

LEGAL DESCRIPTION:
HOLLYWOOD HILLS 6-22 B ALL OF BLKS 46,47,48,POR OF BLK
82,83,84,85 AS IN OR 46465/713 TOG W/STS & ALLEYS VAC IN DB
764/208 & 21384/16 & A POR OF ALLEY DESC'D IN OR 48015/989,
TOG W/POR OF BLK 15,16,17 DESC AS BEG NW COR LOT 37 BLK 17,
E 215,S 790,E 85,S 125,W 190, N 140,W 110,N 775 TO POB,TOG
W/LOT 32 BLK 16

ZONING:
CURRENT LAND USE: CF - COMMUNITY FACILITIES
CURRENT ZONING: HD - HOSPITAL DISTRICT

PROPOSED BUILDING HEIGHT = 119'-11" HT (8 STORIES)
BUILDING SETBACKS:⁽¹⁾
 REQUIRED: 20' + 1' FOR EACH 5' ABOVE 65' HT. = 31'
 PROVIDED: 174.33' (MIN)

NET PROPERTY AREA:
MEMORIAL REGIONAL HOSPITAL = 923,703 SF (21.2053 ACRES)
JOE DIMAGGIO CHILDREN'S HOSPITAL = 219,654 SF (5.0426 ACRES)
TOTAL PROPERTY AREA = 1,143,357 SF (26.2479 ACRES)

PROJECT AREA:⁽²⁾
PROJECT LIMIT AREA = 154,618 SF (3.5495 ACRES)

PERVIOUS AND IMPERVIOUS AREAS

ITEM	EXISTING			PROPOSED		
	S.F.	ACRES	%	S.F.	ACRES	%
BUILDING	73,393	1.6849	47.47%	92,055	2.1133	59.54%
DRIVE/ROADS	45,256	1.0389	29.27%	42,673	0.9796	27.60%
WALKS	20,017	0.4595	12.95%	16,054	0.3685	10.38%
PERVIOUS	138,666	3.1833	89.68%	150,782	3.4615	97.52%
PERVIOUS	15,952	0.3662	10.32%	3,836	0.0881	2.48%

TOTAL GROSS FLOOR AREA OF NEW BUILDING: (3)	404,492 SF
TOTAL NET INCREASE AFTER DEMOLITION	209,662 SF

Summary of New Construction Areas	Totals	Code Required	Required Parking
Diagnostic & Treatment	75,111.00	1 per 200	376
Outpatient	11,593.00	1 per 200	58
Beds	150.00	1 for 1	150
Total Additional Parking Required			584

Existing Parking Requirements for Parcel II*	1580	
Additional Parking Required (new areas)	584	
Total Parking Required for Parcel II	2164	

Existing Parking for Parcel II*	2682
Parking Reduction due to Improvements	2
Total Parking Available	2680

Accessible Parking Required	20 + 1/100 Spaces	42
Accessible Parking Available		45

*Existing and Provided Parking Counts are based on Resolution 17-DP-39, Page 8 adopted on March 15, 2018

- NOTES:**
1. THE MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL).
 2. THIS PROJECT IS INTENDED TO COMPLY WITH THE CITY OF HOLLYWOOD'S GREEN BUILDING ORDINANCE.
 3. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.
 4. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.
 5. THIS PROJECT IS INTENDED TO ACHIEVE LEED CERTIFICATION.
 6. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
 7. PER THE EFFECTIVE INTERLOCAL AGREEMENT ITEM #4 - SEE ARCHITECTURAL ELEVATIONS FOR ADDITIONAL INFORMATION.
 8. PROJECT LIMIT AREA SHALL BE USED FOR CALCULATIONS OF PERVIOUS/IMPERVIOUS AREA PERCENTAGES.
 9. SEE ARCHITECTURAL PLANS FOR BREAKDOWN OF BUILDING COMMON AREAS AND USES.

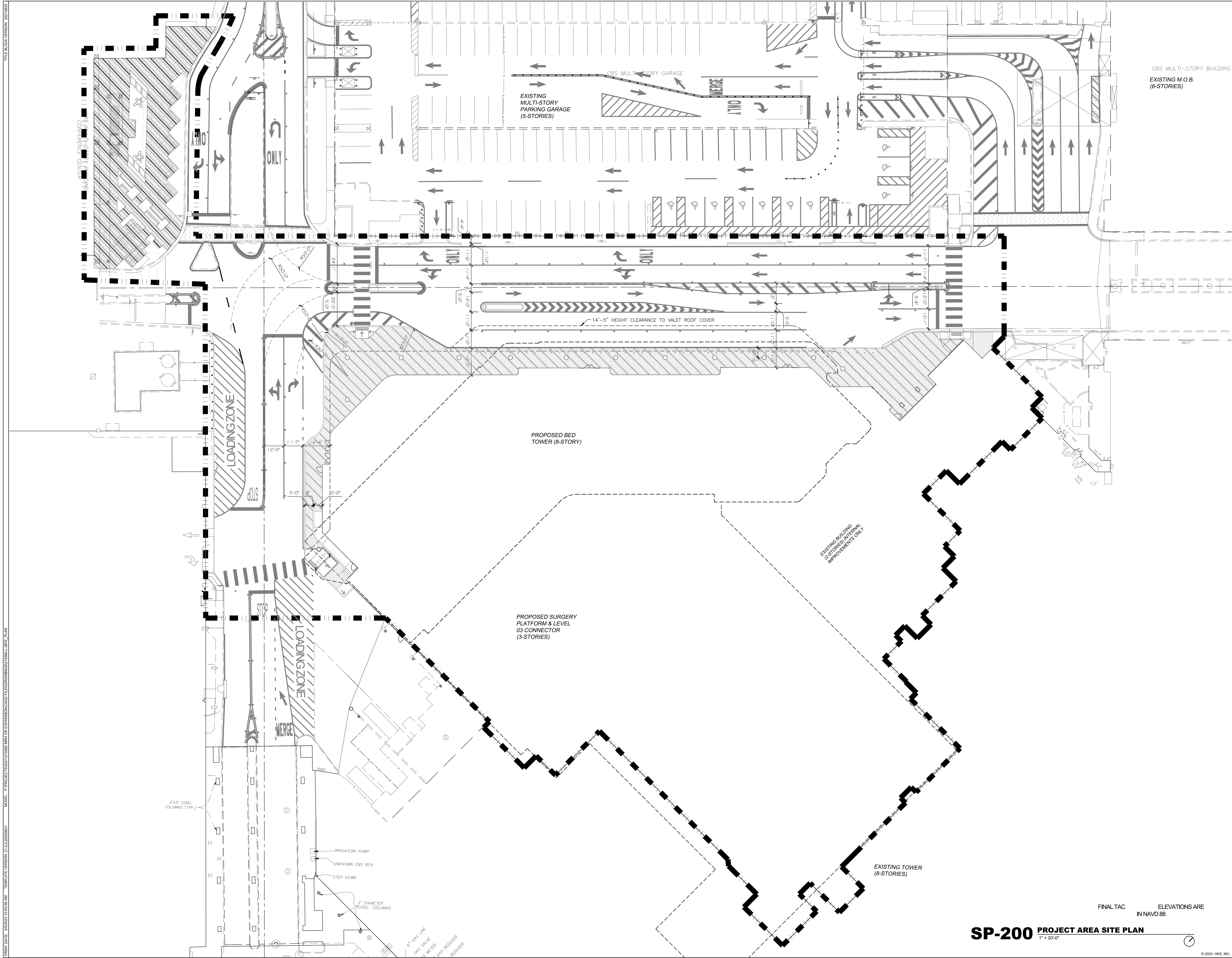
- REQUESTED VARIANCES: NONE.

MEETING DATES	
Board / Committee	Date
P.A.C.O.	05/22/2023
PRELIMINARY TAC SUBMITTAL	04/15/2024
PRELIMINARY TAC MEETING	05/06/2024
FINAL TAC SUBMITTAL	XX/XX/2024
FINAL TAC MEETING	XX/XX/2024
PLANNING DEVELOPMENT BOARD	XX/XX/2024

FINAL TAC ELEVATIONS ARE
IN NAVD 88

SP-100 **OVERALL SITE PLAN**
1" = 60'-0"





FINAL TAC ELEVATIONS ARE
IN NAVD 88

SP-200 **PROJECT AREA SITE PLAN**
1" = 20'-0"



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OWNER
MEMORIAL HEALTHCARE SYSTEM
3501 JOHNSON STREET
HOLLYWOOD, FL 33021

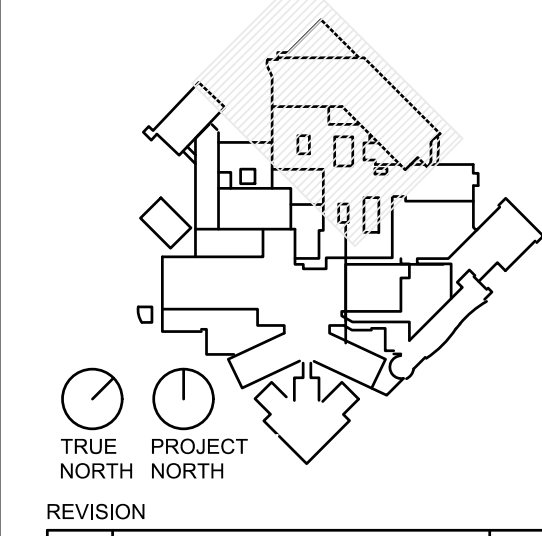


Memorial
Regional Hospital

SURGICAL & CRITICAL CARE TOWER EXPANSION

INTERIM REVIEW ONLY

KEY PLAN



DOMINIC JAMES MACK III, R.L.A., STATE OF FLORIDA,
REGISTERED LANDSCAPE ARCHITECT, LICENSE NO.
1A8667598

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HKS PROJECT NUMBER

23459.000

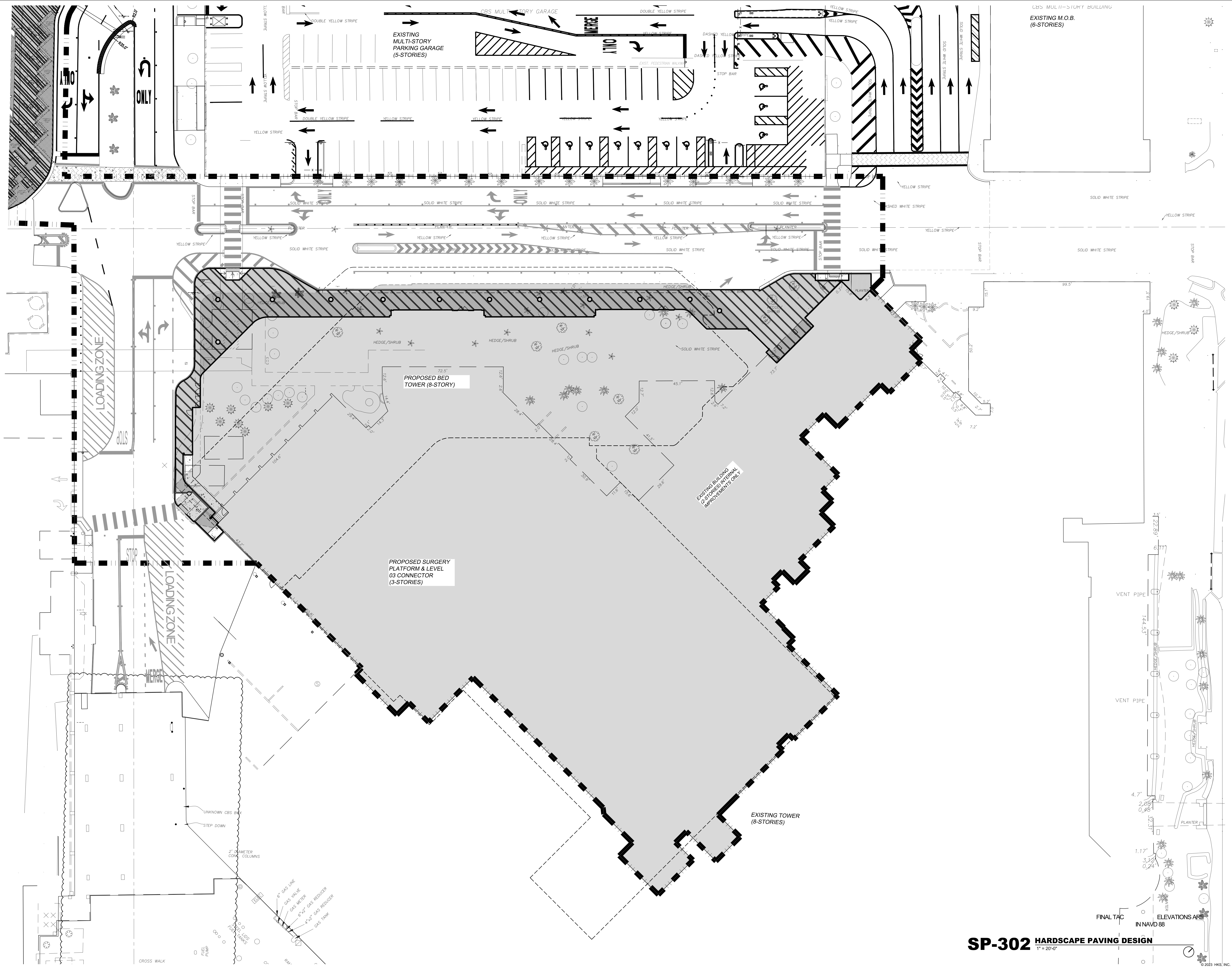
DATE
JUNE 17, 2024

ISSUE
FINAL TAC

SHEET TITLE
**PROJECT AREA SITE
PLAN**

SHEET NO.

SP-200



HKS

ARCHITECT
 WKS ARCHITECTS, INC.,
 1020 SALZEDO STREET, 4TH FLOOR
 CORAL GABLES, FL 33134

INTERIOR DESIGNER
WKS ARCHITECTS
 25 EAST ROBINSON ST. SUITE #405
 ORLANDO, FL 32801

CIVIL & LANDSCAPE
EGA SOLUTIONS
800 ELLER DRIVE, SUITE 600
PORT LAUDERDALE, FL 33316

STRUCTURAL ENGINEER
HMG STRUCTURAL ENGINEERS
4335 COMMERCE WAY
MIAMI LAKES, FL 33016

MEP & FIRE PROTECTION
 PLC ENGINEERING SOLUTIONS, INC.
 100 FAIRWAY DRIVE
 DEERFIELD BEACH, FL 33441

TELECOM & EQUIPMENT
SMITH SECKMAN REID, INC.
995 SIDCO DRIVE
NASHVILLE, TN 37204

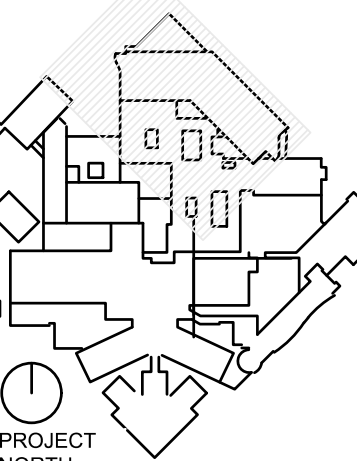
OWNER
MEMORIAL HEALTHCARE SYSTEM
1501 JOHNSON STREET
HOLLYWOOD, FL 33021

**Memorial
Regional Hospital**

SURGICAL & CRITICAL CARE TOWER EXPANSION
3501 JOHNSON STREET HOI LYWOOD, FL 33021

INTERIM REVIEW ONLY
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Landscape Architect: Dominic James Mack III, RLA
License No.: LA6667598
Date: 04/12/2024

KEY PLAN



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JUNE 17, 2024

FINAL TAC

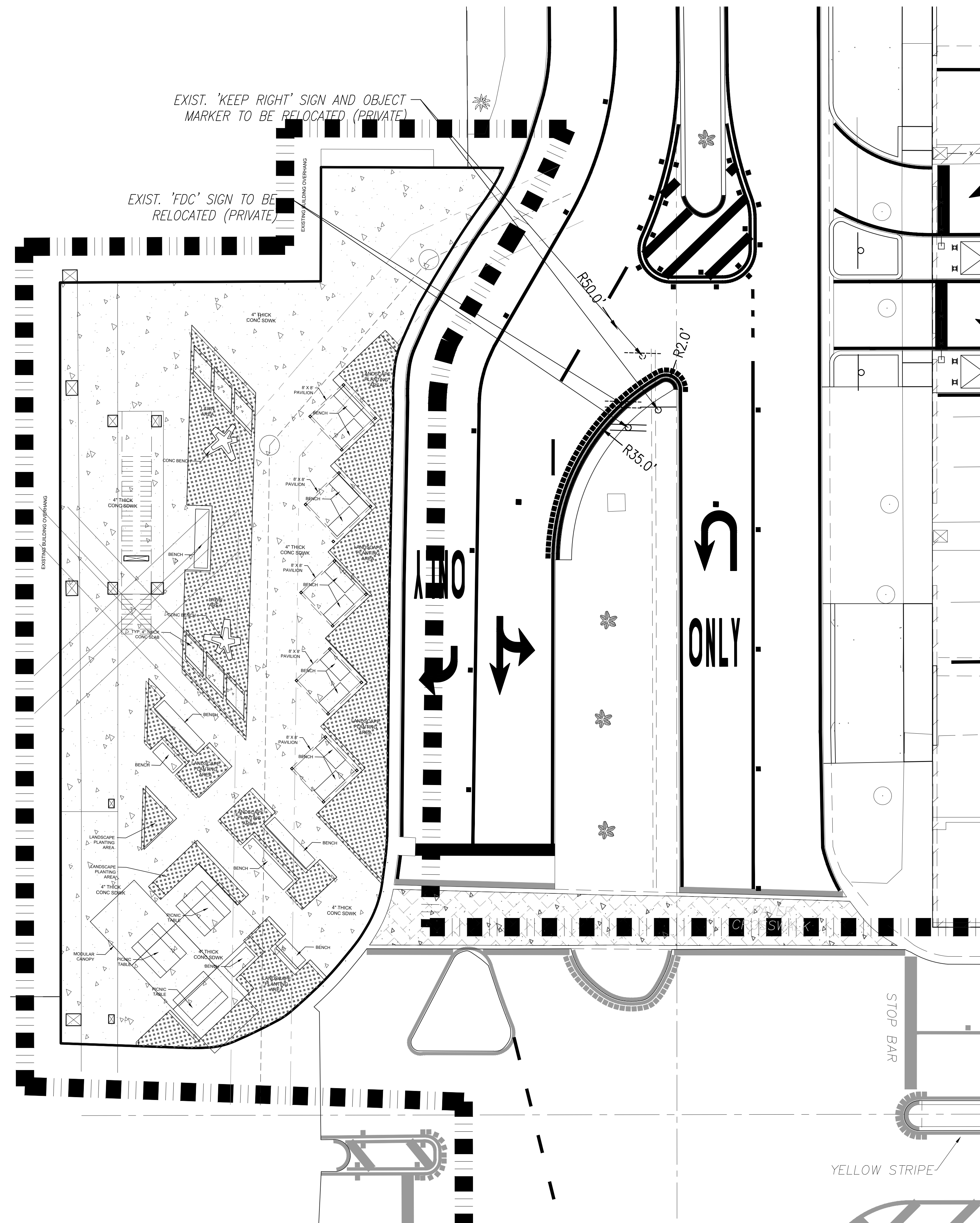
SHEET TITLE

HARDSCAPE PAVING DESIGN

DESIGN

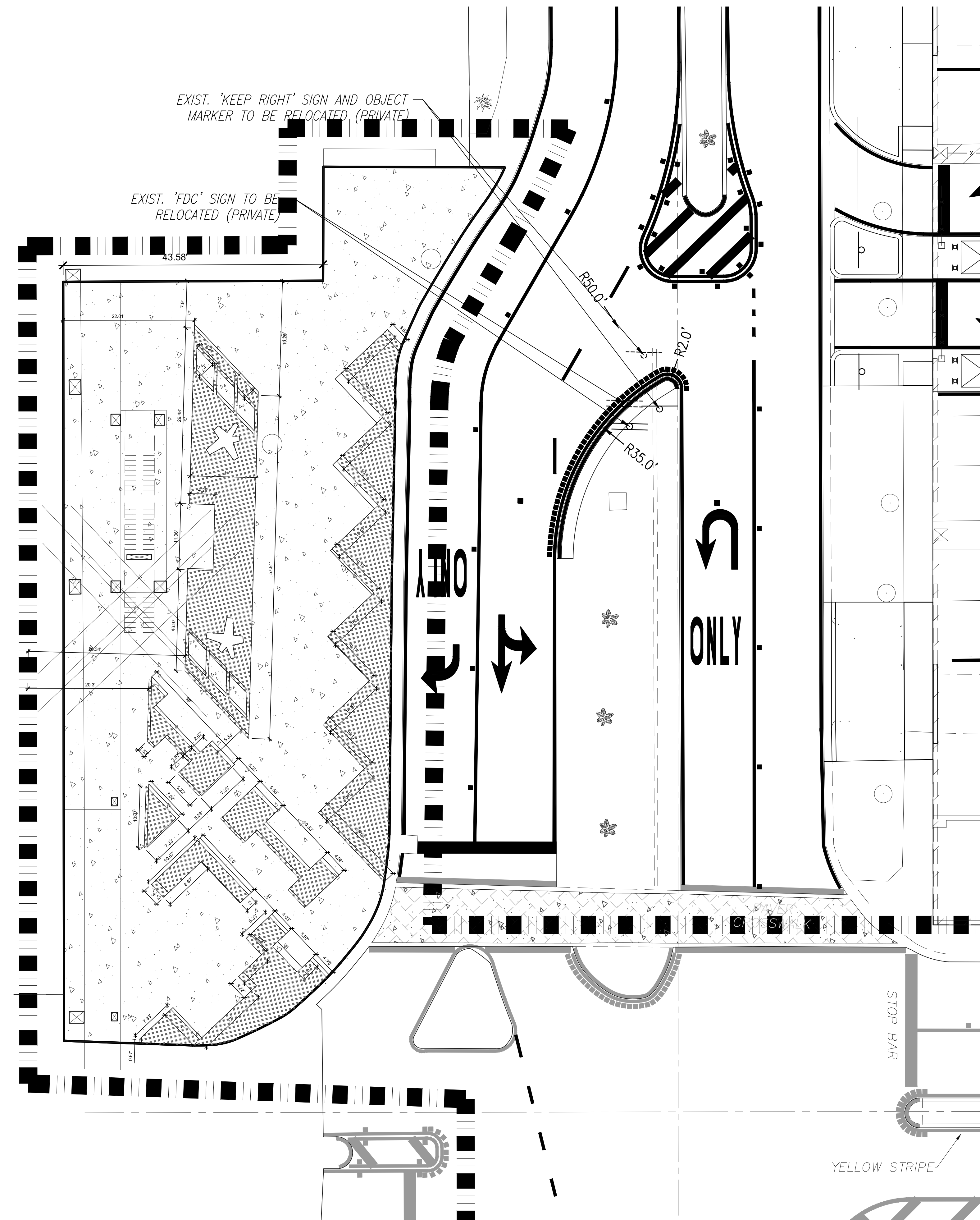
SHEET NO.

SP-302



1 ENLARGEMENT PLAN: CORNER PLAZA - SITE PLAN

1:10

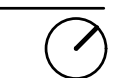


2 ENLARGEMENT PLAN: CORNER PLAZA - DIMENSIONS PLAN

1:10

FINAL TAC ELEVATIONS ARE
IN NAVD 88

SP-401 **ENLARGEMENT PLANS - CORNER PLAZA**
1" = 20'-0"



ARCHITECT
HKS ARCHITECTS, INC.,
2020 SALZEDO STREET, 4TH FLOOR
CORAL GABLES, FL 33134

INTERIOR DESIGNER
HKS ARCHITECTS
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ORLANDO, FL 32801

CIVIL & LANDSCAPE
CGA SOLUTIONS
1800 ELLER DRIVE, SUITE 600
FORT LAUDERDALE, FL 33316

STRUCTURAL ENGINEER
GMG STRUCTURAL ENGINEERS
14335 COMMERCE WAY
MIAMI LAKES, FL 33016

MEP & FIRE PROTECTION
TLC ENGINEERING SOLUTIONS, INC.
800 FAIRWAY DRIVE
DEERFIELD BEACH, FL 33441

TELECOM & EQUIPMENT
SMITH SECKMAN REID, INC.
2985 SIDCO DRIVE
NASHVILLE, TN 37204

OWNER
MEMORIAL HEALTHCARE SYSTEM
3501 JOHNSON STREET
HOLLYWOOD, FL 33021



Memorial
Regional Hospital

SURGICAL & CRITICAL CARE TOWER EXPANSION

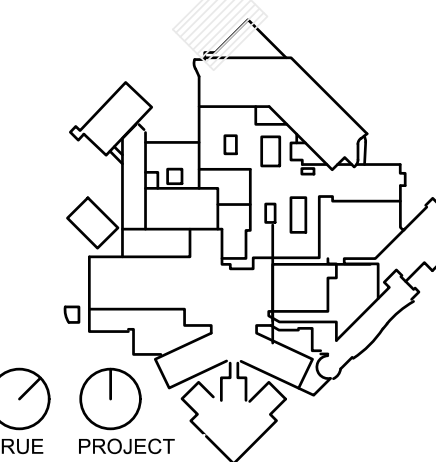
35
S

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Landscape Architect: Dominic James Mack III, R
License No.: LA6667598
Date: 04/12/2024

KEY PLAN



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REGISTERED LANDSCAPE ARCHITECT, LICENSE NO.
140007600

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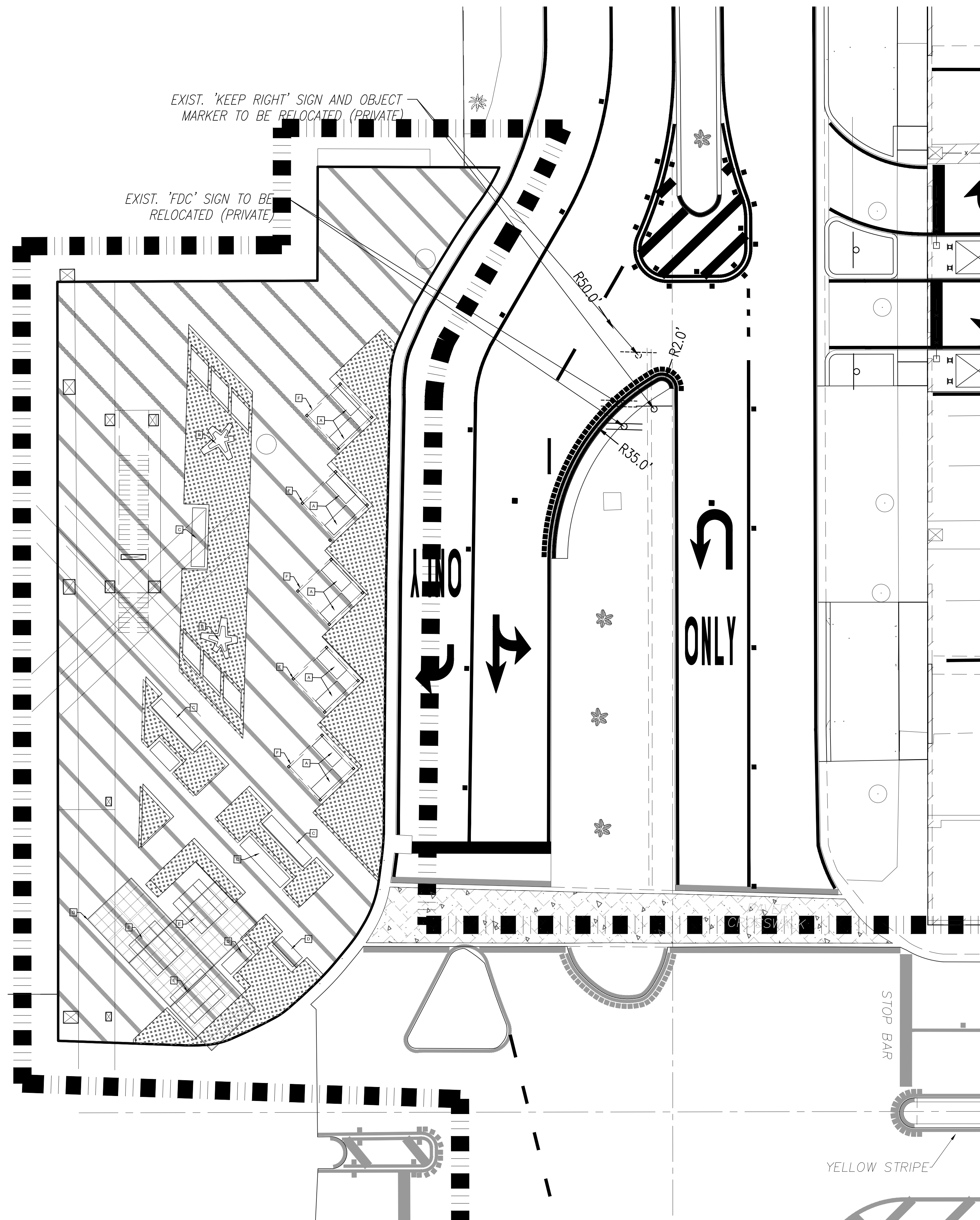
DATE
JUNE 17, 2024

ISSUE
FINAL TAC

SHEET TITLE
**ENLARGEMENT
PLANS - CORNER
PLAZA**

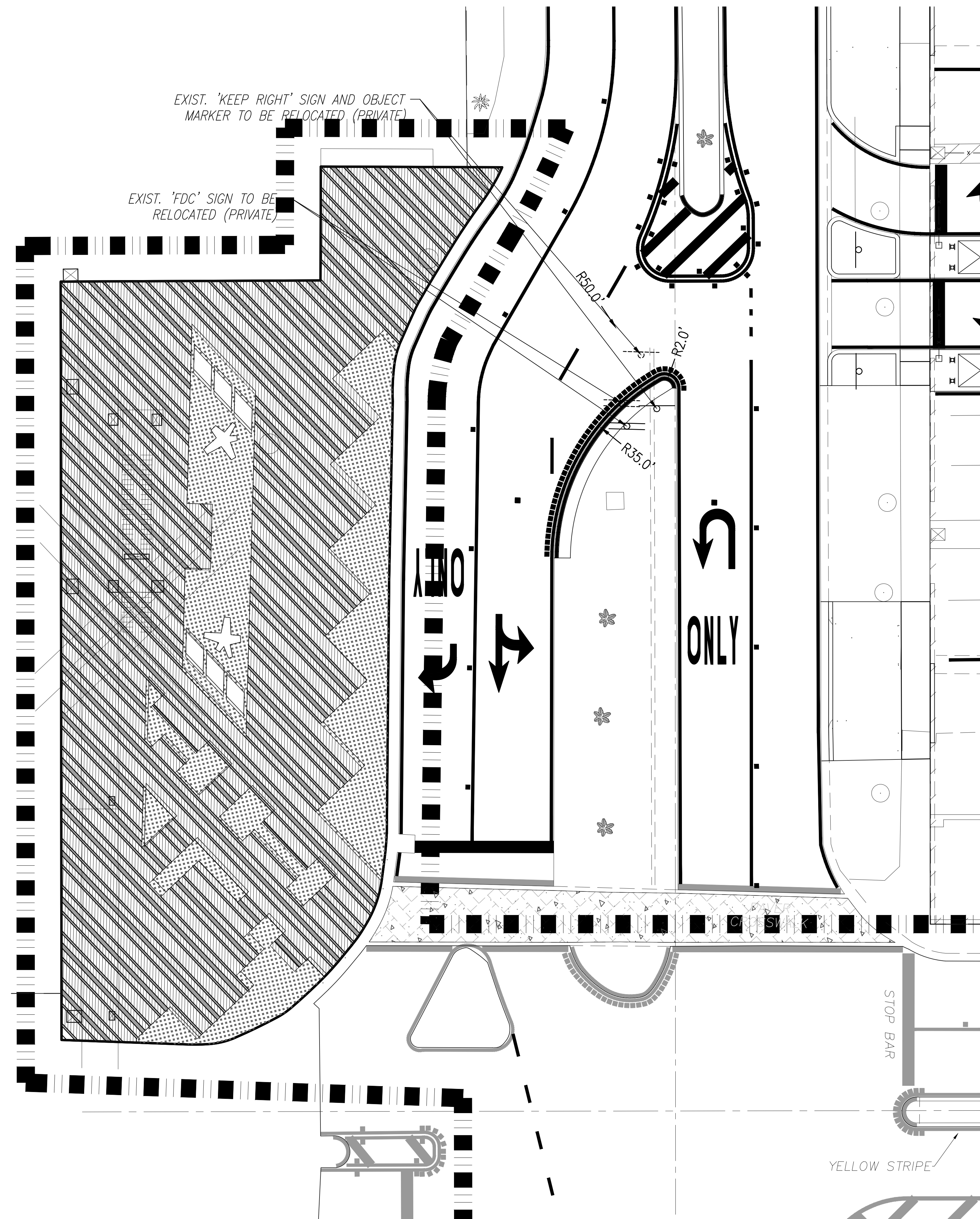
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SP-401




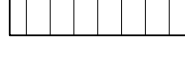
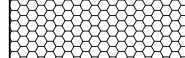
1 ENLARGEMENT PLAN: CORNER PLAZA - FURNISHINGS PLAN

FURNISHINGS SCHEDULE				
ID	DESCRIPTION	MANUFACTURER	MODEL	FINISHES
A	BENCH	MM CITE	RADIUM LRA160	POWDERCOATED STEEL, RESYSTA COMPOSITE
B	BENCH	ESCOTEF - LANDSCAPE FORMS	CAD SWING	STEEL FRAME, RESYSTA COMPOSITE
C	BENCH	MM CITE	VERA LV151	STEEL FRAME, RESYSTA COMPOSITE
D	BENCH	MM CITE	VERA LV150	STEEL FRAME, RESYSTA COMPOSITE
E	PICNIC BENCH	MM CITE	VERA LV511	STEEL FRAME, RESYSTA COMPOSITE
F	PICNIC TABLE	MM CITE	VERA LV5911	STEEL FRAME, RESYSTA COMPOSITE
F	PERGOLA SHELTER	LUXURY PERGOLA	CUSTOM ORDER	ALUMINUM FRAME
G	CANOPY	MM CITE	PIN105	STEEL STRUCTURE, ROOF SAFETY GLASS



2 ENLARGEMENT PLAN: CORNER PLAZA - PAVING DESIGN

HATCH LEGEND

	EXPOSED AGGREGATE HONED CONCRETE TO MATCH LITHOCRETE SAMPLE 08-043 MODIFICATION: ADDITION OF COQUINA SHELLS
	EXPOSED AGGREGATE HONED CONCRETE TO MATCH LITHOCRETE SAMPLE 07-251 MODIFICATION: ADDITION OF COQUINA SHELLS
	EXPOSED AGGREGATE HONED CONCRETE TO MATCH LITHOCRETE SAMPLE 07-259 MODIFICATION: ADDITION OF COQUINA SHELLS

FINAL TAC ELEVATIONS ARE
IN NAVD 88

SP-402 ENLARGEMENT PLANS - CORNER PLAZA
1" = 20'-0"

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HKS ARCHITECTS, INC.,
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CORAL GABLES, FL 33134

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HOLLYWOOD, FL 33021

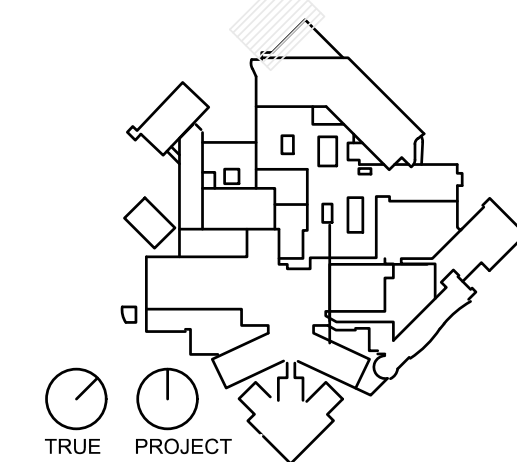
Memorial Regional Hospital



SURGICAL & CRITICAL CARE TOWER EXPANSION
3501 JOHNSON STREET HO | YWOOD FL 33021

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Landscape Architect: Dominic James Mack III R.L.A.
License No.: LA8667598
Date: 04/12/2024

KEY PLAN



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REGISTERED LANDSCAPE ARCHITECT, LICENSE NO.
1A6667598

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DATE
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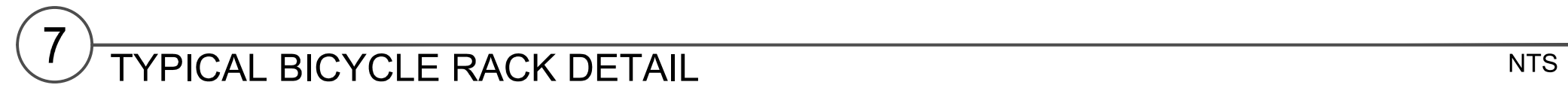
ISSUE
FINAL TAC

SHEET TITLE

ENLARGEMENT PLANS - CORNER PLAZA

SHEET NO.

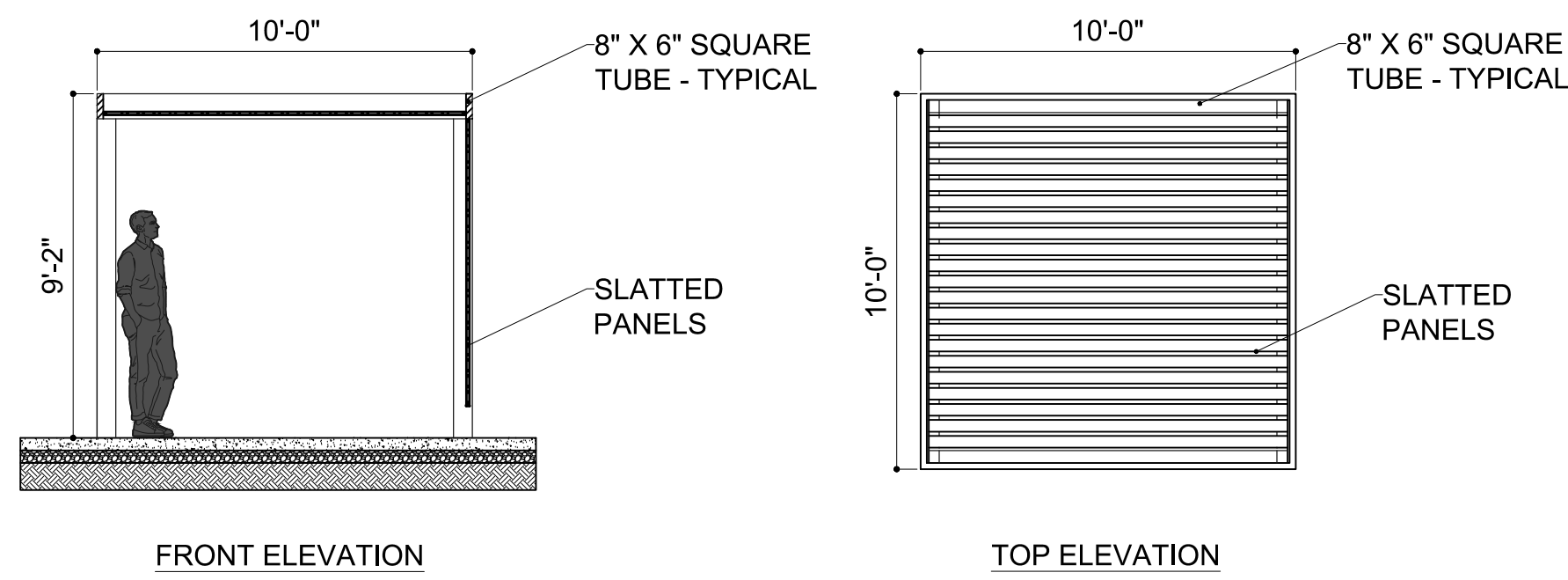
SP-402



SP-403

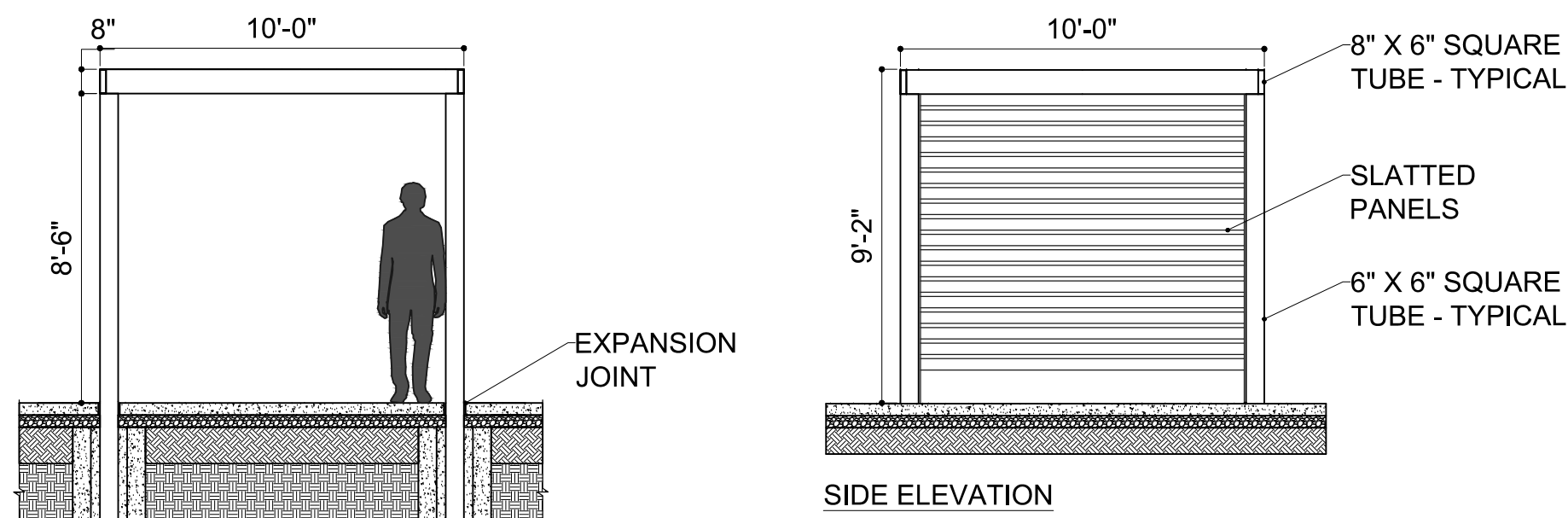
SHEET NO.

SP-403



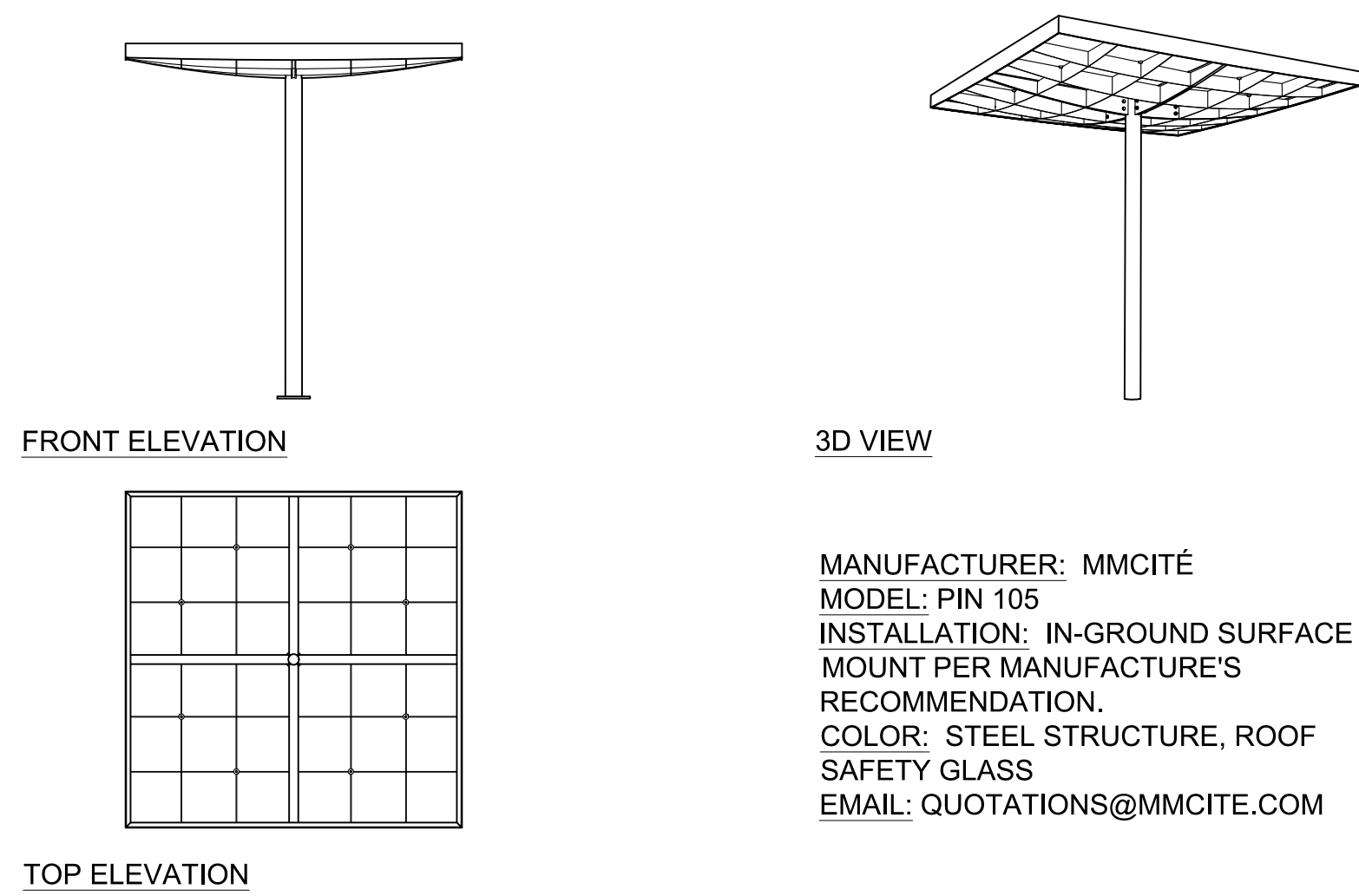
NOTE (TYP):
ALL METAL COMPONENTS ARE PREFERRED TO BE ALUMINUM.
WHERE ALUMINUM IS UTILIZED, IT SHALL MEET BOTH ASTM
B221 AND AMS-QQ-A 200/9 STANDARDS. WHERE STEEL IS
UTILIZED, IT SHALL BE GALVANIZED ON ALL SURFACES
(INTERIOR AND EXTERIOR) OF EACH COMPONENT. ALL STEEL
SHALL BE POWDER-COATED AND FINISHED WITH A MIN.
10-YEAR WARRANTY ON ALL PAINT FINISHES.

F PERGOLA SHELTER NTS



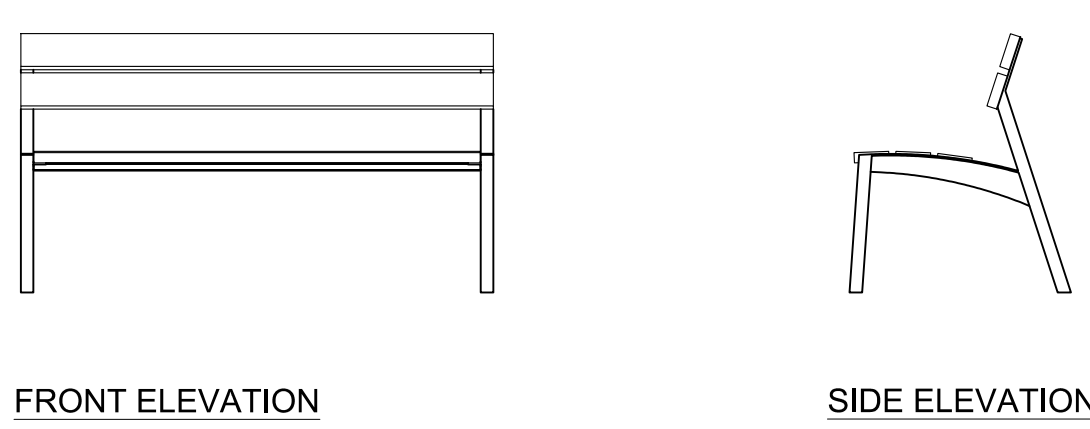
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F PERGOLA SHELTER NTS



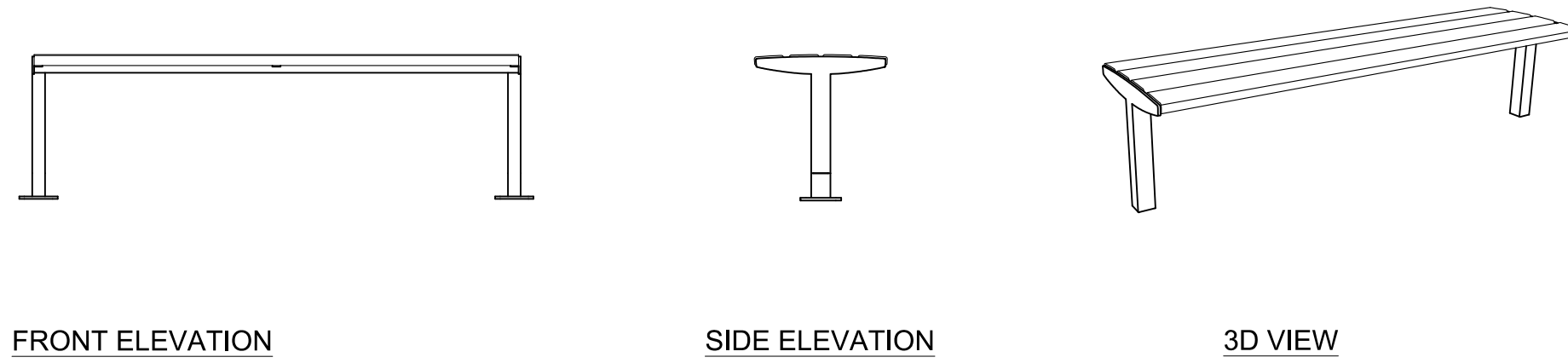
MANUFACTURER: MMCITÉ
MODEL: PIN 105
INSTALLATION: IN-GROUND SURFACE
MOUNT PER MANUFACTURE'S
RECOMMENDATION.
COLOR: STEEL STRUCTURE, ROOF
SAFETY GLASS
EMAIL: QUOTATIONS@MMCITE.COM

G CANOPY NTS



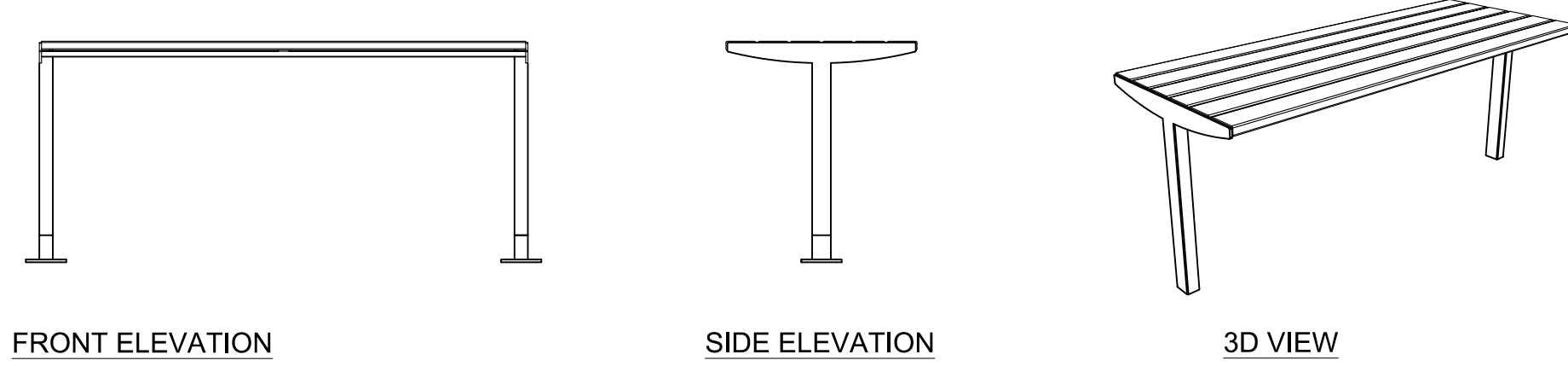
MANUFACTURER: MMCITÉ
MODEL: VERA LV150
INSTALLATION: IN-GROUND SURFACE
MOUNT PER MANUFACTURE'S
RECOMMENDATION.
COLOR: POWDERCOATED STEEL,
RESYSTA COMPOSITE
EMAIL: QUOTATIONS@MMCITE.COM

D BENCH NTS



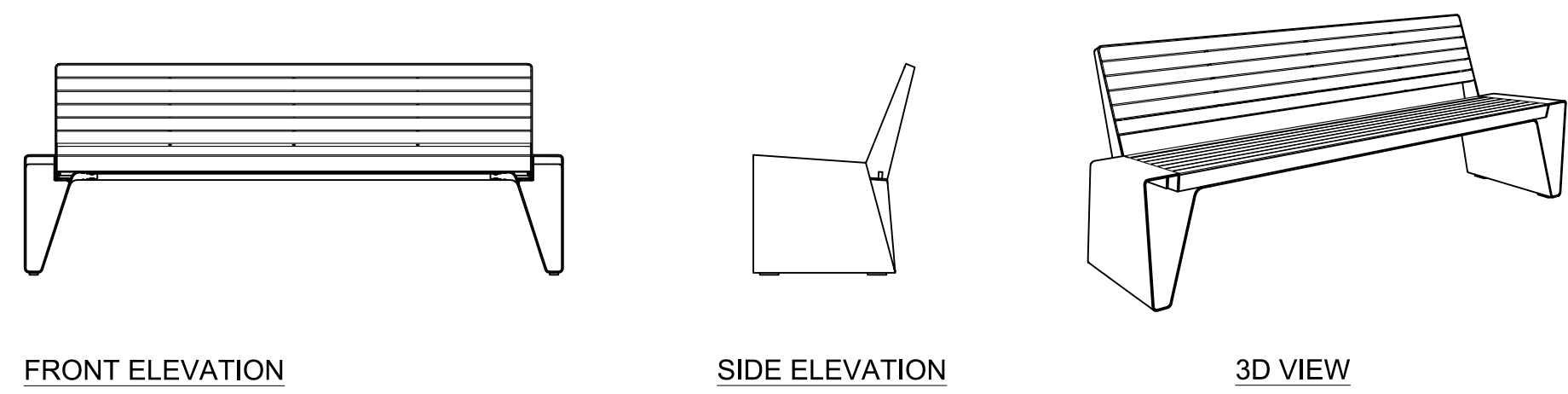
MANUFACTURER: MMCITÉ
MODEL: VERA SOLO LVS111
INSTALLATION: IN-GROUND SURFACE
MOUNT PER MANUFACTURE'S
RECOMMENDATION.
COLOR: POWDERCOATED STEEL,
RESYSTA COMPOSITE
EMAIL: QUOTATIONS@MMCITE.COM

E PICNIC BENCH NTS



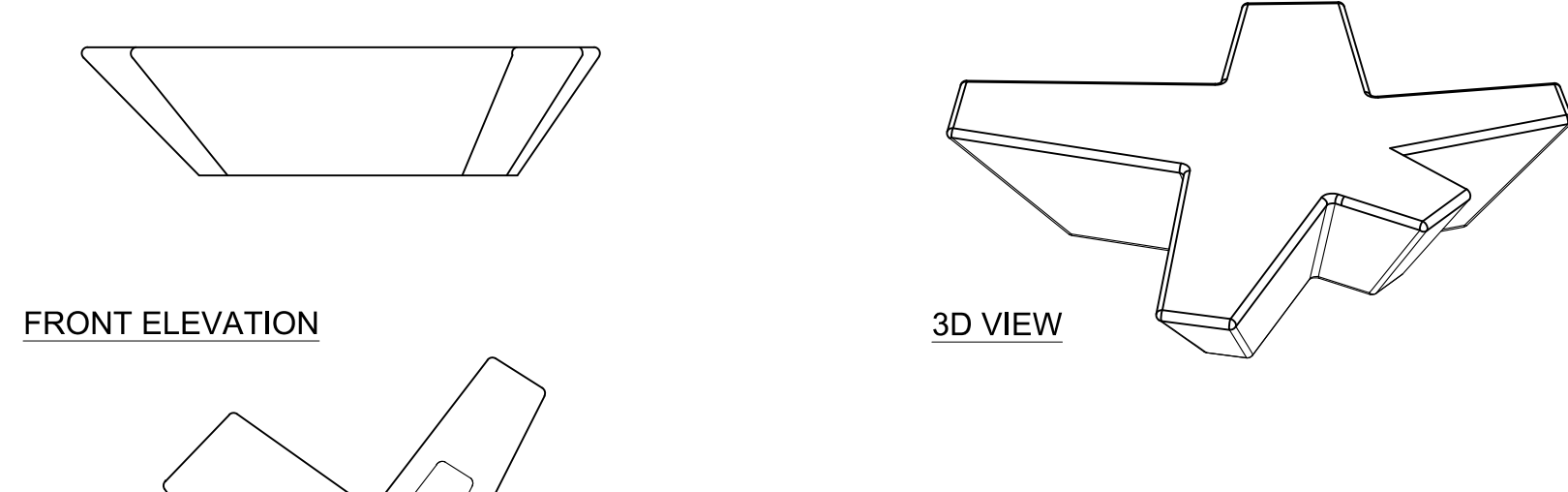
MANUFACTURER: MMCITÉ
MODEL: VERA SOLO LVS911
INSTALLATION: IN-GROUND SURFACE
MOUNT PER MANUFACTURE'S
RECOMMENDATION.
COLOR: POWDERCOATED STEEL,
RESYSTA COMPOSITE
EMAIL: QUOTATIONS@MMCITE.COM

E PICNIC TABLE NTS



MANUFACTURER: MMCITÉ
MODEL: RADIUM LRA160
INSTALLATION: IN-GROUND SURFACE
MOUNT PER MANUFACTURE'S
RECOMMENDATION.
COLOR: OWDERCOATED STEEL,
RESYSTA COMPOSITE
EMAIL: QUOTATIONS@MMCITE.COM

A BENCH NTS



MANUFACTURER: ESCOFET - LANDSCAPE FORMS
MODEL: FLOR SMALL
INSTALLATION: SET IN PLACE WITH PROPER
EQUIPMENT SUACH AS A CRANE PER
MANUFACTURE'S RECOMMENDATION.
COLOR: CAST STONE
PH: 800.521.2546

B BENCH NTS



MANUFACTURER: MMCITÉ
MODEL: VERA LV151
INSTALLATION: IN-GROUND SURFACE
MOUNT PER MANUFACTURE'S
RECOMMENDATION.
COLOR: POWDERCOATED STEEL,
RESYSTA COMPOSITE
EMAIL: QUOTATIONS@MMCITE.COM

C BENCH NTS

FINAL TAC ELEVATIONS ARE
IN NAVD 88

SP-404 FURNISHING DETAILS

1" = 20'-0"



HKS

ARCHITECT
HKS ARCHITECTS, INC.
2020 SALZEDO STREET, 4TH FLOOR
CORAL GABLES, FL 33134

INTERIOR DESIGNER
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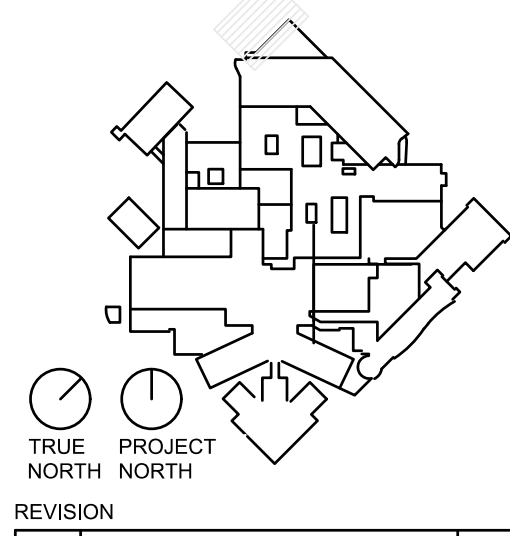
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Memorial
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License No.: LA06667595
Date: 04/12/2024

KEY PLAN



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DATE
JUNE 17, 2024

ISSUE
FINAL TAC

SHEET TITLE
FURNISHING
DETAILS

SHEET NO.

SP-404

ALL NEW PLANT MATERIAL, IRRESPECTIVE OF PLANTING PHASE, SHALL HAVE AN ESTABLISHMENT PERIOD OF 12 MONTHS FROM THE TIME OF FINAL ACCEPTANCE AT SUBSTANTIAL COMPLETION. DURING THE ESTABLISHMENT PERIOD THE CONTRACTOR WILL BE RESPONSIBLE FOR THE FOLLOWING ITEMS: WATERING PER THE SCHEDULE ATTACHED, RE-SETTING OF PLANTS, REPLACEMENT OF SICK OR DEAD PLANTS, AND ALL OTHER CARE REQUIRED FOR PROPER GROWTH. ANY PLANT MATERIAL NOT IN HEALTHY GROWING CONDITION WILL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CLIENT. THE 12 MONTH WARRANTY/ESTABLISHMENT PERIOD SHALL BE EXTENDED BY 45 DAYS FOR ALL REPLACEMENT PLANT MATERIAL AT THE CLIENTS EXPENSE, THE CONTRACTOR WILL REPLACE ANY PLANT MATERIAL DAMAGED AS A RESULT OF AUTOMOBILE ACCIDENTS OR "ACTS OF GOD" LIMITED TO HAIL, FREEZE, LIGHTNING, AND WINDS EXCEEDING 75 MPH AS DEFINED BY THE MIAMI HURRICANE CENTER.

WATERING SCHEDULE (FIRST 6 MONTHS)

WEEKS	FREQUENCY
1-2	MON., TUES., THURS., SAT.
3-4	MON., TUES., THURS., SAT.
5-6	MON., TUES., THURS., SAT.
7-8	MON., TUES., THURS., SAT.
9-10	MON., THURS., SAT.
11-12	MON., THURS., SAT.
13-14	MON., THURS., SAT.
15-16	MON., THURS., SAT.
17-18	THURS., SUN.
19-20	THURS., SUN.
21-22	THURS., SUN.
23-24	THURS., SUN.

* WATERING CONTRACT SHALL BE INCLUDED IN CONTRACTORS BID FOR ANY PLANT MATERIAL THAT HAS BEEN ROOT PRUNED, DISTURBED BY CONSTRUCTION, OR WHERE PROPOSED OR EXISTING IRRIGATION SYSTEMS ARE NOT FUNCTIONAL. ALL WARRANTIES SHALL BE IN PLACE BY CONTRACTOR REGARDLESS OF NON-OPERATIONAL IRRIGATION SYSTEMS OR AREAS WHERE NO IRRIGATION IS PROPOSED.

OVERALL PROPOSED PLANT LIST

Abbrev	Qty	Scientific Name	Common Name	Specifications
CANOPY TREES				
IC	5	Ilex cassine	Dahoon Holly	Field Grown, 12" Min. OAH, Single-trunk, 4" Min. CT, Florida No. 1
QV	2	Quercus virginiana	Live Oak	Field Grown, 16" Min. OAH, 5" Min. DBH, 6.5" Min. CT, Single Trunk, Florida No. 1, Matched
MG	9	Magnolia grandiflora 'Little Gem'	Little Gem' Southern Magnolia	Field Grown, 14" Min. OAH, Single-trunk 4" Min. DBH, 6" Min. CT, Florida No. 1, Matched
PALMS				
PD	2	Phoenix dactylifera	Medjool Date Palm	Field Grown, 12" Min. Wood OAH, Florida Fancy, Matched
PE	15	Ptychosperma elegans	Alexander Palm	Field Grown, 12" Min. GV, Triple, Matched, Florida Fancy
SP	10	Sabal Palmetto	Sabal Palm	Field Grown, 10" Min. GV, Matched, Candle-cut, Booted
SHRUBS				
MUH	20	Muhlenbergia capillaris	Pink Muhly Grass	3 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 2' O.C.
NEB	40	Nephrolepis exaltata 'Bostoniensis'	Boston Fern	3 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 12" O.C.
FGI	212	Ficus macrophylla 'Green Island'	Green Island Ficus	1 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 12" O.C.
ZAM	59	Zamia pumila	Coontie	1 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 12" O.C.
TDA	235	Tripsacum dactyloides	Fakahatchee Grass	3 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 2' O.C.
SPG	121	Spathoglottis plicata	Ground Orchids	1 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 12" O.C.
SOD				
ZEM	586	Zoysia x 'Empire'	Empire Zoysia	1 Gal., Full to Base, 2' OA Ht x 2' Sprd, Max. 18" O.C.

Notes:

- Contractor shall be responsible for verifying all quantities in accordance to the permitted plant list. Where discrepancies occur between the plans and the list, whichever quantity is higher shall prevail.
- All shrubs shall be free of fungus, insects and from all disease.
- All vegetation shall have root balls fully grown into the specified container - recently transplanted material into up-sized containers shall not be accepted.
- All landscaping shall be warranted for a minimum of 1 year after final inspection.

MITIGATION PAYMENT TO CITY TREE FUND

Please be advised that the overall Hospital Campus does not have any other locations where tree/palm planting can occur, as all available pervious areas are currently planted. We are respectfully requesting that the remaining balance of mitigation requirements for tree and palm removals be satisfied through payment to the City Tree Fund, as follows:

Unit of Measure	Total Unmitigated	Mitigation Units	Cost per Unit	Total Contribution
Trees per 2-inches of DBH	288 in of DBH	144	\$350.00	\$50,400.00
Palms per Each Palm	21 Palms	21	\$350.00	\$7,350.00
TOTAL SUM FOR TREE FUND CONTRIBUTION				\$57,750.00

LANDSCAPE DATA TABLE

Current Zoning: HD - Hospital District		
Zoning District directed to use for Minimum Requirements*: RAC - Regional Activity Center		
* Directive received via Staff Comments: Section H, Landscaping; Comment #45 [] See RAC zoning for landscape requirements *		
Minimum Landscape Requirements per Applicable Zoning District		
Description	Quantity Required	Provided
Open Space	N/A	RAC Zoning district does not provide for a minimum Open Space requirement.
The minimum tree size is 12 feet in height, with a four (4) inch caliper measured at diameter breast height.	-	All trees are meeting the minimum specifications required. Please refer to proposed planting schedules included on the planting plans.
Ground floor open spaces, such as plazas, courtyards, and passageways which are visible from the public right-of-way and larger than 3,000 square feet shall be improved as pursuant to these regulations and the following requirements:	N/A	All proposed improvements are within the interior of the subject property. No ground floor open spaces, such as plazas, courtyards, and passageways are visible from the public right-of-way; therefore, requirements are not applicable. However, an internal 7,270-SF open space is being provided.
(a) A minimum of 25 percent of the open space area shall be vegetated.	N/A	1640-SF (22.5%) of vegetated landscape area of the internal open space element not visible from the public right-of-way is being provided.
(b) Overhead cover shall be provided for a minimum of 10 percent of the open space area.	N/A	480-SF (6.6%) of overhead cover of the internal open space element not visible from the public right-of-way is being provided via pavilions (5 qty) and pre-fabricated shade structure (4 qty)
(c) A minimum of one (1) linear foot of seating for every 30 square feet of open space area shall be provided.	N/A	138.5-LF of seating is provided for the internal open space element not visible from the public right-of-way
Perimeter Landscaping		
One (1) street tree per 30 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	N/A	All proposed improvements are within the interior of the subject property. No proposed improvements are fronting the public right-of-way; therefore, requirements are not applicable. Please note that Hospital Drive is a private driveway and not a public right-of-way.
Interior Landscape for At-Grade Parking Lots and Vehicular Use Area		
A minimum of one (1) tree per 1,000 square feet of pervious area of property.	N/A	No additional open space area is being provided.
this is in addition to tree requirement for parking lots and paved vehicular use areas.	N/A	No parking lots are being provided; all parking to use existing parking garages. Vehicular use areas are existing.
Irrigation		
Provide 100 percent irrigation coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances and the Regulations of the South Florida Water Management District or apply xeriscape principles.	-	100% full coverage irrigation will be provided following site plan approval.

GENERAL PLANTING NOTES

- SEE TYPICAL PLANTING DETAILS SHEET FOR ADDITIONAL PLANTING SPECIFICATIONS.
- LANDSCAPE CONTRACTOR TO PROVIDE AN AUTOMATIC IRRIGATION SYSTEM GUARANTEEING 100% COVERAGE WHERE CALLED FOR & MAINTAINING A 50% MIN. OVERLAP TO ALL LANDSCAPED AREAS. THE IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR DEVICE AS REQUIRED. IRRIGATION SHALL ENSURE NO OVERSPRAY ONTO SIDEWALKS OR HARDSCAPE AREAS.
- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 QUALITY OR BETTER. ALL PLANTS SHALL BE TRUE TO THE GROWTH HABIT OF THE SPECIES, AND ARE TO BE FULLY ROOTED IN THE CONTAINER, HEALTHY, VIGOROUS, WELL-BRANCHED, AND DENSELY FOLIATED. PLANTS SHALL BE FREE FROM PHYSICAL DAMAGE, OR CONDITIONS THAT WOULD INTERFERE WITH THRIVING GROWTH, AND FREE OF DISEASE, INSECTS, OR INSECT EGGS AND LARVAE. THE OWNER AND/OR REPRESENTATIVE MAY INSPECT SOME/ALL PLANTS SUPPLIED BY THE CONTRACTOR AND MAY REJECT PLANTS THAT DO NOT MEET THESE SPECIFICATIONS.
- ALL LANDSCAPE MATERIALS SHALL BE FERTILIZED AT THE TIME OF INSTALLATION WITH EVERRIS SUNCOAT 16-9-12 W MINORS 90-DAY RELEASE OR A PROPOSED EQUIVALENT, IF APPROVED BY THE OWNER. SEVEN (7) GRAMS (1 TEASPOON) SHALL BE PLACED INTO THE PLANTING HOLE OF PIONEER SPECIES BEFORE INITIAL WATERING. STRAND ZONE SPECIES SHALL BE FERTILIZED AT THE TIME OF PLANTING BY INCLUSION OF 210 GRAMS (ONE-HALF CUP), ONE-HALF INTO THE PLANTING HOLE BEFORE INSTALLATION OF THE PLANT AND ONE-HALF DISTRIBUTED IN A RING AROUND THE NURSERY ROOT-BALL AFTER BACKFILLING THE HOLE TO COVER TWO-THIRDS OF THE ROOT-BALL'S HEIGHT.
- CONTRACTOR SHALL GUARANTEE ALL PLANTS, INCLUDING SHRUBS, TREES AND PALMS IN ACCORDANCE TO THE FOLLOWING TERMS. PLANTS NOT LIVING AT THE END OF 30 DAYS SHALL BE REJECTED AND SHALL BE REPLACED. PLANTS SHALL BE DEEMED SURVIVING IF THEY PRESENT VIGOROUS NEW LEAF GROWTH AND INSPECTION OF THE ROOT ZONE DEMONSTRATES THAT NEW ROOTS HAVE MIGRATED INTO THE SURROUNDING SOIL BY NO LESS THAN FOUR (4) INCHES.
- THE OWNER MAY PERIODICALLY INSPECT ALL INSTALLED PLANTS AND NOTIFY THE CONTRACTOR IF IT IS DETERMINED THAT THE SURVIVAL RATE IS NOT ACCEPTABLE. MINIMALLY, INSPECTIONS WILL BE CONDUCTED APPROXIMATELY ONE (1) MONTH, THREE (3) MONTHS, AND TWELVE (12) MONTHS AFTER PLANTING. WITHIN THIRTY (30) DAYS OF RECEIPT OF NOTIFICATION BY THE COUNTY, THE CONTRACTOR SHALL REMOVE ANY DEAD OR DYING PLANTS AND SHALL INSTALL ADDITIONAL PLANTS TO ACHIEVE THE ACCEPTABLE LEVEL OF PLANT SURVIVAL.
- XERISCAPE LANDSCAPE PRINCIPLES SHALL BE APPLIED TO ALL SITES AS SPECIFIED IN THE "SOUTH FLORIDA WATER MANAGEMENT DISTRICT'S XERISCAPE PLANT GUIDE II", UPDATED EDITION RESPECTIVELY.
- ALL PLANTING SHALL BE CLEAR 7 1/2 FT. IN FRONT & SIDES WITH 4 FT. IN REAR AROUND ALL FIRE HYDRANTS, CHECK VALVES, FIRE DEPT. EQUIPMENT, ETC. AS REQUIRED.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR OBTAINING, PAYING, PROCESSING AND PERMITTING ANY TREE REMOVALS AND/OR MITIGATION CONSISTENT WITH ANY AND ALL APPLICABLE AGENCIES HAVING JURISDICTION (AHJ). THESE SHALL BE REQUIRED PRIOR TO THE REMOVAL OF ANY PLANT MATERIAL OR FOR LANDSCAPE PLANTING INSTALLATIONS. NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED WITHOUT APPROVALS FROM THE AHJ. THE CONTRACTOR SHALL BE RESPONSIBLE TO PAY FOR ANY CODE COMPLIANCE FEES.
- THE OWNER SHALL BE NOTIFIED OF ANY POSSIBLE CHANGES FOR APPROVAL IN THE MATERIAL PRIOR TO INSTALLATION OF THE SAME.
- LANDSCAPE CONTRACTOR TO CONTACT THE THE OWNER TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO INSTALLATION OF ANY TREES OR PALMS AS REQUIRED.
- LANDSCAPE CONTRACTOR TO RETURN TO JOB SITE 12 MONTHS AFTER SUBSTANTIAL COMPLETION AND REMOVE ALL TREE BRACES (IF ANY).
- ALL SYNTHETIC BURLAP, SYNTHETIC STRINGS OR CORDS, OR WIRE BASKETS SHALL BE REMOVED BEFORE ANY TREES ARE PLANTED. ALL SYNTHETIC TAPE (I.E. TAGGING TAPE, NURSERY TAPE) SHALL BE REMOVED FROM TRUNKS, BRANCHES, ETC. BEFORE INSPECTION. THE TOP 1/3 OF ANY NATURAL BURLAP SHALL BE REMOVED OR TUCKED INTO THE PLANTING HOLE BEFORE THE TREES ARE BACK FILLED.
- CONTRACTOR TO SET TREES NO DEEPER THAN THEY WERE IN THEIR ORIGINAL GROWING CONDITIONS WITH THE ROOT BALLS EVEN WITH, OR SLIGHTLY HIGHER (+/- 1"), THAN THE FINISHED GRADE.
- ALL PLANTING AREAS WITHIN 24 INCHES OF ANY ABUTTING BUILDING WALL SHALL BE EXCAVATED TO A DEPTH OF 30" MINIMUM AND REPLACED WITH SPECIFIED SOIL MIX. SOIL MIX SHALL BE FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES. WHERE A SOIL MIX IS NOT SPECIFIED, CONTRACTOR SHALL USE AN 70/30 MIX (ORGANIC:SAND RATIO)
- ALL TREES AND PALMS SHALL BE INSTALLED A MINIMUM OF 3' FROM CURBS, SIDEWALKS, PROPOSED BOLLARDS, UNDERGROUND UTILITIES, AS WELL AS 3' FROM ANY HARDSCAPE OR PAVED SURFACE, PROPOSED OR EXISTING.
- THE LANDSCAPE ARCHITECT OF RECORD MAY PROVIDE A CERTIFICATION LETTER TO THE COUNTY CERTIFYING THAT THE LANDSCAPING WAS INSTALLED IN ACCORDANCE TO THE PLANS AND SPECIFICATIONS. THIS SHALL REQUIRE THAT THE LANDSCAPE ARCHITECT, OR AN ASSIGNED REPRESENTATIVE OF THE LANDSCAPE ARCHITECT OF RECORD, BE PRESENT FOR THE MAJORITY OF THE TIME DURING LANDSCAPE CONSTRUCTION TO OBSERVE MEANS AND METHODS EMPLOYED BY THE CONTRACTOR. IT IS THEREFORE THE RESPONSIBILITY OF THE CONTRACTOR TO COMMUNICATE IN WRITING ANY EXPECTED OR ANTICIPATED CONSTRUCTION TO THE LANDSCAPE ARCHITECT WITH NO LESS THAN 1 WEEKS' TIME PRIOR TO THE COMMENCEMENT OF SAID ACTIVITY.

- CONTRACTOR SHALL CONTACT ALL NECESSARY AGENCIES AND/OR UTILITY COMPANIES TO LOCATE ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING. CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGES TO UNDERGROUND UTILITIES. ANY ADDITIONAL EXPENSES, INCLUDING DESIGN, ENGINEERING, CONSTRUCTION AND OWNER-MANDATED INSPECTIONS CAUSED BY CONTRACTOR-GENERATED DAMAGES, SHALL BE SOLELY AT THE CONTRACTOR'S EXPENSE AND SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALL ESTIMATED QUANTITIES OF MATERIAL SHOWN ON THE DRAWINGS PRIOR TO SUBMITTING ANY BID - CHANGE ORDERS RESULTING FROM MIS-CALCULATIONS, OMISSIONS, OR DISCREPANCIES SHALL NOT BE ALLOWED. PLANTING LIST OR SCHEDULE SHALL TAKE PRECEDENCE OVER PLANTING PLAN.
- ALL PLANT MATERIAL SYMBOLS SHOWN ON LANDSCAPE PLAN SHALL BE CONSIDERED DIAGRAMMATIC AND SHOULD BE ADJUSTED IN THE FIELD BY THE CONTRACTOR TO AVOID ALL UTILITIES AND ALL OTHER OBSTRUCTIONS.
- ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLANS ARE TO BE CONSIDERED MINIMUM.
- SITE PREPARATION SHALL INCLUDE THE ERADICATION & REMOVAL OF ANY INVASIVE AND EXOTIC SPECIES (AS DEFINED BY MIAMI-DADE COUNTY), WEEDS, GRASS, CLEAN-UP OF ANY DEAD MATERIAL, DEBRIS, AND RUBBISH.
- UPON FINALIZATION OF THE PROJECT, CONTRACTOR SHALL FURNISH AND PROVIDE AT HIS/HER EXPENSE AS-BUILT DIGITAL FILES AND PDF AND HARDCOPY PRINTS AT THE SAME DIMENSIONAL DRAWING SCALE AND SHEET SIZE AS THE PROVIDED PLANS. AS-BUILT INFORMATION SHALL REFLECT ALL FINAL CONSTRUCTED CONDITIONS, INCLUDING HARDSCAPE, PLANTING (INCLUDING SPECIES AND LOCATIONS) AND ANY OTHER IMPROVEMENTS TO ITS NEAREST TRUE ON-SITE LOCATION AND CONDITION. AS-BUILT FILES AND PRINTS SHALL BE DISTRIBUTED TO BOTH THE OWNER AND THE ENGINEER/LANDSCAPE ARCHITECT OF RECORD.
- CONTRACTOR SHALL INSTALL ALL NEW TREES WITH A MAX OF 72 HOURS OF RECEIPT OF DELIVERY TO THE PROJECT SITE. WHEN STORED ONSITE, CONTRACTOR SHALL PROTECT ALL ROOTBALLS FROM DIRECT EXPOSURE AND SHALL KEEP ALL ROOTBALLS PROPERLY HYDRATED, CONSISTENT WITH HORTICULTURAL BEST PRACTICES AND STANDARDS.
- CONTRACTOR SHALL RESET AND/OR REPLANT ANY TREE IDENTIFIED FOR RELOCATION WITHIN A MAX OF 72 HOURS AFTER BEING UP-ROOTED. CONTRACTOR SHALL PROTECT ALL ROOTBALLS FROM DIRECT SUN EXPOSURE AND SHALL KEEP THEM HYDRATED CONSISTENT WITH HORTICULTURAL BEST PRACTICES AND STANDARDS.
- SHRUBS, TREES AND PALMS WITH GIRDLING ROOTS SHALL NOT BE ACCEPTED.
- ALL UNDERGROUND UTILITIES AND IMPROVEMENTS SHALL BE PLACED AND/OR INSTALLED OUTSIDE OF THE AREAS DEFINED BY ANY TREE PROTECTION BARRIERS.
- CONTRACTOR IS ADVISED THAT ALL REQUIREMENTS AND STANDARDS EXPRESSED IN THE CITY OF HOLLYWOOD'S CODE OF GENERAL ORDINANCES SHALL BE ABIDED BY WITHOUT EXCEPTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL THE STANDARD PROCEDURES OF THE CITY AND COUNTY IN THE REMOVAL, RELOCATION AND PRESERVATION OF ANY AND ALL TREES.
- CONTRACTOR SHALL NOT STAGE OR OPERATE EQUIPMENT WITHIN THE DRIP-LINE OF ANY TREES OR WITHIN THE TREE PROTECTION AREAS.
- CONTRACTOR SHALL REVIEW ENVIRONMENTAL REQUIREMENTS OF ANY PROPOSED STAGING AREAS WITH THE OWNER AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO USE.
- ANY MATERIAL TO BE STOCKPILED FOR PERIODS GREATER THAN 24 HOURS SHALL BE PROTECTED BY APPROPRIATE EROSION CONTROL DEVICES. COST TO BE INCLUDED IN THE RELATED BID ITEM.
- ALL LANDSCAPING SHALL BE WARRANTIED FOR A MINIMUM OF ONE (1) YEAR AFTER FINAL INSPECTION.
- NO LANDSCAPE SUBSTITUTIONS SHALL BE MADE WITHOUT THE CITY OF HOLLYWOOD APPROVAL.

HKS

ARCHITECT
HKS ARCHITECTS, INC.,
2020 SALZEDO STREET, 4TH FLOOR
CORAL GABLES, FL 33134

INTERIOR DESIGNER
HKS ARCHITECTS
225 EAST ROBINSON ST, SUITE #405
ORLANDO, FL 32801

CIVIL & LANDSCAPE
CSA SOLUTIONS
1800 ELLER DRIVE, SUITE 600
FORT LAUDERDALE, FL 33316

STRUCTURAL ENGINEER
GMS STRUCTURAL ENGINEERS
14335 COMMERCE WAY
MIAMI LAKES, FL 33016

MEP & FIRE PROTECTION
TLC ENGINEERING SOLUTIONS, INC.
800 FAIRWAY DRIVE
DEERFIELD BEACH, FL 33441

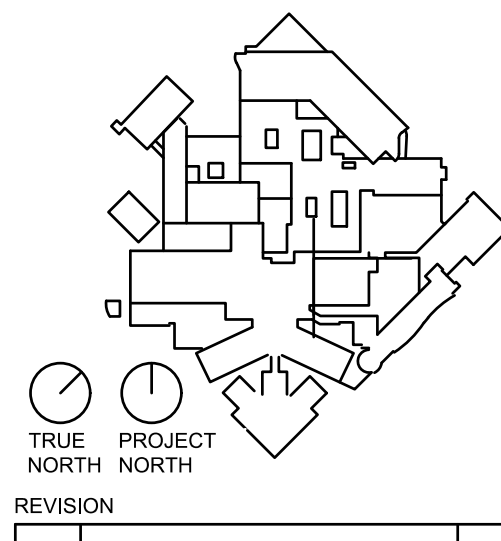
TELECOM & EQUIPMENT
SMITH SECKMAN REID, INC.
2995 SISCO DRIVE
NASHVILLE, TN 37204

OWNER
MEMORIAL HEALTHCARE SYSTEM
3501 JOHNSON STREET
HOLLYWOOD, FL 33021

Memorial
Regional Hospital
SURGICAL & CRITICAL CARE TOWER EXPANSION
3501 JOHNSON STREET, HOLLYWOOD, FL 33021

INTERIM REVIEW ONLY
These documents are incomplete, and are released for interim review only and are not intended for regulatory approval, permit, or construction purposes.
Landscape Architect: Dominic James Mack III, R.L.A., License No.: LA0667598
Date: 04/12/2024

KEY PLAN



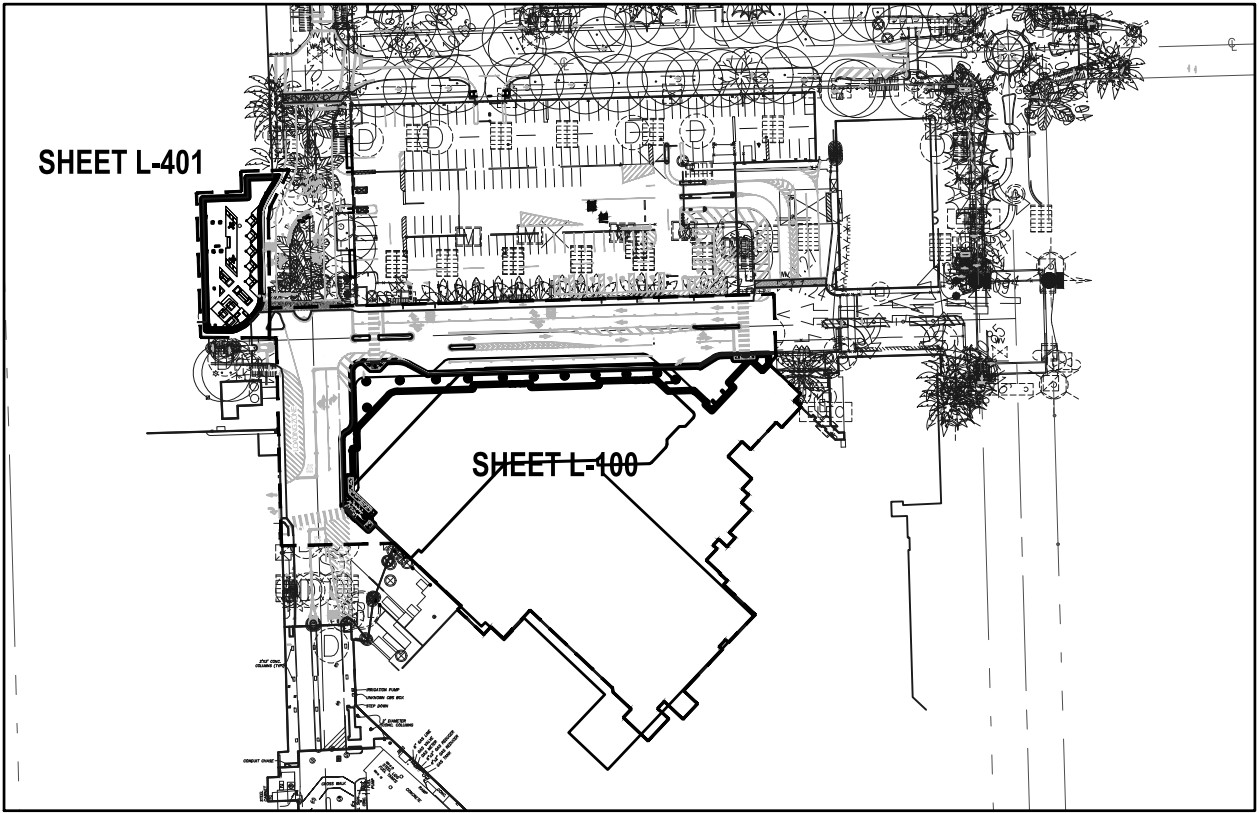
DOMINIC JAMES MACK III, R.L.A., STATE OF FLORIDA, REGISTERED LANDSCAPE ARCHITECT, LICENSE NO. LA0667598.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MICHAEL CONNER ON THE DATE INDICATED HERE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

HKS PROJECT NUMBER
23459.000
DATE
JUNE 17, 2024
ISSUE
FINAL TAC

SHEET TITLE
**PROPOSED
PLANTING NOTES
AND SCHEDULE**
SHEET NO.

KEY MAP

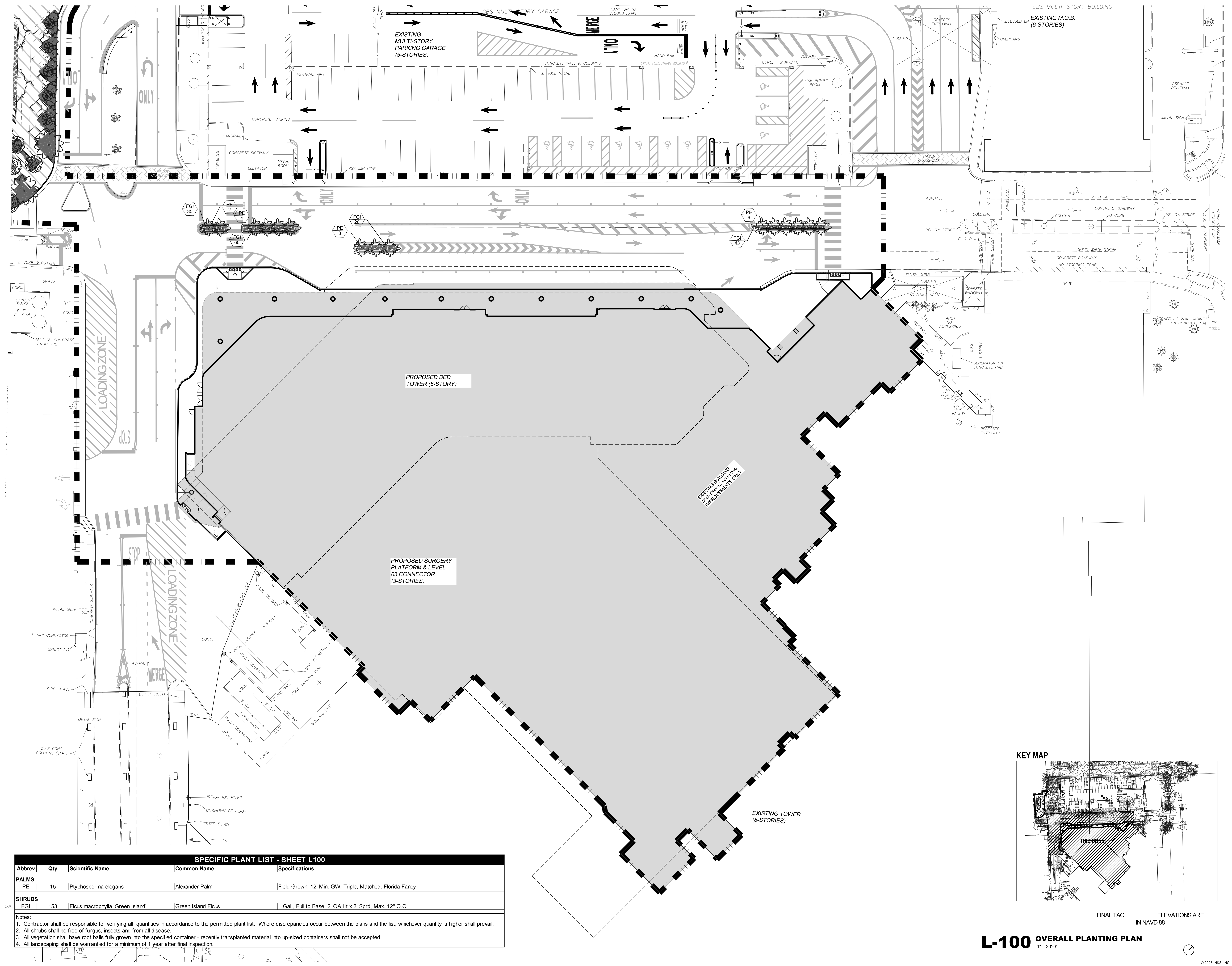


FINAL TAC ELEVATIONS ARE
IN NAVD 88

PROPOSED PLANTING NOTES AND
SCHEDULE

L-001

1" = 20'-0"



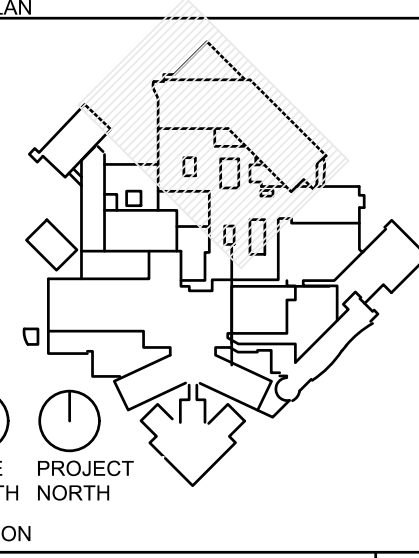
SPECIFIC PLANT LIST - SHEET L100				
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Notes:

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REGISTERED LANDSCAPE ARCHITECT, LICENSE NO.
6667598

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KS PROJECT NUMBER

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JUNE 17, 2024

ISSUE

FINAL TAC

OVERALL PLANTING PLAN

HEET NO

