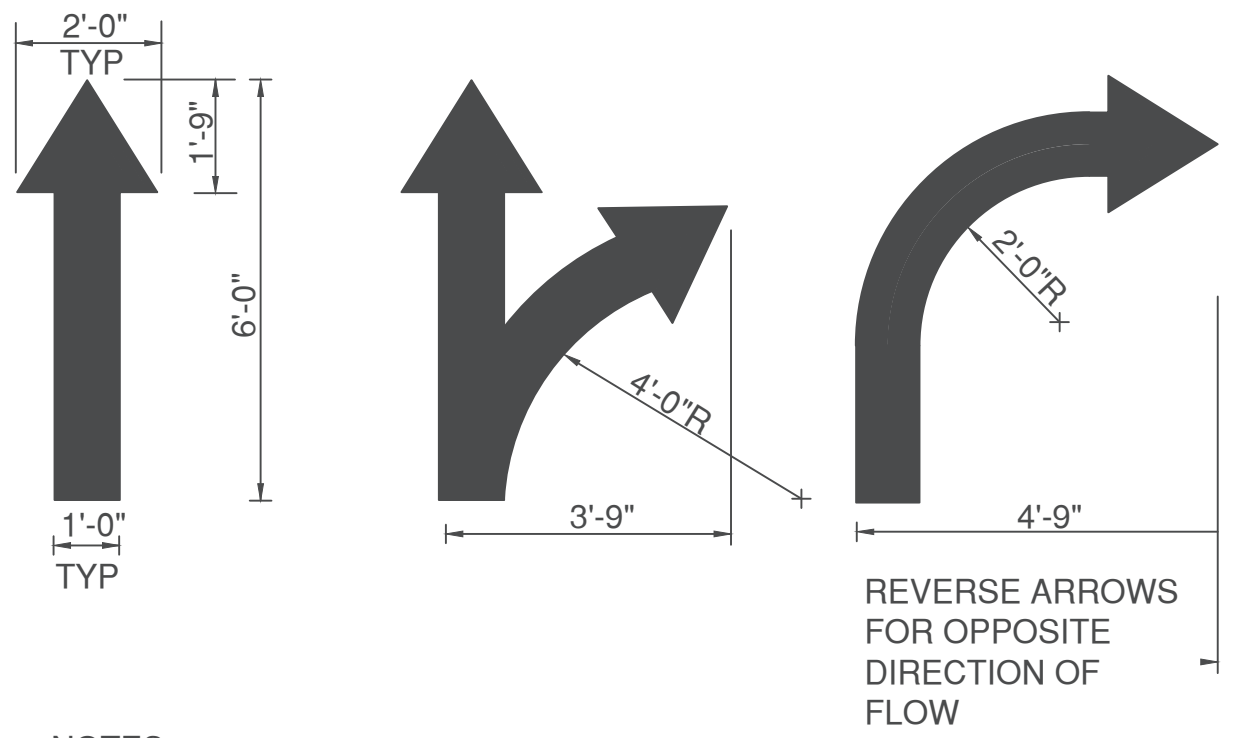
5 HANDICAP PARKING SIGN
A-102 N.T.S.



6 TYPICAL STOP SIGN
A-102 N.T.S.



7 TYPICAL TRAFFIC SIGNS
A-102 N.T.S.



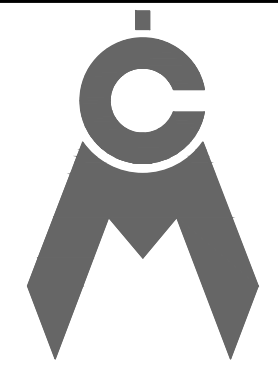
8 TYPICAL DIRECTIONAL ARROWS DETAILS
A-102 N.T.S.

PROJECT No.:	REV. #	DATE
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CHECKED BY: O.M.	3	
ISSUE DATE: 11-12-2021	4	
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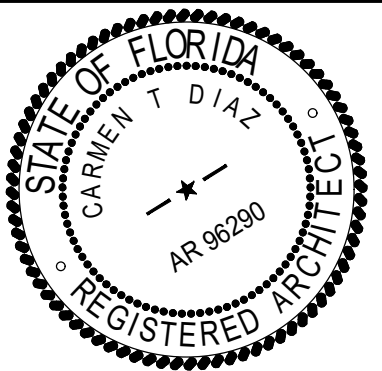
SOLESTE VILLAGE NORTH

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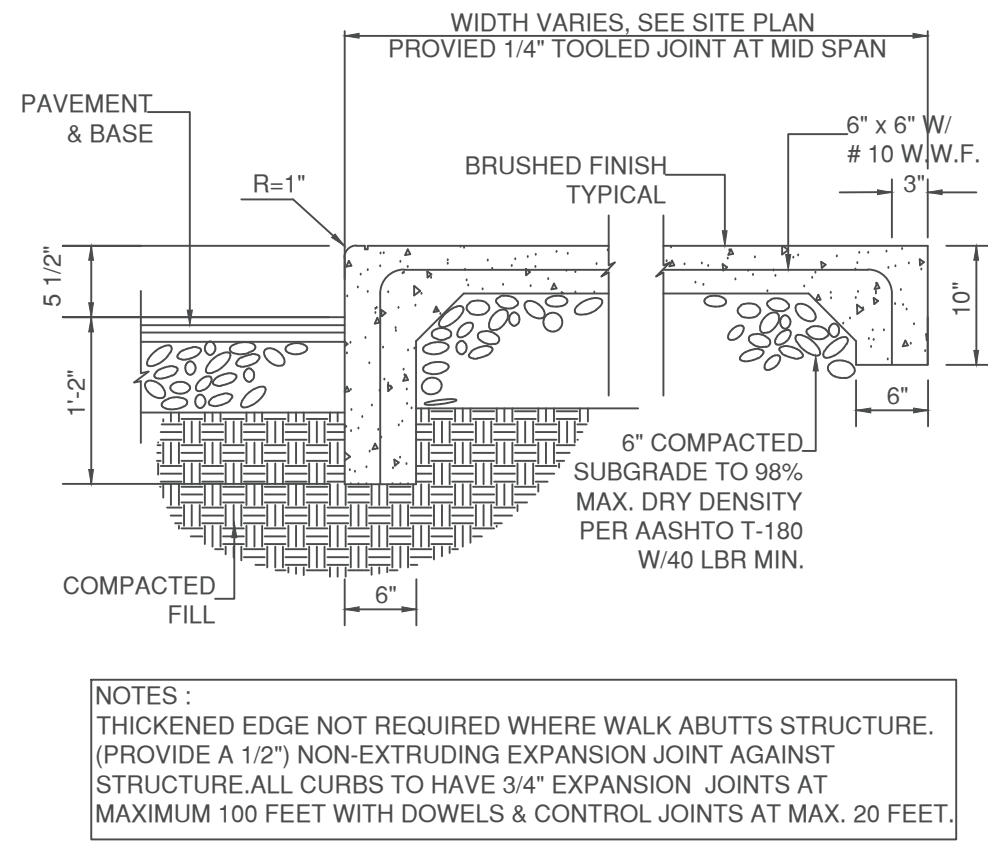


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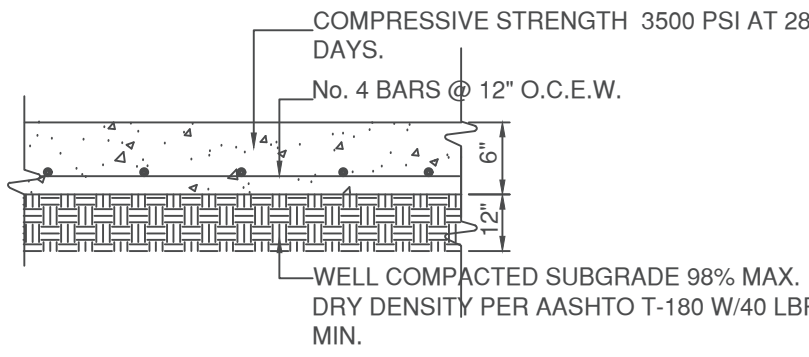


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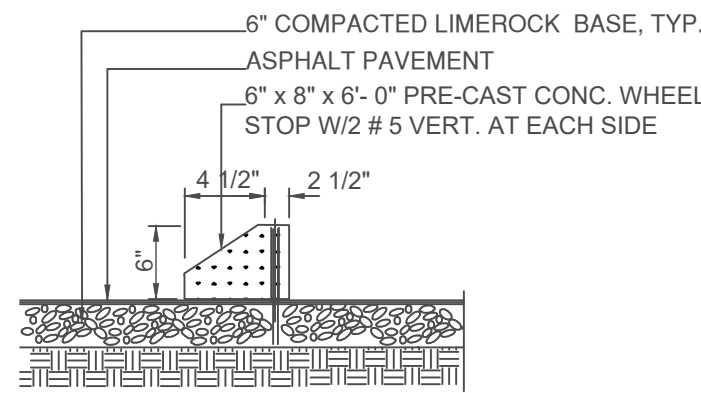
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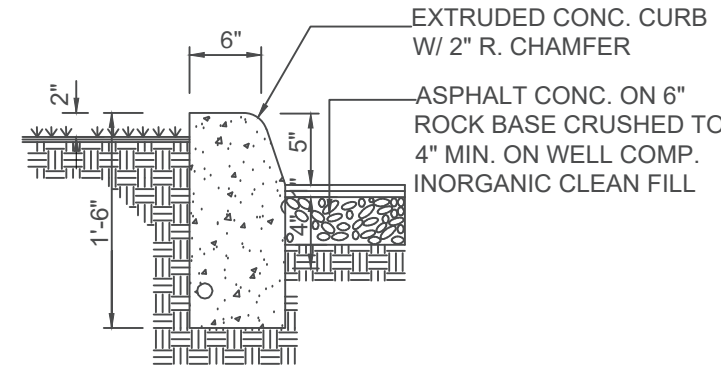
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A-103
TYPICAL PERIMETER SIDEWALK
N.T.S.



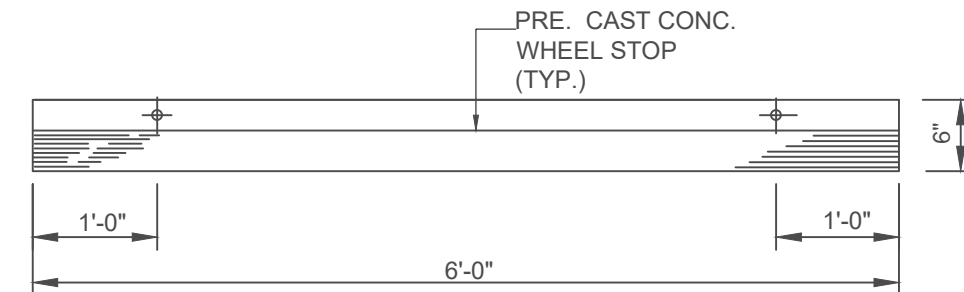
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A-103
TYPICAL CONCRETE PAVEMENT DETAIL
N.T.S.



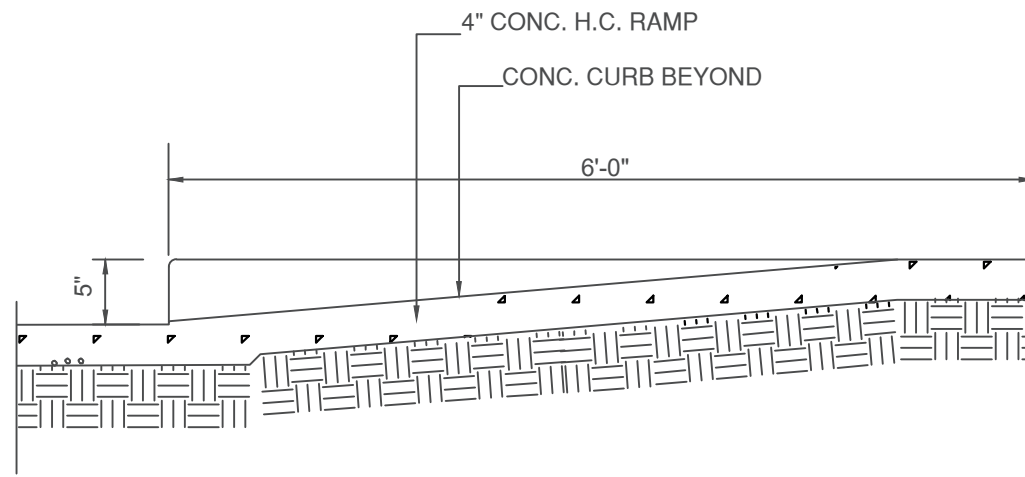
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A-103
WHEEL STOP SECTION
N.T.S.



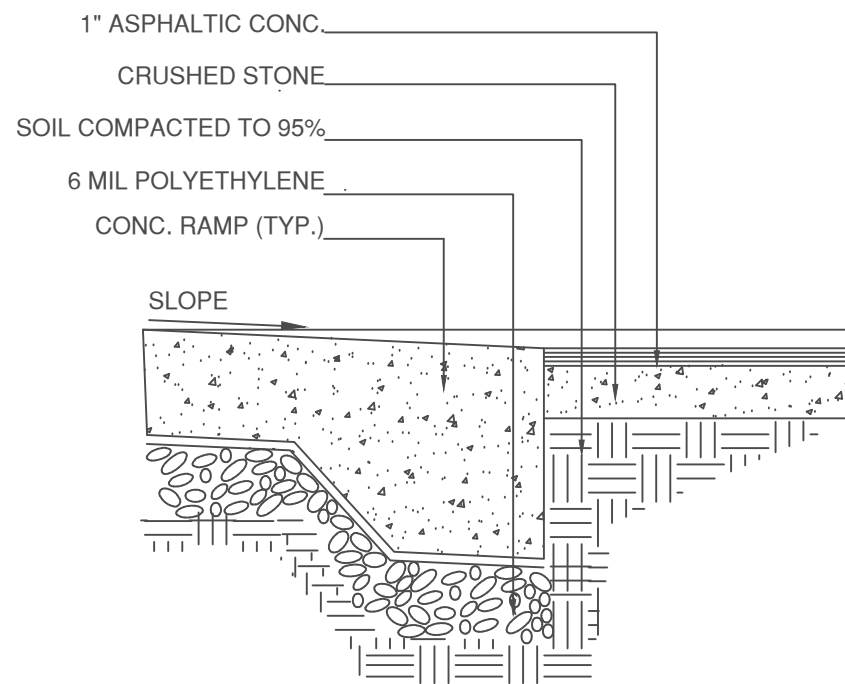
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A-103
CONCRETE CURB
N.T.S.



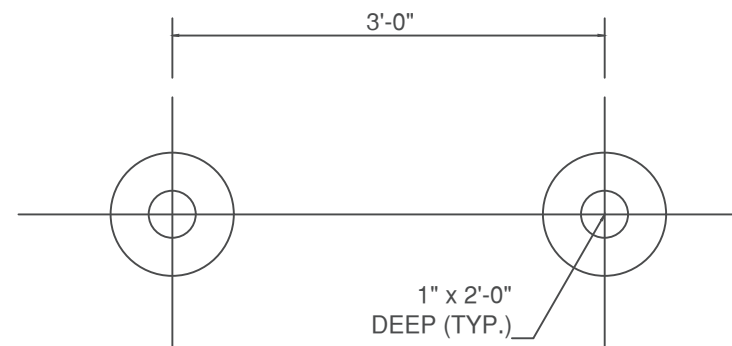
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A-103
WHEEL STOP PLAN
N.T.S.



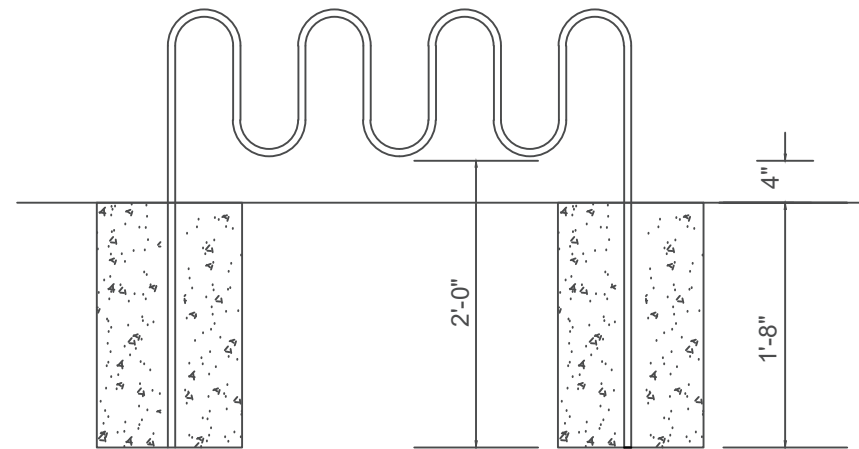
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A-103
HANDICAPPED RAMP
N.T.S.



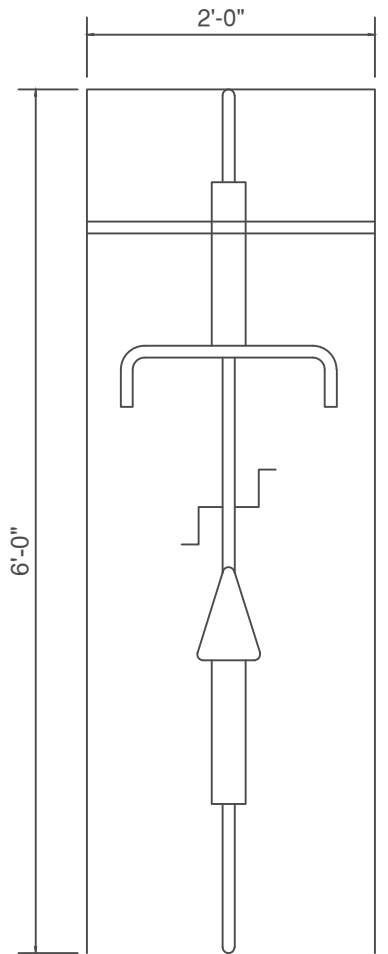
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A-103
RAMP DETAIL
N.T.S.



8
A-103
GROUND PLAN
N.T.S.



9
A-103
BICYCLE RACK ELEVATION
N.T.S.



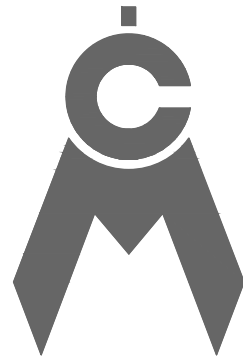
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A-103
BICYCLE RACK DETAIL
MFG'R DUMOR, INC OR APPROVED
EQUAL - BIKE RACK 83 N.T.S.

PROJECT No.:	REV. #	DATE
DESIGNED BY:	1	
	2	
DRAWN BY:	3	
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CHECKED BY:	5	
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DRAWING SCALE:	10	

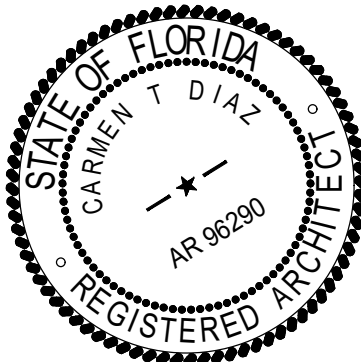
SOLESTE VILLAGE NORTH

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SHEET No:

A-103

SCHEDULE OF AREAS						
LEVEL -1-			UNITS COUNT	PS COUNT	TOTAL AREAS	RESID. AREAS
	RESIDENTIAL		8		4,385	
	CIRCULATION & SERVICES				8,600	
	LOBBY/OFFICES				3,108	
	PARKING GARAGE			73	24,528	
	TOTAL				40,621 SF	4,385 SF
LEVEL -2 TO 4-						
	CIRCULATION & SERVICES				7,578	
	PARKING GARAGE			339	122,094	
	TOTAL				129,672 SF	
LEVEL -5-						
	RESIDENTIAL		26		15,887	
	PRIVATE BALCONIES / TERRACES				4,523	
	CIRCULATION & SERVICES				4,400	
	AMENITIES				5,400	
	POOL / POOL DECK				11,200	
	TOTAL				41,410 SF	20,410 SF
LEVEL -6 TO 12-						
	RESIDENTIAL	7x38	266		154,252	
	PRIVATE BALCONIES / TERRACES				14,000	
	CIRCULATION & SERVICES				31,367	
	TOTAL				199,619 SF	168,252 SF
ROOF						
	CIRCULATION & SERVICES				680	
	ROOF AREA				26,368	
					27,048 SF	
TOTAL GROSS BUILDING AREA			300	412	438,370 SF	
TOTAL RENTABLE AREA			(645 SF AVERAGE PER UNIT)			193,047 SF

PRIMARY ZONING : DH-3 / PS-3
OVERLAY ZONING: CRA - DOWNTOWN CORE

LOT NET AREA: 51,151 SF (1.1742 ac)
GROSS LOT AREA: 69,019 SF (1.5844 ac)

	ALLOWED		PROPOSED
• FAR:	DH-3 (3.0)	PS-3 (3.0)	
	-BASED ON GROSS LOT AREA: 69,019 SF x 3.0 = 207,057 SF		206,985 SF

• BUILDING HEIGHT 140 FT. 140 FT. MAX. 12 STORIES / 124'-8" (TO ROOF SLAB)

- OPEN SPACE (AT GROUND FLOOR) 9,879 SF (19.3%)
- OPEN SPACE (PRIVATE AT POOL DECK) 11,200 SF
- PERVIOUS AREA (AT GROUND FLOOR) 6,452 SF
- IMPERVIOUS AREA (AT GROUND FLOOR) 3,427 SF

- LOT COVERAGE 40,920 SF (80%) 43,130 SF (84.3%)
- TOWER FLOOR PLATE 30,000 SF 27,195 SF
- TOWER LENGTH 300 FT 367'-2" (VARIANCE)

- | | | |
|----------------------------|-----------------|------------------|
| | MINIMUM REQ. | PROVIDED |
| • BUILDING SETBACKS: | | |
| FRONTAGE: VAN BUREN STREET | 10'-0" / 15'-0" | 10'-0" / 15'-0" |
| FRONTAGE: EAST 20TH AVE | 10'-0" / 15'-0" | 11'-0" / 15'-0" |
| ALLEY-WEST | 5'-0" | 10'-0" |
| ALLEY-SOUTH | 5'-0" | 0'-9" (VARIANCE) |

-FAR CALCULATION -

LEVEL	PROPOSED
GROUND FLOOR	8,410 SF
SECOND FLOOR	0 SF
THIRD FLOOR	0 SF
FOURTH FLOOR	0 SF
FIFTH FLOOR	24,030 SF
SIXTH FLOOR	24,935 SF
SEVENTH FLOOR	24,935 SF
EIGHTH FLOOR	24,935 SF
NINTH FLOOR	24,935 SF
TENTH FLOOR	24,935 SF
ELEVENTH FLOOR	24,935 SF
TWELVE FLOOR	24,935 SF
TOTAL FAR	206,985 SF

REQUIRED VARIANCES:

- | | | |
|---------------------|--------------------------|----------------------|
| 1. BUILDING HEIGHT: | MAXIMUM ALLOWED PROPOSED | 10 STORIES / 140 FT. |
| 2. TOWER LENGTH: | MAXIMUM ALLOWED PROPOSED | 12 STORIES / 124'-8" |
| 3. ALLEY SETBACK | MIN. ALLOWED PROPOSED | 300 FT |
| | | 367'-2" FT |
| | | 5'-0" |
| | | 0'-9" |

- PROPOSED UNIT BREAKDOWN -

FLOOR/UNIT TYPE	STUDIO	1B -1B UNIT	1B -1B - D UNIT	2B - 2B UNIT	TOTAL UNITS
GROUND FLOOR	4	4			8 LW UNITS
5TH FLOOR	2	13	5	6	26
6TH FLOOR	8	17	7	6	38
7TH FLOOR	8	17	7	6	38
8TH FLOOR	8	17	7	6	38
9TH FLOOR	8	17	7	6	38
10TH FLOOR	8	17	7	6	38
11TH FLOOR	8	17	7	6	38
12TH FLOOR	8	17	7	6	38
TOTAL UNITS	62	136	54	48	300
	20.67%	45.33%	18.00%	16.00%	100 %

- PROPOSED PARKING BREAKDOWN -

LEVEL	REGULAR PS 8.5'x18'	TANDEM PS* (2) 8.5'x18'	HC. PS	TOTAL PS
GROUND FLOOR	19	40	3 VAN ACCESS.	62
SECOND FLOOR	111		2	113
THIRD FLOOR	111		2	113
FOURTH FLOOR	113		2	115
TOTAL PS	354	40	9	403 TOTAL PS**

* EVERY TANDEM PARKING WILL BE ASSIGNED TO A TWO BEDROOMS UNIT

** 11 PARKING SPACES WILL BE DEDICATED EXCLUSIVELY FOR RESIDENTS OF SOLESTE VILLAGE SOUTH

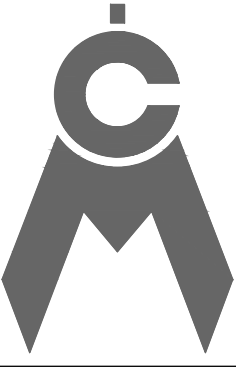
- PARKING CALCULATION -

FUNCTION	REQUIREMENT	UNITS COUNT	FACTOR	MIN. PS REQUIRED
RESIDENTIAL				
SEC.39-228				
STUDIO UNIT (EFFICIENCY)	1.00 PS PER UNIT	62	1.00	62.00
ONE BEDROOM UNIT	1.00 PS PER UNIT	136	1.00	136.00
ONE BEDROOM UNIT + DEN	1.50 PS PER UNIT	54	1.50	81.00
TWO BEDROOMS UNIT	1.50 PS PER UNIT	48	1.50	72.00
		300 DU		351.00
VISITOR PARKING SPACES	1 PS / 10 DU	300.00	0.1	30.00
HC PS REQUIRED: (INCLUDED IN TOTAL)				
TOTAL AMOUNT OF HC-PS REQ.	301 TO 400 PS = 8 (FBC.ACC. 208.2)	381.0 PS		8.00
VAN ACCESSIBLE PS	1 PER 6 HC PS REQ. (FBC.ACC. 208.2.4)	8	6.00	2 INCLUDED IN TOTAL
EV-CHARGER				3.00
TOTAL PARKING REQUIRED				381 TOTAL PS REQ.
LOADING SPACES (10'x25'x14')	(3) LOADING SPACES			3 LOADING SPACES
	SECT. 7.2.C.2			

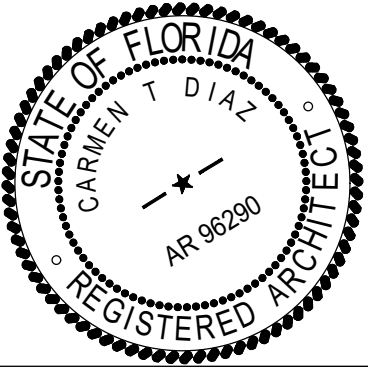
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SOLESTE VILLAGE NORTH
VAN BUREN STREET, HOLLYWOOD FL. 33062

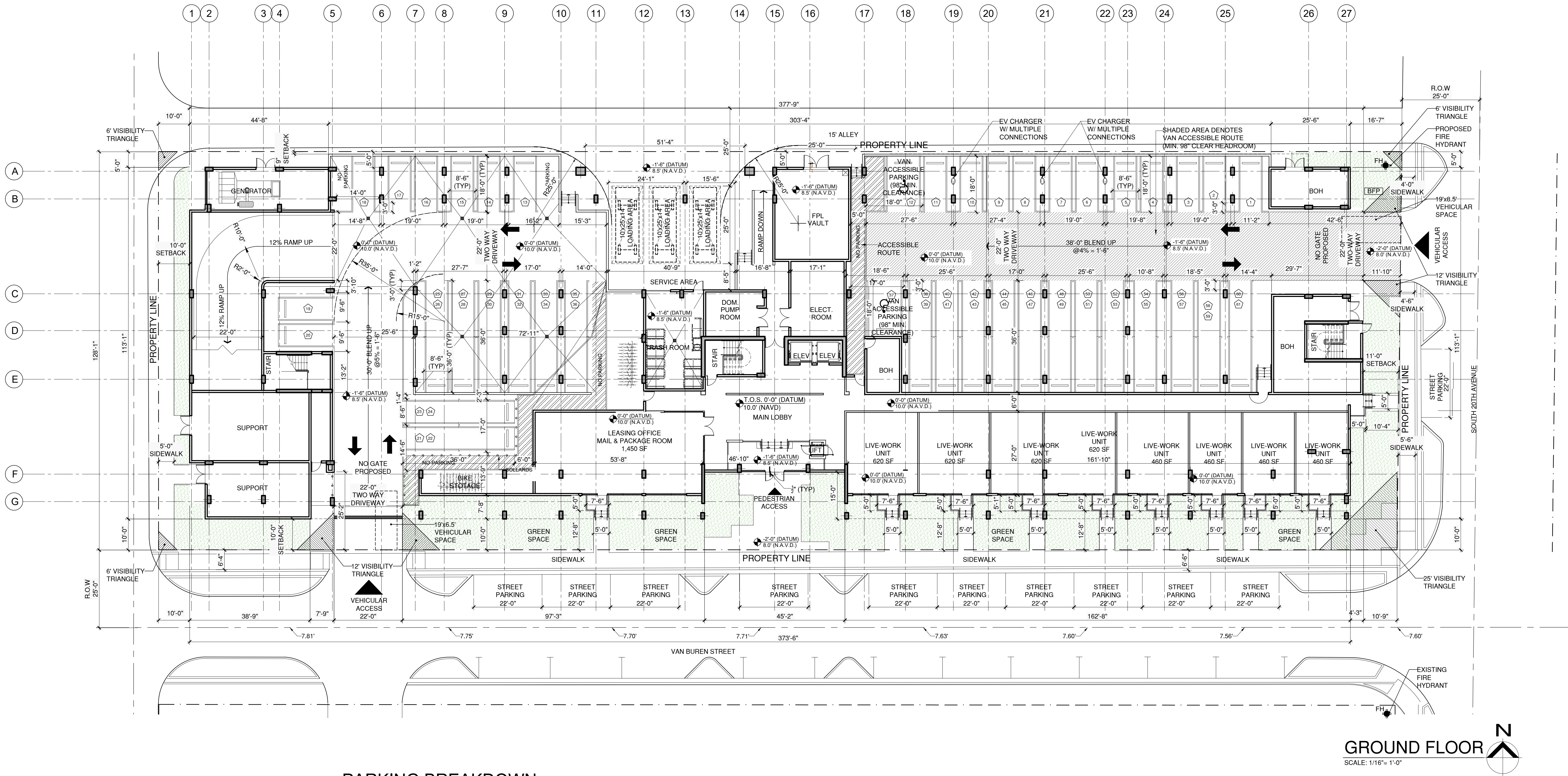
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SHEET No:
A-101



- PARKING BREAKDOWN -

FLOOR / PS TYPE	REG. PS (8.5'x18')	TANDEM PS (2)(8.5'x18')	HC PS (17'x18')	TOTAL PS
GROUND FLOOR	19	40	2	61

- UNIT BREAKDOWN -

FLOOR/UNIT TYPE	STUDIO	1B -1B UNIT	1B -1B - D UNIT	2B - 2B UNIT	TOTAL UNITS
GROUND FLOOR	4	4			8 LW UNITS

CORROSION RESISTANT GARAGE METAL SCREEN SYSTEM:

1. PARKING GARAGE METAL SCREEN STRUCTURE DESIGN TO FOLLOW THE DESIGN INTEND SHOWN ON THE ARCHITECTURAL PLANS
2. PARKING GARAGE METAL SCREEN STRUCTURE TO COMPLY WITH THE FOLLOWING CODES AND STANDARDS:
 - A-FLORIDA BUILDING CODE 7TH EDITION 2020
 - B-FLORIDA BUILDING CODE HZV WIND LOAD
 - C-ASCE-7-10 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES)
3. CONTRACTOR SHALL PROVIDE PRODUCT ENGINEERING AND FABRICATION TECHNIQUES, SHOP DRAWINGS, STRUCTURAL CALCULATIONS AND PROFESSIONAL ENGINEERING STAMPS STATE OF FLORIDA IN ACCORDANCE WITH THE PROPOSED DESIGN.
4. THE PERMIT HOLDER SHALL VERIFY ALL DIMENSIONS AND CONNECTIONS FOR COMPLIANCE WITH THE DESIGN REQUIREMENTS HEREIN BEFORE COMMENCING THE WORK
5. CONTRACTOR SHALL COORDINATE HIS/HER WORK WITH ALL OTHER DISCIPLINES AND SUB-CONTRACTORS TO ENSURE PRODUCT INSTALLATION AS PER CODE REQUIREMENTS.

NOTE:

1. NO LIPS WILL BE GREATER THAN 1/8" AND FOR ALL LIPS GREATER THAN 1/8" BUT LESS THAN 1/4" TO BE BEVELED.

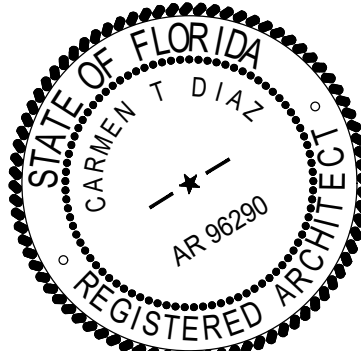
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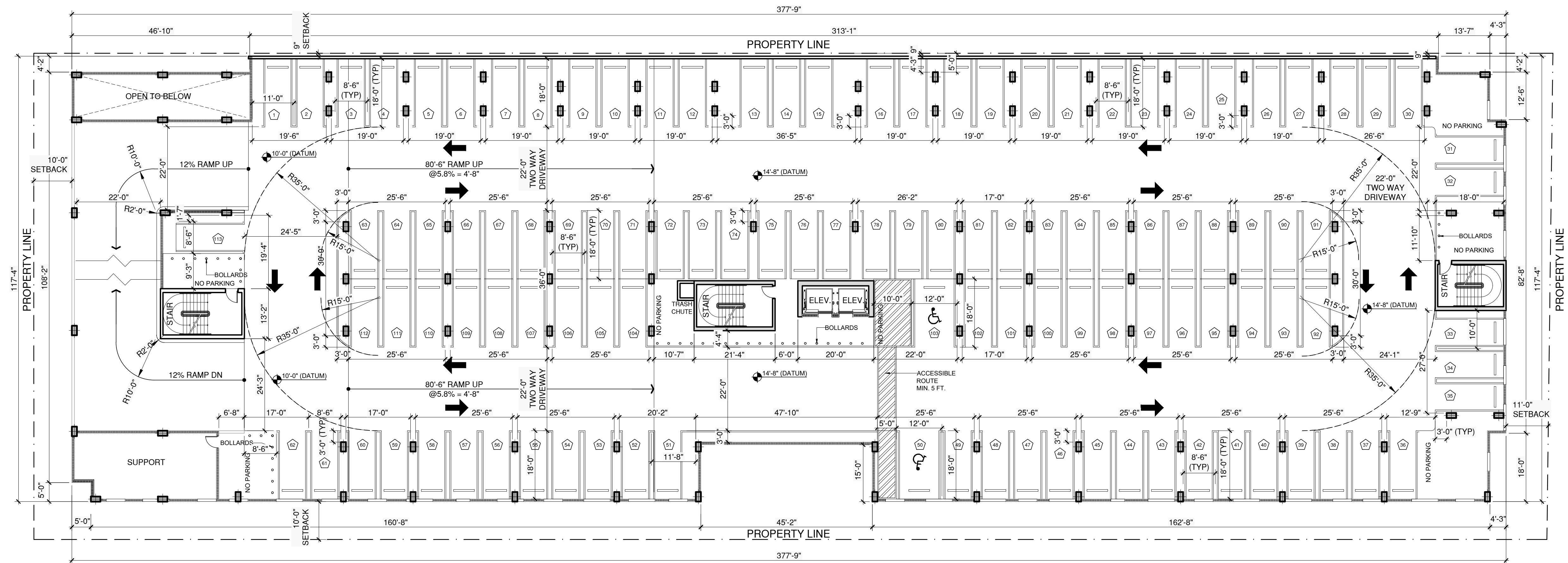


ARCH. CARMEN T. DIAZ
LIC # AR 90290
5001 SW 74th COURT
SUITE 100
MIAMI, FL 33155
TEL (305) 669-5040
FAX (305) 669-5041



SHEET No:

A-201



SECOND & THIRD FLOOR

SCALE: 1/16" = 1'-0"

- PARKING BREAKDOWN -

FLOOR / PS TYPE	STREET PS (8.5'x22')	REG. PS (8.5'x18')	TANDEM PS (2)(8.5'x18')	HC PS (17'x18')	TOTAL PS
2ND FLOOR		111		2	113
3RD FLOOR		111		2	113
TOTAL		222		4	226

PROJECT No.:	REV. #	DATE
DESIGNED BY: O.M.	1	
DRAWN BY:	2	
CHECKED BY: O.M.	3	
ISSUE DATE: 11-12-2021	4	
DRAWING SCALE: AS SHOWN	5	
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SOLESTE VILLAGE NORTH

VAN BUREN STREET, HOLLYWOOD FL. 33062

CAYMARES MARTIN

Architectural & Engineering Design

AA 26001552 CA 27136

5001 SW 74th Ct, Ste 100

Miami, FL 33155

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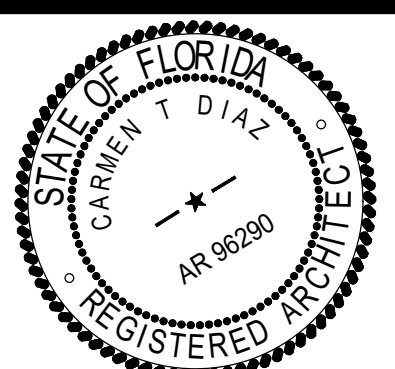
5001 S.W. 74th COURT

SUITE 100

MIAMI, FL 33155

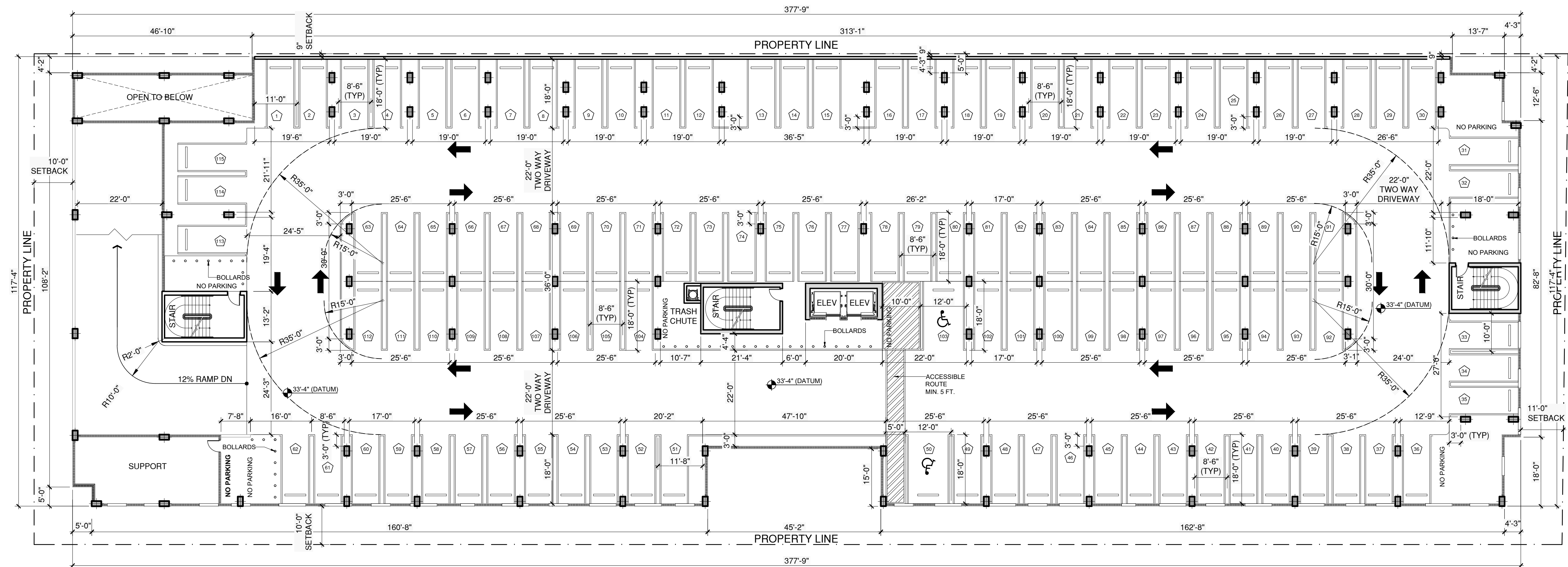
TEL (305) 669-5040

FAX (305) 669-5041



SHEET No:

A-202



FOURTH FLOOR
SCALE: 1/16"= 1'-0"

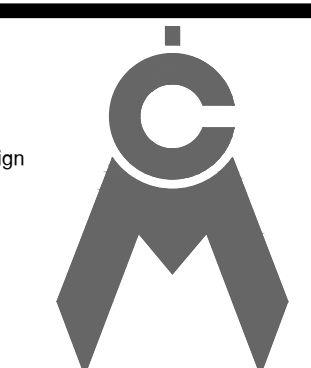
- PARKING BREAKDOWN -

FLOOR / PS TYPE	STREET PS (8.5'x22')	REG. PS (8.5'x18')	TANDEM PS (2)(8.5'x18')	HC PS (17'x18')	TOTAL PS
4ND FLOOR		113		2	115
TOTAL					

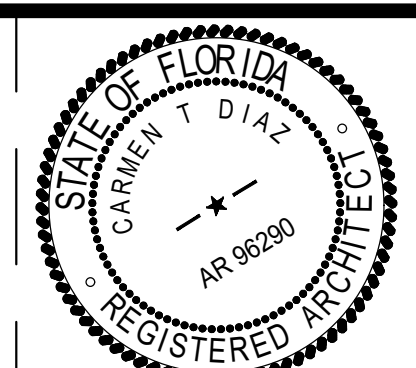
PROJECT No.:	REV. #	DATE
DESIGNED BY:	O.M.	
DRAWN BY:		
CHECKED BY:	O.M.	
ISSUE DATE:	11-12-2021	
DRAWING SCALE:	AS SHOWN	

SOLESTE VILLAGE NORTH
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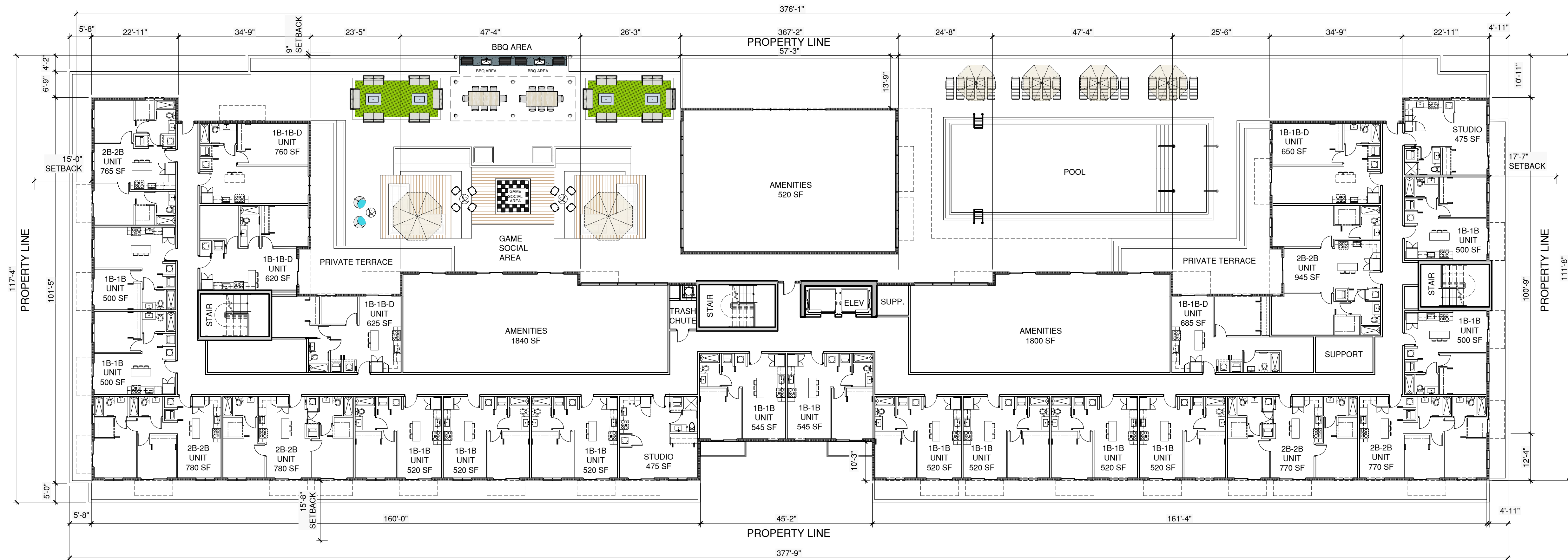


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SHEET No:

A-203



FIFTH FLOOR
SCALE: 1/16"= 1'-0"



- UNIT BREAKDOWN -

FLOOR/UNIT TYPE	STUDIO	1B - 1B UNIT	1B - 1B - D UNIT	2B - 2B UNIT	TOTAL UNITS
5TH FLOOR	2	13	5	6	26

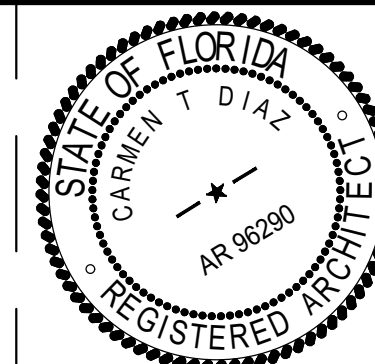
PROJECT No.:	REV. #	DATE
DESIGNED BY: O.M.	1	
DRAWN BY:	2	
CHECKED BY: O.M.	3	
ISSUE DATE: 11-12-2021	4	
DRAWING SCALE: AS SHOWN	5	
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SHEET No:

A-204

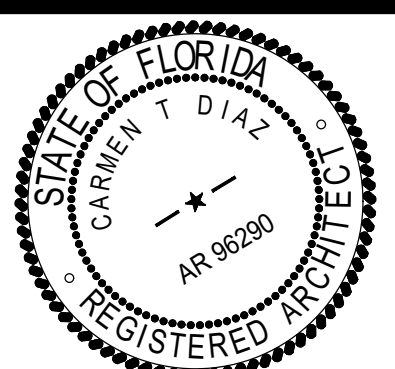


PROJECT No.:		REV. #	DATE
DESIGNED BY:	O.M.	1	
		2	
DRAWN BY:		3	
		4	
CHECKED BY:	O.M.	5	
		6	
ISSUE DATE:	11-12-2021	7	
		8	
		9	
DRAWING SCALE:	AS SHOWN	10	

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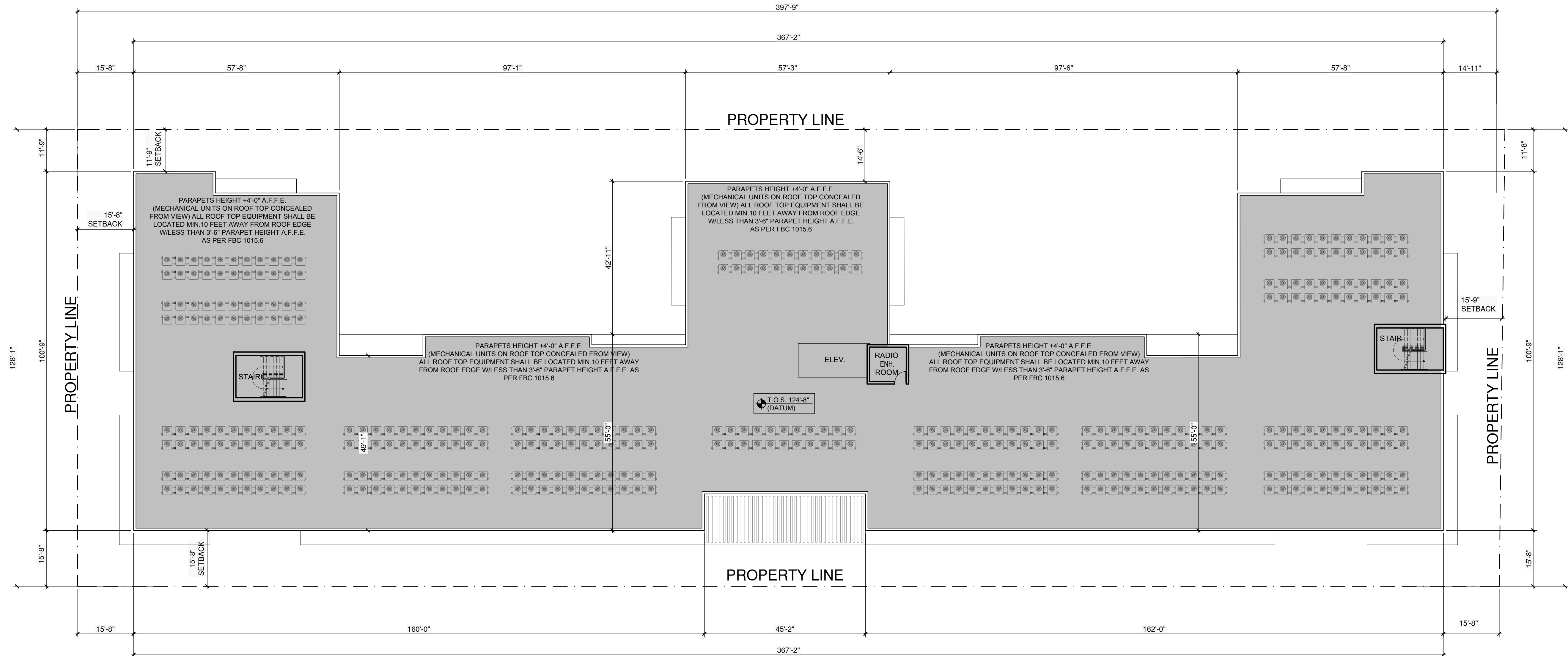


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MIAMI, FL 33155
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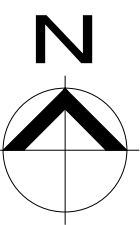


SHEET No:

A-205



ROOF LEVEL
SCALE: 1/16" = 1'-0"



ROOF NOTES :
SOLAR REFLECTANCE INDEX TO BE SRI 78

FLAT ROOFING NOTE: GAF EVERGUARD TPO 60 MILL. SINGLE PLY ROOFING SYSTEM (OR APPROVED EQUAL) (W/ 20 YEAR WARRANTY) OVER LIGHTWEIGHT CONCRETE SLOPPED 2" TO 10" MAX. (1/4" PER FT.) OVER 2" RIGID INSULATION ON CONCRETE DECK AS RECOMMENDED BY MANUFACTURER AND COMPLYING WITH UPLIFT REQUIREMENTS AS LISTED IN THE STRUCTURAL DRAWINGS. ROOF SYSTEM SHALL COMPLY WITH SECTION 1507.11 OF THE FLORIDA BUILDING CODE 2017, BUILDING. NOTE: AVERAGE INSULATION R VALUE OF ROOF SYSTEM TO BE R=19. G.C. TO SUBMIT ROOFING SYSTEM TO ARCHITECT FOR APPROVAL. COLOR: WHITE

PROJECT No.:	REV. #	DATE
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DESIGNED BY: O.M.	3	
	4	
DRAWN BY:	5	
	6	
CHECKED BY: O.M.	7	
ISSUE DATE: 11-12-2021	8	
	9	
DRAWING SCALE: AS SHOWN	10	

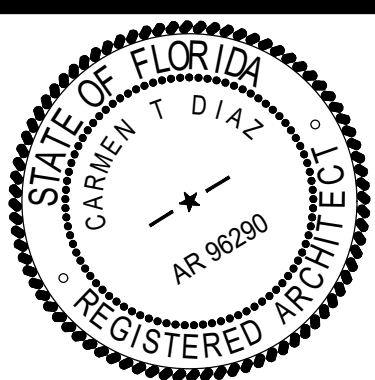
SOLESTE VILLAGE NORTH

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FAX (305) 669-5041



SHEET No:

A-206



SOUTH ELEVATION (FRONT)

SCALE: 1/16"= 1'-0"

- 1
SHERWIN WILLIAMS
SIMPLE WHITE
SW-7021
- 2
SHERWIN WILLIAMS
SEMI-SWEET
4003-2C
- 3
DARK COLOR DEGRA
SHERWIN WILLIAMS
WALL STREET
SW 7665
- 4
LIGHT COLOR DEGRA
SHERWIN WILLIAMS
WALL STREET
SW 7665
- 5
GREEN WALL

MECHANICAL UNITS AT ROOF LEVEL:

ALL MECHANICAL UNITS ON ROOF TOP WILL BE CONCEALED FROM VIEW
ALL ROOF TOP EQUIPMENT SHALL BE LOCATED MIN. 10 FEET AWAY FROM ROOF
EDGE W/LESS THAN 3'-6" PARAPET HEIGHT A.F.F.E. AS PER FBC 1015.6

HEAT ISLAND EFFECT SOLAR REFLECTANCE REQUIREMENTS:
ROOFING MATERIALS AND ALL ROOF EXTERIOR SURFACES AND BUILDING
MATERIALS SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS PER SECTION
3.13.2.c AND 3.13.2.d WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM
E1918 AS PER MIAMI 21 ARTICLE 3 SECTION 3.13.2 HEAT ISLAND EFFECT

SUSTAINABILITY REQUIREMENTS:
BUILDING SHALL COMPLY WITH SUSTAINABILITY REQUIREMENTS AS PER MIAMI
21 SECTION 3.13.1

MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION

01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY . W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS
03	ALUMINUM WINDOW ASSEMBLY . W/LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY . LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	42" A.F.F. ALUMINUM PICKET RAILING ENCLOSURE AT BALCONY & TERRACE
06	PARAPET 42" A.F.F
07	CONCRETE SCORE LINES AT FACADE WALLS
08	ALUMINUM SUN CONTROL VERTICAL/ HORIZONTAL LOUVER
09	ALUMINUM CIRCULAR GRID WALL PANELS

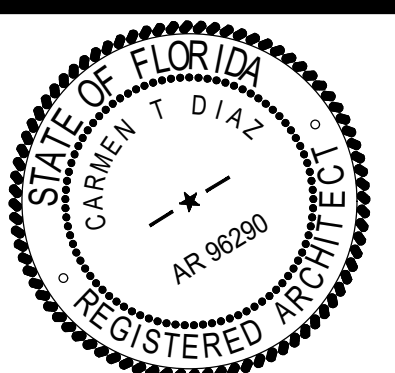
PROJECT No.:	REV. #	DATE
DESIGNED BY: O.M.	1	
DRAWN BY:	2	
CHECKED BY: O.M.	3	
ISSUE DATE: 11-12-2021	4	
DRAWING SCALE: AS SHOWN	5	
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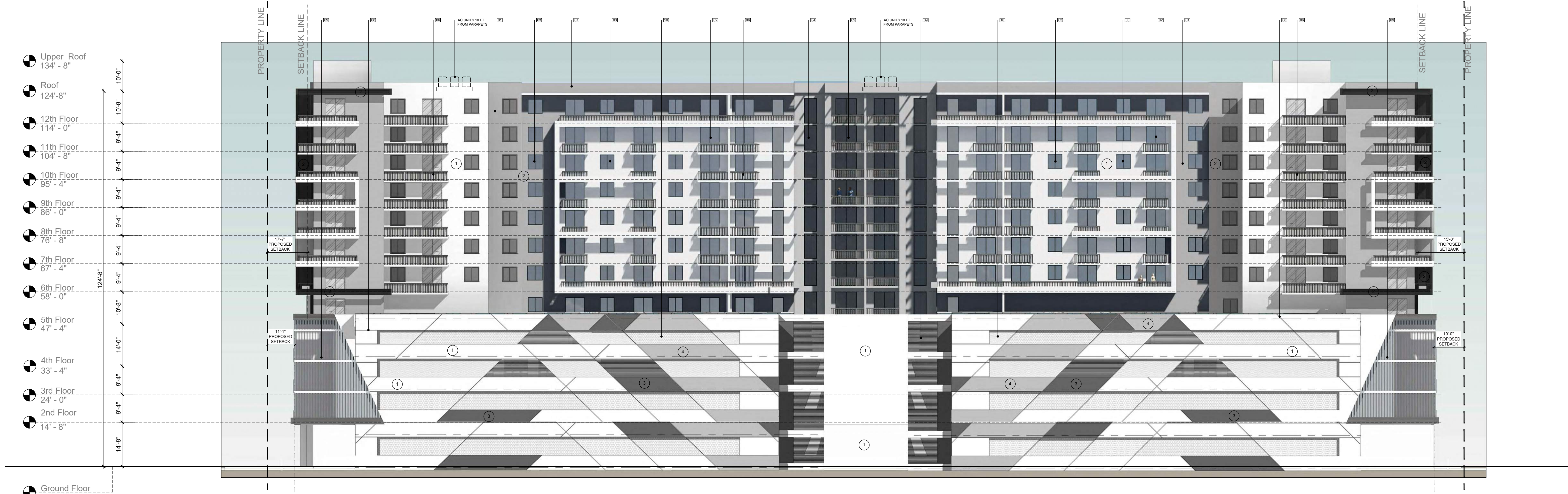


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SUITE 100
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TEL. (305) 669-5040
FAX (305) 669-5041



SHEET No:

A-301



NORTH ELEVATION (REAR)

SCALE: 1"= 25'

- 1

SHERWIN WILLIAMS
SIMPLE WHITE
SW-7021
- 2

SHERWIN WILLIAMS
SEMI-SWEET
4003-2C
- 3

DARK COLOR DEGRA
SHERWIN WILLIAMS
WALL STREET
SW 7665
- 4

LIGHT COLOR DEGRA
SHERWIN WILLIAMS
WALL STREET
SW 7665

MECHANICAL UNITS AT ROOF LEVEL:
ALL MECHANICAL UNITS ON ROOF TOP WILL BE CONCEALED FROM VIEW
ALL ROOF TOP EQUIPMENT SHALL BE LOCATED MIN. 10 FEET AWAY FROM ROOF
EDGE W/LESS THAN 3'-6" PARAPET HEIGHT A.F.F.E. AS PER FBC 1015.6

HEAT ISLAND EFFECT SOLAR REFLECTANCE REQUIREMENTS:
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MATERIALS SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS PER SECTION
3.13.2.c AND 3.13.2.d WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM
E1918 AS PER MIAMI 21 ARTICLE 3 SECTION 3.13.2 HEAT ISLAND EFFECT

SUSTAINABILITY REQUIREMENTS:
BUILDING SHALL COMPLY WITH SUSTAINABILITY REQUIREMENTS AS PER MIAMI
21 SECTION 3.13.1

MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY . W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS
03	ALUMINUM WINDOW ASSEMBLY . W/LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY . LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	MOTORIZED OVERHEAD COILING DOOR TO MEET WIND LOAD REQUIREMENTS.
06	42" A.F.F. ALUMINUM PICKET RAILING ENCLOSURE AT BALCONY & TERRACE
07	PARAPET 42" A.F.F
08	CONCRETE SCORE LINES AT FACADE WALLS
09	ALUMINUM SUN CONTROL VERTICAL LOUVER
10	ALUMINUM CIRCULAR GRID WALL PANELS

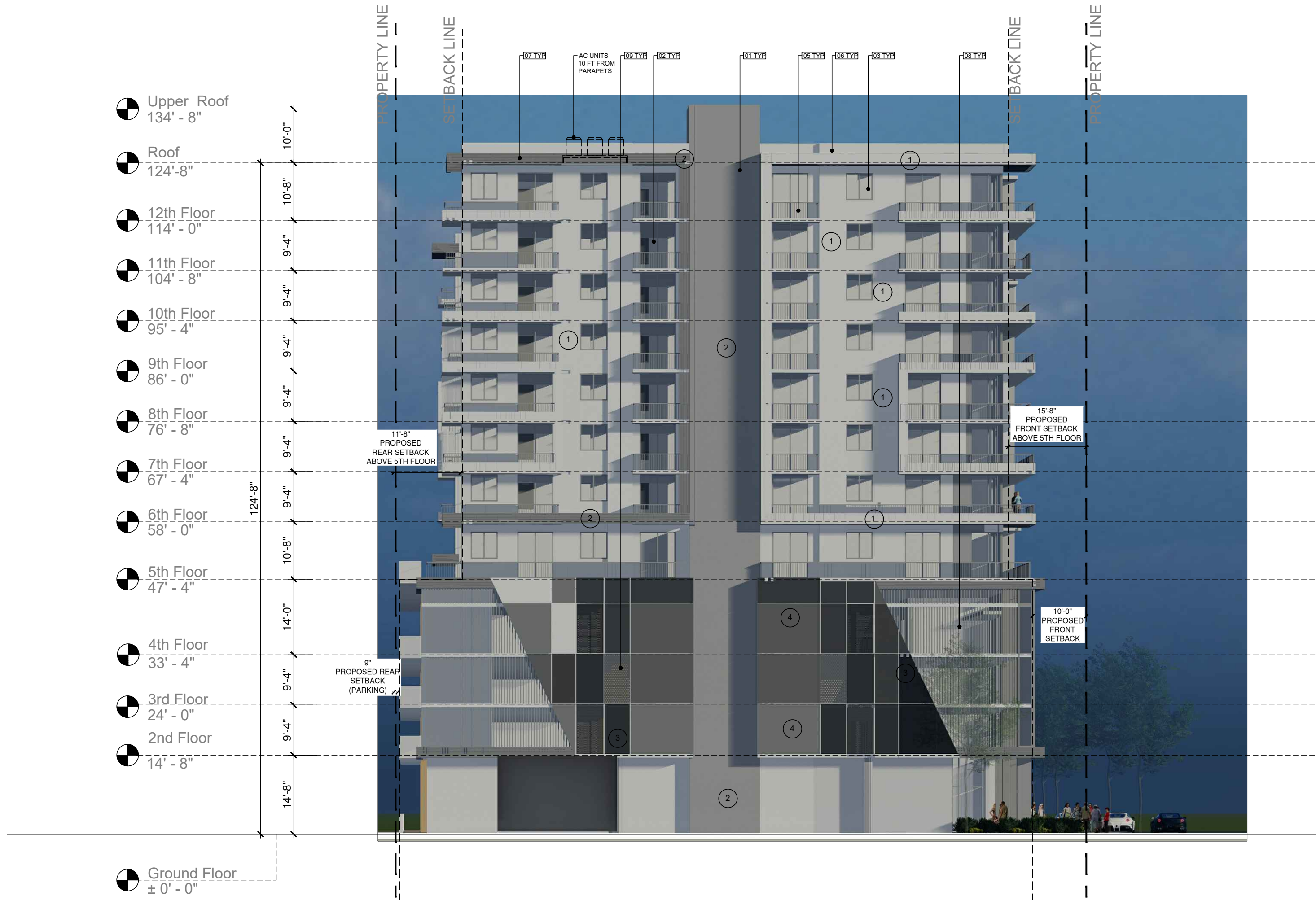
PROJECT No.:	REV. #	DATE
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DESIGNED BY: O.M.	2	
	3	
DRAWN BY:	4	
	5	
CHECKED BY: O.M.	6	
	7	
ISSUE DATE: 11-12-2021	8	
	9	
DRAWING SCALE: AS SHOWN	10	

SOLESTE VILLAGE NORTH
VAN BUREN STREET, HOLLYWOOD FL. 33062

CAYMARES MARTIN
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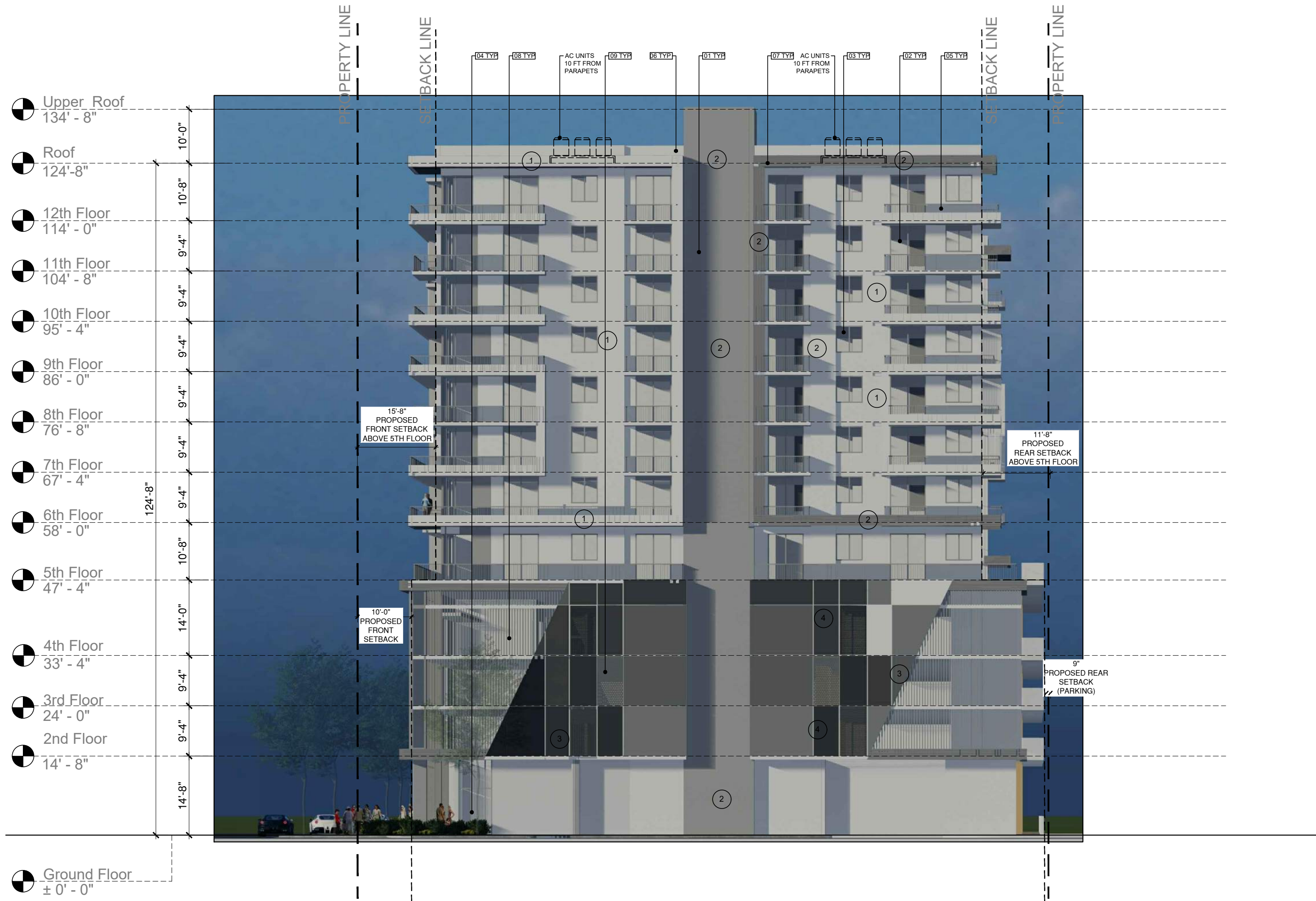
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LIC # AR 96290
5001 S.W. 74th COURT
SUITE 100
MIAMI, FL 33155
TEL: (305) 669-5040
FAX (305) 669-5041

SHEET No:
A-302



EAST ELEVATION

SCALE: 1/16"= 1'-0"



WEST ELEVATION

SCALE: 1/16"= 1'-0"

- 1
SHERWIN WILLIAMS
SIMPLE WHITE
SW-7021
- 2
SHERWIN WILLIAMS
SEMI-SWEET
4003-2C
- 3
DARK COLOR DEGRA
SHERWIN WILLIAMS
WALL STREET
SW 7665
- 4
LIGHT COLOR DEGRA
SHERWIN WILLIAMS
WALL STREET
SW 7665

HEAT ISLAND EFFECT SOLAR REFLECTANCE REQUIREMENTS:
ROOFING MATERIALS AND ALL ROOF EXTERIOR SURFACES AND BUILDING MATERIALS SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS PER SECTION 3.13.2.c AND 3.13.2.d WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM E1918 AS PER MIAMI 21 ARTICLE 3 SECTION 3.13.2 HEAT ISLAND EFFECT

SUSTAINABILITY REQUIREMENTS:
BUILDING SHALL COMPLY WITH SUSTAINABILITY REQUIREMENTS AS PER MIAMI 21 SECTION 3.13.1

MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION

01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY . W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS
03	ALUMINUM WINDOW ASSEMBLY . W/LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY . LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	42" A.F.F. ALUMINUM PICKET RAILING ENCLOSURE AT BALCONY & TERRACE
06	PARAPET 42" A.F.F
07	CONCRETE SCORE LINES AT FACADE WALLS
08	ALUMINUM SUN CONTROL VERTICAL LOUVER
09	ALUMINUM CIRCULAR GRID WALL PANELS

MECHANICAL UNITS AT ROOF LEVEL:

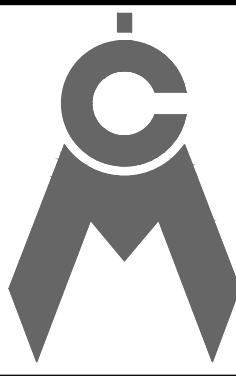
ALL MECHANICAL UNITS ON ROOF TOP WILL BE CONCEALED FROM VIEW
ALL ROOF TOP EQUIPMENT SHALL BE LOCATED MIN. 10 FEET AWAY FROM ROOF EDGE W/LESS THAN 3'-6" PARAPET HEIGHT A.F.F.E. AS PER FBC 1015.6

PROJECT No.:	REV. #	DATE
DESIGNED BY: O.M.	1	
DRAWN BY: 5	2	
CHECKED BY: O.M.	3	
ISSUE DATE: 11-12-2021	4	
DRAWING SCALE: AS SHOWN	5	
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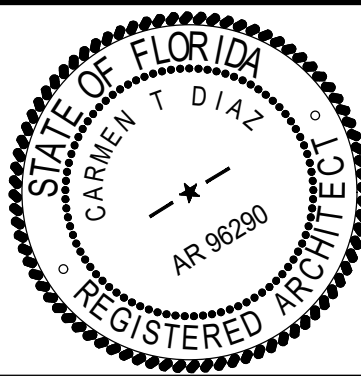
SOLESTE VILLAGE NORTH

VAN BUREN STREET, HOLLYWOOD FL. 33062

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SHEET No:

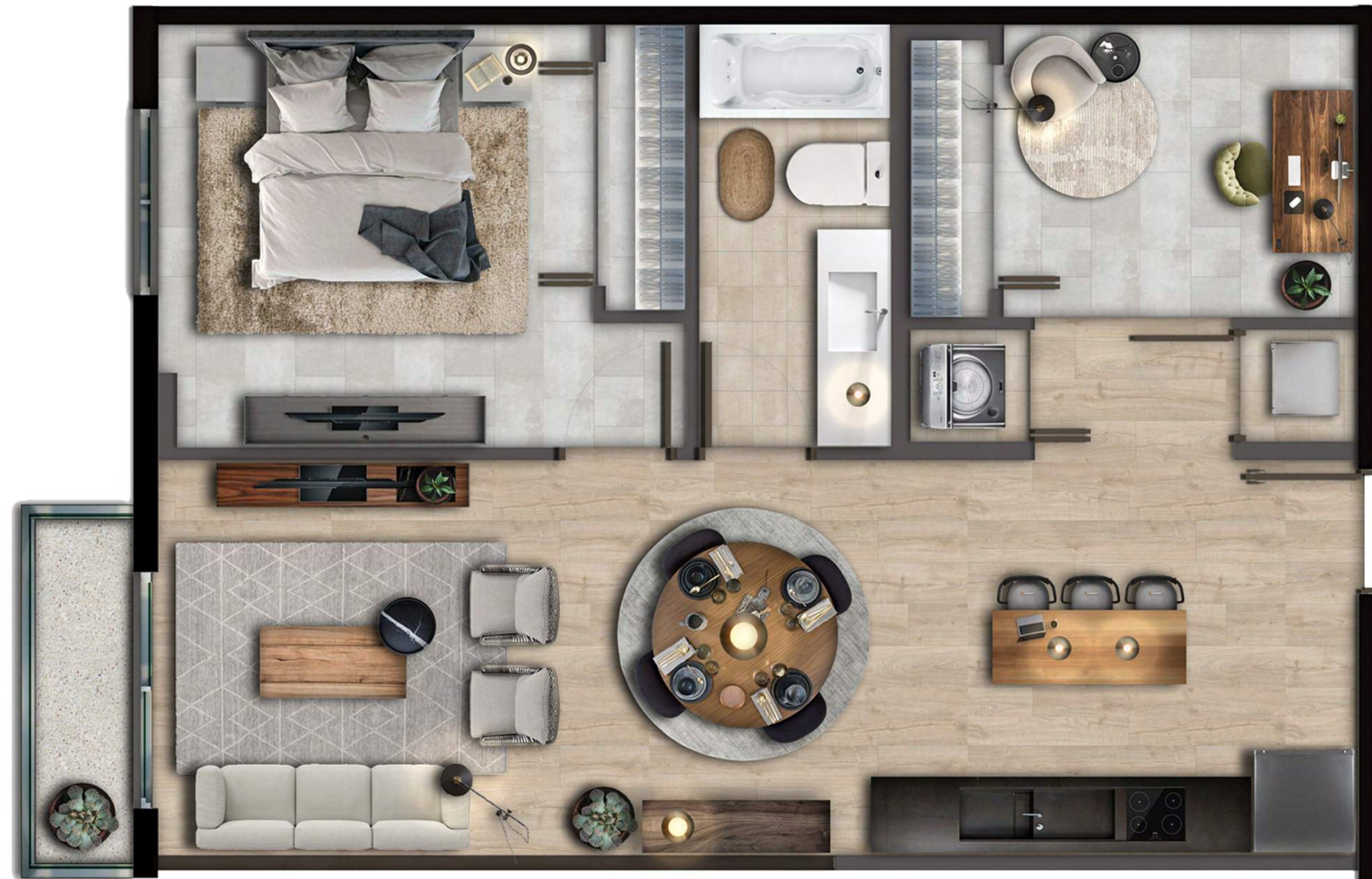
A-303



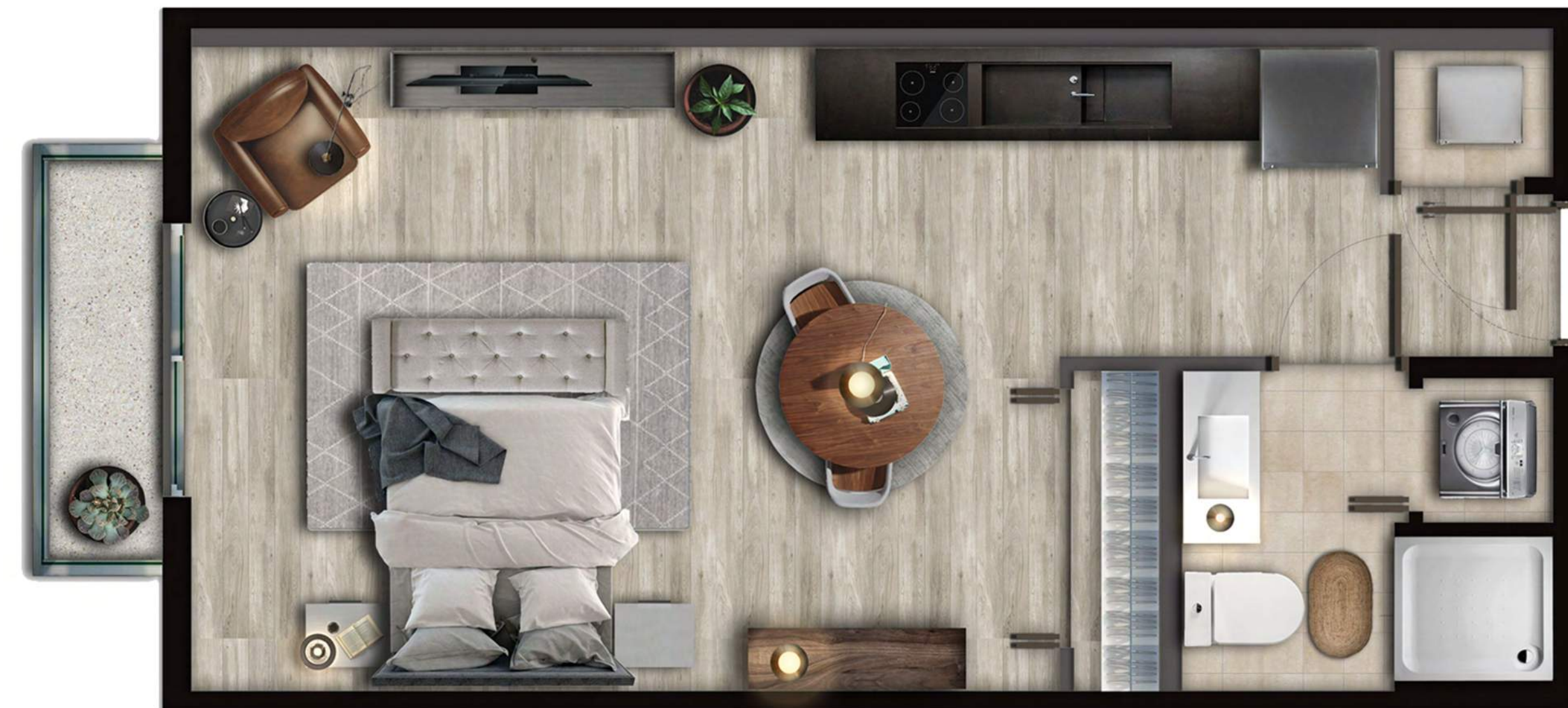
1B-1B UNIT
N.T.S



2B-2B UNIT
N.T.S



1B-1B-D UNIT
N.T.S



STUDIO
N.T.S

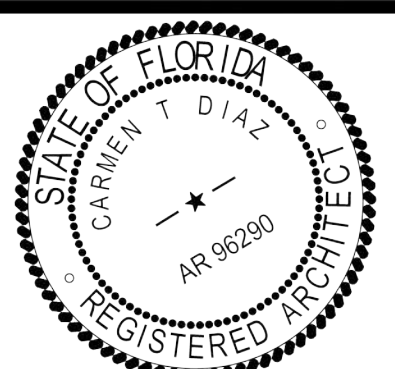
PROJECT No.:	REV. #	DATE
DESIGNED BY:	O.M.	
DRAWN BY:		
CHECKED BY:	O.M.	
ISSUE DATE:	11-12-2021	
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SOLESTE VILLAGE NORTH VAN BUREN STREET, HOLLYWOOD FL. 33062

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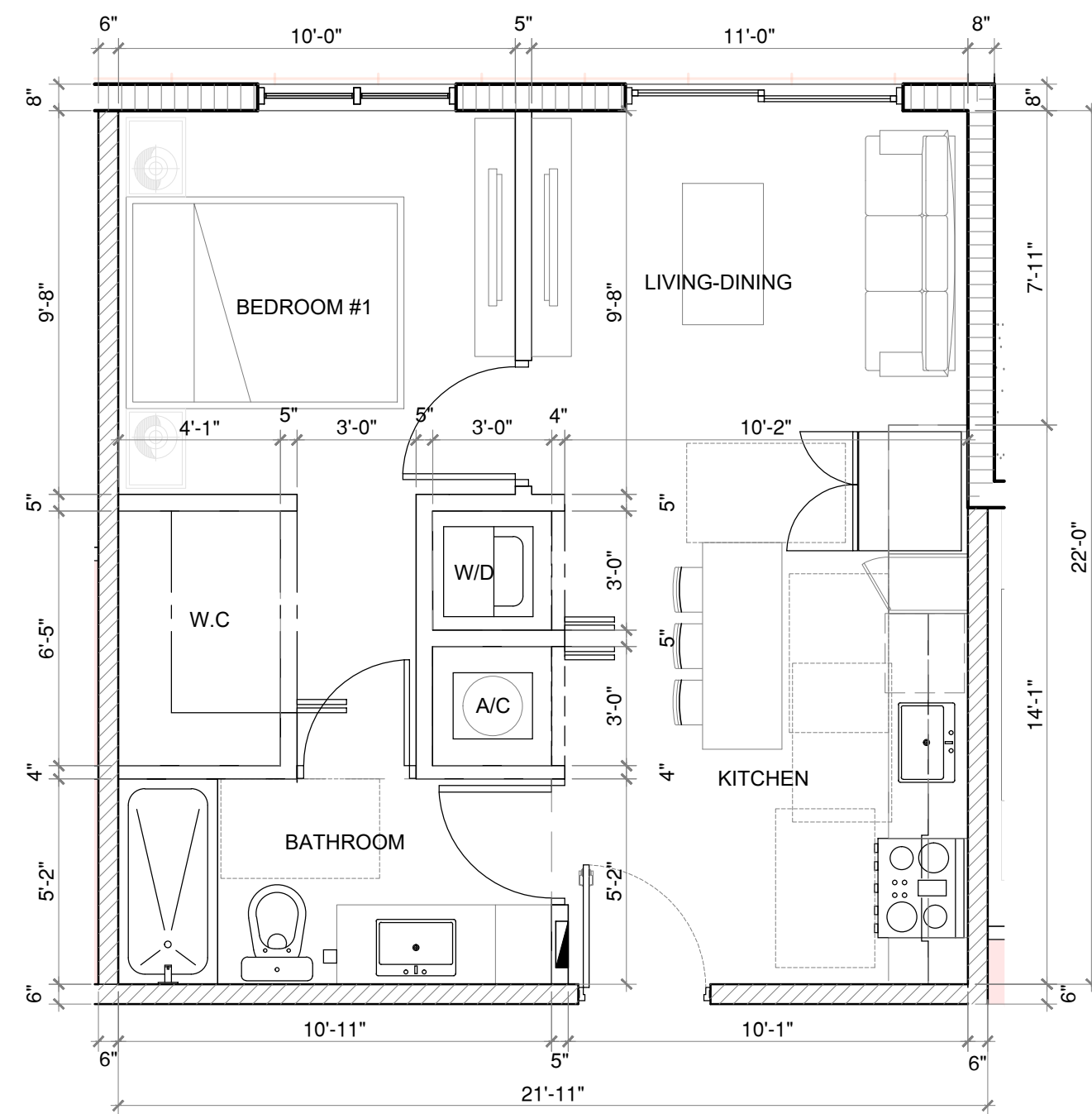


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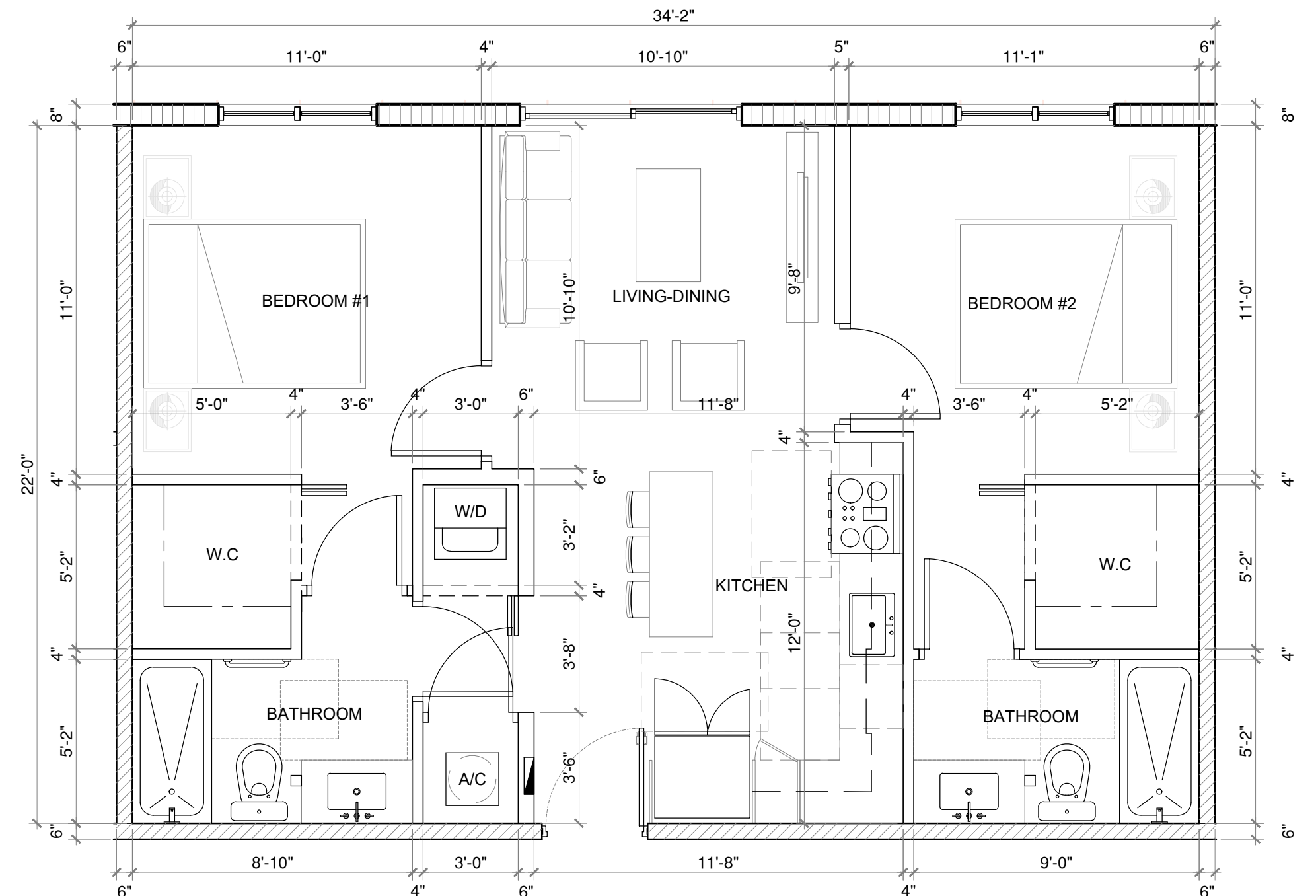


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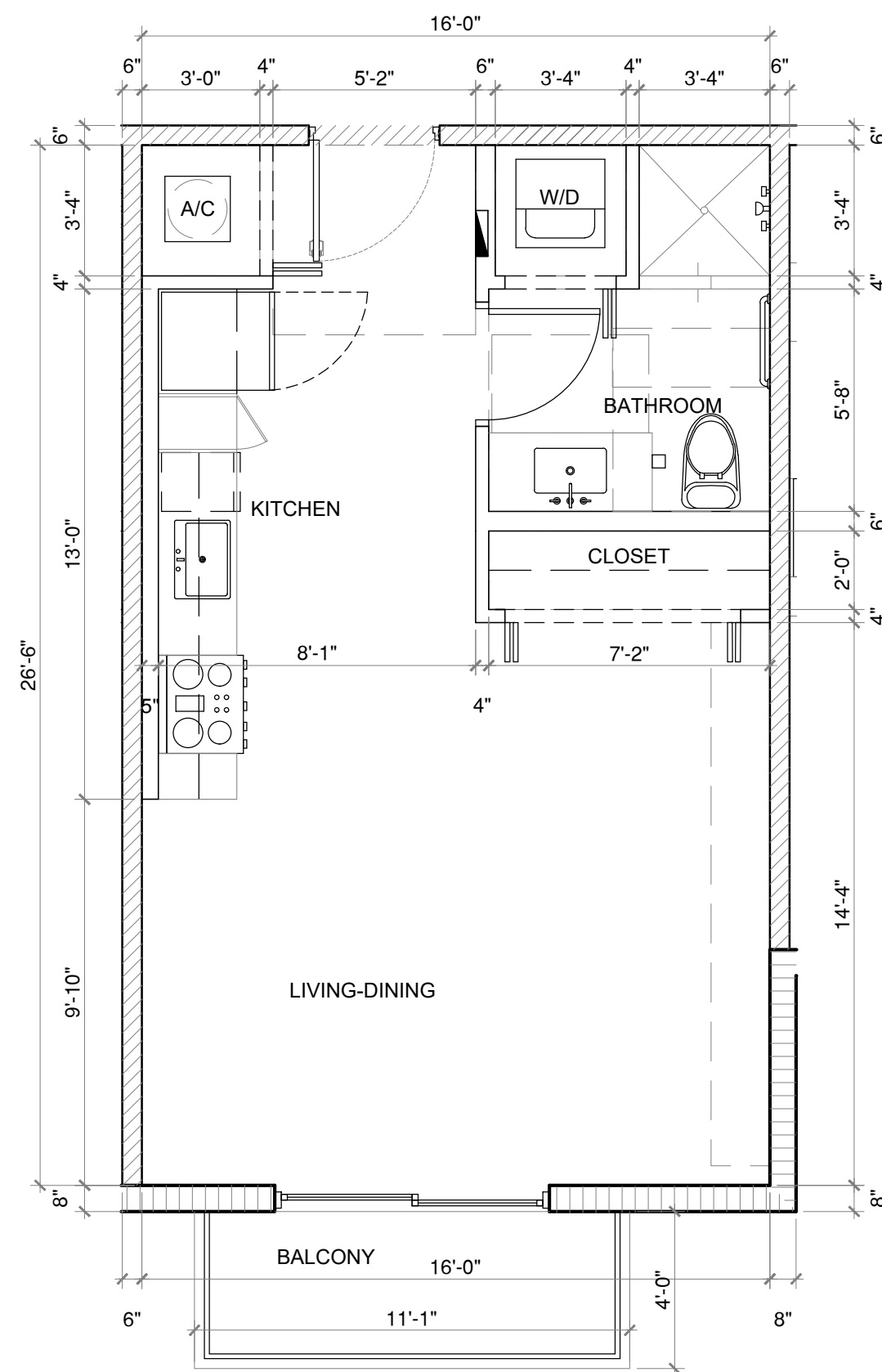
A-501



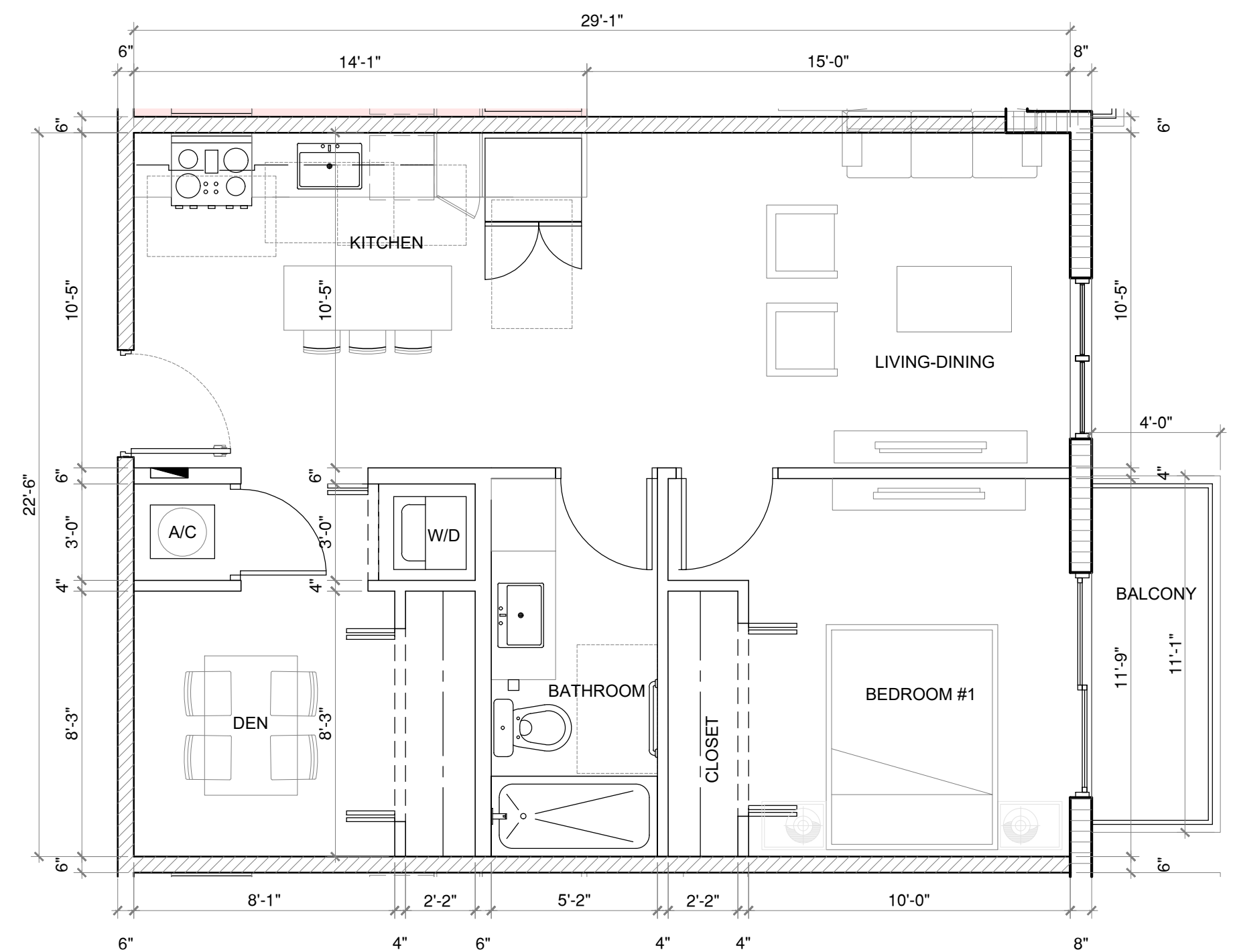
UNIT 1B/1B
SCALE: 1"= 1/4" (TOTAL 505 SQ. FT.)



UNIT 2B/2B
SCALE: 1"= 1/4" (TOTAL 790 SQ. FT.)



STUDIO
SCALE: 1"= 1/4" (TOTAL 515 SQ. FT.)



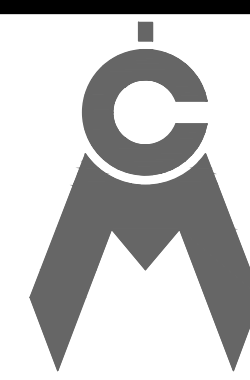
UNIT 1B/1B+D
SCALE: 1"= 1/4" (TOTAL 730 SQ. FT.)

PROJECT No.:	REV. #	DATE
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DESIGNED BY: O.M.	2	
	3	
DRAWN BY:	4	
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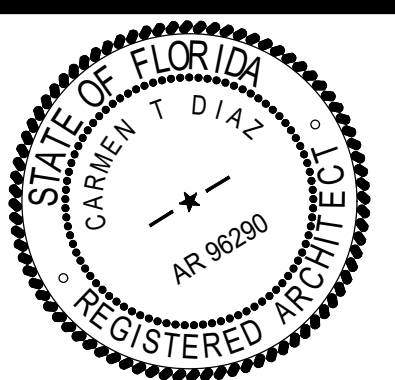
SOLESTE VILLAGE NORTH

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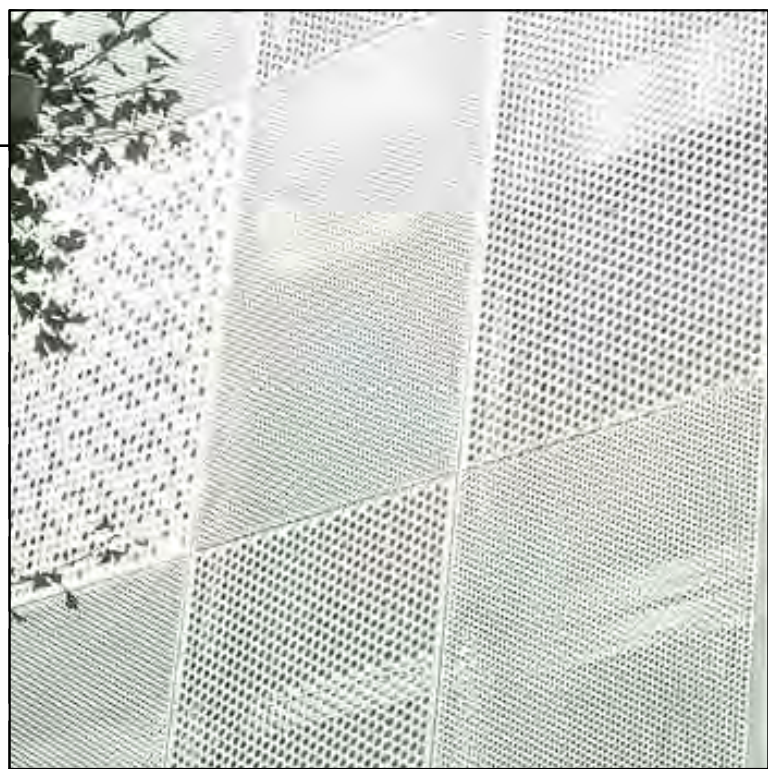
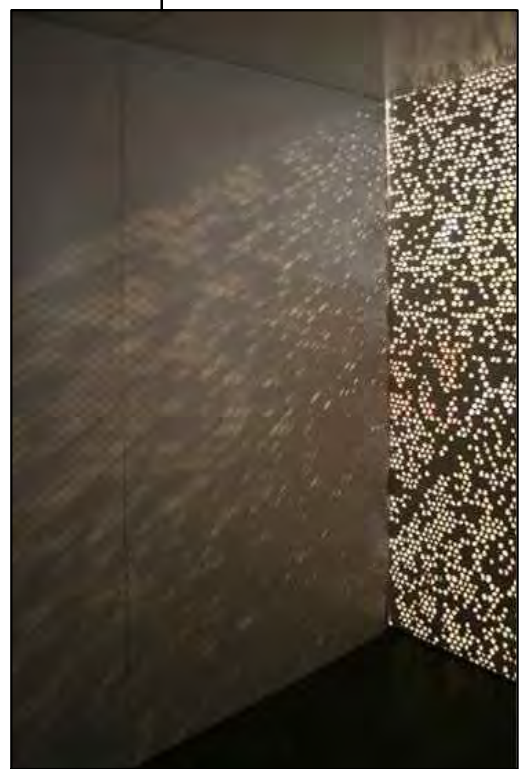
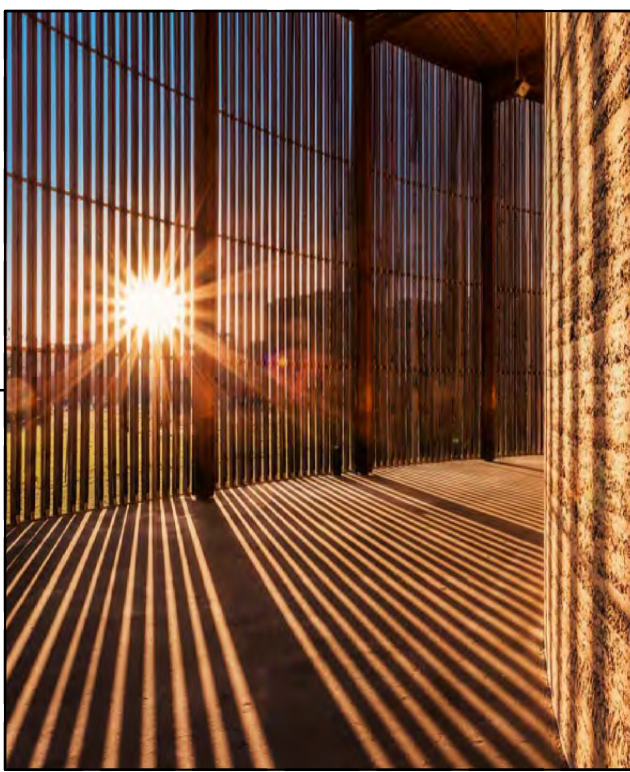


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SHEET No:

A502

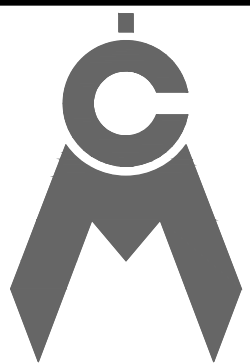


PROJECT No.:	REV. #	DATE
DESIGNED BY:	O.M.	1
DRAWN BY:		2
CHECKED BY:	O.M.	3
ISSUE DATE:	11-12-2021	4
DRAWING SCALE:	AS SHOWN	5
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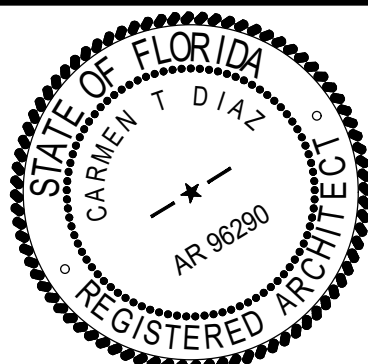
SOLESTE VILLAGE NORTH

VAN BUREN STREET, HOLLYWOOD FL. 33062

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A-601



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DRAWING SCALE:	10	

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SHEET No:

R-101



PROJECT No.:	REV. #	DATE
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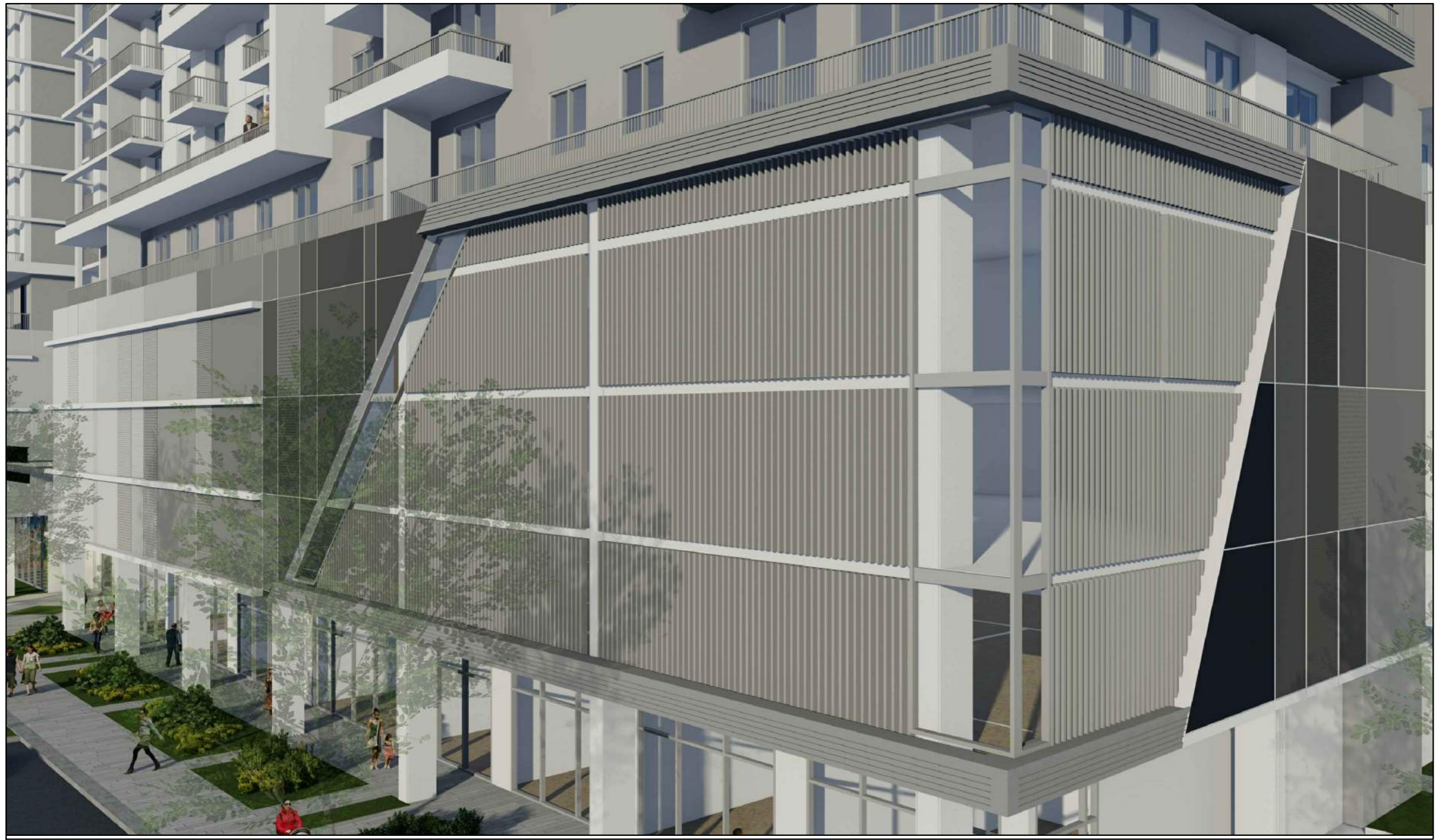
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SHEET No:

R-102



PROJECT No.:	REV. #	DATE
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R-103



PROJECT No.:	REV. #	DATE
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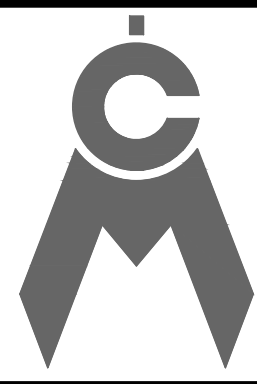
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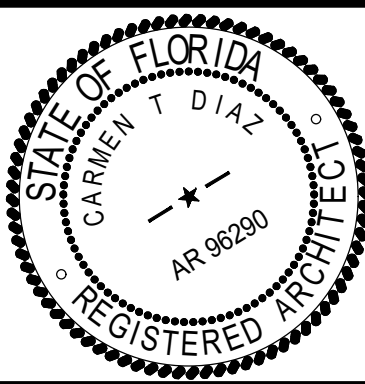
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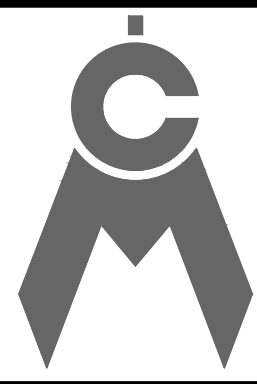
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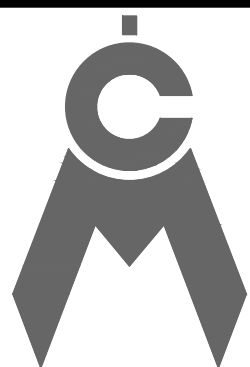
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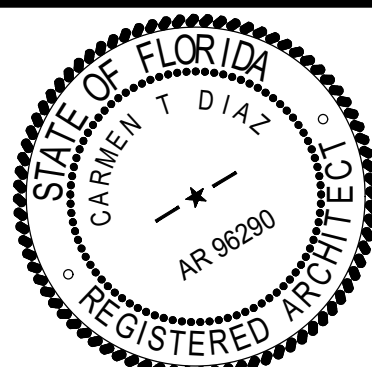
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EXHIBIT “C”

PUBLIC IMPROVEMENTS

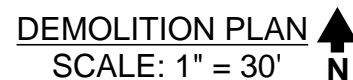
EXHIBIT “C” TO CRA FUNDING AGREEMENT BETWEEN THE HOLLYWOOD, FLORIDA COMMUNITY REDEVELOPMENT AGENCY AND VB HOLLYWOOD HOLDINGS, LLC.

The improvements of certain public properties and public rights-of way along S. 20th Avenue between Harrison Street and the north limits of the Soleste Village North development, consisting of: the removal and disposal of existing paver along sidewalks, concrete header band, driveways and lighting assemblies, and the installation of new sidewalks and driveways, lighting assemblies, milling and resurfacing, and striping of two travel lanes and one parking lane, as more formally set forth within the specifications below and the Conceptual Site Plan prepared by the CRA dated August 25, 2025, which may be subsequently revised at the request of the City of Hollywood, and other authorizing agencies for the purpose of permitting.

Public Improvements:

- Removal and Disposal of Existing Pavers along East and West Sidewalks Within ROW.
- Removal and Disposal of Existing Concrete Header Behind Curb on East and West Sidewalks Within ROW.
- Removal and Disposal of Existing Concrete Driveways at Alleyway Entrances.
- Removal and Disposal of Two Existing Tear Drop Light Assemblies
- Installation of New Picture-Frame Concrete along East and West Sidewalks Within ROW, Adhering to RAC Design Guidelines.
- Installation of New Picture-Frame Concrete Driveways at Alleyway Entrances, Adhering to RAC Design Guidelines
- Installation of New Tear Drop Light Assemblies, Adhering to RAC Design Guidelines:
 - Total: 2
 - Manufacturer: Holophane
 - Fixture Model: ESL3 – Esplanade Tear Drop Large Roadway LED Pendent
 - Arm Model: BCR 30IN 1A
 - Pole Model: RTFA14
 - Pole Size: 14'-0" High
 - Color: Black
- Mill and Resurface and Striping of Two Travel Lanes and One Parking Lane, Conforming to Broward County and City of Hollywood Current Standards

AUGUST 25, 2025



- THIS PLAN IS CONCEPTUAL AND NOT BASED ON AN ACCURATE SURVEY.
- ALL DIMENSIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFY.



5. 2 Standard Paving Sidewalks

The design of standard paving sidewalks and walkways play an integral role in establishing and reinforcing the identity of an area.

For standard paving for sidewalks and pedestrian walkways, it is recommended to use a single sidewalk material.

- » Scored concrete is preferred, with a minimum dimension of 5’ x 5’ squares.
- » Concrete is broom finished with smooth/slip resistant picture frame of no less than four inches.
- » Transitions between different materials and/or landscaping tree grates are given special attention and designed to minimize change in surface height to prevent hazard.
- » Designs prioritize accessibility for people of all ages and abilities, including those with hearing, vision and mobility impairments.

5. 2. 1 Colors

Standard paving sidewalks may be composed of the following color palette.

- » Natural/Grey

5. 2. 2 Materials

Standard paving sidewalks may be composed of the following material.

- » Concrete



FIGURE 38 – PICTURE FRAME CONCRETE OPEN SPACE

Picture Frame Concrete		
	Application Area	Y/N
Application Area:	Pedestrian Sidewalks -	Y
	Crosswalks -	N
	Intersection Corners -	N
	Public Open Spaces -	N
	On-Street Parking -	N
	Transit Stops	Y

TABLE II – STANDARD PAVING AREAS: PICTURE FRAME CONCRETE



FIGURE 39 – PICTURE FRAME CONCRETE SIDEWALK

ESL3

Esplanade® Tear Drop Large Roadway LED Pendant



Catalog Number	
Notes	Type

Description

The Esplanade luminaire is styled to replicate the "teardrop" luminaires that lighted boulevards in the first half of the 1900s. Designed for light control and ease of installation and maintenance, the Esplanade has a precision optical system for true street lighting performance.

Mechanical

The luminaire housing:

- Heavy grade A360 cast aluminum (aluminum with <1% copper)
- IP65 rated housing provides a spring-loaded latch for toolless access and a hinge for easy installation and servicing
- Optic door incorporates a hinge and wing nut enabling toolless access to install and service
- EEL- NEMA twist lock photocontrol receptacle can be mounted in electrical housing or externally; housing contains a tempered glass window to allow light to reach the cell for internally mounting

Electrical

- Certified by UL or CSA for wet locations
- A factory programmable electronic driver with 0-10V dimming control leads meets maximum total harmonic distortion (THD) of 20%, >0.90 Power Factor and are ROHS compliant.
- Minimum operating temperature is -40°C. Electronic driver has an estimated minimum life of 100,000 hours at 25°C.
- Optional DALI driver available
- 20kV/10kA surge protection, fail off, with indicator light meets ANSI/IEEE C62.41.2
- Quick disconnect connectors for ease of installation and maintenance.
- Three pole terminal block is standard, with optional prewired leads for ease of installation
- Configurable with CCT options of 2700K, 3000K, 4000K and 5000K, 70 CRI minimum

Finish

- Rigorous multi-stage pre-treating and painting process yields a finish that achieves a scribe creepage rating of 8 (per ASTM D1654) after over 5,000 hours exposure to salt fog chamber (operated per ASTM B117) on standard and RAL finish options.
- RAL (RALxxxxSDCR) paint colors are Super Durable Corrosion Resistant, 80% gloss.

Optical

The optical system is IP66 rated and consists of a precisely molded thermal resistant borosilicate glass refractor mounted within the borosilicate refractor Teardrop, Bowl, Sag shaped glass optic or the tempered Flat glass retained by the cast aluminum door. Designed for Type 2, 3, 4 & 5 distribution, see performance data table for configurations. For zero uplight options the flat glass option or the decorative shallow or deep skirt used with the bowl or sag glass.

Control Options

The control options shall include, but not limited to, the following:

- Field adjustable output to adjust output to luminaire - AO
- Long life photocontrol, 20 years – PCLL, P34 and P48 with DTL
- 3 and 7 pin receptacles internally in housing (PR3, PR7) or externally mounted on the leveling fitter (PR3E, PR7E)
- On externally mounted options, the photocontrol or shorting cap are selected with the leveling fitter

Mounting Style (Leveling Fitter Options)

Three mounting versions are available.

- An arm mount version which is provided with two U-bolts with washers and nuts and two leveling set screws that lock the housing to a 2 inch nominal (2-3/8" O.D.) horizontal arm and allow a +/- 5 degree adjustment from horizontal to the cover.
- A pendant mount version (either 1.25NPT or 1.5NPT) which threads to a vertical NPT male threaded pipe fitting and is locked in place by a stainless-steel set screw.
- A QSM (Quick Lock Stem Mounting), which consists of a vertical stem with flared top that mounts into a matching QSM fitter or arm. The QSM mount can aid in installation speed as it is a quicker installation than the other mounting methods.

Note: the QSM style is compatible with the following leveling fitters:

- Boston Harbor Decorative Arm Fitter (BHDF)
- GlasWerks Decorative Arm Fitter (GWDF)
- West Liberty Decorative Arm Fitter (WLDF)
- Ball Style Decorative Arm Fitter (BADF)

Certification

CSA listing suitable for wet location up to 40°C. Consult factory for details.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

BUY AMERICAN ACT

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

Warranty

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

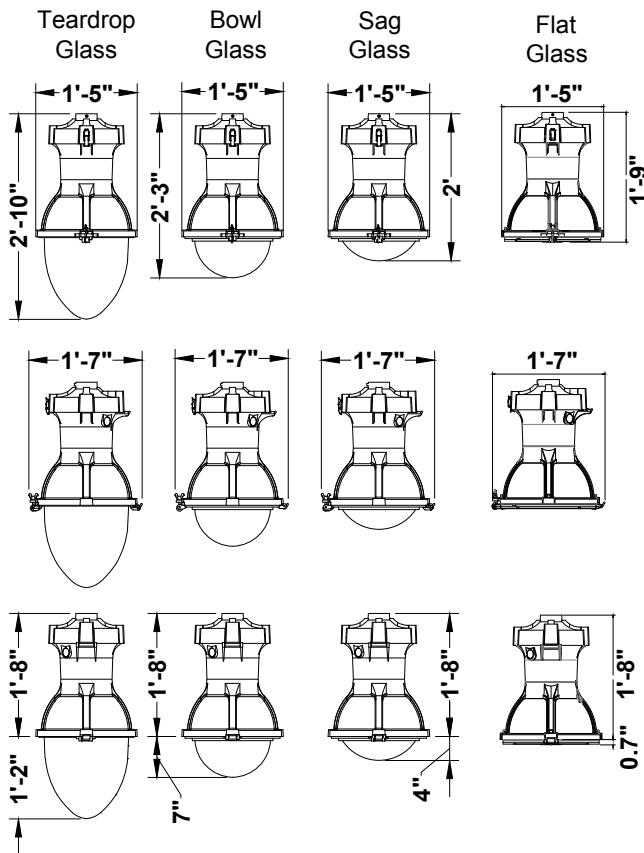
Note:

Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

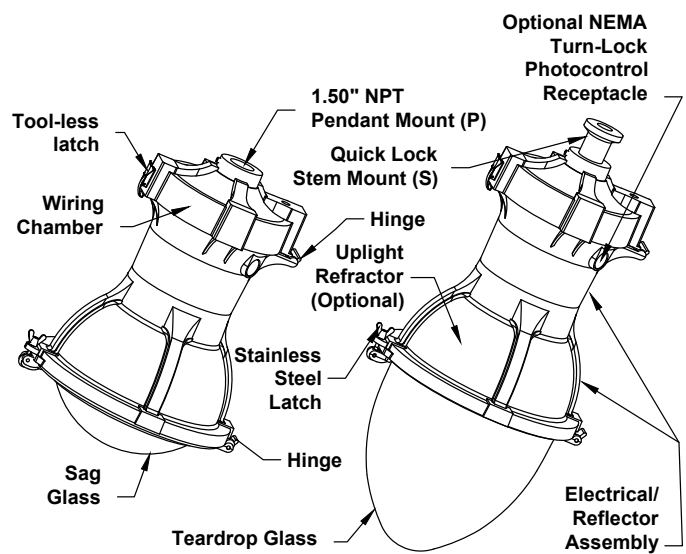
DIMENSIONAL DATA



Maximum Weight - 69 lbs (Up Light Version)

Maximum Weight - 69 lbs (Down Light Version)

Maximum Effective Projected Area - ESL3 2.62 ft², ESL3 SS 2.86 ft², ESL3 DS 3.06 ft²



ORDERING INFORMATION

Example: ESL3 P30S 30K MVOLT TG3 QSM BK

Series	Lumen/Wattage Package		Color Temperature		Voltage
ESL3 Esplanade style housings	P10S Standard housing, 44W	P35S Standard housing, 112W	27K 2700 series CCT	MVOLT Auto-sensing voltage (120 thru 277) 50/60 HZ	
	P15S Standard housing, 54W	P40S Standard housing, 132W	30K 3000 series CCT		
	P20S Standard housing, 73W	P45S Standard housing, 153W	40K 4000 series CCT	HVOLT Auto-sensing voltage (347 thru 480) 50/60 HZ	
	P20U Uplight housing, 94W	P50S Standard housing, 173W	50K 5000 series CCT		
	P25S Standard housing, 82W	P55S Standard housing, 193W			
	P25U Uplight housing, 109W	P60S Standard housing, 215W			
	P30S Standard housing, 92W	P65S Standard housing, 247W			
	P30U Uplight housing, 122W				

Optic		Mounting	
TG2	Teardrop Glass & Door: Type 2 application	BG4	Bowl Glass & Door: Type 4 application
TG3	Teardrop Glass & Door: Type 3 application	BG5	Bowl Glass & Door: Type 5 application
TG4	Teardrop Glass & Door: Type 4 application	SG2	Sag Glass & Door: Type 2 application
FG3	Flat Glass & Door: Type 3 application	SG3	Sag Glass & Door: Type 3 application
FG5	Flat Glass & Door: Type 5 application	SG4	Sag Glass & Door: Type 4 application
BG2	Bowl Glass & Door: Type 2 application	SG5	Sag Glass & Door: Type 5 application
BG3	Bowl Glass & Door: Type 3 application		
		NPT	Threaded top opening - 1.50" NPT
		QSM	Quick Lock Stem mount

Finish	Options	
BK Black	AO Field Adjustable Output	<u>Prewire Lead Options</u>
DB Dark Blue	PR3 NEMA twistlock photocontrol receptacle - 3 pin	L1H 1.5 ft. prewired leads
GR Grey	PR7 NEMA twistlock dimming photocontrol receptacle - 7 pin	L03 3 ft. prewired leads
GH Graphite	PR3E NEMA twistlock photocontrol receptacle - 3 pin (Externally mounted to Fitter)	L10 10 ft. prewired leads
GN Green	PR7E NEMA twistlock dimming photocontrol receptacle - 7 pin (Externally mounted to Fitter)	L20 20 ft. prewired leads
PP Prime Paint	PCLL Long Life DTL Twistlock Photocontrol for Solid State, Fail Off, MVOLT	L25 25 ft. prewired leads
SL Silver	P34 Long Life DTL Twistlock Photocontrol for Solid State, Fail Off, 347V	L30 30 ft. prewired leads
WH White	P48 Long Life DTL Twistlock Photocontrol for Solid State, Fail Off, 480V	L35 35 ft. prewired leads
BZ Bronze	SH Shorting cap	<u>NEMA Label Options</u>
CMC Custom Match Color Finish		NL1X1 1X1 NEMA Label
RALxxxxDCR RAL Super Durable Corrosion Resistant, 80% Gloss Paint, replace xxxx with RAL number.		NL3X3 3X3 NEMA Label
CTBS Standard Finish to be determined		<u>Shielding Options</u>
		DS Deep Skirt, 30" diameter
		SS Shallow Skirt, 30" diameter
		HSS90 Factory installed Large TearDrop, Bowl & Flat Glass House Side Shield 90 degrees
		HSS120 Factory installed Large TearDrop, Bowl & Flat Glass House Side Shield 120 degrees
		HSS180 Factory installed Large TearDrop, Bowl & Flat Glass House Side Shield 180 degrees
		HSG90 Factory installed Large Sag Glass House Side Shield 90 degrees
		HSG120 Factory installed Large Sag Glass House Side Shield 120 degrees
		HSG180 Factory installed Large Sag Glass House Side Shield 180 degrees

Accessories: Order as separate catalog number, ships separately & field installed.Shielding Options

LTD3HSS90	Large TearDrop, Bowl & Flat Glass House side shield 90 degree
LTD3HSS120	Large TearDrop, Bowl & Flat Glass House side shield 120 degree
LTD3HSS180	Large TearDrop, Bowl & Flat Glass House side shield 180 degree
LTD3HSG90	Large Sag Glass House side shield 90 degree
LTD3HSG120	Large Sag Glass House side shield 120 degree
LTD3HSG180	Large Sag Glass House side shield 180 degree
LTDSxx	Deep Skirt, 30" Diameter, replace xx with Finish option
LTSSxx	Shallow Skirt, 30" Diameter, replace xx with Finish option

OPTIONS MATRIX

OPTIONS		Performance Package														Voltage		Options									
		P10S	P15S	P20S	P20U	P25S	P25U	P30S	P30U	P35S	P40S	P45S	P50S	P55S	P60S	P65S	MVOLT	HVOLT	A0	PR3	PR7	PR3E	PR7E	PCLL	P34	P48	SH
Performance Package	P10S		N	N	N	N	N	N	N	N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P15S	N		N	N	N	N	N	N	N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P20S	N	N		N	N	N	N	N	N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P20U	N	N	N		N	N	N	N	N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P25S	N	N	N	N		N	N	N	N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
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	P30S	N	N	N	N	N	N		N	N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
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	P40S	N	N	N	N	N	N	N	N	N		N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P45S	N	N	N	N	N	N	N	N	N	N		N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P50S	N	N	N	N	N	N	N	N	N	N	N		N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P55S	N	N	N	N	N	N	N	N	N	N	N	N		N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P60S	N	N	N	N	N	N	N	N	N	N	N	N	N		N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P65S	N	N	N	N	N	N	N	N	N	N	N	N	N	N		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
Voltage	MVOLT	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		N	Y	Y	Y	Y	Y	Y	N	N	Y
	HVOLT	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N		Y	Y	Y	Y	Y	N	Y	Y	Y
Options	A0	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		Y	Y	Y	Y	Y	Y	Y	Y
	PR3	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		N	N	N	Y	Y	Y	Y
	PR7	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N		N	N	Y	Y	Y	Y
	PR3E	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	N		N	N	N	N	N
	PR7E	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	N	N		N	N	N	N
	PCLL	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y	N	N		N	N
	P34	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y	N	N	N		N	N
	P48	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y	N	N	N	N		N
	SH	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	N	N	N	

OPTICS by PERFORMANCE PACKAGE		Performance Package												
		TG2	TG3	TG4	FG3	FG5	BG2	BG3	BG4	BG5	SG2	SG3	SG4	SG5
Performance Package	P10S	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P15S	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P20S	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P20U	Y	Y	Y	N	N	Y	Y	Y	Y	Y	Y	Y	Y
	P25S	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P25U	Y	Y	Y	N	N	Y	Y	Y	Y	Y	Y	Y	Y
	P30S	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P30U	Y	Y	Y	N	N	Y	Y	Y	Y	Y	Y	Y	Y
	P35S	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P40S	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P45S	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P50S	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P55S	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P60S	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P65S	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y

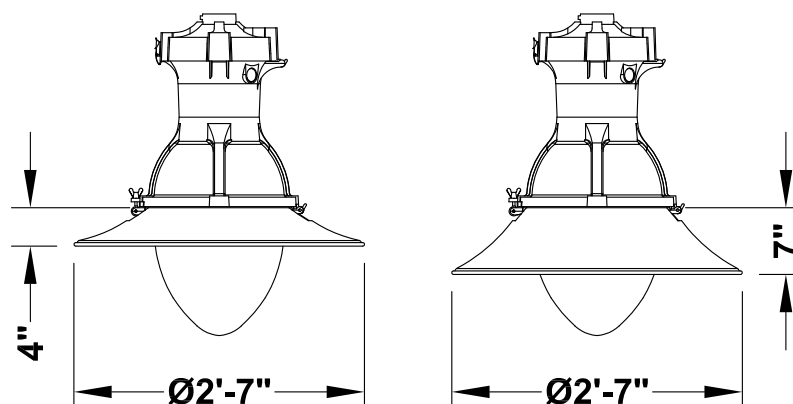
ESL3

Esplanade® Tear Drop Large Roadway LED Pendant

MARK APPROPRIATE BOX FOR TRIM OPTIONS

	STANDARD	SHALLOW SKIRT	DEEP SKIRT
TEARDROP GLASS (Asymmetric)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOWL GLASS (Asymmetric) (Symmetric)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SAG GLASS (Asymmetric) (Symmetric)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
FLAT GLASS (Asymmetric) (Symmetric)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

SKIRT DIMENSIONS



PERFORMANCE DATA. FOR SKIRT AND HOUSE SIDE SHIELD OPTIONS, CONSULT FACTORY OR WEBSITE.

LED Package	Glass / Optic	System Watts	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P10S	TG2	44	6,013	137	1	3	3	6,490	148	2	3	3	6,609	150	2	3	3	6,705	152	2	3	3
	TG3		6,033	137	1	3	3	6,511	148	2	3	3	6,630	151	2	3	3	6,727	153	2	3	3
	TG4		5,671	129	1	3	3	6,121	139	1	3	3	6,233	142	1	3	3	6,324	144	1	3	3
	FG3		3,912	89	1	0	1	4,222	96	1	0	1	4,300	98	1	0	1	4,362	99	1	0	1
	FG5		3,846	87	2	0	1	4,150	94	2	0	1	4,227	96	2	0	1	4,288	97	2	0	1
	BG2		5,750	131	2	3	3	6,206	141	2	3	3	6,320	144	2	3	3	6,412	146	2	3	3
	BG3		5,692	129	2	3	3	6,143	140	2	3	4	6,256	142	2	3	4	6,347	144	2	3	4
	BG4		5,389	122	1	3	3	5,816	132	1	3	3	5,923	135	1	3	3	6,009	137	1	3	4
	BG5		6,004	136	3	3	3	6,480	147	3	3	3	6,599	150	3	3	3	6,695	152	3	3	3
	SG2		5,778	131	1	3	3	6,236	142	1	3	3	6,350	144	1	3	3	6,443	146	1	3	3
	SG3		5,773	131	1	3	3	6,231	142	1	3	3	6,346	144	1	3	3	6,438	146	1	3	3
	SG4		5,452	124	1	3	3	5,884	134	1	3	3	5,992	136	1	3	3	6,079	138	1	3	3
	SG5		6,041	137	3	3	2	6,520	148	3	3	2	6,640	151	3	3	2	6,737	153	3	3	2
P15S	TG2	54	7,487	139	2	3	3	8,080	150	2	3	3	8,229	152	2	3	3	8,348	155	2	3	3
	TG3		7,511	139	2	3	3	8,106	150	2	3	3	8,255	153	2	3	3	8,375	155	2	3	3
	TG4		7,061	131	1	3	3	7,621	141	2	3	3	7,761	144	2	3	3	7,874	146	2	3	3
	FG3		4,871	90	1	0	1	5,257	97	2	0	1	5,353	99	2	0	1	5,431	101	2	0	1
	FG5		4,788	89	2	0	1	5,167	96	2	0	1	5,262	97	2	0	1	5,339	99	2	0	1
	BG2		7,159	133	2	3	4	7,727	143	2	3	4	7,869	146	2	3	4	7,983	148	2	3	4
	BG3		7,086	131	2	3	4	7,648	142	2	3	4	7,789	144	2	3	4	7,902	146	2	3	4
	BG4		6,710	124	1	3	4	7,241	134	2	3	4	7,375	137	2	3	4	7,482	139	2	3	4
	BG5		7,475	138	3	3	3	8,068	149	3	3	3	8,216	152	3	3	3	8,335	154	3	3	3
	SG2		7,193	133	2	3	3	7,763	144	2	3	3	7,906	146	2	3	3	8,021	149	2	3	3
	SG3		7,188	133	2	3	3	7,758	144	2	3	3	7,900	146	2	3	3	8,015	148	2	3	3
	SG4		6,788	126	1	3	3	7,326	136	1	3	3	7,460	138	1	3	3	7,569	140	1	3	3
	SG5		7,522	139	3	3	2	8,118	150	3	3	2	8,267	153	3	3	2	8,387	155	3	3	2
P20S	TG2	73	10,290	141	2	3	3	11,106	152	2	3	3	11,310	155	2	3	3	11,474	157	2	3	3
	TG3		10,323	141	2	3	3	11,141	153	2	3	4	11,346	155	2	3	4	11,511	158	2	3	4
	TG4		9,705	133	2	3	3	10,474	143	2	3	3	10,667	146	2	3	3	10,822	148	2	3	3
	FG3		6,694	92	2	0	1	7,225	99	2	0	2	7,358	101	2	0	2	7,465	102	2	0	2
	FG5		6,581	90	2	0	1	7,102	97	2	0	1	7,233	99	2	0	1	7,338	101	2	0	1
	BG2		9,840	135	2	3	4	10,620	145	2	3	5	10,816	148	2	3	5	10,973	150	3	3	5
	BG3		9,740	133	2	3	5	10,512	144	2	3	5	10,705	147	2	3	5	10,861	149	2	3	5
	BG4		9,222	126	2	3	5	9,953	136	2	3	5	10,136	139	2	3	5	10,283	141	2	3	5
	BG5		10,274	141	3	3	4	11,089	152	3	3	4	11,293	155	4	3	4	11,457	157	4	3	4
	SG2		9,887	135	2	3	3	10,671	146	2	3	3	10,867	149	2	3	3	11,025	151	2	3	3
	SG3		9,879	135	2	3	3	10,662	146	2	3	4	10,859	149	2	3	4	11,016	151	2	3	4
	SG4		9,329	128	2	3	3	10,069	138	2	3	3	10,254	140	2	3	3	10,403	143	2	3	3
	SG5		10,338	142	3	3	3	11,158	153	3	3	3	11,363	156	4	3	3	11,528	158	4	3	3
P20U	TG2	94	12,937	138	2	5	3	13,962	149	2	5	3	14,219	151	2	5	3	14,426	153	2	5	3
	TG3		12,978	138	2	5	4	14,006	149	2	5	4	14,264	152	2	5	4	14,471	154	2	5	4
	TG4		12,201	130	2	5	3	13,168	140	2	5	4	13,410	143	2	5	4	13,605	145	2	5	4
	BG2		12,371	132	2	5	4	13,351	142	3	5	5	13,597	145	3	5	5	13,794	147	3	5	5
	BG3		12,245	130	2	5	5	13,216	141	2	5	5	13,459	143	2	5	5	13,654	145	2	5	5
	BG4		11,594	123	2	5	5	12,513	133	2	5	5	12,744	136	2	5	5	12,929	138	2	5	5
	BG5		12,917	137	3	5	4	13,941	148	4	5	4	14,198	151	4	5	4	14,404	153	4	5	4
	SG2		12,430	132	2	5	3	13,415	143	2	5	3	13,662	145	2	5	3	13,861	147	2	5	3
	SG3		12,421	132	2	5	4	13,405	143	2	5	4	13,652	145	2	5	4	13,850	147	2	5	4
	SG4		11,729	125	2	5	3	12,658	135	2	5	4	12,891	137	2	5	4	13,078	139	2	5	4
	SG5		12,997	138	3	5	3	14,028	149	4	5	3	14,286	152	4	5	3	14,493	154	4	5	3

PERFORMANCE DATA. FOR SKIRT AND HOUSE SIDE SHIELD OPTIONS, CONSULT FACTORY OR WEBSITE.

LED Package	Glass / Optic	System Watts	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P25S	TG2	82	11,665	142	2	3	4	12,590	154	3	3	4	12,821	156	3	3	4	13,008	159	3	3	4
	TG3		11,703	143	2	3	4	12,630	154	2	3	4	12,862	157	3	3	4	13,049	159	3	3	4
	TG4		11,002	134	2	3	3	11,874	145	2	3	4	12,092	147	2	3	4	12,268	150	2	3	4
	FG3		7,589	93	2	0	2	8,190	100	2	0	2	8,341	102	2	0	2	8,462	103	2	0	2
	FG5		7,460	91	2	0	1	8,051	98	3	0	1	8,199	100	3	0	1	8,319	101	3	0	1
	BG2		11,155	136	3	3	5	12,039	147	3	3	5	12,261	150	3	3	5	12,439	152	3	3	5
	BG3		11,042	135	2	3	5	11,917	145	3	3	5	12,136	148	3	3	5	12,312	150	3	3	5
	BG4		10,454	127	2	3	5	11,283	138	2	3	5	11,491	140	2	3	5	11,658	142	2	3	5
	BG5		11,647	142	4	3	4	12,570	153	4	3	4	12,802	156	4	3	4	12,988	158	4	3	4
	SG2		11,208	137	2	3	3	12,096	148	2	3	4	12,319	150	2	3	4	12,498	152	2	3	4
	SG3		11,200	137	2	3	4	12,087	147	2	3	4	12,310	150	2	3	4	12,488	152	2	3	4
	SG4		10,576	129	2	3	4	11,414	139	2	3	4	11,624	142	2	3	4	11,793	144	2	3	4
	SG5		11,720	143	4	3	3	12,649	154	4	3	3	12,881	157	4	3	3	13,069	159	4	3	3
P25U	TG2	109	14,701	135	2	5	4	15,866	146	3	5	4	16,158	148	3	5	4	16,393	150	3	5	4
	TG3		14,747	135	2	5	4	15,916	146	3	5	4	16,209	149	3	5	4	16,445	151	3	5	4
	TG4		13,865	127	2	5	4	14,964	137	2	5	4	15,239	140	2	5	4	15,460	142	2	5	4
	BG2		14,058	129	3	5	5	15,172	139	3	5	5	15,451	142	3	5	5	15,675	144	3	5	5
	BG3		13,915	128	3	5	5	15,018	138	3	5	5	15,294	140	3	5	5	15,516	142	3	5	5
	BG4		13,176	121	2	5	5	14,220	130	2	5	5	14,481	133	2	5	5	14,692	135	2	5	5
	BG5		14,679	135	4	5	4	15,842	145	4	5	4	16,134	148	4	5	4	16,368	150	4	5	4
	SG2		14,125	130	2	5	4	15,245	140	2	5	4	15,525	142	2	5	4	15,751	145	2	5	4
	SG3		14,115	129	2	5	4	15,233	140	2	5	4	15,514	142	2	5	4	15,739	144	2	5	4
	SG4		13,328	122	2	5	4	14,384	132	2	5	4	14,649	134	2	5	4	14,862	136	2	5	4
	SG5		14,770	136	4	5	3	15,941	146	4	5	3	16,234	149	4	5	3	16,470	151	4	5	3
P30S	TG2	92	12,968	141	3	3	4	13,996	152	3	3	4	14,254	155	3	3	4	14,461	157	3	3	4
	TG3		13,010	141	3	3	4	14,041	153	3	3	4	14,300	155	3	3	4	14,507	158	3	3	4
	TG4		12,231	133	2	3	4	13,201	143	2	3	4	13,443	146	2	3	4	13,639	148	2	3	4
	FG3		8,437	92	2	0	2	9,106	99	2	0	2	9,273	101	2	0	2	9,408	102	2	0	2
	FG5		8,294	90	3	0	1	8,951	97	3	0	1	9,116	99	3	0	1	9,248	101	3	0	2
	BG2		12,402	135	3	3	5	13,385	145	3	3	5	13,631	148	3	3	5	13,829	150	3	3	5
	BG3		12,275	133	3	3	5	13,248	144	3	3	5	13,492	147	3	3	5	13,688	149	3	3	5
	BG4		11,623	126	2	3	5	12,544	136	2	3	5	12,774	139	2	3	5	12,960	141	2	3	5
	BG5		12,949	141	4	3	4	13,975	152	4	3	4	14,232	155	4	3	4	14,439	157	4	3	4
	SG2		12,460	135	2	3	4	13,448	146	2	3	4	13,695	149	2	3	4	13,894	151	2	3	4
	SG3		12,451	135	2	3	4	13,438	146	2	3	4	13,685	149	2	3	4	13,884	151	3	3	4
	SG4		11,758	128	2	3	4	12,690	138	2	3	4	12,923	140	2	3	4	13,111	143	2	3	4
	SG5		13,029	142	4	3	3	14,062	153	4	3	3	14,321	156	4	3	3	14,529	158	4	3	3
P30U	TG2	122	16,481	135	3	5	4	17,787	146	3	5	4	18,115	148	3	5	4	18,378	151	3	5	4
	TG3		16,533	136	3	5	4	17,843	146	3	5	4	18,172	149	3	5	5	18,436	151	3	5	5
	TG4		15,543	127	2	5	4	16,775	138	2	5	4	17,084	140	2	5	4	17,332	142	2	5	4
	BG2		15,760	129	3	5	5	17,009	139	3	5	5	17,322	142	3	5	5	17,573	144	3	5	5
	BG3		15,600	128	3	5	5	16,836	138	3	5	5	17,146	141	3	5	5	17,395	143	3	5	5
	BG4		14,771	121	2	5	5	15,942	131	2	5	5	16,235	133	2	5	5	16,471	135	3	5	5
	BG5		16,456	135	4	5	4	17,760	146	4	5	5	18,087	148	4	5	5	18,350	150	4	5	5
	SG2		15,836	130	2	5	4	17,091	140	3	5	4	17,405	143	3	5	4	17,658	145	3	5	4
	SG3		15,824	130	2	5	4	17,078	140	3	5	4	17,392	143	3	5	4	17,645	145	3	5	4
	SG4		14,942	122	2	5	4	16,126	132	2	5	4	16,423	135	2	5	4	16,661	137	2	5	4
	SG5		16,558	136	4	5	3	17,871	146	4	5	3	18,199	149	4	5	3	18,464	151	4	5	3

PERFORMANCE DATA. FOR SKIRT AND HOUSE SIDE SHIELD OPTIONS, CONSULT FACTORY OR WEBSITE.

LED Package	Glass / Optic	System Watts	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P355	TG2	112	15,526	139	3	3	4	16,757	150	3	3	4	17,065	152	3	3	4	17,313	155	3	3	4
	TG3		15,576	139	3	3	4	16,810	150	3	3	5	17,120	153	3	3	5	17,368	155	3	3	5
	TG4		14,643	131	3	3	4	15,804	141	3	3	4	16,095	144	3	3	4	16,328	146	3	3	4
	FG3		10,101	90	3	0	2	10,901	97	3	0	2	11,102	99	3	0	2	11,263	101	3	0	2
	FG5		9,929	89	3	0	2	10,716	96	3	0	2	10,913	97	3	0	2	11,072	99	3	0	2
	BG2		14,847	133	3	3	5	16,024	143	3	3	5	16,319	146	3	3	5	16,556	148	3	3	5
	BG3		14,696	131	3	3	5	15,861	142	3	4	5	16,153	144	3	4	5	16,388	146	3	4	5
	BG4		13,915	124	2	3	5	15,018	134	3	3	5	15,294	137	3	3	5	15,516	139	3	3	5
	BG5		15,502	138	4	3	5	16,731	149	4	3	5	17,039	152	4	3	5	17,286	154	4	3	5
	SG2		14,918	133	3	3	4	16,100	144	3	3	4	16,396	146	3	3	4	16,634	149	3	3	4
	SG3		14,906	133	3	3	4	16,088	144	3	3	5	16,384	146	3	3	5	16,622	148	3	3	5
	SG4		14,076	126	2	3	4	15,192	136	2	3	4	15,472	138	2	3	4	15,696	140	2	3	4
	SG5		15,599	139	4	3	3	16,835	150	4	3	3	17,145	153	4	3	3	17,394	155	4	3	3
P405	TG2	132	18,148	137	3	3	5	19,586	148	3	3	5	19,947	151	3	3	5	20,236	153	3	3	5
	TG3		18,206	138	3	3	5	19,649	149	3	3	5	20,011	152	3	3	5	20,301	154	3	3	5
	TG4		17,116	130	3	3	4	18,473	140	3	3	5	18,812	143	3	3	5	19,086	145	3	3	5
	FG3		11,806	89	3	0	2	12,742	97	3	0	2	12,977	98	3	0	2	13,165	100	3	0	2
	FG5		11,606	88	3	0	2	12,526	95	3	0	2	12,756	97	3	0	2	12,941	98	3	0	2
	BG2		17,355	131	3	4	5	18,730	142	3	4	5	19,075	145	3	4	5	19,352	147	3	4	5
	BG3		17,178	130	3	4	5	18,539	140	3	4	5	18,880	143	3	4	5	19,155	145	3	4	5
	BG4		16,264	123	3	3	5	17,553	133	3	4	5	17,876	135	3	4	5	18,136	137	3	4	5
	BG5		18,120	137	4	3	5	19,556	148	4	3	5	19,916	151	4	4	5	20,205	153	4	4	5
	SG2		17,437	132	3	3	5	18,819	143	3	3	5	19,165	145	3	3	5	19,443	147	3	3	5
	SG3		17,424	132	3	3	5	18,805	142	3	3	5	19,151	145	3	3	5	19,429	147	3	3	5
	SG4		16,453	125	2	3	5	17,758	135	3	3	5	18,084	137	3	3	5	18,347	139	3	3	5
	SG5		18,233	138	4	3	3	19,678	149	4	3	3	20,040	152	4	3	3	20,331	154	4	3	3
P455	TG2	153	20,508	134	3	3	5	22,134	145	3	3	5	22,541	147	3	3	5	22,868	149	3	3	5
	TG3		20,574	134	3	3	5	22,205	145	3	3	5	22,613	148	3	3	5	22,942	150	3	3	5
	TG4		19,342	126	3	3	5	20,875	136	3	3	5	21,259	139	3	3	5	21,568	141	3	3	5
	FG3		13,342	87	3	0	2	14,399	94	3	0	3	14,664	96	3	0	3	14,877	97	3	0	3
	FG5		13,115	86	3	0	2	14,155	93	3	0	2	14,415	94	3	0	2	14,625	96	3	0	2
	BG2		19,612	128	3	4	5	21,166	138	3	4	5	21,555	141	3	4	5	21,869	143	3	4	5
	BG3		19,412	127	3	4	5	20,951	137	3	4	5	21,336	139	3	4	5	21,646	141	3	4	5
	BG4		18,380	120	3	4	5	19,836	130	3	4	5	20,201	132	3	4	5	20,495	134	3	4	5
	BG5		20,477	134	4	4	5	22,100	144	4	4	5	22,506	147	5	4	5	22,833	149	5	4	5
	SG2		19,705	129	3	3	5	21,266	139	3	3	5	21,658	142	3	3	5	21,972	144	3	3	5
	SG3		19,690	129	3	3	5	21,250	139	3	3	5	21,641	141	3	3	5	21,956	144	3	3	5
	SG4		18,593	122	3	3	5	20,067	131	3	3	5	20,436	134	3	3	5	20,733	136	3	3	5
	SG5		20,604	135	4	3	3	22,238	145	4	3	3	22,647	148	5	3	3	22,976	150	5	3	4
P505	TG2	173	22,698	131	3	3	5	24,497	142	3	3	5	24,948	144	3	4	5	25,310	146	3	4	5
	TG3		22,771	132	3	3	5	24,576	142	3	3	5	25,028	145	3	3	5	25,392	147	3	4	5
	TG4		21,408	124	3	3	5	23,104	134	3	3	5	23,529	136	3	3	5	23,871	138	3	3	5
	FG3		14,767	85	3	0	3	15,937	92	3	0	3	16,230	94	3	0	3	16,466	95	3	0	3
	FG5		14,516	84	3	0	2	15,666	91	3	0	2	15,955	92	3	0	2	16,186	94	3	0	2
	BG2		21,706	125	3	4	5	23,426	135	3	4	5	23,857	138	3	4	5	24,204	140	3	4	5
	BG3		21,485	124	3	4	5	23,188	134	3	4	5	23,615	137	3	4	5	23,958	138	3	4	5
	BG4		20,342	118	3	4	5	21,955	127	3	4	5	22,359	129	3	4	5	22,684	131	3	4	5
	BG5		22,663	131	5	4	5	24,460	141	5	4	5	24,910	144	5	4	5	25,272	146	5	4	5
	SG2		21,809	126	3	3	5	23,537	136	3	3	5	23,970	139	3	3	5	24,319	141	3	3	5
	SG3		21,792	126	3	3	5	23,520	136	3	3	5	23,952	138	3	3	5	24,300	140	3	3	5
	SG4		20,579	119	3	3	5	22,210	128	3	3	5	22,619	131	3	3	5	22,947	133	3	3	5
	SG5		22,805	132	5	3	4	24,612	142	5	3	4	25,065	145	5	3	4	25,429	147	5	3	4

PERFORMANCE DATA. FOR SKIRT AND HOUSE SIDE SHIELD OPTIONS, CONSULT FACTORY OR WEBSITE.

LED Package	Glass / Optic	System Watts	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P55S	TG2	193	24,807	129	3	3	5	26,773	139	3	4	5	27,266	141	3	4	5	27,662	143	3	4	5
	TG3		24,887	129	3	3	5	26,859	139	3	4	5	27,353	142	3	4	5	27,751	144	3	4	5
	TG4		23,397	121	3	3	5	25,251	131	3	3	5	25,716	133	3	3	5	26,089	135	3	4	5
	FG3		16,139	84	3	0	3	17,418	90	3	0	3	17,738	92	3	0	3	17,996	93	3	0	3
	FG5		15,865	82	3	0	2	17,122	89	3	0	2	17,437	90	3	0	2	17,690	92	3	0	2
	BG2		23,723	123	3	4	5	25,603	133	3	4	5	26,074	135	3	4	5	26,453	137	3	4	5
	BG3		23,481	122	3	4	5	25,342	131	3	4	5	25,809	134	3	4	5	26,184	136	3	4	5
	BG4		22,232	115	3	4	5	23,995	124	3	4	5	24,436	127	3	4	5	24,791	128	3	4	5
	BG5		24,769	128	5	4	5	26,732	139	5	4	5	27,224	141	5	4	5	27,620	143	5	4	5
	SG2		23,835	123	3	3	5	25,724	133	3	3	5	26,198	136	3	3	5	26,578	138	3	3	5
	SG3		23,817	123	3	3	5	25,705	133	3	3	5	26,178	136	3	3	5	26,558	138	3	3	5
	SG4		22,491	117	3	3	5	24,274	126	3	3	5	24,720	128	3	3	5	25,079	130	3	3	5
	SG5		24,924	129	5	3	4	26,899	139	5	3	4	27,394	142	5	3	4	27,792	144	5	3	4
P60S	TG2	215	27,208	127	3	4	5	29,364	137	3	4	5	29,905	139	3	4	5	30,339	141	3	4	5
	TG3		27,295	127	3	4	5	29,459	137	3	4	5	30,001	140	3	4	5	30,437	142	3	4	5
	TG4		25,661	119	3	3	5	27,695	129	3	4	5	28,204	131	3	4	5	28,614	133	3	4	5
	FG3		17,701	82	3	0	3	19,104	89	3	0	3	19,455	90	3	0	3	19,738	92	3	0	3
	FG5		17,400	81	3	0	2	18,779	87	4	0	2	19,124	89	4	0	2	19,402	90	4	0	2
	BG2		26,019	121	3	4	5	28,081	131	4	4	5	28,597	133	4	4	5	29,013	135	4	4	5
	BG3		25,754	120	3	4	5	27,795	129	4	4	5	28,306	132	4	4	5	28,718	134	4	4	5
	BG4		24,384	113	3	4	5	26,317	122	3	4	5	26,801	125	3	4	5	27,190	126	3	4	5
	BG5		27,166	126	5	4	5	29,319	136	5	4	5	29,859	139	5	4	5	30,293	141	5	4	5
	SG2		26,142	122	3	3	5	28,214	131	3	3	5	28,733	134	3	3	5	29,150	136	3	3	5
	SG3		26,122	121	3	3	5	28,193	131	3	3	5	28,711	134	3	3	5	29,128	135	3	3	5
	SG4		24,668	115	3	3	5	26,623	124	3	3	5	27,113	126	3	3	5	27,506	128	3	3	5
	SG5		27,336	127	5	3	4	29,502	137	5	3	4	30,045	140	5	3	4	30,481	142	5	3	4
P65S	TG2	247	30,354	123	3	4	5	32,760	133	4	4	5	33,363	135	4	4	5	33,848	137	4	4	5
	TG3		30,452	123	3	4	5	32,866	133	4	4	5	33,470	136	4	4	5	33,956	137	4	4	5
	TG4		28,629	116	3	4	5	30,898	125	3	4	5	31,466	127	3	4	5	31,923	129	3	4	5
	FG3		19,748	80	3	0	3	21,313	86	3	0	3	21,705	88	3	0	3	22,020	89	3	0	3
	FG5		19,412	79	4	0	2	20,951	85	4	0	3	21,336	86	4	0	3	21,646	88	4	0	3
	BG2		29,028	118	4	4	5	31,328	127	4	4	5	31,905	129	4	4	5	32,368	131	4	4	5
	BG3		28,732	116	4	4	5	31,009	126	4	5	5	31,580	128	4	5	5	32,039	130	4	5	5
	BG4		27,204	110	3	4	5	29,360	119	3	4	5	29,900	121	3	4	5	30,335	123	3	4	5
	BG5		30,308	123	5	4	5	32,710	132	5	4	5	33,312	135	5	4	5	33,796	137	5	4	5
	SG2		29,165	118	3	3	5	31,477	127	3	3	5	32,056	130	3	4	5	32,522	132	3	4	5
	SG3		29,143	118	3	3	5	31,453	127	3	4	5	32,032	130	3	4	5	32,497	132	3	4	5
	SG4		27,520	111	3	3	5	29,702	120	3	3	5	30,248	122	3	3	5	30,688	124	3	3	5
	SG5		30,497	123	5	3	4	32,914	133	5	3	4	33,520	136	5	3	4	34,007	138	5	3	4

LUMEN AMBIENT TEMPERATURE (LAT) MULTIPLIERS

Use the factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F)

Ambient Temp.		Lumen Multiplier (by Performance Package)			
°C	°F	P10S, P15S, P20S, P20U, P25S, P25U, P30S, P30U, P35S, P40S, P45S & P50S	P55S	P60S	P65S
0	32	1.03	1.04	1.04	1.04
5	41	1.03	1.03	1.03	1.04
10	50	1.02	1.02	1.03	1.03
15	59	1.01	1.02	1.02	1.02
20	68	1.01	1.01	1.01	1.01
25	77	1.00	1.00	1.00	1.00
30	86	0.99	0.99	0.99	0.99
35	95	0.99	0.98	0.98	0.98
40	104	0.98	0.97	0.97	0.97

PROJECTED LED LUMEN MAINTENANCE

Data references the extrapolated performance projections for the platforms noted in 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Lumen Maintenance - LLD (by Performance Package)									
Hours		0	25,000	36,000	50,000	60,000	67,500	75,000	100,000
Factor for:	P10S, P15S, P20S, P20U, P25S, P25U, P30S, P30U, P35S, P40S, P45S & P50S	1.00	0.95	0.94	0.91	0.90	0.89	0.88	0.84
	P55S	1.00	0.95	0.93	0.91	0.90	0.89	0.87	0.84
	P60S & P65S	1.00	0.95	0.93	0.90	0.89	0.87	0.86	0.82

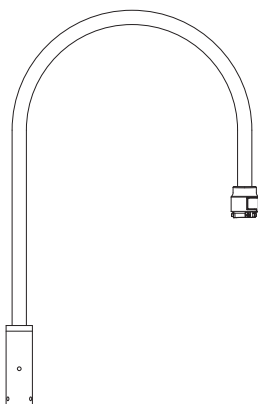
FIELD ADJUSTABLE OUTPUT (AO option)

The data is the same for MVOLT & HVOLT.

Performance Package	FAO Position	% Lumen Output	% Wattage	Performance Package	FAO Position	% Lumen Output	% Wattage	Performance Package	FAO Position	% Lumen Output	% Wattage
P10S	8	100%	100%	P25U	8	100%	100%	P45S	8	100%	100%
	7	94%	94%		7	94%	94%		7	95%	94%
	6	80%	80%		6	81%	80%		6	82%	79%
	5	68%	68%		5	69%	68%		5	71%	67%
	4	55%	55%		4	56%	54%		4	58%	54%
	3	41%	42%		3	43%	41%		3	45%	41%
	2	28%	29%		2	30%	29%		2	31%	28%
	1	13%	15%		1	15%	15%		1	16%	14%
P15S	8	100%	100%	P30S	8	100%	100%	P50S	8	100%	100%
	7	94%	94%		7	94%	94%		7	95%	94%
	6	80%	80%		6	81%	80%		6	82%	79%
	5	68%	68%		5	69%	67%		5	71%	67%
	4	55%	55%		4	56%	54%		4	59%	54%
	3	42%	42%		3	43%	41%		3	45%	41%
	2	28%	29%		2	30%	28%		2	32%	28%
	1	14%	15%		1	15%	15%		1	16%	14%
P20S	8	100%	100%	P30U	8	100%	100%	P55S	8	100%	100%
	7	94%	94%		7	94%	94%		7	95%	94%
	6	81%	80%		6	81%	80%		6	83%	79%
	5	69%	68%		5	70%	67%		5	72%	67%
	4	56%	54%		4	57%	54%		4	59%	54%
	3	42%	41%		3	44%	41%		3	46%	41%
	2	29%	29%		2	30%	29%		2	32%	28%
	1	14%	15%		1	15%	15%		1	17%	14%
P20U	8	100%	100%	P35S	8	100%	100%	P60S	8	100%	100%
	7	94%	94%		7	94%	94%		7	95%	94%
	6	81%	80%		6	81%	79%		6	83%	79%
	5	69%	68%		5	70%	67%		5	72%	67%
	4	56%	55%		4	57%	54%		4	60%	54%
	3	43%	42%		3	44%	41%		3	47%	41%
	2	29%	29%		2	30%	28%		2	33%	28%
	1	15%	15%		1	15%	15%		1	17%	14%
P25S	8	100%	100%	P40S	8	100%	100%	P65S	8	100%	100%
	7	94%	94%		7	95%	94%		7	95%	94%
	6	81%	80%		6	82%	79%		6	84%	79%
	5	69%	67%		5	70%	67%		5	73%	67%
	4	56%	54%		4	57%	54%		4	61%	53%
	3	43%	41%		3	44%	41%		3	48%	40%
	2	29%	28%		2	31%	28%		2	33%	28%
	1	15%	15%		1	16%	15%		1	18%	14%

BCR

Bishop's Crook Aluminum Roadway Arm



Catalog Number	
Notes	Type

General Description

The roadway arms shall be all aluminum, one-piece construction. The arms shall consist of a post or wall bracket mounting piece, a bent tube arm, and an end piece for luminaire mounting. The wall bracket shall have a flat aluminum wall plate for mounting. All welding shall be per ANSI/AWS D1.2. All welders shall be certified per ANSI/AWS D1.2.

Materials

- The post mounting piece and bent tube arm shall be from ASTM 6061 alloy.
- All hardware shall be stainless steel.
- If chosen, the QSM luminaire mounting will be cast aluminum produced from certified ASTM 356.1 ingot per ASTM B179 or ASTM B26.

Installation

- The tenon fitter is designed to slipfit a 3 inch O.D. by 6 inch (C06) tall tenon and attach with socket set screws
- Arms shall have either a QSM (Quick Stem Mount) or a 1-1/2 NPT male threaded end to match the same mounting style on a luminaire
- The wall bracket shall have clearance holes for mounting to the wall (wall mounting hardware furnished by others)
- All hardware shall be tamper resistant stainless steel
- The Sitelink mount will include Tracnuts for bolting to a Sitelink shaft

Finish

- Utilize a polyester powder coat paint to ensure maximum durability.
- Rigorous multi-stage pre-treating and painting process yields a finish that achieves a scribe creepage rating of 8 (per ASTM D1654) after over 5,000 hours exposure to salt fog chamber (operated per ASTM B117) on standard and RAL finish options.
- RAL (RALxxxxSDCR) paint colors are Super Durable Corrosion Resistant, 80% gloss.

Warranty

1-year limited warranty. Complete warranty terms located at (Holophane Pole Warranty):
www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

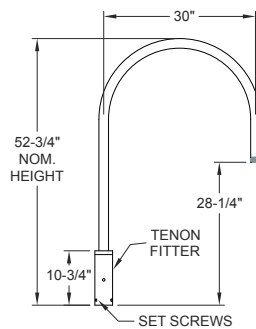
ORDERING INFORMATION

Example: BCR 30IN 1A TN QSM BK

Series		Height/Length		Number of Arms/Orientation		Arm Connection		Luminaire Mounting		Shaft Style		Finish	
BCR	Aluminum Roadway Arm	30IN	30 Inches	1A	Single Roadway Arm	BO	Bolt-on mount attaches to side of pole.	NPT	1-1/2" NPT	SiteLink		BK	Black
				2A	Double Roadway Arm, 2 single arms @ 180°					QSM	Quick Stem Mount	SL4	4.50" fluted, .156 wall
						TN	Tenon mount.			SL5	5.25" fluted, .25 wall	CMC	Customer matching color
						WB	Wall Bracket Mount			SL6	5.75" fluted, .25 wall	CTBS	Standard color to be selected
										SL8	8.50" fluted, .188 wall	DB	Dark Blue
										ST2	5.75" extruded, .25 wall	GN	Green
										ST3	8.50" extruded, .22 wall	GH	Graphite
												GR	Gray
												PP	Prime Painted
												RALxxxxSDCR	RAL Super Durable Corrosion Resistant, 80% Gloss Paint, replace xxxx with RAL number
												SL	Silver
												WH	White
						Note: BO only available with 1A WB only available with 1A				Note: For 1A arms only, not for use with TN or WB mount.			

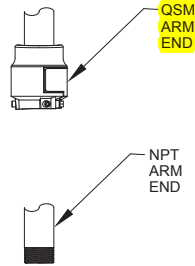
DIMENSIONAL DATA & ORIENTATION

Single Roadway Arm

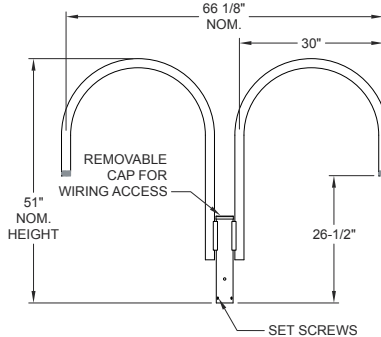


BCR 30IN 1A
 ((1) 30IN arm)

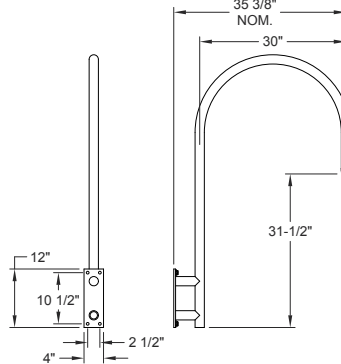
Luminaire Mounting Options



Double Roadway Arm

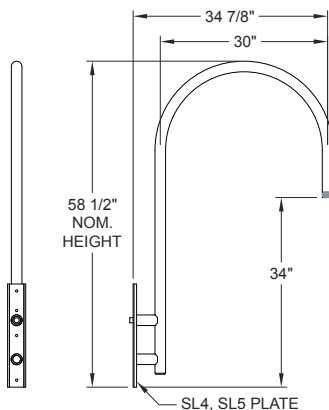


BCR 30IN 2A
 ((2) 30IN arms at 180°)

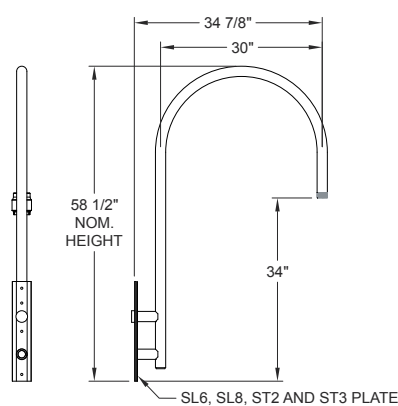


BCR 30IN 1A WB
 ((1) 30IN Wall Bracket)

Wall Bracket Mount



BCR 30IN 1A B0
 ((1) 30IN Bolt-on SL4, SL5)

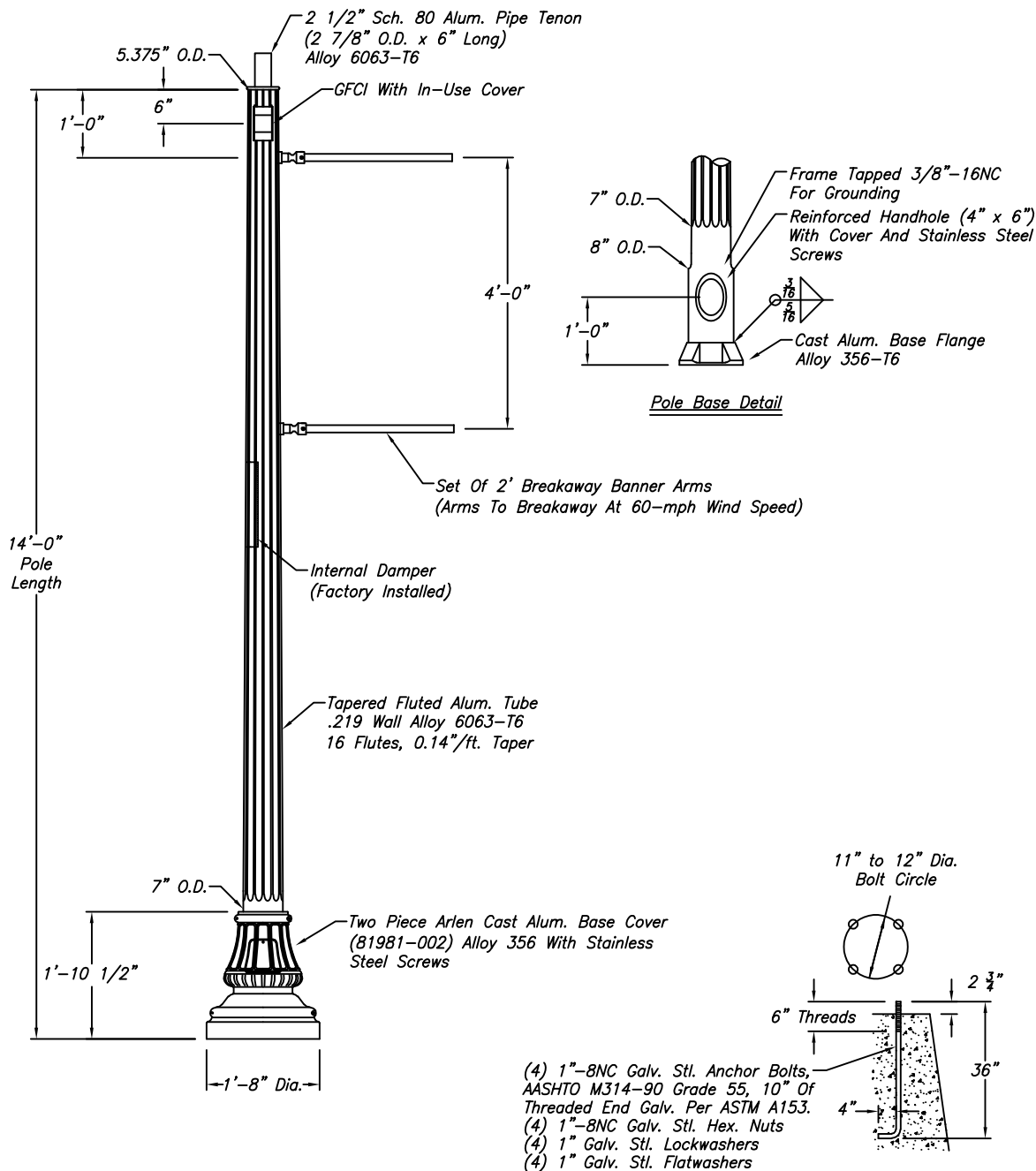


BCR 30IN 1A B0
 ((1) 30IN Bolt-on SL6, SL8, ST2 or ST3)

ARM	EPA (sqft)	Weight (LBS)
BCR 30IN 1A B0	1.3	25
BCR 30IN 1A TN	1.2	25
BCR 30IN 2A TN	2.22	45
BCR 30IN 1A WB	1.3	25

Design Notes:

1. Shaft heat treated to -T6 temper after welding.
2. Pole is designed per 2020 FBC 7th Edition for a wind speed of 180-MPH, giving a design life of 50-years when supporting the following:
 - 2.1. Luminaire: 1.43-ft² EPA & 39-lbs.
 - 2.2. Arm: 1.04-ft² EPA & 25-lbs.
 - 2.3. Banner Arms: 2'x4'; Breakaway at 60-mph
3. Pole is designed to be mounted at grade level.
4. Sand Before Fluting!



WARNING: DO NOT INSTALL LIGHTING POLES WITHOUT LUMINAIRES

NO.	REVISIONS	DATE
1	Assigned PN To Sketch & Added Note 4 (tnb)	10/20
2	Material was .188" Wall (JWD)	05/21
3	Was 2017 FBC (DJY)	06/22

hapco
Abingdon, Va.

TITLE ARLEN SERIES LIGHT POLE	
CUSTOMER HOLOPHANE - FLORIDA	
SCALE 16	DATE 09/25/2020
BY BAD	DWG. NO.
CHK'D	B105290

B105290

EXHIBIT "D"
DEVELOPER'S COST ESTIMATE

PROJECT: ORIGINAL PLANS: PLANS USED:		SOLESTE VILLAGE - 20th ROAD IMPROVEMENTS No Drawings Set Received from CRA	
DIVISION	DESCRIPTION	HARD COST BUDGET	NOTES / QUALIFICATIONS
DIVISION 1 - GENERAL REQUIREMENTS			
01-1000	Project Staffing	\$ 15,000.00	
01-1007	General Labor	\$ 5,000.00	
01-1119	Mobilization	\$ 5,000.00	Demolition Crew To Mobilization
01-1120	Traffic Control, MOT and Maintenance	\$ 21,750.00	MOT for demo concrete and install sidewalk
01-1170	Reproduction, Couriers, Misc Supplies, Fuel	\$ 500.00	
01-1180	Jobsite Office/Offsite Parking	\$ 500.00	
01-1181	Temporary Storage	\$ 1,000.00	
01-1183	Office Supplies	\$ 500.00	
01-1184	Civil engineering revisions, permitting, certificatio and inspection costs	\$ 20,000.00	estimated
01-1202	Electrical enginneering (light poles) plans and permitting costs	\$ 7,000.00	estimated
01-1206	Temporary Toilets	\$ 750.00	
01-1300	Safety, Barriers & Protection	\$ 1,250.00	
01-1321	Trash Removal - Dumpsters	\$ 12,000.00	concrete remove and haul off
01-1322	Rough Clean	\$ 1,500.00	
01-1323	Daily Cleanup	\$ 2,000.00	
01-1328	Offsite Clean-up	\$ 5,970.00	
01-1330	Final Cleanup	\$ 2,500.00	
01-1420	Surveys, Layout, & As Built	\$ 7,500.00	lightpoles, sidewalk, as-builts etc.
01-1500	Small Tools Rental and Purchase		
01-1600	Punch List Labor and Materials	\$ 750.00	
TOTAL DIVISION 1		\$ 110,470	
DIVISION 2 - SITEWORKS			
02-0020	Erosion Control	\$ 2,000.00	SWPPP
02-0040	Demolition sidewalk and 2 light poles	\$ 10,000.00	sidewalk
02-0041	Debri removal concrete etc. / prep/grade for concrete and ramps	\$ 12,496.00	
02-0045	Public Road Maintenance	\$ 5,680.00	paint and thermo at Tyler / 20th
02-0310	Sidewalks garage ramps etc in R/W outside bldg.	\$ 15,000.00	additioan cost picture frame
02-0330	Misc. Site Concrete	\$ 5,000.00	damaged header bands
02-0601	Asphalt Paving - mill and resurface	\$ 23,890.00	includes mobilization for milling machine and paver
02-0603	Curbs and Gutters	\$ -	no curb and gutter removal or replacing
02-0604	Street, Curb and Offsite Repairs	\$ -	
02-0605	Pavement Markings	\$ 10,000.00	paint and 30days later thermo Incl. 20th Crosswalk
02-0651	Drainage Cleaning	\$ 2,500.00	
DIVISION 16 - ELECTRICAL			
16-0100	Electrical Base Bid (Wiring and install only)	\$ 18,890.00	street lighting install and remove only. Using existing wires and power
16-0200	Lighting & Fixtures	\$ 32,500.00	street lighting only. Need to confirm power source
TOTAL DIVISION 16		\$ 137,956.00	
TOTAL DIVISIONS 1 THRU 16		\$ 248,426	
3.00%	3% Construction Contingency	\$ 7,452.78	
3.00%	3% Overhead	\$ 7,452.78	
3.00%	3% Contractors Fee	\$ 7,452.78	
		\$ 22,358	
Total Cost			
		\$ 270,784	
DIVISION 40 - CONTINGENCIES			
16-0100	Electrical Additional Services Budget (Wiring through new Conduit)	\$ 48,000.00	street lighting only. Need to confirm power source
02-0808	Sleeves	\$ 7,456.00	electrical conduit lights
02-0132	Utility Trenching	\$ 65,000.00	budget utility trenching new conduit only if needed.
Total Cost		\$ 391,240	