

ARCHITECT

HKS ARCHITECTS, INC. 2020 SALZEDO STREET, 4TH FLOOR CORAL GABLES, FL 33134

INTERIOR DESIGNER

HKS ARCHITECTS

225 EAST ROBINSON ST. SUITE #405 ORLANDO, FL 32801

GMG STRUCTURAL ENGINEERS

14335 COMMERCE WAY

MIAMI LAKES, FL 33016

800 FAIRWAY DRIVE

2995 SIDCO DRIVE

OWNER

NASHVILLE, TN 37204

3501 JOHNSON STREET

HOLLYWOOD, FL 33021

CIVIL & LANDSCAPE **CGA SOLUTIONS** 1800 ELLER DRIVE, SUITE 600

FORT LAUDERDALE, FL 33316 STRUCTURAL ENGINEER

MEP & FIRE PROTECTION

TLC ENGINEERING SOLUTIONS, INC.

TELECOM & EQUIPMENT

MEMORIAL HEALTHCARE SYSTEM

INTERIM REVIEW ONLY

These documents are incomplete, and

are released for interim review only and

are not intended for regulatory approval,

License No.: LA6667598

DOMINIC JAMES MACK III, R.L.A., STATE OF FLORIDA, REGISTERED LANDSCAPE ARCHITECT, LICENSE NO.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED

SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC

CONSIDERED SIGNED AND SEALED AND THE

Landscape Architect: Dominic James Mack III, R.L.A.

permit, or construction purposes.

Date: 04/12/2024

DEERFIELD BEACH, FL 33441

SMITH SECKMAN REID, INC.

PERMITTED BUILDING HEIGHT = 120' HT PROPOSED BUILDING HEIGHT = 119'-11" HT (8 STORIES)

BUILDING SETBACKS: (1)

REQUIRED: 20' + 1' FOR EACH 5' ABOVE 65' HT. = 31' PROVIDED: 174.33' (MIN)

NET PROPERTY AREA:

923,703 SF (21.2053 ACRES) MEMORIAL REGIONAL HOSPITAL = JOE DIMAGGIO CHILDREN'S HOSPITAL = 219,654 SF (5.0426 ACRES) TOTAL PROPERTY AREA = 1,143,357 SF (26.2479 ACRES)

PROJECT AREA: (2) PROJECT LIMIT AREA = 154,618 SF (3.5495 ACRES)

PERVIOUS AND IMPERVIOUS AREAS:

		EXISTING			PROPOSED)
ITEM	S.F.	ACRES	%	S.F.	ACRES	%
BUILDING	73,393	1.6849	47.47%	92,055	2.1133	59.54%
DRIVE/ROADS	45,256	1.0389	29.27%	42,673	0.9796	27.60%
WALKS	20,017	0.4595	12.95%	16,054	0.3685	10.38%
IMPERVIOUS	138,666	3.1833	89.68%	150,782	3.4615	97.52%
PERVIOUS	15,952	0.3662	10.32%	3,836	0.0881	2.48%

TOTAL GROSS FLOOR AREA OF NEW BUILDING: (3) 404,492 SF TOTAL NET INCREASE AFTER DEMOLITION 209,662 SF

Summary of New Construction Areas	Totals	Code Required	Required Parking
Diagnostic & Treatment	75,111.00	1 per 200	376
Outpatient	11,593.00	1 per 200	58
Beds	150.00	1 for 1	150
Total Additional Parking Required			584

Existing Parking Requirements for F	Parcel II*	1580
Additional Parking Required (new a	areas)	584
Total Parking Required for Parcel II	2164	
		,
Existing Parking for Parcel II*		2682
Parking Reduction due to Improver	2	
Total Parking Available		2680
Accessible Parking Required	20 + 1/100 Spaces	42

*Existing and Provided Parking Counts are based on Resolution 17-DP-39, Page 8 adopted on March 15, 2018

1. THE MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES

(MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL). 2. THIS PROJECT IS INTENDED TO COMPLY WITH THE CITY OF

HOLLYWOOD'S GREEN BUILDING ORDINANCE.

3. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING

AND LAND DEVELOPMENT REGULATIONS. 4. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS SHALL REQUIRE A SEPARATE ELECTRICAL

PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN. 5. THIS PROJECT IS INTENDED TO ACHIEVE LEED

CERTIFICATION.

6. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

PER THE EFFECTIVE INTERLOCAL AGREEMENT TERM # 4. SEE ARCHITECTURAL ELEVATIONS FOR ADDITIONAL INFORMATION.

8. PROJECT LIMIT AREA SHALL BE USED FOR CALCULATIONS OF PERVIOUS/IMPERVIOUS AREA PERCENTAGES.

• REQUESTED VARIANCES: NONE.

MEETING DATES

Board / Committee	Date
P.A.C.O. 05	/22/2023
PRELIMINARY TAC SUBMITTAL 04.	/15/2024
PRELIMINARY TAC MEETING 05.	/06/2024
FINAL TAC SUBMITTAL XX	/XX/2024
FINAL TAC MEETING XX	/XX/2024
PLANNING DEVELOPMENT BOARD XX	/XX/2024

FINAL TAC

ELEVATIONS ARE IN NAVD 88

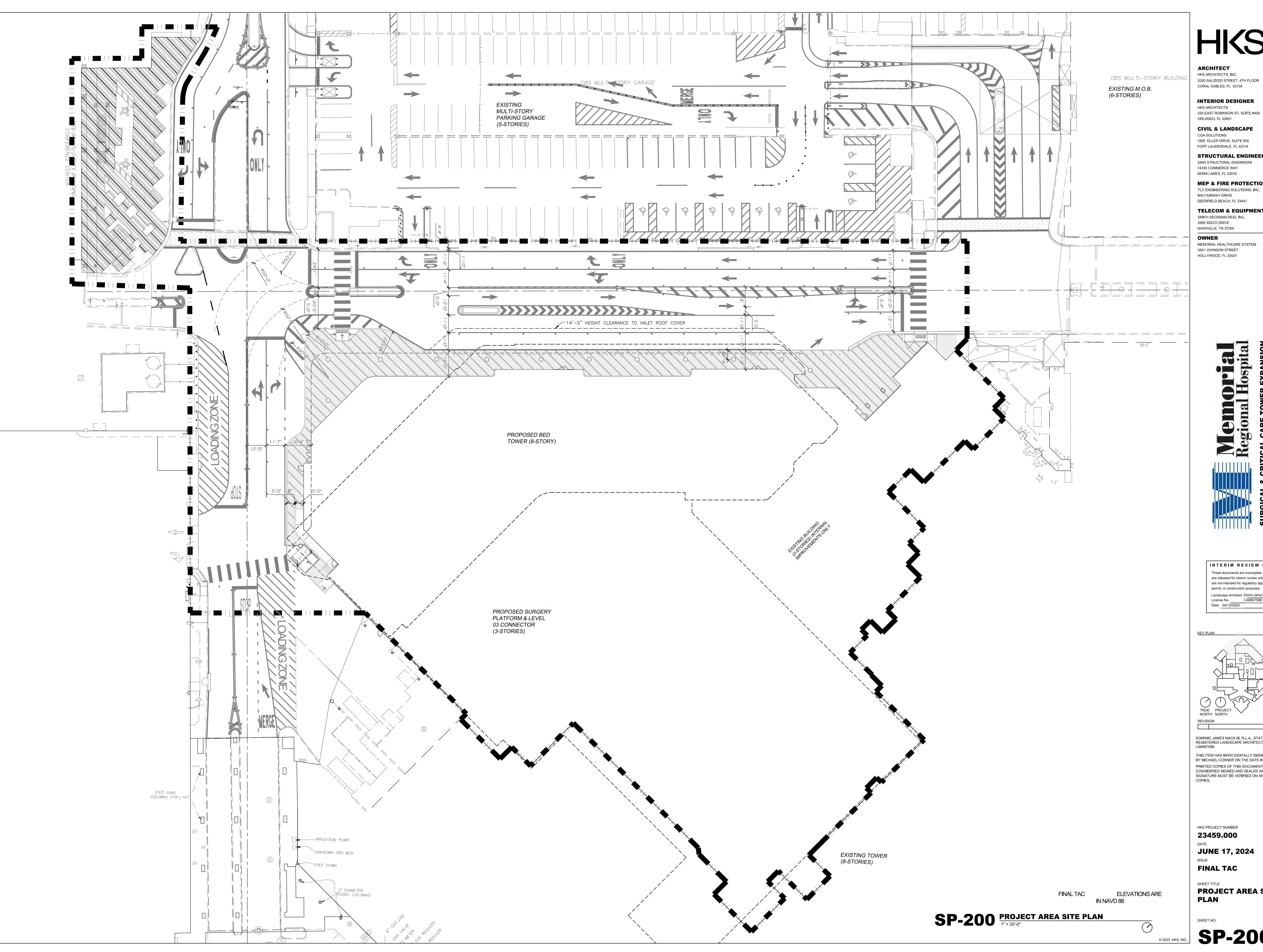
OVERALL SITE PLAN

HKS PROJECT NUMBER 23459.000

FINAL TAC

JUNE 17, 2024

COPIES.



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INTERIOR DESIGNER HKS ARCHITECTS

CIVIL & LANDSCAPE

1800 ELLER DRIVE, SUITE 600 FORT LAUDERDALE, FL 33316

STRUCTURAL ENGINEER GMG STRUCTURAL ENGINEERS

14335 COMMERCE WAY MIAMI LAKES, FL 33016 **MEP & FIRE PROTECTION**

TLC ENGINEERING SOLUTIONS, INC. 800 FAIRWAY DRIVE DEERFIELD BEACH, FL 33441

TELECOM & EQUIPMENT SMITH SECKMAN REID, INC. 2995 SIDCO DRIVE

NASHVILLE, TN 37204

MEMORIAL HEALTHCARE SYSTEM 3501 JOHNSON STREET HOLLYWOOD, FL 33021

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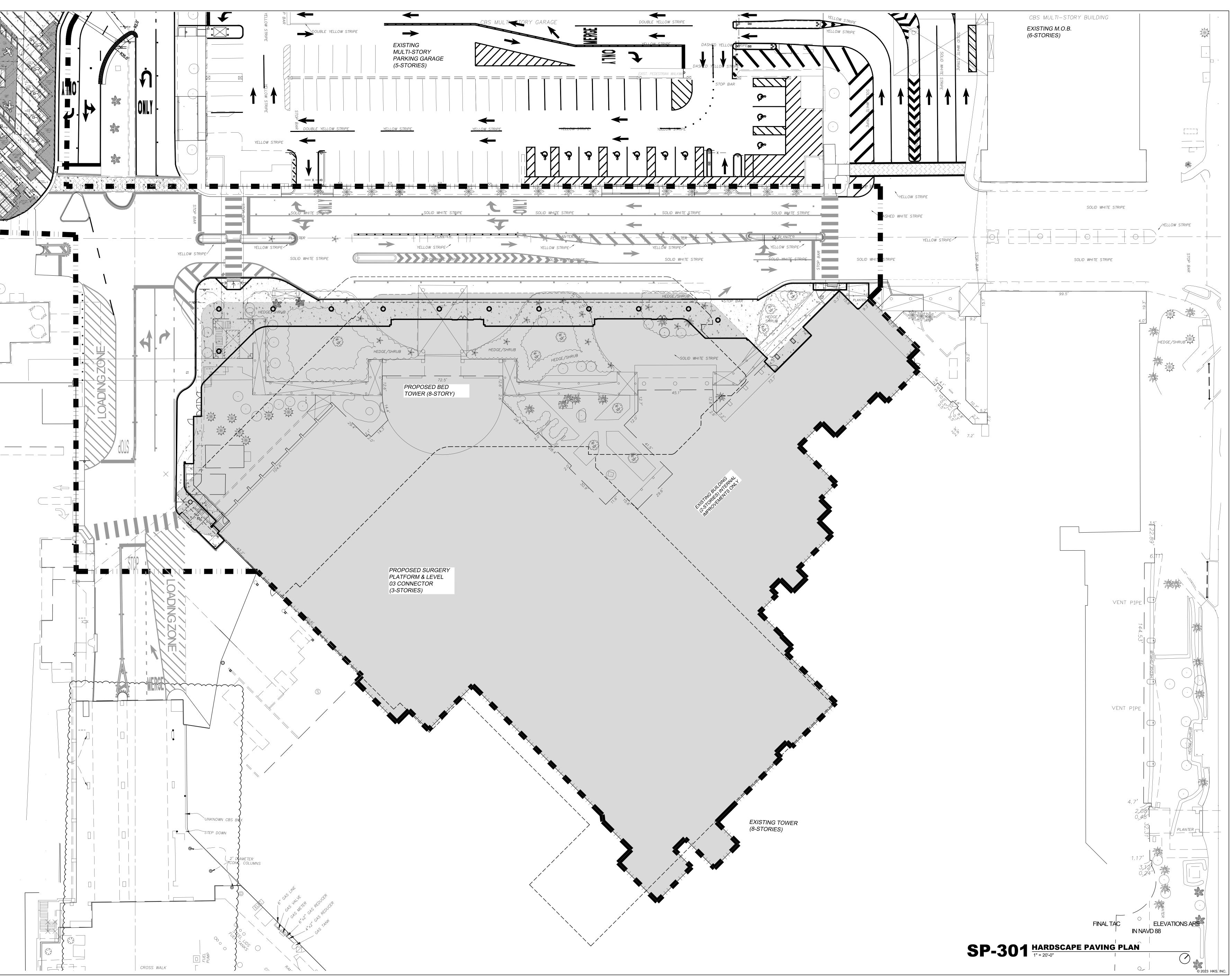
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PROJECT AREA SITE



HKS

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OWNER
MEMORIAL HEALTHCARE SYSTEM

MEMORIAL HEALTHCARE SYSTEM 3501 JOHNSON STREET HOLLYWOOD, FL 33021

Regional Hospital

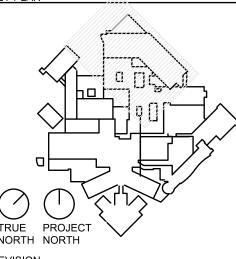
IIICAL CARE TOWER EXPANSION

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Landscape Architect: Dominic James Mack III, R.L.A.

PLAN _____



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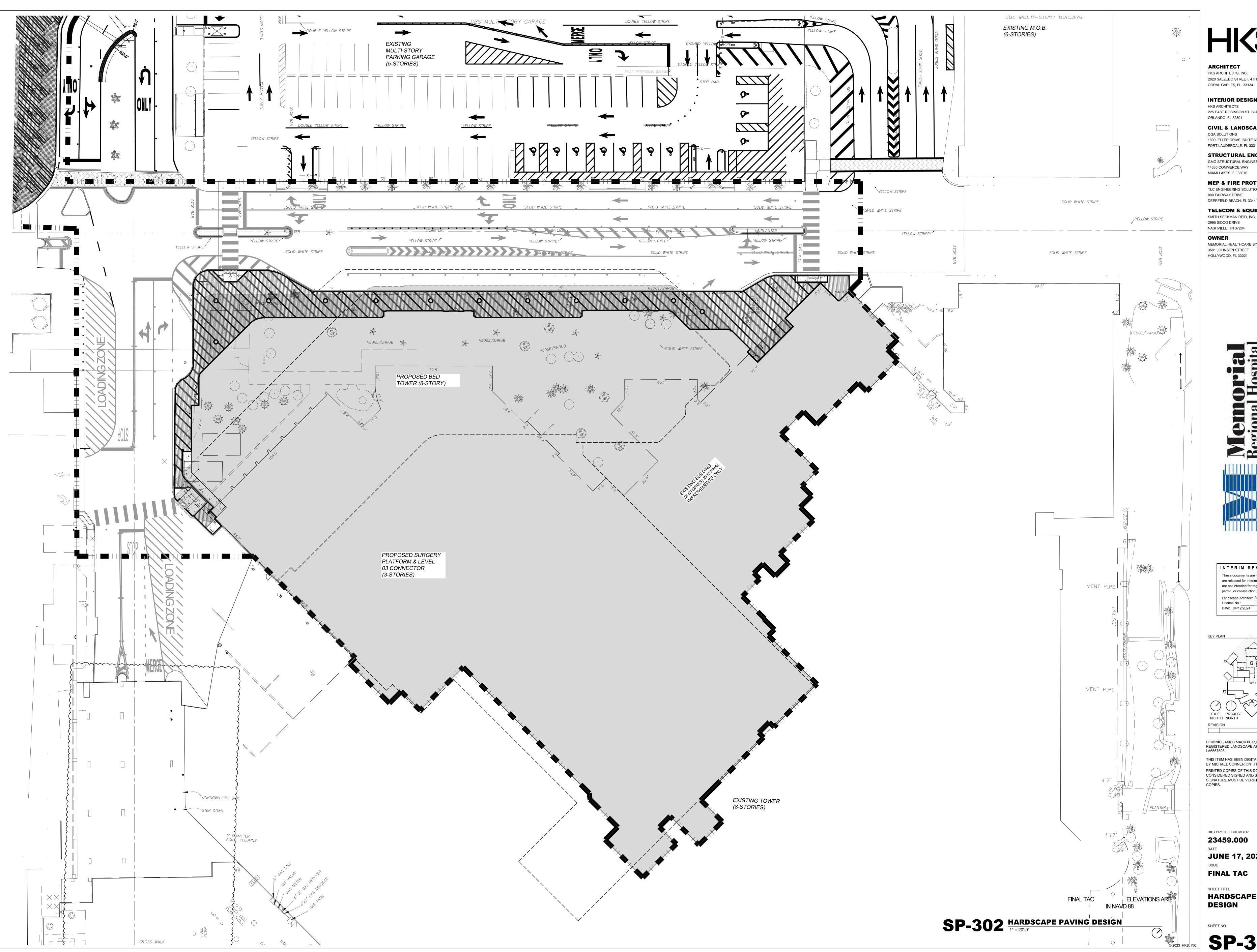
HKS PROJECT NUMBER **23459.000**

JUNE 17, 2024

FINAL TAC

HARDSCAPE PAVING PLAN

SP-30



INTERIOR DESIGNER HKS ARCHITECTS

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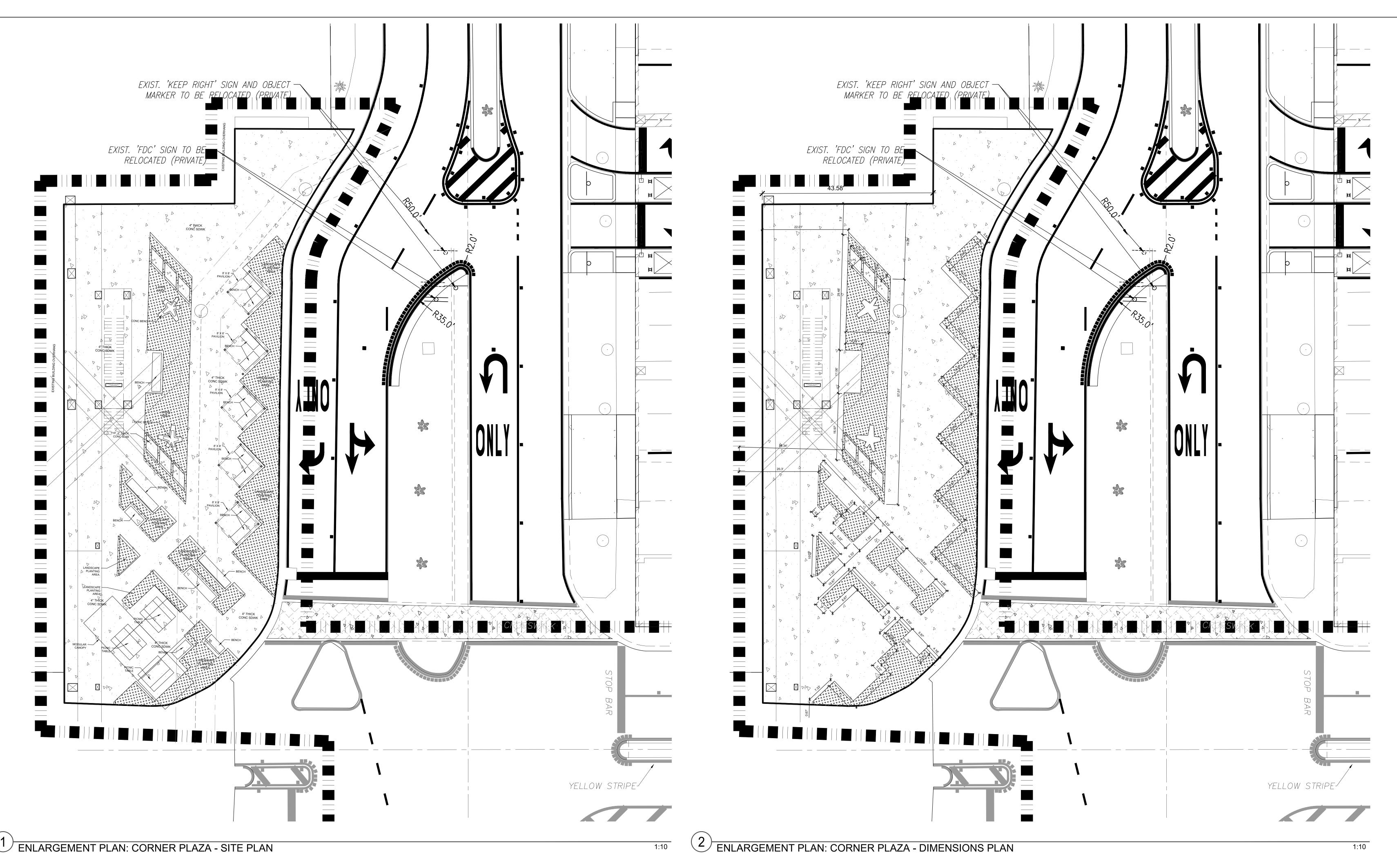
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JUNE 17, 2024

FINAL TAC

HARDSCAPE PAVING **DESIGN**



FINAL TAC **ELEVATIONS ARE**

SP-401 ENLARGEMENT PLANS - CORNER PLAZA 1" = 20'-0"

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CORAL GABLES, FL 33134

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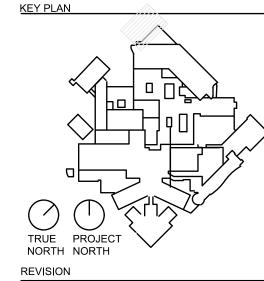
TELECOM & EQUIPMENT SMITH SECKMAN REID, INC.

2995 SIDCO DRIVE NASHVILLE, TN 37204

OWNER MEMORIAL HEALTHCARE SYSTEM 3501 JOHNSON STREET HOLLYWOOD, FL 33021



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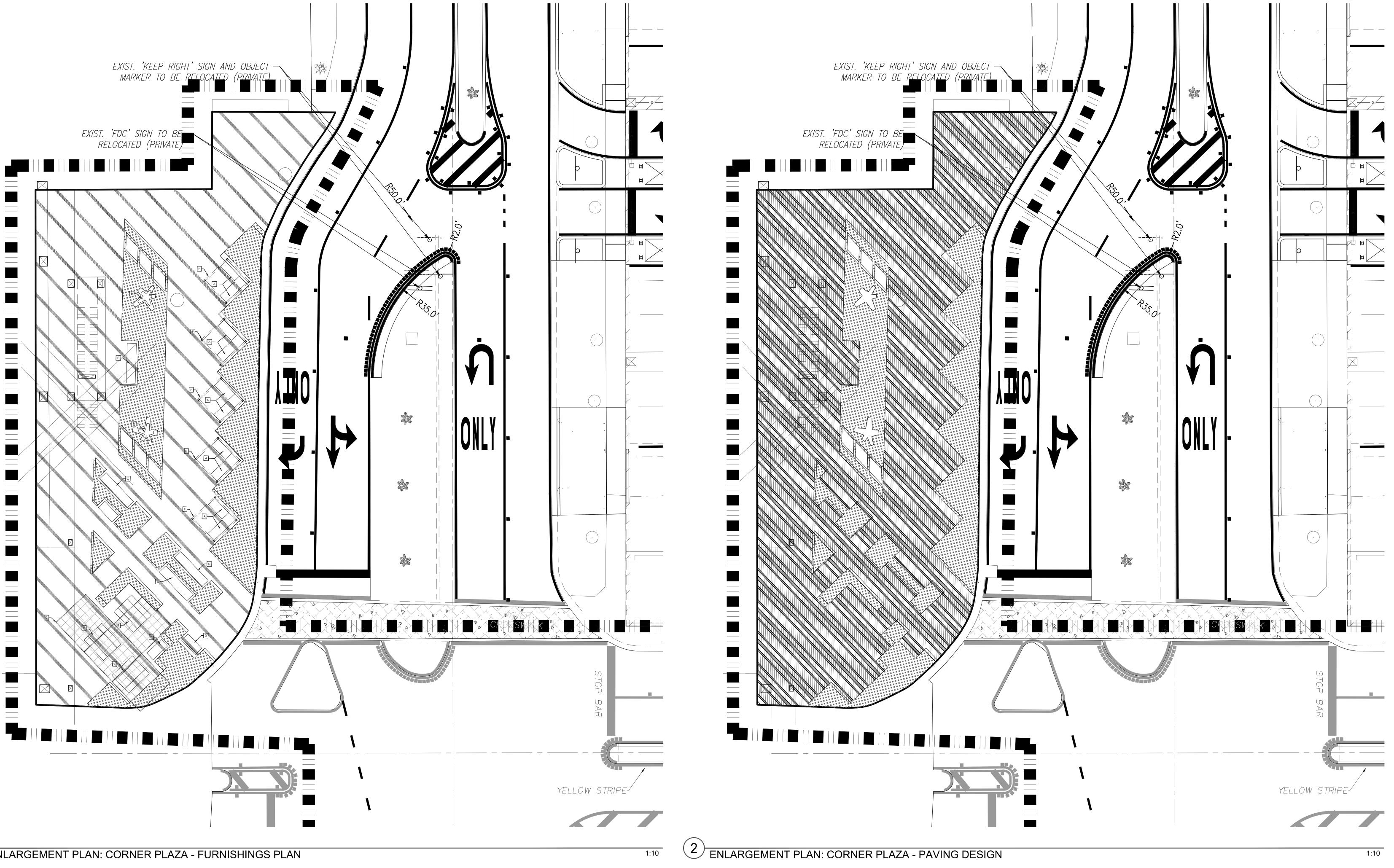
23459.000

JUNE 17, 2024

FINAL TAC

ENLARGEMENT PLANS - CORNER PLAZA

SHEET NO.



ENLARGEMENT PLAN: CORNER PLAZA - FURNISHINGS PLAN

	FURNISHINGS SCHEDULE						
ID	DESCRIPTION	MANUFACTURER	MODEL	FINISHES			
Α	BENCH	MM CITE	RADIUM LRA160	POWDERCOATED STEEL, RESYSTA COMPOSITE			
В	BENCH	ESCOFET - LANDSCAPE FORMS	FLOR SMALL	CAST STONE			
С	BENCH	MM CITE	VERA LV151	STREEL FRAME, RESYSTA COMPOSITE			
D	BENCH	MMCITE	VERA LV150	STREEL FRAME, RESYSTA COMPOSITE			
F	PICNIC BENCH	MMCITE	VERA LVS111	STREEL FRAME, RESYSTA COMPOSITE			
L	PICNIC TABLE	MMCITE	VERA LVS911	STREEL FRAME, RESYSTA COMPOSITE			
F	PERGOLA SHELTER	LUXURY PERGOLA	CUSTOM ORDER	ALUMINUM FRAME			
G	CANOPY	MM CITE	PIN105	STEEL STRUCTURE, ROOF SAFETY GLASS			

HATCH LEGEND **EXPOSED AGGREGATE HONED CONCRETE** TO MATCH LITHOCRETE SAMPLE 08-043 MODIFICATION: ADDITION OF COQUINA SHELLS EXPOSED AGGREGATE HONED CONCRETE TO MATCH LITHOCRETE SAMPLE 07-251 MODIFICATION: ADDITION OF COQUINA SHELLS EXPOSED AGGREGATE HONED CONCRETE TO MATCH LITHOCRETE SAMPLE 07-259 MODIFICATION: ADDITION OF COQUINA SHELLS

> FINAL TAC **ELEVATIONS ARE**

SP-402 ENLARGEMENT PLANS - CORNER PLAZA 1" = 20'-0"

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MEMORIAL HEALTHCARE SYSTEM

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ORLANDO, FL 32801

CGA SOLUTIONS

CORAL GABLES, FL 33134

SHEET NO.

PLAZA

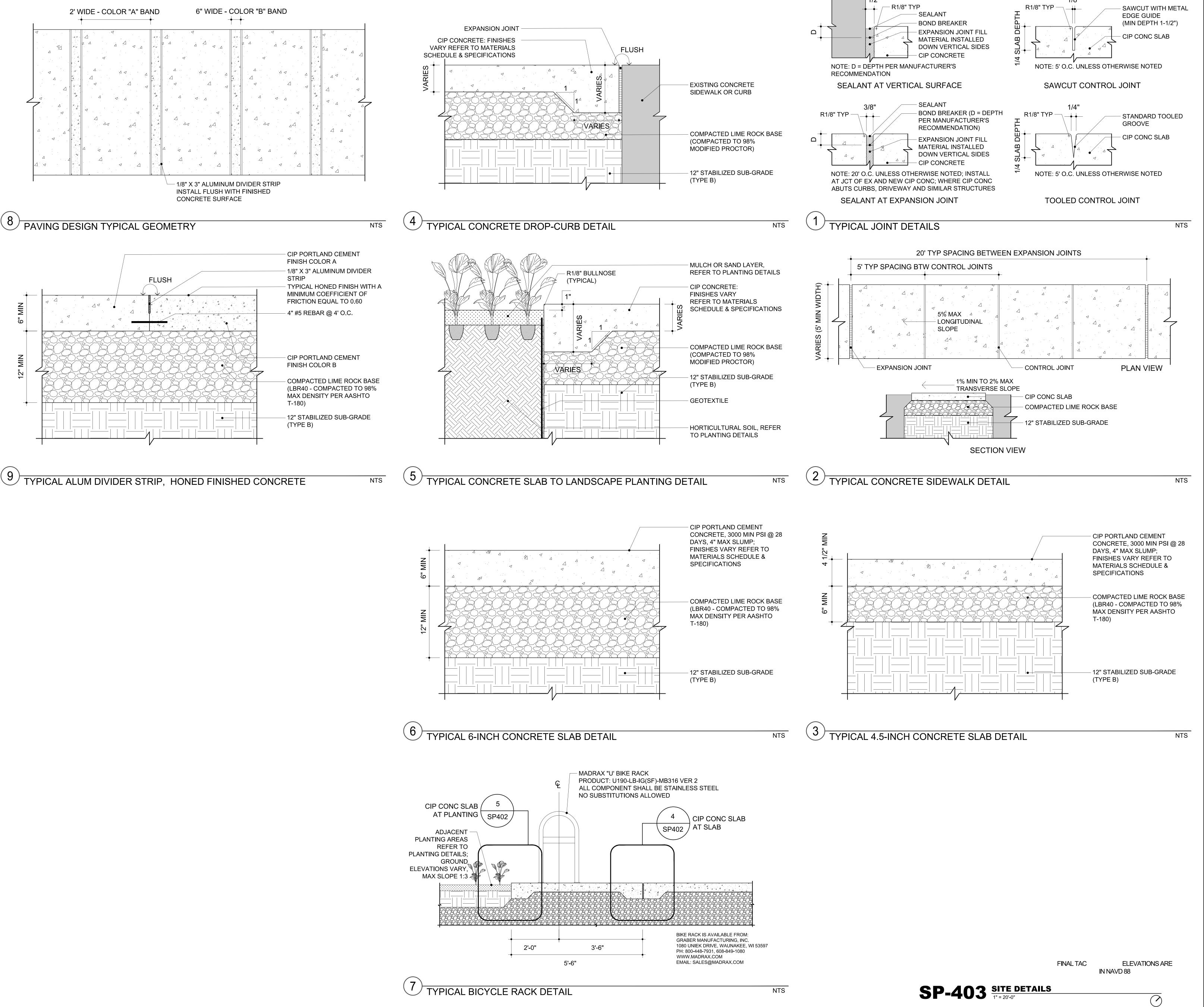
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FINAL TAC

JUNE 17, 2024

ENLARGEMENT

PLANS - CORNER



CORAL GABLES, FL 33134

INTERIOR DESIGNER HKS ARCHITECTS

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Landscape Architect: Dominic James Mack III, R.L.A. License No.: LA6667598 Date: 04/12/2024 KEY PLAN

TRUE PROJECT REVISION

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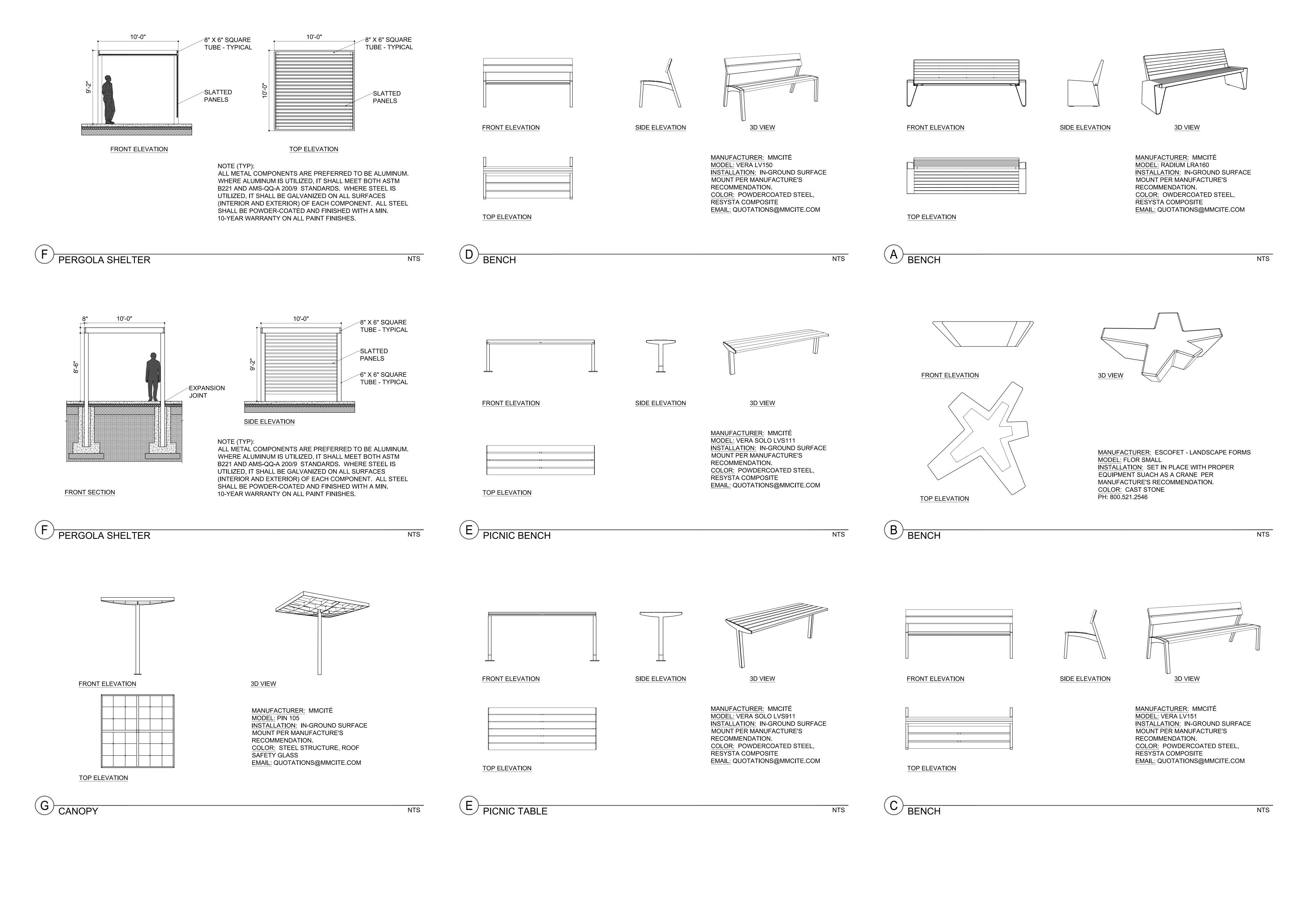
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FINAL TAC

JUNE 17, 2024

SITE DETAILS



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ORLANDO, FL 32801

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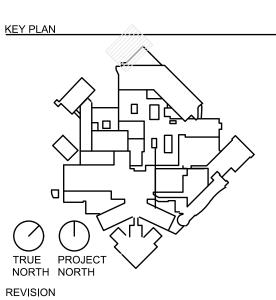
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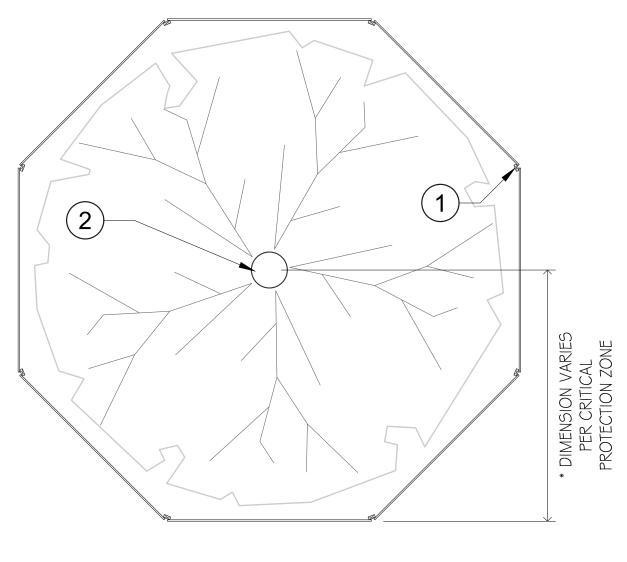
FURNISHING DETAILS

ELEVATIONS ARE

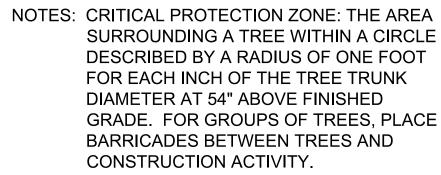
FINAL TAC

SP-404 FURNISHING DETAILS

1" = 20'-0"



- (1) #5 REBAR, INSTALLED AT 4' O.C. INTERVALS OR LESS: INSTALL WITH SLEDGEHAMMER. NO DIGGING
- (2) TREE TRUNK
- (3) SAFETY ORANGE NYLON OR POLYPROPYLENE TYPE FENCE (SECURELY AFFIX FENCE TO STRINGER WITH STAPLES OR NAILS).
- (4) EXISTING UNDISTURBED SOIL



* TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT A MINIMUM OF 75% OF THE CRITICAL PROTECTION ZONE.

DETAIL NOTE:

- 1. NO PRUNING SHALL BE PERFORMED **EXCEPT UNDER DIRECT SUPERVISION OF**
- A CERTIFIED ARBORIST NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING DURING INSTALLATION AND REMOVAL.
- FALLEN BARRIER FENCING SHOULD BE REPLACED IMMEDIATELY AND PRIOR TO ANY ADDITIONAL SITE WORK.
- 4. BARRIERS TO FORM CONTINUOUS PROTECTION AROUND EACH TREE OR GROUP OF TREES.
- 5. ROOT PRUNING TRENCH TO BE PERFORMED ON THE OUTSIDE BOUNDARY OF FENCE; ALL PRUNING SHALL BE PERFORMED PRIOR TO CONSTRUCTION UNDER THE DIRECT SUPERVISION OF AN APPROVED CERTIFIED ARBORIST.
- EXTEND FENCE TO TREE DRIP LINE AS DETERMINED BY THE CERTIFIED ARBORIST. PER CITY ORDINANCE 106.02: FENCE LINE SHALL BE PLACED AT THE TREES' DRIP LINE UNLESS THIS PROCEDURE CREATES AN UNSAFE CONDITION OR IMPEDES TRAFFIC FLOW.
- MAINTAIN EXISTING GRADE WITH THE TREE PROTECTION FENCE UNLESS OTHERWISE INDICATED ON PLANS

NTS

TREE & PALM PROTECTIVE / FENCING BARRICADE DETAIL

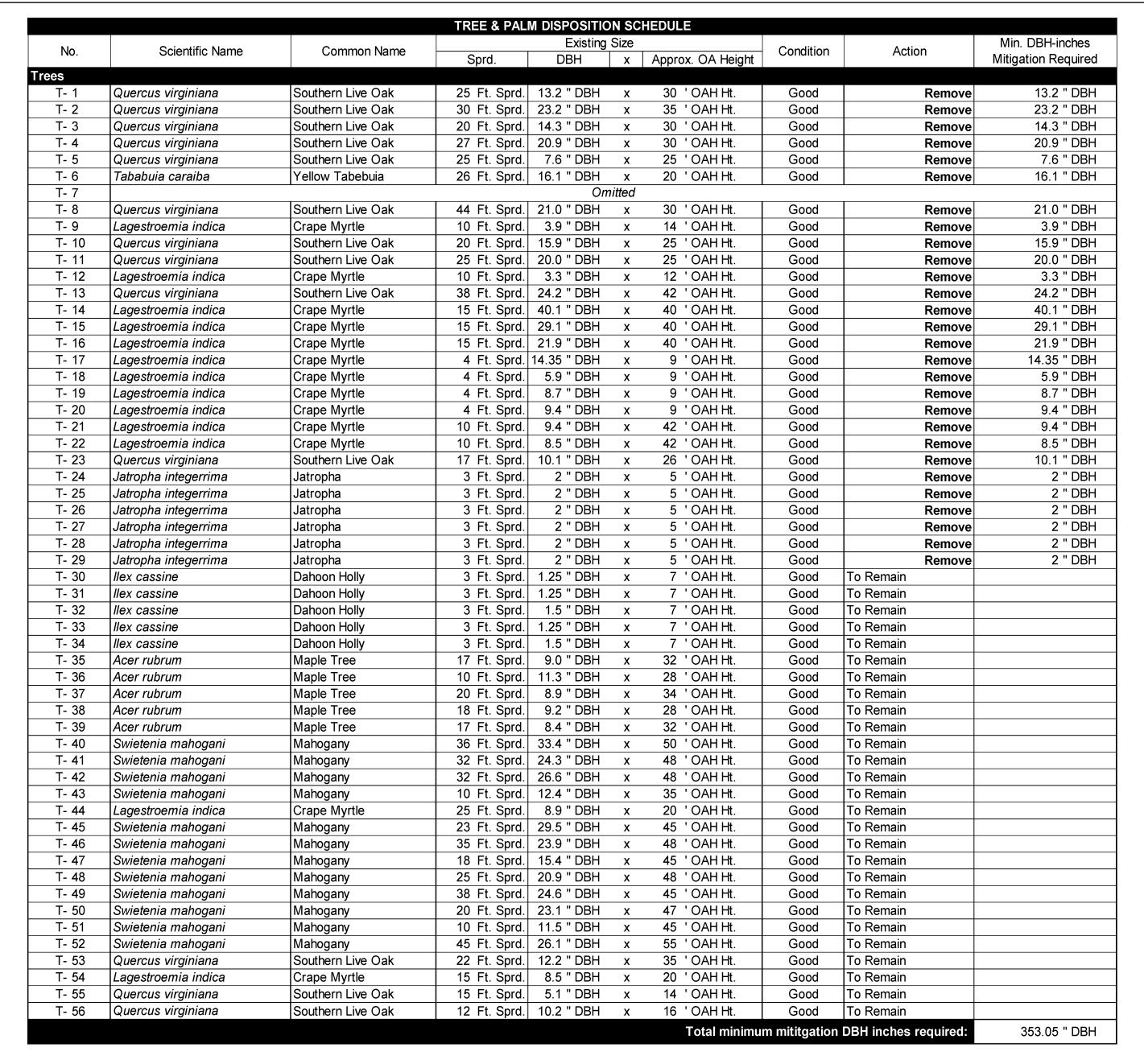
* DIMENSION VARIES

PER CRITICAL

PROTECTION ZONE DEFINED

BY A CERTIFIED ARBORIST

4' O.C. MAX.



Dalas									
Palms P- 1	Hyophorbe lagenicaulis	Bottle Palm	10 Ft. Sprd.	10.1 " DBH	Х	15 'OAH Ht.	Good	Remove	1 Small Palm
P- 2	Roystonea elata	Royal Palm	20 Ft. Sprd.	15.8 " DBH	X	35 ' OAH Ht.	Good	Remove	1 Large Palm
P- 3	Phoenix roebelenii	Pygmy Date Palm	15 Ft. Sprd.	13.6 " DBH	X	8 ' OAH Ht.	Good	Remove	1 Small Palm
P- 4	Roystonea elata	Royal Palm	20 Ft. Sprd.	15.7 " DBH	Х	35 ' OAH Ht.	Good	Remove	1 Large Palm
P- 5	Phoenix roebelenii	Pygmy Date Palm	15 Ft. Sprd.	13.6 " DBH	Χ	8 'OAH Ht.	Good	Remove	1 Small Palm
P- 6	Roystonea elata	Royal Palm	20 Ft. Sprd.	16.6 " DBH	Х	35 'OAH Ht.	Good	Remove	1 Large Palm
P- 7	Hyophorbe lagenicaulis	Bottle Palm	10 Ft. Sprd.	6.7 " DBH	X	30 'OAH Ht.	Good	Remove	1 Small Palm
P- 8	Hyophorbe lagenicaulis	Bottle Palm	10 Ft. Sprd.	6.7 " DBH	Х	30 'OAH Ht.	Good	Remove	1 Small Palm
P- 9	Hyophorbe lagenicaulis	Bottle Palm	10 Ft. Sprd.	6.8 " DBH	Х	28 ' OAH Ht.	Good	Remove	1 Small Palm
P- 10	Hyophorbe lagenicaulis	Bottle Palm	10 Ft. Sprd.	6.6 " DBH	X	30 'OAH Ht.	Good	Remove	1 Small Palm
P- 11 P- 12	Phoenix roebelenii	Pygmy Date Palm	16 Ft. Sprd.	8.2 " DBH 17.6 " DBH	X	10 'OAH Ht. 45 'OAH Ht.	Good Good	Remove	1 Small Palm
P- 12 P- 13	Roystonea elata Roystonea elata	Royal Palm Royal Palm	22 Ft. Sprd. 24 Ft. Sprd.	17.8 " DBH	X	45 OAH Ht.	Good	Remove Remove	1 Large Palm 1 Large Palm
P- 14	Roystonea elata	Royal Palm	22 Ft. Sprd.	17.5 " DBH	X	45 'OAH Ht.	Good	Remove	1 Large Palm
P- 15	Roystonea elata	Royal Palm	24 Ft. Sprd.	16.1 " DBH	X	45 'OAH Ht.	Good	Remove	1 Large Palm
P- 16	Roystonea elata	Royal Palm	22 Ft. Sprd.	17.4 " DBH	X	45 ' OAH Ht.	Good	Remove	1 Large Palm
P- 17	Roystonea elata	Royal Palm	24 Ft. Sprd.	14.8 " DBH	Х	45 ' OAH Ht.	Good	Remove	1 Large Palm
P- 18	Roystonea elata	Royal Palm	24 Ft. Sprd.	17.5 " DBH	Х	45 'OAH Ht.	Good	Remove	1 Large Palm
P- 19	Roystonea elata	Royal Palm	22 Ft. Sprd.	16.1 " DBH	Х	45 'OAH Ht.	Good	Remove	1 Large Palm
P- 20	Roystonea elata	Royal Palm	24 Ft. Sprd.	17.5 " DBH	Χ	45 'OAH Ht.	Good	Remove	1 Large Palm
P- 21	Roystonea elata	Royal Palm	24 Ft. Sprd.	19.5 " DBH	Х	45 'OAH Ht.	Good	Remove	1 Large Palm
P- 22	Roystonea elata	Royal Palm	24 Ft. Sprd.	18.7 " DBH	Х	45 ' OAH Ht.	Good	Remove	1 Large Palm
P- 23	Roystonea elata	Royal Palm	24 Ft. Sprd.	18.5 " DBH	Х	45 'OAH Ht.	Good	Remove	1 Large Palm
P- 24	Roystonea elata	Royal Palm	24 Ft. Sprd.	16.9 " DBH	Х	45 ' OAH Ht.	Good	Remove	1 Large Palm
P- 25	Roystonea elata	Royal Palm	24 Ft. Sprd.	17.5 " DBH	X	45 'OAH Ht.	Good	Remove	1 Large Palm
P- 26 P- 27	Roystonea elata Sabal palmetto	Royal Palm Sabal Palm	24 Ft. Sprd. 12 Ft. Sprd.	19.2 " DBH 11.5 " DBH	X	45 'OAH Ht. 24 'OAH Ht.	Good Good	Remove	1 Large Palm 1 Large Palm
P- 27	Sabal palmetto	Sabal Palm	12 Ft. Sprd.	11.5 DBH	X	22 ' OAH Ht.	Good	Remove Remove	1 Large Palm
P- 29	Sabal palmetto	Sabal Palm	12 Ft. Sprd.	11.5 " DBH	X	18 ' OAH Ht.	Good	Remove	1 Large Palm
P- 30	Sabal palmetto	Sabal Palm	12 Ft. Sprd.	11.5 " DBH	X	24 'OAH Ht.	Good	Remove	1 Large Palm
P- 31	Sabal palmetto	Sabal Palm	12 Ft. Sprd.	11.5 " DBH	X	22 'OAH Ht.	Good	Remove	1 Large Palm
P- 32	Sabal palmetto	Sabal Palm	12 Ft. Sprd.	11.5 " DBH	Х	24 'OAH Ht.	Good	Remove	1 Large Palm
P- 33	Sabal palmetto	Sabal Palm	12 Ft. Sprd.	11.5 " DBH	Х	25 'OAH Ht.	Good	Remove	1 Large Palm
P- 34	Sabal palmetto	Sabal Palm	12 Ft. Sprd.	11.5 " DBH	Х	24 'OAH Ht.	Good	Remove	1 Large Palm
P- 35	Roystonea elata	Royal Palm	20 Ft. Sprd.	19.5 " DBH	Χ	48 'OAH Ht.	Good	Remove	1 Large Palm
P- 36	Roystonea elata	Royal Palm	20 Ft. Sprd.	20 " DBH	Х	44 'OAH Ht.	Good	Remove	1 Large Palm
P- 37	Roystonea elata	Royal Palm	22 Ft. Sprd.	19.5 " DBH	X	44 'OAH Ht.	Good	Remove	1 Large Palm
P- 38	Roystonea elata	Royal Palm	20 Ft. Sprd.	20 " DBH	Х	44 'OAH Ht.	Good	Remove	1 Large Palm
P- 39	Roystonea elata	Royal Palm	20 Ft. Sprd.	20 " DBH	X	44 'OAH Ht.	Good	Remove	1 Large Palm
P- 40 P- 41	Roystonea elata Roystonea elata	Royal Palm Royal Palm	20 Ft. Sprd. 22 Ft. Sprd.	19.5 " DBH 19.5 " DBH	X	44 'OAH Ht. 44 'OAH Ht.	Good Good	Remove	1 Large Palm 1 Large Palm
P- 41	Ptychosperma elegans	Alexander Palm	15 Ft. Sprd.	4.5 " DBH	X	26 ' OAH Ht.	Good	Remove To Remain	i Laige Pailli
P- 43	Ptychosperma elegans	Alexander Palm	15 Ft. Sprd.	4.5 " DBH	X	34 ' OAH Ht.	Good	To Remain	
P- 44	Ptychosperma elegans	Alexander Palm	15 Ft. Sprd.	4.5 " DBH	X	24 ' OAH Ht.	Good	Remove	1 Small Palm
P- 45	Ptychosperma elegans	Alexander Palm	15 Ft. Sprd.	4.5 " DBH	Х	28 ' OAH Ht.	Good	To Remain	
P- 46	Ptychosperma elegans	Alexander Palm	15 Ft. Sprd.	4.5 " DBH	Х	17 'OAH Ht.	Good	To Remain	
P- 47	Ptychosperma elegans	Alexander Palm	15 Ft. Sprd.	4.5 " DBH	Х	29 'OAH Ht.	Good	To Remain	
P- 48	Ptychosperma elegans	Alexander Palm	15 Ft. Sprd.	4.5 " DBH	Х	33 ' OAH Ht.	Good	To Remain	
P- 49	Ptychosperma elegans	Alexander Palm	15 Ft. Sprd.	4.5 " DBH	X	33 ' OAH Ht.	Good	To Remain	
P- 50 P- 51	Ptychosperma elegans Ptychosperma elegans	Alexander Palm Alexander Palm	15 Ft. Sprd. 15 Ft. Sprd.	4.5 " DBH 4.5 " DBH	X	36 'OAH Ht. 32 'OAH Ht.	Good Good	To Remain To Remain	
P- 52	Ptychosperma elegans	Alexander Palm	15 Ft. Sprd.	4.5 " DBH	X	33 ' OAH Ht.	Good	To Remain	
P- 53	Ptychosperma elegans	Alexander Palm	15 Ft. Sprd.	4.5 " DBH	X	33 ' OAH Ht.	Good	To Remain	
P- 54	Ptychosperma elegans	Alexander Palm	15 Ft. Sprd.	4.5 " DBH	Х	36 ' OAH Ht.	Good	To Remain	
P- 55	Ptychosperma elegans	Alexander Palm	15 Ft. Sprd.	4.5 " DBH	Х	32 'OAH Ht.	Good	To Remain	
P- 56	Ptychosperma elegans	Alexander Palm	15 Ft. Sprd.	4.5 " DBH	Х	33 'OAH Ht.	Good	Remove	1 Small Palm
P- 57	Hyophorbe lagenicaulis	Bottle Palm	8 Ft. Sprd.	10.1 " DBH	Х	10 'OAH Ht.	Good	To Remain	
P- 58	Roystonea elata	Royal Palm	22 Ft. Sprd.	16.5 " DBH	X	27 'OAH Ht.	Good	To Remain	
P- 59	Roystonea elata	Royal Palm	22 Ft. Sprd.		X	29 'OAH Ht.	Good	To Remain	
P- 60 P- 61	Roystonea elata Roystonea elata	Royal Palm Royal Palm	22 Ft. Sprd. 22 Ft. Sprd.	16.5 " DBH 16.8 " DBH	X	27 'OAH Ht. 29 'OAH Ht.	Good Good	To Remain To Remain	
P- 61 P- 62	Roystonea elata	Royal Palm	22 Ft. Sprd. 22 Ft. Sprd.		X X	29 'OAH Ht.	Good	To Remain	
1 2 02	- toyotoriou oluta	1 toyar i airii	22 i t. Opiu.	10.0 0011		20 O/MITIE.		1.0 Nomain	
	<u> </u>					Total minimur	n mititaation	Small Palms required:	10.00 Small Palms
							gatilell		.o.co oman raims

Note: Contractor shall coordinate and meet all necessary requirements for tree/palm removal established or required by all City's and County's Ordinances.

Total minimum mititgation Large Palms required: 33.00 Large Palms

TREE PRESERVATION NOTES:

- 1. THE CONTRACTOR SHALL VERIFY THE CONDITION AND TAG ALL MATERIAL TO BE RELOCATED OR REMOVED PRIOR TO ANY CONSTRUCTION ACTIVITY AND SHALL BE VERIFIED BY THE **OWNER'S PROJECT MANAGER**
- 2. CONTRACTOR SHALL BE REQUIRED TO STAKE PROPOSED IMPROVEMENTS AND IDENTIFY ALL TREES WITHIN 5 FEET OF THE PROPOSED IMPROVEMENTS THAT WILL REQUIRE EXTENSIVE ROOT-PRUNING FOR COORDINATION WITH OWNER'S PROJECT MANAGER PRIOR TO ANY **EXCAVATION OR DEMOLITION.**
- 3. THE CONTRACTOR IS RESPONSIBLE FOR PRESERVING AND PROTECTING ALL EXISTING TREES NOTED ON THIS PLAN BY USING 4 FOOT HIGH CONTINUOUS NYLON FENCE WITH REBAR FENCE POSTS AS A TEMPORARY BARRIER CONSISTENT WITH THE PROTECTIVE FENCING BARRICADE DETAIL. WHERE PROVIDED.
- 4. EXACT LOCATIONS FOR TREE PROTECTION FENCING SHALL BE MADE IN THE FIELD BY A CERTIFIED ARBORIST IN ORDER TO DETERMINE THE ACTUAL DRIP LINE LOCATIONS FOR THE EXISTING TREES NOTED TO REMAIN.
- 5. CONSULT THE OWNER DESIGNATED REPRESENTATIVE AND REMOVE AGREED-ON ROOTS AND BRANCHES WHICH INTERFERE WITH CONSTRUCTION WORK AREA PRIOR TO INITIATING ANY SITE CLEARING.
- 6. CONTRACTOR SHALL EMPLOY AN ISA-CERTIFIED ARBORIST TO REMOVE ANY BRANCHES GREATER THAN 3-INCHES IN CALIPER AND TREAT ANY CUTS.
- 7. PRESERVED TREES SHALL BE BARRICADED BEFORE AND DURING CONSTRUCTION. IF DURING THE COURSE OF CONSTRUCTION ANY OF THE PROTECTED VEGETATION DIES, IT SHALL BE REPLACED AS REQUIRED BY THE LOCAL JURISDICTION BY THE CONTRACTOR WITH EQUAL SIZE AND CALIPER, THE TREES, SHRUBS AND GROUND-COVERS SHALL BE INCLUDED WITHIN THE PRESERVATION AREAS AND SHALL BE RETAINED. WHERE SUPPLEMENTAL LANDSCAPING INFRINGES ON THIS AREA, DISTURBANCE SHALL BE MINIMIZED
- 8. CRITICAL ROOT ZONES (CRZ) AND TREE PROTECTION ZONES (TPZ) SHALL BE DEFINED BY A CERTIFIED ARBORIST AND SHALL BE CONSISTENT WITH ANY LOCAL REGULATIONS THAT MAY DEFINE THEIR EXTENTS.
- 9. PROTECT ROOT ZONES OF TREES AND PLANTS TO REMAIN. DO NOT ALLOW TRAFFIC AND PARKING WITHIN ANY PROTECTED AREAS. DO NOT STORE MATERIALS OR PRODUCTS NEAR TREES. PREVENT DUMPING OF REFUSE OR CHEMICALLY INJURIOUS MATERIALS OR LIQUIDS NEAR PLANTS.
- 10. CONTRACTOR SHALL PREVENT PUDDLING OR CONTINUOUS RUNNING WATER THAT MAY ERODE OR IMPACT CONSTRUCTION SITE AND PLANTING AREAS.
- 11. CONTRACTOR SHALL CAREFULLY SUPERVISE ALL WORK TO PREVENT DAMAGE TO EXISTING
- 12. CONTRACTOR SHALL COMPLETELY REMOVE BARRICADES WHEN CONSTRUCTION HAS PROGRESSED TO THE POINT THAT THEY ARE NO LONGER NEEDED AND WHEN APPROVED BY THE CLIENT OR CLIENT'S REPRESENTATIVE.
- 13. CONTRACTOR SHALL INCLUDE A FOLLOW-UP MAINTENANCE PLAN FOR A PERIOD OF 1 YEAR TO PREVENT RE-INVASION OF INVASIVE VEGETATION.
- 14. CONTRACTOR IS ADVISED THAT ALL REQUIREMENTS AND STANDARDS EXPRESSED IN THE COUNTY'S CODE OF ORDINANCES FOR TREE PRESERVATION AND PROTECTION SHALL BE ABIDED BY WITHOUT EXCEPTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL COUNTY-STANDARD PROCEDURES IN THE REMOVAL, RELOCATION AND PRESERVATION OF ANY AND ALL TREES.
- 15. THE CONTRACTOR SHALL MAKE ALL ATTEMPTS TO, WHERE REASONABLE, PRUNE AND REMOVE ONLY THOSE PORTIONS OF EXISTING CANOPIES IN CONFLICT WITH PROPOSED IMPROVEMENTS IN A EFFORT TO KEEP AND PROTECT AS MUCH OF THE EXISTING CANOPY AS POSSIBLE. ALL PRUNING OF BRANCHES GREATER THAN 3" IN CALIPER SHALL BE SUPERVISED AND CONDUCTED BY AN ISA-CERTIFIED ARBORIST. NO MORE THAN 30% OF ANY CANOPY SHALL BE REMOVED AT ANY TIME.

TREE RELOCATION NOTES, IF APPLICABLE:

1. NOT APPLICABLE, NO TREES HAVE BEEN IDENTIFIED FOR RELOCATION.

TREE MITIGATION CALCULATION			
Qnty.	Minimum Mitigation Quantities Required		
353.05	Min. DBH Inches of Tree Mitigation		
10	Min. Small Palms for 1:1 Palm Mitigation		
33	Min. Large Palms for 1:1 Palm Mitigation		

Qnty.	Scientific Name	Common Name	Mitigation DBH Inches (EA)	Total Mitigation DBH Inches
5	Ilex cassine	Dahoon Holly	4	20 " DBH
2	Quercus virginiana	Live Oak	5	10 " DBH
9	Tabebuia Heterophylla	Pink Trumpt Tree	4	36 " DBH

	PR	OPOSED PALMS COUNTI	NG TOWARDS MITI	GATION	
Qnty.	Scientific Name	cientific Name Common Name Qua		Total Mitigation DBH Inches	
2	Phoenix dactylifera	Medjool Date Palm	2	2	Large Palms
10	Sabal palmetto	Cabbage Palm	10	10	Large Palms
10	Ptychosperma elegans	Alexander Palm	10	10	Small Palms
		ON LARGE PALMS	12	Large Palms	
		ATION REQUIRED	21	Large Palms	
		ON LARGE PALMS	10	Small Palms	
		REMAINING MITIG	ATION REQUIRED	0	Small Palms

MITIGATION PAYMENT TO CITY TREE FUND

Please be advised that the overall Hospital Campus does not have any other locations where tree/palm planting can occur, as all available pervious areas are currently planted. We are respectfully requesting that the remaining balance of mitigation requirements for tree and palm removals be satisfied through part to the City Tree Eyed, as follow

	Unit of Measure	Total Unmitigated	Mitigation Units	Cost per Unit	Total Contribution
Trees	per 2-inches of DBH	288 in of DBH	144	\$350.00	\$50,400.00
Palms	per Each Palm	21 Palms	21	\$350.00	\$7,350.00

ELEVATIONS ARE

IN NAVD 88 TREE AND PALM DISPOSITION NOTES LD-001 AND SCHEDULES

1" = 20'-0"

ARCHITECT HKS ARCHITECTS, INC. 2020 SALZEDO STREET, 4TH FLOOR CORAL GABLES, FL 33134

INTERIOR DESIGNER HKS ARCHITECTS

ORLANDO, FL 32801 **CIVIL & LANDSCAPE**

CGA SOLUTIONS 1800 ELLER DRIVE, SUITE 600 FORT LAUDERDALE, FL 33316

225 EAST ROBINSON ST. SUITE #405

STRUCTURAL ENGINEER GMG STRUCTURAL ENGINEERS

14335 COMMERCE WAY MIAMI LAKES, FL 33016

MEP & FIRE PROTECTION TLC ENGINEERING SOLUTIONS, INC.

800 FAIRWAY DRIVE DEERFIELD BEACH, FL 33441

TELECOM & EQUIPMENT SMITH SECKMAN REID, INC.

2995 SIDCO DRIVE NASHVILLE, TN 37204

OWNER

MEMORIAL HEALTHCARE SYSTEM 3501 JOHNSON STREET HOLLYWOOD, FL 33021



INTERIM REVIEW ONLY These documents are incomplete, and are released for interim review only and are not intended for regulatory approval, permit, or construction purposes. Landscape Architect: Dominic James Mack III, R.L.A License No.: LA6667598 Date: 04/12/2024

TRUE PROJECT

DOMINIC JAMES MACK III, R.L.A., STATE OF FLORIDA, REGISTERED LANDSCAPE ARCHITECT, LICENSE NO.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MICHAEL CONNER ON THE DATE INDICATED HERE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC

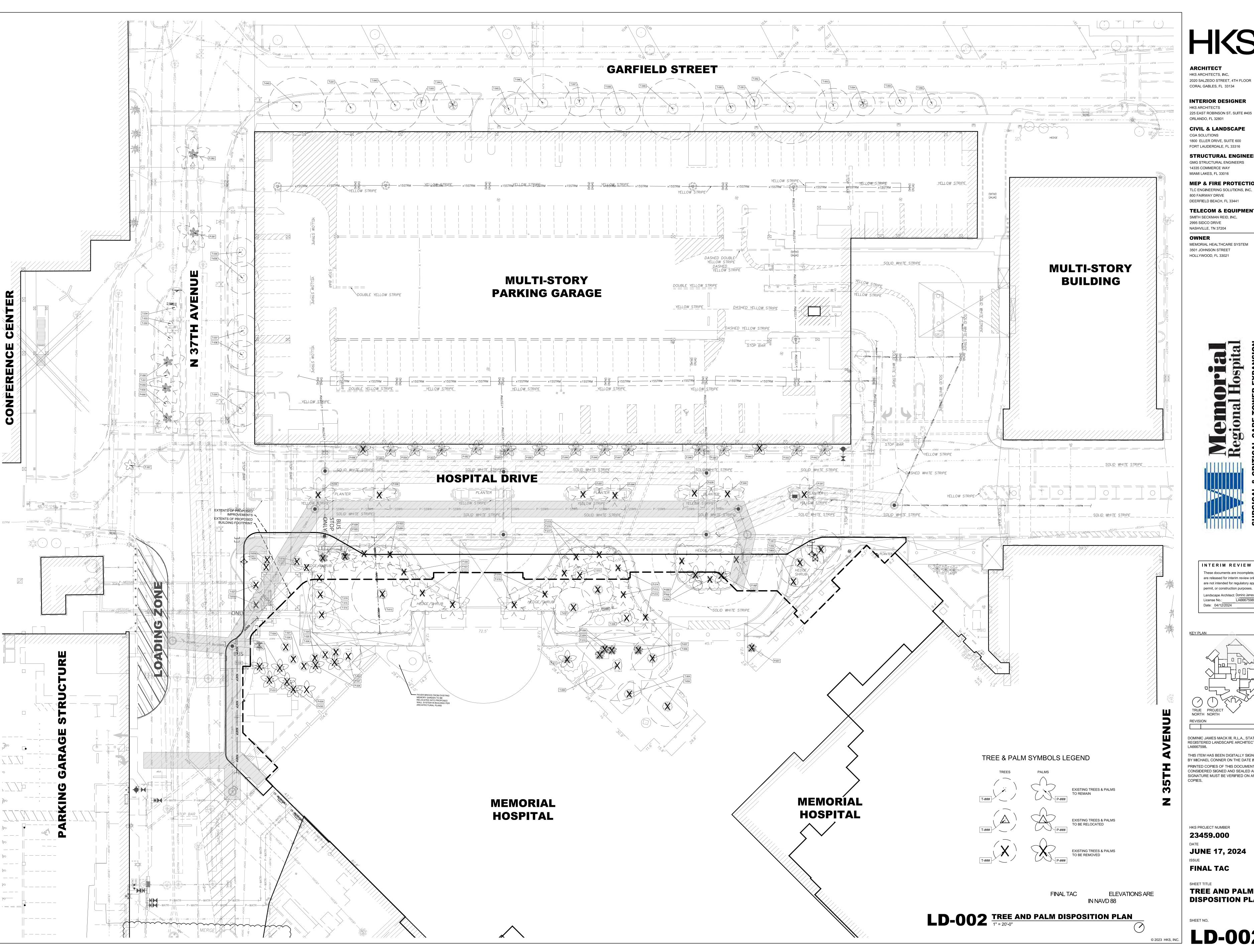
HKS PROJECT NUMBER 23459.000

NORTH NORTH

JUNE 17, 2024

FINAL TAC

TREE AND PALM **DISPOSITION NOTES** AND SCHEDULES



CORAL GABLES, FL 33134

INTERIOR DESIGNER HKS ARCHITECTS

ORLANDO, FL 32801 CIVIL & LANDSCAPE

CGA SOLUTIONS 1800 ELLER DRIVE, SUITE 600

FORT LAUDERDALE, FL 33316 STRUCTURAL ENGINEER

GMG STRUCTURAL ENGINEERS 14335 COMMERCE WAY

MIAMI LAKES, FL 33016 **MEP & FIRE PROTECTION**

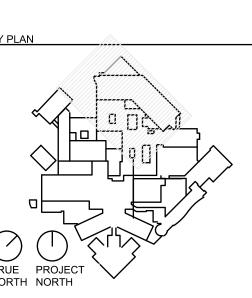
TLC ENGINEERING SOLUTIONS, INC. 800 FAIRWAY DRIVE DEERFIELD BEACH, FL 33441

TELECOM & EQUIPMENT SMITH SECKMAN REID, INC.

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OWNER MEMORIAL HEALTHCARE SYSTEM 3501 JOHNSON STREET HOLLYWOOD, FL 33021

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DOMINIC JAMES MACK III, R.L.A., STATE OF FLORIDA, REGISTERED LANDSCAPE ARCHITECT, LICENSE NO.

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HKS PROJECT NUMBER 23459.000

JUNE 17, 2024

FINAL TAC

TREE AND PALM **DISPOSITION PLAN**

LD-002

ALL NEW PLANT MATERIAL, IRRESPECTIVE OF PLANTING PHASE, SHALL HAVE AN ESTABLISHMENT PERIOD OF 12 MONTHS FROM THE TIME OF FINAL ACCEPTANCE AT SUBSTANTIAL COMPLETION. DURING THE ESTABLISHMENT PERIOD THE CONTRACTOR WILL BE RESPONSIBLE FOR THE FOLLOWING ITEMS: WATERING PER THE SCHEDULE ATTACHED, RE-SETTING OF PLANTS, REPLACEMENT OF SICK OR DEAD PLANTS, AND ALL OTHER CARE REQUIRED FOR PROPER GROWTH. ANY PLANT MATERIAL NOT IN HEALTHY GROWING CONDITION WILL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CLIENT. THE 12 MONTH WARRANTEE/ESTABLISHMENT PERIOD SHALL BE EXTENDED BY 45 DAYS FOR ALL REPLACEMENT PLANT MATERIAL. AT THE CLIENT'S EXPENSE, THE CONTRACTOR WILL REPLACE ANY PLANT MATERIAL DAMAGED AS A RESULT OF AUTOMOBILE ACCIDENTS OR "ACTS OF GOD" LIMITED TO HAIL, FREEZE, LIGHTNING, AND WINDS EXCEEDING 75 MPH AS DEFINED BY THE MIAMI HURRICANE CENTER.

WEEKS	ERECHENCY
WEEKS 1-2 3-4 5-6 7-8 9-10	FREQUENCY MON., TUES., THURS., SAT. MON., TUES., THURS., SAT. MON., TUES., THURS., SAT. MON., TUES., THURS., SAT. MON., THURS., SAT.
11-12 13-14 15-16 17-18 19-20 21-22 23-24	MON., THURS., SAT. MON., THURS., SAT. MON., THURS., SAT. THURS., SUN. THURS., SUN. THURS., SUN. THURS., SUN. THURS., SUN.

WATERING SCHEDULE (FIRST 6 MONTHS)

* WATERING CONTRACT SHALL BE INCLUDED IN CONTRACTORS BID FOR ANY PLANT MATERIAL THAT HAS BEEN ROOT PRUNED, DISTURBED BY CONSTRUCTION, OR WHERE PROPOSED OR EXISTING IRRIGATION SYSTEMS ARE NOT FUNCTIONAL. ALL WARRANTIES SHALL BE IN PLACE BY CONTRACTOR REGARDLESS OF NON-OPERATIONAL IRRIGATION SYSTEMS OR AREAS WHERE NO IRRIGATION IS PROPOSED.

A la la mana	04	Onlandific Name	OVERALL PROPO	
Abbrev	Qty	Scientific Name	Common Name	Specifications
CANOPY	TREES			
IC	5	Ilex cassine	Dahoon Holly	Field Grown, 12' Min. OAH, Single-trunk, 4' Min. CT, Florida No. 1
QV	2	Quercus virginiana	Live Oak	Field Grown, 16' Min. OAH, 5" Min. DBH, 6.5' Min. CT, Single Trunk, Florida No. 1, Matched
MG	9	Magnolia grandiflora 'Little Gem'	Little Gem' Southern Magnolia	Field Grown, 14' Min. OAH, Single-trunk 4" Min. DBH, 6' Min. CT, Florida No. 1, Matched
PALMS				
PD	2	Phoenix dactylifera	Medjool Date Palm	Field Grown, 12' Min. Wood OAH, Florida Fancy, Matched
PE	15	Ptychosperma elegans	Alexander Palm	Field Grown, 12' Min. GW, Triple, Matched, Florida Fancy
SP	10	Sabal Palmetto	Sabal Palm	Field Grown, 10' Min. GW, Matched, Candle-cut, Booted
SHRUBS				
MUH	20	Muhlenbergia capillaris	Pink Muhly Grass	3 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 2' O.C.
NEB	40	Nephrolepis exaltata 'Bostoniensis'	Boston Fern	3 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 12" O.C.
FGI	212	Ficus macrophylla 'Green Island'	Green Island Ficus	1 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 12" O.C.
ZAM	59	Zamia pumila	Coontie	1 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 12" O.C.
TDA	235	Tripsacum dactyloides	Fakahatchee Grass	3 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 2' O.C.
SPG	121	Spathoglottis plicata	Ground Orchids	1 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 12" O.C.
SOD	SQFT			
ZEM	586	Zoysia x 'Empire'	Empire Zoysia	1 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 18" O.C.

. Contractor shall be responsible for verifying all quantities in accordance to the permitted plant list. Where discrepancies occur between the plans and the list, whichever quantity is higher shall prevail. All shrubs shall be free of fungus, insects and from all disease.

3. All vegetation shall have root balls fully grown into the specified container - recently transplanted material into up-sized containers shall not be accepted. 4. All landscaping shall be warrantied for a minimum of 1 year after final inspection.

MITIGATION PAYMENT TO CITY TREE FUND

Please be advised that the overall Hospital Campus does not have any other locations where tree/palm planting can occur, as all available pervious areas are currently planted. We are respectfully requesting Ithat the remaining balance of mitigation requirements for tree and palm removals be satisfied through payment to the City Tree Fund, as follows:

	Unit of Measure	Total Unmitigated	Mitigation Units	Cost per Unit	Total Contribution
Trees	per 2-inches of DBH	288 in of DBH	144	\$350.00	\$50,400.00
Palms	per Each Palm	21 Palms	21	\$350.00	\$7,350.00
		TOTAL SUI	M FOR TREE FUND	CONTRIBUTION	\$57,750.00

LANDSCA	APE DATA TABLE	
	Current Zoning: HD -	•
Zoning District directed to use for Minimum	Requirements*: RAC -	Regional Activity Center
Directive reveived via Staff Comments: Section H. Landscaping; Comment #5 landscape requirements."	"[] See RAC zoning	
Minimum Landscape Require	ements per Applicabl	e Zoning District
Description	Quantity Required	Provided
Open Space	N/A	RAC Zoning district does not provide for a minimum Open Space requirement.
The minimum tree size is 12 feet in height, with a four (4) inch caliper measured at diameter breast height.	-	All trees are meeting the minimum specifications required. Please refer to proposed planting schedules included on the planting plans.
Ground floor open spaces, such as plazas, courtyards, and passageways which are visible from the public right-of-way and larger than 3,000 square feet shall be improved as pursuant to these regulations and the following requirements:	N/A	All proposed improvements are within the interior of the subject property. No ground floor open spaces, such as plazas, courtyards, and passageways are visible from the public right-of-way; therefore, requirements are not applicable. However, an internal 7,270-SF open space is being provided.
(a) A minimum of 25 percent of the open space area shall be vegetated.	N/A	1640-SF (22.5%) of vegetated landscape area of the internal open space element not visible from the public right-of-way is being provided
(b) Overhead cover shall be provided for a minimum of 10 percent of the open space area.	N/A	480-SF (6.6%) of overhead cover of the internal open space element not visible from the public right-of-way is being provided via pavilions (5 qty) and pre-fabircated shade structure (4 qty)
(c) A minimum of one (1) linear foot of seating for every 30 square feet of open space area shall be provided.	N/A	138.5-LF of seating is provided for the internal open space element not visible from the public right-of-way
Perimeter Landscaping		•
One (1) street tree per 30 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	N/A	All proposed improvements are within the interior of the subject property. No proposed improvements are fronting the public right-of-way; therefore, requirements are not applicable. Please note that Hospital Drive is a private driveway and not a public right-of-way.
Interior Landscape for At-Grade Parking Lots and Vehicular Use Area	•	•
A minimum of one (1) tree per 1,000 square feet of pervious area of property;	N/A	No additional open space area is being provided.
this is in addition to tree requirement for parking lots and paved vehicular use areas.	N/A	No parking lots are being provided; all parking to use existing parking garages. Vehicular use areas are existing.
Irrigation		
Provide 100 percent irrigation coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances and the Regulations of the South Florida Water Management District or apply xeriscape principles.	-	100%, full coverage irrigation will be provided following site plan approval.

GENERAL PLANTING NOTES

- 1. SEE TYPICAL PLANTING DETAILS SHEET FOR ADDITIONAL PLANTING SPECIFICATIONS.
- 2. LANDSCAPE CONTRACTOR TO PROVIDE AN AUTOMATIC IRRIGATION SYSTEM GUARANTEEING 100% COVERAGE WHERE CALLED FOR & MAINTAINING A 50% MIN. OVERLAP TO ALL LANDSCAPED AREAS. THE IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR DEVICE AS REQUIRED. IRRIGATION SHALL ENSURE NO OVERSPRAY ONTO SIDEWALKS OR HARDSCAPE AREAS.
- 3. ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 QUALITY OR BETTER. ALL PLANTS SHALL BE TRUE TO THE GROWTH HABIT OF THE SPECIES, AND ARE TO BE FULLY ROOTED IN THE CONTAINER, HEALTHY, VIGOROUS, WELL-BRANCHED, AND DENSELY FOLIATED. PLANTS SHALL BE FREE FROM PHYSICAL DAMAGE, OR CONDITIONS THAT WOULD INTERFERE WITH THRIVING GROWTH, AND FREE OF DISEASE, INSECTS, OR INSECT EGGS AND LARVAE. THE OWNER AND/OR REPRESENTATIVE MAY INSPECT SOME/ALL PLANTS SUPPLIED BY THE CONTRACTOR AND MAY REJECT PLANTS THAT DO NOT MEET THESE SPECIFICATIONS.
- 4. ALL LANDSCAPE MATERIALS SHALL BE FERTILIZED AT THE TIME OF INSTALLATION WITH EVERRIS SUNCOAT 16-9-12 W MINORS 90-DAY RELEASE OR A PROPOSED EQUIVALENT, IF APPROVED BY THE OWNER. SEVEN (7) GRAMS (1 TEASPOON) SHALL BE PLACED INTO THE PLANTING HOLE OF PIONEER SPECIES BEFORE INITIAL WATERING. STRAND ZONE SPECIES SHALL BE FERTILIZED AT THE TIME OF PLANTING BY INCLUSION OF 210 GRAMS (ONE-HALF CUP), ONE-HALF INTO THE PLANTING HOLE BEFORE INSTALLATION OF THE PLANT AND ONE-HALF DISTRIBUTED IN A RING AROUND THE NURSERY ROOT-BALL AFTER BACKFILLING THE HOLE TO COVER TWO-THIRDS OF THE ROOT-BALL'S HEIGHT.
- CONTRACTOR SHALL GUARANTEE ALL PLANTS, INCLUDING SHRUBS, TREES AND PALMS IN ACCORDANCE TO THE FOLLOWING TERMS. PLANTS NOT LIVING AT THE END OF 30 DAYS SHALL BE REJECTED AND SHALL BE REPLACED. PLANTS SHALL BE DEEMED SURVIVING IF THEY PRESENT VIGOROUS NEW LEAF GROWTH AND INSPECTION OF THE ROOT ZONE DEMONSTRATES THAT NEW ROOTS HAVE MIGRATED INTO THE SURROUNDING SOIL BY NO LESS THAN FOUR (4) INCHES.
- 6. THE OWNER MAY PERIODICALLY INSPECT ALL INSTALLED PLANTS AND NOTIFY THE CONTRACTOR IF IT IS DETERMINED THAT THE SURVIVAL RATE IS NOT ACCEPTABLE MINIMALLY, INSPECTIONS WILL BE CONDUCTED APPROXIMATELY ONE (1) MONTH, THREE (3) MONTHS, AND TWELVE (12) MONTHS AFTER PLANTING. WITHIN THIRTY (30) DAYS OF RECEIPT OF NOTIFICATION BY THE COUNTY, THE CONTRACTOR SHALL REMOVE ANY DEAD OR DYING PLANTS AND SHALL INSTALL ADDITIONAL PLANTS TO ACHIEVE THE ACCEPTABLE LEVEL OF PLANT SURVIVAL.
- 7. XERISCAPE LANDSCAPE PRINCIPLES SHALL BE APPLIED TO ALL SITES AS SPECIFIED IN THE "SOUTH FLORIDA WATER MANAGEMENT DISTRICT'S XERISCAPE PLANT GUIDE II", UPDATED EDITION RESPECTIVELY.
- 8. ALL PLANTING SHALL BE CLEAR 7 1/2 FT. IN FRONT & SIDES WITH 4 FT. IN REAR AROUND ALL FIRE HYDRANTS, CHECK VALVES, FIRE DEPT. EQUIPMENT, ETC. AS REQUIRED.
- 9. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR OBTAINING, PAYING, PROCESSING AND PERMITTING ANY TREE REMOVALS AND/OR MITIGATION CONSISTENT WITH ANY AND ALL APPLICABLE AGENCIES HAVING JURISDICTION (AHJ). THESE SHALL BE REQUIRED PRIOR TO THE REMOVAL OF ANY PLANT MATERIAL OR FOR LANDSCAPE PLANTING INSTALLATIONS. NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED WITHOUT APPROVALS FROM THE AHJ. THE CONTRACTOR SHALL BE RESPONSIBLE TO PAY FOR ANY CODE COMPLIANCE FEES.
- 10. THE OWNER SHALL BE NOTIFIED OF ANY POSSIBLE CHANGES FOR APPROVAL IN THE MATERIAL PRIOR TO INSTALLATION OF THE SAME.
- 11. LANDSCAPE CONTRACTOR TO CONTACT THE THE OWNER TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO INSTALLATION OF ANY TREES OR PALMS AS REQUIRED.
- 12. LANDSCAPE CONTRACTOR TO RETURN TO JOB SITE 12 MONTHS AFTER SUBSTANTIAL COMPLETION AND REMOVE ALL TREE BRACES (IF ANY).
- 13. ALL SYNTHETIC BURLAP, SYNTHETIC STRINGS OR CORDS, OR WIRE BASKETS SHALL BE REMOVED BEFORE ANY TREES ARE PLANTED. ALL SYNTHETIC TAPE (I.E. TAGGING TAPE, NURSERY TAPE) SHALL BE REMOVED FROM TRUNKS, BRANCHES, ETC. BEFORE INSPECTION. THE TOP 1/3 OF ANY NATURAL BURLAP SHALL BE REMOVED OR TUCKED INTO THE PLANTING HOLE BEFORE THE TREES ARE BACK FILLED.
- 14. CONTRACTOR TO SET TREES NO DEEPER THAN THEY WERE IN THEIR ORIGINAL GROWING CONDITIONS WITH THE ROOT BALLS EVEN WITH, OR SLIGHTLY HIGHER (+/- 1"), THAN THE FINISHED GRADE.
- 15. ALL PLANTING AREAS WITHIN 24 INCHES OF ANY ABUTTING BUILDING WALL SHALL BE EXCAVATED TO A DEPTH OF 30" MINIMUM AND REPLACED WITH SPECIFIED SOIL MIX. SOIL MIX SHALL BE FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES. WHERE A SOIL MIX IS NOT SPECIFIED, CONTRACTOR SHALL USE AN 70/30 MIX (ORGANIC:SAND RATIO)
- 16. ALL TREES AND PALMS SHALL BE INSTALLED A MINIMUM OF 3' FROM CURBS, SIDEWALKS, PROPOSED BOLLARDS, UNDERGROUND UTILITIES, AS WELL AS 3' FROM ANY HARDSCAPE OR PAVED SURFACE, PROPOSED OR EXISTING.
- 17. THE LANDSCAPE ARCHITECT OF RECORD MAY PROVIDE A CERTIFICATION LETTER TO THE COUNTY CERTIFYING THAT THE LANDSCAPING WAS INSTALLED IN ACCORDANCE TO THE PLANS AND SPECIFICATIONS. THIS SHALL REQUIRE THAT THE LANDSCAPE ARCHITECT, OR AN ASSIGNED REPRESENTATIVE OF THE LANDSCAPE ARCHITECT OF RECORD, BE PRESENT FOR THE MAJORITY OF THE TIME DURING LANDSCAPE CONSTRUCTION TO OBSERVE MEANS AND METHODS EMPLOYED BY THE CONTRACTOR. IT IS THEREFORE THE RESPONSIBILITY OF THE CONTRACTOR TO COMMUNICATE IN WRITING ANY EXPECTED OR ANTICIPATED CONSTRUCTION TO THE LANDSCAPE ARCHITECT WITH NO LESS THAN 1 WEEKS' TIME PRIOR TO THE COMMENCEMENT OF SAID ACTIVITY.

- 18. CONTRACTOR SHALL CONTACT ALL NECESSARY AGENCIES AND/OR UTILITY COMPANIES TO LOCATE ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING. CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGES TO UNDERGROUND UTILITIES. ANY ADDITIONAL EXPENSES, INCLUDING DESIGN, ENGINEERING, CONSTRUCTION AND OWNER-MANDATED INSPECTIONS CAUSED BY CONTRACTOR-GENERATED DAMAGES, SHALL BE SOLELY AT THE CONTRACTOR'S EXPENSE AND SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- 19. CONTRACTOR SHALL VERIFY ALL ESTIMATED QUANTITIES OF MATERIAL SHOWN ON THE DRAWINGS PRIOR TO SUBMITTING ANY BID - CHANGE ORDERS RESULTING FROM MIS-CALCULATIONS, OMISSIONS, OR DISCREPANCIES SHALL NOT BE ALLOWED. PLANTING LIST OR SCHEDULE SHALL TAKE PRECEDENCE OVER PLANTING PLAN.
- 20. ALL PLANT MATERIAL SYMBOLS SHOWN ON LANDSCAPE PLAN SHALL BE CONSIDERED DIAGRAMMATIC AND SHOULD BE ADJUSTED IN THE FIELD BY THE CONTRACTOR TO AVOID ALL UTILITIES AND ALL OTHER OBSTRUCTIONS.
- 21. ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLANS ARE TO BE CONSIDERED MINIMUM.
- 22. SITE PREPARATION SHALL INCLUDE THE ERADICATION & REMOVAL OF ANY INVASIVE AND EXOTIC SPECIES (AS DEFINED BY MIAMI-DADE COUNTY), WEEDS, GRASS, CLEAN-UP OF ANY DEAD MATERIAL, DEBRIS, AND RUBBISH.
- 23. UPON FINALIZATION OF THE PROJECT, CONTRACTOR SHALL FURNISH AND PROVIDE AT HIS/HER EXPENSE AS-BUILT DIGITAL FILES AND PDF AND HARDCOPY PRINTS AT THE SAME DIMENSIONAL DRAWING SCALE AND SHEET SIZE AS THE PROVIDED PLANS. AS-BUILT INFORMATION SHALL REFLECT ALL FINAL CONSTRUCTED CONDITIONS, INCLUDING HARDSCAPE, PLANTING (INCLUDING SPECIES AND LOCATIONS) AND ANY OTHER IMPROVEMENTS TO ITS NEAREST TRUE ON-SITE LOCATION AND CONDITION. AS-BUILT FILES AND PRINTS SHALL BE DISTRIBUTED TO BOTH THE OWNER AND THE ENGINEER/LANDSCAPE ARCHITECT OF RECORD.
- 24. CONTRACTOR SHALL INSTALL ALL NEW TREES WITH A MAX OF 72 HOURS OF RECEIPT OF DELIVERY TO THE PROJECT SITE. WHEN STORED ONSITE, CONTRACTOR SHALL PROTECT ALL ROOTBALLS FROM DIRECT EXPOSURE AND SHALL KEEP ALL ROOTBALLS PROPERLY HYDRATED, CONSISTENT WITH HORTICULTURAL BEST PRACTICES AND STANDARDS.
- 25. CONTRACTOR SHALL RESET AND/OR REPLANT ANY TREE IDENTIFIED FOR RELOCATION WITHIN A MAX OF 72 HOURS AFTER BEING UP-ROOTED. CONTRACTOR SHALL PROTECT ALL ROOTBALLS FROM DIRECT SUN EXPOSURE AND SHALL KEEP THEM HYDRATED CONSISTENT WITH HORTICULTURAL BEST PRACTICES AND STANDARDS.
- 26. SHRUBS, TREES AND PALMS WITH GIRDLING ROOTS SHALL NOT BE ACCEPTED.
- 27. ALL UNDERGROUND UTILITIES AND IMPROVEMENTS SHALL BE PLACED AND/OR INSTALLED OUTSIDE OF THE AREAS DEFINED BY ANY TREE PROTECTION BARRIERS.
- 28. CONTRACTOR IS ADVISED THAT ALL REQUIREMENTS AND STANDARDS EXPRESSED IN THE CITY OF HOLLYWOOD'S CODE OF GENERAL ORDINANCES SHALL BE ABIDED BY WITHOUT EXCEPTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL THE STANDARD PROCEDURES OF THE CITY AND COUNTY IN THE REMOVAL, RELOCATION AND PRESERVATION OF ANY AND ALL TREES.
- 29. CONTRACTOR SHALL NOT STAGE OR OPERATE EQUIPMENT WITHIN THE DRIP-LINE OF ANY TREES OR WITHIN THE TREE PROTECTION AREAS.
- 30. CONTRACTOR SHALL REVIEW ENVIRONMENTAL REQUIREMENTS OF ANY PROPOSED STAGING AREAS WITH THE OWNER AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO USE.
- 31. ANY MATERIAL TO BE STOCKPILED FOR PERIODS GREATER THAN 24 HOURS SHALL BE

PROTECTED BY APPROPRIATE EROSION CONTROL DEVICES. COST TO BE INCLUDED IN THE

32. ALL LANDSCAPING SHALL BE WARRANTIED FOR A MINIMUM OF ONE (1) YEAR AFTER FINAL

RELATED BID ITEM.

33. NO LANDSCAPE SUBSTITUTIONS SHALL BE MADE WITHOUT THE CITY OF HOLLYWOOD

KEY MAP

ELEVATIONS ARE

IN NAVD 88 PROPOSED PLANTING NOTES AND L-001 SCHEDULE
1" = 20'-0"

2020 SALZEDO STREET, 4TH FLOOR

ARCHITECT

ORLANDO, FL 32801

CGA SOLUTIONS

HKS ARCHITECTS, INC.

CORAL GABLES, FL 33134

INTERIOR DESIGNER

CIVIL & LANDSCAPE

1800 ELLER DRIVE, SUITE 600

FORT LAUDERDALE, FL 33316

GMG STRUCTURAL ENGINEERS

14335 COMMERCE WAY

MIAMI LAKES, FL 33016

800 FAIRWAY DRIVE

2995 SIDCO DRIVE

OWNER

NASHVILLE, TN 37204

3501 JOHNSON STREET

HOLLYWOOD, FL 33021

DEERFIELD BEACH, FL 33441

SMITH SECKMAN REID, INC.

STRUCTURAL ENGINEER

MEP & FIRE PROTECTION

TLC ENGINEERING SOLUTIONS, INC.

TELECOM & EQUIPMENT

MEMORIAL HEALTHCARE SYSTEM

225 EAST ROBINSON ST. SUITE #405

INTERIM REVIEW ONLY These documents are incomplete, and are released for interim review only and are not intended for regulatory approval, permit, or construction purposes. Landscape Architect: Dominic James Mack III, R.L.A LA6667598 License No.: Date: 04/12/2024

DOMINIC JAMES MACK III, R.L.A., STATE OF FLORIDA, REGISTERED LANDSCAPE ARCHITECT, LICENSE NO.

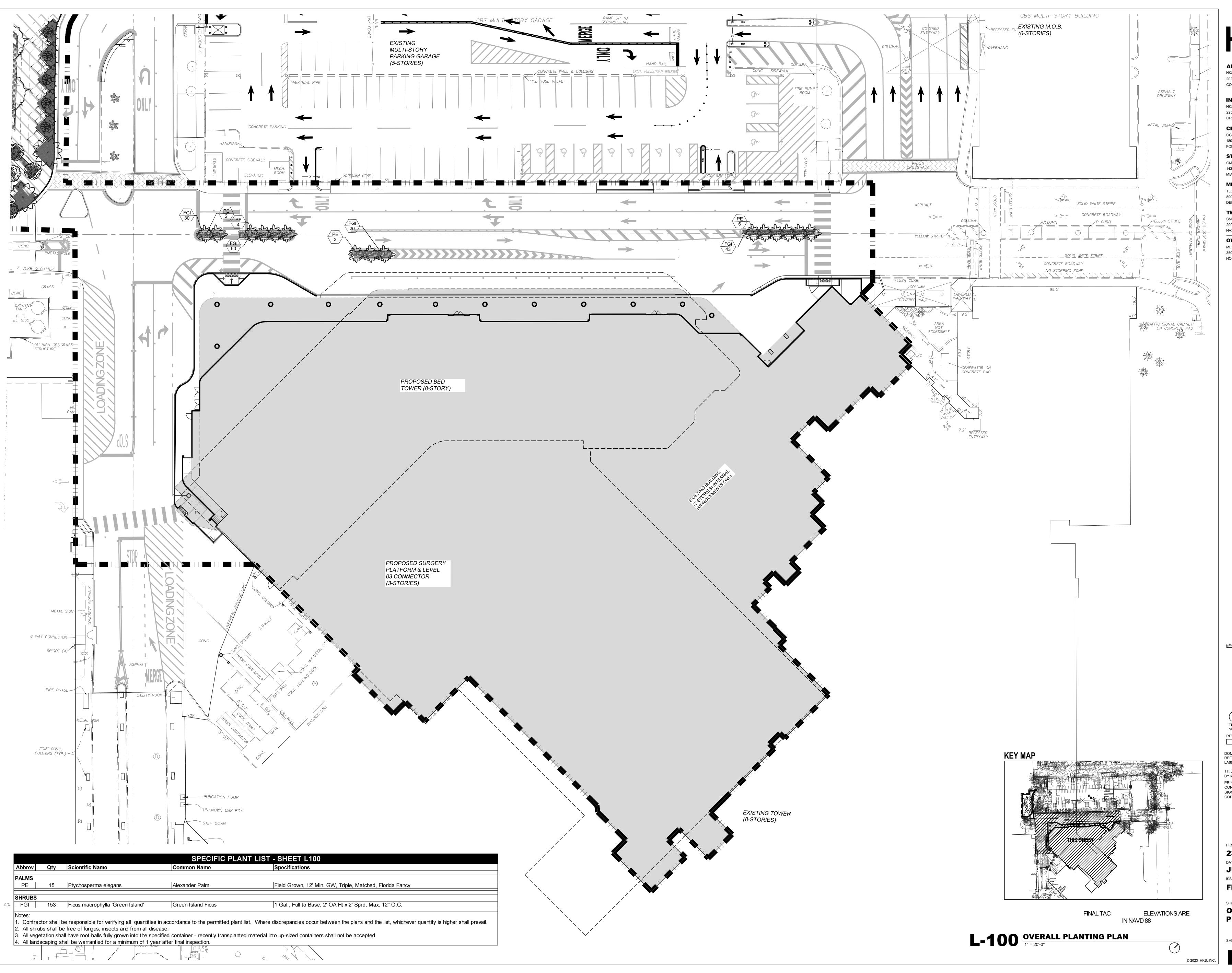
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HKS PROJECT NUMBER

23459.000 **JUNE 17, 2024**

FINAL TAC

PROPOSED PLANTING NOTES AND SCHEDULE



CORAL GABLES, FL 33134

INTERIOR DESIGNER HKS ARCHITECTS

225 EAST ROBINSON ST. SUITE #405 ORLANDO, FL 32801

CIVIL & LANDSCAPE **CGA SOLUTIONS** 1800 ELLER DRIVE, SUITE 600

FORT LAUDERDALE, FL 33316

STRUCTURAL ENGINEER GMG STRUCTURAL ENGINEERS

14335 COMMERCE WAY MIAMI LAKES, FL 33016

MEP & FIRE PROTECTION TLC ENGINEERING SOLUTIONS, INC.

800 FAIRWAY DRIVE DEERFIELD BEACH, FL 33441 **TELECOM & EQUIPMENT**

SMITH SECKMAN REID, INC. 2995 SIDCO DRIVE NASHVILLE, TN 37204

OWNER MEMORIAL HEALTHCARE SYSTEM 3501 JOHNSON STREET

HOLLYWOOD, FL 33021

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DOMINIC JAMES MACK III, R.L.A., STATE OF FLORIDA, REGISTERED LANDSCAPE ARCHITECT, LICENSE NO. THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED

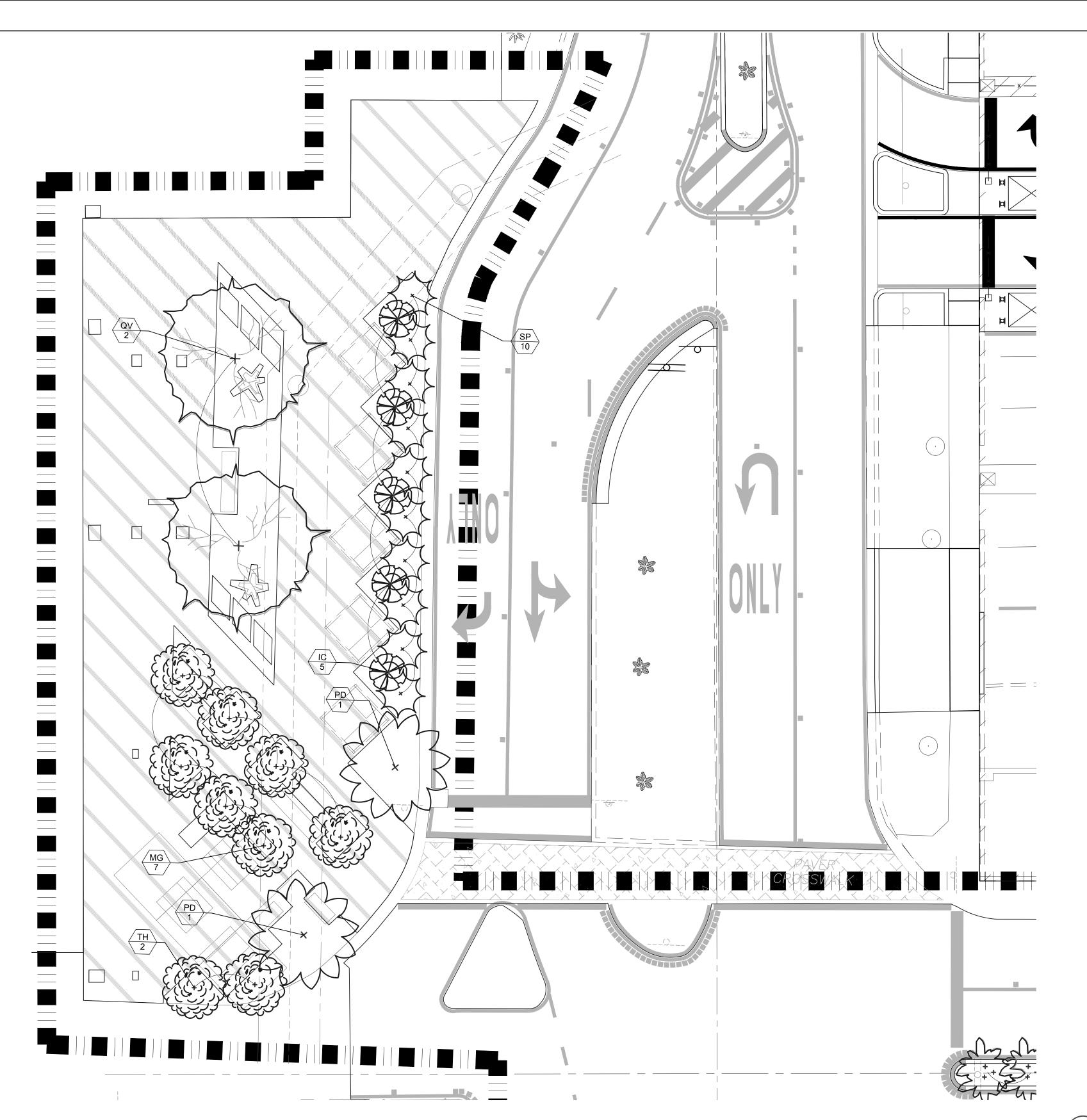
BY MICHAEL CONNER ON THE DATE INDICATED HERE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC

HKS PROJECT NUMBER 23459.000

JUNE 17, 2024

FINAL TAC

OVERALL PLANTING **PLAN**



ENLARGEMENT PLAN: CORNER PLAZA - CANOPY PLAN

				- SHEET 401 - CANOPY PLAN
Abbrev	Qty	Scientific Name	Common Name	Specifications
CANOPY	TREES			
IC	5	Ilex cassine	Dahoon Holly	Field Grown, 12' Min. OAH, Single-trunk, 4' Min. CT, Florida No. 1
QV	2	Quercus virginiana	Live Oak	Field Grown, 16' Min. OAH, 5" Min. DBH, 6.5' Min. CT, Single Trunk, Florida No. 1, Matched
TH	9	Tabebuia Heterophylla	Pink Trumpt Tree	Field Grown, 14' Min. OAH, Single-trunk 4" Min. DBH, 6' Min. CT, Florida No. 1, Matched
ALMS				
PD	2	Phoenix dactylifera	Medjool Date Palm	Field Grown, 12' Min. Wood OAH, Florida Fancy, Matched
PE	28	Ptychosperma elegans	Alexander Palm	Field Grown, 12' Min. GW, Triple, Matched, Florida Fancy
SP	10	Sabal Palmetto	Sabal Palm	Field Grown, 10' Min. GW, Matched, Candle-cut, Booted

1. Contractor shall be responsible for verifying all quantities in accordance to the permitted plant list. Where discrepancies occur between the plans and the list, whichever quantity is higher shall prevail.

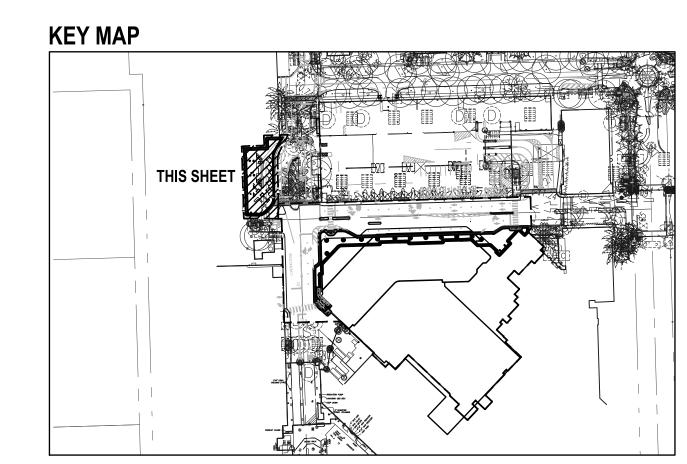
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shrubs shall be free of fungus, insects and from all disease.
vegetation shall have root balls fully grown into the specified container - recently transplanted material into up-sized containers shall not be accepted.
landscaping shall be warrantied for a minimum of 1 year after final inspection.

ENLARGEMENT PLAN: CORNER PLAZA - UNDERSTORY PLAN

Abbrev	Qty	Scientific Name	Common Name	Specifications
SHRUBS				
MUH	20	Muhlenbergia capillaris	Pink Muhly Grass	3 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 2' O.C.
NEB	40	Nephrolepis exaltata 'Bostoniensis'	Boston Fern	3 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 12" O.C.
ZAM	59	Zamia pumila	Coontie	1 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 12" O.C.
TDA	235	Tripsacum dactyloides	Fakahatchee Grass	3 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 2' O.C.
SPG	121	Spathoglottis plicata	Ground Orchids	1 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 12" O.C.
SOD	SQFT			
ZEM	586	Zoysia x 'Empire'	Empire Zoysia	1 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 18" O.C.

2. All shrubs shall be free of fungus, insects and from all disease. 3. All vegetation shall have root balls fully grown into the specified container - recently transplanted material into up-sized containers shall not be accepted. 4. All landscaping shall be warrantied for a minimum of 1 year after final inspection.



ELEVATIONS ARE IN NAVD 88 **ENLARGEMENT PLANTING PLANS -**L-401 CORNER PLAZA

1" = 20'-0"

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ARCHITECT

INTERIOR DESIGNER HKS ARCHITECTS

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FINAL TAC

ENLARGEMENT PLANTING PLANS -CORNER PLAZA